



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 3, 2014 **REPORT NO. PC-14-028**

ATTENTION: Planning Commission, Agenda of April 10, 2014

SUBJECT: VERIZON WIRELESS – BEELER CANYON II
PROJECT NO. 343018, PROCESS 4

**OWNER/
APPLICANT:** City of San Diego
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a modification to an existing Wireless Communication Facility (WCF) at 16688 Stonebridge Parkway within the Rancho Encantada Community Planning Area?

Staff Recommendation:

1. **APPROVE** Planned Development Permit No. 1254940; and
2. **APPROVE** Conditional Use Permit No. 1262040; and
3. **APPROVE** Neighborhood Development Use Permit No. 1254941; and
4. **RESCIND** PDP No. 699784, SDP No. 699783 and NUP No. 650018.

Community Planning Group Recommendation: There is no recognized community planning group for the Rancho Encantada Community Planning area and instead, the plans were sent to the adjacent community planning groups for review. The applicant presented the project to the Miramar Ranch North Community Planning Group on February 4, 2014 and they voted 11-0-0 to recommend approval of this project. The applicant also presented the project to the Scripps Miramar Ranch Planning Group on February 6, 2014, and they voted 16-0-0 to recommend approval of this project.

Environmental Review: This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 21, 2014, and the opportunity to appeal that determination ended March 10, 2014.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

BACKGROUND

The project site is located at 16688 Stonebridge Parkway in the AR-1-1 Zone (Attachment 4) within the Rancho Encantada Community Planning area (Attachment 2). The project site is designated for open space within the Community Land Use Plan. This WCF was originally approved on April 22, 2010 for the installation of a 35-foot tall mono-pine with twelve antennas and a microwave dish and, a 296-square foot equipment enclosure under PDP No. 699784, SDP No. 699783 and NUP No. 650018. The project site is surrounded with residential uses to the west, and open space to the north, to the south and to the east. Pursuant to Municipal Code Section 126.0113, Amendments to a Development Permit, a new Planned Development Permit, Conditional Use Permit and Neighborhood Development Permit is required.

DISCUSSION

Project Description: The project site includes a City of San Diego water tank in between the previously approved Verizon WCF. The 35-foot tall Verizon mono-pine is located on the northwesterly portion of the property and, the associated equipment enclosure is located on the east end of the property. The proposed modification consists of an upper level addition to a current 296-square foot equipment enclosure area for a new emergency generator. This building design will replicate the existing water department's structure on-site to include a tile roof. The emergency generator is being proposed at this location to serve as a back-up energy source in case of an emergency event.

Wireless Communication Facility (WCF) Regulation: The site is located within an agricultural zone (AR-1-1 Zone). A WCF is permitted with a Conditional Use Permit pursuant to LDC Section 141.0420(e)(2). Additionally, the 296-square foot equipment enclosure requires a Neighborhood Development Permit pursuant to LDC 141.0420(g)(3). Due to the existing height and setback deviations for the mono-pine and the equipment enclosure, the amendment would require a new Planned Development Permit (PDP), consolidated Process 4, Planning Commission decision, appealable to the City Council.

As designed, the WCF modifications comply with LDC Section 141.0420(g)(2). This section states, "The applicant shall use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." The 35-foot tall mono-pine will maintain the existing antenna sock covers and configuration to extend all branches a minimum of 24 inches in front of each antenna. All brackets and conduits are painted to match the mono-pine bark for compliance with this section of the regulations.

The equipment associated with this project is completely concealed inside a two story tile roof building enclosure, designed to replicate the existing water department building on site. The equipment enclosure and the mono-pine will both continue to function within the required side and rear yard setbacks as part of the water department's access requirement. Also, the existing mono-pine is 35-feet in height, exceeding the maximum allowable height of 30-feet within the AR-1-1 zone resulting in a height deviation. The City's Water Department requires separate access to all proposed WCFs for security reasons. For this project, these structures must remain within the required setbacks due to access restrictions, consistent with the previous approval. Although visible with the backdrop of the light colored water tank, in time the existing trees will grow to the point where the mono-pine is well integrated into the setting. The proposed modification for the second story addition to the equipment enclosure integrates well with the adjacent water department building. Therefore, the modifications comply with the City of San Diego Municipal Code Section 141.0420.

Council Policy 600-43: The guidelines establish a hierarchy from the most preferred locations (Preference 1) to the least preferred locations (Preference 4) for WCFs. The project is proposed within a Preference 3 location according to Council Policy 600-43, which categorizes WCF according to the land use in which they are located. In this case, the property is zoned agricultural and the application would typically be processed with a Conditional Use Permit. However, Verizon Wireless is requesting deviations (height and setbacks), which requires a Planned Development Permit. Nevertheless, the applicant must demonstrate that sites within the Preference 1 and 2 locations were explored in good faith and found unacceptable. The surrounding area identified within Verizon's search ring consists of single family residential uses to the west and open space to the north, south and east of the site with no Preference 1 or 2 locations available.

General Plan: The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facilities is to be aesthetically pleasing and respectful of the neighborhood context.

The existing mono-pine will continue to utilize camouflaging techniques supported and approved by staff under the previous approval. The mono-pine will continue to include antenna socks and a total of sixty-one (61) branches to screen the antennas and the associated mounting components. The branches will maintain a minimum of 24 inches in front of each antenna for maximum concealment. The associated equipment will continue to operate behind the 8-foot tall CMU wall surrounding the property. The proposed upper level addition above the equipment enclosure has been designed to integrate with the existing on-site building. Therefore, these modifications as proposed comply with the General Plan's recommendation to blend the WCF into the surrounding area with minimal visual impacts.

Community Plan Analysis: The project location has been designated for agricultural use in the Rancho Encantada Community Land Use Plan (Attachment 2). The Rancho Encantada Community Plan does not contain specific policies on wireless communication facility development.

Conclusion: The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes AR-1-1 development regulations and the Wireless Communication Facilities Regulations, Section 141.0420, with the exceptions to the setback and height deviations. The proposed modifications comply with the General Plan's design requirements and the Municipal Code Section 141.0420 Wireless Communication Regulations. Therefore, staff recommends that the Planning Commission approve Planned Development Permit No. 1254940, and Conditional Use Permit No. 1262040 and Neighborhood Development Permit No. 1254941.

ALTERNATIVES

1. **APPROVE** Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040 and Neighborhood Development Permit No. 1254941, **with modifications.**
2. **DENY** Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040 and Neighborhood Development Permit No. 1254941, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Simon Tse
Development Project Manager
Development Services Department

Attachments:

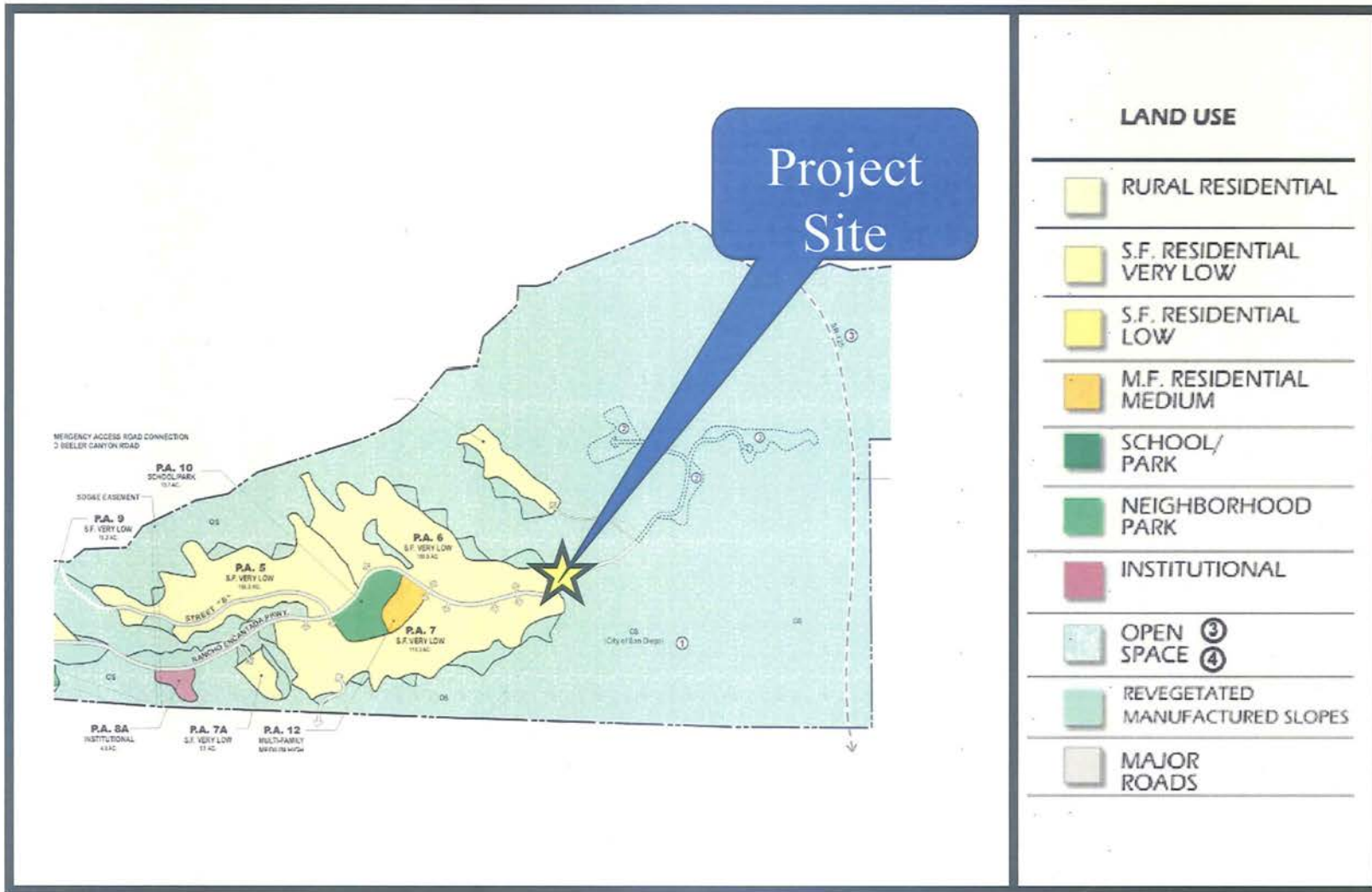
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Photo Simulations
10. Project Site Photos
11. Community Planning Group Recommendation
12. Notice of Planning Commission Hearing
13. Project Chronology
14. Technical Analysis



Aerial Photo

Verizon Wireless Beeler Canyon II Project No. 343018
Stonebridge Parkway, San Diego, CA 92145

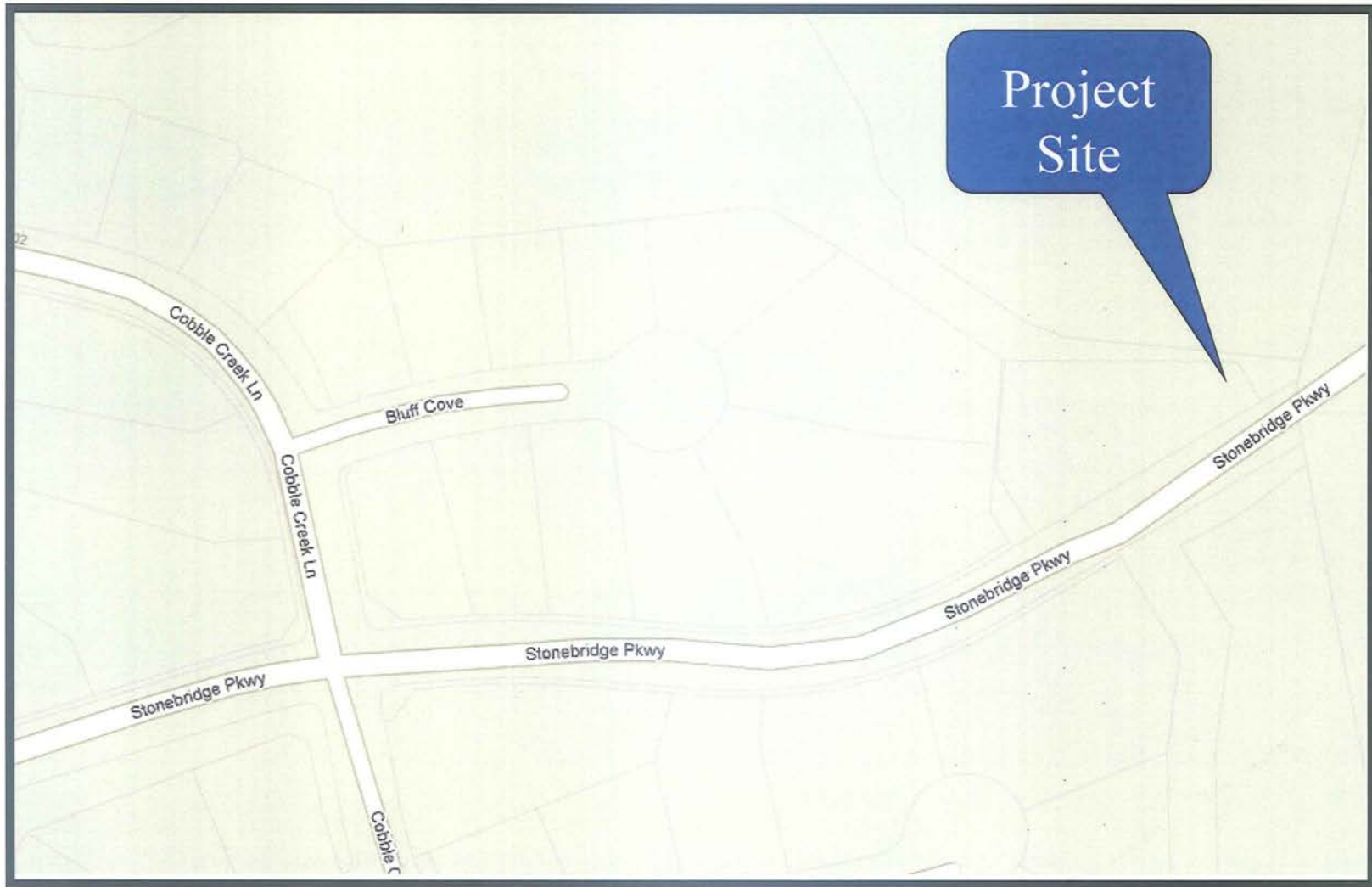




Community Land Use Map (Rnacho Encantada)

