



THE CITY OF SAN DIEGO  
**REPORT TO THE PLANNING COMMISSION**

**DATE ISSUED:** July 5, 2012 **REPORT NO. PC-12-063**  
**ATTENTION:** Planning Commission, Agenda of July 12, 2012  
**SUBJECT:** Verizon – Skyline Hills - PROJECT NO. 266550. PROCESS 4.  
**OWNER/  
APPLICANT:** CITY OF SAN DIEGO/  
VERIZON WIRELESS

**SUMMARY**

**Issue(s):** Should the Planning Commission approve a Wireless Communication Facility (WCF) at 8285 Skyline Drive, within the Skyline Hills Community Park, in the Skyline-Paradise Hills community plan area?

**Staff Recommendation:** APPROVE Conditional Use Permit No. 937861 and Planned Development Permit No. 992269.

**Community Planning Group Recommendation:** The Skyline-Paradise Hills Planning Committee voted 7-0-0 to recommend approval of this project at their March 15, 2012 meeting. Plans were also distributed to the Recreation Council for this park, however no comments were received and a formal presentation was not made.

**Environmental Review:** This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 7, 2012, and the opportunity to appeal that determination ended May 29, 2012.

**Fiscal Impact Statement:** Verizon Wireless is the Financially Responsible Party responsible for costs associated with the processing of this application.

**Code Enforcement Impact:** Not applicable.

**Housing Impact Statement:** Not applicable.

## **BACKGROUND**

Verizon – Skyline Hills is an application for a Conditional Use Permit (CUP) and Planned Development Permit (PDP), Process 4, for a Wireless Communication Facility (WCF). The project consists of two 65-foot high stadium light standards, supporting twelve (12) panel antennas, and an above-ground equipment enclosure. The project is located at 8285 Skyline Drive, within the Skyline Hills Community Park, in the OP-1-1 zone, of the Skyline-Paradise Hills community plan area (Attachments 1, 2, 3, and 4).

WCF's are permitted in dedicated parkland within an Open Space zone with the processing of a CUP. A PDP is required because the project is requesting two deviations from the WCF Regulations. The equipment area is above-ground, where Land Development Code (LDC) section 141.0420(i)(1)(B), requires equipment enclosures be placed underground and the equipment area, at 355 square feet, exceeds the 250 square foot maximum permitted by LDC section 141.0420(g)(3).

## **DISCUSSION**

### **Project Description:**

The two 65-foot high stadium light standards will provide illumination for the multi-purpose field located within Skyline Hills Community Park. Twelve (12) Verizon panel antennas will be mounted to the two light standards with cabling routed internally within the poles and underground to an above-ground equipment enclosure. The light standards and equipment enclosure have been located under consultation with the Park & Recreation Department. The equipment enclosure has been located to be compatible with the park and will be designed to integrate with existing buildings located within the park (Attachment 8). Verizon is proposing this WCF to provide more coverage and capacity for customers in this area (Attachments 9 and 10).

While LDC section 141.0420(i)(1)(B) states that, "equipment enclosures shall be placed underground" in parks, LDC section 141.0420(i)(1)(C) allows for above-ground equipment in dedicated parkland where the WCF would not violate City Charter Section 55. In this case, the above-ground equipment would not remove "usable park space." The current use of the area proposed for the WCF installation consists of ornamental planting. The WCF will not interfere with the intended use or preclude park uses from occurring in this area. The Park & Recreation Department has been involved in the review of this project. The equipment enclosure, at 355 square feet, deviates from the 250 square foot maximum permitted by LDC section 141.0420(g)(3). The additional square footage will allow Verizon to utilize the equipment necessary to provide coverage and capacity to the surrounding area.

In order to allow these deviations, findings for the PDP must be made in the affirmative. PDP finding no. 3 specifically addresses the deviation request stating that, "The proposed development will comply with the regulations of the Land Development Code including any

proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.”

The deviations requested are appropriate for this location and result in a more desirable project than would be achieved if the project was designed in strict conformance with the WCF Design Requirements. The regulations allow above-ground equipment in dedicated parks when the above-ground equipment does not violate Charter Section 55. The equipment associated with the antennas is located within an enclosure, designed to be compatible with other buildings located in the park and is situated in a way that will not impact park uses. An underground equipment enclosure would cause disturbance to the park during construction, could impact existing trees, and would have above-ground ventilation structures and access hatches. The project is more desirable than if the project was designed in strict conformance with the Code by integrating the equipment enclosure as part of the park’s design. In addition, the larger enclosure size allows the WCF to operate at a capacity which allows it to meet its coverage objective for the surrounding area. If the size of the enclosure was limited, additional sites might be necessary to provide an equivalent level of coverage and capacity. Detailed findings have been made in the affirmative for this project and are provided in Attachment 5.

### **Community Plan Analysis:**

The Skyline-Paradise Hills Community Plan does not specifically address WCF’s. However, the City’s General Plan, Section UD-A.15, does address WCF’s as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

This project complies with the requirements of the General Plan for WCF’s. The project proposes to locate antennas on stadium light standards, designed to be compatible with the park surroundings. The design respects the neighborhood-park context. Equipment associated with the antennas is located at an edge of the park, enclosed in a building designed to integrate with other buildings located in the park.

### **Conclusion:**

This project complies with the applicable regulations of the Land Development Code and the City’s General Plan. The Skyline-Paradise Hills Planning Committee has recommended approval of the project and draft findings (Attachment 5) have been made in the affirmative.

Therefore, staff recommends approval of CUP No. 937861 and PDP No. 992269.

**ALTERNATIVES**

1. **Approve CUP No. 937861 and PDP No. 992269, with modifications.**
2. **Deny CUP No. 937861 and PDP No. 992269, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



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Mike Westlake  
Program Manager  
Development Services Department



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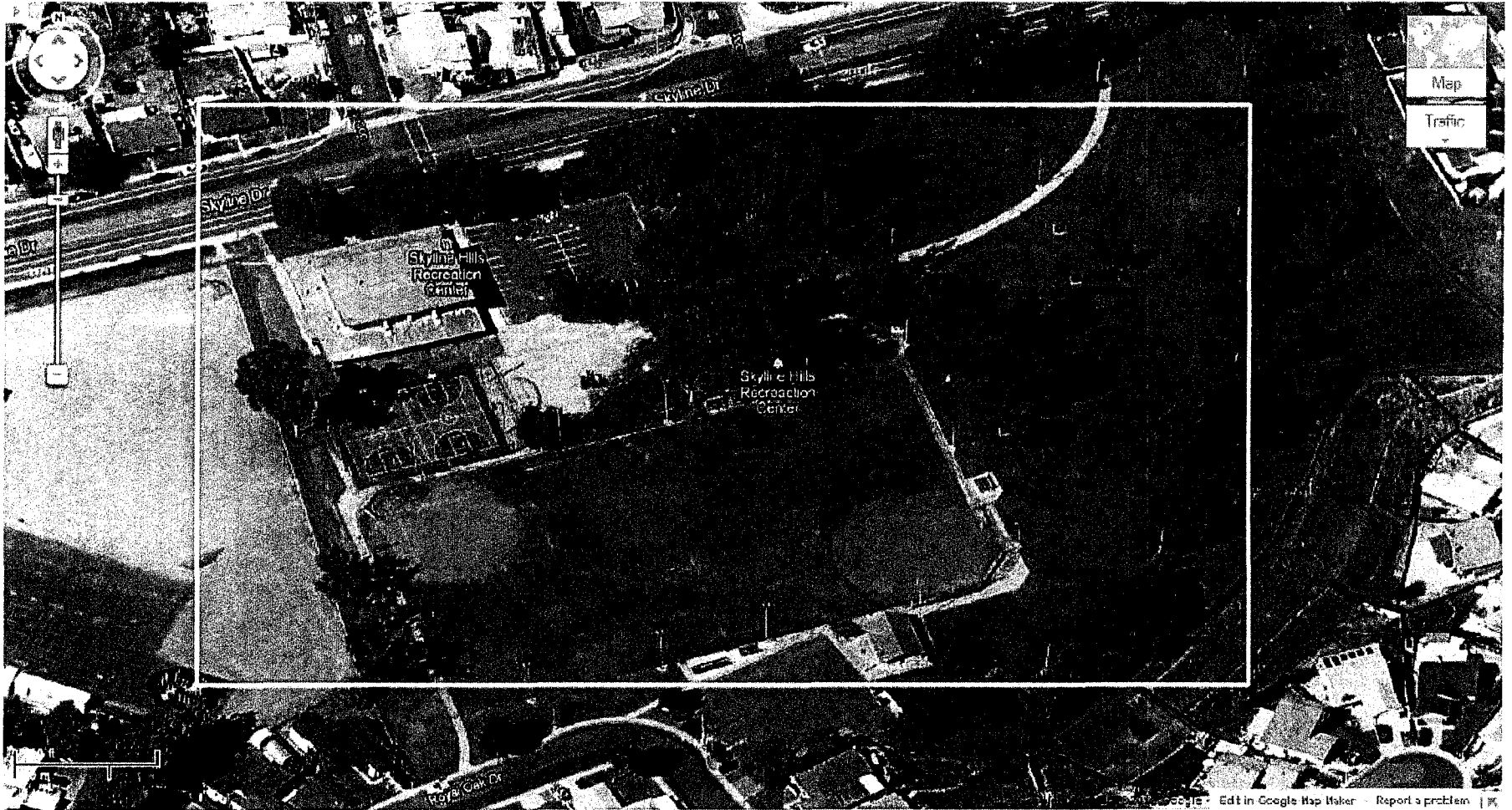
Alex Hempton, AICP  
Associate Planner  
Development Services Department

BROUGHTON/AFH

Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal (NORA) – Env. Exemption
8. Photo Simulations
9. Site Justification
10. Coverage Maps
11. Project Plans
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology
15. Notice of Planning Commission Hearing
16. Photographic Survey

Rev 01-06/11 hmd



## Aerial Photo

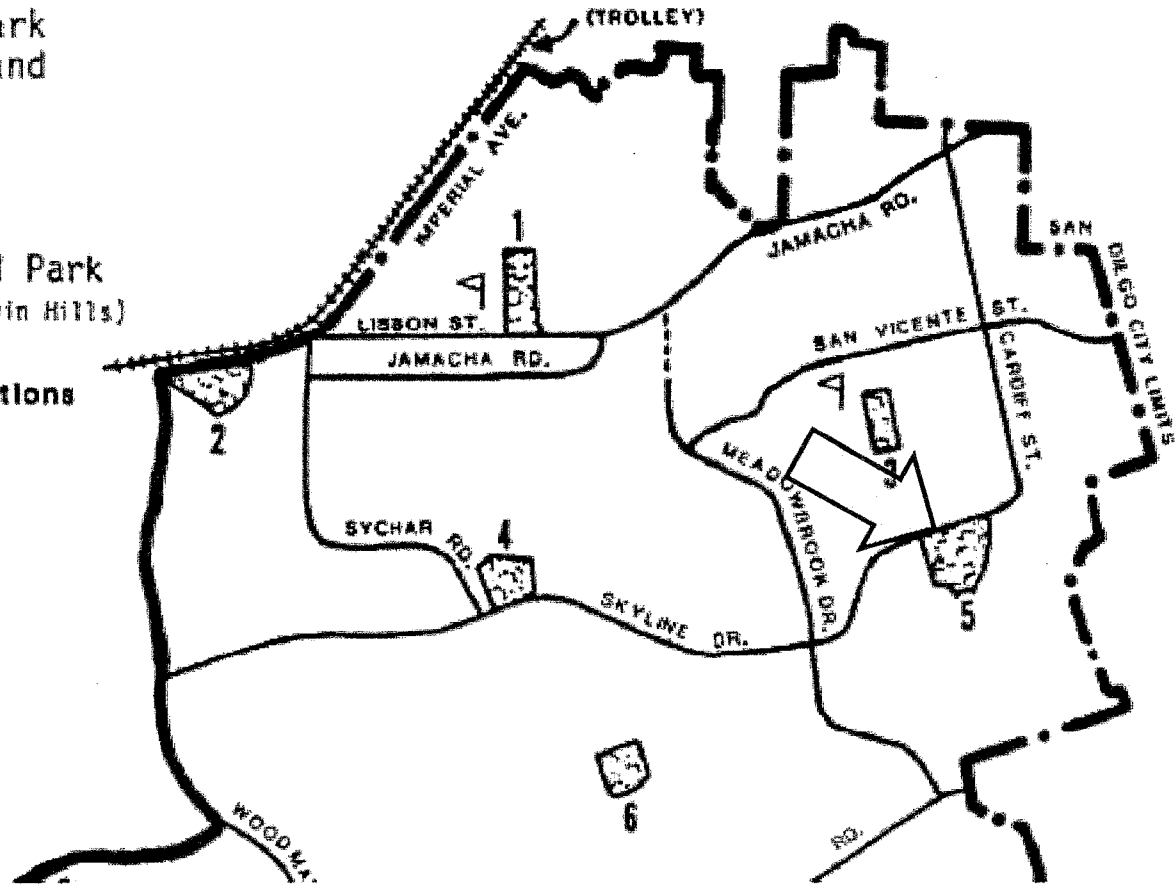
Verizon – Skyline Hills – Project Number 266550

8285 Skyline Drive

1. Keiller Neighborhood Park
2. Encanto Neighborhood Park
3. Lomita Neighborhood Park
4. Skyview Neighborhood Park
5. Skyline Park and Recreation Center
6. Boone Neighborhood Park
7. Paradise Hills Park and Recreation Center
- \*8. Penn Athletic Area
- \*9. Bay Terrace Park and Recreation Center
10. Parkside Neighborhood Park
- \*11. Private Ball Field (Twin Hills)

\* See text for recommendations

△ Adjacent School Site



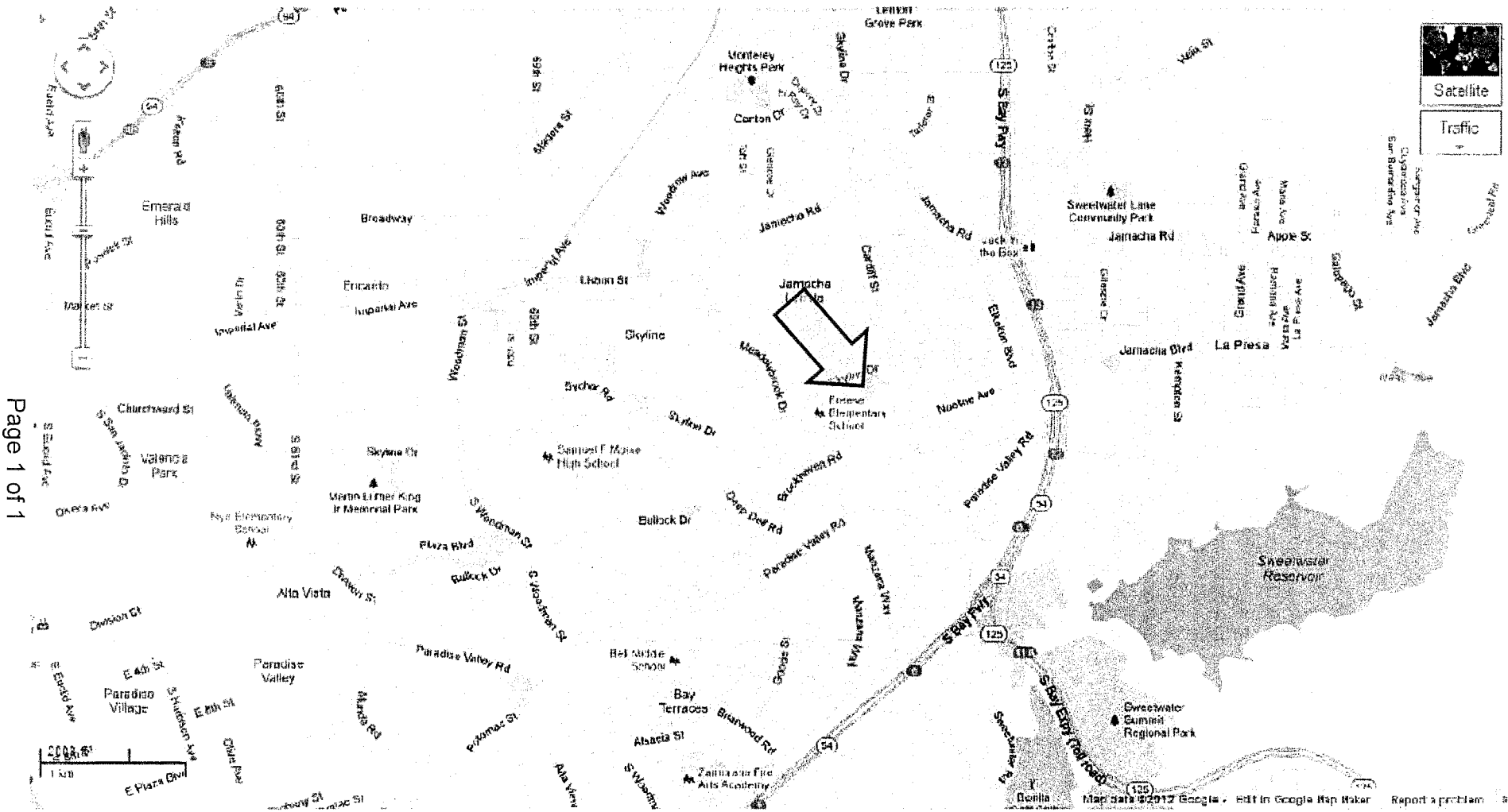
Designated as park.



