

# TENTATIVE MAP AMENDMENT TO VTM. 433521, PLANNED DEVELOPMENT PERMIT AMENDMENT TO PDP. 12852, AMENDMENT TO SDP. 433515 AND NEIGHBORHOOD DEVELOPMENT PERMIT FOR:

## DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:**  
ON DECEMBER 12, 2013, THE CITY OF SAN DIEGO'S PLANNING COMMISSION AMENDED THE PREVIOUSLY ENTITLED PROJECT, THE VILLAGE AT PACIFIC HIGHLANDS RANCH AS VESTING TENTATIVE MAP NO. 1113594, PLANNED DEVELOPMENT PERMIT 1113595, AND SITE DEVELOPMENT PERMIT NO. 1113598. THE NEWLY AMENDED AND APPROVED PROJECT WAS NOW ENTITLED FOR 195,000 SQUARE FEET OF COMMERCIAL SPACE, 331 RESIDENTIAL DWELLING UNITS (UP TO 252 MARKET RATE AND UP TO 79 AFFORDABLE HOUSING UNITS, WHICH WAS ACCOMPLISHED THROUGH A DENSITY TRANSFER PROCESS FROM NEARBY SITES; 57 UNITS FROM THE ELMS AND THE IVY PROJECT NO. 296644, AND 55 UNITS FROM RANCHO MILAGRO PROJECT NO. 332547), A PUBLIC LIBRARY SITE, AND A CIVIC USE AREA. THIS AMENDED PROJECT, HOWEVER, INCLUDED EVERYTHING FROM THE PREVIOUS PROJECT EXCEPT FOR THAT UNDER GONSALVES OWNERSHIP, THE SUBJECT PROPERTY AND FORMER UNIT 5.
- STREET ADDRESS:**  
NORTHWEST CORNER OF VILLAGE CENTER LOOP ROAD AND PEPPERGRASS CREEK GATE
- SITE AREA:**  
PROPERTY BOUNDARY (GROSS): 3.49 ACRES, 152,014 S.F.  
TOTAL SITE AREA w/ OFFSITE GRADING: 4.47 ACRES, 194,675 S.F.  
NET SITE AREA: 3.21 ACRES, 139,464 S.F.  
(NET SITE AREA EXCLUDES REQUIRED STREETS AND PUBLIC DEDICATIONS)
- ZONING:**  
CC-1-3 AND URBAN VILLAGE OVERLAY ZONE
- COVERAGE DATA:**  
TOTAL BUILDING AREA (GROUND FLOOR): 56,163 S.F.  
TOTAL LANDSCAPE AREA: 29,440 S.F.  
TOTAL HARDSCAPE / PAVED AREA: 37,367 S.F.  
TOTAL PERVIOUS PAVEMENT AREA: 29,500 S.F.  
GROSS FLOOR AREA (GFA): 157,845 S.F.  
FLOOR AREA RATIO (FAR): 1.13 PROPOSED
- DENSITY:**  
NUMBER OF EXISTING UNITS TO REMAIN ON SITE: NONE  
NUMBER OF PROPOSED DWELLING UNITS ON SITE: 69  
TOTAL NUMBER OF UNITS PROVIDED ON SITE: 69  
TOTAL DENSITY: 20 DU/AC
- YARD / SETBACK:**  
FRONT SETBACK: REQUIRED: NONE PROPOSED: NONE  
STREET SIDE SETBACK: REQUIRED: NONE PROPOSED: NONE  
REAR SETBACK: REQUIRED: 10' PROPOSED: 10'  
SIDE SETBACK: REQUIRED: 10' PROPOSED: 3'
- PARKING (RESIDENTIAL)**  
TOTAL NUMBER OF SPACES REQUIRED BY ZONE: 136 SPACES (SEE SHEET 2 FOR CALCS)  
TOTAL NUMBER OF SPACES PROVIDED ON SITE: 138 GARAGE SPACES + 27 STREET SPACES = 165 SPACES

	NO. OF UNITS	TRANSIT AREA UVOZ RATIO	PARKING REQUIRED	PARKING PROPOSED
2 BEDROOM (UNIT 1 TANDEM)	16	1.25	20	32
3-4 BEDROOMS (UNITS 2-4)	53	1.75	92.75	106
SUBTOTAL	69	469	112.75	138
COMMON AREA PARKING		RATIO	COMMON AREA REQUIRED	COMMON AREA PROVIDED
SUBTOTAL		0.2	22.55	27
		TOTAL	135.3	165

- BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT.**
- OPEN SPACE (TOTAL)** 39,829 S.F.
  - PRIVATE EXTERIOR OPEN SPACE: 10,389 S.F.
  - COMMON OPEN SPACE
    - OPEN SPACE AREA 1: 6,800 S.F.
    - OPEN SPACE AREA 2: 7,400 S.F.
    - ADDITIONAL OPEN SPACE AREA: 15,240 S.F.
- DEVIATIONS REQUESTED:**
  - SIDE YARD SETBACK = 3 FEET MAX.
  - RESIDENTIAL USE WITHOUT COMMERCIAL COMPONENT
  - RESIDENTIAL USE AND PARKING IN FRONT HALF OF LOT
  - RETAINING WALL HEIGHT (22 FEET HIGH - INTERIM CONDITION)
  - PRIVATE EXTERIOR OPEN SPACE PROXIMITY TO PROPERTY LINE = 3 FEET MAX (SEE SHEET 2 FOR UNITS DENOTED WITH "DEV")
  - TANDEM PARKING UNIT 1 AND UNIT 1 AFFORDABLE, 16 TANDEM SPACES

## GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 3.49 ACRES
  - PERCENT OF TOTAL SITE GRADED: 100%
  - AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 0.60 ACRES
  - PERCENT OF EXISTING SLOPES STEEPER THAN 25%  
PROPOSED TO BE GRADED: 100%
  - PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 21.22%
  - AMOUNT OF CUT/EXPORT: 45,000 CY (EXPORT)
  - AMOUNT OF FILL: CY
  - MAXIMUM HEIGHT OF FILL SLOPES: 2 FEET
  - MAXIMUM HEIGHT OF CUT SLOPES: 40 FEET
  - AMOUNT OF IMPORT/EXPORT SOIL: 45,000 CY (EXPORT)
  - RETAINING / CRIB WALLS: 2  
HOW MANY: 2  
MAX HEIGHT: 22 FEET (FOR INTERIM CONDITION WALL)
- NOTE: ADDITIONAL WALLS UNDER 3' IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL AREAS BASED ON PRECISE GRADING

## GENERAL NOTES

- LOT SUMMARY: 1 RESIDENTIAL
- TOTAL AREA: 3.49 ACRES
- EXISTING ZONING: CC-1-3 AND URBAN VILLAGE ZONE OVERLAY ZONE  
PROPOSED ZONING: CC-1-3 AND URBAN VILLAGE ZONE OVERLAY ZONE
- GAS AND ELECTRIC: SAN DIEGO GAS AND ELECTRIC
- TELEPHONE: AT&T
- CABLE TELEVISION: TIME WARNER CABLE TELEVISION
- SEWER: CITY OF SAN DIEGO  
WATER: CITY OF SAN DIEGO
- DRAINAGE SYSTEM: AS REQUIRED BY CITY ENGINEER
- FIRE: CITY OF SAN DIEGO
- SCHOOL DISTRICT: SAN DIEGUITO UNION HIGH SCHOOL DISTRICT AND DEL MAR UNION SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND
- EXISTING TOPOGRAPHY  
CONTOUR INTERVAL: 2 FEET  
SOURCE: SAN-LO AERIAL SURVEYS  
DATE: JANUARY 5, 1999  
DATUM: GPS PT. NO. 542 - N 1,927,136.68, E 6,267,611.17  
ELEVATION: 190.83 (NAVD 27)  
FIELD VERIFIED BY: ALYSON CONSULTING  
9968 HIBERT STREET  
SAN DIEGO, CA 92131  
DATE: AUGUST 11, 2014
- ALL PROPOSED SLOPES ARE 2:1 MAX
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATIONS IN FINAL DESIGN.
- ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE REMOVED.

## LAMBERT COORDINATES

290-1711

## CCS 83 COORDINATES

1930-6271

## ASSESSOR'S PARCEL NUMBERS

305-190-16 AND 305-250-32

## LEGAL

PARCEL 1 OF PARCEL MAP 20796

## CONDOMINIUM NOTE

THIS PROJECT IS DEFINED AS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM UNITS IS: 69 (58 MARKET RATE / 11 AFFORDABLE). 9 UNITS WILL BE ADA ACCESSIBLE.

## BENCHMARK

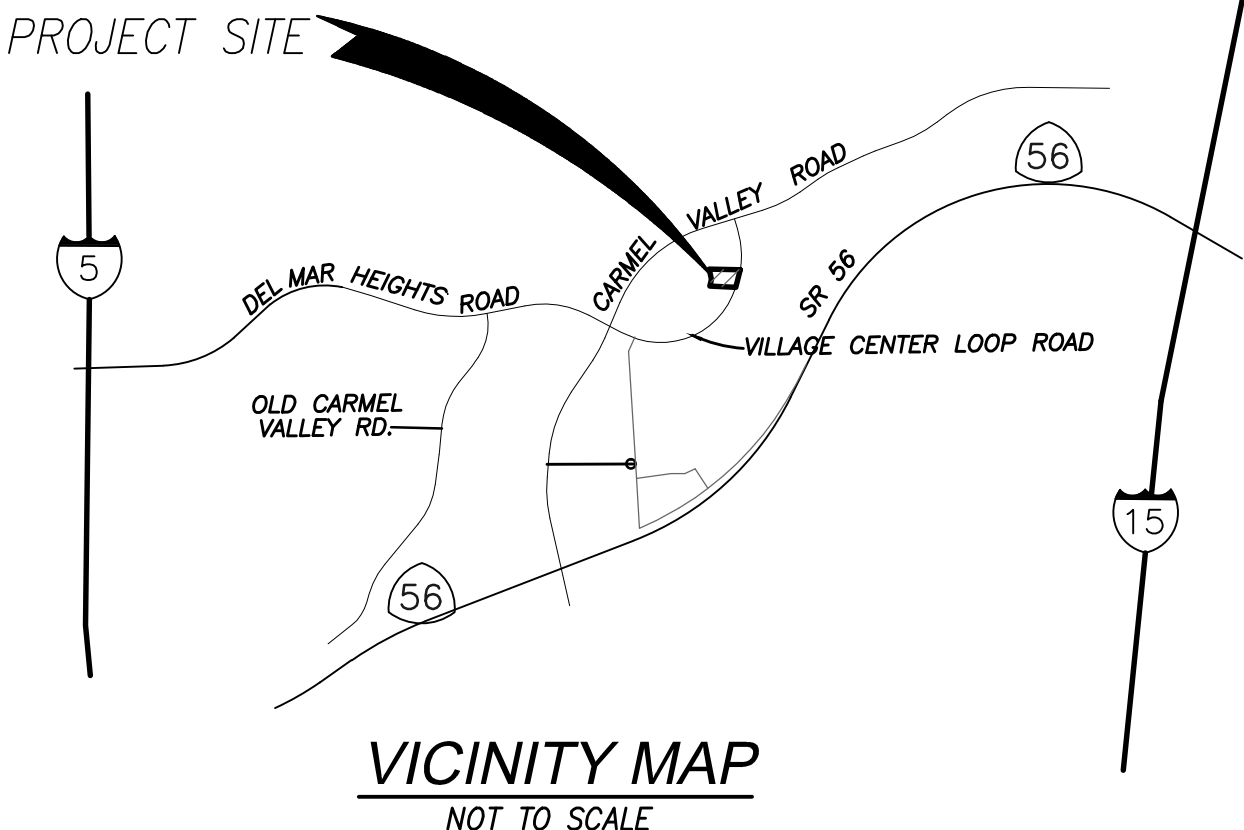
CARMEL VALLEY ROAD AT DEL MARR HEIGHTS ROAD - 3/4 INCH IRON PIPE NLY SIDE CARMEL VALLEY ROAD - ELEVATION = 304.495 PER THE CITY OF SAN DIEGO VERTICAL CONTROL BOOK 2011.

## BASIS OF BEARINGS

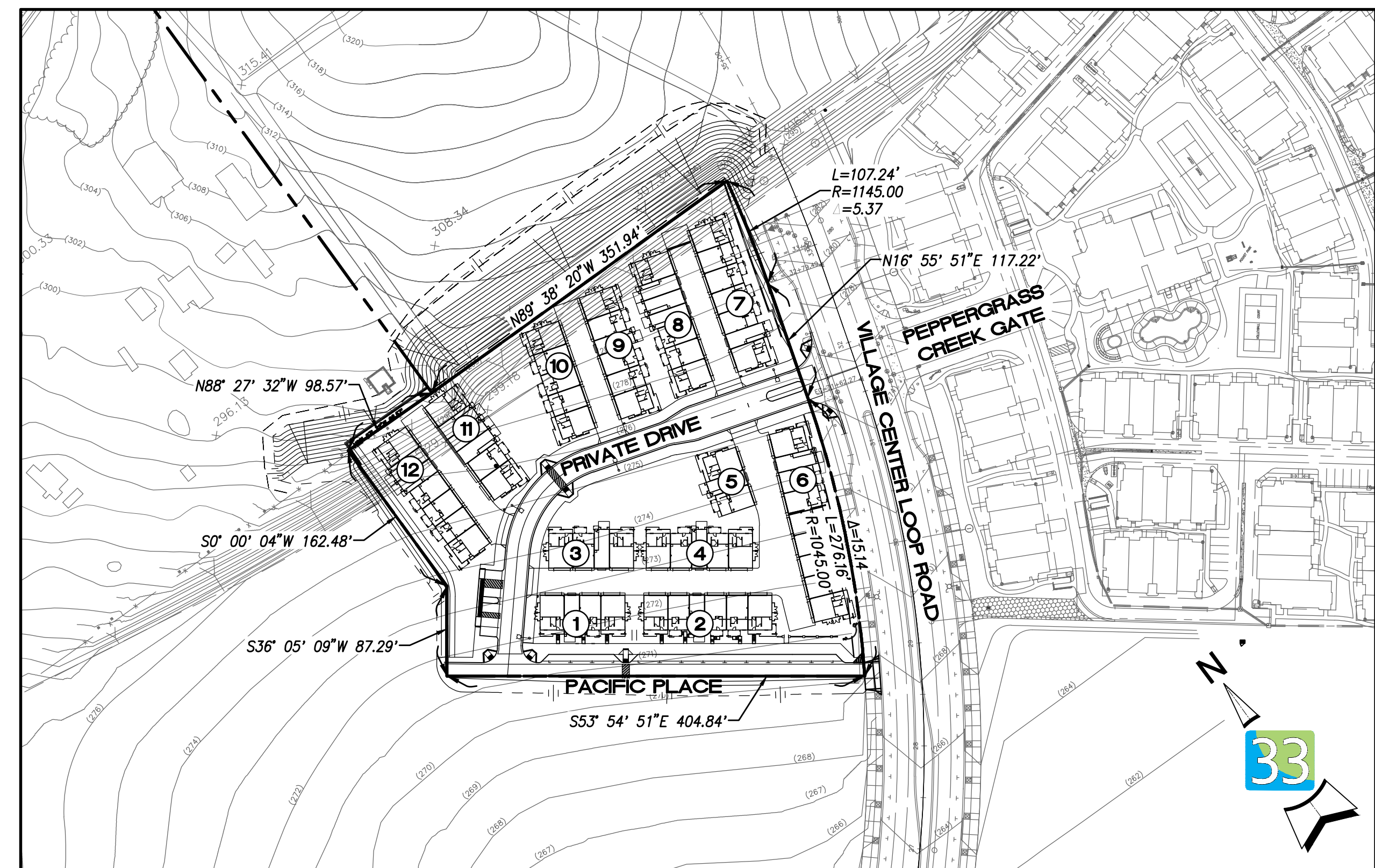
BASIS OF HORIZONTAL CONTROL IS POINT NO. 542 PER RECORD OF SURVEY 14492 AND BASIS OF VERTICAL CONTROL IS THE SWBP AT BLACK MOUNTAIN ROAD AND OVIEDO STREET AT ELEVATION=538.061, FROM CITY OF SAN DIEGO BENCHMARK BOOK (NGVD29).

## SOLAR ACCESS NOTE

THE IS TO AFFIRM THAT THE DESIGN PROVIDES, TO THE EXTENT FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISION OF SECTION 66473.1 OF THE STATE SUBDIVISION MAP ACT.



# LATERRA AT PACIFIC HIGHLANDS RANCH



## BUILDING SUMMARY

PLAN TYPE	LIVING AREA (SF)	GARAGE AREA (SF)	BEDROOMS	BATHS
UNIT 1	1,196	478	2	2.5
UNIT 1 (AFFORDABLE)	1,196	478	2	2.5
UNIT 2	1,793	469	3	2.5
UNIT 3	1,857	472	3	2.5
UNIT 4	2,004	511	3 OPT 4	2.5

BLDG NO.	TOTAL UNITS	TOTAL LIVING AREA	GROSS FLOOR AREA	TOTAL GARAGE	TOTAL BEDROOMS	TOTAL BATHS	GROUND AREA
1	4	6,997	9,264	8	11	10	2,953
2	6	10,647	13,963	12	17	15	4,378
3	4	6,997	9,254	8	11	10	2,953
4	5	8,790	11,577	10	14	12.5	3,659
5	3	5,057	6,731	6	8	7.5	2,135
6	9	16,154	21,010	18	26	22.5	6,490
7	7	14,361	16,313	14	23	20	5,065
8	7	11,246	15,087	14	18	17.5	4,767
9	6	10,647	13,929	12	17	15	4,345
10	5	9,515	12,268	10	15	12.5	3,796
11	6	9,453	12,776	12	15	15	4,061
12	7	11,843	15,663	14	19	17.5	4,909
TOTAL	69	121,707	157,845	138	194	175	49,571

## SHEET SUMMARY

- SHEET 1 COVER SHEET AND NOTES
- SHEET 2 SITE PLAN AND GRADING
- SHEET 3 UTILITY PLAN
- SHEET 4 FIRE ACCESS PLAN
- SHEET 5 OVERALL LANDSCAPE CONCEPT PLAN
- SHEET 6 LANDSCAPE CALCULATIONS PLAN
- SHEET 7 LANDSCAPE PLANS ENLARGEMENTS
- SHEET 8 LANDSCAPE PLANS ENLARGEMENTS
- SHEET 9 BUILDING FIRST FLOOR PLAN
- SHEET 10 BUILDING SECOND FLOOR PLAN
- SHEET 11 BUILDING THIRD FLOOR PLAN
- SHEET 12 BUILDING FOURTH FLOOR PLAN
- SHEET 13 BUILDING 2 FIRST AND SECOND FLOOR PLANS
- SHEET 14 BUILDING 2 THIRD FLOOR PLAN AND ROOF PLAN
- SHEET 15 BUILDING 1 & 2 FLOOR AREAS
- SHEET 16 BUILDING 3 & 4 FLOOR AREAS
- SHEET 17 BUILDING 5 & 6 FLOOR AREAS
- SHEET 18 BUILDING 7 & 8 FLOOR AREAS
- SHEET 19 BUILDING 9 & 10 FLOOR AREAS
- SHEET 20 BUILDING 11 & 12 FLOOR AREAS
- SHEET 21 TYPICAL BUILDING ELEVATIONS
- SHEET 22 BUILDING ELEVATIONS

## MAPPING NOTE

A FINAL MAP WILL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE MAP.

## OWNER

PACIFIC CARMEL MAG LLC / PACIFIC CARMEL AFG LLC  
751 BANGOR STREET, SAN DIEGO, CA 92106-2903

## PLANNING

LATITUDE 33 PLANNING & ENGINEERING  
TARA LAKE  
9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131

## APPLICANT

KB HOME COASTAL INC.  
KURT BAUSBACK  
9915 MIRA MESA BLVD, SUITE 100  
SAN DIEGO, CA 92131  
858.877.4262

## ARCHITECT

SDG ARCHITECTS, INC.  
RALPH STRAUSS  
3361 WALNUT BLVD, SUITE 120  
BRENTWOOD, CA 94513  
925.634.7000

## CIVIL ENGINEER

LATITUDE 33 PLANNING & ENGINEERING  
BRAD D. SAGER  
9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131

## LANDSCAPE

WEILAND & ASSOCIATES, INC.  
KIM LONGRO  
40463 CHARLESBURG DRIVE  
TEMECULA, CA 92591  
619.675.3426

## NON-PLOTTABLE EASEMENT

AN EXISTING EASEMENT GRANTED TO PACIFIC BELL, OWNER OF AN EASEMENT, AS DISCLOSED BY DEED RECORDED NOVEMBER 25, 2003 AS FILE NO. 2003-1411349 OF OFFICIAL RECORD IS A PUBLIC UTILITIES EASEMENT WITH NO LOCATION SET FORTH AND CANNOT BE PLOTTED ON THIS MAP.

Prepared By: \_\_\_\_\_

Name: LATITUDE 33 Revision 12: \_\_\_\_\_

Address: 9968 HIBERT STREET, 2ND FLOOR Revision 11: \_\_\_\_\_  
SAN DIEGO, CA 92131 Revision 10: \_\_\_\_\_

Phone #: (858) 751-0633 Revision 9: \_\_\_\_\_

Fax #: (858) 751-0634 Revision 8: \_\_\_\_\_

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD Revision 7: \_\_\_\_\_  
AND PEPPERGRASS CREEK GATE Revision 6: \_\_\_\_\_

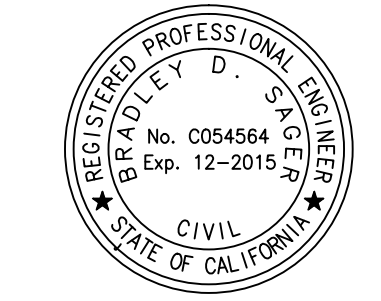
Project Name: LATERRA AT Revision 5: \_\_\_\_\_  
PACIFIC HIGHLANDS RANCH Revision 4: \_\_\_\_\_

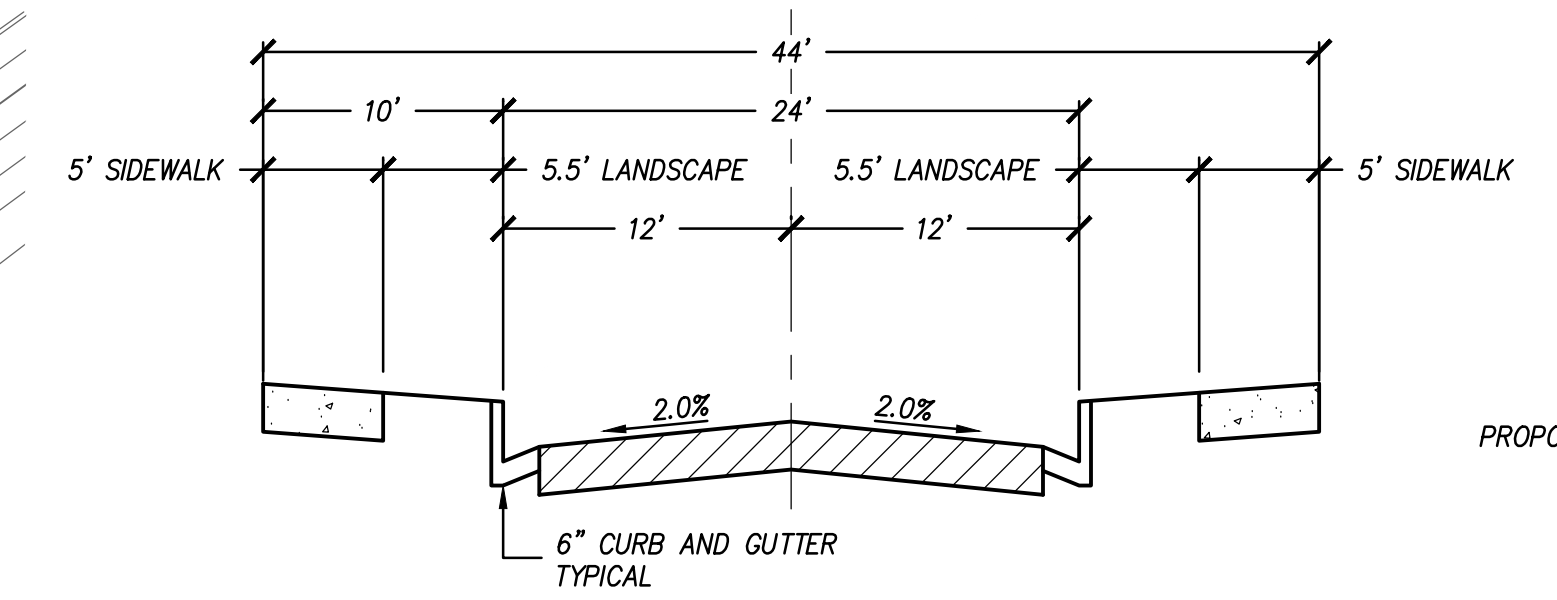
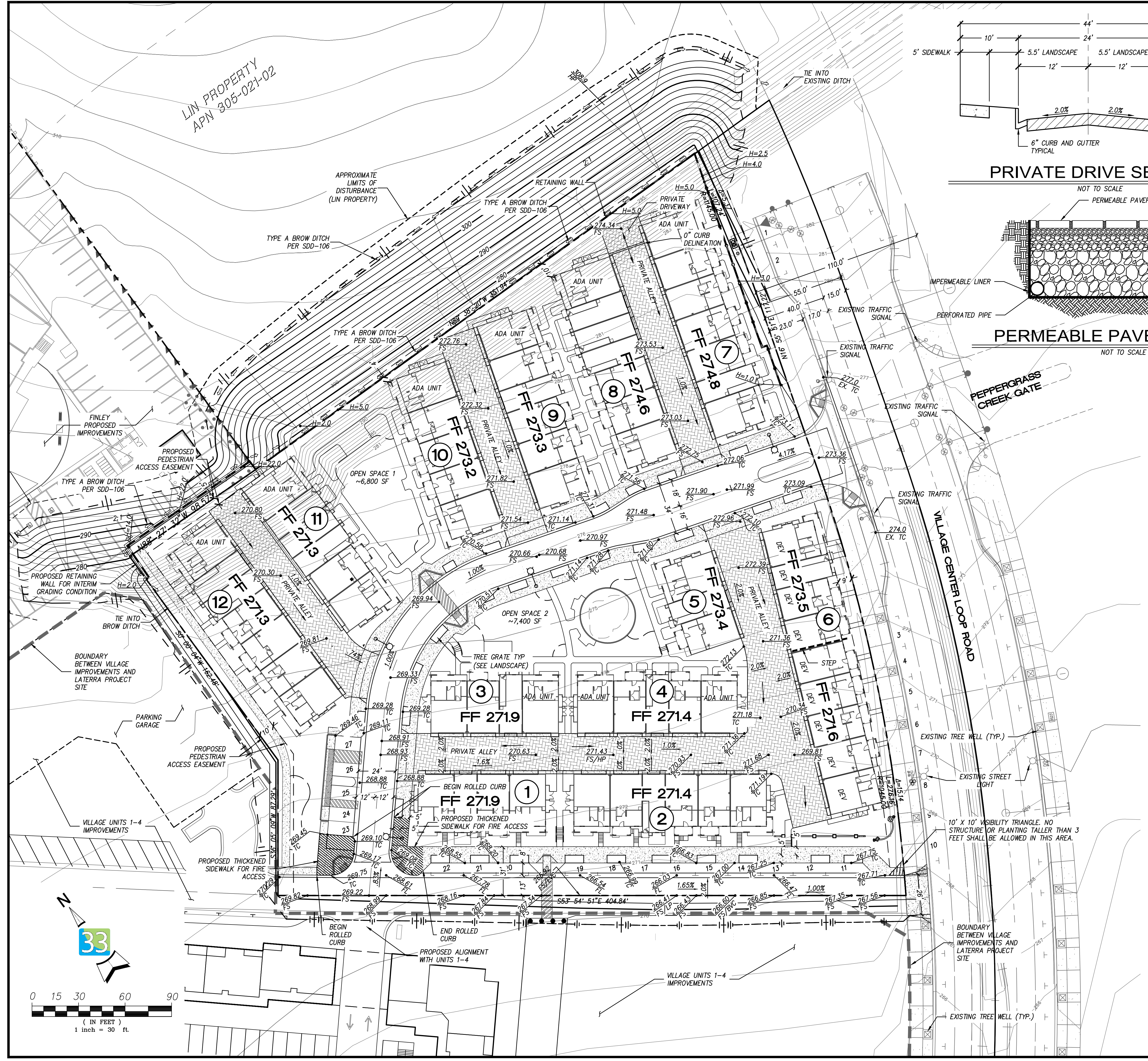
Sheet Title: TM AMENDMENT, PDP AMENDMENT, Revision 3: \_\_\_\_\_  
& NDP - COVER SHEET Revision 2: \_\_\_\_\_

Original Date: 9/15/2014 Revision 1: \_\_\_\_\_

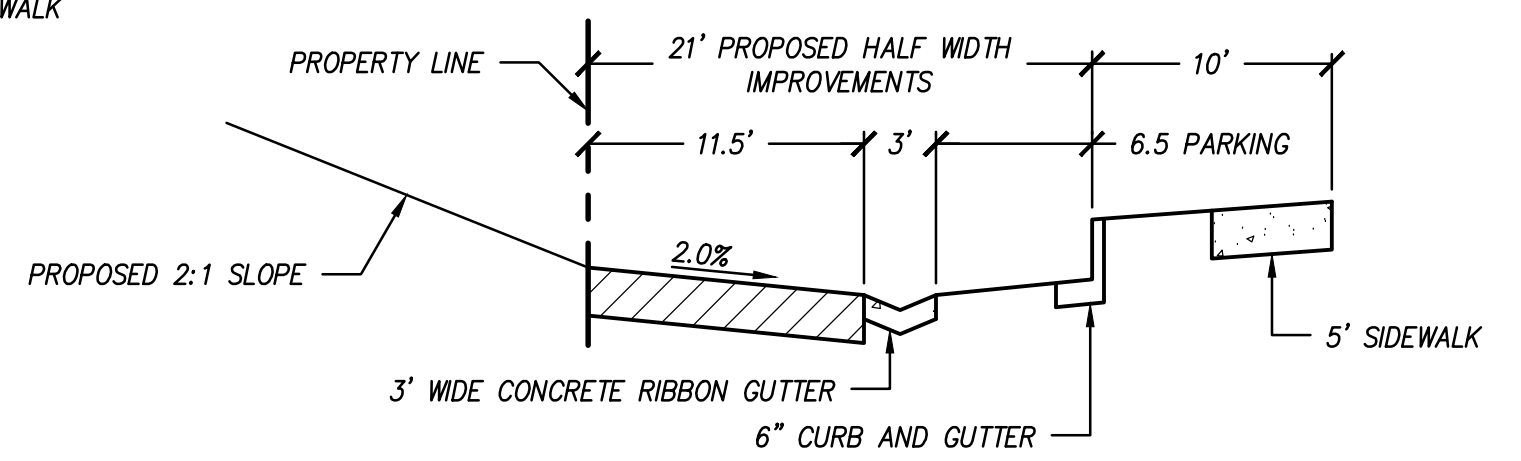
Sheet 1 of 22

DEP# XXXX

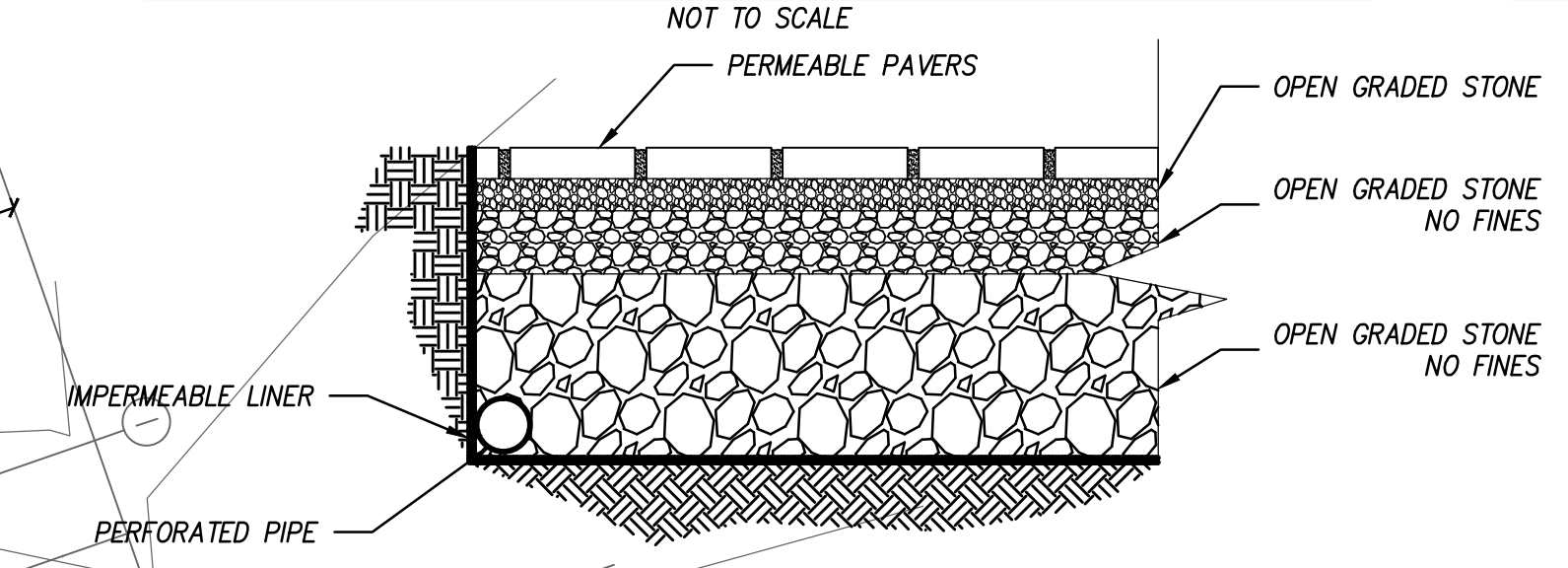




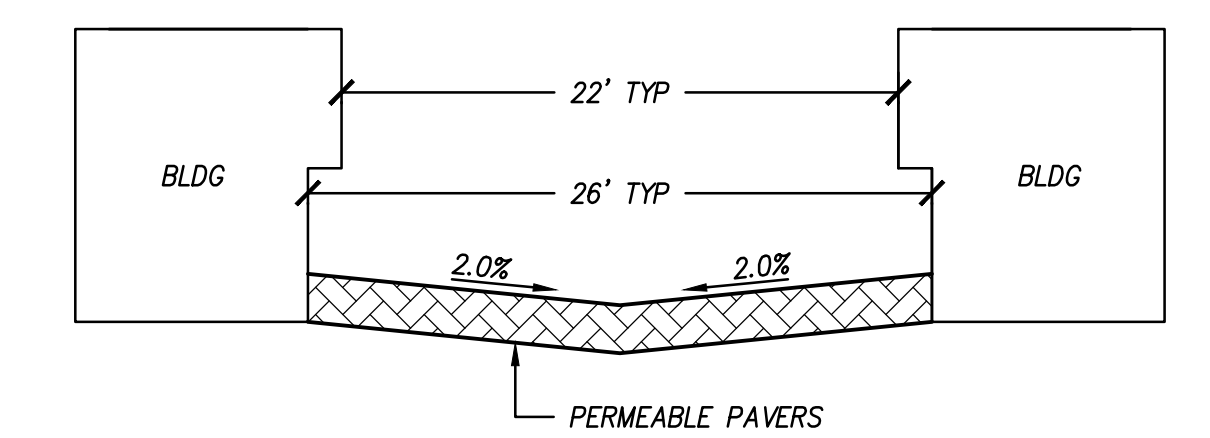
PRIVATE DRIVE SECTION



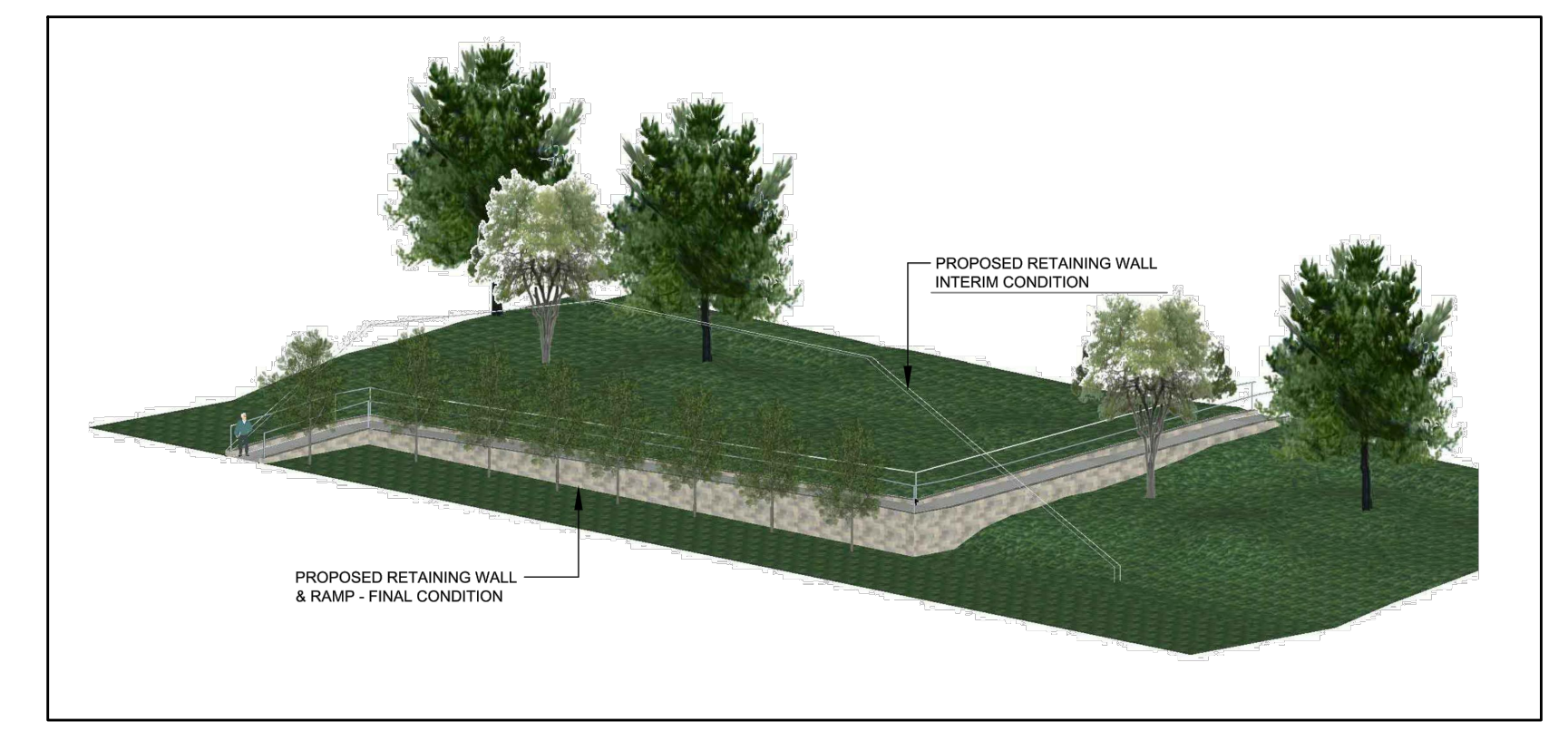
PACIFIC PLACE SECTION



PERMEABLE PAVER SECTION



TYPICAL ALLEY SECTION



PROPOSED RETAINING WALL INTERIM AND FINAL CONDITION

LEGEND

- PROJECT BOUNDARY
- PROPOSED CONTOURS
- PROPOSED DAYLIGHT LINE
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED PERMEABLE PAVERS
- PROPOSED BROW DITCH
- PROPOSED THICKENED SIDEWALK FOR FIRE ACCESS

