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gruber residence

3434 on jennings street
point loma, california 92106

JULY 20, 2009

ATTACHMENT 8

b m
studio

susan
bachand-morone
designer

albert dan morone
designer

1552 tobyn road
escondido, ca 92025
760.294.7122
760.294.7148 fax
bmstudio@cox.net

NEIGHBORHOOD (PROCESS 2) & COASTAL DEVELOPMENT PACKAGE

gruber
residence

3434 jennings street
Point Loma, ca 92106

Date	Reason
07.23.07	progress set
08.22.07	progress set
09.21.07	progress set
09.28.07	cdp review
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03.02.09	cdp review
07.20.09	cdp review

Job No.

Sheet Title

**COVER
SHEET**

Sheet No.

T-1.0
Sequence

1 of 17
gruber residence

directory	building data	project data	sheet index
<p>OWNER</p> <p>allen gruber & lori-diane donner 2835 camino del rio l, suite 230 san diego, ca 92108 619-488-2141 office</p> <p>DESIGNERS & ELECTRICAL</p> <p>bm studio susan bachand-morone albert dan morone 1552 tobyn road escondido, ca 92025 760.294.7122 office 760.294.7190 fax</p> <p>STRUCTURAL</p> <p>dada and associates jerry l. dada, p.e. 2020 hawcock st. ste b san diego, ca 92110 ph#: 619.260.0057 fax: 619.260.0046</p> <p>CIVIL ENGINEER</p> <p>christensen engineering & surveying cortney k. christensen 7888 silverton avenue, ste. j san diego, ca 92126 ph: 858.271.9901 office fax: 858.271.8912 fax</p> <p>GENERAL CONTRACTOR</p> <p>to be selected</p>	<p>ZONING: RS-1-7 CLIMATE ZONE: ZONE 7 TOTAL SITE SQUARE FOOTAGE: 3,760 SQ. FT. BUILDING SQUARE FOOTAGE: 2,398 SQ. FT. OCCUPANCY: RESIDENTIAL CONSTRUCTION TYPE: TYPE V, NON-RATED BUILDING HEIGHT: MAXIMUM 30'-0", PROPOSED 29'-10" FLOOR TO AREA RATIO: .65 MAX. (ACTUAL = .63) SETBACKS: REQUIRED: FRONT: 15'-0" PROPOSED: FRONT: 15'-8" SIDE YARDS: 3'-0" SIDE YARDS: 3'-0" REAR: 15'-3" REAR: 21'-0" FROM CENTER OF LOT</p>	<p>ASSESSORS PARCEL NUMBER: APN 593-531-03-00</p> <p>PROJECT ADDRESS: 3424 JENNINGS STREET POINT LOMA, CALIFORNIA 92106</p> <p>APPLICABLE CODES: TITLE 24 U.L.C. 2001 EDITION U.M.C. 2001 EDITION U.P.C. 2001 EDITION N.E.C. 2001 EDITION</p>	<p>T-1.0 COVER SHEET T-1.1 GENERAL NOTES</p> <p>CIVIL DESIGN</p> <p>C-1.0 PRELIMINARY GRADING PLAN</p> <p>BUILDING DESIGN</p> <p>A-0.1 SITE PLAN A-0.2 WINDOW/DOOR SCHEDULE A-1.0 MAIN HOUSE LOWER LEVEL FLOOR PLAN A-1.1 CARPORT OFFICE LOWER LEVEL FLOOR PLAN A-1.2 MAIN HOUSE UPPER LEVEL FLOOR PLAN A-1.3 CARPORT OFFICE UPPER LEVEL FLOOR PLAN A-1.4 MAIN HOUSE ROOF LEVEL FLOOR PLAN A-1.5 CARPORT OFFICE ROOF LEVEL FLOOR PLAN A-2.0 EXTERIOR ELEVATION - EAST & WEST SIDES A-2.1 EXTERIOR ELEVATION - NORTH & SOUTH SIDES A-2.2 EXTERIOR ELEVATION - CARPORT A-3.0 BUILDING SITE SECTIONS GFA-1.0 GROSS FLOOR AREA CALC.</p> <p>L-1.0 LANDSCAPE PLAN</p>
	project description	legal description	
	THE CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING ON VACANT LOT	Lot 36, block 15, Roseville Heights, in the City of San Diego, County of San Diego, State of California according to map hereof no. 423, filed in the office of the county recorder of San Diego County.	
	legend	vicinity map	
	<p>WALL TYPES</p> <p>EXISTING WALL NEW WALL NEW SOUND WALL</p> <p>GRID LINE SYMBOL: A</p> <p>DOOR TYPE: (D) WINDOW TYPE: (A) WALL TYPE: (A)</p> <p>ELEVATION SYMBOL: DETAIL: DETAIL NO. SHEET DRAWN: (I)</p> <p>ROOM NAME & NUMBER: ROOM NAME: BUILDING SECTION: SECTION LETTER SHEET DRAWN: (A, B, C)</p> <p>ELEVATION: "FL" "PL" WALL SECTION: SECTION NO. SHEET DRAWN: (A, B, C)</p>		



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albert dan maione designer

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Job No.

Sheet Title

GENERAL
NOTES

Sheet No.

T-1.1
Sequence

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of 17
gruber residence

- 1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO JOB A COMMENCEMENT.
- 2. ALL CONTRACTORS TO REPORT ANY CONFLICTS/ INCONSISTENCIES TO DESIGNER PRIOR TO PROCEEDING WITH WORK.
- 3. TO PROMOTE CLEAR COMMUNICATION IN THE FIELD, ALL QUESTIONS AND CLARIFICATIONS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF WORK AND RECORD CHANGES SHALL BE ISSUED IN WRITING ONLY.
- 4. ANY PROPOSED CHANGES TO THE JOB SET BY THE DESIGNER SHALL BE APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE TECHNICAL PROVISIONS OF THE CONTRACT WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. INSTANTaneous JCS ADVISE ARCHITECT PRIOR FOR ANY NETWORK OR APPLICATION USED BY THE CONTRACTOR FOR THE SAFETY ON THE JOB IN COMPLIANCE WITH THE LAWS AND REGULATIONS.
- 5. DO NOT SCALE DRAWINGS. DIMENSIONS PREVAIL OVER DIMENSIONS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- 6. ALL CHANGES TO BE APPROVED BY DESIGNER/OWNER. BUILDING DEPARTMENT BEFORE CHANGES ARE MADE.
- 7. OWNER SHALL PAY FOR BUILDING AND OTHER FEES AND SERVICE CONTRACTOR TO VERIFY DESIGN WITH ALL DOCUMENTS IN WHICH TO ALL APPROVALS FROM THE CITY OF SAN DIEGO.
- 8. WHERE NO DETAILS ARE SHOWN OR LOCATED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR ANY OTHER SIMILAR WORK OR AS DIRECTED BY THE DESIGNER OR AS DETERMINED BY ENGINEER.
- 9. ALL WORK UNDER ALL EXISTENCES SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE HIGHEST STANDARD OF PRACTICE RELATED TO THE TRADE INVOLVED, AND SHALL BE COMPLETE AND PROPERLY COORDINATED WITH ALL WORK ADJACENT OR RELATED TO IT.
- 10. IT IS THE INTENT OF THESE DOCUMENTS THAT THE WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL CITY, COUNTY, FEDERAL, STATE AND LOCAL ORDINANCES, RULES, REGULATIONS, CODES, ORDINANCES, FEES, TAXES, LABOR, MATERIAL, TOOL, CONNECTIONS, EQUIPMENT, CLEANUP PRICES OTHERWISE NOTED IN THESE DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS AND TO BE RESPONSIBLE FOR THE PROJECT SHALL BE FURNISHED AND TO BE BY THE CONTRACTOR WITHIN THE SCOPE OF THE WORK. ANY AND ALL EXCEPTIONS SHALL BE REQUESTED AND AGREED TO BY THE CITY OF SAN DIEGO PRIOR TO THE COMMENCEMENT OF THE WORK.
- 11. FRAMES SHALL LAYOUT ALL UNDEVELOPING ACCESSORIES TO ACCOMMODATE RECEIVED LIGHT. EMPLOY TANK OR OTHER ELECTRICAL/MECHANICAL, ETC. FOR THE JOB SITE DURING THE ENTIRE CONSTRUCTION.
- 12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A 24 HOUR EMERGENCY RESPONSE SERVICE FOR THE JOB SITE DURING THE ENTIRE CONSTRUCTION.
- 13. FRESH GRAZE SHALL BE KEPT AWAY FROM THE BUILDING A MINIMUM OF 2%.
- 14. ALL MATERIALS, GAS APPLIANCES, THAT ARE INSTALLED IN THE BUILDING MUST BE EQUIPPED WITH APPROVED VENTILATION SYSTEMS.
- 15. ALL EXISTING WORK AND PROPOSED SHALL BE SET IN SPACING, UNLESS OTHERWISE SPECIFIED AND AS REQUIRED BY THE CITY ENGINEER.
- 16. ALL CONSTRUCTION MUST MEET OR EXCEED ALL REQUIREMENTS STATED IN THIS REPORT. COPIES OF THIS REPORT ARE AVAILABLE UPON REQUEST.
- 17. ALL WORK UNDER ALL EXISTENCES SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE HIGHEST STANDARD OF PRACTICE RELATED TO THE TRADE INVOLVED, AND SHALL BE COMPLETE AND PROPERLY COORDINATED WITH ALL WORK ADJACENT OR RELATED TO IT.

19. WORK IN BURIED AREA SHALL NOT BE CONCEALED UNLESS WORK HAS BEEN COMPLETED AND APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK RELATED TO CITY AND STATE PERMITS, AS WELL AS TO OTHER UTILITIES.

20. CONTRACTOR TO PROVIDE EVIDENCE OF NUMBER BETWEEN ALL CESSPOOL METALS.

21. VACUUM BREAKERS SHALL BE INSTALLED AT ALL HOSE BILLS.

22. AREAS WHERE FLOORING IS TO BE INSTALLED SHALL BE PROTECTED FROM DAMAGE BY THE BUILDING MATERIALS.

23. LOCATIONS OF UTILITIES AS SHOWN IN DRAWINGS IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.

24. THE CONSTRUCTION, REMOVAL OR DISRUPTION OF A BUILDING SHALL CONFORM WITH ALL CITY, COUNTY AND STATE CODES.

25. ANY EXISTING STRUCTURE OR MATERIAL TO BE REMOVED SHALL BE DEMOLISHED IN STRICT ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

26. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES.

