



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: August 22, 2019 REPORT NO. PC-19-075
HEARING DATE: August 29, 2019
SUBJECT: CASA DE LAS CAMPANAS RESIDENTIAL ADDITION, Process Four Decision
PROJECT NUMBER: [546769](#)
OWNER/APPLICANT: Casa de Las Campanas, Incorporated, Owner/
Joe Tucker, Architect/Applicant

SUMMARY

Issue: Should the Planning Commission approve a Planned Development Permit and an Amendment to Conditional Use Permit No. 1409096 for the proposed demolition of a one story skilled nursing facility and construction of a five-story residential care building, an addition to an existing residential elderly care facility at 18655 West Bernardo Drive within the Rancho Bernardo Community?

Staff Recommendation:

1. Adopt Mitigated Negative Declaration No. 546769 and Adopt the Mitigation Monitoring and Reporting Program;
2. Approve Conditional Use Permit No. 1982885 (an amendment to Conditional Use Permit No. 1409096); and
3. Approve Planned Development Permit No. 1982886.

Community Planning Group Recommendation: On October 18, 2018, the Rancho Bernardo Community Planning Board voted 14-0-0 to recommend approval of the proposed project.

Environmental Review: Mitigated Negative Declaration, Report No. 546769, was prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines. A mitigation, monitoring and reporting program was prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

Fiscal Impact Statement: None with this action. All cost associated with the processing of the

project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The project site is designated Residential at a medium density of 14-29 du/ac in the Rancho Bernardo community plan. The proposal for construction of a residential addition to an existing Residential Elderly Care Facility would help implement City of San Diego Housing Element goals for persons with Disabilities and Special Needs. Because the facilities that house the beds are not considered residential dwelling units, the proposal would not affect the City's general housing supply. However, this project is providing 24 Independent Living Apartments and 66 Assisted Living Apartments for the elderly.

BACKGROUND

The 22.7-acre Casa De Las Campanas property is located along the west side of I-15, on the east side of West Bernardo Drive and north of Bernardo Center Drive, at 18655 West Bernardo Drive, within the Rancho Bernardo Community Plan area (Attachment 2). The project site is surrounded by vacant open space to the north and west, I-15 Freeway to the east and Ranch Bernardo Community Park to the south. The residential element of the Rancho Bernardo Community Plan (RBCP) identifies this site for residential land use at a medium density of 14-29 dwelling units per acre. The property is currently developed with a residential elderly-care facility originally approved on December 22, 1983, under Conditional Use Permit No. 83-0738. Casa de Las Campanas has amended the original permit eight times (CUP Nos. 84-0848, 87-0120, 91-0677, 95-0362, 99-0747, 1409096). The most recent amendment was Project No. 400695, CUP No. 1409096 approved by City Council on January 11, 2016, which approved a new skilled nursing building, currently under construction (Attachment No. 13).

The proposed demolition and residential addition requires a Conditional Use Permit (CUP) to Amend CUP No. 1409096, Project No. 400695, per SDMC Section 141.0312. This project also proposes a deviation to increase building height. The proposed deviation requires a Planned Development Permit, pursuant to the Land Development Code (Section 126.0602).

DISCUSSION

Project Description:

The 22.7-acre property is currently developed with a 275,687 square-foot elderly-care residential facility. This proposed project would demolish an existing, one-story, 99-bed, 33,320 square-foot skilled nursing building and construct a 140,087 square-foot five-story residential care building with one level of underground parking. The new residential care building will be constructed on the south-eastern portion of the residential elderly care facility's campus, adjacent to I-15 Freeway currently developed with the older skilled nursing building, which is to be phased out with the use relocated into the new skilled nursing building currently under construction (Attachment 1).

The proposed residential care addition will consist of a five-story building with 24 independent living

apartments and 66 assisted living apartments for a total of 90 units. Additionally, inclusive of the interior of the project is an office suite for human resources personnel, common living areas, dining areas, and activity space on each floor, care stations, offices, and support stations for assisted living staff.

The proposed project will add 89 off-street parking spaces, to provide a new total of 624 off-street parking spaces on the 22.7-acre campus (the code requires a minimum total of 495 parking spaces).

Landscaping for the proposed facility includes adding various 24-inch and 36-inch box trees. Ground cover will include sodded turf and various ground cover plants. The exterior of the new skilled nursing facility will be constructed to match colors, bulk and scale of the existing buildings on the campus. The project proposes grading 1.3 acres and the new building will have 9,700 cubic yards of cut and 350 cubic yards of fill, exporting 9,350 cubic yards of soil. The cut and fill portions are located primarily within the proposed building footprint, sited in the area currently developed as the old skilled nursing building to be demolished, resulting in minimal change to the natural landform.

Planned Development Permit - Deviations

The proposed development will be constructed on a portion of the property containing an existing skilled nursing building to be demolished. The proposed residential care addition will comply with all the development regulations of the RM-2-5 zone, except for building height. The proposed deviation to increase the building height from 40 feet to 72 feet for a tower element, with a majority of the structure at 60 to 66 feet in height, which will allow the development to remain consistent with the existing pattern of development of the current facility. The applicant demonstrated on the plans that the existing facility exceeds the height zoning 40-foot limit and that the proposed new building is in keeping with the existing size, scale and mass of the existing elderly-care campus. The existing buildings on the campus to the north and west are four stories at 45 to 55 feet in height. The new skilled nursing building that is under construction to the south is 63 feet in height. The proposed development will transition harmoniously to the surrounding campus. Similar deviations in building height have been granted with earlier approvals of this elderly care facility.

Community Plan Analysis:

The project site is within the Rancho Bernardo Community Plan, the City's adopted land use plan for this area. The residential element of the Rancho Bernardo community plan identifies this site for residential land use at a medium density of 14-29 dwelling units per acre. A five-story, 140,087 square-foot addition to the residential care portion of the facility is proposed.

The community plan section on Retirement Housing Facilities states that these projects should be evaluated as to height, bulk, scale, setback, open space, landscaping, parking and architectural quality. The proposal would meet an objective to maintain the existing quality and character of Rancho Bernardo in all new development because the bulk and setback are consistent with existing buildings in the complex. Proposed architecture would be consistent with that of existing buildings in the complex, including use of arched openings, fenestration, planter trellises and tiled/hipped roofing. Vertical offsets on the varied building components, balconies also serve to break up bulk

and scale, consistent with Casa Sur, Casa Norte to the east. The height of the proposed structure at 63 feet high is consistent with the height of the existing buildings on-site. The applicant proposes Pinus Canariensis and Eucalyptus Cladocalyx trees around the perimeter of the site and Pinus Canariensis along West Bernardo Drive would provide screening from external noise, consistent with a residential objective. This design will also provide optimum interior and outdoor privacy and protection or screening from external noise. Therefore, the overall development pattern and architectural style conforms to the development parameters (including the development standards of the RM-2-5 zone), the existing established facility and the policies of the Rancho Bernardo Community Plan.

General Plan Analysis

The General Plan identifies the project site as "Residential" and the proposed addition to the residential care facility project adheres to the land use designation within the General Plan. The project also complies with the objectives in the Housing Element by providing for a balanced community and providing for the needs of the elderly within this community.

Environmental Analysis:

A Mitigated Negative Declaration was prepared for the project due to the potential from noise impacts. An Acoustical Analysis Report was prepared which analyzed the existing noise environment and the potential noise impacts associated with construction and operation of the expansion at the existing Casa de las Campanas campus. Major existing noise sources at the project site include traffic noise from I-15 and West Bernardo Drive. However, this would be reduced with project design features for the proposed structure. Major proposed noise sources would generate from construction activities, site traffic, parking lot activities, truck deliveries and onsite mechanical equipment. Mitigation measures have been included into the construction phase of the project, as recommended by the Acoustical Analysis Report, to reduce impacts to a level below significance. To mitigate for construction noise, temporary noise barriers would be installed for the existing structures. Implementation of the Mitigation, Monitoring and Reporting program will reduce impacts from Noise to below a level of significance.

Conclusion:

The proposed Conditional Use Permit (Amending the previous Conditional Use Permit No. 1409096) and Planned Development Permit for the demolition of the existing building and development of an addition to the residential care portion of the residential elderly care facility may be approved if the decision maker finds that the proposed project complies with the requirements of the San Diego Municipal Code and the associated findings can be made in the affirmative. Staff has reviewed the proposed project and found it to be in conformance with the applicable sections of the San Diego Municipal Code, except for the requested deviation. The project conforms to the Rancho Bernardo Community Plan's Housing and Residential Land Use Element, which identifies the Casa De Las Campanas site as a life care retirement center. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Conditional Use Permit No. 1982885, an Amendment to Conditional Use Permit No. 1409096, and Planned Development Permit No. 1982886, with modifications.
2. Deny Conditional Use Permit No. 1982885 and Planned Development Permit No. 1982886, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



P.J. FitzGerald
Assistant Deputy Director
Development Services Department



Glenn R. Gargas
Development Project Manager
Development Services Department

Attachments:

1. Aerial & Street View Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution with MMRP
7. Copy of Recorded (existing) Permit
8. Project Plans
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement



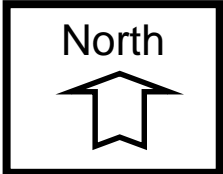
**SITE OF NEW ADDITIONAL
RESIDENTIAL CARE FACILITY - DEMO
OLD SKILLED NURSING FACILITY**

**SITE OF NEW SKILLED NURSING
FACILITY CURRENTLY UNDER
CONSTRUCTION**



Aerial Photo No. 1

**CASA DE LAS CAMPANAS RESIDENTIAL ADDITION CUP/PDP - 18655 W. BERNARDO DR.
PROJECT NO. 546769**





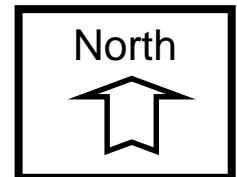
**SITE OF NEW ADDITIONAL
RESIDENTIAL CARE FACILITY
- DEMO OLD SKILLED
NURSING FACILITY**

**SITE OF NEW SKILLED NURSING
FACILITY CURRENTLY UNDER
CONSTRUCTION**



Aerial Photo No. 2

**CASA DE LAS CAMPANAS RESIDENTIAL ADDITION 18655 W. BERNARDO DR.
PROJECT NO. 546769**



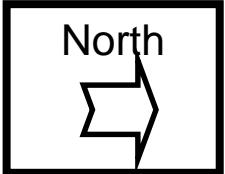


**SITE OF NEW ADDITIONAL
RESIDENTIAL CARE FACILITY -
DEMO OLD SKILLED NURSING
FACILITY**



Aerial Photo No. 3

**CASA DE LAS CAMPANAS RESIDENTIAL ADDITION - 18655 W. BERNARDO DR.
PROJECT NO. 546769**





**NEW ADDITIONAL
RESIDENTIAL CARE FACILITY -
DEMO OLD SKILLED NURSING
FACILITY**

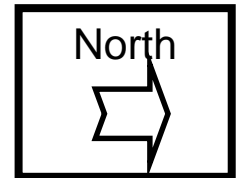
**EXISTING RESIDENTIAL CARE
FACILITY**

Escondido Fwy ← → Escondido Fwy



Street View No. 1 – From I-15 Freeway

**CASA DE LAS CAMPANAS RESIDENTIAL ADDITION - 186555 W. BERNARDO DR.
PROJECT NO. 546769**



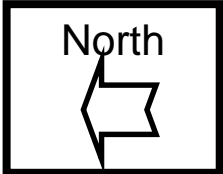


**SITE OF NEW ADDITIONAL
RESIDENTIAL CARE FACILITY - DEMO
OLD SKILLED NURSING FACILITY**



Street View No. 2 – From W. Bernardo Dr.

**CASA DE LAS CAMPANAS RESIDENTIAL ADDITION - 18655 W. BERARDO DR.
PROJECT NO. 546769**



LAND USE

Residential

- 1 Very Low Density Residential (0-1 du/ac)
- 2 Low Density Residential (1-9 du/ac)
- 3 Low-Medium Density Residential 9-14 du/ac)
- 4 Medium Density Residential (14-29 du/ac)

Commercial

- NC Neighborhood Commercial
- O Office Commercial
- R Resort
- SC Specialized Commercial
- TC Town Center

Educational

- Schools

Industrial

- S Industry

Institutional

- IN Institutional

Recreational

- P Public Park
- G Golf Course
- R Private Recreation
- OS Open Space
- Bodies of Water

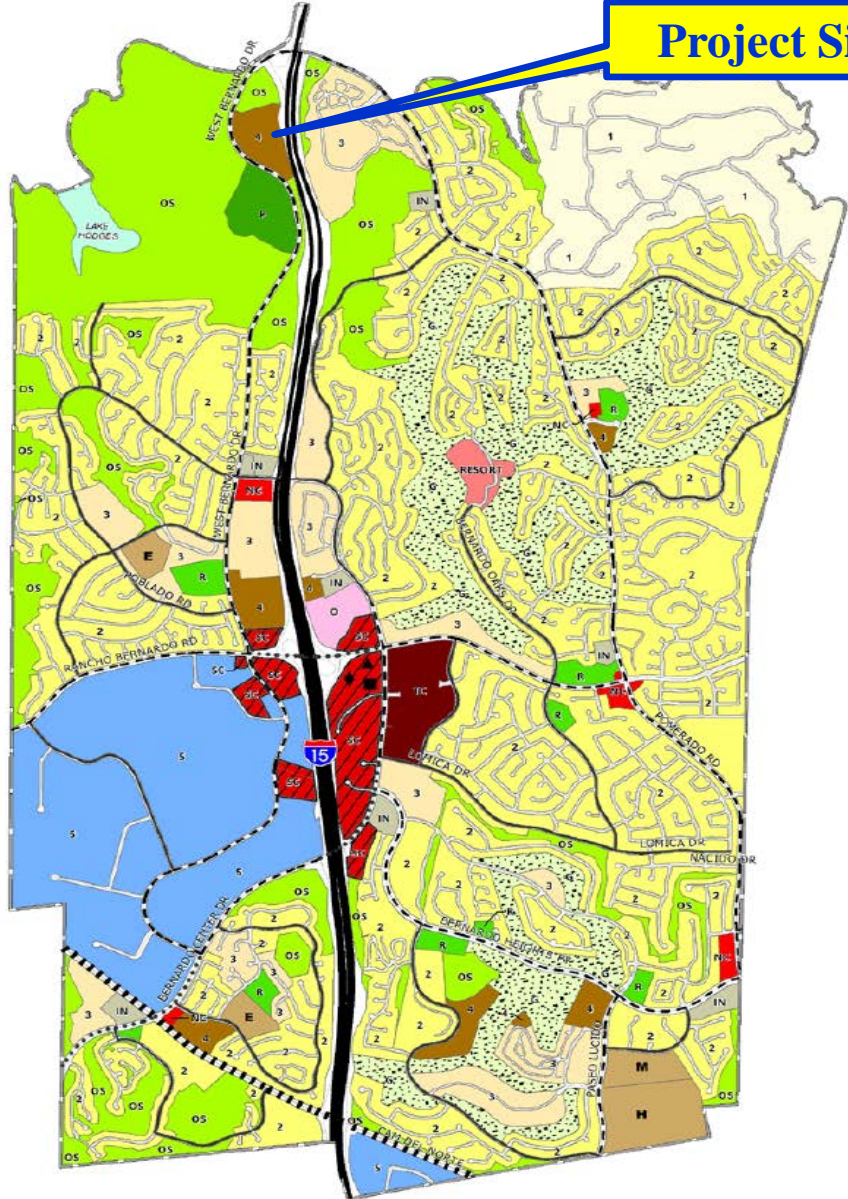
- Post Office
- Fire Station
- Library
- E Elementary School
- M Intermediate School
- H High School

Circulation

- Freeway
- Expressway
- 6 Lane Major Street
- 4 Lane Major Street
- Collector Street



Project Site

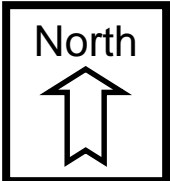


Rancho Bernardo Community Plan Map
Rancho Bernardo Community Plan



Land Use Map

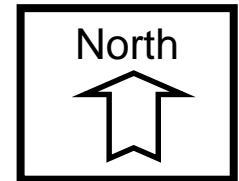
CASA DE LAS CAMPANAS RESIDENTIAL ADDITION CUP/PDP - 18655 W. BERNARDO DRIVE
PROJECT NO. 546769





Project Location Map

**CASA DE LAS CAMPANAS RESIDENTIAL ASSITION CUP/PDP – 18655 W. BERNARDO DR.
PROJECT NO. 546769**



PLANNING COMMISSION RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 1982885/PLANNED DEVELOPMENT PERMIT NO. 1982886
CASA DE LAS CAMPANAS - PROJECT NO. 546769 MMRP
AMENDMENT TO CONDITIONAL USE PERMIT NO. 1409096

WHEREAS, CASA DE LAS CAMPANAS, INCORPORATED, a California Nonprofit Public Benefit Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a skilled nursing facility building and construct a five-story residential care building, an addition to an existing residential elderly care facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1982885 and 1982886), on portions of a 22.7-acre property;

WHEREAS, the project site is located at 18655 West Bernardo Drive, in the RM-2-5 Zone, Residential Tandem Parking Overlay Zone and within the Rancho Bernardo Community Plan area;

WHEREAS, the project site is legally described as; Lots 1 – 9, Casa de las Campanas II, City of San Diego, County of San Diego, State of California, According to Map Thereof No. 11273, filed in the Office of the Recorder of San Diego County, July 3, 1985, and that portion of Rancho Bernardo, according to Record of Survey Map No. 6081, Filed August 9, 1962 filed in the Office of the Recorder of San Diego County, City of San Diego, County of San Diego, State of California;

WHEREAS, on August 29, 2019, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1982885 and Planned Development Permit No. 1982886, pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 1982885 and Planned Development Permit No. 1982886:

CONDITIONAL USE PERMIT – SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 126.0305

1. The proposed development will not adversely affect the applicable land use Plan.

The 22.7-acre project site is currently developed with a 275,687 square-foot elderly-care residential facility. This proposed project would demolish an existing building containing a 99-bed, 33,320 square-foot skilled nursing facility, and construct a new 140,087 square-foot, five story residential care building. The new residential care building will be located on a 1.13-acre portion of the project site in the south-eastern portion of the residential elderly care facility campus. This area is currently developed with an existing skilled nursing building that is being phased out with the functions moving into a new skilled nursing building previously approved under Project No. 400695. The residential element of the Rancho Bernardo Community Plan (RBCP) identifies this site for residential land use at a medium density of 14-29 du/ac. While a residential care building is proposed, residential care facilities do not contain dwelling units and do not count toward density calculation requirements.

The Community Plan's Housing and Residential Land Use Element identifies the Casa De Las Campanas specifically as a life care retirement center. This proposal will not adversely affect the RBCP, because the proposed development is consistent with the Plan's Life Care Retirement Center designation. The residential element of the Rancho Bernardo community plan has an objective to encourage a housing inventory consisting of a wide variety of housing types and prices. The proposal, to add additional residential care to this existing elderly housing facility, would help achieve this objective by providing assisted living for seniors and those with disabilities within the community. Due to these factors, the proposed additional residential care facility will not adversely affect the City of San Diego adopted RBCP.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The 22.7-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing facility, replace it with a new 140,087 square-foot residential care facility. An environmental analysis included an analysis of the project's potential impact on public health and safety, and no significant impacts to health, safety and welfare were identified. The project is subject to regulations regarding noise, including Title 24 requirements, and the permit conditions state the applicant's obligation to implement acoustical measures to assure specific interior noise levels are achieved.

The street and site improvements associated with this new additional residential care facility will comply with City Engineering and Fire Department Standards. In addition to those measures, the construction of the skilled nursing facility is conditioned to comply with all current building, electrical and plumbing codes. Due to these factors, the proposed new residential care building, an addition to the existing elderly-care residential facility would therefore not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the land development code including any allowable deviations pursuant to the Land Development Code.

The 22.7-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing facility, and construct a new five story, 140,087 square-foot residential care facility on a 1.13-acre portion of the project site. The proposed residential care building will comply with all the development regulations of the new RM-2-5 zone, except for the proposed building height. The applicant requested a deviation to height which can be allowed through an approved Planned Development Permit, per San Diego Municipal Code Section 126.0602. The proposed deviation to increase the building height from 40 feet to 72 feet for a tower element, with a majority of the structure at 60 to 66 feet in height, will allow the development to remain consistent with the existing pattern of development of the current facility. The applicant demonstrated on the plans that the existing facility exceeds the height zoning 40-foot limit and that the proposed new building is in keeping with the existing size, scale and mass of the existing elderly-care campus. The existing buildings on the campus to the north and west are four stories at 45 to 55 feet in height. The new skilled nursing building that is under construction to the south is 63 feet in height. The proposed development will transition harmoniously to the surrounding campus. Due to these factors, the proposed addition residential care facility was found to be in compliance with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The 22.7-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove or demolish an existing 33,320 square-foot skilled nursing facility, replace it with a new, five-story, 140,087 square-foot residential care facility located on a 1.13-acre portion of the project site. The residential element of the Rancho Bernardo community plan has an objective to encourage a housing inventory consisting of a wide variety of housing types and prices. This elderly-care residential facility is bordered to the west and southwest by Rancho Bernardo Community Park and open space, to the north by open space and Lake Hodges, and to the east by I-15. The proposed additional residential care building would be located on the campus south eastern portion of the 22.7-acre project site. The proposal, to add the additional residential care building to the elderly residential care facility, would help achieve an objective of the Community Plan by providing assisted living for seniors and those with disabilities. The proposed residential care use already exists at this site and the new residential addition to the elderly care facility is appropriate at the proposed location.

PLANNED DEVELOPMENT PERMIT – SAN DIEGO MUNICIPAL CODE SECTION 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The 22.7-acre project site is currently developed with a 275,687 square-foot residential elderly-care facility. This proposed project would demolish an existing 33,320 square-foot skilled nursing building, replace it with a new, five story, 140,087 square-foot residential care building. The new residential care building will be located on a 1.13-acre portion of the project site. The residential element of the RBCP identifies this site for residential land use at a medium density of 14-29 du/ac.

A residential care building with 24 independent living apartments and 66 assisted living apartments for a total of 90 units is proposed.

The RBCP's Housing and Residential Land Use Element identifies the Casa De Las Campanas specifically as a life care retirement center. This proposal will not adversely affect the RBCP because the proposed development is consistent with the Plan's life care retirement center designation. The residential element of the RBCP has an objective to encourage a housing inventory consisting of a wide variety of housing types and prices. The proposal, to add a residential care building to the residential elderly care facility, would help achieve this objective by providing assisted living for seniors and those with disabilities within the community. Due to these factors, the proposed development will not adversely affect the City of San Diego adopted RBCP.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The 22.7-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing building, and construct a new 140,087 square-foot residential care building. The new residential care building will be located on a 1.13-acre portion of the project site. An environmental analysis included an analysis of the project's potential impact on public health and safety, and no significant impacts to health, safety and welfare were identified, except for noise. Major proposed noise sources would generate from construction activities, I-15 traffic, site traffic, parking lot activities, truck deliveries and onsite mechanical equipment. Mitigation measures have been included into the construction phase of the project, as recommended by the Acoustical Analysis Report, to reduce impacts to a level below significance.

The street and site improvements associated with this new additional residential care facility will comply with City Engineering and Fire Department Standards. In addition to those measures, the construction of the residential care building is conditioned to comply with all current building, electrical and plumbing codes. Due to these factors, the proposed new residential care building project would therefore not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b) (1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The 22.7-acre project site is currently developed with a residential elderly-care facility. This proposed project would remove an existing 33,320 square-foot skilled nursing building, and construct a new, five-story, 140,087 square-foot residential care building added to the campus of the residential elderly care facility. The new residential care building will be located on south eastern portion of the project site. The proposed residential care building will comply with all the development regulations of the new RM-2-5 zone, except for building height. The proposed deviation to increase the building height from 40 feet to 72 feet for a tower element, with a majority of the structure at 60 to 66 feet in height, will allow the development to remain consistent with the existing pattern of development of

the current facility. The applicant demonstrated on the plans that the existing facility exceeds the height zoning 40-foot limit and that the proposed new building is in keeping with the existing size, scale and mass of the existing elderly-care campus. The existing buildings on the campus to the north and west are four stories at 45 to 55 feet in height. The new skilled nursing building that is under construction to the south is 63 feet in height. The proposed development will transition harmoniously to the surrounding campus.

This elderly care facility provides a needed housing for the elderly on a unique project site. The project site is surrounded by park and open space to the south, west and north. The I-15 Freeway is directly adjacent to the east. By allowing the height deviation, the facility can provide needed housing for the elderly and make full use of this unique project site.

Due to these factors the proposed residential care building is in compliance with the Land Development Code. Therefore, the proposed development will comply with the regulations of the Land Development Code and the proposed deviation to increase building height will result in a more desirable project by introducing architectural elements, such as tower elements, that break-up building massing and create visual interest, than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1982885 and Planned Development Permit No. 1982886, is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1982885 and 1982886, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services

Adopted on: August 29, 2019

IO#: 24007263

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007263

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1982885/PLANNED DEVELOPMENT PERMIT NO. 1982886
CASA DE LAS CAMPANAS RESIDENTIAL ADDITION - PROJECT NO. 546769
AMENDMENT TO CONDITIONAL USE PERMIT NO. 1409096
PLANNING COMMISSION

This Conditional Use Permit No. 1982885/Planned Development Permit No. 1982886, Amendment to Conditional Use Permit No. 1409096, is granted by the Planning Commission of the City of San Diego to CASA DE LAS CAMPANAS, INCORPORATED, a Californian Nonprofit Public Benefit Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0113 and 126.0602. The 22.7-acre site is located at 18655 West Bernardo Drive, in the RM-2-5 Zone, Residential Tandem Parking Overlay Zone and within the Rancho Bernardo Community Plan area. The project site is legally described as: Lots 1 – 9, Casa de las Campanas II, City of San Diego, County of San Diego, State of California, According to Map Thereof No. 11273, filed in the Office of the Recorder of San Diego County, July 3, 1985, and that portion of Rancho Bernardo, according to Record of Survey Map No. 6081, Filed August 9, 1962 filed in the Office of the Recorder of San Diego County, City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a skilled nursing facility building and construct a five-story residential care building, an addition to the existing residential elderly care facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 29, 2019, on file in the Development Services Department.

The project shall include:

- a. To demolish an existing skilled nursing building and construct a five-story, 140,087-square-foot, residential care building, an addition to an existing residential elderly care facility. The residential care building includes 24 independent living units and 66 assisted living units;
- b. Deviation to building height, to allow a height of up to 72 feet where 40 feet is the maximum height allowed by the zone;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

- e. Patios, sidewalks, fencing, site walls, planters and exterior lighting; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 11, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. Unless otherwise herein, all applicable conditions of Conditional Use Permit No. 1409096 (Project No. 400695), and prior Planned Development Permit No. 1409097 are supplemental to and shall remain in effect throughout the life of this permit.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 546769, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 546769, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

NOISE

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

16. The project proposes to export 9,350 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the north driveway with current City Standard concrete driveway, adjacent to the site on West Bernardo Drive, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

22. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

23. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

24. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

25. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

26. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.

27. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping shall be the responsibility of a Landscape Maintenance District or other approved

entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times consistent with the City of San Diego Landscape Regulations and Standards.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. Unless otherwise stated herein, all applicable conditions of Conditional Use Permit No. 1409096, are supplemental to and shall remain in effect throughout the life of this Permit.

32. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

34. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

35. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the north driveway with current City Standard concrete driveway, adjacent to the site on West Bernardo Drive, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

37. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
38. Prior to the issuance of any construction permits, the Owner/Permittee is required to record an additional water easement for the proposed water service as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and City Engineer.
39. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
40. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

GEOLOGY REQUIREMENTS

41. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 29, 2019, by Resolution No. _____.

ATTACHMENT 5

Permit Type/PTS Approval No.: CUP No. 1982885/PDP No. 1982886
Date of Approval: Aug. 29, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Casa de las Campanas, Incorporated
Owner/Permittee

By _____
David Johnson
CFO/Treasurer

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

ADOPTED ON AUGUST 29, 2019

WHEREAS, on July 19, 2017, David Johnson submitted an application to the Development Services Department for a PLANNED DEVELOPMENT PERMIT and a CONDITIONAL USE PERMIT for the Casa De Las Campanas Residential Addition (Project); and

WHEREAS, the matter was set for a public meeting to be conducted by the Planning Commission of the City of San Diego; and WHEREAS, the issue was heard by the Planning Commission on August 29, 2019; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 546769 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

ATTACHMENT 6

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 1st Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Glenn R. Gargas

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

PLANNED DEVELOPMENT PERMIT NO. 1982886
CONDITIONAL USE PERMIT NO. 1982885

PROJECT NO. 546769

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 546769 shall be made conditions of Planned Development Permit No. 1982886 and Conditional Use Permit No. 1982885 as may be further described below.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. GENERAL REQUIREMENTS – PART I: Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover

its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II: Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

*Qualified Acoustical Representative
Qualified Structural Engineer or Geotechnical Engineer*

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) #546769 and /or Environmental Document #546769, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc).

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include

copies of permits, letters of resolution or other documentation issued by the responsible agency.

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:**

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to Preconstruction Meeting
Noise	Temporary Noise Barrier Plan	During Construction
Noise	Vibration Monitoring Plan	During Construction
Bond Release	Request for a Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Noise Requirements

1. Noise barriers shall be constructed around the perimeters of all outdoor areas exceeding 65 CNL.
 - a) The continuous noise barrier enclosing the courtyard should be constructed out of a minimum 4 lb/psf material and have a minimum height of 12'-0". The

- barrier should extend around the entire perimeter of the courtyard and terminate at the exterior walls of the building.
- b) Balconies and common decks exceeding an exterior CNEL of 77 shall be enclosed with a glass wall of a minimum 5/16" thick and 8'-0" high with no gaps.
 - c) Balconies and common decks exceeding an exterior CNEL of 72 should be enclosed with a glass wall of a minimum 5/16" thick and 6'-0" high with no gaps at the base and corners
2. All exterior doors and windows shall be well fitted and sealed.
- a) Windows shall have a fixed sash or an efficiently weather stripped, operable sash. The sash shall be rigid and weather-stripped with material that is compressed airtight when the window is closed.
 - i. Recommendations for STC rated glazing assemblies, up to STC 45 for the worst-case scenario exterior noise locations, are detailed in the marked-up drawings in Appendix II
 - b) Glass shall be sealed in an airtight manner with a non-hardening sealant or a soft elastomeric gasket or gasket tape.
 - c) The perimeter of window and door frames shall be sealed airtight to the exterior wall construction with a sealant conforming to one of the following Federal specifications: TT-S- 00227, TT-S-00230 or TT-S-00153.
 - d) Fresh air should be supplied by a ducted system that maintains the acoustical performance of the exterior building envelope
3. Exterior wall assemblies shall be comprised of the following minimum construction:
- 7/8" stucco or 1-1/4" simulated stone
 - 1-1/2" cold-formed framing – vert z-girt at 16" OC
 - 3-1/2" mineral fiber insulation
 - (2) layers 5/8" moisture-resistant sheathing
 - Cold-formed metal framing
 - (2) layers 5/8" gypsum wallboard
- a) Acoustic construction details are essential to the performance of any wall assembly. At the concrete slab, it is recommended that the layer of gypsum board on the unit side be sealed on top and bottom with resilient caulk, as well as around the junction boxes.
 - b) Window rough-in seams should be no greater than 'A", and all seams should be caulked with resilient caulking.
 - c) Seal, caulk, gasket or weather-strip all joints and seams to eliminate air leakage through these assemblies. This would include around windows and doorframes, at penetrations through walls, and all other openings in the building envelope.
4. The interior noise standard is to be met in all spaces with the windows and doors closed. Ventilation is required in all spaces per the Uniform Building Code and Uniform Mechanical Code standards in order to provide a habitable environment. Wall-mounted air conditioners shall not be used.
5. All supply and return ducts to the exterior shall have the first five feet from the exterior of 20-gauge steel duct that is internally lined with one-inch thick internal acoustic lining. For compliance with health and safety requirements, kitchen exhaust

ducts should not be lined. Each duct shall include a 90 degree elbow within the first five feet from the exterior such that there is no direct line of sight through the duct. Where a 90 degree elbow cannot be used, two 45 degree elbows may be used so that there is no direct line of sight through the duct. Duct openings should not be oriented towards the freeway.

6. Attic vents, if any, should not be oriented towards the freeway.
7. Range exhaust ducts connecting the interior space to the exterior shall contain a weighted backdraft damper.
8. Skylights should not be used at the project site.
9. At any penetrations of exterior walls by pipes, ducts or conduits, the space between the wall and pipes, ducts or conduits shall be caulked or filled to form an airtight seal.
10. Any other exterior vents or penetrations should not be used.

During Construction:

11. To mitigate construction noise to within SDMC limits at the existing Casa de las Campanas facility, a temporary noise barrier should be installed from the existing structures. See Figure 12-1 below for recommended extents.
 - a) The barrier should consist of a minimum 1 lb/sf mass loaded vinyl
 - b) In areas shown in red in Figure 12-1, the barrier should be suspended from the roof levels of the existing building and extend to the ground level. Drape the barrier material onto the ground to prevent sound transfer beneath the gap. Overlap the material where seams occur to prevent gaps between the barrier material.
 - c) In areas shown in blue in Figure 12-1, the barrier should be mounted on the ground level and have a vertical extent of 20'. The barrier should be continuous and have no gaps at the bottom or at any seams.
12. To the extent feasible, heavy construction equipment (bulldozers, excavators, etc.) shall not operate within 115 feet of the existing residential buildings at Casa de las Campanas facilities in order to minimize annoyance. Where this is not feasible, activities should take place during daytime work hours to minimize adverse impact on the residents in the existing facility. Additionally, residents should be relocated if impacted significantly. To avoid potential building damage due to vibration, the following measures shall be implemented when use of such equipment will take place within 15 feet of the existing buildings:
 - a) Qualified structural and geotechnical engineers shall review the peak vibration velocities estimated in this report and determine if there are any risks to the building, including possible risks from dynamic soil settlement induced by the vibration. If the structural or geotechnical engineers identify any potential risks, they shall take all necessary steps to protect the building including, but not limited to, photographing and/or videotaping the building in order to provide a record of the existing conditions before construction.
 - b) If considered appropriate by a qualified structural engineer or geotechnical engineer, long-term continuous vibration monitoring will be provided. A vibration monitoring plan will be submitted upon request.

ATTACHMENT 6

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

DOC# 2016-0052338



Feb 05, 2016 11:14 AM

OFFICIAL RECORDS
Ernest J. Dronenburg, Jr.,
SAN DIEGO COUNTY RECORDER
FEES: \$66.00

PAGES: 18

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005412

**CONDITIONAL USE PERMIT NO. 1409096 AND
PLANNED DEVELOPMENT PERMIT NO. 1409097
CASA DE LAS CAMPANAS - PROJECT NO. 400695 (MMRP)
AMENDMENT TO CUP NO. 9867
CITY COUNCIL**

This Conditional Use Permit No. 1409096 and Planned Development Permit No. 1409097, an Amendment to Conditional Use Permit No. 9867 is granted by the City Council of the City of San Diego to Casa de las Campanas, Inc., a California Corporation, Owner / Permittee, pursuant to San Diego Municipal Code (SDMC) section 141.0312 and 126.0602(b). The 22.29-acre site is located at 18655 West Bernardo Drive in the RM-2-5 and AR-1-1 Zone (AR-1-1 being requested to be rezoned to RM-2-5 as part of this project), Residential Tandem Parking Overlay Zone and with the Rancho Bernardo Community Plan area. The project site is legally described as: Lots 1 – 9, Casa de las Campanas II, Map No. 11273.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee to add a new skilled nursing building to an existing elderly care facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 11, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing 99-bed, 33,320 square foot skilled nursing facility and construction of a 96,019 square foot, 72-bed skilled nursing building added to an existing elderly care residential facility on a 22.29-acre property;
- b. Deviation to building height to 63 feet where 40 feet is the maximum allowed and a deviation to the fence regulations to allow trash enclosure walls to exceed the 6-foot height limit for solid walls within a side setback;

ORIGINAL

- c. Existing and new landscaping (planting, irrigation and landscape related improvements);
- d. Existing and new Off-street parking;
- e. Patio, court yard, retaining walls, site walls and lighting; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 26, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the construction of a 24-foot wide City standard driveway, on West Bernardo Drive, satisfactory to the City Engineer.
12. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for private storm drain located within the public easement, satisfactory to the City Engineer.
13. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
15. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Quality Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
16. The drainage system for this project shall be private and will be subject to approval by the City Engineer.
17. The Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
18. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-00090DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2007-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
19. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

20. This project proposes to export 1260 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

22. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

23. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 sq-ft area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).

24. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

26. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. Prior to issuance of any building permit, the Owner/Permittee shall submit construction drawings that include the design recommendations of the approved technical report (Acoustical Study for the Proposed Expansion of the Casa de las Campanas Skilled Nursing Facility, Weiland Acoustics, 8/13/2015) as shown on pages X, Y, and Z of Exhibit A.

30. Prior to final occupancy clearance, the Owner/Permittee shall submit three copies of a final acoustical report: two with construction documents to the Building Inspector, and one copy to the Deputy Director of the Land Development Review Section of the Development Services Department, or his/her designee. This report shall verify that interior noise levels of 45 dB CNEL or less and exterior noise levels of 65 dB CNEL or less have been achieved per the approved technical report (Acoustical Study for the Proposed Expansion of the Casa de las Campanas Skilled Nursing Facility, Weiland Acoustics, 8/13/2015). The report shall contain a table with a row for each affected location identified in the approved technical report and shall contain the name of the location, the noise level measured at that location, and whether the noise level meets the applicable interior/exterior standard.

31. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

33. No fewer than 449 parking spaces including 10 accessible spaces, 1 carpool/zero emissions space, 1 short-term and 1 long-term bicycle space, and 2 motorcycle spaces (with 538 parking spaces provided including 18 accessible spaces, 24 carpool/zero emissions, 8 short-term and 6 long-term bicycle spaces, and 2 motorcycle spaces) shall be maintained on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

34. Prior to issuance of the first building permit, Owner/Permittee shall provide a Transportation Demand Management Plan to include transit pass subsidies for employees/residents, bicycle parking spaces and lockers, carpool/vanpool reserved parking spaces, transit/carpool/vanpool information kiosks, satisfactory to the City Engineer.

35. Prior to issuance of the first building permit, the Owner/Permittee shall provide verification that 75 parking spaces at the Life Bridge Church and transportation to and from the project site have been secured to provide parking for construction workers and/or employees during the construction period.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

37. The Owner/Permittee shall process encroachment maintenance and removal agreements, for all acceptable encroachments into the sewer easement, including but not limited to structures, enhanced paving, or landscaping; No structures or landscaping of any kind shall be installed in or over any vehicular access roadway.

INFORMATION ONLY:

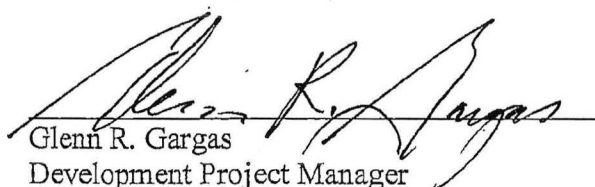
- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on JAN 11 2016, by
Resolution No. 310185.