Prepared By:  
**Name:** LATITUDE 33 PLANNING AND ENGINEERING  
**Address:** 9968 HIBERT STREET, 2ND FLOOR SAN DIEGO, CA 92131  
**Phone #:** (858) 751-0633  
**Fax #:** (858) 751-0634

Project Address:  
 INTERSECTION OF VILLAGE CENTER LOOP ROAD AND PEPPERGRASS CREEK GATE

Project Name:  
 LATERRA AT PACIFIC HIGHLANDS RANCH

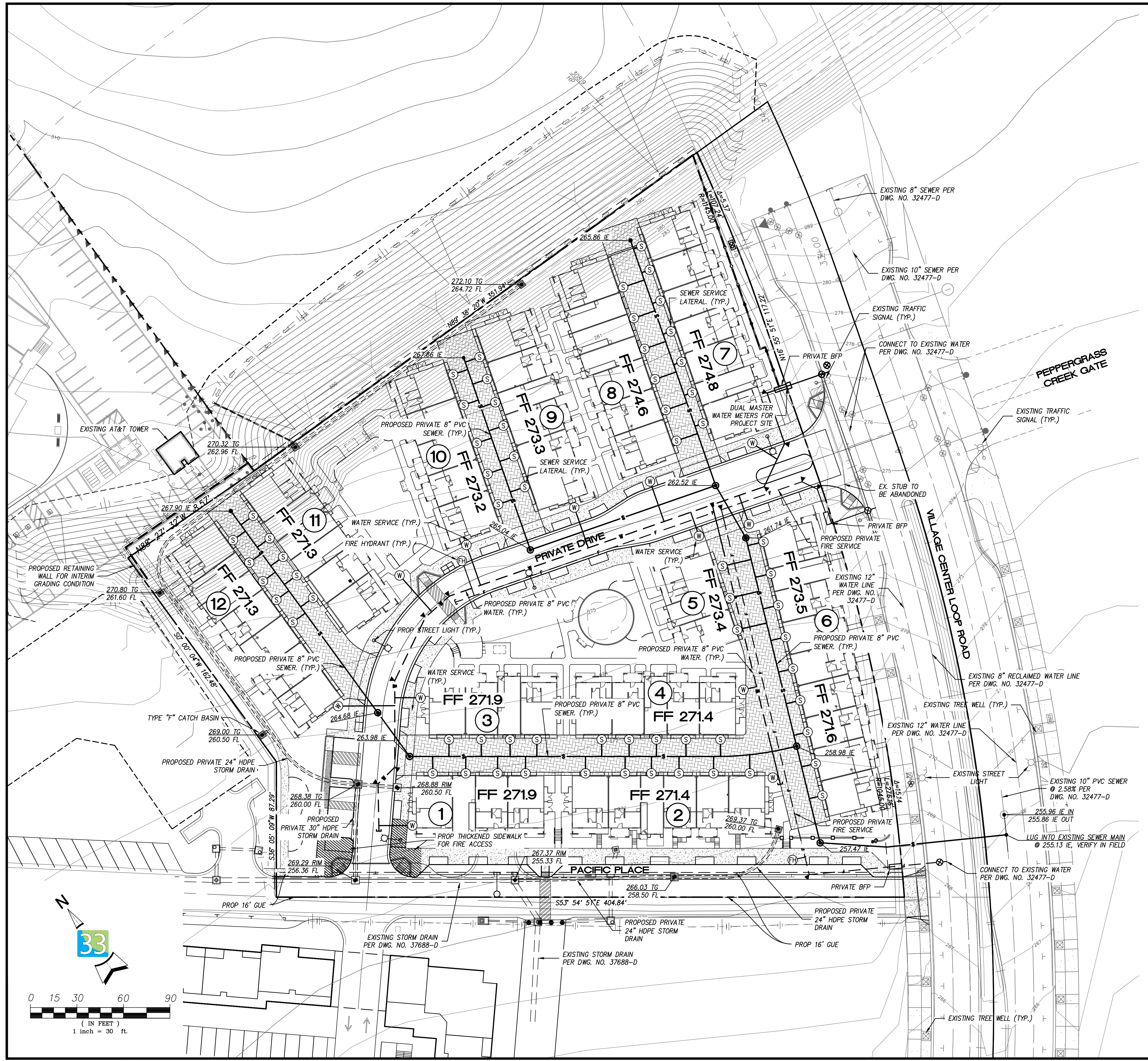
Sheet Title:  
 TM AMENDMENT, PDP AMENDMENT, & NDP - SITE GRADING PLAN

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014  
 Sheet 2 of 22  
 DEP# XXXX



latitude33  
 PLANNING & ENGINEERING  
 9968 Hibert Street, 2nd Floor, San Diego, CA 92131  
 Tel 858.751.0633



**GENERAL NOTES**

1. IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ONSITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
2. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.

**LEGEND**

PROJECT BOUNDARY	
PROPOSED CONTOURS	
PROPOSED DAYLIGHT LINE	
PROPOSED CURB AND GUTTER	
PROPOSED SIDEWALK	
PROPOSED PERMEABLE PAVERS	
PROPOSED PRIVATE WATER MAIN	
PROPOSED PRIVATE SEWER MAIN	
PROPOSED PRIVATE STORM DRAIN	
PROPOSED BROW DITCH	
PROPOSED PRIVATE WATER SERVICE	
PROPOSED PRIVATE SEWER SERVICE	
PROPOSED PRIVATE FIRE SERVICE AND FIRE HYDRANT	

Prepared By: LATITUDE 33

Name: PLANNING AND ENGINEERING

Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131

Phone #: (858) 751-0633

Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title: TM AMENDMENT, PDP AMENDMENT,  
& NDP - UTILITY PLAN

Revision 12: \_\_\_\_\_

Revision 11: \_\_\_\_\_

Revision 10: \_\_\_\_\_

Revision 9: \_\_\_\_\_

Revision 8: \_\_\_\_\_

Revision 7: \_\_\_\_\_

Revision 6: \_\_\_\_\_

Revision 5: \_\_\_\_\_

Revision 4: \_\_\_\_\_

Revision 3: \_\_\_\_\_

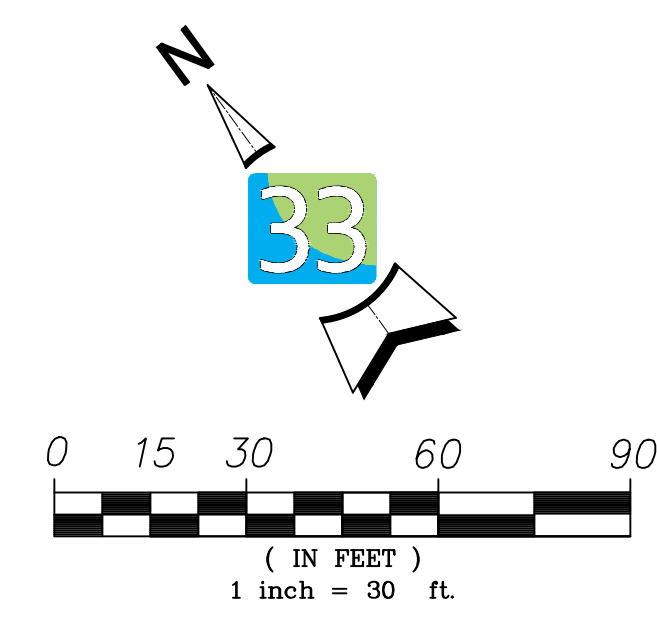
Revision 2: \_\_\_\_\_

Revision 1: 10/12/2015

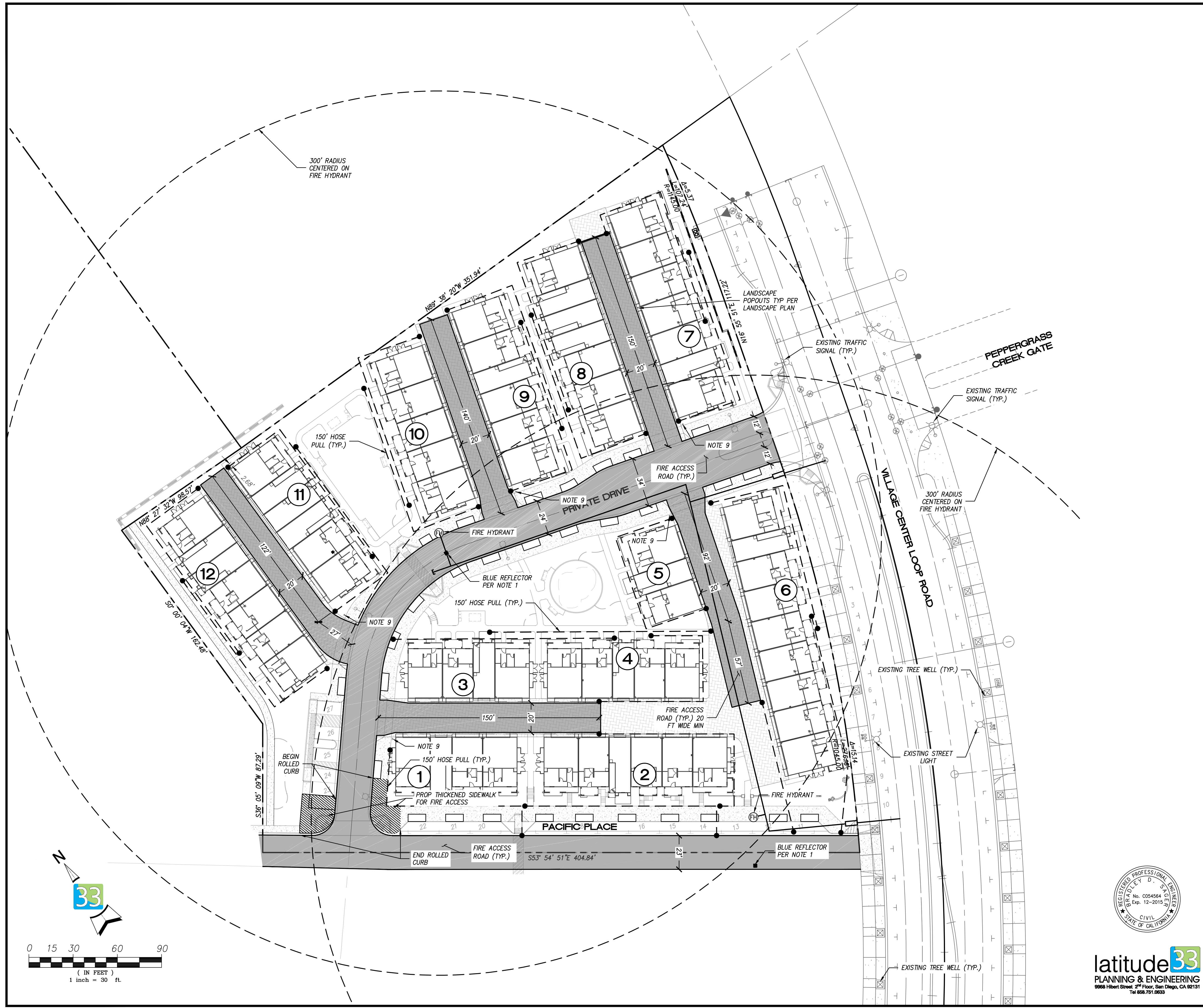
Original Date: 9/15/2014

Sheet 3 of 22

DEP# XXXX



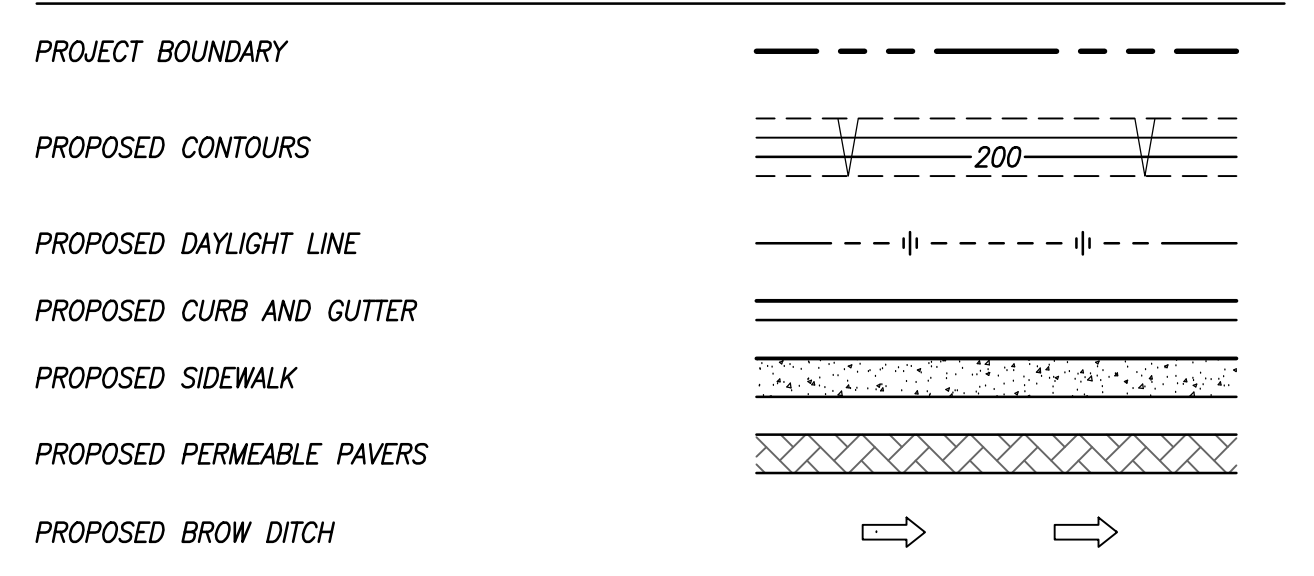
**latitude 33**  
PLANNING & ENGINEERING  
9968 Hibert Street, 2nd Floor, San Diego, CA 92131  
Tel 658.751.0633



**NOTES**

1. MUNICIPAL CODE SECTION 55.0507 ITEM C: HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT.
2. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS, ALLOWS, PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. CFC 505.
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION §95.0209.
4. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3
5. CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS - 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
6. CFC 507.5.6 - PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
7. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THIS RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
8. POLICY A-08-01 FOR FIRE ACCESS REQUIREMENTS HAS BEEN INCORPORATED INTO THE PROJECT FIRE ACCESS PLAN. A SPECIFIC TRUCK TURN ANALYSIS WAS UTILIZED TO VERIFY SITE DESIGN COMPLIANCE WITH THAT CODE.
9. PROVIDE REFLECTIVE SIGN INDICATING "NO FIRE ACCESS" AT ENTRANCE TO ALL ALLEYS.

**LEGEND**



Prepared By:

Name: LATITUDE 33  
PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

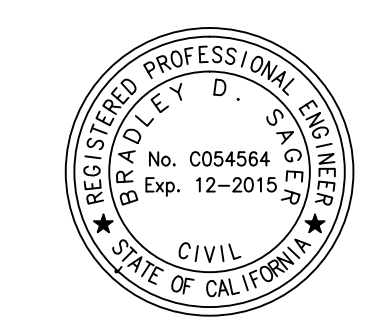
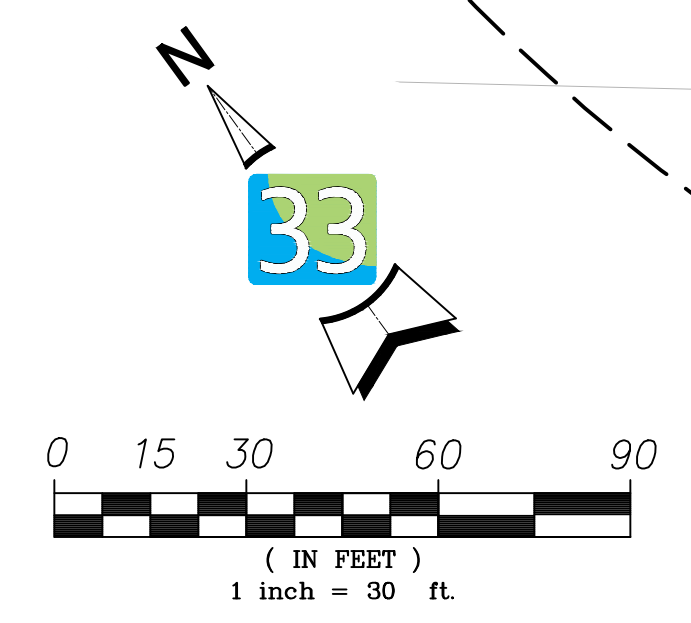
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	<u>10/12/2015</u>

Project Address:  
INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name:  
LATERA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title:  
TM AMENDMENT, PDP AMENDMENT,  
& NDP - FIRE ACCESS PLAN

Original Date: 9/15/2014  
 Sheet 4 of 22  
 DEP# XXXX



latitude **33**  
 PLANNING & ENGINEERING  
 9968 Hibert Street, 2nd Floor, San Diego, CA 92131  
 Tel: 658.751.0633

**GENERAL NOTES:**

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
3. GRADED PAD AREAS SHALL BE HYDROSEED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) DOES NOT OCCUR WITHIN 30 DAYS OF FOLLOWING GRADING. HYDROSEED SHALL BE RE-APPLIED OR IRRIGATED AS NECESSARY TO ESTABLISH GROWTH.

**MAINTENANCE NOTE:**

1. ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY KB HOME UNTIL TURNED OVER TO THE COMMUNITY HOMEOWNER'S ASSOCIATION IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND STANDARDS.

**VEHICULAR USE AREA NOTES:**

1. ALL REQUIRED PARKING FOR RESIDENTIAL UNITS IS ENCLOSED WITHIN GROUND LEVEL GARAGES. ON-STREET PARKING PROVIDES FOR (1) CANOPY TREE WITHIN 30-FT OF EACH PARKING STALL, TYP.

JEFFREY H. LIN  
APN 305-021-02

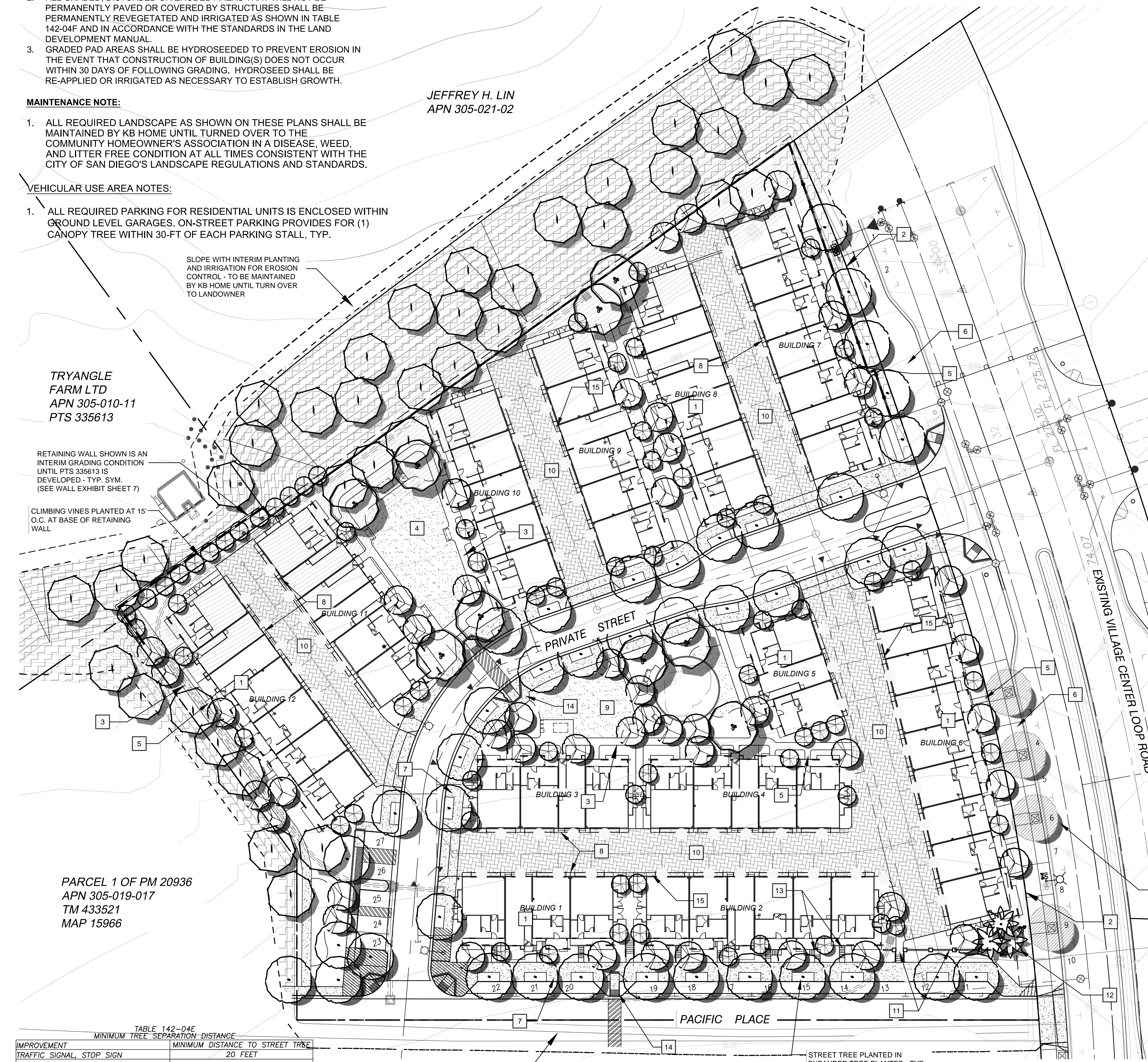
SLOPE WITH INTERIM PLANTING AND IRRIGATION FOR EROSION CONTROL - TO BE MAINTAINED BY KB HOME UNTIL TURN OVER TO LANDOWNER

TRYANGLE FARM LTD  
APN 305-010-11  
PTS 335613

RETAINING WALL SHOWN IS AN INTERIM GRADING CONDITION UNTIL PTS 335613 IS DEVELOPED - TYP. SYM. (SEE WALL EXHIBIT SHEET 7)

CLIMBING VINES PLANTED AT 15' O.C. AT BASE OF RETAINING WALL

PARCEL 1 OF PM 20936  
APN 305-019-017  
TM 433521  
MAP 15966



**LANDSCAPE NOTES:**

1. IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE CITY MANAGER.
2. TREE PLANTING AREAS SHALL ALLOW FOR A MINIMUM PLANTING AREA OF 40SF WITH A 5' MINIMUM INSIDE DIMENSION.
3. CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED
4. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.

**PLANTING NOTES:**

1. PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, DISEASE FREE GROWING CONDITION AT ALL TIMES.
2. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND SO ALL BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 14 FEET ABOVE THE TRAVEL WAY.
3. ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF ANY HARDSCAPE MATERIAL INCLUDING WALKS, CURBS AND PATIOS.
4. THE PLANTING PLAN SHOWN IS DIAGRAMMATIC IN NATURE AND BASED ON THE INFORMATION KNOWN TO DATE. FINAL TREE AND SHRUB LOCATIONS WILL BE ADJUSTED TO REMAIN IN ACCORDANCE WITH THE CITY OF SAN DIEGO REQUIREMENTS. TREES WILL NOT BE ALLOWED WITHIN 10 FEET OF ANY PUBLIC SEWER MAIN OR LATERALS. REQUIRED TREES WILL HAVE A MINIMUM PLANTING AREA OF 40SF WITH A MINIMUM DIMENSION OF 5 FEET.

**COMMON H.O.A. AREA SLOPE SHRUBS / GROUNDCOVER**

(40% 5 gal, 60% 1 gal. min, with flatted groundcover) such as:  
 ACACIA 'LOWBOY' / PROSTRATE ACACIA VAR.  
 ARCTOSTAPHYLOS SPP. / MANZANITA VAR.  
 BACCHARIS PILULARIS / DWARF COYOTE BUSH VAR.  
 BOUGAINVILLEA SPP. / BOUGAINVILLEA - N.C.N.  
 CEANOETHUS SPP. / CEANOETHUS VAR.  
 CISTUS PURPUREUS / ROCKROSE VAR.  
 COTONEASTER SPP. / COTONEASTER VAR.  
 HETEROMELES ARBUTIFOLIA / TOYON  
 JUNIPERUS SPP. / JUNIPERUS SPP.  
 MYOPORUM SPP. / MYOPORUM VAR.  
 RHUS OVATA / SUGAR BUSH  
 ROSMARINUS SPP. / ROSEMARY SPP.  
 TRACHELOSPERMUM JASMINOIDES / STAR JASMINE

**SITE PLAN LEGEND**

SYMBOL	DESCRIPTION
1	ARCHITECTURE PER SEPARATE PLANS BY OTHERS - TYP.
2	PROJECT BOUNDARY PER CIVIL SITE PLAN - TYP. SYM.
3	4' WIDE CONCRETE WALKWAY - TYP.
4	OPEN SPACE LAWN AREA WITH PICNIC TABLE, BENCHES & BBQ - SEE SHEET 7 FOR ENLARGEMENT
5	3' WIDE CONCRETE UNIT ENTRY WALKWAY, NATURAL GREY WITH LIGHT BROOM FINISH - TYP. SYM.
6	EXISTING STREETScape / SIDEWALK PER DWG. NO. 32477-D
7	CITY SIDEWALK PER CIVIL PLANS - TYP.
8	DRIVELANE PLANTER POCKETS WITH VERTICAL HEDGE SHRUBS
9	OPEN SPACE LAWN & TOT LOT AREA WITH PICNIC TABLE, BBQ, BENCHES & TOT PLAY STRUCTURE - SEE SHEET 7 FOR ENLARGEMENT
10	DECORATIVE PERMEABLE PAVERS IN DRIVELANE - TYP. SYM.
11	DECORATIVE SCREEN WALL WITH TRELIS AND ENTRY GATE - SEE SHEET 8 FOR ENLARGEMENT
12	COMMUNITY ENTRY MONUMENT WITH DATE PALMS - SEE SHEET 8 FOR ENLARGEMENT
13	UNIT ENTRY WITH STEPS PER ARCHITECTURE PLANS - TYP. FOR UNITS ALONG PACIFIC PLACE
14	PEDESTRIAN CROSSWALKS AND ADA RAMPS PER CIVIL PLANS - TYP.
15	DRIVEWAY PLANTER POCKET WITH TALL VERTICAL SHRUB - TYP.

**PROPOSED PLANT PALETTE**

SYMBOL	BOTANICAL NAME / COMMON NAME
<b>STREET TREES (24" BOX)</b>	
[Symbol]	JACARANDA MIMOSIFOLIA / JACARANDA MAGNOLIA GRANDIFLORA / MAGNOLIA VAR. PLATANUS SPP. / SYCAMORE VAR. RHUS LANCEA / AFRICAN SUMAC
<b>MULTI TRUNK TREES (36" - 48" BOX)</b>	
[Symbol]	BAUHINIA PURPUREA / PURPLE ORCHID TREE METROSIDEROS EXCELSUS / NEW ZEALAND CHRISTMAS TREE MAGNOLIA G. 'RUSSET' / RUSSET MAGNOLIA OLEA 'WILSONII' / FRUITLESS OLIVE SPP.
<b>SLOPE TREES (15 GAL - 24" BOX)</b>	
[Symbol]	PINUS ELДАРICA / AFGHAN PINE PLATANUS SPP. / SYCAMORE VAR. QUERCUS AGRIFOLIA / COAST LIVE OAK RHUS LANCEA / AFRICAN SUMAC SCHINUS MOLLE / CALIFORNIA PEPPER TREE
<b>ACCENT TREES (24" - 36" BOX)</b>	
[Symbol]	ARBUTUS UNEDO / STRAWBERRY TREE ERIOBOTRYA DEFLEXA / BRONZE LOQUAT LAGERSTROEMIA INDICA / CRAPE MYRTLE VAR. PRUNUS CERASIFERA / PURPLE LEAF PLUM
<b>PALM ACCENT TREES (MIN. 10' BTH)</b>	
[Symbol]	PHOENIX DACTYLIFERA / DATE PALM
<b>VERTICAL ACCENT TREES (15 GAL - 36" BOX)</b>	
[Symbol]	BRAHEA ARMATA / MEXICAN BLUE PALM BUTIA CAPITATA / PINO PALM CUPRESSUS SEMPERVIRENS / ITALIAN CYPRESS PYRUS CALLERYANA / BRADFORD PEAR SYAGRUS ROMANOFFZIANUM / QUEEN PALM TRISTANIA LAURINA / BRISBANE BUSH
<b>DRIVELANE VERTICAL ACCENT SHRUB (100% - 15 GAL)</b> (PLANTED AT GARAGES, NO SYMBOL SHOWN ON PLANS)	
[Symbol]	NANDINA DOMESTICA / HEAVENLY BAMBOO PRUNUS C. 'BRIGHT N TIGHT' / CAROLINA CHERRY PODOCARPUS MAKI / FERN PINE
[Symbol]	TURF - MARATHON IIE SOD
<b>COMMON H.O.A. AREA SHRUBS / VINES / GROUNDCOVER</b> (40% 5 gal, 60% 1 gal. min, with flatted groundcover) such as:	
[Symbol]	AGAPANTHUS AFRICANUS / LILY OF THE NILE ARBUTUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE BOUGAINVILLEA SPP. / BOUGAINVILLEA - N.C.N. BUXUS SPP. / BOXWOOD SPP. CALLISTEMON 'LITTLE JOHN' / BOTTLE BRUSH SPP. DIANELLA SPP. / FLAX LILY VAR. DIETES SPP. / FORTNIGHT LILY DODONEA V. 'PURPUREA' / HOPSEED BUSH ELAEAGNUS P. VARIEGATA / SILVERBERRY VAR. ESCALLONIA SPP. / ESCALLONIA - N.C.N. FESTUCA SPP. / BLUE FESCUE VAR. GAZANIA SPP. / GAZANIA - N.C.N. GELSEMIUM SEMPERVIRENS / CAROLINA JESSAMINE GREVILLEA LANIGERA / GREVILLEA - N.C.N. GREVIA OCCIDENTALIS / LAVENDER STARFLOWER HEMEROCALLIS SPP. / DAYLILY SPP. JUNIPERUS SPP. / JUNIPERUS SPP. KNIPHOFIA UVARIA / RED HOT POKER LIGUSTRUM J. 'TEXANUM' / JAPANESE PRIVET MYRTUS COMMUNIS / MYRTLE VAR. MUHLENBERGIA SPP. / DEER GRASS VAR. NANDINA SPP. / HEAVENLY BAMBOO PHORMIUM SPP. / NEW ZEALAND FLAX SPP. PITTIOSPORUM SPP. / PITTIOSPORUM SPP. RHAPHIOLEPIS SPP. / INDIAN HAWTHORN VAR. ROSMARINUS SPP. / ROSEMARY SPP. TRACHELOSPERMUM JASMINOIDES / STAR JASMINE
<b>COMMON H.O.A. AREA CLIMBING VINES FOR WALLS</b> (100% 5 gal. min.) such as:	
[Symbol]	FIGUS PUMILA / CLIMBING FIG GELSEMIUM SEMPERVIRENS / CAROLINA JESSAMINE JASMINUM POLYANTHEMUM / PINK JASMINE MACFADYENA UNGUIS-CATI / CAT'S CLAW

Prepared By:  
 Name: WEILAND & ASSOCIATES, INC.  
 LANDSCAPE ARCHITECTURE  
 Address: 5575 LAKE PARK WAY, SUITE 211  
SAN DIEGO, CA 91942  
 Phone #: (619) 742-0209  
 Fax #: (619) 303-6831

Project Address:  
INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name:  
LATERA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title:  
OVERALL LANDSCAPE CONCEPT  
PLAN

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 04/28/2016

Original Date: 9/15/2014

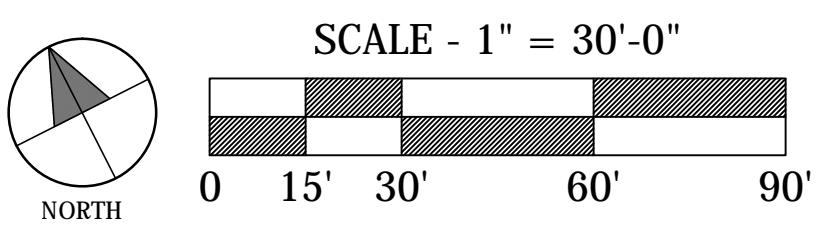
Sheet 5 of 22

DEP# \_\_\_\_\_

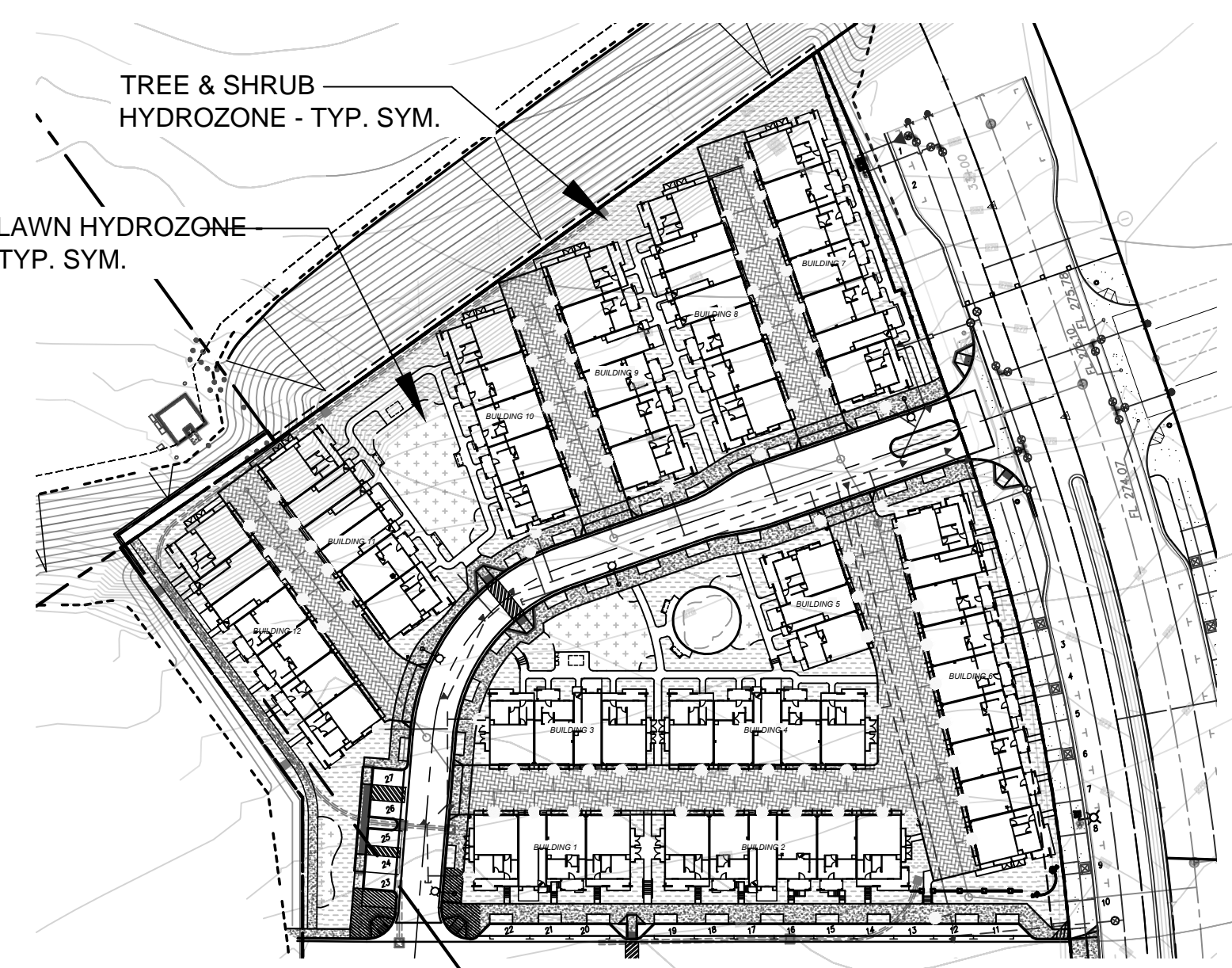
TABLE 142-04E  
MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.)	10 FEET
DRIVEWAYS*	10 FEET / *5 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

\*LOCATED ALONG RESIDENTIAL STREETS RATED AT 25MPH OR LOWER



WEILAND & ASSOCIATES, INC.  
 LANDSCAPE ARCHITECTURE - CONSTRUCTION MANAGEMENT  
 5575 LAKE PARK WAY, SUITE 211 SAN DIEGO, CA 91942  
 P (619) 742-0209 F (619) 303-6831  
 EMAIL - JOMALLEY@WAI-INC.COM



**WAI Water Budget Calculations**

**Maximum Applied Water Allowance**

MAWA = (Eto) (0.7) (LA) (0.62)

Eto 44.87  
LA 36,818  
**MAWA 716,978**

**Shrub Estimated Annual Water Use**

EAWU = (Eto) (PF) (HA) (0.62) / (IE)

Eto 44.87  
PF 0.4  
HA 31,702  
IE 0.9  
**EAWU 391,969 (Shrub)**

**Turf Estimated Annual Water Use**

EAWU = (Eto) (PF) (HA) (0.62) / (IE)

Eto 44.87  
PF 0.8  
HA 5,116  
IE 0.9  
**EAWU 126,510 (Turf)**

**Total EAWU 518,479**

TABLE 142-04E  
MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.)	10 FEET
DRIVEWAYS*	10 FEET / *5 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

\*LOCATED ALONG RESIDENTIAL STREETS RATED AT 25MPH OR LOWER

VEHICULAR USE AREA NOTES:

- ALL REQUIRED PARKING FOR RESIDENTIAL UNITS IS ENCLOSED WITHIN GROUND LEVEL GARAGES. ON-STREET PARKING PROVIDES FOR (1) CANOPY TREE WITHIN 30-FT OF EACH PARKING STALL, TYP.

