



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: OCTOBER 2, 2104

REPORT NO. PC-14-060

ATTENTION: Planning Commission, Agenda of October 9, 2014

SUBJECT: SDCRAA Noise Monitoring Poles - PROJECT NO. 340611
PROCESS 4

APPLICANT: SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY
(SDCRAA)

SUMMARY

Issue(s): Should the Planning Commission approve a Site Development Permit to allow for the replacement and upgrade of eight noise monitoring poles within the public right-of-way in the following community plan areas: Peninsula, Uptown, Greater Golden Hill, and Balboa Park?

Staff Recommendation: APPROVE Site Development Permit (SDP) No. 1197636.

Community Planning Group Recommendations:

Peninsula Community Planning Board – On March 20, 2014, the Peninsula Community Planning Board voted 8-1-0 to recommend approval of Site #11 (3412 Browning Street), Site #20 (1944 Plum Street), and Site #22 (5029 Lotus Street) within their planning jurisdiction.

Uptown Planners - On April 1, 2014, the Uptown Planners voted 15-0-1 to recommend approval of Site #19 (1290 West Thorn Street) and Site #9 (1126 Redwood Street) within their planning jurisdiction.

Greater Golden Hill Planning Committee - On May 14, 2014, the Greater Golden Hill Planning Committee voted 11-1-2 to recommend approval of the location of Site #2 (1328 Dale Street) and Site #16 (3385 B Street) within their planning jurisdiction.



Balboa Park Committee - The Balboa Park Committee is aware of the project, but declined a presentation. Additionally, the City's Park and Recreation staff reviewed and approved the project.

Environmental Review: The City of San Diego has determined pursuant to the California Environmental Quality Act (CEQA) that the action is exempt pursuant to Section 15302 (c) [Replacement or Reconstruction] and Section 15303 [New Construction or Conversion of Small Structures] of the State CEQA Guidelines. The opportunity to appeal this determination expired on July 21, 2014.

Fiscal Impact Statement: The cost of processing this application is paid through a deposit account funded by the applicant.

Code Enforcement Impact: There are currently no open code enforcement cases.

Housing Impact Statement: There are no residential units proposed to be added or removed, therefore there is no impact to the number of housing units.

BACKGROUND

Under the provisions of Title 21 of the California Noise Standards, the San Diego County Regional Airport Authority (SDCRAA – “Airport Authority”), owner/operator of the San Diego International Airport (SDIA), is mandated to provide continuous monitoring of the SDIA noise impacts on surrounding communities. This mandate is implemented through a network of 23 monitoring poles, or remote monitoring terminals (RMT), as part of the Airport Noise and Operations Monitoring System – Geographic Information System (ANOMS- GIS). The California Noise Standards establish that the acceptable level of aircraft noise for persons living near airports is a Community Noise Equivalent Level (CNEL) of 65 decibels (dB).

Since the late 1970's the Airport Authority has measured SDIA's noise impacts using the RMTs. This data is measured and compiled for reports required by the State of California, Division of Aeronautics. The ANOMS-GIS helps staff monitor noise levels and aircraft flight tracks. It is also used to enforce the departure “Curfew”, respond to aircraft noise complaints from community members, and to generate noise contour maps.

Because the 65 dB CNEL noise contours and the location of these noise contours change over time due to airport operations, the Airport Authority has periodically reconfigured its network of the monitoring poles to correctly measure the existing noise environment. In 2002, the Port District, then owner/operator of SDIA, embarked on a project to upgrade the noise monitoring capabilities of its system to provide more accurate community monitoring of SDIA noise impacts, and to reconfigure the locations of the monitoring poles. The Airport Authority, which became SDIA proprietor in 2003, subsequently commissioned a noise monitoring study authored by an acoustical consultant that recommended adding two new stations, and relocating eight stations within the SDIA noise impact area. All locations received upgraded noise monitoring equipment. The Airport Authority received its original permits from the City and completed

work by 2007.

The proposed project will upgrade the existing eight wooden poles to metal and upgrade the monitoring equipment at each location. The project will relocate one of the monitoring poles; while the other seven poles would remain in or very near the existing locations which are within the Public Right-of- Way.

The proposed project requires a Site Development Permit (SDP), (Attachment 1), Process Four for encroachments into the public right-of-way. The Site Development Permit (SDP) findings for the public right-of-way encroachment are supported in the attached Resolution (Attachment 3).

On July 7, 2014, the City of San Diego issued an Environmental Determination that the proposed project is exempt from the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15302 (c) [Replacement or Reconstruction] and Section 15303 [New Construction or Conversion of Small Structures]. The opportunity to appeal that determination ended July 21, 2014. There were no appeals filed (Attachment 2).

DISCUSSION

Project Description:

The proposed project will upgrade eight existing wooden noise monitoring poles to metal poles; install solar panels on two of the poles; reconnect eight poles to existing utilities; and transfer noise monitoring equipment from existing poles to new metal poles. The eight poles are located in the public right-of-way (Attachment 5). Installation of utilities in the public right-of-way is compatible with the underlying base zones of the various locations. The proposed project will ensure continued compliance of 24/7 noise monitoring, required by the State of California. The improvements include: the construction of two 20-foot high, hinged, square, steel poles; one 24-foot high, non-hinged, square, steel pole; and five 20-foot high, non-hinged, square, steel poles (Attachment 4). The noise monitoring equipment poles cannot be co-located on other poles (i.e. utility poles) or buildings due to provisions in Title 21 of the California Noise Standards that stipulate measures to prevent compromising aircraft noise monitoring data via electronic interference or acoustic reflection.

Two of the eight poles proposed will include solar panels. Those solar panels will be oriented due south to be most efficient. These two poles and solar panels have been oriented so the solar panels do not overhang any face of curb or any property line. The solar panels will be self-sufficient, with no additional power hookups or street tunneling necessary to underground utilities. The remaining six poles will be reconnected to the existing utilities. All poles proposed will have an equipment cabinet mounted approximately four feet off of the base of the pole to enclose the noise monitoring equipment and backup batteries. The enclosures attached to the poles contain the remote monitoring stations (RMS) that transmit noise monitoring data to a server located at the San Diego County Regional Airport via a wireless data modem. The RMS collect data via a microphone that is mounted above the pole. The microphone must be free of

obstructions and mounted at a minimum height above the ground in order to accurately record aircraft overflights, therefore preventing the noise monitoring equipment from being located underground.

All proposed sites were selected primarily due to unobstructed line-of-sight access to SDIA arriving or departing aircraft. All eight poles have been reviewed to determine there are no potential public right-of-way safety conflicts for pedestrians or vehicles. Installation contractors are required to maintain a minimum ten-foot horizontal edge-to-edge and minimum one-foot vertical edge-to-edge separation between all proposed poles, foundations, and grounding rods and all existing public underground sewer and water utilities. (Attachment 8)

Since October 2013, the Airport Authority staff has been consulting with the following community planning boards to achieve consensus on the locations and design of eight poles within respective planning jurisdictions (Attachment 7):

- **Balboa Park Committee – 1 location**
Site #1: Balboa Park Drive/8th drive (Solar Panel)

- **Greater Golden Hill Planning Committee – 3 locations**
Site #2: 1328 Dale Street
Site #16: 3385 B Street (Solar Panel)

- **Uptown Planners – 2 locations**
Site #9: 1134 West Redwood Street
Site #19: 1290 West Thorn Street

- **Peninsula Community Planning Board – 3 locations**
Site #11: 3413 Browning Street
Site #20: 1944 Plum Street
Site #21: 1625 Froude Street

After initially consulting with all of the above community planning boards/committees, the Airport Authority staff made recommended modifications to the design and energy source used at several pole locations. Once the modifications to the design were complete, staff returned to the above community groups for approval to recommend the proposed project. All Community Planning Boards except for the Balboa Park Committee, who are aware of the project but declined a presentation, approved the revised locations and energy sources (Attachment 6).

Community Plan Analysis

Each of the locations has been reviewed for consistency with the community plans. In general, the community plans encourage undergrounding of utilities and recognize the need to minimize

installation of new above-ground utilities. The utilities cannot be placed underground because the noise monitoring equipment must be able to record aircraft overflights. The Airport Authority considered, but rejected the alternative of installing the noise monitoring stations on existing structures. The equipment cannot be mounted on existing buildings or other utilities due to data quality objective as specified in Title 21, section 5080.3 of the California Noise Standards, "Performance Specifications" and section 5080.5, "Environmental Precautions and Requirements: regarding vibration, acoustic noise, and electrostatic/magnetic interference. The pole location within the public right-of-way was presented to and approved by the local community planning groups, except the Balboa Park Committee, taking into account local environmental factors such as aesthetics, functionality, and public safety.

CONCLUSION

Staff has reviewed the proposed Site Development Permit (SDP) No. 1197636 and found it to be in conformance with the applicable sections of the San Diego Municipal Code (SDMC). Staff has also determined that the required findings can be made as the project meets applicable SDMC regulations and recommends approval of the proposed project.

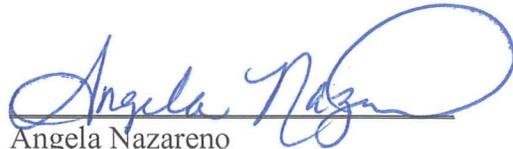
ALTERNATIVES

1. **Approve Site Development Permit (SDP) No. 1197636 with modifications; or**
2. **Deny Site Development Permit (SDP) No. 1197636 if the findings cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Angela Nazareno
Development Project Manager
Development Services Department

Attachments:

1. Draft Site Development Permit with Conditions
2. Environmental Exemption and Notice of Right to Appeal (NORA)
3. Draft Permit Resolution with Findings
4. Project Site Plan(s)
5. Location Photos
6. Community Planning Group Minutes
7. Location Table: zoning, community group, addresses
8. Project Location Map

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004089

SITE DEVELOPMENT PERMIT NO. 1197636
SDCRAA NOISE MONITORING POLES PROJECT NO. 340611
PLANNING COMMISSION

This Site Development Permit No. 1197636 is granted by the Planning Commission of the City of San Diego, to the San Diego County Regional Airport Authority (SDCRAA), Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0502. The eight poles are located within the public right-of-way and within the following communities: Peninsula, Uptown, Greater Golden Hill, and Balboa Park and summarized as follows:

- Site #1: Balboa Park Drive/8th drive
- Site #2: 1328 Dale Street
- Site #9: 1134 West Redwood Street
- Site #11: 3413 Browning Street
- Site #16: 3385 B Street
- Site #19: 1290 West Thorn Street
- Site #20: 1944 Plum Street
- Site #21: 1625 Froude Street

Subject to the terms and conditions set forth in this Permit, permission is granted to Permittee to replace eight noise monitoring poles from wooden to metal poles with two of the poles changing from electrical to solar panels (ranging from 20-24 feet in height), in eight different locations along the airport flight path described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 9, 2014, on file in the Development Services Department.

The project shall include:

- a. Upgrade eight of the existing wooden noise monitoring poles to metal poles;

- b. Install solar panels on two of the poles and reconnect six poles to existing utilities;
- c. Transfer noise monitoring equipment from existing poles to new metal poles; and,
- d. The construction of two (2) 20-foot high, hinged, square, steel poles; one (1) 24-foot high, non-hinged, square, steel pole; and five (5) 20-foot high, non-hinged, square, steel poles.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 23, 2017.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

8. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

ENGINEERING REQUIREMENTS:

10. The project proposes to export 14 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

11. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Public Right-of-Way, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit, the Permittee shall remove the existing non-standard guard post and barricade and extend the existing City Standard guard post and

barricade with current City Standard M-9 guard post and barricade, in the Plum Street Right-of-Way (Site #20), satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

14. Prior to the issuance of any construction permit, the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on October 9, 2014 and [Approved Resolution Number].

SITE DEVELOPMENT PERMIT No. 1197636
Date of Approval: September 25, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Angela Nazareno
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

San Diego County Regional Airport Authority
Permittee

By _____
Sjohnna Knack
PROGRAM MANAGER

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 2

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 340611 PROJECT TITLE: SDCRAA Noise Monitoring Poles

PROJECT LOCATION-SPECIFIC: The project consists of 11 noise monitoring poles at the following locations:

- 4669 Larkspur Street and 5037 Lotus Street within Council District 2 and the Ocean Beach community planning area;
3413 Browning Street, 1944 Plum Street, and 1625 Froude Street within Council District 2 and the Peninsula community planning area;
1328 Dale Street, 3385 B Street, and 2651 A Street within Council District 3 and the Greater Golden Hill community planning area;
1132 West Redwood Street and 3408 Union Street within Council District 3 and the Uptown community planning area; and
Balboa Park Drive/8th Drive within Council District 3 and Balboa Park.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The San Diego County Regional Airport Authority (SDCRAA) has multiple noise monitoring stations strategically placed around the airport designed to monitor noise generated by aircraft. This project would upgrade eleven of the noise monitoring stations. The upgrade would include removing the existing wood pole and footing; disconnecting the existing power source for the poles that will be solar powered, installing a new steel pole and concrete footing; transferring the noise monitoring equipment from the old pole to the new pole; and adding solar panels to three of the new poles (the poles at 3385 B Street, 2651 A Street, and Balboa Park Drive/8th Drive).

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: San Diego County Regional Airport Authority
Contact: Sjohnna Knack, P.O. Box 82776 San Diego, CA 92138 (619) 400-2639

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL (SEC. 21080(b)(1); 15268);
() DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
() EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
(X) CATEGORICAL EXEMPTION: (SEC. 15302(c) [REPLACEMENT OR RECONSTRUCTION]; SEC. 15303 [NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES])
() STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined the project meets the categorical exemption criteria set forth in the CEQA State Guidelines, Section 15302(c) [Replacement or Reconstruction] and Section 15303 [New Construction or Conversion of Small Structures]. Section 15302(c) allows for the replacement or reconstruction of existing utility systems and/or facilities involving negligible or no expansion of capacity. Section 15303 allows for the construction and location of limited numbers of new, small facilities or structures. The existing noise monitoring poles would either be replaced-in-place or relocated to a site in close proximity to the existing pole. None of the exceptions listed in CEQA Guidelines Section 15300.2 would apply.

LEAD AGENCY CONTACT PERSON: REBECCA MALONE

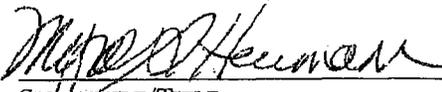
TELEPHONE: (619) 446-5371

ATTACHMENT 2

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



SIGNATURE/TITLE
CHECK ONE:

SENIOR PLANNER

July 8, 2014
DATE

- (X) SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: July 7, 2014

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

IO No. 24004089

PROJECT NAME/NUMBER: SDCRAA Noise Monitoring Poles / PTS No. 340611

COMMUNITY PLAN AREA: Ocean Beach, Peninsula, Greater Golden Hill, Uptown, and Balboa Park

COUNCIL DISTRICT: 2 and 3

LOCATION: The project consists of 11 noise monitoring poles at the following locations:

- 4669 Larkspur Street and 5037 Lotus Street within Council District 2 and the Ocean Beach community planning area;
- 3412 Browning Street, 1944 Plum Street, and 1625 Froude Street within Council District 2 and the Peninsula community planning area;
- 1328 Dale Street, 3385 B Street, and 2651 A Street within Council District 3 and the Greater Golden Hill community planning area;
- 1132 West Redwood Street and 3408 Union Street within Council District 3 and the Uptown community planning area; and
- Balboa Park Drive/8th Drive within Council District 3 and Balboa Park.

PROJECT DESCRIPTION: The San Diego County Regional Airport Authority (SDCRAA) has multiple noise monitoring stations strategically placed around the airport designed to monitor noise generated by aircraft. This project would upgrade eleven of the noise monitoring stations. The upgrade would include removing the existing wood pole and footing; disconnecting the existing power source for the poles that will be solar powered, installing a new steel pole and concrete footing; transferring the noise monitoring equipment from the old pole to the new pole; and adding solar panels to three of the new poles (the poles at 3385 B Street, 2651 A Street, and Balboa Park Drive/8th Drive).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines Sections 15302(c) [Replacement or Reconstruction] and Section 15303 [New Construction or Conversion of Small Structures].

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined the project meets the categorical exemption criteria set forth in the CEQA State Guidelines, Section 15302(c) [Replacement or Reconstruction] and Section 15303 [New Construction or Conversion of Small Structures]. Section 15302(c) allows for the replacement or reconstruction of existing utility systems and/or facilities involving negligible or no expansion of capacity. Section 15303 allows for the construction and location of limited numbers of new, small facilities or structures. The existing noise monitoring poles would either be replaced-in-place or relocated to a site in close proximity to the existing pole. None of the exceptions listed in CEQA Guidelines Section 15300.2 would apply.

DEVELOPMENT PROJECT MANAGER: Angela Nazareno
MAILING ADDRESS: 1222 First Avenue, MS 301
San Diego, CA 92101
PHONE NUMBER: (619) 446-5277

On July 7, 2014, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice and therefore the appeal period would end on July 21, 2014. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

PLANNING COMMISSION
 SITE DEVELOPMENT PERMIT NO. 1197636
SDCRAA MONITORING POLES PROJECT NO. 340611

WHEREAS, SDCRAA, Permittee, filed an application with the City of San Diego for a permit to replace 8 noise monitoring poles from wooden to metal poles with two of the poles changing from electrical to solar panels. The monitoring pole heights range from 20-24 feet in 8 different locations along the airport flight path. The eight poles are located in the Public Right-of-Way (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 1197636);

WHEREAS, the project sites are located within the Public Right-of-Way at: Site #1: Balboa Park Drive/8th drive; Site #2: 1328 Dale Street; Site #9: 1134 West Redwood Street; Site #11: 3412 Browning Street; Site #16: 3385 B Street; Site #19: 1290 West Thorn Street; Site #20: 1944 Plum Street; and Site #21: 1625 Froude Street in the following communities: Peninsula, Uptown, Balboa Park & Greater Golden Hill Community Plan areas;

WHEREAS, site location #21 is located within the City of San Diego permit jurisdiction of the California Coastal Overlay Zone however, the site is exempt from a Coastal Development Permit per SDMC Section 126.0704;

WHEREAS, on October 9, 2014, the Planning Commission of the City of San Diego considered Site Development Permit No. 1197636 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on July 7 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15302 (c) [Replacement or Reconstruction] and Section 15303 [New Construction or Conversion of Small Structures]. The opportunity to appeal that determination ended July 21, 2014. There were no appeals filed; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated October 9, 2014.

FINDINGS:

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way. Installation of utilities in the public right-of-way is compatible with the underlying base zones of the various locations, and this project involves replacing existing noise monitoring poles, not installing new

poles. These utilities cannot be located underground because the noise monitoring equipment must be able to record aircraft overflights and must be located a minimum distance above ground. The equipment cannot be mounted on existing buildings or other utility poles due to data quality objectives as specified in Title 21, section 5080.3 of the California Noise Standards, “Performance Specifications” and section 5080.5, “Environmental Precautions and Requirements” regarding vibration, acoustic noise, and electrostatic/magnetic interference. While the Peninsula, Uptown, and Greater Golden Hill Community Plans generally support the elimination of overhead utilities, it is not feasible to underground or co-locate the equipment to be installed on the noise monitoring poles. The noise pole locations were selected to facilitate locating maximum extent of the noise impact boundary. Noise monitoring data will be used to help determine the noise contours which are used to help determine noise compatible land uses. Therefore, the proposed project will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way. The monitoring sites assist SDIA staff in responding to noise complaints, enforcing departure curfews, and determining eligibility for its Quieter Home Program, a residential sound attenuation program in the highest noise-impacted neighborhoods surrounding SDIA. The proposed encroachments would not pose any danger to pedestrians using the public right-of-way or vehicular travel through the right-of-way. The permit will include specific conditions that would ensure the noise monitoring poles are maintained in a safe manner (visibility and public right-of-way access for pedestrians would not be obstructed) including a traffic control plan for installation and maintenance activities. Therefore, the proposed development will not be detrimental to the public’s health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way.. The proposed public right-of-way encroachment is permitted with an approved Site Development Permit, as stated in Section 126.0502 of the San Diego Municipal Code. Therefore, the roadway land use per City circulation Element of the General Plan will not be affected or altered. The proposed encroachments would not violate any other municipal code provision or any other local, state, or federal laws. The project would allow the San Diego Airport Authority to comply with State Law – Title 21 of California Noise Standards. Therefore, the proposed development will comply with the regulations of the Land Development Code.

O. Supplemental findings—Public Right-of Way Encroachments

1. The proposed encroachment is reasonably related to public travel, or benefits a public purpose, or all record owners have given the applicant written permission to maintain the encroachment on their property. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way. The project benefits a public purpose by monitoring aircraft noise from San Diego International Airport (SDIA) to ensure compliance with Title 21 of the California Noise

Standards, which mandates continuous aircraft noise monitoring of SDIA operations. The monitoring sites assist SDIA staff to ensure compliance with Title 21, respond to noise complaints, enforce departure curfews, and determine eligibility for its Quieter Home Program, a residential sound attenuation program in the highest noise-impacted neighborhoods surrounding SDIA. Therefore, the proposed encroachment benefits a public purpose.

2. The proposed encroachment does not interfere with the free and unobstructed use of the public right-of way for public travel. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way. The proposed encroachments would not interfere with the free and unobstructed use of the public right-of-way for public travel because all improvements are designed and conditioned to prevent conflicts with vehicular or pedestrian traffic. The equipment boxes are designed and located so as to avoid conflict with public use of the sidewalks and roadways. Additionally, prior to the issuance of any construction permit, the applicant shall obtain a Public Right-of-Way Permit for the proposed work in the public right-of-way, satisfactory to the City Engineer.

3. The proposed encroachment will not adversely affect the aesthetic character of the community. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way. The aesthetic character of the communities where the existing noise monitoring poles are located will not be affected by the replacement of the poles. The replacement poles have been designed to be compatible with existing utility poles in the neighborhoods. The proposed encroachment will not adversely affect the aesthetic character of the community because the pole colors were carefully selected to blend with the surrounding urban environment. Additionally, the locations of some of the replacement poles have been shifted from their original locations to minimize impacts to the communities where feasible.

4. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law. The proposed development is to replace eight noise monitoring poles from wooden to metal poles with two of the poles to include solar panels. The monitoring pole heights range from 20-24 feet in eight different locations along the airport flight path. The eight poles are all located within the public right-of-way. The proposed development is permitted within the public right-of-way with an approved Site Development Permit. The proposed encroachments would not violate any other Municipal Code provisions or any local, state or federal laws. Approval of the project would allow the San Diego County Regional Airport Authority to comply with State Law – Title 21 of the California Noise Standards.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1197636 is hereby GRANTED by the Planning Commission to the referenced Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1197636 a copy of which is attached hereto and made a part hereof.