Permit Type/PTS Approval No.: CUP No. 1409096 PDP No. 1409097

Date of Approval: Jan. 11, 2016

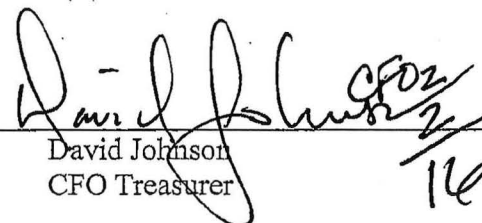
AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT


Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CASA DE LAS CAMPANAS, INC.
Owner/Permittee

By 
David Johnson
CFO Treasurer

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)
On February 3, 2014 before me Stacie L. Maxwell, Notary Public.
Date Here Insert Name and Title of the Officer
personally appeared Glenn R. Vargas
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Casa de las Campanas Document Date: January 11, 2014
Number of Pages: 8 Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:
[] Corporate Officer -- Title(s):
[] Partner -- [] Limited [] General
[] Individual [] Attorney in Fact
[] Trustee [] Guardian or Conservator
[] Other:
Signer Is Representing:

Signer's Name:
[] Corporate Officer -- Title(s):
[] Partner -- [] Limited [] General
[] Individual [] Attorney in Fact
[] Trustee [] Guardian or Conservator
[] Other:
Signer Is Representing:

ORIGINAL

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego)

On February 2, 2016 before me, Margarita Santos, Notary Public
(insert name and title of the officer)

personally appeared David Johnson,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



ORIGINAL

RESOLUTION NUMBER R- 310185

DATE OF FINAL PASSAGE JAN 11 2016

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO GRANTING CONDITIONAL USE PERMIT NO. 1409096 (AMENDMENT TO CONDITIONAL USE PERMIT NO. 9867) AND PLANNED DEVELOPMENT PERMIT NO. 1409097 FOR CASA DE LAS CAMPAÑAS – PROJECT NO. 400695.

ITEM # 202
SUB-C
1/11/16

WHEREAS, Casa de Las Campañas, Inc., a California Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing 99-bed skilled nursing facility and construction of a new 72-bed skilled nursing facility added to an existing elderly-care residential facility (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit No.1409096), on portions of a 22.29-acre property; and

WHEREAS, the property site is located at 18655 West Bernardo Drive, in the RM-2-5 and AR-1-1 Zones (the application requesting that the AR-1-1 Zone portion being rezoned to RM-2-5 Zone as part of this project) and is located within the Rancho Bernardo Community Plan area; and

WHEREAS, the project site is legally described as Lots 1 – 9, Casa de las Campañas II, Map No. 11273; and

WHEREAS, on January 11, 2016, the City Council of the City of San Diego considered Conditional Use Permit No. 1409096 and Planned Development Permit No. 1409097 pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, under Charter section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the

ORIGINAL

decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 1409096 and Planned Development Permit No. 1409097:

**I. CONDITIONAL USE PERMIT – SAN DIEGO MUNICIPAL CODE (SDMC)
SECTION 126.0305**

Findings for all Conditional Use Permits

1. **The proposed development will not adversely affect the applicable land use Plan.** The 22.29-acre project site is currently developed with a 275,687 square-foot elderly-care residential facility. This proposed project would demolish an existing building containing a 99-bed, 33,320 square-foot skilled nursing facility, and construct a new 96,019 square-foot, 72-bed skilled nursing facility. The new skilled nursing facility will be located on the 2.4 acre portion of the project site in the southern portion of the elderly care facility campus. This area is currently developed as an open parking area for the overall facility. The residential element of the Rancho Bernardo community plan identifies this site for residential land use at a medium density of 14-29 du/ac. A skilled nursing facility for 72 beds in 5 buildings is proposed. Residential care facilities do not count toward density calculation requirements.

The Community Plan's Housing and Residential Land Use Element identifies the Casa De Las Campañas specifically as a life care retirement center. This proposal will not adversely affect the Rancho Bernardo Community Plan, because the proposed development is consistent with the Plan's Residential Medium Density and Life Care Retirement Center designation. The residential element of the Rancho Bernardo community plan has an objective to encourage a housing inventory consisting of a wide variety of housing types and prices. The proposal, to add a skilled nursing building to the residential care facility, would help achieve this objective by providing assisted living for seniors and those with disabilities within the community. Due to these factors the proposed new skilled nursing facility will not adversely affect the City of San Diego adopted Rancho Bernardo Community Plan.

2. **The proposed development will not be detrimental to the public health, safety and welfare.** The 22.29-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing facility, replace it with a new 96,019 square-foot skilled nursing facility and rezone a 3.53-acre portion of the property from AR-1-1 to RM-2-5. The new skilled nursing facility will be located on the 3.53 acre (2.4 acre net) portion of the project site to be rezoned. An environmental analysis included an analysis of the project's potential impact on public health and safety, and no significant impacts to health, safety and welfare were identified. The project is subject to regulations regarding noise, including Title 24 requirements, and the permit conditions state the

applicant's obligation to implement acoustical measures to assure specific interior noise levels are achieved.

The street and site improvements associated with this new skilled nursing facility will comply with City Engineering and Fire Department Standards. In addition to those measures, the construction of the skilled nursing facility is conditioned to comply with all current building, electrical and plumbing codes. Due to these factors the proposed new skilled nursing facility project would therefore not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the land development code including any allowable deviations pursuant to the Land Development Code. The 22.29-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing facility, replace it with a new 96,019 square-foot skilled nursing facility and rezone a 3.53-acre portion of the property from AR-1-1 to RM-2-5. The new skilled nursing facility will be located on the 3.53-acre (2.4 acre net) portion of the project site to be rezoned. The proposed skilled nursing facility will comply with all the development regulations of the new RM-2-5 zone, except for building height and the allowed fence height within the side yard setback. The proposed deviations to increase the building height from 40 feet to 63 feet and allow an increased fence height to 12 feet for a proposed trash enclosure within the side setback area will allow the development to remain consistent with the existing pattern of development of the current facility. The community plan section on Retirement Housing Facilities states that these project should be evaluated on height, bulk, scale, setback, open space, landscaping, parking and architectural quality. The applicant demonstrated on the plans and cross sections that the existing facility contains two and three story buildings approximately 40 to 60 feet in height. These previous building heights were approved under the prior Conditional Use Permit. The proposed new building is in keeping with the existing size, scale and mass of the existing elderly-care campus. This proposal was found to meet the community plan's objective of maintaining the existing quality and character of Rancho Bernardo in all new development because the bulk, height and setback are consistent with existing buildings in the complex.

The Fence Regulations limit height of solid walls within the side setback to six feet. The required side setback is a minimum of 5 feet or ten percent of the lot width, whichever is greater. In this case the ten percent of the lot width is 150 feet, which is greater than 5 feet, resulting in the 150 foot setback requirement. The trash enclosure is proposed to be setback 10 feet from the property line. The deviation to allow the solid walls for a twelve foot high trash enclosure is supportable due to the unique lot width configuration resulting in a 150 foot side setback and the belief that the twelve foot high solid walls provide an adequate screened trash enclosure proportional to the skilled nursing facility building. The location of the trash enclosure is next to I-15, which is elevated above the project site by approximately 13 feet with no direct neighboring building in the vicinity. The twelve foot high trash enclosure walls will be softened by landscape shrubs within the side setback area. Due to these factors the proposed skilled nursing facility was found to be in compliance with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

4. **The proposed use is appropriate at the proposed location.** The 22.29-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove or demolish an existing 33,320 square-foot skilled nursing facility, replace it with a new 96,019 square-foot skilled nursing facility and rezone a 3.53-acre (2.4-acre net) portion of the property from AR-1-1 to RM-2-5. The new skilled nursing facility will be located on the 3.53-acre (2.4 acre net) portion of the project site to be rezoned. The residential element of the Rancho Bernardo community plan has an objective to encourage a housing inventory consisting of a wide variety of housing types and prices. This elderly-care residential facility is bordered to the west and southwest by Rancho Bernardo Community Park and open space, to the north by Lake Hodges, and to the east by I-15. The proposed skilled nursing facility would be located on the campus southern portion of the 22.29-acre project site. The proposal, to add a skilled nursing building to the residential care facility, would help achieve the objective by providing assisted living for seniors and those with disabilities. The proposed skilled nursing facility already exists at this site and the new replacement facility is appropriate at the proposed location.

II. PLANNED DEVELOPMENT PERMIT – SAN DIEGO MUNICIPAL CODE SECTION 126.0604

Findings for all Planned Development Permits

1. **The proposed development will not adversely affect the applicable land use plan.** The 22.29-acre project site is currently developed with a 275,687 square-foot elderly-care residential facility. This proposed project would remove or demolish an existing 33,320 square-foot skilled nursing facility, replace it with a new 96,019 square-foot skilled nursing facility and rezone a 2.4-acre portion of the property from AR-1-1 to RM-2-5. The new skilled nursing facility will be located on the 2.4 acre portion of the project site to be rezoned. This area to be rezoned currently is developed as an open parking area for the overall facility. The residential element of the Rancho Bernardo community plan identifies this site for residential land use at a medium density of 14-29 du/ac. A skilled nursing facility for 72 beds in 5 buildings is proposed. Residential care facilities do not count toward density calculation requirements.

The Community Plan's Housing and Residential Land Use Element identifies the Casa De Las Campañas specifically as a life care retirement center. This proposal will not adversely affect the Rancho Bernardo Community Plan, because the proposed development is consistent with the Plan's life care retirement center designation. The residential element of the Rancho Bernardo community plan has an objective to encourage a housing inventory consisting of a wide variety of housing types and prices. The proposal, to add a skilled nursing building to the residential care facility, would help achieve this objective by providing assisted living for seniors and those with disabilities within the community. Due to these factors the proposed development will not adversely affect the City of San Diego adopted Rancho Bernardo Community Plan.

2. **The proposed development will not be detrimental to the public health, safety and welfare.** The 22.29-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing facility, replace it with a new 96,019 square-foot skilled nursing facility and rezone a 3.53-acre

portion of the property from AR-1-1 to RM-2-5. The new skilled nursing facility will be located on the 3.53-acre (2.4 acre net) portion of the project site to be rezoned. The environmental analysis included an analysis of the project's potential impact on public health and safety, and no significant issues relating to that were found. The project is subject to regulations regarding noise, including Title 24 requirements, and the permit conditions state the applicant's obligation to implement acoustical measures to assure specific interior noise levels are achieved. The street and site improvements associated with this new skilled nursing facility will comply with City Engineering and Fire Department Standards. In addition to those measures, the construction of the skilled nursing facility is conditioned to comply with all current building, electrical and plumbing codes. Due to these factors the proposed new skilled nursing facility project would therefore not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code. The 22.29-acre project site is currently developed with an elderly-care residential facility. This proposed project would remove an existing 33,320 square-foot skilled nursing facility, replace it with a new 96,019 square-foot skilled nursing facility and rezone a 3.53-acre portion of the property from AR-1-1 to RM-2-5. The new skilled nursing facility will be located on the 3.53-acre (2.4 acre net) portion of the project site to be rezoned. The proposed skilled nursing facility will comply with all the development regulations of the new RM-2-5 zone, except for building height and the allowed fence height within the side yard setback. The proposed deviations to increase the building height from 40 feet to 63 feet and reduce the side setback from 150 feet to 10 feet will allow the development to remain consistent with the existing pattern of development of the current facility. The community plan section on Retirement Housing Facilities states that these project should be evaluated on height, bulk, scale, setback, open space, landscaping, parking and architectural quality. The applicant demonstrated on the plans and cross sections that the existing facility contains two and three story buildings approximately 40 to 60 feet in height. These previous building heights were approved under the prior Conditional Use Permit. The proposed new building is in keeping with the existing size, scale and mass of the existing elderly-care campus. This proposal was found to meet the community plan's objective of maintaining the existing quality and character of Rancho Bernardo in all new development because the bulk, height and setback are consistent with existing buildings in the complex.

The San Diego Municipal Code Section 142.0305 Fence Regulations limit height of solid walls within the side setback to six feet. The required side setback is a minimum of 5 feet or ten percent of the lot width, whichever is greater. In this case the ten percent of the lot width is 150 feet, which is greater than 5 feet, resulting in the 150 foot setback requirement. The trash enclosure is proposed to be setback 10 feet from the property line. The deviation to allow the solid walls for a twelve foot high trash enclosure is supportable due to the unique lot width configuration resulting in a 150 foot side setback and the belief that the twelve foot high solid walls provide an adequate screened trash enclosure proportional to the skilled nursing facility building. The location of the trash enclosure is next to I-15, which is elevated above the project

site by approximately 13 feet with no direct neighboring building in the vicinity. The twelve foot high trash enclosure walls will be softened by landscape shrubs within the side setback area. Due to these factors the proposed skilled nursing facility is in compliance with the City of San Diego's adopted Rancho Bernardo Community Plan. Thus the proposed development will comply with the regulations of the Land Development Code and the proposed deviations to increase building height and reduce the building side setback will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Conditional Use Permit No. 1409096 (which amends Conditional Use Permit No. 9867) and Planned Development Permit No. 1409097 is hereby granted to Casa De Las Campañas, Inc., Owner/Permittee, under the terms and conditions as set forth in the attached permit which is made part of this resolution.

BE IT FURTHER RESOLVED, this resolution shall take effect on the date on which the rezoning ordinance associated with this project (O- 20597) takes effect.

APPROVED: JAN I. GOLDSMITH, City Attorney

By Keely M. Halsey
Keely M. Halsey
Deputy City Attorney

KMH:als
12/21/2015
Or.Dept:DSD
Doc. No.: 1177963

Passed by the Council of The City of San Diego on JAN 11 2016, by the following vote:

Councilmembers	Yeas	Nays	Not Present	Recused
Sherri Lightner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lorie Zapf	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Todd Gloria	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Myrtle Cole	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mark Kersey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Cate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Scott Sherman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Alvarez	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Marti Emerald	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date of final passage JAN 11 2016

(Please note: When a resolution is approved by the Mayor, the date of final passage is the date the approved resolution was returned to the Office of the City Clerk.)

AUTHENTICATED BY:

KEVIN L. FAULCONER
Mayor of The City of San Diego, California.

ELIZABETH S. MALAND
City Clerk of The City of San Diego, California.

(Seal)

By , Deputy

Office of the City Clerk, San Diego, California

Resolution Number R- 310185

ORIGINAL

Passed by the Council of The City of San Diego on January 11, 2016, by the following vote:

YEAS: LIGHTNER, ZAPF, GLORIA, COLE, KERSEY, CATE,
SHERMAN, & EMERALD.
NAYS: NONE.
NOT PRESENT: ALVAREZ.
RECUSED: NONE.

AUTHENTICATED BY:
KEVIN L. FAULCONER
Mayor of The City of San Diego, California
ELIZABETH S. MALAND
City Clerk of The City of San Diego, California

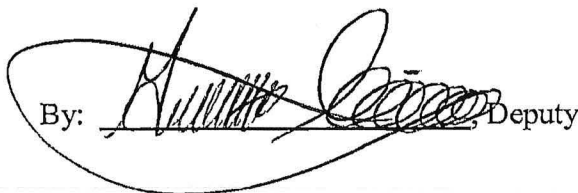
(Seal)

By: Gil Sanchez, Deputy

I HEREBY CERTIFY that the above and foregoing is a full, true and correct copy of RESOLUTION NO. R - 310185, approved on January 11, 2016. The date of final passage is January 11, 2016.

ELIZABETH S. MALAND
City Clerk of The City of San Diego, California

(Seal)

By:  Deputy

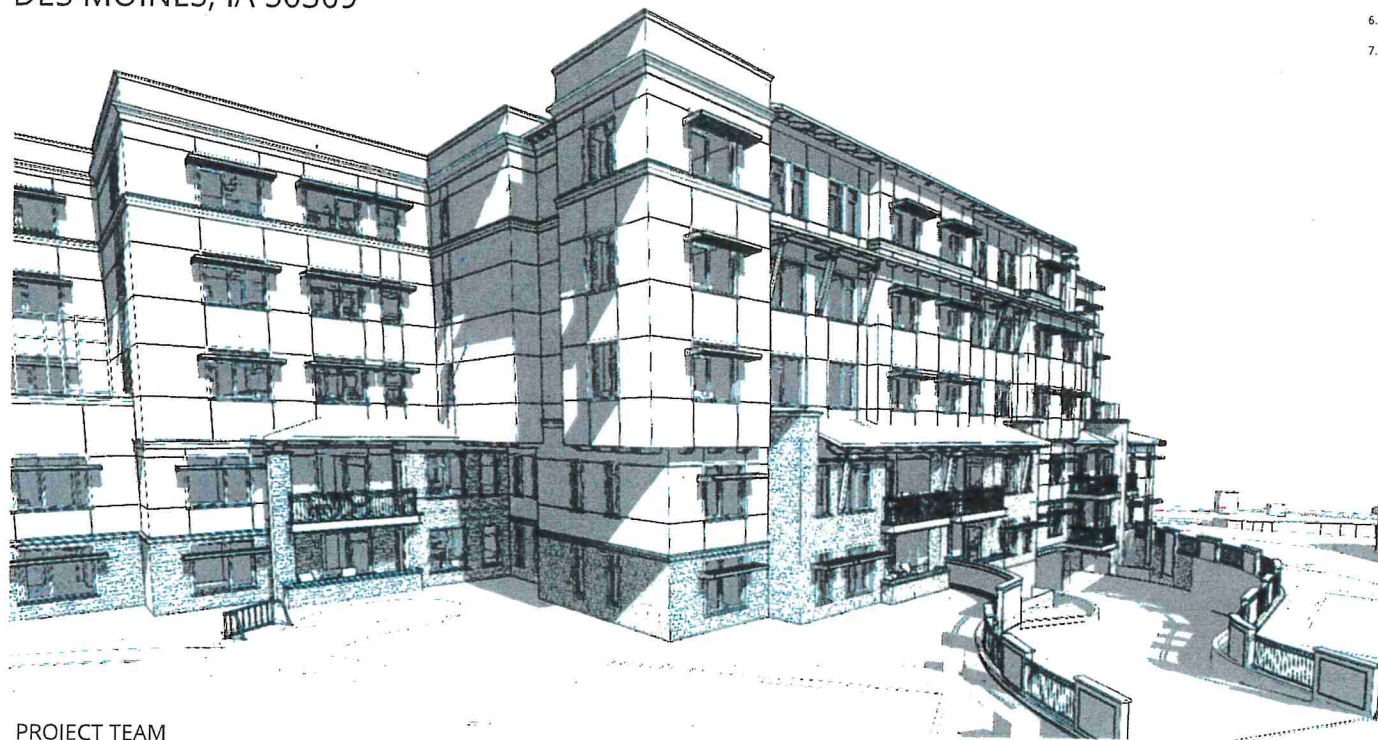
ORIGINAL

NOT FOR CONSTRUCTION

CASA DE LAS CAMPANAS PHASE 3 CONDITIONAL USE PERMIT

18685 West Bernardo Drive
San Diego, CA 92127

LCS DEVELOPMENT
4000 LOCUST STREET, SUITE 820
DES MOINES, IA 50309



PROJECT TEAM

CLIENT/OWNER
CASA DE LAS CAMPANAS
18685 W BERNARDO DRIVE
RANCHO BERNARDO, CA 92127
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www.ankrommoisan.com

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CIVIL
PARCO LARET SUTER & ASSOCIATES
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www.kiua.com

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619-244-4477

BROOKER WHALEN, PROJECT MANAGER
brooker@kiua.com
619-244-9945

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5670 OBERLIN DRIVE
SAN DIEGO, CA 92121
PH: 858-597-9555
www.exp.us

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858-414-2812

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SEATTLE, WA 98107
PH: 206-480-5183

MOHAMED ALLOUA
mohamed@aa3acoustic.com
206-551-5280

FOOD SERVICE
BORNES DESIGN GROUP, INC.
5955 MIRSA MESA BOULEVARD
SUITE W
SAN DIEGO, CA 92121
PH: 352-457-5955
FAX: 352-457-5950

GEORGE BORNES
GEORGE@BORNESDESIGNGROUP.COM

MELISSA WARREN
MELISSA@BORNESDESIGNGROUP.COM

LAND USE
ATERS GROUP
3281 TECHNOLOGY PLACE
SAN DIEGO, CA 92121
PH: 858-436-7770

TERRI BURGARDNER
tburgardner@aters.net
PH: 619-417-3211

VICINITY MAP



RCP CERTIFICATION

I hereby acknowledge and certify that:

- I am accountable for knowing and complying with the governing policies, regulations and submittal requirements applicable to this proposed development;
- I have performed reasonable research to determine the required approvals and decision process for the proposed project, and that failure to accurately identify an approval or decision process could significantly delay the permitting process;
- I have taken the Professional Certification for Development Permit Completeness Review training and am on the approved list for Professional Certification;
- Maintaining my Professional Certification for Development Permit Completeness Review privilege requires accurate submittals on a consistent basis;
- Submitting incomplete documents and plans on a consistent basis may result in the revocation of my Professional Certification for Development Permit Completeness Review;
- If required documents or plan content is missing, project review will be delayed; and
- This submittal package meets all of the minimum submittal requirements contained in Land Development Manual, Volume 1, Chapter 1, Section 4.

Responsible Certified Professional Name:
Signature: _____ Date: _____

SHEET INDEX

SHEET NUMBER	SHEET NAME	CUP SUBMITTAL
GENERAL		
GS.00	COVER SHEET	-
SURVEY		
*T1.00	TOPOGRAPHIC MAP-BOUNDARY	-
*T1.01	TOPOGRAPHIC MAP-SURVEY	-
CIVIL		
CC.1	PLOT PLAN	-
C1.00	SITE PLAN	-
LANDSCAPE		
L0.01	LANDSCAPE DEMOLITION PLAN	-
L0.02	LANDSCAPE DEMOLITION PLAN	-
L1.01	LANDSCAPE CONSTRUCTION PLAN	-
L1.02	LANDSCAPE CONSTRUCTION PLAN	-
L1.03	LANDSCAPE CONSTRUCTION PLAN	-
L1.04	CONSTRUCTION LEGEND	-
L1.05	CONSTRUCTION DETAILS	-
L2.01	LANDSCAPE IRRIGATION PLAN	-
L3.01	LANDSCAPE PLANTING PLAN	-
L3.02	LANDSCAPE PLANTING PLAN	-
L3.03	LANDSCAPE PLANTING PLAN	-
L3.04	PLANTING LEGEND & IMAGES	-
L3.05	PLANTING LEGEND AND NOTES	-
ARCHITECTURAL		
A1.00*	EXISTING CAMPUS PLAN	-
A1.00*	PROPOSED CAMPUS PLAN	-
A1.01	SITE PLAN	-
A1.02	FIRE DEPARTMENT ACCESS DIAGRAM	-
A1.11	ENLARGED SITE PLANS	-
A1.12	SERVICE YARD & TRASH ENCLOSURE ELEVATIONS	-
A2.P1	LEVEL P1 OVERALL FLOOR PLAN	-
A2.01	LEVEL 1 OVERALL FLOOR PLAN	-
A2.02	LEVEL 2 OVERALL FLOOR PLAN	-
A2.03	LEVEL 3 OVERALL FLOOR PLAN	-
A2.04	LEVEL 4 OVERALL FLOOR PLAN	-
A2.05	LEVEL 5 OVERALL FLOOR PLAN	-
A2.06	ROOF PLAN	-
A3.01	SITE PERSPECTIVE VIEWS	-
A3.02	SITE PERSPECTIVE VIEWS	-
A3.11	EXTERIOR ELEVATIONS	-
A3.12	EXTERIOR ELEVATIONS	-
A3.13	EXTERIOR ELEVATIONS	-
A4.01	BUILDING SECTIONS - NS	-
A4.02	BUILDING SECTIONS - EW	-
A4.11	SITE SECTIONS	-
A4.12	SITE SECTION DIAGRAMS	-

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A NEW ADDITION TO THE CASA DE LAS CAMPANAS SENIOR LIVING COMMUNITY. THE BUILDING IS (8) STORIES ABOVE GRADE WITH (1) BASEMENT LEVEL PARKING GARAGE. THE TOTAL GROSS AREA OF THE BUILDING IS APPROXIMATELY 140,087 SQUARE FEET. IT INCLUDES THE FOLLOWING FUNCTIONS:-

- DEMOLITION OF EXISTING 5NF BUILDING
- GRADING FOR BELOW GRADE PARKING
- NEW ADDITION:
 - OFFICE SUITE FOR HUMAN RESOURCES PERSONNEL
 - COMMON LIVING, DINING, AND ACTIVITY SPACE FOR RESIDENTS ON EACH FLOOR
 - CARE STATIONS, OFFICES, AND SUPPORT FOR ASSISTED LIVING STAFF
 - INDEPENDENT LIVING APARTMENTS: 24 UNITS
 - ASSISTED LIVING APARTMENTS: 66 UNITS
 - TOTAL APARTMENTS: 90 UNITS

PROJECT CONSTRUCTION FUNDING IS 100% PRIVATE FUNDS - CBC CHAPTER 11A IS TO BE UTILIZED AS APPLICABLE FOR HOUSING ACCESSIBILITY DESIGN

APPLICABLE CODES

2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 2016 CALIFORNIA BUILDING CODE (CBC) PART 2, TITLE 24 C.C.R. 1912 IBC WITH CA AMENDMENTS)
 2016 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24 C.C.R. (IEEC WITH CA AMENDMENTS)
 2016 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (IMC WITH CA AMENDMENTS)
 2016 CALIFORNIA PLUMBING CODE (CPL) PART 5, TITLE 24 C.C.R. (UPC WITH CA AMENDMENTS)
 2016 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24 C.C.R. (IFC WITH CA AMENDMENTS)
 2016 CALIFORNIA REFERENCE STANDARDS, PART 12, TITLE 24 C.C.R.
 2016 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

Casa de las Campanas Phase III Expansion
18685 West Bernardo Drive, San Diego, CA 92127

REVISION	DATE	REASON FOR ISSUE

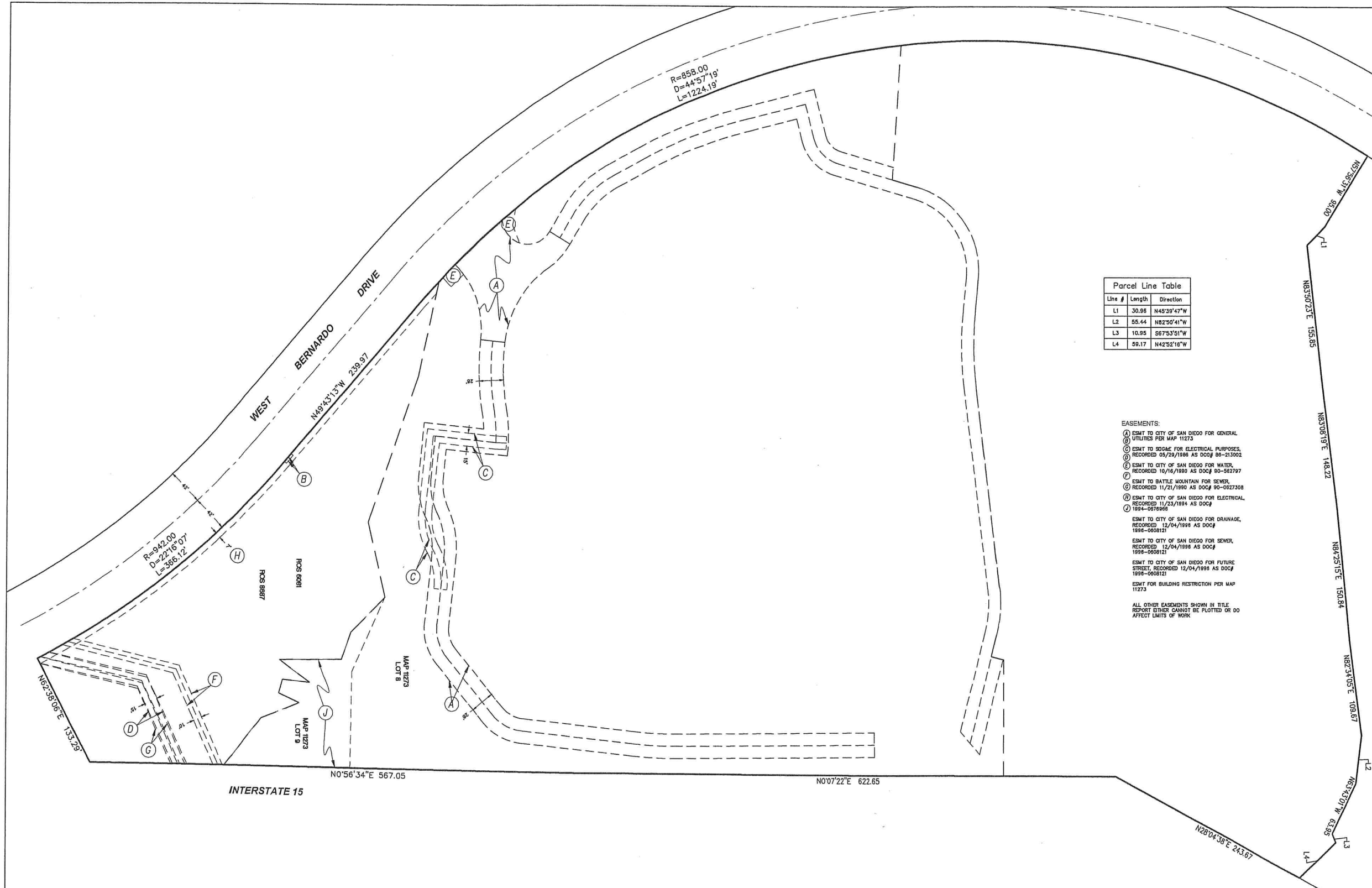
COVER SHEET

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
 PROJECT NUMBER: 162330
 SCALE: As Indicated

REVISION CYCLE: 3

G0.00



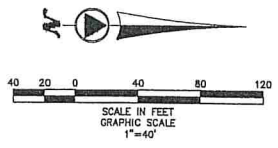
Parcel Line Table

Line #	Length	Direction
L1	30.98	N45°39'47"W
L2	55.44	N82°50'41"W
L3	10.95	S87°53'51"W
L4	59.17	N42°52'18"W

- EASEMENTS:
- ① ESMT TO CITY OF SAN DIEGO FOR GENERAL UTILITIES PER MAP 11273
 - ② ESMT TO SDG&E FOR ELECTRICAL PURPOSES, RECORDED 05/29/1996 AS DOC# 88-213002
 - ③ ESMT TO CITY OF SAN DIEGO FOR WATER, RECORDED 10/16/1990 AS DOC# 90-582797
 - ④ ESMT TO BATTLE MOUNTAIN FOR SEWER, RECORDED 11/21/1990 AS DOC# 90-0827308
 - ⑤ ESMT TO CITY OF SAN DIEGO FOR ELECTRICAL, RECORDED 11/23/1994 AS DOC# 1994-0876968
 - ⑥ ESMT TO CITY OF SAN DIEGO FOR DRAINAGE, RECORDED 12/04/1996 AS DOC# 1996-0608121
 - ⑦ ESMT TO CITY OF SAN DIEGO FOR SEWER, RECORDED 12/04/1996 AS DOC# 1996-0608121
 - ⑧ ESMT TO CITY OF SAN DIEGO FOR FUTURE STREET, RECORDED 12/04/1996 AS DOC# 1996-0608121
 - ⑨ ESMT FOR BUILDING RESTRICTION PER MAP 11273
- ALL OTHER EASEMENTS SHOWN IN TITLE REPORT OTHER CANNOT BE PLOTTED OR DO AFFECT LIMITS OF WORK.

DATE: April 13, 2019
 REVISION: 1
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

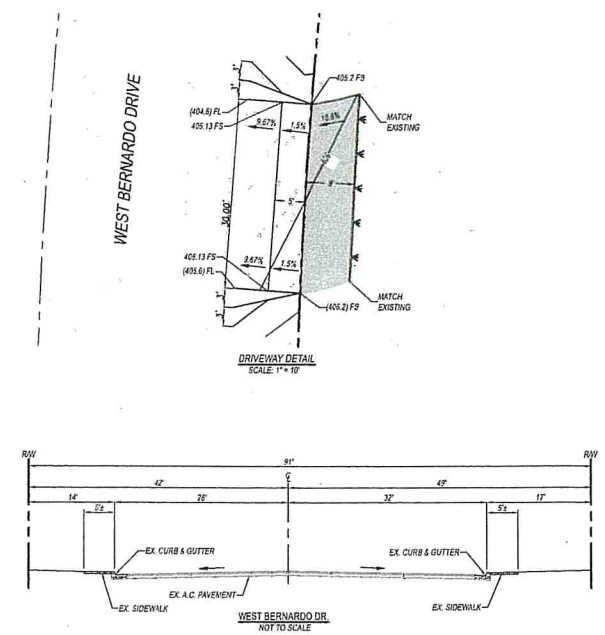
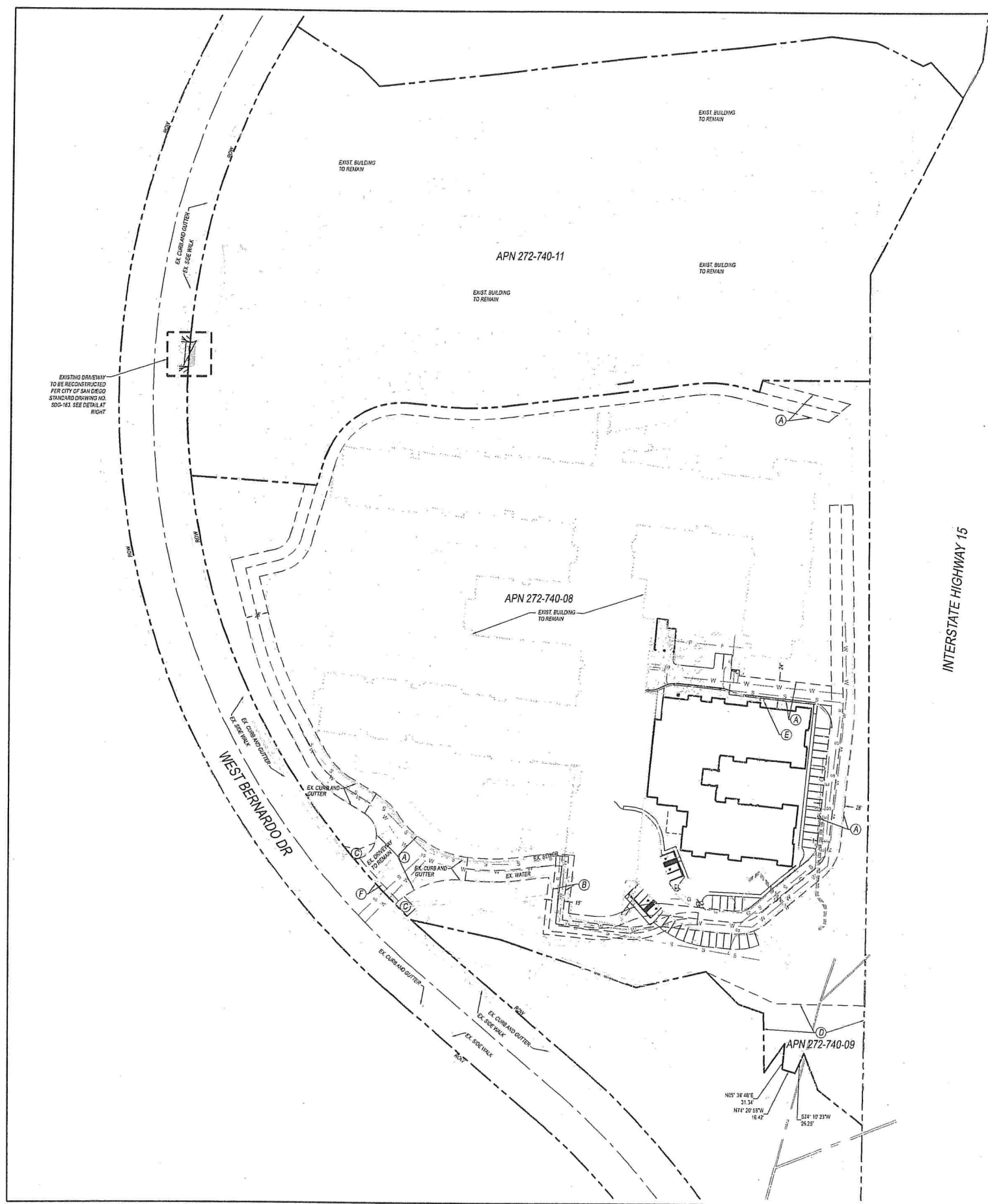
MASSON & ASSOCIATES, INC.
 200 East Washington Ave., Suite 200
 Escondido, CA 92025
 P. 760.741.3570
 F. 760.741.1784
 www.massonassoc.com



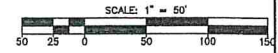
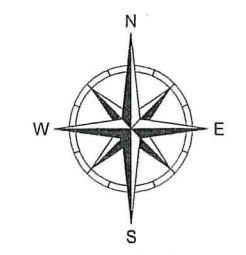
CASA DE LAS CAMPANAS
 BOUNDARY & EASEMENT EXHIBIT

T1.00
 SHEET 1 OF 2

MARCH 18, 2019 CYCLE 3



- EASEMENTS:
- (A) EASEMENT TO CITY OF SAN DIEGO FOR GENERAL UTILITIES PER MAP 11273
 - (B) EASEMENT TO CITY OF SAN DIEGO FOR WATER, RECORDED TO 191591AS DOC # 16-92797
 - (C) EASEMENT TO CITY OF SAN DIEGO FOR ELECTRICAL, RECORDED 1123151AS DOC # 1994-0610945
 - (D) EASEMENT FOR BUILDING RESTRICTION PER MAP 11273
 - (E) PROPOSED 3x5' PUBLIC WATERLINE EASEMENT POP-OUT.
 - (F) PROPOSED 6' WIDE PUBLIC PEDESTRIAN EASEMENT.



PASCO LARET SUITER & ASSOCIATES
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
 330 North Highway 101, Ste. A, Solana Beach, CA 92078
 ph: 858.299.8213 | fx: 858.299.8813 | plasm@pascoeng.com

NOT FOR CONSTRUCTION



1720 SW MACADAM AVENUE, SUITE 100
 PORTLAND, OR 97219
 T: 503.254.1000

117 SOUTHMAN STREET, SUITE 400
 SEATTLE, WA 98104
 T: 206.275.1030

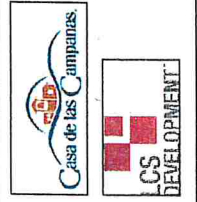
ANKROM MOISAN ARCHITECTS, INC.