**City of San Diego Landscape Calculations**

**Street Yard - Village Center Loop Road**

Total Area 6,170 sf

Required Planting Area 3,085 sf  
(Total Area) x 50%

Planting Area Provided 4,849 sf  
% of Total Area 79%

Required Planting Points (Total Area) x 0.05 309 pts

Planting Points Provided 380 pts  
Plant Points Achieved with Trees Only - (19) 24" Box Trees

**Street Yard - Private Road**

Total Area 14,081 sf

Required Planting Area 7,041 sf  
(Total Area) x 50%

Planting Area Provided 9,343 sf  
% of Total Area 66%

Required Planting Points (Total Area) x 0.05 704 pts

Planting Points Provided 820 pts  
Plant Points Achieved with Trees Only  
(17) - 15 gal. Trees  
(20) - 24" Box Trees  
(5) - 36" Box Trees

**Street Yard - Pacific Place**

Total Area 3,274 sf

Required Planting Area 1,637 sf  
(Total Area) x 50%

Planting Area Provided 2,637 sf  
% of Total Area 81%

Required Planting Points (Total Area) x 0.05 164 pts

Planting Points Provided 280 pts  
Plant Points Achieved with Trees Only  
(5) - 15 gal. Trees  
(7) - 24" Box Trees  
(3) - 10' BTH Broad Headed Feather Palm Trees

**Remaining Yard**

Plant Points Required 60 pts. Per Building 720 pts

Points Achieved with Trees 920 pts  
(At least 50%)

HYDROZONE EXHIBIT

SCALE 1" = 80'-0"

RETAINING WALL SHOWN IS AN INTERIM GRADING CONDITION UNTIL PTS 335613 IS DEVELOPED - TYP. SYM. (SEE WALL EXHIBIT SHEET 7)

LIMIT OF GRADING PER CIVIL PLANS - TYP.

- STREET TREE NOTES:**
- STREET TREES SHALL BE LOCATED NO CLOSER THAN 30 INCHES TO THE FACE OF CURB.
  - STREET TREES SHALL BE SEPARATED FROM IMPROVEMENTS BY THE MINIMUM DISTANCE SHOWN IN TABLE 142-04E.
  - STREET TREES SHALL BE A MINIMUM OF 24" BOX SIZE AND SHALL HAVE A MINIMUM OF 40 SQUARE FEET ROOT ZONE AREA. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET.

**Street Trees**  
(Per SDMC 142.0409 (1) Street Tree required for every 30' of Street Frontage)

**Existing Village Center Loop Road**

Street Trees Required 5  
Street Trees Provided 5

**Pacific Place**

Street Trees Required 12  
Street Trees Provided 12

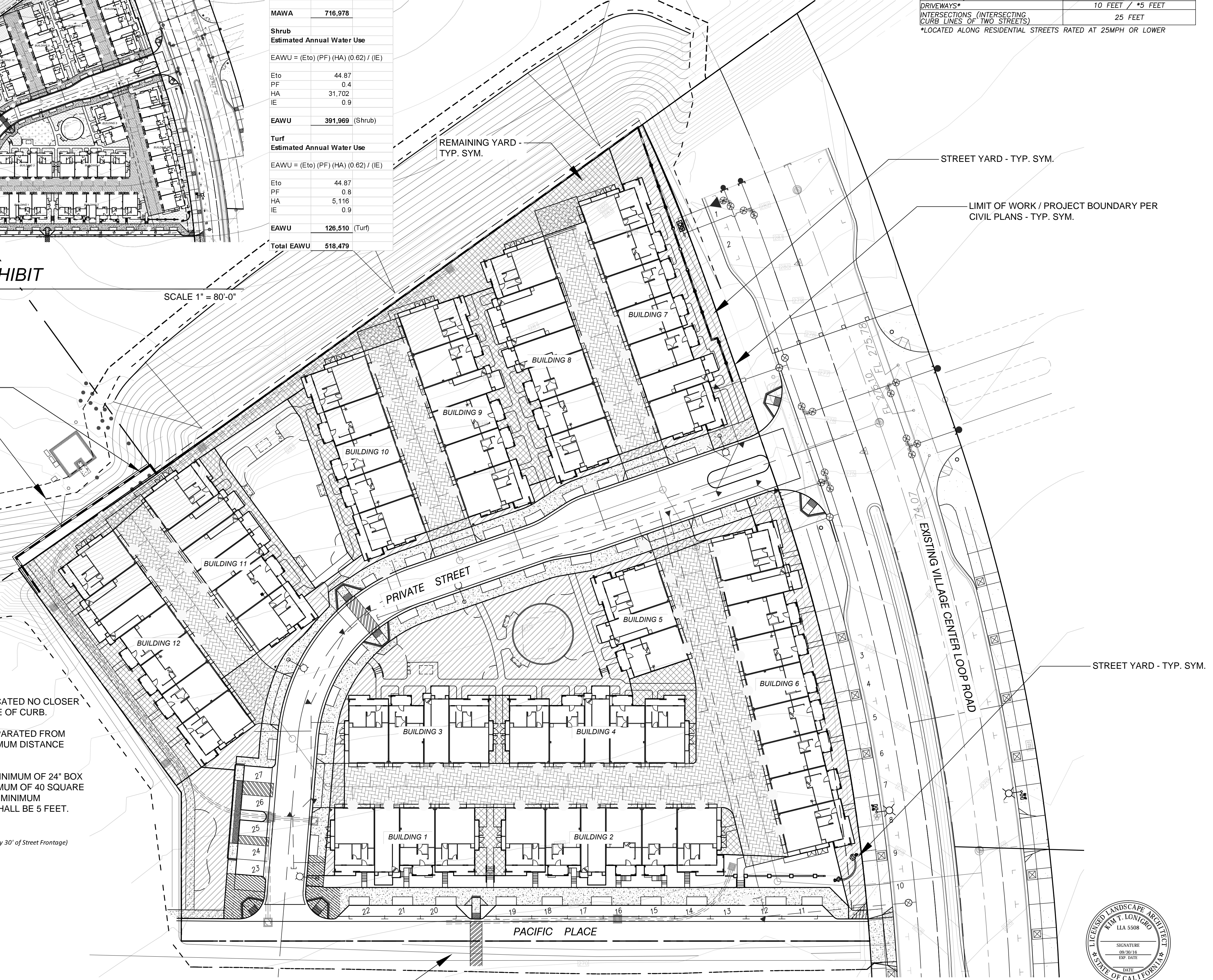
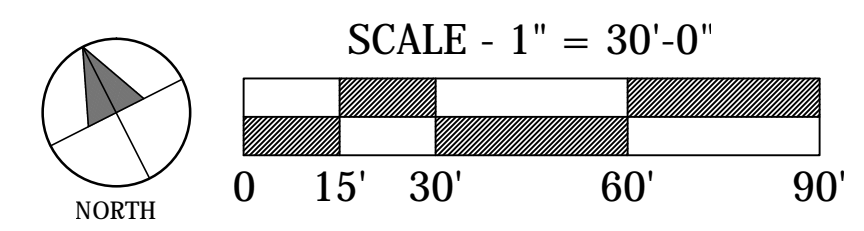
**Private Street**

Street Trees Required 23  
Street Trees Provided 23

LIMIT OF WORK / PROJECT BOUNDARY PER CIVIL PLANS - TYP. SYM.

LANDSCAPE CALCULATIONS EXHIBIT

SCALE 1" = 30'-0"



WEILAND & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE - CONSTRUCTION MANAGEMENT  
5575 LAKE PARK WAY, SUITE 211 SAN DIEGO, CA 91942  
P (619) 742-0209 F (619) 303-6831  
EMAIL: JOMALLEY@WAI-INC.COM

Prepared By: WEILAND & ASSOCIATES, INC.  
Name: LANDSCAPE ARCHITECTURE  
Address: 5575 LAKE PARK WAY, SUITE 211 SAN DIEGO, CA 91942  
Phone #: (619) 742-0209  
Fax #: (619) 303-6831

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT PACIFIC HIGHLANDS RANCH

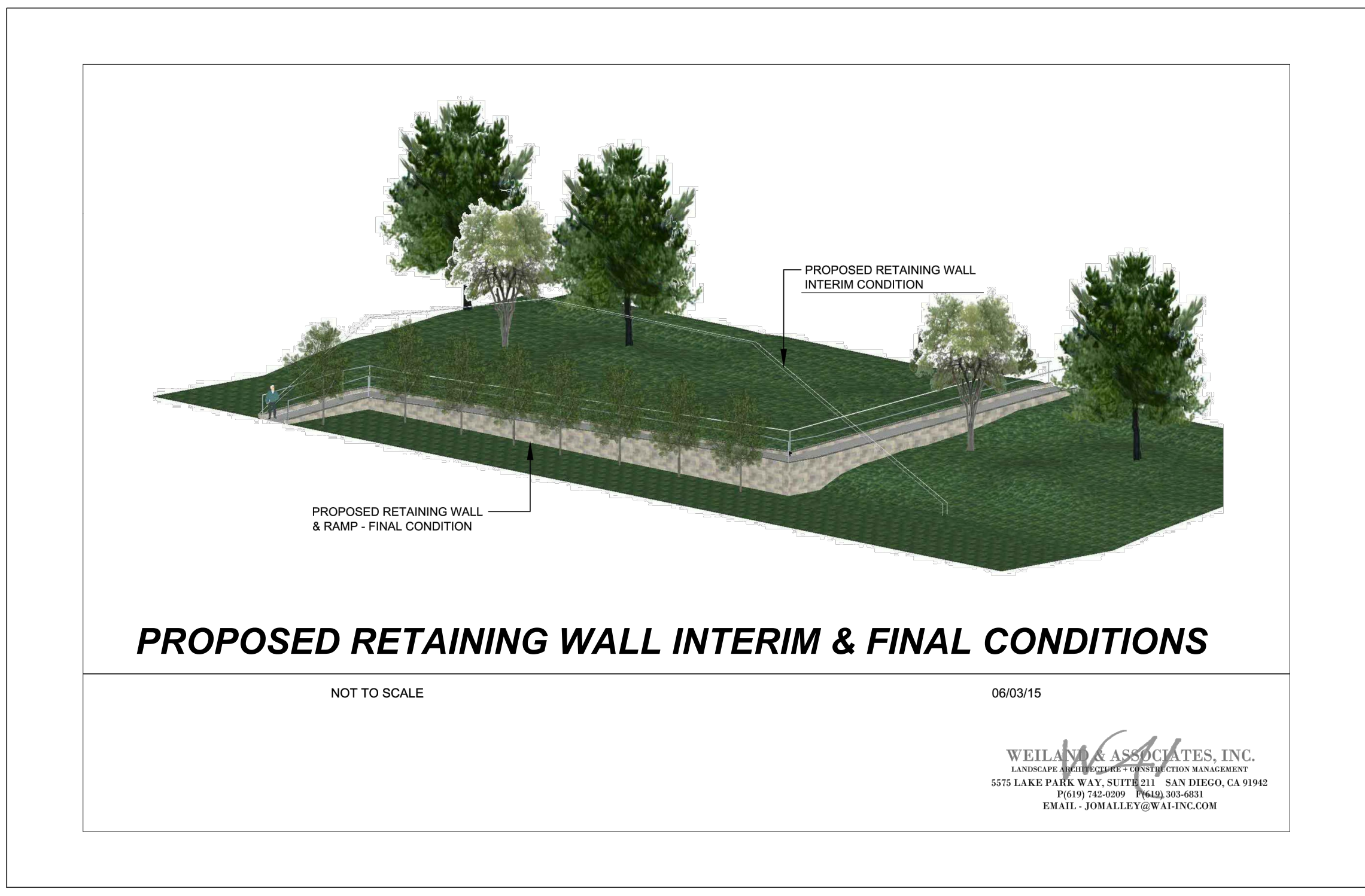
Sheet Title: LANDSCAPE CALCULATIONS  
PLAN

Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 2: \_\_\_\_\_  
Revision 1: 04/28/2016

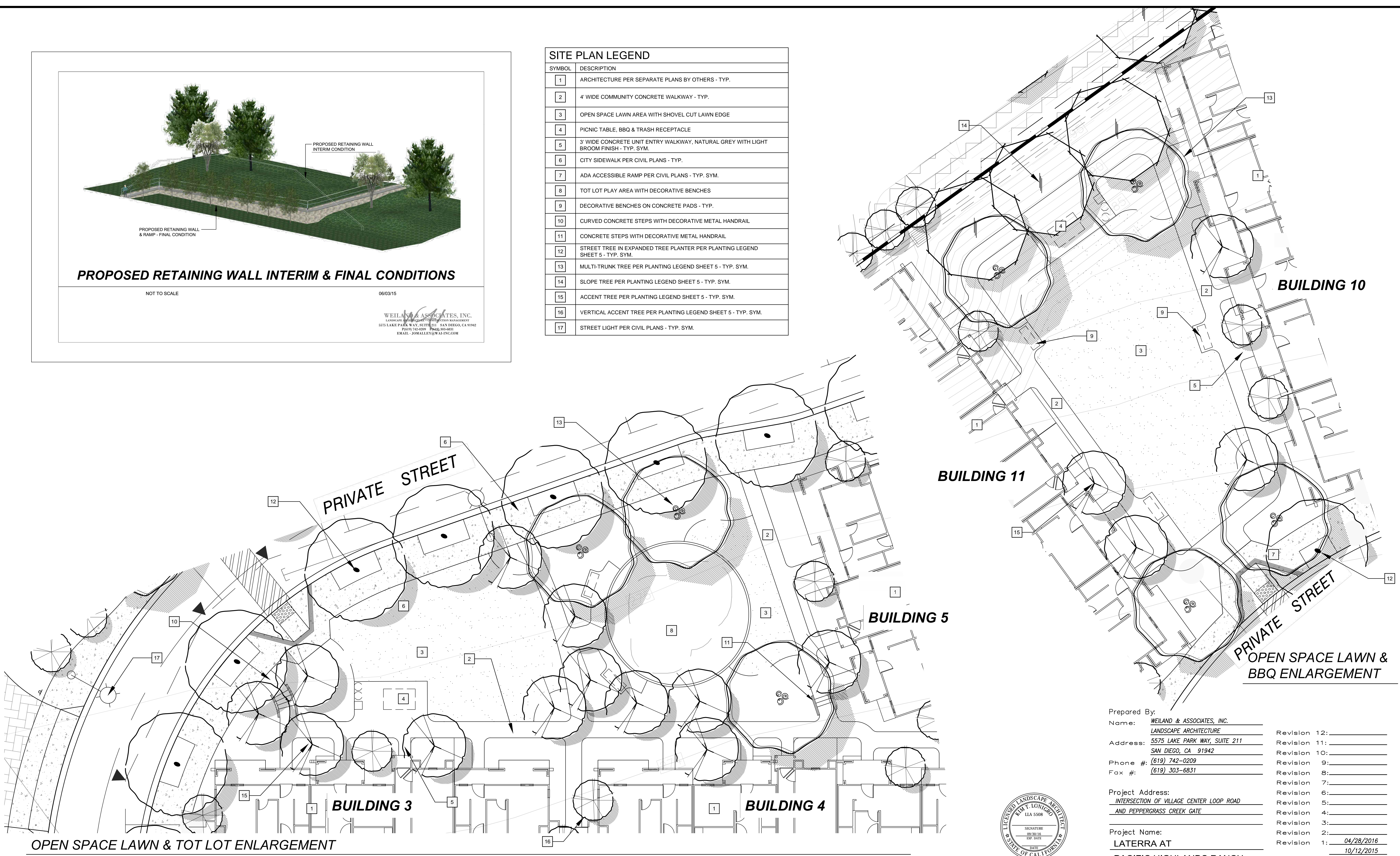
Original Date: 9/15/2014

Sheet 6 of 22

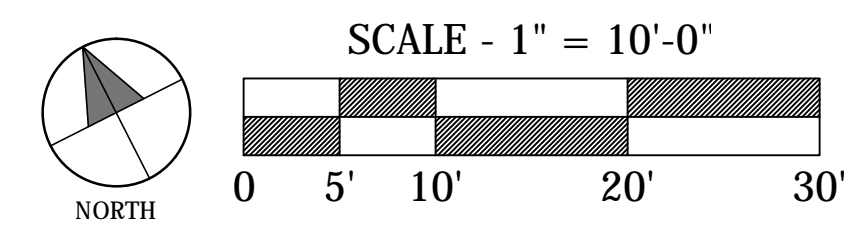
DEP# \_\_\_\_\_



SYMBOL	DESCRIPTION
1	ARCHITECTURE PER SEPARATE PLANS BY OTHERS - TYP.
2	4' WIDE COMMUNITY CONCRETE WALKWAY - TYP.
3	OPEN SPACE LAWN AREA WITH SHOVEL CUT LAWN EDGE
4	PICNIC TABLE, BBQ & TRASH RECEPTACLE
5	3' WIDE CONCRETE UNIT ENTRY WALKWAY, NATURAL GREY WITH LIGHT BROOM FINISH - TYP. SYM.
6	CITY SIDEWALK PER CIVIL PLANS - TYP.
7	ADA ACCESSIBLE RAMP PER CIVIL PLANS - TYP. SYM.
8	TOT LOT PLAY AREA WITH DECORATIVE BENCHES
9	DECORATIVE BENCHES ON CONCRETE PADS - TYP.
10	CURVED CONCRETE STEPS WITH DECORATIVE METAL HANDRAIL
11	CONCRETE STEPS WITH DECORATIVE METAL HANDRAIL
12	STREET TREE IN EXPANDED TREE PLANTER PER PLANTING LEGEND SHEET 5 - TYP. SYM.
13	MULTI-TRUNK TREE PER PLANTING LEGEND SHEET 5 - TYP. SYM.
14	SLOPE TREE PER PLANTING LEGEND SHEET 5 - TYP. SYM.
15	ACCENT TREE PER PLANTING LEGEND SHEET 5 - TYP. SYM.
16	VERTICAL ACCENT TREE PER PLANTING LEGEND SHEET 5 - TYP. SYM.
17	STREET LIGHT PER CIVIL PLANS - TYP. SYM.



WEILAND & ASSOCIATES, INC.  
 LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT  
 5575 LAKE PARK WAY, SUITE 211 SAN DIEGO, CA 91942  
 P(619) 742-0209 F(619) 303-6831  
 EMAIL: JOMALLEY@WAI-INC.COM



Prepared By: WEILAND & ASSOCIATES, INC.  
 Name: LANDSCAPE ARCHITECTURE  
 Address: 5575 LAKE PARK WAY, SUITE 211 SAN DIEGO, CA 91942  
 Phone #: (619) 742-0209  
 Fax #: (619) 303-6831

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT PACIFIC HIGHLANDS RANCH

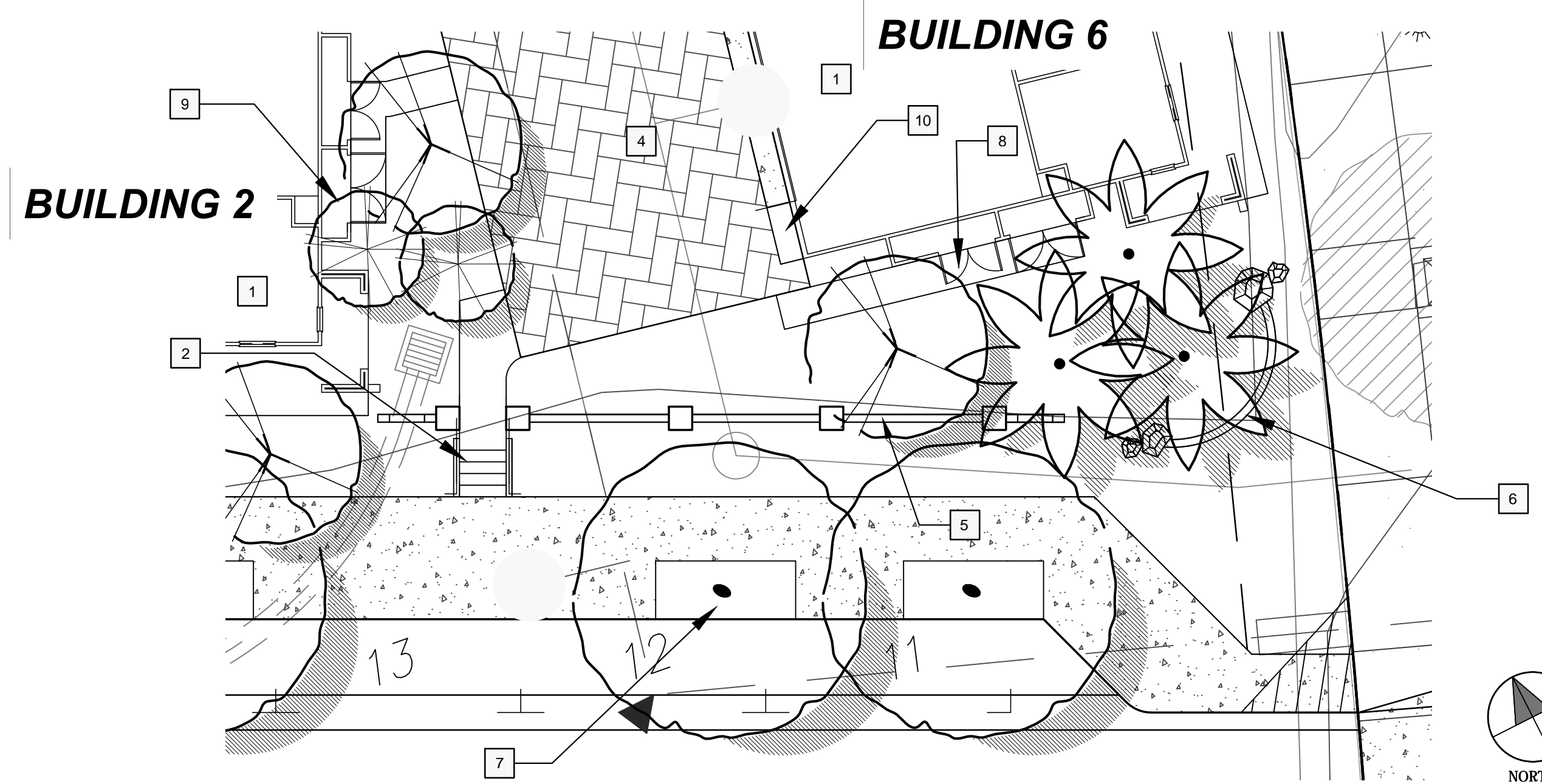
Sheet Title: LANDSCAPE PLAN ENLARGEMENTS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 04/28/2016  
 10/12/2015

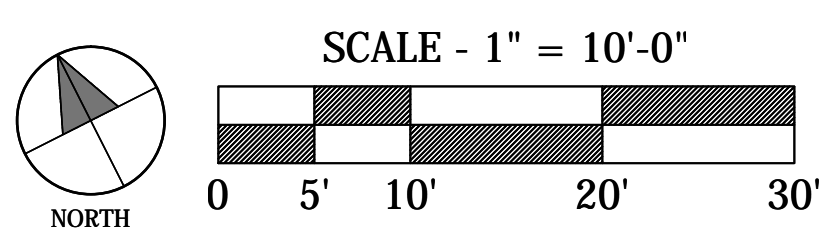
Original Date: 9/15/2014

Sheet 7 of 22

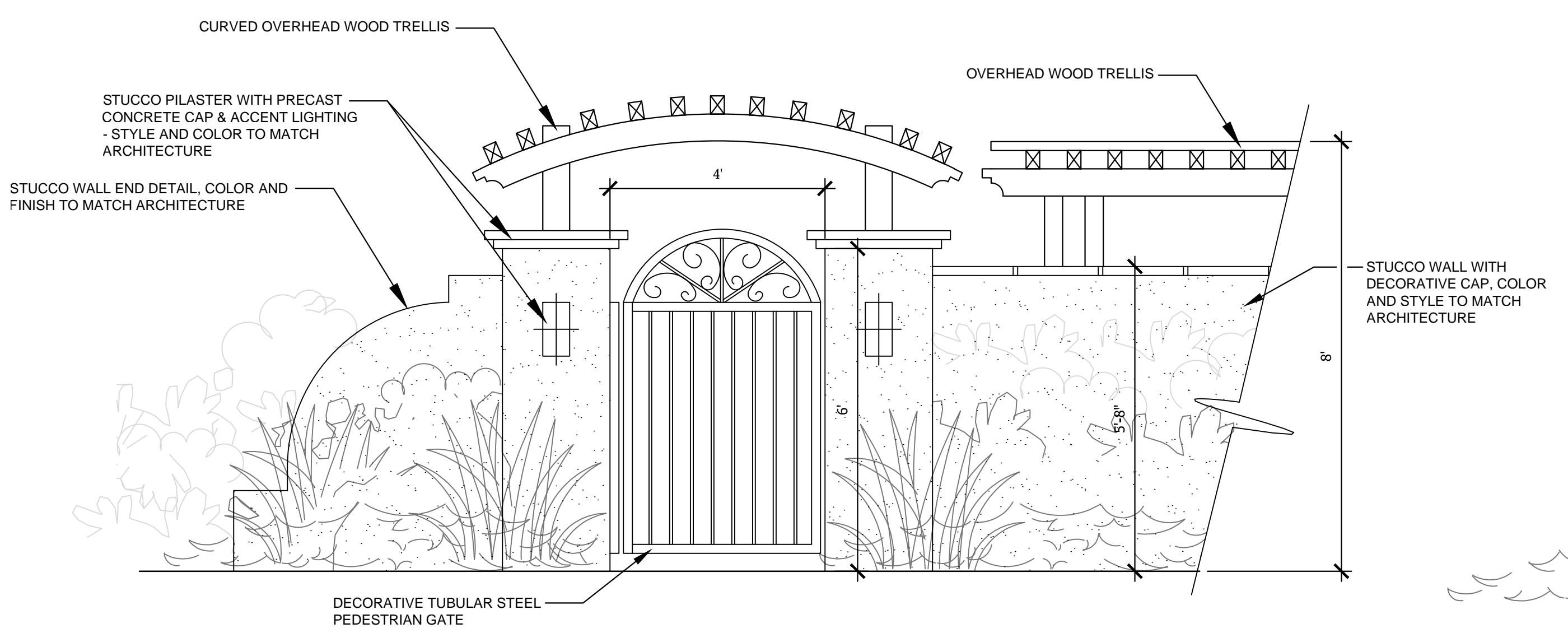
DEP# \_\_\_\_\_



SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
1	ARCHITECTURE PER SEPARATE PLANS BY OTHERS - TYP.
2	4' WIDE COMMUNITY CONCRETE WALKWAY WITH CONCRETE STEPS & DECORATIVE METAL HANDRAILS - TYP.
3	CITY SIDEWALK PER CIVIL PLANS - TYP.
4	DECORATIVE PERMEABLE PAVERS IN DRIVELANE - TYP. SYM.
5	DECORATIVE STUCCO SCREEN WALL WITH WOOD TRELLIS AND PEDESTRIAN GATE - SEE ELEVATION THIS SHEET
6	COMMUNITY STUCCO & STONE ENTRY MONUMENT WITH BOULDERS - SEE ELEVATION THIS SHEET
7	STREET TREE IN EXPANDED TREE PLANTER PER PLANTING LEGEND SHEET 5 - TYP. SYM.
8	ACCENT TREE PER PLANTING LEGEND SHEET 5 - TYP. SYM.
9	VERTICAL ACCENT TREE PER PLANTING LEGEND SHEET 5 - TYP. SYM.
10	DRIVEWAY PLANTER POCKET WITH TALL VERTICAL SHRUB - TYP.