Angela Nazareno
Development Project Manager
Development Services

Adopted on: October 9, 2014

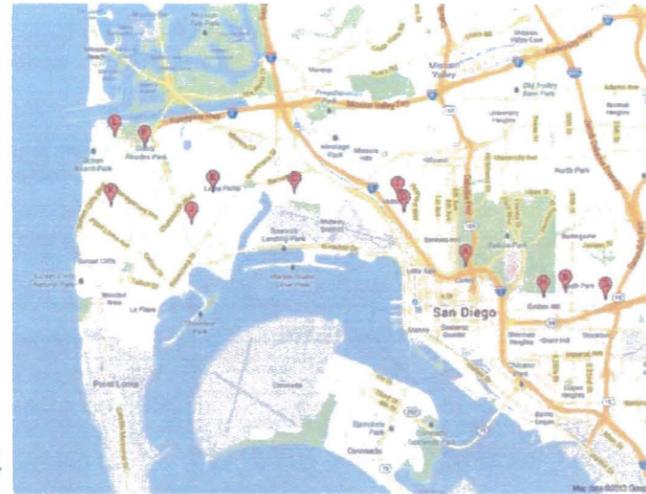
Internal Order No. 24004089

DEVELOPMENT SUMMARY SITE INFORMATION

ID	APN	OWNER NAME	ADDRESS	REQUIRED PERMITS/APPROVALS	ZONING AND OVERLAY DESIGNATIONS	GEOLOGIC HAZARD CATEGORY
01	N/A - WITHIN BALBOA PARK	CITY OF SAN DIEGO	ADJACENT TO BALBOA DRIVE (EXISTING CITY OF SAN DIEGO PARK AND REC BLDG/FORMER FIRE ALARM STATION)	SITE DEVELOPMENT PERMIT	UNZONED; AIRPORT INFLUENCE AREA	13/52
02	ADJACENT TO 539-414-08	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 1328 DALE STREET	SITE DEVELOPMENT PERMIT	RS-1-7; AIRPORT INFLUENCE AREA; RESIDENTIAL TANDM PARKING; TRANSIT AREA	52
09	ADJACENT TO 451-544-03	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 1134 W REDWOOD STREET	SITE DEVELOPMENT PERMIT	MCCPD-MR-1500; AIRPORT INFLUENCE AREA	52
11	ADJACENT TO 450-094-07	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 3413 BROWNING STREET	SITE DEVELOPMENT PERMIT	RS-1-7; AIRPORT INFLUENCE AREA; COASTAL HEIGHT LIMIT	52
16	ADJACENT TO 539-571-09	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 3385 B STREET	SITE DEVELOPMENT PERMIT	GHFD-GH-3000; AIRPORT INFLUENCE AREA	52
19	ADJACENT TO 451-471-07	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 1290 W THORN STREET	SITE DEVELOPMENT PERMIT	MCCPD-MR-3000; AIRPORT INFLUENCE AREA	52
20	ADJACENT TO 530-313-05	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 1944 PLUM STREET	SITE DEVELOPMENT PERMIT	RS-1-7; AIRPORT INFLUENCE AREA; COASTAL HEIGHT LIMIT	52
21	ADJACENT TO 448-621-15	N/A - PUBLIC RIGHT-OF-WAY	ADJACENT TO 1625 FROUDE STREET	SITE DEVELOPMENT PERMIT	RS-1-7; AIRPORT INFLUENCE AREA; COASTAL ZONE	52

GRADING DATA TABLE

SITE ID	EXPORT QUANTITIES FOR PROPOSED FOOTINGS (CUBIC YARDS)
01	1.2 CY
02	1.2 CY
09	1.2 CY
11	1.2 CY
16	1.2 CY
19	1.2 CY
20	1.2 CY
21	1.2 CY
TOTAL EXPORT FOR PROJECT	9.6 CY



KEY MAP

NO SCALE

SITE LOCATIONS

REFER TO KEY MAP FOR SITE LOCATIONS:

- A SITE 01-CITY OF SAN DIEGO PARKS AND RECREATION BUILDING ON BALBOA DRIVE, BALBOA PARK, SAN DIEGO, CA 92101
- B SITE 02-1328.5 DALE STREET, SAN DIEGO, CA 92102
- D SITE 09-1134.5 W. REDWOOD STREET, SAN DIEGO, CA 92103
- E SITE 11-3413.5 BROWNING STREET, SAN DIEGO, CA 92106
- G SITE 16-3385.5 'B' STREET, SAN DIEGO, CA 92102
- I SITE 19-1290.5 W THORN STREET, SAN DIEGO, CA 92013
- J SITE 20-1944.5 PLUM STREET, SAN DIEGO, CA 92106
- K SITE 21-1625 FROUDE STREET, SAN DIEGO, CA 92107

SHEET INDEX

SITE DEVELOPMENT PERMIT TITLE SHEET	T-01
IMPROVEMENT PLAN TITLE SHEET	XXXXXX-1-0
IMPROVEMENT PLAN NOTES	XXXXXX-2-0
CIVIL DETAILS SHEET	XXXXXX-3-0
CIVIL DETAILS SHEET	XXXXXX-4-0
IMPROVEMENT PLANS: SITE 01-BALBOA DR	XXXXXX-5-0
IMPROVEMENT PLANS: SITE 02-DALE ST	XXXXXX-6-0
IMPROVEMENT PLANS: SITE 09-W. REDWOOD ST	XXXXXX-7-0
IMPROVEMENT PLANS: SITE 11-BROWNING ST	XXXXXX-8-0
IMPROVEMENT PLANS: SITE 16-B ST	XXXXXX-10-0
IMPROVEMENT PLANS: SITE 19-W. THORN ST	XXXXXX-12-0
IMPROVEMENT PLANS: SITE 20-PLUM ST	XXXXXX-13-0
IMPROVEMENT PLANS: SITE 21-FROUDE ST	XXXXXX-14-0
(SHEET NUMBERS RESERVED FOR FUTURE USE)	XXXXXX-16 TO 28-0
STRUCTURAL DETAILS & NOTES	XXXXXX-29-0

SITE DEVELOPMENT PERMIT CONDITIONS

- PER INFORMATION BULLETIN 177, THE PERMITTEE SHALL OBTAIN A PUBLIC RIGHT-OF WAY PERMIT FOR TRAFFIC CONTROL WHEN THERE WILL BE A TEMPORARY ENCROACHMENT OF A PORTION OF THE PUBLIC ALLEY OR PUBLIC SIDEWALK WHEN THE MONITORING POLE IS LOWERED.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED CONSTRUCTION WORK IN THE CITY OF SAN DIEGO RIGHT-OF-WAYS.

DEVELOPMENT SUMMARY

SCOPE OF WORK THE PROPOSED PROJECT INVOLVES THE REPLACEMENT OF 8 EXISTING WOOD NOISE MONITORING POLES WITH NEW METAL POLES.

PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF TWO 20' HIGH, HINGED, SQUARE, STEEL POLES, ONE 24' HIGH, HINGED, SQUARE, STEEL POLES, AND FIVE 24' HIGH, NON-HINGED, SQUARE, STEEL POLE.

ALL POLES WILL BE MOVED FROM THEIR CURRENT LOCATIONS TO MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT WILL BE OUT OF SERVICE. (THE NEW POLES WILL BE CONSTRUCTED WHILE THE OLD POLES REMAIN IN SERVICE.)

SOLAR PANELS WILL BE ADDED TO THE POLES AT SITES 01 AND 16 TO ENSURE CONTINUED COMPLIANCE OF 24/7 NOISE MONITORING REQUIRED BY THE STATE OF CALIFORNIA. THE SOLAR PANELS WILL MAKE THE NOISE MONITORS SELF-SUFFICIENT WITH NO ADDITIONAL POWER HOOKUPS AND NO STREET TUNNELING NECESSARY TO UNDERGROUND UTILITIES. EXISTING ELECTRICAL POWER TO THE POLES WILL BE DISCONTINUED AND DISCONNECTED.

THE PROJECTED AREA OF THE SOLAR PANELS IS APPROXIMATELY 2'-6" X 5'W.

THE NEW POLES HAVE BEEN LOCATED AND THE SOLAR PANELS ORIENTED SO THE SOLAR PANELS DO NOT OVERHAND ANY FACE OF CURB OR PROPERTY LINE. THE POLE AT SITE 16 WILL TEMPORARILY ENCRUCH A PORTION OF THE EXISTING SIDEWALK WHEN THE POLE IS LOWERED. THE POLE AT SITE 19 WILL TEMPORARILY ENCRUCH A PORTION OF THE SIDEWALK WHEN THE POLE IS LOWERED.

ALL MONITORING POLES REQUIRE A SITE DEVELOPMENT PERMIT (PROCESS 4).

PROJECT TEAM

OWNER/APPLICANT	SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY P.O. BOX 82776 SAN DIEGO, CA 92138 CONTACT: SJOHNNA KNACK (619) 400-2639 sknack@san.org
CIVIL ENGINEER	BURKETT & WONG ENGINEERS 3434 4TH AVENUE SAN DIEGO, CA 92103 CONTACT: AMBROSE WONG, PE, QSD (619) 299-5550 awong@burkett-wong.com
STRUCTURAL ENGINEER	BURKETT & WONG ENGINEERS 3434 4TH AVENUE SAN DIEGO, CA 92103 CONTACT: CHARLES COLVIN, SE (619) 299-5550 ccolvin@burkett-wong.com
ELECTRICAL ENGINEER	PBS ENGINEERS 2750 WIMBLE ROAD, SUITE 104 SAN DIEGO, CA 92108 CONTACT: ANISH PATEL (619) 221-8087 ext. 22 apatel@pbsengineers.com

TYPE OF CONSTRUCTION	N/A
OCCUPANCY CLASSIFICATION	N/A
EXISTING/PROPOSED USE	NOISE MONITORING POLES AND ASSOCIATED EQUIPMENT WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PRIVATE EASEMENTS.
LEGAL DESCRIPTIONS	NOT APPLICABLE FOR SITES WITHIN THE PUBLIC RIGHT-OF-WAY (01, 02, 09, 11, 16, 19, 20, & 21). THE LEGAL DESCRIPTIONS FOR THE THREE SITES WITHIN PRIVATE EASEMENTS ARE AS FOLLOWS:
GROSS SITE AREA, FLOOR AREA AND FLOOR AREA RATIO	N/A
EXISTING AND PROPOSED USES	SITE 01: CITY OF SD PARK AND RECREATION BUILDING, BALBOA PARK SITES 02, 09, 11, 16, 19, 20, & 21: PUBLIC RIGHT-OF-WAY
YEAR CONSTRUCTED	N/A
LANDSCAPE AREA SQUARE FOOTAGE	N/A

BURKETT & WONG ENGINEERS
ENGINEERS & SURVEYORS
3434 Fourth Ave. San Diego CA
92103-5704 * (619) 299-5550



SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

REV	DESCRIPTION	DATE	APPR
1	ISSUES COMPLETED REVIEW & ALL COMMENTS	10.17.2013	
2	SUP. SITE REVIEW RESPONSE	02.14.2014	

ISSUE DATE: 02.14.2014
 DRAWN BY: S.J.
 CHECKED BY: A.W.
 B&W JOB NUMBER: 11286U.1.00
 CLIENT JOB NUMBER: 104164

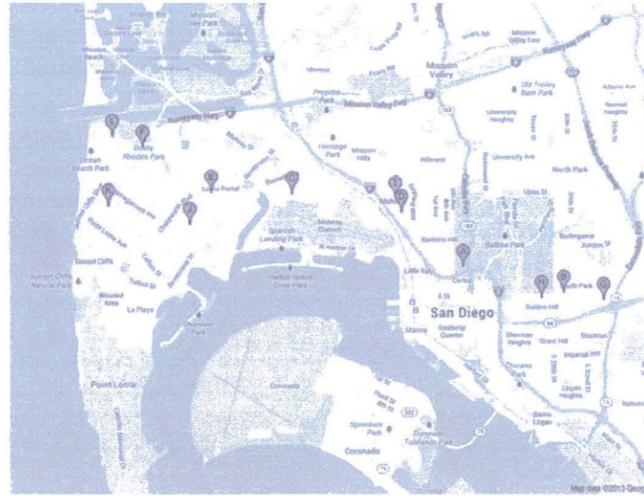
SITE DEVELOPMENT PERMIT TITLE SHEET

P:\J1_M\SPRINGS\11286U.1.00_DWP_UPGRADE_17_POLES\DWG\01_SHEET_11286U-1-00_T11.dwg - SJP, JAG, Denise Moore 5/23/2014, 3:58 PM

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE UTILITY COMPANY TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1' MINIMUM VERTICAL CLEARANCE.
- CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CITY OF SAN DIEGO FIELD DIVISION AT (858) 627-3200 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK.
- THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND CAPITOL PROJECTS DEPARTMENT, FIELD ENGINEERING DIVISION.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE CITY RESIDENT ENGINEER PRIOR TO THE ACCEPTANCE OF THIS PROJECT.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE UTILITY COMPANY SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 627-3200.
- MANHOLES OR PULL BOX COVERS SHALL BE LABELED "NAME OF COMPANY".
- CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORSEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.

**IMPROVEMENT PLANS FOR:
UPGRADE NOISE MONITORING POLES**



KEY MAP

NO SCALE

OWNER/APPLICANT

SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY
P.O. BOX 82776
SAN DIEGO, CA 92138
CONTACT: SJOHNNA KNACK
(619) 400-2639
sknack@san.org

REFERENCE DRAWINGS

NONE

SITE LOCATIONS

REFER TO KEY MAP FOR SITE LOCATIONS:

- A SITE 01-OLD FIRE ALARM BUILDING ON BALBOA DRIVE, BALBOA PARK, SAN DIEGO, CA 92101
- B SITE 02-1328.5 DALE STREET, SAN DIEGO, CA 92102
- C SITE 06-HUE CITY AVENUE AT MIDWAY AVENUE, MCRO, SAN DIEGO, CA 92101 (NOT INCLUDED FOR CITY OF SAN DIEGO REVIEW BUT TO BE INCLUDED IN CONTRACTOR'S BID)
- D SITE 09-1134.5 W. REDWOOD STREET, SAN DIEGO, CA 92103
- E SITE 11-3413.5 BROWNING STREET, SAN DIEGO, CA 92106
- F SITE 13-4669.5 LARKSPUR STREET, (ALLEY) SAN DIEGO, CA 92107 (APN 448-551-04-00, PRIVATE EASEMENT)
- G SITE 16-3385.5 'B' STREET, SAN DIEGO, CA 92102
- H SITE 17-2651.5 'A' STREET, (ALLEY) SAN DIEGO, CA 92102 (APN 534-162-11-00, PRIVATE EASEMENT)
- I SITE 19-1290.5 W THORN STREET, SAN DIEGO, CA 92103
- J SITE 20-1944.5 PLUM STREET, SAN DIEGO, CA 92106
- K SITE 21-1625 FROUDE STREET, SAN DIEGO, CA 92107
- L SITE 22-5029.5 LOTUS STREET, (ALLEY) SAN DIEGO, CA 92107 (APN 448-133-07-00, PRIVATE EASEMENT)

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TITLE SHEET	XXXXX-1-D
NOTES	XXXXX-2-D
CIVIL DETAILS	XXXXX-3-D
CIVIL DETAILS	XXXXX-4-D
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IMPROVEMENT PLANS: SITE 02-DALE ST	XXXXX-6-D
IMPROVEMENT PLANS: SITE 09-W. REDWOOD ST	XXXXX-7-D
IMPROVEMENT PLANS: SITE 11-BROWNING ST	XXXXX-8-D
IMPROVEMENT PLANS: SITE 13-LARKSPUR ST (ALLEY, PVT ESMT)	XXXXX-9-D
IMPROVEMENT PLANS: SITE 16-B ST	XXXXX-10-D
IMPROVEMENT PLANS: SITE 17-A ST (ALLEY, PVT ESMT)	XXXXX-11-D
IMPROVEMENT PLANS: SITE 19-W. THORN ST	XXXXX-12-D
IMPROVEMENT PLANS: SITE 20-PLUM ST	XXXXX-13-D
IMPROVEMENT PLANS: SITE 21-FROUDE ST	XXXXX-14-D
IMPROVEMENT PLANS: SITE 22-LOTUS ST (ALLEY, PVT ESMT)	XXXXX-15-D
ELECTRICAL GENERAL NOTES, LEGEND & ABBREVIATIONS	XXXXX-16-D
ELECTRICAL SITE PLAN RMS-1	XXXXX-17-D
ELECTRICAL SITE PLAN RMS-2	XXXXX-18-D
ELECTRICAL SITE PLAN RMS-9	XXXXX-19-D
ELECTRICAL SITE PLAN RMS-11	XXXXX-20-D
ELECTRICAL SITE PLAN RMS-13	XXXXX-21-D
ELECTRICAL SITE PLAN RMS-16	XXXXX-22-D
ELECTRICAL SITE PLAN RMS-17	XXXXX-23-D
ELECTRICAL SITE PLAN RMS-19	XXXXX-24-D
ELECTRICAL SITE PLAN RMS-20	XXXXX-25-D
ELECTRICAL SITE PLAN RMS-21	XXXXX-26-D
ELECTRICAL SITE PLAN RMS-22	XXXXX-27-D
ELECTRICAL DETAILS	XXXXX-28-D
STRUCTURAL DETAILS & NOTES	XXXXX-29-D

TRAFFIC CONTROL NOTE

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO, (619) 446-5150. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

TRUCK HAUL NOTES

THE CONTRACTOR SHALL SUBMIT A TRUCK HAUL ROUTE PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING EXPORT OR IMPORT OF MATERIAL. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619) 446-5150. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO STARTING WORK.

STREET DATA TABLE (CONTINUED)

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)
PLUM STREET				
FROUDE STREET				

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

BURKETT & WONG ENGINEERS
3434 4TH AVENUE, SAN DIEGO, CA 92103
T: 619.299.5550
F: 619.299.9934
E: awong@burkett-wong.com

AMBROSE T. WONG R.C.E. NO. C68965 EXP. 12-31-13 DATE

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

**CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT**



STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)
DALE ST				
WEST REDWOOD STREET				
BROWNING STREET				
34TH STREET @ B STREET				
WEST THORN STREET				

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

REMOVE EXISTING NOISE MONITORING POLES & REPLACE WITH STEEL POLES WITH SOLAR PANELS.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PITS070112-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION
PITS070112-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2012 EDITION
PITS070112-04	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PITS070112-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION
PITS070112-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION
PITS070112-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION

LEGEND

EXISTING IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
RIGHT-OF-WAY		-B.O.M.
PROPERTY LINE		-P/L
CENTERLINE		-C/L
SEWER MANHOLE		(S)
SEWER CLEANOUT		SCC □
WATER METER		(W)
WATER VALVE		(V)
20' HIGH WOOD POLE		(P)
TREE/TREE STUMP		(T)
STREET SIGN		(S)
BOLLARD		(B)
CONCRETE SIDEWALK		(C)
CONCRETE CURB		(C)
CURB & GUTTER		(C)
DRIVEWAY		(D)
FENCE/GATE		(F)
ELECTRIC PULL BOX		EPB □
OVERHEAD ELECTRIC, TELEPHONE & COMMUNICATION		(O)
UNDERGROUND ELECTRIC (MARK-OUT)		(U)
UNDERGROUND COMMUNICATION (MARK-OUT)		(U)
REMOTE MONITORING STATION		(R)
POWER POLES		(P)
JOINT POLE		(J)

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
STEEL POLE	A/3 (20' HINGED), B/3 (24' HINGED), A/4 (24')	(S)
SWING OF TOP OF POLE		(S)
SWING OF BOTTOM OF POLE		(S)
PROTECTION POSTS	WM-04	(P)
SOLAR PANEL	PER ELEC DWGS	(S)
59.4"W X 53.375"H X 2" T		
EQUIPMENT ENCLOSURE	PER ELEC DWGS	(E)
24.7"W X 30.2"H X 14.5"D		
CONCRETE FOOTING	PER STRUCTURAL DWGS	(F)

ENGINEERING PERMIT NO: _____
CONSTRUCTION SITE STORM WATER PRIORITY: LOW

PRIVATE CONTRACT

**TITLE SHEET FOR:
UPGRADE NOISE MONITORING POLES**

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF XX SHEETS

I.O. NO. _____
PROJECT NO. _____

FOR CITY ENGINEER	DATE			
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	BWE			

AS-BUILTS

CONTRACTOR DATE STARTED _____
INSPECTOR DATE COMPLETED _____

XXXXX- 1-D

SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY



TRENCH DETAIL NOTES

1. TRENCH MUST BE COVERED FOR A MINIMUM OF SEVEN DAYS WITH A SKID RESISTANT STEEL PLATE, TO THE SATISFACTION OF THE CITY OF SAN DIEGO INSPECTOR.
2. PRIOR TO REMOVAL OF THE STEEL PLATE, THE CONCRETE SLURRY MUST REACH A MINIMUM STRENGTH THAT IS SATISFACTORY TO THE CITY OF SAN DIEGO INSPECTOR.
3. CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION TO AN ACCURACY OF A TENTH OF AN INCH FROM THE NEAREST CURB, THE VERTICAL AND HORIZONTAL LOCATION OF THE FACILITIES. MEASUREMENTS SHALL BE TAKEN EVERY 100 FEET AS WELL AT POINTS WHERE THE FACILITY OR THE CURB LINE DEPARTS FROM BEING PARALLEL TO THE ROADWAY CENTERLINE.
4. TRENCH EXCAVATIONS GREATER THAN FIVE (5') IN DEPTH SHALL BE ADEQUATELY SHORED PER OSHA CONSTRUCTION INDUSTRY STANDARDS.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM 10 FOOT HORIZONTAL EDGE TO EDGE SEPARATION BETWEEN ALL PROPOSED FIBER OPTIC CONDUITS AND ALL EXISTING PUBLIC SEWER MAINS AND SEWER LATERALS, AND A MINIMUM 5 FOOT HORIZONTAL EDGE TO EDGE SEPARATION BETWEEN ALL PROPOSED FIBER OPTIC CONDUITS AND ALL EXISTING PUBLIC WATER MAINS AND WATER SERVICES.
6. CONTRACTOR TO PROVIDE A MINIMUM OF 12" SAND CUSHION ABOVE OR BELOW ALL WATER AND WASTEWATER MAINS AND SERVICE LATERALS AT ALL CROSSINGS.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED PUBLIC IMPROVEMENTS CONSISTENT WITH THE EROSION CONTROL PLAN AND/OR WATER POLLUTION CONTROL PLAN (WPCP), IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
4. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
5. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON.
6. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
7. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
8. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED IMPROVEMENT PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
9. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
10. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

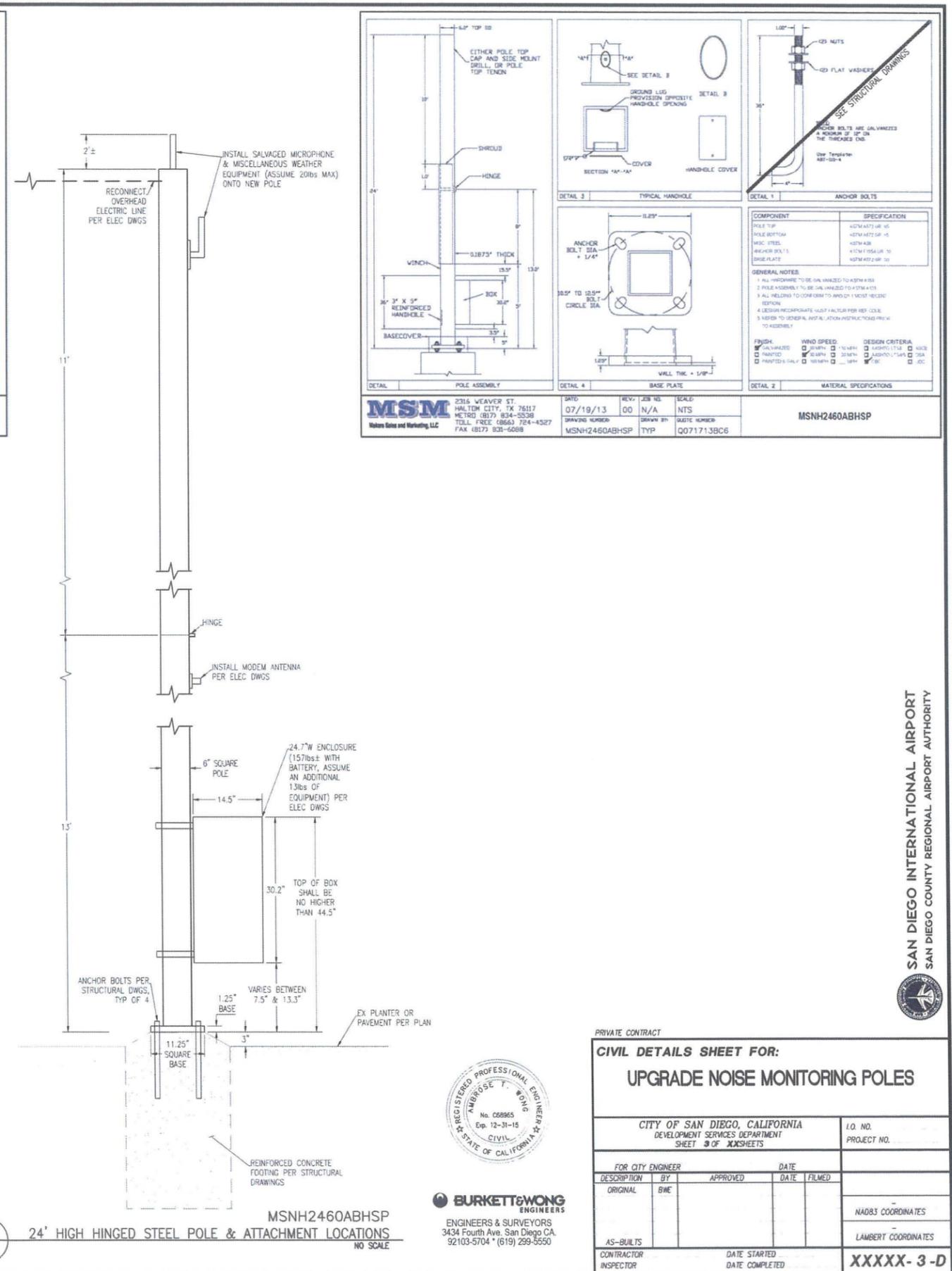
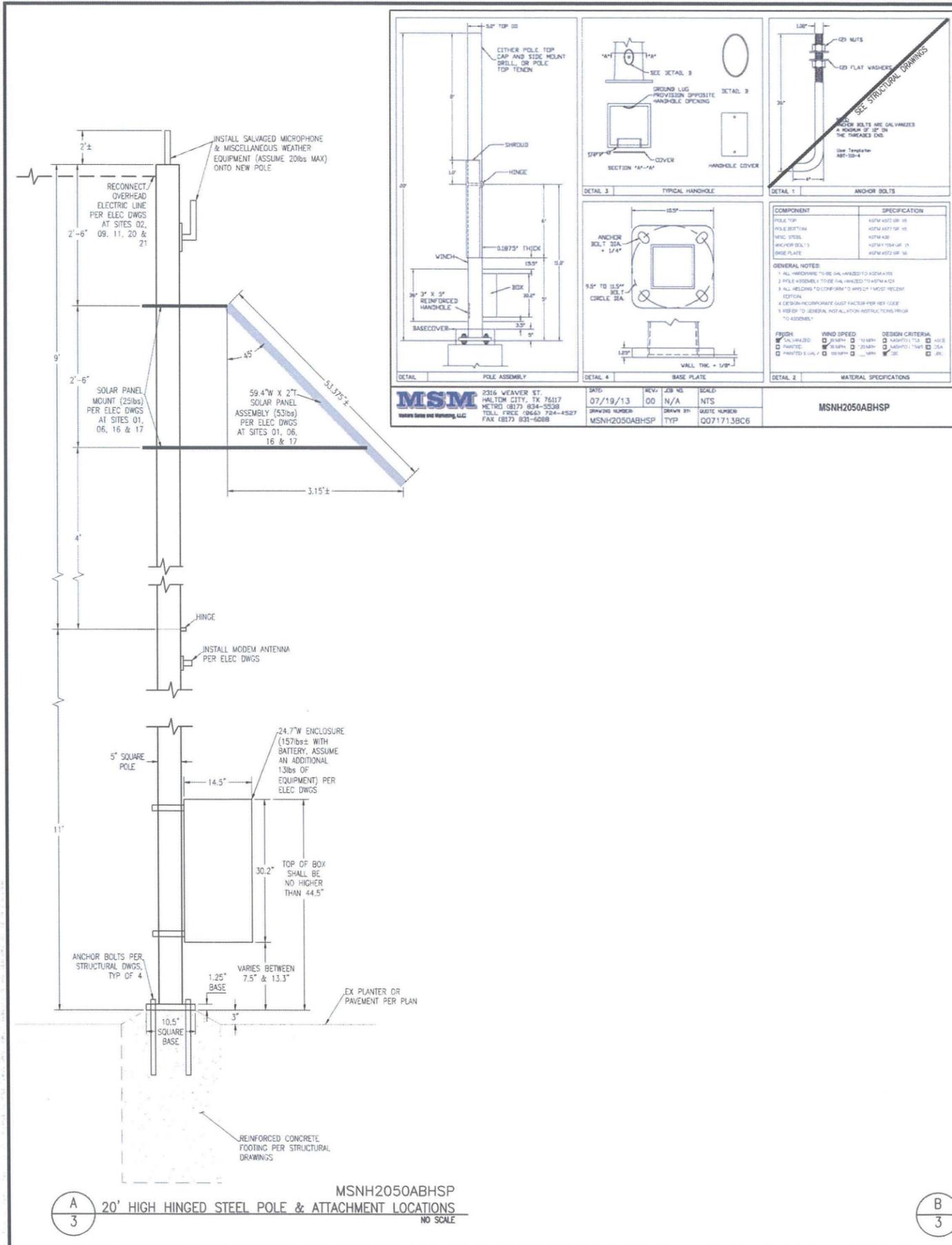