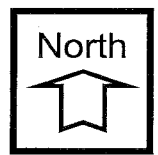
## Community Plan Land Use Map

Verizon – Skyline Hills – Project Number 266550

8285 Skyline Drive



**Project Location Map**  
**Verizon – Skyline Hills – Project Number 266550**  
**8285 Skyline Drive**



<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Verizon – Skyline Hills	
<b>PROJECT DESCRIPTION:</b>	Conditional Use Permit and Planned Development Permit for a Wireless Communication Facility (WCF) consisting of two 65-foot high light standards supporting a total of 12 panel antennas and an above-ground equipment enclosure.	
<b>COMMUNITY PLAN AREA:</b>	Skyline-Paradise Hills	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit and Planned Development Permit (Process 4)	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Park	
<b><u>ZONING INFORMATION:</u></b>		
ZONE: OP-1-1		
HEIGHT LIMIT: -		
FRONT SETBACK: -		
SIDE SETBACK: -		
STREETSIDE SETBACK: -		
REAR SETBACK: -		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential, RS-1-7	Residential
<b>SOUTH:</b>	Residential, RS-1-7	Residential
<b>EAST:</b>	Residential, RS-1-7	Residential
<b>WEST:</b>	Residential, RS-1-7	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Requests two deviations: 1) to the WCF Regulations for Park Site Installations, LDC Section 141.0420(i), which states that equipment enclosures shall be placed underground, but provides an allowance for above-ground equipment enclosures where the WCF use would not violate Charter Section 55; and 2) to the WCF Design Requirements LDC Section 141.0420(g)(3) which limits the size of an equipment enclosure to 250 square feet (in this case, 355 square feet is proposed).	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On March 15, 2012, the Skyline-Paradise Hills Community Planning Group voted 7-0-0 to recommend approval of this project.	



PLANNING COMMISSION  
RESOLUTION NO. PC-XXXX  
CONDITIONAL USE PERMIT NO. 937861  
PLANNED DEVELOPMENT PERMIT NO. 992269  
**VERIZON – SKYLINE HILLS**  
PROJECT NUMBER 266550

WHEREAS, THE CITY OF SAN DIEGO, Owner, and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 937861 and 992269);

WHEREAS, the project site is located at 8285 Skyline Drive, in the OP-1-1 zone of the Skyline-Paradise Hills community plan area;

WHEREAS, the project site is legally described as that portion of Quarter Section 26 of Rancho de la Nacion, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 166, filed in the Office of the County Recorder of San Diego County, May 11, 1869;

WHEREAS, on May 7, 2012, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 12, 2012, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 937861 and Planned Development Permit No. 992269 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated July 12, 2012:

FINDINGS:

Conditional Use Permit - Section 126.0305

- 1. The proposed development will not adversely affect the applicable land use plan;**

The City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the project consists of two 65-foot high light standards, that primarily serve to illuminate the multi-purpose sports field in Skyline Hills Community Park. Twelve (12) panel antennas are

proposed to be attached to the light standards along with an above-ground equipment enclosure. The antennas will be mounted to the light standard with cabling routed internally in the pole and underground to the equipment enclosure. The equipment enclosure will be located near a park edge in an area determined to be compatible with the park design, in consultation with the Park & Recreation Department. The design of the enclosure was reviewed and accepted by the Park & Recreation Department as consistent with Charter Section 55 and is compatible with other park buildings. Existing trees within the park are to be protected during the construction of this facility. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a cumulative model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF’s.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

**3. The proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

This project complies with the regulations of the Land Development Code, specifically the WCF Regulations, LDC 141.0420. WCF’s are permitted in dedicated parkland and in an Open Space zone, with a CUP. Two deviations are requested to the WCF Regulations: 1) The equipment area, at 355 square feet, exceeds the 250 square foot maximum permitted by LDC Section 141.0420(g)(3); and 2) The WCF Park Site Installation regulations require that equipment in parks be located underground, but include an allowance for equipment to be located above-ground when not in conflict with Charter Section 55. See PDP Finding no. 3 which details the findings related to these two deviations. The WCF Design Requirements state that WCF’s shall utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. Furthermore, the applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCF’s through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and siting solutions. In this case, the panel antennas are proposed to be located on two new 65-foot high stadium light standards. Equipment associated with the antennas will be located within an above-ground equipment enclosure in the park. Light standards are a typical element found in a park around a multi-purpose field and will act to integrate the WCF with the surrounding park use and neighborhood. Existing mature trees will act to integrate the facility with the park. Based on the design of the facility, the project complies with the applicable regulations of the Land Development Code, including the allowed deviations being processed with the PDP.

**4. The proposed use is appropriate at the proposed location.**

WCF's are permitted in dedicated parks and in Open Space zones with the processing of a Conditional Use Permit. Additionally, Council Policy 600-43 encourages that carriers locate WCF in non-residential areas. In this case, Verizon needs to provide coverage in this area, which is surrounded by residential uses. The park space – a non-residential use – is a more preferable area to locate this facility than in the surrounding residentially zoned areas with residential uses. The WCF is permitted by the Land Development Code and is appropriate at the proposed location.

**Planned Development Permit - Section 126.0604**

**1. The proposed development will not adversely affect the applicable land use plan;**

The City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the project consists of two 65-foot high light standards, that primarily serve to illuminate the multi-purpose sports field in Skyline Hills Community Park. Twelve (12) panel antennas are proposed to be attached to the light standards along with an above-ground equipment enclosure. The antennas will be mounted to the light standard with cabling routed internally in the pole and underground to the equipment enclosure. The equipment enclosure will be located near a park edge in an area determined to be compatible with the park design, in consultation with the Park & Recreation Department. The design of the enclosure was reviewed and accepted by the Park & Recreation Department as consistent with Charter Section 55 and is compatible with other park buildings. Existing trees within the park are to be protected during the construction of this facility. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a cumulative model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF's.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

- 3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

This project complies with the regulations of the Land Development Code and requests two deviations:

- 1) The equipment area is located above-ground, where LDC Section 141.0420(i)(1)(B) requires that equipment enclosures be placed underground. While LDC Section 141.0420(i)(1)(B) states that, "equipment enclosures shall be placed underground" in parks, LDC Section 141.0420(i)(1)(C) allows for above-ground equipment in dedicated parkland where the WCF use would not violate City Charter Section 55. In this case, the above-ground equipment would not remove "usable park space." The current use of the area proposed for the WCF installation consists of ornamental planting at an edge of the park. The WCF will not interfere with the intended use or preclude park uses from occurring in this area.
- 2) The equipment enclosure, at 355 square feet, deviates from the 250 square foot maximum permitted by LDC Section 141.0420(g)(3).

The deviations requested are appropriate for this location and results in a more desirable project than would be achieved if the project was designed in strict conformance with the WCF Design Requirements. An underground equipment enclosure would require significant disturbance to the park during the construction of the facility, could potentially disrupt existing mature trees, and would still have certain above-ground structures such as air vents. The design of the equipment enclosure is compatible with the existing park design and will match elements of other existing park buildings. The enclosure, at 355 square feet, allows Verizon to meet its coverage and capacity objectives with this WCF. An equipment enclosure with a lower square footage could require additional WCF in the area to meet an equivalent level of coverage and capacity.

Based on these considerations, the requested deviations are appropriate for this location and based on the design of the project, results in a more desirable project than would be achieved if the project was designed in strict conformance with the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CONDITIONAL USE PERMIT NO. 937861 and PLANNED DEVELOPMENT PERMIT NO. 992269 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 937861 and 992269, a copy of which is attached hereto and made a part hereof.

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Alexander Hempton, AICP  
Associate Planner  
Development Services

Adopted on: July 12, 2012

Internal Order No. 24002400

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002400

CONDITIONAL USE PERMIT NO. 937861  
PLANNED DEVELOPMENT PERMIT NO. 992269  
**VERIZON – SKYLINE HILLS**  
PROJECT NO. 266550  
PLANNING COMMISSION

This CONDITIONAL USE PERMIT (CUP) NO. 937861 and PLANNED DEVELOPMENT PERMIT (PDP) NO. 992269 are granted by the **Planning Commission** of the City of San Diego to THE CITY OF SAN DIEGO, Owner, and VERIZON WIRELESS, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, 126.0601, and 141.0420. The site is located at 8285 Skyline Drive, in the OP-1-1 zone of the Skyline-Paradise Hills community plan area. The project site is legally described as that portion of Quarter Section 26 of Rancho de la Nacion, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 166, filed in the Office of the County Recorder of San Diego County, May 11, 1869.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 12, 2012, on file in the Development Services Department.

The project shall include:

- a. Two 65-foot high stadium light standards, supporting twelve (12) panel antennas, and a 355 square foot above-ground equipment enclosure;
- b. The above-ground equipment enclosure, located within the Skyline Hills Community Park, deviates from Land Development Code (LDC) Section 141.0420(i)(1)(B), which requires enclosures to be located underground within parks and the enclosure, at 355 square feet, deviates from the 250 square foot maximum permitted by LDC Section 141.0420(g)(3); these deviations are permitted with the processing of this PDP;
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 26, 2015.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner and Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Conditional Use Permit (CUP) and Planned Development Permit (PDP) and corresponding use of this site shall expire on July 12, 2022. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
5. No later than ninety (90) days prior to the expiration of this permit, the Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
6. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
7. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
11. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the



matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

**ENGINEERING REQUIREMENTS:**

14. The project proposes to export 154 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

**LANDSCAPE REQUIREMENTS:**

19. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan.

20. Prior to issuance of any construction permits for buildings complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

21. Prior to issuance of any Certificate of Occupancy or activation of WCF, it shall be the responsibility of the Permittee to install all required landscape and obtain all required landscape inspections.

22. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy or a Final Landscape Inspection or activation of WCF.

24. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60-inch box size material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15 gallon shrub or 60-inch box tree.

**PARK & RECREATION DEPARTMENT REQUIREMENTS:**

25. The Permittee shall ensure that prior to building permit issuance, the Park and Recreation Department reviews building permit plans for colors and finishes of the equipment enclosure.

26. The Permittee shall ensure that all asphalt paving disturbed by electrical and telco trenching is repaired to the satisfaction of the Park and Recreation Department.

27. The Permittee shall ensure that all turf repairs are made using sod as directed by the Park and Recreation Department.

28. The Permittee shall ensure that the irrigation system is modified as necessary and to the satisfaction of the Park and Recreation Department.

29. The Permittee shall ensure that no trenching shall occur within a tree dripline and that telecom utilities shall be micro bored under the tree roots as necessary.

30. The Permittee shall ensure that the Park & Recreation Dept review and approve construction plans prior to building permit issuance.

31. The Permittee shall ensure the new sports field lights are connected to the existing field lighting system, including, but not limited to, all electrical upgrades necessary to add the new sports field lights.

32. The Permittee shall provide the Park and Recreation Department with an illumination plan from the sports field lighting manufacturer showing the horizontal footcandles the new sports field lights will provide on the multi-purpose field.

33. The Permittee shall provide the Park and Recreation Department with a 25-year service contract for the new sports field lights as supplied by the lighting manufacturer. This 25-year service contract shall not include the park security lights attached to the sports field lighting poles.

**PLANNING/DESIGN REQUIREMENTS:**

34. Appropriate signs shall be installed by the Permittee to notify people working on the light standards that a hazard exists and the location of the hazard. The carrier should be required to assess the level and location of the hazard and place the appropriate signs per CAL-OSHA and FCC requirements.

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

36. Prior to the issuance of a construction permit, the Permittee shall provide certification providing evidence that the cumulative field measurements of radio frequency power densities for all antennas installed on the premises comply with federal standards.

37. All equipment, including transformers, emergency generators and air conditioners shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

38. Prior to obtaining a Construction Permit the following items must be illustrated on the construction drawings: meters, telco, A/C units, generator receptacles, cable runs, and external ports. These appurtenances must be minimized visually so as to avoid the effect of changing the outward appearance of the project from what was approved on the exhibits.

39. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

40. This wireless communication facility shall be removed or replaced if it is determined that the facility or components of the facility are obsolete.

41. No "doghouse" cable housings are permitted. All cabling shall be internally routed underground into the light standards and equipment enclosure.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.

- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the Planning Commission of the City of San Diego on July 12, 2012 by  
Resolution No. PC-XXXX.