27. THE HIGHEST POINT OF THE ROOF, EAVESLINE, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 37' ABOVE FINISH GRADE. (SDS, 10.13.03)

28. ALL ACCESS, THE OPENING SHALL NOT BE LESS THAN 22" BY 30" INCHES AND LOCATIONS TO REMAIN UNOBSERVED FROM THE PUBLIC SHALL BE PROVIDED AT AN ANGLE OF ACCESS OPENING. (IBC 105.1)

29. A HANDRAIL MUST BE WITHIN 1" OF THE DOOR THRESHOLD IN THE DIRECTION OF DOOR SWING. (IBC 103.3.1.4)

30. A HEALTH AND SAFETY CODE SEC. 17922.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) A CROSS LINKED POLYETHERIMIDE (PEI) FOR INTERIOR WATER SUPPLY PIPING.

draft permit conditions

- 1. PRIOR TO THE SUBMISSION OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT TO THE CITY ENGINEER A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY STANDARD WATER QUALITY.
- 2. PRIOR TO THE SUBMISSION OF ANY CONSTRUCTION PERMIT THE APPLICANT SHALL SUBMIT TO THE CITY ENGINEER A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY STANDARD WATER QUALITY.
- 3. PRIOR TO THE SUBMISSION OF ANY BUILDING PERMIT, THE APPLICANT SHALL ASSURE BY PERMIT AND BOND, THE CLOSURE OF THE EXISTING DRIVEWAY WITH RESTORATION TO ORIGINAL CONDITION. THE CLOSURE SHALL BE IN ACCORDANCE WITH THE CITY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER.
- 4. PRIOR TO THE SUBMISSION OF ANY BUILDING PERMIT, THE APPLICANT SHALL OBTAIN AN ENCLOSURE MAINTENANCE AND REMOVAL AGREEMENT FOR A PRIVATE WALKWAY IN BAYVIEW ROAD, SATISFACTORY TO THE CITY ENGINEER.
- 5. PRIOR TO THE SUBMISSION OF ANY BUILDING PERMIT, THE APPLICANT SHALL OBTAIN A MOUNDING CONTRACT FOR THE BUILDING PERMIT FOR THE CITY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER.
- 6. PRIOR TO THE SUBMISSION OF ANY BUILDING PERMIT, THE APPLICANT SHALL OBTAIN AN ENCLOSURE MAINTENANCE AND REMOVAL AGREEMENT FOR A PRIVATE WALKWAY IN BAYVIEW ROAD, SATISFACTORY TO THE CITY ENGINEER.
- 7. PRIOR TO THE SUBMISSION OF ANY BUILDING PERMIT, THE APPLICANT SHALL CONFORM TO SECTION 42.003 OF THE MUNICIPAL CODE. PUBLIC IMPROVEMENT SUBJECT TO DETENTION DAMAGE TO BEING OF ATTACHMENT OF EACH PUBLIC IMPROVEMENT IS REQUIRED TO BE PROVIDED TO THE PUBLIC.

code requirements

IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE HIGH QUALITY OF THE PROJECT BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK RELATED TO CITY AND STATE PERMITS, AS WELL AS TO OTHER UTILITIES.

THE CITY OF SAN DIEGO CITY ENGINEER SHALL BE RESPONSIBLE FOR THE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES.

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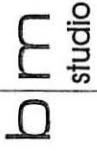
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Job No.

Sheet Title

SITE PLAN

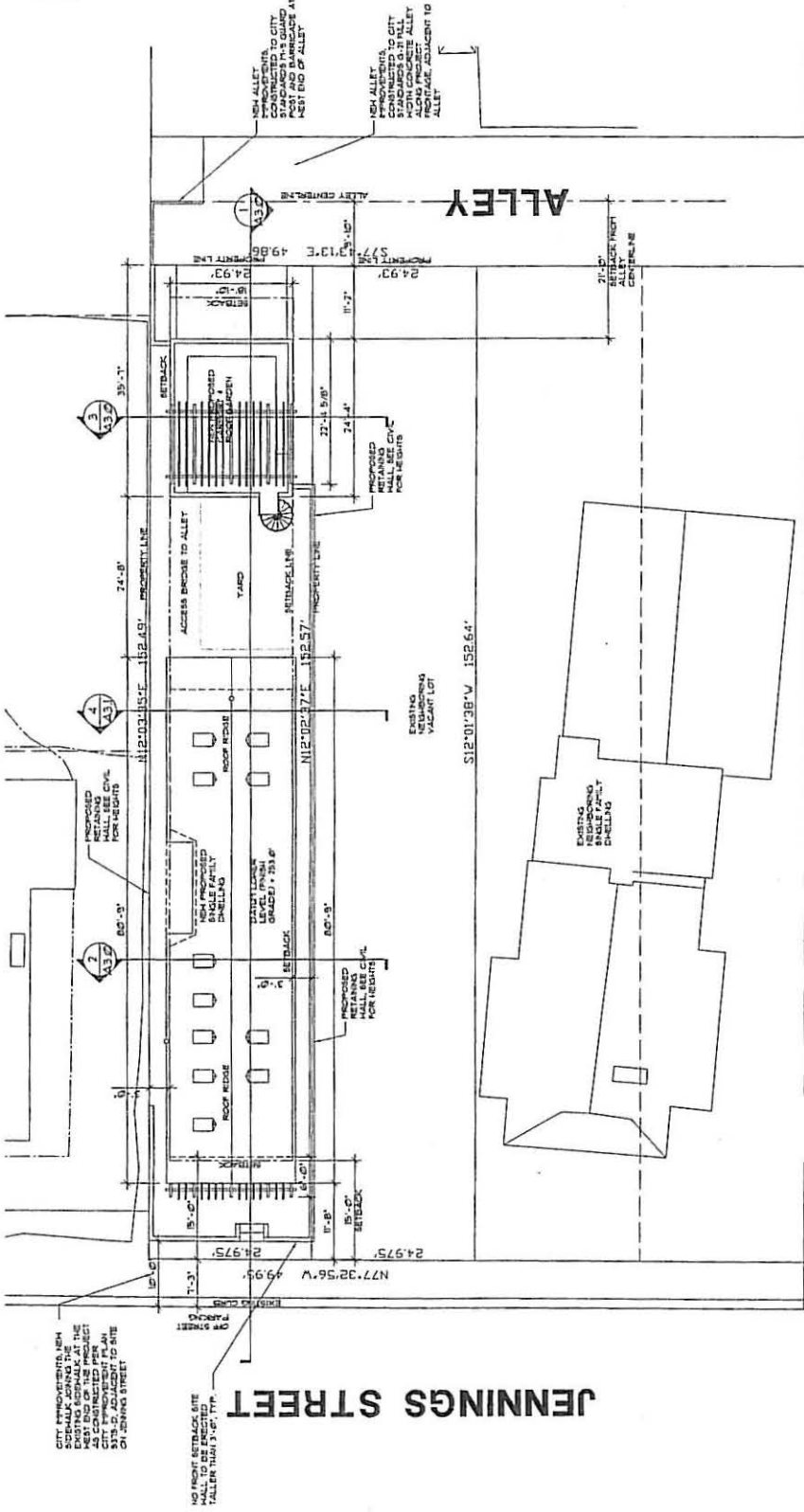
Sheet No.

A-0.1

Sequence

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gruber residence



ALLEY

SITE NOTES:
 1. ALL CONCRETE DIMENSIONS WITH 600' FT. OF PROPERTY (1:5000)
 2. PROVIDE BUILDING ADDRESS NUMBERS ON FRONT AND REAR OF PROPERTY PER CITY ROAD POLICY P-600-6 (CFC 301.4.4)
 3. NO BUS STOPS IN THE AREA
 4. FOR ALL DRAINAGE, SEE CIVIL DRAWINGS

LEGAL DESCRIPTION:
 LOT 19, BLOCK 28, ESCROW 114, CITY OF SAN DIEGO COUNTY OF SAN DIEGO, CALIFORNIA ACCORDING TO MAP 793, THEREOF NO. 473, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

CHESHIRE INFORMATION:
 3105 Camino del Rio South #230
 San Diego, CA 92108
 PH: 619.418.6066

SITE ADDRESS:
 3434 JENNINGS STREET
 POINT LOMA, CA 92106

SITE PLAN
 SCALE 1/8" = 1'-0"



MINIMUM CALIFORNIA FRONT YARD SETBACK 10.0' TO 50.0' FT.
 MAX. PAVING 60% (75' x 50' FT.)