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ENGINEERS
ENGINEERS & SURVEYORS
3434 Fourth Ave. San Diego CA
92103-5704 (619) 289-8550

PRIVATE CONTRACT

NOTES FOR:				UPGRADE NOISE MONITORING POLES	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF XX SHEETS				I.O. NO. _____ PROJECT NO. _____	
FOR CITY ENGINEER				DATE	
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	BWE				
					NAD83 COORDINATES
					LAIBERT COORDINATES
AS-BUILTS					
CONTRACTOR		DATE STARTED			
INSPECTOR		DATE COMPLETED		XXXXX- 2 -D	

DATE PLOTTED: 11/09/15 10:00:12 AM USER: jlp PLOT: C:\WORK\PROJECTS\150801-1\DWG\1114811.DWG (25-27-15) A (16.87)



A 20' HIGH HINGED STEEL POLE & ATTACHMENT LOCATIONS NO SCALE

B 24' HIGH HINGED STEEL POLE & ATTACHMENT LOCATIONS NO SCALE



BURKETT & WONG ENGINEERS
 ENGINEERS & SURVEYORS
 3434 Fourth Ave. San Diego CA
 92103-5704 * (619) 299-5550

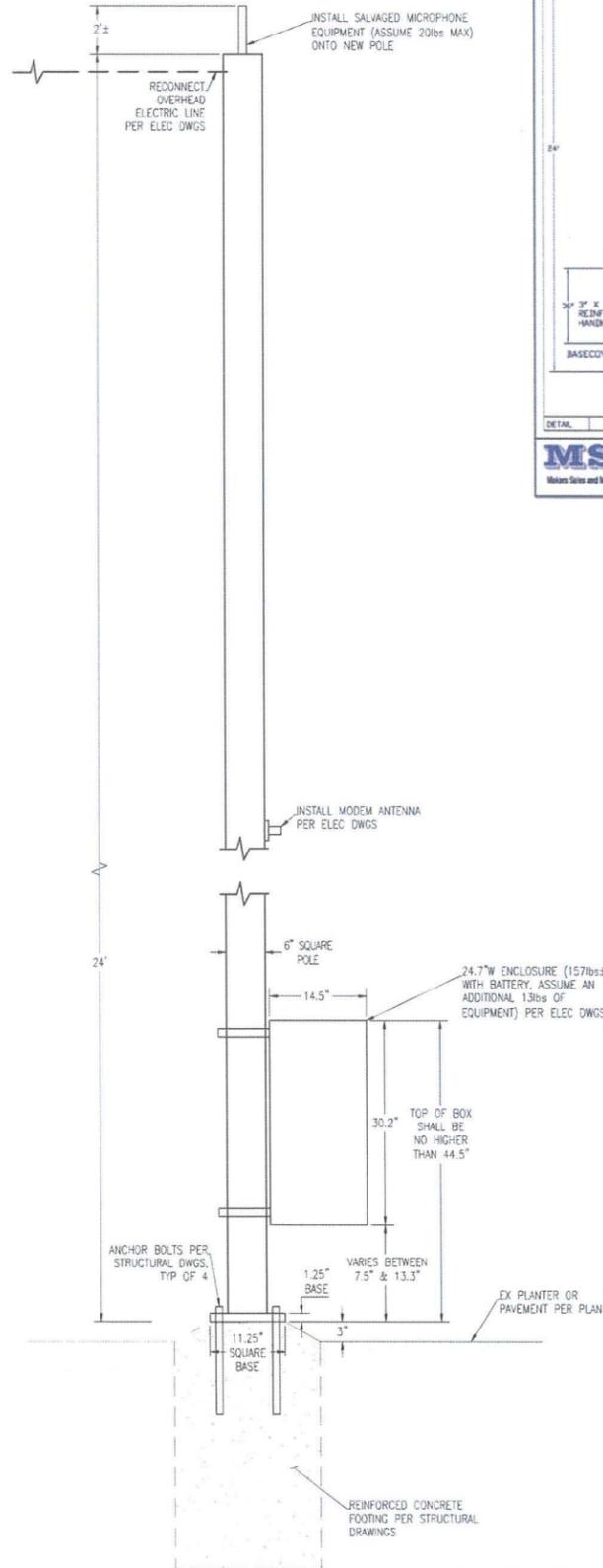
PRIVATE CONTRACT

CIVIL DETAILS SHEET FOR:
UPGRADE NOISE MONITORING POLES

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF XX SHEETS		I.O. NO. PROJECT NO.
FOR CITY ENGINEER	DATE	
DESCRIPTION	BY	APPROVED
ORIGINAL	BWE	
AS-BUILTS		
CONTRACTOR INSPECTOR	DATE STARTED DATE COMPLETED	XXXXX- 3-D

COORDINATES
 NAD83
 LAMBERT

SAN DIEGO INTERNATIONAL AIRPORT
 SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY



COMPONENT	SPECIFICATION
POLE TOP	A572 GR 50
POLE BOTTOM	A572 GR 50
MISC. STEEL	A572 GR 50
ANCHOR BOLTS	A572 GR 50
BASE PLATE	A572 GR 50

GENERAL NOTES:

- ALL WELDING TO BE GALVANIZED TO MEET A-10
- POLE ASSEMBLY TO BE GALVANIZED TO MEET A-10
- ALL WELDING TO CONFORM TO AWS D1.1 MOST RECENT EDITION
- DESIGN PROPORTIONATE CLUST FACTOR PER REV CODE
- REFER TO GENERAL INSTALLATION INSTRUCTIONS PRIOR TO ASSEMBLY

FINISH

<input checked="" type="checkbox"/> GALVANIZED	<input type="checkbox"/> 80 MPH	<input type="checkbox"/> 110 MPH	<input type="checkbox"/> 140 MPH	<input type="checkbox"/> 175 MPH	<input type="checkbox"/> 200 MPH
<input type="checkbox"/> PAINTED	<input checked="" type="checkbox"/> 80 MPH	<input type="checkbox"/> 110 MPH	<input type="checkbox"/> 140 MPH	<input type="checkbox"/> 175 MPH	<input type="checkbox"/> 200 MPH

DESIGN CRITERIA

<input type="checkbox"/> WIDE	<input type="checkbox"/> 100
<input type="checkbox"/> 100	<input type="checkbox"/> 150
<input type="checkbox"/> 150	<input type="checkbox"/> 200
<input type="checkbox"/> 200	<input type="checkbox"/> 250

MSM
Waters Sales and Marketing, LLC
2316 WEAVER ST.
HALTOM CITY, TX 76117
METRO (817) 834-5538
TOLL FREE (866) 724-4327
FAX (817) 831-6088

DATE: 07/31/13
REV: 00
LAB NO: N/A
SCALE: NTS
DRAWING NUMBER: MSN2460ABHSP
DESIGNER: TYP
CHECK NUMBER: Q071713BC6

MSN2460ABHSP

A
4
MSN2460ABHSP
24' HIGH STEEL POLE & ATTACHMENT LOCATIONS
NO SCALE



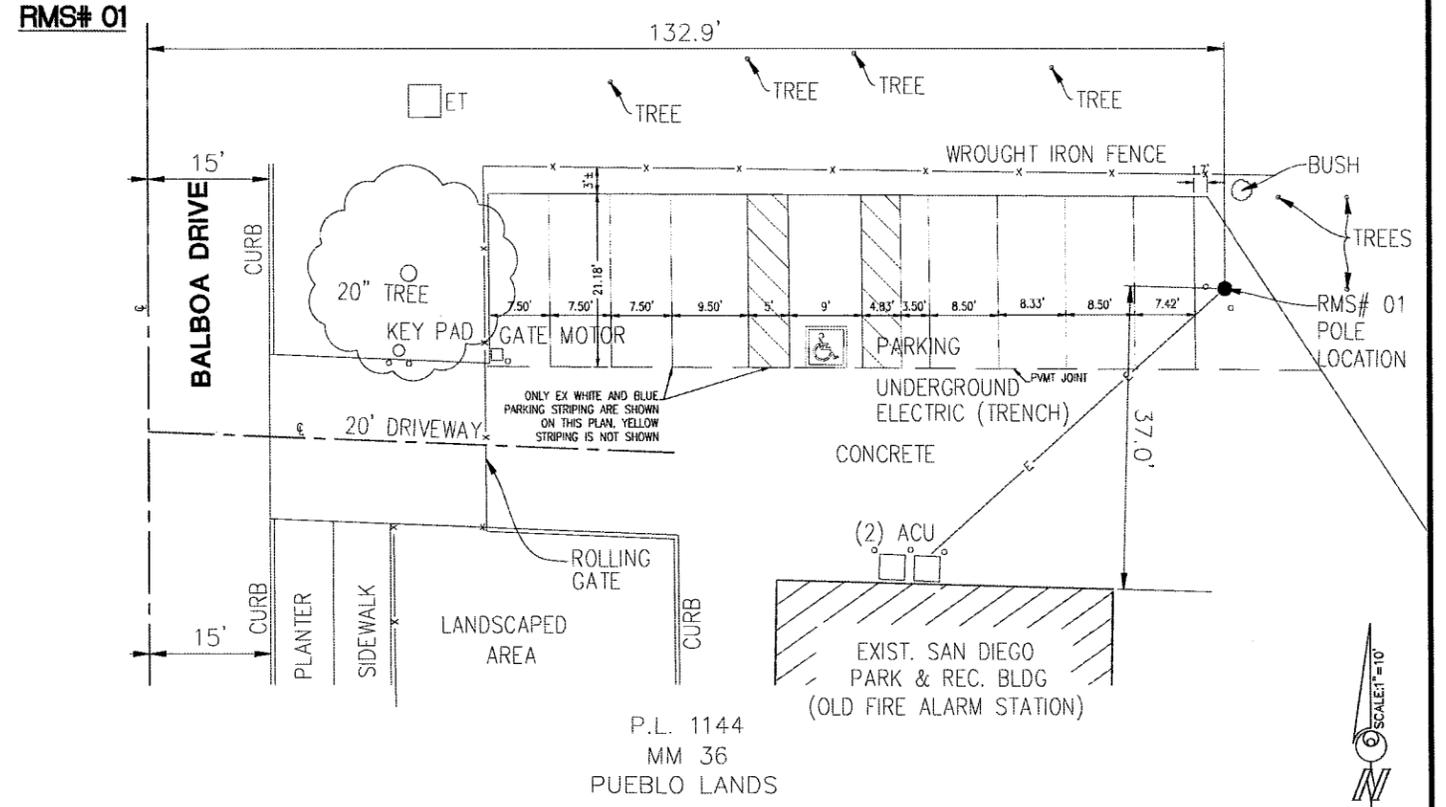
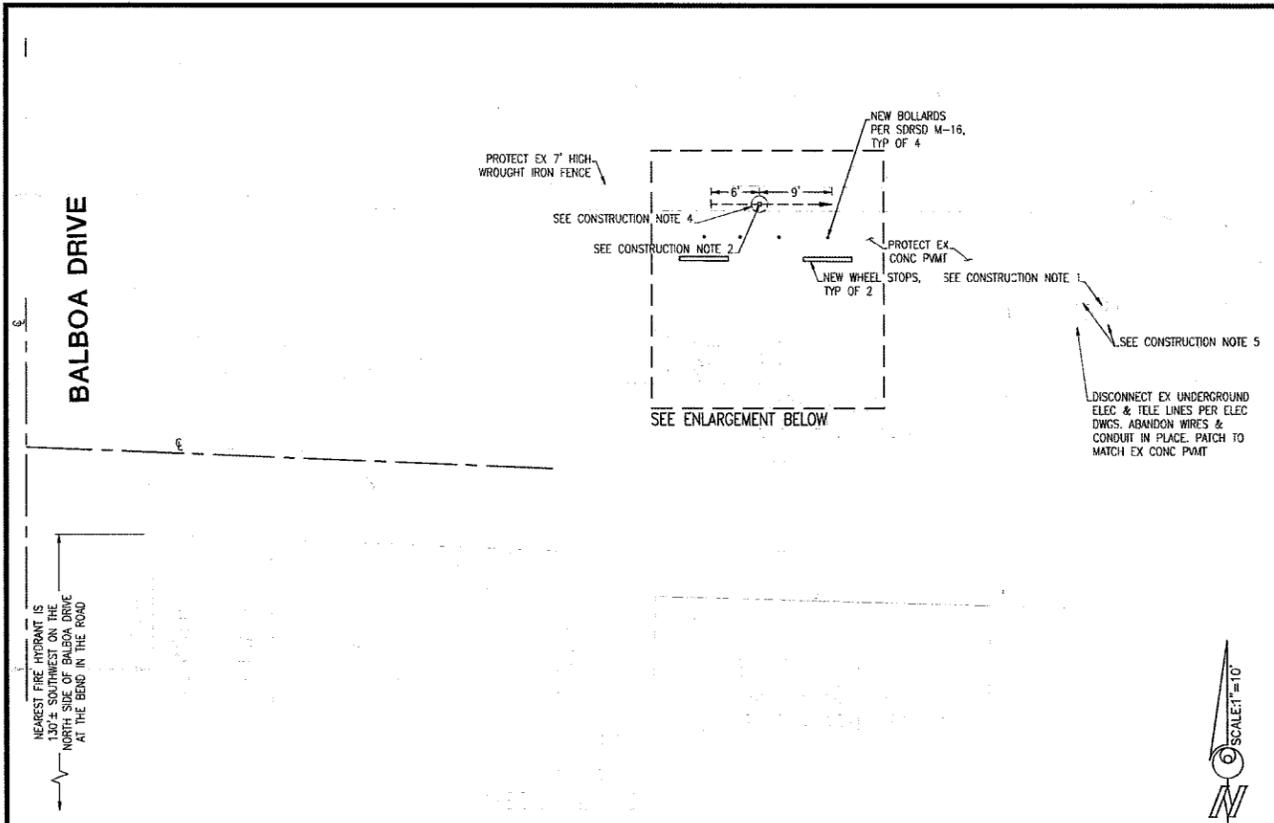
BURKETT & WONG
ENGINEERS
ENGINEERS & SURVEYORS
3434 Fourth Ave., San Diego CA,
92103-5704 • (619) 299-5550

PRIVATE CONTRACT

CIVIL DETAILS SHEET FOR:
UPGRADE NOISE MONITORING POLES

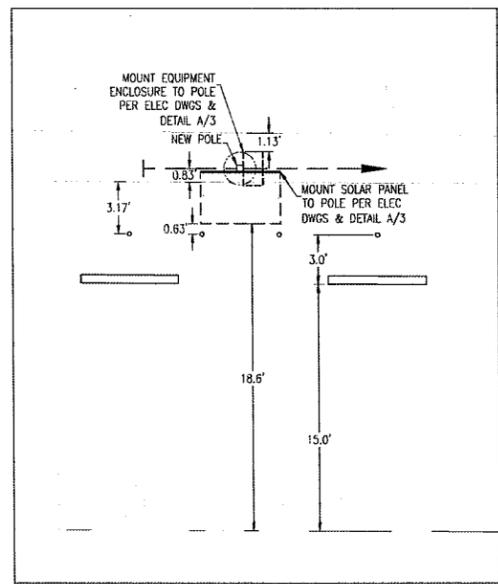
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 4 OF XX SHEETS		I.O. NO. PROJECT NO.
FOR CITY ENGINEER		DATE
DESCRIPTION	BY	APPROVED
ORIGINAL	BWE	
AS-BUILTS		
CONTRACTOR INSPECTOR	DATE STARTED	DATE COMPLETED
		XXXXX-4-D

COORDINATES: NAD83, LAMBERT



RMS# 01 - PROPOSED CONDITIONS

RMS# 01 - EXISTING CONDITIONS



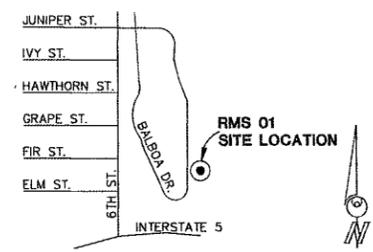
SOLAR PANEL + EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1' BELOW GRADE. PATCH HOLE WITH NEW 520-C-2500 CONCRETE TO BE FLUSH WITH AND TO MATCH EXISTING CONCRETE PAVEMENT.
2. CONSTRUCT NEW POLE PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE PER DETAILS.
3. CONSTRUCT THE NEW HINGED POLE WITH THE SWING IN THE TRUE EAST-WEST ORIENTATION. CONSTRUCT SOLAR PANELS SQUARE TO THE POLE, FACING TRUE SOUTH.
4. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.
5. REMOVE EXISTING BOLLARDS. PATCH HOLES WITH NEW 520-C-2500 CONCRETE TO BE FLUSH WITH AND TO MATCH EXISTING CONCRETE PAVEMENT.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE DRAWINGS, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES/STRUCTURES TO REMAIN, WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS.
3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE, FOOTING AND SOLAR PANELS PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE & FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.
5. A MINIMUM OF THREE WORKING DAYS PRIOR TO THE PRECONSTRUCTION MEETING FOR THE BALBOA PARK NOISE MONITORING STATION, THE CONTRACTOR SHALL CONTACT DISTRICT MANAGER BRUCE MARTINEZ AT 619.235.1124 TO ENSURE THAT THE APPROPRIATE PARK & RECREATION STAFF ARE INVITED TO THE MEETING.



VICINITY MAP

NO SCALE

PRIVATE CONTRACT

IMPROVEMENT PLANS FOR:

UPGRADE NOISE MONITORING POLES

SITE 01: OLD FIRE ALARM BUILDING ON BALBOA DRIVE, BALBOA PARK, SAN DIEGO, CA 92101

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 8 OF XX SHEETS		I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER		DATE _____
DESCRIPTION	BY	APPROVED
ORIGINAL	EME	
AS-BUILTS		
CONTRACTOR INSPECTOR		DATE STARTED _____ DATE COMPLETED _____

XXXX-XXXX
NAD83 COORDINATES

XXX-XXXX
LAURENT COORDINATES

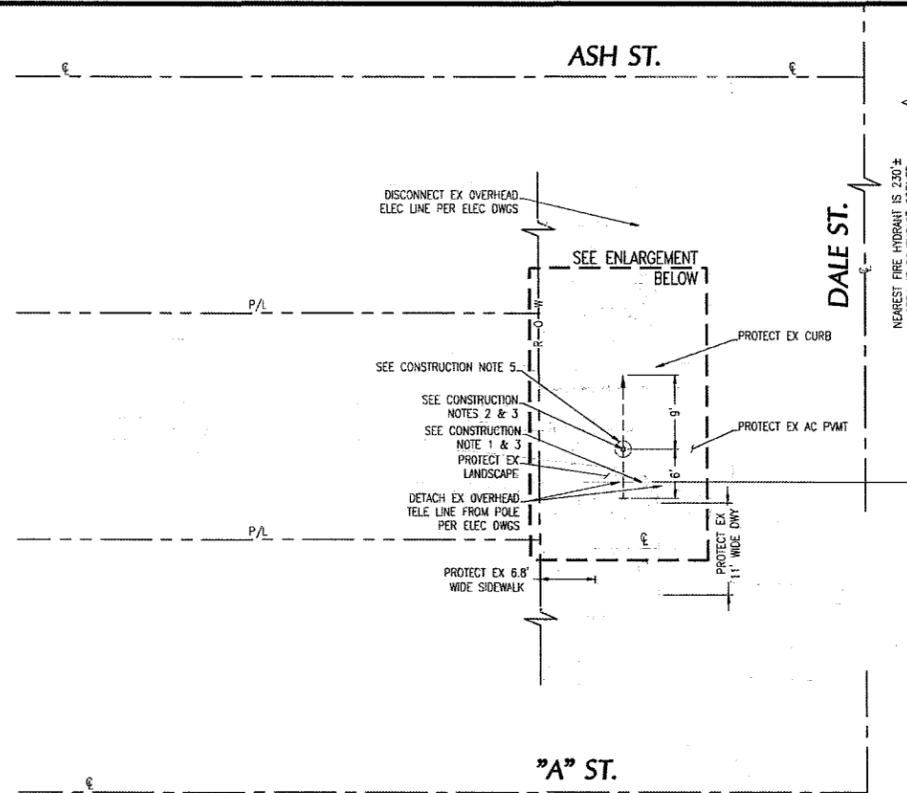
XXXXX- 5-D



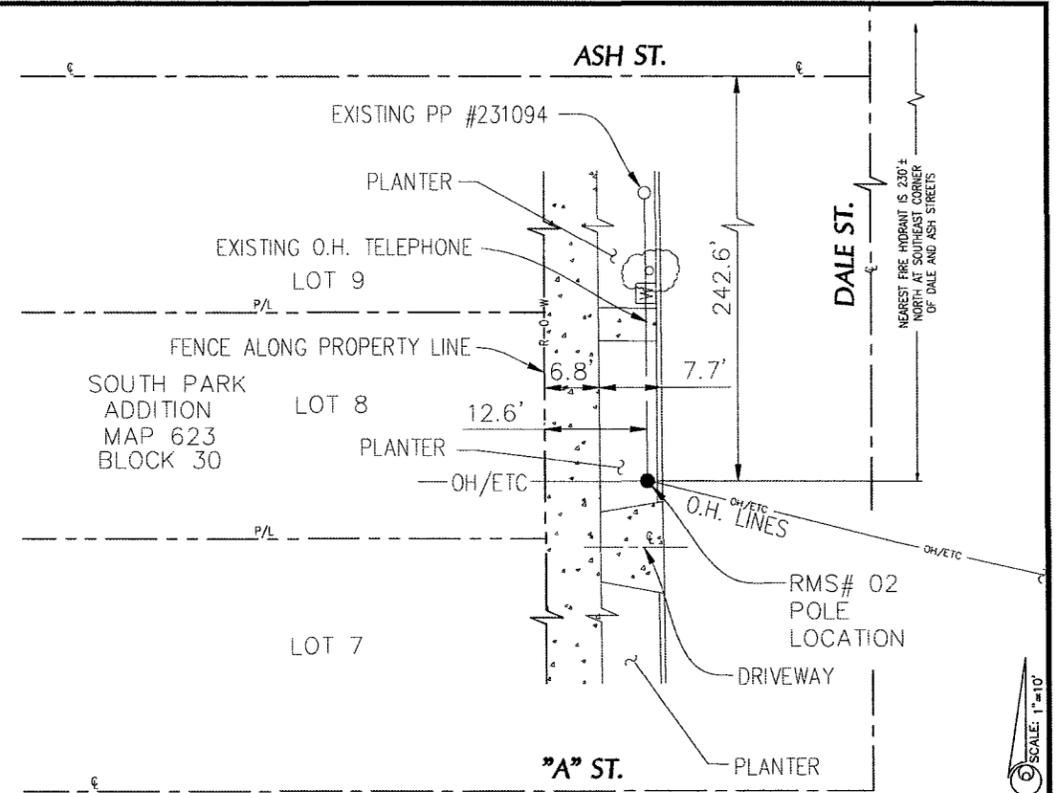
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ENGINEERS & SURVEYORS
3434 Fourth Ave, San Diego CA
92103-5704 * (619) 299-5550

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY



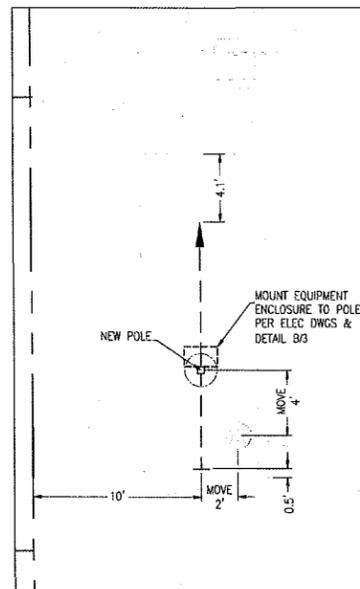


RMS# 02



RMS# 02 - PROPOSED CONDITIONS

RMS# 02 - EXISTING CONDITIONS



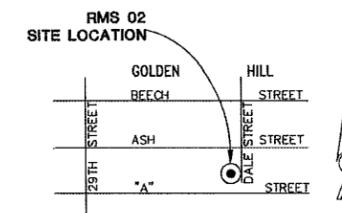
EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1' BELOW GRADE. FILL HOLE & REPLANT TO MATCH EXISTING LANDSCAPING.
2. CONSTRUCT NEW POLE PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE PER DETAILS. RECONNECT OVERHEAD ELECTRIC LINE PER ELECTRICAL DRAWINGS. REPLANT ANY LANDSCAPING DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.
3. SALVAGE ALL EXISTING WEATHER MONITORING EQUIPMENT ON EXISTING POLE AND REATTACH ONTO NEW POLE.
4. CONSTRUCT THE NEW HINGED POLE WITH THE SWING IN THE TRUE NORTH - SOUTH ORIENTATION.
5. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE DRAWINGS, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES/STRUCTURES TO REMAIN, WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS.
3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE AND FOOTING PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE AND FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.