DRAFT

Permit Type/PTS Approval No.: CUP/937861  
and PDP/992269  
Date of Approval: 7/12/2012

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Alexander Hempton, AICP  
Associate Planner

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**CITY OF SAN DIEGO – REAL ESTATE  
ASSETS DEPARTMENT**  
Owner

By \_\_\_\_\_  
David Sandoval  
Deputy Director

**VERIZON WIRELESS**  
Permittee

By \_\_\_\_\_  
Leslie Vartanian  
Network Manager

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: May 9, 2012

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24002400

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**PROJECT NAME/NUMBER:** Verizon Skyline Hills/266550

**COMMUNITY PLAN AREA:** Skyline Paradise Hills Community Planning area

**COUNCIL DISTRICT:** 4

**LOCATION:** 8285 Skyline Drive, San Diego, California 92114

**PROJECT DESCRIPTION:** Conditional Use Permit (CUP) and Planned Development Permit (PDP) to allow for a Wireless Communication Facility (WCF) consisting of antennas located on two park stadium light standards with an above-ground 355 square foot equipment enclosure.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Planning Commission

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The proposed project is exempt from CEQA pursuant to Section 15301 which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures involving negligible or no expansion of use. A Conditional Use Permit to allow for the installation of antennas on two existing park stadium light standards is a negligible expansion of use. The proposed project is also exempt from CEQA pursuant to Section 15303 which allows for the construction of limited number of new equipment and facilities in small structures. A Planned Development Permit to allow for the construction of an above ground 355 square foot equipment enclosure meets that requirement. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

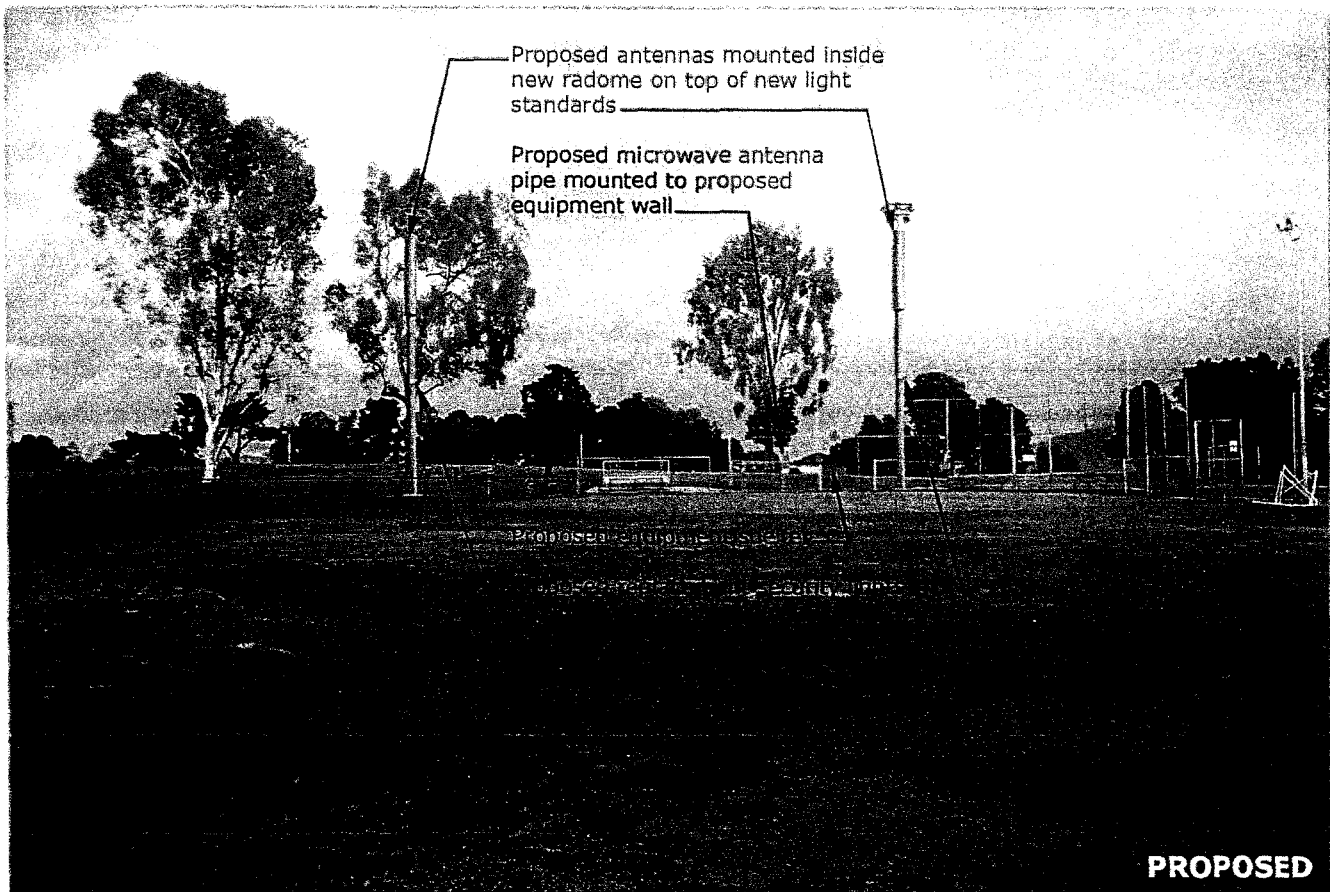
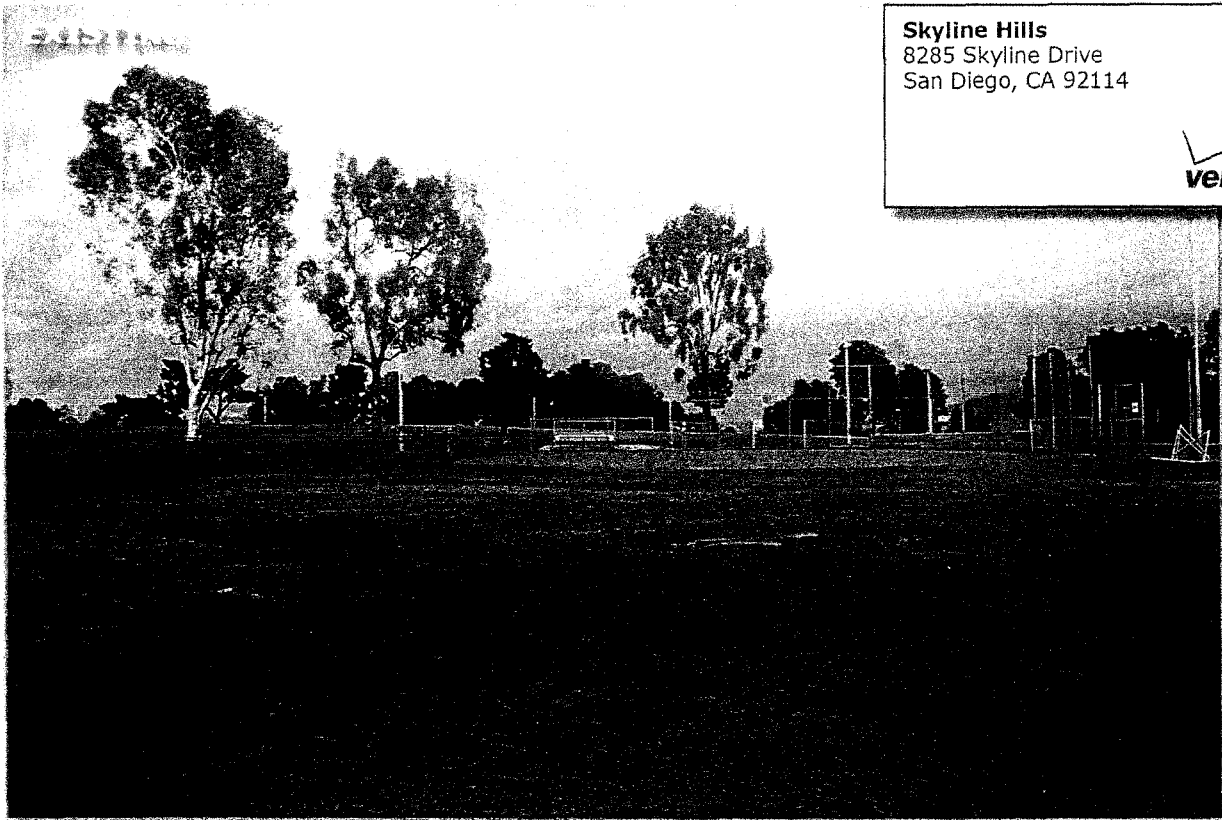
**DEVELOPMENT PROJECT MANAGER:** Alexander Hempton  
**MAILING ADDRESS:** 1222 First Avenue, MS 501  
San Diego, California 92101  
**PHONE NUMBER:** (619) 446-5349

On May 7, 2012, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

**Skyline Hills**  
8285 Skyline Drive  
San Diego, CA 92114



1/24/2012

*Photosimulation of proposed telecommunications site*



**SITE JUSTIFICATION**

**Verizon Wirelss  
Skyline Hills Park  
8285 Skyline Drive**

**PROJECT DESCRIPTION**

The project proposes to locate a wireless communication facility at 8285 Skyline Drive at the Skyline Hills Park located in the Skyline Paradise Hills Community Plan area. The project will consist of twelve antennas mounted on two (2) new 65' foot light standards. The antennas will be concealed inside 46" diameter radomes. The associated equipment will be located in a custom equipment enclosure near the eastern edge of the park.

The property is zoned OP-1-1 and developed with a City owned park. The property is surrounded by open space and residential development.

**SITE DESIGN**

The antennas will be located on two new 65' foot light standards. The antennas will be mounted to the pole and screened by RF friendly radome. The radomes will be approximately 46 inches in diameter and 10 feet long. The radomes will screen the antennas and cables from view. The associated equipment will be located within a new enclosure adjacent on the eastern edge of the park in a sloped area. The enclosure has been designed to match the type of building found in a park setting.

**PREFERENCE 2 LOCATION & PROCESS 4 DESIGN**

The proposed facility is located in a City park. As such the project is considered a preference 2 location and but due to the Open Space zoning designation will require a Conditional Use Permit which requires a process 4 approval by the Planning Commission. Additionally, the project requires a Planned Development Permit to exceed the 250 square foot equipment enclosure size restriction. The proposed equipment enclosure is the minimum size necessary to accommodate Verizon Wireless' equipment and emergency generator needs. The Planned Development Permit requires a Process 4 action.

**CO-LOCATION OF FACILITIES**

There are no wireless carriers existing on this property at this time.

**Skyline Hills**  
 8285 Skyline Drive  
 San Diego, CA 92114



**City of San Diego**  
 Development Services Department

GRID TILE: 12,13,16 & 17

GRID SCALE: 800

DATE: 12/10/2008 4:39:32 PM

*Official Zoning Map*

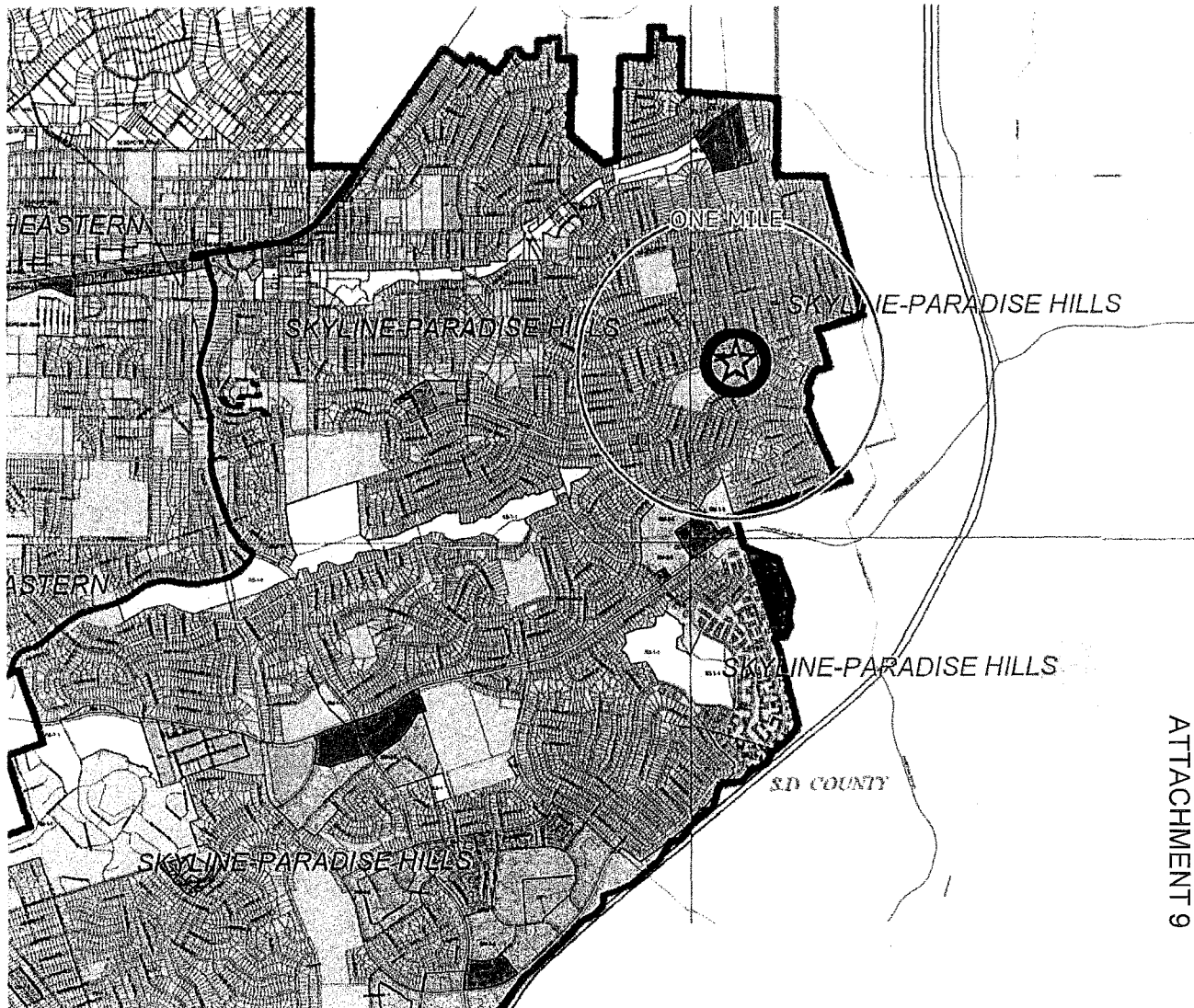
**Legend**

- Search Ring
- Selected Site
- Existing sites within 1 mile radius:  
 No existing sites within 1 mile
- Alternative Sites:  
 No alternative sites

Page 2 of 2

**Legend**

City of San Diego boundary
Unincorporated areas
Parcels
Zone
Zone Name
AG 1.2
CG 1.3
CO 1.2
CS 1.2
CS 1.3
CS 1.4
CS 1.5
CS 1.6
CS 1.7
CS 1.8
CS 1.9
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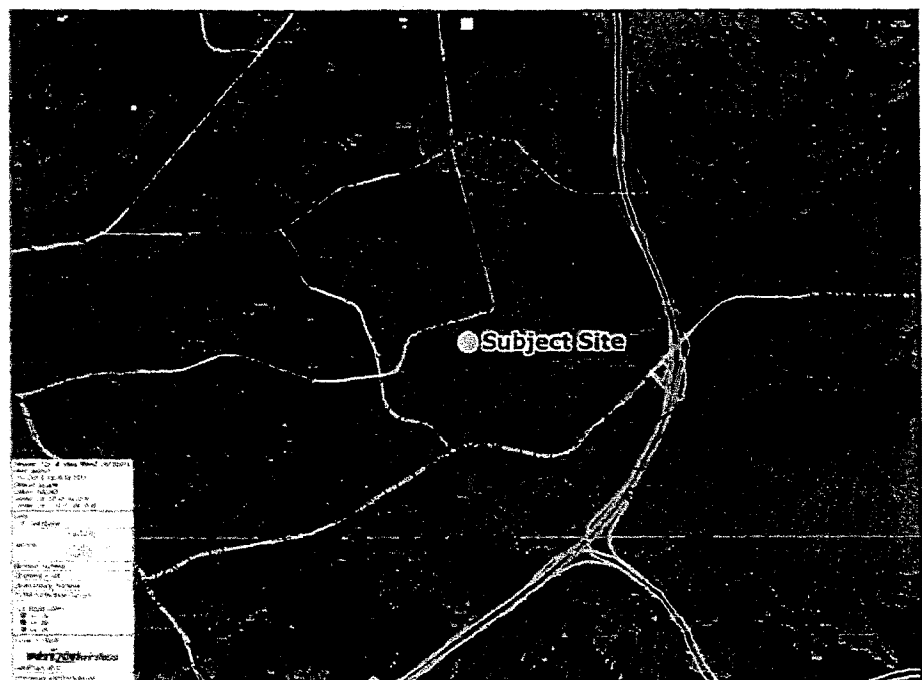