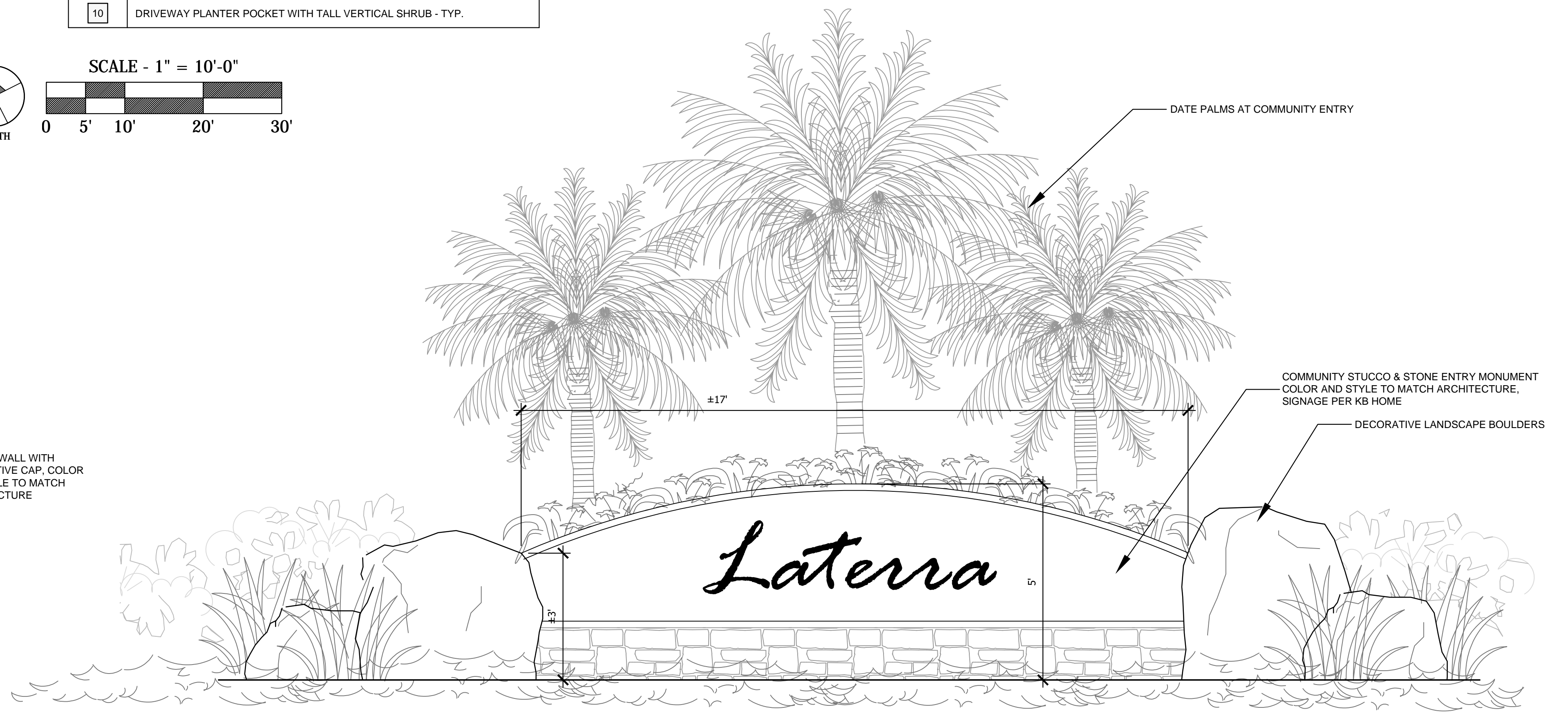


**ENTRY MONUMENT & SCREEN WALL ENLARGEMENT**



**DECORATIVE SCREEN WALL & PEDESTRIAN GATE ELEVATION**

NOT TO SCALE



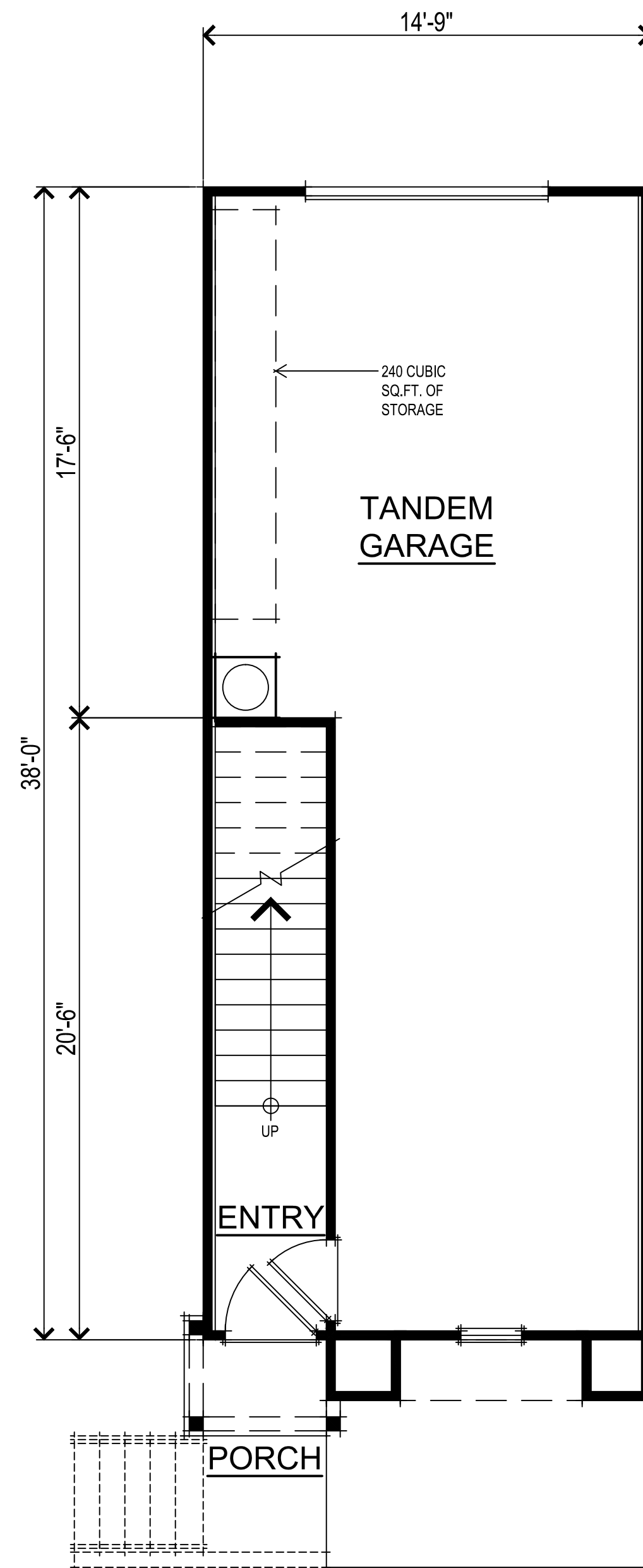
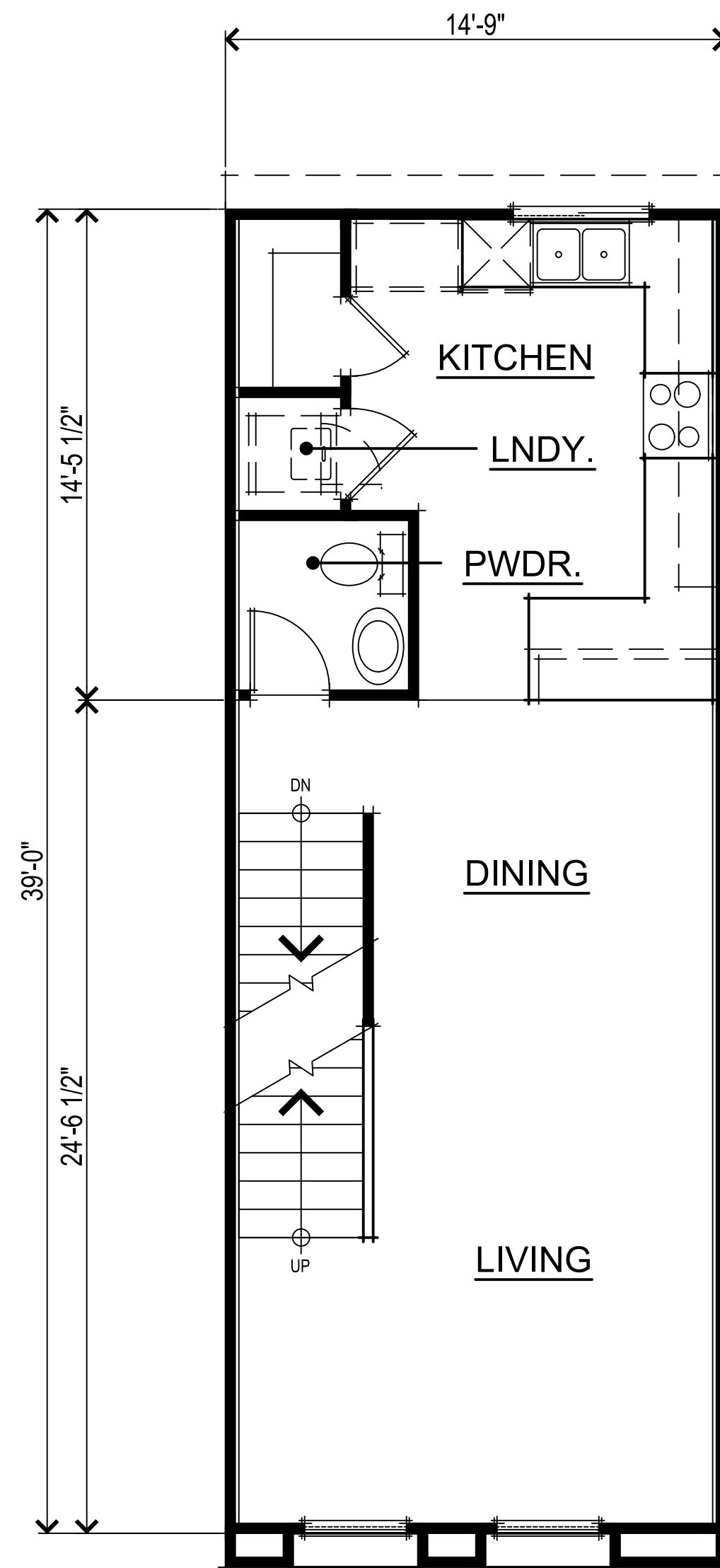
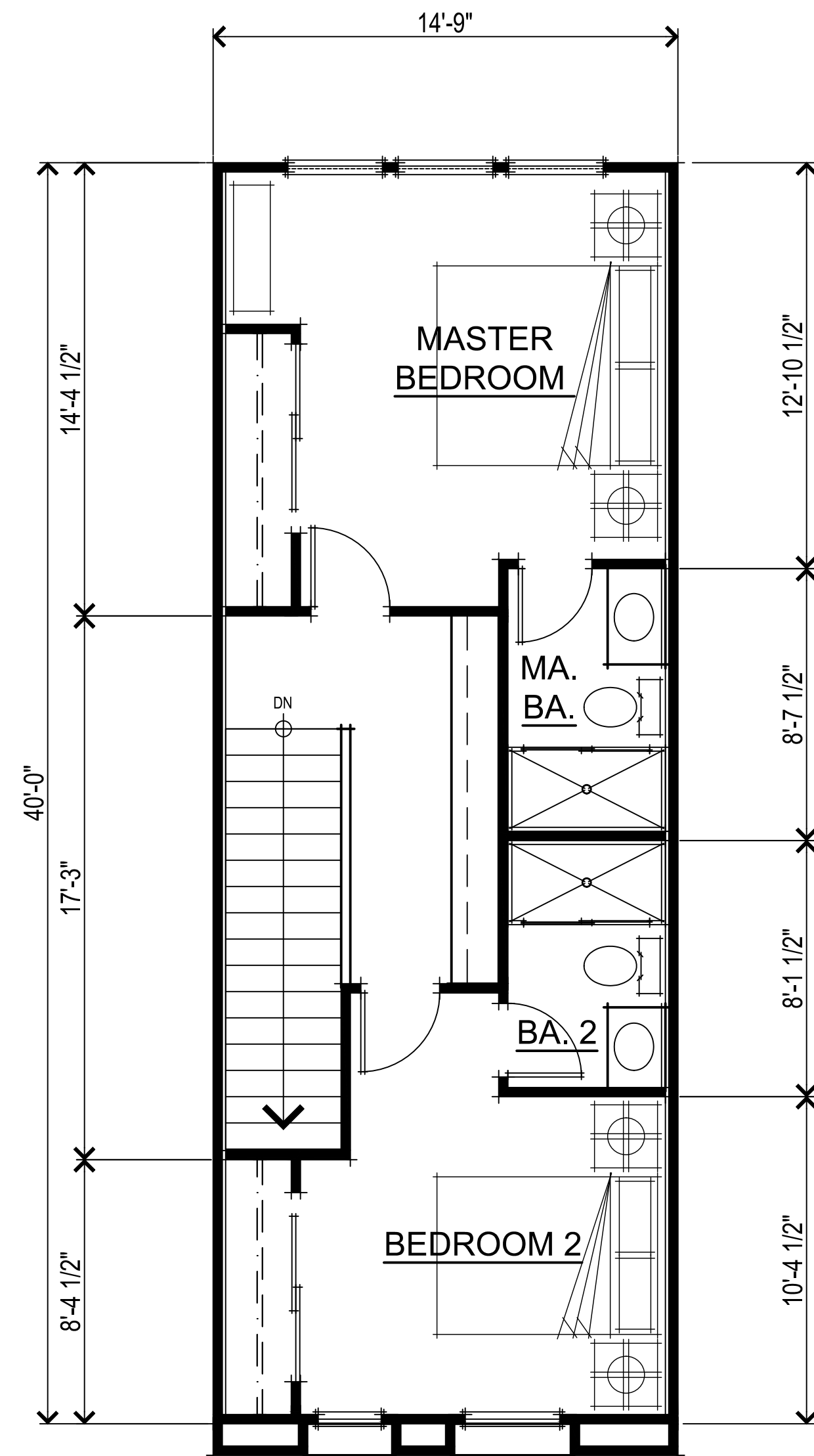
**ENTRY MONUMENT ELEVATION**

NOT TO SCALE

Prepared By:	<u>WEILAND &amp; ASSOCIATES, INC.</u>	Revision 12: _____
Name:	<u>LANDSCAPE ARCHITECTURE</u>	Revision 11: _____
Address:	<u>5575 LAKE PARK WAY, SUITE 211</u>	Revision 10: _____
	<u>SAN DIEGO, CA 91942</u>	Revision 9: _____
Phone #:	<u>(619) 742-0209</u>	Revision 8: _____
Fax #:	<u>(619) 303-6831</u>	Revision 7: _____
Project Address:	<u>INTERSECTION OF VILLAGE CENTER LOOP ROAD</u>	Revision 6: _____
	<u>AND PEPPERGRASS CREEK GATE</u>	Revision 5: _____
Project Name:	<u>LATERRA AT</u>	Revision 4: _____
	<u>PACIFIC HIGHLANDS RANCH</u>	Revision 3: _____
		Revision 2: _____
		Revision 1: <u>04/28/2016</u>
		<u>10/12/2015</u>
		Original Date: <u>9/15/2014</u>
Sheet Title:	<u>LANDSCAPE PLAN</u>	Sheet <u>8</u> of <u>22</u>
	<u>ENLARGEMENTS</u>	DEP# _____

**WEILAND & ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTURE • CONSTRUCTION MANAGEMENT  
 5575 LAKE PARK WAY, SUITE 211 SAN DIEGO, CA 91942  
 P(619) 742-0209 F(619) 303-6831  
 EMAIL: JOMALLEY@WAI-INC.COM





UNIT 1	
SQUARE FOOTAGES	
FIRST FLOOR	82 SQ. FT.
SECOND FLOOR	524 SQ. FT.
THIRD FLOOR	590 SQ. FT.
TOTAL LIVING	1196 SQ. FT.
TANDEM GARAGE	478 SQ. FT.
PORCH	86 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title: UNIT 1 FLOOR PLANS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014

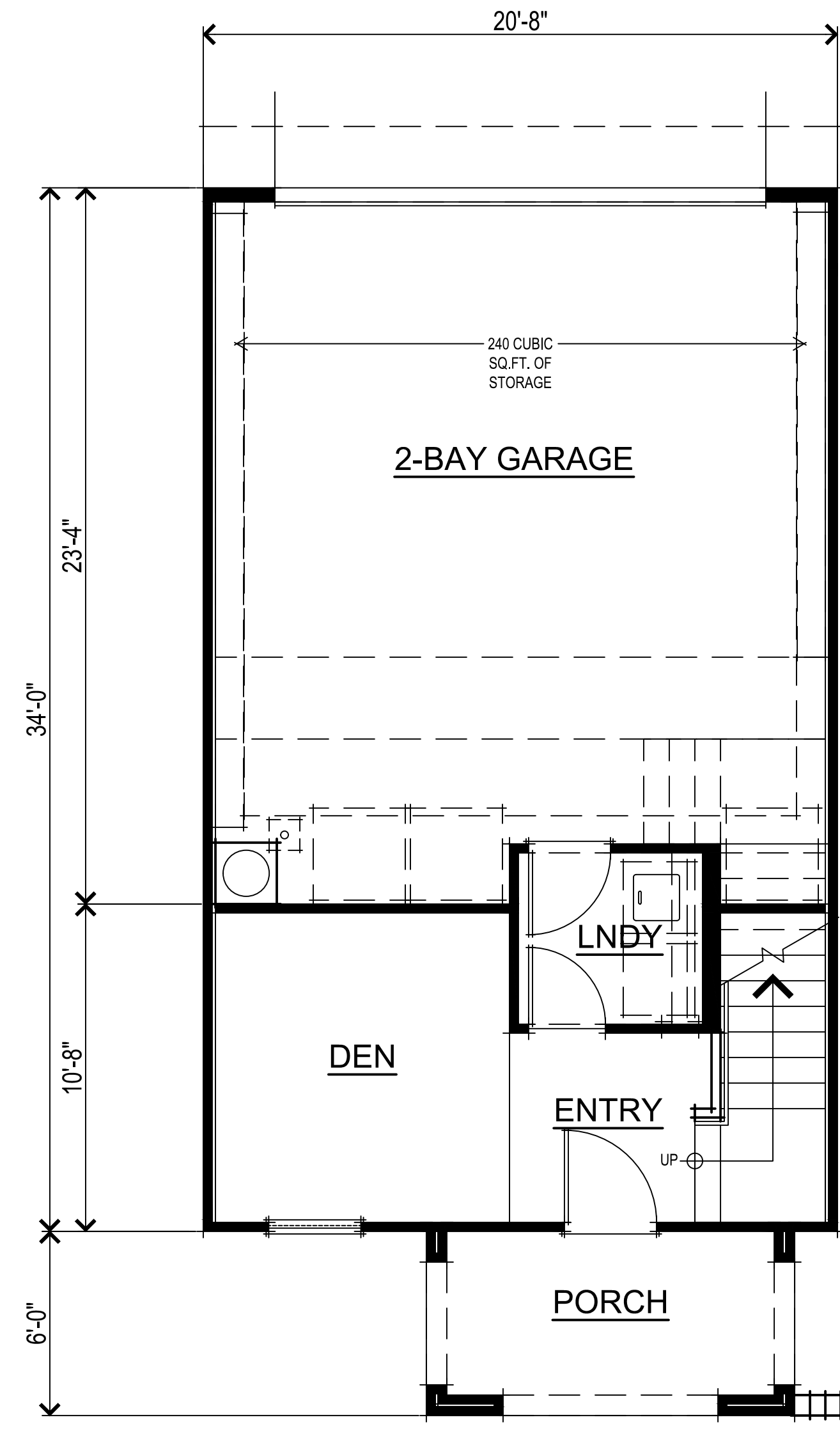
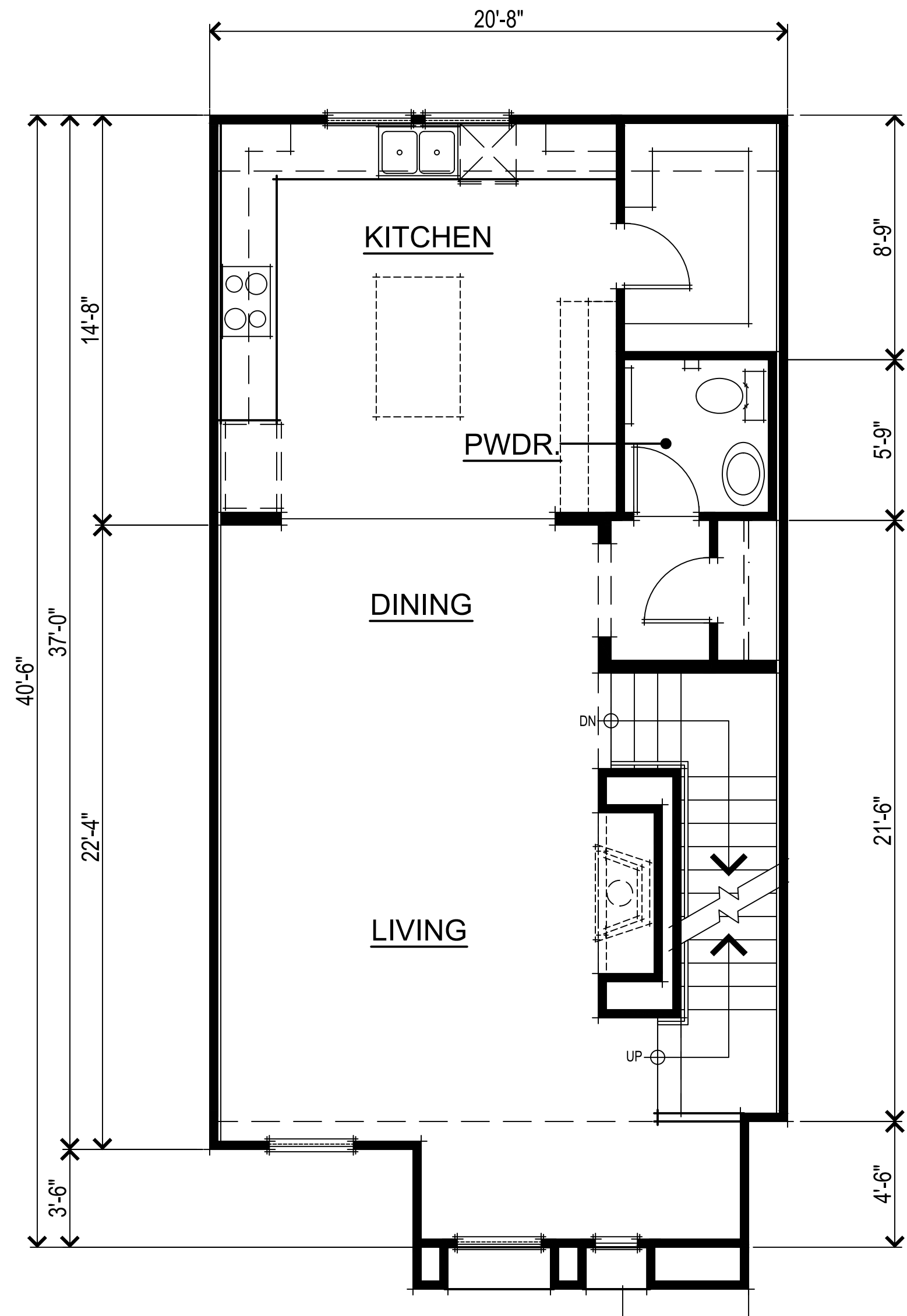
Sheet 9 of 22

DEP# \_\_\_\_\_



3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com





UNIT 2	
SQUARE FOOTAGES	
FIRST FLOOR	234 SQ. FT.
SECOND FLOOR	805 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1793 SQ. FT.
2-BAY GARAGE	469 SQ. FT.
PORCH	72 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

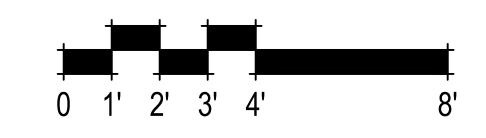
Sheet Title: UNIT 2 FLOOR PLANS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014

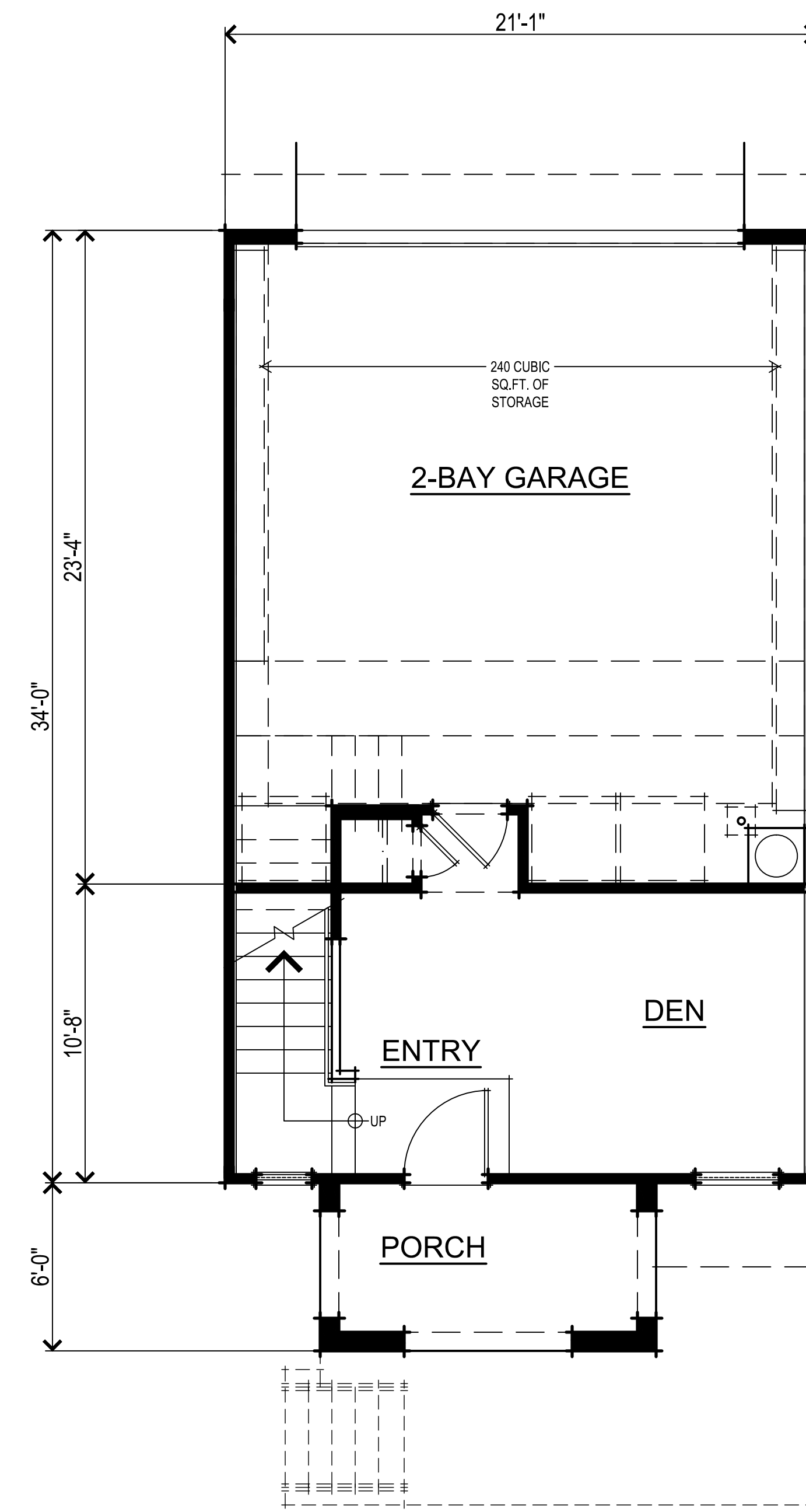
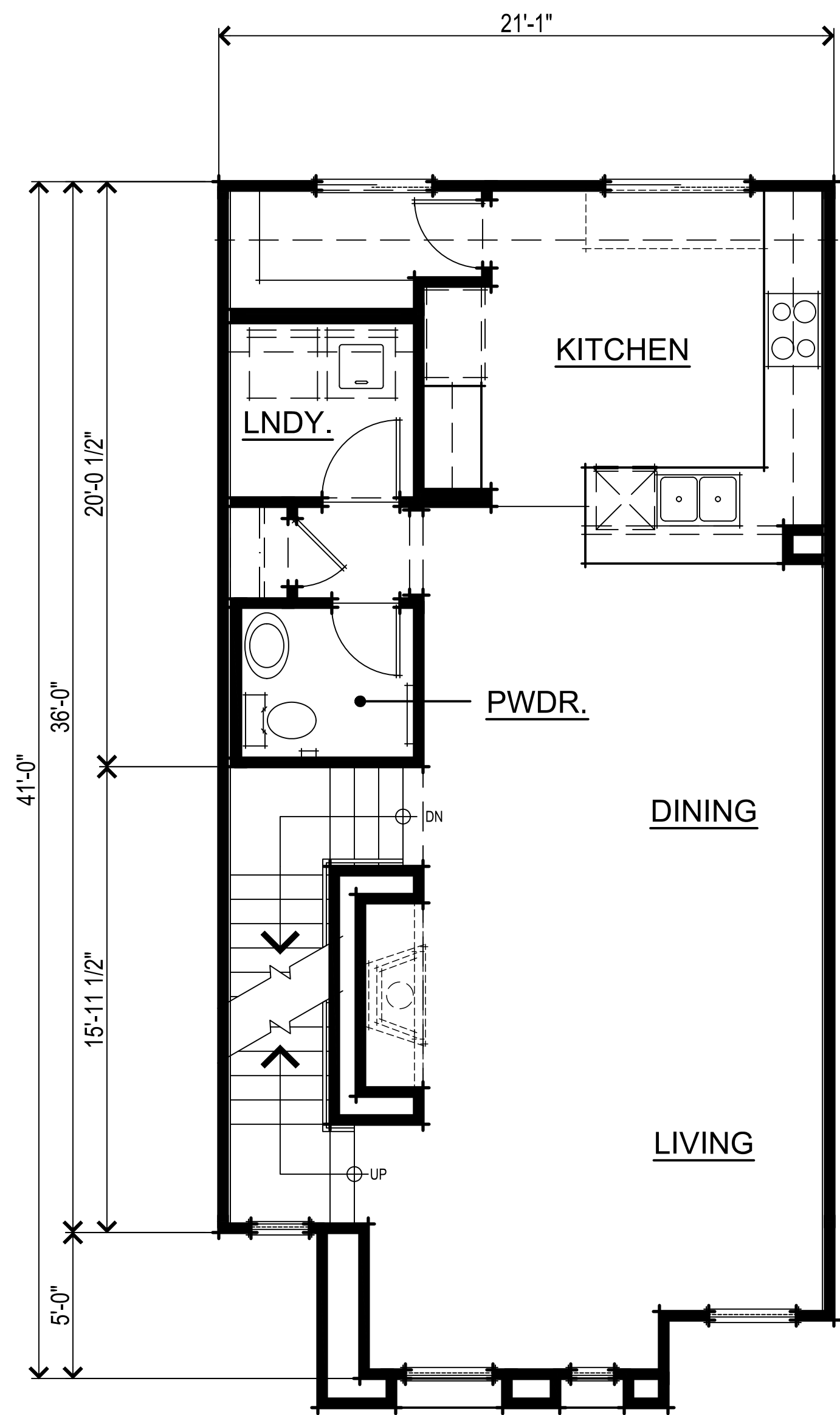
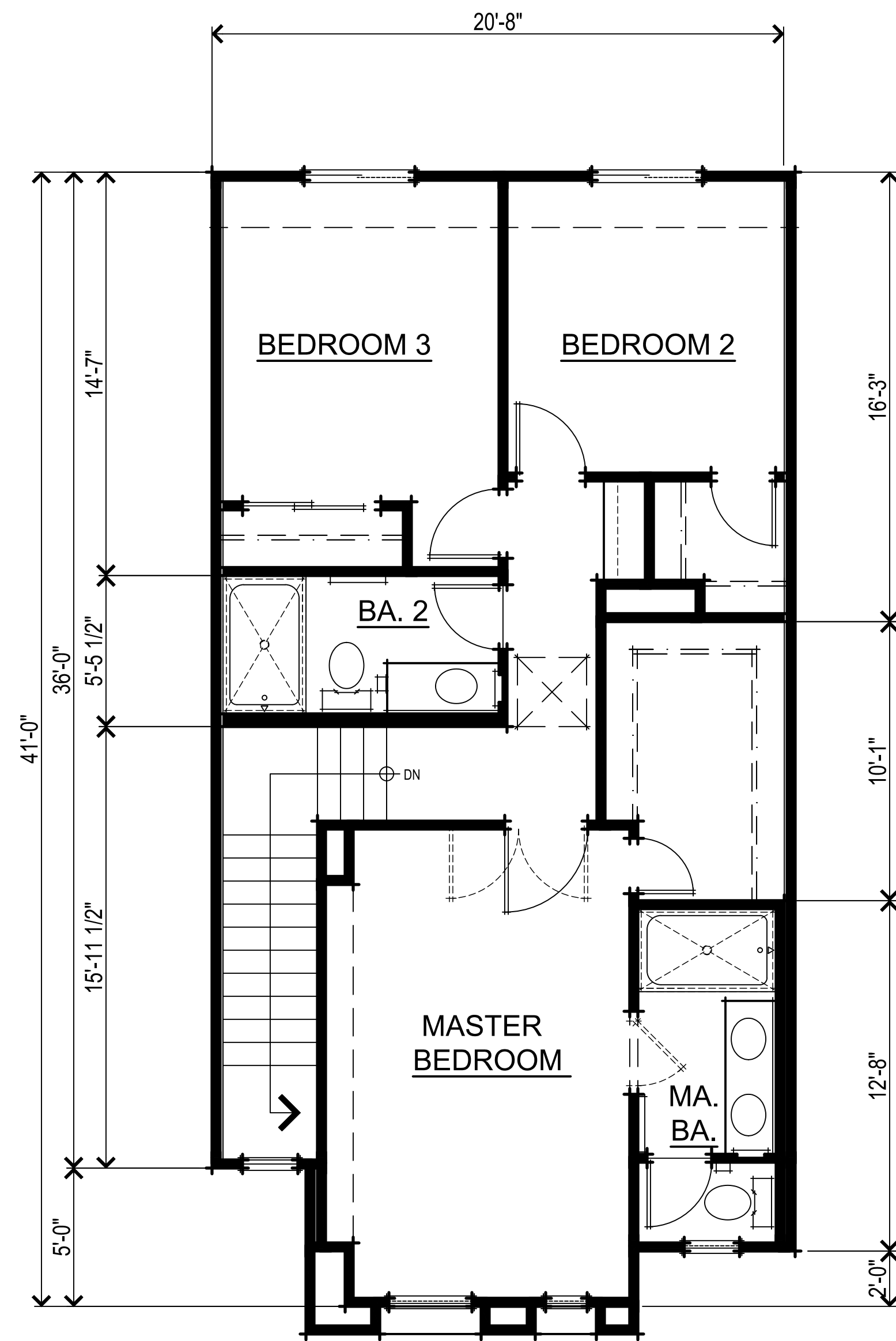
Sheet 10 of 22

DEP# \_\_\_\_\_



3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com





UNIT 3	
SQUARE FOOTAGES	
FIRST FLOOR	244 SQ. FT.
SECOND FLOOR	829 SQ. FT.
THIRD FLOOR	784 SQ. FT.
TOTAL LIVING	1857 SQ. FT.
2-BAY GARAGE	472 SQ. FT.
PORCH	72 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

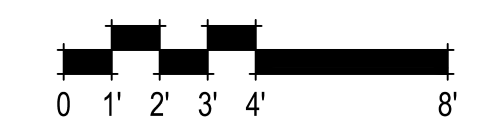
Sheet Title: UNIT 3 FLOOR PLANS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014

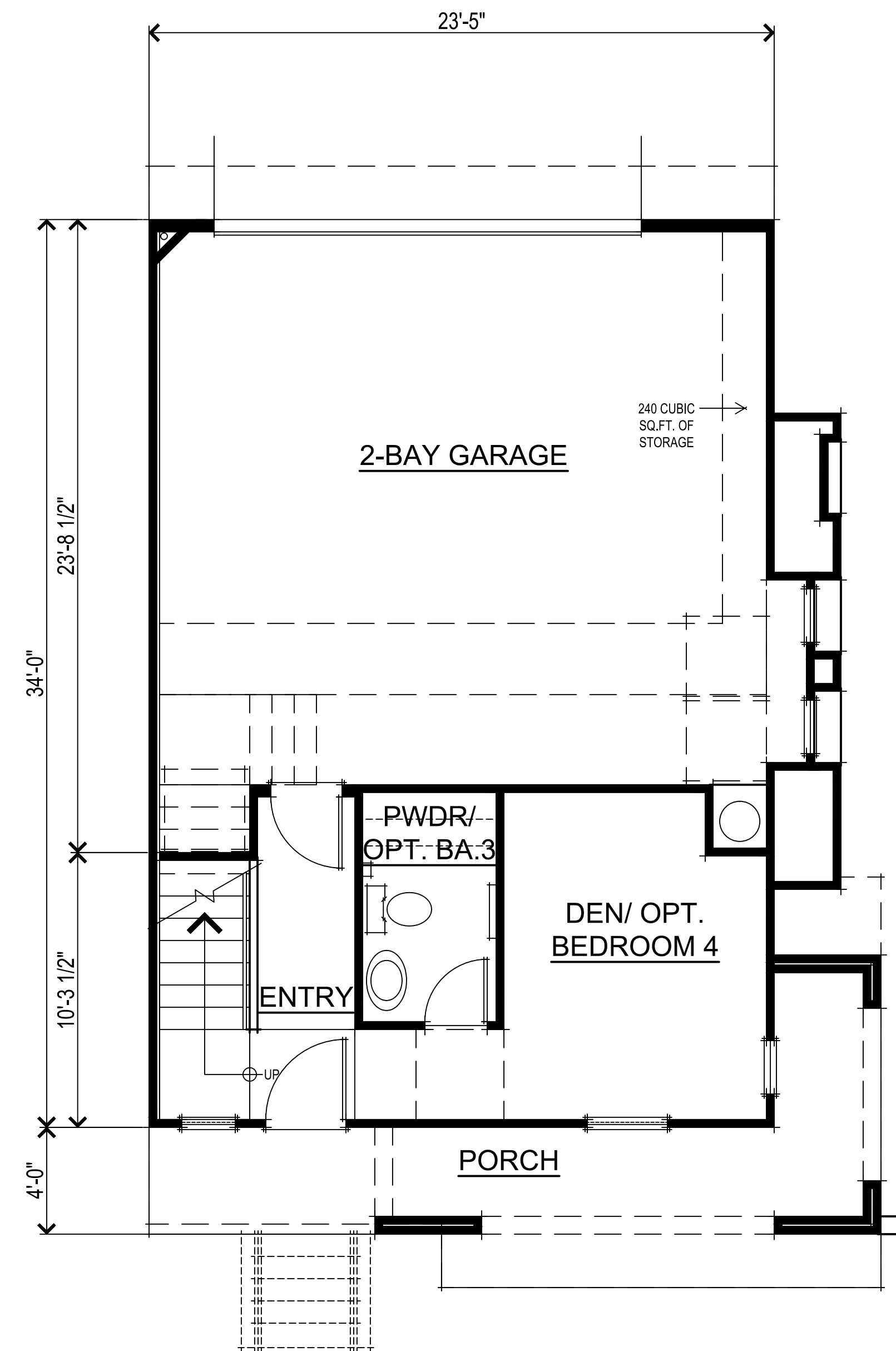
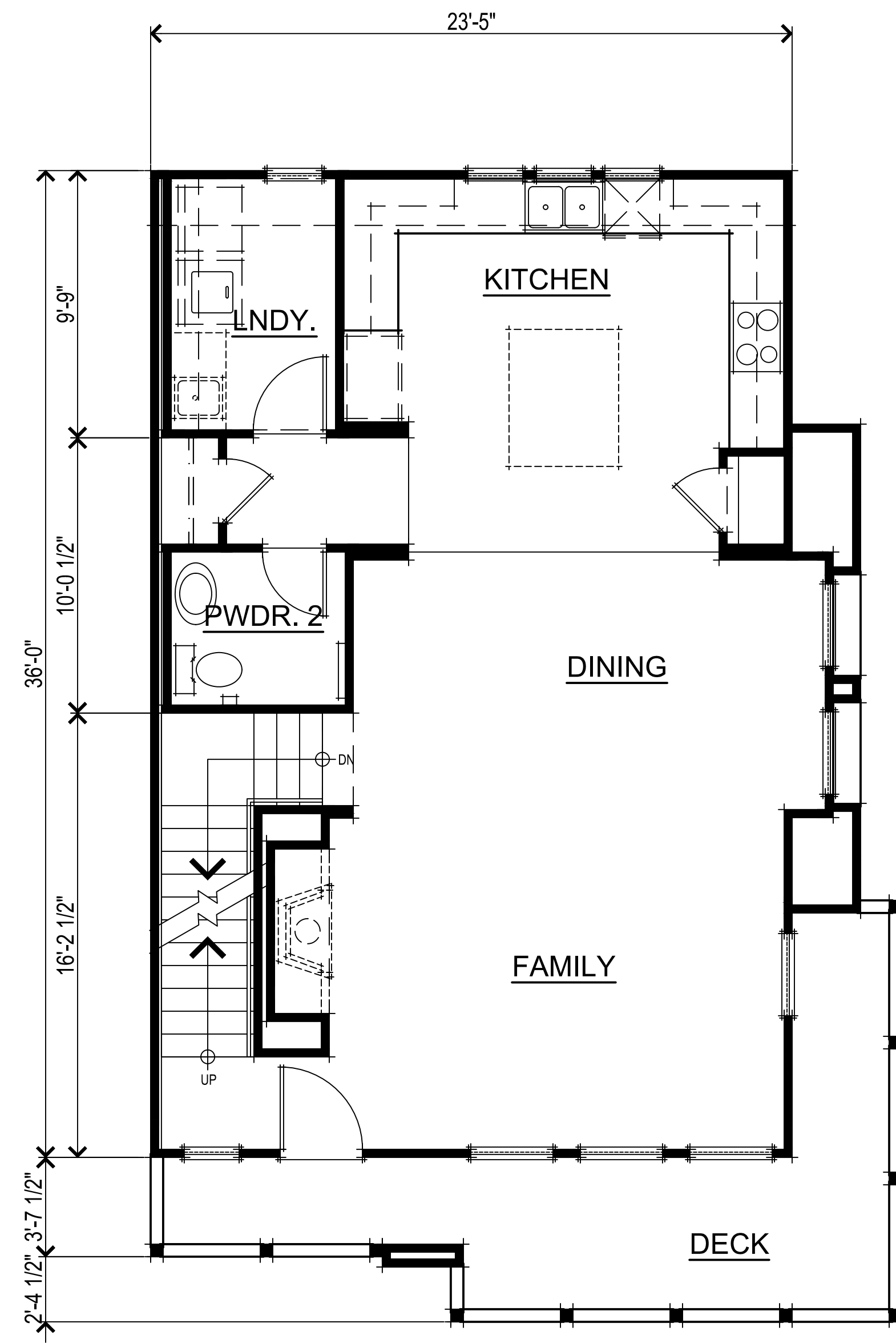
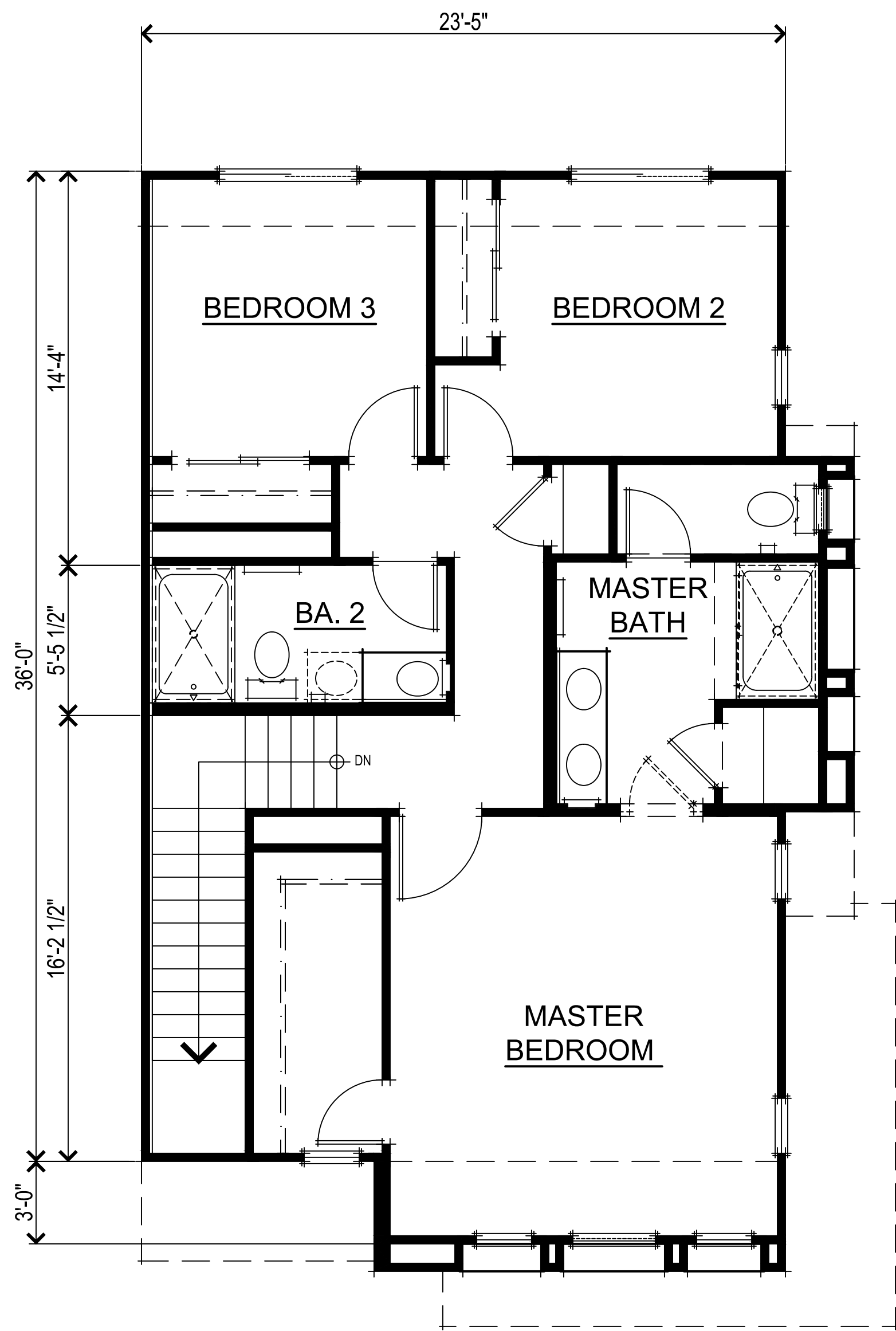
Sheet 11 of 22