VICINITY MAP

NO SCALE

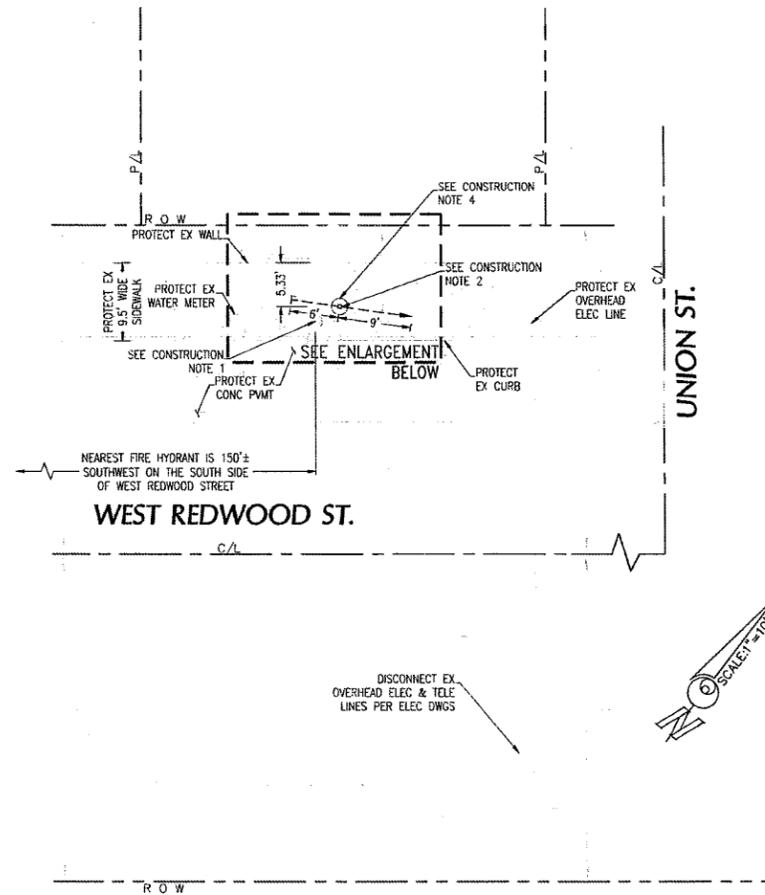


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3434 Fourth Ave. San Diego CA.
92103-5704 * (619) 239-5550

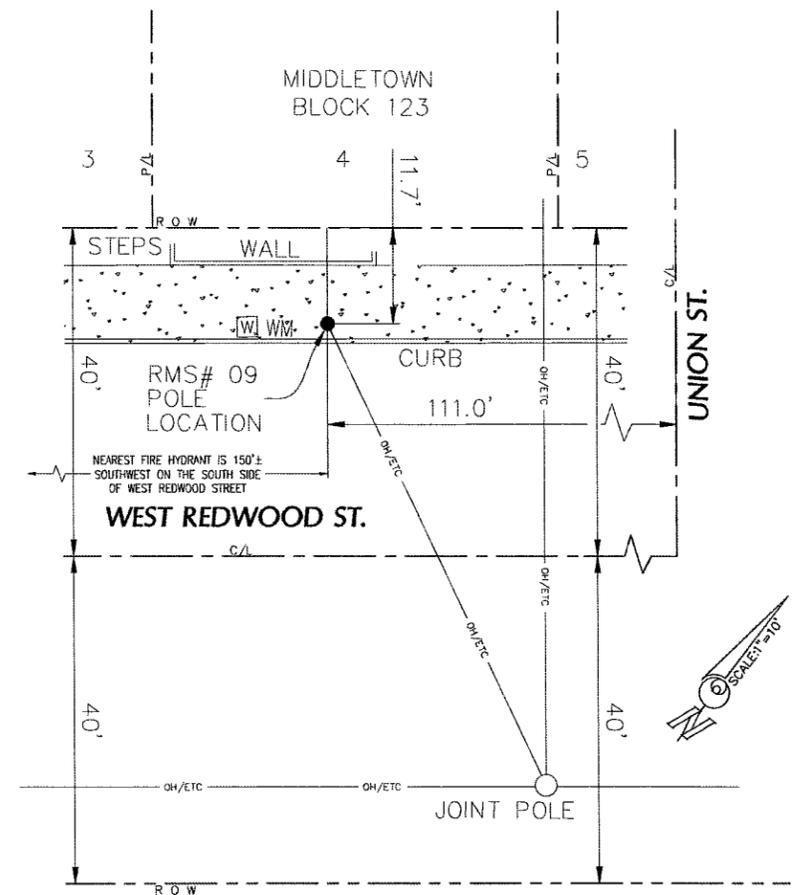
PRIVATE CONTRACT			
IMPROVEMENT PLANS FOR: UPGRADE NOISE MONITORING POLES SITE 02: 1328.5 DALE STREET, SAN DIEGO, CA 92102			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF XX SHEETS		I.O. NO. _____ PROJECT NO. _____	
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	BWE		
AS-BUILTS			
CONTRACTOR INSPECTOR	DATE STARTED _____ DATE COMPLETED _____	XXXXX-6-D	

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

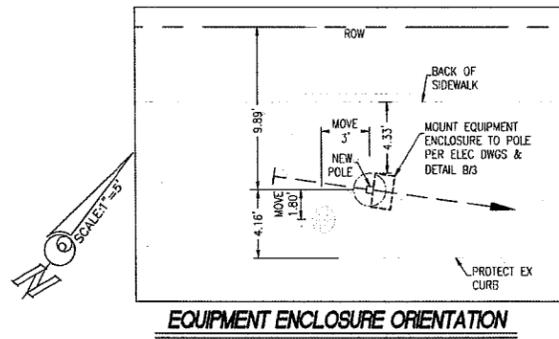
RMS# 09



RMS# 09 - PROPOSED CONDITIONS



RMS# 09 - EXISTING CONDITIONS



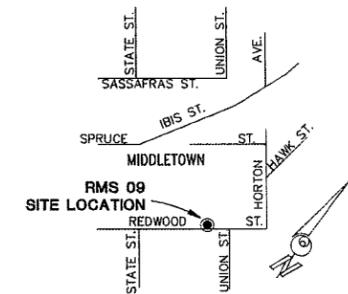
EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1" BELOW GRADE. PATCH HOLE WITH NEW 520-C-2500 CONCRETE TO BE FLUSH WITH AND TO MATCH EXISTING CONCRETE PAVEMENT.
2. CONSTRUCT NEW POLE AND FOOTING PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE. RECONNECT OVERHEAD ELECTRIC LINE PER ELECTRICAL DRAWINGS.
3. ROTATE THE SWING OF THE NEW HINGED POLE 30°00'00" FROM TRUE SOUTH.
4. CONSTRUCTION CONCRETE POLE FOOTING PER STRUCTURAL DRAWING.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE DRAWINGS, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES/STRUCTURES TO REMAIN, WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS.
3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE AND FOOTING PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE AND FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.



VICINITY MAP

NO SCALE

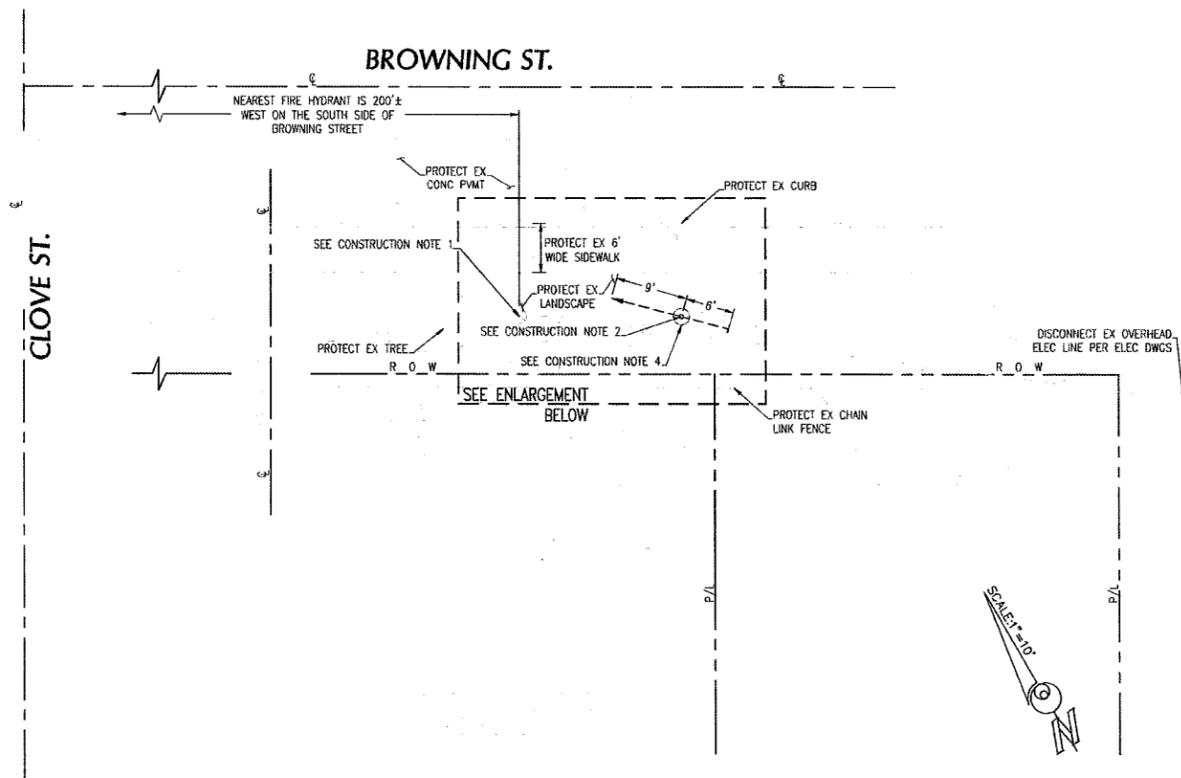


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ENGINEERS
ENGINEERS & SURVEYORS
3434 Fourth Ave., San Diego CA.
92103-5704 * (619) 299-3550

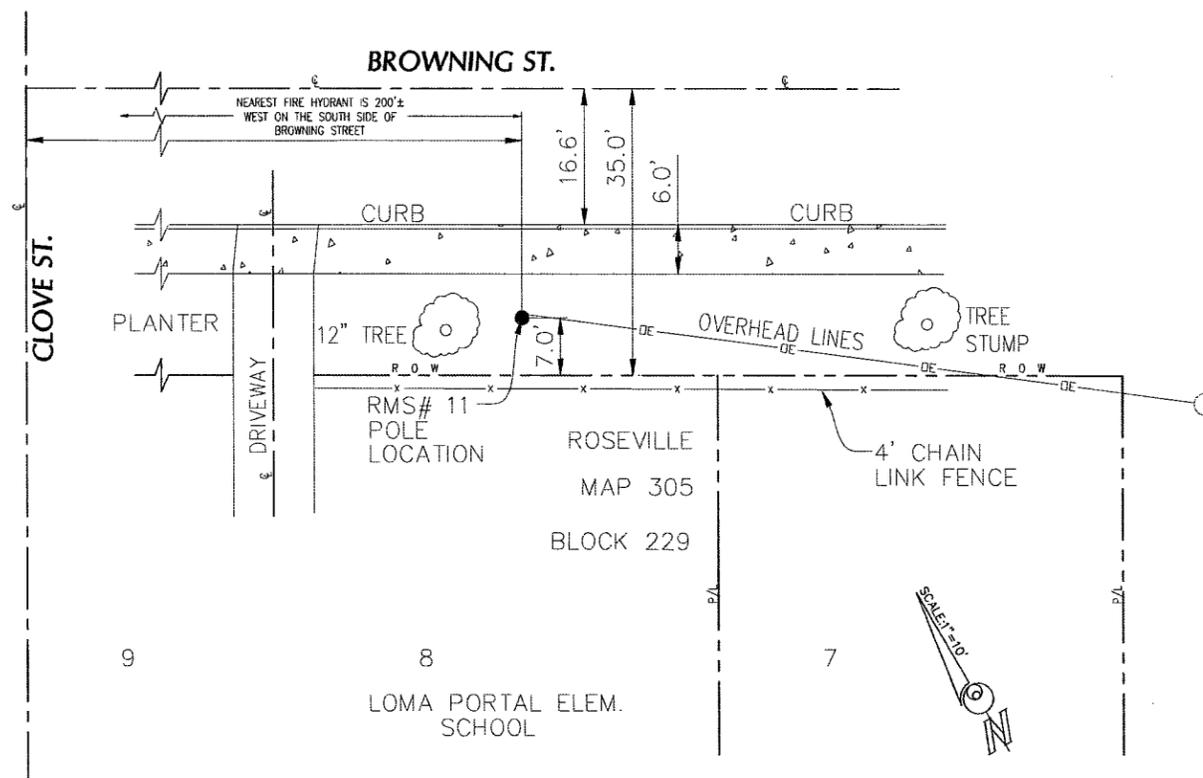
PRIVATE CONTRACT			
IMPROVEMENT PLANS FOR:			
UPGRADE NOISE MONITORING POLES			
SITE 09: 1134.5 REDWOOD STREET, SAN DIEGO, CA 92103			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 7 OF XX SHEETS			I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER			
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	BMC		
AS-BUILTS			
CONTRACTOR INSPECTOR		DATE STARTED	DATE COMPLETED
			XXXXX-7-D

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

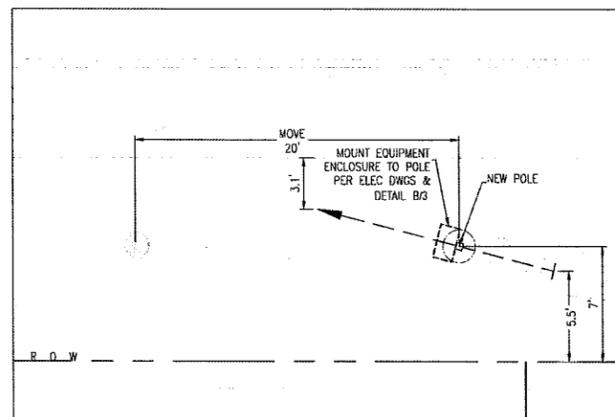
RMS# 11



RMS# 11 - PROPOSED CONDITIONS



RMS# 11 - EXISTING CONDITIONS



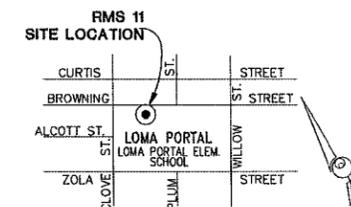
EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1' BELOW GRADE. FILL HOLE & REPLANT TO MATCH EXISTING LANDSCAPING.
2. CONSTRUCT NEW POLE PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE. RECONNECT OVERHEAD ELECTRIC LINE PER ELECTRICAL DRAWINGS.
3. ROTATE THE SWING OF THE HINGED POLE 45°00'00" FROM TRUE NORTH.
4. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE DRAWINGS, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES/STRUCTURES TO REMAIN, WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS.
3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE AND FOOTING PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE AND FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.



VICINITY MAP

NO SCALE

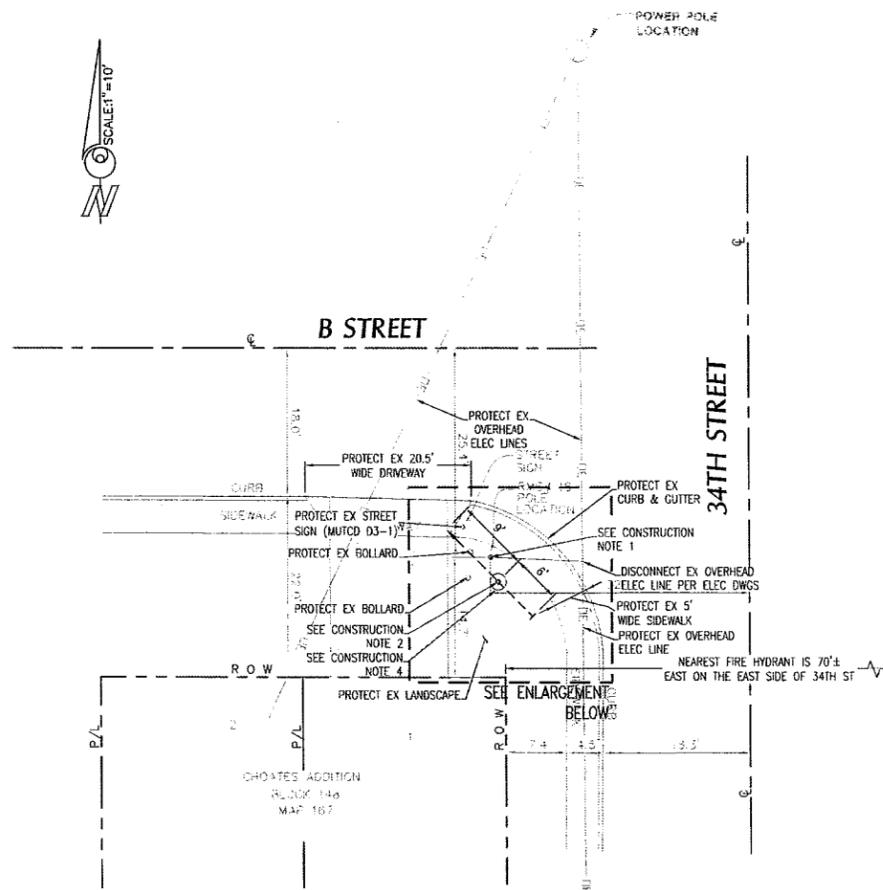


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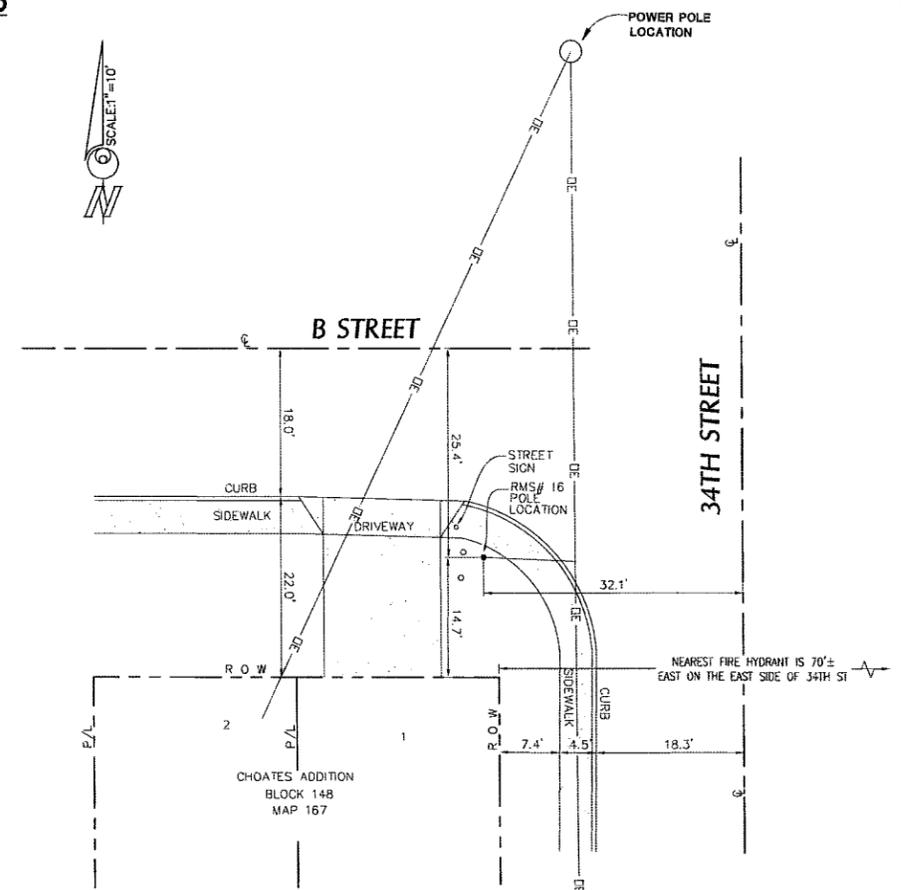
PRIVATE CONTRACT			
IMPROVEMENT PLANS FOR:			
UPGRADE NOISE MONITORING POLES			
SITE 11: 3413.5 BROWNING STREET, SAN DIEGO, CA 92106			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET # OF XX SHEETS			I.O. NO. PROJECT NO.
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	BWC		
AS-BUILTS			
CONTRACTOR INSPECTOR		DATE STARTED	DATE COMPLETED
			XXXXX- 8-D

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

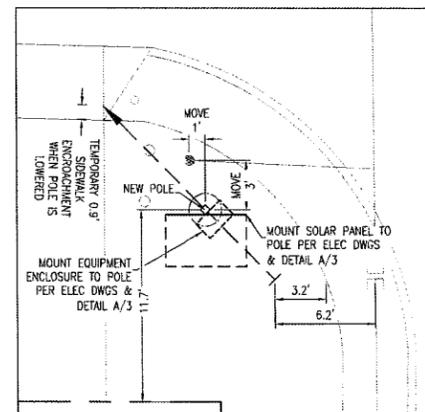
RMS# 16



RMS# 16 - PROPOSED CONDITIONS



RMS# 16 - EXISTING CONDITIONS



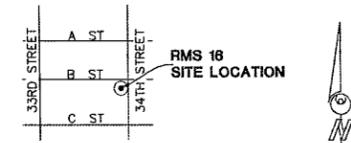
SOLAR PANEL + EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1' BELOW GRADE. FILL HOLE & REPLANT TO MATCH EXISTING LANDSCAPING.
2. CONSTRUCT NEW POLE PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE.
3. ROTATE THE SWING OF THE HINGED POLE 45°00'00" FROM TRUE NORTH. CONSTRUCT THE SOLAR PANELS AT A 45°00'00" ANGLE TO THE POLE FACING TRUE SOUTH.
4. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE DRAWINGS, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES/STRUCTURES TO REMAIN, WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS.
3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE, FOOTING AND SOLAR PANELS PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE & FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.