PASCO LARET SUITER & ASSOCIATES
 SURVEY & CIVIL ENGINEERING
 1314 GUEST HARBOR RD
 SOLANA BEACH, CA 92075
 T: 858.299.8213

BURKETT & WONG
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 3424 ARLINE
 SAN DIEGO, CA 92102
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EXP US SERVICES, INC.
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 SAN DIEGO, CA 92121
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ATU & A
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 216 NORVAL STREET
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Casa de las Campanas
 Phase III Expansion
 18655 West Bernardo Drive San Diego, CA 92127
 LCS Development

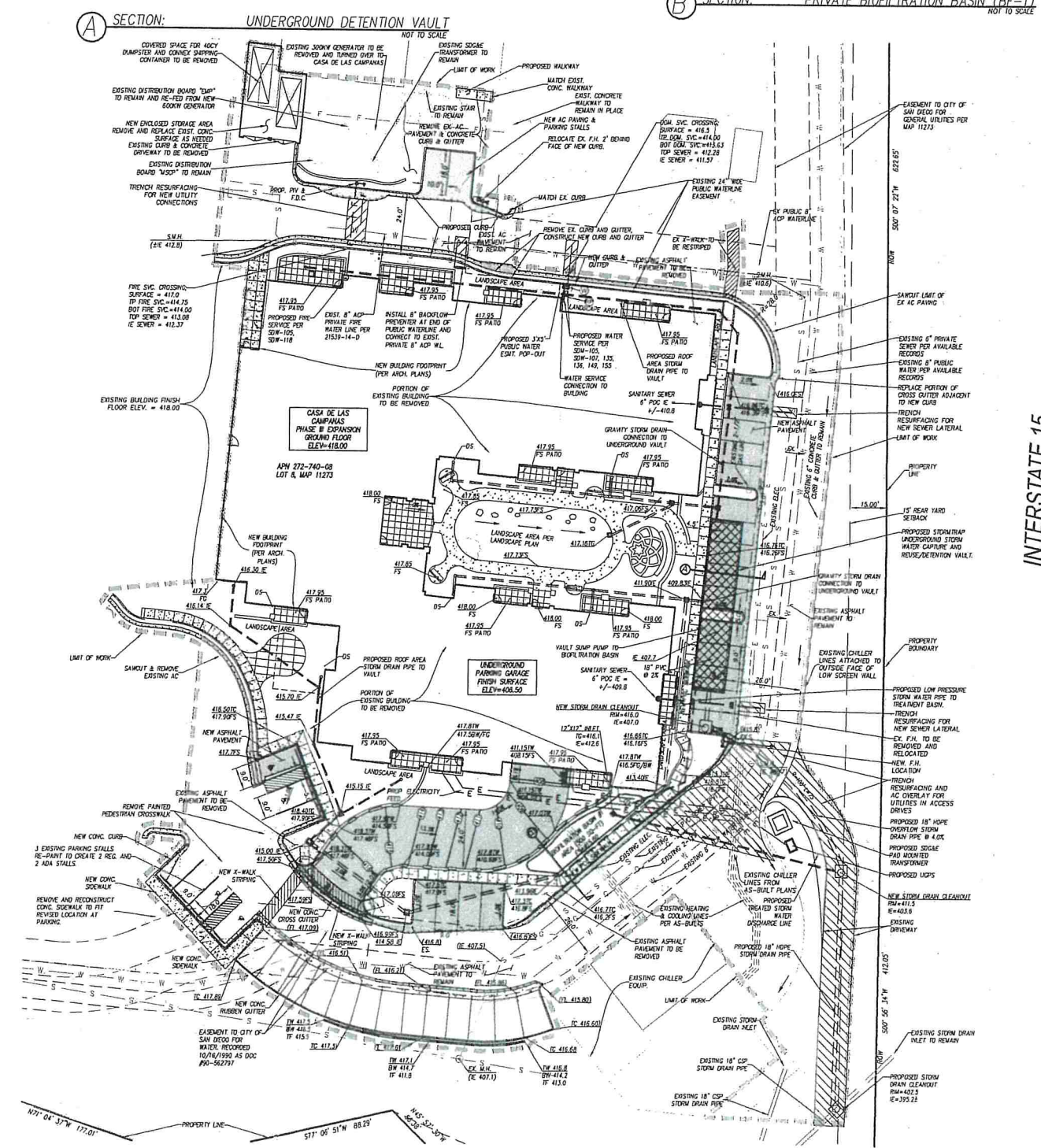
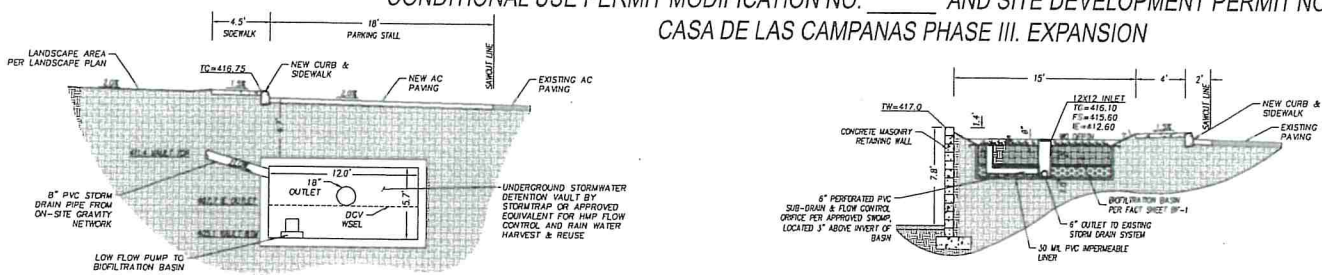
REVISION	DATE	REASON FOR ISSUE

PLOT PLAN

CUP/PDP SUBMITTAL

DATE MARCH 16, 2019	REVISION CYCLE 3
PROJECT NUMBER P-2016	SHEET NUMBER C 0.1
SCALE 1"=50'	

PRELIMINARY GRADING PLAN
CONDITIONAL USE PERMIT MODIFICATION NO. _____ AND SITE DEVELOPMENT PERMIT NO. _____
CASA DE LAS CAMPANAS PHASE III. EXPANSION



LEGEND

--- ---	RIGHT OF WAY
---	STREET CENTERLINE
---	EXISTING BUILDING
---	EXISTING CONTOUR
---	EXISTING CURB
---	EXISTING PCC
---	EXISTING WALL
---	EXISTING WATER MAIN
---	EXISTING WATER SERVICE
---	EXISTING SEWER LATERAL
---	EXISTING SEWER MAIN
---	PROPOSED BUILDING FOOTPRINT
---	PROPOSED PCC PAVING
---	DRIVE & OVERLAY
---	TRENCH RESURFACING
---	STORM TRAP UNDERGROUND DETENTION VAULT
---	PROPOSED CURB & GUTTER PER SDG-151
---	PROPOSED RETAINING WALL
---	BIOFILTRATION PLANTER AREA
---	PROPOSED CONTOUR
---	PROPOSED SEWER LATERAL PER SDG-103, 105, 106, 110(C)
---	PROPOSED WATER SERVICE PER SDG-105, SDG-107, 135, 136, 149, 155
---	PROPOSED FIRE SERVICE PER SDG-105, SDG-118
---	STORM DRAIN INLET
---	STORM DRAIN PIPE
---	LIMIT OF WORK
---	WATER METER
---	BACKFLOW PREVENTER

ABBREVIATIONS:

BW	BOTTOM OF WALL
C/O	CLEANOUT
ELEC	ELECTRIC
ES	EXISTING SURFACE
EX	EXISTING
FL	FINISH FLOOR
FL	FLOW LINE
OF	OF GARAGE FLOOR
IN	INVERT ELEVATION
MAN	MANHOLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
R/W	RIGHT-OF-WAY
TC	TOP OF CURB
TG	TOP OF GRADE
TW	TOP OF WALL

OWNER/APPLICANT

CASA DE LAS CAMPANAS, INC.
18655 WEST BERNARDO DRIVE, SAN DIEGO, CA 92127

SITE ADDRESS

18655 WEST BERNARDO DRIVE, SAN DIEGO, CA 92127

ASSESSORS PARCEL NUMBER

272-740-08-00

LEGAL DESCRIPTION

LOT 8 MAP 11273, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED JULY 3, 1955

TOPOGRAPHY SOURCE

TOPOGRAPHY SHOWN HEREON IS BASED ON A COMPILATION OF AERIAL PHOTOGRAPHY AS SUPPLIED BY PHOTOLOGICS DATED 11/19/12 AND SUPPLEMENTAL FIELD LOCATIONS AS COMPLETED BY WASSON & ASSOCIATES, INC. IN NOVEMBER AND DECEMBER 2012.

BENCHMARK

BENCH MARK NEAREST TO THE NORTHERLY END OF NORTHERLY PARKING LOT RANCHO BERNARDO COMMUNITY PARK PER SAN DIEGO CITY ENGINEERING DEPT. ELEV=379.21

REFERENCE DRAWINGS

3887-0 - CASA DE LAS CAMPANAS IMPROVEMENT PLANS
CUP C-1 - CASA DE LAS CAMPANAS SWF MECHANICAL REMODEL

ZONING

RN-2-S

GENERAL NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL INCORPORATE AN CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

STORM WATER BMP NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT & MUD ON ADJACENT STREETS AND TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMPs WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN CITY STREETS. A STABILIZED CONSTRUCTION ERT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
- ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN 7 CALENDAR DAYS ARE TO BE COVERED ALL REMEDIABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN 5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RAIN-OUT PRODUING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

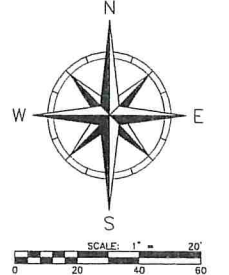
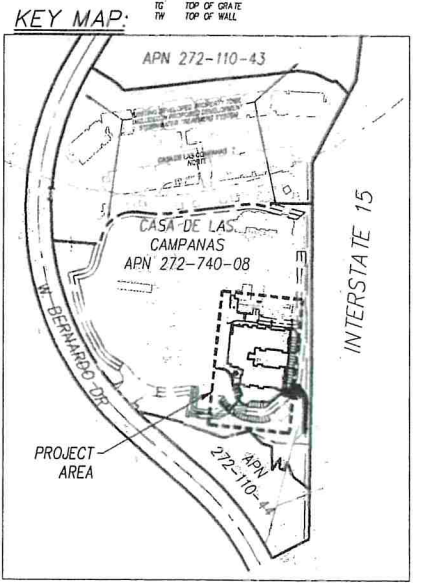
IMPERVIOUS AREA TABULATION:

LIMIT OF WORK:	1.13 ACRES (49,214 SQ-FT)
EXISTING IMPERVIOUS AREA:	0.82 ACRES (40,862 SQ-FT)
EXISTING PERVIOUS AREA:	0.21 ACRES (9,112 SQ-FT)
PROPOSED IMPERVIOUS AREA:	0.91 ACRES (39,453 SQ-FT)
PROPOSED PERVIOUS AREA:	0.22 ACRES (9,761 SQ-FT)
NET CHANGE OF IMPERVIOUS AREA:	1.3% DECREASE

GRADING QUANTITIES:

AREA OF DISTURBANCE:	1.13 ACRES (49,214 SQ-FT)
MAX CUT INSIDE BUILDING FOOTPRINT:	10.8 FEET
MAX FILL INSIDE THE BUILDING:	1.0 FEET
MAX CUT OUTSIDE THE BUILDING:	2.0 FEET
MAX FILL OUTSIDE THE BUILDING:	2.0 FEET
TOTAL CUT VOLUME:	8,200 CUBIC YARDS
TOTAL FILL VOLUME:	350 CUBIC YARDS
NET IMPORT/EXPORT VOLUME:	8,550 CUBIC YARDS EXPORT

EARTH QUANTITIES MAY VARY DUE TO SHRINKAGE AND SWELLING
ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.



NOTES:

- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AN CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO CITY OF SAN DIEGO WATER AND SEWER FACILITIES IN THE VICINITY OF THE PROJECT SITE DUE TO THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT, IN ACCORDANCE WITH MUNICIPAL CODE SECTION 142.001. IN THE EVENT THAT ANY SUCH FACILITY LOSSES INTEGRITY THEN, THE OWNER/PERMITEE SHALL REPAIR OR RECONSTRUCT ANY DAMAGED PUBLIC WATER AND SEWER FACILITY IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND CITY ENGINEER.
- THE OWNER/PERMITEE SHALL PROCESS ENVIRONMENTAL MAINTENANCE AND RESTORATION AGREEMENTS FOR ALL ACCEPTABLE ENDOCHROMES INTO THE WATER EXHAUST, INCLUDING BUT NOT LIMITED TO STRUCTURES ENHANCED PAVING, OR LANDSCAPING. NO STRUCTURES OR LANDSCAPING OF ANY KIND SHALL BE INSTALLED IN OR OVER WATER EXHAUST.
- ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE (UNLESS OTHERWISE NOTED). PRIVATE WATER AND SEWER FACILITIES SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT A MAJORITY SHALL BE INSTALLED WHEN TEN FEET OF ANY SEWER FACILITIES AND THE FEET OF ANY WATER FACILITIES.

PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
188 North Highway 161, Ste A, Solana Beach, CA 92070
PH 858-399-8213 | FX 858-399-8812 | pl@pascolaret.com

NOT FOR CONSTRUCTION



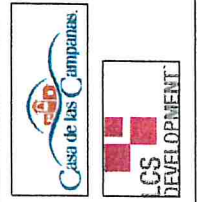
6720 SW MACOMAH AVENUE, SUITE 100
PORTLAND, OR 97219
T 503-245-7100

117 SOUTH MAIN STREET, SUITE 400
SEATTLE, WA 98104
T 206-376-1800

PASCO LARET SUITER & ASSOCIATES
SURVEY & CIVIL ENGINEERING
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SOLANA BEACH, CA 92075
T 858-229-8212

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T 619-297-8555

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LANDSCAPE ARCHITECTURE
3716 NORVAL STREET
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T 619-291-1477



Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA
92127
LCS Development

REVISION	DATE	REASON FOR ISSUE

SITE PLAN

CUP/PDP SUBMITTAL

DATE	MARCH 18, 2019	REVISION	CYCLE 3
PROJECT NUMBER	P-2616	SHEET NUMBER	
SCALE	1"=20'		

PREVIOUS APPROVED PERMITS

- POOL BUILDING: (APPROVAL ID# 1360285), (PROJECT ID# 388618)
- PHASE I WELLNESS BUILDING: (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY: (APPROVAL ID# 1649527), (PROJECT ID# 471248)

DEMOLITION NOTES

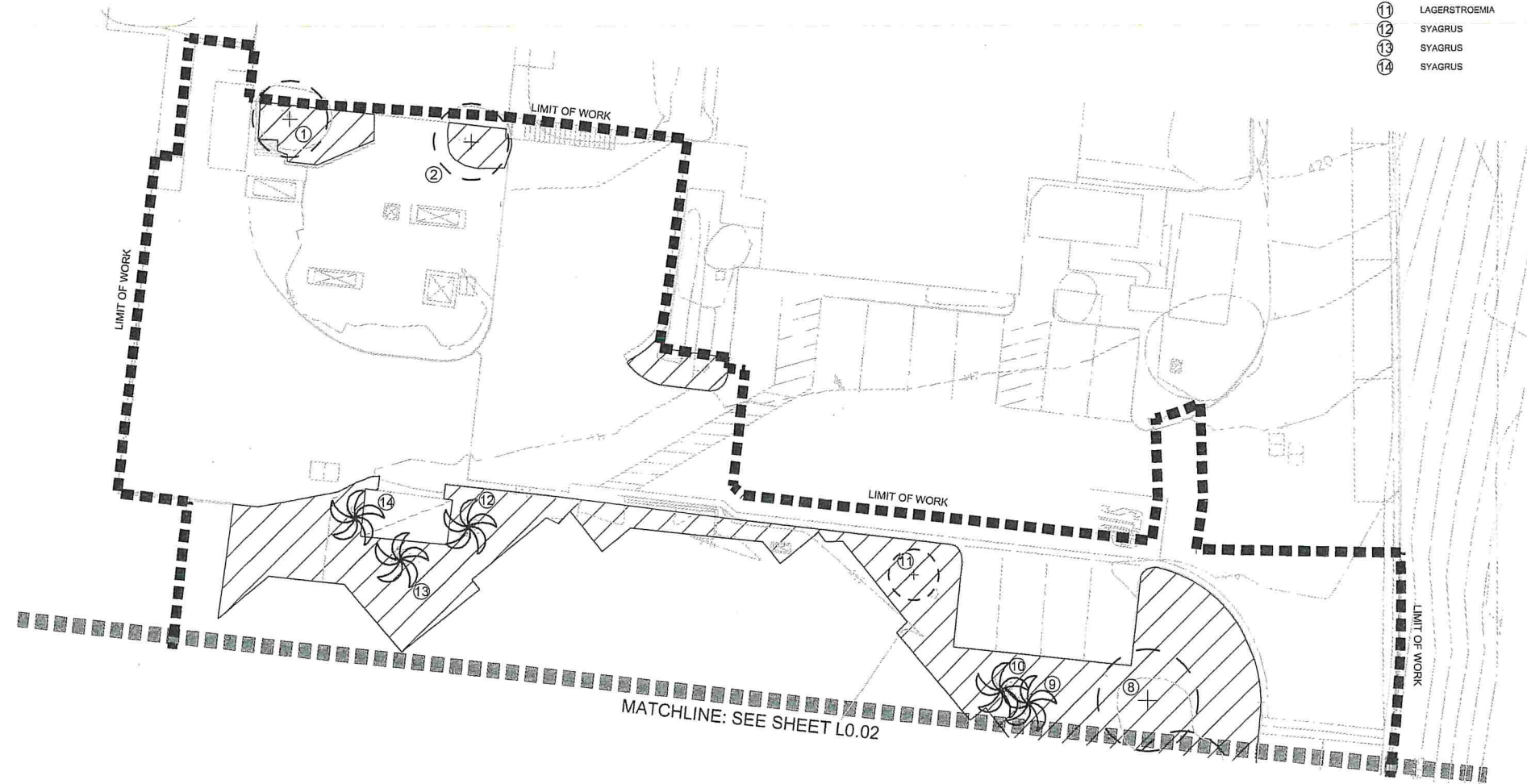
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE SHALL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, CONSTRUCTION MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DROP LINE.
3. ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE SETTING AND DRYING DURING DE-WATERING.

DEMOLITION LEGEND

- DEMO SHRUBS AND GROUND COVER
- EXISTING TREE TO BE REMOVED
- EXISTING PALM TO BE REMOVED

EXISTING TREES

SYMBOL	SPECIES	CALIPER/SIZE	REMARKS
①	JUNIPER	12"	TO BE REMOVED
②	JUNIPER	12"	TO BE REMOVED
③	LAGERSTROEMIA	3"	TO BE REMOVED
④	LAGERSTROEMIA	2"	TO BE REMOVED
⑤	LAGERSTROEMIA	2"	TO BE REMOVED
⑥	LAGERSTROEMIA	2"	TO BE REMOVED
⑦	PINUS	15"	TO BE REMOVED
⑧	LAGERSTROEMIA (MULTI)	2"	TO BE REMOVED
⑨	SYAGRUS	15' BTH	TO BE REMOVED
⑩	SYAGRUS	15' BTH	TO BE REMOVED
⑪	LAGERSTROEMIA	1"	TO BE REMOVED
⑫	SYAGRUS	15' BTH	TO BE REMOVED
⑬	SYAGRUS	20' BTH	TO BE REMOVED
⑭	SYAGRUS	15' BTH	TO BE REMOVED



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BURKETT & WONG

STRUCTURAL ENGINEERING
3424 4TH AVE
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EXP US SERVICES, INC.

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5870 OBERLIN DRIVE
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3916 NORMAL STREET
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Casa de las Campanas
Phase III Expansion

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LCS Development

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE DEMOLITION PLAN

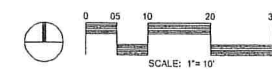
CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
REVISION: CYCLE 3

PROJECT NUMBER: 162330
SHEET NUMBER: L0.01

SCALE: As Indicated

KEY MAP:



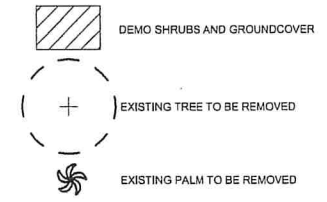
PREVIOUS APPROVED PERMITS

- POOL BUILDING: (APPROVAL ID# 1360295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING: (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY: (APPROVAL ID# 1649527), (PROJECT ID# 471248)

DEMOLITION NOTES

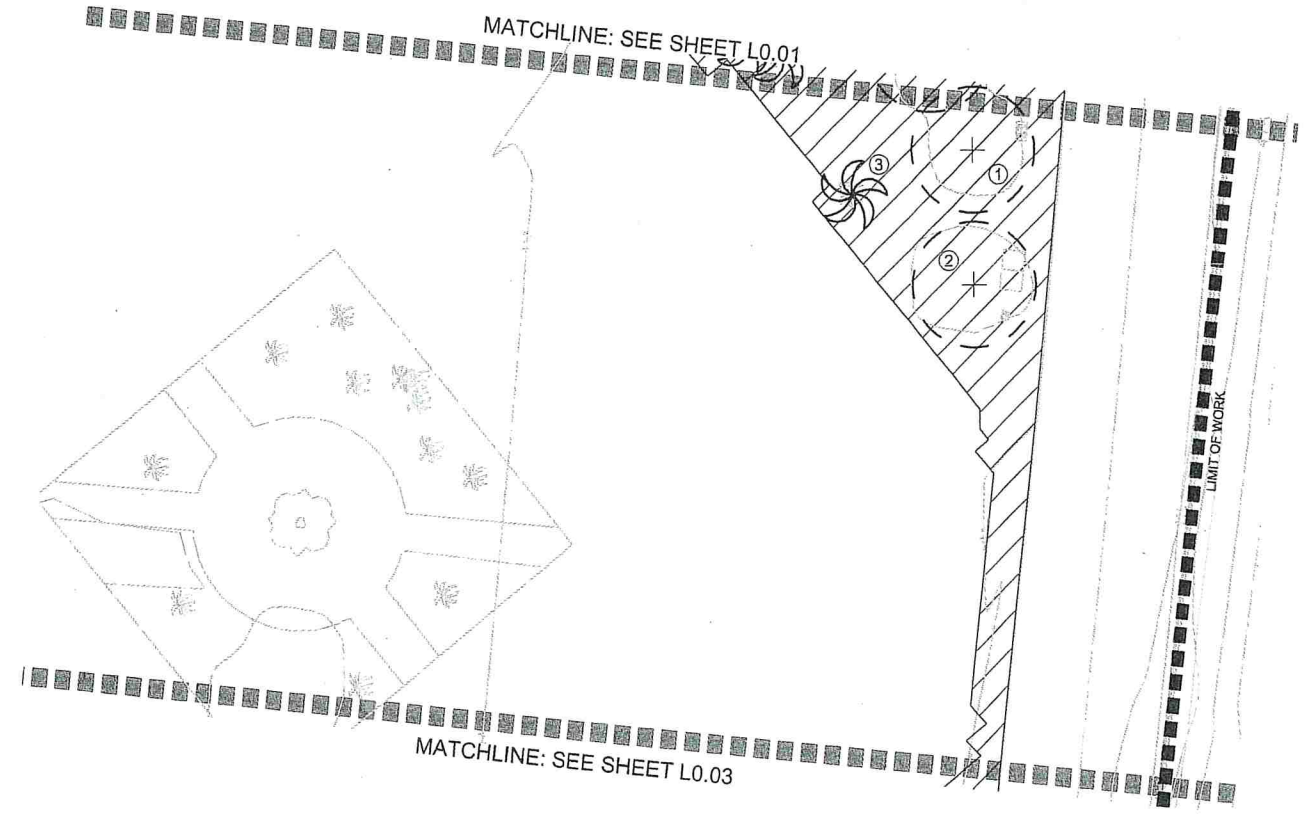
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE SHALL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, CONSTRUCTION MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DROP LINE.
3. ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE SETTING AND DRYING DURING DE-WATERING.

DEMOLITION LEGEND



EXISTING TREES

SYMBOL	SPECIES	CALIPER/SIZE	REMARKS
①	LAGERSTROEMIA (MULTI)	2"	TO BE REMOVED
②	LAGERSTROEMIA (MULTI)	2"	TO BE REMOVED
③	SYAGRUS	10' BTH	TO BE REMOVED



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**Casa de las Campanas
Phase III Expansion**

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LCS Development

REVISION	DATE	REASON FOR ISSUE

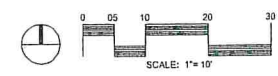
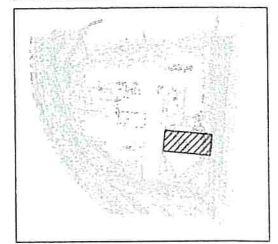


LANDSCAPE DEMOLITION PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L0.02
SCALE As indicated	

KEY MAP:



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PREVIOUS APPROVED PERMITS

- POOL BUILDING: (APPROVAL ID# 1360295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING: (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY: (APPROVAL ID# 1649527), (PROJECT ID# 471248)

DEMOLITION NOTES

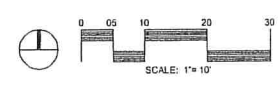
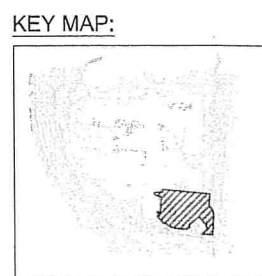
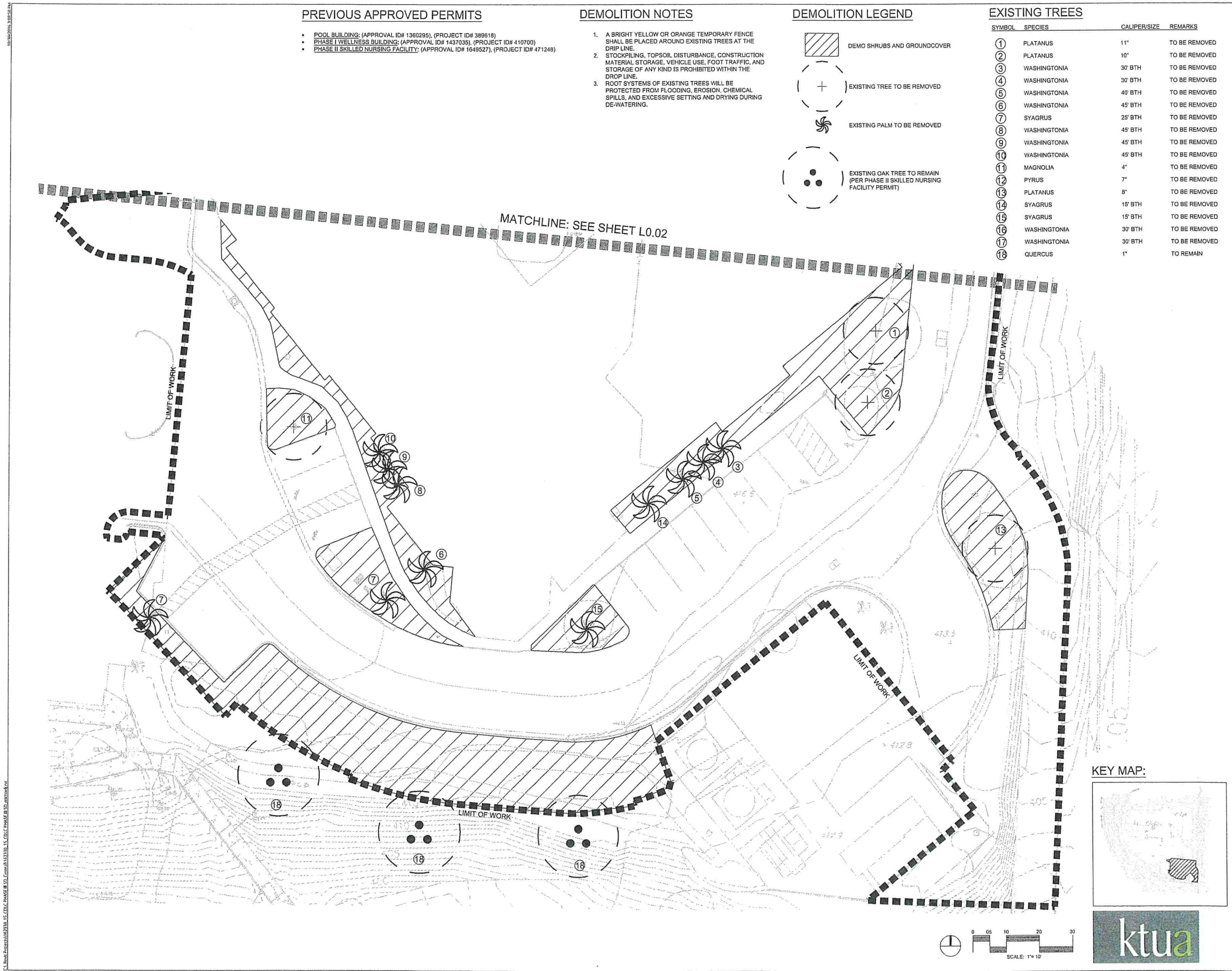
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3. ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE SETTING AND DRYING DURING DE-WATERING.

DEMOLITION LEGEND

- [Hatched Box] DEMO SHRUBS AND GROUND COVER
- [Circle with +] EXISTING TREE TO BE REMOVED
- [Palm Tree Symbol] EXISTING PALM TO BE REMOVED
- [Circle with 3 dots] EXISTING OAK TREE TO REMAIN (PER PHASE II SKILLED NURSING FACILITY PERMIT)

EXISTING TREES

SYMBOL	SPECIES	CALIPER/SIZE	REMARKS
①	PLATANUS	11"	TO BE REMOVED
②	PLATANUS	10"	TO BE REMOVED
③	WASHINGTONIA	30' BTH	TO BE REMOVED
④	WASHINGTONIA	30' BTH	TO BE REMOVED
⑤	WASHINGTONIA	40' BTH	TO BE REMOVED
⑥	WASHINGTONIA	45' BTH	TO BE REMOVED
⑦	SYAGRUS	25' BTH	TO BE REMOVED
⑧	WASHINGTONIA	45' BTH	TO BE REMOVED
⑨	WASHINGTONIA	45' BTH	TO BE REMOVED
⑩	WASHINGTONIA	45' BTH	TO BE REMOVED
⑪	MAGNOLIA	4"	TO BE REMOVED
⑫	PYRUS	7"	TO BE REMOVED
⑬	PLATANUS	8"	TO BE REMOVED
⑭	SYAGRUS	15' BTH	TO BE REMOVED
⑮	SYAGRUS	15' BTH	TO BE REMOVED
⑯	WASHINGTONIA	30' BTH	TO BE REMOVED
⑰	WASHINGTONIA	30' BTH	TO BE REMOVED
⑱	QUERCUS	1"	TO REMAIN



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1670 OCELVILLE DRIVE
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KTU & A
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SAN DIEGO, CA 92103
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Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA 92127
LCS Development

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE DEMOLITION PLAN

CUP/PDP SUBMITTAL

DATE	REVISION
MARCH 18, 2019	CYCLE 3
PROJECT NUMBER	SHEET NUMBER
162330	L0.03
SCALE	As Indicated

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3447 4TH AVE.
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LANDSCAPE ARCHITECTURE
3918 NORVAL STREET
SAN DIEGO, CA 92103
T: 619-391-4477



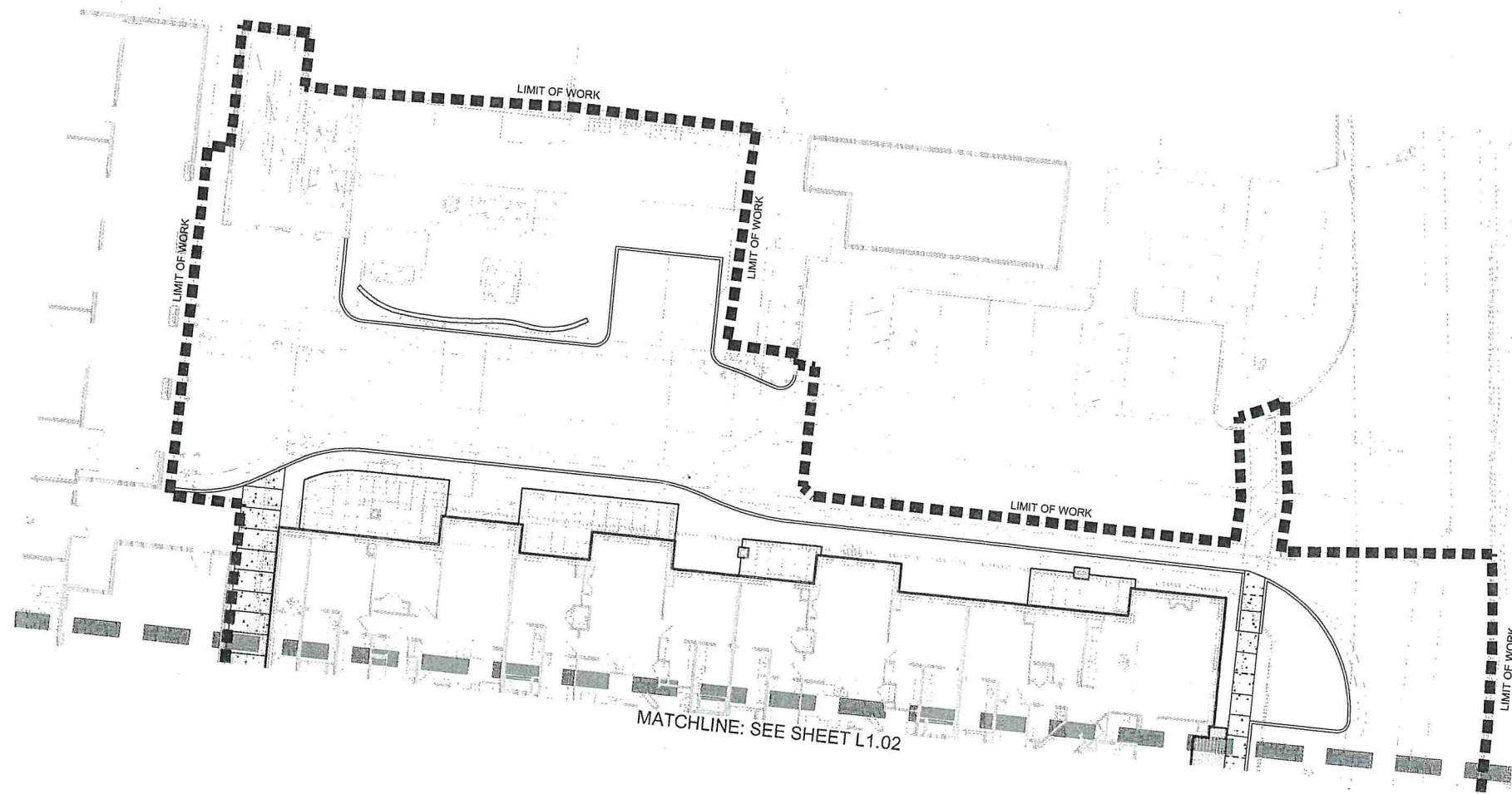
Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA 92127
LCS Development

SHEET NOTES

- SEE SHEET L1.04 FOR CONSTRUCTION LEGEND & NOTES
- SEE SHEET L1.05 FOR CONSTRUCTION DETAILS
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PREVIOUS APPROVED PERMITS

- POOL BUILDING: (APPROVAL ID# 1360295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING: (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY: (APPROVAL ID# 1649527), (PROJECT ID# 471248)



KEY	SYMBOL	DTL./SHT.	DESCRIPTION
A1		E / L1.05	DECORATIVE GREEN WALL
A2		- / L1.XX	CAST-IN-PLACE SCREEN WALL AT UTILITY YARD
A3		- / L1.XX	CAST-IN-PLACE SEATWALL
B1		- / L1.XX	PRECAST CONCRETE BENCHES
B2		- / L1.XX	LOUNGING CHAIRS
B3		- / L1.XX	PICNIC TABLES
B4		- / L1.XX	PLANTER POTS
B5		- / L1.XX	LITTER RECEPTACLE
B6		F / L1.05	BOULDERS

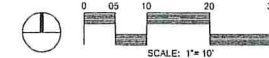
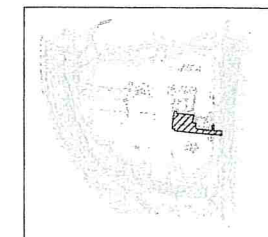
* FOR MORE INFORMATION, SEE FULL CONSTRUCTION LEGEND ON SHEET L1.04

KEY	SYMBOL	DTL./SHT.	DESCRIPTION
A		A / L1.05	ENHANCED CONCRETE PAVING - INTEGRAL COLOR
B		A / L1.05	CONCRETE PAVING - INTEGRAL COLOR
C		D / L1.05	COBBLE
D		B / L1.05	CONCRETE CONTROL JOINT - SAWCUT
E		B / L1.05	CONCRETE EXPANSION JOINT - DOWELED
F		C / L1.05	CONCRETE MOW CURB
G		- / L1.05	SCORED CONCRETE
H		- / L1.05	BLAST TEMPLATE PATTERN

* FOR MORE INFORMATION, SEE FULL CONSTRUCTION LEGEND ON SHEET L1.04

KEY	NOTE
①	-
②	-
③	-

KEY MAP:



REVISION	DATE	REASON FOR ISSUE



LANDSCAPE CONSTRUCTION PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
PROJECT NUMBER: 162330
SCALE: As indicated

REVISION: CYCLE 3
SHEET NUMBER: L1.01

NOT FOR CONSTRUCTION



5720 SW MAGADAM AVENUE, SUITE 100
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SAN DIEGO, CA 92103
T: 619-294-4477



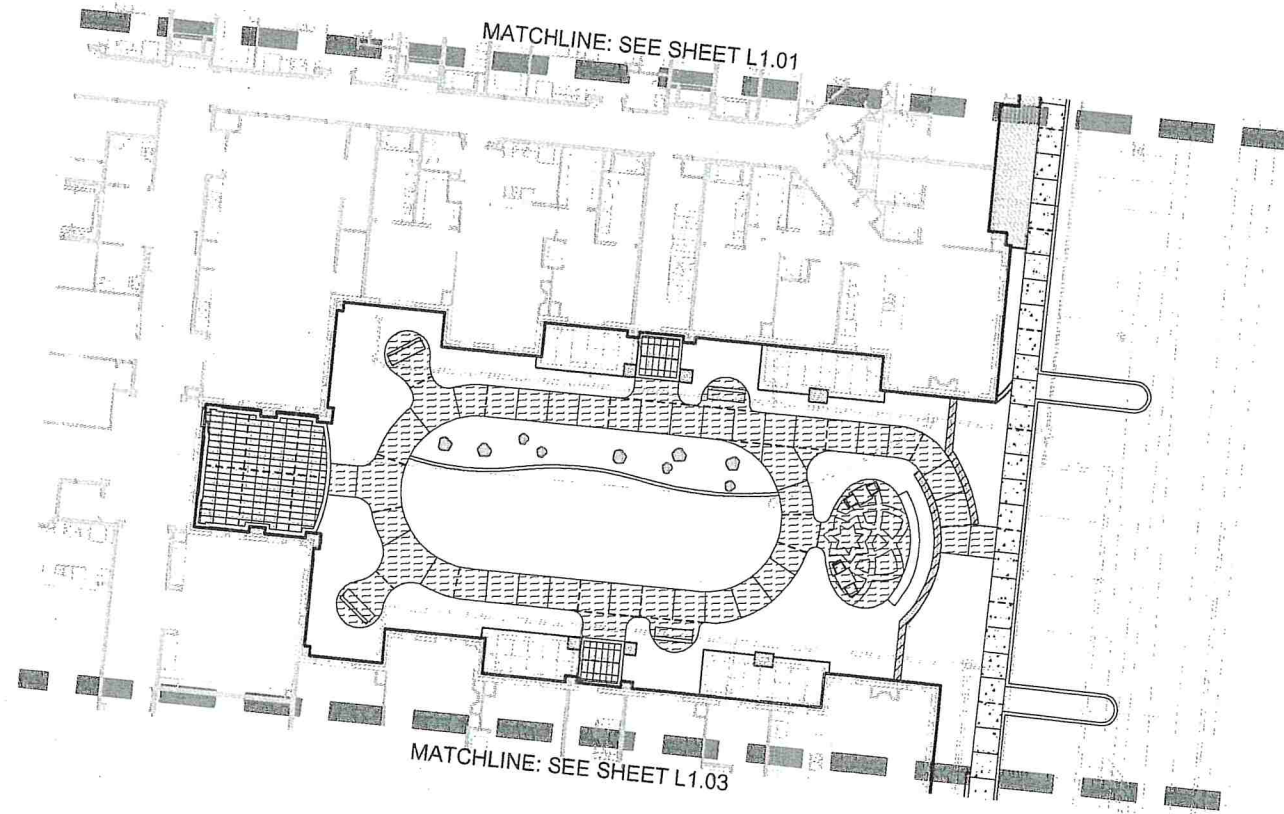
Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA 92127
LCS Development

SHEET NOTES

- SEE SHEET L1.04 FOR CONSTRUCTION LEGEND & NOTES
- SEE SHEET L1.05 FOR CONSTRUCTION DETAILS
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PREVIOUS APPROVED PERMITS

- POOL BUILDING; (APPROVAL ID# 1360295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING; (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY; (APPROVAL ID# 1649527), (PROJECT ID# 471246)