DEP# \_\_\_\_\_



3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com





UNIT 4	
SQUARE FOOTAGES	
FIRST FLOOR	285 SQ. FT.
SECOND FLOOR	857 SQ. FT.
THIRD FLOOR	862 SQ. FT.
TOTAL LIVING	2004 SQ. FT.
2-BAY GARAGE	511 SQ. FT.
PORCH	168 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

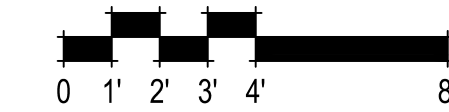
Sheet Title: UNIT 4 FLOOR PLANS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014

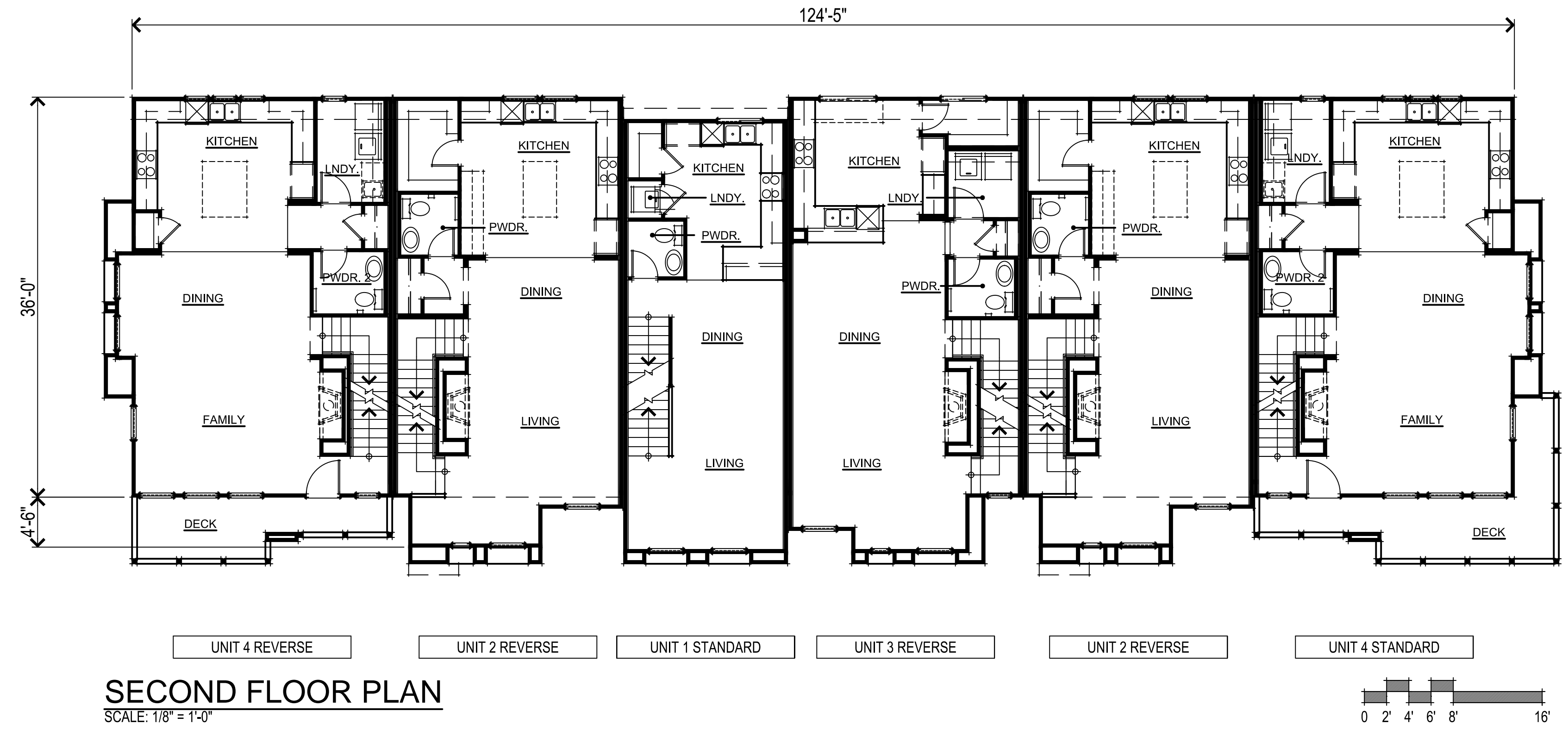
Sheet 12 of 22

DEP# \_\_\_\_\_

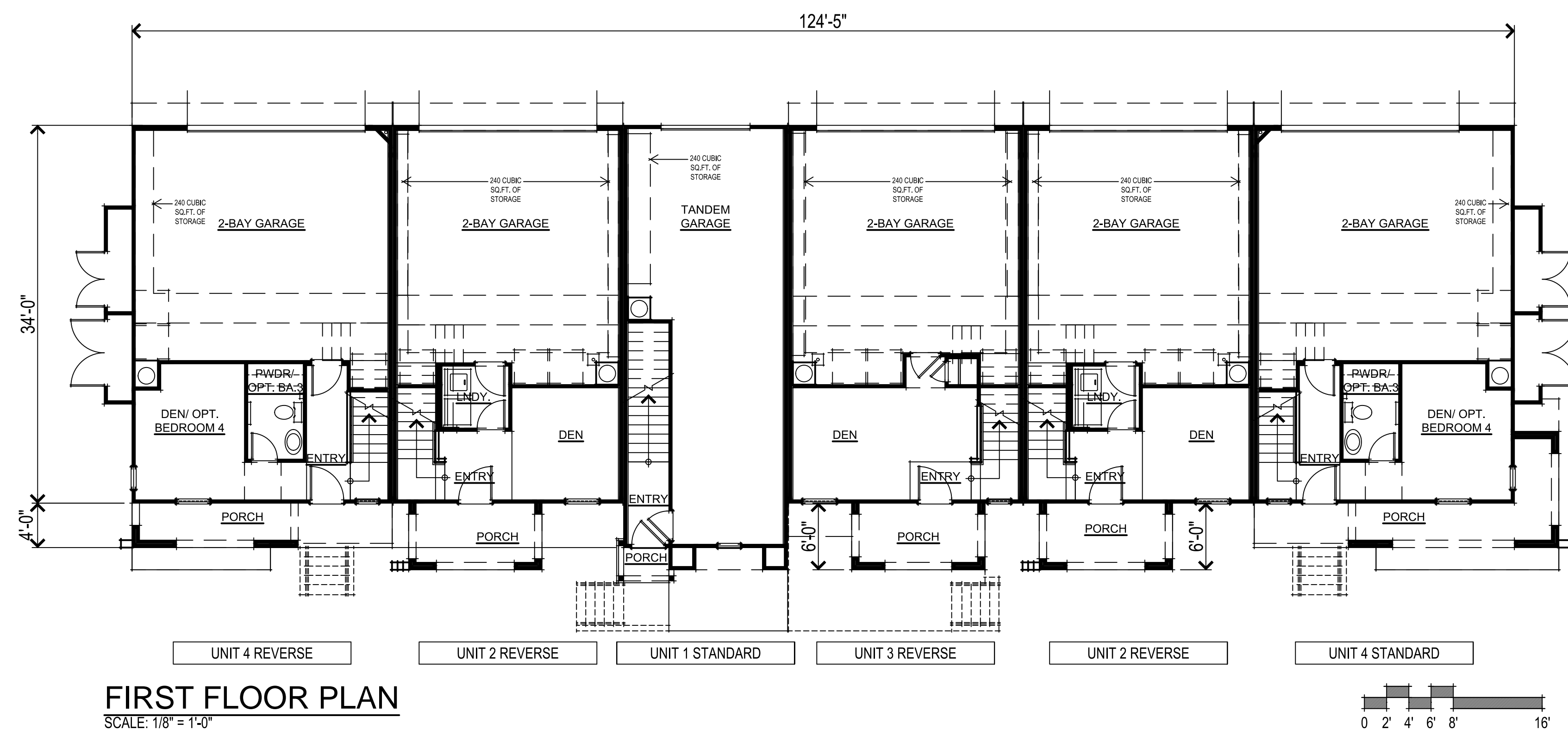


3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com





**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

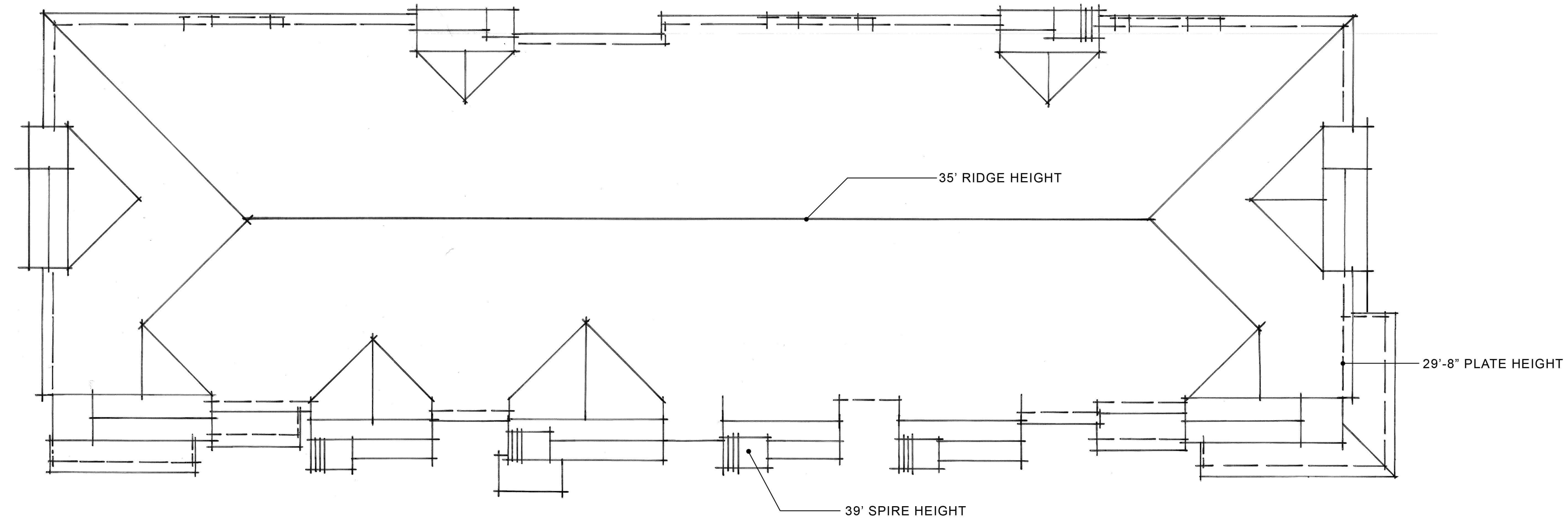


**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

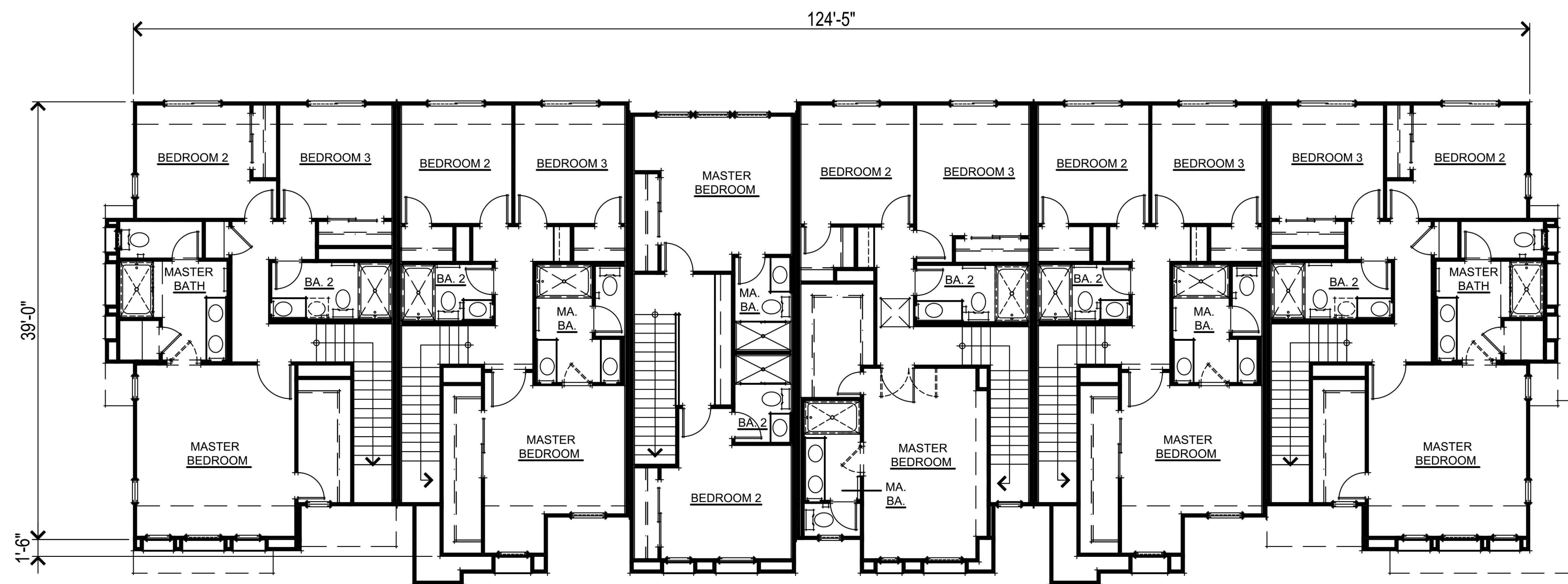
Prepared By:	LATITUDE 33	Revision 12:	_____
Name:	PLANNING AND ENGINEERING	Revision 11:	_____
Address:	9968 HIBERT STREET, 2ND FLOOR	Revision 10:	_____
	SAN DIEGO, CA 92131	Revision 9:	_____
Phone #:	(858) 751-0633	Revision 8:	_____
Fax #:	(858) 751-0634	Revision 7:	_____
Project Address:	INTERSECTION OF VILLAGE CENTER LOOP ROAD	Revision 6:	_____
	AND PEPPERGRASS CREEK GATE	Revision 5:	_____
Project Name:	LATERRA AT	Revision 4:	_____
	PACIFIC HIGHLANDS RANCH	Revision 3:	_____
Sheet Title:	BUILDING 2 FIRST & SECOND	Revision 2:	_____
	FLOOR PLANS	Revision 1:	10/12/2015
		Original Date:	9/15/2014
		Sheet	13 of 22
		DEP#	_____

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
925.634.7000  
www.strausdesign.com



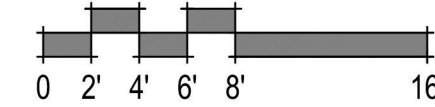


**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

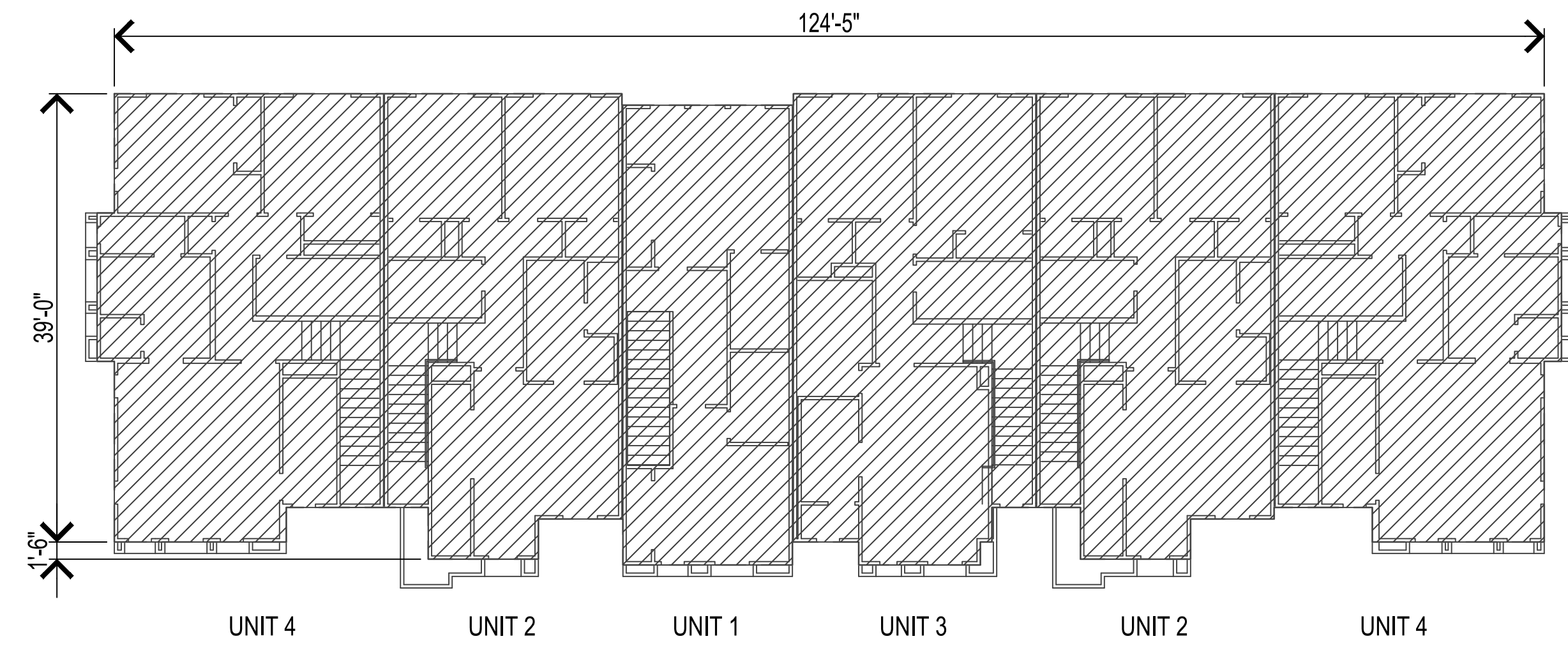
UNIT 4 REVERSE    UNIT 2 REVERSE    UNIT 1 STANDARD    UNIT 3 REVERSE    UNIT 2 REVERSE    UNIT 4 STANDARD



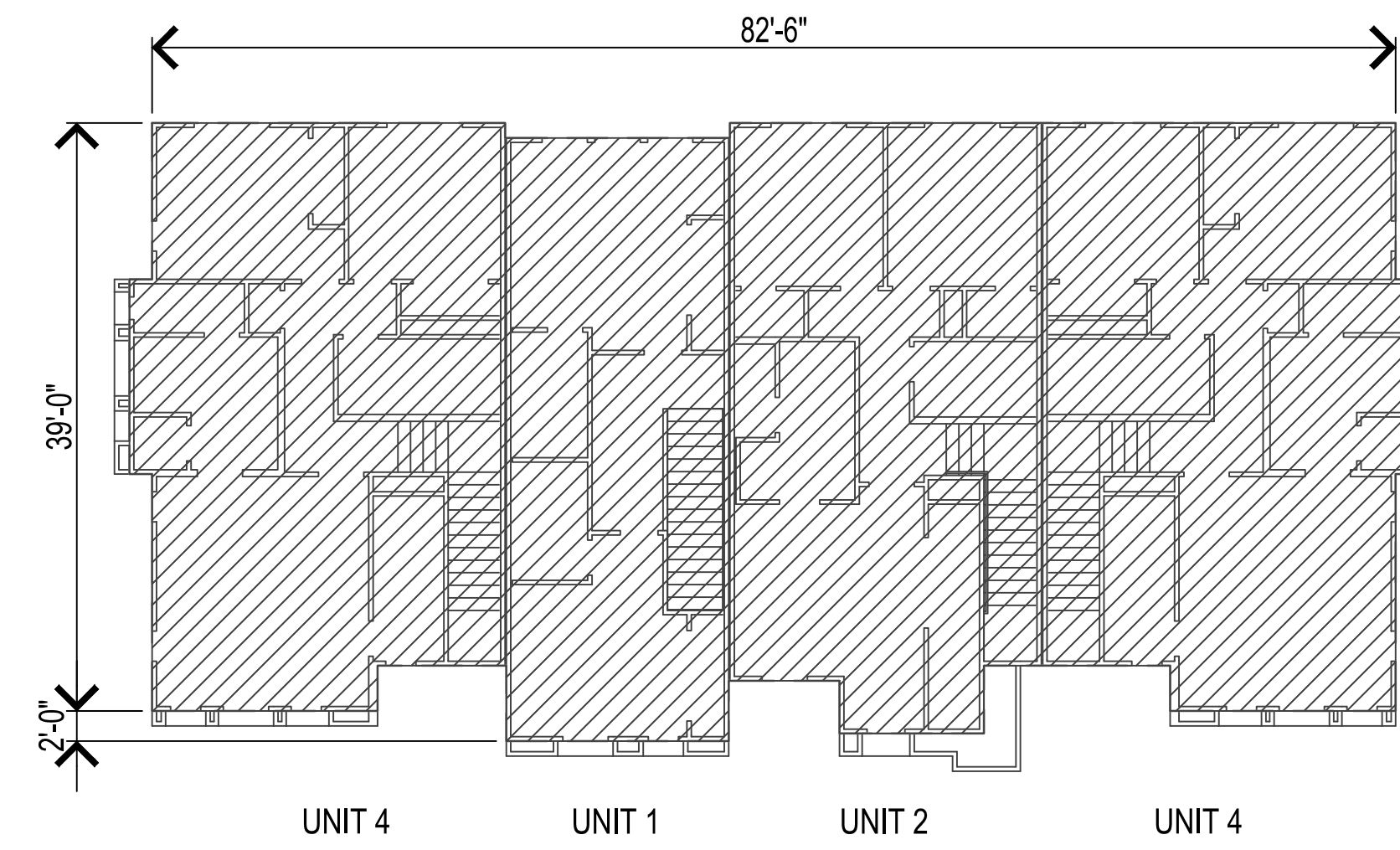
Prepared By:	LATITUDE 33	Revision 12:	_____
Name:	PLANNING AND ENGINEERING	Revision 11:	_____
Address:	9968 HIBERT STREET, 2ND FLOOR	Revision 10:	_____
	SAN DIEGO, CA 92131	Revision 9:	_____
Phone #:	(858) 751-0633	Revision 8:	_____
Fax #:	(858) 751-0634	Revision 7:	_____
Project Address:	INTERSECTION OF VILLAGE CENTER LOOP ROAD	Revision 6:	_____
	AND PEPPERGRASS CREEK GATE	Revision 5:	_____
Project Name:	LATERRA AT	Revision 4:	_____
	PACIFIC HIGHLANDS RANCH	Revision 3:	_____
Sheet Title:	BUILDING 2 THIRD FLOOR PLAN &	Revision 2:	_____
	ROOF PLAN	Revision 1:	10/12/2015
		Original Date:	9/15/2014
		Sheet	14 of 22
		DEP#	_____

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
925.634.7000  
www.strausdesign.com

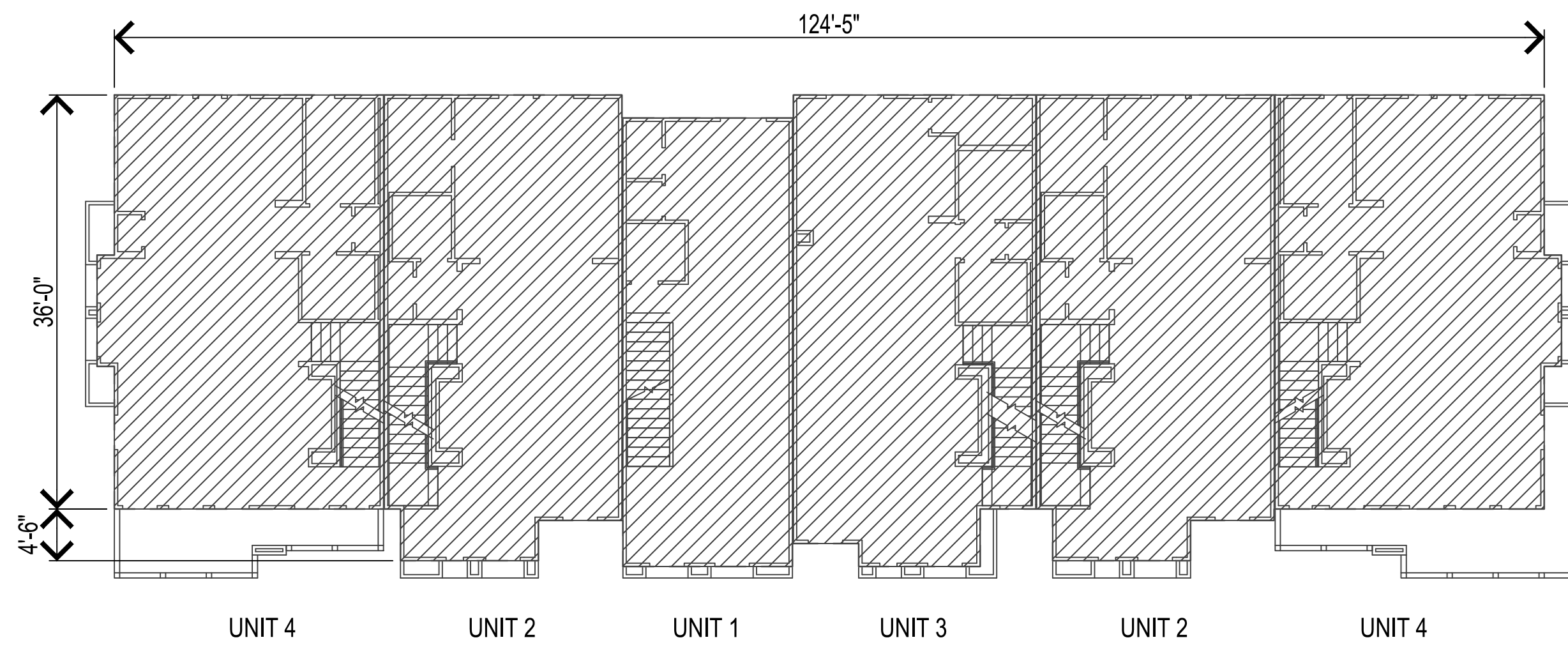




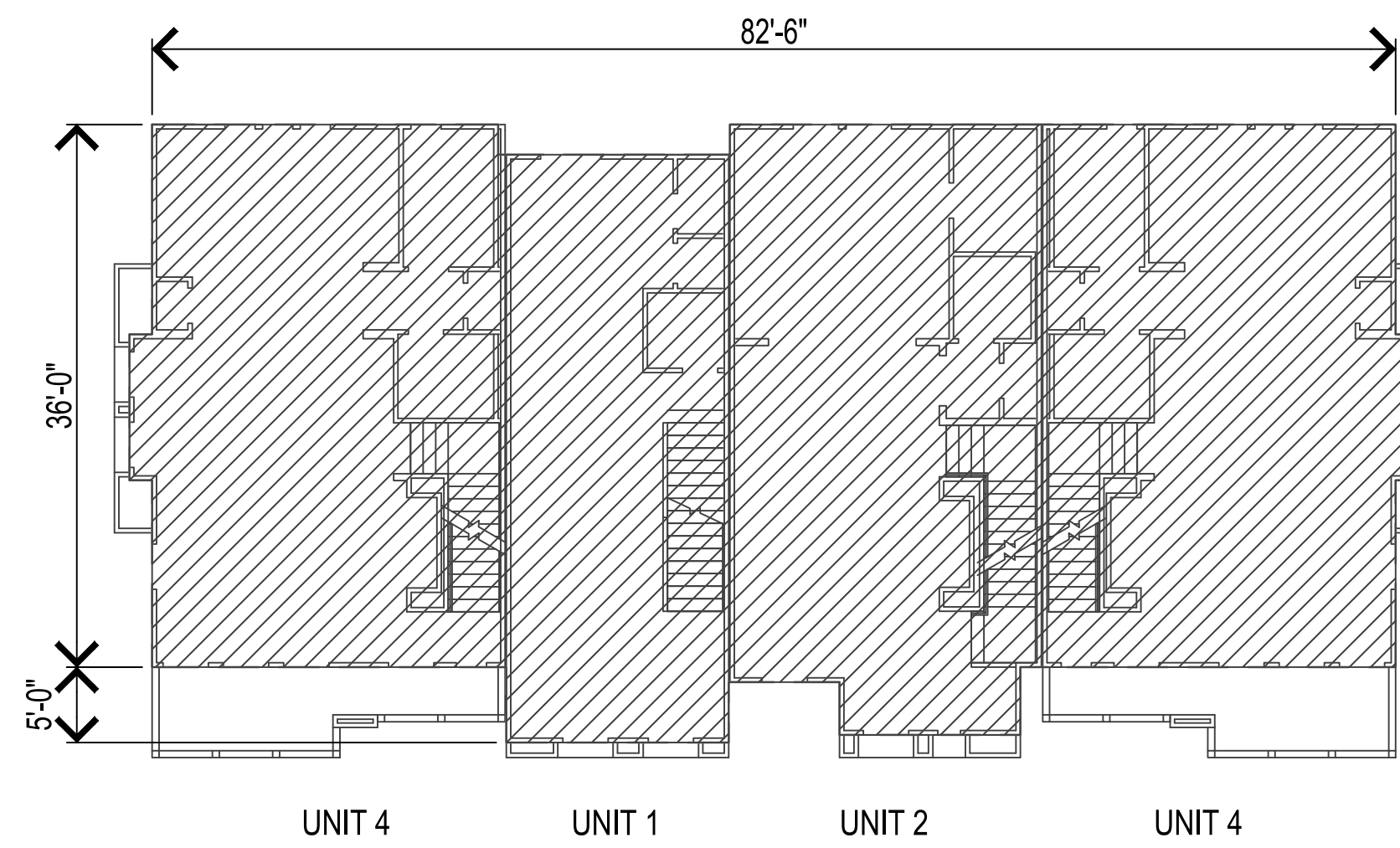
BUILDING 2 THIRD FLOOR



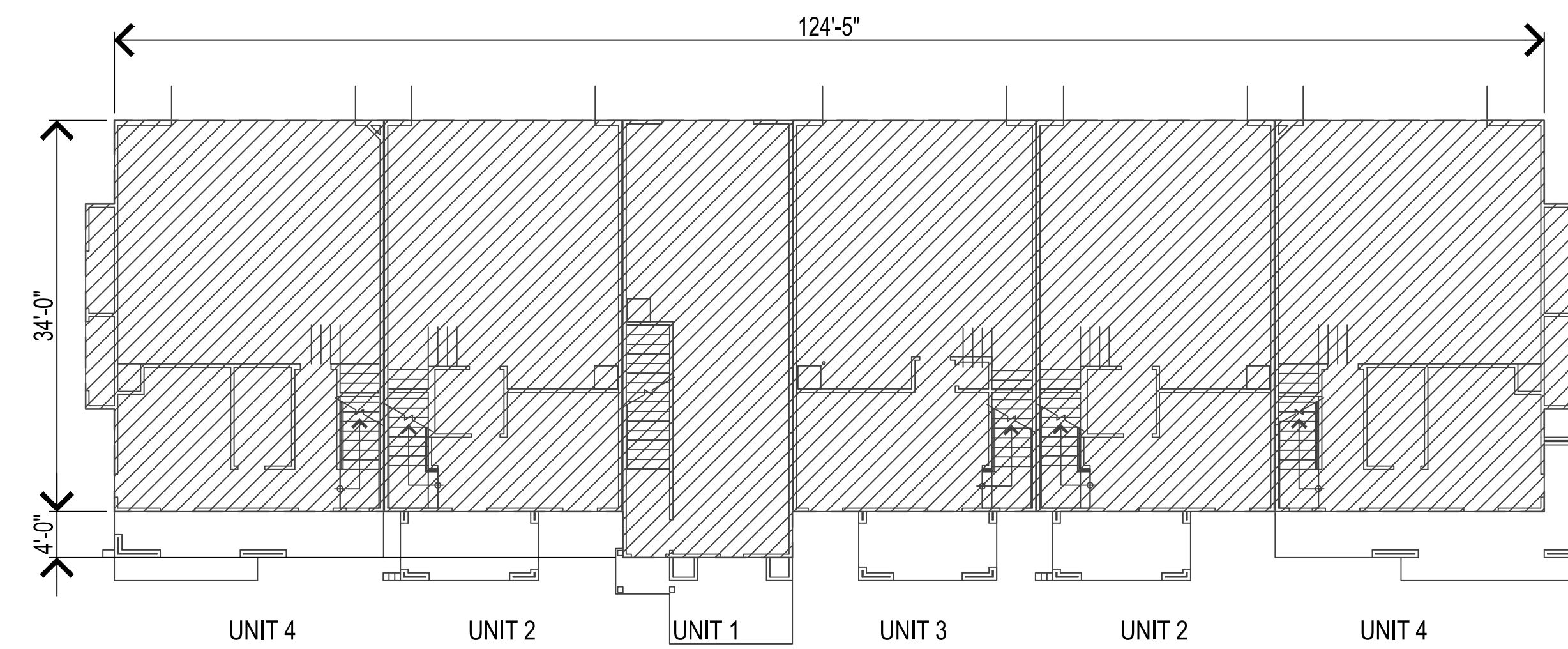
BUILDING 1 THIRD FLOOR



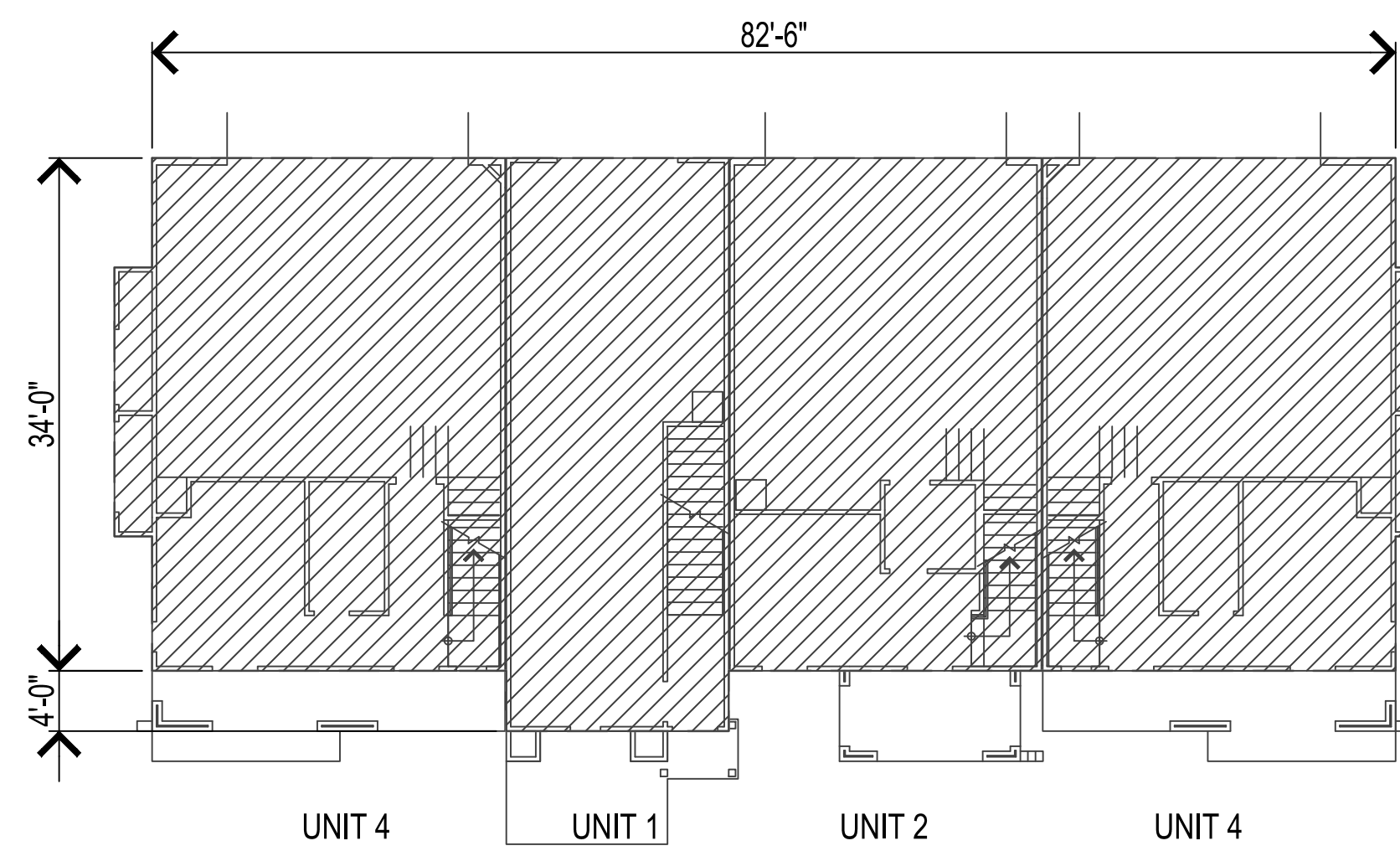
BUILDING 2 SECOND FLOOR



BUILDING 1 SECOND FLOOR



BUILDING 2 FIRST FLOOR



BUILDING 1 FIRST FLOOR

BUILDING 2 SQUARE FOOTAGES	
FIRST FLOOR	4378 SQ. FT.
SECOND FLOOR	4745 SQ. FT.
THIRD FLOOR	4840 SQ. FT.
TOTAL BUILDING FLOOR AREA	13963 SQ. FT.