ATTACHMENT 9

**Line Hills**  
8285 Skyline Drive  
San Diego, CA 92114



**Existing coverage**



**Coverage Levels:**

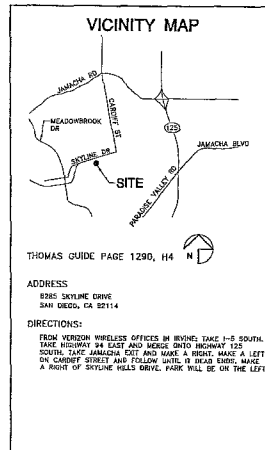
- Excellent
- Good/Variable
- Poor

12/14/2011

**Proposed coverage**



SKYLINE HILLS  
8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114



FCC COMPLIANCE STATEMENT

THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

ENERGY NOTE:  
USE FROM ON-SITE RENEWABLE POWER SOURCE

CONSULTANT TEAM

ARCHITECT:  
BOOTH & SUAREZ ARCHITECTURE, INC.  
325 CARLSBAD VILLAGE DRIVE, SUITE 202  
CARLSBAD, CA 92008  
(760) 434-8474  
(760) 434-0296 (FAX)

SURVEYOR:  
JEN CIVIL ENGINEERS  
272 AVENIDA FABRICANTE, SUITE 107  
SAN CLEMENTE, CA 92672  
(949) 248-4885

LEASING/PLANNING:  
PLANCON, INC.  
DUFFY DAUBERTY  
302 STATE PLACE  
ESCONDIDO, CA 92029  
(925) 548-5550

TYPE OF PERMIT REQUIRED:  
• COP  
• PERMITS A • PC

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS  
15500 SAND CANYON AVENUE  
IRVINE, CA 92618  
CONTACT: DUFFY DAUBERTY  
PHONE: (925) 548-2080

OWNER:  
CITY OF SAN DIEGO  
1200 THIRD AVENUE  
SAN DIEGO, CA 92101  
CONTACT: GARY YOUNG  
PHONE: (619) 238-5081

- PROJECT DESCRIPTION:
- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW STEEL BUILDING EQUIPMENT SHELTER WITH STUCCO FINISH ON A CONCRETE PAD
  - INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SERVICES OF FIVE (5) ANTENNA EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED TO (2) PROPOSED 65'-0" HIGH LIGHT STANDARDS
  - INSTALLATION OF TWO (2) VERIZON WIRELESS 6.911 GHz ANTENNAS
  - INSTALLATION OF NEW COAXIAL CABLE IN A COAX CABLE TRENCH BETWEEN PROPOSED 65'-0" HIGH LIGHT STANDARD AND THE PROPOSED VERIZON WIRELESS EQUIPMENT BUILDING
  - INSTALLATION OF NEW 200 AMP ELECTRICAL METER WITH UNDERGROUND ELECTRICAL CABLE FEED FROM EXISTING SINGLE SWITCHGEAR TO PROPOSED EQUIPMENT BUILDING WITH NEW STEP-UP & STEP-DOWN TRANSFORMERS
  - INSTALLATION OF NEW UNDERGROUND TELCO SERVICE CONNECTION FROM EXISTING TELCO PANEL
  - MINOR LANDSCAPE IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114

ASSESSORS PARCEL NUMBER: 568-400-07-00 & 13-00

EXISTING ZONING: DP-1-1

TOTAL SITE AREA: 471,297 SF  
10.82 ACRES

PROPOSED AREA:  
EQUIPMENT BUILDING: 225 SQ. FT.  
MECHANICAL UNIT'S AREA: 125 SQ. FT.

PROPOSED OCCUPANCY: U

PROPOSED TYPE OF CONSTRUCTION: V-B

NOTE: THERE ARE NO EXISTING TELECOMMUNICATIONS FACILITIES ON THIS SITE.

SHEET SCHEDULE

- T-1 TITLE SHEET
- A-0 SITE PLAN
- A-0.0 WATER POLLUTION CONTROL PLAN
- A-1 ENLARGED SITE PLAN
- A-2 EQUIPMENT FLOOR PLAN
- A-3 ROOF PLAN
- A-4 LIGHT STANDARD PLANS
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- A-7 LIGHT STANDARD ELEVATION & DETAILS
- L-1 LANDSCAPE DEVELOPMENT PLAN
- C-1 TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

PARCEL 1:  
THAT PORTION OF QUARTER SECTION 28 OF RANCHO DE LA MADON, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP INCORPORATED AND FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAP 71, 1888.  
SEE SHEET C-1 FOR COMPLETE LEGAL DESCRIPTION.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION  
CALIFORNIA PLUMBING CODE, 2010 EDITION  
CALIFORNIA MECHANICAL CODE, 2010 EDITION  
CALIFORNIA ELECTRICAL CODE, 2010 EDITION  
CALIFORNIA FIRE CODE, 2010 EDITION  
CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH & SUAREZ ARCHITECTS INCORPORATED  
325 CARLSBAD VILLAGE DRIVE, SUITE 202  
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 18707  
IRVINE, CA 92623-5707  
(949) 222-7000

APPROVALS

AKC	DATE
RE	DATE
RF	DATE
RT	DATE
CE/EN	DATE
OPS	DATE
CE/OUT	DATE

PROJECT NAME

SKYLINE HILLS

8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114  
SAN DIEGO COUNTY

DRAWING DATES

05/09/11	50K 2D (W)
05/26/11	150K 2D (W)
12/29/11	REVISION 100K 2D (W)
01/23/12	REVISION 100K 2D (W)
01/24/12	REVISION 100K 2D (W)
01/06/12	REVISION 100K 2D (W)

SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECT: VERZON\_11120

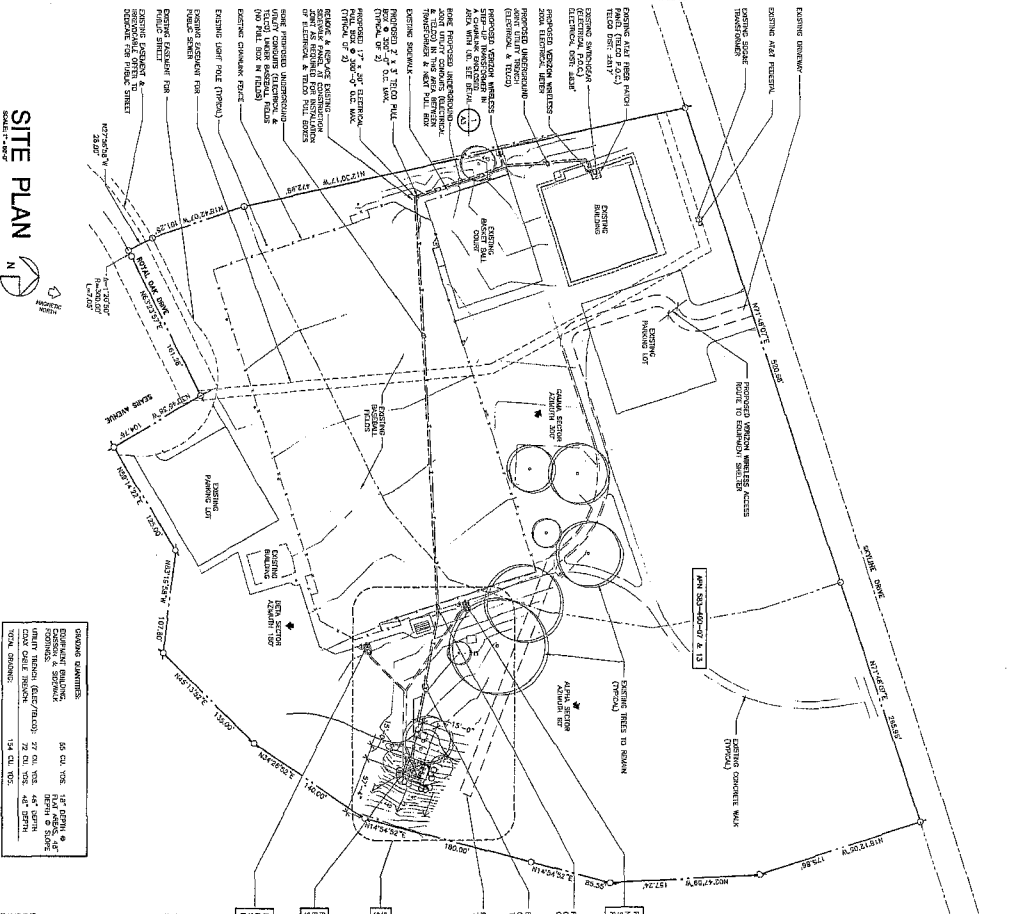
T-1

- FIG. 4. REVISIONS**
1. THE REVISIONS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.
  2. THE REVISIONS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.
  3. THE REVISIONS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.
  4. THE REVISIONS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.
  5. THE REVISIONS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.
  6. THE REVISIONS SHALL BE MADE BY THE ARCHITECT AND SHALL BE IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.

- DESIGNER NOTES**
1. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
  2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
  3. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
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  6. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.

**GENERAL NOTES**

1. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.
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6. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO AND THE STATE OF CALIFORNIA.



**PROPOSED UNDERGROUND UTILITY**  
 1. THE PROPOSED UNDERGROUND UTILITY SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.

**PROPOSED NEW ASPHALT PAVEMENT**  
 1. THE PROPOSED NEW ASPHALT PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.

**PROPOSED NEW CONCRETE WALK**  
 1. THE PROPOSED NEW CONCRETE WALK SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.

**PROPOSED NEW UNDERGROUND UTILITY**  
 1. THE PROPOSED NEW UNDERGROUND UTILITY SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PRACTICE OF THE ARCHITECTURAL PROFESSION.

**VERIZON WIRELESS**

PREPARED FOR: SKYLINE HILLS

PROJECT NAME: SKYLINE HILLS

APPROVALS:

DATE	SIGNATURE
09/09/11	[Signature]
09/22/11	[Signature]
10/12/11	[Signature]
08/04/12	[Signature]

**SKYLINE HILLS**  
 4375 SQUAKE DRIVE  
 SAN DIEGO, CA 92114  
 SAN DIEGO COUNTY

**DRIVING DATES**

DATE	TIME
09/09/11	10:00 AM TO 12:00 PM
09/22/11	10:00 AM TO 12:00 PM
10/12/11	10:00 AM TO 12:00 PM
08/04/12	10:00 AM TO 12:00 PM

**SHEET TITLE**  
 SITE PLAN

**PROJECT NUMBER**  
 1118

**A-0**

**A. Storm Management Requirements**

Construction is a dynamic operation where changes are expected. Stormwater BMPs, designed to manage runoff and protect water resources, are flexible. They will be modified as needed to reflect changes in site conditions, construction progress, and other factors. The design of the stormwater management system is based on the information provided in the Stormwater Management Plan (SWMP) and the Stormwater Management Plan Addendum (SWMPA). The SWMP and SWMPA are subject to review and approval by the City of San Diego and the County of San Diego. The SWMP and SWMPA are subject to review and approval by the City of San Diego and the County of San Diego. The SWMP and SWMPA are subject to review and approval by the City of San Diego and the County of San Diego.

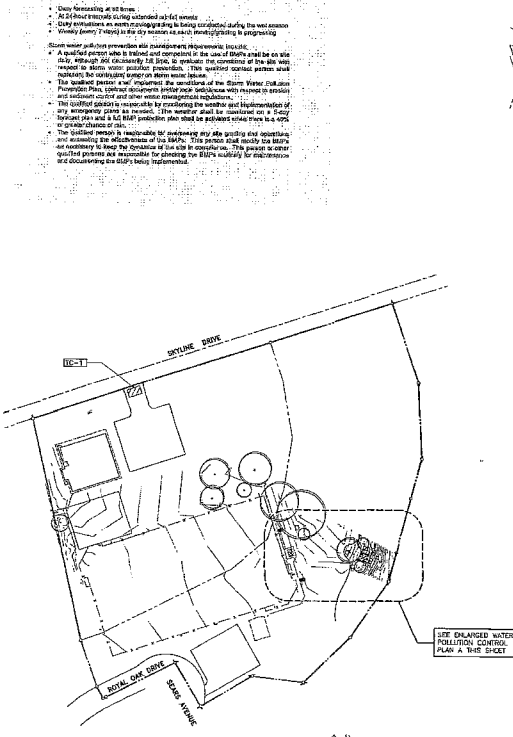
- To ensure that the construction site is responsible for managing stormwater runoff to meet the SWMP and SWMPA requirements.
- To ensure that stormwater BMPs are properly installed and maintained and are functioning as intended.
- To identify maintenance (e.g., sediment removal) and record keeping.
- To ensure that the project proponent implements the stormwater management plan.

A well-maintained check dam, rolling dam, silt fence, sediment trap, or other stormwater management device, must be kept clean and ready for operation. If a stormwater management device is not functioning properly, it must be repaired or replaced as soon as possible. The project proponent must maintain a record of all stormwater management device inspections and repairs.

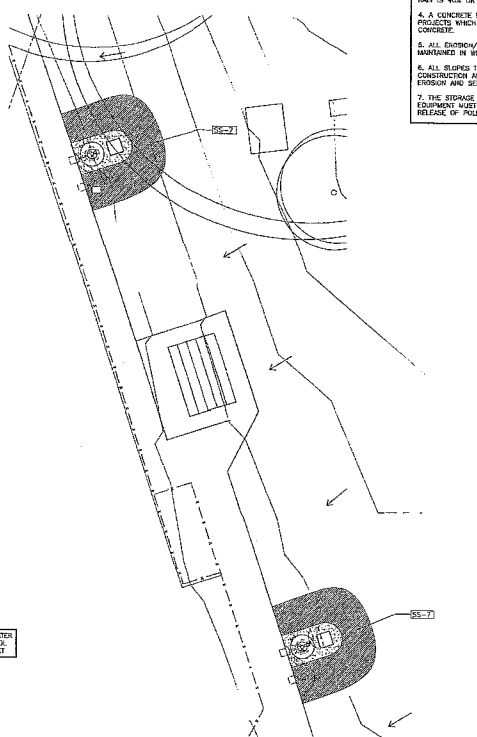
- Check dam inspection schedule:
  - At 24-hour intervals during extended dry (4-6) events.
  - Once per week as needed during the rainy season.
  - Weekly (every 7 days) in the dry season as needed during the rainy season.