FURNISHINGS LEGEND

KEY	SYMBOL	DTL./SHT.	DESCRIPTION
A1		E / L1.05	DECORATIVE GREEN WALL
A2		- / L1.XX	CAST-IN-PLACE SCREEN WALL AT UTILITY YARD
A3		- / L1.XX	CAST-IN-PLACE SEATWALL
B1		- / L1.XX	PRECAST CONCRETE BENCHES
B2		- / L1.XX	LOUNGE CHAIRS
B3		- / L1.XX	PICNIC TABLES
B4		- / L1.XX	PLANTER POTS
B5		- / L1.XX	LITTER RECEPTACLE
B6		F / L1.05	BOULDERS

PAVING LEGEND

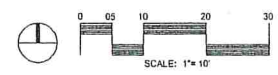
KEY	SYMBOL	DTL./SHT.	DESCRIPTION
A		A / L1.05	ENHANCED CONCRETE PAVING - INTEGRAL COLOR
B		A / L1.05	CONCRETE PAVING - INTEGRAL COLOR
C		D / L1.05	COBBLE
D		B / L1.05	CONCRETE CONTROL JOINT - SAWCUT
E		B / L1.05	CONCRETE EXPANSION JOINT - DOWELED
F		C / L1.05	CONCRETE MOW CURB
G		- / L1.05	SCORED CONCRETE
H		- / L1.05	BLAST TEMPLATE PATTERN

CONSTRUCTION NOTES

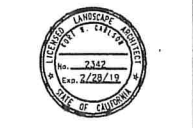
KEY	NOTE
①	-
②	-
③	-

* FOR MORE INFORMATION, SEE FULL CONSTRUCTION LEGEND ON SHEET L1.04

* FOR MORE INFORMATION, SEE FULL CONSTRUCTION LEGEND ON SHEET L1.04



REVISION	DATE	REASON FOR ISSUE



LANDSCAPE CONSTRUCTION PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L1.02
SCALE As indicated	

NOT FOR CONSTRUCTION



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KTU & A
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3916 NORVAL STREET
SAN DIEGO, CA 92103
T: 619-284-4177



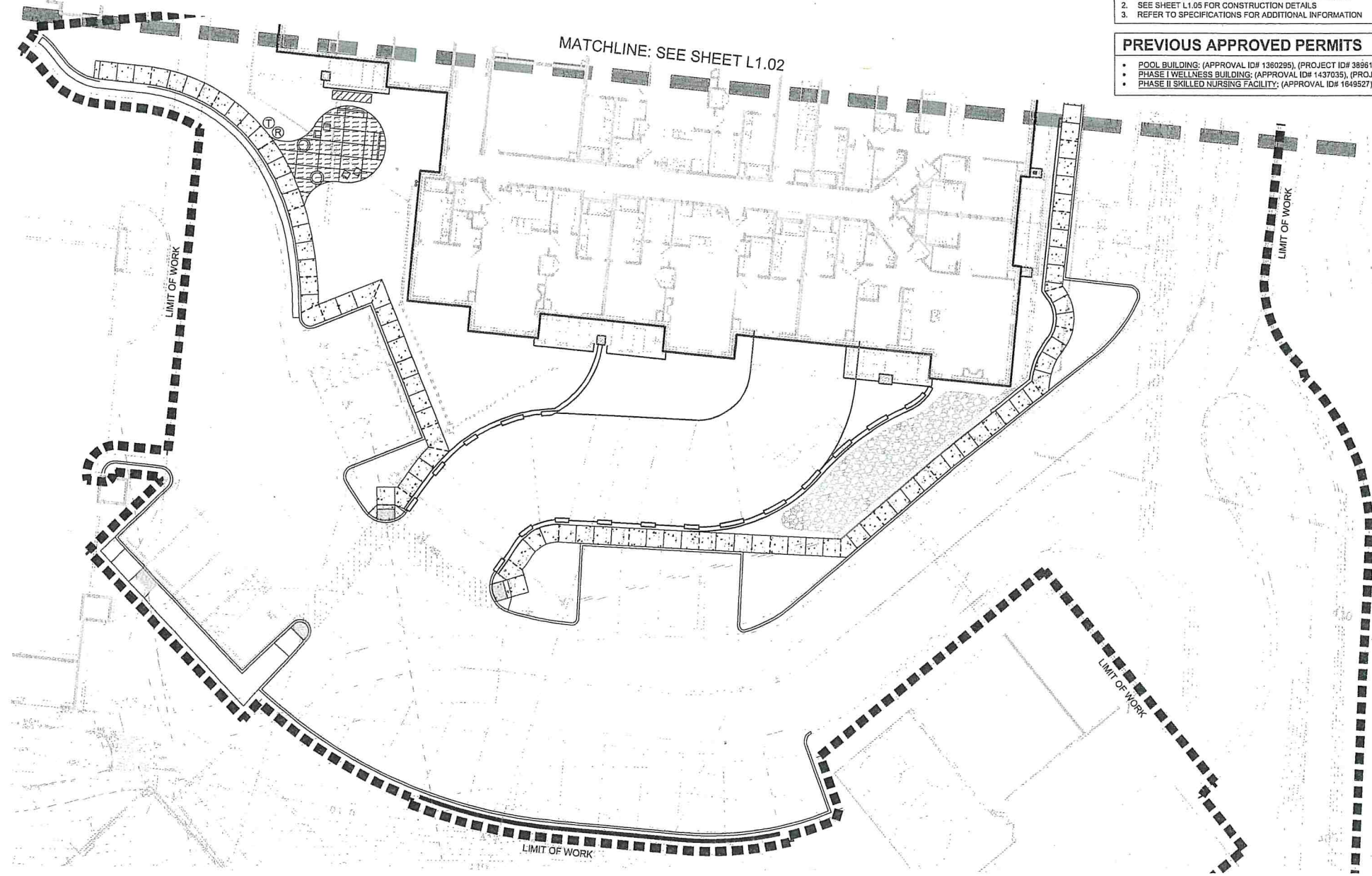
Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA 92127
LCS Development

SHEET NOTES

- SEE SHEET L1.04 FOR CONSTRUCTION LEGEND & NOTES
- SEE SHEET L1.05 FOR CONSTRUCTION DETAILS
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PREVIOUS APPROVED PERMITS

- POOL BUILDING: (APPROVAL ID# 1360295), (PROJECT ID# 386618)
- PHASE I WELLNESS BUILDING: (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY: (APPROVAL ID# 1649527), (PROJECT ID# 471248)



KEY	SYMBOL	DTL./SHT.	DESCRIPTION
A1		E / L1.05	DECORATIVE GREEN WALL
A2		- / L1.XX	CAST-IN-PLACE SCREEN WALL AT UTILITY YARD
A3		- / L1.XX	CAST-IN-PLACE SEATWALL
B1		- / L1.XX	PRECAST CONCRETE BENCHES
B2		- / L1.XX	LOUNGING CHAIRS
B3		- / L1.XX	PICNIC TABLES
B4		- / L1.XX	PLANTER POTS
B5		- / L1.XX	LITTER RECEPTACLE
B6		F / L1.05	BOULDERS

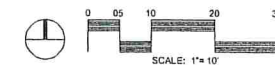
* FOR MORE INFORMATION, SEE FULL CONSTRUCTION LEGEND ON SHEET L1.04

KEY	SYMBOL	DTL./SHT.	DESCRIPTION
A		A / L1.05	ENHANCED CONCRETE PAVING - INTEGRAL COLOR
B		A / L1.05	CONCRETE PAVING - INTEGRAL COLOR
C		D / L1.05	COBBLE
D		B / L1.05	CONCRETE CONTROL JOINT - SAWCUT
E		B / L1.05	CONCRETE EXPANSION JOINT - DOWELED
F		C / L1.05	CONCRETE MOW CURB
G		- / L1.05	SCORED CONCRETE
H		- / L1.05	BLAST TEMPLATE PATTERN

* FOR MORE INFORMATION, SEE FULL CONSTRUCTION LEGEND ON SHEET L1.04

KEY	NOTE
1	-
2	-
3	-

KEY MAP:



REVISION	DATE	REASON FOR ISSUE



LANDSCAPE CONSTRUCTION PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
REVISION: CYCLE 3
PROJECT NUMBER: 162330
SHEET NUMBER: L1.03
SCALE: As indicated

NOT FOR CONSTRUCTION



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Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA 92127
LCS Development

REVISION	DATE	REASON FOR ISSUE



CONSTRUCTION LEGEND

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L1.04
SCALE As Indicated	



CONSTRUCTION LEGEND						
KEY	DETAIL	ITEM	DESCRIPTION	COLOR & FINISH	REMARKS & NOTES	SUPPLIER INFORMATION
FURNISHINGS						
A1	E / L1.05	DECORATIVE GREEN WALL	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
A2	- / L1.XX	CAST-IN-PLACE SCREEN WALL	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
A3	- / L1.XX	CAST-IN-PLACE SEATWALL	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B1	- / L1.XX	PRECAST CONCRETE BENCHES	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B2	- / L1.XX	LOUNGE CHAIRS	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B3	- / L1.XX	PICNIC TABLES	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B4	- / L1.XX	PLANTER POTS	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B5	- / L1.XX	LITTER RECEPTACLE	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B6	F / L1.05	BOULDERS	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -

CONSTRUCTION LEGEND						
KEY	DETAIL	ITEM	DESCRIPTION	COLOR & FINISH	REMARKS & NOTES	SUPPLIER INFORMATION
PAVING						
A	A / L1.05	ENHANCED CONCRETE PAVING - INTEGRAL COLOR	-	COLOR: TBD FINISH: TBD	CONCRETE PAVING SHALL BE FINISHED WITH GRACE TOP-CAST, GRADE 03. CONTRACTOR SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR CONCRETE PREPARATION, APPLICATION, CURING, FINISHING, AND CLEANUP. PROVIDE 3'X3' MOCKUP FOR REVIEW AND APPROVAL.	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
B	A / L1.05	CONCRETE PAVING - INTEGRAL COLOR	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
C	D / L1.05	COBBLE	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
D	B / L1.05	CONCRETE CONTROL JOINT - SAWCUT	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
E	B / L1.05	CONCRETE EXPANSION JOINT - DOWELED	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
F	C / L1.05	CONCRETE MOW CURB	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -
G	F / L1.05	SCORED CONCRETE	-	COLOR: TBD FINISH: TBD	-	XXXXXXXXXXXXXXXXXXXX PH: - E: - CONTACT: -

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CITY OF SAN DIEGO PROJECT NUMBER - 546769

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Casa de las Campanas
Phase III Expansion

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LCS Development

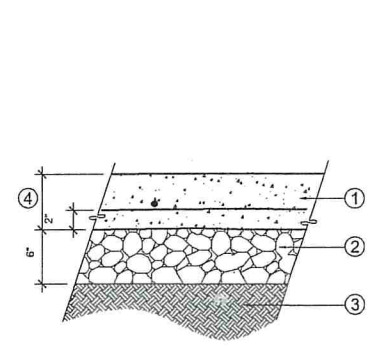
REVISION	DATE	REASON FOR ISSUE



CONSTRUCTION DETAILS

CUP/PDP SUBMITTAL

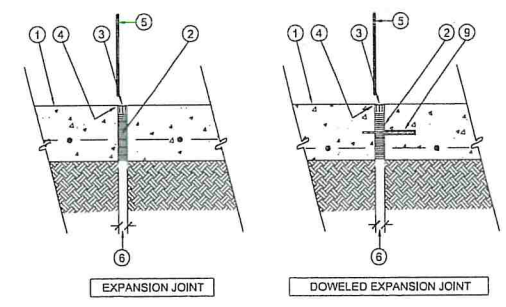
DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER
SCALE As indicated	L1.05



- LEGEND**
- ① FOR PAVING IN VEHICULAR DRIVEWAYS: 560-C-3250, INTEGRAL COLORED CONCRETE AND #4 REBAR @ 18" O.C. EA. WAY. FINISH PER PLAN.
 - FOR PAVING OF PEDESTRIAN WALKS: 2,500 P.S.I., INTEGRAL COLORED CONCRETE WITH 6x6-6x6 WWM.
 - ② 95% COMPACTED CLASS 2 BASE
 - ③ 95% COMPACTED SUB-GRADE SOIL (TO 12")
 - ④ PAVING IN VEHICULAR DRIVEWAYS SHALL BE 6" THICK PEDESTRIAN WALKS SHALL BE 3" THICK

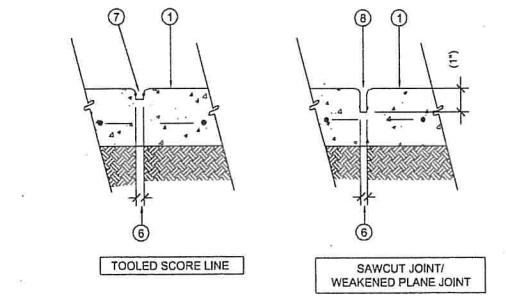
NOTES:
CONTRACTOR SHALL VERIFY EXPANSION INDEX PER SOILS REPORT TO DETERMINE MIN. SLAB REQUIREMENT.

A CONCRETE PAVING SECTION NOT TO SCALE

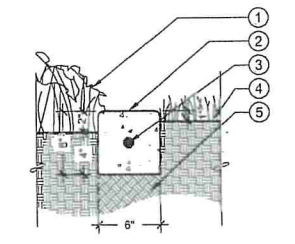


- LEGEND**
- ① PAVING PER PLAN
 - ② FIBER EXPANSION JOINT MATERIAL
 - ③ SEALANT- COLOR TO MATCH ADJACENT SURFACE
 - ④ 5mm (1/4") RADIUS, TYP
 - ⑤ FACE OF WALL OR CURB-WHERE OCCURS
 - ⑥ (3/8") (PEDESTRIAN PAVING) (1/2") (VEHICULAR PAVING)
 - ⑦ (1/2") DEEP TOOLED SCORE LINE
 - ⑧ SAWCUT WEAKENED PLANE JOINT
 - ⑨ STEEL ROD WITH SLEEVE

NOTES:
FOR CONCRETE THICKNESS AND INSTALLATION DETAILS OTHER THAN JOINTING, REFER TO DETAIL A, THIS SHEET.



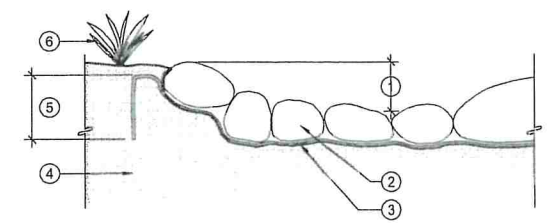
B TYPICAL JOINTS SECTION NOT TO SCALE



- LEGEND**
- ① SHRUBS/GROUND COVER PER PLANTING PLANS
 - ② 6" WIDE CONCRETE MOW CURB
 - ③ #3 REBAR - CONTINUOUS (LAP 12" @ SPLICES)
 - ④ LAWN
 - ⑤ 90% MIN. COMPACTED SUBGRADE (TO 12")

NOTES:
A. INSTALL EXPANSION JOINTS AT 30' O.C. & CAULK

C CONCRETE MOW CURB SECTION SCALE: 2" = 1'-0"



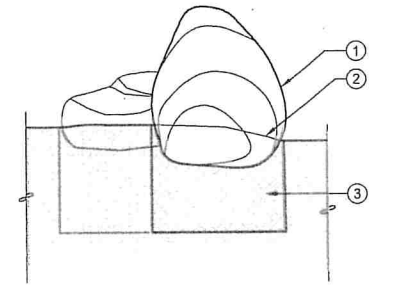
- LEGEND**
- ① GRADES VARY, SEE CIVIL PLANS
 - ② COBBLE MULCH
 - ③ PERMEABLE WEED BLOCKING FABRIC PER SPECIFICATIONS
 - ④ SUBGRADE
 - ⑤ 8" (MIN.) TURN WEED BLOCKING FABRIC UNDER AT ALL EDGES, (TYP.) SECURE FABRIC WITH STEEL "U" STAKES @ 24" O.C. AT EDGES
 - ⑥ PLANTING AREA, WHERE OCCURS

NOTE:
COBBLE MULCH TO COVER 100% OVER WEED BLOCKING FABRIC AND SHALL NOT BE VISIBLE THROUGHOUT AREA OF APPLICATION.

D COBBLE MULCH SECTION NOT TO SCALE



E GREEN WALL SYSTEM CUT SHEETS NOT TO SCALE



- LEGEND**
- ① BOULDER - BURY LOWER THIRD
 - ② FINISH GRADE IN PLANTER
 - ③ COMPACT SUBGRADE TO 90% MIN., 12" DEEP

NOTES:
A. APPROXIMATE SIZE AND LOCATION OF BOULDERS SHOWN ON PLAN. FINAL SIZE, LOCATION AND TYPE SHALL APPROVED BY LANDSCAPE ARCHITECT.
B. PLACE FLATTEST, WIDEST FACE OF BOULDER DOWN WITH APPROXIMATE 1/3 OF ROCK BELOW FINISH GRADE. BOULDER SHALL NOT APPEAR TO "SIT" ON FINISH GRADE.

F BOULDER INSTALLATION SECTION NOT TO SCALE

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CITY OF SAN DIEGO PROJECT NUMBER - 546769

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Casa de las Campanas
Phase III Expansion
18655 West Bernardo Drive San Diego, CA 92127
LCS Development

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE IRRIGATION PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L2.01
SCALE As indicated	

PREVIOUS APPROVED PERMITS

- POOL BUILDING; (APPROVAL ID# 1360295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING; (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY; (APPROVAL ID# 1649527), (PROJECT ID# 471248)

MAWA / ETWU CALCULATIONS

Project No: 16-051 Date: 10N 1718
City/Government Agency: City of San Diego
Landscape Project Type: Residential

Project Name: COLC Phase III
Reference EIR: 24.13
LA (Landscape area): 14,289 sq ft
SLA (Special Landscape Area): 0 sq ft

CMES Station #: 130
Crop a: 0
Crop b: 0
Crop c: 0
Crop d: 0
Crop e: 0
Crop f: 0
Crop g: 0
Crop h: 0
Crop i: 0
Crop j: 0
Crop k: 0
Crop l: 0
Crop m: 0
Crop n: 0
Crop o: 0
Crop p: 0
Crop q: 0
Crop r: 0
Crop s: 0
Crop t: 0
Crop u: 0
Crop v: 0
Crop w: 0
Crop x: 0
Crop y: 0
Crop z: 0
Total: 0

MAWA = 234,510 gal/yr

ETWU = Estimated Total Water Use (gal/yr)

ETWU = ET x (ETWU/ET) = 179,250 gal/yr
ETWU = ETWU/ETWU = 179,250 gal/yr

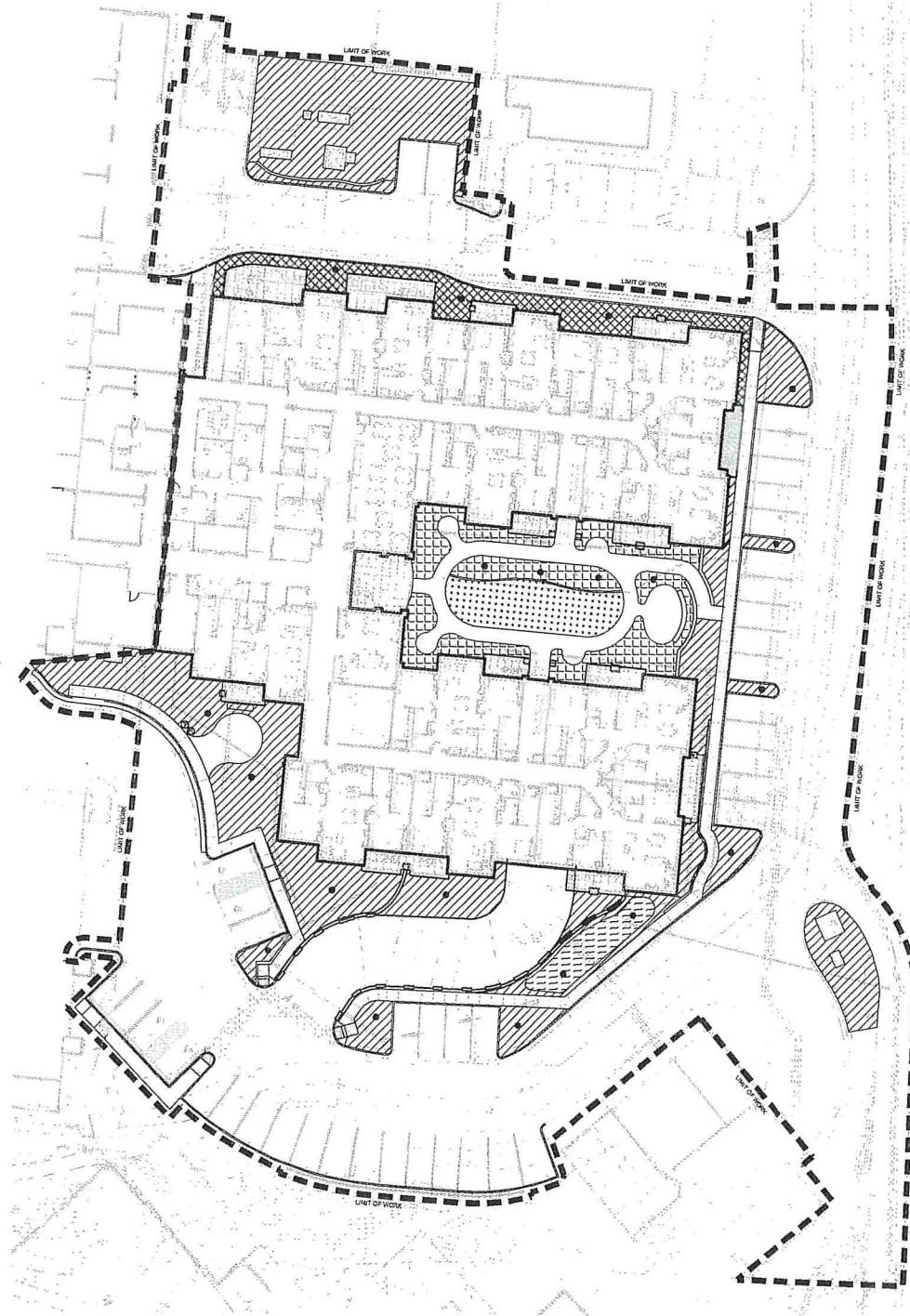
ETWU = 179,250 gal/yr
MAWA = 234,510 gal/yr

Estimated Total Water Use is less than the Maximum Applied Water Allowance.

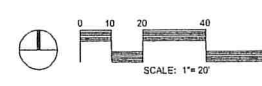
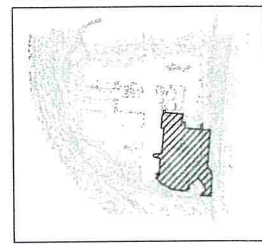
Hydrozone No.	Plant Use Type	Plant	Plant Factor (PF)	Area (Sq Ft)	ET (in/yr)	ET x Area (in-Sq Ft)	ETWU (gal/yr)	Notes
1	Tree	Tree	0.5	99	28	2,772	2,772	Public - Basin
2	Shrub	Shrub	0.5	1,250	2.02	2,525	2,525	Public - Basin
3	Shrub	Tree	0.7	15	13	1,950	1,950	Public - Basin
4	Shrub	Shrub	0.3	439	153	67,167	67,167	Public - Basin
5	Shrub	Tree	0.5	27	14	378	378	Public - Basin
6	Shrub	Shrub	0.3	1,225	377	461,875	461,875	High - Basin
7	Shrub	Shrub	0.3	2,080	618	1,285,440	1,285,440	High - Courtyard
8	Shrub	Tree	0.5	35	18	630	630	Public - Courtyard
9	High	Low	0.5	933	748	697,764	697,764	Public - Courtyard
Total							179,250	179,250
MAWA							234,510	234,510

HYDROZONE LEGEND

ZONE	SYMBOL	DESCRIPTION	AREA
1	[Symbol]	TREE BUBBLER - SOUTH / EAST EXPOSURE	99 SF
2	[Symbol]	DRIP LINE	9,360 SF
3	[Symbol]	TREE BUBBLER - BASIN	18 SF
4	[Symbol]	ROTATOR - BASIN	499 SF
5	[Symbol]	TREE BUBBLER - SHADE	27 SF
6	[Symbol]	DRIP LINE - SHADE	1,255 SF
7	[Symbol]	DRIP LINE - COURTYARD	2,080 SF
8	[Symbol]	TREE BUBBLER - COURTYARD	36 SF
9	[Symbol]	ROTATOR - COURTYARD	935 SF



KEY MAP:

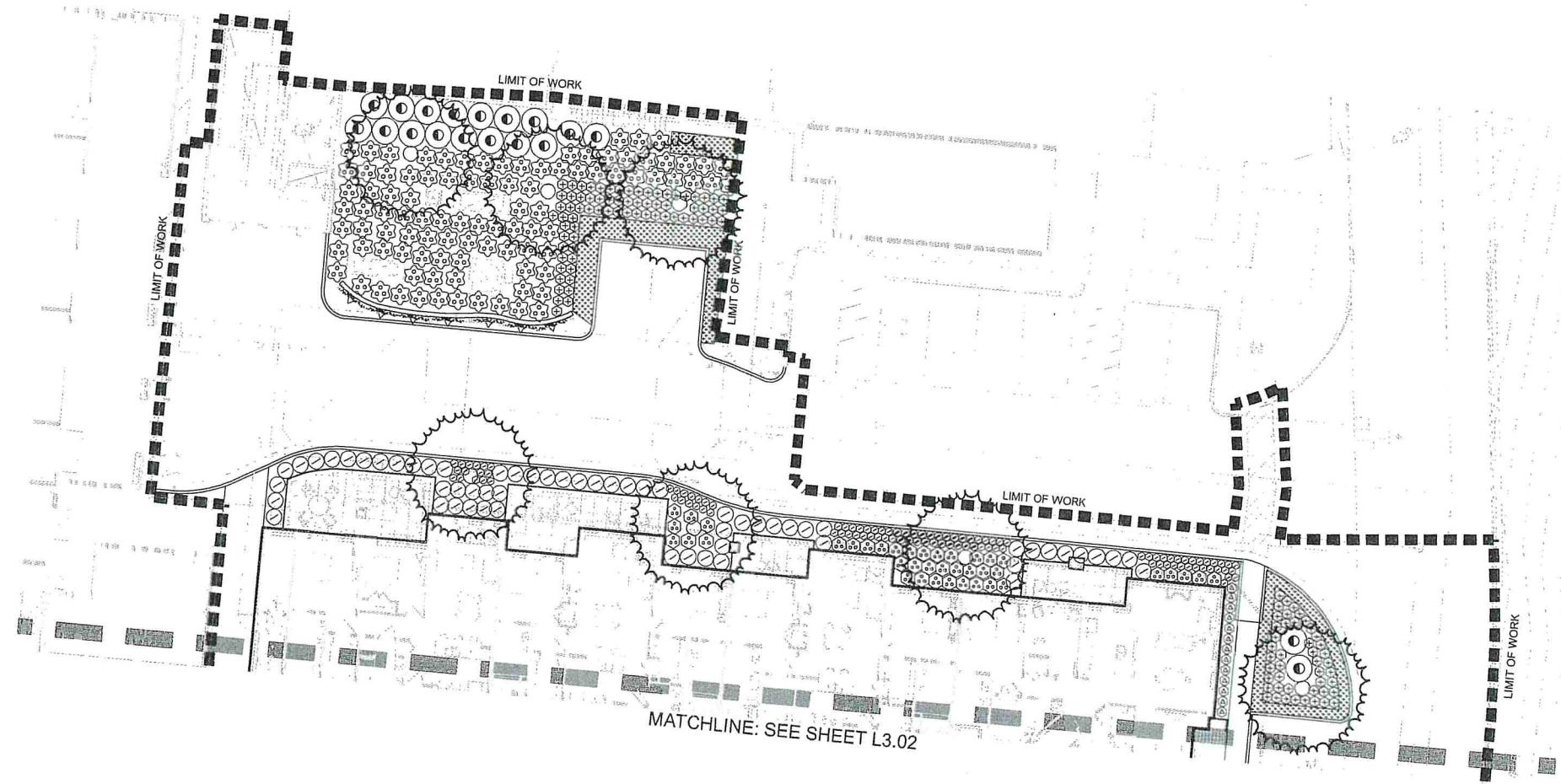


SHEET NOTES

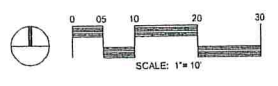
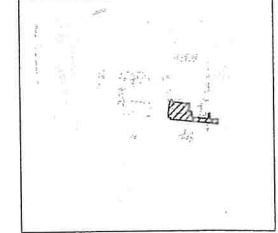
- SEE SHEET L3.04 FOR PLANTING LEGEND & NOTES
- SEE SHEET L3.05 FOR PLANTING DETAILS
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PREVIOUSLY APPROVED PERMITS

- POOL BUILDING; (APPROVAL ID# 1360295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING; (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY; (APPROVAL ID# 1649527), (PROJECT ID# 471248)



KEY MAP:



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**Casa de las Campanas
Phase III Expansion**

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LCS Development

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE PLANTING PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
PROJECT NUMBER: 162330
SCALE: As Indicated

REVISION: CYCLE 3
SHEET NUMBER: L3.01

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SHEET NOTES

- SEE SHEET L3.04 FOR PLANTING LEGEND & NOTES
- SEE SHEET L3.05 FOR PLANTING DETAILS
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

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**Casa de las Campanas
Phase III Expansion**

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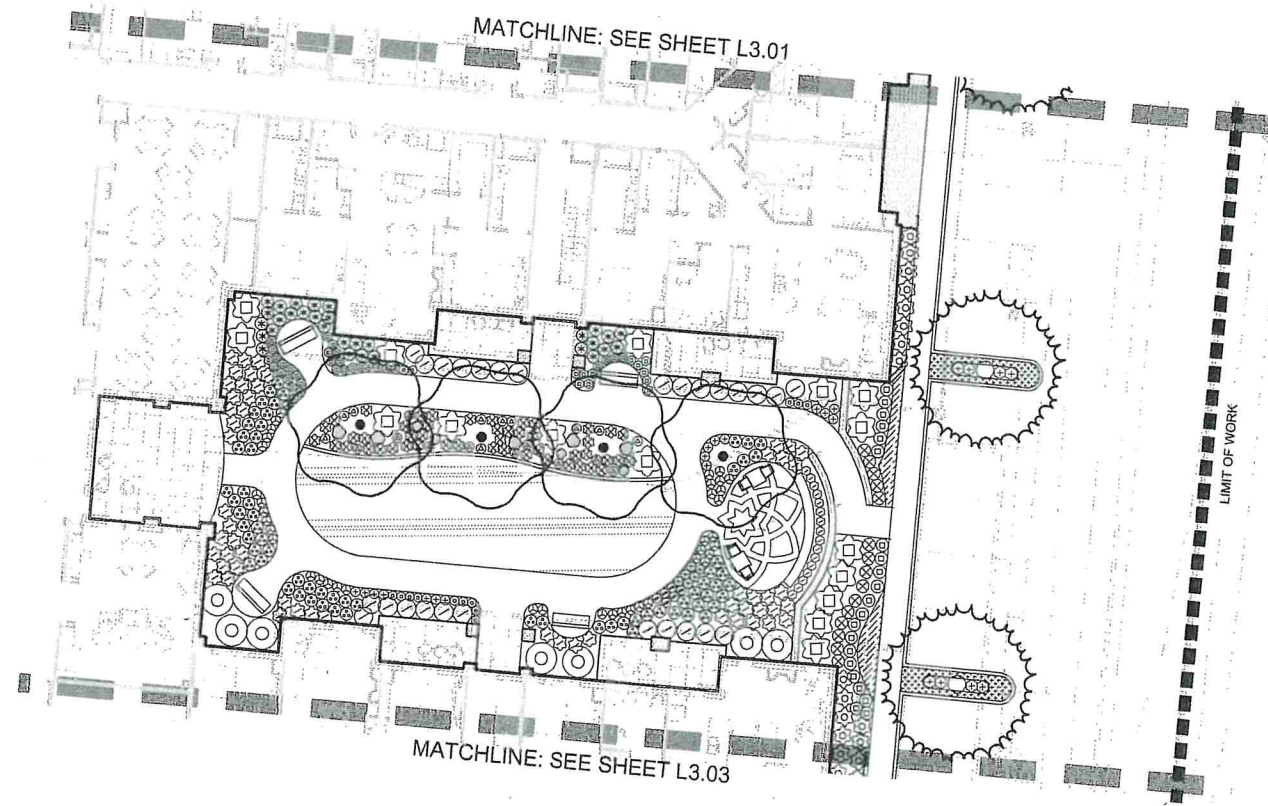
REVISION	DATE	REASON FOR ISSUE



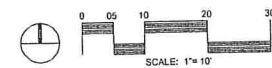
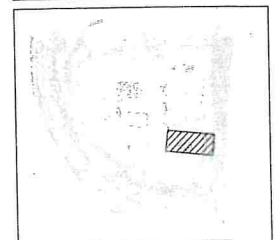
LANDSCAPE PLANTING PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L3.02
SCALE As Indicated	



KEY MAP:



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T: 619-294-4477



Casa de las Campanas
Phase III Expansion

18655 West Bernardo Drive San Diego, CA 92127
LCS Development

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE PLANTING PLAN

CUP/PDP SUBMITTAL

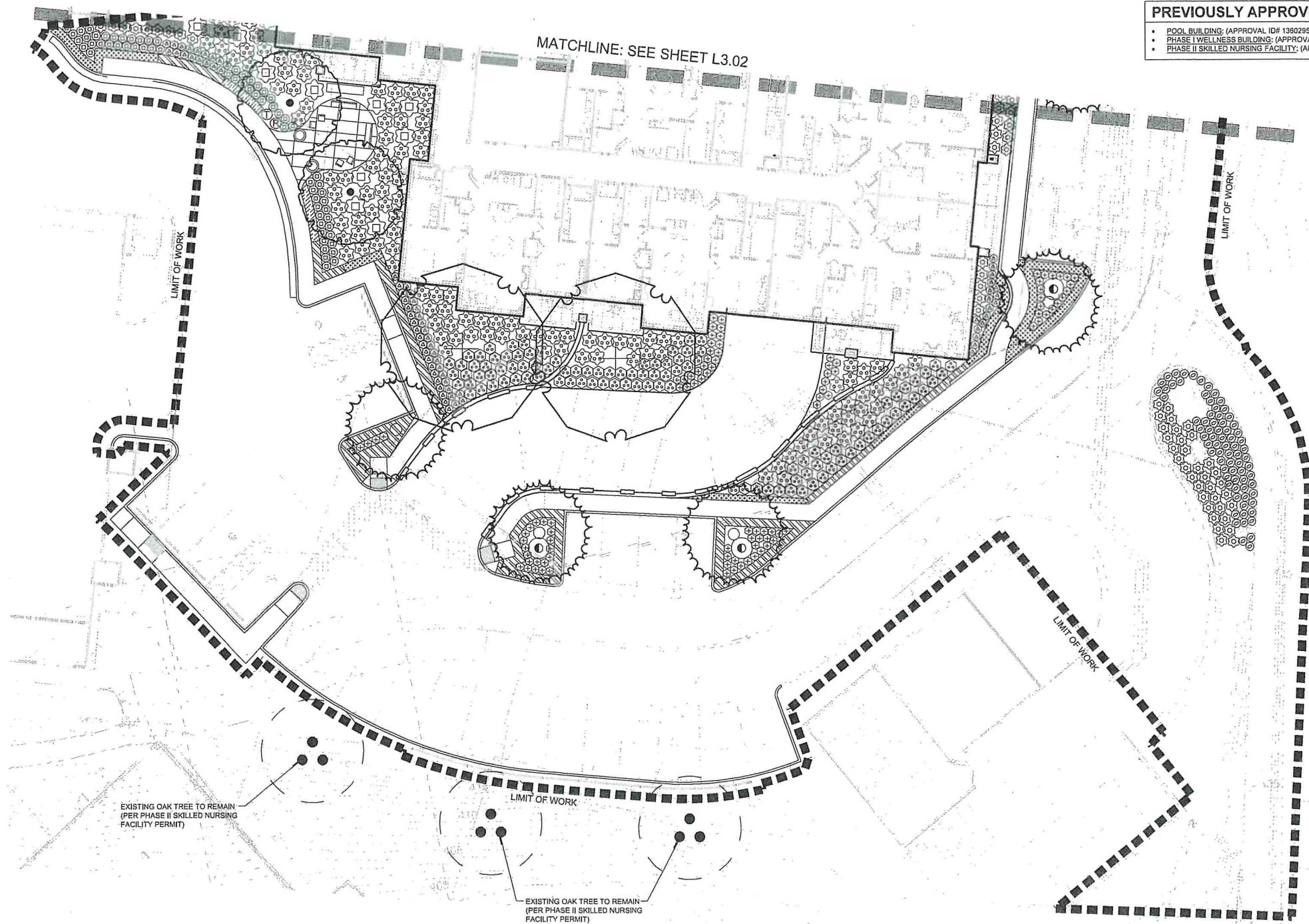
DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L3.03
SCALE As indicated	

SHEET NOTES

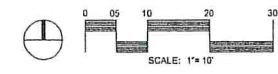
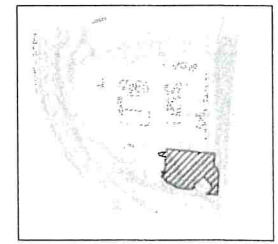
1. SEE SHEET L3.04 FOR PLANTING LEGEND & NOTES
2. SEE SHEET L3.05 FOR PLANTING DETAILS
3. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PREVIOUSLY APPROVED PERMITS

- POOL BUILDING; (APPROVAL ID# 1380295), (PROJECT ID# 389618)
- PHASE I WELLNESS BUILDING; (APPROVAL ID# 1437035), (PROJECT ID# 410700)
- PHASE II SKILLED NURSING FACILITY; (APPROVAL ID# 1649527), (PROJECT ID# 471248)



KEY MAP:



C:\Users\p20001\OneDrive\Documents\162330_15_CELC_PHASE III_01_CELC_PHASE III_PDP_SUBMITTAL.dwg
 162330_15_CELC_PHASE III_01_CELC_PHASE III_PDP_SUBMITTAL.dwg

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	ARB HYB	13	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	36"BOX	WUCOL: M	
	CER FOR	4	CERCIS CANADENSIS 'FOREST PANSY' TM	FOREST PANSY REDBUD	36"BOX	MULTI-TRUNK. WUCOL: M	
	OLE MUL	2	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE MULTI-TRUNK	36"BOX	MULTI-TRUNK. LOW-BRANCHING. WUCOL: LOW	
	PLA RA3	2	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36"BOX	WUCOLS: H/M, 13'-15' X 6'-8	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	ACA MOL	55	ACANTHUS MOLLIS	BEAR'S BREECH	5 GAL		
	AGA ATT	26	AGAVE ATTENUATA	AGAVE	5 GAL		
	ANI HYB	85	ANIGOZANTHOS X 'BIG RED'	BIG RED KANGAROO PAW	1 GAL		
	CAL KAR	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL		
	CAR DIV	18	CAREX DIVULSA	BERKELEY SEDGE	1 GAL		
	CAR AUR	48	CAREX ELATA 'AUREA'	SEEDGE	1 GAL		
	CHO TEC	143	CHONDROPETALUM TECTORIUM	CAPE RUSH	1 GAL		
	CLIMIN	40	CLIVIA MINIATA	BUSH LILLY	1 GAL		
	COR DES	224	CORDYLINE X 'DESIGN-A-LINE BURGUNDY'	CORDYLINE	5 GAL		
	DIA TAS	69	DIANELLA TASMANICA	TASMAN FLAX LILY	1 GAL		
	DUD PUL	20	DUDLEYA PULVERULENTA	CHALK LETTUCE	1 GAL		
	FIC PUM	7	FICUS PUMILA	CREEPING FIG	5 GAL		
	HEU MAX	99	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL		
	HEU SA3	39	HEUCHERA X 'SANTA ANA CARDINAL'	CORAL BELLS	1 GAL		
	LEO LIO	22	LEONOTIS LEONURUS	LION'S TAIL	5 GAL		
	LIG TEX	87	LIGUSTRUM JAPONICUM 'TEXANUM'	WAX LEAF PRIVET	5 GAL		
	LIR MUS	26	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	1 GAL		
	LOM BRE	75	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL		
	MUH CAP	15	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL		
	MUH RIG	217	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL		
	OPH JAP	22	OPHIOPOGON JAPONICUS 'NIGRESCENS'	BLACK MONDO GRASS	1 GAL		
	PHO MAO	70	PHORMIUM TENAX 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL		
	SAL PUR	85	SALVIA GREGGII 'PURPLE'	AUTUMN SAGE	1 GAL		
	WOO FIM	7	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	1 GAL		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	FES GLA	145	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	24" o.c.	
	HEL SEM	224	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	24" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	SEN SER	35	SENECIO SERPENS	BLUE CHALK STICKS	1 GAL	24" o.c.	
	TUR II	934 SF	TURF MARATHON II	MARATHON II	FLAT		