Verizon Wireless Beeler Canyon II Project No. 343018
 Stonebridge Parkway, San Diego, CA 92145





Project Location Map

Verizon Wireless Beeler Canyon II Project No. 343018
Stonebridge Parkway, San Diego, CA 92145



PROJECT DATA SHEET		
PROJECT NAME:	Verizon Wireless – Beeler Canyon II	
PROJECT DESCRIPTION:	An amendment to PDP No. 699784, SDP No. 699783 and NUP No. 650018 to make modifications to the antennas and associated components and to install an emergency generator above the existing equipment enclosure.	
COMMUNITY PLAN AREA:	Rancho Encantada	
DISCRETIONARY ACTIONS:	Planned Development Permit & Conditional Use Permit & Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	AR-1-1	
<u>ZONING INFORMATION:</u>		
	Current:	Proposed:
Height Limit:	30 ft	No change
Front Setback:	25 ft	No change
Side Setback:	20 ft	No change
Rear Setback:	25 ft	No change
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	N/A	Open Space
SOUTH:	N/A	Open Space
EAST:	N/A	Open Space
WEST:	Residential/AR-1-1	Single-Family Housing
DEVIATIONS OR VARIANCES REQUESTED:	The project is requesting height and setback deviations for the existing mono-pine and equipment enclosure. The mono-pine will continue to operate at 35-feet, above the 30-foot height limit for the AR-1-1 zone. Both the mono-pine and the equipment enclosure are located within the required setbacks for security reasons and for access purposes.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	<p>-The applicant presented the project to the Miramar Ranch North Community Planning Group on February 4, 2014 and they voted 11-0-0 to recommend approval of this project.</p> <p>-The applicant also presented the project to the Scripps Miramar Ranch Planning Group on February 6, 2014, and they voted 16-0-0 to recommend approval of this project</p>	

PLANNING COMMISSION
RESOLUTION NO. PC-10-025
PLANNED DEVELOPMENT PERMIT NO. 1254940
CONDITIONAL USE PERMIT NO. 1262040
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1254941
VERIZON WIRELESS BEELER CANYON II PROJECT NO. 343018

WHEREAS, **CITY OF SAN DIEGO**, Owner & **VERIZON WIRELESS**, Permittee, filed an application with the City of San Diego for a permit to modify an existing Wireless Communication Facility (WCF) consisting of a 35-foot tall mono-pine with a total of twelve (12) panel antennas and one microwave dish. The modification consists of an upper level addition above the existing 296-square foot equipment enclosure for an emergency generator as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040, and Neighborhood Development Permit No. 1254941;

WHEREAS, the project site is located at 16688 Stonebridge Parkway in the AR-1-1 zone within the Rancho Encantada Community Plan.

WHEREAS, the project site is legally described as Lot 12 of Sycamore Estates Phase II, in the City of San Diego, State of California, as shown on Map No. 15065, filed in The Office of the Said County.

WHEREAS, on April 10, 2014, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040, and Neighborhood Development Permit No. 1254941 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

WHEREAS, on February 21, 2014 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 10, 2014.

FINDINGS:

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego General Plan recommends that all Wireless Communication Facilities (WCF) minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the

neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The existing mono-pine was approved by the Planning Commission on April 22, 2010. Consistent with the approval, the mono-pine will continue to maintain a total of sixty-one (61) branches to conceal the antennas and all associated mounting brackets. Additionally, the existing antennas will continue to utilize antenna socks as a camouflaging technique to improve the overall mono-pine appearance. Verizon Wireless is proposing to modify the existing equipment area to include an upper level addition for the installation of an emergency generator. The emergency generator and the equipment enclosure will be completely concealed inside a two story building with a tile roof matching the existing building on site. Pursuant to the San Diego Land Development Code (LDC) Section 141.0420, WCFs are permitted in all zones citywide with the appropriate permit process. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Rancho Encantada Plan or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project consists of an upper level addition above the existing 296-square foot equipment enclosure. The building features a tile roof, designed to match the existing building on site. The equipment modification for the installation of a generator serves as a back up in the event of an emergency. The design to conceal the generator is also consistent with the General Plan's requirement and the Wireless Communication Regulations Section 141.0420. The project is located at 16688 Stonebridge Parkway in the AR-1-1 zone within the Rancho Encantada Community Plan.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facility) on February 21, 2014. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon Wireless submitted an existing RF Report, which concluded that the project complies with FCC RF Standards. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The existing 35-foot tall mono-pine retains the antenna sock requirement, and a total of 61 branches to effectively conceal the antennas and all associated components from the surrounding area consistent with the Wireless Communication Facilities Design Guidelines, City's General Plan and LDC Section 141.0420. The mono-pine and the equipment enclosure will also continue to operate within the required AR-1-1 setbacks, and behind the existing 8-foot tall CMU wall. Consistent with the previous approval, the circumstances allowing the WCF to remain in the required setback is necessary for access and maintenance reasons. If these items were to be moved to comply with setbacks, access for the water department surrounding the water tank would be impaired. Additionally, locating both the mono-pine and the equipment area in the required setback would limit Verizon's access to and from the site. As designed, Verizon has two independent access points to their equipment and mono-pine. For security purposes, the Water Department restricts access within the water tank property to City Employees only. Moving the equipment and mono-pine to comply with the setback would make it difficult to have such restrictions without redesigning the water tank property. The deviation for an additional 5 feet in height would allow for a collocatable structure, accommodating future carriers.

Conditional Use Permit - Section 126.0305

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego General Plan recommends that all Wireless Communication Facilities (WCF) minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The existing mono-pine was approved by the Planning Commission on April 22, 2010. Consistent with the approval, the mono-pine will continue to maintain a total of sixty-one (61) branches to conceal the antennas and all associated mounting brackets. Additionally, the existing antennas will continue to utilize antenna socks as a camouflaging technique to improve the overall mono-pine appearance. Verizon Wireless is proposing to modify the existing equipment area to include an upper level addition for the installation of an emergency generator. The emergency generator and the equipment enclosure will be completely concealed inside a two story building with a tile roof matching the existing building on site. Pursuant to the San Diego Land Development Code (LDC) Section 141.0420, WCFs are permitted in all zones citywide with the appropriate permit process. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Rancho Encantada Plan or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project consists of an upper level addition above the existing 296-square foot equipment enclosure. The building features a tile roof, designed to match the existing building on site. The equipment modification for the installation of a generator serves as a back up in the event of an emergency. The design to conceal the generator is also consistent with the General Plan's requirement and the Wireless Communication Regulations Section 141.0420. The project is located at 16688 Stonebridge Parkway in the AR-1-1 zone within the Rancho Encantada Community Plan.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facility) on February 21, 2014. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon Wireless submitted an existing RF Report, which concluded that the project complies with FCC RF Standards. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code; and

The existing 35-foot tall mono-pine retains the antenna sock requirement, and a total of 61 branches to effectively conceal the antennas and all associated components from the surrounding area consistent with the Wireless Communication Facilities Design Guidelines, City's General Plan and LDC Section 141.0420. The mono-pine and the equipment enclosure will also continue to operate within the required AR-1-1 setbacks, and behind the existing 8-foot tall CMU wall. Consistent with the previous approval, the circumstances allowing the WCF to remain in the required setback is necessary for access and maintenance reasons. If these items were to be moved to comply with setbacks, access for the water department surrounding the water tank would be impaired. Additionally, locating both the mono-pine and the equipment area in the required setback would limit Verizon's access to and from the site. As designed, Verizon has two independent access points to their equipment and mono-pine. For security purposes, the Water Department restricts access within the water tank property to City Employees only. Moving the equipment and mono-pine to comply with the setback would make it difficult to have such restrictions without redesigning the water tank property. The deviation for an additional 5 feet in height would allow for a collocatable structure, accommodating future carriers.

4. The proposed use is appropriate at the proposed location.

The proposed WCF modification is located behind the 8-foot tall CMU wall of the existing City owned water tank property. As designed, the project is a Preference 3 location. According to Council Policy 600-43, the applicant must justify in their application process in choosing a Preference 3 location over other lower Preference level locations. This is an existing site that was originally approved by the Planning Commission on April 22, 2010. The site continues to provide coverage to a predominately residential area west of the water tank. No other lower preference level sites were available after conducting a site survey of the current surrounding area. Instead, this non-residentially used property at the current elevation continues to provide the height necessary for the coverage objective. The proposed generator is required by Verizon Wireless as a backup in

the event of an emergency. More importantly, the generator will be concealed inside a two story building, designed to match the adjacent maintenance building on site. In conclusion, this WCF modification retains the existing camouflaging techniques recommended by the Wireless Communication Design Guidelines and complies with the City's General Plan Wireless Design requirements and the Municipal Code Section 141.0420. Therefore, the proposed use is appropriate at the proposed location.

Neighborhood Development Permit - Section 126.0404

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego General Plan recommends that all Wireless Communication Facilities (WCF) minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The existing mono-pine was approved by the Planning Commission on April 22, 2010. Consistent with the approval, the mono-pine will continue to maintain a total of sixty-one (61) branches to conceal the antennas and all associated mounting brackets. Additionally, the existing antennas will continue to utilize antenna socks as a camouflaging technique to improve the overall mono-pine appearance. Verizon Wireless is proposing to modify the existing equipment area to include an upper level addition for the installation of an emergency generator. The emergency generator and the equipment enclosure will be completely concealed inside a two story building with a tile roof matching the existing building on site. Pursuant to the San Diego Land Development Code (LDC) Section 141.0420, WCFs are permitted in all zones citywide with the appropriate permit process. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. Therefore, the proposed development would not adversely affect the Rancho Encantada Plan or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of an upper level addition above the existing 296-square foot equipment enclosure. The building features a tile roof, designed to match the existing building on site. The equipment modification for the installation of a generator serves as a back up in the event of an emergency. The design to conceal the generator is also consistent with the General Plan's requirement and the Wireless Communication Regulations Section 141.0420. The project is located at 16688 Stonebridge Parkway in the AR-1-1 zone within the Rancho Encantada Community Plan.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facility) on February 21, 2014. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon Wireless submitted an existing RF Report, which concluded that the project complies with FCC RF Standards. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The existing 35-foot tall mono-pine retains the antenna sock requirement, and a total of 61 branches to effectively conceal the antennas and all associated components from the surrounding area consistent with the Wireless Communication Facilities Design Guidelines, City's General Plan and LDC Section 141.0420. The mono-pine and the equipment enclosure will also continue to operate within the required AR-1-1 setbacks, and behind the existing 8-foot tall CMU wall. Consistent with the previous approval, the circumstances allowing the WCF to remain in the required setback is necessary for access and maintenance reasons. If these items were to be moved to comply with setbacks, access for the water department surrounding the water tank would be impaired. Additionally, locating both the mono-pine and the equipment area in the required setback would limit Verizon's access to and from the site. As designed, Verizon has two independent access points to their equipment and mono-pine. For security purposes, the Water Department restricts access within the water tank property to City Employees only. Moving the equipment and mono-pine to comply with the setback would make it difficult to have such restrictions without redesigning the water tank property. The deviation for an additional 5 feet in height would allow for a collocatable structure, accommodating future carriers.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040, and Neighborhood Development Permit No. 1254941 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040, and Neighborhood Development Permit No. 1254941, a copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: April 10, 2014

Internal Order No. 24004134

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004134

PLANNED DEVELOPMENT PERMIT NO. 1254940
CONDITIONAL USE PERMIT NO. 1262040
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1254941
RESCIND PDP NO. 699784 & SDP NO. 699783 & NUP NO. 650018
VERIZON WIRELESS BEELER CANYON II PROJECT NO. 343018
PLANNING COMMISSION

This Planned Development Permit No. 1254940, Conditional Use Permit No. 1262040 and Neighborhood Development Permit No. 1254941 is granted by the Planning Commission of the City of San Diego to the **City of San Diego**, Owner, and **Verizon Wireless**, Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0201, 126.0404, 126.0601, 131.0301, and 141.0420. The site is located at 16688 Stonebridge Parkway, San Diego, CA 92145 in the AR-1-1 zone of the Rancho Encantada Community Planning area. The project site is legally described as Lot 12 of Sycamore Estates Phase II, in the City of San Diego, State of California, as shown on Map No. 15065, filed in the Office of Said County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to modify an existing Wireless Communication described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 10, 2014, on file in the Development Services Department.

The project shall include:

- a. Height and setback deviations to continue the use of a Wireless Communication Facility (WCF) consisting of an existing 35-foot tall mono-pine supporting a total of twelve (12) antennas, one 4-foot microwave dish; and
- b. A modification to the existing 296-square foot equipment enclosure resulting in a new upper level addition for a 30kW emergency generator. The overall height of the

equipment enclosure will be 20'-6" and includes a tile roof to match the existing building on site; and

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **April 24, 2017**.
2. This Planned Development Permit (PDP), Conditional Use Permit (CUP), and Neighborhood Development Permit (NDP) and corresponding use of this site shall expire on **April 10, 2024**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. Under no circumstances, does approval of this permit authorize Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Implicit use of this permit beyond the effective date of this permit is prohibited.
4. The applicant of record is responsible for notifying the city within 30 days of the sale or takeover of this site to any other provider.
5. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and

conditions set forth in this Permit unless otherwise authorized by the Development Services Department.

7. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Permittee shall secure all necessary Right-of-Way permits. The Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

11. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to

defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

16. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

WATER REQUIREMENTS:

17. It is the sole responsibility of the Permittee for any damage caused to city of San Diego public water facilities, adjacent to the project site, due to the construction activities associated with this project. In the event any such facility loses integrity then, the Permittee shall reconstruct any damaged public water facility in a manner satisfactory to the Director of Public Utilities and the City Engineer.