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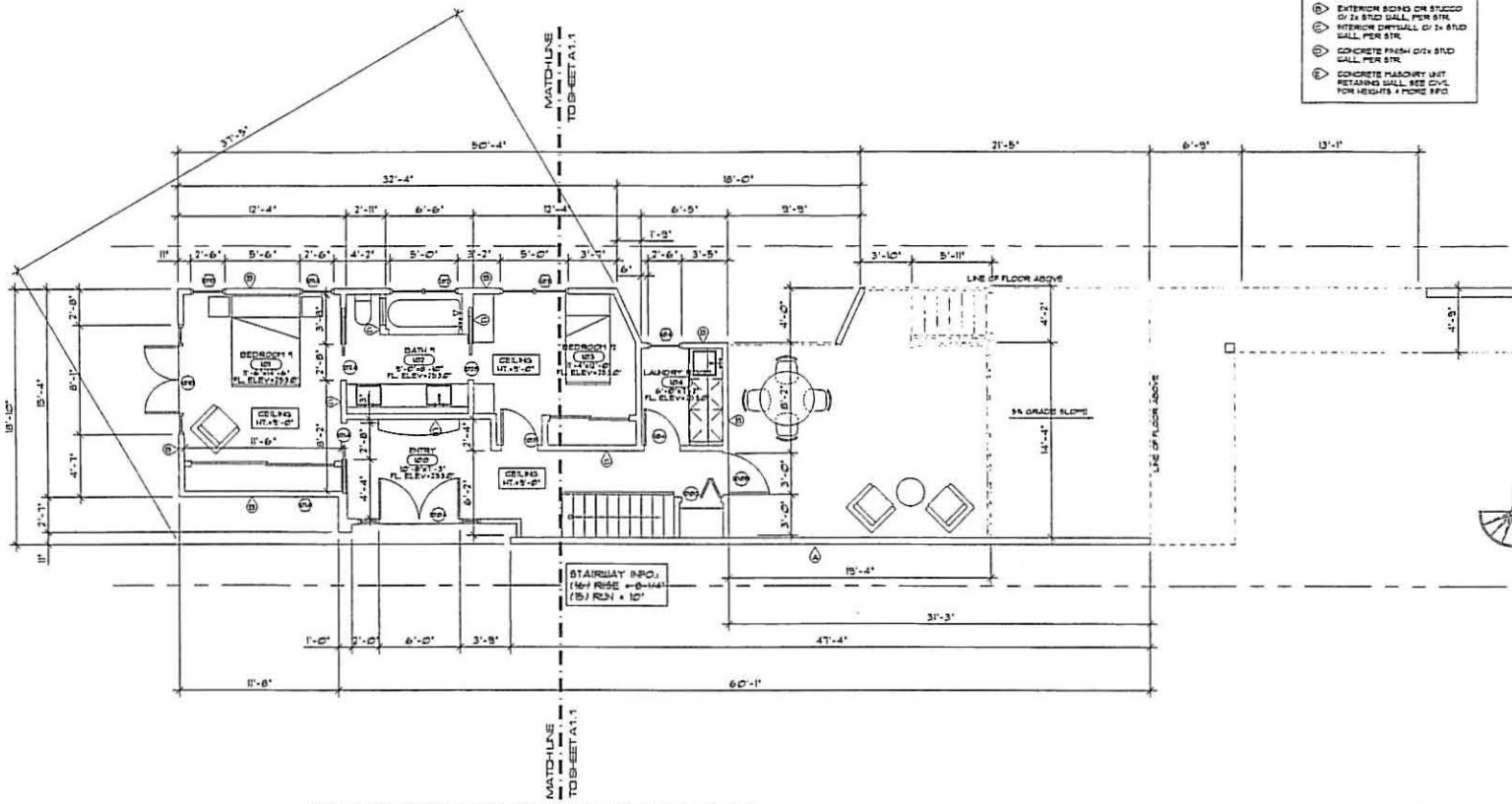
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Job No. _____
 Sheet Title
**MAIN HOUSE
 LOWER LEVEL
 FLOOR PLAN**
 Sheet No. _____
A-1.0
 Sequence
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 gruber residence

GALL TYPE LEGEND

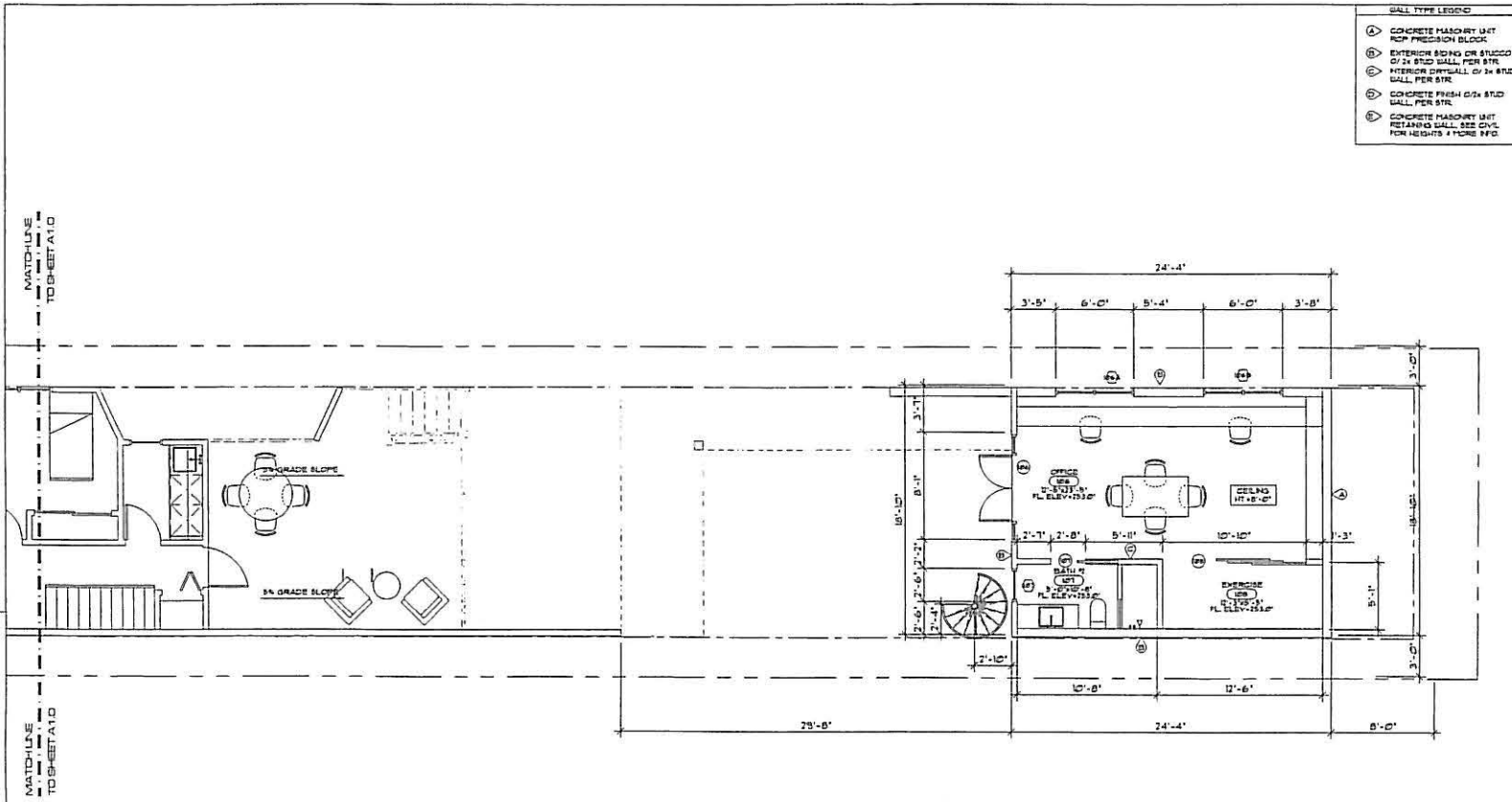
- Ⓐ CONCRETE MASONRY UNIT
RCP FINISH OR BLOCK
- Ⓑ EXTERIOR SMOOTH OR STUCCO
OF 24 STD GALL PER STR
- Ⓒ INTERIOR IMPERIAL OF 24 STD
GALL PER STR
- Ⓓ CONCRETE FRESH OR 24 STD
GALL PER STR
- Ⓔ CONCRETE MASONRY UNIT
RETAINING WALL, SEE CIVIL
FOR HEIGHTS & MORE INFO



MAIN HOUSE LOWER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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WALL TYPE LEGEND

- Ⓐ CONCRETE MASONRY UNIT (CMU) PRECISION BLOCK
- Ⓑ EXTERIOR SIDING OR STUCCO ON 2x4 STUD WALL, PER STR
- Ⓒ INTERIOR DRYWALL ON 2x4 STUD WALL, PER STR
- Ⓓ CONCRETE FINISH ON 2x4 STUD WALL, PER STR
- Ⓔ CONCRETE MASONRY UNIT RETAINING WALL, SEE CIVIL FOR HEIGHTS & TIE-BACKS

MAIN HOUSE & CARPORT OFFICE - LOWER LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"



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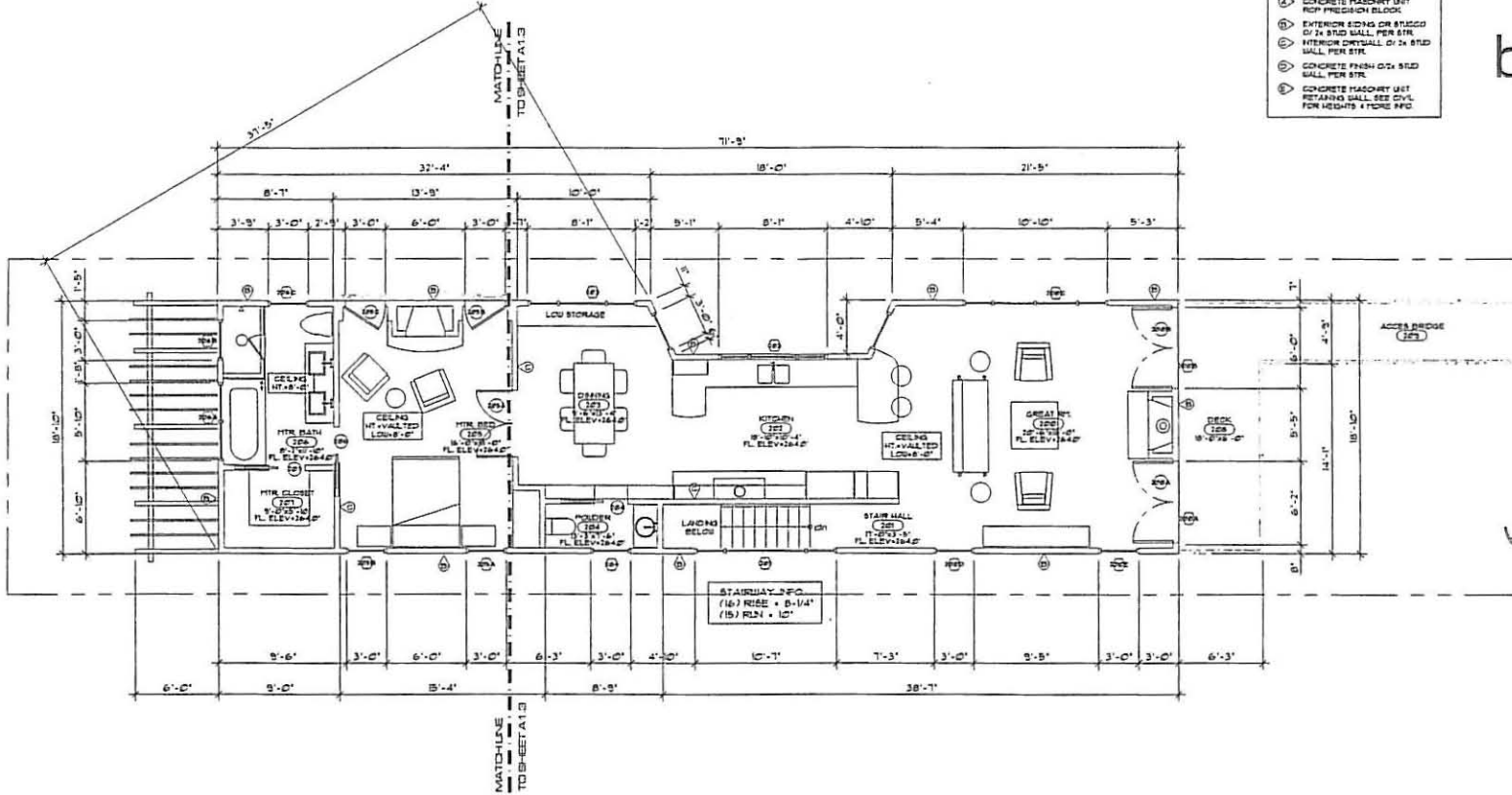
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**CAR. OFFICE
 LOWER LEVEL
 FLOOR PLAN**
 Sheet No.
A-1.1
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WALL TYPE LEGEND