PLANTING NOTES:

- ALL FINISH GRADING AND LANDSCAPE OPERATIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROJECT DRAWINGS, DETAILS, AND PROJECT SPECIFICATIONS. REFER TO PROJECT SPECIFICATIONS FOR ALL PLANTING REQUIREMENTS.
- SEE SHEET L3.05 FOR PLANTING DETAILS. SEE LANDSCAPE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CHANGED CONDITIONS WHICH OCCUR ON PROJECT SITE WHICH ARE NOT REFLECTED ON PLANS.
- REMOVE ALL WEEDS, DEBRIS, AND ROCKS LARGER THAN ONE-HALF-INCH (1/2") FROM ALL PLANTING AREAS, AND DISPOSE OF APPROPRIATELY OFF-SITE.
- FINISH GRADE OF SOIL SHALL BE THREE-INCHES (3") BELOW ADJACENT FINISH PAVING SURFACE OR CURB IN SHRUB AND GROUND COVER AREAS.
- CONTRACTOR SHALL INSTALL A THREE-INCH (3") LAYER OF BARK MULCH IN ALL SHRUB AND GROUND COVER AREAS WITH SLOPES LESS THAN 3:1 GRADIENT. SUBMIT SAMPLE FOR APPROVAL BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. REFER TO SPECIFICATIONS.
- ALL SLOPES 2:1 OR GREATER ARE TO BE STABILIZED WITH JUTE MESH PRIOR TO PLANTING. DO NOT INSTALL JUTE MESH ON SEEDED SLOPES. REFER TO SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE ELECTRONIC PHOTOGRAPHS OF ALL TREES FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. REFER TO SPECIFICATIONS.
- TREE LOCATIONS MAY BE ADJUSTED TO AVOID CONFLICTS WITH UNDERGROUND UTILITIES. CONSULT WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO ADJUSTMENT OF TREE LOCATIONS.
- CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL WHICH HAS BEEN DAMAGED OR IS IN POOR CONDITION. THE OWNER'S REPRESENTATIVE SHALL DETERMINE ACCEPTABILITY OF SUBJECT PLANT MATERIAL.
- PLANT MATERIAL SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE BEFORE PLANTING. PLANT MATERIAL MAY BE REJECTED AT ANY TIME BY THE OWNER'S REPRESENTATIVE DUE TO POOR CONDITION, FORM, OR DAMAGE PRIOR TO, DURING, OR AFTER THE PLANTING PROCESS.
- AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE SHALL HAVE AN IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING BOTH COMMON AND SCIENTIFIC NAMES.
- THE PLANTING PLANS ARE DIAGRAMMATIC. PLANT MATERIALS SHALL BE SPOTTED AS SHOWN ON THE DRAWINGS. TREE LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE EXCAVATION OF PLANTING PITS AND REMOVAL FROM CONTAINERS. FINAL LAYOUT OF ALL OTHER PLANT MATERIALS SHALL BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND SQUARE FOOTAGES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS SUFFICIENT TO COVER AREAS SHOWN ON THE DRAWINGS AT THE SPECIFIED SPACING.
- NURSERY STAKES ARE TO BE REMOVED AFTER PLANTING TREES AND INSTALLATION OF STAKING OR GUYING, AS SHOWN ON PLANS.
- CONTRACTOR SHALL SUBMIT AN AGRICULTURAL SUITABILITY AND FERTILITY ANALYSIS REPORT, AS NOTED IN THE PLANTING SPECIFICATIONS, TO THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO ANY PLANTING WORK OR SOIL AMENDMENT INCORPORATION. THE RECOMMENDATIONS OF THE SOILS ANALYSIS REPORT FOR TOPSOIL AMENDMENT AND BACKFILL MIX AMENDMENT SHALL SUPERSEDE THE RECOMMENDATIONS LISTED IN THE SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE LANDSCAPE WORK WITH THE WORK OF OTHER TRADES AND PROFESSIONS. CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE DURING THE COURSE OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF EXISTING PROPOSED UTILITIES WITHIN THE PROJECT LIMITS WHICH MAY BE AFFECTED BY INSTALLATION. IMMEDIATELY CONTACT THE LANDSCAPE ARCHITECT IF A CONFLICT IS EVIDENT.
- REMOVE ALL TYING MATERIALS, MARKING TAPES, AND NURSERY STAKES AT THE TIME OF PLANTING.
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND OTHER IMPROVEMENTS OUTSIDE THE LIMITS OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGES INCURRED DURING CONSTRUCTION.
- THE MAINTENANCE PERIOD SHALL BEGIN ONLY UPON WRITTEN ACCEPTANCE OF THE COMPLETED PLANTED AREAS BY THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE.
- PROVIDE MATCHING FORMS AND SIZES FOR ALL PLANT MATERIAL WITHIN EACH SPECIES AND SIZE DESIGNATED BY THE DRAWINGS.
- ALIGN AND EQUALLY SPACE, IN ALL DIRECTIONS, ALL PLANT MATERIAL WITHIN EACH SPECIES SO DESIGNATED PER THESE NOTES AND DRAWINGS.
- FURNISH ALL DELIVERY SLIPS OF THE SPECIFIED AMENDMENTS TO THE CONSTRUCTION MANAGEMENT SUPERVISOR AND LANDSCAPE ARCHITECT FOR REVIEW AFTER PLANT INSTALLATION. IF IT IS DETERMINED MORE AMOUNTS ARE NEEDED, CONTRACTOR WILL BE REQUIRED TO ADD INTO SOIL WITH OBSERVATION OR PROVIDE CREDIT BACK TO OWNER.
- ALL PLANTING AREAS SHALL BE GRADED TO HAVE POSITIVE DRAINAGE (2% MIN.) AWAY FROM THE BUILDING WALLS AND STRUCTURES AND TOWARDS AREA DRAINS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING LANDSCAPE WITHIN SCOPE AREA. ALL PLANTING WITHIN SCOPE OF WORK AREAS ARE TO BE KEPT FREE OF LITTER AND DEBRIS. ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. ALL DISEASED OR DEAD PLANTS SHALL BE REPLACED IMMEDIATELY. REPLACE PLANTINGS IF DAMAGED, WITH LIKE SIZE, DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REPLACEMENT OF ALL PLANTINGS AND TURF DAMAGED DURING IRRIGATION REPAIR OR PLANTING INSTALLATION.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CITY OF SAN DIEGO LANDSCAPE AND MAINTENANCE NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- THE LONG TERM MAINTENANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR, FREE OF DEBRIS AND LITTER DURING THE CONSTRUCTION PERIOD.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM INSIDE DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF TRAVEL WAY PER THE CITY OF SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(g)(10).
- ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3", EXCLUDING SLOPES > 2:1 VEGETATION PER SDMC 142.0411.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET
RESIDENTIAL STREETS RATED AT 25 MPH OR LOWER	5 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

TREE PROTECTION NOTES:

- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
- STOCKPILING, TOPSOIL DISTURBANCE, CONSTRUCTION MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
- ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
- THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
- ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS WILL BE SEALED WITH WOOD PAINT AS MANUFACTURED BY FLINTKOTE OR APPROVED EQUAL.
- A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 6-IN OR GREATER IN DIAMETER.
- MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION.
- ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

NOT FOR CONSTRUCTION



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Casa de las Campanas
Phase III Expansion

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LCS Development

REVISION	DATE	REASON FOR ISSUE



LANDSCAPE PLANTING LEGEND AND NOTES

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
REVISION: CYCLE 3

PROJECT NUMBER: 162330
SHEET NUMBER: L3.04

SCALE: As indicated



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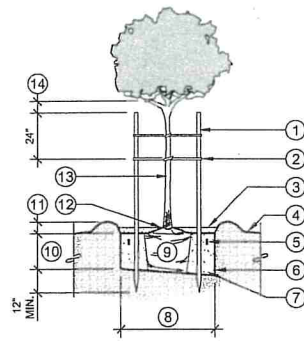
REVISION	DATE	REASON FOR ISSUE



LANDSCAPE
PLANTING LEGEND
AND NOTES

CUP/PDP SUBMITTAL

DATE MARCH 16, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER L3.05
SCALE As Indicated	



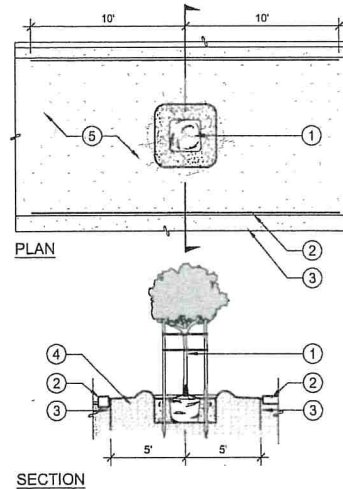
NOTES:

- A. REFER TO SPECIFICATIONS FOR PLANTING PROCEDURES AND ADDITIONAL INFORMATION.
- B. REMOVE FROM BOX WITH AS LITTLE DISTURBANCE TO THE ROOTBALL AS POSSIBLE.

A TREE PLANTING WITH DOUBLE STAKING
SECTION NOT TO SCALE

LEGEND

- 1 WOOD STAKE (SEE SPECIFICATIONS)
- 2 TREE TIE (MIN. 4 REQUIRED, NAIL TO STAKE)
- 3 MULCH, REFER TO SPECIFICATIONS AND PLANTING NOTES FOR DEPTH AND TYPE
- 4 FINISH GRADE
- 5 PLANT TABLETS (3" BELOW GRADE)
- 6 PLANTING PIT W/ ROUGHENED SIDES
- 7 BACKFILL MIX (PUDDLE AND SETTLE)
- 8 2x ROOTBALL DIAMETER MIN.
- 9 ROOTBALL
- 10 DEPTH OF ROOTBALL
- 11 6" WATERING BASIN (EXCEPT IN LAWN)
- 12 TREE COLLAR (PLANT PER SPECS.)
- 13 TREE TRUNK
- 14 CUT ALL STAKES 6" BELOW TREE CANOPY



SECTION

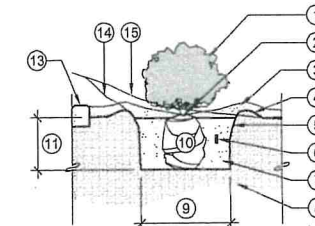
B ROOT BARRIER AT TREE PLANTING
SCALE: 1/4"=1'-0"

LEGEND

- 1 TREE PLANTING PER PLANTING LEGEND AND DETAILS
- 2 ADJACENT HARDSCAPE EDGE, FINISH GRADE OF PLANTING AREA TO BE 2" BELOW
- 3 ROOT BARRIER AS REQUIRED (SEE NOTES BELOW)
- 4 TOPSOIL AND SUBGRADE PER CIVIL PLANS
- 5 ADJACENT GROUNDCOVER OR SHRUB PLANTING

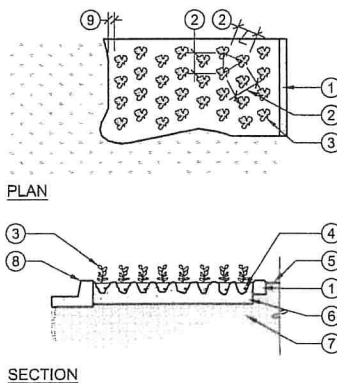
NOTES:

- A. ROOT BARRIERS SHALL BE INSTALLED WHEN TREES ARE WITHIN 5' OF HARDSCAPE U.N.O.
- B. WHERE POSSIBLE INSTALL 10' EACH SIDE OF TRUNK MEASURED PARALLEL TO HARDSCAPE X 24" DEEP.
- C. INSTALL PARALLEL TO WALKS & CURBS.
- D. DO NOT ENCIRCLE TREE IF POSSIBLE.
- E. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.



SECTION

C SHRUB PLANTING
SECTION NOT TO SCALE



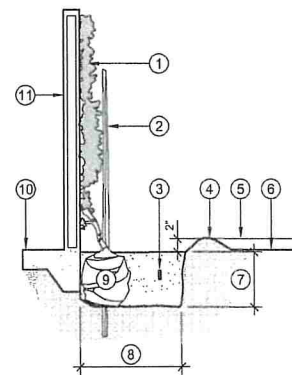
PLAN

SECTION

D GROUNDCOVER PLANTING TRIANGULAR
NOT TO SCALE

LEGEND

- 1 EDGE OF PAVING
- 2 EQUAL, SEE PLANTING PLAN AND LEGEND FOR SPACING
- 3 GROUNDCOVER
- 4 PLANT TABLET (1" MIN. AWAY FROM ROOTS)
- 5 FINISH GRADE
- 6 PREPARE SOIL THROUGHOUT PLANTING AREA
- 7 SUBGRADE PER CIVIL PLANS
- 8 SET FINISH GRADE EQUAL TO THE DEPTH OF BARK MULCH BELOW FINISH SURFACE OF PAVING
- 9 1/2 OF SPACING DISTANCE AT ALL EDGES



NOTE:

REFER TO SPECIFICATIONS FOR PLANTING PROCEDURES, NOTES AND ADDITIONAL INFORMATION.

E VINE / ESPALIER PLANTING AT WALL
SECTION NOT TO SCALE

LEGEND

- 1 SPREAD AND SECURE VINE LEADERS WITH TAB AND TIE VINE SUPPORT (OR APPROVED EQUAL) TO WALL OR COLUMN
- 2 REMOVE NURSERY STAKE
- 3 PLANTING TABLET (3" BELOW GRADE)
- 4 6" WIDE WATERING BASIN (WHERE APPLICABLE)
- 5 ADJACENT PAVING (WHERE APPLICABLE)
- 6 FINISH GRADE (WHERE APPLICABLE)
- 7 DEPTH OF ROOTBALL
- 8 2X WIDTH OF ROOTBALL
- 9 ROOTBALL
- 10 CONCRETE FOOTING
- 11 WALL, FENCE, OR COLUMN

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CITY OF SAN DIEGO PROJECT NUMBER - 546769

NOT FOR CONSTRUCTION



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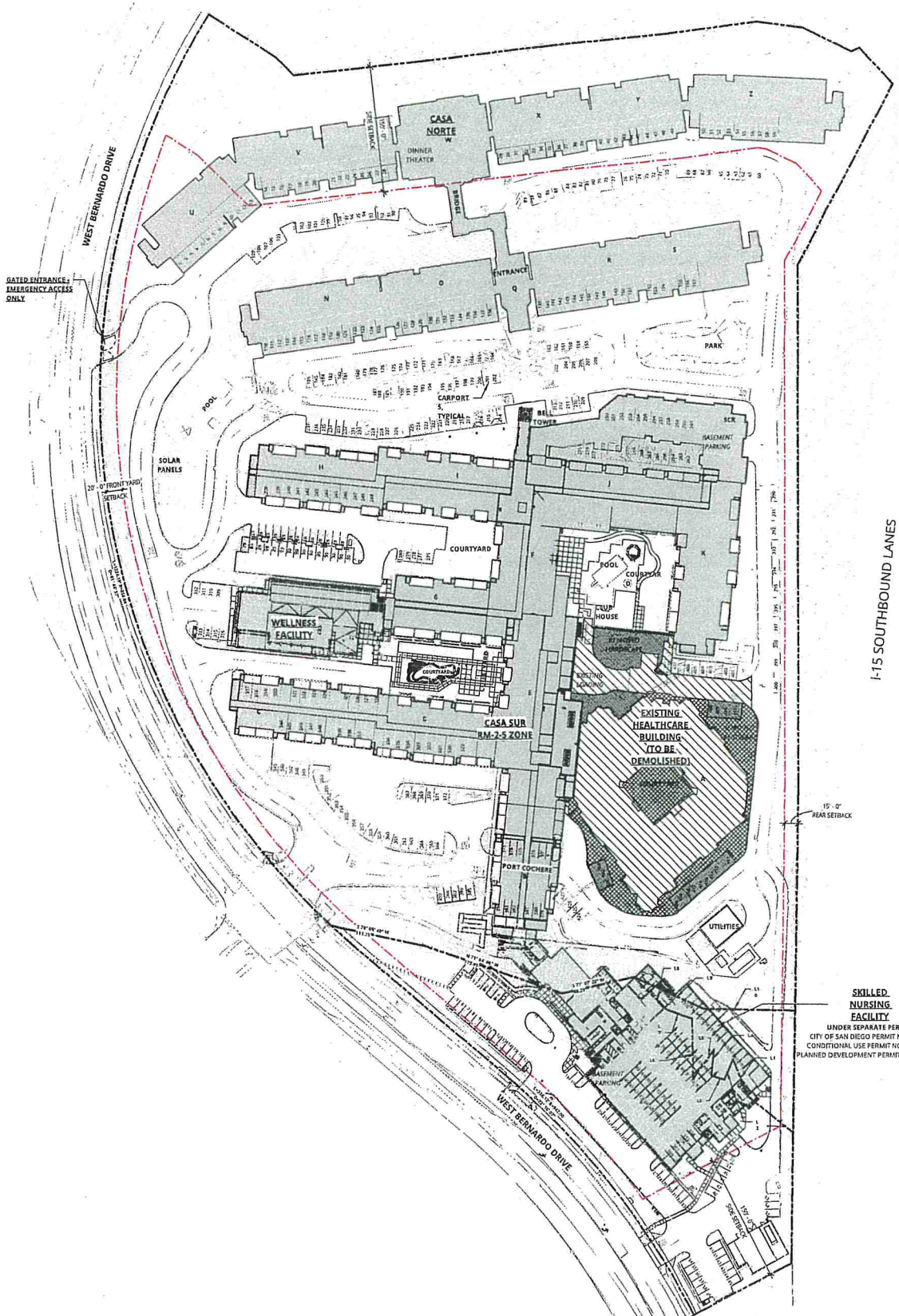
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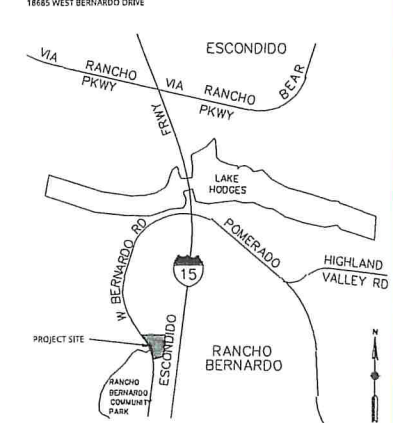


SKILLED NURSING FACILITY
UNDER SEPARATE PERMIT
CITY OF SAN DIEGO PERMIT NO. 44039
CONDITIONAL USE PERMIT NO. 1403095
PLANNED DEVELOPMENT PERMIT NO. 1403097

LEGEND

- PROPERTY LINE
- SETBACK
- REMOVED HARDSCAPE
- REMOVED LANDSCAPE
- EXISTING BUILDING

VICINITY MAP



1 CAMPUS PLAN - EXISTING
1" = 60'-0"



REVISION	DATE	REASON FOR ISSUE

EXISTING CAMPUS PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SCALE As indicated
A1.00e	

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Casa de las Campanas
Phase III Expansion
18685 West Bernardo Drive San Diego, CA
92127
LCS Development

REVISION	DATE	REASON FOR ISSUE

PROPOSED CAMPUS PLAN
CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
REVISION: CYCLE 3
PROJECT NUMBER: 162330
SCALE: As Indicated

DATE: MARCH 18, 2019
REVISION: CYCLE 3
PROJECT NUMBER: 162330
SCALE: As Indicated
A1.00p

ZONING INFORMATION

EXISTING CLIP AND AMENDMENTS: 82-0738; 84-0848; 87-0120; 91-0971; 95-0362; 99-0747; 9867-2004, 140906
LEGAL DESCRIPTION: A PORTION OF RANCHO SAN BERNARDO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED IN PARCEL 8 OF DEED RECORDED DECEMBER 4, 2014 AS DOC. NO. 2014-0330512 OF OFFICIAL RECORDS.

TOGETHER WITH LOT 9, INCLUSIVE OF CASA DE LAS CAMPANAS ACCORDING TO MAP THEREOF 11273, FILED JULY 3, 1985 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

BASIC ZONING: RM-2.5 RESIDENTIAL MULTIPLE UNIT
USE REGULATIONS (TABLE 131-04B) A RESIDENTIAL CARE FACILITY (CONTINUING CARE RETIREMENT COMMUNITY); CONDITIONAL USE PERMIT REQUIRED

ASSESSOR'S PARCEL NUMBER: 272-740-08, 05, 11; 272-110-44

SITE DATA

Site Area	Acres	Sq. Ft.
Lot 1 - (P&A 2-3)	13.89 AC	596,408 SF
Lot 5 & 11 (P&A 2-3 Reasoned)	2.4 AC	104,541 SF
Total	16.29 AC	700,949 SF

DU/Units	Existing	In-Process	Approved	Proposed	Total
Dwelling Units	425	0	2	0	427
Long-Term Housing (LTH)	0	0	0	0	0
Approved Adult Housing (AAH)	0	0	2	0	2
Independent Living Units (ILU) Addition	0	0	0	24	24
Assisted Living Units (ALU) Addition	0	0	0	66	66
Total	425	0	2	90	517

Parking Spaces (Overall Campus)	Existing	Proposed	Total
Existing	272	0	272
Proposed	0	106	106
Proposed Addition	0	0	125
Proposed Total	272	106	378

Min. Parking Required (Overall Campus)	Existing	Proposed
425 DU / 1 Space per DU (425,000 sq ft)	425	427
72,167 sq ft (1 Space per 1,000 sq ft) (Table 131-04B)	72	124
Proposed DU / 1 Space per DU	24	67
Proposed AL / 1 Space per 3 Units	22	22
Assisted Living Units	66	66
Spaces Proposed	425	624

Net Coverage	Existing	Proposed Addition	Proposed Total
Building Coverage	132,343	153,200	285,543
Paved Area	326,650	(8,339)	318,311
Landscape Area	147,190	(17,742)	129,448
Unimproved Area	0	0	0
Covered Parking Area	47,704	0	47,704
Total - GFA (w/ Covered Parking)	564,001	134,861	698,862
Total - GFA (w/ Covered Parking)	684,575	(13,320)	671,255

Site Area	Area
75% (NON-PARKING AREA ALLOVED)	476,813 SF
25% (PARKING AREA ALLOVED)	383,082 SF
25% (PARKING AREA ALLOVED)	137,666 SF
Maximum Allowable FAR (1.35)	1,310,788 SF

Building Area by Floor	Existing	Proposed
Basement	0	25,231
Level 1	311,343	25,000
Level 2	180,000	24,500
Level 3	115,306	22,171
Level 4	45,800	21,869
Level 5	35,000	22,200
Total	684,575	140,971

Proposed New Parking	Surface	Accessible
Standard	19	7
Accessible	0	21
Subtotal	19	28

Covered	Standard	Accessible
Standard	0	4
Accessible	0	68
Subtotal	0	72

Green / Vegetation / Parking	Required	Provided
Cal Green - 5.125.5.3	11	11
Utility Vehicle Charging Stalls	5	5 (3 TO UC, 2 TO CH)
Electric Vehicle Charging Stalls	5	5 (3 TO UC, 2 TO CH)
Short Term (1-24 Hours) Parking Area	11.48%	14
Long Term (24+ Hours) Parking Area	4.4%	8
Motorcycle Parking	2.04	2

REFUSE & RECYCLABLE STORAGE

REQUIRED REFUSE AND RECYCLABLE STORAGE IN ACCORDANCE WITH SECTION 142.03(3)(B)

RESIDENTIAL NON-RESIDENTIAL	201 DU - 228 SF - 95 SF/ADDITIONAL 25 DU - 285 SF = 1,164 SF
TOTAL REQUIRED:	1,318 SF
TOTAL PROVIDED:	1,647 SF

LEGEND



GENERAL NOTES

- A. The Owner/Permittee shall be responsible for any damage caused to the City of San Diego water and sewer facilities in the vicinity of the project site, due to the construction activities associated with this project, in accordance with Municipal Code Section 142.0607. In the event that any such facility is damaged, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Director of Public Utilities and the City Engineer.
- B. The Owner/Permittee shall process encroachment maintenance and removal agreements for all acceptable encroachments into the water and sewer easement, including but not limited to structures, enhanced paving or landscaping, no structures or landscaping of any kind shall be installed in or over any vehicular access roadway.
- C. No trees of shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and the fee of any water facilities.
- D. All existing parking stalls are a minimum of 8'-0" wide by 18'-0" deep with a 24'-0" wide drive aisle.
- E. Building address numbers will be provided and visible and legible from the street or road fronting the property in accordance with the City Policy P-05-6.

PARCEL LINE TABLE

Line	Bearing	Distance	Area
L1	N21°34'47"W	47.57'	2
L2	S24°18'34"W	26.25'	0
L3	S74°20'27"W	16.42'	0
L4	N5°39'17"E	31.34'	0
L5	S34°05'51"W	43.56'	0
L6	N2°40'07"W	71.83'	0
L7	N71°11'17"W	32.73'	0
L8	N45°56'59"W	56.38'	0
L9	S60°00'42"E	93.70'	0
L10	S89°03'26"E	109.99'	0

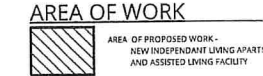
RM 2.5 ZONE INFORMATION

RM-2.5 (RESIDENTIAL MULTIPLE UNIT)
USE REGULATIONS (TABLE 131-04B)
RESIDENTIAL CARE FACILITY (CONTINUING CARE RETIREMENT COMMUNITY); CONDITIONAL USE PERMIT REQUIRED

PROPOSED FACILITY IS IN COMPLIANCE WITH SECTIONS 141.031(2)(D) THROUGH (N) OF THE CITY OF SAN DIEGO RESIDENTIAL CARE FACILITY REGULATIONS.

STREETS (TABLE 131-04G)	Requirement
STANDARD FRONT SETBACK:	20'-0"
*50% WIDTH OF BUILDING ENVELOPE	
MINIMUM SIDE SETBACK:	15'-0"
*MIN. 5' OR 10% OF PREMISES WIDTH (WHICHEVER GREATER)	
MIN. STREET SIDE SETBACK:	10'-0"
*10% OF PREMISES WIDTH (WHICHEVER GREATER)	
50% BUILDING FACADE	
MIN. ENCROACH 5'-0"	
INTO REQUIRED SETBACK	
MINIMUM REAR SETBACK:	15'-0"
MAX. STRUCTURE HEIGHT (TABLE 131-04J)	40'-0"
MAX. HEIGHT:	40'-0"
*AT SIDE SETBACK, MAX. BUILDING HEIGHT ABOVE 20'-0" ESTABLISHED BY 60' PLANE @ SIDE SETBACK TO MAX. 40'-0"	
MAX FLOOR AREA RATIO:	1.35*
REQUESTED DEVIATION:	
MAXIMUM BUILDING HEIGHT ALLOWED:	40'-0"
PROPOSED MAXIMUM BUILDING HEIGHT:	67'-2"

AREA OF WORK



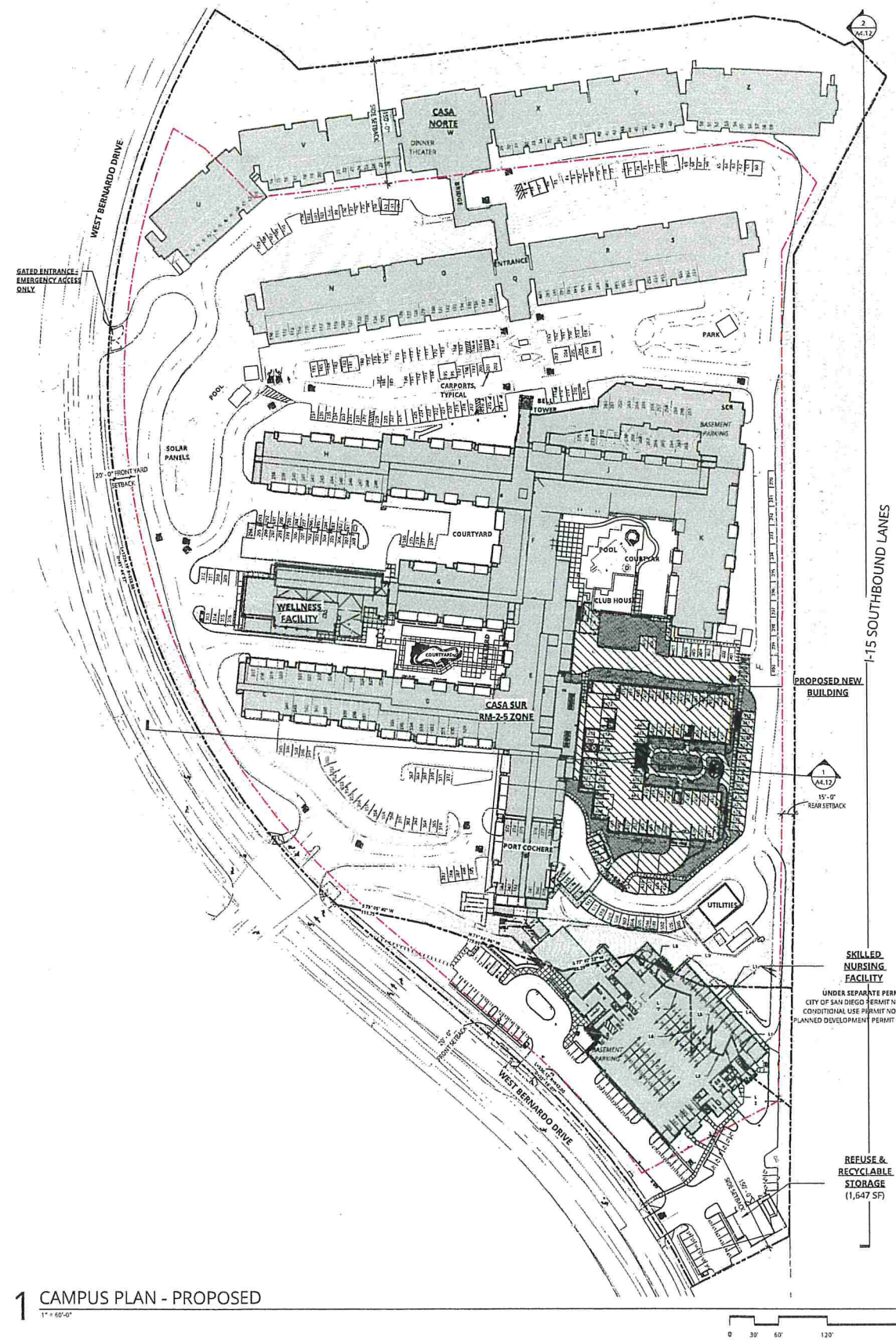
PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A NEW ADDITION TO THE CASA DE LAS CAMPANAS SENIOR LIVING COMMUNITY. THE BUILDING IS (5) STORIES ABOVE GRADE WITH (1) BASEMENT LEVEL PARKING GARAGE. THE TOTAL GROSS AREA OF THE BUILDING IS APPROXIMATELY 140,971 SQUARE FEET. IT INCLUDES THE FOLLOWING FUNCTIONS:

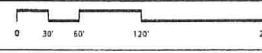
- DEMOLITION OF EXISTING SNF BUILDING
- GRADING FOR BELOW GRADE PARKING
- NEW ADDITION:
 - OFFICE SUITE FOR HUMAN RESOURCES PERSONNEL
 - COMMON LIVING, DINING, AND ACTIVITY SPACE FOR RESIDENTS ON EACH FLOOR
 - CARE STATIONS, OFFICES, AND SUPPORT FOR ASSISTED LIVING STAFF
 - INDEPENDENT LIVING APARTMENTS: 24 UNITS
 - ASSISTED LIVING APARTMENTS: 64 UNITS
 - TOTAL APARTMENTS: 90 UNITS

PROJECT CONSTRUCTION FUNDING IS 100% PRIVATE FUNDS - CSC CHAPTER 11A IS TO BE UTILIZED AS APPLICABLE FOR HOUSING ACCESSIBILITY DESIGN

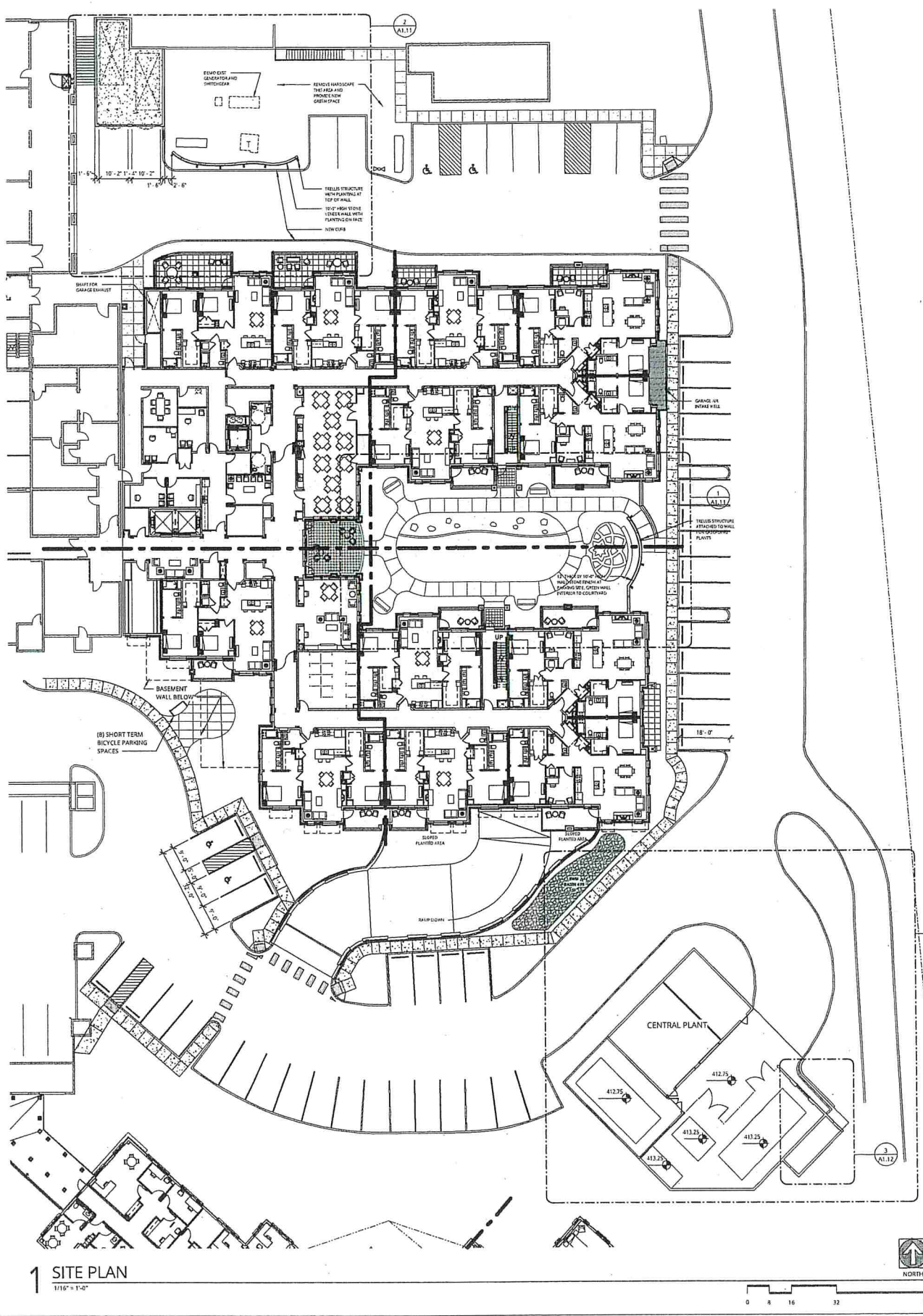
VICINITY MAP



1 CAMPUS PLAN - PROPOSED
1" = 60'-0"



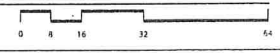
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PARKING & CIRCULATION LEGEND

- REQUIRED 8'-2" MIN OVERHEAD CLEARANCE ZONE FOR ACCESSIBLE PARKING
- NO PARKING, PEDESTRIAN AND LOADING ZONES FOR ACCESSIBLE PARKING, WHERE ADJACENT TO ACCESSIBLE PARKING, MAINTAIN 8'-2" MIN CLEARANCE
- PARKING STALL - COMBINATION OF STANDARD 9'-x-18' STALLS AND OVERSIZED 10'-x-18' STALLS
- WHEEL STOP, WHERE APPLICABLE
- STANDARD SYMBOL FOR ACCESSIBILITY (WHERE APPLICABLE)
- VAN ACCESSIBLE (WHERE APPLICABLE)
- ELECTRIC CHARGING STATION (WHERE APPLICABLE)
- CAR/VAN POOL/LOW EMISSION (WHERE APPLICABLE)
- MOTORCYCLE PARKING STALL - STANDARD 3'-0" x 6'-0"
- BICYCLE RACK
- FLOOR DRAIN, TYP. NOTE ALL SLAB SLOPING TO FLOOR DRAINS IS 1/4" = 1'-0"

1 SITE PLAN
1/16" = 1'-0"



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**Casa de las Campanas
Phase III Expansion**
18685 West Bernardo Drive San Diego, CA
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LCS Development

REVISION	DATE	REASON FOR ISSUE

SITE PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SCALE As indicated
A1.01	

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Casa de las Campanas
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REVISION	DATE	REASON FOR ISSUE

FIRE DEPARTMENT ACCESS DIAGRAM

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SCALE A1.02
As Indicated	

GENERAL NOTES

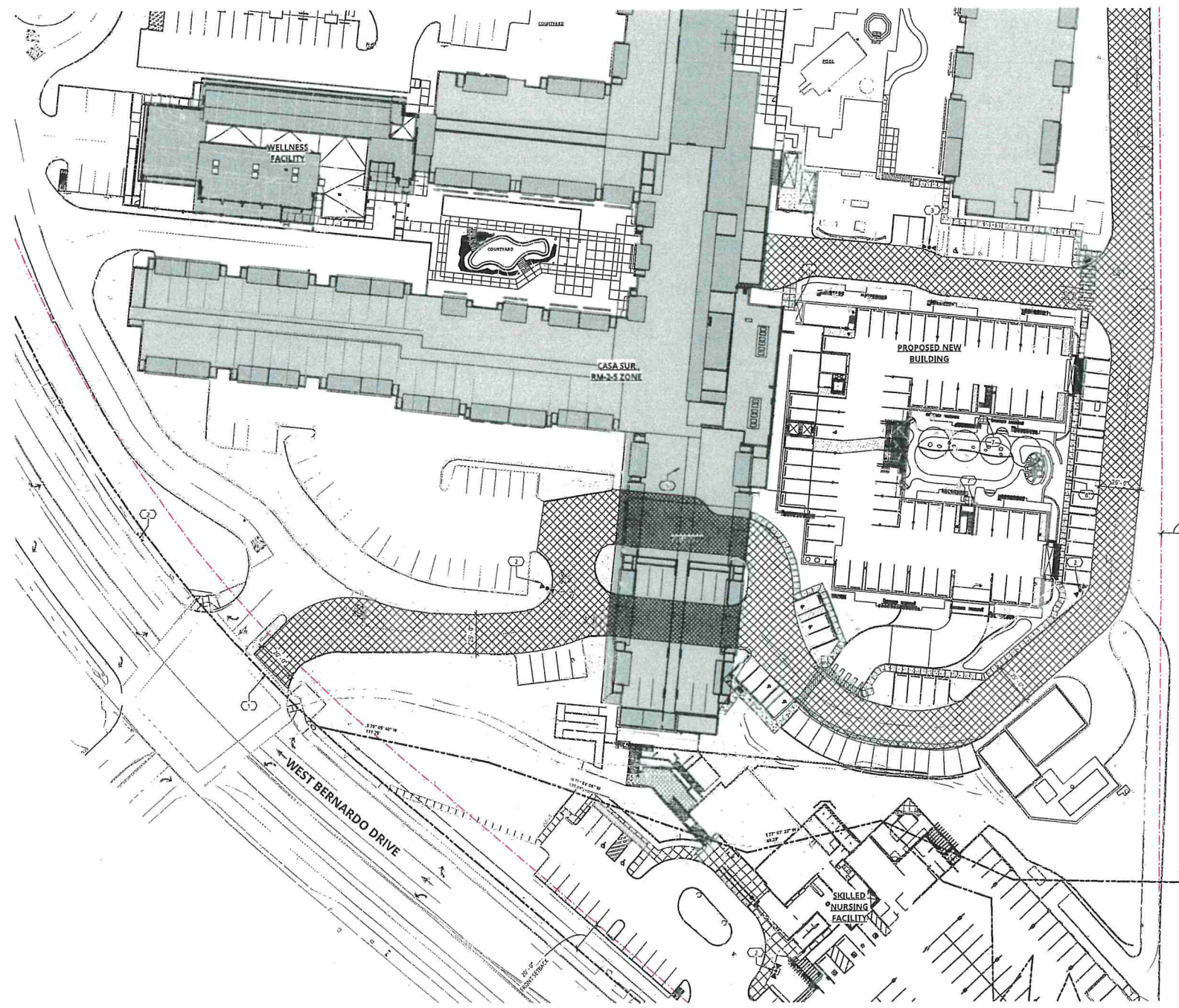
- A. BUILDING TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
- B. CLASS I STANDPIPE SYSTEM IN EACH STAIR TO BE PROVIDED. (CFC 907.1)
- C. FULLY AUTOMATIC & MANUAL FIRE ALARM SYSTEM TO BE PROVIDED. (CFC 907.2.9.4)
- D. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION.
- E. FULLY AUTOMATIC SMOKE DETECTION SYSTEM TO BE PROVIDED. (CFC 907.2.11.2)
- F. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE PROVIDED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- G. VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT PRIOR TO INSTALLATION.
- H. NO PORTION OF NEW BUILDING, ON A FIRE APPARATUS ACCESS ROAD, IS OVER 400 FEET FROM A FIRE HYDRANT. (CFC 507.5)
- I. FIRE APPARATUS ACCESS ROADS EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE NEW BUILDING. (CFC 503.1)

FIRE ACCESS APPARATUS LEGEND

- FIRE APPARATUS ACCESS ROAD, MINIMUM WIDTH OF 20'-0".
- PORTION OF FIRE APPARATUS ACCESS ROAD BELOW PORT COCHERE, WITH A VERTICAL CLEARANCE GREATER THAN 13'-6", AND MINIMUM WIDTH OF 20'-0".
- FIRE HYDRANT

KEYNOTES

- 1. PRIMARY ACCESS FROM WEST BERNARDO ROAD.
- 2. EXISTING FIRE HYDRANT.
- 3. RELOCATED FIRE HYDRANT.
- 4. FIRE SPRINKLER RISER ROOM.
- 5. PRIMARY NEW BUILDING ENTRANCE, THROUGH EXISTING BUILDING.
- 6. KNOX BOX - NEW BOX.
- 7. STAIRWAY ACCESS TO ROOF.
- 8. STAIRWAY ROOF ACCESS SIGNAGE.