LANDSCAPE REQUIREMENTS:

18. Prior to the issuance of any construction permits, the Permittee shall submit Landscape Construction documents, identifying the condition of required landscaping shown on the approved Exhibit "A". Any landscape that is not growing in a healthy condition shall be replaced, to the satisfaction of Development Services, prior to Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

19. The Owner/Permittee shall not cause or allow the antennas located on the WCF to be different sizes (length, width, or height) than as shown on the stamped approved plans and as listed here:

- a. Three (3) antennas with the following dimensions: 72.72" by 11.85" by 7.1"; and
 - b. Three (3) antennas with the following dimensions: 47.4" by 11.2" by 4.5"; and
 - c. Three (3) antennas with the following dimensions: 48.2 by 6.1" by 4.1"; and
 - d. Three (3) antennas with the following dimensions: 47.4" by 11.2" by 5".
20. Provide RF Transparent socks fully covering the front and back of each antenna. Any exposed portion of the antennas shall be painted to match the mono-pine tree foliage to the satisfaction of the Development Services Department.
21. All exposed cables, brackets and supports shall be painted to match the mono-pine to the satisfaction of the Development Services Department.
22. The starting branch height shall be at 11 feet 3 inches as illustrated in the stamped approved 'Exhibit A'.
23. A four-foot diameter microwave dish shall be installed and concealed behind RF transparent needle sock to match color of mono-pine foliage to the satisfaction of the Development Services Department.
24. The branches shall extend a minimum of 24 inches beyond the proposed antennas to the satisfaction of the Development Services Department.
25. All proposed hand-holes shall be covered with bark material to match mono-pine trunk to the satisfaction of the Development Services Department.
26. No exposed pipes or mounting apparatus absent antennas shall be installed at any time. Pipes shall not be longer than the antennas.
27. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and exhibits (including, but not limited to, elevations, and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.
29. Any future requested amendments to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
30. No mechanical equipment, tank, duct, elevator, cooling tower, mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely

enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.

31. Prior to obtaining a Construction Permit the following items must be illustrated on the construction drawings; coax cable tray, meters, telco, A/C units, generator receptacles, cable runs, and external ports. These appurtenances must be minimized visually so as to avoid the effect of changing the outward appearance of the project from what was approved on the exhibits.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located in accordance with the applicable regulations in the SDMC.

33. The photosimulation(s) in color for the proposed project must be printed (not stapled) on the building plans. This is to ensure the construction team building the project is aware of what the completed design was approved to look like. Final inspection shall not be granted until the final product conforms to the stamp approved plans and approved photosimulation(s).

34. Prior to issuance of the building permit, the Permittee shall incorporate the requirements for noise permit conditions on the appropriate construction documents as described in the "Noise Impact Report" by Eilar Associates, Inc., December 9, 2013.

- a. Prior to issuance of the building permit, City Staff shall verify the following sound attenuation measures have been incorporated into the design of the proposed development to reduce noise levels to below 40 dB CNEL: The walls and roof shall be solid and constructed of masonry, wood, steel, or a combination of those materials, with no cracks or gaps, through or before the wall and roof. Any seams or cracks shall be filled or caulked. If wood is used, it shall be tongue and groove and must be at least one-inch thick or have a density of at least 3 ½ pounds per square foot. Any door or gate(s) shall be designed with overlapping closures on the bottom and sides to prevent sound leakage through these areas.
- b. Intake and exhaust air venting shall be a VAC acoustical louver, manufactured by Kinetics Noise Control, or equivalent, with similar loss insertion values as identified within the noise impact analysis (Eilar Associates, Inc, December 9, 2013).

35. The Permittee shall submit one copy of the final Acoustical Analysis with construction documents to the Building Inspector.

36. The building inspector to verify the sound attenuation has been constructed/implemented in accordance with the Construction documents and that acoustical levels have been achieved per the approved technical report.

INFORMATION ONLY:

- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at **(619) 687-5984** to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- Per LDC Section §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on April 10, 2014 and [Approved Resolution Number].

Planned Development Permit No. 1254940
Conditional Use Permit No. 1262040
Neighborhood Development Permit No. 1254941
April 10, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

CITY OF SAN DIEGO
Owner

By _____
NAME
TITLE

VERIZON WIRELESS
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

____ OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT TITLE/ No.: **VERIZON BEELER CANYON GENERATOR / 343018**

PROJECT LOCATION-SPECIFIC: 16688 Stonebridge Parkway, San Diego, California 92145

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: NEIGHBORHOOD USE PERMIT, NEIGHBORHOOD DEVELOPMENT PERMIT, and PLANNED DEVELOPMENT PERMIT to amend Neighborhood Use Permit No. 650018, Site Development Permit No. 699783, and Planned Development Permit No. 699784, to construct a 296-square-foot, second-story addition to contain a 30-kilowatt emergency generator and associated 210-gallon fuel tank to an existing 296-square-foot equipment enclosure associated with the on-site wireless communication facility. In addition, previous approved deviations to height and setbacks would be maintained. The 0.75-acre project site is located at 16688 Stonebridge Parkway in the AR-1-1 zone of the Rancho Encantada Community Plan area. (LEGAL DESCRIPTION: Lot 12 of Sycamore Estates Phase II, Map No. 15065).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Leslie Vartanian, Verizon Wireless, 15505 Sand Canyon Avenue, Irvine, California 92618, (949) 286-8623

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
 CATEGORICAL EXEMPTION: 15301 (Existing Facilities)
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301 which allows for the alteration of an existing facility which involves negligible expansion of the existing use. Furthermore, the exceptions listed in 15300.2 would not apply.


LEAD AGENCY CONTACT PERSON: Scott Cooper

TELEPHONE: 619.446.5378

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

 Sr. Planner

SIGNATURE/TITLE

February 19, 2014

DATE

CHECK ONE:

SIGNED BY LEAD AGENCY

SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

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verizon wireless

BEELER CANYON GENERATOR

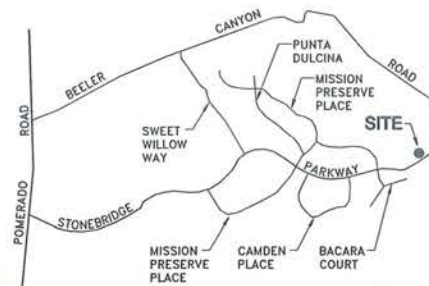
STONEBRIDGE RESERVOIR

16688 STONEBRIDGE PARKWAY

SAN DIEGO, CA 92145

MTX - 54

VICINITY MAP



THOMAS GUIDE PAGE 1210, D2

ADDRESS
16688 STONEBRIDGE PARKWAY
SAN DIEGO, CA 92145

COORDINATES (NAD83)
LATITUDE: 32° 55' 36.44" NORTH
LONGITUDE: 117° 00' 29.89" WEST

COORDINATES (NAD27)
LATITUDE: 32° 55' 36.27" NORTH
LONGITUDE: 117° 00' 26.78" WEST

CONSULTANT TEAM

ARCHITECT:
BOOTH & SUAREZ ARCHITECTURE INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

PLANNING:
PLANCOM, INC.
302 STATE PLACE
ESCONDIDO, CA 92029
KERRIGAN DIEHL
(760) 587-3003

LEASING:
PLANCOM, INC.
302 STATE PLACE
ESCONDIDO, CA 92029
BRENT HELMING
(760) 533-6065

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
SITE CONTACT: KERRIGAN DIEHL
(760) 587-3003

PROPERTY OWNER: CITY OF SAN DIEGO
1200 THIRD AVENUE, SUITE 1700
SAN DIEGO, CA 92101
SITE CONTACT: ENZA MORENO
(619) 236-6052

JURISDICTION: CITY OF SAN DIEGO

PROJECT DESCRIPTION:
EXISTING VERIZON WIRELESS 12'-0" x 24'-8" CONCRETE BLOCK EQUIPMENT ENCLOSURE ON A CONCRETE A PAD & (12) PANEL ANTENNAS & MICROWAVE DISH MOUNTED ON 35'-0" HIGH MONOPINE. THE FOLLOWING MODIFICATIONS ARE PROPOSED:
● ADD SECOND LEVEL WITH A ROOF ABOVE THE EXISTING EQUIPMENT ENCLOSURE FOR A NEW 30kW KOHLER GENERATOR WITH A 210 GALLON FUEL TANK
● INSTALL A NEW AUTOMATIC TRANSFER SWITCH INSIDE EXISTING EQUIPMENT ENCLOSURE

LEGAL DESCRIPTION:
LOT 12 OF SYCAMORE ESTATES PHASE II, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON MAP NO. 15065, FILED IN THE OFFICE OF THE RECORDER OF SAID COUNTY

PROJECT ADDRESS: 16688 STONEBRIDGE PARKWAY
SAN DIEGO, CA 92145

ASSESSORS PARCEL NUMBER: 325-110-12

EXISTING ZONING: AR-1-1

LOT SIZE: .73 ACRES

EXISTING EQUIPMENT ENCLOSURE AREA: 296 S.F. (NO CHANGE)

OCCUPANCY: U (EXTERIOR RADIO EQUIPMENT CABINETS ONLY)

EXISTING PERMITS:
PLANNED DEVELOPMENT PERMIT: #699784
SITE DEVELOPMENT PERMIT: #699783
NEIGHBORHOOD USE PERMIT: #650018

SHEET SCHEDULE

T-1	TITLE SHEET
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT ENCLOSURE PLAN LOWER LEVEL (EXISTING)
A-2.1	EQUIPMENT ENCLOSURE PLAN UPPER LEVEL (PROPOSED)
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS
A-5	MONOPINE ELEVATION, ANTENNA PLAN & DETAILS

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA BUILDING CODE, TITLE 24, 2013 EDITION
CALIFORNIA PLUMBING CODE, 2013 EDITION
CALIFORNIA MECHANICAL CODE, 2013 EDITION
CALIFORNIA ELECTRICAL CODE, 2013 EDITION
CALIFORNIA ENERGY CODE, 2013 EDITION
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

verizon wireless

15505 SAND CANYON AVENUE
IRVINE, CA 92618
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

BEELER CANYON GENERATOR

16688 STONEBRIDGE PARKWAY
SAN DIEGO, CA 92145

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

09/17/13	PRELIM ZD REVIEW (rew)
12/18/13	FINAL ZD (rl)
03/06/14	ZD REV 1-REVISE SOW (rl)

SHEET TITLE

TITLE SHEET

PROJECTS\VERIZON\13215zd

T-1



PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

BEELER CANYON GENERATOR

16688 STONEBRIDGE PARKWAY
 SAN DIEGO, CA 92145

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

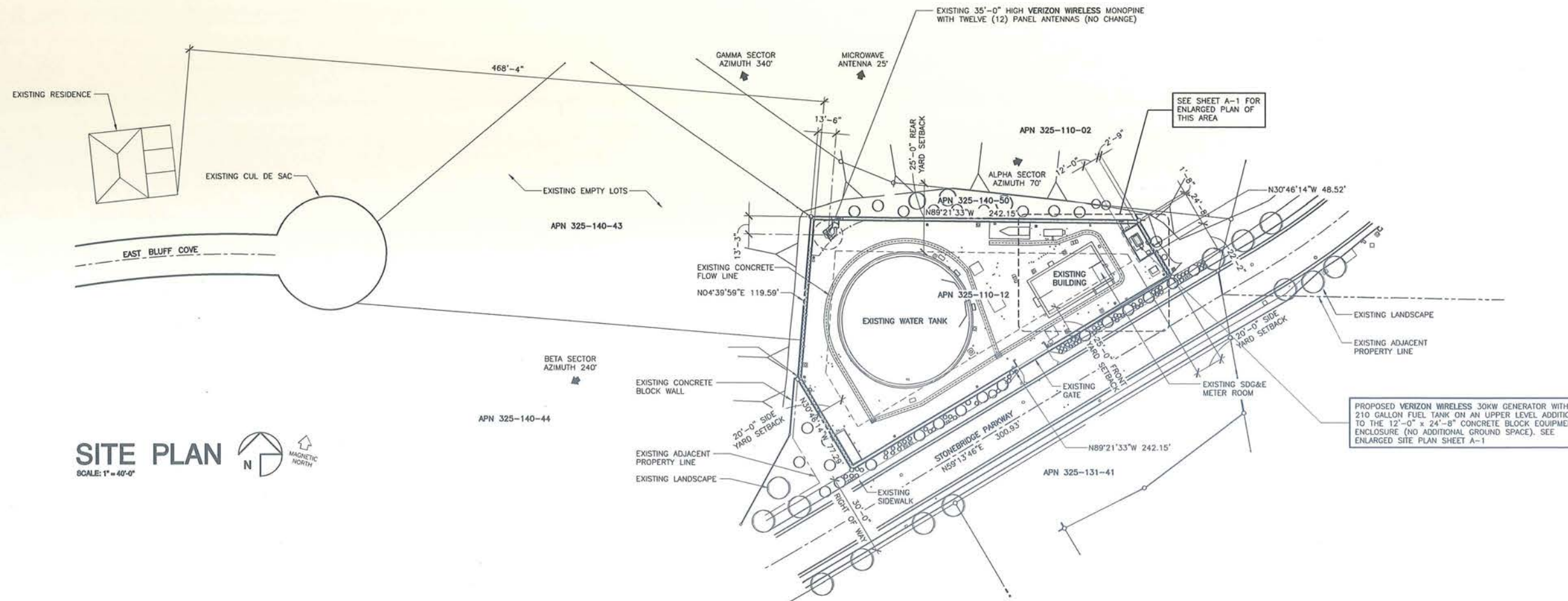
09/17/13	PRELIM ZD REVIEW (rev)
12/18/13	FINAL ZD (r1)
03/06/14	ZD REV 1-REVISE SOW (r1)

SHEET TITLE

SITE PLAN

PROJECTS\VERIZON\13215zd

A-0



SITE PLAN

SCALE: 1" = 40'-0"



Lessee's Certificate
 Standard Wireless Facility Project
 for Post-construction BMP's

I, we the undersigned, as lessee of a portion of the property described as 16688 STONEBRIDGE PARKWAY, SAN DIEGO, CA 92145 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Organic Dissolving Substances
- Oil & Grease
- Bacteria & Viruses
- Pesticides

If we will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Prevent all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain runoff devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: **Dwight Woods** Company Name: **Verizon Wireless**

Lessee: **Dwight Woods** Date: **1-9-2008**

STORM WATER QUALITY NOTES
 CONSTRUCTION BMP'S

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

WATER DEPARTMENT NOTE:

IT IS THE SOLE RESPONSIBILITY OF THE OWNER/PERMITEE FOR ANY DAMAGE CAUSED TO CITY OF SAN DIEGO PUBLIC WATER FACILITIES, ADJACENT TO THE PROJECT SITE, DUE TO THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT. IN THE EVENT ANY SUCH FACILITY LOSSES INTEGRITY AS A RESULT OF VERIZON'S FACILITY, THE OWNER/PERMITEE SHALL RECONSTRUCT ANY DAMAGED PUBLIC WATER FACILITY IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.