BUILDING 1 SQUARE FOOTAGES	
FIRST FLOOR	2953 SQ. FT.
SECOND FLOOR	3103 SQ. FT.
THIRD FLOOR	3208 SQ. FT.
TOTAL BUILDING FLOOR AREA	9264 SQ. FT.

BUILDING FLOOR AREAS	
BUILDING 1	9,264 SQ. FT.
BUILDING 2	13,963 SQ. FT.
BUILDING 3	9,264 SQ. FT.
BUILDING 4	11,577 SQ. FT.
BUILDING 5	6,731 SQ. FT.
BUILDING 6	21,010 SQ. FT.
BUILDING 7	16,313 SQ. FT.
BUILDING 8	15,087 SQ. FT.
BUILDING 9	13,929 SQ. FT.
BUILDING 10	12,268 SQ. FT.
BUILDING 11	12,776 SQ. FT.
BUILDING 12	15,663 SQ. FT.
TOTAL BUILDING FLOOR AREAS	157,845 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

Original Date: 9/15/2014

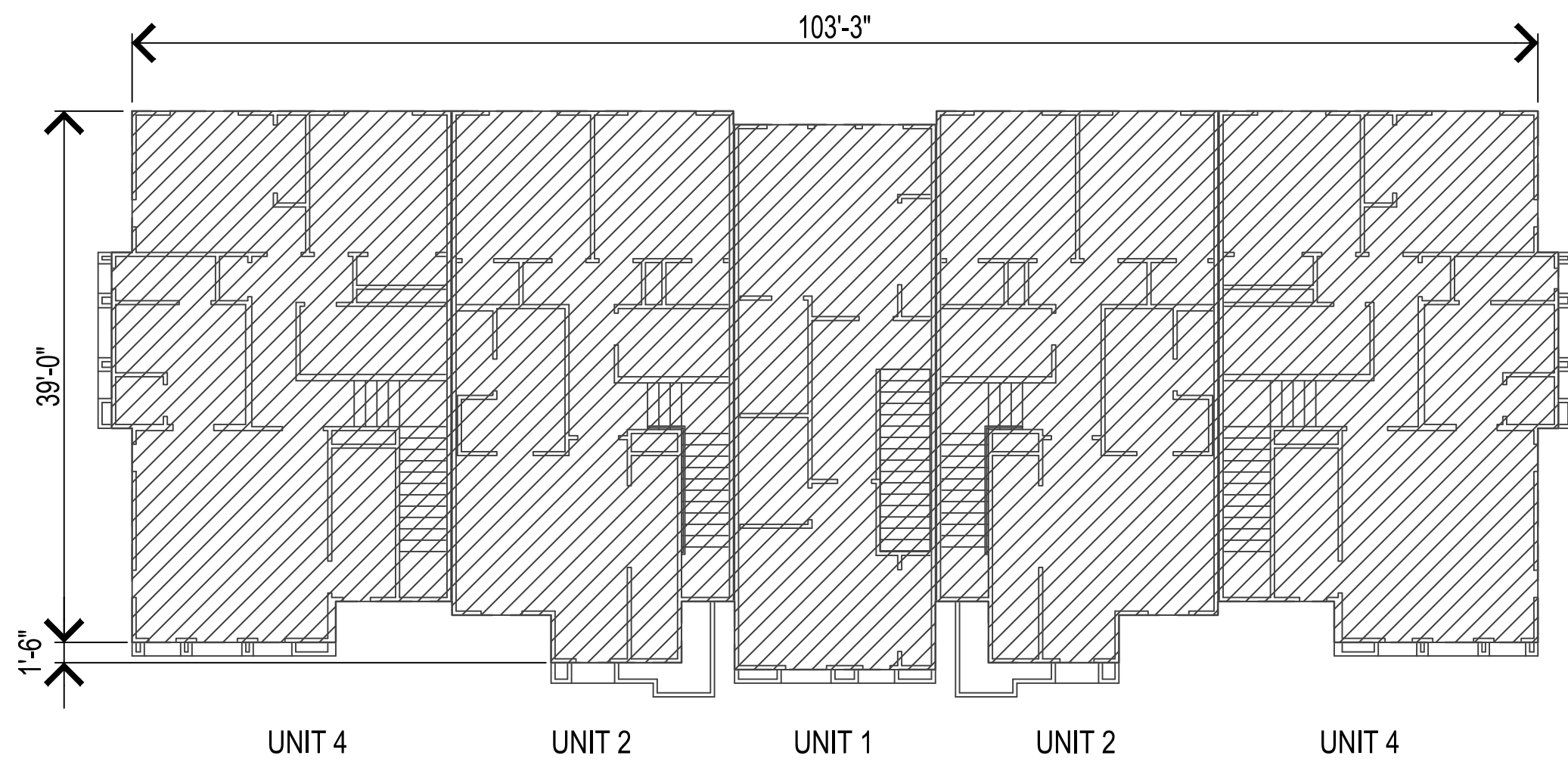
Sheet Title: BUILDINGS 1 & 2  
FLOOR AREAS

Sheet 15 of 22

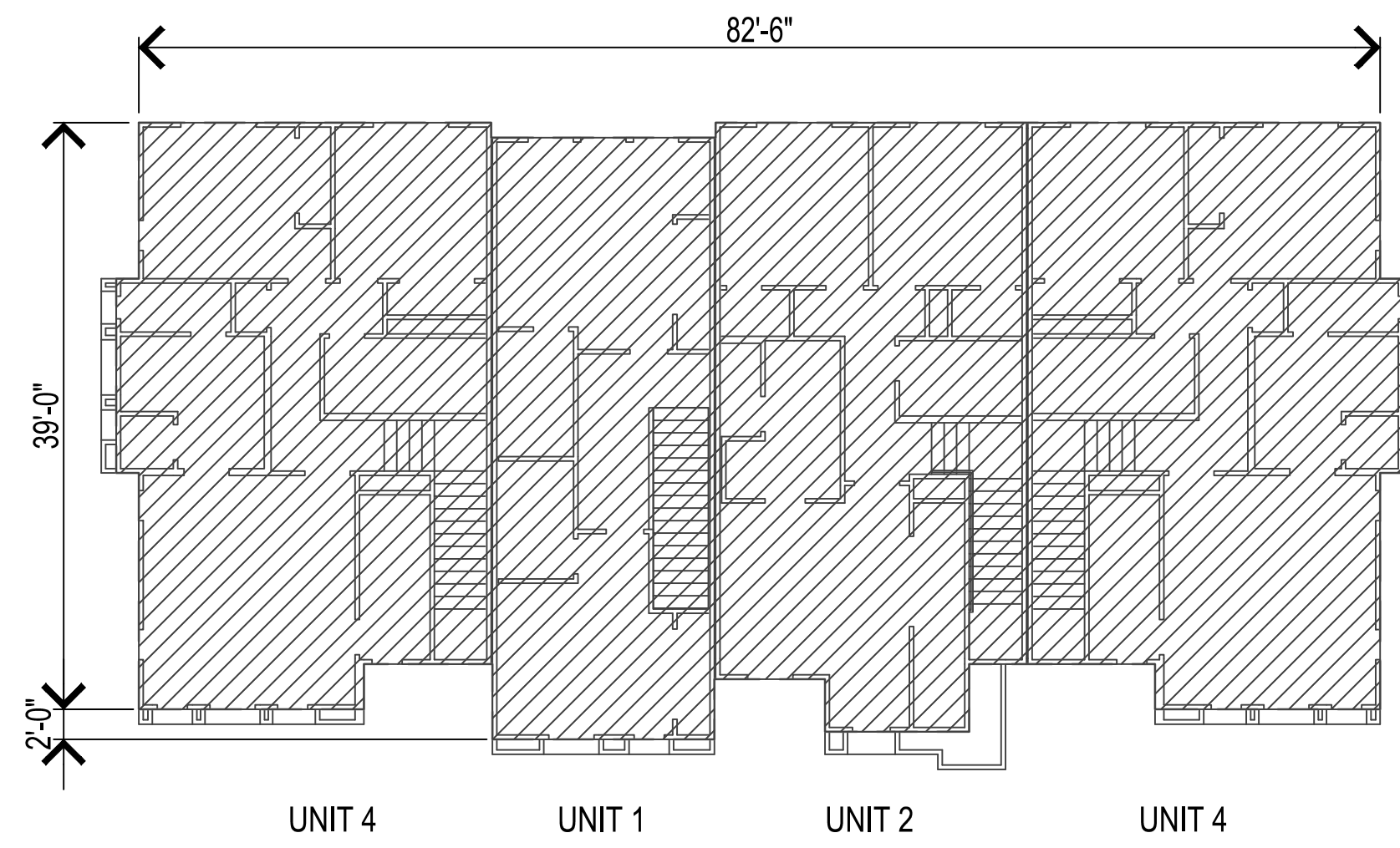
DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com

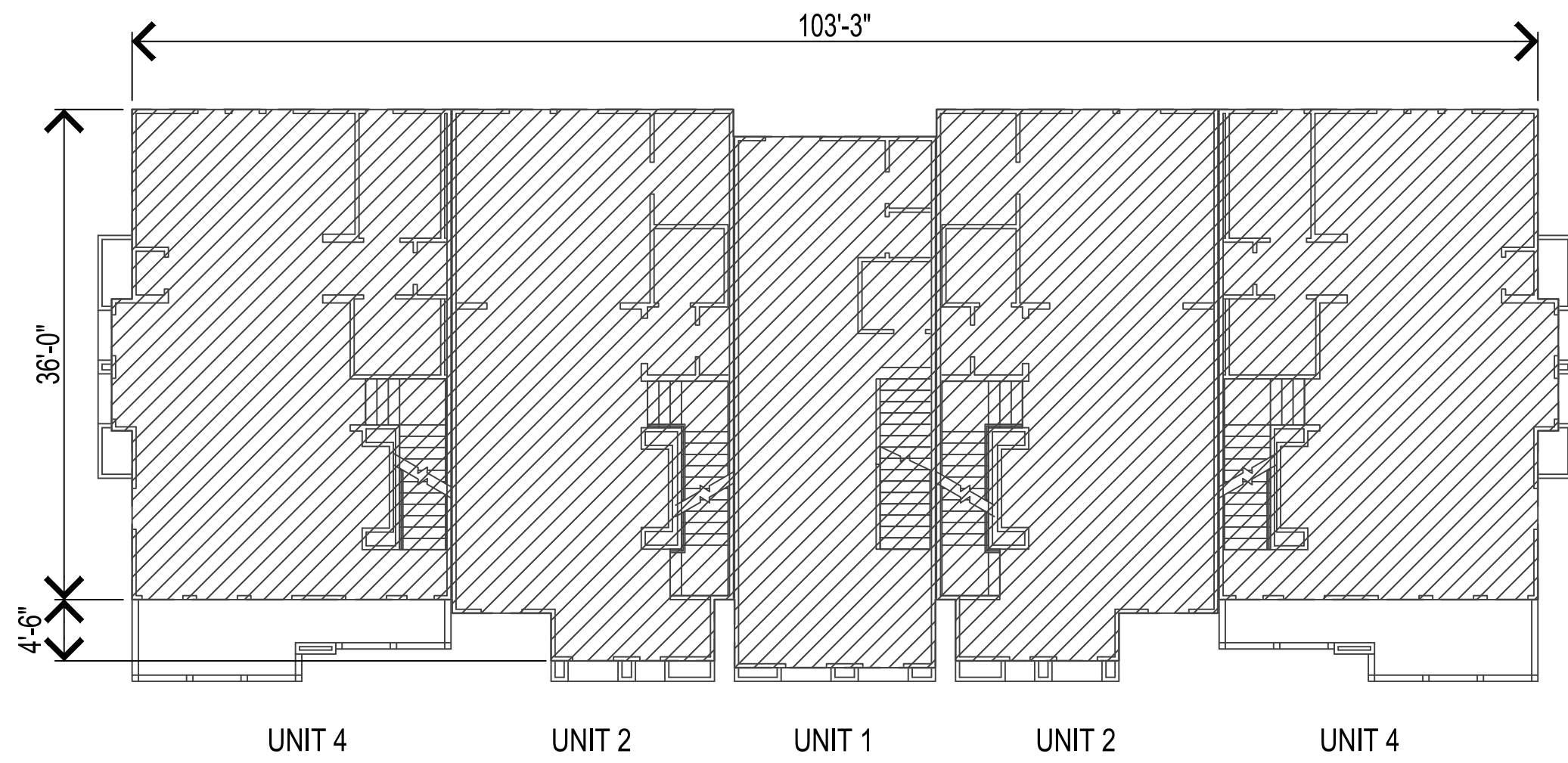




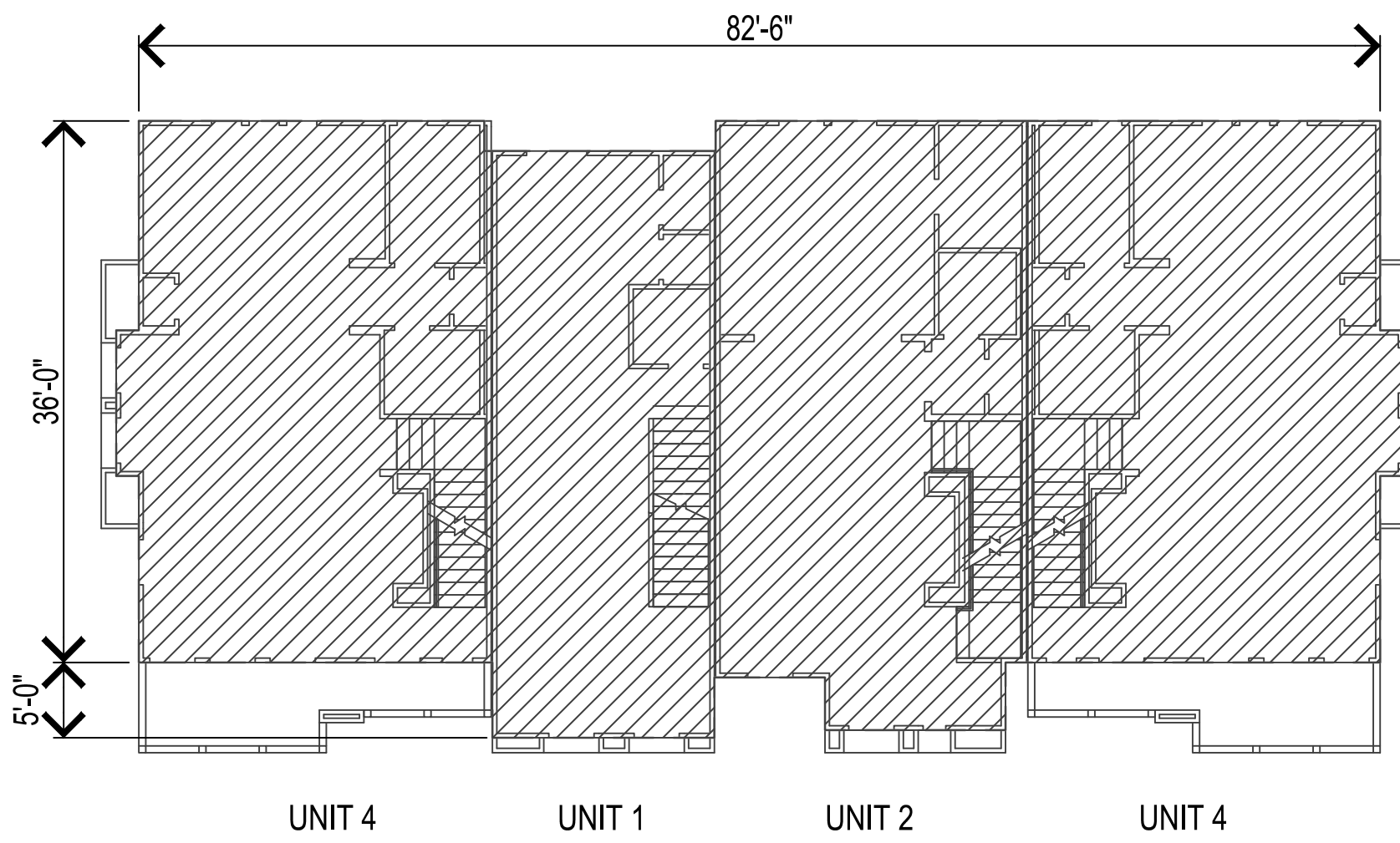
BUILDING 4 THIRD FLOOR



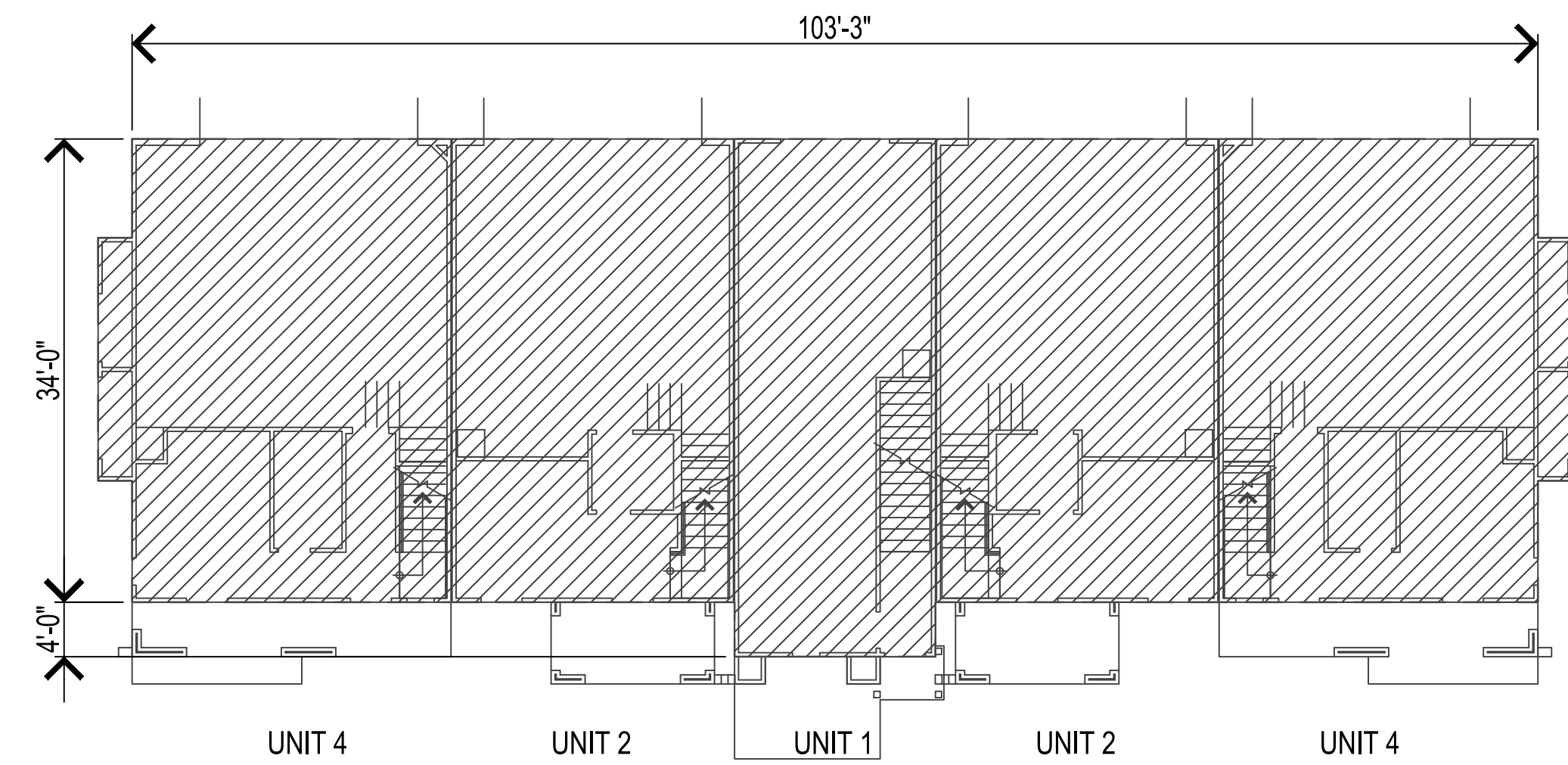
BUILDING 3 THIRD FLOOR



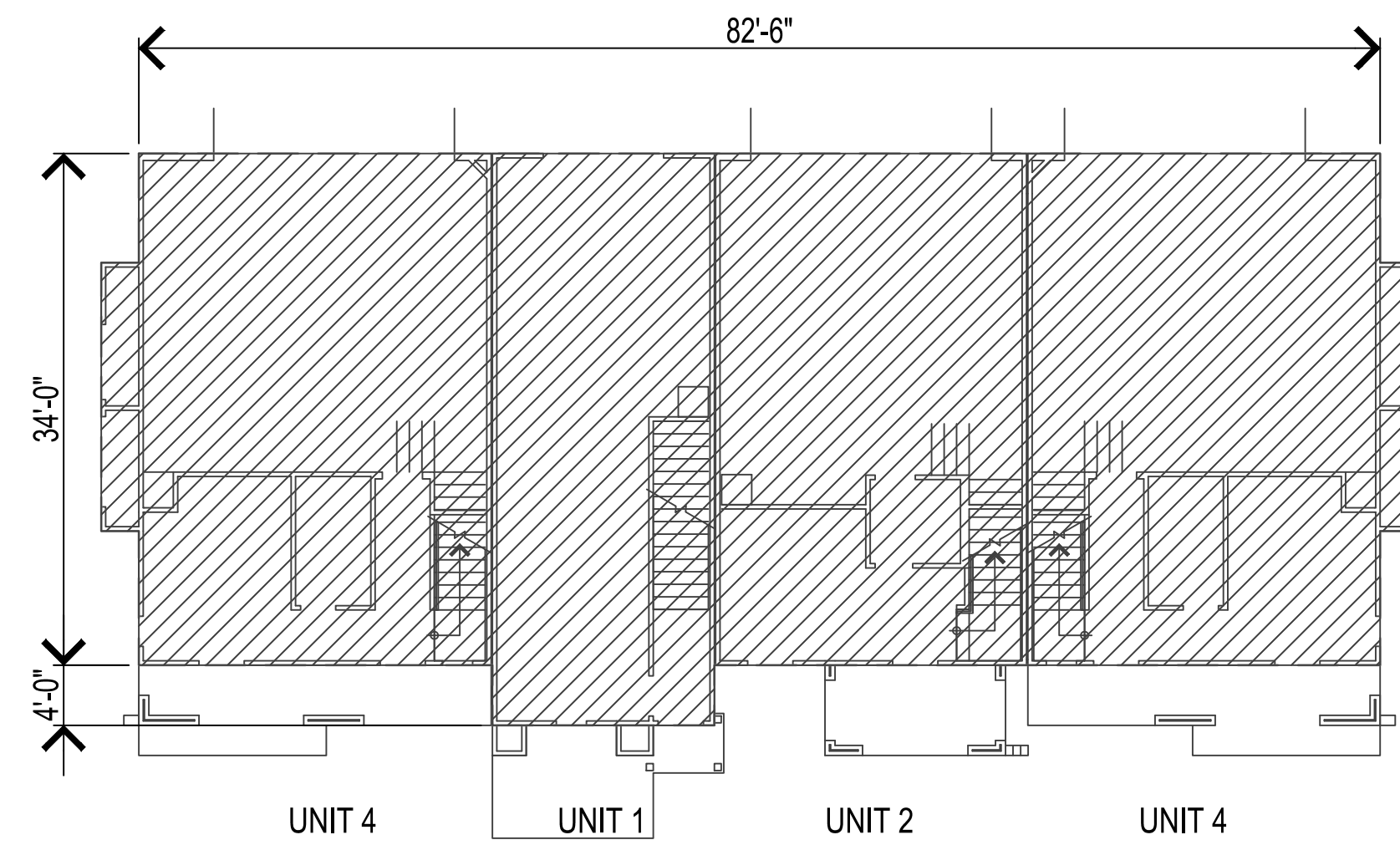
BUILDING 4 SECOND FLOOR



BUILDING 3 SECOND FLOOR



BUILDING 4 FIRST FLOOR



BUILDING 3 FIRST FLOOR

BUILDING 4 SQUARE FOOTAGES	
FIRST FLOOR	3659 SQ. FT.
SECOND FLOOR	3913 SQ. FT.
THIRD FLOOR	4005 SQ. FT.
TOTAL BUILDING FLOOR AREA	11577 SQ. FT.

BUILDING 3 SQUARE FOOTAGES	
FIRST FLOOR	2953 SQ. FT.
SECOND FLOOR	3103 SQ. FT.
THIRD FLOOR	3208 SQ. FT.
TOTAL BUILDING FLOOR AREA	9264 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title: BUILDINGS 3 & 4  
FLOOR AREAS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014

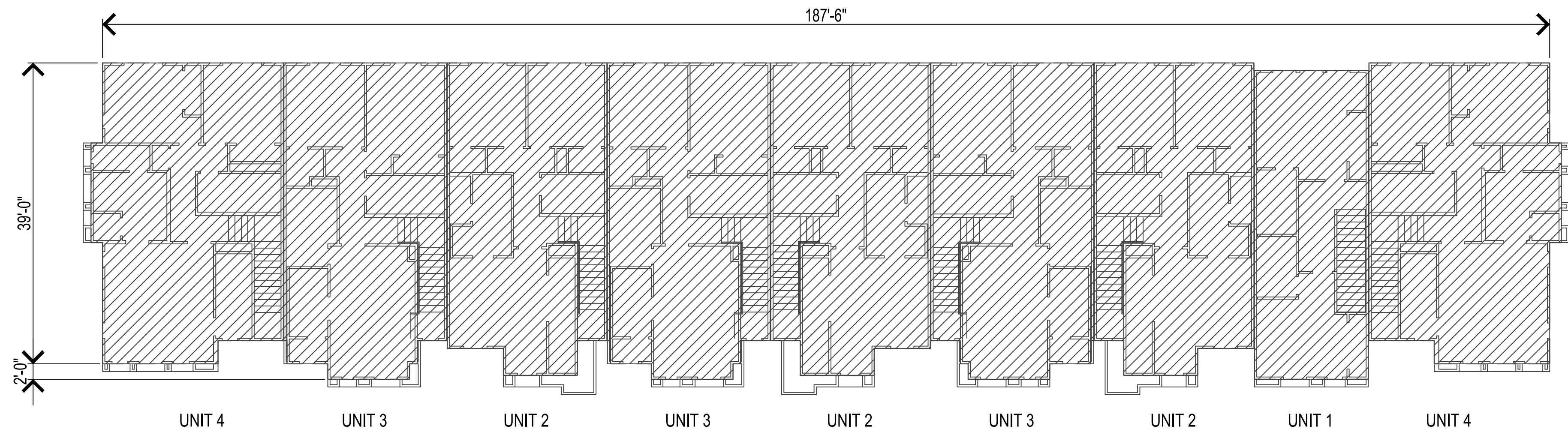
Sheet 16 of 22

DEP# \_\_\_\_\_

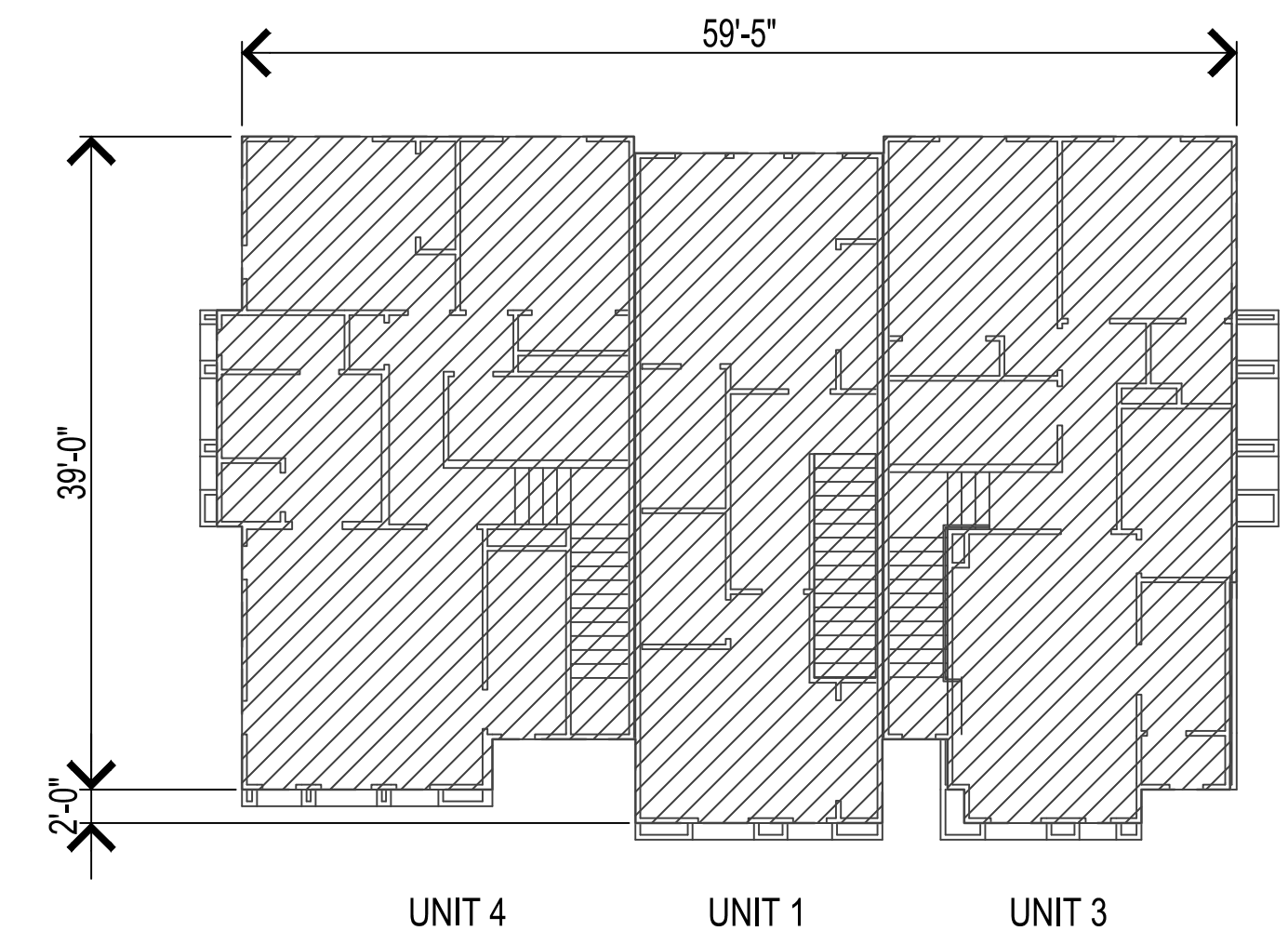
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com