- 1 CONCRETE MASONRY UNIT (CMU) FINISHED BLOCK
- 2 EXTERIOR SIDING OR BRICKED ON 2x STUD PER STR
- 3 INTERIOR PARTIAL ON 2x STUD WALL PER STR
- 4 CONCRETE FINISH ON 2x STUD WALL PER STR
- 5 CONCRETE MASONRY UNIT RETAINING WALL-SEE CIVIL FOR HEIGHTS & TIEING INFO

MAIN HOUSE UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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03.02.09	cdp review
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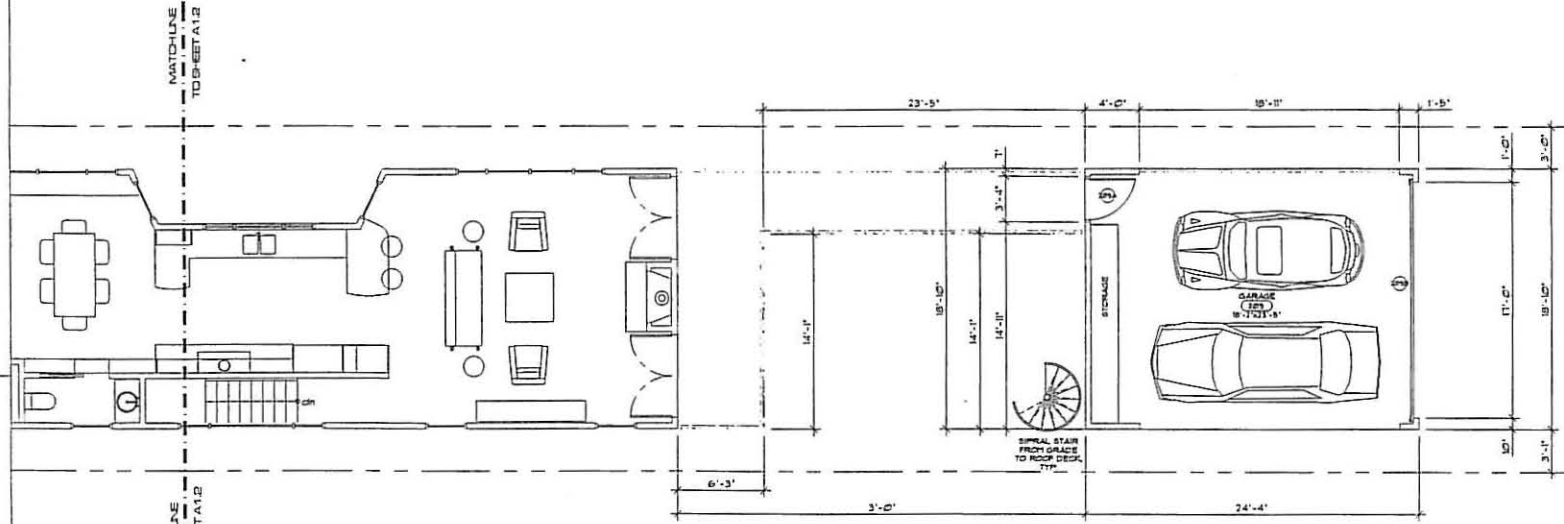
Job No. _____
Sheet Title _____

**MAIN HOUSE
UPPER LEVEL
FLOOR PLAN**

Sheet No.
A-1.2

Sequence
7 of 17
gruber residence

ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE BM STUDIO AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED CONSENT OF THE BM STUDIO. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF BM STUDIO.



MAIN HOUSE & GARAGE OFFICE - UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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**gruber
residence**

3434 jennings street
Point Loma, ca 92106

Date	Reason
07.23.07	progress set
08.22.07	progress set
09.21.07	progress set
09.28.07	cdp review
10.09.07	progress set
10.29.07	revised cdp
11.08.07	pre.bid pkg.
02.15.08	pre.bid pkg.
06.10.08	cdp review
10.13.08	cdp review
12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.
Sheet Title

**GAR. OFFICE
UPPER LEVEL
FLOOR PLAN**

Sheet No.

A-1.3

Sequence
8 of **17**
gruber residence

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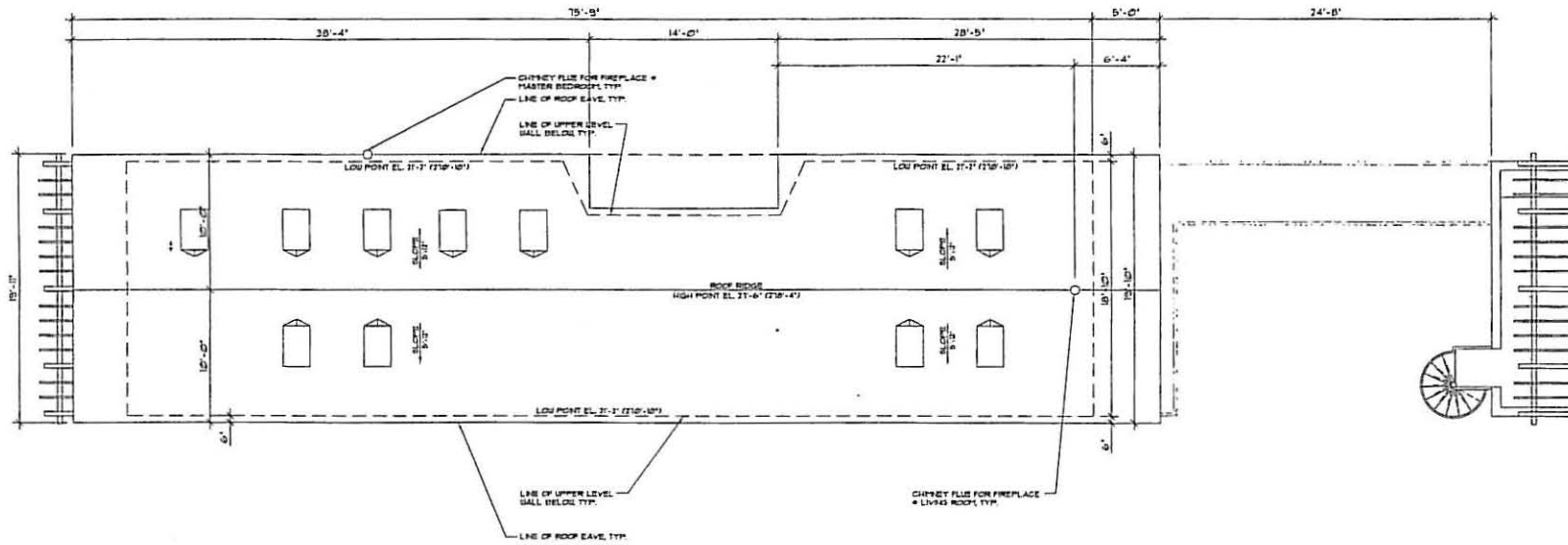
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02.15.08	pre.bid pkg.
06.10.08	cdp review
10.13.08	cdp review
12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.	
Sheet Title	MAIN HOUSE ROOF LEVEL FLOOR PLAN
Sheet No.	A-1.4
Sequence	9 of 17
	gruber residence

NOTE :
ROOF SHALL HAVE A MIN CLASS "A" FIRE RATING
SKYLIGHTS SHALL BE TEMPERED GLASS OR A CLASS "A" RATED ASSEMBLY
ALL ROOF DRAINS PIPED TO DISCHARGE DIRECTLY TO THE STREET