VICINITY MAP

NO SCALE

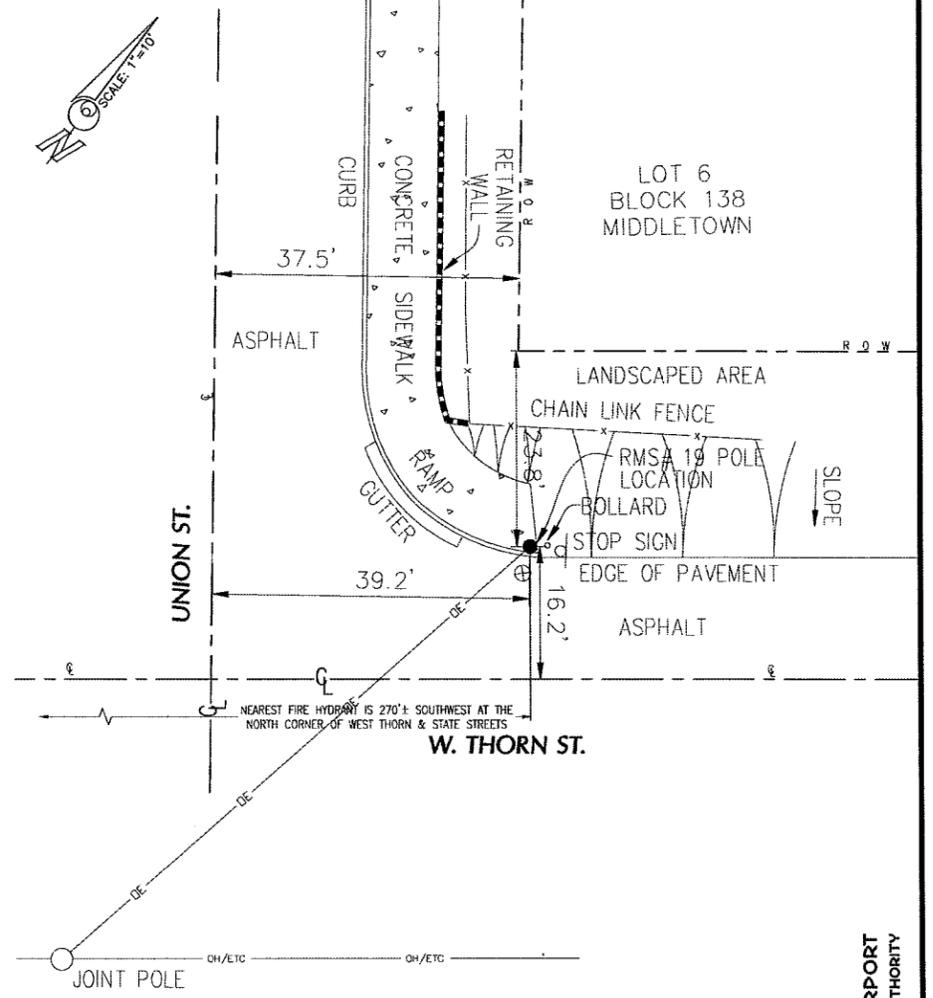
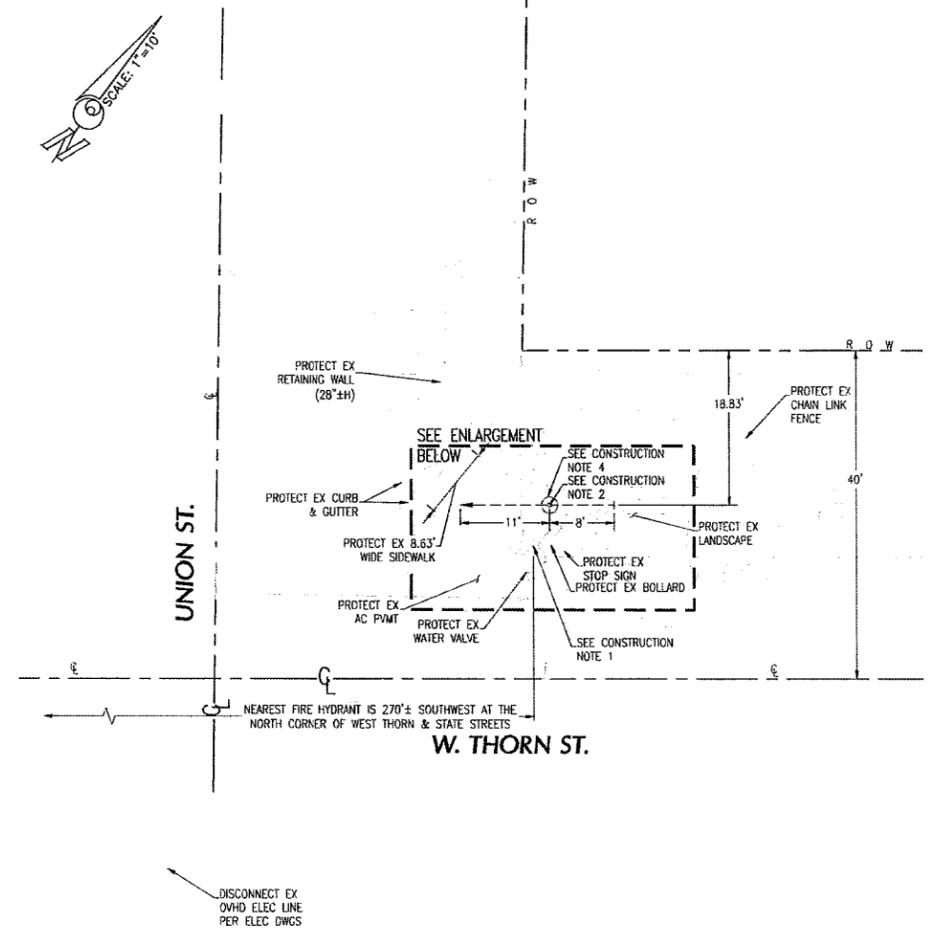
SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY



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 92103-3704 • (619) 299-5550

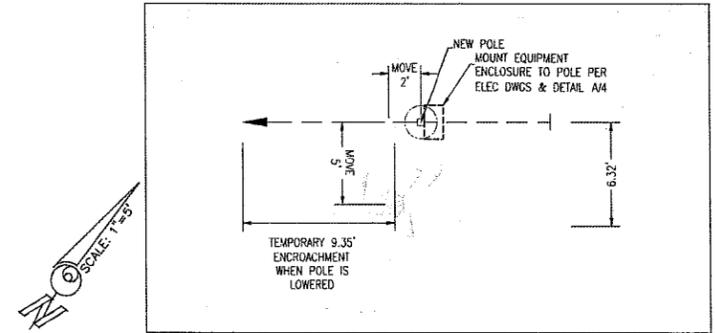
PRIVATE CONTRACT		IMPROVEMENT PLANS FOR: UPGRADE NOISE MONITORING POLES SITE 16: 3385.5 'B' STREET, SAN DIEGO, CA 92102	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 10 OF XX SHEETS		I.O. NO. _____	PROJECT NO. _____
FOR CITY ENGINEER			
DESCRIPTION		DATE	
ORIGINAL	BWE	APPROVED	DATE FILMED
AS-BUILTS		DATE STARTED	
CONTRACTOR INSPECTOR		DATE COMPLETED	
			XXXXX-10-D

RMS# 19



RMS# 19 - PROPOSED CONDITIONS

RMS# 19 - EXISTING CONDITIONS



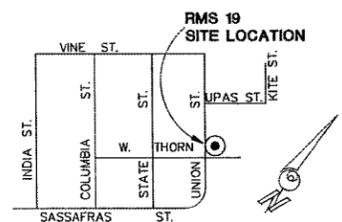
EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1" BELOW GRADE. PATCH HOLE WITH NEW 520-C-2500 CONCRETE TO BE FLUSH WITH AND TO MATCH EXISTING CONCRETE PAVEMENT.
2. CONSTRUCT NEW POLE PER DETAIL B/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE. RECONNECT OVERHEAD ELECTRIC LINE PER ELECTRICAL DRAWINGS.
3. ROTATE THE SWING OF THE HINGED POLE 52°35'03" FROM TRUE NORTH.
4. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE DRAWINGS, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES/STRUCTURES TO REMAIN, WHETHER SHOWN OR NOT SHOWN ON THESE DRAWINGS.
3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE AND FOOTING PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE AND FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.



VICINITY MAP

NO SCALE



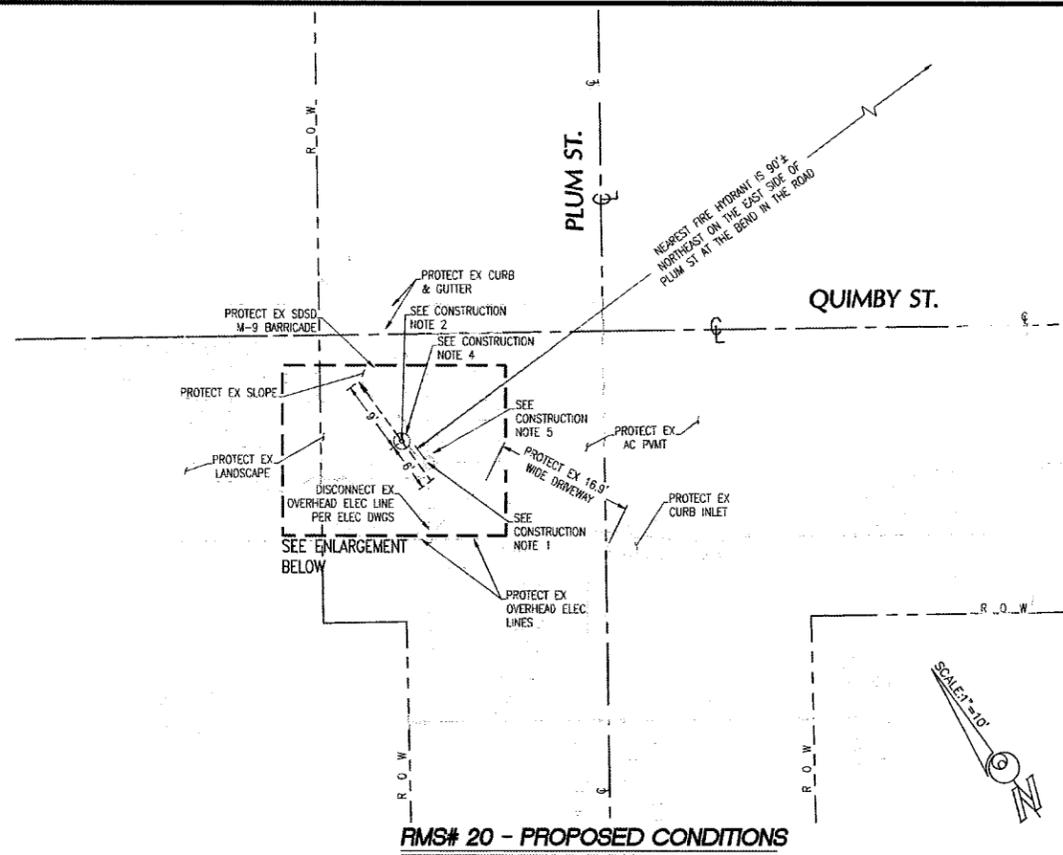
BURKETT & WONG ENGINEERS
ENGINEERS & SURVEYORS
3434 Fourth Ave. San Diego CA
92103-5704 * (619) 299-5550

PRIVATE CONTRACT			
IMPROVEMENT PLANS FOR:			
UPGRADE NOISE MONITORING POLES			
SITE 19: 1290.5 W THORN STREET, SAN DIEGO, CA 92103			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 12 OF XX SHEETS			I.O. NO. PROJECT NO.
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	BWE		
AS-BUILTS			
CONTRACTOR INSPECTOR		DATE STARTED	DATE COMPLETED
			XXXXX-12-D

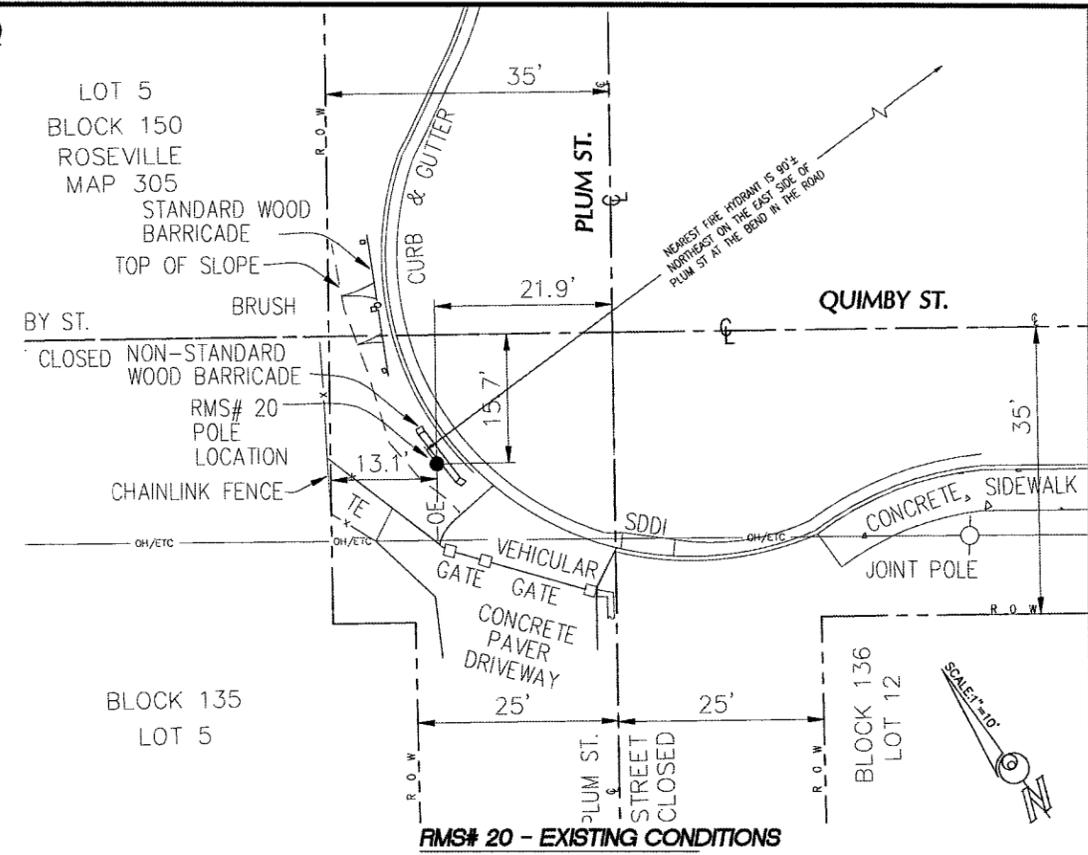
SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY



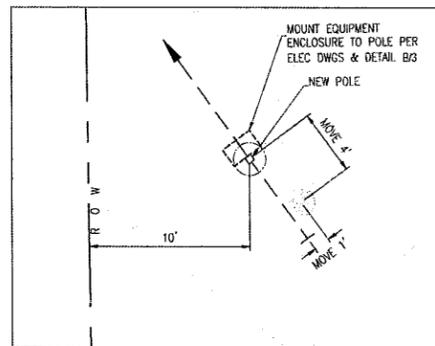
RMS# 20



RMS# 20 - PROPOSED CONDITIONS



RMS# 20 - EXISTING CONDITIONS



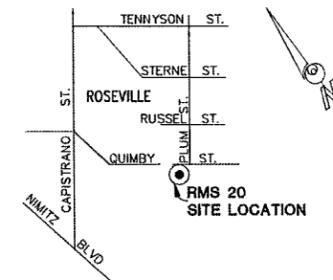
EQUIPMENT ENCLOSURE ORIENTATION

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1' BELOW GRADE. FILL HOLE & REPLANT TO MATCH EXISTING LANDSCAPING.
2. CONSTRUCT NEW POLE PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE. RECONNECT ELECTRIC LINE PER ELECTRICAL DRAWINGS. REPLANT ANY LANDSCAPING DAMAGED DURING CONSTRUCTION TO MATCH EXISTING.
3. CONSTRUCT THE NEW HINGED POLE WITH THE SWING IN THE TRUE NORTH - SOUTH ORIENTATION.
4. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.
5. REMOVE EXISTING NON-STANDARD GUARD POST AND BARRICADE. CONSTRUCT NEW GUARD POST AND BARRICADE PER SDRSD M-9.

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
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4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.



VICINITY MAP

NO SCALE

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY



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92103-5704 * (619) 299-5550

PRIVATE CONTRACT

IMPROVEMENT PLANS FOR:

UPGRADE NOISE MONITORING POLES

SITE 20: 1944.5 PLUM STREET, SAN DIEGO, CA 92106

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 13 OF XX SHEETS		I.O. NO. _____ PROJECT NO. _____	
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	BME		
AS-BUILTS		DATE STARTED _____ DATE COMPLETED _____	
CONTRACTOR INSPECTOR		XXXXX-13-D	

XXXX-XXXX
NAD83 COORDINATES

XXX-XXXX
LAMBERT COORDINATES

CONSTRUCTION NOTES

1. SALVAGE ALL EXISTING NOISE MONITORING EQUIPMENT FROM EXISTING POLE. SALVAGE EXISTING BATTERIES AND RETURN TO THE OWNER. DISPOSE OF EXISTING NOISE MONITORING EQUIPMENT ENCLOSURE AND BATTERY ENCLOSURE. REMOVE EXISTING POLE & FOOTING TO 1' BELOW GRADE. FILL HOLE & REPLANT TO MATCH EXISTING LANDSCAPING.
2. CONSTRUCT NEW POLE PER DETAIL A/3. REATTACH ALL SALVAGED NOISE MONITORING EQUIPMENT ONTO NEW POLE. RECONNECT ELECTRIC LINE PER ELECTRICAL DRAWINGS.
3. ROTATE THE SWING OF THE HINGED POLE 45°00'00" FROM TRUE NORTH.
4. CONSTRUCT CONCRETE POLE FOOTING PER STRUCTURAL DRAWINGS.

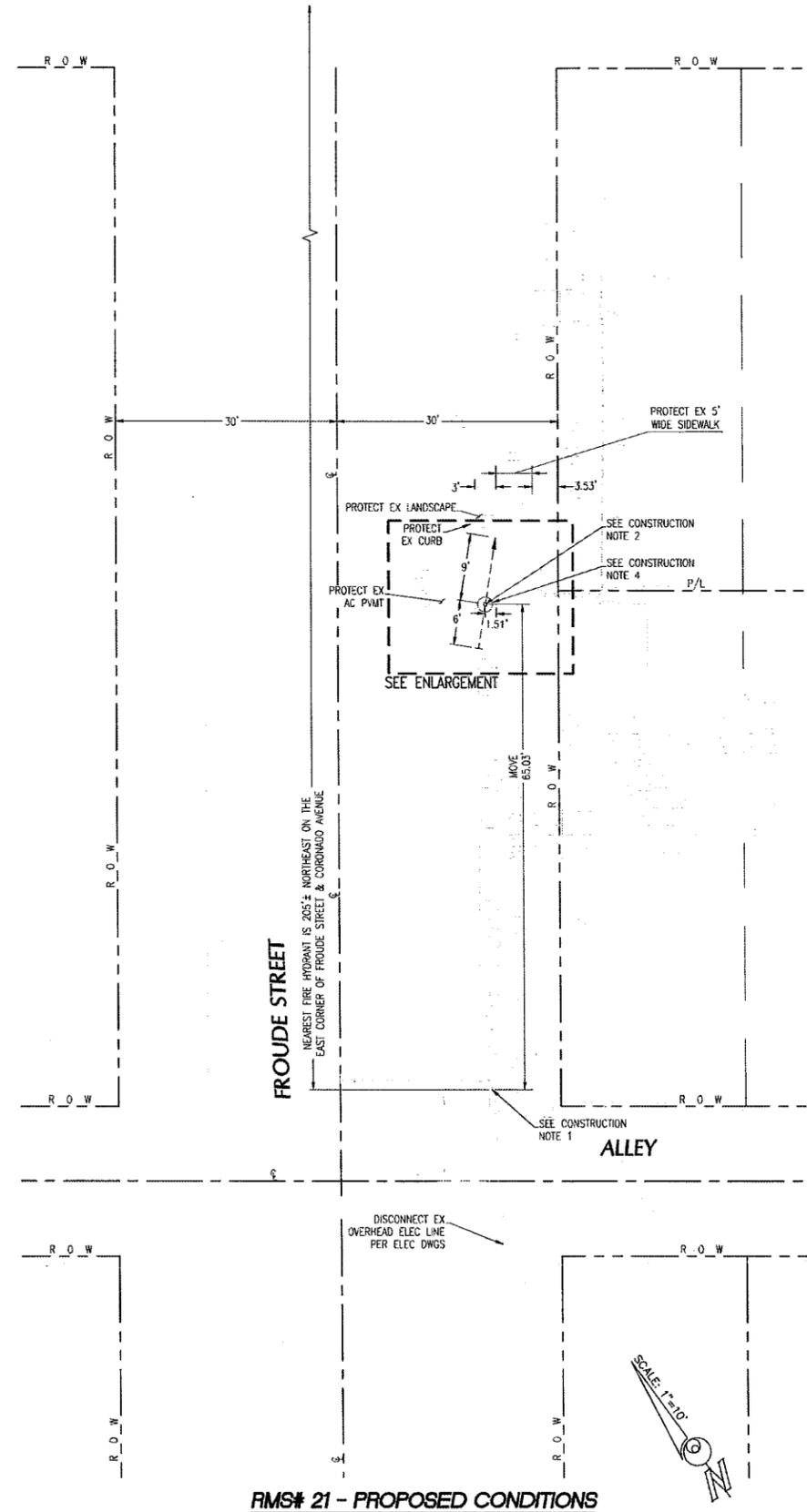
GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RESEARCH OF RECORD UTILITY DRAWINGS AND VISUAL OBSERVATION OF AT-GRADE STRUCTURES AND SURFACE EVIDENT INDICATIONS OF SUCH UTILITIES. NO UTILITY MARK-OUTS WERE PERFORMED OR EXCAVATIONS MADE TO LOCATE BURIED UTILITIES/STRUCTURES DURING THE PROCESS OF CREATING THE UNDERLYING TOPOGRAPHIC SURVEY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
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3. MINIMIZE THE AMOUNT OF TIME THE NOISE MONITORING EQUIPMENT IS OUT OF SERVICE DURING CONSTRUCTION OF THE NEW POLE. CONSTRUCT THE NEW POLE AND FOOTING PRIOR TO SALVAGING EXISTING EQUIPMENT AND REMOVING THE EXISTING POLE AND FOOTING.
4. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO THIS SCOPE OF WORK.

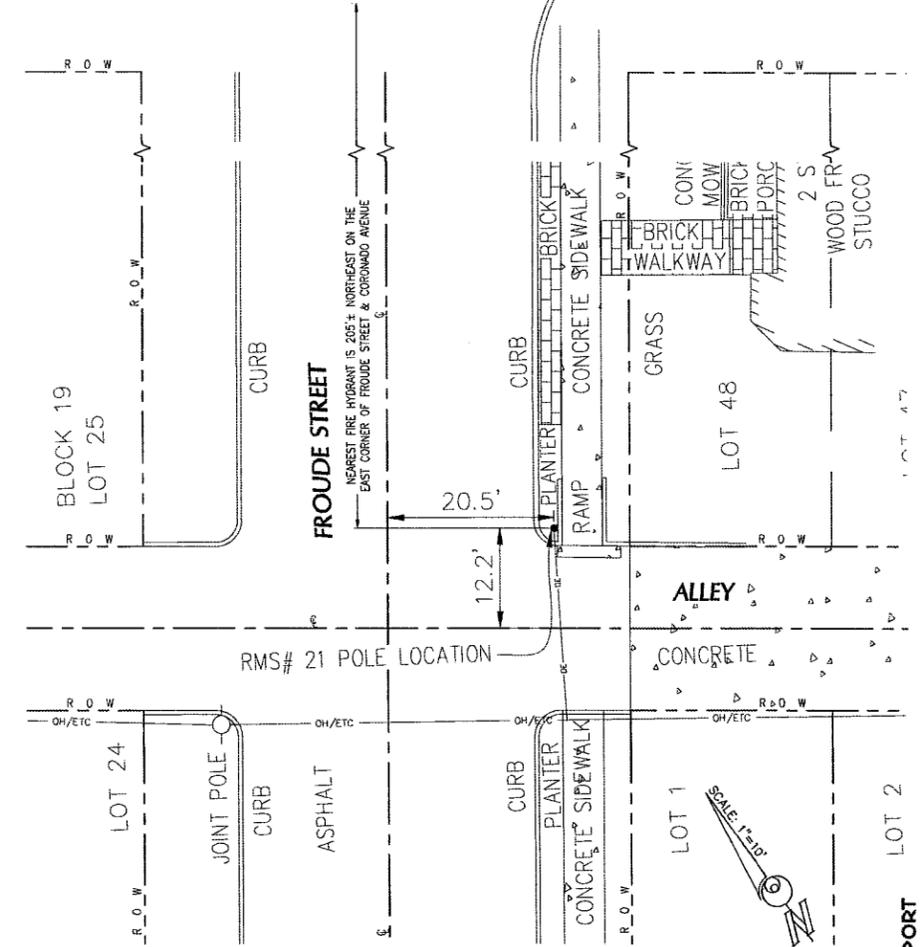
CORONADO AVE

RMS# 21

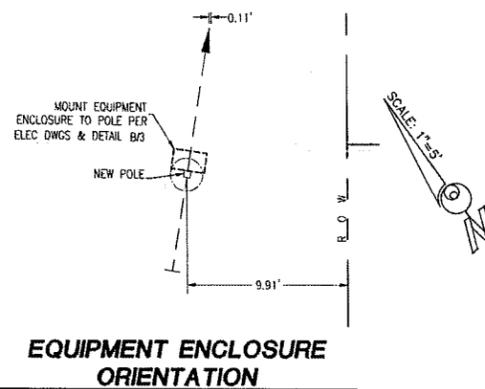
CORONADO AVE



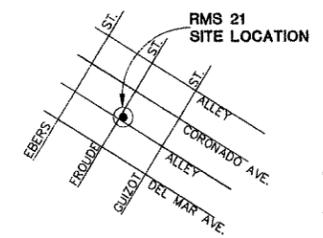
RMS# 21 - PROPOSED CONDITIONS



RMS# 21 - EXISTING CONDITIONS



EQUIPMENT ENCLOSURE ORIENTATION



VICINITY MAP

NO SCALE



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92103-5704 * (619) 299-5550

PRIVATE CONTRACT			
IMPROVEMENT PLANS FOR:			
UPGRADE NOISE MONITORING POLES			
SITE 21: 1625 FROUDE STREET, SAN DIEGO, CA 92107 (ALLEY)			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 14 OF XX SHEETS		I.O. NO.	PROJECT NO.
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	BWE		
AS-BUILTS			
CONTRACTOR INSPECTOR		DATE STARTED	DATE COMPLETED
			XXXXX-14-D

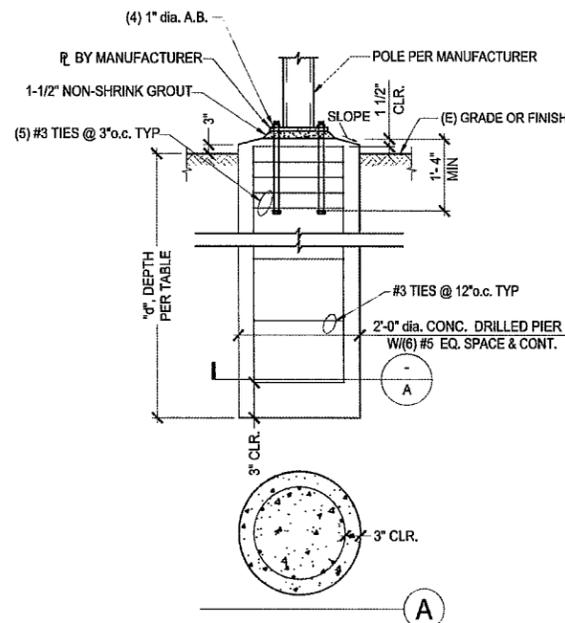
SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

BAR SIZE	LAP CLASS	$f_c=3000$ psi
3	B	24
4	B	29
5	B	36
6	B	43
7	B	63
8	B	72
9	B	81
10	B	91
11	B	101

- NOTES:**
- TABULATED VALUES ARE FOR NORMAL WEIGHT CONCRETE. MULTIPLY BY 1.3 FOR USE IN LIGHT WEIGHT CONCRETE.
 - TABULATED VALUES ARE FOR UNCOATED OR ZINC-COATED REINFORCEMENT.
 - TABULATED VALUES REQUIRE CLEAR COVER OF AT LEAST 1 BAR DIAMETER AND CLEAR SPACING OF AT LEAST 2 BAR DIAMETERS.
 - FOR HORIZONTAL REINFORCEMENT WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW THE BARS, MULTIPLY VALUES BY 1.3.
 - BARS LARGER THAN #11 SHALL NOT BE LAP SPLICED.
 - BUNDLED BARS ARE SUBJECT TO ADDITIONAL REQUIREMENTS AND SHALL NOT BE USED WITHOUT PRIOR APPROVAL BY THE ENGINEER OF RECORD.