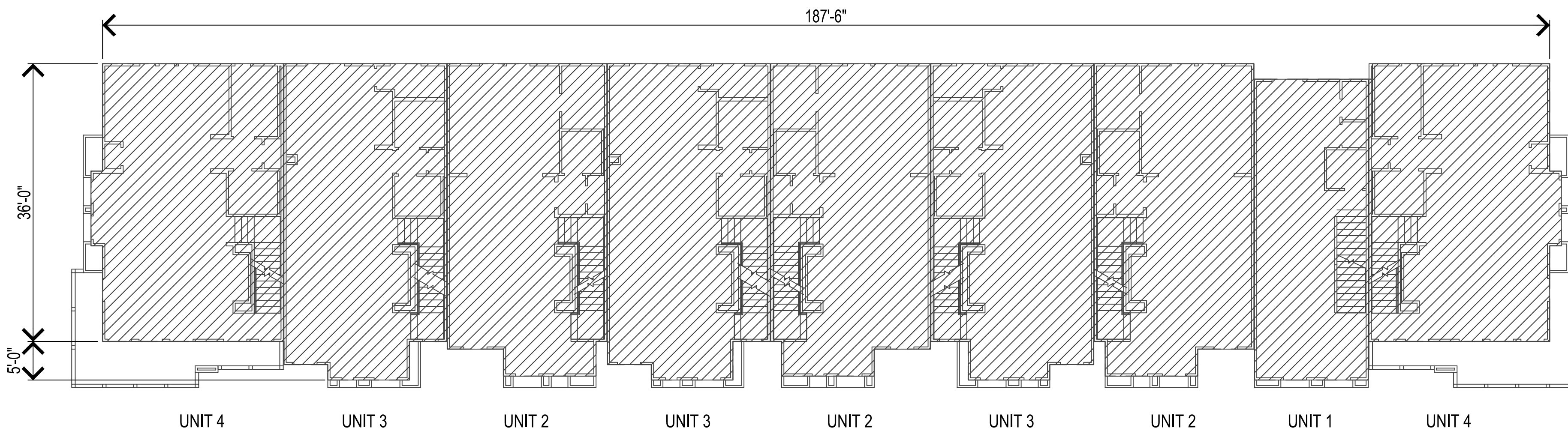




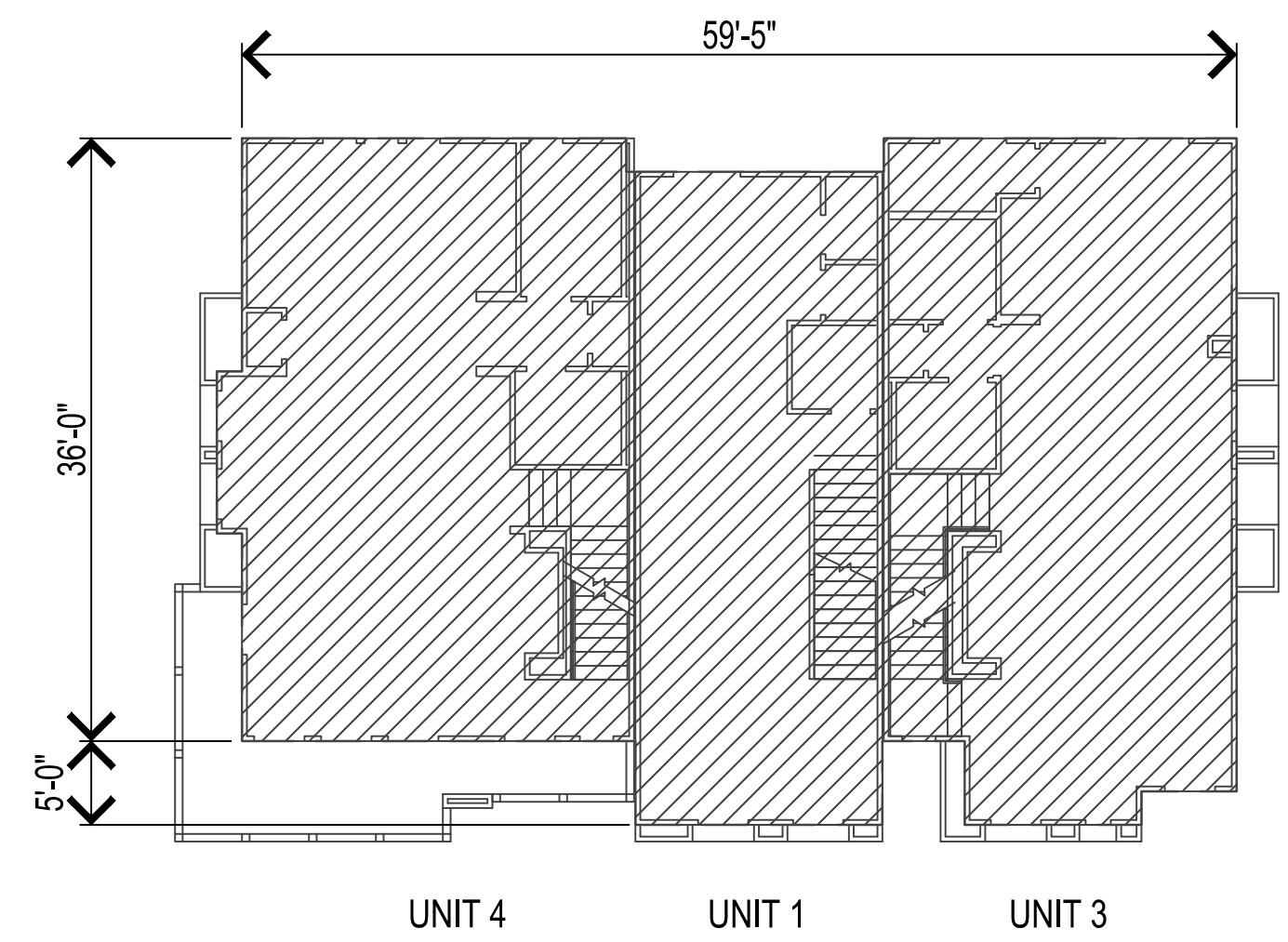
BUILDING 6 THIRD FLOOR



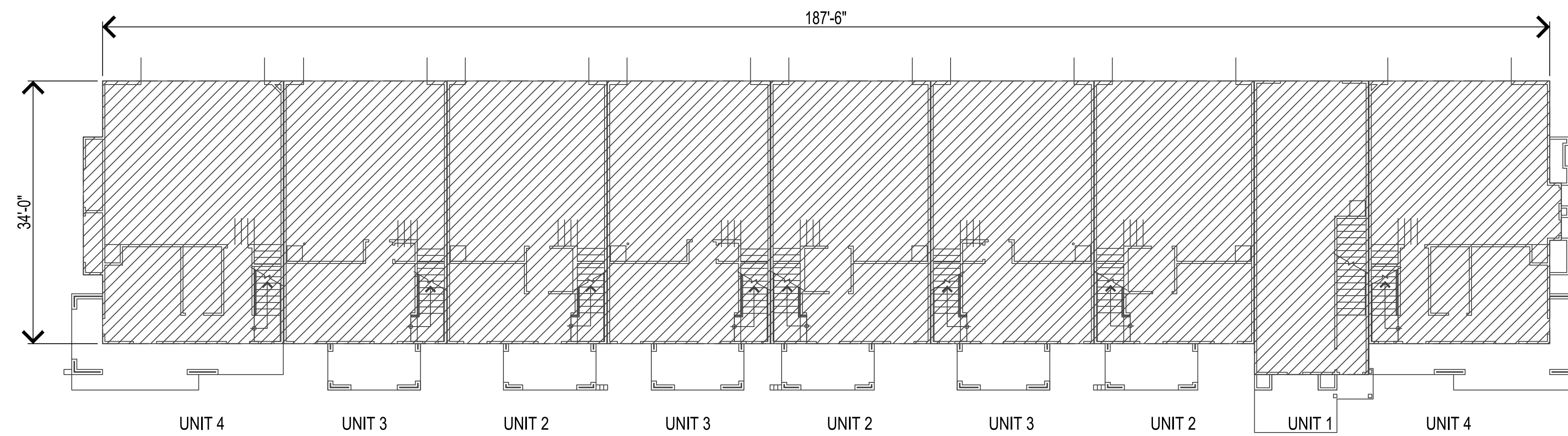
BUILDING 5 THIRD FLOOR



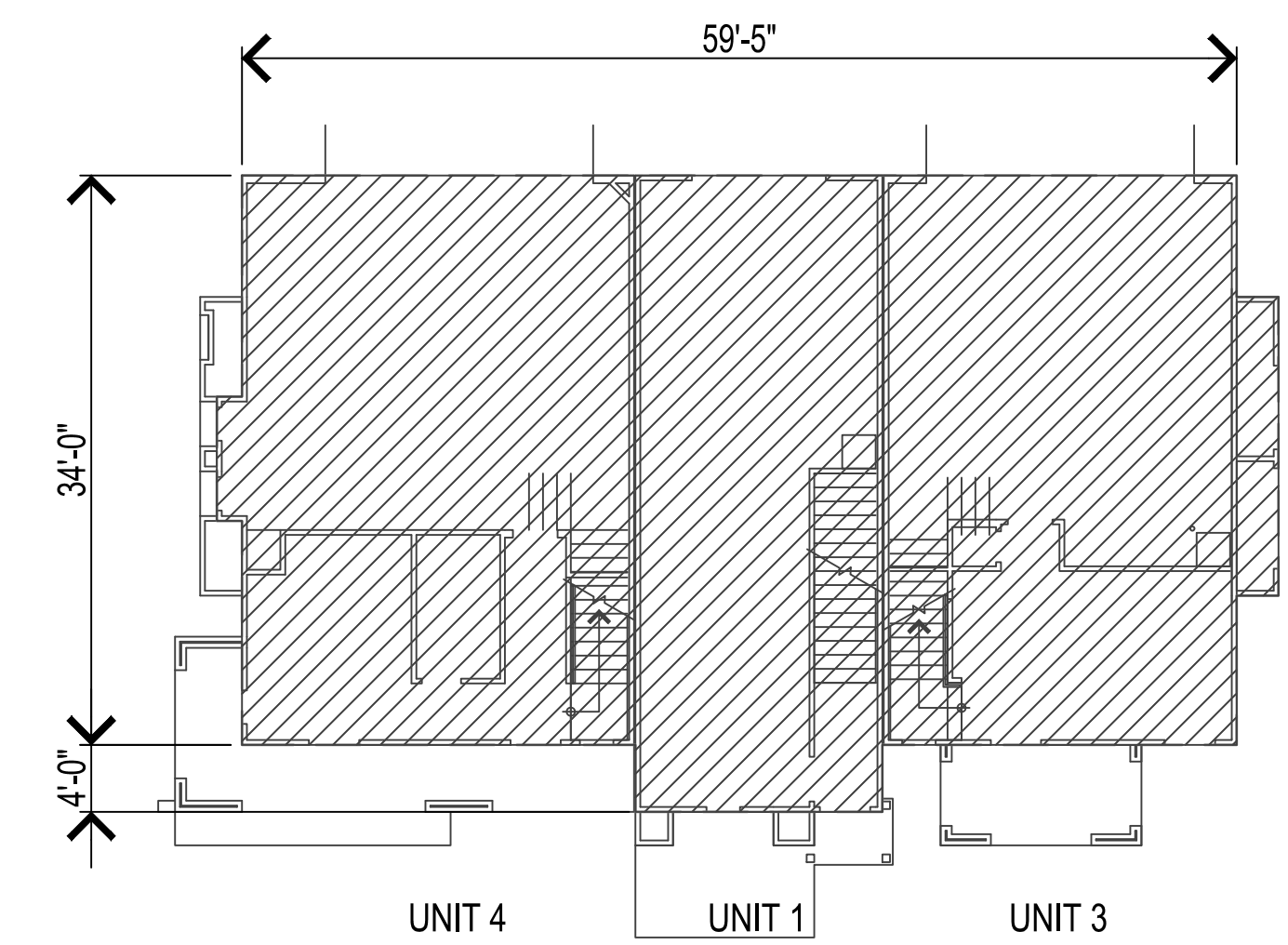
BUILDING 6 SECOND FLOOR



BUILDING 5 SECOND FLOOR



BUILDING 6 FIRST FLOOR



BUILDING 5 FIRST FLOOR

**BUILDING 6 SQUARE FOOTAGES**

FIRST FLOOR	6490 SQ. FT.
SECOND FLOOR	7216 SQ. FT.
THIRD FLOOR	7304 SQ. FT.
TOTAL BUILDING FLOOR AREA	21010 SQ. FT.

**BUILDING 5 SQUARE FOOTAGES**

FIRST FLOOR	2135 SQ. FT.
SECOND FLOOR	2266 SQ. FT.
THIRD FLOOR	2330 SQ. FT.
TOTAL BUILDING FLOOR AREA	6731 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title: BUILDINGS 5 & 6  
FLOOR AREAS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

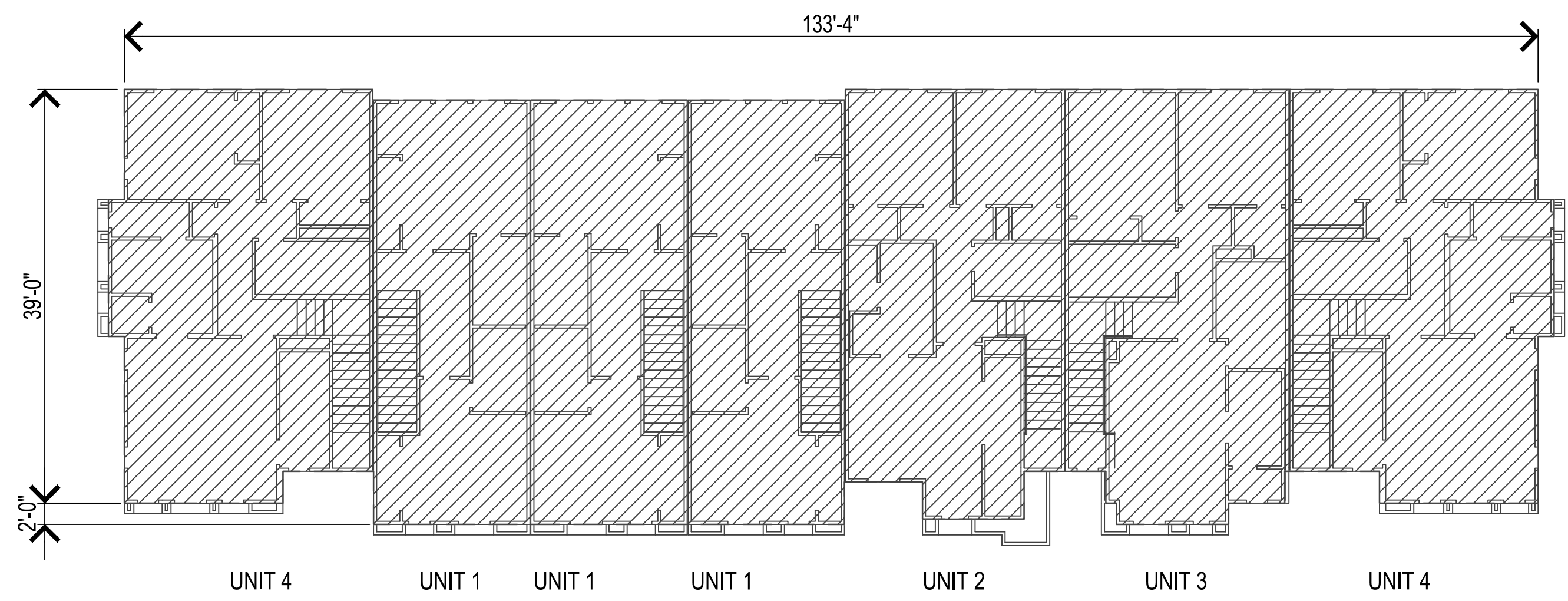
Original Date: 9/15/2014

Sheet 17 of 22

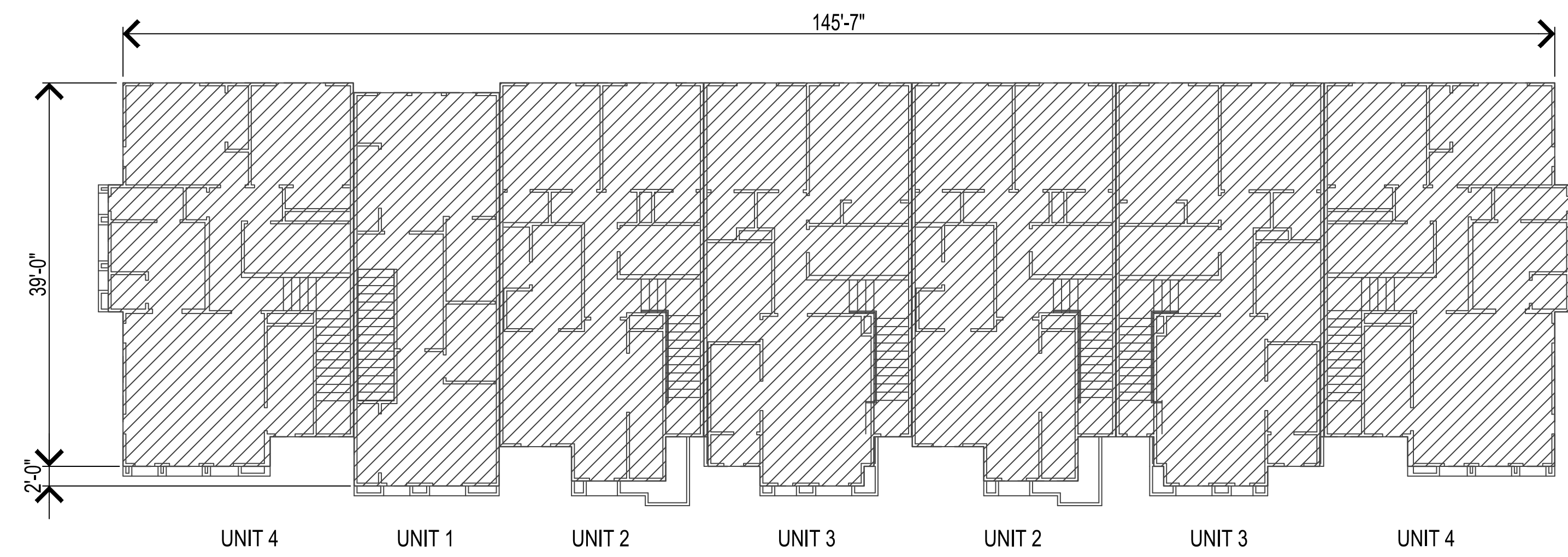
DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com

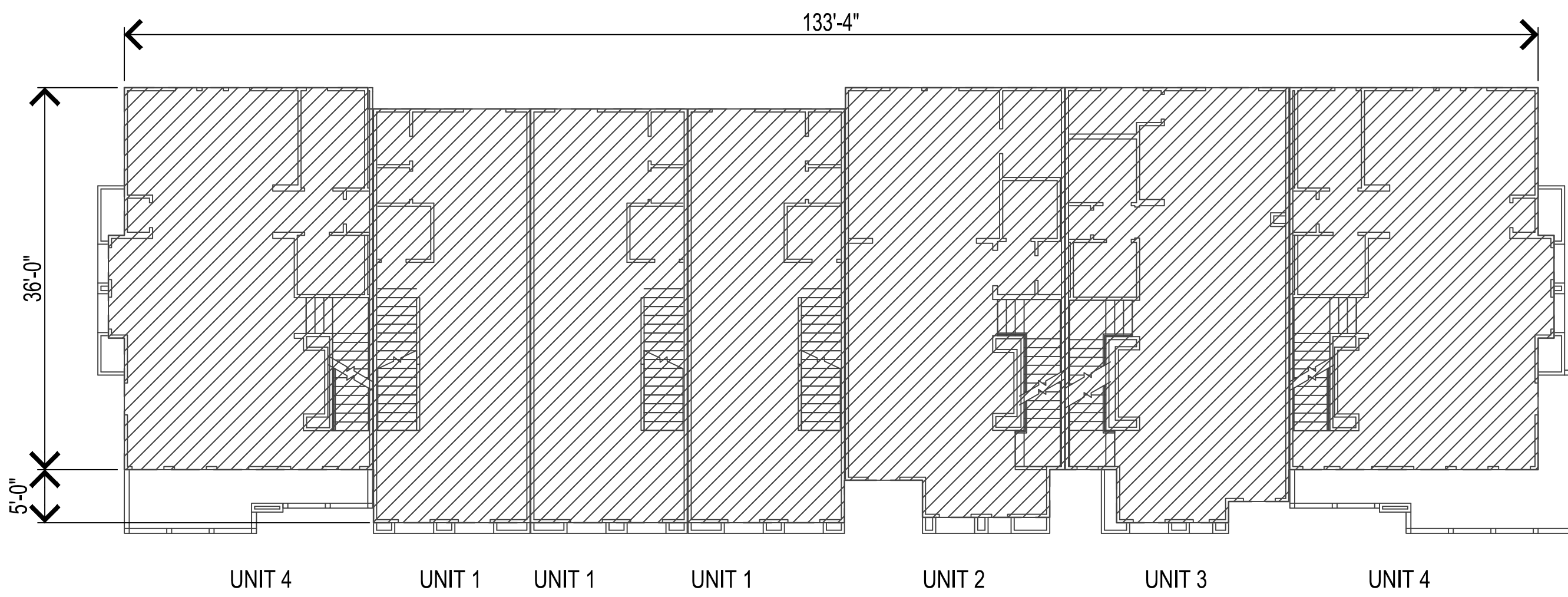




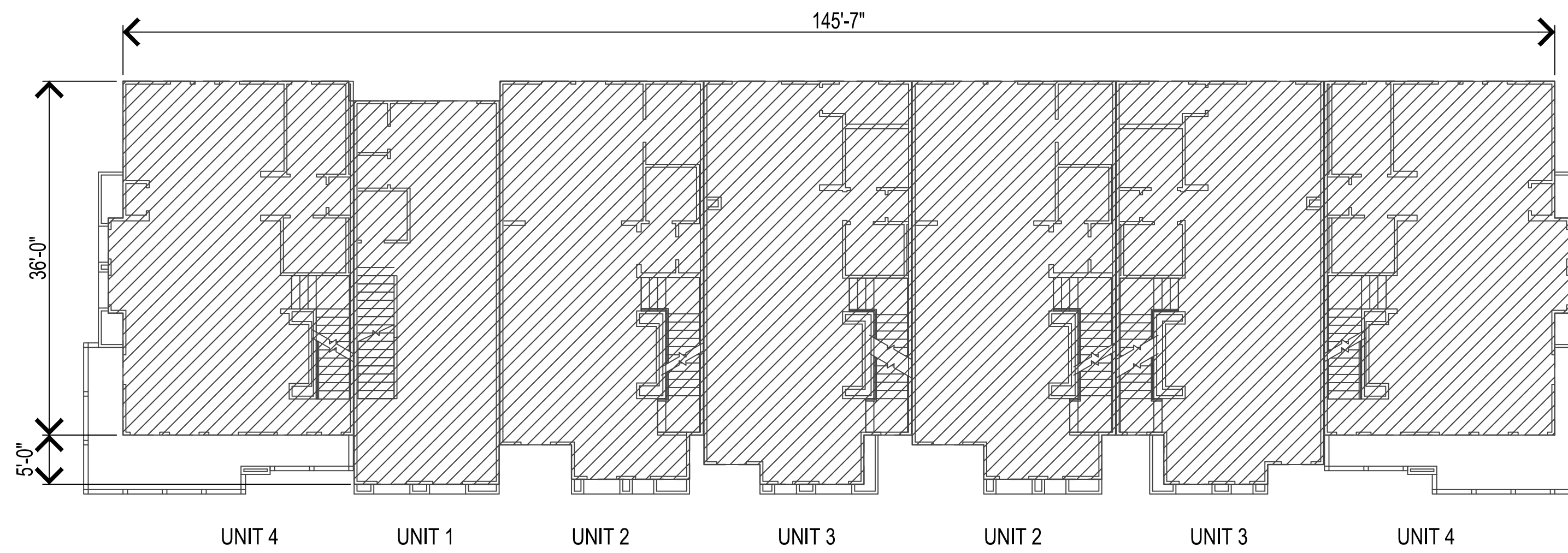
BUILDING 8 THIRD FLOOR



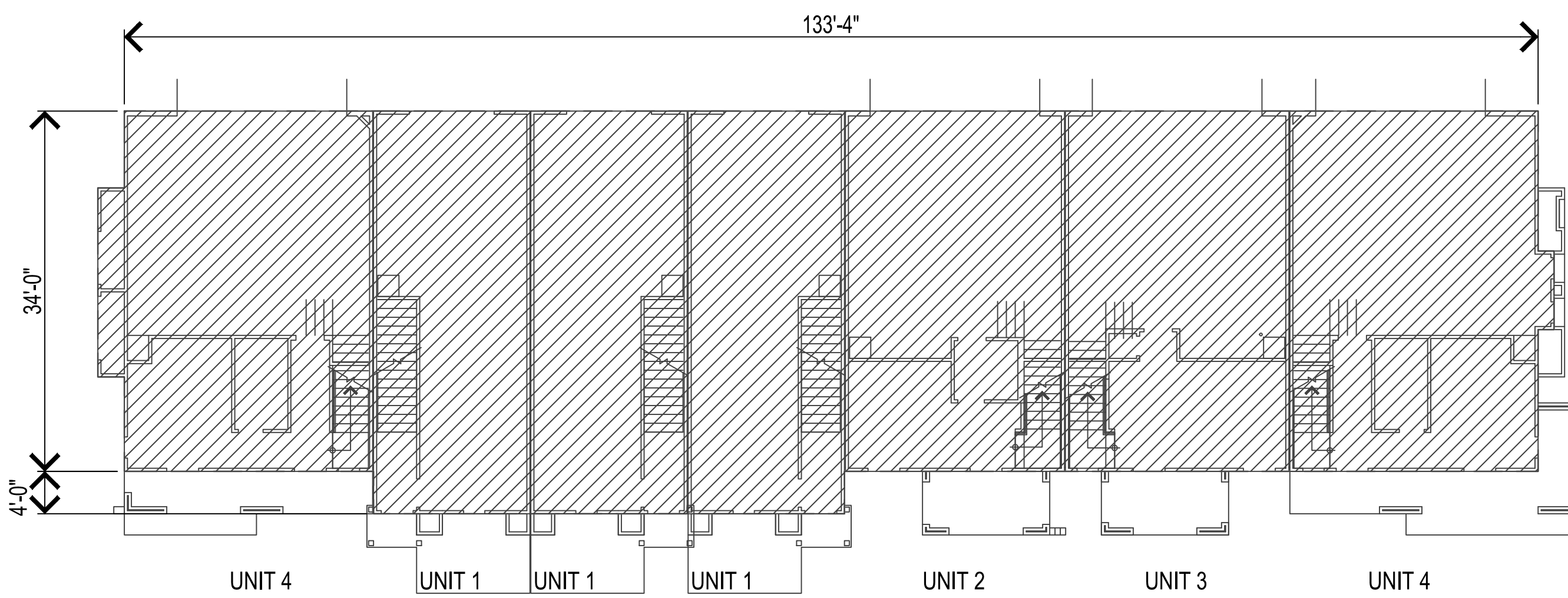
BUILDING 7 THIRD FLOOR



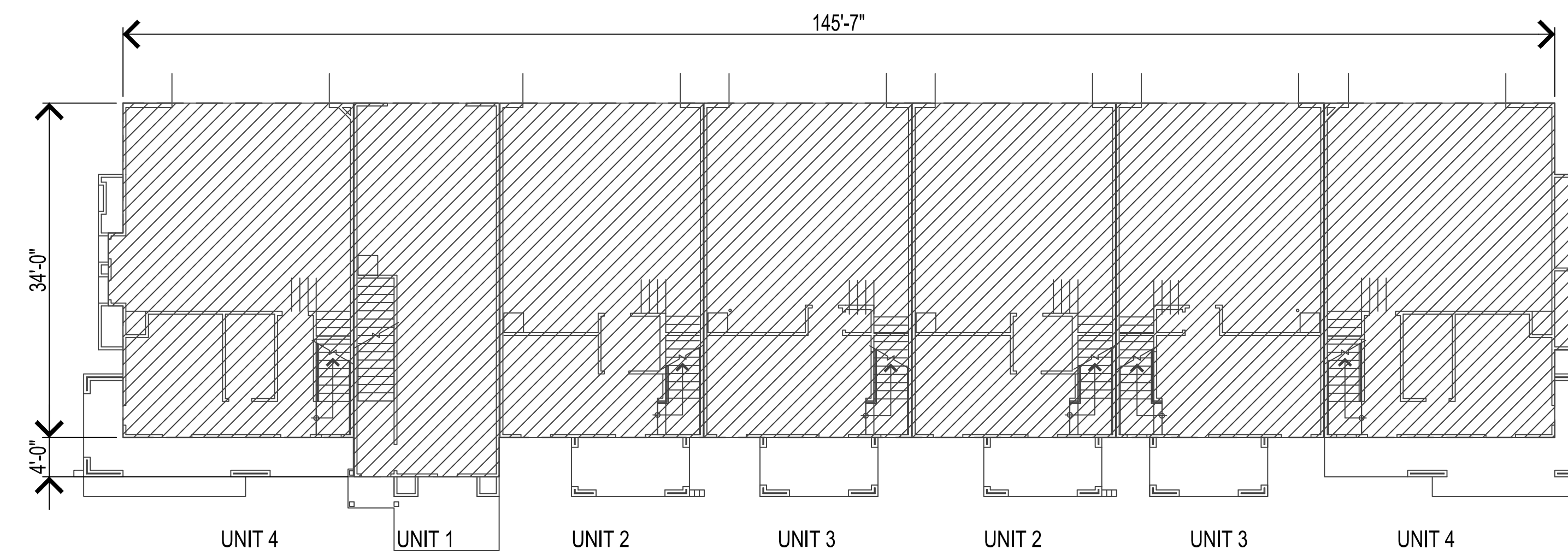
BUILDING 8 SECOND FLOOR



BUILDING 7 SECOND FLOOR



BUILDING 8 FIRST FLOOR



BUILDING 7 FIRST FLOOR

BUILDING 8 SQUARE FOOTAGES	
FIRST FLOOR	4767 SQ. FT.
SECOND FLOOR	5092 SQ. FT.
THIRD FLOOR	5228 SQ. FT.
TOTAL BLDG. FLOOR AREA	15087 SQ. FT.

BUILDING 7 SQUARE FOOTAGES	
FIRST FLOOR	5065 SQ. FT.
SECOND FLOOR	5575 SQ. FT.
THIRD FLOOR	5673 SQ. FT.
TOTAL BLDG. FLOOR AREA	16313 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title: BUILDINGS 7 & 8  
FLOOR AREAS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

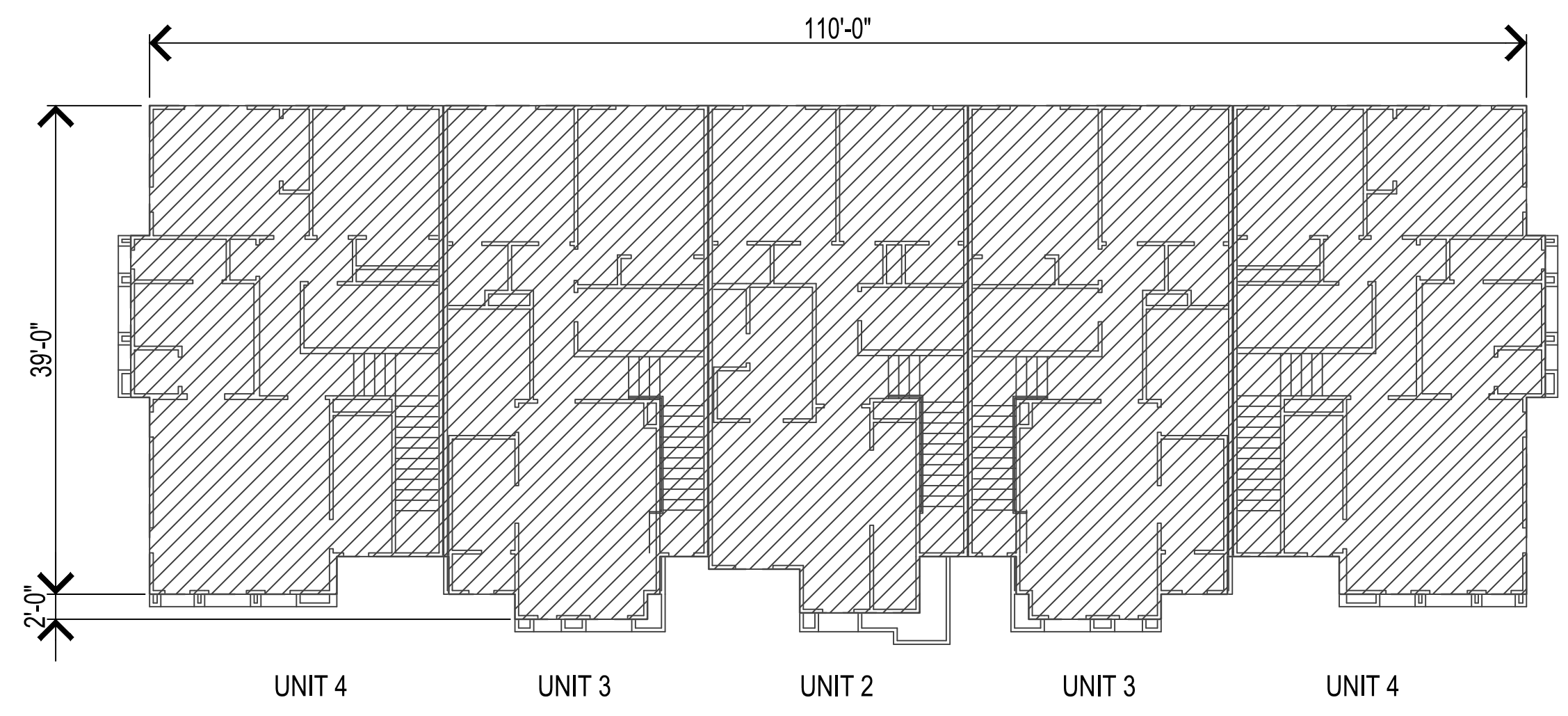
Original Date: 9/15/2014

Sheet 18 of 22

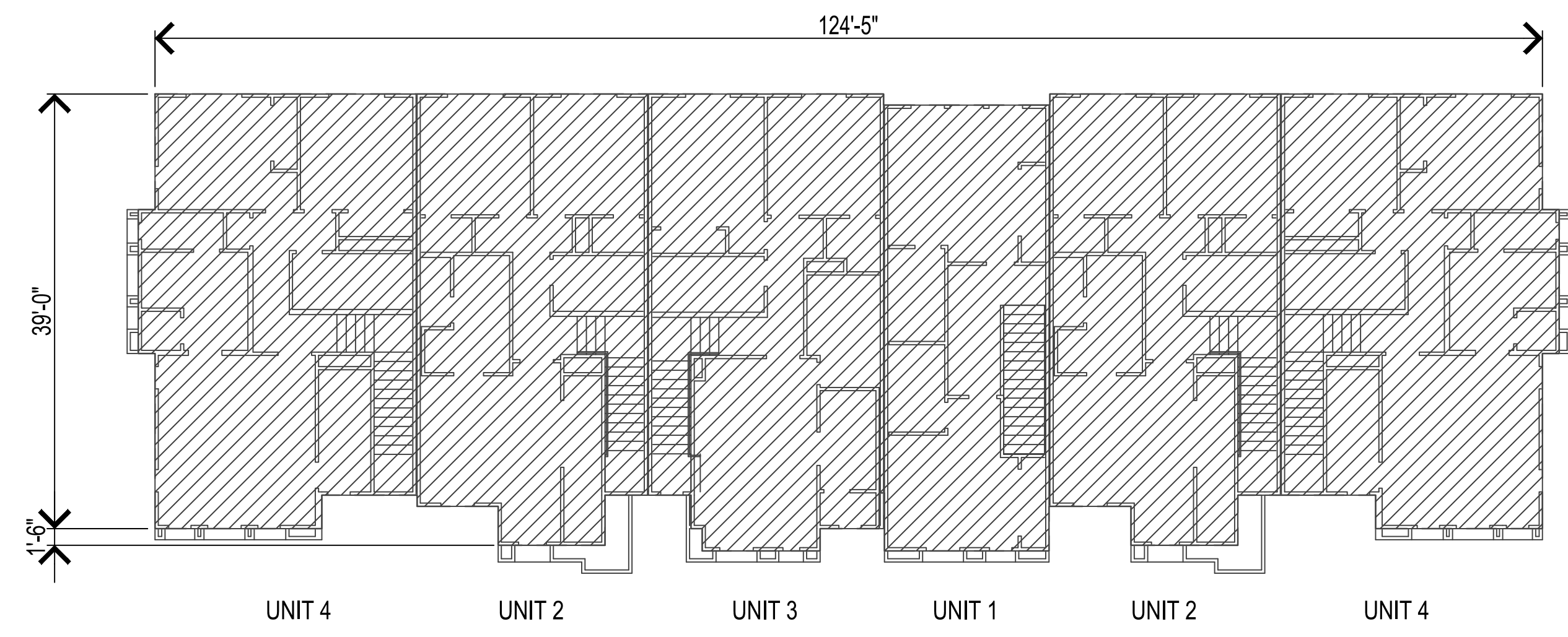
DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com