CITY OF SAN DIEGO ENGINEERING NOTES:

- THE PROPOSED WORK FOR THIS PROJECT WILL NOT ALTER OR CHANGE THE EXISTING SITE DRAINAGE.
- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
- THIS IS A ROOF TOP INSTALLATION ON AN EXISTING EQUIPMENT ENCLOSURE AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.
- THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

LAND DISTURBANCE:

NONE

VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES LEVELS:

AWS EQUIPMENT:
 TX FREQUENCY: 2115-2130 MHz
 RX FREQUENCY: 1715-1730 MHz

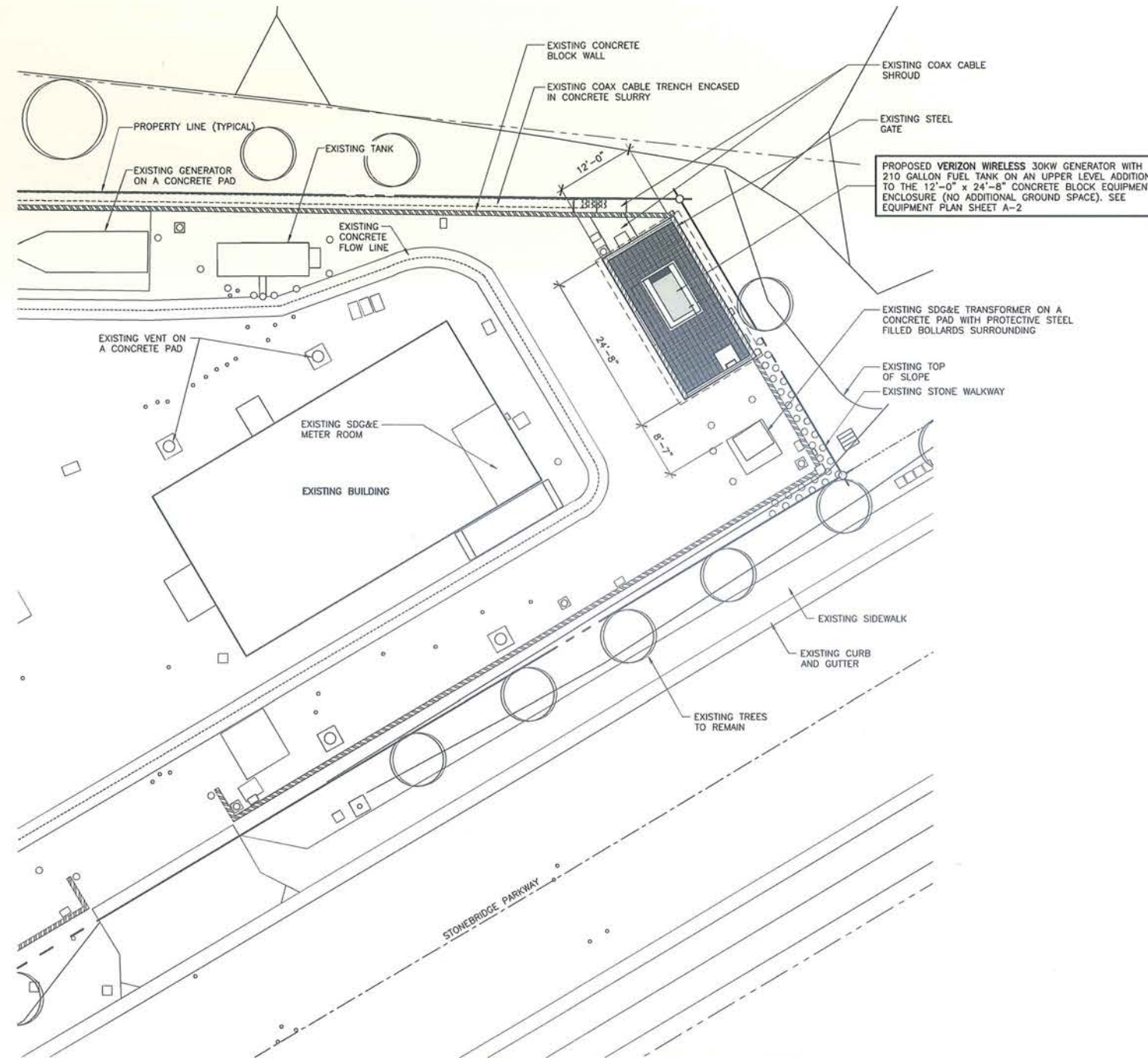
LTE EQUIPMENT:
 TX FREQUENCY: 776-787 MHz
 RX FREQUENCY: 746-757 MHz

PCS EQUIPMENT:
 TX FREQUENCY: 1965-1970 MHz
 RX FREQUENCY: 1865-1890 MHz

CDMA EQUIPMENT:
 TX FREQUENCY: 880-894 MHz
 RX FREQUENCY: 835-849 MHz

EASEMENTS:
 NO PLOTTABLE EASEMENTS ARE SHOWN WHICH REFLECTS PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS. EASEMENTS ARE SUBJECT TO REVIEW OF TITLE REPORT.

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY.



ENLARGED SITE PLAN

SCALE: 1" = 10'-0"

N

MAGNETIC NORTH

BOOTH & SUAREZ

ARCHITECTURE INCORPORATED

325 CARLSBAD VILLAGE DRIVE, SUITE 09
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

verizon wireless

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APPROVALS

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PROJECT NAME

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SAN DIEGO, CA 92145

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

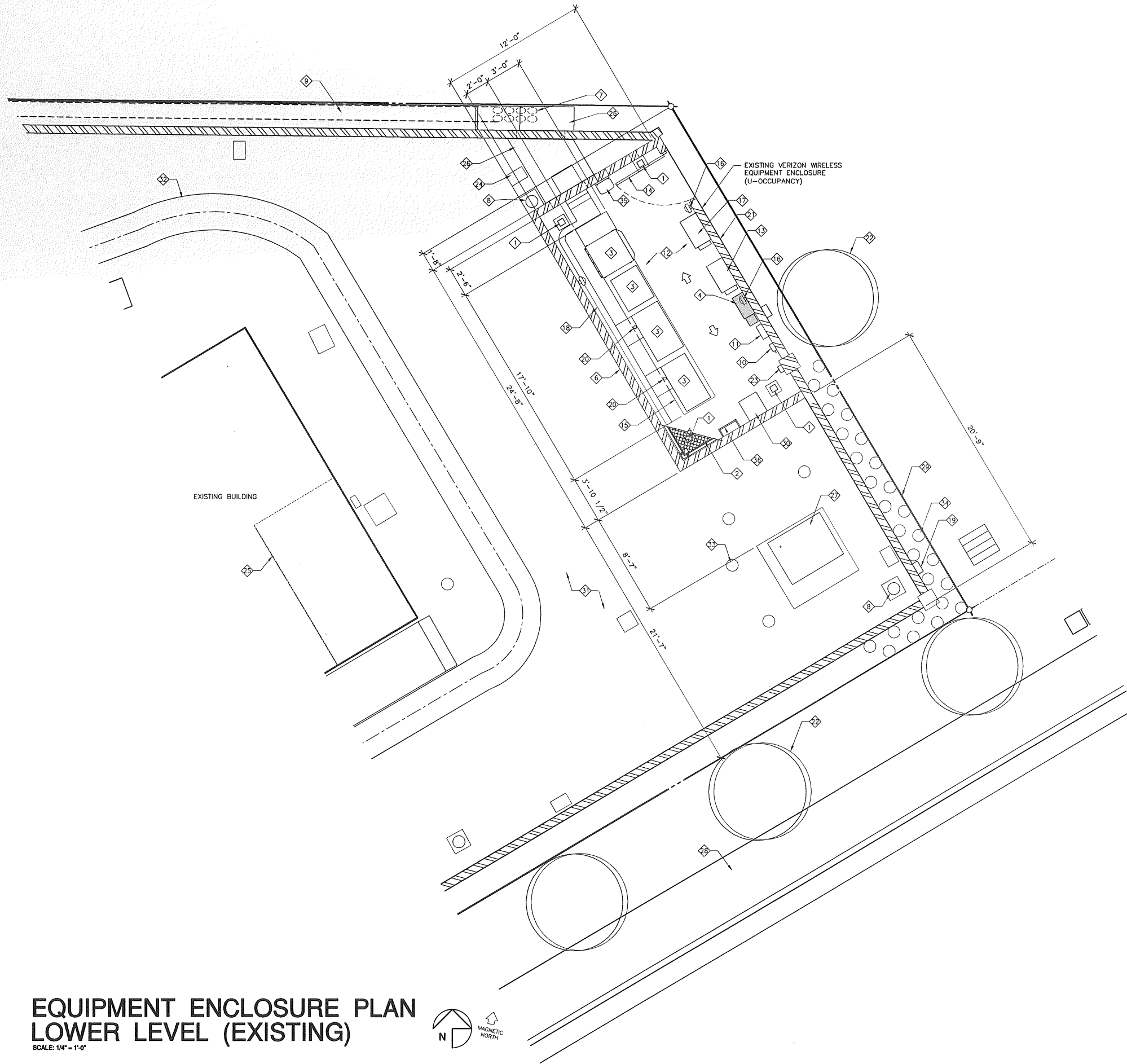
09/17/13	PRELIM ZD REVIEW (rew)
12/18/13	FINAL ZD (rl)
03/06/14	ZD REV 1-REVISE SOW (rl)

SHEET TITLE

ENLARGED SITE PLAN

PROJECTS\VERIZON\13215zd

A-1



KEYED NOTES:

- 1 PROPOSED GALVANIZED STEEL COLUMN & BASE PLATE TO SUPPORT UPPER LEVEL FRAMING (TOTAL OF 4)
- 2 REMOVE EXISTING CHAINLINK LID
- 3 EXISTING VERIZON WIRELESS EQUIPMENT CABINET
- 4 PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 5 EXISTING LTE EQUIPMENT CABINET WITH BATTERY BASE
- 6 EXISTING VERIZON WIRELESS CONCRETE BLOCK WALL ENCLOSURE. LEASE LINE IS SAME AS OUTER PERIMETER OF CONCRETE BLOCK WALL ENCLOSURE
- 7 EXISTING (6) 6" DIA. COAX CABLE CONDUIT
- 8 EXISTING LIGHT STANDARD
- 9 EXISTING CONDUIT TRENCH FROM EQUIPMENT ENCLOSURE TO MONOPIPE
- 10 EXISTING MANUAL TRANSFER SWITCH UNISTRUT MOUNTED TO WALL
- 11 EXISTING 200 AMP ELECTRICAL PANEL UNISTRUT MOUNTED TO WALL
- 12 EXISTING POURED-IN-PLACE CONCRETE PAD FOR VERIZON WIRELESS CABINETS.
- 13 EXISTING COX FIBER CABINET ON UNISTRUT MOUNTED TO WALL
- 14 EXISTING STEEL GATE AND FRAME WITH VERIZON WIRELESS SIGNAGE IN EXISTING CONCRETE BLOCK WALL
- 15 EXISTING RAISED CONCRETE PAD FOR VERIZON WIRELESS CABINETS
- 16 EXISTING WALL MOUNTED LIGHT FIXTURE ON A MANUAL TIMER SWITCH (TYPICAL OF 3)
- 17 EXISTING VERIZON WIRELESS FIBER CABINET UNISTRUT MOUNTED TO WALL
- 18 RE-ROUTE EXISTING COAX CABLE TRAY MOUNTED TO WALL OF ENCLOSURE
- 19 EXISTING LUG BOX FOR EMERGENCY GENERATOR CONNECTION
- 20 EXISTING GPS ANTENNA MOUNTED TO EACH "CMO" EQUIPMENT CABINET (TYPICAL OF 2)
- 21 EXISTING CONCRETE BLOCK WALL WITH STUCCO FINISH
- 22 EXISTING TREE TO REMAIN
- 23 EXISTING RAIN BIRD IRRIGATION CONTROLLER
- 24 EXISTING PULL BOX
- 25 EXISTING SDG&E METER ROOM (SHOWN DASHED)
- 26 EXISTING COAX CABLE SHROUD ON A CONCRETE PAD
- 27 EXISTING SDG&E TRANSFORMER ON A CONCRETE PAD
- 28 EXISTING CONCRETE CURB, GUTTER & SIDEWALK
- 29 PROPERTY LINE (TYPICAL)
- 30 RELOCATE EXISTING STEP DOWN TRANSFORMER AS REQUIRED
- 31 EXISTING ASPHALT PAVING
- 32 EXISTING CONCRETE SWALE
- 33 EXISTING BOLLARDS (TYPICAL OF 4)
- 34 EXISTING STEPPING STONES
- 35 EXISTING SURGE DEMARCATION POWER/FIBER JUNCTION BOX
- 36 PROPOSED STEEL ACCESS LADDER TO UPPER LEVEL

**EQUIPMENT ENCLOSURE PLAN
LOWER LEVEL (EXISTING)**

SCALE: 1/4" = 1'-0"



Booth & Suarez
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR
verizon wireless
15505 SAND CANYON AVENUE
IRVINE, CA 92618
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
**BEELER CANYON
GENERATOR**
16688 STONEBRIDGE PARKWAY
SAN DIEGO, CA 92145
MTX - 54
SAN DIEGO COUNTY

DRAWING DATES

09/17/13	PRELIM ZD REVIEW (rew)
12/18/13	FINAL ZD (rl)
03/06/14	ZD REV 1-REVISE SOW (rl)

SHEET TITLE
**EQUIPMENT
ENCLOSURE PLAN
LOWER LEVEL**

PROJECTS\VERIZON\13215zd

A-2



PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
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EE/OUT	DATE

PROJECT NAME

**BEELER CANYON
 GENERATOR**

16688 STONEBRIDGE PARKWAY
 SAN DIEGO, CA 92145

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

09/17/13	PRELIM ZD REVIEW (rew)
12/18/13	FINAL ZD (rl)
03/06/14	ZD REV 1-REVISE SOW (rl)