Stormwater pollution prevention and management (SWPM) requirements include:
 

- A qualified person shall be trained and competent in the use of BMPs and shall be on site daily through all construction activities to ensure the correct use of the site and to ensure that stormwater pollution prevention (SWPPP) activities are properly implemented.
- The qualified person shall maintain the records of the Storm Water Pollution Prevention Plan (SWPPP) and other SWPM records and shall be available to the City of San Diego and the County of San Diego at all times.
- The qualified person shall be trained and competent in the use of BMPs and shall be on site daily through all construction activities to ensure the correct use of the site and to ensure that stormwater pollution prevention (SWPPP) activities are properly implemented.



**WATER POLLUTION CONTROL PLAN**  
SCALE: 1" = 10'-0"



**ENLARGED WATER POLLUTION CONTROL PLAN A**  
SCALE: 1" = 10'-0"

**STORM WATER QUALITY NOTES**  
CONSTRUCTION BMPs

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE FERTILIZER CONTROL REGULATION WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
2. SUFFICIENT BMPs SHALL BE INSTALLED TO PREVENT SILT AND OTHER CONSTRUCTION DEBRIS FROM BEING WASHED INTO THE ADJACENT SPECIFIED OR STORM WATER CONDUITANCE SYSTEMS DUE TO CONSTRUCTION ACTIVITIES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
3. ALL STOCK PILES OF UNPROTECTED SOIL AND/OR BUILDING MATERIALS THAT ARE SUBJECT TO BE LEFT UNCOVERED FOR A PERIOD LONGER THAN SEVEN (7) CALENDAR DAYS ARE TO BE PROTECTED WITH EROSION AND SEDIMENT CONTROL. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
4. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
5. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
6. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
7. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

- STANDARD LID BUILT:**
- (S1) GRANULAR SUBSEROUS (100:PORT)
  - (S2) GRANULAR SOIL COMPACTION IN LANDSCAPE AREA
  - (S3) SOIL AMENDMENT
- SOURCE CONTROL BMP:**
- NOT APPLICABLE
- CONSTRUCTION STORMWATER BMP:**
- (SC-1) DIRECTION OF LOT DRAINAGE
  - (SC-2) EROSION CONTROL BLANKET
  - (SC-3) MULCH, STRAW, WOOD CHIPS
  - (SC-4) PAPER ROLLS - FR
  - (SC-5) STABILIZED CONSTRUCTION PATHWAYS
  - (SC-6) NESTED DRAINAGE & STORAGE
  - (SC-7) CONCRETE WASTE MANAGEMENT
  - (SC-8) SOLID WASTE MANAGEMENT
  - (SC-9) SANITARY WASTE MANAGEMENT
  - (SC-10) HAZARDOUS WASTE MANAGEMENT
- SEEDING/LAND**

**IDENTIFY POLLUTANTS FROM THE PROJECT AREA:**

CONSTRUCTION - SEDIMENT - POTENTIAL  
 DEVELOPMENT - POTENTIAL  
 ORGANIC COMPOUNDS - N/A  
 TRACE & DISCRETE - ANTIMONY  
 OXYGEN DEMANDING SUBSTANCES - ANTICIPATED  
 BACTERIA & VIRUSES - N/A  
 PESTICIDES - POTENTIAL

**Booth & Suarez**  
ARCHITECTURE & ENGINEERING  
335 CARLSBAD VILLAGE DRIVE, SUITE 101  
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PREPARED FOR

**verizon wireless**

P.O. BOX 18707  
IRVINE, CA 92623-8707  
(949) 222-7000

---

PROJECT NAME

**SKYLINE HILLS**

8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114  
SAN DIEGO COUNTY

---

DRAWING DATES

09/09/11	30% TO (4)
09/30/11	100% TO (4)
12/02/11	REVISED 100% TO (4)
01/23/12	REVISED 100% TO (4)
01/24/12	REVISED 100% TO (4)
02/04/12	REVISED 100% TO (4)

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SHEET TITLE

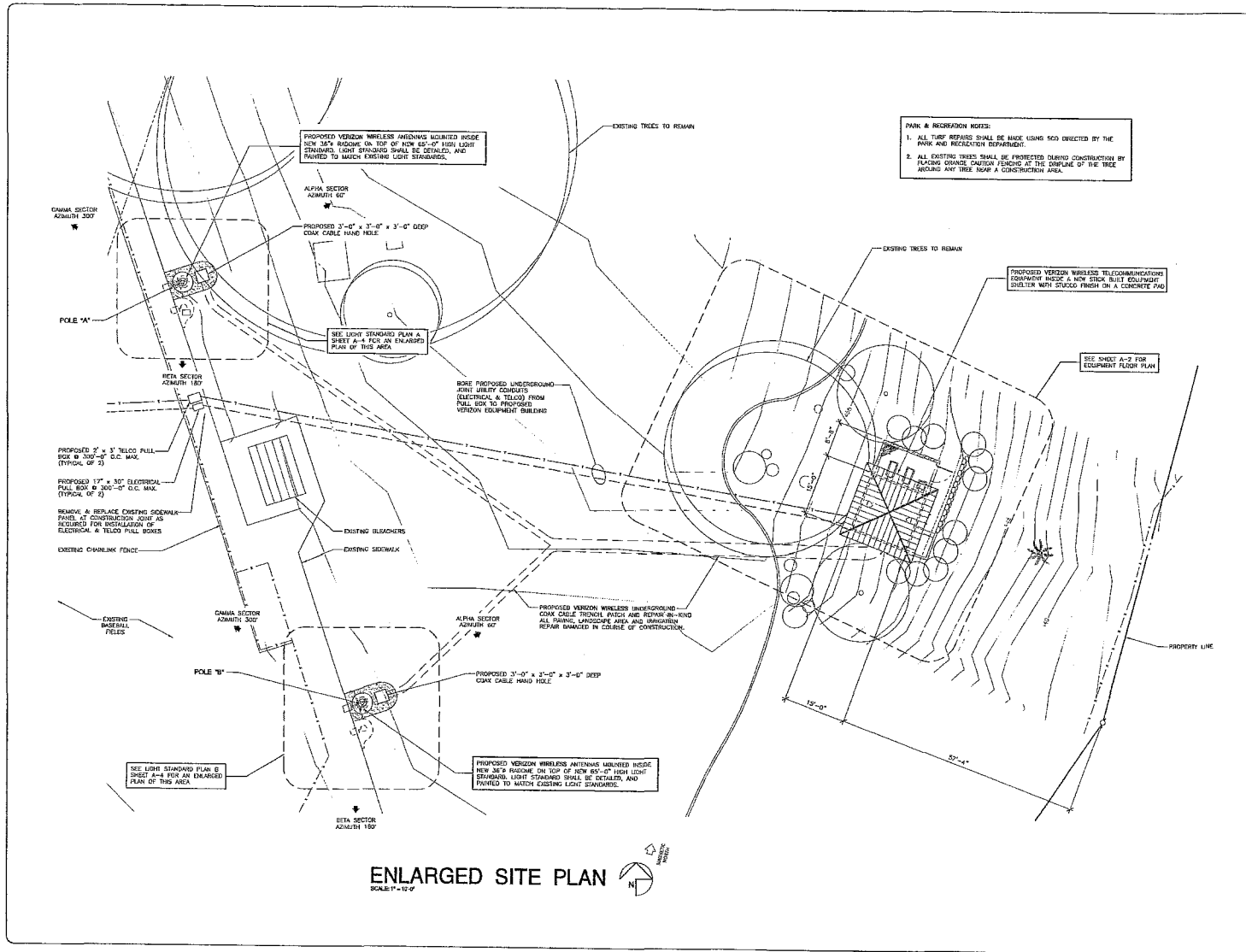
**WATER POLLUTION CONTROL PLAN & WATER POLLUTION CONTROL PLAN A**

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PROJ:EC15/VERZ01/11129

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**A-0.0**



**PARK & RECREATION NOTES:**

1. ALL TURF REPAIRS SHALL BE MADE USING SOO DIRECTED BY THE PARK AND RECREATION DEPARTMENT.
2. ALL EXISTING TREES SHALL BE PROTECTED DURING CONSTRUCTION BY PLACING ORANGE CAUTION FENCING AT THE DISPLINE OF THE TREE INCLUDING ANY TREE TUCKER A CONSTRUCTION AREA.

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 375 CARLETON PLACE SUITE 201  
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---

PREPARED FOR

VERIZON WIRELESS

P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 222-7000

---

APPROVALS

AKC	DATE
HL	DATE
RF	DATE
INT	DATE
EE/n	DATE
OPS	DATE
EA/OUT	DATE

---

PROJECT NAME

**SKYLINE HILLS**

8255 SKYLINE DRIVE  
 SAN DIEGO, CA 92114  
 SAN DIEGO COUNTY

---

DRAWING DATES

08/03/11	SOK TO (m)
08/26/11	ISSUE TO (m)
12/05/11	REVISED 100% TO (m)
01/23/12	REVISED 100% TO (m)
01/23/12	REVISED 100% TO (m)
03/06/12	REVISED 100% TO (m)

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SHEET TITLE

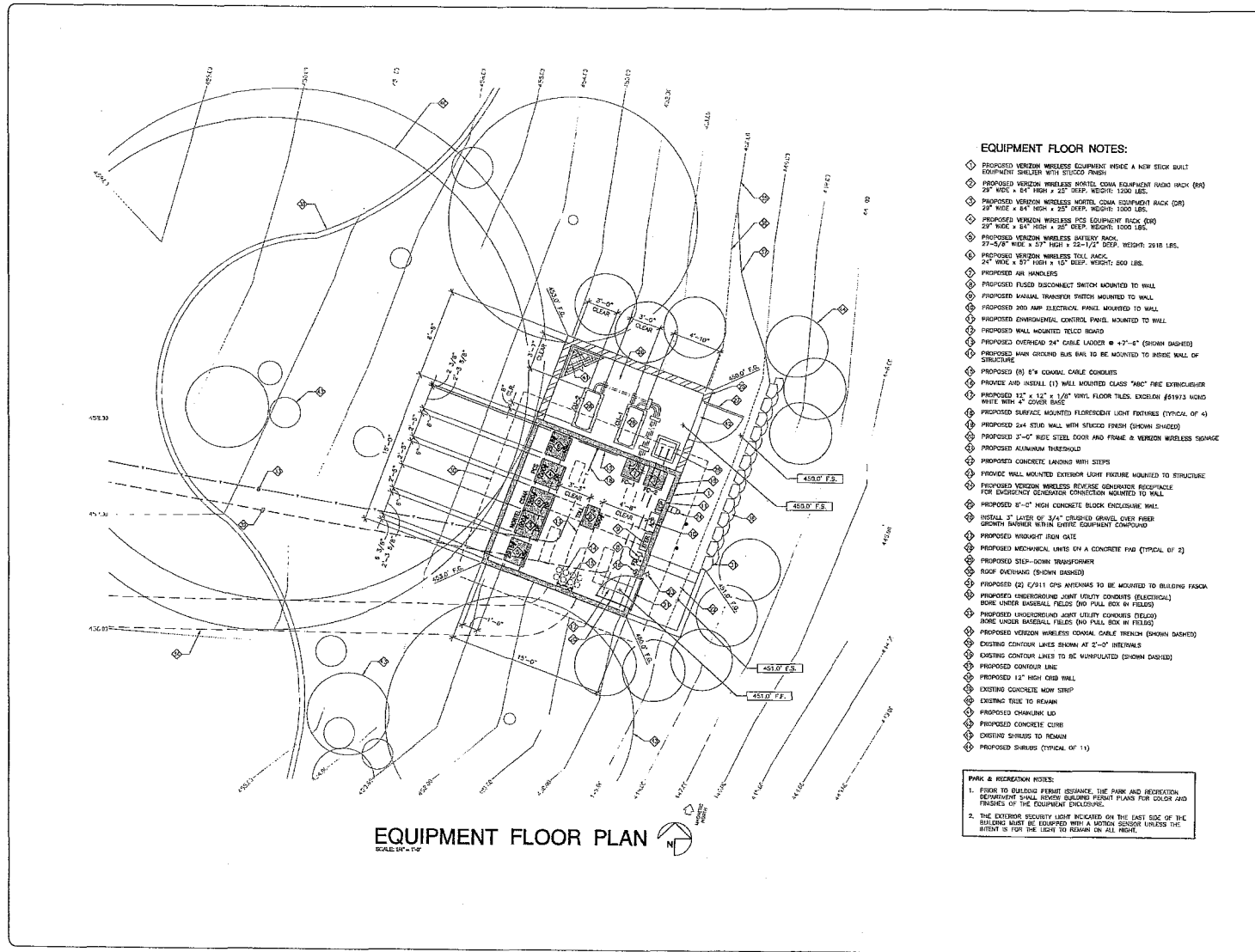
**ENLARGED SITE PLAN**

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PROJECT: VERIZON\11123

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**A-1**



**EQUIPMENT FLOOR NOTES:**

- ⊕ PROPOSED VERIZON WIRELESS EQUIPMENT WEDGE A NEW STICK BUILT EQUIPMENT SHELTER WITH STUCCO FINISH
- ⊕ PROPOSED VERIZON WIRELESS HOTEL COAX EQUIPMENT RACK (HR) 29" WIDE x 84" HIGH x 25" DEEP, WEIGHT: 1200 LBS.
- ⊕ PROPOSED VERIZON WIRELESS HOTEL COAX EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP, WEIGHT: 1000 LBS.
- ⊕ PROPOSED VERIZON WIRELESS PCS EQUIPMENT RACK (PR) 29" WIDE x 84" HIGH x 25" DEEP, WEIGHT: 1000 LBS.
- ⊕ PROPOSED VERIZON WIRELESS BATTERY RACK 27-5/8" WIDE x 57" HIGH x 22-1/2" DEEP, WEIGHT: 2010 LBS.
- ⊕ PROPOSED VERIZON WIRELESS TOLL JACK 24" WIDE x 57" HIGH x 10" DEEP, WEIGHT: 500 LBS.
- ⊕ PROPOSED AIR HANDLERS
- ⊕ PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- ⊕ PROPOSED BATTERY TRANSFER SWITCH MOUNTED TO WALL
- ⊕ PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- ⊕ PROPOSED ENVIRONMENTAL CONTROL PANEL MOUNTED TO WALL
- ⊕ PROPOSED WALL MOUNTED TELCO BOARD
- ⊕ PROPOSED OVERHEAD 24" CABLE LADDER @ +7'-6" (SHOWN DASHED)
- ⊕ PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO REAR WALL OF STRUCTURE
- ⊕ PROPOSED (8) 8" CONDUIT CABLE CONDUITS
- ⊕ PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- ⊕ PROPOSED 12" x 12" x 1/2" VINYL FLOOR TILES, EXCELLEN (#1973) MIMO WHITE WITH 4" COVER BASE
- ⊕ PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 4)
- ⊕ PROPOSED 2x4 STUD WALL WITH STUCCO FINISH (SHOWN SHUDD)
- ⊕ PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS STORAGE
- ⊕ PROPOSED ALUMINUM THRESHOLD
- ⊕ PROPOSED CONCRETE LANDING WITH STEPS
- ⊕ PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO STRUCTURE
- ⊕ PROPOSED VERIZON WIRELESS REVERSE GENERATOR REARSPACE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- ⊕ PROPOSED 8'-0" HIGH CONCRETE BLOCK ENCLOSURE WALL
- ⊕ INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARBER WITHIN ENTIRE EQUIPMENT COMPOUND
- ⊕ PROPOSED WINDUSET IRON GATE
- ⊕ PROPOSED MECHANICAL LIGHTS ON A CONCRETE PAD (TYPICAL OF 2)
- ⊕ PROPOSED STEP-DOWN TRANSFORMER
- ⊕ ROOF OVERHANG (SHOWN DASHED)
- ⊕ PROPOSED (2) 2/911 OPS ANTENNAS TO BE MOUNTED TO BUILDING FASCIA
- ⊕ PROPOSED UNDERGROUND JOINT UTILITY CONDUITS (ELECTRICAL) BORE UNDER BASEBALL FIELDS (NO PULL BOX IN FIELDS)
- ⊕ PROPOSED UNDERGROUND JOINT UTILITY CONDUITS (FIELD)
- ⊕ EXISTING UNDERGROUND UTILITY CONDUITS (SHOWN DASHED)
- ⊕ PROPOSED VERIZON WIRELESS COAXIAL CABLE TRENCH (SHOWN DASHED)
- ⊕ EXISTING CONTOUR LINES SHOWN AT 2'-0" INTERVALS
- ⊕ EXISTING CONTOUR LINES TO BE MANIPULATED (SHOWN DASHED)
- ⊕ PROPOSED CONTOUR LINE
- ⊕ PROPOSED 12" HIGH CHED WALL
- ⊕ EXISTING CONCRETE NOW STEP
- ⊕ EXISTING TUBE TO REMAIN
- ⊕ PROPOSED CHARLUMK LID
- ⊕ PROPOSED CONCRETE CURB
- ⊕ EXISTING SHURUBS TO REMAIN
- ⊕ PROPOSED SHURUBS (TYPICAL OF 1)

- PARK & RECREATION NOTES:**
1. PERMITS TO BUILDING PERMIT INSURANCE, THE PARK AND RECREATION DEPARTMENT SHALL REVIEW BUILDING PERMIT PLANS FOR COLOR AND FINISHES OF THE EQUIPMENT ENCLOSURE.
  2. THE EXTERIOR SECURITY LIGHT INDICATED ON THE EAST SIDE OF THE BUILDING MUST BE EQUIPPED WITH A MOTION SENSOR UNLESS THE INTENT IS FOR THE LIGHT TO REMAIN ON ALL NIGHT.