WALL TYPE LEGEND

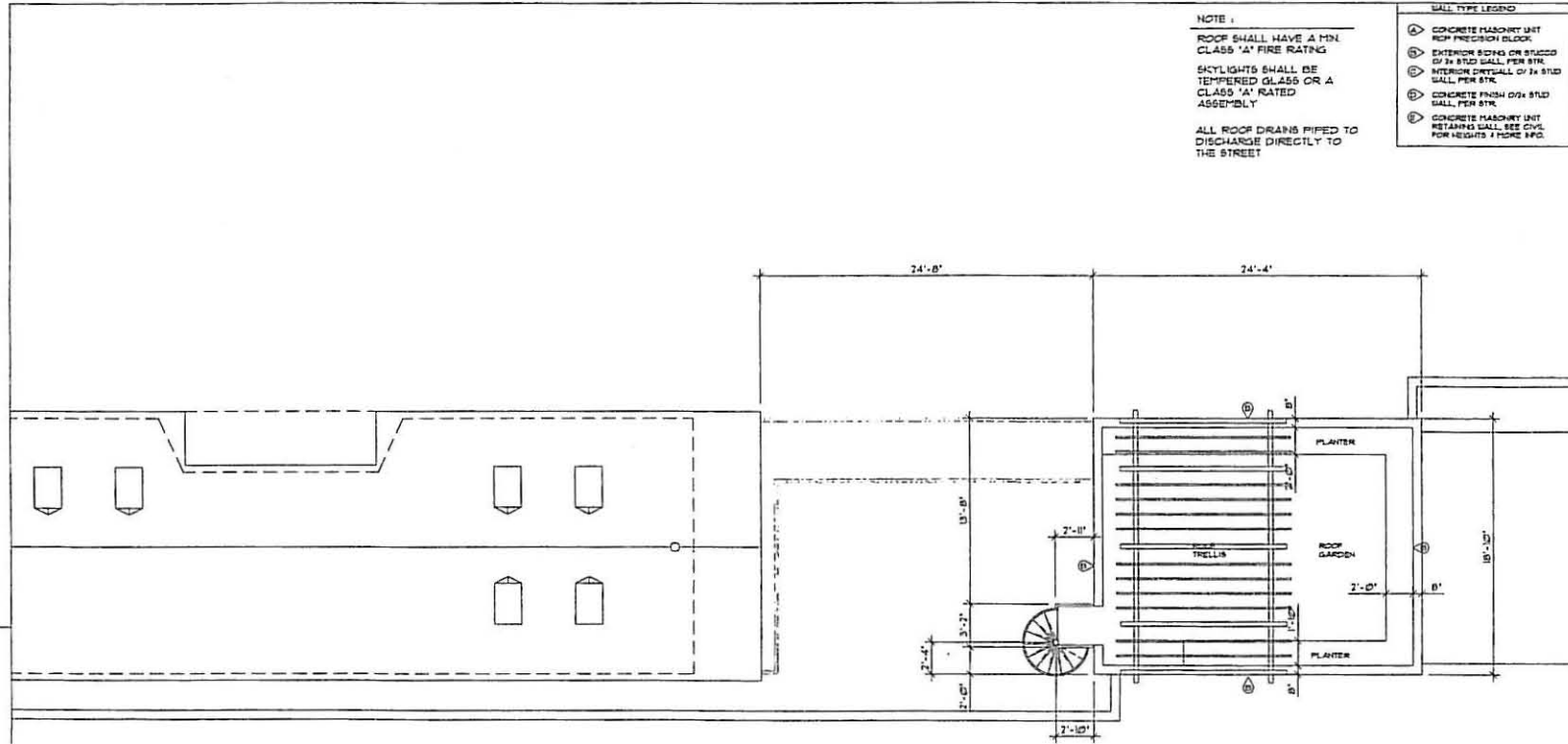
①	CONCRETE MASONRY UNIT TOP FINISH OR BLOCK
②	EXTENSION BLOCK OR STUCCO OF 2x STUD WALL PER STR
③	INTERIOR DWY WALL OF 2x STUD WALL PER STR
④	CONCRETE FINISH OVER STUD WALL PER STR
⑤	CONCRETE MASONRY UNIT RETAINED WALL SEE CIVIL FOR HEIGHTS & MORE INFO



MAIN HOUSE ROOF LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"



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NOTE :
 ROOF SHALL HAVE A MIN CLASS 'A' FIRE RATING
 SKYLIGHTS SHALL BE TEMPERED GLASS OR A CLASS 'A' RATED ASSEMBLY
 ALL ROOF DRAINS PIPED TO DISCHARGE DIRECTLY TO THE STREET

WALL TYPE LEGEND

Ⓐ	CONCRETE MASONRY UNIT PER PRECISION BLOCK
Ⓑ	EXTERIOR SIDING OR STUCCO ON 2x STUD WALL PER STR
Ⓒ	INTERIOR PARTIAL ON 2x STUD WALL PER STR
Ⓓ	CONCRETE FINISH ON 2x STUD WALL PER STR
Ⓔ	CONCRETE MASONRY UNIT RETAINING WALL, SEE CIVIL FOR HEIGHTS & PIERCE INFO.



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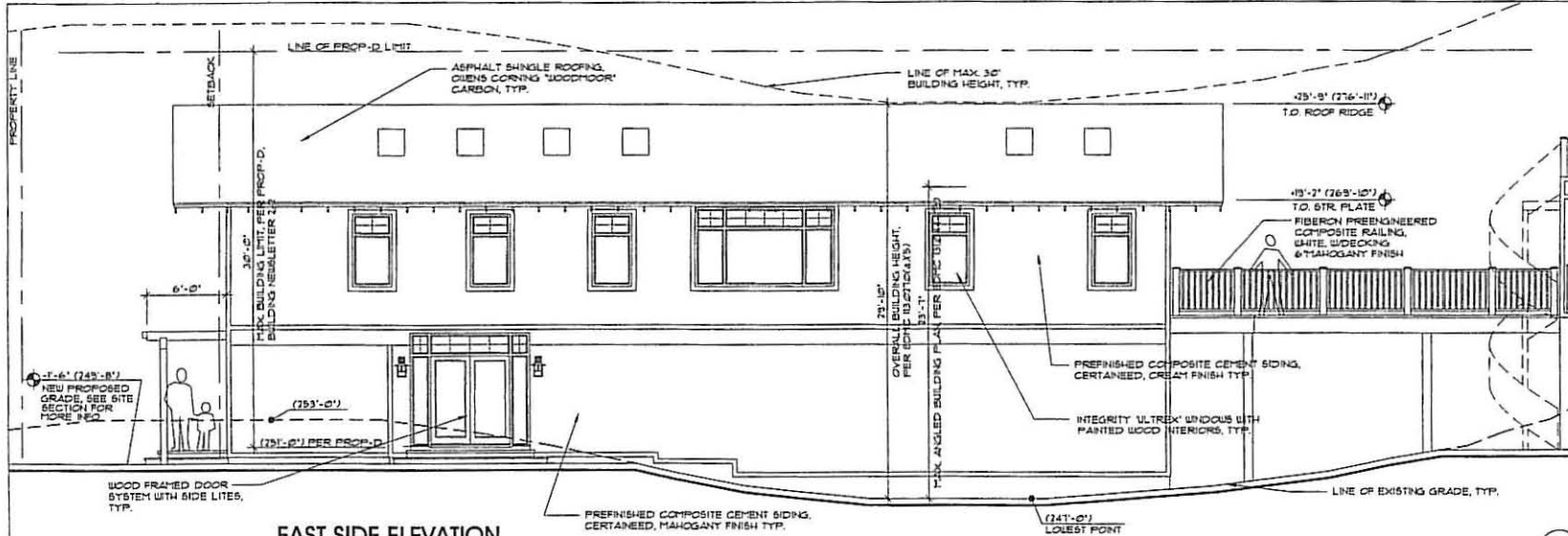
CARPORT ROOF LEVEL FLOOR PLAN
 SCALE 1/4" = 1'-0"



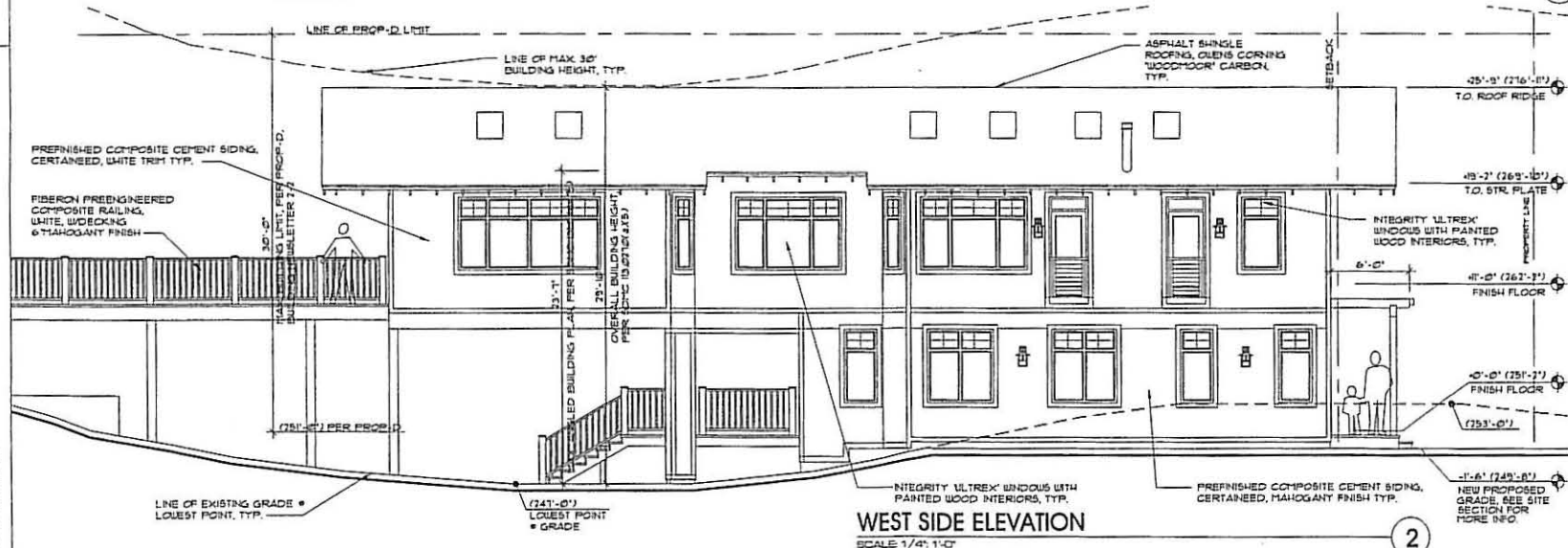
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12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.
 Sheet Title
**CARPORT
 ROOF LEVEL
 FLOOR PLAN**
 Sheet No.
A-1.5
 Sequence
10 of **17**
 gruber residence

ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE BM STUDIO AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE USED ON ANY OTHER PROJECT WITHOUT THE EXPRESSED CONSENT OF THE BM STUDIO. THERE SHALL BE NO CHANGES OR DEVIATION FROM THE DRAWINGS OR ACCOMPANYING SPECIFICATION WITHOUT THE EXPRESSED CONSENT OF BM STUDIO.



EAST SIDE ELEVATION
SCALE 1/4" = 1'-0"



WEST SIDE ELEVATION
SCALE 1/4" = 1'-0"

ALL ELEVATION ARE BASED OFF NEW GRADING & CIVIL DRAWINGS. WE WILL BE SUBMITTING FOR A GRADING PERMIT. TYP. FOR ALL ELEVATIONS.



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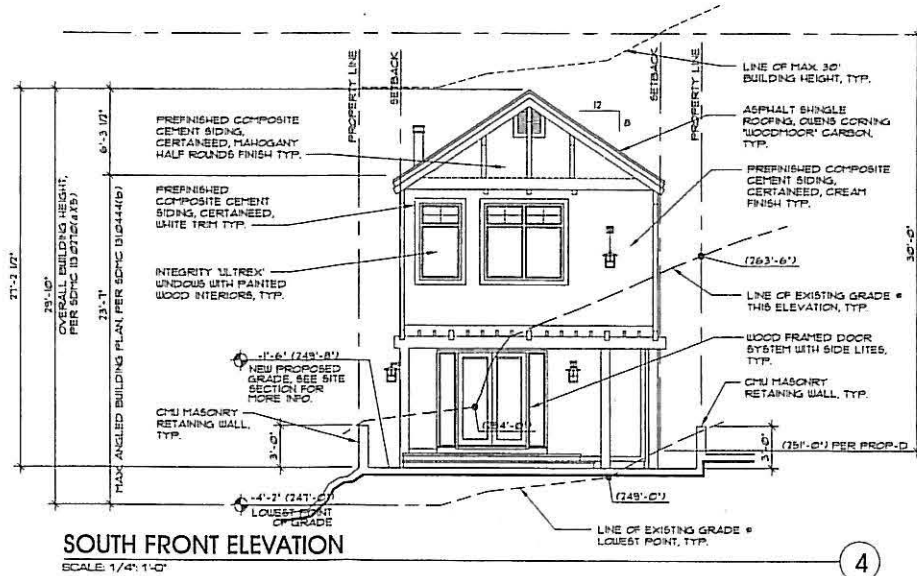
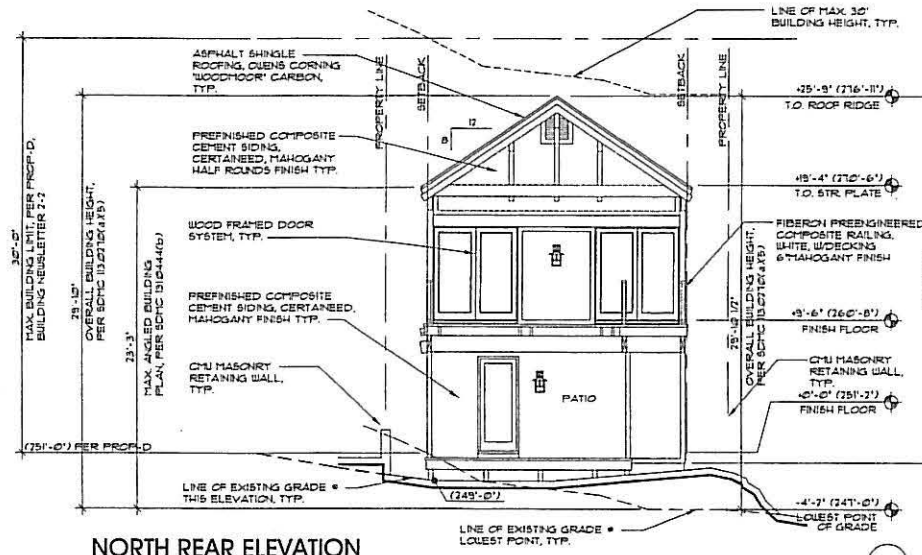
3434 Jennings street
Point Loma, ca 92106

Date	Reason
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10.13.08	cdp review
12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.
Sheet Title
EXTERIOR ELEVATIONS

Sheet No.
A-2.0
Sequence
11 of 17
gruber residence

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03.02.09	cdp review
07.20.09	cdp review

Job No.
Sheet Title

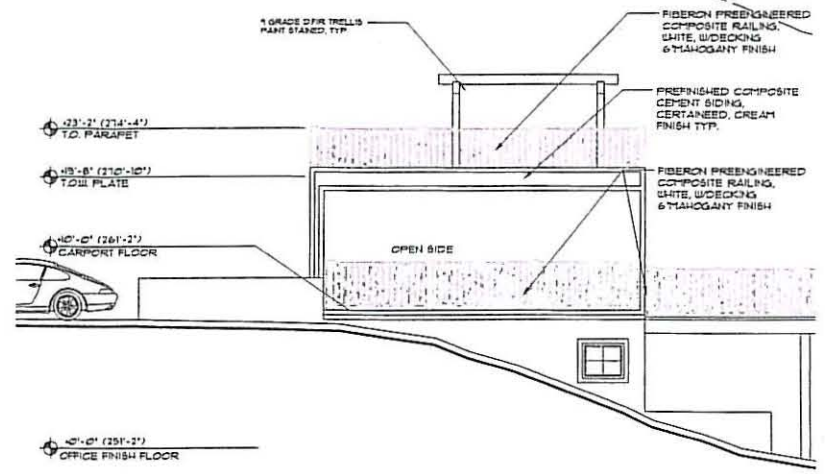
**EXTERIOR
ELEVATIONS**

Sheet No.

A-2.1
Sequence

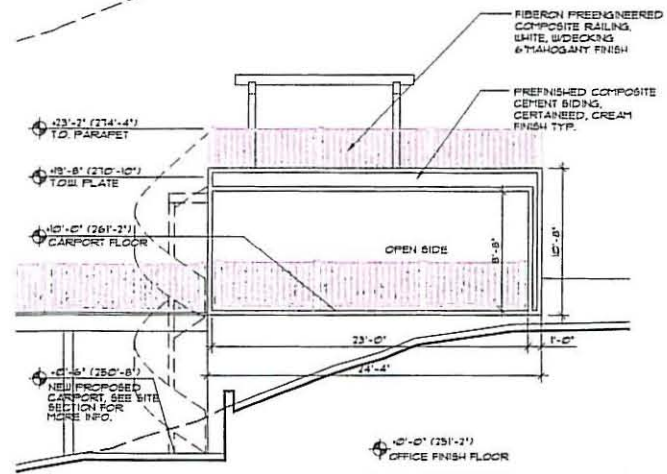
12 of **17**
gruber residence

ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE BM STUDIO AND ARE TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE BM STUDIO.



WEST SIDE CARPORT ELEVATION
SCALE: 1/4" = 1'-0"

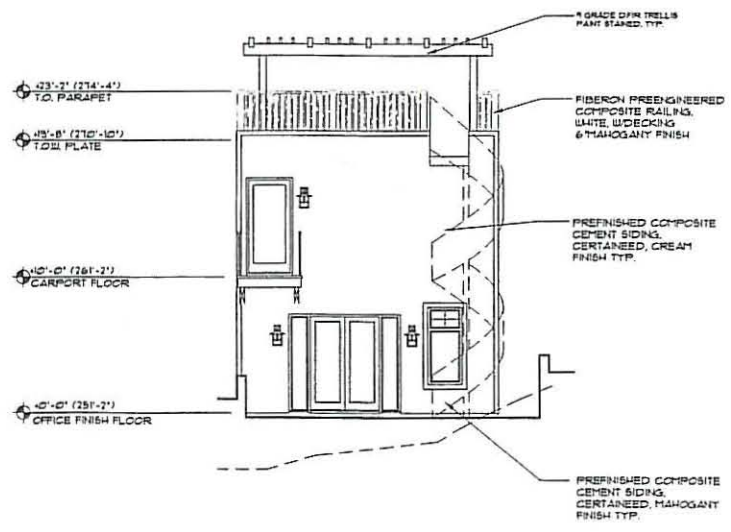
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EAST SIDE CARPORT ELEVATION
SCALE: 1/4" = 1'-0"

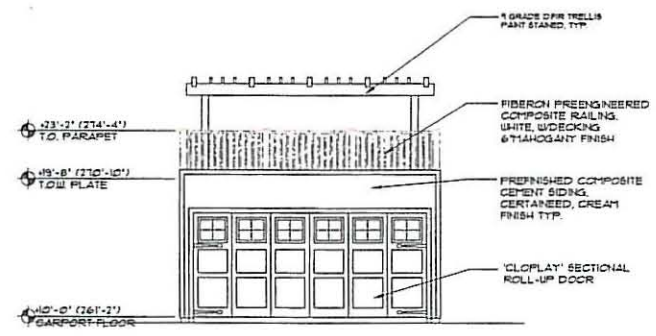
6

CARPORT SIDES CALCULATION (EQUAL BOTH SIDES)
BUILDING FACADE SQ. FT. = (24'-4" X 10'-8") = 259.50'
BUILDING OPENING SQ. FT. = (23'-0" X 8'-8") = 199.50'
MIN. OPENING = 194.63' (75%) PER SDG 13.234(A.1.6)



SOUTH REAR CARPORT ELEVATION
SCALE: 1/4" = 1'-0"

7



NORTH FRONT CARPORT ELEVATION
SCALE: 1/4" = 1'-0"

7



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Date	Reason
07.23.07	progress set
08.22.07	progress set
09.21.07	progress set
09.28.07	cdp review
10.09.07	progress set
10.29.07	revised cdp
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02.15.08	pre.bid pkg.
06.10.08	cdp review
10.13.08	cdp review
12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.
Sheet Title

**CARPORT
EXTERIOR
ELEVATIONS**

Sheet No.
A-2.2
Sequence

13 of 17
gruber residence

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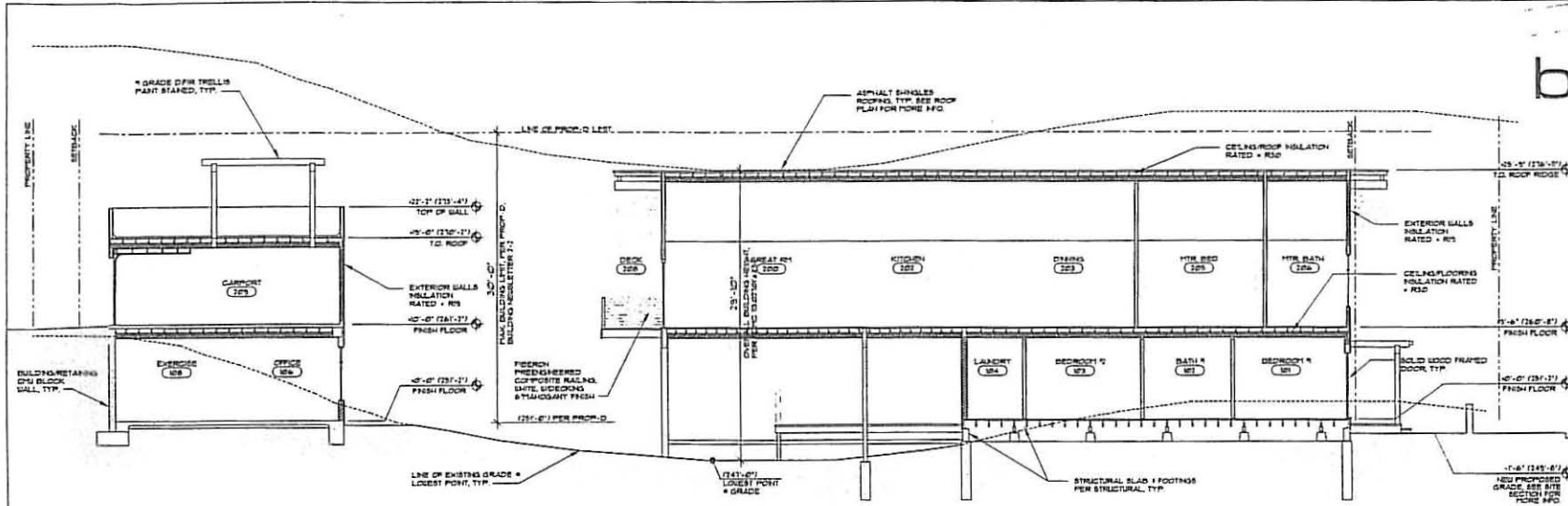
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06.10.08	cdp review
10.13.08	cdp review
12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.
Sheet Title

**BUILDING
SITE
SECTIONS**

Sheet No.
A-3.0
Sequence

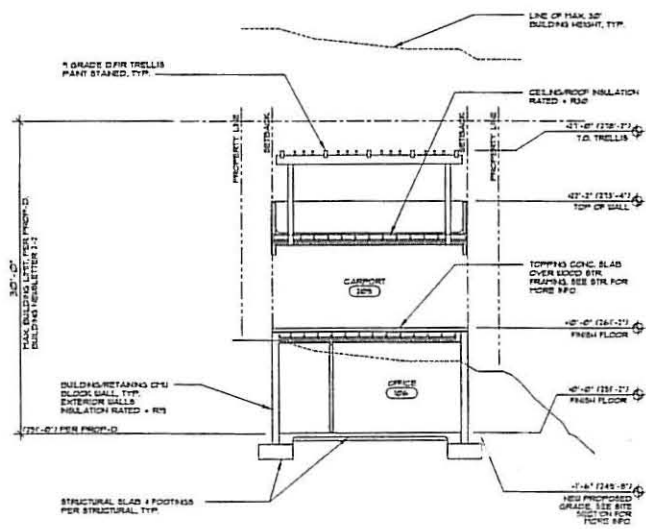
14 of **17**
gruber residence



BUILDING SITE SECTION FACING EAST

SCALE: 3/16" = 1'-0"

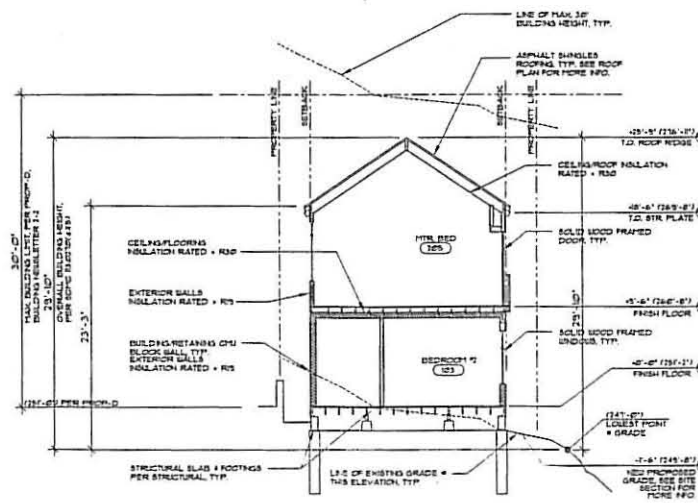
1



BUILDING SITE SECTION FACING SOUTH

SCALE: 3/16" = 1'-0"

3



BUILDING SITE SECTION FACING SOUTH

SCALE: 3/16" = 1'-0"

2

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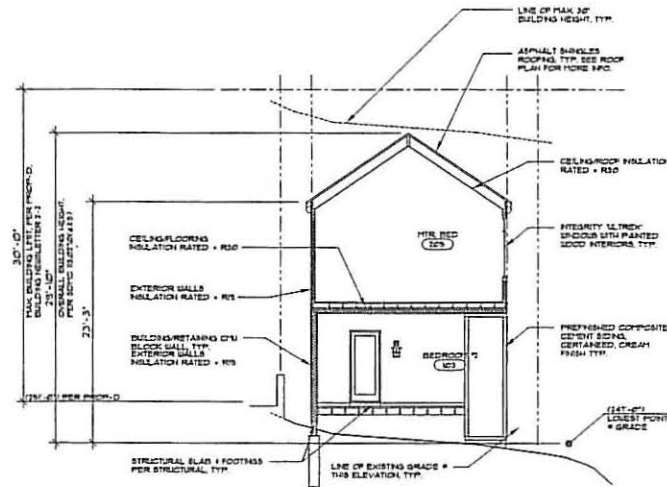
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BUILDING SITE SECTION FACING SOUTH
SCALE: 3/16" = 1'-0"

4

Date	Reason
07.23.07	progress set
08.22.07	progress set
09.21.07	progress set
09.28.07	cdp review
10.09.07	progress set
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12.12.08	cdp review
03.02.09	cdp review
07.20.09	cdp review

Job No.	
Sheet Title	BUILDING SITE SECTION
Sheet No.	A-3.1
Sequence	15 of 17
	gruber residence

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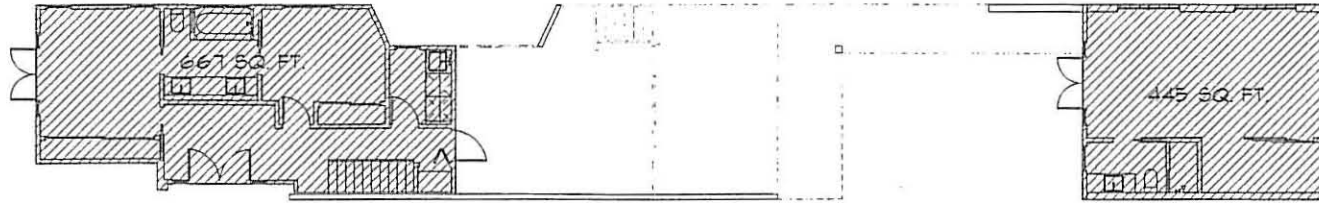
susan
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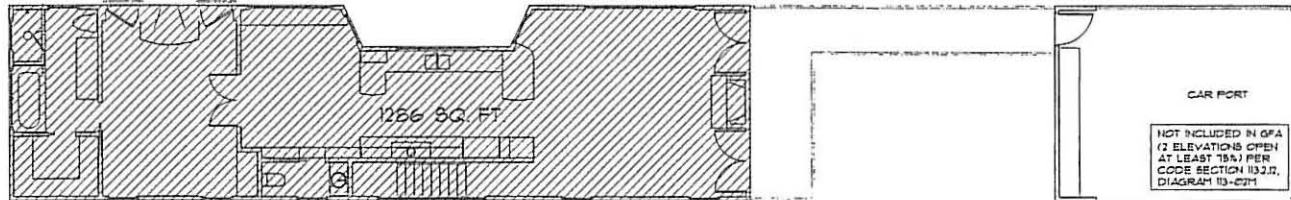
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LOWER LEVEL GROSS FLOOR AREA PLAN
SCALE: 3/16" = 1'-0"



UPPER LEVEL GROSS FLOOR AREA PLAN
SCALE: 3/16" = 1'-0"



LOWER LEVEL OFFICE:	445 SQ. FT.
LOWER LEVEL BEDROOMS:	667 SQ. FT.
UPPER LEVEL:	1286 SQ. FT.
TOTAL GFA:	2398 SQ. FT.

Date	Reason
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08.22.07	progress set
09.21.07	progress set
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07.20.09	cdp review

Job No.

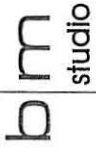
Sheet Title

**GROSS
FLOOR AREA
CALC.**

Sheet No.

GFA-1.0
Sequence

16 of 17
gruber residence



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06.10.08	cdp review
10.13.08	cdp review
11.12.08	cdp review
07.20.09	cdp review

Job No.
Sheet Title

**LANDSCAPE
PLAN**

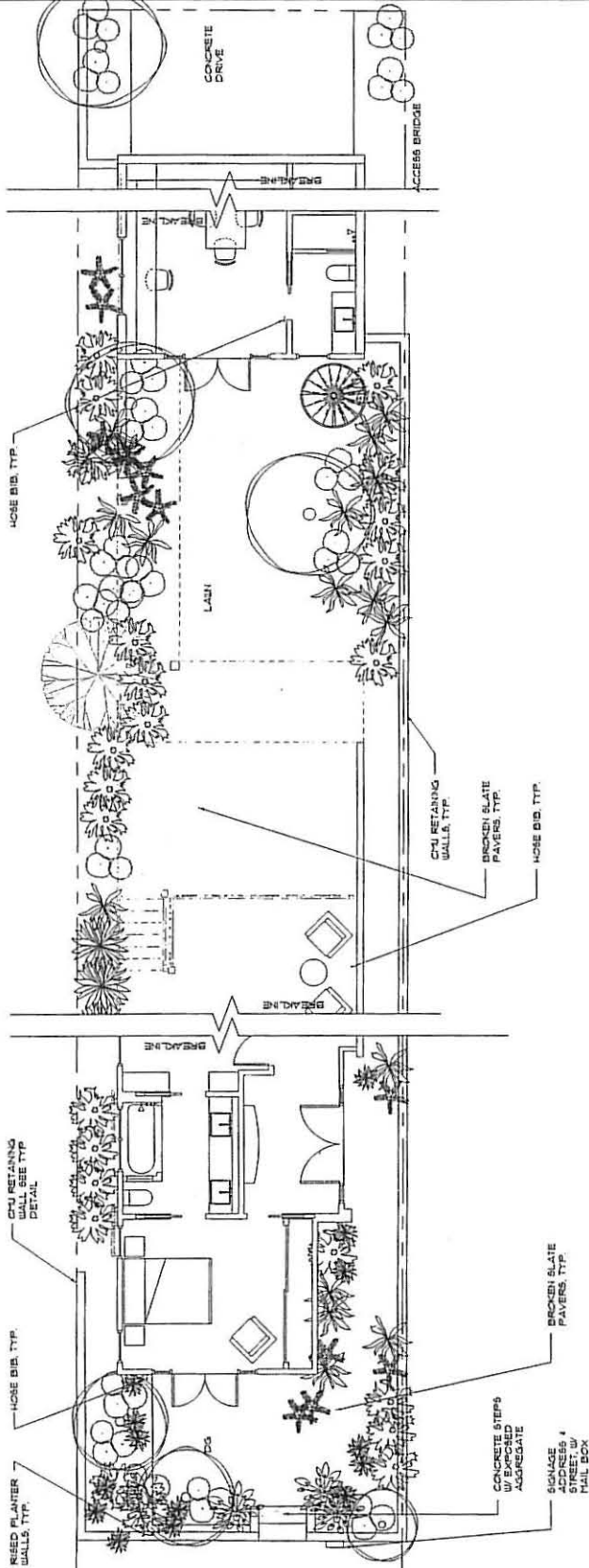
Sheet No.
L1.0

Sequence

17 of 17
gruber residence

LANDSCAPE LEGEND	
	CALLIANDRA X ACUTIFOLIA PERICAN FEATHER GRASS
	ULEX COTINIFLORUS BLUE OATS GRASS
	PYCNANTHUS THYMOCARPUS EVERGREEN MISCANTHUS
	NASSELLA TENUI SPICA PERICAN FEATHER GRASS
	PTEROCARYA ATYPICALIFOLIA RUSSIAN SAGE
	ESANTHERA SETACEA DARK PURPLE FOUNTAIN GRASS
	FESTUCA GLAUCA ELIJAH BLUE
	CAREX ALBULA FROSTY CURLS BEDE
	PALO VERDE DESERT MUSEUM
	BOULDERS
	SIGNAGE
	DECOMPOSED GRANITE
	COBBLES / OR SMALL ROCKS

- NOTES
1. PROVIDE DEEP IRRIGATION IN ORDER TO PROVIDE PROPER WATERING
 2. ALL SITE DRAINAGE MUST BE DIRECTED TO THE STREET, AWAY FROM NEIGHBORING PROPERTY



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

HARDSCAPE CALCULATION:
FRONT YARD AREA = 400'W X 50' FT.
PAVING AREA = 140.85' SQ. FT.
TRAIL PAVING AREA = 125' SQ. FT.





Ownership Disclosure Statement

GRUBER

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
NEW SINGLE FAMILY DWELLING *140240*

Project Address:
LOT ON JENNINGS 531-513-03-00

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
ALLEN & TONI GRUBER
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
3060 GTH AVENUE #17
 City/State/Zip:
SAN DIEGO, CA 92103
 Phone No: *619.591.3321* Fax No:
 Signature: *[Signature]* Date:

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Signature: _____ Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Signature: _____ Date:

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Signature: _____ Date:

DEVELOPMENT SERVICES
Project Chronology
 GRUBER RESIDENCE- PROJECT NO. 140248

Date	Action	Description	City Review Time	Applicant Response
10-31-07	First Submittal	Project Deemed Complete		
12-19-07	First Assessment Letter		49 Days	
6-12-08	Second submittal			176 Days
7-22-08	Second Assessment Letter		40 Days	
10-23-08	Third Submittal			93 Days
12-02-08	Third Assessment Letter		40 Days	
3-16-09	Final Submittal			104 Days
4-15-09	Last Review		30 Days	
4-15-09	Final plans and Environmental Document Inc. 14 day wait period			
7-17-09	Project Approved Process Two		93 Days	
8-4-09	Project Appealed			
**TOTAL STAFF TIME			129 Days	
TOTAL APPLICANT TIME				269 Days
TOTAL PROJECT RUNNING TIME		From deemed complete date to Planning Commission Hearing	722 Days	

Staff time and applicant response time based on calendar days including holidays

Peninsula Community Planning Board Minutes

May 21 - 2009

Meeting Room Pt. Loma Library

I. Parliamentary items:

Meeting called to order by C. Mellor approx. 6:40pm

A. **Non Agenda Public Comment:** speaker- topics

J. Gilhooly – pot holes & traffic concerns

J. Ross – historical subcommittee concerns

C. Conger – cell phone transmission safety concerns

J. Summer – redevelopment agency (CCDC) info

B. **Agenda** – approved with Park Rec. relocated to #B. in lieu of #I.

C. **Approval of Minutes:** draft of the Apr 16th minutes were approved with no objections

D. **Treasurer report:** N. Graham – coordinating with C. Shinn (former treasurer) to be placed as rep. on savings account

E.1 **Attendance:** Board members, S. Brown, C. Veum, J. Lester, D. Kaup, C. Mellor, H. Kinnaird, J. Shumaker, N. Graham, M. Sanicki, S. Khalil, M. Hoppe, D. Davis (late) (Excused Absent: D. Cohen, S. Kilbourn-McGee, G. Halbert)

E.2 **Community Attendance:** see sign in sheet attached

F. **Chair Report:** C. Mellor – no report

III New/Old Business:

A. None

II. Action Items: (note: reminder Board Chair does not vote on action items unless to break a tie typical)

A. **Lerner Residence (3424 Jennings St.) & Gruber Residence (3434 Jennings St.)** : after discussion a motion by S. Khalil to approve project as presented as long as owner's address landscaping relative to slopes & transitions between neighboring lots; on the Gruber residence, particular attention to the West side of the property must be made to ensure landscaping reduces any abrupt changes in texture and property lines; and that applicant will come back to PCPB to present Landscape planting plan prior to ordering/installation of planting materials. was approved MSC (6 SB, SK, CV, NG, MH, MS) – (4 HK, JS, JL, DK) – 0

B. See item #A

C. **Kettenburg Residence (3225 Kellogg St)** – no applicant representative present therefore no action taken.

D. **Bailey Residence (920 Moana Dr)** : after discussion a motion by J Shumaker to approve project as presented was approved MSC (10 SB, SK, CV, NG, MH, MS, HK, JS, JL, DK) – 0 – 0
 • Darold arrives late (7:30pm)

E. **All way stop sign (Leland St. and Larga Circle)** : discussion only no action taken

F. **2 Hour parking zone request (Voltaire St.)** : after discussion (ltr M. Steven's read) a motion by J Shumaker to support a 2 hour limit parking zone on the north side of Voltaire St. east of Catalina Blvd was approved MSC (11 SB, SK, CV, NG, MH, MS, HK, JS, JL, DK, DD) – 0 – 0

IV. Sub-Committee Reports:

A. Project Review: S. Kilbourn McGee- next project review Monday June 8th 1:00pm

B. Parks Rec: H. Kinnaird – reported thanks team effort on approx. 4.94 acre land at Nimitz/Famosa, after a discussion motion by H. Kinnaird that the PCPB Chairperson be authorized to request that the San Diego Housing Commission convey the Parcel at Nimitz and Famosa (known as parcel 22 by the Planning Group and Site 428 by the Housing Commission) to the City for the sole purpose of establishing dedicated park on the 4.94 acre site. Further, the request should include that there be no cost for the site imposed was approved MSC (11 SB, SK, CV, NG, MH, MS, HK, JS, JL, DK, DD) – 0 – 0

C. Airport Authority, ANAC (Airport Noise Advisory Comm.), ATAG (Airport (land use compatibility) Technical Advisory Group) and NTAG (Noise Tech. Advisory Group) : S. Khalil – reported reminder on Town Hall meeting June 3rd, reminder subcommittee meeting on the last Friday of the month is going to be held at the town hall site, Board voted ((10) Scott Brown) and ((2) J. Shumaker) in favor of S. Brown to be Alternate Subcommittee Chair, motion by S. Khalil to have board members SB, MH, JS, DK, DC, CV join community members D. Wiley, P. Grimes and Tom Delahanty to be part subcommittee was approved MSC (9 SB, SK, CV, CM, MH, MS, JS, JL, DK) – 0 – (3 NG, DD, HK)

D. BU Digester Gas (Ad Hoc): D. Davis – no report or election

E. Traffic and Transportation: G. Halbert – no report or election

- F. North Bay Planning/Dev: J. Lester -- reported that distributed Hand Out (needs of redevelopment-budgets-etc).will be discussed at next June meeting.
- G. Midway Planning: D. Kaup-- report ed 8 incumbents were re-elected, draft EIR for RIVER master plan, Rock n-Roll marathon May 31- last one at MCRD grounds
- H. Environment: D. Cohen - no report or election
- I. Bylaws (Ad Hoc): J. Lester -- no report or election
- J. Election subcommittee: H. Kinnaird (First Vice -Chair)- no report
- K. P3: H. Kinnaird received board approval as PCPB rep MSC (12 SB, SK, CV, NG, MH, MS, HK, JS, JL, DK, DD, CM) - 0 - 0
- L. Historic/signage: after discussion that historic concerns were previously part of project review board approved M. Sanicki as subcommittee chair MSC (12 SB, SK, CV, NG, MH, MS, HK, JS, JL, DK, DD, CM) - 0 - 0

V. Government Reports/Public Communication:

- 1. Council District II. M. Awbrey- reported on law enforcement vs. pan-handling, K. Faulconer working on downtown Assisted Center, benches removed sunset cliffs, updated City website
- 2. City Planning: no report

VI. Adjournment: approx: 9:30PM

Next PCPB regular meeting: 3701 Voltaire St.: scheduled for June 18, 2009 at 6:30PM

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**Airport noise complaint phone 619 400-2799
Neighborhood Code compliance 619 236-5500**

6-18-09 final