1 FIRE DEPARTMENT ACCESS DIAGRAM
1" = 30'-0"

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CITY OF SAN DIEGO PROJECT NUMBER - 546769

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LCS Development



REVISION	DATE	REASON FOR ISSUE

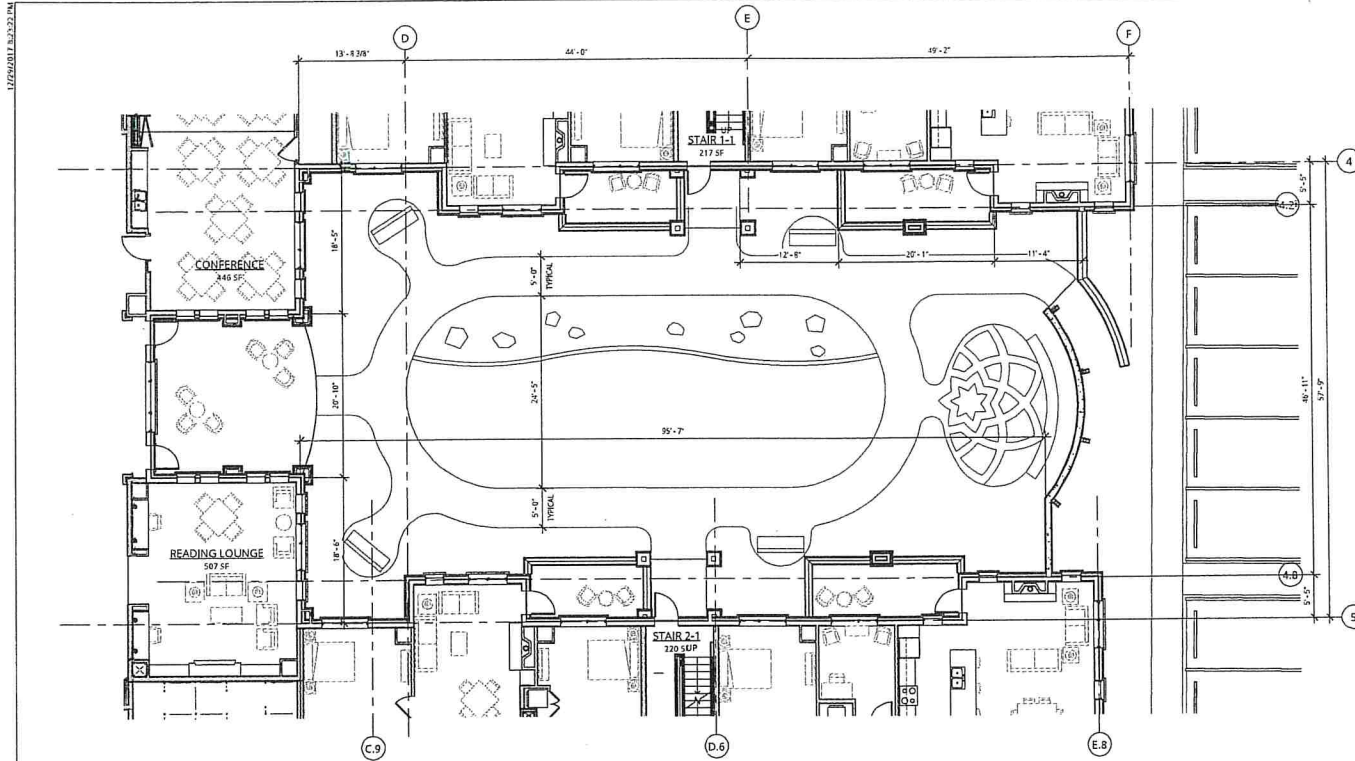
ENLARGED SITE PLANS

CUP/PDP SUBMITTAL

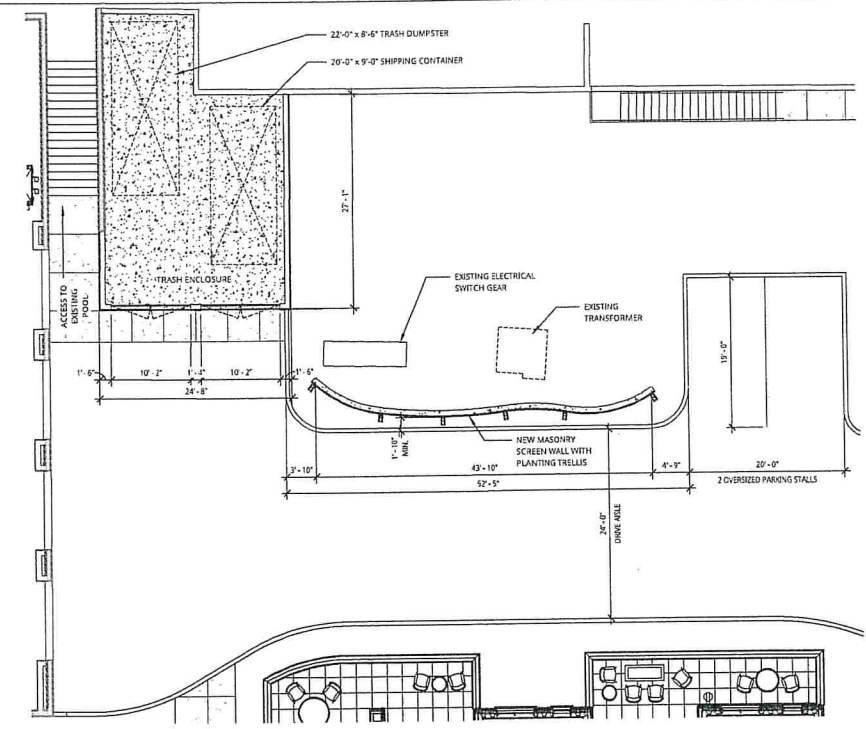
DATE: MARCH 18, 2019
PROJECT NUMBER: 162330

REVISION: CYCLE 3
SCALE: 1/8" = 1'-0"

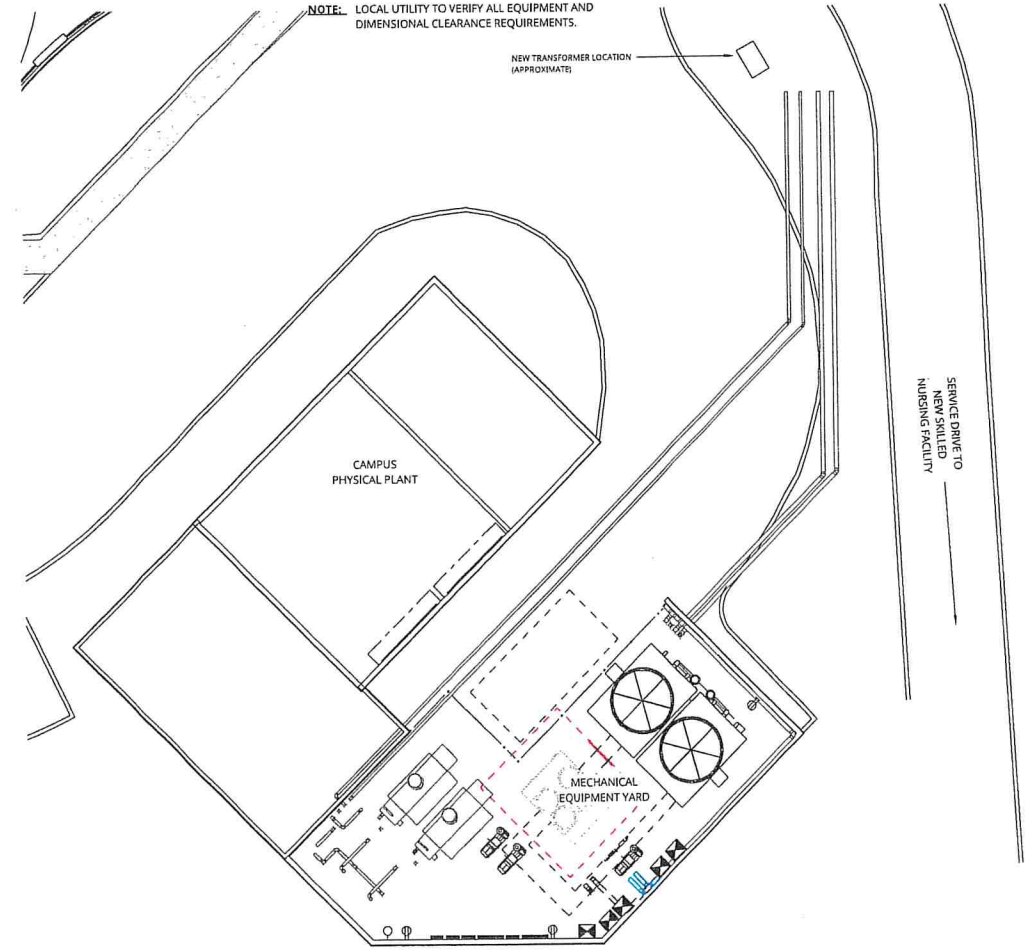
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1 COURTYARD - ENLARGED
1/8" = 1'-0"



2 NORTH PLAZA PLAN - ENLARGED
1/8" = 1'-0"



4 CENTRAL PLANT PLAN - ENLARGED
1/8" = 1'-0"

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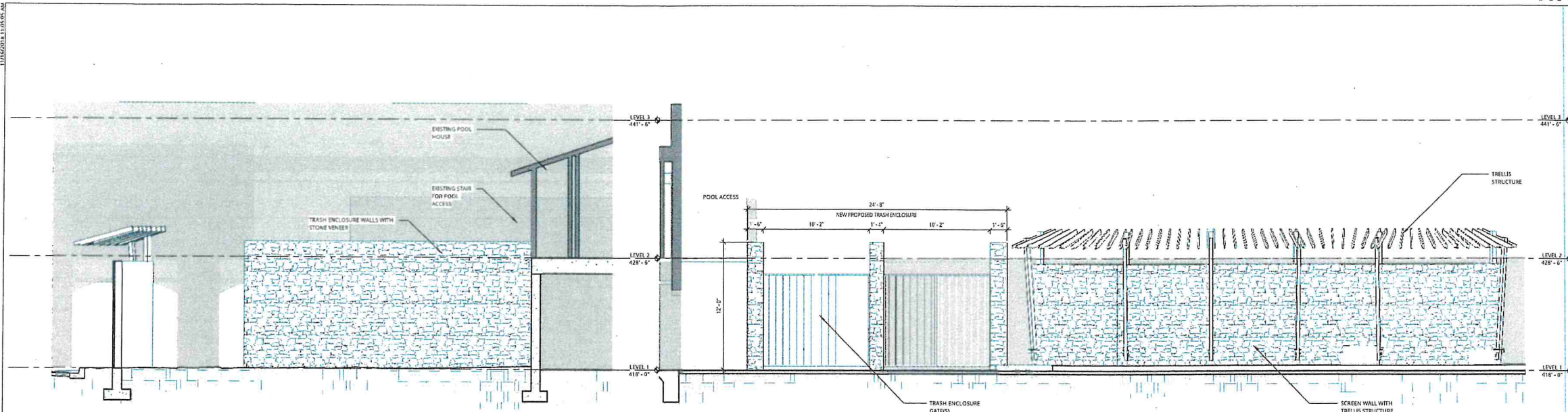
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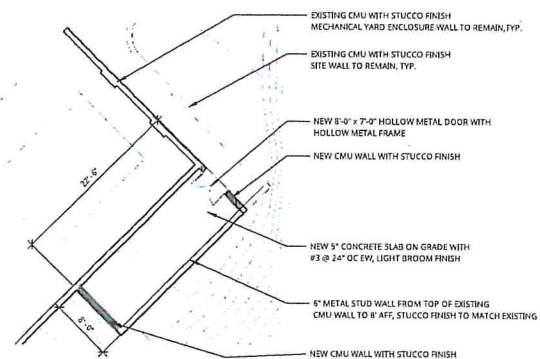


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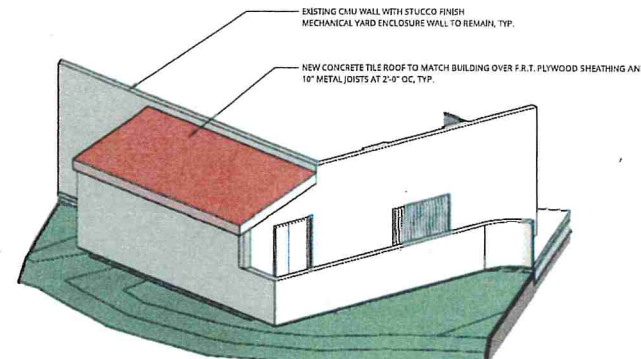


1 TRASH ENCLOSURE WEST ELEVATION
1/4" = 1'-0"

2 TRASH ENCLOSURE AND SCREEN WALL SOUTH ELEVATION
1/4" = 1'-0"



3 ENLARGED PLAN - STORAGE
1/8" = 1'-0"



4 3D - STORAGE

REVISION	DATE	REASON FOR ISSUE

SERVICE YARD & TRASH ENCLOSURE ELEVATIONS

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
REVISION CYCLE: 3
PROJECT NUMBER: 162330
SCALE: As indicated

A1.12

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REVISION DATE REASON FOR ISSUE

REVISION	DATE	REASON FOR ISSUE

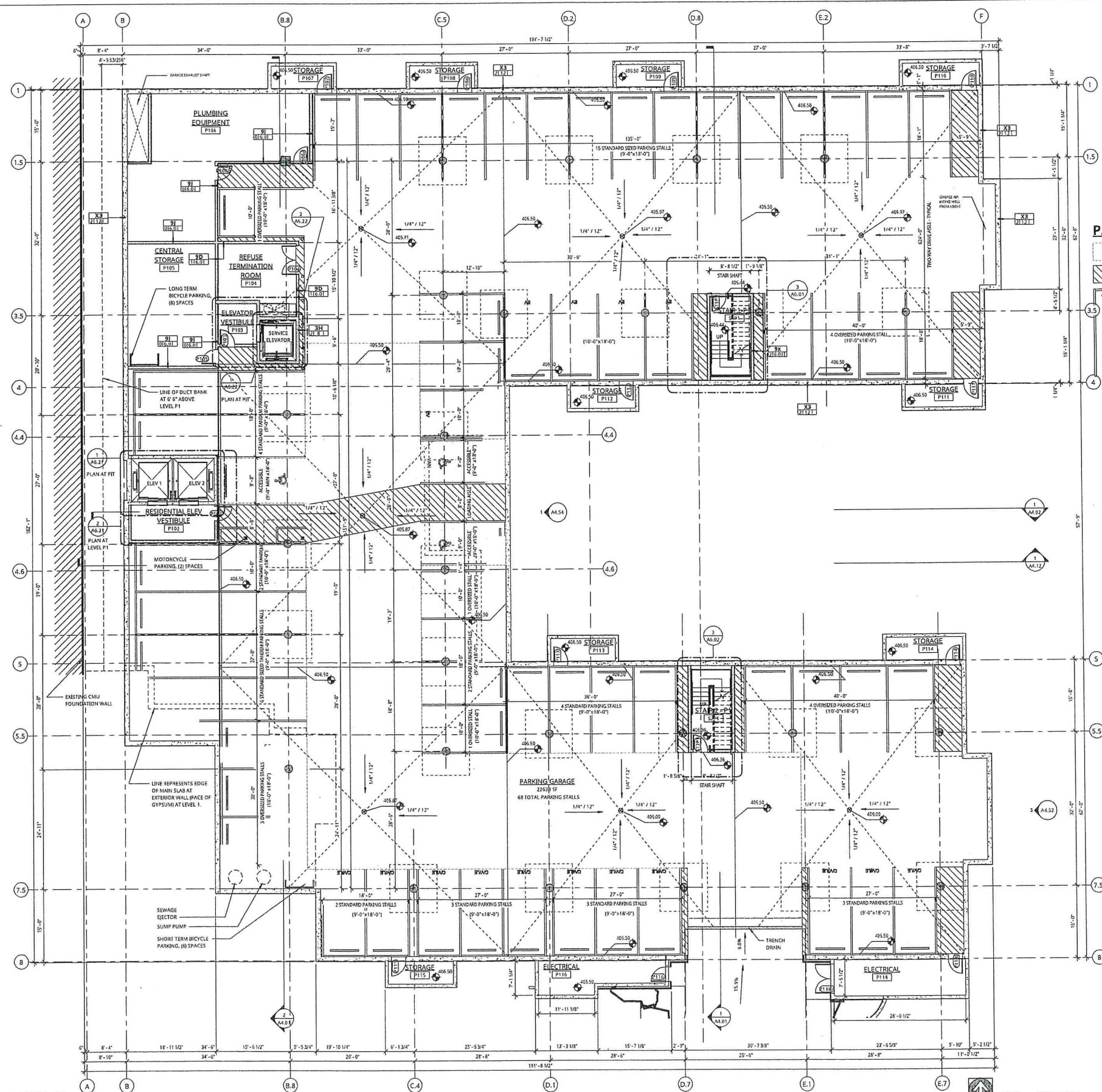
LEVEL P1 OVERALL FLOOR PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
PROJECT NUMBER: 162330
SCALE: As indicated

REVISION: CYCLE 3
SHEET NUMBER: A2.P1

CITY OF SAN DIEGO PROJECT NUMBER - 546769



GENERAL NOTES

- OVERALL PLAN
A. REFER TO QUADRANT PLANS FOR ENLARGED UNIT FLOOR PLANS.
B. REFER TO QUADRANT PLANS, REFER TO SHEETS:
LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4 LEVEL 5
A2.11a A2.12a A2.13a A2.14a A2.15a
A2.11b A2.12b A2.13b A2.14b A2.15b
A2.11c A2.12c A2.13c A2.14c A2.15c
A2.11d A2.12d A2.13d A2.14d A2.15d
- C. REFER TO SHEET A1.01 FOR DIMENSIONS LOCATING BUILDING ON SITE
D. REFER TO SHEET A1.00a FOR APPLICABLE PARKING COUNT.
E. REFER TO G2.P1, G2.11, G2.12, G2.13, G2.14, & G2.15 FOR OCCUPANCY, EXITING AND
DATED ENCLOSURE INFORMATION.
F. LEVEL P1 HAS ITS OWN GRID SYSTEM.

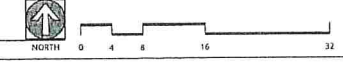
PARKING & CIRCULATION LEGEND

- REQUIRED 8'-2" MIN OVERHEAD CLEARANCE ZONE FOR ACCESSIBLE PARKING
- NO PARKING, PEDESTRIAN AND LOADING ZONES FOR ACCESSIBLE PARKING, WHERE ADJACENT TO ACCESSIBLE PARKING, MAINTAIN 8'-2" MIN CLEARANCE
- PARKING STALL - COMBINATION OF STANDARD 9'x18' STALLS AND OVERSIZED 10'x18' STALLS
- WHEEL STOP, WHERE APPLICABLE
- STANDARD SYMBOL FOR ACCESSIBILITY (WHERE APPLICABLE)
- VAN ACCESSIBLE (WHERE APPLICABLE)
- ELECTRIC CHARGING STATION (WHERE APPLICABLE)
- CAR/VAN POOL/DIV EMISSION (WHERE APPLICABLE)
- MOTORCYCLE PARKING STALL - STANDARD 3'-0" x 6'-0"
- BICYCLE RACK
- FLOOR DRAIN, TYP. NOTE ALL SLAB SLOPING TO FLOOR DRAINS IS 1/4" = 1'-0"

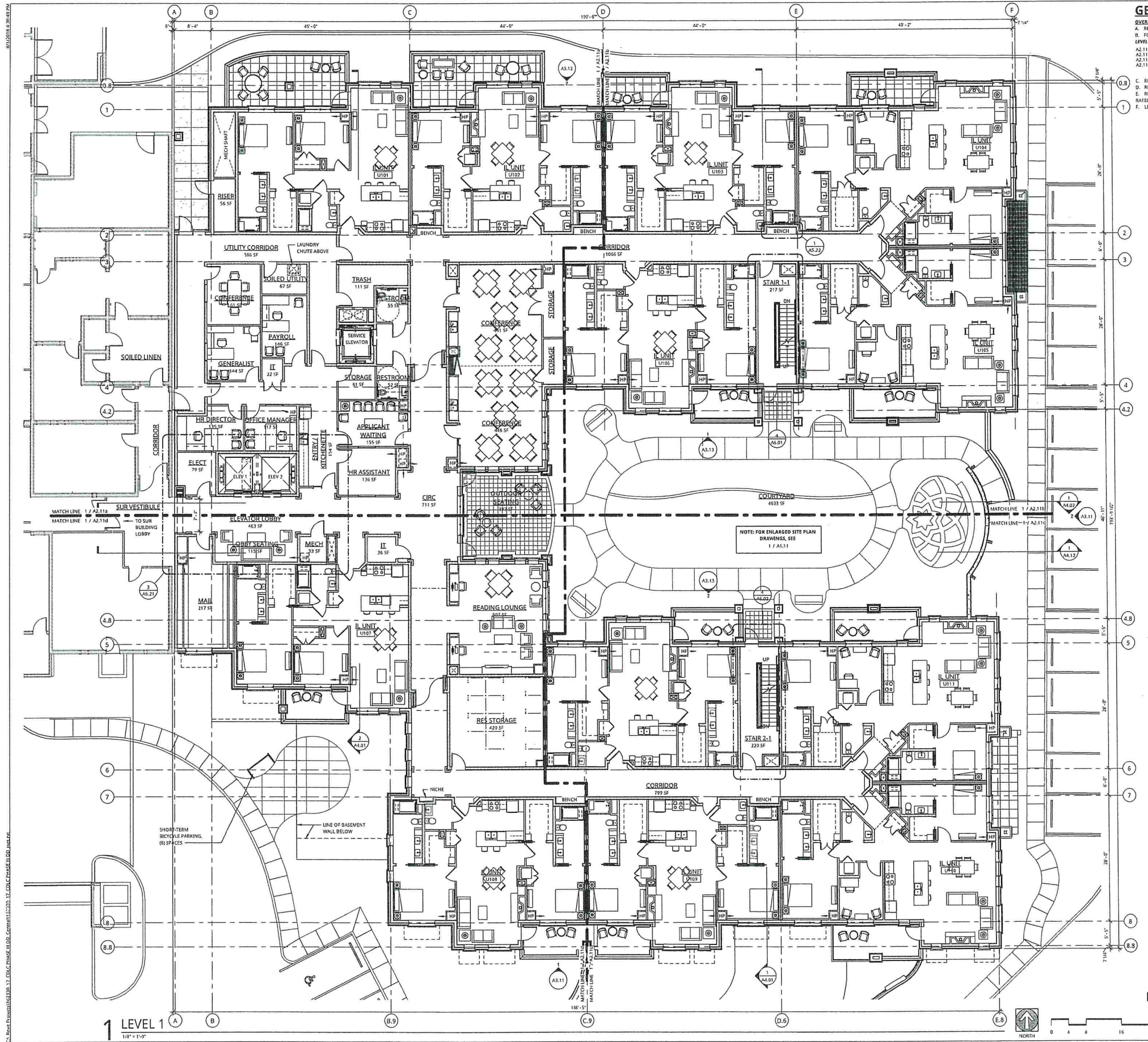
COMMONS NET AREA SCHEDULE - LEVEL P1		
Level	Name	Area
LEVEL P1	CENTRAL STORAGE	474 SF
LEVEL P1	ELECTRICAL	211 SF
LEVEL P1	ELECTRICAL	125 SF
LEVEL P1	ELEVATOR VESTIBULE	63 SF
LEVEL P1	PARKING GARAGE	22628 SF
LEVEL P1	PLUMBING EQUIPMENT	779 SF
LEVEL P1	REFUSE TERMINATION ROOM	221 SF
LEVEL P1	RESIDENTIAL ELEV VESTIBULE	128 SF
LEVEL P1	STAIR 1-P1	148 SF
LEVEL P1	STAIR 2 - P1	148 SF
LEVEL P1	STORAGE	62 SF
LEVEL P1	STORAGE	65 SF
LEVEL P1	STORAGE	65 SF
LEVEL P1	STORAGE	77 SF
LEVEL P1	STORAGE	77 SF
LEVEL P1	STORAGE	45 SF
LEVEL P1	STORAGE	45 SF
LEVEL P1	STORAGE	78 SF
LEVEL P1	STORAGE	45 SF
		25579 SF

FLOOR NET AREA = 23,950 SF
FLOOR GROSS AREA = 25,211 SF

LEVEL P1
1/8" = 1'-0"



C:\Red\InHouse\162330_17_CDC\PHASE III\DD_Comp\162330_17_CDC_P1A2.P1.DWG



GENERAL NOTES
OVERALL PLAN
 A. REFER TO QUADRANT PLANS FOR ENLARGED UNIT FLOOR PLANS.
 B. FOR QUADRANT PLANS, REFER TO SHEETS:
 LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4 LEVEL 5
 A2.11a A2.12a A2.13a A2.14a A2.15a
 A2.11b A2.12b A2.13b A2.14b A2.15b
 A2.11c A2.12c A2.13c A2.14c A2.15c
 A2.11d A2.12d A2.13d A2.14d A2.15d
 C. REFER TO SHEET A1.01 FOR DIMENSIONS LOCATING BUILDING ON SITE.
 D. REFER TO SHEET A1.09P FOR APPLICABLE PARKING COUNT.
 E. REFER TO GLP1, GL1.11, GL1.12, GL1.13, GL1.14, & GL1.15 FOR OCCUPANCY, EXITING AND RATED ENCLOSURE INFORMATION.
 F. LEVEL P1 HAS ITS' OWN GRID SYSTEM.

COMMONS NET AREA SCHEDULE - LEVEL 1

Number	Name	Area	Program Area	Net Difference
101	ELEVATOR LOBBY	463 SF	59 SF	413 SF
102	ENTRY / KITCHENETTE	154 SF	129 SF	24 SF
103	ELECT	79 SF	100 SF	-21 SF
104	CIRC	711 SF	1120 SF	-409 SF
105	HR CIRC	187 SF	170 SF	17 SF
107	HR ASSISTANT	136 SF	129 SF	6 SF
108	TRASH	111 SF	59 SF	51 SF
109	APPLICANT WAITING	155 SF	150 SF	5 SF
110	OFFICE MANAGER	117 SF	150 SF	-33 SF
111	IT	22 SF	33 SF	-11 SF
112	STORAGE	81 SF	59 SF	22 SF
113	GENERALIST	144 SF	150 SF	-6 SF
114	PAYROLL	146 SF	150 SF	-4 SF
115	CONFERENCE	161 SF	150 SF	11 SF
116	HR DIRECTOR	135 SF	150 SF	-15 SF
117	UTILITY CORRIDOR	546 SF	0 SF	546 SF
118	SOILED UTILITY	67 SF	59 SF	8 SF
119	CORRIDOR	1066 SF	988 SF	78 SF
120A	CONFERENCE	446 SF	459 SF	-13 SF
120B	CONFERENCE	441 SF	459 SF	-18 SF
121	RESTROOM	53 SF	100 SF	-47 SF
122	RESTROOM	55 SF	100 SF	-45 SF
123	STORAGE	66 SF	59 SF	7 SF
124	STORAGE	45 SF	59 SF	-14 SF
125	LOBBY SEATING	115 SF	100 SF	15 SF
126	MAIL	317 SF	259 SF	58 SF
127	MECH	33 SF	39 SF	-6 SF
128	IT	36 SF	30 SF	6 SF
129	CORRIDOR	799 SF	788 SF	11 SF
130	READING LOUNGE	507 SF	409 SF	98 SF
131	RES STORAGE	439 SF	372 SF	67 SF
132	RISE	56 SF	39 SF	17 SF
ST11	STAIR 1-1	217 SF	209 SF	8 SF
ST12	STAIR 2-1	220 SF	209 SF	11 SF
		8283 SF	7688 SF	515 SF

UNIT AREAS - LEVEL 1

Level	Unit Number	Name	Area
LEVEL 1	U101	IL TRADITIONAL	1130 SF
LEVEL 1	U102	IL DELUXE	1293 SF
LEVEL 1	U103	IL DELUXE	1395 SF
LEVEL 1	U104	IL DEN-END	1492 SF
LEVEL 1	U105	IL DEN-END	1495 SF
LEVEL 1	U106	IL DELUXE	1315 SF
LEVEL 1	U107	IL TRADITIONAL	1273 SF
LEVEL 1	U108	IL DELUXE	1314 SF
LEVEL 1	U109	IL DELUXE	1395 SF
LEVEL 1	U110	IL DEN-END	1490 SF
LEVEL 1	U111	IL DEN-END	1494 SF
LEVEL 1	U112	IL DELUXE	1316 SF
			16285 SF

UNIT AREAS - UNIT MIX - LEVEL 1

Level	Unit Type	Count	Area
LEVEL 1	DELUXE	6	7849 SF
LEVEL 1	DEN-END UNIT	4	5975 SF
LEVEL 1	TRADITIONAL	2	2462 SF
			16285 SF

FLOOR NET AREA = 24,513 SF
 FLOOR GROSS AREA = 25,068 SF

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 Phase III Expansion
 18685 West Bernardo Drive San Diego, CA
 92127
 LCS Development

REVISION	DATE	REASON FOR ISSUE

LEVEL 1 OVERALL FLOOR PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
 PROJECT NUMBER: 162330
 SCALE: As Indicated
 REVISION: CYCLE 3
 SHEET NUMBER: A2.01

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LCS Development



REVISION DATE REASON FOR ISSUE

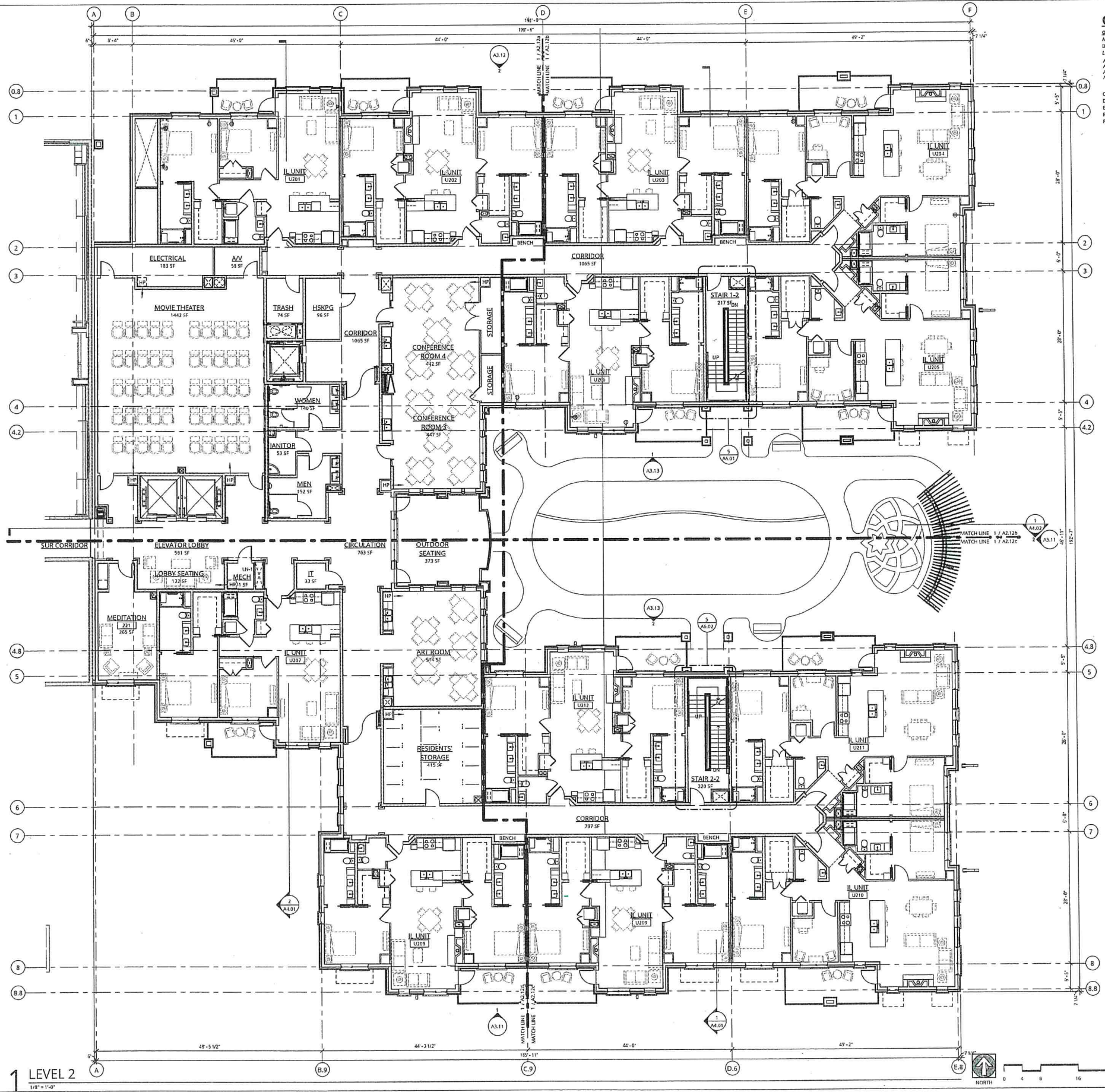
REVISION	DATE	REASON FOR ISSUE

LEVEL 2 OVERALL FLOOR PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 10, 2019
PROJECT NUMBER: 162330
SCALE: AS INDICATED

REVISION: CYCLE 3
SHEET NUMBER: A2.02



GENERAL NOTES

- OVERALL PLAN
- REFER TO QUADRANT PLANS FOR ENLARGED UNIT FLOOR PLANS
- FOR QUADRANT PLANS, REFER TO SHEETS:

LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5
A2.11a	A2.12a	A2.13a	A2.14a	A2.15a
A2.11b	A2.12b	A2.13b	A2.14b	A2.15b
A2.11c	A2.12c	A2.13c	A2.14c	A2.15c
A2.11d	A2.12d	A2.13d	A2.14d	A2.15d
- REFER TO SHEET A1.01 FOR DIMENSIONS LOCATING BUILDING ON SITE
- REFER TO SHEET A1.00P FOR APPLICABLE PARKING COUNT
- REFER TO GZ.P1, GZ.11, GZ.12, GZ.13, GZ.14, & GZ.15 FOR OCCUPANCY, EXITING AND RATED ENCLOSURE INFORMATION
- LEVEL P1 HAS ITS OWN GRID SYSTEM

COMMONS NET AREA SCHEDULE - LEVEL 2

UW#	Name	Area	Program Area	Net
201	ELEVATOR LOBBY	581 SF	80 SF	501 SF
202	MOVIE THEATER	1442 SF	1500 SF	-58 SF
203	ELECTRICAL	183 SF	120 SF	63 SF
204	CIRCULATION	783 SF	1120 SF	-337 SF
205	AV	58 SF	80 SF	-22 SF
207	HSPKG	96 SF	50 SF	46 SF
208	TRASH	74 SF	50 SF	24 SF
209	WOMEN	140 SF	200 SF	-60 SF
210	MEN	152 SF	200 SF	-48 SF
211	Janitor	53 SF	50 SF	3 SF
212a	CONFERENCE ROOM 3	447 SF	400 SF	47 SF
212b	CONFERENCE ROOM 4	442 SF	450 SF	-8 SF
213	STORAGE	44 SF	0 SF	44 SF
214	STORAGE	66 SF	0 SF	66 SF
219	CORRIDOR	1055 SF	948 SF	107 SF
220	LOBBY SEATING	122 SF	110 SF	12 SF
221	MIGRATION	265 SF	250 SF	15 SF
222	MECH	31 SF	0 SF	31 SF
223	IT	33 SF	50 SF	-17 SF
224	ART ROOM	314 SF	600 SF	-286 SF
225	RESIDENTS STORAGE	415 SF	384 SF	31 SF
229	CORRIDOR	797 SF	985 SF	-188 SF
ST12	STAIR 1-2	217 SF	200 SF	17 SF
ST22	STAIR 2-2	220 SF	200 SF	20 SF
		4220 SF	8118 SF	110 SF

UNIT AREAS - LEVEL 2

Level	Number	Name	Area
LEVEL 2	U201	IL TRADITIONAL	1189 SF
LEVEL 2	U202	IL DELUXE	1293 SF
LEVEL 2	U203	IL DELUXE	1305 SF
LEVEL 2	U204	IL DEN-END	1492 SF
LEVEL 2	U205	IL DEN-END	1498 SF
LEVEL 2	U206	IL DELUXE	1313 SF
LEVEL 2	U207	IL TRADITIONAL	1278 SF
LEVEL 2	U208	IL DELUXE	1317 SF
LEVEL 2	U209	IL DELUXE	1355 SF
LEVEL 2	U210	IL DEN-END	1400 SF
LEVEL 2	U211	IL DEN-END	1486 SF
LEVEL 2	U212	IL DELUXE	1316 SF
			16292 SF

UNIT AREAS - UNIT MIX - LEVEL 2

Level	Unit Type	Count	Area
LEVEL 2	DELUXE	6	7857 SF
LEVEL 2	DEN-END UNIT	4	5975 SF
LEVEL 2	TRADITIONAL	2	2455 SF
		12	16292 SF

FLOOR NET AREA = 24,511 SF
FLOOR GROSS AREA = 24,960 SF

1 LEVEL 2
1/8" = 1'-0"

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LCS Development

REVISION DATE REASON FOR ISSUE

REVISION	DATE	REASON FOR ISSUE

LEVEL 3 OVERALL FLOOR PLAN

CUP/PDP SUBMITTAL

DATE: MARCH 18, 2019
PROJECT NUMBER: 162330
SCALE: As indicated
REVISION: CYCLE 3
A2.03

CITY OF SAN DIEGO PROJECT NUMBER - 546769

GENERAL NOTES

- OVERALL PLAN
A. REFER TO QUADRANT PLANS FOR ENLARGED UNIT FLOOR PLANS.
B. FOR QUADRANT PLANS, REFER TO SHEETS:
LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4 LEVEL 5
A2.114 A2.120 A2.130 A2.140 A2.150
A2.110 A2.125 A2.135 A2.145 A2.155
A2.115 A2.122 A2.132 A2.142 A2.152
- C. REFER TO SHEET A1.01 FOR DIMENSIONS LOCATING BUILDING ON SITE.
D. REFER TO SHEET A1.00P FOR APPLICABLE PARKING COUNT.
E. REFER TO G2.P1, G2.11, G2.12, G2.13, G2.14, & G2.15 FOR OCCUPANCY, EXITING AND RATED ENCLOSURE INFORMATION.
F. LEVEL P1 HAS ITS OWN GRID SYSTEM.