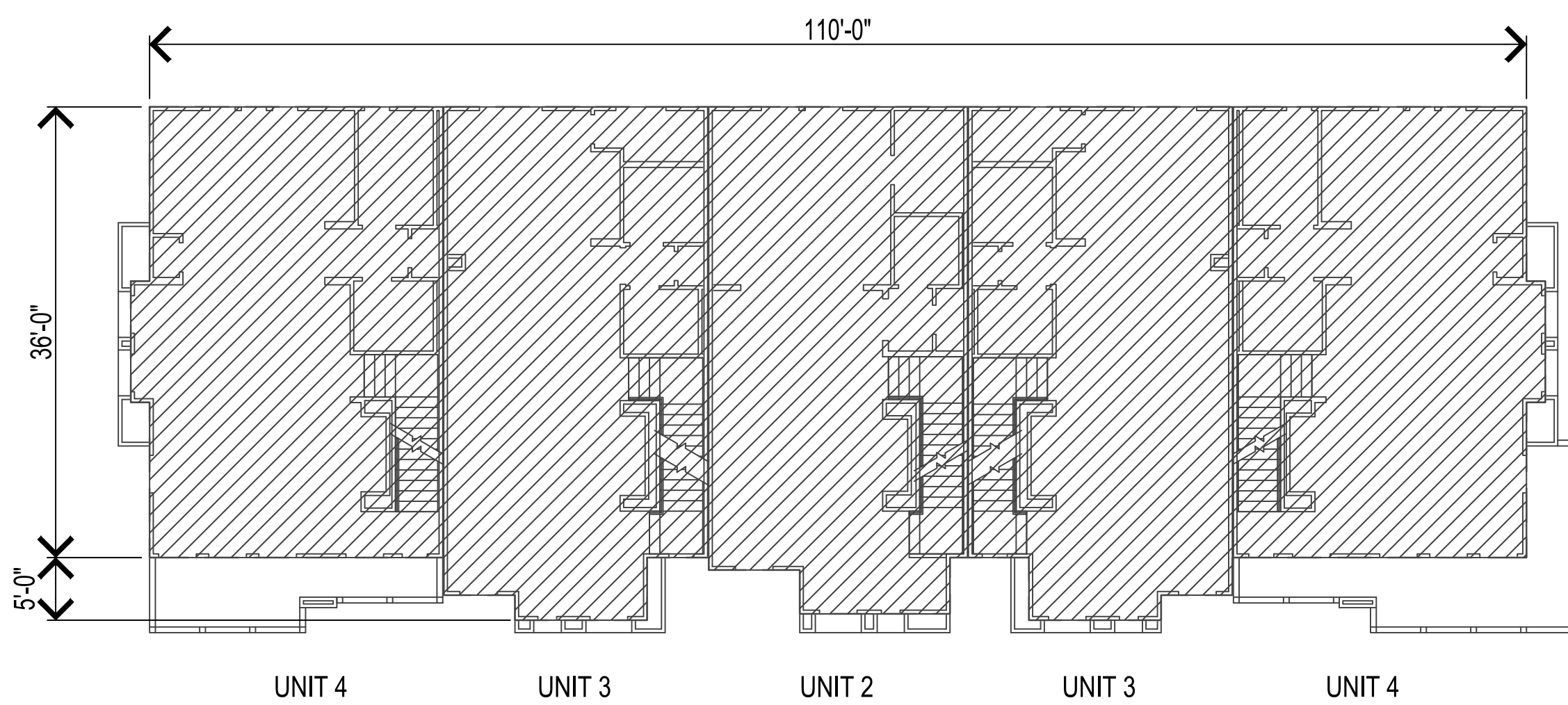




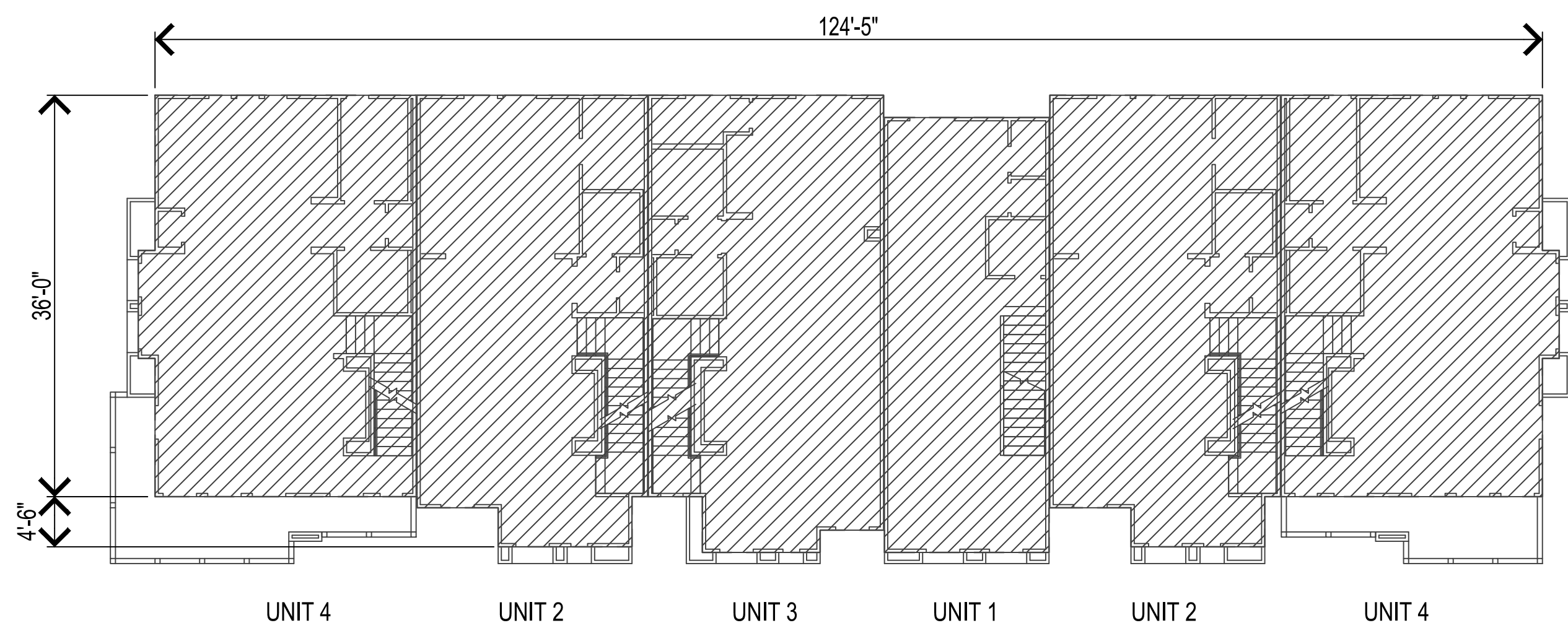
BUILDING 10 THIRD FLOOR



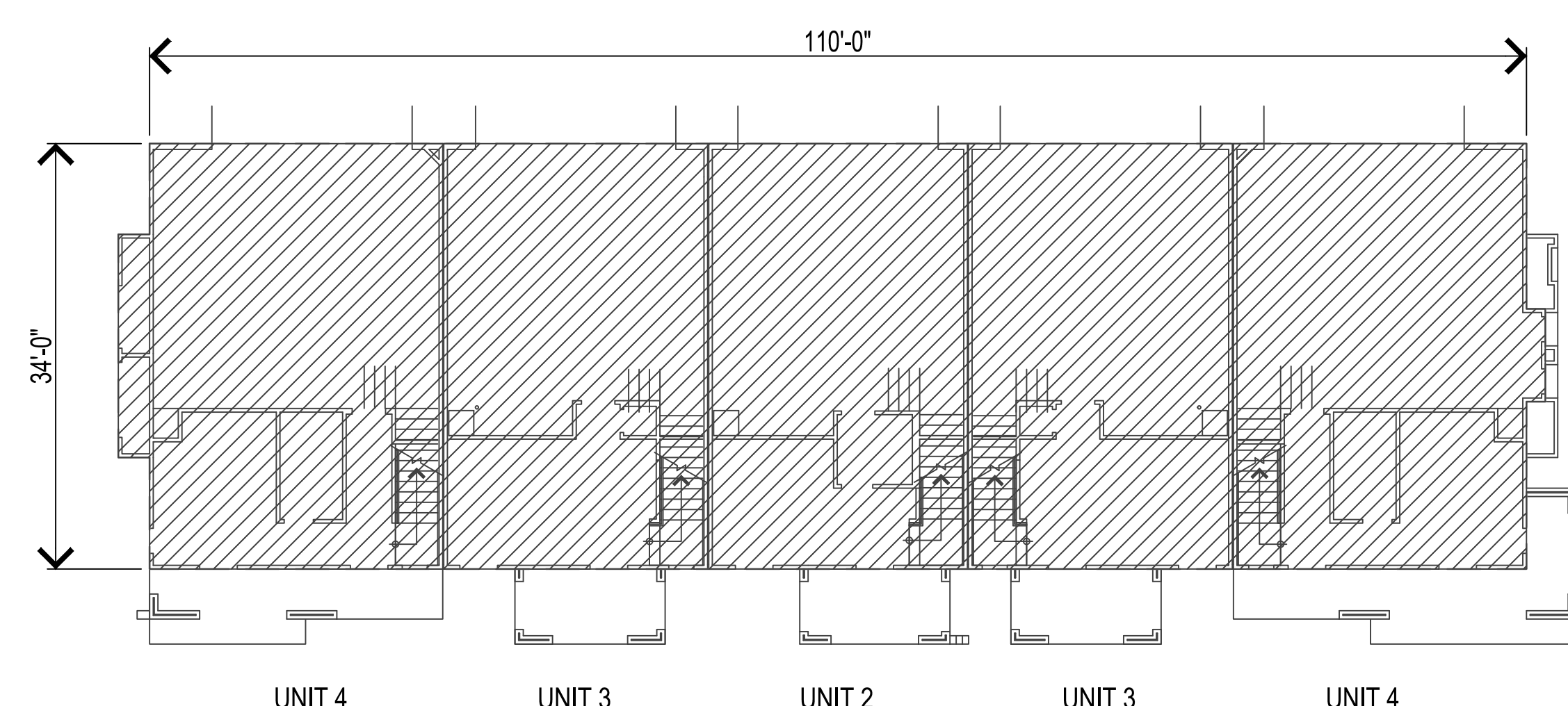
BUILDING 9 THIRD FLOOR



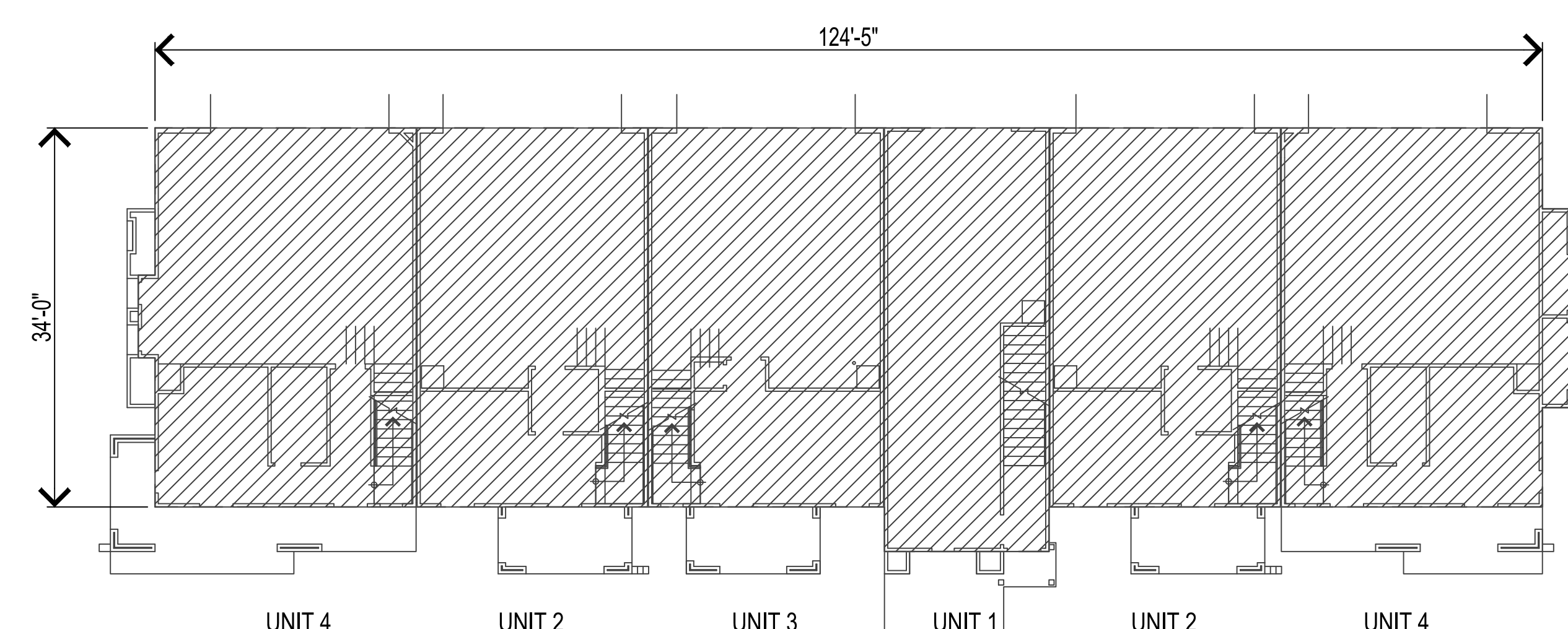
BUILDING 10 SECOND FLOOR



BUILDING 9 SECOND FLOOR



BUILDING 10 FIRST FLOOR



BUILDING 9 FIRST FLOOR

BUILDING 10 SQUARE FOOTAGES	
FIRST FLOOR	3796 SQ. FT.
SECOND FLOOR	4190 SQ. FT.
THIRD FLOOR	4282 SQ. FT.
TOTAL BUILDING FLOOR AREA	12268 SQ. FT.

BUILDING 9 SQUARE FOOTAGES	
FIRST FLOOR	4345 SQ. FT.
SECOND FLOOR	4745 SQ. FT.
THIRD FLOOR	4839 SQ. FT.
TOTAL BUILDING FLOOR AREA	13929 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

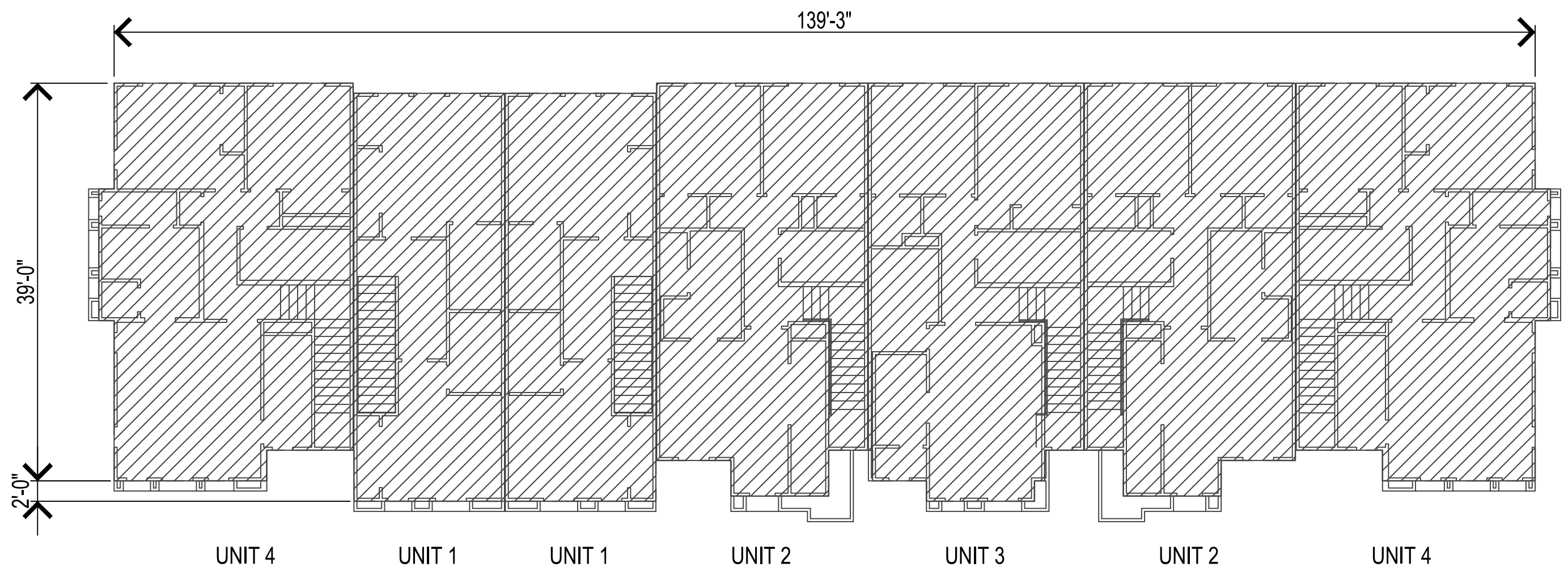
Sheet Title: BUILDINGS 9 & 10  
FLOOR AREAS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

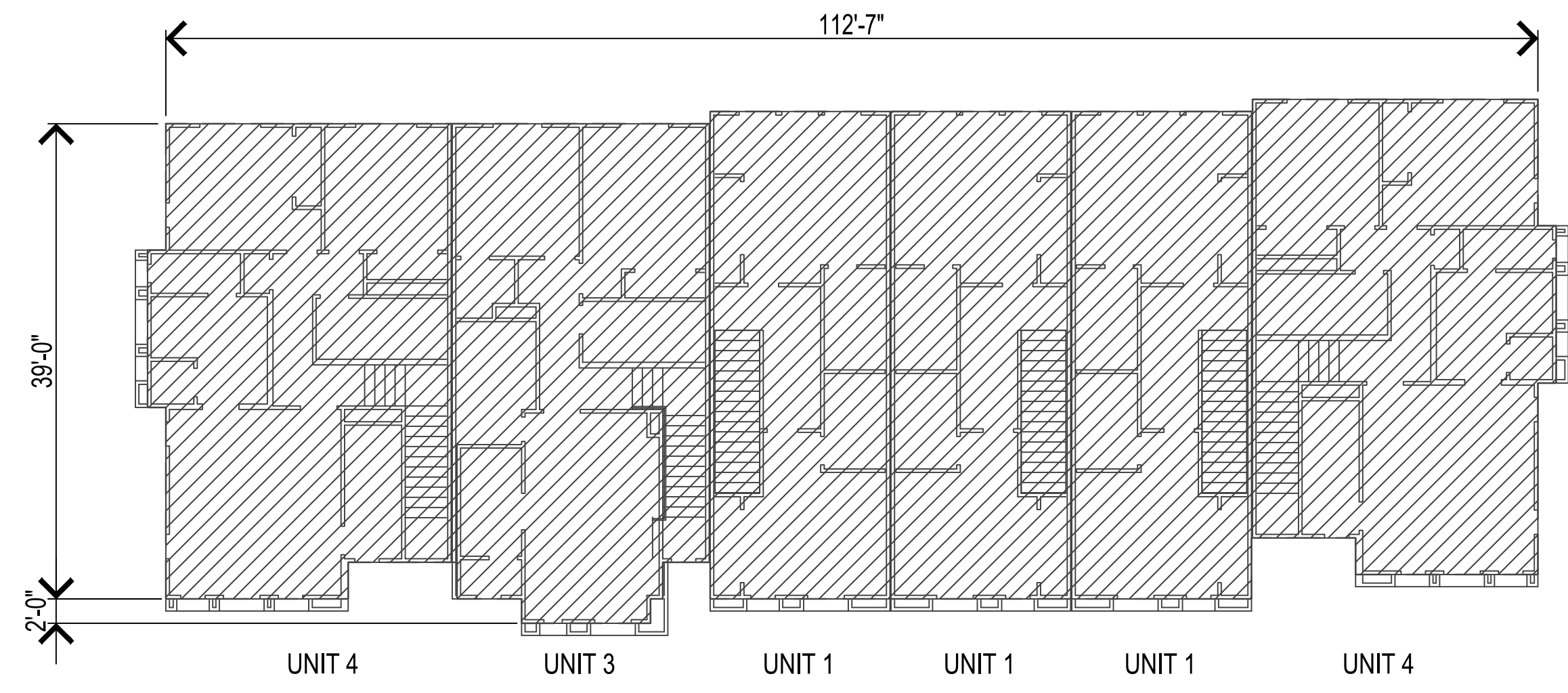
Original Date: 9/15/2014  
 Sheet 19 of 22  
 DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com

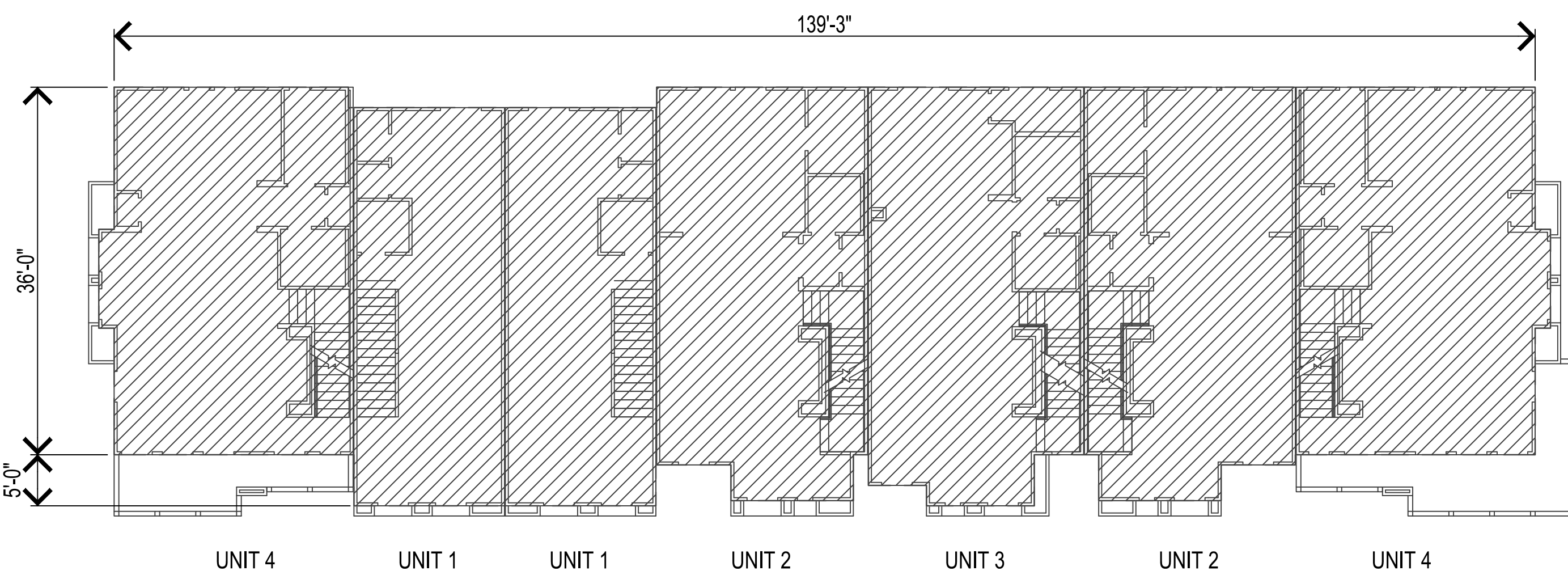




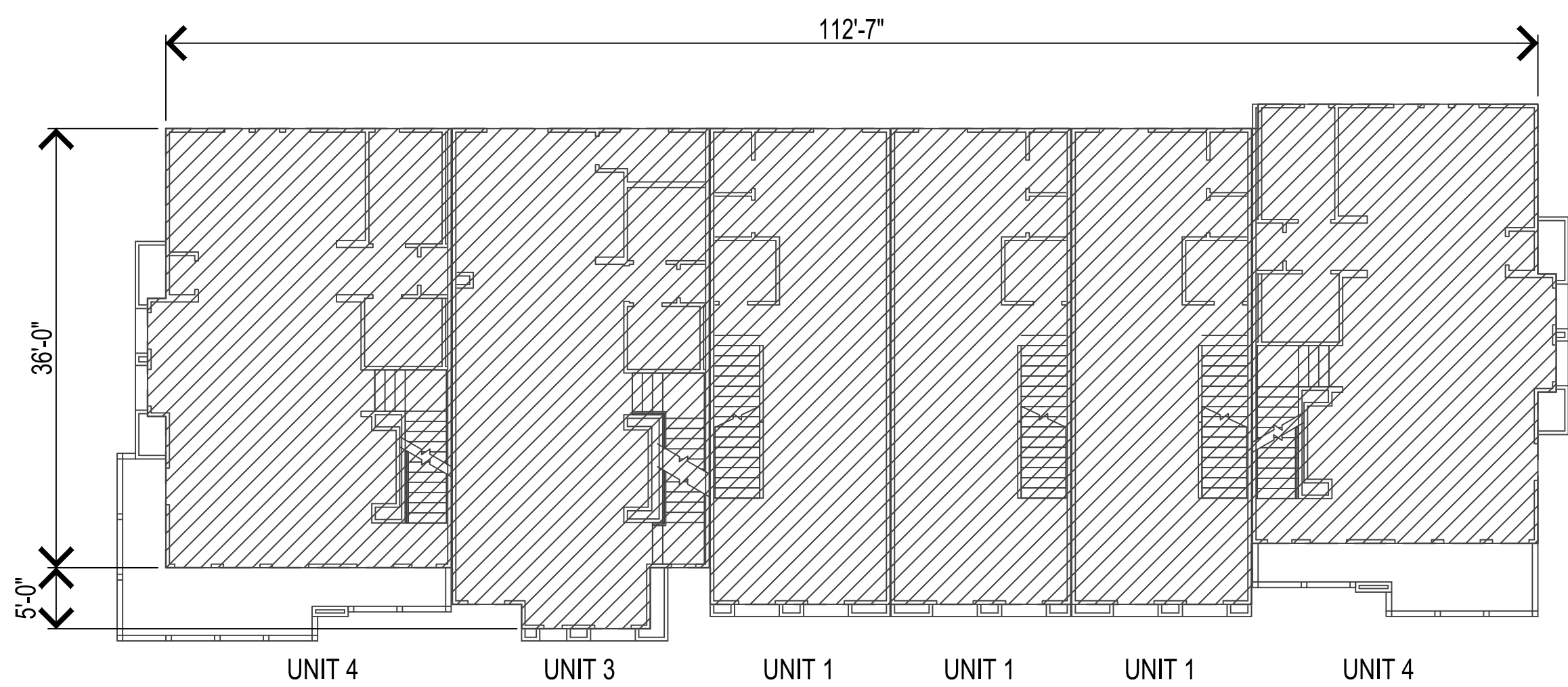
BUILDING 12 THIRD FLOOR



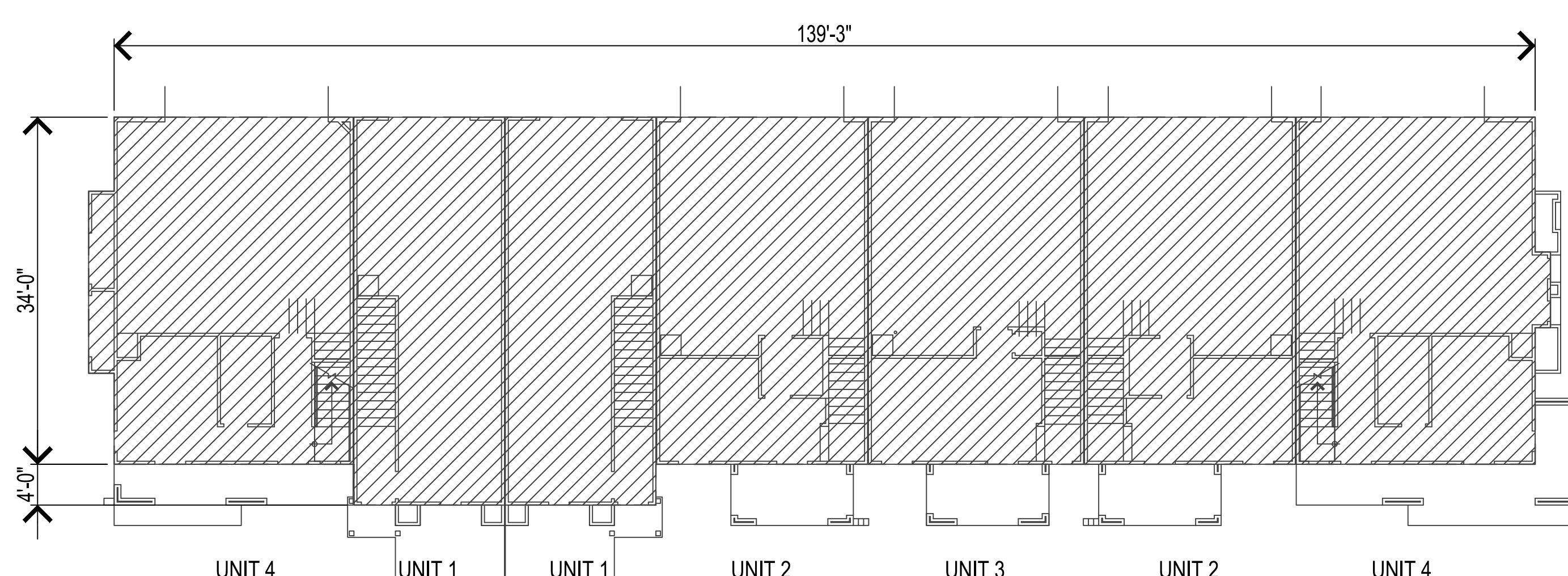
BUILDING 11 THIRD FLOOR



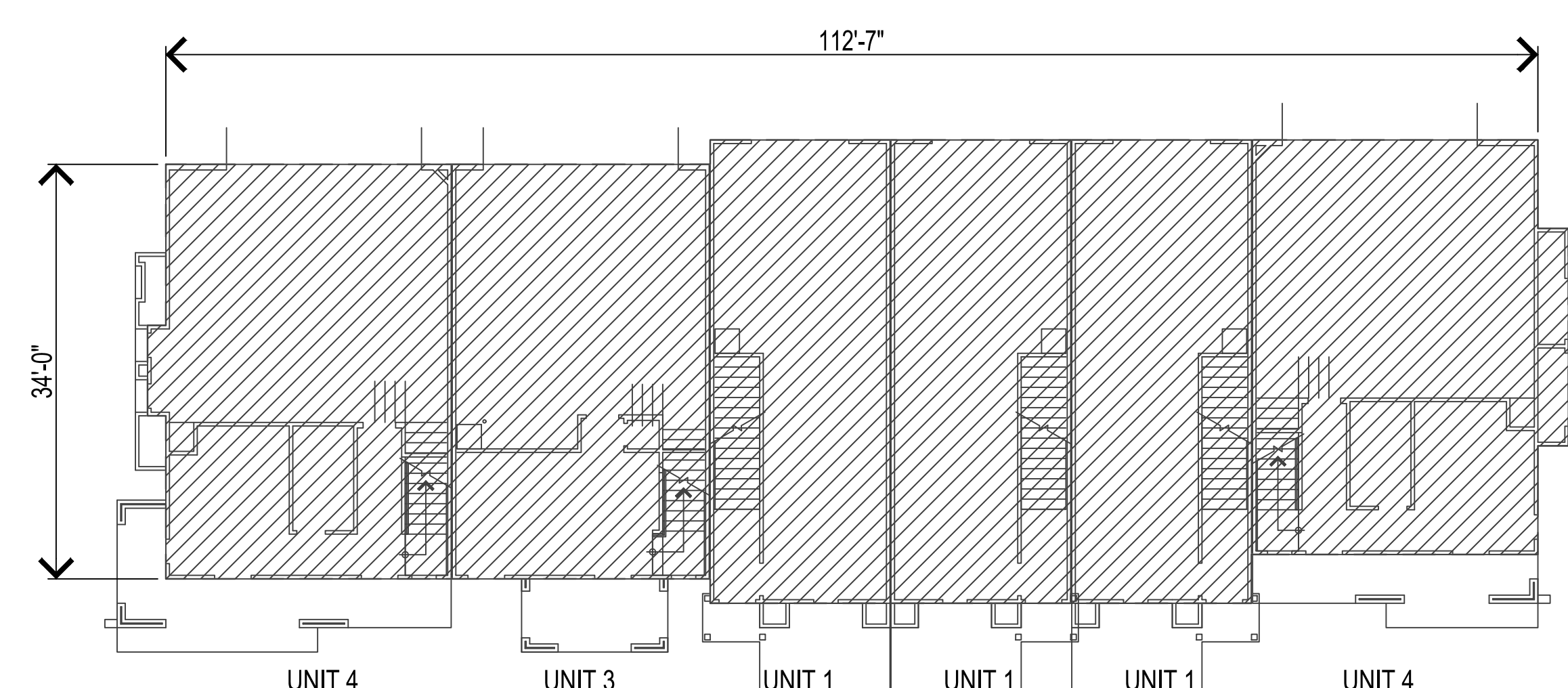
BUILDING 12 SECOND FLOOR



BUILDING 11 SECOND FLOOR



BUILDING 12 FIRST FLOOR



BUILDING 11 FIRST FLOOR

BUILDING 12 SQUARE FOOTAGES	
FIRST FLOOR	4909 SQ. FT.
SECOND FLOOR	5322 SQ. FT.
THIRD FLOOR	5432 SQ. FT.
TOTAL BUILDING FLOOR AREA	15663 SQ. FT.

BUILDING 11 SQUARE FOOTAGES	
FIRST FLOOR	4061 SQ. FT.
SECOND FLOOR	4284 SQ. FT.
THIRD FLOOR	4431 SQ. FT.
TOTAL BUILDING FLOOR AREA	12776 SQ. FT.

Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR  
SAN DIEGO, CA 92131  
 Phone #: (858) 751-0633  
 Fax #: (858) 751-0634

Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: LATERRA AT  
PACIFIC HIGHLANDS RANCH

Sheet Title: BUILDINGS 11 & 12  
FLOOR PLANS

Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Original Date: 9/15/2014  
 Sheet 20 of 22  
 DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com

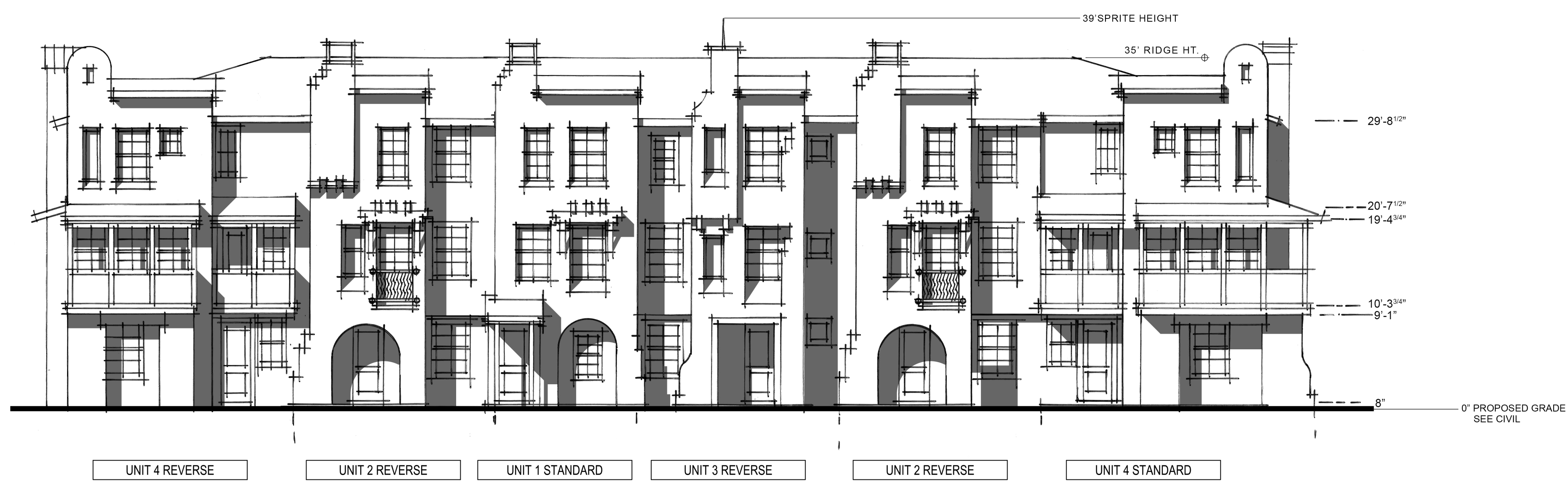




SIDE ELEVATION

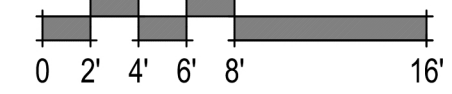


REAR ELEVATION



FRONT ELEVATION

- ELEVATION DETAILS
1. Low pitched roof
  2. Flush rake eaves
  3. Spanish roof tile
  4. Arched porch openings
  5. San finish exterior plaster wall finish
  6. Asymmetrically organized elevation geometry
  7. Decorative chimney features
  8. Trellis accents
  9. Wood trimmed accent balcony
  10. Stepped wall accents



Prepared By: LATITUDE 33  
 Name: PLANNING AND ENGINEERING Revision 12: \_\_\_\_\_  
 Address: 9968 HIBERT STREET, 2ND FLOOR Revision 11: \_\_\_\_\_  
SAN DIEGO, CA 92131 Revision 10: \_\_\_\_\_  
 Phone #: (858) 751-0633 Revision 9: \_\_\_\_\_  
 Fax #: (858) 751-0634 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Project Address: INTERSECTION OF VILLAGE CENTER LOOP ROAD Revision 5: \_\_\_\_\_  
AND PEPPERGRASS CREEK GATE Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Project Name: LATERRA AT Revision 2: \_\_\_\_\_  
PACIFIC HIGHLANDS RANCH Revision 1: 10/12/2015  
 Original Date: 9/15/2014  
 Sheet Title: TYPICAL BUILDING ELEVATIONS Sheet 21 of 22  
 DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com





Prepared By: \_\_\_\_\_  
 Name: LATITUDE 33  
PLANNING AND ENGINEERING  
 Address: 9968 HIBERT STREET, 2ND FLOOR Revision 12: \_\_\_\_\_  
SAN DIEGO, CA 92131 Revision 11: \_\_\_\_\_  
 Phone #: (858) 751-0633 Revision 10: \_\_\_\_\_  
 Fax #: (858) 751-0634 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: 10/12/2015

Project Address: \_\_\_\_\_  
INTERSECTION OF VILLAGE CENTER LOOP ROAD  
AND PEPPERGRASS CREEK GATE

Project Name: \_\_\_\_\_  
LATERRA AT  
PACIFIC HIGHLANDS RANCH Original Date: 9/15/2014

Sheet Title: \_\_\_\_\_  
BUILDING ELEVATIONS Sheet 22 of 22

DEP# \_\_\_\_\_

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513  
 925.634.7000  
 www.strausdesign.com