CONCRETE LAP SPLICE SCHEDULE

3



POLE FOOTING

1

ITEMS REQUIRING SPECIAL INSPECTION:

- STRUCTURAL CONCRETE PER CBC SECTION 1704.4 AND TABLE 1704.4.

GENERAL SPECIAL INSPECTION NOTES:

- SPECIAL INSPECTIONS, STRUCTURAL TESTS, AND STRUCTURAL OBSERVATIONS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF CHAPTER 17 OF THE 2010 CBC.
- THE SPECIAL INSPECTOR MUST BE CERTIFIED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES, IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION.
- THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE IN ADDITION TO AND NOT A SUBSTITUTE FOR THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY A CITY BUILDING INSPECTOR.
- A PROPERTY OWNER'S FINAL REPORT FORM FOR WORK REQUIRED TO HAVE SPECIAL INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- THE FABRICATOR SHALL SUBMIT AN "APPLICATION TO PERFORM OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO COMMENCEMENT OF FABRICATION.
- THE FABRICATOR SHALL SUBMIT A "CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION PRIOR TO THE ERECTION OF FABRICATED ITEMS AND ASSEMBLIES.
- THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES, FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND EQUIPMENT.
- WHERE MATERIALS OR ASSEMBLIES ARE REQUIRED BY THE BUILDING CODE TO BE LABELED, SUCH MATERIALS AND ASSEMBLIES SHALL BE LABELED BY AN AGENCY APPROVED BY THE CITY OF SAN DIEGO, IN ACCORDANCE WITH CBC SECTION 1703. PRODUCTS AND MATERIALS TO BE LABELED SHALL BE TESTED, INSPECTED AND LABELED IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN CBC SECTIONS 1703.5.1 THROUGH 1703.5.3. IDENTIFY ON PLANS THE NAME AND ADDRESS OF THE TESTING / INSPECTION AGENT.

DESIGN CRITERIA:

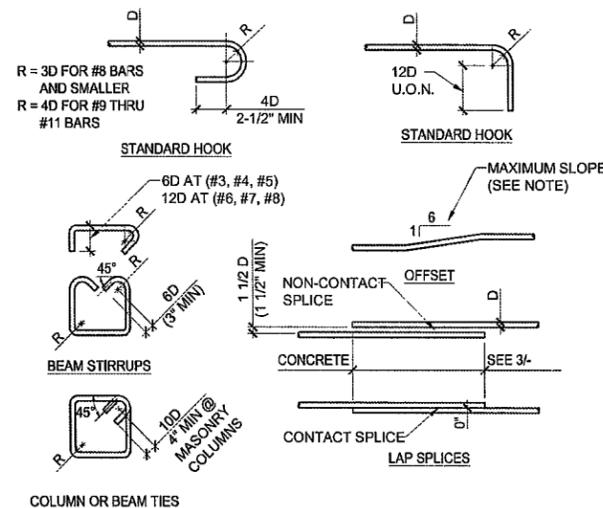
- APPLICABLE CODES:
CALIFORNIA BUILDING CODE, 2010 EDITION
AASHTO LTS-5-M, 2011 EDITION
 - WIND DESIGN CRITERIA:
 $V = 90$ M.P.H.
WIND EXPOSURE C
 $I = 1.0$
 $G_{Cpl} = \pm 0.18$
 $P = qh (G_{Cp} - G_{Cpl})$
 $q_h = 20.73$ psf
- COMPONENTS AND CLADDING:
 $G_{Cp} =$ SEE ASCE 7-05 FIGURE 6-11 THROUGH 6-17, AS APPLICABLE
- MAIN WIND FORCE RESISTING SYSTEM:
 $C_p =$ SEE ASCE 7-05 FIGURE 6-6, AS APPLICABLE
 $G = 1.14$
 $P = q(G_{Cp} - G_{Cpl})$

POLE HEIGHT	FINISH AROUND POLE FOOTING	d, DEPTH OF FOOTING
UP TO 24'	CONCRETE	7'-6"
UP TO 24'	OTHER	10'-6"

- NOTES:**
- IF CONCRETE IS PRESENT, IT MUST BE COMPLETELY SURROUNDING FOOTING AND BE TIGHT TO NEW FOOTING TO USE DEPTHS AS NOTED
 - DESIGN LOADS ARE BASED ON MAXIMUM REACTION FROM POLE EQUAL TO: 220 KIP-IN MOMENT AND 899 LB SHEAR

FOOTING TABLE

2



TYPICAL REINFORCEMENT BAR BENDS

4

GENERAL:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT ARE FOUND.
- DO NOT SCALE DETAILS OR DRAWINGS. SEE OTHER DRAWINGS FOR ADDITIONAL DIMENSIONS WHERE REQUIRED.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS USED SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATION AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ALL WORK SHALL CONFORM TO THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND OTHER REGULATORY AGENCIES WHO MAY HAVE AUTHORITY OVER THE WORK.
- THESE DRAWINGS REPRESENT THE STRUCTURE IN ITS FINAL CONFIGURATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR ALL MEANS AND METHODS ASSOCIATED WITH ACHIEVING THIS FINAL CONFIGURATION, INCLUDING BUT NOT LIMITED TO SHORING, BRACING OR SOILS EXCAVATIONS.
- MATERIAL NOTES AND SPECIFICATIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS IN THE CASE OF A DISCREPANCY.
- ALL REFERENCED CODES AND STANDARDS SHALL BE THE LATEST APPROVED EDITION, U.O.N.

FOUNDATION:

- SOILS ARE ASSUMED TO BE CLASS V (SANDY CLAY, CLAY, SILTY CLAY) OR BETTER. CBC VALUES PER TABLE 1806.2 HAVE BEEN USED FOR DESIGN.
- THE ALLOWABLE SOIL BEARING PRESSURE IS 1500 psf AT ISOLATED / COLUMN FOOTINGS AND AT CONTINUOUS WALL FOOTINGS. THE ALLOWABLE SOIL BEARING PRESSURES MAY BE INCREASED BY ONE THIRD WHEN CONSIDERING LOADING OF SHORT DURATION SUCH AS WIND OR SEISMIC FORCES.
- FOOTINGS SHALL EXTEND TO A MINIMUM DEPTH OF 1'-6" BELOW LOWEST ADJACENT SOIL GRADE. ALLOWABLE LATERAL BEARING PRESSURE IS 100 psf/ft

CONCRETE:

- CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS FOLLOWS:

	W/C RATIO
A. FOUNDATIONS	3000psi 0.55
- CEMENT SHALL COMPLY WITH ASTM C150, TYPE II. CLASS F FLY ASH MAY BE SUBSTITUTED UP TO A MAXIMUM OF 20% BY WEIGHT OF CEMENTITIOUS MATERIALS IN NORMAL WEIGHT CONCRETE.
- NO PIPES OR DUCTS SHALL BE PLACED IN CONCRETE COLUMNS, WALLS, OR SLABS UNLESS SPECIFICALLY DETAILED ON STRUCTURAL DRAWINGS.
- REINFORCEMENT SHALL BE SECURELY SUPPORTED IN POSITION PRIOR TO PLACING CONCRETE.
- WALLS AND COLUMNS SHALL BE DOWELED FROM SUPPORTS WITH BARS OF THE SAME SIZE AND SPACING U.O.N.
- SPLICE CONTINUOUS REINFORCING WITH 2'-0" MINIMUM LAP U.O.N. PER 3'-BARS SPLICED WITH NON-CONTACT LAP SPLICES SHALL NOT BE SPACED TRANSVERSELY FARTHER APART THAN THE SMALLER OF ONE-FIFTH THE REQUIRED LAP SPLICE LENGTH AND 6". STAGGER SPLICES AT SLAB ON GRADE.
- ALL REINFORCING STEEL SHALL BE DETAILED AND PLACED IN CONFORMANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318, LATEST APPROVED EDITION) AND THE "MANUAL OF STANDARD PRACTICE" BY CRSI, AS MODIFIED BY THE PROJECT DRAWINGS AND SPECIFICATIONS.
- PROVIDE BAR BENDS PER 4'-TYPICAL CONCRETE COVER FOR REINFORCING:
CONCRETE CAST AGAINST EARTH3"
EXPOSED TO EARTH OR WEATHER
#6 AND LARGER2"
#5 AND SMALLER1 1/2"
UNEXPOSED COLUMNS, BEAMS, & GIRDERS1 1/2"
UNEXPOSED SLABS1"
WALLS (INTERIOR)1"
- REINFORCEMENT SHALL COMPLY WITH ASTM A615, GRADE 60, EXCEPT THAT REINFORCEMENT TO BE WELDED SHALL COMPLY WITH ASTM A706.

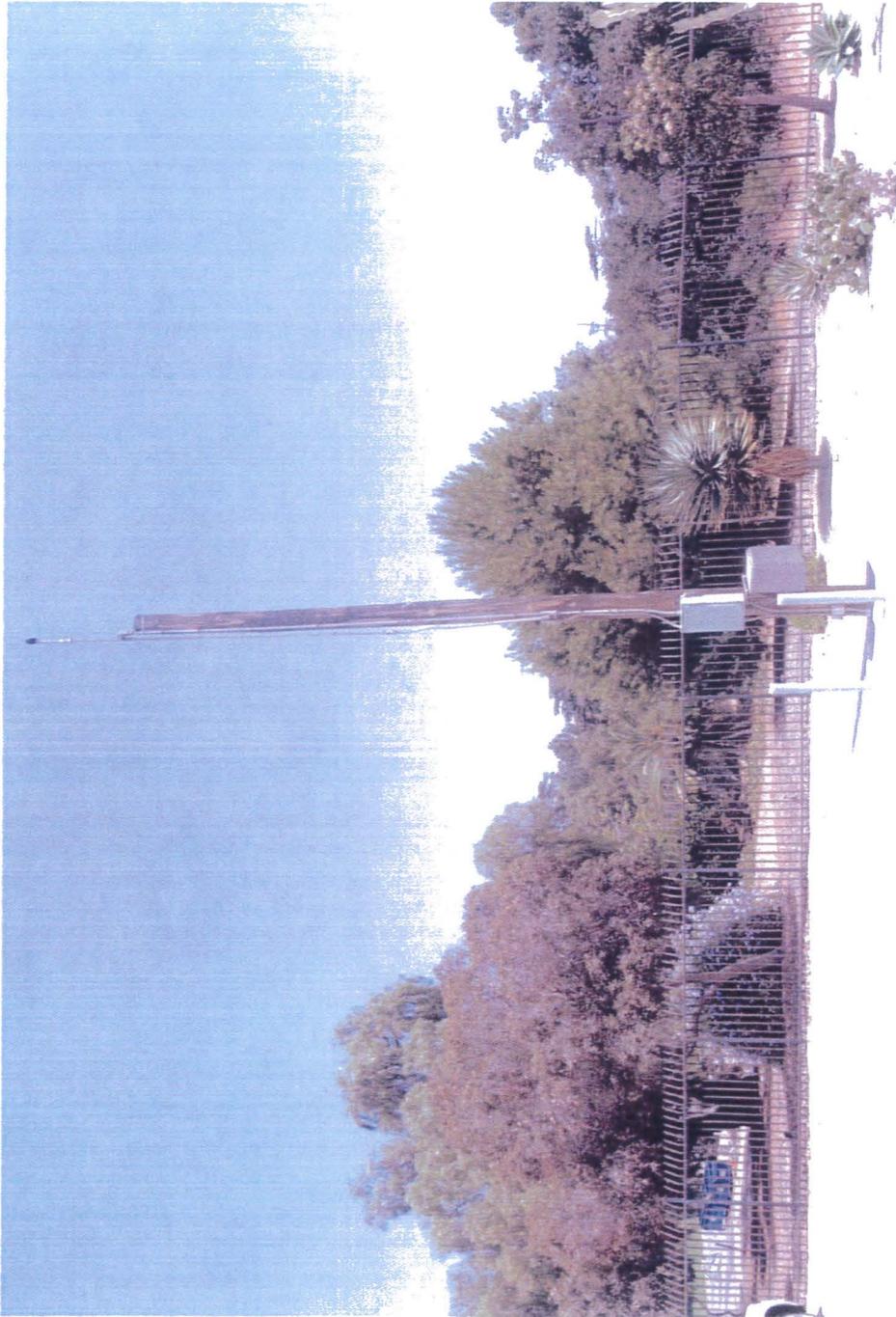


BURKETT & WONG
ENGINEERS & SURVEYORS
3434 Fourth Ave. San Diego CA.
92103-5704 * (619) 299-5550

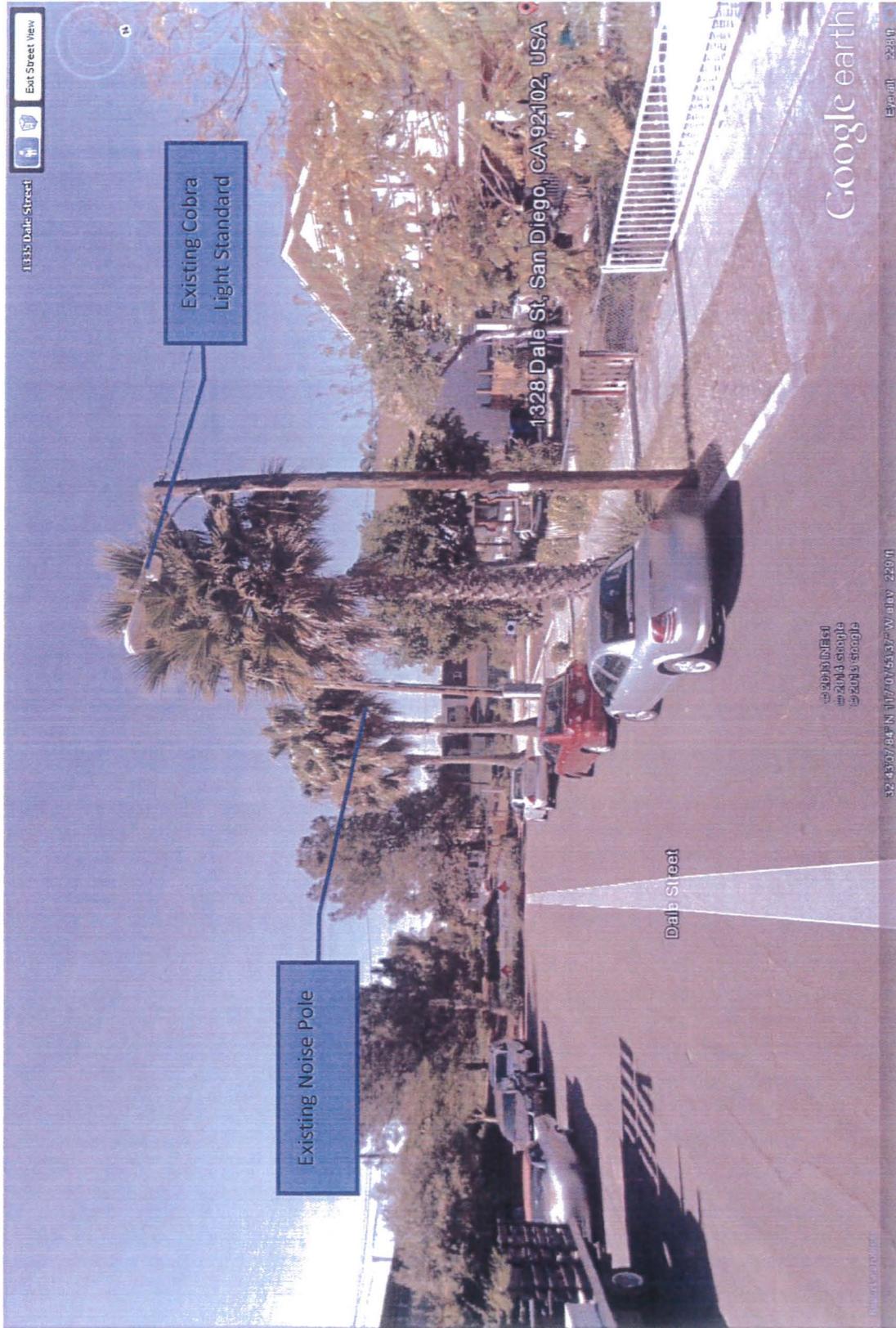
PRIVATE CONTRACT		STRUCTURAL NOTES AND DETAILS FOR:	
UPGRADE NOISE MONITORING POLES			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 29 OF 30 SHEETS		I.D. NO. PROJECT NO.	
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	BWE		
AS-BUILTS			
CONTRACTOR	DATE STARTED	XXXXX-29-D	
INSPECTOR	DATE COMPLETED		

SAN DIEGO INTERNATIONAL AIRPORT
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY

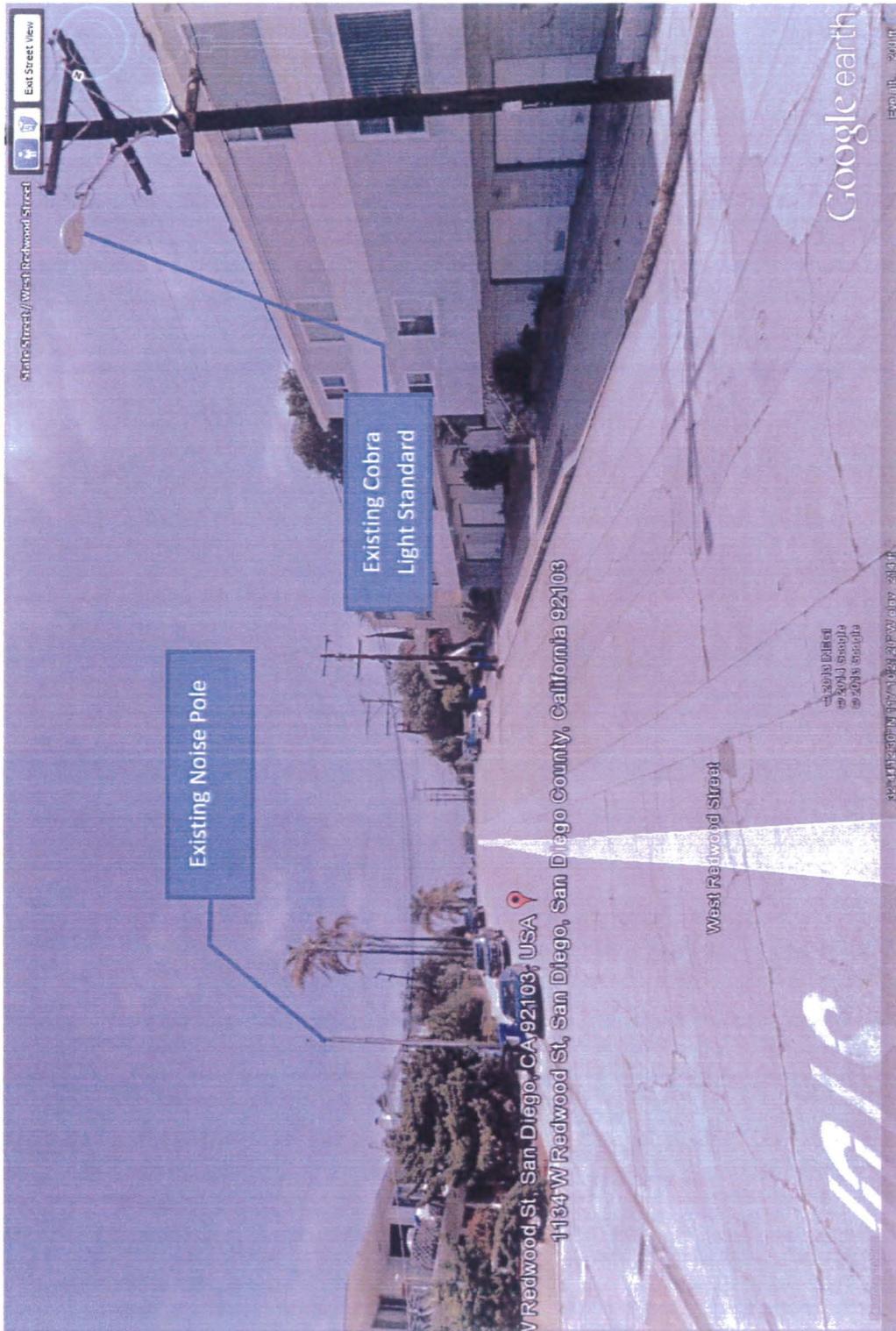
Site 1 – Balboa Park Drive/8th Drive



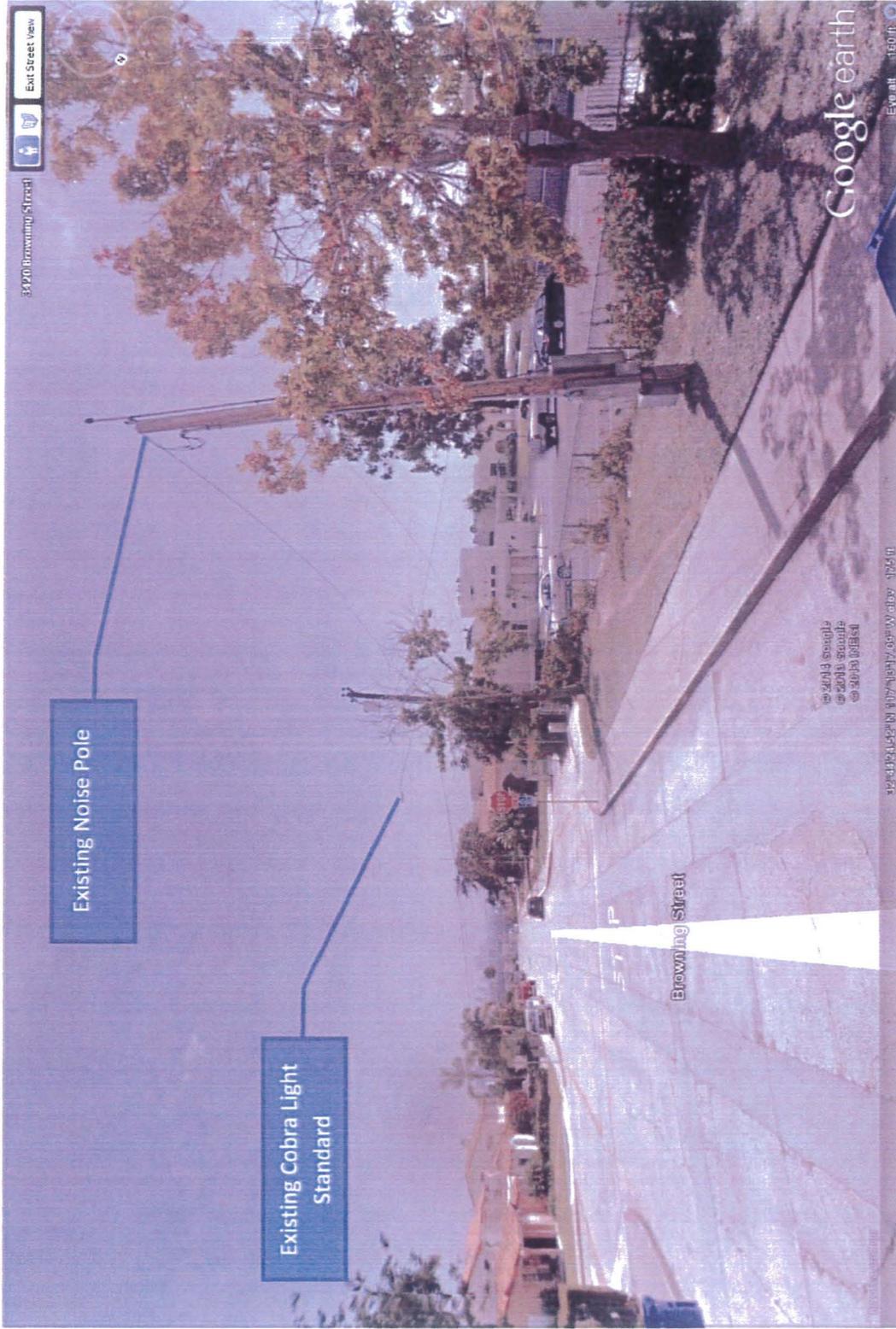
Site 2 – 1328 Dale Street



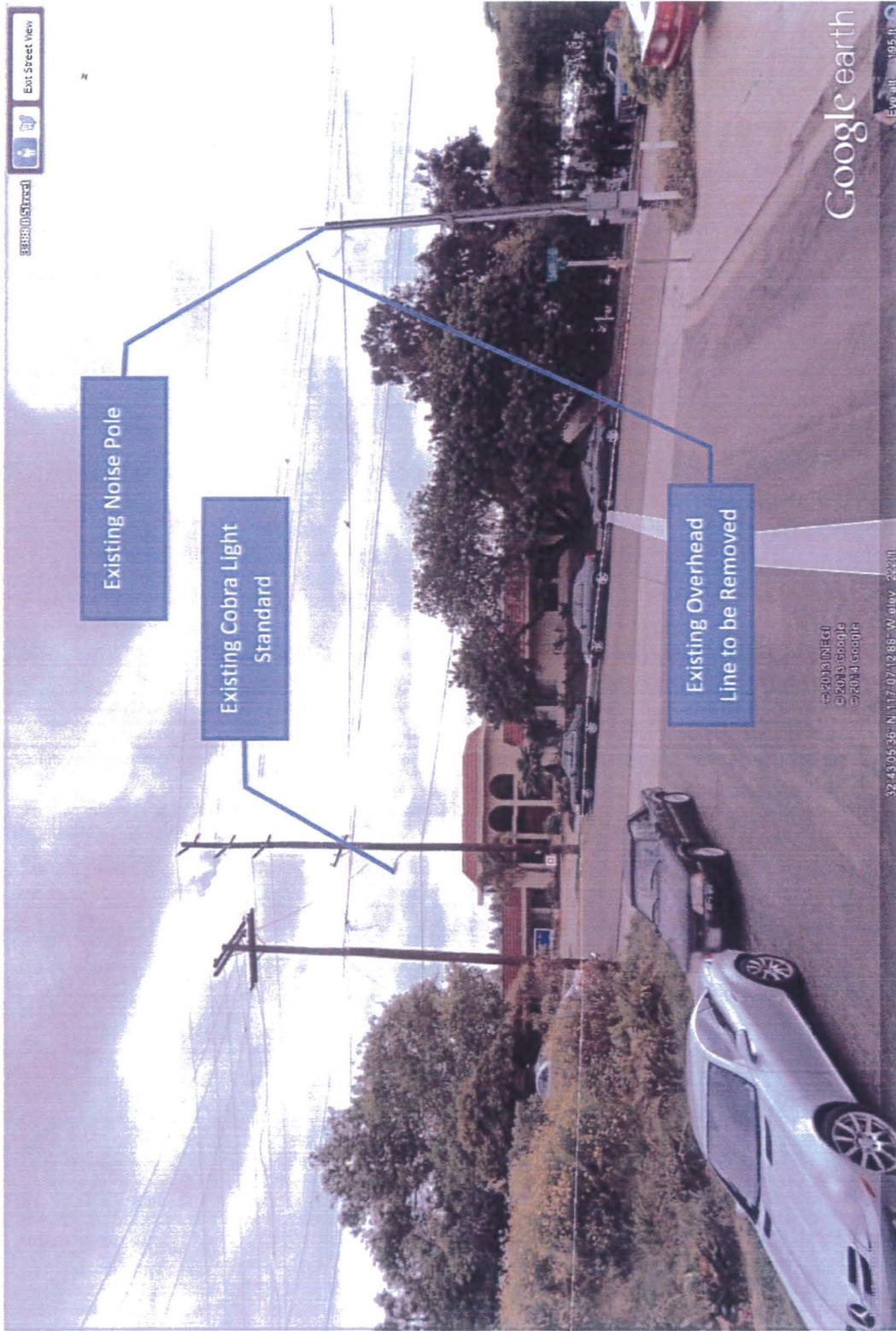
Site 9 – 1134 Redwood Street



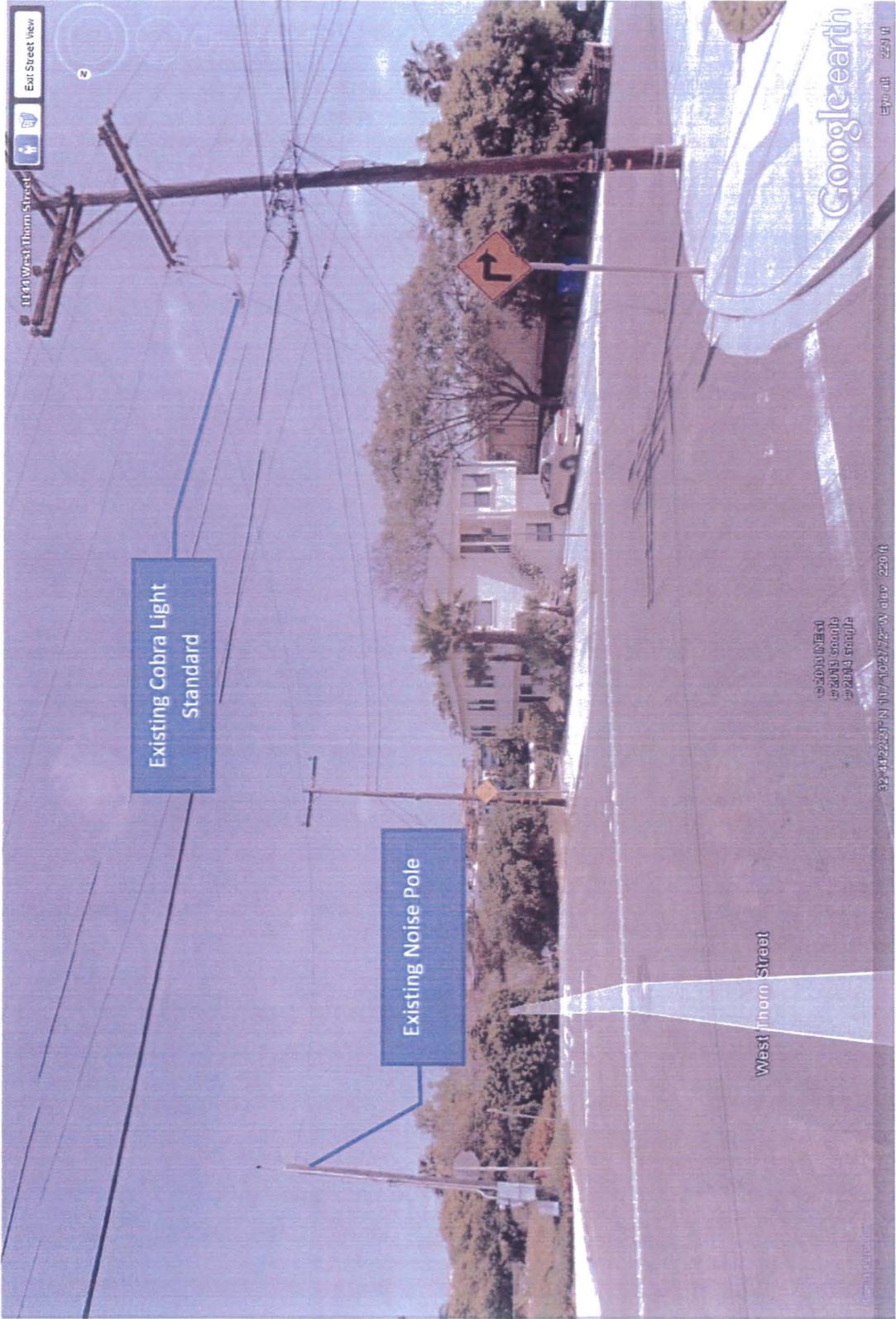
Site 11 – 3413 Browning Street



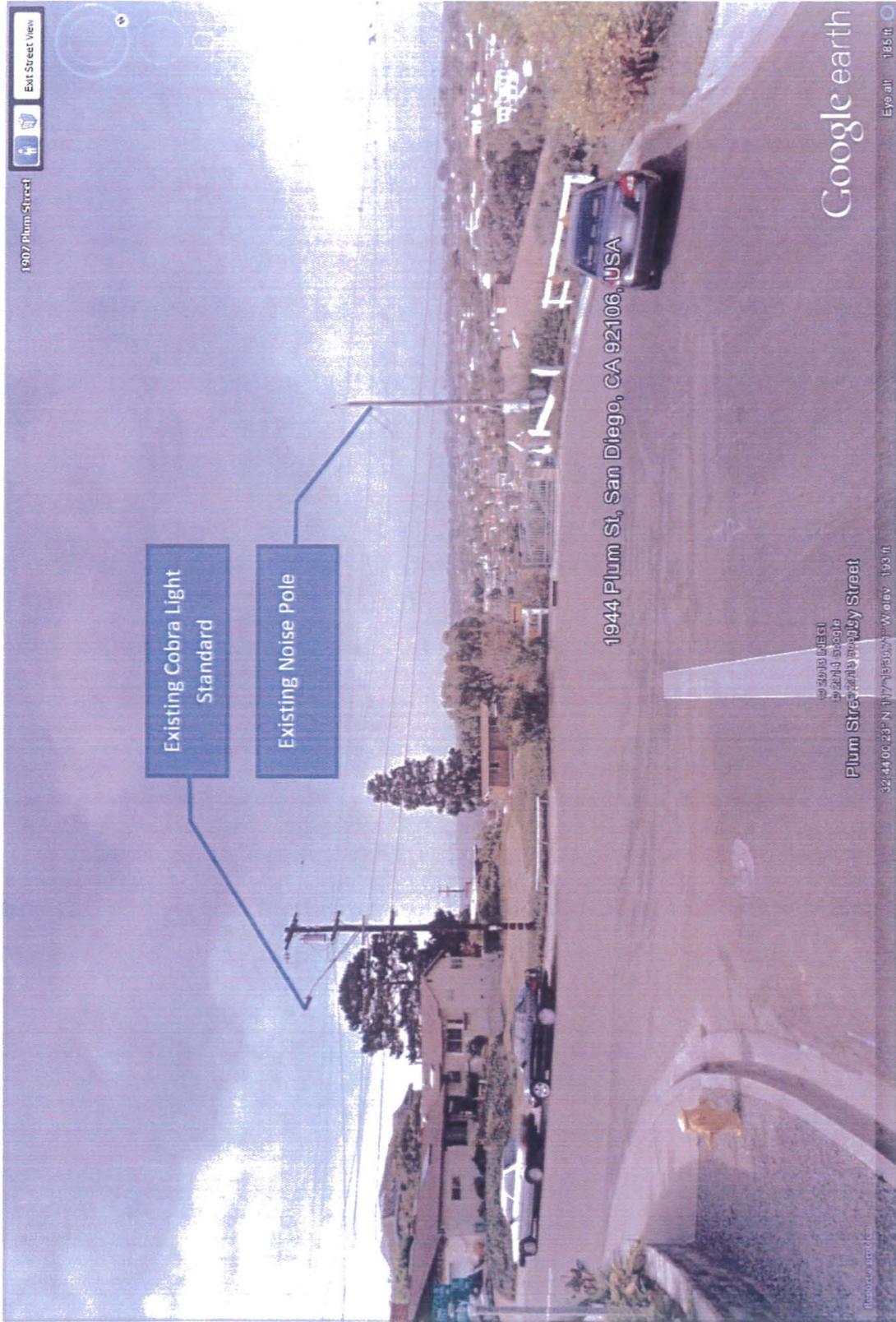
Site 16 – 3385 B Street



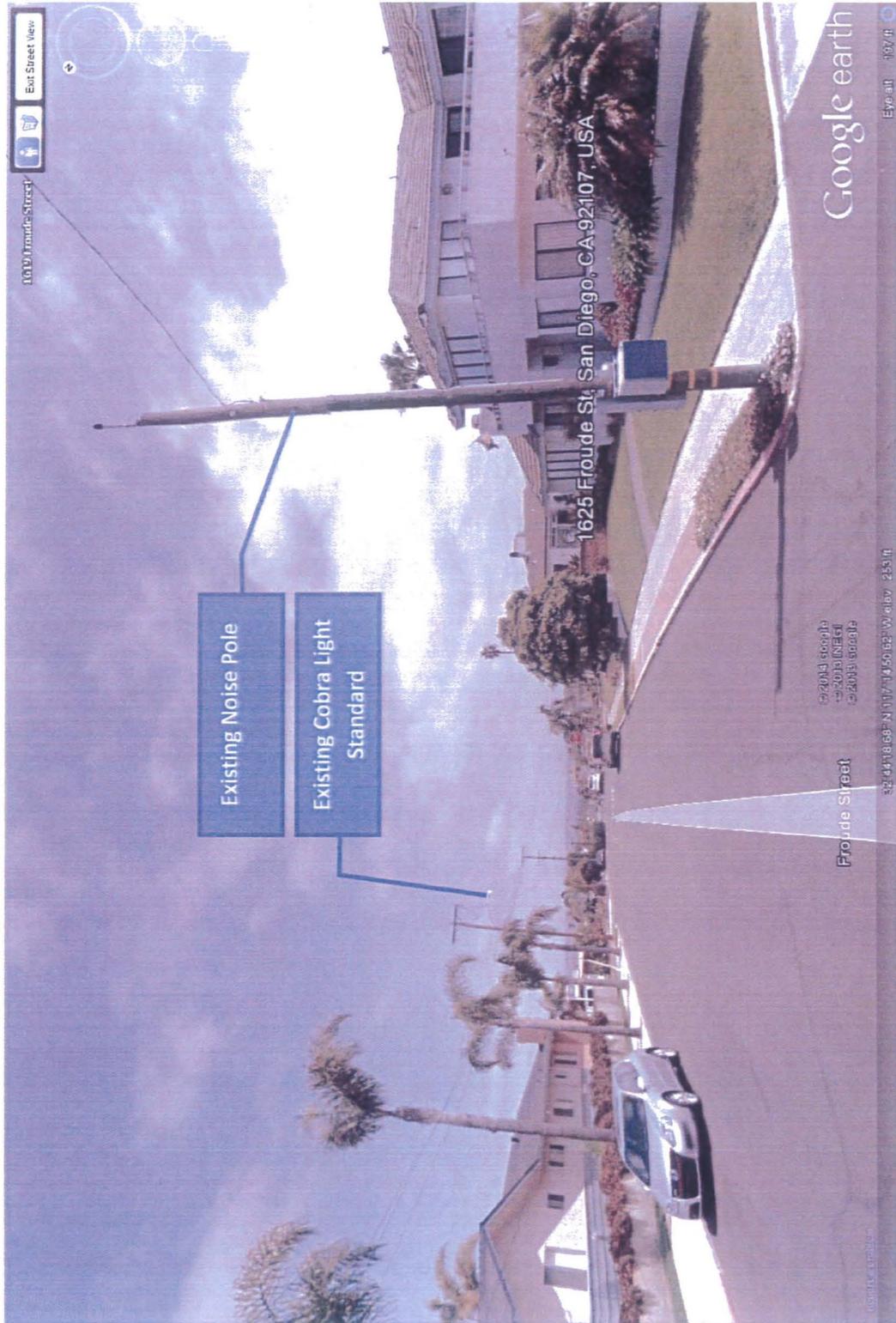
Site 19 – 1290 W. Thorn Street

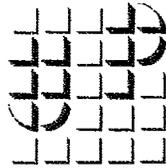


Site 20 – 1944 Plum Street



Site 21 – 1625 Froude Street





UPTOWN PLANNERS

Uptown Community Planning Group

AGENDA

April 1, 2014

Meeting Minutes

Meeting Place: Joyce Beers Community Center
Joyce Beers Community Center, Uptown Shopping District

Meeting called to order at 6:00 p.m. by past Chair Wilson

Present: Tablang, Ward, Bonner, Grinchuk, Fox, Naskar, Pesqueira, Wilson, Daniel, Mullaney, Butler, Ferrier, Winney, Jaworski, Winter, Bonn, Mellos (late)

Approximately 30 people were in attendance.

Board Meeting: Parliamentary Items/ Reports:

Election of Officers:

Motion by Bonn; seconded by Jaworski, to appoint Wilson as Chair, approved by 16-0 vote;

Motion by Ferrier, seconded by Daniel, to appoint Jaworski as Vice Chair, approved by a 16-0 vote;

No nominations for Secretary; Wilson and Jaworski agreed to be Co-Acting Secretaries;

Motion by Jaworski, seconded by Pesqueira, to appoint Tom Fox as Treasurer, approved by a 16-0 vote;

Adoption of Agenda:

Chair Wilson indicated two potential agenda items were inadvertently left off the agenda; both involved the replacement of existing noise monitoring poles with newer metal poles. Wilson indicated he had left messages for the individuals who had inquired about the project that the item would be added to this meeting's agenda:

Motion by Naskar, seconded by Butler, to add the following two items to the agenda; motion passed by a 15-0-1 vote, with non-voting chair Wilson abstaining.

3408 UNION STREET ("SDCRAA NOISE MONITORING POLES SDP") – Bankers Hill/Park West – Process Four – Site Development Permit to replace an existing wood noise monitoring pole to metal pole with solar panels ranging from 20'-24' in height close to same location. The pole is located adjacent to 3408 Union Street along the airport flight path.

1126 REDWOOD STREET ("SDCRAA NOISE MONITORING POLES SDP") – Bankers Hill/Park West – Process Four – Site Development Permit to replace an existing wood noise monitoring pole to metal pole with solar panels ranging from 20'-24' in height close to same location. The pole is located adjacent to 1126 Redwood Street along the airport flight path.

Motion to approve the agenda, as amended, by Winney, seconded by Butler, approved by a 15-0-1 vote, with non-voting chair Wilson abstaining.

Approval of Minutes:

Motion by Ferrier, seconded by Grinchuk, to approve the February 2014 minutes; motion approved by a 15-0-1 vote, with non-voting chair Wilson abstaining.

Treasurer's Report:

Treasurer Fox reported there was \$185.80 in the Uptown Planners bank account.

Chair/CPC Report

Chair Wilson indicated that Mayor Faulconer will attend a public forum in Hillcrest on April 22, 2014 at the GLBT Center; the forum will be for Third City Council District residents.

He also announced that Adrianna Martinez will be the new representative for Uptown from the Third City Council District.

Public Communication: Non-Agenda Public Comment;

Kara Kong gave an update on the Rock and Roll Marathon, which will take place on Sunday, June 1st. The 2013 event utilized a different route, traveling through North Park, Normal Heights and the Mid-City area; the new 2013 routes were favorable received. There has been an adjustment to the route through Hillcrest for the 2014, because of traffic concerns.

In 2013 there were a total of 22,000 runners in the half-marathon, and 8,000 runners in the full marathon. Uptown Planners will vote on a letter of support for the event at its May meeting.

Leo Wilson reported the Bankers Hill Craft Beer and Art Festival had over 500 in attendance; the event was co-sponsored by the Bankers Hill Business Group and Metro San Diego CDC.

Representatives of Elected Officials:

Toni Duran, representing Assembly Speaker-elect Toni Atkins, spoke of several pending bills before the State Assembly, which addressed issues regarding transgender rights, residential care facilities, and establishing community benefit districts in San Diego. Atkins will be the first Speaker of the Assembly from San Diego, and first lesbian to serve in that position.

Chris Ward, representing State Senator Marty Block, spoke regarding several pending bills involving combating human trafficking, expanding voting rights, and allowing community colleges to award BA degrees, which is done in other states. He provided more details on the proposed community benefit district bill for San Diego.

Informational Items:

None

UPTOWN COMMUNITY PLAN UPDATE – Report on University Heights community plan update meetings; scheduling future Uptown Community Plan update meetings.

1. University Heights Plan Update:

Chris Ward provided an update on two University Heights meetings pertaining to the Uptown Plan update process, as it applies to University Heights. On March 6, 2014, Marlon Pangilinan spoke at the monthly

University Heights Community Association meeting; approximately 90 people were in attendance. On March 13, 2014, Ward facilitated a special plan update meeting attended by about 15 people.

Ward prepared a two page written summary of the outcome of the meetings, which is attached as Exhibit "A" to these minutes. Ward provided an overview of the summary to Uptown Planners. Butler expressed concern over whether property owners would be noticed about any proposed land use or zoning changes to their property; a member of the University Heights Historic Society requested further information about University Heights plan update meetings. Ward indicated that his report was just informational; and discussions regarding the issues raised in his summary would take place at future meetings.

Naskar and Jaworski raised issues regarding the summary's reference to possible CUP's for alcohol licenses. Naskar inquired of Pangilinan how much a community had discretion over the conditions and time limits of CUPs.

2. Scheduling of Future Uptown Plan Update Meetings:

The Uptown Planners board, operating as a committee of the whole, called the Uptown Plan Update Committee into session; Roy Dahl and Don Liddell were seated as members of the committee.

Chair Wilson indicated that the board had been reviewing draft elements of the Uptown Plan update over the last several months, and recommended the board set a schedule of which components of the draft plan to review over the next two months. Board members expressed a variety of opinions how to move forward to review the unofficial draft.

City Planner Pangilinan indicated that a draft Mobility Element had not been written, as further traffic analysis and other necessary studies were still being completed. Also, the Historic Resources Element was delayed, due to issues raised by the state over the Golden Hill and North Park historic surveys, and that city staff would need to complete the Uptown Historic Survey. Nevertheless, Pangilinan indicated the official draft of the plan update was scheduled for completion by the end of July 2014.

After further discussion, a motion was made by Naskar, and seconded by Bonn, to request the city extend the time for the completion and release of the final draft Uptown Plan update for four additional months; the motion passed by a vote of 15 -1 -1, Winter voted against the motion, and non-voting chair Wilson abstained. During public comment on the proposed motion Barry Hager spoke in favor of its passage.

The board further agreed to the following tentative schedule for review of the draft Uptown Community Plan; (1.) at its May 5, 2014 meeting, Uptown Planners would review the City's CUP policies as they applied to Uptown; and mobility; (2.) at a May special meeting, tentatively scheduled for May 20, 2014, Uptown Planners would discuss urban design; (3.) At its June 3, 2014 meeting Uptown Planners would finish urban design, and review the University Heights land use recommendations, and historic preservation.

At the June meeting, the Uptown Planners Plan Update Committee would decide what the next steps would be in the plan update process.

I. Potential Action Item: Planning:

- 1. 120 ELM ("SAN DIEGO RESCUE MISSION – CUP AMENDMENT")** – Bankers Hill/Park West – Process Three -- Conditional Use Permit to amend conditions on CUP No. 8673 (PTS 1826) and add a childcare center to include 30 children and 10 staff to an existing transitional housing and emergency shelter for the San Diego Rescue Mission on a 1.38-acre lot located at 120 Elm Street. The site is in the NP-3 zone.

Herb Johnson, CEO of the Rescue Mission, spoke regarding the proposed CUP amendment. The first part of the proposed amendment would be to add a child care center for 30 children at the Rescue

ATTACHMENT 6

Mission; half the children were residents of the facility along with their parents; and half would be children of parents who utilize the Rescue Mission during the day.

In addition, two conditions would be removed: (1.) The requirement for a Neighborhood Advisory Committee, which meets once a year would be deleted; (2.) and the requirement that the Rescue Mission submit a litter and loitering control plan to the city each year would also be deleted.

The Neighborhood Advisory Committee, which has met only once a year, has been poorly attended. Its members suggested it be abolished. The controversies and lawsuit which took place 10 years ago were now resolved; and the neighbors are now supportive of the facility.

The Rescue Mission would still comply with the terms of its initial CUP and settlement agreement, and provide cleaning and security for the areas adjacent to the facility. During the last 10 years, crime and fallen and property values had risen in the eight block area around the Rescue Mission.

Public comment was made by Sharon Gehl in support of the project; and Jim Mellos indicated Greg Hinchy, who had played a major role in the lawsuit against the project 10 years ago, was supportive of the proposed amendment.

Butler made a motion to approve the addition of the child care center to the CUP, but opposed the removal of the conditions requiring a Neighborhood Advisory Committee; and removal of the requirement for the annual litter and loiter control plan report Bonner seconded the motion. The motion failed on a vote of 4-11-1, with Butler, Bonner, Grinchuk and Naskar voting in favor; Ward, Tablang, Bonn, Mullaney, Fox, Winter, Pesqueira, Jaworski, Ferrier, Winter and Daniel voting against; non-voting Chair Wilson abstained

Ferrier proposed segmenting the project into three separate motions:

(1.) Ferrier made a motion, seconded by Ward, to support the addition of the child care facility to the Rescue Mission CUP; motion passed by a vote of 14-0-1, with non-voting Chair Wilson abstaining.

(2.) Ferrier made a motion to delete the requirement for a Neighborhood Advisory Committee from the CUP, seconded by Winter; motion passed by a 9-6-1 vote; voting in favor, Winter, Ferrier, Tablang, Ward, Winney, Fox, Daniel, Bonn, Mullaney; voting against, Butler, Bonner, Grinchuk, Jaworski, Pesqueira, Naskar. Non-voting Chair Wilson abstained.

(3.) Ferrier made a motion to delete the requirement for an annual litter & loitering report from the Rescue Mission CUP, seconded by Winter, the motion passed by an 11-4-1 vote; voting in favor, Winter, Ferrier, Tablang, Ward, Winney, Fox, Jaworski, Daniel, Bonn, Pesqueira, Mullaney; voting against, Butler, Bonner, Grinchuk, Naskar; non-voting chair Wilson abstained.

Board member Mellos arrived during the Rescue Mission presentation; and became part of the quorum at the conclusion of the item.

2. **1243 CYPRESS COURT NDP ("RAGLAND RESIDENCE")** – Process Two – Neighborhood Development Permit for Environmentally Sensitive Lands for a first floor addition to an existing garage and 700 sq. ft. companion unit above on a 0.26 acre site with an existing single family residence at 1243 Cypress Court in the RS-1-7 Zone; FAA Part 77; Residential Tandem Parking.

Gary Taylor spoke for the applicants, who were present at the meeting. This was a previously approved project that had its permit expire. The applicant had to make a new submittal as recently enacted regulations were now applicable; and applicant had to update the project's geological, biological, brush management, and storm water management reports. The historic report, prepared approximately five years ago, also needed to be resubmitted. The project was for the addition of guest living quarters to a single family residence.

During public comment, Roy Dahl raised the issue of whether a previous parking issue involving a driveway cut had been resolved; the applicant indicated it had.

Motion by Daniel, seconded by Winter, to approve the project as presented. The motion passed by a 15-1-1 vote; Bonn voted against the project, and non-voting Chair Wilson abstained. Bonn voted against the project based on there not being an updated historic report.

3408 UNION STREET (“SDCRAA NOISE MONITORING POLES SDP”) – Bankers Hill/Park West – Process Four – Site Development Permit to replace an existing wood noise monitoring pole to metal pole with solar panels ranging from 20'-24' in height close to same location. The pole is located adjacent to 3408 Union Street along the airport flight path.

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Both items were taken together. Project would replace existing wood monitoring polls with steel poles, with solar panels No public comment.

Applicant indicated the solar panels were removed, as there had been comments about the panels being bulky and unsightly from other community groups. Project was now a replacement of wood poles with steel poles of approximately the same size. The new poles would be hooked to the electric source of the existing poles.

Although an informational item, Marlon Pangilinan indicated it could be made an action item by a 2/3 vote of the board, given the short time frame the project was operating under. Motion by Ward, seconded by Bonner, to make the two noise monitoring pole projects an action item; motion passed by a vote of 15-1-1; with Naskar voting no, and non-voting Chair Wilson abstaining.

Motion by Butler, seconded by Ferrier, to approve the project as presented, with the solar panels removed from the poles; motion passed by a vote of 15-0-2, Naskar and non-voting chair Wilson abstaining.

II. Community/Board Reports: Possible Facebook Page

The board discussed creating a Facebook page for Uptown Planners; the majority of members indicated opposition; however, many board members were receptive to establishing a Facebook page as an informational source, with public comment not allowed because of potential legal issues. The Chair agreed to write a letter to the City Attorney to inquire if there were any legal issues involving Uptown Planners establishing a Facebook page.

Adjournment:

Motion to adjourn by Ferrier; approved by a voice vote at approximately 9:00 p.m.

Respectfully submitted,

Leo Wilson
Acting Secretary

Peninsula Community Planning Board
March 20, 2014
Meeting Minutes

Meeting Called to order at 6:40 by Julia Quinn

In attendance: Dominic Carnevale, Bruce Coons, Shannon Osborne, Mike Ryan, Julia Quinn, Paul Webb, Peter Nystrom, Jay Shumaker, Bruce Cook, Patricia Clark, Mark Krencik, and Jarvis Ross.

Approval of Agenda: Quinn requested that Item #4 (approval of letter to City attorney regarding run-off from PLNU) be tabled until next meeting so that Joe Watkins, representative of PLNU, can respond to the letter before being sent to the City Attorney. Motion by P. Webb, seconded by P. Nystrom, to approve agenda subject to tabling action item #4 to the April meeting. All in favor; Carnevale, Coons, Osborne, Burgess, Webb, Nystrom, Ryan, Shumaker, and Cook. None opposed. Motion passes.

Approval of January Minutes: Motion by P. Nystrom, seconded by P. Webb, to approve January minutes. All in favor: Burgess, Carnevale, Coons, Ryan, Webb, Nystrom; Abstained B. Cook and J. Shumaker (was not present) and S. Osborne (didn't have access to minutes). None opposed. Motion passes.

Approval of February Minutes: Motion by M. Ryan, seconded by B. Cook, to approve February minutes. Voting in favor: Burgess, Carnevale, Coons, Ryan, Webb, Nystrom, Shumaker, Cook. None opposed. Osborne abstained (didn't have access to minutes). None opposed. Motion passes.

Secretary's Report – nothing to report

Treasurer's Report – nothing to report (Treasurer working the election table).

Chair Report – In regards to Sunset Cliffs Natural Park, Planning commission meeting has been moved to March 27, 2014. March 2014 PCPB Elections – Polls close at 8pm.

Non-Agenda Public Comment:

Dr. Fred Simon – Republican candidate for 52nd Congress wanted to introduce himself to the community.

Jim Gilhooly – Discussed Navy Storage Project; concerned with traffic on Rosecrans during construction.

Don Sevrens – Sent letter to City of San Diego about alleged PCPB violations of Brown Act from moving discussion items to action items. City of San Diego response, suggesting members attend Community Orientation Workshop.

Vicky (anonymous last name) – Feedback on Remodeling code

Jerry Lohla – Plum and Lowell - house has been left incomplete. Violation has been given.

Nicole Burgess – mentioned SANDAG I-8 Corridor Study; Nimitz being resurfaced, Ciclosdias #2

Bruce Coons – running for interim for District 2

Government Reports

Tracy Cambre – District 2

District 2 Appointment will be April 14/15

Oversized Vehicle Ordinance – back at City Attorney

Marijuana Dispensary – city map shows possible locations where it may be possible

US Open – coming in 2021

Ciclodias.org – Sunday March 30th in Pacific Beach

Faulconer's staff has all moved to Mayor's office, except for Thyme Curtis

City Attorney – Howard Guess, Criminal Division – setting up community courts

New/Old Business

Plum Street Vacation, Project No. 321105 – Project Review voted to approve vacation of street. Mike Brensik presented in favor of project. Motion by P. Webb, seconded by D. Carnevale, to approve proposed road vacation. Discussion: M. Krencik speaks in favor and suggested the vacation of additional ROW at Plum Street and Avenida De Portugal(Addison St.) be reviewed by Park Planning to improve our deficiency in park acreage. P. Nystrom opposes proposal. Vote: In favor: Burgess, Osborne, Krencik, Coons, Carnevale, Webb, Cook. Opposed: Ryan and Nystrom. Shumaker abstained as there are too many unknowns of future residents. Motion passes.

Peeling Appeal to City Council, Project No. 239065, J. Shumaker discusses supporting appeal on basis of Double Front Ordinance. Appeal will be held on April 29. No action taken.

Action Items:

San Diego County Regional Airport Authority Noise Monitoring Poles, Project No. 340611, presentation by Sjohnna Knack. Project to construct 3 replacement poles in Peninsula.

Heather Nelson completely opposes design. Karen Robertson also opposes poles. Sandi May spoke as a representative of neighbors around Plum Street and is against the project.

P. Nystrom motion that noise monitoring pole project be accepted with the exception that the solar panels not be included, and have the pole on Browning as close as the current pole as possible. Second by Paul Webb. All in favor: Nystrom, Webb, Carnevale, Coons, Osborne, Ryan, Burgess, and Cook. Opposed: Shumaker. Motion passes.

Carides Residence, Project No 342622, 921 Harbor View Drive presented by Ryan Ahmadi. P. Webb recommends approval of project. P. Nystrom seconds motion. All in favor: D.Carnevale, B. Coons, S. Osborne, P. Clark, N. Burgess, M. Ryan, P. Webb, P. Nystrom, J. Shumaker, B. Cook. Motion passes.

Letter of Support for Safe Routes to Schools Application: N. Burgess presented proposed letter to support City's application for Safe Routes to Schools in the Peninsula. Motion by J. Shumaker, seconded by P. Nystrom, to approve support letter. Voting in favor: D.Carnevale, B. Coons, S. Osborne, P. Clark, N. Burgess, M. Ryan, P. Webb, P. Nystrom, J. Shumaker, B. Cook. Motion passes.

Approval of Letter to City of San Diego Attorney Regarding Runoff from PLNU to Sunset Cliffs Natural Park – tabled until next month to allow PLNU to respond.

Subcommittee Reports

Airport Authority – nothing to report

Environmental/Water – nothing to report

Form Based Long Range Planning – nothing to report

Liberty Station – Building 271 – plans have been submitted to city, progress being made

Parks and Recreation – Smoke machine is killing gophers at Robb Field

Project Review – nothing to report

Traffic – nothing to report

North Bay Community Planning Group – nothing to report

Meeting adjourned by Julia Quinn at 8:42pm.

**Greater Golden Hill Community Planning Group
Minutes, March 12, 2014.**

Meeting was called to order at 6:30 by chair Ruchell Alvarez.

Present: Ruchell Alvarez, Richard Baldwin, Cheryl Brierton, Susan Bugbee, Ashley Christensen, Janice Davis, John Kroll, Richard Santini, David Strickland, David Swarens, Angela Vasconcellos

David Swarens agreed to take minutes for the meeting.

Motion to approve minutes for the meeting of February 12th; Motion by David Strickland, second by Richard Santini.

Approved with Davis and Baldwin abstaining (neither present at that meeting)

Reports:

Chris Ward, from the office of Senator Marty Block, spoke, and passed out copies of "Around the Block."

Gavin Deeb, from Congresswoman Susan Davis' office spoke and distributed "Davis Dispatch." Molly Chase, new rep for Council President Todd Gloria, introduced herself to the group, and committed to providing an update from the City Attorney on the possibility of enterprise funding application for development of the multi modal corridor connecting the golf course and community.

She was also asked to explore ADA issues, and the appropriateness of enhancing existing roadways to non current standards relative to this corridor.

She also distributed copies of "District Three Dialogue"

Non agenda Public Comment:

David Skillman inquired about the availability of the Sign in Sheet for meetings; future meeting will make a point of announcing the sign in process.

Jerry Raye expressed concerns about vandalism and crime associated with taverns and business patrons, including trash cans damaged and displaced, litter, parking, and other problems.

Doug Kipperman expressed concern about proposed development along the paper extension of 28th street, and its impact on the community, park/open space, and bike routes.

Chair's report:

Received memo from Andrew Rice re update on SR 94 project status and environmental review. Committee members received copies of this via e mail.

Action items:

~~Airport Noise Monitoring pole upgrade proposal presented by Sierra Knack~~

~~Airport Noise Monitoring program is required by the State of California~~

~~There are three locations in the Golden Hill community; the proposal is to replace existing wooden poles with metal and upgrade stations which will be solar powered.~~

~~The committee approved site #7, 2051 "A" Street in the alley between 20th and 27th; site #10, 6885 5th Bth Street and requested the Airport Authority staff to review alternative locations, design and color for the replacement station currently at 6285 Dale Street to better fit community context, and to return to the GGHCPC for further review on that station.~~

~~Motion by David Swarens, second by Angela Vasconcellos~~

9 in favor
2 abstain (D. Strickland, C. Brierton)
Proposed changes to Council Policy 00024 from GPC
Motion to support by chair, second by C. Brierton
8 in favor
0 abstentions (Baldwin, Kroll, Swarens)

Elections:
Nominations presented by Angela Vasconcellos:
Susan Bugbee
Ashley Christensen
Janice Davis
Kelly Sanderson
Pat Shields
David Skillman
David Strickland.

All of the above spoke, with the exception of Sanderson, who was not in attendance.

Current member Richard Baldwin was "termed out," and was not eligible to run.

Ballots were distributed, collected, and counted
All of the above were elected to the GGHPCP.

A "write in" candidate whose attendance qualifications had not been documented was not elected.

The Planning Committee committed to make certain that the sign in sheet would be more clearly available to avoid this issue in the future.

Staff Report by Bernie Turgeon; alternate land use plan for enhanced density in Plan update.

Mr. Turgeon distributed a three page handout of maps: "25th St. & Broadway Golden Hill", "25th Street Commercial Golden Hill", and "20th & B City Ops Facility".
City staff proposed these as sites for increased density in the plan update, going from 29 or 30 dwelling units per acre to possible 44 d.u.a..

Mr. Turgeon addressed questions from the February meeting, particularly re Historic resources and constraints on Park development.
An economic analysis is the next step, and should be available in April.
The planning group discussed the proposal.

A motion was made by the Chair, Ruchell Alvarez, and seconded by Cheryl Brierton, to support the City staff proposal to plan for increased density at these sites.
3 in favor
6 opposed
2 abstain
Motion failed.

Historic subcommittee meeting noticed/announced, last Wednesday of the month, (03/26/14)
6:30, Golf Course Clubhouse.
Update on South Park and Golden Hill Historic Districts is a standing agenda item.

Meeting was adjourned at 8:40

~~Greater Golden Hill Community Planning Group~~
~~Minutes, May 14, 2014~~

Meeting was called to order at 6:30 by chair Ruchell Alvarez.

Present: Ruchell Alvarez, Michael Burkart, Cheryl Brierton, Susan Bugbee, Ashley Christensen, Janice Davis, John Kroll, Kelly Sanderson, Richard Santini, Pat Shields, David Skillman, David Strickland, David Swarens, Angela Vasconcellos.

Motion to approve April minutes, by A Chrisensen, second by K Sanderson; 7 in favor, 3 abstentions (Brierton, Davis, Santini).

Governmental reports:

Community Service Officer, SDPD, Kevin Vasquez, reported, and took inquiries re graffiti in the community and marijuana dispensaries.

Chris Ward, office of Marty Block, distributed "Around the Block" and reported on Toni Atkins's Speakership and the State budget.

Gavin Deeb, from the office of Congress member Davis, presented and distributed the Davis Dispatch. Davis supports "net neutrality" and he answered an inquiry re federal housing support for lower income people.

Aida Castaneda, Assembly member Lorena Gonzalez's office, provided information re upcoming small business resource fair, a proposal to require paid sick leave, and a program providing diapers for needy families.

Molly Chase, of Council President Todd Gloria's staff, reported on the wild fires around the county and fire safety, the Mayor's 2015 draft budget, including restoration of City services and reinvestment in infrastructure, and the upcoming budget forums.

She also shared her office's request for a City Attorney's formal opinion on use of enterprise funding for the multi modal links in the Balboa golf course project.

Public comment:

John Kroll inquired about legality of in home "hotel" short term rentals, (e.g. "Air B&B), which he feels are destructive to community stability.

Cheryl Brierton shared information on Airport Authority development, air pollution from freeways, and inquired about sewer group project impact on the 32nd Street canyon.

Chair Alvarez will follow up on the potential canyon impact.

David Strickland reported, as rep to Balboa Park Committee, on the proposed expansion of "Houses of Pacific Relations," and on the interest fountains and other water features in Balboa Park.

Chair's Report:

There has been no contact yet from the developer of the Fir Street project, re Planning group agenda for review.

Action Item(s):

~~Stephanie Knack, program manager for airport noise mitigation, reported back to the committee re the remaining proposed noise monitoring pole, on Dale Street.~~

~~The proposal is to replace the current wooden pole with a metal post, without a solar panel.~~

~~The Chair requested that Mr. Santini refuse himself from any vote, as there would be a direct economic impact on his home from this project.~~

~~Motion by Brierton, seconded by Shields, to support if the pole goes where the old one is.
Passes with 11 in favor, 1 opposed (Swarens), two abstentions (Santini, Shields).~~

Proposal for realignment of parking (straighten current diagonals) in front of the "wounded warrior" project on 28th between "A" & "B"

Chair pulled item, with a request for more information and review of the block's traffic and parking.

DECO bike program in Golden Hill community, information presented by board member Christensen, on design and locations.

Concerns about both the program and project specifics, including proposed locations, were shared with the City.

Council rep Chase reported that one location, at Grape Street (in front of "So Childish" & "Big Kitchen") would probably be modified (for the better) and requested members to contact her office with any specific concerns regarding sites.

Motion, C Brierton, 2nd Christensen, to express concern that the DECO bike program was not brought to GGH Planning Group prior to adoption by the City.

Passed unanimously.

Election of officers:

Motion by Brierton, 2nd by Strickland, R Alvarez as Chair
Unanimously carried

Motion by Brierton, 2nd by Strickland, P Shields as Vice Chair
Unanimously carried

Richard Santini, by acclamation, was selected as "Media Chair"
P. Shields, with D Strickland, as committee reps to CPC, also by acclamation.

Membership representative; Vasconcellos.

Unanimous, Alvarez abstaining.

Swarens reported that the "Historic" subcommittee would not meet on the last Wednesday in May, as scheduled, as neither of the co chairs, himself or Bugbee, would be available. That schedule should resume in June.

Adjourn 8:15

Talley Fernanda

Subject: RE: Balboa Park - Noise Monitoring Pole

From: Knack Sjohnna
Sent: Friday, May 09, 2014 4:03 PM
To: Martinez, Bruce
Cc: Llanos III, Mario R; Mayer Craig; Talley Fernanda
Subject: RE: Balboa Park - Noise Monitoring Pole

Great, thank you so much for your rapid response. I will ensure we keep Mario's contact information so that he will be contacted during the permit process.

Have a great weekend!

Sjohnna Knack
Program Manager
Airport Noise Mitigation/ Quieter Home Program
P: 619.400.2639

From: Martinez, Bruce [<mailto:BMartinez@san.gov>]
Sent: Friday, May 09, 2014 4:02 PM
To: Knack Sjohnna
Cc: Llanos III, Mario R
Subject: RE: Balboa Park - Noise Monitoring Pole

Sjohnna,

There is no need to notify the BP Committee for this operational issue. You will need a Right of Entry Permit for access and to do work on City Property. Or if you have some type of easement document that may satisfy the authorization to do work on City property, please provide us a copy.

Once you are ready to start the permit process contact Mario Llanos @ 235-1124. He will be able to assist you in getting the Right of Entry Permit. Please be mindful a permit may take up to six weeks to obtain. Thanks and take care.

Bruce Martinez
Interim Deputy Director
Developed Regional Parks
(619) 235-1157
"We Enrich Lives Through Quality Parks and Programs"

From: Knack Sjohnna [<mailto:sknack@san.org>]
Sent: Friday, May 09, 2014 3:08 PM
To: Martinez, Bruce
Cc: Mayer Craig; Talley Fernanda
Subject: FW: Balboa Park - Noise Monitoring Pole

Good afternoon Bruce,

Were you able to confirm with the Balboa Park Committee that we do not have to present in front of them? We are getting close to resubmitting to the City after meeting with all our local planning groups and want to make sure we have your concurrence that we do not need to hold a separate meeting for the Balboa Park site.

Thank you in advance for your help!

Sjohnna Knack

Program Manager

Airport Noise Mitigation/ Quieter Home Program

P: 619.400.2639

From: Martinez, Bruce [<mailto:BMartinez@sandiego.gov>]
Sent: Friday, April 04, 2014 9:15 AM
To: Knack Sjohnna
Cc: Llanos III, Mario R
Subject: RE: Balboa Park - Noise Monitoring Pole

Hello Sjohnna,

I hope all is well. I do concur with the statement you will need a Right of Entry permit to do work on City property. As for going before the Balboa Park Committee, that will most likely not be necessary unless Develop Services Department permitting explicitly requires you to. I see this more of an operations issue to relocate and reduce visual impact of an existing amenity within a secured non public space. City staff can provide a project update to the Committee in their staff report. We will confirm with the Committee's Chairperson and get back to you. Thanks and take care.

Bruce Martinez
Interim Deputy Director
Developed Regional Parks
(619) 235-1157
"We Enrich Lives Through Quality Parks and Programs"

From: Knack Sjohnna [<mailto:sknack@san.org>]
Sent: Thursday, April 03, 2014 9:26 AM
To: Martinez, Bruce
Cc: Talley Fernanda; Mayer Craig; Deisher, Helene (HDeisher@sandiego.gov); Nazareno, Angela
Subject: Balboa Park - Noise Monitoring Pole

Mr. Martinez,

We spoke back in February regarding the Airport Authority's intention to replace the existing noise monitoring pole located at Balboa Park (inside the gate at the Park and Recreation office).

During that conversation, you mentioned a couple of things I wanted to follow up on:

- You indicated the Airport Authority would not be required to present the proposed project to the Balboa Planning Group because you didn't believe there were any objections to the replacement pole and corresponding equipment, and there were no concerns with visual or historical impacts. Is that accurate?

ATTACHMENT 6

- You asked if there would be any liability to your organization with the installation and maintenance of the new noise monitoring pole. My staff has spoken with Helene Deisher at the City and she confirmed we would require a Right of Entry permit to work on the site. This permit would protect your organization from any liability. Ms. Deisher suggested you call her if you have any questions. Her number is 446-5223. I also copied her on this email.

Please let me know if there are any additional items we need to discuss. If what I presented above is agreeable to you, please indicate so (by replying to this email) and we will proceed as planned. Of course, we will continue to coordinate with you and your staff as we move closer to construction.

Thank you,

Sjohnna Knack

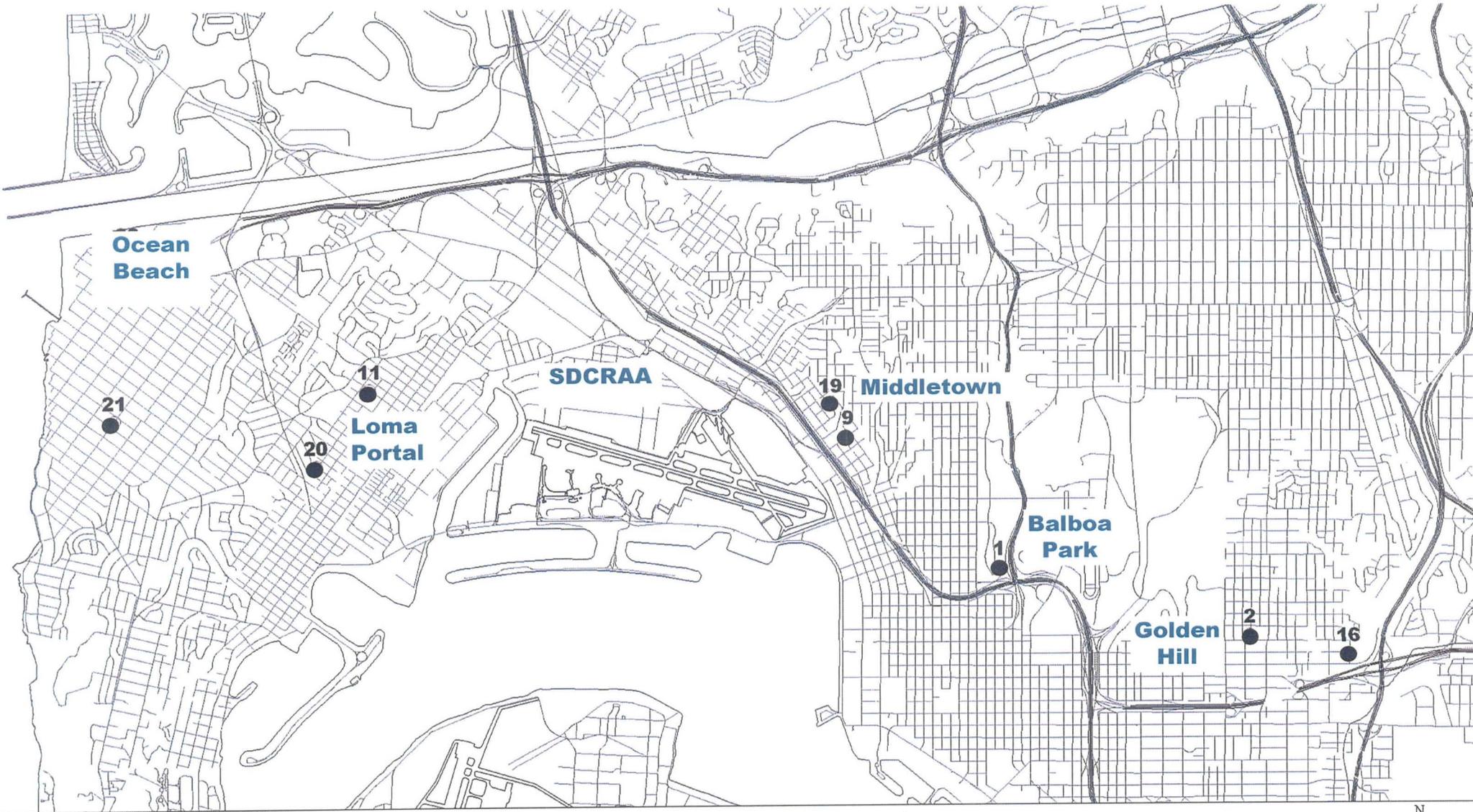
Program Manager

Airport Noise Mitigation/ Quieter Home Program

P: 619.400.2639

ATTACHMENT 7

RMT No.	Community Planning Board	Meeting Date Attended	Decision	Energy Source Approved
1	Balboa Park Committee	N/A	The Balboa Park Committee declined a presentation of the project. An upgraded solar-powered steel pole will replace the existing electric-powered wooden pole.	Solar
2	Greater Golden Hill Planning Committee	March 12, 2014 May 14, 2014	GGH Planning approved the upgraded steel pole at the 5/14/14 meeting as presented; an electric-powered steel pole in the same location as the existing wooden pole.	Electric
9	Uptown Planners	April 1, 2014	Uptown Planners approved both poles at the 4/1/14 meeting as presented; upgraded electric-powered steel poles in locations adjacent to existing wooden poles.	Electric
11	Peninsula Community Planning Board	February 20, 2014 March 13, 2014 March 20, 2014	Peninsula approved all three upgraded poles at the 3/20/14 meeting as presented; electric-powered steel poles in locations adjacent to existing wooden poles.	Electric
16	Greater Golden Hill Planning Committee	March 12, 2014	GGH Planning approved the upgraded steel pole at the 3/12/14 meeting as presented; a solar-powered steel pole in a location adjacent to the existing wooden pole.	Solar
19	Uptown Planners	April 1, 2014	Uptown Planners approved both upgraded electric-powered steel poles in locations adjacent to existing wooden poles.	Electric
20	Peninsula Community Planning Board	February 20, 2014 March 13, 2014 March 20, 2014	Peninsula approved all three upgraded poles at the 3/20/14 meeting as electric-powered steel poles in locations adjacent to existing wooden poles.	Electric
21	Peninsula Community Planning Board	February 20, 2014 March 13, 2014 March 20, 2014	Peninsula approved all three upgraded poles at the 3/20/14 meeting as electric-powered steel poles in locations adjacent to existing wooden poles.	Electric



SDIA Noise Monitor (RMTs) Locations that would require a pole upgrade.