SHEET TITLE
**EQUIPMENT
 ENCLOSURE PLAN
 UPPER LEVEL
 &
 SECTION**

PROJECTS\VERIZON\13215zd

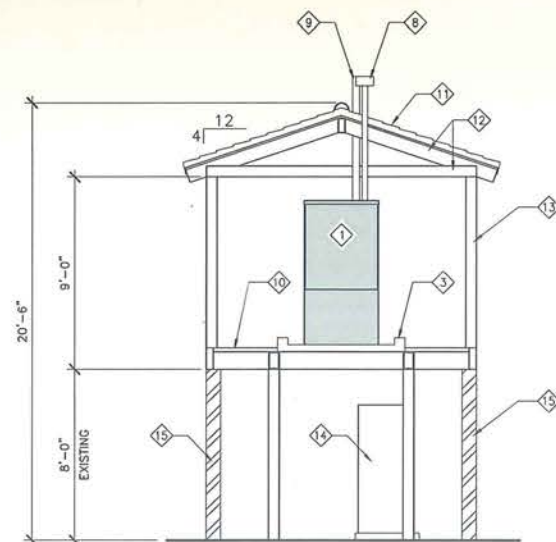
A-2.1

KEYED NOTES:

- 1 PROPOSED VERIZON WIRELESS 30KW GENERATOR WITH 210 GALLON FUEL TANK ON AN UPPER LEVEL ADDITION TO THE EXISTING EQUIPMENT ENCLOSURE
- 2 PROPOSED STEEL ACCESS LADDER TO LOWER LEVEL
- 3 PROPOSED CONCRETE SPILL CONTAINMENT CURB
- 4 PROPOSED ELECTRICAL CONDUIT FROM GENERATOR TO AUTOMATIC TRANSFER SWITCH IN LOWER LEVEL
- 5 PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO EXISTING WALL IN LOWER LEVEL (SHOWN DASHED)
- 6 OUTLINE OF PROPOSED GABLE ROOF
- 7 PROPOSED ACCESS OPENING
- 8 PROPOSED VENT STACK PER CALIFORNIA BUILDING CODE
- 9 PROPOSED EXHAUST PIPE
- 10 PROPOSED METAL GRATING
- 11 PROPOSED TILE ROOF TO MATCH EXISTING
- 12 PROPOSED METAL JOISTS & RAFTERS @ 24" O.C.
- 13 PROPOSED UPPER LEVEL ADDITION METAL STUDS WITH 1/2" CONCRETE HARDI BOARD & STUCCO LIKE FINISH TO MATCH EXISTING BUILDING
- 14 EXISTING EXISTING EQUIPMENT CABINET IN LOWER LEVEL
- 15 EXISTING CONCRETE BLOCK WALL
- 16 PROPOSED INTAKE & EXHAUST AIR VENTS WITH VAC ACOUSTICAL LOUVERS
- 17 PROPOSED SERVICE ACCESS DOOR & FRAME WITH OVER LAPPING CLOSURES ON BOTTOM & SIDE

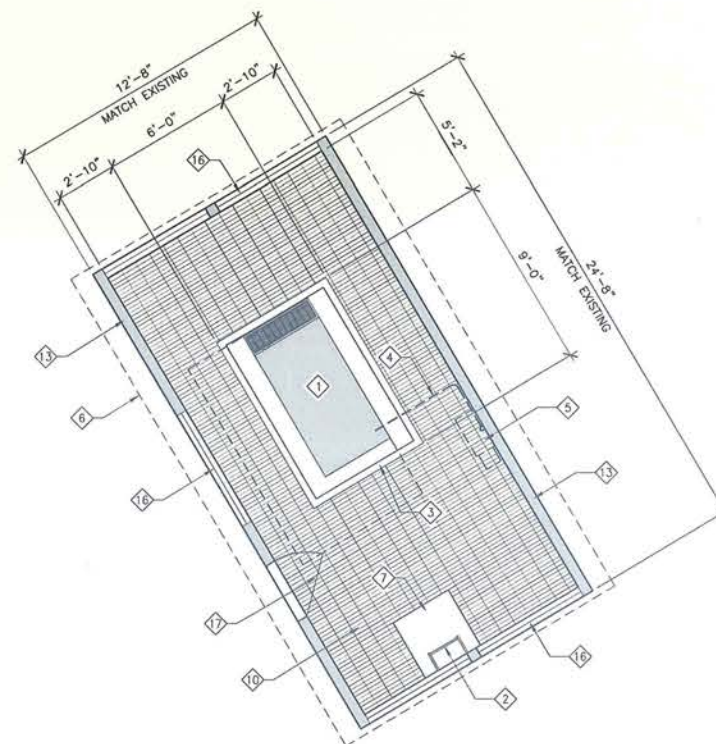
NOISE IMPACT ANALYSIS REQUIREMENTS:

1. THE WALLS AND ROOF SHALL BE SOLID AND CONSTRUCTED OF MASONRY, WOOD, STEEL, OR A COMBINATION OF THOSE MATERIALS, WITH NO CRACKS OR GAPS, THROUGH OR BEFORE THE WALL AND ROOF. ANY SEAMS OR CRACKS SHALL BE FILLED OR CAULKED. IF WOOD IS USED, IT SHALL BE TONGUE AND GROOVE AND MUST BE AT LEAST ONE-INCH THICK OR HAVE A DENSITY OF AT LEAST 3 1/2 POUNDS PER SQUARE FOOT. ANY DOOR OR GATE(S) SHALL BE DESIGNED WITH OVERLAPPING CLOSURES ON THE BOTTOM AND SIDES TO PREVENT SOUND LEAKAGE THROUGH THESE AREAS.
2. INTAKE AND EXHAUST AIR VENTING SHALL BE THE VAC ACOUSTICAL LOUVER, MANUFACTURED BY KINETICS NOISE CONTROL, OR EQUIVALENT, WITH SIMILAR LOSS INSERTION VALUES AS IDENTIFIED WITHIN THE NOISE IMPACT ANALYSIS (EILAR ASSOCIATES, INC. INSERT DATE OF CITY APPROVED REPORT).



**EQUIPMENT ENCLOSURE
 SECTION**

SCALE: 1/4" = 1'-0"



**EQUIPMENT ENCLOSURE PLAN
 UPPER LEVEL (PROPOSED)**

SCALE: 1/4" = 1'-0"





PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
IHT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

BEELER CANYON GENERATOR

16688 STONEBRIDGE PARKWAY
 SAN DIEGO, CA 92145

MTX - 54

SAN DIEGO COUNTY

DRAWING DATES

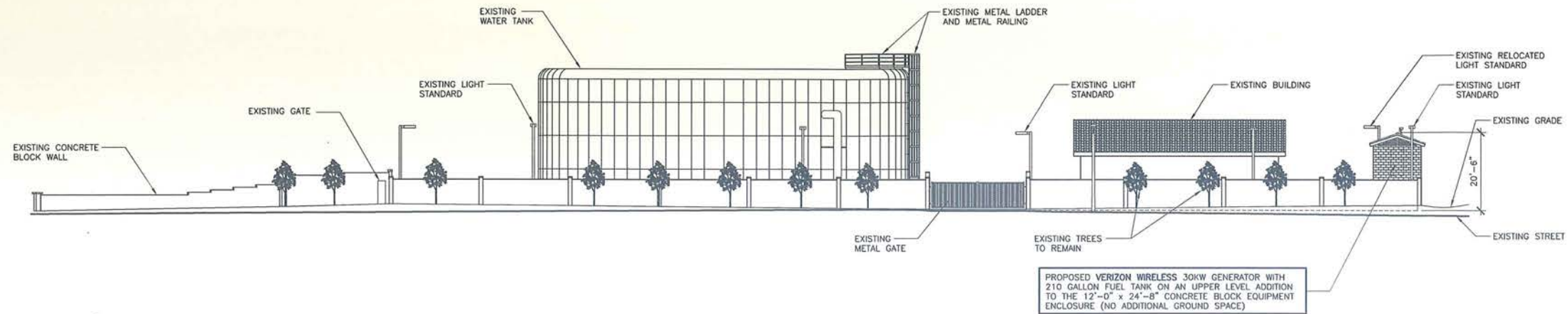
09/17/13	PRELIM ZD REVIEW (rew)
12/18/13	FINAL ZD (rl)
03/06/14	ZD REV 1-REVISE SOW (rl)

SHEET TITLE

EXTERIOR ELEVATIONS

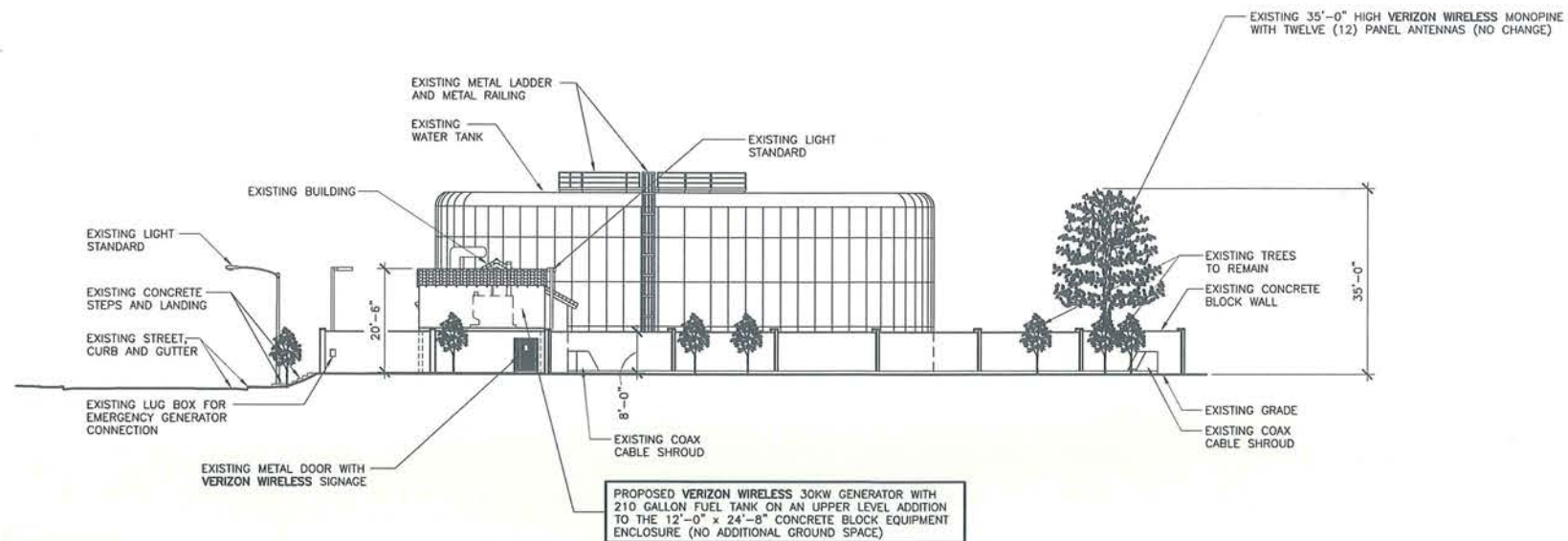
PROJECTS\VERIZON\13215zd

A-3



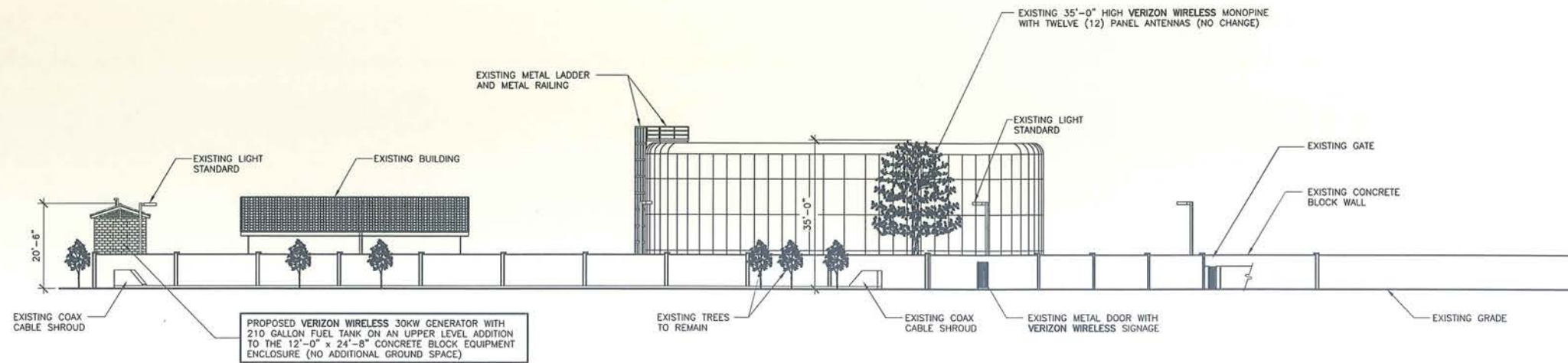
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

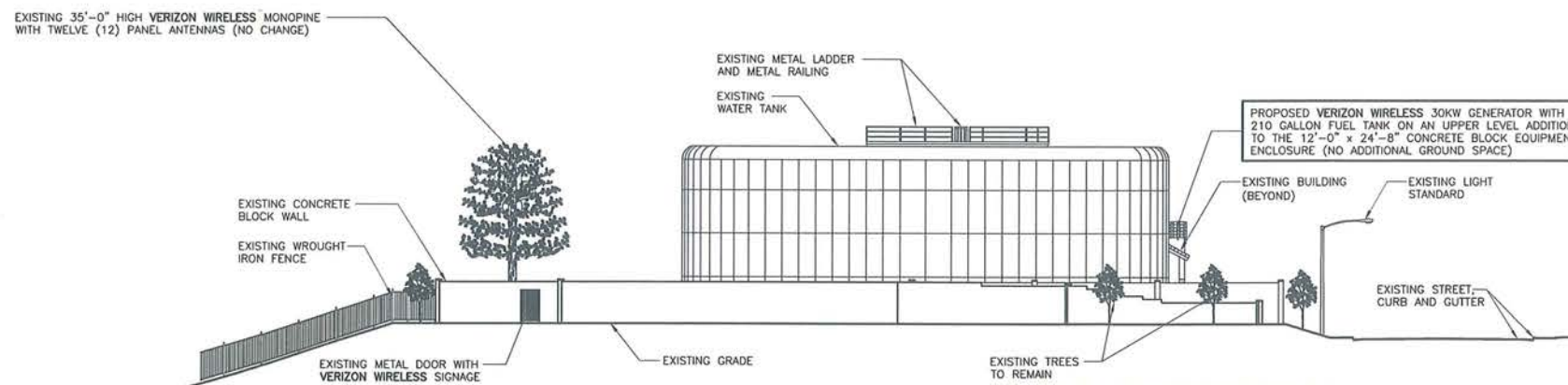


EAST ELEVATION

SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D9
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR
verizon wireless
15505 SAND CANYON AVENUE
IRVINE, CA 92618
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
BEELER CANYON GENERATOR
16688 STONEBRIDGE PARKWAY
SAN DIEGO, CA 92145
MTX - 54
SAN DIEGO COUNTY

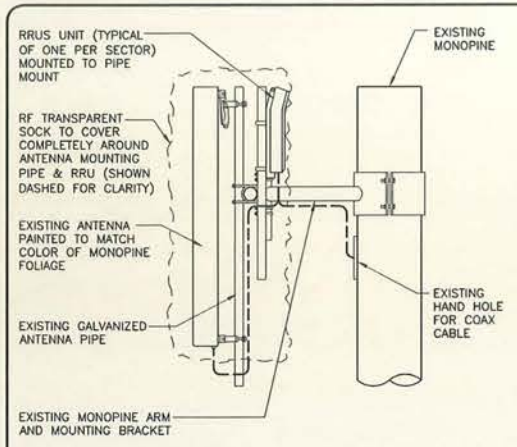
DRAWING DATES

09/17/13	PRELIM ZD REVIEW (row)
12/18/13	FINAL ZD (r1)
03/06/14	ZD REV 1-REVISE SOW (r1)

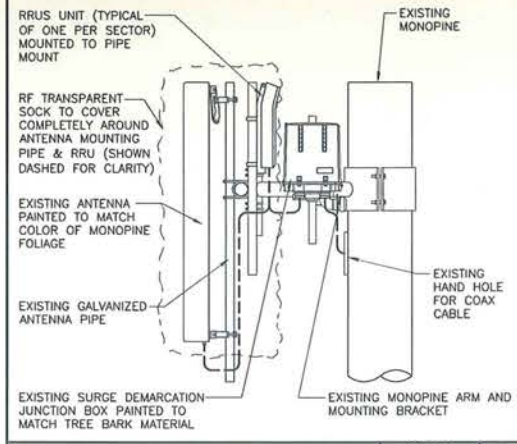
SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\VERIZON\13215zd

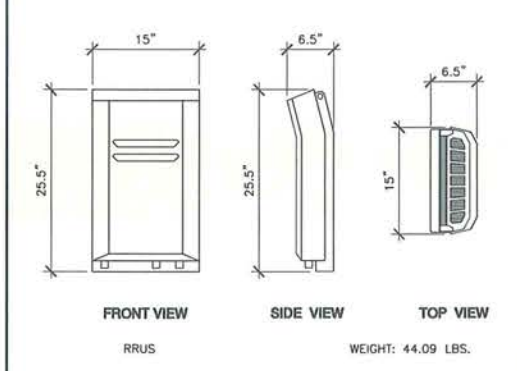
A-4



MOUNTING DETAIL SCALE: 1/2"=1'-0" 1

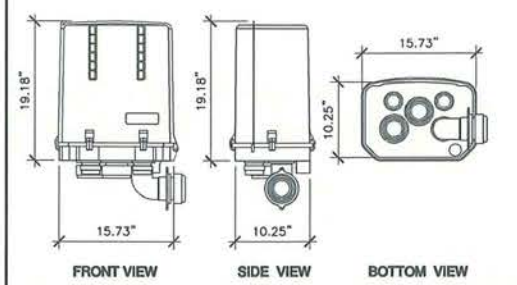


MOUNTING DETAIL SCALE: 1/2"=1'-0" 2



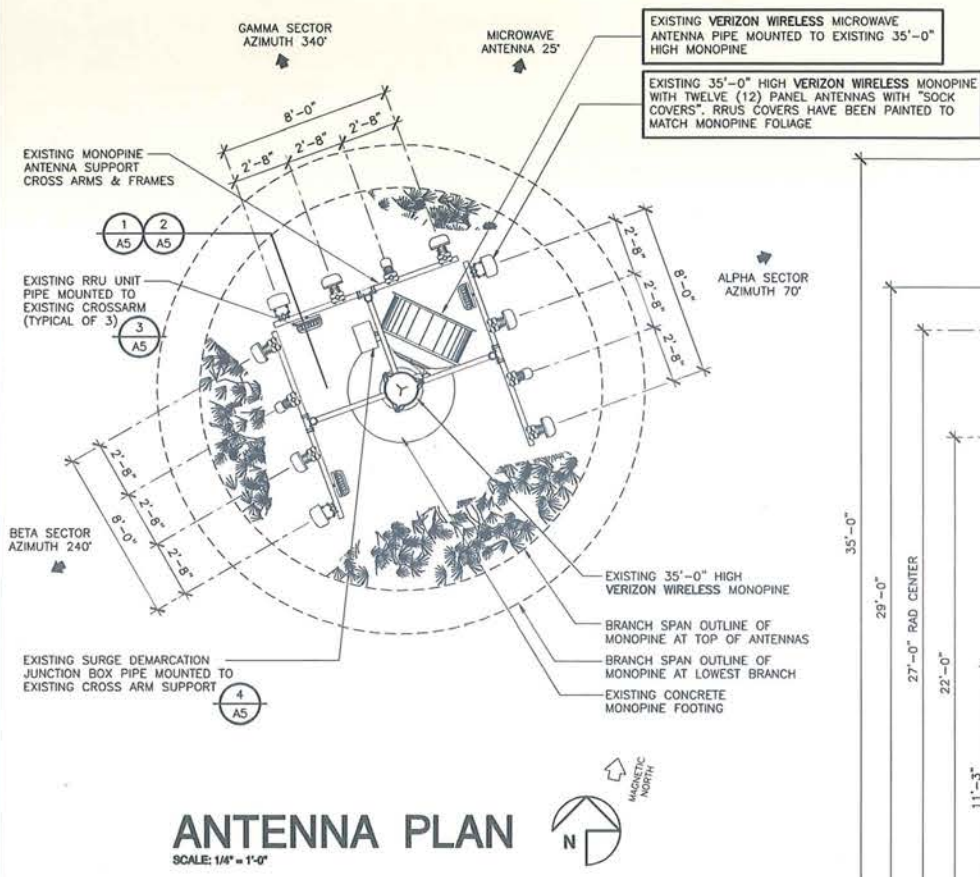
NOTE: RRU UNITS SHALL NOT BE MOUNTED HORIZONTALLY OR UPSIDE DOWN.

REMOTE RADIO UNIT (RRU) SCALE: NONE 3



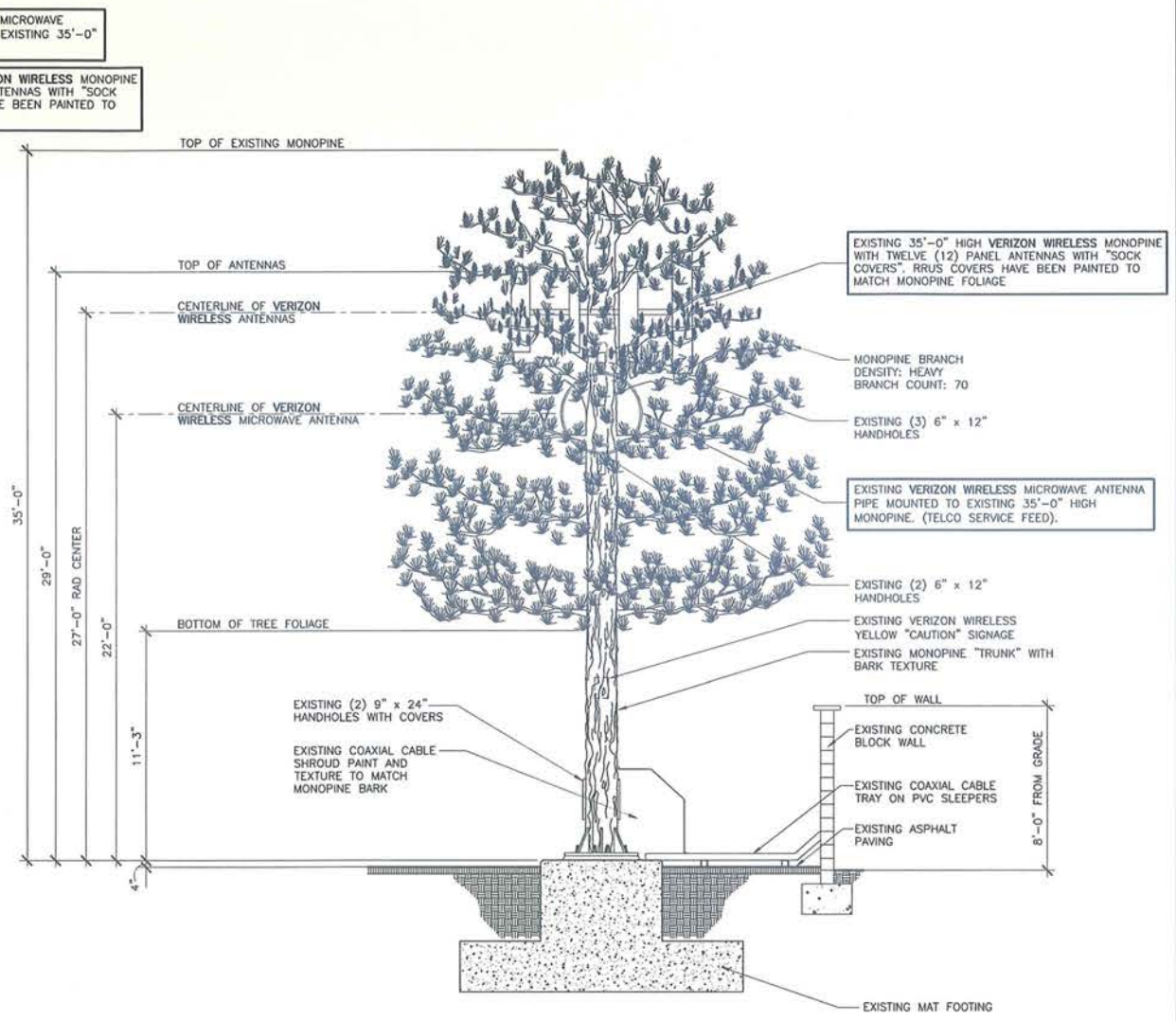
RAYCAP RCMDC-4750-PF-48 WEIGHT: 21.5 LBS.
 RAYCAP RCMDC-3315-PF-48 WITH SURGE SUPPRESSOR WEIGHT: 26.9 LBS.
 RAYCAP SURGE SUPPRESSOR. PAINT TO MATCH EXISTING MONOPINE.

DISTRIBUTION BOX SCALE: NONE 4



ANTENNA PLAN SCALE: 1/4"=1'-0"

ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	DOWNTILT	SKEW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX SIZE
ALPHA1	NORTHEAST	70°	EXISTING ANTENNA: COMSCOPE SBNH-1D6565A	0°	N/A		8	EXISTING	-	7/8"
ALPHA2			EXISTING CDMA ANTENNA: BXA-80063/4CF							
ALPHA3			EXISTING PCS ANTENNA: BXA-171063/BCF							
ALPHA4			EXISTING PANEL ANTENNA: BXA-70063/4CF							
BETA1	SOUTHWEST	240°	EXISTING ANTENNA: COMSCOPE SBNH-1D6565A	0°	N/A		8	EXISTING	-	7/8"
BETA2			EXISTING CDMA ANTENNA: BXA-80063/4CF_10							
BETA3			EXISTING PCS ANTENNA: BXA-171063/BCF_2							
BETA4			EXISTING PANEL ANTENNA: BXA-70063/4CF							
GAMMA1	NORTHWEST	340°	EXISTING ANTENNA: COMSCOPE SBNH-1D6565A	0°	N/A		8	EXISTING	-	7/8"
GAMMA2			EXISTING CDMA ANTENNA: BXA-80063/4CF_10							
GAMMA3			EXISTING PCS ANTENNA: BXA-171063/BCF_2							
GAMMA4			EXISTING PANEL ANTENNA: BXA-70063/4CF							



MONOPINE ELEVATION SCALE: 1/4"=1'-0"

NOTE: NO EXPOSED PIPES ABSENT ANTENNAS SHALL BE INSTALLED AT ANY TIME.

Booth & Suarez
 ARCHITECTURE INCORPORATED
 305 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
BEELER CANYON GENERATOR
 16688 STONEBRIDGE PARKWAY
 SAN DIEGO, CA 92145
MTX - 54
 SAN DIEGO COUNTY

DRAWING DATES
 09/17/13 PRELIM ZD REVIEW (rev)
 12/18/13 FINAL ZD (r)
 03/06/14 ZD REV 1-REVISE SOW (r)

SHEET TITLE
**MONOPINE ELEVATION,
 ANTENNA PLAN
 & DETAILS**

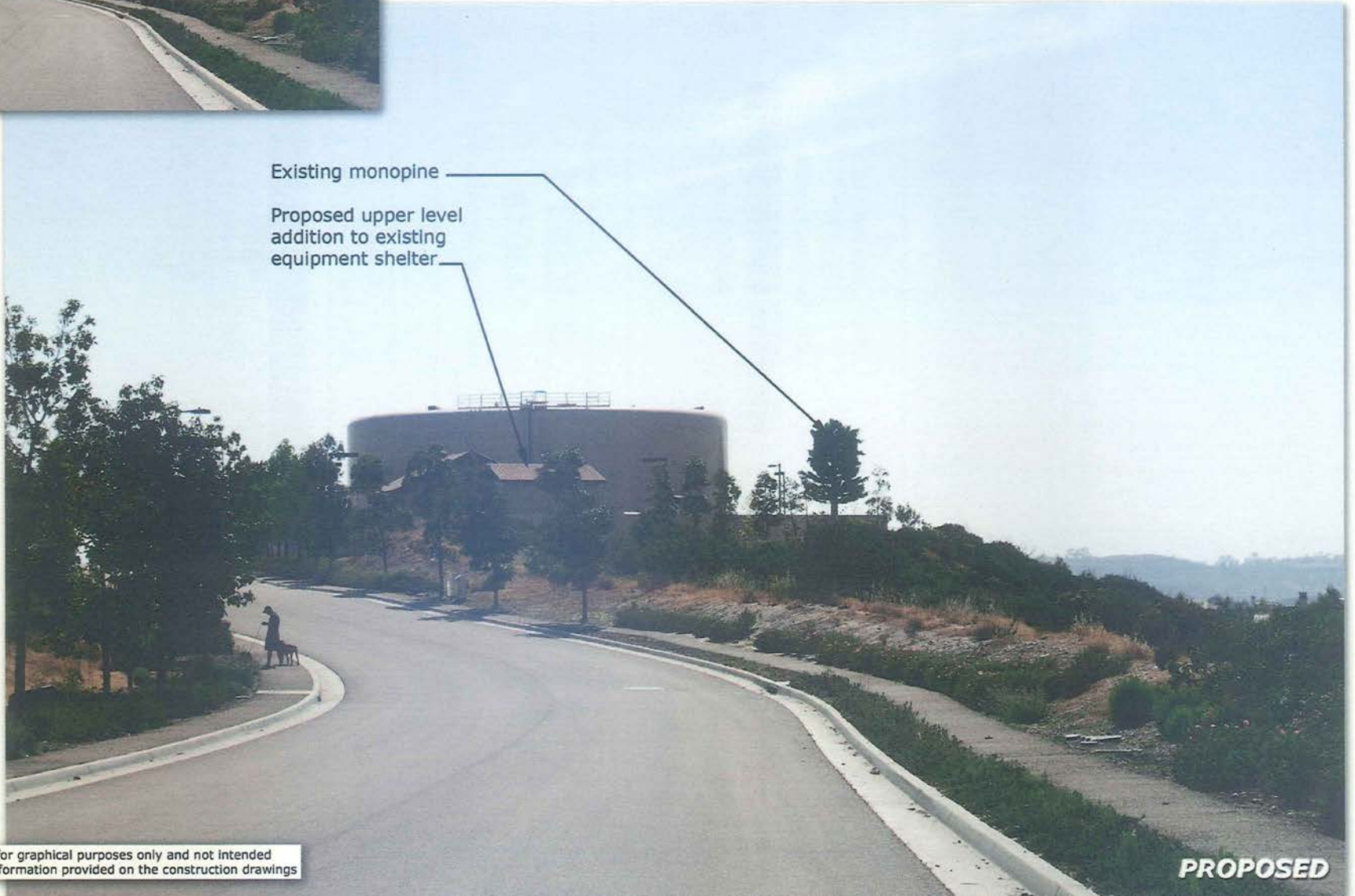
PROJECTS\VERIZON\13215zd

A-5

EXISTING



Beeler Canyon Sector Split
16688 Stonebridge Pkwy
San Diego, CA 92145
MTX-54



Existing monopine

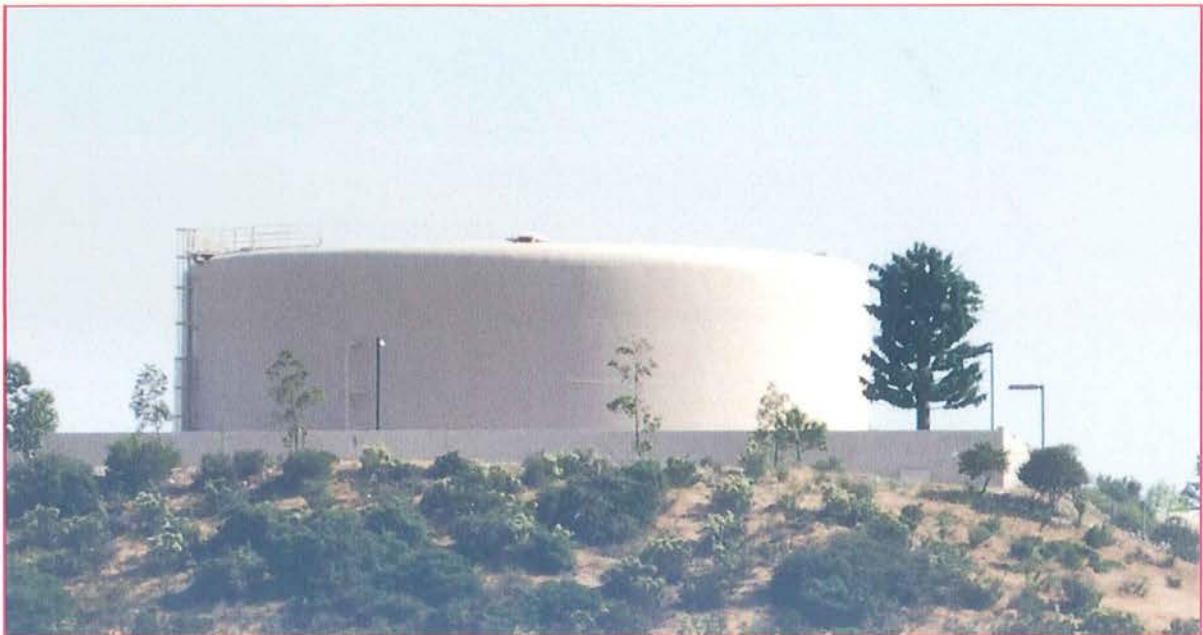
Proposed upper level
addition to existing
equipment shelter

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

10/8/2013

Photosimulation of proposed changes to existing telecommunications site: East elevation



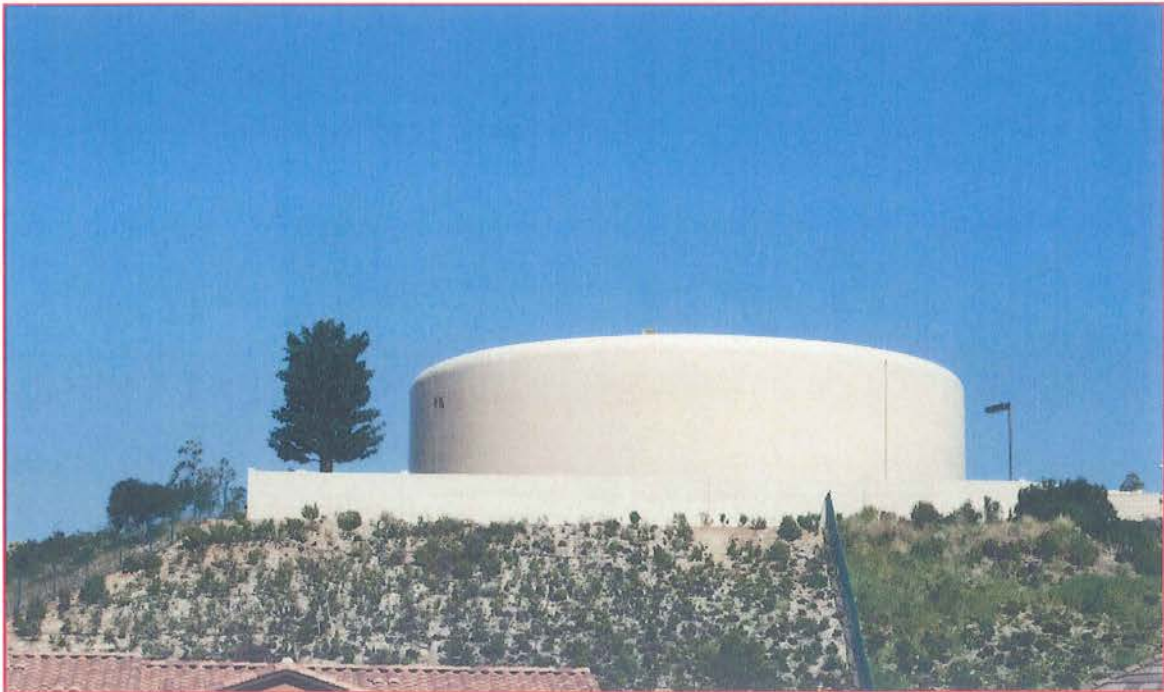
North Elevation



East Elevation



South Elevation





West Elevation



Looking North





Looking East



Looking South





Looking West



Aerial View



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 1

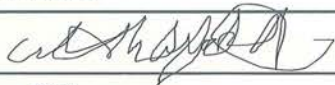
Project Name: Verizon Wireless Beeler Canyon	Project Number: 343018	Distribution Date: 2/10/2014	
Project Scope/Location: An application to add an emergency generator to an existing Verizon Wireless Communication Facility located at 16688 Stonebridge Parkway in the AR-1-1 zone of the Rancho Encantada Community Planning area. The emergency generator shall be located above the existing equipment area and fully enclosed with a tile roof, designed to match the existing structure on site. The project requires an amendment to the previous PDP No. 699783 and NUP No. 650018. CD 5			
Applicant Name: Kerrigan Diehl		Applicant Phone Number: 760-587-3003	
Project Manager: Simon Tse	Phone Number: (619) 687-5984	Fax Number: (619) 321-3200	E-mail Address: stse@sandiego.gov
Project Issues (To be completed by Community Planning Committee for initial review): Conformance of the proposed project with the San Diego General Plan and Scripps Miramar Ranch Community Plan.			
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Verizon Wireless Beeler Canyon	Project Number: 343018	Distribution Date: 2/10/2014
Project Scope/Location: An application to add an emergency generator to an existing Verizon Wireless Communication Facility located at 16688 Stonebridge Parkway in the AR-1-1 zone of the Rancho Encantada Community Planning area. The emergency generator shall be located above the existing equipment area and fully enclosed with a tile roof, designed to match the existing structure on site. The project requires an amendment to the previous PDP No. 699783 and NUP No. 650018. CD 5		
Applicant Name: Kerrigan Diehl		Applicant Phone Number: 760-587-3003
Project Manager: Simon Tse	Phone Number: (619) 687-5984	Fax Number: (619) 321-3200
E-mail Address: stse@sandiego.gov		
Committee Recommendations (To be completed for Initial Review): No Recommendations		
<input checked="" type="checkbox"/> Vote to Approve <i>WHW</i>	Members Yes 16	Members No 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes 16	Members No 0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes 16	Members No 0
<input type="checkbox"/> Vote to Deny	Members Yes 16	Members No 0
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		<input type="checkbox"/> Continued
CONDITIONS: None		
NAME: Wallace H. Wulfeck		TITLE: Chair, SMRPG
SIGNATURE: 		DATE: 2/24/2013
<i>Attach Additional Pages If Necessary.</i>		
Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.		



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Verizon Beeler Canyon Gen		Project Number: 343018		Distribution Date: 12/20/2013	
Project Scope/Location: An application to add an emergency generator to an existing Verizon Wireless Communication Facility located at 16688 Stonebridge Parkway in the AR-1-1 zone of the Rancho Encantada Community Planning area. The emergency generator shall be located above the existing equipment area and fully enclosed with a tile roof, designed to match the existing structure on site. The project requires an amendment to the previous PDP No. 699784, SDP No. 699783 and NUP No. 650018. CD 5; 1 NOTICE;					
Applicant Name: Kerigan Diehl			Applicant Phone Number: (760) 587-3003		
Project Manager: Simon Tse		Phone Number: (619) 687-5984	Fax Number: (619) 446-5245	E-mail Address: STse@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): No issues presented at 2-4-14 meeting.					
Attach Additional Pages If Necessary.			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Verizon Beeler Canyon Gen		Project Number: 343018	Distribution Date: 12/20/2013
Project Scope/Location: An application to add an emergency generator to an existing Verizon Wireless Communication Facility located at 16688 Stonebridge Parkway in the AR-1-1 zone of the Rancho Encantada Community Planning area. The emergency generator shall be located above the existing equipment area and fully enclosed with a tile roof, designed to match the existing structure on site. The project requires an amendment to the previous PDP No. 699784, SDP No. 699783 and NUP No. 650018. CD 5; 1 NOTICE;			
Applicant Name: Kerigan Diehl		Applicant Phone Number: (760) 587-3003	
Project Manager: Simon Tse	Phone Number: (619) 687-5984	Fax Number: (619) 446-5245	E-mail Address: STse@sandiego.gov
Committee Recommendations (To be completed for Initial Review): MRN recommends to approve - vote: 11-0			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 11	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: LORAYNE BURLEY		TITLE: MRNPC CHAIR	
SIGNATURE: <i>Lorayne Burley</i>		DATE: 2-5-14	
<i>Attach Additional Pages if Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

DATE OF NOTICE: March 26, 2014

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: April 10, 2014
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
 202 C Street, San Diego, California 92101

PROJECT TYPE: PLANNED DEVELOPMENT PERMIT, CONDITIONAL
 USE PERMIT & NEIGHBORHOOD USE PERMIT,
 ENVIRONMENTAL EXEMPTION
 PROCESS FOUR

PROJECT NUMBER: 343018
PROJECT NAME: VERIZON WIRELESS BEELER CANYON II
APPLICANT: SHELLY KILBOURN

COMMUNITY PLAN AREA: RANCHO ENCANTADA
COUNCIL DISTRICT: District 5

CITY PROJECT MANAGER: SIMON TSE, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 687-5984, Stse@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application to modify the existing antennas and to add an emergency generator to an existing Verizon Wireless Communication Facility (WCF). The emergency generator shall be located above the existing equipment area and fully enclosed with a tile roof, designed to match the existing Water Department building on site. The site is located at 16688 Stonebridge Parkway (east of the existing water tank) in the AR-1-1 Zone within the Rancho Encantada Community Planning area and Council District 5. The project requires an amendment to the previously approved Planned Development Permit No. 699784, Site Development Permit No. 699783 and Neighborhood Use Permit No. 650018.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and

file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on March 21, 2014 and the opportunity to appeal that determination ended March 7, 2014.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004134

Revised 10-4-12 HMD-

VERIZON WIRELESS BEELER CANYON
PROJECT CHRONOLOGY
PTS #343018 INT # 24004134

Date	Action	Description	City Review	Applicant Response
10/10/2013	Completeness Check	Project Deemed Complete		
11/15/2013	First Assessment Letter		36 days	
12/19/2014	Resubmittal			39 days
2/6/2014	CPG Recommendations			49 days
2/26/2014	All issues cleared		20 days	
4/10/2014	Planning Commission Hearing		43 days	
Total Staff Time:		Does not include City Holidays and Furlough	99 days	
Total Applicant Time:		Does not include City Holidays and Furlough		88 days
Total Project Running Time:		From Deemed Complete to HO Hearing	187 days	

SITE JUSTIFICATION
Verizon "Beeler Canyon"
16688 Stonebridge Parkway
San Diego, CA 92145

PROJECT DESCRIPTION

The project proposes to modify an existing Verizon telecom facility located at 16688 Stonebridge Parkway in the Rancho Encantada planning area. The project proposal seeks to add an emergency backup generator directly above the existing Verizon equipment space. No other modifications to the site are proposed.