LEGEND

LOCATION OF FUTURE REMOVABLE WALL AREA TO ALLOW FOR UNIT COMBINATION. ROUGH OPENING TO BE FRAMED AND THEN INFILLED TO ALLOW FOR FUTURE REMOVAL

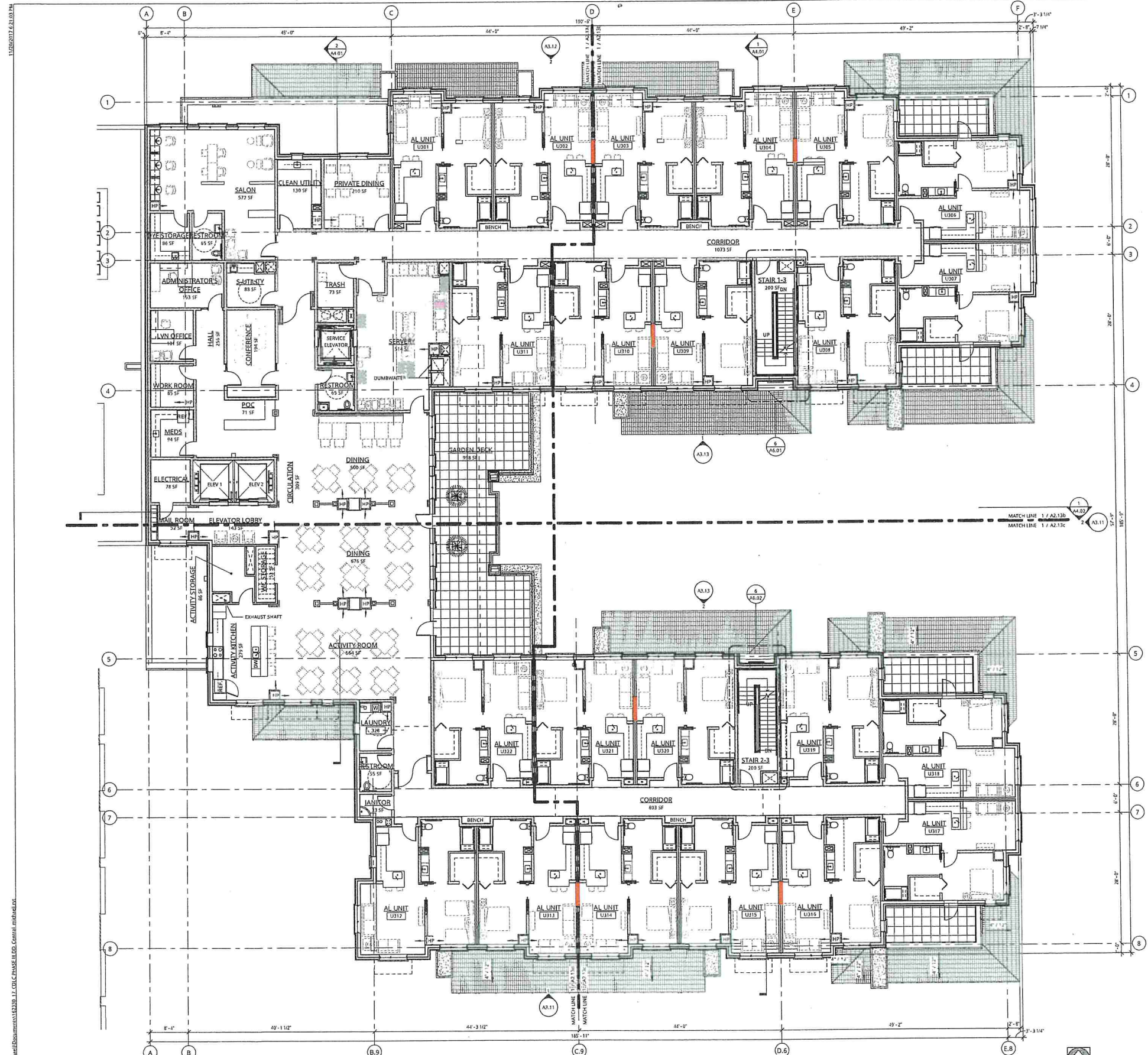
COMMONS NET AREA SCHEDULE - LEVEL 3

Number	Name	Area	Program Area	Net
301	ELEVATOR LOBBY	143 SF	100 SF	-43 SF
302	MAIL ROOM	52 SF	80 SF	-28 SF
303	ELECTRICAL	71 SF	100 SF	-29 SF
304	CIRCULATION	309 SF	600 SF	-291 SF
305A	DINING	560 SF	528 SF	+32 SF
305B	DINING	676 SF	528 SF	+148 SF
306	GARDEN DECK	994 SF	800 SF	+194 SF
307	POC	71 SF	150 SF	-79 SF
308	HALL	256 SF	300 SF	-44 SF
309	MEDS	94 SF	100 SF	-6 SF
310	WORK ROOM	85 SF	150 SF	-65 SF
311	LUN OFFICE	101 SF	150 SF	-49 SF
312	ADMINISTRATOR'S OFFICE	153 SF	150 SF	+3 SF
313	CONFERENCE	184 SF	150 SF	+34 SF
314	SUTILITY	88 SF	120 SF	-32 SF
315A	SALON	572 SF	356 SF	+216 SF
315B	DINE STORAGE	48 SF	35 SF	+13 SF
316	RESTROOM	65 SF	30 SF	+35 SF
317	RESTROOM	65 SF	30 SF	+35 SF
318	TRASH	173 SF	100 SF	+73 SF
319	CORRIDOR	1073 SF	740 SF	+333 SF
320	SERVICE	314 SF	450 SF	-136 SF
321	CLEAN UTILITY	130 SF	120 SF	+10 SF
322	PRIVATE DINING	210 SF	150 SF	+60 SF
324	ACTIVITY STORAGE	86 SF	100 SF	-14 SF
325	ACTIVITY KITCHEN	279 SF	200 SF	+79 SF
326	ACTIVITY ROOM	664 SF	520 SF	+144 SF
327	WC STORAGE	52 SF	50 SF	+2 SF
328	LAUNDRY	45 SF	30 SF	+15 SF
329	CORRIDOR	803 SF	740 SF	+63 SF
330	CIRCULATION	120 SF	600 SF	-480 SF
331	RESTROOM	55 SF	30 SF	+25 SF
332	HANITOR	33 SF	35 SF	-2 SF
5113	STAIR 1-3	200 SF	200 SF	0 SF
5123	STAIR 2-3	200 SF	200 SF	0 SF
		9143 SF	8751 SF	392 SF

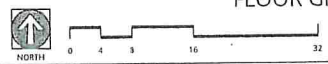
UNIT AREAS - LEVEL 3

Level	Number	Name	Area
LEVEL 3	U301	AL UNIT	630 SF
LEVEL 3	U302	AL UNIT	624 SF
LEVEL 3	U303	AL UNIT	624 SF
LEVEL 3	U304	AL UNIT	626 SF
LEVEL 3	U305	AL UNIT	620 SF
LEVEL 3	U306	AL UNIT	603 SF
LEVEL 3	U307	AL UNIT	598 SF
LEVEL 3	U308	AL UNIT	605 SF
LEVEL 3	U309	AL UNIT	608 SF
LEVEL 3	U310	AL UNIT	604 SF
LEVEL 3	U311	AL UNIT	600 SF
LEVEL 3	U312	AL UNIT	704 SF
LEVEL 3	U313	AL UNIT	622 SF
LEVEL 3	U314	AL UNIT	625 SF
LEVEL 3	U315	AL UNIT	622 SF
LEVEL 3	U316	AL UNIT	628 SF
LEVEL 3	U317	AL UNIT	661 SF
LEVEL 3	U318	AL UNIT	662 SF
LEVEL 3	U319	AL UNIT	666 SF
LEVEL 3	U320	AL UNIT	666 SF
LEVEL 3	U321	AL UNIT	665 SF
LEVEL 3	U322	AL UNIT	664 SF
			13165 SF

FLOOR NET AREA = 22,860 SF
FLOOR GROSS AREA = 22,471 SF



1 LEVEL 3
1/8" = 1'-0"



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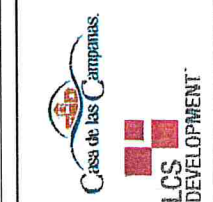
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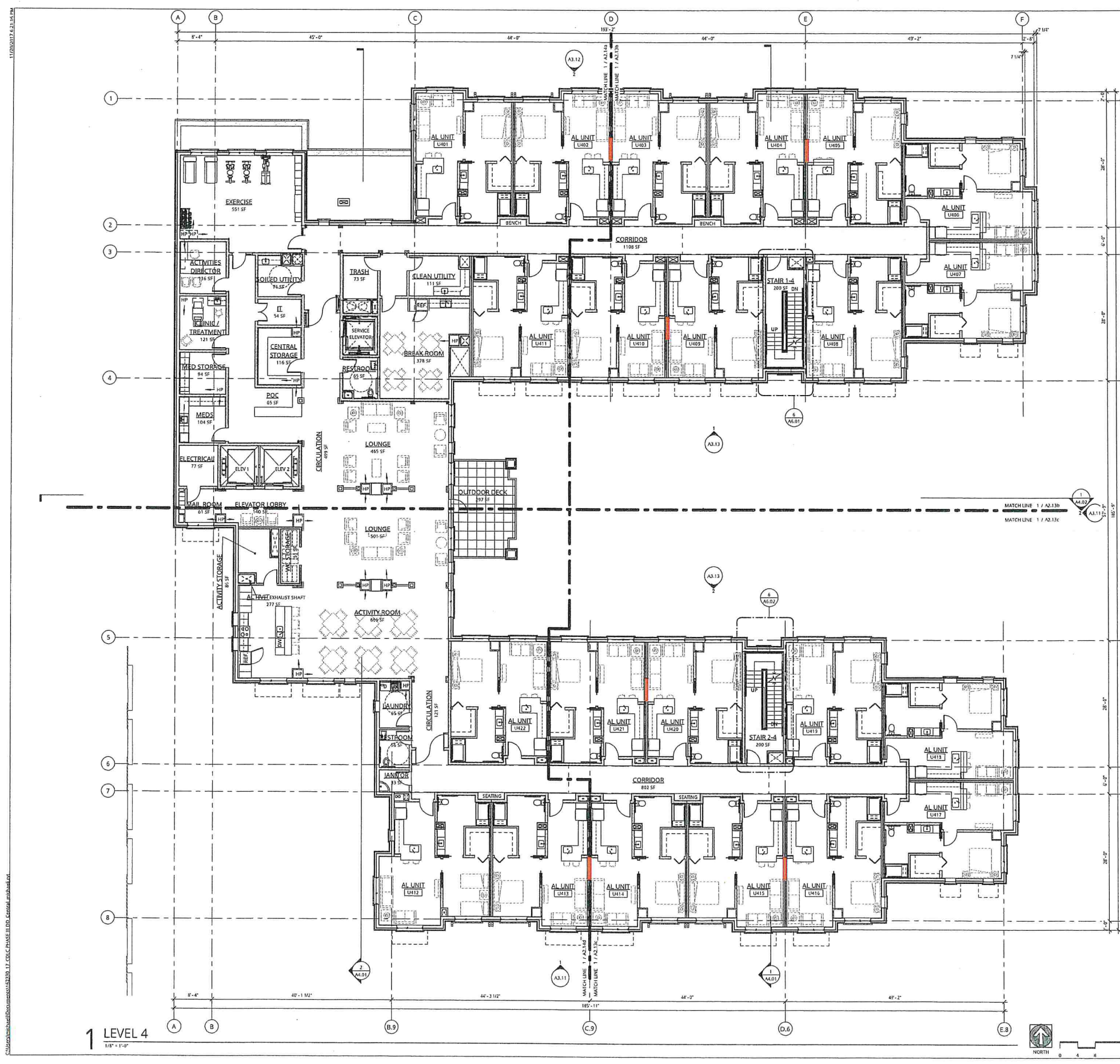
REVISION	DATE	REASON FOR ISSUE

LEVEL 4 OVERALL FLOOR PLAN

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SHEET NUMBER A2.04
SCALE As indicated	

CITY OF SAN DIEGO PROJECT NUMBER - 546769



GENERAL NOTES

- SYMBOLS**
 A. REFER TO QUADRANT PLANS FOR ENLARGED UNIT FLOOR PLANS.
 B. FOR QUADRANT PLANS, REFER TO SHEETS:

LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5
A2.11a	A2.12a	A2.13a	A2.14a	A2.15a
A2.11b	A2.12b	A2.13b	A2.14b	A2.15b
A2.11c	A2.12c	A2.13c	A2.14c	A2.15c
A2.11d	A2.12d	A2.13d	A2.14d	A2.15d

 C. REFER TO SHEET A1.01 FOR DIMENSIONS LOCATING BUILDING ON SITE.
 D. REFER TO SHEET A1.02 FOR APPLICABLE PARKING COUNT.
 E. REFER TO G2.P1, G2.11, G2.12, G2.13, G2.14, & G2.15 FOR OCCUPANCY, EXITING AND RATED ENCLOSURE INFORMATION.
 F. LEVEL P1 HAS ITS OWN GRID SYSTEM.

LEGEND

LOCATION OF FUTURE REMOVABLE WALL AREA TO ALLOW FOR UNIT COMBINATION, ROUGH OPENING TO BE FRAMED AND THEN INFILLED TO ALLOW FOR FUTURE REMOVAL.

COMMONS NET AREA SCHEDULE - LEVEL 4

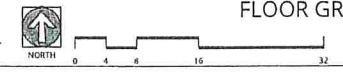
Number	Name	Area	Program Area	Net Difference
401	ELEVATOR LOBBY	148 SF	100 SF	-48 SF
402	HALL ROOM	57 SF	85 SF	-28 SF
403	ELECTRICAL	77 SF	100 SF	-23 SF
404	CIRCULATION	499 SF	600 SF	-101 SF
405A	LOUNGE	465 SF	370 SF	+95 SF
405B	LOUNGE	501 SF	200 SF	+301 SF
407	POC	65 SF	150 SF	-85 SF
408	HALL	311 SF	0 SF	+311 SF
409	MEDS	104 SF	85 SF	-19 SF
410	MED STORAGE	94 SF	120 SF	-26 SF
411	CLINIC / TREATMENT	121 SF	100 SF	+21 SF
412	ACTIVITIES DIRECTOR	116 SF	120 SF	-4 SF
413	EXERCISE	551 SF	300 SF	+251 SF
414	SOILED UTILITY	76 SF	120 SF	-44 SF
415	IT	54 SF	80 SF	-26 SF
416	RESTROOM	65 SF	40 SF	+25 SF
417	CENTRAL STORAGE	116 SF	120 SF	-4 SF
418	TRASH	73 SF	100 SF	-27 SF
419	CORRIDOR	1108 SF	740 SF	+368 SF
421	BREAK ROOM	378 SF	0 SF	+378 SF
422	CLEAN UTILITY	111 SF	120 SF	-9 SF
423	ACTIVITY STORAGE	86 SF	100 SF	-14 SF
424	WC STORAGE	51 SF	50 SF	+1 SF
425	ACTIVITY KITCHEN	277 SF	200 SF	+77 SF
426	ACTIVITY ROOM	608 SF	120 SF	+488 SF
427	CIRCULATION	121 SF	600 SF	-479 SF
428	LAUNDRY	65 SF	50 SF	+15 SF
429	CORRIDOR	802 SF	740 SF	+62 SF
430	RESTROOM	56 SF	40 SF	+16 SF
431	HANICOR	33 SF	35 SF	-2 SF
ST-1	STAIR 1-4	200 SF	200 SF	0 SF
ST-2	STAIR 2-4	200 SF	200 SF	0 SF
ST-4	STAIR 2-4	7642 SF	6505 SF	1137 SF

UNIT AREAS - LEVEL 4

Level	Number	Name	Area
LEVEL 4	U401	AL UNIT	630 SF
LEVEL 4	U402	AL UNIT	624 SF
LEVEL 4	U403	AL UNIT	624 SF
LEVEL 4	U404	AL UNIT	628 SF
LEVEL 4	U405	AL UNIT	628 SF
LEVEL 4	U406	AL UNIT	602 SF
LEVEL 4	U407	AL UNIT	600 SF
LEVEL 4	U408	AL UNIT	666 SF
LEVEL 4	U409	AL UNIT	666 SF
LEVEL 4	U410	AL UNIT	666 SF
LEVEL 4	U411	AL UNIT	666 SF
LEVEL 4	U412	AL UNIT	704 SF
LEVEL 4	U413	AL UNIT	622 SF
LEVEL 4	U414	AL UNIT	625 SF
LEVEL 4	U415	AL UNIT	623 SF
LEVEL 4	U416	AL UNIT	624 SF
LEVEL 4	U417	AL UNIT	601 SF
LEVEL 4	U418	AL UNIT	602 SF
LEVEL 4	U419	AL UNIT	602 SF
LEVEL 4	U420	AL UNIT	605 SF
LEVEL 4	U421	AL UNIT	606 SF
LEVEL 4	U422	AL UNIT	604 SF
LEVEL 4	U423	AL UNIT	635 SF
LEVEL 4	U424	AL UNIT	635 SF
LEVEL 4	U425	AL UNIT	635 SF
LEVEL 4	U426	AL UNIT	635 SF
LEVEL 4	U427	AL UNIT	635 SF
LEVEL 4	U428	AL UNIT	635 SF
LEVEL 4	U429	AL UNIT	635 SF
LEVEL 4	U430	AL UNIT	635 SF
LEVEL 4	U431	AL UNIT	635 SF
LEVEL 4	U432	AL UNIT	635 SF
LEVEL 4	U433	AL UNIT	635 SF
LEVEL 4	U434	AL UNIT	635 SF
LEVEL 4	U435	AL UNIT	635 SF
LEVEL 4	U436	AL UNIT	635 SF
LEVEL 4	U437	AL UNIT	635 SF
LEVEL 4	U438	AL UNIT	635 SF
LEVEL 4	U439	AL UNIT	635 SF
LEVEL 4	U440	AL UNIT	635 SF
LEVEL 4	U441	AL UNIT	635 SF
LEVEL 4	U442	AL UNIT	635 SF
LEVEL 4	U443	AL UNIT	635 SF
LEVEL 4	U444	AL UNIT	635 SF
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LEVEL 4	U448	AL UNIT	635 SF
LEVEL 4	U449	AL UNIT	635 SF
LEVEL 4	U450	AL UNIT	635 SF
LEVEL 4	U451	AL UNIT	635 SF
LEVEL 4	U452	AL UNIT	635 SF
LEVEL 4	U453	AL UNIT	635 SF
LEVEL 4	U454	AL UNIT	635 SF
LEVEL 4	U455	AL UNIT	635 SF
LEVEL 4	U456	AL UNIT	635 SF
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LEVEL 4	U470	AL UNIT	635 SF
LEVEL 4	U471	AL UNIT	635 SF
LEVEL 4	U472	AL UNIT	635 SF
LEVEL 4	U473	AL UNIT	635 SF
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LEVEL 4	U491	AL UNIT	635 SF
LEVEL 4	U492	AL UNIT	635 SF
LEVEL 4	U493	AL UNIT	635 SF
LEVEL 4	U494	AL UNIT	635 SF
LEVEL 4	U495	AL UNIT	635 SF
LEVEL 4	U496	AL UNIT	635 SF
LEVEL 4	U497	AL UNIT	635 SF
LEVEL 4	U498	AL UNIT	635 SF
LEVEL 4	U499	AL UNIT	635 SF
LEVEL 4	U500	AL UNIT	635 SF

FLOOR NET AREA = 21,323 SF
 FLOOR GROSS AREA = 21,869 SF

1 LEVEL 4
 1/8" = 1'-0"



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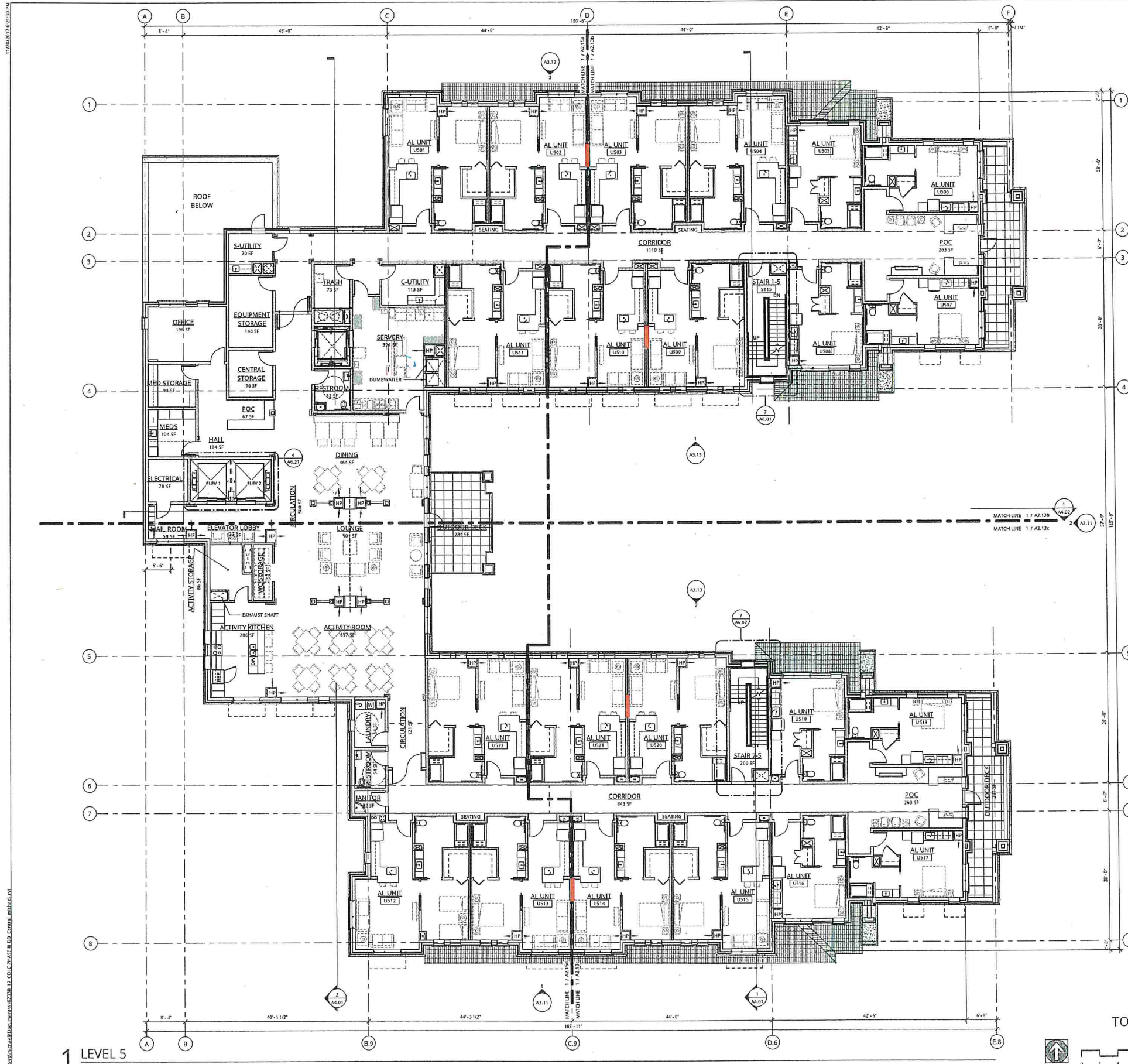
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LCS Development

GENERAL NOTES

- OVERALL PLAN
A. REFER TO QUADRANT PLANS FOR ENLARGED UNIT FLOOR PLANS.
B. FOR QUADRANT PLANS, REFER TO SHEETS:
LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4 LEVEL 5
A2.11a A2.12a A2.13a A2.14a A2.15a
A2.11b A2.12b A2.13b A2.14b A2.15b
A2.11c A2.12c A2.13c A2.14c A2.15c
A2.11d A2.12d A2.13d A2.14d A2.15d
- C. REFER TO SHEET A1.01 FOR DIMENSIONS LOCATING BUILDING ON SITE.
D. REFER TO SHEET A1.00p FOR APPLICABLE PARKING COUNT.
E. REFER TO G2.P1, G2.11, G2.12, G2.13, G2.14, & G2.15 FOR OCCUPANCY, EXITING AND RATED ENCLOSURE INFORMATION.
F. LEVEL P1 HAS ITS OWN GRID SYSTEM.

LEGEND

LOCATION OF FUTURE REMOVABLE WALL AREA TO ALLOW FOR UNIT COMBINATION. ROUGH OPENING TO BE FRAMED AND THEN INFILLED TO ALLOW FOR FUTURE REMOVAL.



COMMONS NET AREA SCHEDULE - LEVEL 5

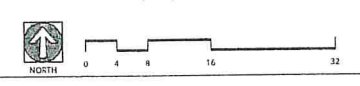
Number	Name	Area	Program Area	Net Difference
S01	ELEVATOR LOBBY	144 SF	29 SF	64 SF
S02	MAIL ROOM	59 SF	88 SF	-21 SF
S03	ELECTRICAL	78 SF	100 SF	-22 SF
S04	CIRCULATION	500 SF	900 SF	-39 SF
S05A	DINING	464 SF	372 SF	+92 SF
S05B	LOUNGE	501 SF	350 SF	+151 SF
S07	POC	67 SF	50 SF	17 SF
S08	HALL	184 SF	0 SF	184 SF
S09	MEDS	104 SF	108 SF	-4 SF
S10	MED STORAGE	94 SF	120 SF	-26 SF
S11	OFFICE	198 SF	150 SF	48 SF
S13	EQUIPMENT STORAGE	148 SF	100 SF	48 SF
S14	S-UTILITY	70 SF	120 SF	-50 SF
S16	RESTROOM	82 SF	49 SF	33 SF
S17	CENTRAL STORAGE	95 SF	120 SF	-24 SF
D18	TRASH	73 SF	100 SF	-27 SF
S19	CORRIDOR	1119 SF	1150 SF	-31 SF
S20	SERVIFY	394 SF	450 SF	-56 SF
S21	POC	280 SF	58 SF	232 SF
S22	C-UTILITY	113 SF	120 SF	-7 SF
S23	ACTIVITY STORAGE	85 SF	108 SF	-24 SF
S24	MED STORAGE	52 SF	50 SF	2 SF
S25	ACTIVITY KITCHEN	139 SF	229 SF	-90 SF
S26	ACTIVITY ROOM	657 SF	400 SF	257 SF
S27	CIRCULATION	121 SF	509 SF	-379 SF
S28	LAUNDRY	64 SF	120 SF	-56 SF
S29	CORRIDOR	443 SF	1150 SF	-707 SF
S30	RESTROOM	54 SF	49 SF	5 SF
S31	JANITOR	32 SF	30 SF	2 SF
S32	POC	283 SF	50 SF	233 SF
ST15	STAIR 1-5	200 SF	200 SF	0 SF
ST25	STAIR 2-5	200 SF	200 SF	0 SF
		7591 SF	7392 SF	199 SF

UNIT AREAS - LEVEL 5

Level	Number	Name	Area
LEVEL 5	U501	AL UNIT	530 SF
LEVEL 5	U502	AL UNIT	524 SF
LEVEL 5	U503	AL UNIT	524 SF
LEVEL 5	U504	AL UNIT	527 SF
LEVEL 5	U505	AL UNIT	530 SF
LEVEL 5	U506	AL UNIT	529 SF
LEVEL 5	U507	AL UNIT	529 SF
LEVEL 5	U508	AL UNIT	532 SF
LEVEL 5	U509	AL UNIT	506 SF
LEVEL 5	U510	AL UNIT	506 SF
LEVEL 5	U511	AL UNIT	506 SF
LEVEL 5	U512	AL UNIT	509 SF
LEVEL 5	U513	AL UNIT	522 SF
LEVEL 5	U514	AL UNIT	525 SF
LEVEL 5	U515	AL UNIT	524 SF
LEVEL 5	U516	AL UNIT	532 SF
LEVEL 5	U517	AL UNIT	521 SF
LEVEL 5	U518	AL UNIT	521 SF
LEVEL 5	U519	AL UNIT	531 SF
LEVEL 5	U520	AL UNIT	506 SF
LEVEL 5	U521	AL UNIT	505 SF
LEVEL 5	U522	AL UNIT	504 SF
			11707 SF

FLOOR NET AREA = 19,917 SF
FLOOR GROSS AREA = 20,508 SF
TOTAL BUILDING GROSS AREA = 139,742 SF

1 LEVEL 5
1/8" = 1'-0"

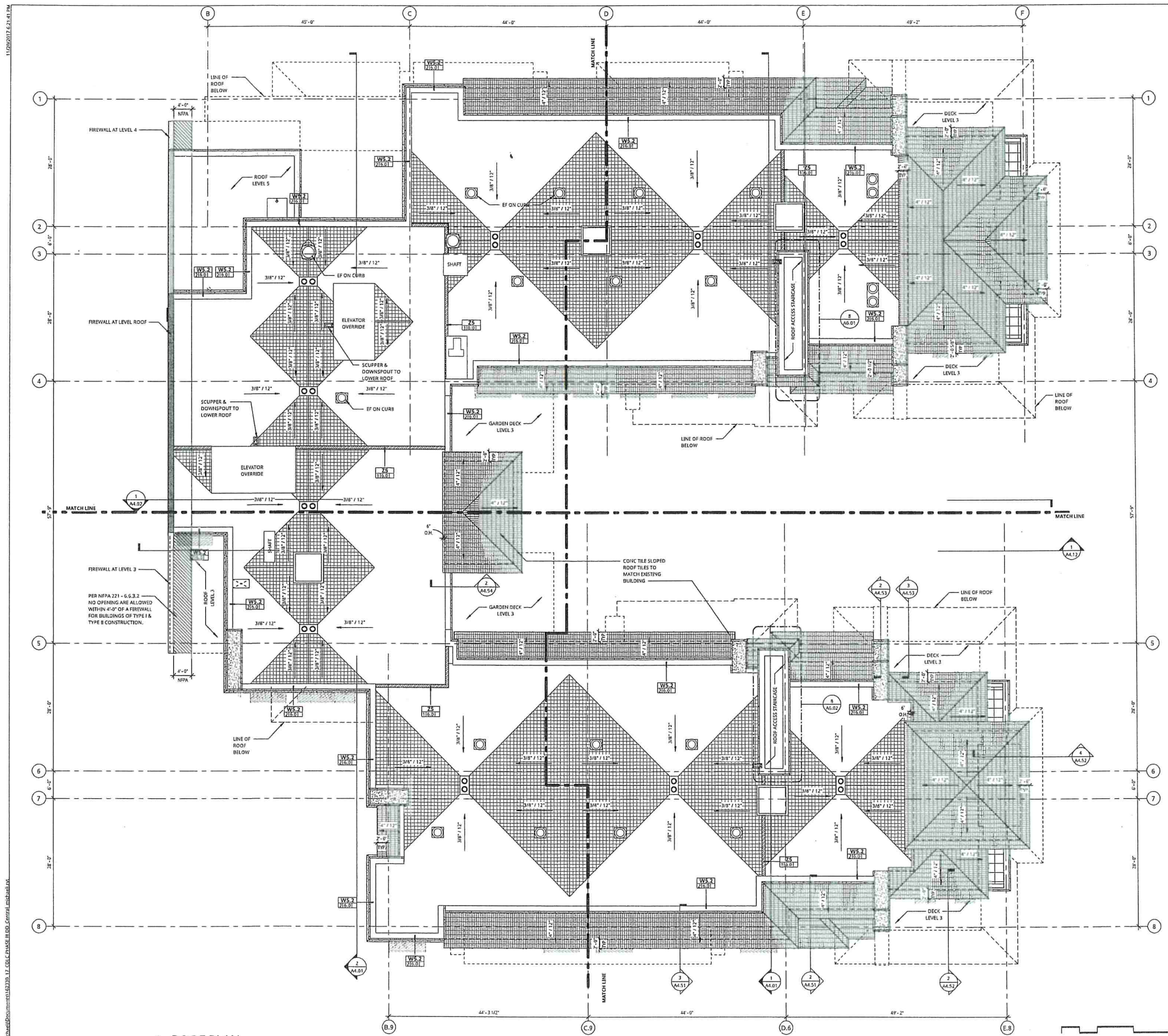


REVISION	DATE	REASON FOR ISSUE

LEVEL 5 OVERALL FLOOR PLAN

CUP/PDP SUBMITTAL

DATE	REVISION
MARCH 10, 2019	CYCLE 3
PROJECT NUMBER 162330	SCALE As Indicated
A2.05	



ROOF PLAN LEGEND

- SYMBOLS & ELEMENTS**
- ROOF & OVERFLOW DRAIN
 - DOWNSPOUT WITH SPLASH BLOCK
 - ROOF SLOPE INDICATOR (RISE / RUN)
 - ROOF CHICKET FORMED WITH TAPERED INSULATION
 - DRAIN PIPING INSIDE BUILDING
 - ROOF CURB WALL (NOT TO EXCEED 19 INCHES OR MORE IN HEIGHT - PER OSHA 1926.1051)
 - LINE OF EXTERIOR WALL BELOW
 - CONCRETE TILE
 - NO ROOF OPENINGS ALLOWED IN AREA - NFPA 221 6.5.3.2
 - FIREWALL - PER CBC 705.6 - FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT AT LEAST 30 INCHES ABOVE BOTH ADJACENT ROOFS.