**Booth & Suarez & Co.**  
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(949) 222-7000

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APPROVALS

ABC	DATE
BE	DATE
WF	DATE
INT	DATE
EL/IN	DATE
OPS	DATE
TECH/IT	DATE

---

PROJECT NAME

**SKYLINE HILLS**

8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114  
SAN DIEGO COUNTY

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DRAWING DATES

09/09/11	R001 2D (RM)
09/20/11	R002 2D (RM)
12/05/11	REVISED 100K 2D (RM)
01/23/12	REVISED 100K 2D (RM)
01/24/12	REVISED 100K 2D (RM)
03/05/12	REVISED 100K 2D (RM)

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SHEET TITLE

**EQUIPMENT FLOOR PLAN**

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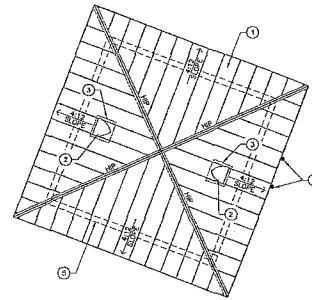
PROJECT NUMBER

PROJECTS\VERIZON\11123

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**A-2**



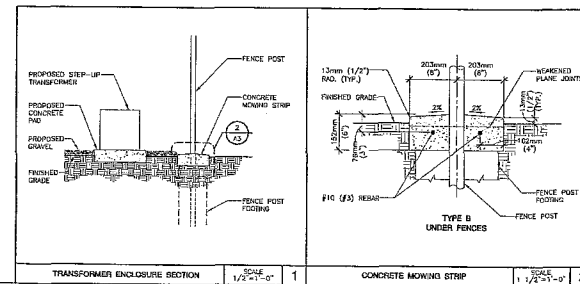


**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**ROOF PLAN NOTES:**

- ① PROPOSED DOWNPIPE SEAM METAL ROOF
- ② PROPOSED ROOFER ROOF VENT (TYPICAL OF 4)
- ③ PROPOSED "WALCON" SUB BASE FLASHING WITH SHARDLESS STEEL MESH
- ④ PROPOSED (2) EMT/CPS ANTENNAS MOUNTED TO FABRIC WALL
- ⑤ OUTLINE OF WALL BELOW (SHOWN DASHED)



**Booth & Suarez**  
ARCHITECTURAL INC. INCORPORATED  
255 CALLEBRO PUEBLO DRIVE, SUITE 201  
CALLEBRO, CA 92008 TEL: 619-441-0474



PREPARED FOR



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IRVINE, CA 92618-9707  
(949) 222-7000

APPROVALS

ASC	DATE
RE	DATE
RF	DATE
RI	DATE
EE/AN	DATE
OPS	DATE
CA/CUR	DATE

PROJECT NAME

**SKYLINE HILLS**

8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114  
SAN DIEGO COUNTY

DRAWING DATES

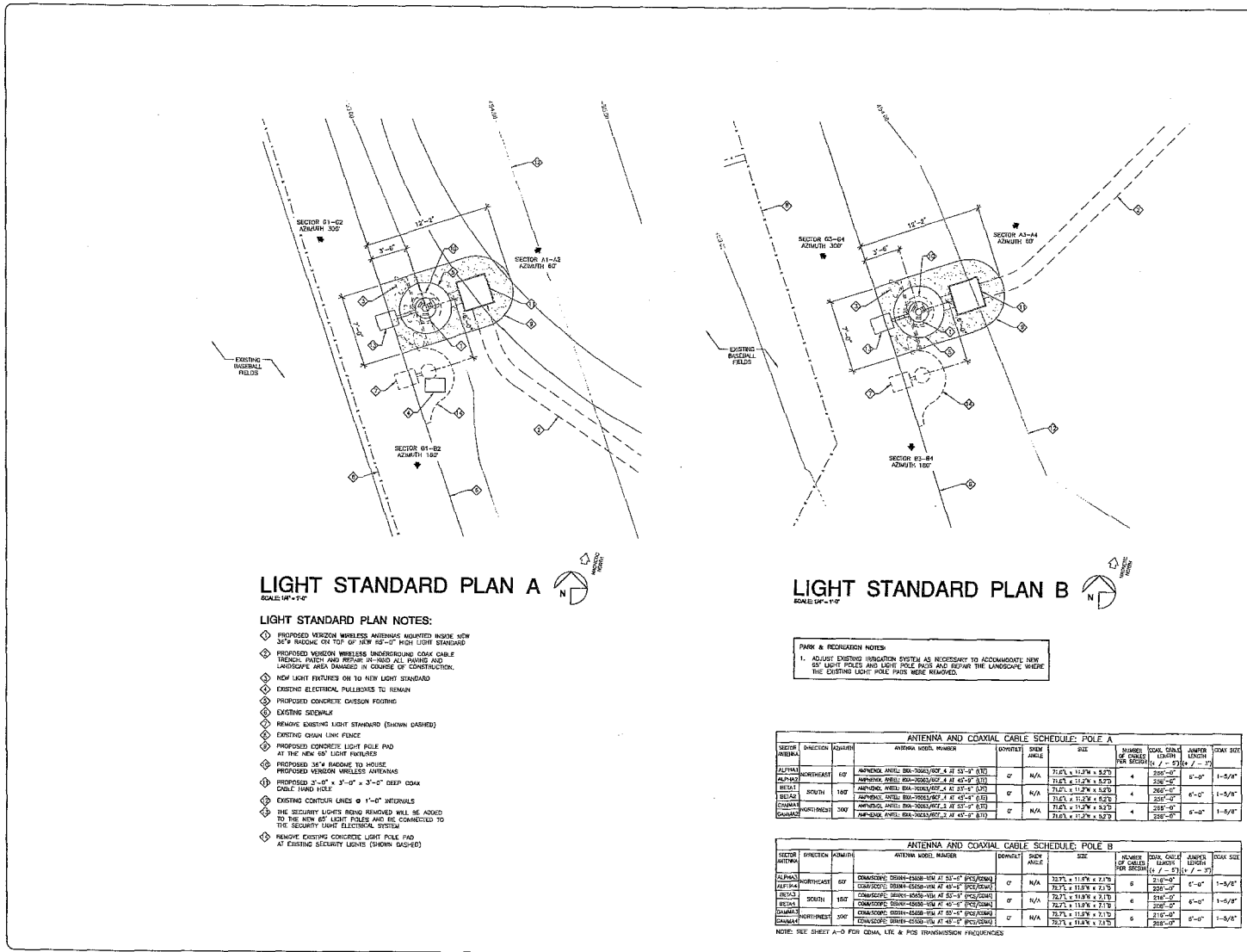
09/08/11	SKC 2D (m)
09/28/11	100K 2D (m)
12/02/11	REVISED 100K 2D (m)
01/23/12	REVISED 100K 2D (m)
01/24/12	REVISED 100K 2D (m)
03/05/12	REVISED 100K 2D (m)

SHEET TITLE

**ROOF PLAN**

PROJECTS\VERIZON\11129

**A-3**



**LIGHT STANDARD PLAN A**  
SCALE: 1/4" = 1'-0"

**LIGHT STANDARD PLAN B**  
SCALE: 1/4" = 1'-0"

**LIGHT STANDARD PLAN NOTES:**

- ◆ PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE NEW 36" RADIUS ON TOP OF NEW 65'-0" HIGH LIGHT STANDARD
- ◆ PROPOSED VERIZON WIRELESS UNDERGROUND COAX CABLE TRENCH, ENTRY AND RETURN (SHOWN ALL PAVED AND LANDSCAPE AREA DAMAGED IN COURSE OF CONSTRUCTION)
- ◆ NEW LIGHT FIXTURES ON TO NEW LIGHT STANDARD
- ◆ EXISTING ELECTRICAL PULLBOXES TO REMAIN
- ◆ PROPOSED CONCRETE GROUND FOOTING
- ◆ EXISTING SIDEWALK
- ◆ REMOVE EXISTING LIGHT STANDARD (SHOWN DASHED)
- ◆ EXISTING CHAIN LINK FENCE
- ◆ PROPOSED CONCRETE LIGHT POLE PAD AT THE NEW 65' LIGHT STANDARD
- ◆ PROPOSED 36" RADIUS TO HOUSE
- ◆ PROPOSED VERIZON WIRELESS ANTENNAS
- ◆ PROPOSED 3'-0" x 3'-0" x 3'-0" DEEP COAX CABLE TRENCH
- ◆ EXISTING CONTOUR LINES @ 1'-0" INTERVALS
- ◆ THE SECURITY LIGHTS BEING REMOVED WILL BE ADDED TO THE NEW 65' LIGHT POLES AND BE CONNECTED TO THE SECURITY LIGHT ELECTRICAL SYSTEM
- ◆ REMOVE EXISTING CONCRETE LIGHT POLE PAD AT EXISTING SECURITY LIGHTS (SHOWN DASHED)

**PARK & RECREATION NOTES**  
1. ADJUST EXISTING IRRIGATION SYSTEM AS NECESSARY TO ACCOMMODATE NEW 65' LIGHT POLES AND LIGHT POLE PADS AND REPAIR THE LANDSCAPE WHERE THE EXISTING LIGHT POLE PADS WERE REMOVED.

**ANTENNA AND COAXIAL CABLE SCHEDULE: POLE A**

SECTOR	DIRECTION	ANTENNA MODEL NUMBER	HEIGHT	SWAY ANGLE	SIZE	NUMBER OF COAXIAL PER SECTOR	MAX. CABLE LENGTH (ft / - 37)	ANTENNA LENGTH	COAX SIZE
ALPHA	NORTHEAST	AMP/SEC ANTENNA-VERIZON-4 AT 55'-0" (375)	0'	N/A	21.6" x 11.2" x 3.75"	4	205'-0"	6'-0"	1-5/8"
BETA1	SOUTH	AMP/SEC ANTENNA-VERIZON-4 AT 21'-0" (125)	0'	N/A	21.6" x 11.2" x 3.75"	4	205'-0"	6'-0"	1-5/8"
BETA2	SOUTH	AMP/SEC ANTENNA-VERIZON-4 AT 15'-0" (75)	0'	N/A	21.6" x 11.2" x 3.75"	4	205'-0"	6'-0"	1-5/8"
GAMMA	NORTHWEST	AMP/SEC ANTENNA-VERIZON-4 AT 45'-0" (175)	0'	N/A	21.6" x 11.2" x 3.75"	4	205'-0"	6'-0"	1-5/8"

**ANTENNA AND COAXIAL CABLE SCHEDULE: POLE B**

SECTOR	DIRECTION	ANTENNA MODEL NUMBER	HEIGHT	SWAY ANGLE	SIZE	NUMBER OF COAXIAL PER SECTOR	MAX. CABLE LENGTH (ft / - 37)	ANTENNA LENGTH	COAX SIZE
ALPHA	NORTHEAST	COMPOSITE ORBIT-VERIZON-4 AT 55'-0" (375) (P2/2/2/2)	0'	N/A	22.7" x 11.8" x 3.75"	6	216'-0"	6'-0"	1-5/8"
BETA1	SOUTH	COMPOSITE ORBIT-VERIZON-4 AT 21'-0" (125) (P2/2/2/2)	0'	N/A	22.7" x 11.8" x 3.75"	6	216'-0"	6'-0"	1-5/8"
BETA2	SOUTH	COMPOSITE ORBIT-VERIZON-4 AT 15'-0" (75) (P2/2/2/2)	0'	N/A	22.7" x 11.8" x 3.75"	6	216'-0"	6'-0"	1-5/8"
GAMMA	NORTHWEST	COMPOSITE ORBIT-VERIZON-4 AT 45'-0" (175) (P2/2/2/2)	0'	N/A	22.7" x 11.8" x 3.75"	6	216'-0"	6'-0"	1-5/8"

NOTE: SEE SHEET A-0 FOR CABLE, LFE & PDS TRANSMISSION FREQUENCIES

**Booth & Suarez**  
ARCHITECTURE INCORPORATED  
101 CALLE SAN VICENTE DRIVE, SUITE 20  
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PREPARED FOR  
**verizon wireless**

P.O. BOX 18707  
IRVINE, CA 92613-9707  
(949) 222-7000

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APPROVALS

ARC	DATE
RE	DATE
RF	DATE
DT	DATE
DE/AR	DATE
OPS	DATE
EL/OUT	DATE

---

PROJECT NAME  
**SKYLINE HILLS**

5285 SKYLINE DRIVE  
SAN DIEGO, CA 92114  
SAN DIEGO COUNTY

---

DRAWING DATES

09/09/11	50% CD (64)
09/20/11	50% CD (64)
12/05/11	REVISION 1 (64) CD (64)
01/23/12	REVISION 100% CD (64)
01/24/12	REVISION 100% CD (64)
03/06/12	REVISION 100% CD (64)

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SHEET TITLE  
**LIGHT STANDARD PLANS**

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PROJECT NUMBER: VERZ01A11128

**A-4**

### SOUTH ELEVATION

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO THE TOP OF THE BUILDING. ANTENNAS TO BE INSTALLED AS SHOWN TO MATCH EXISTING LIGHT SHADOWING.

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO THE SIDE OF THE BUILDING. ANTENNAS TO BE INSTALLED AS SHOWN TO MATCH EXISTING LIGHT SHADOWING.

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO THE SIDE OF THE BUILDING. ANTENNAS TO BE INSTALLED AS SHOWN TO MATCH EXISTING LIGHT SHADOWING.

### EAST ELEVATION

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO THE TOP OF THE BUILDING. ANTENNAS TO BE INSTALLED AS SHOWN TO MATCH EXISTING LIGHT SHADOWING.

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO THE SIDE OF THE BUILDING. ANTENNAS TO BE INSTALLED AS SHOWN TO MATCH EXISTING LIGHT SHADOWING.

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO THE SIDE OF THE BUILDING. ANTENNAS TO BE INSTALLED AS SHOWN TO MATCH EXISTING LIGHT SHADOWING.

**ELEVATION NOTES:**

- 1. TOP OF PROPOSED LIGHT STANDING
- 2. PROPOSED STANDING SIGN ABOUT 100'
- 3. PROPOSED SIGNING BODY HEIGHT (TYPICAL, OR 3')
- 4. PROPOSED SIGNING BODY HEIGHT (TYPICAL, OR 3')
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- 98. PROPOSED SIGNING BODY HEIGHT (TYPICAL, OR 3')
- 99. PROPOSED SIGNING BODY HEIGHT (TYPICAL, OR 3')
- 100. PROPOSED SIGNING BODY HEIGHT (TYPICAL, OR 3')

THE SIGNING BODY HEIGHT (TYPICAL, OR 3') WILL BE ADJUSTED TO MATCH THE EXISTING LIGHT SHADOWING.

**APPROVALS**  
 DATE \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE \_\_\_\_\_ DATE \_\_\_\_\_  
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 DATE \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE \_\_\_\_\_ DATE \_\_\_\_\_  
 DATE \_\_\_\_\_ DATE \_\_\_\_\_

**VERIZON wireless**  
 P.O. BOX 49577  
 IRVINE, CA 92617-5717  
 (949) 222-7000

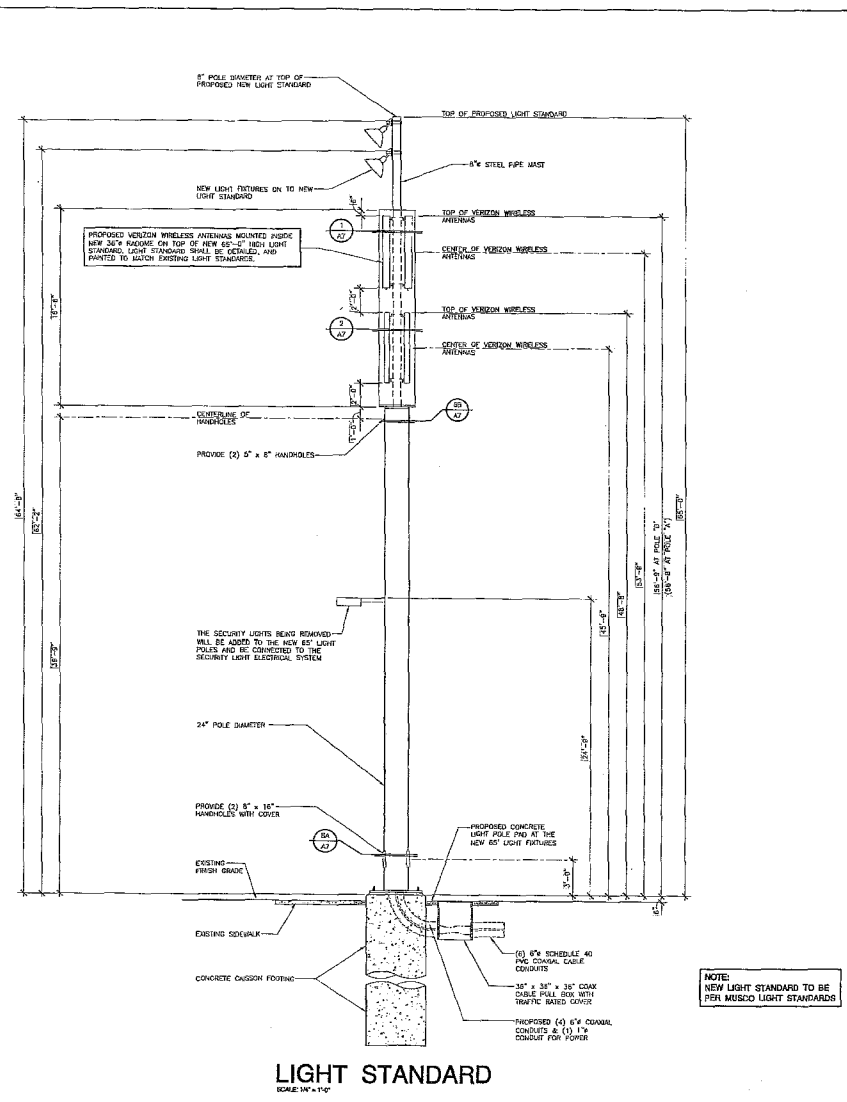
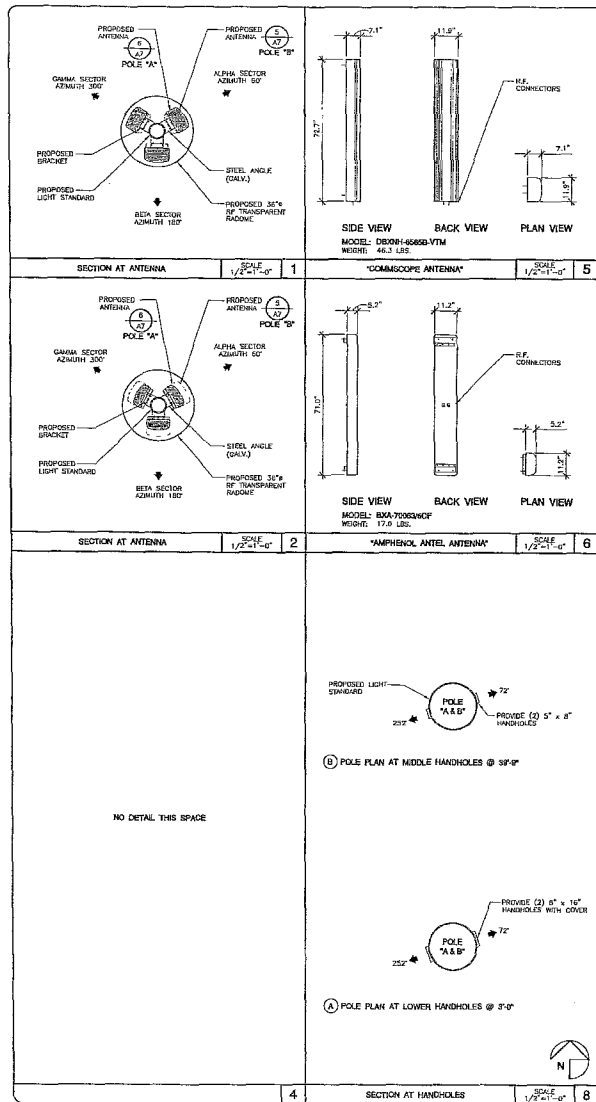
**Booth & Staley**

ARCHITECTURE 44 HOOVERWAY  
 24 GARDEN PARK BLVD, SUITE 150  
 CAROLINA, NC 28004

PROJECT: VERIZON WIRELESS  
 SHEET TITLE: EXTERIOR ELEVATIONS  
 SHEET NUMBER: A-5

DRAWING DATES: 08/20/11, 09/27/11, 11/05/11, 11/20/11, 01/24/12, 02/29/12  
 DESIGNED: [Name], DATE: [Date]  
 CHECKED: [Name], DATE: [Date]  
 DRAWN: [Name], DATE: [Date]





**Booth & Suarez**  
ARCHITECTURE INCORPORATED  
255 CALLETA VILLAGE DRIVE, SUITE 201  
CALIFORNIA, CA 92008 (760) 434-8374

PREPARED FOR  
**verizon wireless**

P.O. BOX 19787  
IRVINE, CA 92619-9787  
(949) 222-7000

APPROVALS

ARC	DATE
RE	DATE
RF	DATE
RHT	DATE
EL/IN	DATE
OPS	DATE
EL/OUT	DATE

PROJECT NAME  
**SKYLINE HILLS**

8285 SKYLINE DRIVE  
SAN DIEGO, CA 92114  
SAN DIEGO COUNTY

DRAWING DATES

09/09/11	REVISED 1000 TO (M)
09/20/11	1000 TO (M)
12/05/11	REVISED 1600 TO (M)
01/23/12	REVISED 1600 TO (M)
01/24/12	REVISED 1600 TO (M)
03/06/12	REVISED 1500 TO (M)

SHEET TITLE  
**LIGHT STANDARD ELEVATION & DETAILS**

PROJECT: VERIZON\11128

**A-7**

**Booth & Suarez**  
 ARCHITECTURE INC. INCORPORATED  
 325 CALLEJON VILLAGE DRIVE, SUITE 92  
 CHULA VISTA, CA 92008 (619) 424-8474

PREPARED FOR  
  
 P.O. BOX 19707  
 RIVIE, CA 92623-9707  
 (645) 222-7000

APPROVALS

ARC	DATE
KE	DATE
RF	DATE
INT	DATE
FE/IN	DATE
GFS	DATE
FE/OUT	DATE

PROJECT NAME  
**SKYLINE HILLS**  
 8285 SKYLINE DRIVE  
 SAN DIEGO, CA 92114  
 SAN DIEGO COUNTY

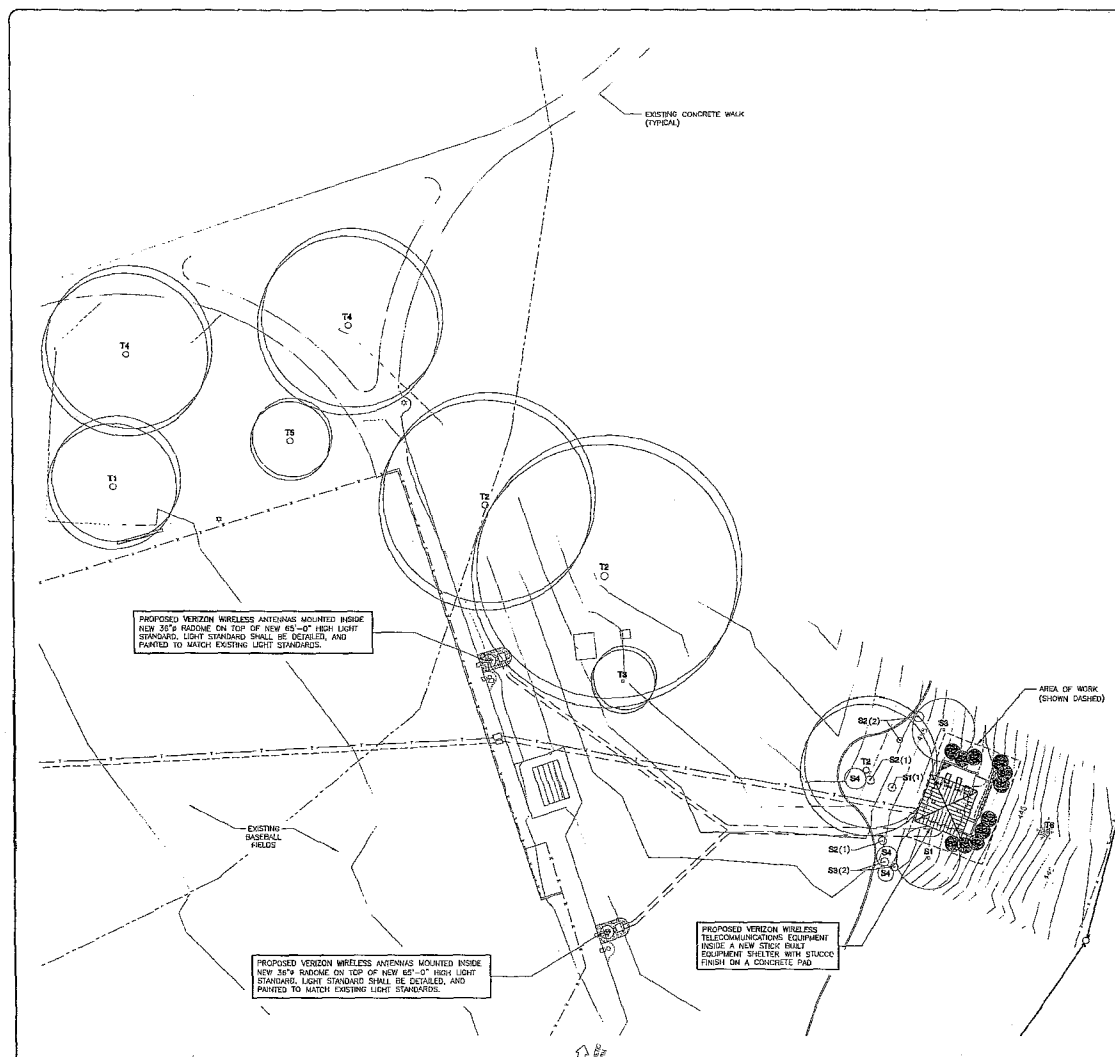
DRAWING DATES

09/09/11	WORK 2D (4)
09/20/11	100% 2D (5)
12/05/11	REVISED 100% 2D (6)
01/23/12	REVISED 100% 2D (6)
01/24/12	REVISED 100% 2D (6)
03/06/12	REVISED 100% 2D (6)

SHEET TITLE  
**LANDSCAPE DEVELOPMENT PLAN**

PROJECT: SKYLINEHILLS1129

**L-1**



**LANDSCAPE DEVELOPMENT PLAN**  
 SCALE: 1" = 30'-0"

- LANDSCAPE NOTES:**
- AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT, TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION.
  - FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH.

SYMBOL	BOTANICAL NAME	JAPANESE NAME	SHRUB	EXISTING	QUANTITY	HEIGHT & SPREAD
S8	XYSOBA CONGESTUM	JAPANESE XYLOSMA	SHRUB	EXISTING	3	10'-0" HEIGHT 15'-0" SPREAD
S4	ACADA MELANODYLON	BLACKWOOD	SHRUB	EXISTING	3	55'-0" HEIGHT 35'-0" SPREAD
	CHARISA MACROCARPA	NATAL PLUM	SHRUB	5 GALLON	11	7'-0" HEIGHT 10'-0" SPREAD

**PLANTING NOTES**

- DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAVE EXCAVATOR AS REQUIRED.
- TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY COVERAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
- ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 2' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT SHALL BE UNACCEPTABLE.
- TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
- ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MULCH.
- PLANTING INSTALLATION SYSTEMS:  
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
- PLANTING MAINTENANCE SYSTEMS:  
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
- MINIMUM TREE SEPARATION DISTANCES:  
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:  
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF WEEDS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPLACED AND/OR REPAIRED IN KIND AND EQUIVALENT SIZE FOR THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
- IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE BRANCH) ARE REMOVED OR SIGNIFICANTLY DAMAGED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.

**WATER CONSERVATION NOTES**

- ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
- PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
- LANDSCAPE FINISH DRAINAGE OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
- ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRINKLERS.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
- SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS MAY CAUSE OVER-SPRAY, FLOODING, OR RUN-OFF SHALL BE ELIMINATED, ADJUST SYSTEM TO AVOID THESE CONDITIONS.
- BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE POONDING, RUN-OFF, OVER-SPRAY AND WASTING.
- IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
- NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
- AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	FORM / FUNCTION	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
T1	EUCALYPTUS GONALONDIENSIS	RED RIVER GUM	TREE	EXISTING	1	50'-0" HEIGHT 40'-0" SPREAD
T2	EUCALYPTUS NICHOLII	WILLOW LEAF EUCALYPTUS	TREE	EXISTING	2	50'-0" HEIGHT 20'-0" SPREAD
T3	PINUS TRANSBERRANA	JAPANESE BLACK PINE	TREE	EXISTING	1	80'-0" HEIGHT 40'-0" SPREAD
T4	FRAXINUS UNICO	EVERGREEN ASH	TREE	EXISTING	2	50'-0" HEIGHT 40'-0" SPREAD
T5	CORYUS ATLANTICA YUKONICA	BLUE ARJAS CEDAR	TREE	EXISTING	1	60'-0" HEIGHT 40'-0" SPREAD
T6	NYSSINONIA FULGIDA	CALIFORNIA FAN PALM	TREE	EXISTING	1	60'-0" HEIGHT 15'-0" SPREAD
S1	HYPOPHORUM LAETUM	COAST HYPOPHORUM	SHRUB	EXISTING	2	50'-0" HEIGHT 30'-0" SPREAD
S2	CHARISA MACROCARPA	NATAL PLUM	SHRUB	EXISTING	4	7'-0" HEIGHT 10'-0" SPREAD



**From:** Kerrigan Diehl [kerrigan.plancom@sbcglobal.net]  
**Sent:** Wednesday, May 02, 2012 3:03 PM  
**To:** Hempton, Alexander  
**Subject:** RE: Skyline Hills FAA

The Skyline-Paradise Hills Community Planning Committee voted 7-0-0 to approve the project as proposed. No changes were discussed or recommended. The Parks & Recreation comments in the Assessment letter have been fully addressed, therefore we did not find it further necessary to attend the Rec Council.



Ownership Disclosure Statement

As this project is located on City of San Diego property, an Ownership Disclosure Statement is not provided. However, a listing of Verizon Wireless executive leadership is provided below (as of 2/3/12).

Verizon Wireless – Executive Leadership



**Daniel S. Mead**  
President and CEO



**Shankar Arumugavelu**  
Chief Information Officer



**John Bianchi**  
Vice President - National Customer Service



**Marni Walden**  
Executive Vice President and Chief Operating Officer



**Marquett Smith**  
Vice President - Corporate Communications



**Joan T. Bowyer**  
Vice President - Midwest Area Customer Service



**Margaret Feldman**  
Vice President - Business Development



**Nancy Clark**  
President - Northeast Area



**Eileen M. Creeden**  
Vice President - Northeast Area Customer Service



**Andrew Davies**  
Vice President and Chief Financial Officer



**Ken Dixon**  
President - Midwest Area



**Charlie Falco**  
Vice President - South Area Customer Service



**M. Alan Gardner**  
Vice President - Human Resources



**Roger Tang**  
President - South Area



**Andrés Irlando**  
Vice President - West Area Customer Service



**David Small**  
Vice President and Chief Technical Officer



**Greg Haller**  
President - West Area



**Brian Stacy**  
Vice President - Business Service Centers & Government Support



**William B. Petersen**  
Vice President - General Counsel and Secretary



**Mark Bartolomeo**  
Vice President - Global Enterprise Sales



**Tami Erwin**  
Vice President and Chief Marketing Officer



**Christopher Felix**  
Vice President - Federal Government Sales

## Project Chronology

Verizon Skyline Hills – Project No. 266550

Date	Action	Description	City Review Time	Applicant Response Time
1/27/2012	First Submittal	Project Deemed Complete		
3/5/2012	First Assessment Letter		38	
3/8/2012	Second Submittal			3
3/16/2012	Second Assessment Letter		8	
5/2/2012	Third Submittal			47
5/8/2012	All issues resolved		6	
7/12/2012	Public Hearing – Planning Commission		65	
TOTAL STAFF TIME			117	
TOTAL APPLICANT TIME				50
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	167 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: June 27, 2012

# NOTICE OF PUBLIC HEARING PLANNING COMMISSION

**DATE OF HEARING:** July 12, 2012  
**TIME OF HEARING:** 9:00 A.M.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
 202 C Street, San Diego, California 92101

**PROJECT TYPE:** CONDITIONAL USE PERMIT and PLANNED  
 DEVELOPMENT PERMIT, PROCESS 4

**PROJECT NUMBER:** 266550  
**PROJECT NAME:** VERIZON – SKYLINE HILLS  
**APPLICANT:** KERRIGAN DIEHL, PLANCOM, INC., AGENTS  
 REPRESENTING VERIZON WIRELESS

**COMMUNITY PLAN AREA:** Skyline-Paradise Hills  
**COUNCIL DISTRICT:** 4

**CITY PROJECT MANAGER:** Alex Hempton, Associate Planner  
**PHONE NUMBER/E-MAIL:** (619) 446-5349 / [ahempton@sandiego.gov](mailto:ahempton@sandiego.gov)

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Conditional Use Permit (CUP) and Planned Development Permit (PDP) for a Wireless Communication Facility (WCF). This project proposes to construct two (2) 65-foot high light standards, supporting a total of twelve (12) panel antennas, and an above-ground equipment enclosure. The project is located in the Skyline Hills Community Park at 8285 Skyline Drive in the OP-1-1 zone.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the office of the City Clerk, 202 "C" Street,

Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on 5/7/12 and the opportunity to appeal that determination ended 5/29/12.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24002400

Revised 7-27-11 HMD



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## PHOTO STUDY & KEY MAP

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PROPOSAL TO ESTABLISH AND OPERATE A  
NEW DIGITAL PCS  
COMMUNICATIONS FACILITY

**Verizon Wireless**  
**"Skyline Hills"**  
8285 Skyline Drive  
San Diego, CA 92114

Prepared for:  
**City of San Diego**  
**Development Services Department**  
1222 First Avenue  
San Diego, CA 92101

Prepared by:

**PlanCom, Inc.**  
*Contractor Representatives for*  
**Verizon Wireless**

302 State Place  
Escondido, CA 92029  
Contact: Shelly Kilbourn, Planning Consultant  
(619) 223-1357

December 14, 2011



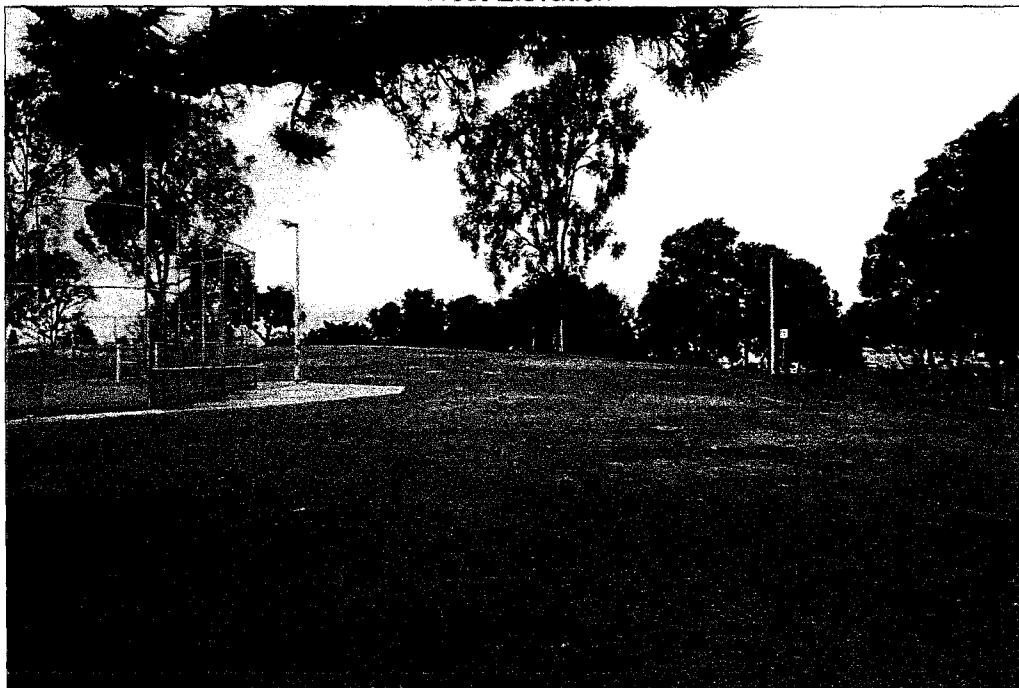
North Elevation



South Elevation



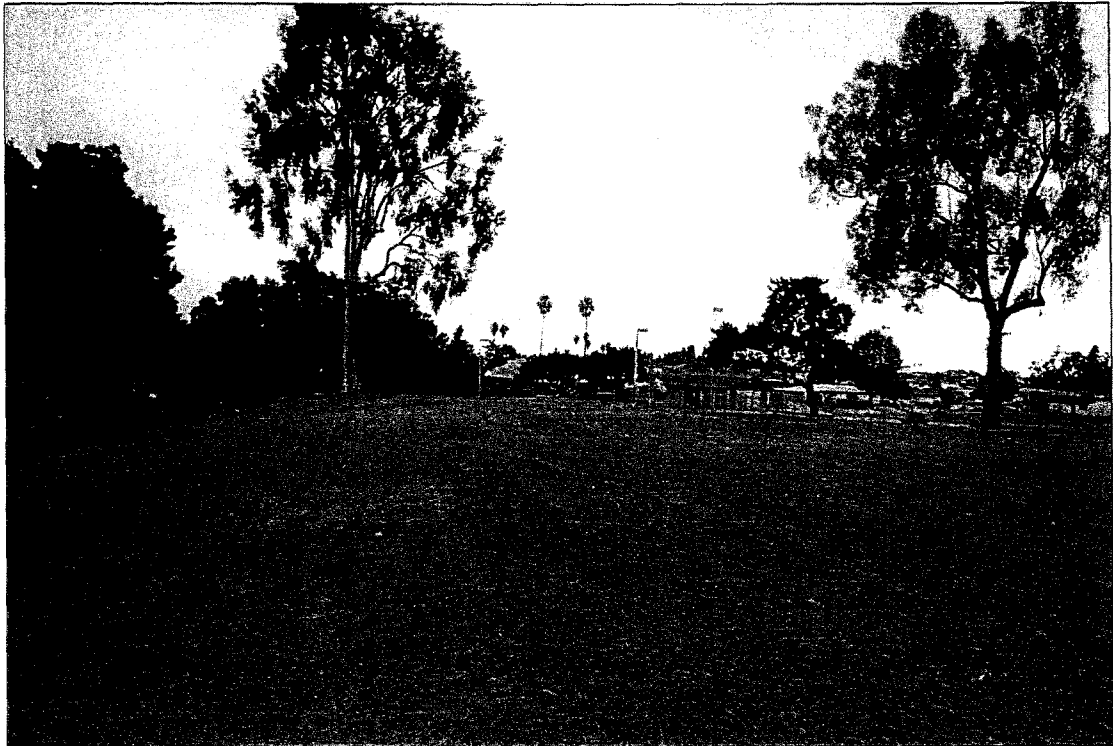
West Elevation



View East

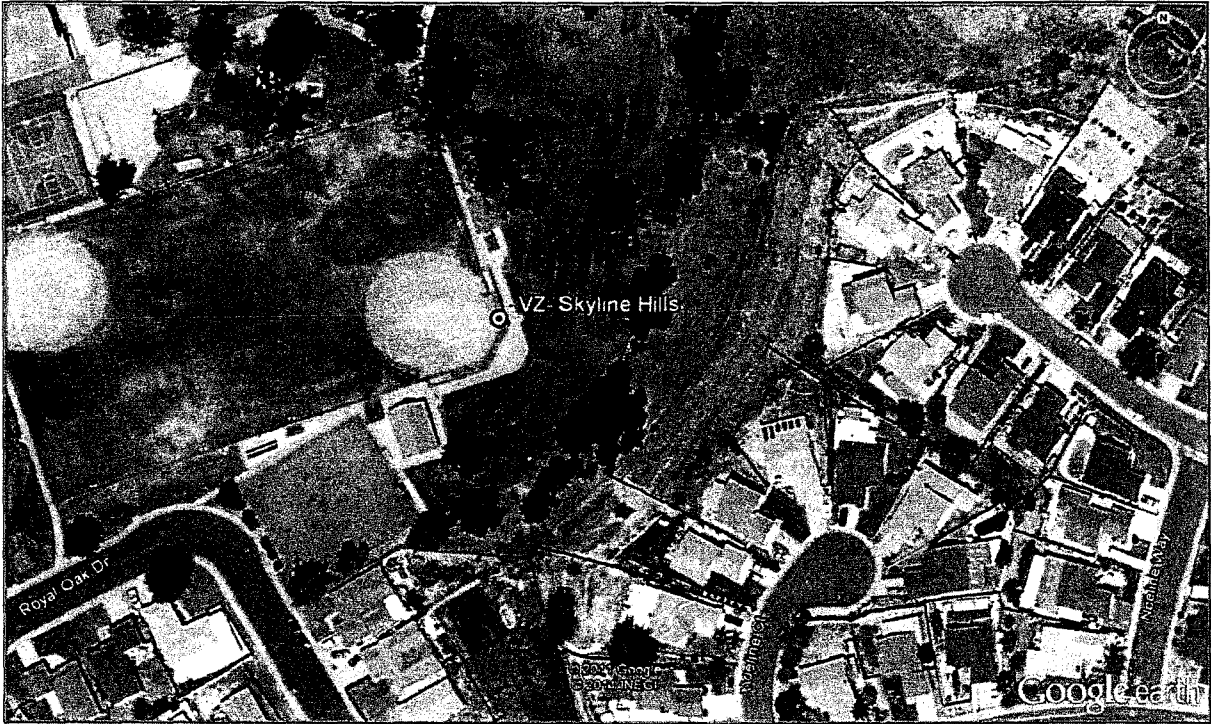


View North



View South





Aerial View of Subject Site

**DATE ISSUED:** July 5, 2012

**REPORT NO. PC-12-063**

**ATTENTION:** Planning Commission, Agenda of July 12, 2012

**SUBJECT:** Verizon – Skyline Hills - PROJECT NO. 266550. PROCESS 4.

**OWNER/  
APPLICANT:** CITY OF SAN DIEGO/  
VERIZON WIRELESS

**SUMMARY**

**Issue(s):** Should the Planning Commission approve a Wireless Communication Facility (WCF) at 8285 Skyline Drive, within the Skyline Hills Community Park, in the Skyline-Paradise Hills community plan area?

**Staff Recommendation:** APPROVE Conditional Use Permit No. 937861 and Planned Development Permit No. 992269.

**Community Planning Group Recommendation:** The Skyline-Paradise Hills Planning Committee voted 7-0-0 to recommend approval of this project at their March 15, 2012 meeting. Plans were also distributed to the Recreation Council for this park, however no comments were received and a formal presentation was not made.

**Environmental Review:** This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 7, 2012, and the opportunity to appeal that determination ended May 29, 2012.

**Fiscal Impact Statement:** Verizon Wireless is the Financially Responsible Party responsible for costs associated with the processing of this application.

**Code Enforcement Impact:** Not applicable.

**Housing Impact Statement:** Not applicable.