The property is zoned AR-1-1, Agricultural.

SITE DESIGN

No changes are proposed to the existing tree consisting of (12) panel antennas. The project does however propose to add a second level atop the existing equipment enclosure in order to house the emergency back-up generator. The generator enclosure will be designed to mimic the existing pump station building on side, with a stucco finish and tile roof to match.

PREFERENCE 2 LOCATION – PROCESS 2:

The proposed facility is located within a pump station controlled by the City of San Diego Water Utilities Dept. The project is a Preference 2 location as it is zoned AR-1-1 and can be processed with a Neighborhood Development Permit – under Process 2.

We believe that the facility as designed is consistent with all relevant regulations and will be minimally visible from any vantage points or surrounding properties because of the design and architectural integration.

CO-LOCATION OF WIRELESS FACILITIES

Verizon is the only wireless provider at this location; however we are aware that AT&T is in the process of developing a site at this location in conjunction with Real Estate Assets and Water Utilities.

PLANCOM INC**Telecommunications Project Management**

October 8, 2013
VZW – “Beeler Canyon”

Sent Via Hand Delivery

Ms. Karen Lynch-Ashcraft
CITY OF SAN DIEGO
1222 First Avenue, 5th Floor
San Diego, CA 92101

Re: Verizon Wireless – “Beeler Canyon”

Dear Ms. Lynch-Ashcraft:

We are submitting the attached application and supporting documentation in order to be considered for a Permit Modification for the existing wireless communications facility located at 16688 Stonebridge Parkway. The project was originally approved on April 22, 2010 under PDP No. 699784, SDP No. 699783 and NUP No. 650018 (PTS#180059). The project recently received a Substantial Conformance Review No. 322232 on August 6, 2013 for antenna upgrades.

This current application seeks approval to place an emergency back-up generator on site, directly above our current equipment space. After the 2007 fires and the recent county wide power outage, Verizon has been committed to providing back-up power including generator and battery back-up at all of their locations in San Diego County. This project will be architecturally integrated to match the existing pump station and will not impact the existing use of the site as no additional square footage is being taken. We believe this is an ideal solution for both Water Utilities use of the space while meeting Planning's design aesthetics concerns.

We appreciate your assistance with this project. I will be the contact person for this project, therefore, if you have any questions or need additional information, please contact me directly at (619) 223-1357.

Sincerely,

Shelly Kilbourn, Land Use Consultant
Agent for Verizon Wireless

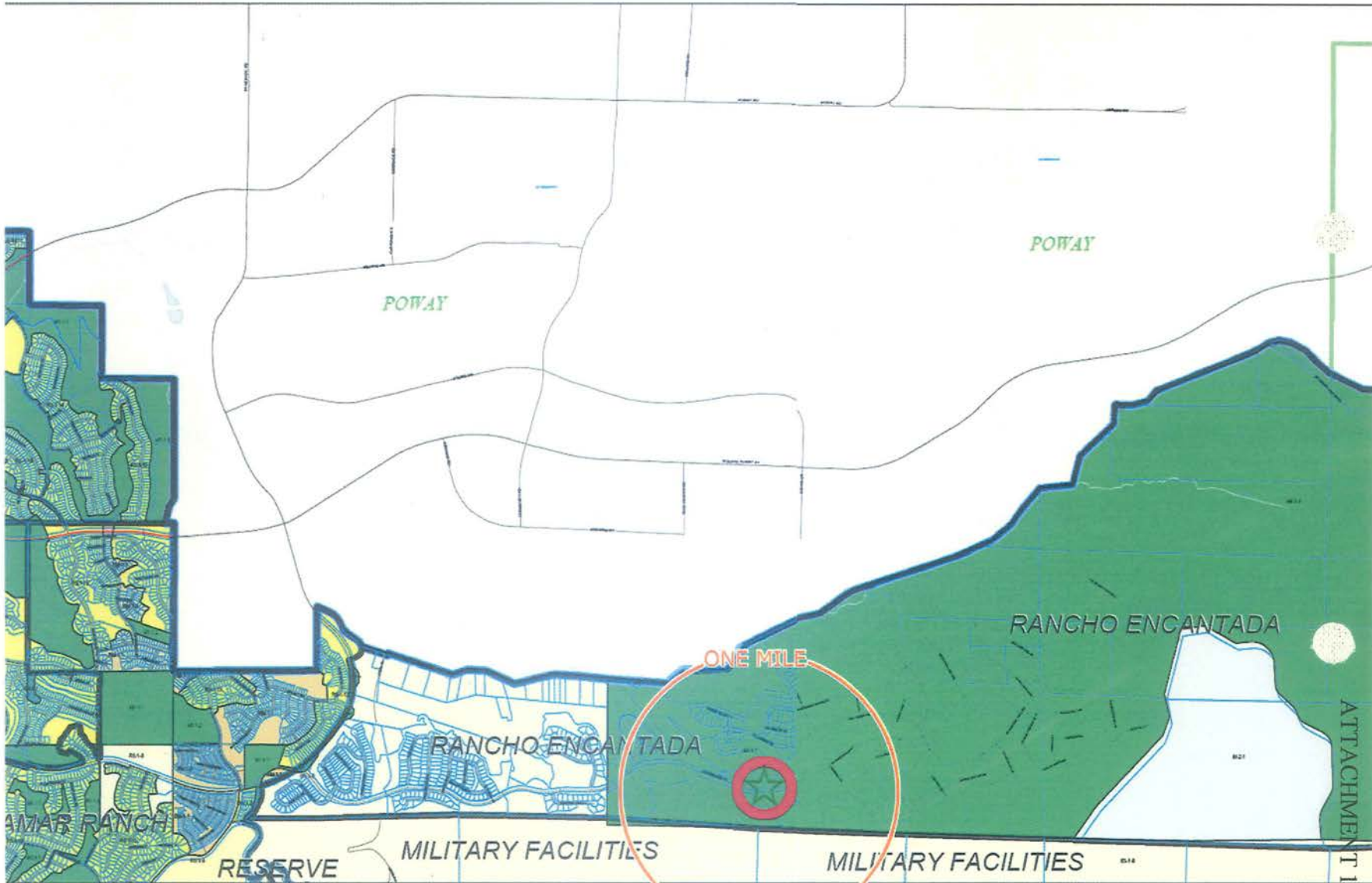
Enclosures

Beeler Canyon
 Stonebridge Parkway
 San Diego, CA 92145



Legend

-  Search Ring
-  Selected Site
-  Existing sites within 1 mile radius:
 No sites within one mile
-  Alternative Sites:
 No Alternative sites

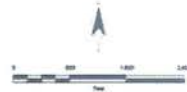


Legend

	City of San Diego Boundary
	Community Plan Area
	Parcel
Zone	
	AS-1.1
	AS-1.2
	CC-1.2
	CC-1.3
	CC-2.1
	CC-2.2
	CC-3.1
	CC-3.2
	C-1.1
	R-2.1
	R-2.2
	R-2.3
	R-2.4
	R-2.5
	R-2.6
	R-2.7
	R-2.8
	R-2.9
	R-2.10
	R-2.11
	R-2.12
	R-2.13
	R-2.14
	R-2.15
	R-2.16
	R-2.17
	R-2.18
	R-2.19
	R-2.20



City of San Diego
 Development Services Department



GRID TILE: 37

GRID SCALE: 800

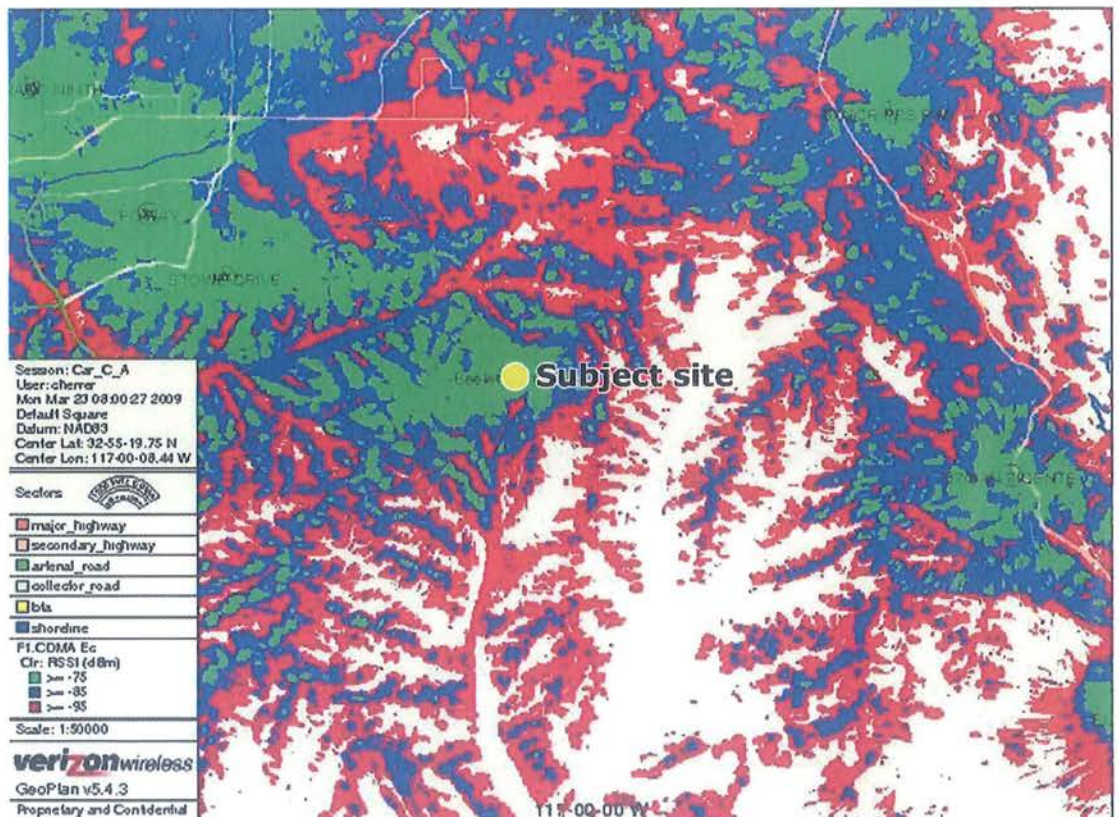
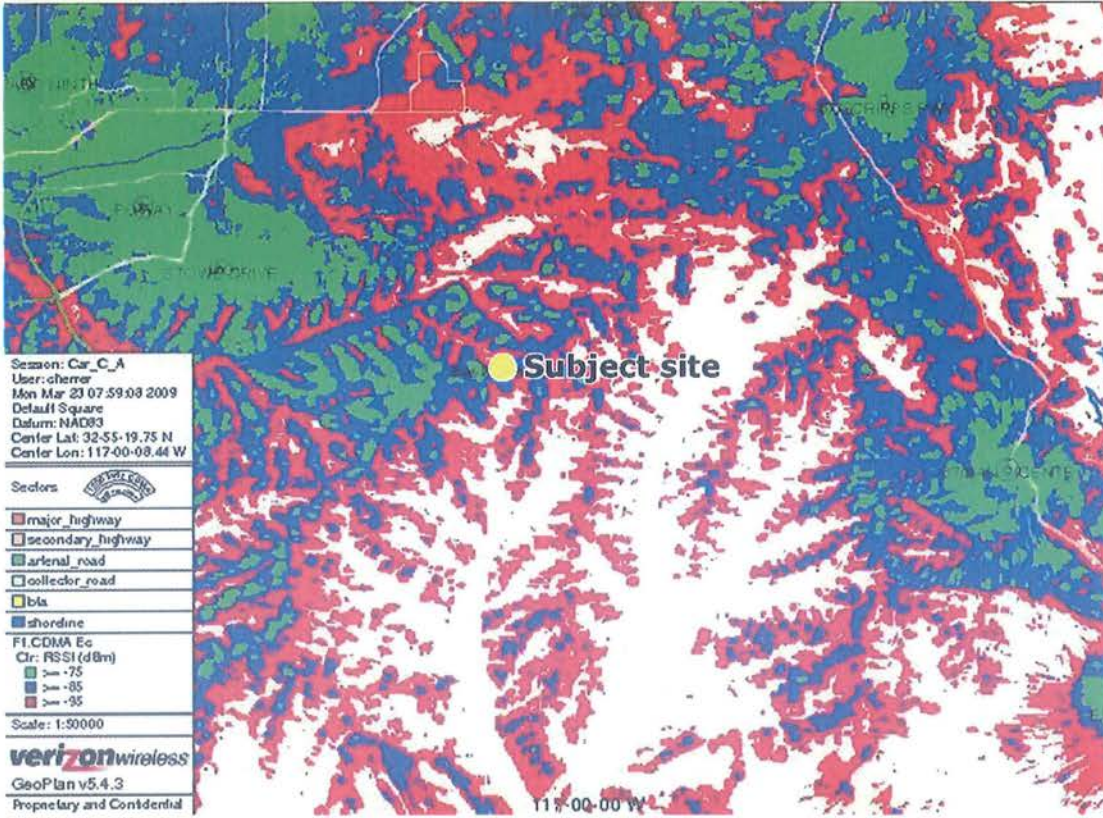
DATE: 9/2/2008 4:46:55 PM

San Diego County Planning and Development Department
 1500 La Jolla Village Drive, Suite 200, San Diego, CA 92161
 (619) 451-3000
 www.sandiego.gov/planninganddevelopment

ATTACHMENT 14



Existing coverage



Coverage Levels:

- Excellent
- Good/Variable
- Poor

Proposed coverage