1 ROOF PLAN
1/8" = 1'-0"

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Casa de las Campanas
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REVISION	DATE	REASON FOR ISSUE

ROOF PLAN

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DATE	REVISION
MARCH 18, 2019	CYCLE 3
PROJECT NUMBER	162330
SCALE	1/8" = 1'-0"

A2.06

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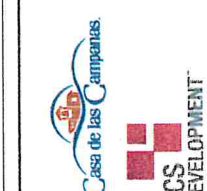
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REVISION DATE REASON FOR ISSUE

REVISION	DATE	REASON FOR ISSUE

SITE PERSPECTIVE VIEWS

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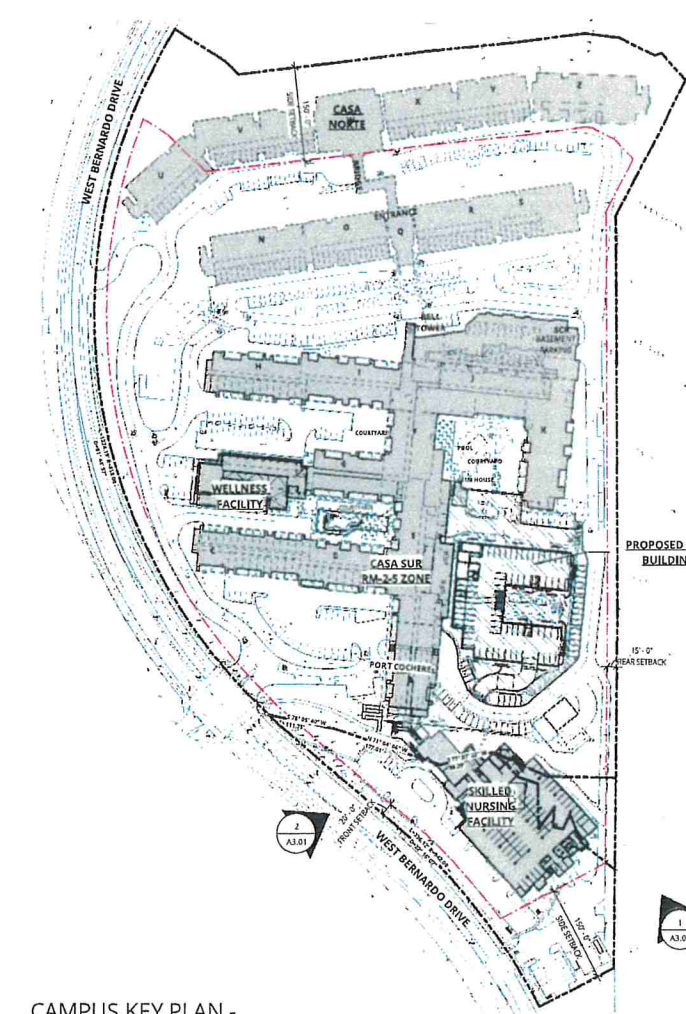
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PROJECT NUMBER 162330	SCALE 1" = 100'-0"
A3.01	



1 SE CAMPUS PERSPECTIVE



2 SW CAMPUS PERSPECTIVE



CAMPUS KEY PLAN -
4 PROPOSED
1" = 100'-0"

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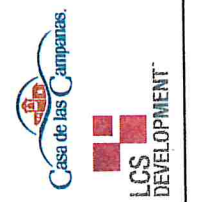
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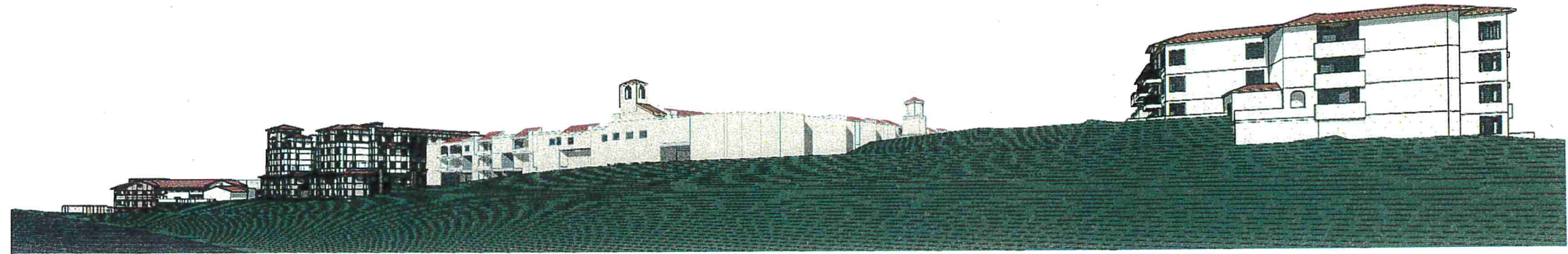
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REVISION	DATE	REASON FOR ISSUE

SITE PERSPECTIVE VIEWS

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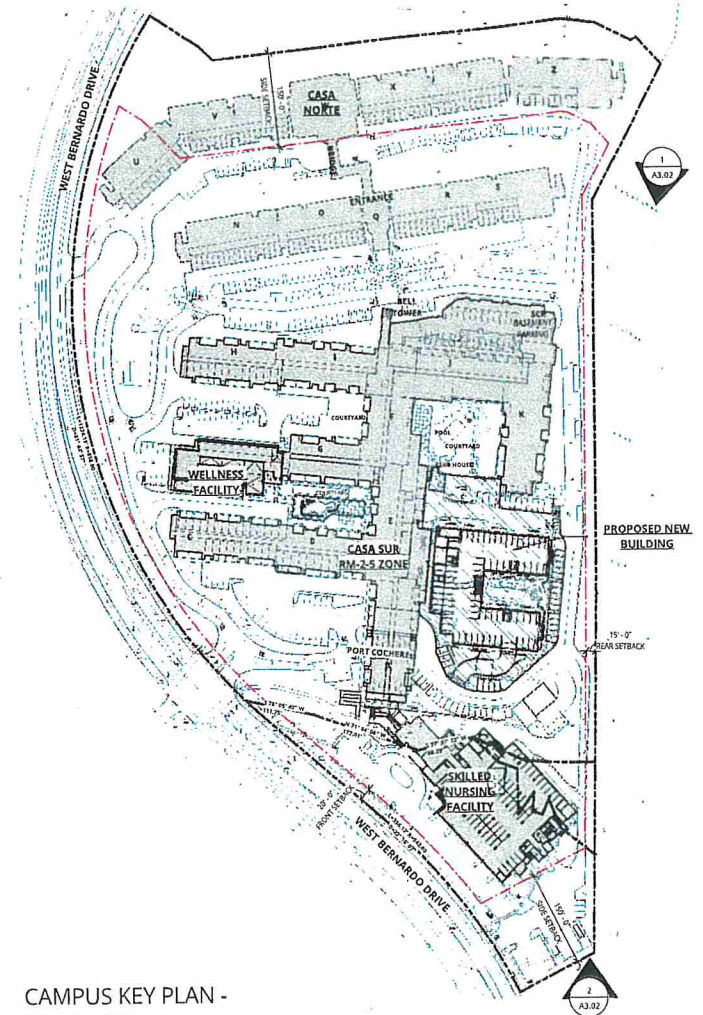
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PROJECT NUMBER 162330	SHEET NUMBER A3.02
SCALE 1" = 100'-0"	



1 NORTH CAMPUS PERSPECTIVE



2 SOUTH CAMPUS PERSPECTIVE



4 CAMPUS KEY PLAN - PROPOSED
 1" = 100'-0"

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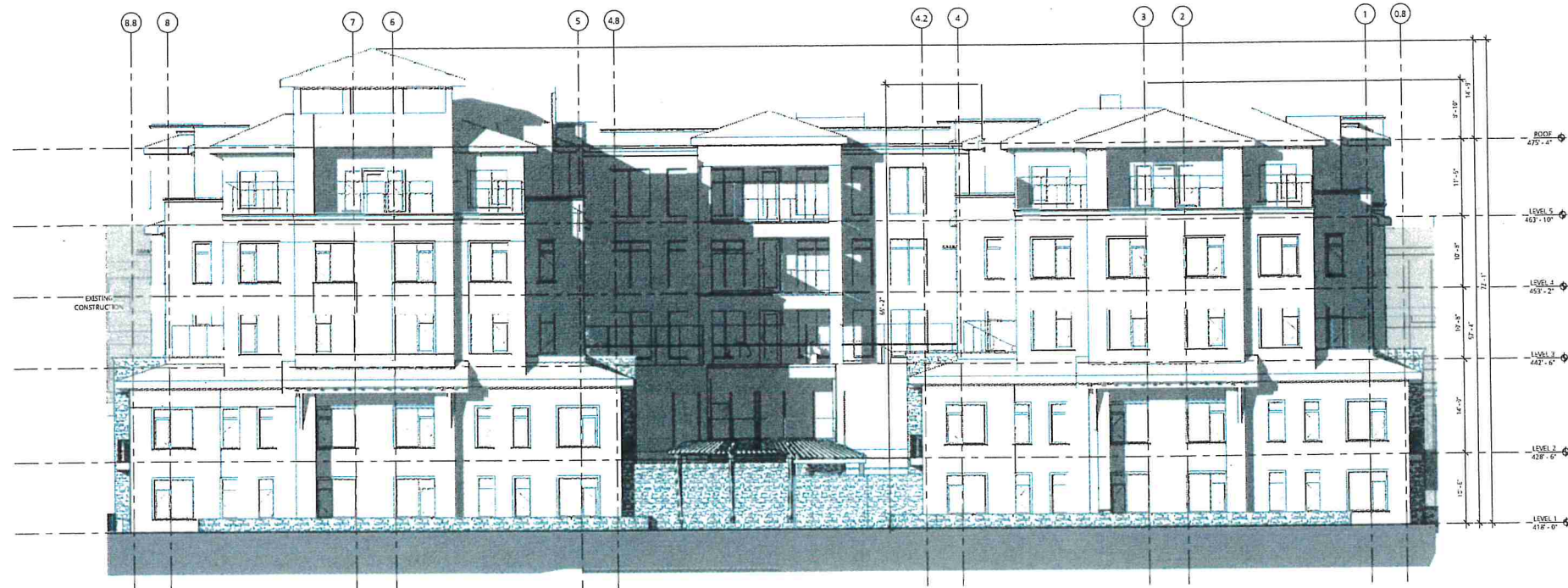
EXTERIOR ELEVATIONS

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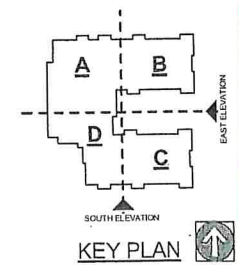
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 PROJECT NUMBER: 162330
 SCALE: 1/8" = 1'-0"
 REVISION: CYCLE 3
 SHEET NUMBER: A3.11



1 SOUTH ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"



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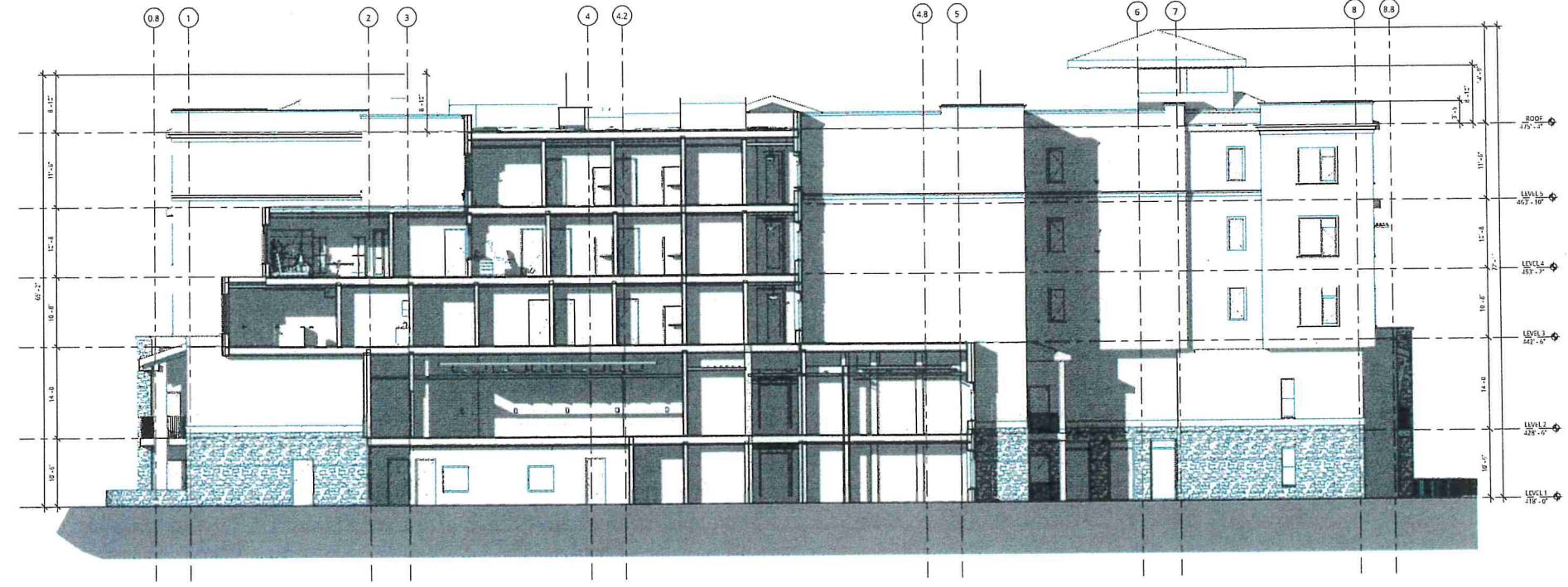
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EXTERIOR ELEVATIONS

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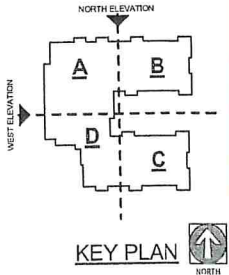
DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	SCALE 1/8" = 1'-0"
A3.12	



1 WEST ELEVATION
 1/8" = 1'-0"



2 NORTH ELEVATION
 1/8" = 1'-0"



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REVISION	DATE	REASON FOR ISSUE

EXTERIOR ELEVATIONS

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DATE: MARCH 18, 2019

PROJECT NUMBER: 162330

SCALE: 1/8" = 1'-0"

REVISION: CYCLE 3

SCALE: A3.13

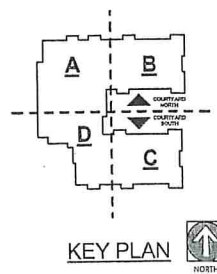
SCALE: A3.13



1 NORTH COURTYARD ELEVATION
1/8" = 1'-0"



2 SOUTH COURTYARD ELEVATION
1/8" = 1'-0"



KEY PLAN
NORTH

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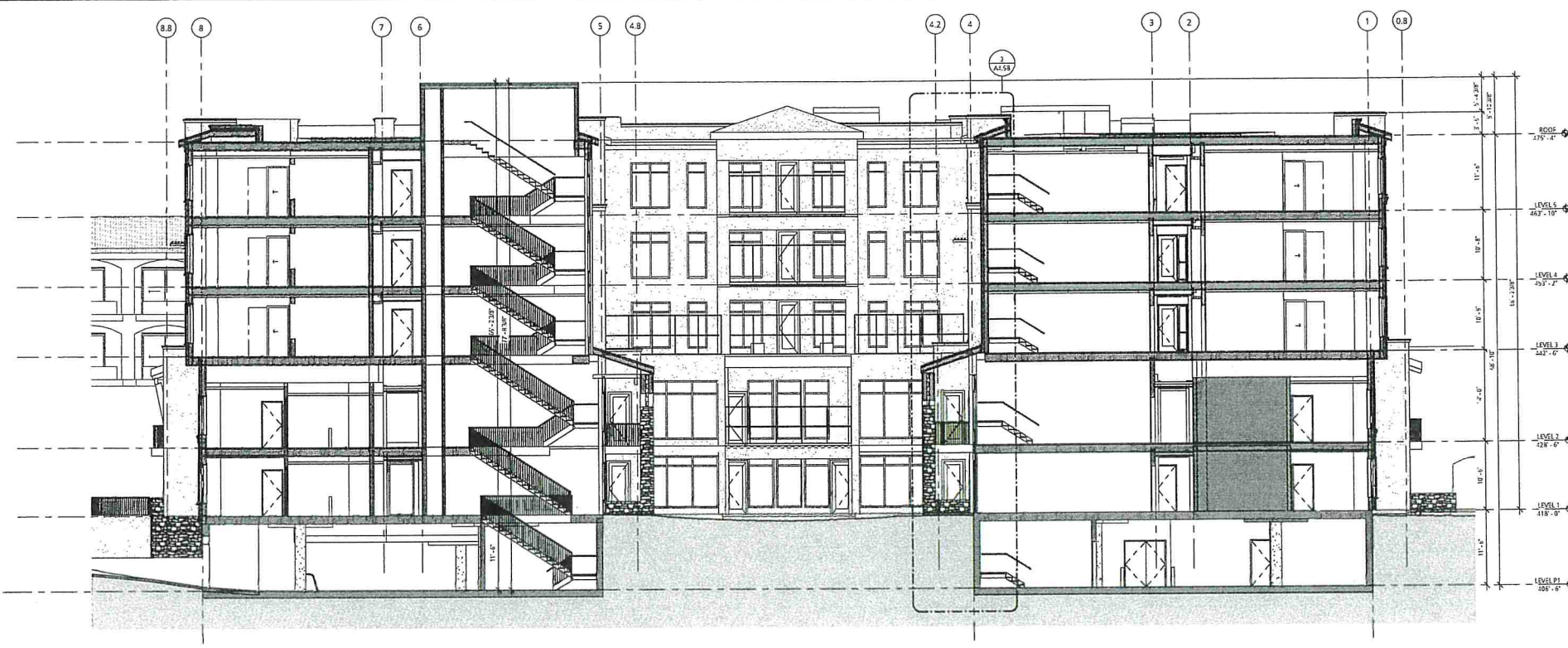
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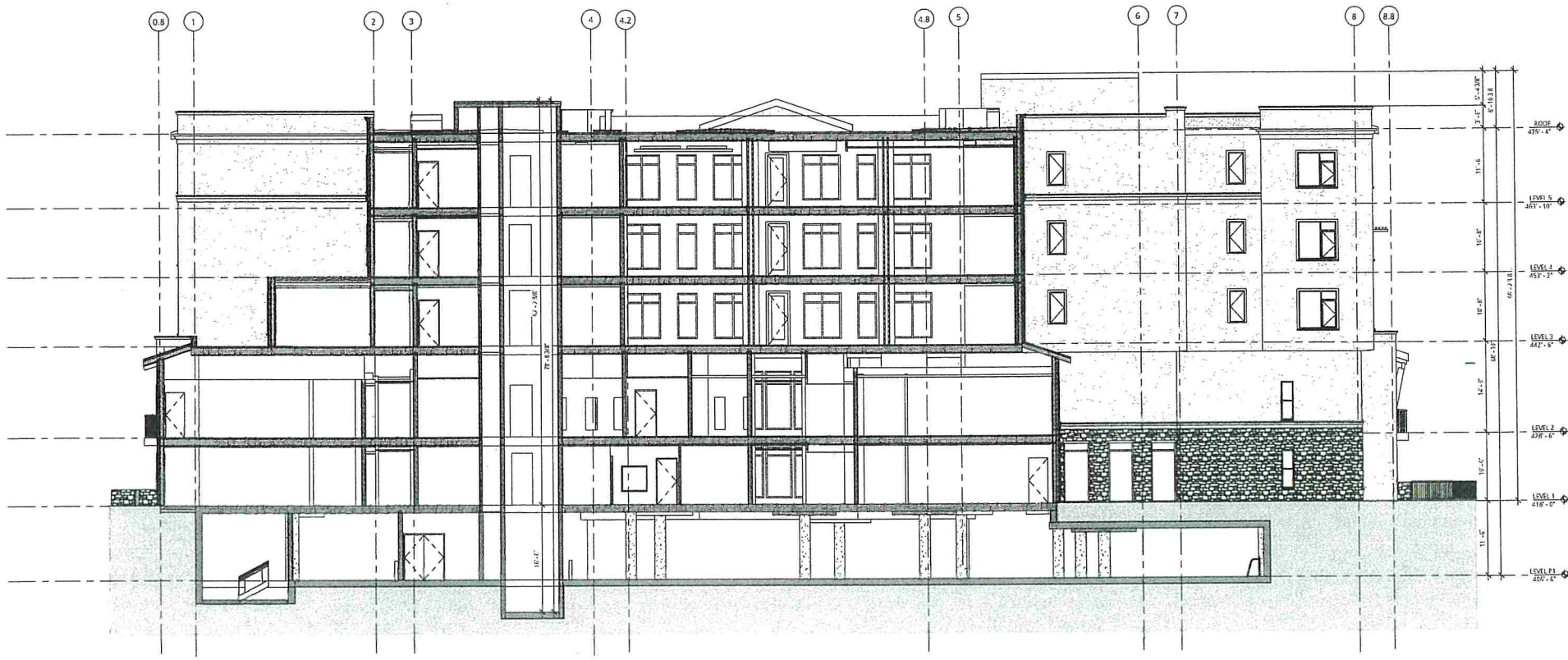
BUILDING SECTIONS - NS

CUP/PDP SUBMITTAL

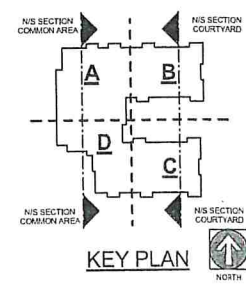
DATE: MARCH 18, 2019
 REVISION: CYCLE 3
 PROJECT NUMBER: 162330
 SCALE: 1/8" = 1'-0"
A4.01



1 NORTH - SOUTH BUILDING SECTION, THROUGH COURTYARD
 1/8" = 1'-0"



2 NORTH - SOUTH BUILDING SECTION AT COMMON AREAS
 1/8" = 1'-0"



NOT FOR CONSTRUCTION

Ankrom Moisan
 38101 BURNS, SUITE 300
 PORTLAND, OR 97219
 T: 503-245-7100
 117 SOUTH MAIN STREET, SUITE 400
 SEATTLE, WA 98104
 T: 206-426-1500
 1014 HOWARD STREET
 SAN FRANCISCO, CA 94103
 T: 415-252-7043
 ANKROM MOISAN ARCHITECTS, INC.

PASCO LARET SUITER & ASSOCIATES
 SURVEY & CIVIL ENGINEERING
 535 N COAST HIGHWAY 101
 SOLANO BEACH, CA 92075
 T: 954-258-8212

BURKETT & WONG
 STRUCTURAL ENGINEERING
 3434 37TH AVE
 SAN DIEGO, CA 92103
 T: 619-796-5550

EXP US SERVICES, INC.
 MECHANICAL / ELECTRICAL / PLUMBING
 9570 GREENWAY DRIVE
 SAN DIEGO, CA 92121
 T: 858-597-0555

KTU & A
 LANDSCAPE ARCHITECTURE
 3916 NORVAL STREET
 SAN DIEGO, CA 92103
 T: 619-794-4477

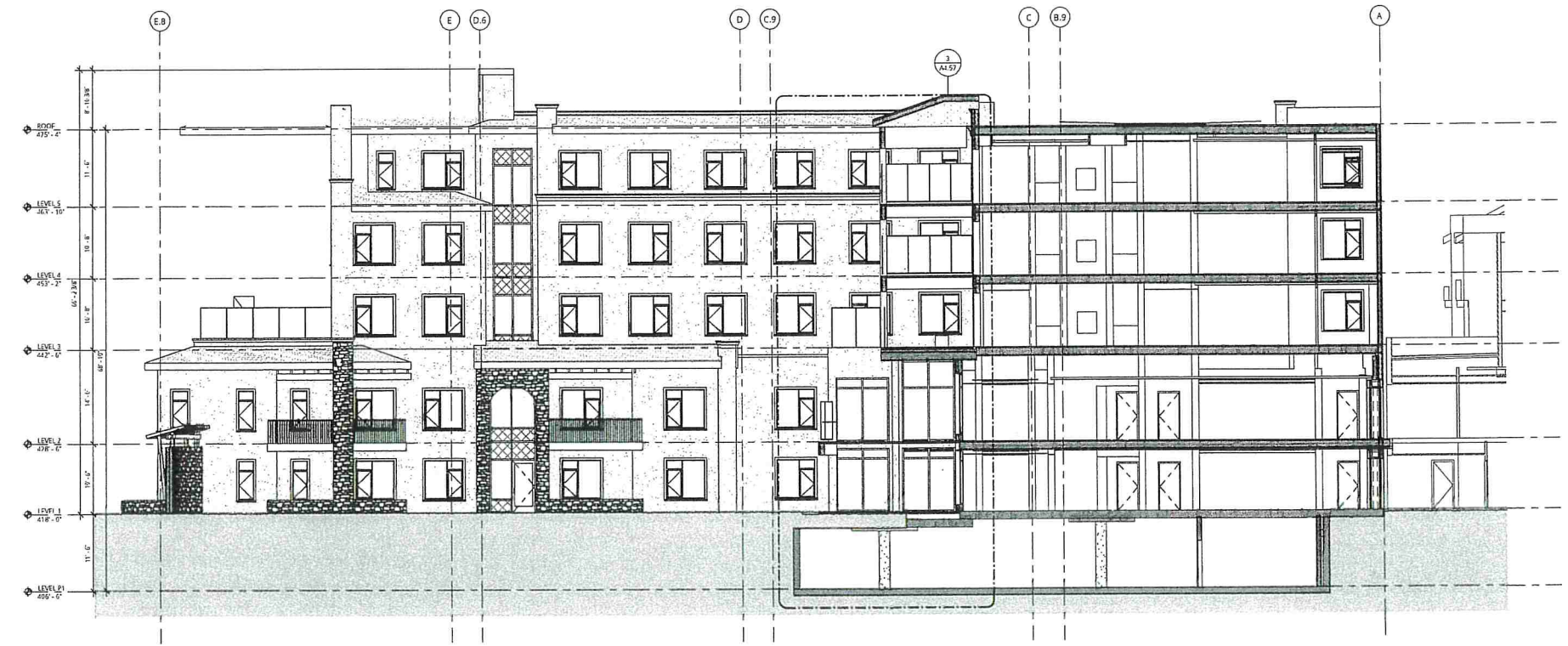


**Casa de las Campanas
 Phase III Expansion**
 18655 West Bernardo Drive San Diego, CA 92127
 LCS Development

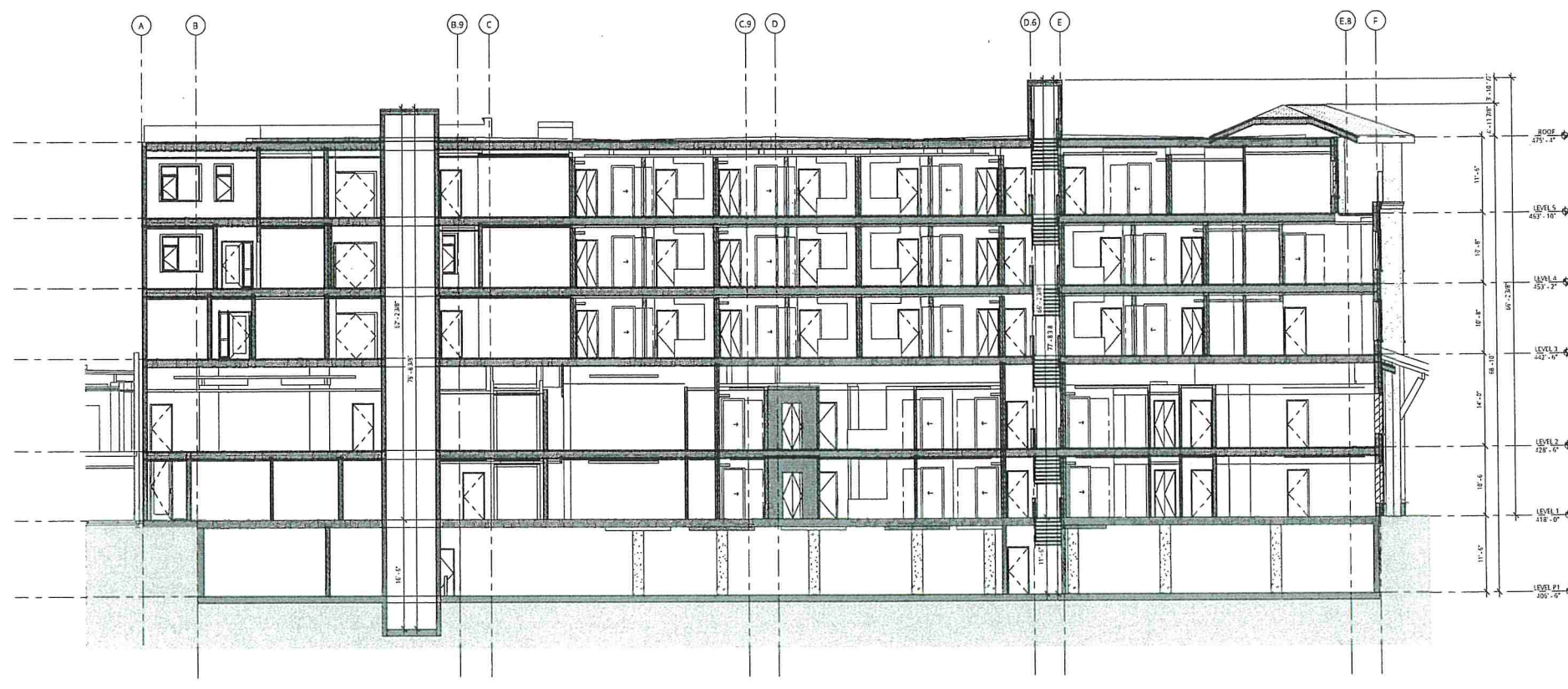
REVISION	DATE	REASON FOR ISSUE

BUILDING SECTIONS - EW
 CUP/PDP SUBMITTAL

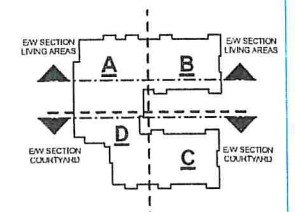
DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 162330	
SCALE 1/8" = 1'-0"	A4.02



1 EAST-WEST BUILDING SECTION THROUGH COURTYARD
 1/8" = 1'-0"



2 EAST-WEST BUILDING SECTION AT LIVING AREAS
 1/8" = 1'-0"



KEY PLAN
 NORTH

NOT FOR CONSTRUCTION



Ankrom Moisan
 38 WINDHAM, SUITE 200
 PORTLAND, OR 97219
 T: 503-245-7100
 117 SOUTH MAIN STREET, SUITE 400
 SEATTLE, WA 98104
 T: 206-450-1100
 1014 HOWARD STREET
 SAN FRANCISCO, CA 94103
 T: 415-252-7053
 ANKROM MOISAN ARCHITECTS, INC.

PASCO LARET SUITER & ASSOCIATES
 BURKEY & CIVIL ENGINEERING
 535 N. COAST HIGHWAY 101
 SOLANO BEACH, CA 92075
 T: 858-259-8212

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 STRUCTURAL ENGINEERING
 1834 4TH AVE.
 SAN DIEGO, CA 92103
 T: 619-799-5550

EXP US SERVICES, INC.
 MECHANICAL & ELECTRICAL PLUMBING
 6578 GREENLIE DRIVE
 SAN DIEGO, CA 92121
 T: 858-597-0555

KTU & A
 LANDSCAPE ARCHITECTURE
 3916 NORVAL STREET
 SAN DIEGO, CA 92103
 T: 619-794-6377



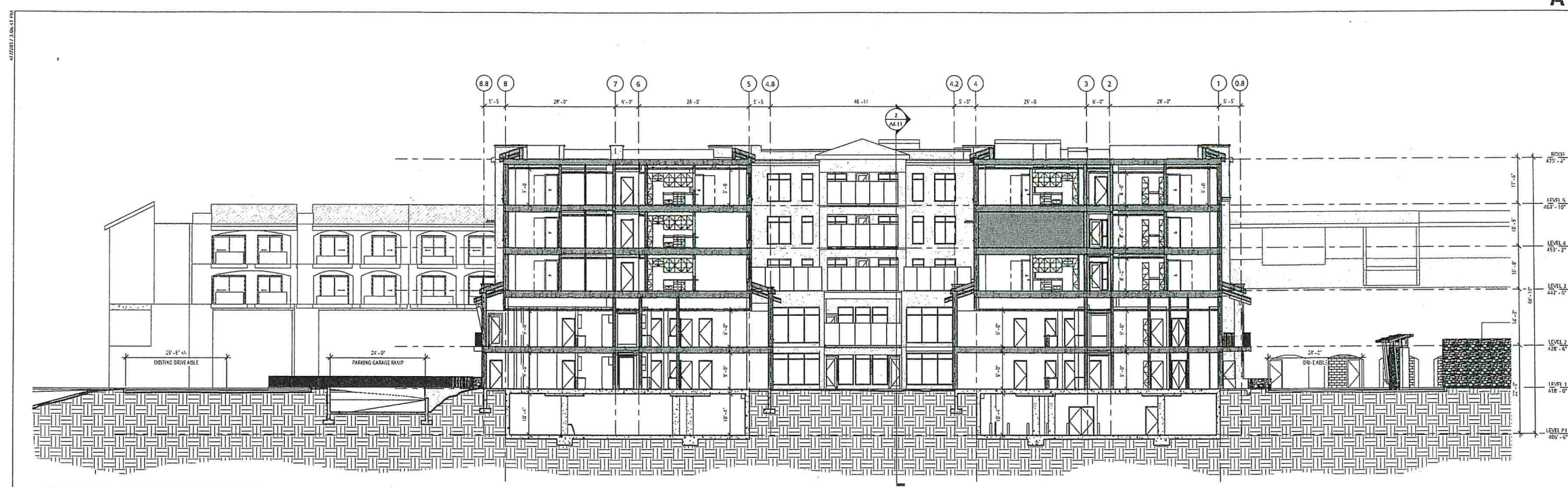
**Casa de las Campanas
 Phase III Expansion**
 18655 West Bernardo Drive San Diego, CA 92127
 LCS Development

REVISION	DATE	REASON FOR ISSUE

SITE SECTIONS

CUP/PDP SUBMITTAL

DATE	REVISION
MARCH 18, 2019	CYCLE 3
PROJECT NUMBER	
162330	
SCALE	
As indicated	A4.11



1 NORTH - SOUTH SITE SECTION
 3/17' = 1'-0"



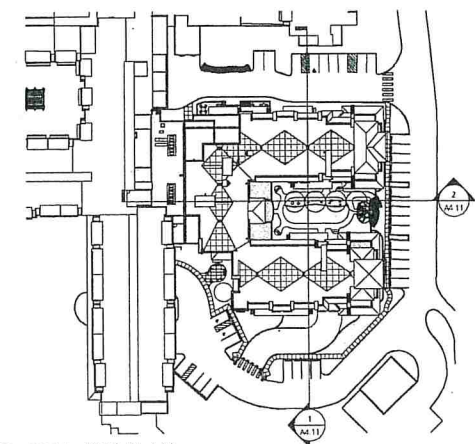
2 EAST - WEST SITE SECTION
 3/32' = 1'-0"

SITE SECTION MATERIALS LEGEND

- STUCCO
- ADHERED STONE
- TILE ROOF

CAMPUS SECTION DIAGRAM LEGEND

- PROPOSED NEW BUILDING
- EXISTING BUILDINGS



3 SITE - KEY PLAN
 1" = 60'-0"

NOT FOR CONSTRUCTION



Ankrom Moisan

38 NW DAVIS, SUITE 300
PORTLAND, OR 97219
T: 503-245-7100

117 SOUTH MAIN STREET, SUITE 400
SEATTLE, WA 98104
T: 206-476-1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
T: 415-252-7063

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SOLANO BEACH, CA 92095
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EXP US SERVICES, INC.

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5670 OBERLIN DRIVE
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KTU & A

LANDSCAPE ARCHITECTURE
3916 NORMAL STREET
SAN DIEGO, CA 92109
T: 619-254-4477



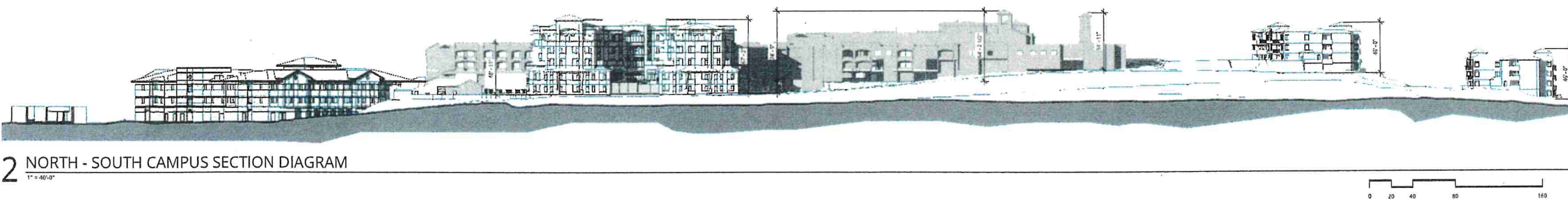
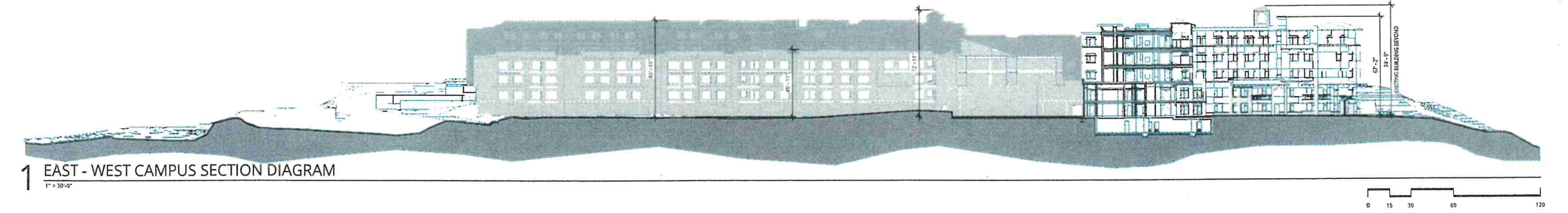
Casa de las Campanas
Phase III Expansion
18685 West Bernardo Drive San Diego, CA
92127
LCS Development

REVISION	DATE	REASON FOR ISSUE

SITE SECTION DIAGRAMS

CUP/PDP SUBMITTAL

DATE MARCH 18, 2019	REVISION CYCLE 3
PROJECT NUMBER 152330	
SCALE As indicated	A4.12

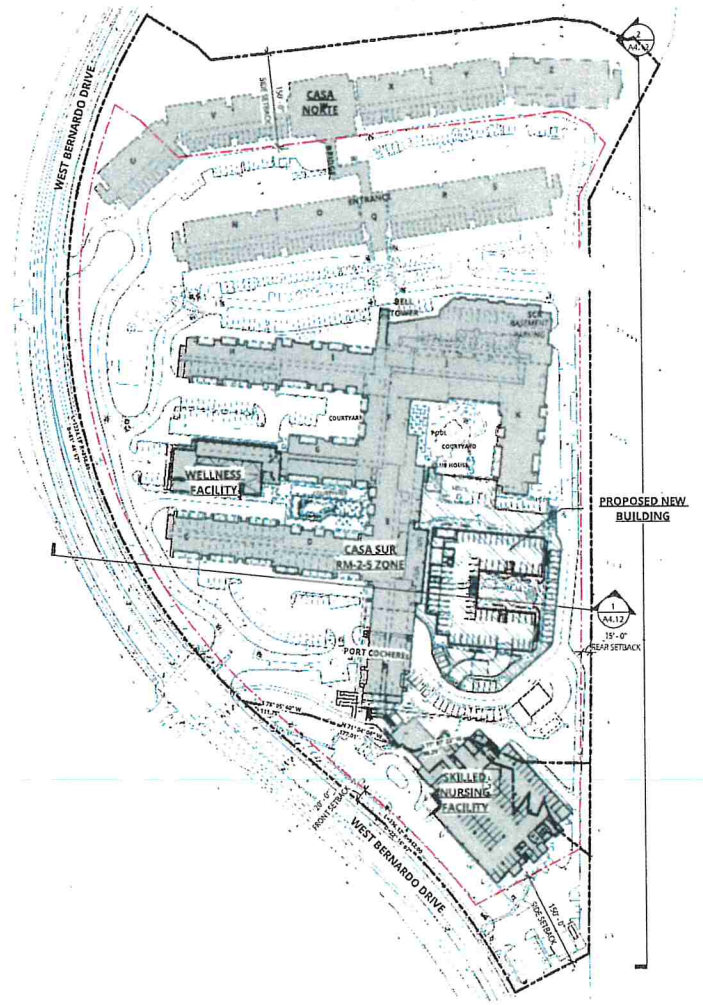


SITE SECTION MATERIALS LEGEND

- STUCCO
- ADHERED STONE
- TILE ROOF

CAMPUS SECTION DIAGRAM LEGEND

- PROPOSED NEW BUILDING
- EXISTING BUILDINGS



3 CAMPUS KEY PLAN - PROPOSED

C:\Users\p3333333\OneDrive\Documents\152330_17_CDC_CPhase.II.DD_Comp\152330_17_CDC_CPhase.II.DD_Inst.dwg
 1/17/2019 11:10:52 AM

Rancho Bernardo Community Planning Board

12463 Rancho Bernardo Road #523, San Diego, CA 92128

www.rbplanningboard.com

November 16, 2018

Glenn Gargas
City of San Diego
Development Services Department
1222 First Ave., MS 301
San Diego, CA 92101-4101

RE: Project No. 546769, Casa de las Campanas, Phase III Expansion

Dear Mr. Gargas:

On October 18, 2018, the Rancho Bernardo Community Planning Board (Planning Board) reviewed and considered all proposed discretionary actions for the Casa de las Campanas, Phase III Expansion project, including a required Conditional Use Permit (CUP) to expand the existing Casa de las Campanas campus (an existing elderly care facility) and a Planned Development Permit for deviation from the maximum structure height permitted under the RM-2-5 zone. Following questions and discussion, the Planning Board approved by a vote of 14-0-0 a motion to recommend the approval of the project based on the following findings:

Findings relevant to both the Planned Development Permit and CUP:

- 1) The proposed development will not adversely affect the applicable land use plan;

The project is consistent with the Rancho Bernardo Community Plan's planning goal "To ensure a balanced community. Provide for a wide variety of housing types, densities, unit sizes and prices, with densities consistent with the Plan designations and aesthetically compatible with the surrounding neighborhood" (page 9 of the Community Plan).

In addition, the proposal complies with the recommendations for retirement housing projects presented on page 19 of the Community Plan in that the project is compatible with the existing neighborhood and does not overwhelm other buildings, open spaces and natural landforms, block views and/or disrupt the community's character.

- 2) The proposed development will not be detrimental to the public health, safety, and welfare;
- 3) The proposed development will comply with the regulations of the Land Development Code including any proposed deviations that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone;

The proposed deviation in maximum height is appropriate for this location because the proposed height is not inconsistent with the overall design of the larger Casa campus and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone because the project will increase capacity for needed assisted living and memory care accommodations.

Findings relevant to the CUP:

- 4) The proposed use is appropriate at the proposed location.

The project will redevelop and expand accommodations for the elderly within an existing retirement facility.

The Planning Board requests that you forward this letter to the Planning Commission for their consideration. Thank you for the opportunity to participate in the decision-making process.

Sincerely,

Robin Kaufman

Robin Kaufman
Chair, Rancho Bernardo Community Planning Board

cc: Councilman Mark Kersey, District 5
City of San Diego Planning Commissioners



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

Project No. For City Use Only

Casa de las Campanas - Residential Addition

Project Address:

18655 West Bernardo Drive, San Diego, CA 92127

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 David Johnson, CFO/Treasurer
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 18655 West Bernardo Drive
 City/State/Zip:
 San Diego, CA 92127
 Phone No: (858) 592-1885 Fax No: (858) 451-8660
 Signature: *David Johnson* Date: 5/17

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date: