



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: January 23, 2019 REPORT NO. PC-19-014.  
HEARING DATE: January 31, 2019  
SUBJECT: VETERANS AFFAIRS HOSPITAL ANNEX CUP, Process Four Decision  
PROJECT NUMBER: 614178  
OWNER/APPLICANT: PROTEA AERO DRIVE, LLC, Owner/Steven Bossi, Atlantis Group/Applicant

### SUMMARY

Issue: Should the Planning Commission approve a Conditional Use Permit (CUP) for the renovation of the existing office building, and the construction of a parking structure and associated improvements at 8825-8875 Aero Drive, which is located in the IP-2-1 Zone, and within the Kearny Mesa Community Plan area?

#### Staff Recommendation(s):

1. **Adopt** MND No. 614178 and Adopt MND Reporting Program; and
2. **Approve** Conditional Use Permit No. 2178872

Community Planning Group Recommendation: On December 19, 2019, the Kearny Mesa Community Planning Group voted 8-0, to recommend approval of the project.

Environmental Review: Mitigated Negative Declaration (MND) No. 614178 has been prepared in accordance with California Environmental Quality Act (CEQA) Guidelines. A Mitigation and Monitoring Reporting Program (MMRP) is proposed and has been made a condition of the project.

Fiscal Impact Statement: None with this action. All project costs associated with the processing of the proposed project are paid from a deposit account that is maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: No dwelling units are proposed with this action.

## BACKGROUND

The 7.71-acre site is located at 8825-8875 Aero Drive in the IP-2-1 zone, and within the Kearny Mesa Community Plan (Community Plan). The site is designated as Industrial and Business Parks (Attachment 2), and is currently developed with a two-story, 114,000-square-foot office building, associated facilities, and surface parking lot. Project activities would only occur on 5.70 acres of the site. The proposed project would occur on portions of two adjacent lots owned by the project owner, Protea Aero Drive, LLC. The project site is bounded by Aero Drive to the north, commercial structures to the east and west, and single-family residential development to the south. The area is served by existing public services and utilities. Beyond Aero Drive to the north is Montgomery Field, and the Serra Mesa-Kearny Mesa Library is located approximately 700 feet east of the project. The Serra Mesa Recreation Center is located approximately 1,300 feet southeast of the project site, and Cabrillo Heights Park is located approximately 0.5 miles to the west. The Interstate 805/State Route 163 interchange is located approximately 0.8 miles to the west of the project site.

The site is designated for Industrial and Business Parks by the Community Plan. In addition, the project site is located within Safety Zone 6 of the Airport Land Use Compatibility Plan (ALUCP) for Montgomery Field. Per the ALUCP, hospitals, health care centers, mental hospitals, and other medical facilities are allowed in Safety Zone 6, with no limits. In addition, no Consistency Determination from the Airport Authority is required as the project complies Table 132.15G (Safety Compatibility Criteria for Brown Field and Montgomery Field-Zone 6). The project site is also located within the Part 77 Airspace Surfaces Area, and the Federal Aviation Administration (FAA) Height Notification Boundary Area, and the FAA made a Determination of No Hazard on June 26, 2018.

## DISCUSSION

### Project Description:

The project proposes a building renovation that would include two building additions of approximately 25,000 square feet, resulting in a two-story, 139,000-square-foot office building for the hospital use, the construction of a four-story parking garage, and associated improvements. One addition would be located along the northern edge of the building and the second addition would be located along the western edge of the building.

The project proposes to provide services for the U.S. Department of Veterans Affairs (VA), including audiology, pathology, eye clinic, radiology, mental health, and general wellness clinics. A total of 637 parking spaces will be provided, where 486 are required by the San Diego Municipal Code (SDMC). The additional 151 parking spaces are necessary to meet federal requirements.

The proposed project includes improvements to internal circulation and driveways on the site. Currently, two driveways on Aero Drive provide access to the site. The westernmost driveway on the 5.70-acre project site will be removed (Attachment 1) and replaced with City standard sidewalk, curb and gutter. A Lot Line Adjustment, as shown in Exhibit A, sheet C4.0, will be required as a permit

condition and would allow the use of an additional existing driveway currently located on the adjacent lot to the west providing a second access point from Aero Drive.

A median would also be constructed along Aero Drive which would extend the existing Aero Drive median along the project frontage. The median will include a left turn lane for westbound traffic which will allow left-turn only access into the proposed westernmost driveway. For eastbound traffic, there would be right-turn-in and right-turn-out access at both driveways.

In addition, to address potential traffic impacts at one intersection, improvements will be constructed within the Aero Drive/Sandrock Road intersection located 750 feet west of the project site, including reconfiguring the northbound and southbound approaches, and providing protected signal phasing. The northbound approach will be restriped to provide two dedicated left-turn lanes and a shared thru/right-turn lane. Modifications to the southbound approach include replacing the existing nine-foot raised median with a four-foot raised median and restriping to provide a shared thru/right-turn lane, a ten-foot painted median with chevron markings, and a dedicated left-turn lane.

The proposed project will include improvements to site drainage to comply with current water quality regulations. The required Lot Line Adjustment would add land currently developed with a surface parking lot to the project site. New sewer and water utilities would be constructed to serve the parking garage, and asphalt paving and curbs will be replaced for a reconfigured surface parking lot.

Approximately 29,400 square feet of new landscaping will be installed at the site. The landscape design would incorporate the proposed hospital annex into the existing community to unify the proposed buildings with the adjacent properties to the east, west, and provide a buffer for the residential properties to the south. In addition, the project includes construction of three bio-retention planters for storm water management, including an underground storage chamber in the northern portion of the site for storm water retention.

As the Industrial and Business Parks land use designation and the IP-2-1 zoning allows for a mix of light industrial and office uses, and allows hospitals, intermediate care facilities, and nursing facilities with a Conditional Use Permit (CUP), the proposed project is consistent with the Community Plan. In addition, the proposed CUP includes conditions that address compliance with all applicable codes and regulations to prevent adverse impacts to the public health, safety and welfare. Lastly, project construction will be inspected by City building and engineering inspectors to make sure construction is done in accordance with all applicable building codes and regulations.

#### Community Plan Analysis:

The project site is designated as Industrial and Business Parks within the Kearny Mesa Community Plan and is zoned IP-2-1. The Community Plan's Industrial and Business Parks designation is characterized as either: (1) general or "traditional" industrial; (2) business park; (3) scientific research and development; or (4) "heavy" commercial. The proposed use is consistent with the Community Plan since the land use designation and zoning allows for a mix of light industrial and office uses.

Hospitals, intermediate care facilities, and nursing facilities are permitted with a CUP. In addition, Kearny Mesa is a regional employment center and the proposed project would provide additional employment opportunities, including an estimated 160 full-time employees during operation of the facility.

The Community Plan allows for projects which exceed 0.50 FAR to be considered under a discretionary permit process. The proposed project FAR is 0.53 and has been reviewed through the discretionary permit process. Given the additions to the existing building for the proposed project would not significantly alter the bulk or scale of the building, the proposed total FAR is appropriate for the site.

The Community Plan recommends that industrial developments on industrially designated land provide buffers from open space areas and residential uses. The VA Hospital Annex structure does not significantly alter the bulk and scale of the existing building. In addition, a screen will be constructed on the southern façade of the proposed four-story parking structure to soften the appearance and bulk, and screen views of the internal circulation of the structure. As such, the project design provides a buffer from, and is sensitive to, the single-family residential uses to the south of the project site.

#### Environmental Analysis:

Mitigated Negative Declaration (MND) No. 614178 has been prepared in accordance with California Environmental Quality Act (CEQA) Guidelines. A Mitigation and Monitoring Reporting Program (MMRP) is proposed and has been made a condition of the project.

#### Conclusion:

City staff has reviewed the proposed project, and all issues identified through the review process have been addressed. The proposed project conforms with the regulations of the Land Use Development Code and is consistent with the Kearny Mesa Community Plan. Therefore, staff has drafted permit findings and conditions, and is recommending that the Planning Commission approve Conditional Use Permit No. 2178872.

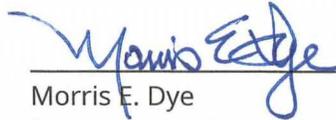
#### ALTERNATIVES

1. Approve Conditional Use Permit No. 2178872, with modifications.
2. Deny Conditional Use Permit No. 2178872, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



PJ Fitzgerald  
Assistant Deputy Director  
Development Services Department



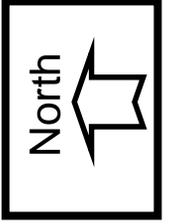
Morris E. Dye  
Development Project Manager  
Development Services Department

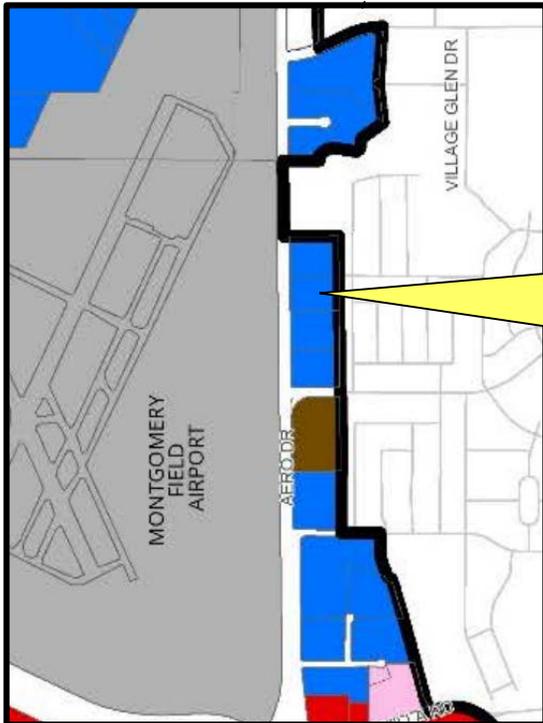
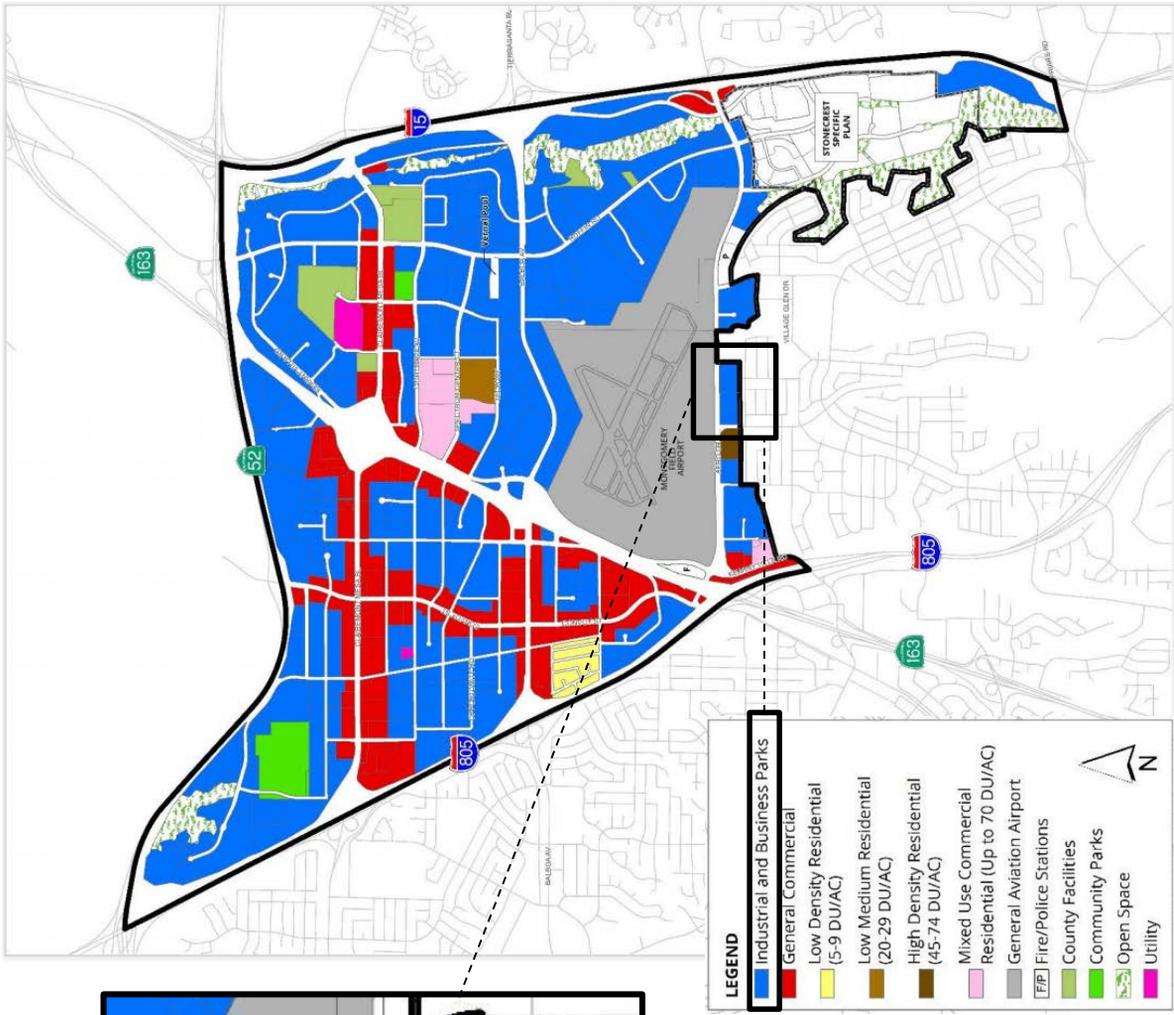
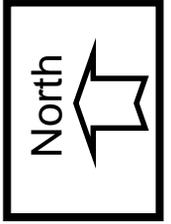
Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution with MND
7. Project Plans
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement



**Aerial Photograph**  
**VA Hospital Annex - CUP**  
**Project No. 614178 - 8875 Aero Drive**

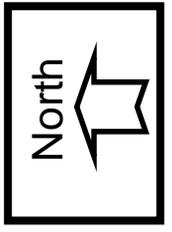
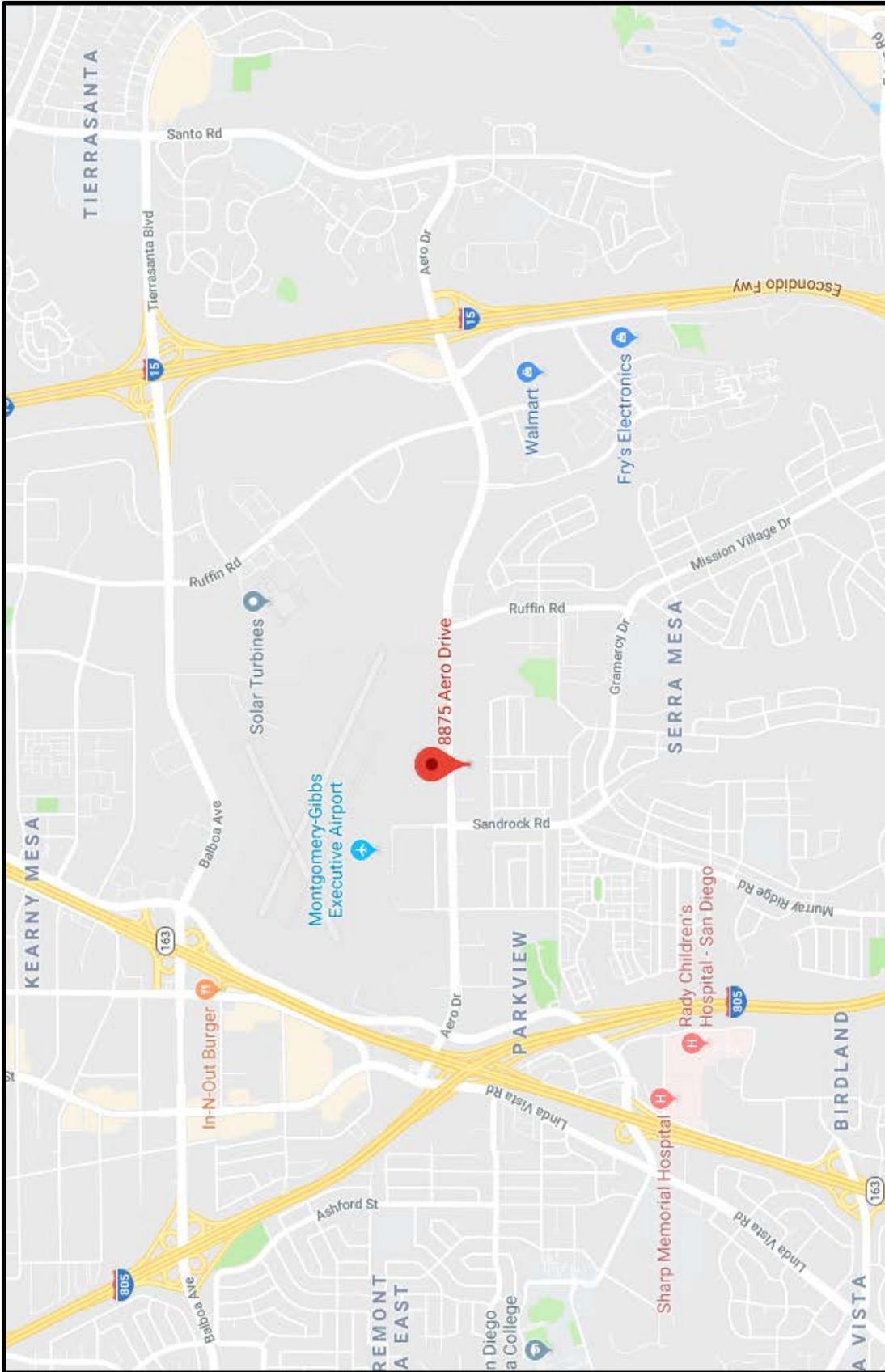




**Project Site**

**Land Use Map**  
**VA Hospital Annex – CUP**  
**Project No. 614178 – 8875 Aero Drive**





**Project Location**  
**VA Hospital Annex - CUP**  
**Project No. 614178 - 8875 Aero Drive**



PLANNING COMMISSION RESOLUTION NO. \_\_\_\_\_  
CONDITIONAL USE PERMIT NO. 2178872  
**VETERANS AFFAIRS HOSPITAL ANNEX – PROJECT NO. 614178 [MMRP]**

WHEREAS, PROTEA AERO DRIVE LLC, Owner/Permittee, filed an application with the City of San Diego for Conditional Use Permit No. 2178872 to expand an existing approximately 114,000 square-foot (SF) building to become an approximately 139,000 SF Veterans Affairs Hospital Annex building and construct a new, four-story parking garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2178872) on portions of a 5.70-acre site; and

WHEREAS, the project site is located at 8875 Aero Drive, in the IP-2-1 zone and the Airport Land Use Compatibility Overlay Zone, within the Kearny Mesa Community Plan area; and

WHEREAS, on January 31, 2019, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 2178872, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, the project site is legally described as Lots 7 and 8 of Research Park Subdivision Addition, in the City of San Diego, County of San Diego, State of California according to Map No. 6386, filed in the Office of the County Recorder of San Diego County, June 12, 1969; NOW,

THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2178872:

**A. CONDITIONAL USE PERMIT – SDMC SECTION 126.0305**

**1. Findings for all Conditional Use Permits:**

- a. The proposed development will not adversely affect the applicable land use plan;**

The proposed project is a request for a Conditional Use Permit to expand an existing approximately 114,000 SF building to become an approximately 139,000 SF VA Hospital Annex structure. The project also proposes to construct a new four-story parking garage. The project site is designated as Industrial and Business Parks in the Kearny Mesa Community Plan. The Industrial and Business Park land use designation accommodates general industrial, business park, scientific research and development, and heavy commercial uses. The VA Hospital Annex land use is consistent with the Industrial and Business Park designation. The Community Plan also includes a recommendation to buffer residential uses from industrial developments on industrially designated land. The existing building height will not increase, the expanded portions do not substantially increase the bulk of the existing structure, and the new parking structure will be buffered from residential uses by including a screening element on its southern façade to screen the internal parking operations and reduce the perceived structure bulk as visible from the adjacent residential structures to the south of the project site.

Hospitals are an allowed use in the IP-2-1 Zone with the approval of a CUP. Furthermore, the proposed VA project is consistent with the policies and recommendations for the Industrial and Business Park land use designation and within the Kearny Mesa Community Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare;**

The proposed development of the VA Hospital Annex and parking garage will provide healthcare service to veterans and the appropriate amount of parking to support that development. All project access complies with City of San Diego requirements and the San Diego Municipal Code. One driveway at the project site will be closed and replaced with City Standard Curb, gutter and sidewalk, providing pedestrian safety. The median with Aero Drive adjacent to the project site will be enhanced, improving traffic conditions and meeting City standards. In addition, services provided at the VA Hospital Annex structure will improve the public health, safety, and welfare through health services provided to the veteran population. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and**

The proposed development adheres to the use and development regulations of the Land Development Code. The Industrial Park (IP-2-1) zone allows a mix of light industrial and office uses. The proposed hospital use is permitted by Land Development Code (LDC) §141.0103 with a Conditional Use Permit (CUP) in the IP-2-1 zone as a separately regulated institutional use, subject to the additional regulations listed below.

Pursuant to LDC §141.0413(b), the design of the structures shall incorporate a variety of architectural elements that help to diminish building bulk. The proposed VA Hospital Annex conforms to this provision as the structure contains numerous architectural elements including a variety of materials (e.g. metal panel, glass), canopy elements, glazing for the floor to ceiling expanse, and accent walls with painted patterns. Although the existing two-story building is being expanded, these architectural elements will improve the perception of building bulk and provide variety that improves the aesthetic value and architectural character of the structure. The new parking structure will include a screening element on its southern façade to screen the internal parking operations and reduce the perceived bulk of the structure as visible from the adjacent residential area to the south.

Pursuant to LDC §141.0413(c), the location of larger structures, areas of high activity, and parking areas shall be planned to minimize impacts to surrounding development that is smaller in scale and less intense. The proposed VA Hospital Annex structure conforms to this provision as the entry is located on the northern portion of the structure on Aero Drive and away from the residential development to the south. The parking structure location also conforms as it provides new landscaping, 14 new trees and a screen on the structure's southern elevation buffering the internal parking activity and reducing the perceived parking structure bulk as viewed from the adjacent residential development to the south.

Pursuant to LDC §141.0413(d), access to the site shall be as direct as possible from freeways, primary arterials, and major streets and shall avoid residential streets. The proposed project conforms to this provision as access is entirely from Aero Drive and the project site cannot be accessed from residential streets. The Interstate 15, State Route 163, and Interstate 805 freeways all have either direct or nearby connections to access Aero Drive.

Pursuant to LDC §141.0413(e), off-street parking shall be provided in accordance with Table 142-05G. This project conforms by providing 637 parking spaces where 486 parking spaces are required. (3.5 parking spaces per 1,000 SF of building area).

Pursuant to LDC §141.0413(f), all storage, service, and repair areas shall be located on the premises or screened so that they are not visible from adjacent development and public rights-of-way. This project conforms to this provision as all storage, service, and repair areas are located internally. The new parking structure will

include a screening element on its southern façade to screen the internal parking activity and reduce the perceived bulk of the structure as visible from the adjacent residential development to the south.

The proposed project adheres to the use and development regulations for the IP-2-1 zone and conforms to the provisions in and the additional regulations in LDC §141.0103. Therefore, the proposed development complies with the regulations of the Land Development Code.

**d. The proposed use is appropriate at the proposed location.**

The proposed site is located within the Industrial and Business Parks land use designation and the IP-2-1 zone which allows the proposed project with the approval of a Conditional Use Permit. The project site is located adjacent to other industrial uses to the east and to the west and, is directly south of the Montgomery Field Airport. The project site and associated parcel to the west also contain existing buildings and are adjacent to the single-family residential area to the south. The project will be constructed within this previously disturbed area. Notwithstanding the proposed mitigation for potential traffic impacts, the site is served with adequate transportation and public utility services needed for the project. As the building on the project site is in relatively good condition, complete demolition is not needed, and in this regard the location can accommodate the proposed use. Configuration of the site allows the proposal without the need for deviations to the SDMC. The proposed use is located within 1/4-mile of two Metropolitan Transit System bus stops, is located near several retail uses, and near the Serra Mesa-Kearny Mesa Branch Library. As these site features and services are readily available, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by the reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopts by the Planning Commission, Conditional Use Permit No. 2178872 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2178872, a copy of which is attached hereto and made a part hereof.

---

Morris E. Dye  
Development Project Manager  
Development Services

Adopted on: January 31, 2019

IO#: 24007979

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

---

INTERNAL ORDER NUMBER: 24007979

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2178872  
**VETERANS AFFAIRS HOSPITAL ANNEX – PROJECT NO. 614178**  
PLANNING COMMISSION

This Conditional Use Permit No. 2178872 is granted by the Planning Commission of the City of San Diego to PROTEA AERO DRIVE, LLC, a California limited liability company, Owner/Permittee, and pursuant to San Diego Municipal Code section 126.0305. The 5.70-acre site is located at 8825-8875 Aero Drive in the IP-2-1 zone, and within the Kearny Mesa Community Plan area. The project site is legally described as: Lots 7 and 8 of Research Park Subdivision Addition, in the City of San Diego, County of San Diego, State of California according to Map No. 6386, filed in the Office of the County Recorder of San Diego County, June 12, 1969;

The project shall include:

- a. A building renovation to include an approximately 25,000 square foot building addition, resulting in a two-story, 139,000 square-foot office building.
- b. The construction of a four-story, approximately 136,000 square-foot parking garage.
- c. The placement of new landscaping, including planting and related improvements.
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable

## ATTACHMENT 5

guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 14, 2022.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees to bring a request for a new permit without the "invalid" conditions(s)

back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 614178 shall be noted on the construction plans and specifications under the heading Environmental Mitigation Requirements.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 614178 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

**Transportation/Traffic**

**CLIMATE ACTION PLAN REQUIREMENTS:**

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan

Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

15. The project proposes to export 6,060 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book") 2015 edition, and the Regional Supplement Amendments adopted by Regional Standards Committee.

16. The proposed drainage system for the project as shown on the site plan is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for the project. All grading shall conform to the requirements of the City of San Diego Municipal Code, and shall be completed in a manner that is satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, the reconstruction of two current City Standard driveways that are adjacent to the site on Aero Drive per Exhibit "A." The reconstruction of the driveways shall be completed in a manner that is satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the removal of the existing driveway per Exhibit "A", and replace the driveway with curb, gutter and sidewalk per City Standards. The improvements shall be completed in a manner that is satisfactory to the City Engineer.

20. Prior to issuance of any engineering permits, the Owner/Permittee shall obtain an Encroachment and Maintenance Removal Agreement (EMRA) for all existing and proposed improvements of any kind, including utilities, landscaping, and electrical conduits to be installed within the Aero Drive public right-of-way.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for ongoing permanent Best Management Practices (BMP). The permanent BMPs shall be completed in a manner that is satisfactory to the City Engineer.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs into the construction plans or specifications that are necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.

23. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, and based on the Storm Water Standards that are in effect at the time of issuance of the construction permits.

24. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site, and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

25. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ, and a copy shall be submitted to the City.

26. Prior to Final Inspection, the Owner/Permittee shall obtain a Lot Line Adjustment Parcel Map.

**GEOLOGY REQUIREMENTS:**

27. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

28. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond, and grading permit close-out.

**LANDSCAPE REQUIREMENTS:**

29. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions), and Exhibit "A" that is on file in the Development Services Department.

30. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square foot area around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so not to prohibit the placement of street trees.

31. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit for approval complete landscape and irrigation construction documents, which are consistent with

the Landscape Standards. The construction documents shall be in substantial conformance with Exhibit "A" Landscape Development Plan that is on file in the Development Services Department. Construction plans shall provide a 40-square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District, or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind an equivalent size per the approved documents to the satisfaction of the Development Services Department, and within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION DEVELOPMENT REQUIREMENTS:**

36. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

37. Prior to issuance of any building permits, the Owner/Permittee shall assure by permit and bond the construction of a concrete raised median to allow left-turns in and prohibit left-turns out along the project frontage on Aero Drive. The construction of the concrete raised median shall be completed in a manner that is satisfactory to the City Engineer. All improvements shall be installed and operational prior to occupancy. The Owner/Permittee shall also assure by permit and bond the improvements to the Aero Drive/Sandroek Road intersection, including reconfiguring the northbound and southbound approaches, and providing protected left signal phasing. The northbound approach shall be restriped to provide two dedicated left-turn lanes and a shared thru/right-turn lane.

38. Modifications to the southbound approach include replacing the existing nine-foot raised median with a four-foot raised median, and restriping to provide a shared thru/right-turn lane, a ten-foot painted median with chevron markings, and a dedicated left-turn lane. The improvements shall be completed in a manner that is satisfactory to the City Engineer. All improvements shall be installed and operational prior to occupancy.

**PUD-WATER & SEWER DEVELOPMENT REQUIREMENTS:**

39. Prior to issuing any grading or building construction permits, all private sewer mains within the public right-of-way (i.e., private sewer laterals within a public right-of-way that conveys sewage from more than one lot) must be located and labeled on an approved City Construction Record Drawing so to clearly convey the sewer line's status as a private sewer main, its location relative to the nearest parallel property line, and its authorization to encroach (i.e., the approved Encroachment Maintenance and Removal Agreement).

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on January 31, 2019, and Approved PC Resolution Number \_\_\_\_\_.

**ATTACHMENT 5**

CUP/PTS Approval No. 614178  
Date of Approval: January 31, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

---

Morris E. Dye  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**PROTEA AERO DRIVE, LLC**  
Owner/Permittee

By \_\_\_\_\_  
Jeffrey Essakow  
Member

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON \_\_\_\_\_

WHEREAS, on August 2, 2018, PROTEA AERO DRIVE, LLC, submitted an application to the Development Services Department for a CONDITIONAL USE PERMIT (CUP) for the Veterans Affairs Hospital Annex Project; and

WHEREAS, the project site is located at 8825-8875 Aero Drive within the Kearny Mesa Community Plan area and legally described as: Lots 7 and 8 of Research Park Subdivision Addition, in the City of San Diego, County of San Diego, State of California according to Map No. 6386, filed in the Office of the County Recorder of San Diego County, June 12, 1969

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on January 31, 2019; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 614178 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration

reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101 or City Clerk, 202 C Street, San Diego, CA 92101

BE IT FURTHER RESOLVED, that Development Services is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project

By: \_\_\_\_\_

Morris E. Dye, Development Project Manager

ATTACHMENT(S):      Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

CONDITIONAL USE PERMIT (CUP) and LOT LINE ADJUSTMENT  
PROJECT NO. 614178

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 584820 shall be made conditions of Site Development Permit and Coastal Development Permit as may be further described below.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. **GENERAL REQUIREMENTS - PART I**  
**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** - The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II**

**Post Plan Check (After permit issuance/Prior to start of construction)**

**1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: None Required

**Note:**

**Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**

b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

**2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) #614178 and /or Environmental Document # 614178, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

**Note:**

**Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

**3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

***None required***

**4. MONITORING EXHIBITS**

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating

when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE:**

**Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

**5. OTHER SUBMITTALS AND INSPECTIONS:**

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
General	No Document Submittal Required	Monthly facility inspections per California Code of Regulations Title 14 requirements
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**Transportation/Traffic**

**TRA-1: Aero Drive/Sandrock Road Intersection**

The project applicant shall provide the following improvements to the Aero Drive/Sandrock Road intersection: reconfigure the northbound and southbound approaches, currently controlled with split signal phasing, to provide protected signal phasing. The northbound approach shall be restriped to provide two dedicated left-turn lanes and a shared thru/right-turn lane. Modifications to the southbound approach include replacing the existing 9-foot raised median with a 4-foot raised median and restriping to provide a shared thru/right-turn lane, a 10-foot painted median with chevron markings, and a dedicated left-turn lane.

## **ATTACHMENT 6**

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



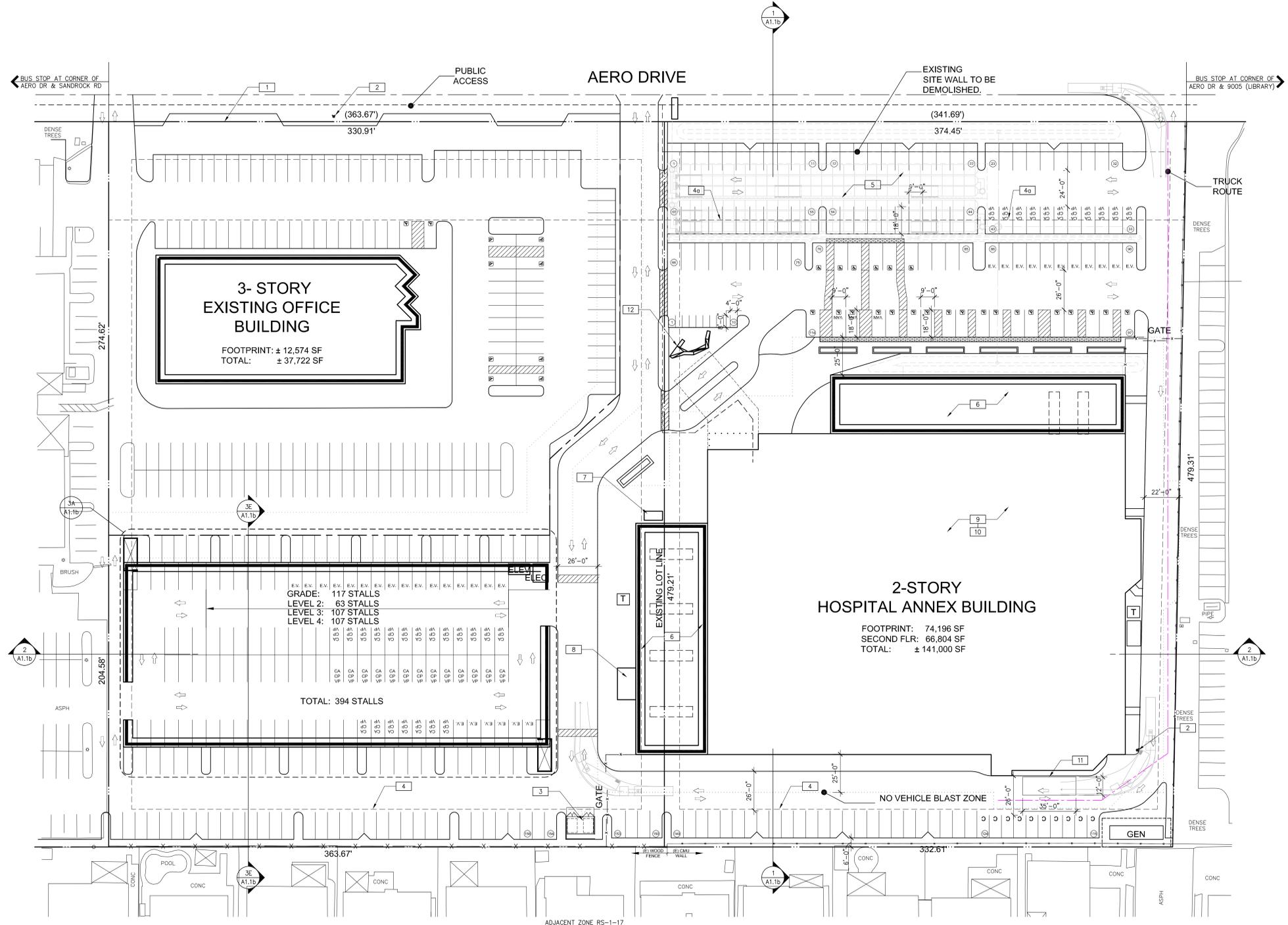


**SITE PLAN NOTES**

- 1 EXISTING PROPERTY LINE, SEE CIVIL DRAWINGS ( - - - - )
- 1a PROPOSED PROPERTY LINE, SEE CIVIL DRAWINGS ( - - - - )
- 2 EXISTING FIRE HYDRANT.
- 3 PROPOSED TRASH ENCLOSURE.
- 4 EXISTING BUILDING SETBACK ( - - - - )
- 4a 65'-0" SETBACK PER MAP NO. 6386.
- 5 BIORETENTION SYSTEM, SEE CIVIL DRAWINGS.
- 6 NEW BUILDING ADDITION.
- 7 PROPOSED SHORT TERM BICYCLE PARKING.
- 8 PROPOSED LONG TERM BICYCLE PARKING.
- 9 PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- 10 EXISTING BUILDING.
- 11 PROPOSED 12' X 35' LOADING AREA.
- 12 VA PUBLIC ART SIGNAGE.

**SITE LEGEND**

- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- ACCESSIBLE PARKING STALL
- E.V. ELECTRIC VEHICLE CHARGING STATION.
- C.P. 'CAR POOL' DESIGNATED PARKING SPACE.
- V.P. 'VAN POOL' DESIGNATED PARKING SPACE.
- C.A. 'CLEAN AIR' DESIGNATED PARKING SPACE.
- - - - SETBACK
- . - . - . PROPERTY LINE
- - - - EXISTING CMU WALL TO REMAIN
- X - EXISTING WOOD FENCE TO REMAIN



**SITE PLAN**  
SCALE: 1" = 30'-0"

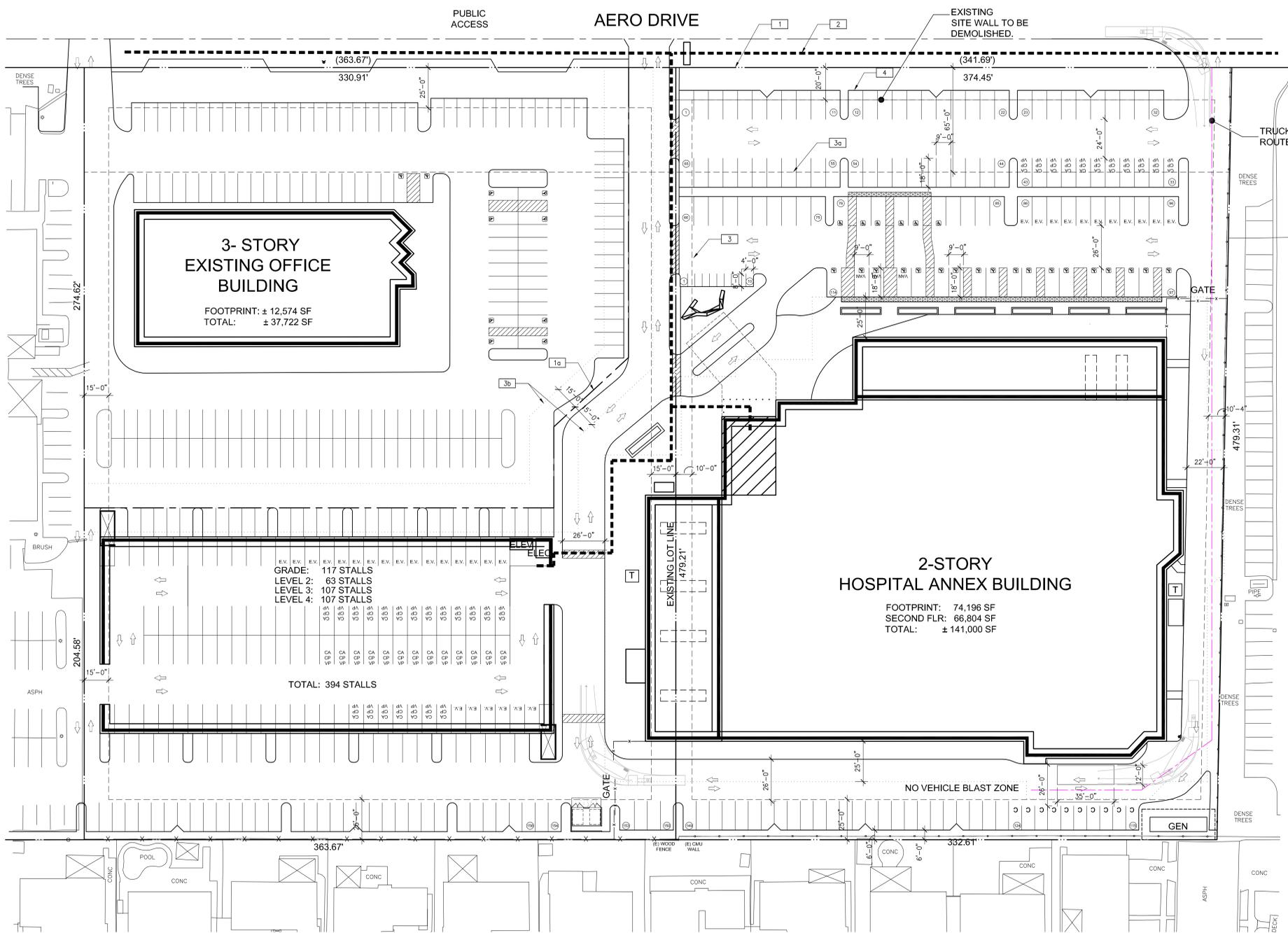
SITE PLAN	
DATE	REMARKS

PA / PM:	
DRAWN BY:	codd
JOB NO.:	

\\vms-ar-01.com\VM\REV\18\3004\00\Architectural\Cad\3004\_A11.dwg

**SITE PLAN NOTES**

- 1 EXISTING PROPERTY LINE, SEE CIVIL DRAWINGS ( - - - - )
- 1a PROPOSED PROPERTY LINE, SEE CIVIL DRAWINGS ( - - - - )
- 2 ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS. ( - - - - )
- 3 EXISTING BUILDING SETBACK ( - - - - )
- 3a 65'-0" SETBACK PER MAP NO. 6386.
- 4 PER SECTION 131.0643 (b) PARKING MAY ENCRDACH UP TO 5 FEET INTO THE REQUIRED SETBACK.



**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 graphics  
 civil engineering

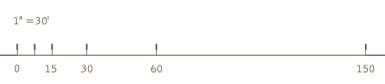
10 edelman  
 Irvine, California 92618  
 P 949.660.0128  
 F 949.660.1101

**PROTEA PROPERTIES**  
 8825-8875 AERO DRIVE  
 SAN DIEGO, CALIFORNIA 92123

ACCESSIBILITY SITE PLAN	
DATE	REMARKS

PA / PM:  
 DRAWN BY: codd  
 JOB NO.:

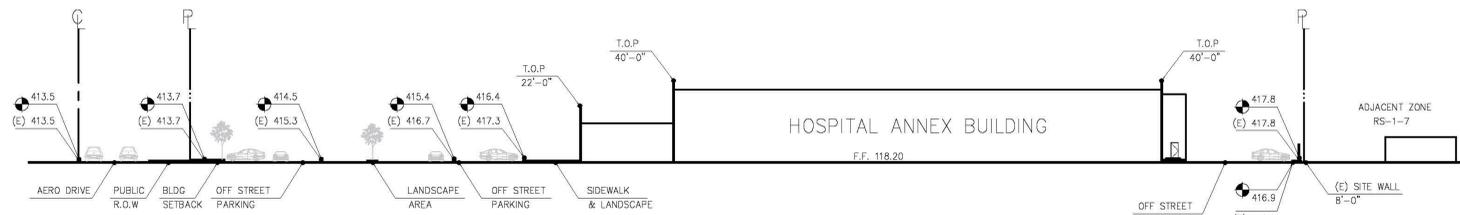
SHEET  
**A1.1a**  
 Date: 24 Jun 2018



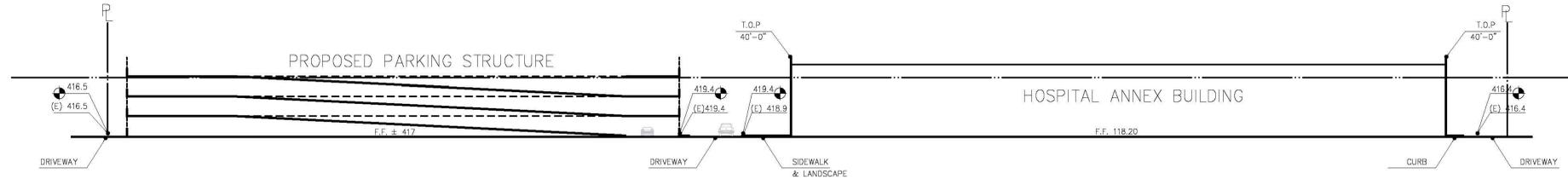
**ACCESSIBILITY PLAN**  
 SCALE: 1" = 30'-0"

\\vms-ar-01.com\VM\REV18\3004\00\Architectural\Con\3004\_A11.dwg

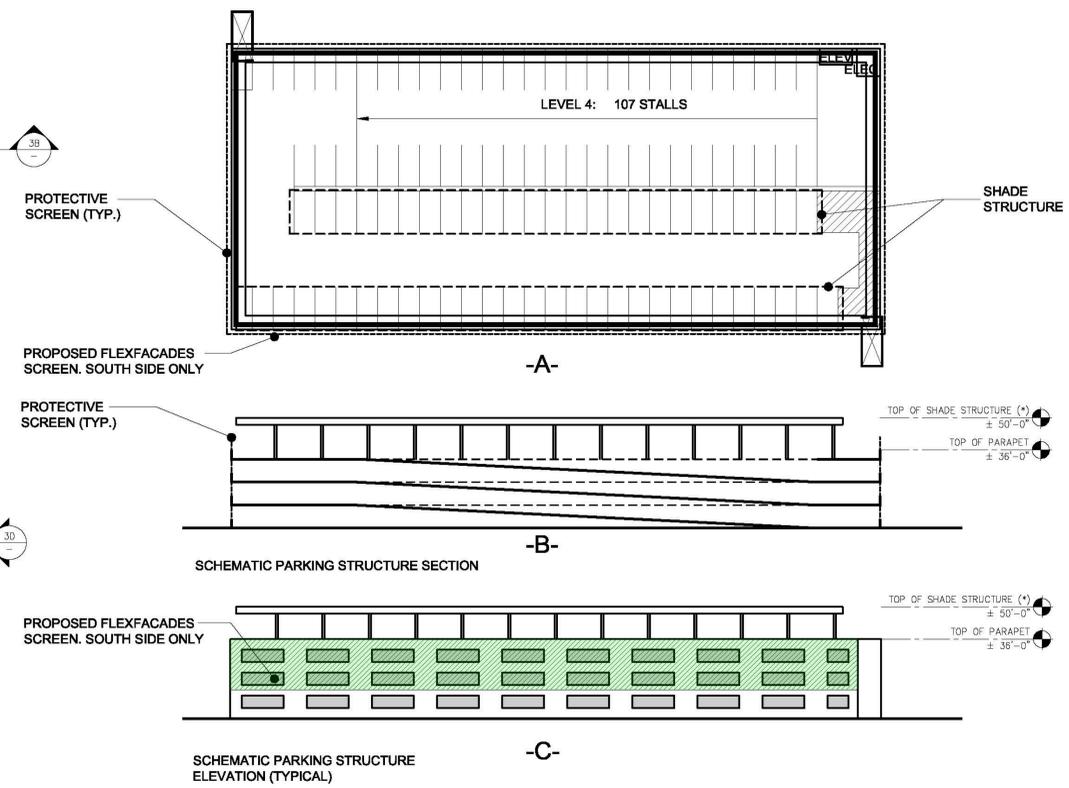
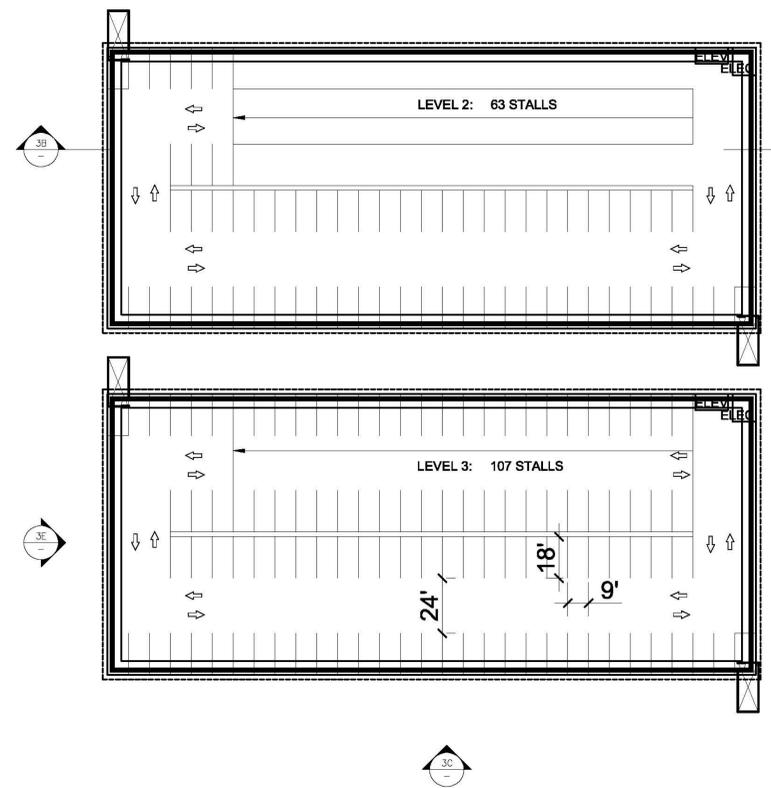
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



**SITE SECTION A-A** ①  
SCALE: 1" = 30'-0"

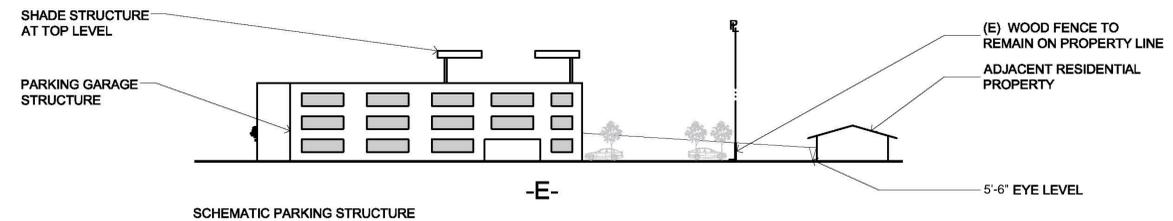
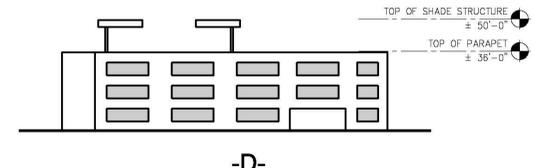


**SITE SECTION B-B** ②  
SCALE: 1" = 30'-0"



PROPOSED FLEXFACADES SCREEN

(\* NOTE: PRELIMINARY PARKING STRUCTURE DESIGN NOT EXPECTED TO EXCEED 50'-0" IN HEIGHT. PARKING STRUCTURE IS DESIGN BUILD UNDER SEPARATE PERMIT.



**CONCEPTUAL PARKING STRUCTURE** ③  
SCALE: 1" = 30'-0"

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture  
planning  
interiors  
geotechnical  
civil engineering

10 edition  
irvine, california 92618  
P: 949.660.0726  
F: 949.660.1361

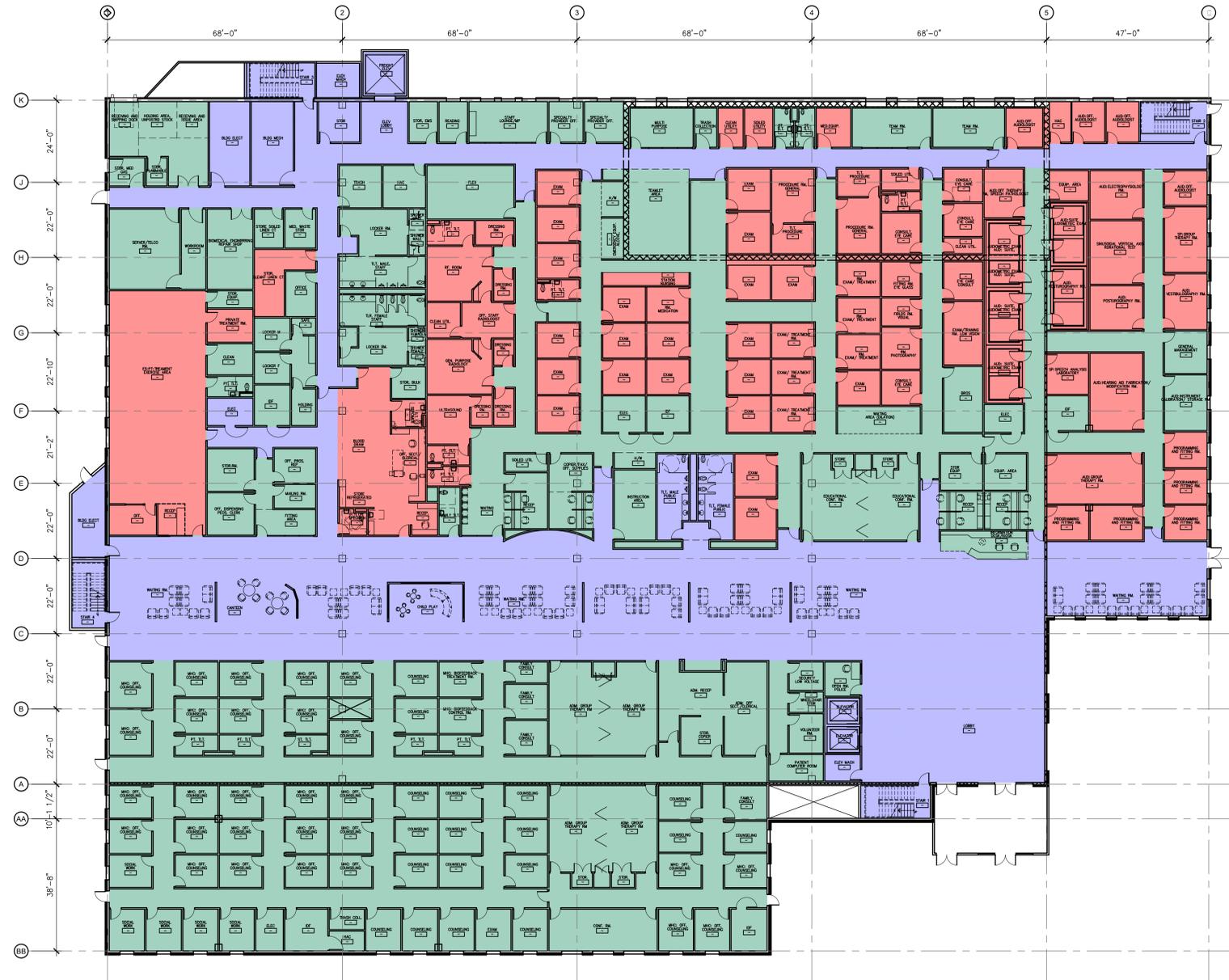
**PROTEA PROPERTIES**  
8825-8875 AERO DRIVE  
SAN DIEGO, CALIFORNIA 92123

PARKING STRUCTURE AND SITE SECTIONS	
DATE	REMARKS

PA / PM:	
DRAWN BY:	codd
JOB NO.:	

SHEET  
**A1.1b**  
1/23/2018





VETERANS AFFAIRS HOSPITAL ANNEX

CONSULT/MEDICAL USE:	16,863 SF (22.7%)
OFFICE USE:	39,175 SF (52.8%)
COMMON SPACE:	18,158 SF (24.5%)
MEDICAL USE COMMON SPACE ALLOCATION:	4,122 SF (18,158 X 22.7%)
TOTAL MEDICAL USE:	20,985 SF
TOTAL OFFICE USE:	53,211 SF
TOTAL FLOOR AREA:	74,196 SF

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 civil engineering

10 soluman  
 Irvine, California 92618  
 949.863.1581

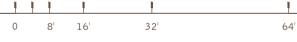
**PROTEA PROPERTIES**  
 8825-8875 AERO DRIVE  
 SAN DIEGO, CALIFORNIA 92123

FIRST FLOOR FUNCTIONALITY PLAN	
DATE	REMARKS

PA / PM:  
 DRAWN BY: codd  
 JOB NO.:

SHEET  
**A2.1a**

1/16"=1'-0"



FIRST FLOOR FUNCTIONALITY PLAN

SCALE: 1/16"=1'-0"







VETERANS AFFAIRS HOSPITAL ANNEX

CONSULT/MEDICAL USE:	17,138 SF	(25.6%)
OFFICE USE:	38,463 SF	(57.6%)
COMMON SPACE:	11,203 SF	(16.8%)
MEDICAL USE COMMON SPACE ALLOCATION:		
	2,868 SF	(11,203 X 25.6%)
TOTAL MEDICAL USE:	20,006 SF	
TOTAL OFFICE USE:	46,798 SF	
TOTAL FLOOR AREA:	66,804 SF	

1/16"=1'-0"

SECOND FLOOR FUNCTIONALITY PLAN

SCALE: 1/16"=1'-0"



**PROTEA PROPERTIES**  
 8825-8875 AERO DRIVE  
 SAN DIEGO, CALIFORNIA 92123

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 civil engineering

10 soluman  
 Irvine, California 92614  
 (949) 853.1581

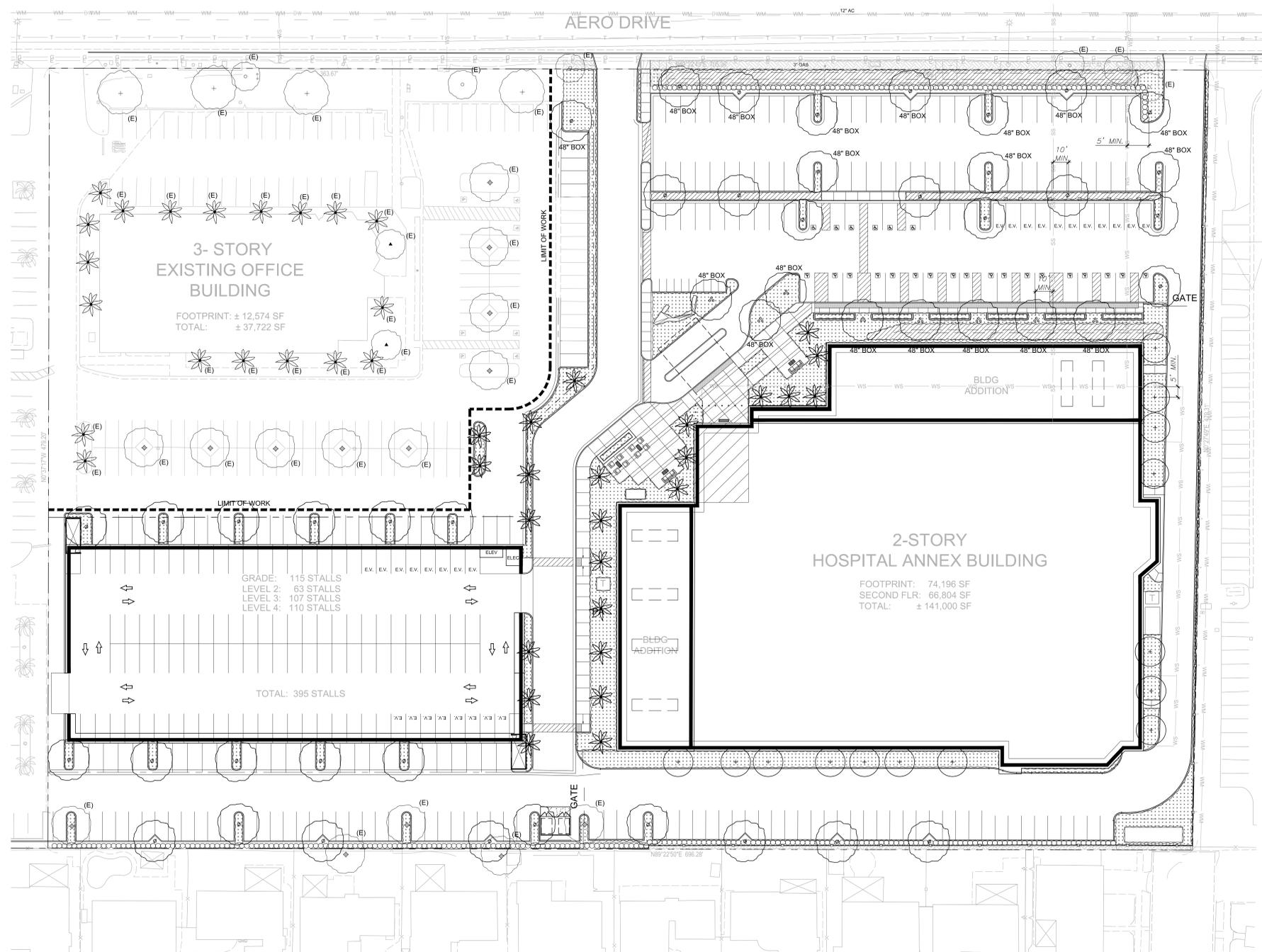
SECOND FLOOR FUNCTIONALITY PLAN	
DATE	REMARKS

PA / PM:	
DRAWN BY:	codd
JOB NO.:	

SHEET  
**A2.2a**







PROPOSED PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING	WUCOLS REGION 3	POINTS: SY	POINTS: RY
+	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	M		
△	OLEA EUROPEA 'SWAN HILL' OR CERCIIDIUM 'DESERT MUSEUM'	SWAN HILL FRUITLESS OLIVE OR DESERT MUSEUM PALO VERDE	48" BOX	L	8 (48") = 800	
★	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	20" BTH	M	16 = 960	
○	TIPUANA TIPU -OR- RHUS LANCEA	TIPU -OR- AFRICAN SUMAC	48" BOX	M	11 (48") = 1100	6 (36") = 300
AG	AGAVE 'BLUE FLAME'	BLUE FLAME FOXTAIL AGAVE	5 GAL / 30" O.C.	L		
AL	ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GAL / 18" O.C.	L		
CL	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL / 30" O.C.	L		
DL	DIANELLA 'LITTLE REV'	DWARF FLAX LILY	1 GAL / 24" O.C.	L		
HE	HESPERALOE PARVIFLORA	BRAKE LIGHTS HESPERALOE	5 GAL / 36" O.C.	L		
LN	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL / 36" O.C.	L		
MU	MUHLENBERGIA 'EL TORO'	BULL GRASS	5 GAL / 30" O.C.	L		
MY	MYOPORUM P. 'PINK'	PINK PROSTRATE MYOPORUM	1 GAL / 36" O.C.	L		
WE	WESTRINGIA FRUTICOSA	BLUE GEM COASTAL ROSEMARY	5 GAL / 36" O.C.	L		
CAR	CAREX DIVULSA	BERKELEY SEDGE	1 GAL / 24" O.C.	L		
JUN	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL / 18" O.C.	M		

WATER USE KEY:  
 VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER A GUIDE TO ESTIMATING IRRIGATION WATER NEEDS OF LANDSCAPE PLANTINGS IN CALIFORNIA (ALSO REFERRED TO AS WUCOLS) FOR REGION 3.

EXISTING TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	POINTS: SY
+	CINNAMOMUM CAMPHORA	CAMPHOR	
○	EUCALYPTUS SPP.	EUCALYPTUS	2 X 12" DIA. = 600 1 X 16" DIA. = 400 1 X 5" DIA. = 125
⊗	JACARANDA MIMOSIFOLIA	JACARANDA	
△	LAGERSTROEMIA INDICA	GRAPE MYRTLE	
★	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	
○	TIPUANA TIPU	TIPU TREE	

NOTE: THE LETTER (E) NEXT TO A TREE SYMBOL INDICATES AN EXISTING TREE TO BE PROTECTED IN PLACE. THE LETTER (R) NEXT TO A TREE SYMBOL INDICATES AN EXISTING TREE TO BE REMOVED FROM SITE.

EXISTING TREES:

- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURE WILL BE PROVIDED:
- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
  - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
  - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
  - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

DESIGN STATEMENT:

THE LANDSCAPE DESIGN WILL INCORPORATE THE PROPOSED HOSPITAL ANNEX BUILDING INTO THE EXISTING COMMUNITY, WILL HELP TO UNIFY THE PROPOSED BUILDINGS WITH THE ADJACENT PROPERTIES TO THE EAST AND WEST, AND WILL PROVIDE VISUAL WAYFINDING AND HELP TO ENHANCE THE ARCHITECTURE WHILE PROVIDING A BUFFER FROM THE RESIDENTIAL PROPERTIES TO THE SOUTH. THE INTENT OF THE LANDSCAPE DESIGN IS TO CREATE A STRONG SENSE OF ARRIVAL, WITH A TREE LINED ENTRY DRIVE WHICH TERMINATES IN A LARGE ENTRY PLAZA. THE PLAZA SERVES AS BOTH A DROP OFF AREA AND A GATHERING SPACE, WITH ENHANCED PAVING, CASUAL SEATING AREAS AND SHADE TREES. PALM TREES ACCENTUATE THE ENTRY DRIVE AND FRAME THE BUILDING ENTRY, WHILE ACCENT TREES (OLIVES OR PALO VERDE), ALONG WITH RAISED PLANTER BOXES, REINFORCE THE ARCHITECTURE ALONG THE BUILDINGS FRONT ELEVATION. THE PROPOSED PLANT PALETTE ECHOES THE EXISTING LANDSCAPE TO THE WEST, WITH TIPU TREES, GREEN PALMS AND FOXTAIL AGAVES. FENCING, LARGE CANOPY TREES AND AN EVERGREEN HEDGE WILL HELP TO SCREEN THE DEVELOPMENT FROM THE RESIDENTIAL PROPERTIES TO THE SOUTH. ADDITIONAL CANOPY TREES SURROUND THE PROPOSED PARKING GARAGE, PROVIDING SCREENING WHILE FURTHER REINFORCING THE TIE TO THE ADJACENT DEVELOPMENTS.

WATER CONSERVATION NOTES

- THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT:
- WATER CONSERVING PLANTS AND PLANTS NATIVE TO HOT, DRY SUMMERS TO BE UTILIZED IN 75% OF THE TOTAL PLANTED AREA.
  - USE OF HYDROZONES WITH PLANTS GROUPED BASED UPON AMOUNT OF WATER NEEDED TO SUSTAIN THEM.
  - MULCH 3/4" - 1" SIZE UTILIZED IN THE LANDSCAPE 3" DEPTH MINIMUM.
  - SOIL AMENDMENTS UTILIZED TO IMPROVE WATER HOLDING CAPACITY OF SOIL.
  - AUTOMATIC IRRIGATION SYSTEM ADJUSTED SEASONALLY AND WITH WATERING HOURS BETWEEN 10:00 P.M. AND 2:00 A.M.
  - IRRIGATION SYSTEM DESIGNED TO WATER DIFFERENT AREAS OF THE LANDSCAPE BASED ON WATERING NEED.
  - IRRIGATION DESIGN SENSITIVE TO SLOPE FACTORS.
  - RAIN SENSORS USED IN CONJUNCTION WITH THE AUTOMATIC IRRIGATION SYSTEM.
  - RECOMMENDATIONS GIVEN FOR ANNUAL IRRIGATION SCHEDULE.
  - LANDSCAPE WATER USE CERTIFICATION WITH SUPPORTING DATA IN COMPLIANCE WITH STATE OF CALIFORNIA WATER EFFICIENCY ORDINANCE FOR APPROVAL SHALL BE SUBMITTED WITH LANDSCAPE CONSTRUCTION DOCUMENT SUBMITTAL TO THE OWNER.
  - AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED WITH ALL EQUIPMENT SUITABLE FOR THE USE OF RECLAIMED WATER AND HEALTH DEPARTMENT REQUIREMENTS RELATIVE TO RECLAIMED USE WILL APPLY TO THE PROJECT.

MAINTENANCE NOTES

- ALL PLANT MATERIAL SHALL BE SOUND, HEALTHY SPECIMENS TYPICAL OF THEIR SPECIES, WITH WELL FORMED TOPS AND ROOTS, AND SHALL BE FREE FROM INJURIOUS INSECTS, INSECT EGGS OR LARVAE, DISEASES, SERIOUS INJURIES TO BARK, ROOT OR FOLIAGE, BROKEN BRANCHES, AND SHALL BE TYPICAL FOR PLANTS OF THAT SPECIES AND SIZE, AS RECOMMENDED BY THE AMERICAN STANDARD FOR NURSERY STOCK. INSTALLATIONS OF ALL PLANTS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS THAT FAIL TO MAKE NEW GROWTH FROM A DORMANT CONDITION, DECLINE OR DIE SHALL BE REPLACED. A PLANT IS CONSIDERED DEAD IF AT LEAST 50 PERCENT OF ITS GROWTH IS DEAD. ALL REPLACEMENTS SHALL CONFORM TO THE ORIGINAL INTENT OF THE PLANTING DESIGN.
- OWNER IS RESPONSIBLE FOR INSTALLATION AND ONGOING MAINTENANCE OF IRRIGATION AND PLANTING WITHIN BOTH THE PUBLIC RIGHT-OF-WAY AND THE PROPERTY ITSELF.

MINIMUM TREE SEPARATION DISTANCE

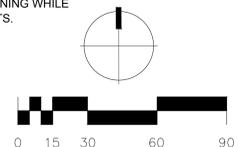
- TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET
- 10 FEET FOR SEWER ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- DRIVEWAY ENTRIES - 10 FEET
- INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 25 FEET
- 5 FEET FOR RESIDENTIAL STREETS RATED 25 MPH OR LOWER

IRRIGATION:

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403.C FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

LANDSCAPE NOTES:

- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403.B.5.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 10 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403.B.10.



**WARE MALCOLM**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 graphics  
 civil engineering

8841 RESEARCH DR  
 SUITE 200  
 IRVINE, CA 92618  
 949.387.3233  
 RIDGELA.COM



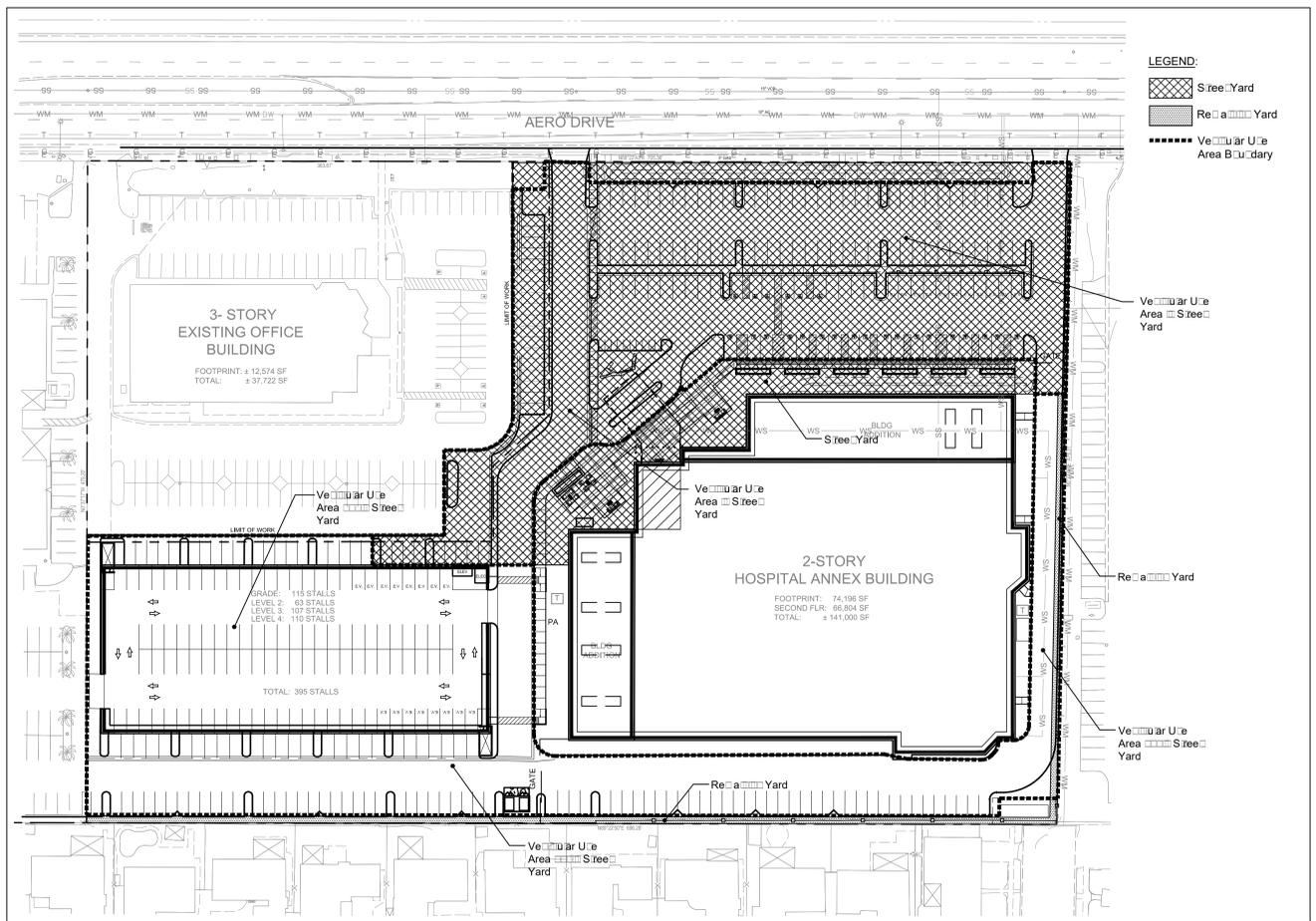
**PROTEA PROPERTIES**  
 8825-8875 AERO DRIVE  
 SAN DIEGO, CALIFORNIA 92123

PRELIMINARY LANDSCAPE PLAN	
DATE	REMARKS
07/26/2018	CIP, RESUBMITTAL

PA / PM:  
 DRAWN BY:  
 JOB NO.:

SHEET  
**L1.1**





LANDSCAPE CALCULATION AREA DIAGRAM

**City of San Diego Development Services**  
 1222 First Ave., MS-501  
 San Diego, CA 92101-4154  
 (619) 446-5000

**Landscape Calculations Worksheet**  
 Industrial Development in RM and C Zones  
 Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

**STREET YARD**

Industrial and Commercial Development (except Auto Service Stations; see below):

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 89670 sq. ft. x 25% = 22418 sq. ft.	24596 sq. ft.	2178 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 89670 sq. ft. x 0.05 = 4484 points	4485 points	1 points

**Auto Service Stations Only**

Planting Area Required [142.0405(c)(2)]	Planting Area Provided	Excess Area Provided
Total Area sq. ft. x 15% = sq. ft.	sq. ft.	sq. ft.

Planting Points Required [142.0405(c)(2)]	Plant Points Provided	Excess Points Provided
Total Area sq. ft. x 0.03 = points	points	points

Note: All required Street Yard planting areas located outside the Vehicular Use Area (VUA) except for auto service stations may consist of hardscape or unattached unit pavers, excluding the minimum area required for trees, [142.0405(C)(1)]

**REMAINING YARD**

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 5016 sq. ft. x 30% = 1505 sq. ft.	4168 sq. ft.	2663 sq. ft.

Planting Points Required [142.0404]	Planting Points Provided	Excess Points Provided
Total Area 5016 sq. ft. x 0.05 = 251 points	732 points	481 points

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). Upon request, this information is available in alternative formats for persons with disabilities.  
 DS-5 (03-06)

**City of San Diego Development Services**  
 1222 First Ave., MS-501  
 San Diego, CA 92101-4154  
 (619) 446-5000

**Landscape Calculations Worksheet**  
 Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

**VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]**

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: sq. ft. x 0.05 = points	points	points

Points achieved through trees (at least half): points

**VEHICULAR USE AREA (≥6,000 sf) [142.0406 - 142.0407]**

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: 66664 sq. ft. x 0.05 = 3333 sq. ft.	6881 sq. ft.	3548 sq. ft.
VUA outside Street Yard: 89953 sq. ft. x 0.03 = 2519 sq. ft.	2857 sq. ft.	338 sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: 66664 sq. ft. x 0.05 = 3333 points	3839 points	2260 points
VUA outside Street Yard: 89953 sq. ft. x 0.03 = 2519 points	2590 points	1580 points

**TEMPORARY VEHICULAR USE AREA [142.0408]**

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: sq. ft. x 3 ft. = sq. ft.	sq. ft.

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

**ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS**

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). Upon request, this information is available in alternative formats for persons with disabilities.  
 DS-5 (03-06)

**AB 1881 "MWELQ" WATER BUDGET CALCULATIONS**

Maximum Applied Water Allowance (MAWA)  
 The project's Maximum Applied Water Allowance shall be calculated using this equation:  
 MAWA = (Eto) x (0.62) x [(0.45 x LA) + (0.55 x SLA)]

Eto (Historical Evapotranspiration for Area) = 47.00  
 ETAF (Evapotranspiration Adjustment Factor - LA) = 0.45  
 ETAF (Evapotranspiration Adjustment Factor - SLA) = 0.55  
 LA (Total Landscaped Area including SLA) = 34,676 R2  
 SLA (Special Landscaped Area) = 0 R2  
 0.62 (Conversion Factor)

	Eto	ETAF	LA or SLA (ft <sup>2</sup> )	Conversion	MAWA (Gallons Per Year)
MAWA for LA =	47.00	x 0.45	x 34,676	x 0.62	454,706
MAWA for SLA =	47.00	x 0.55	x 0	x 0.62	0
Totals =			34,676		454,706

Maximum Applied Water Allowance (MAWA) = 454,706 Gal/yr 607.9 CCF/yr

**Estimated Total Water Use (ETWU)**

The project's Estimated Total Water Use shall be calculated using this equation:  
 ETWU = (Eto) (0.62) [(PF x HA) / IE + SLA]  
 ETWU = Estimated Total Water Use per year (gallons)  
 Eto = Reference Evapotranspiration (inches) 47.00 (inches per year)  
 PF = Plant Factor from WUCOLS (see section 491)  
 HA = Hydrozone Area [high, medium and low water use areas] (square feet)  
 SLA = Special Landscape Area (square feet)  
 0.62 = Conversion Factor  
 IE = Irrigation Efficiency

	Eto	Conversion	PF	HA (R2) (ft <sup>2</sup> )	IE	Gallons
Hydrozone Area # 1 Shrub Drip (LOW)	47.00	x 0.62	x 0.30	x 31,156	+ 0.81	336,254
Hydrozone Area # 2 Shrub Rotary (LOW)	47.00	x 0.62	x 0.30	x 0	+ 0.73	0
Hydrozone Area # 3 Tree Bubblers (LOW)	47.00	x 0.62	x 0.40	x 3,520	+ 0.77	53,289
Totals =				34,676		389,539

Estimated Total Water Use (ETWU) = 389,539 Gal / yr 520.8 CCF / yr  
 Percentage of savings over MAWA = 14.3%  
 This Number Must Be Positive:

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
planning  
interiors  
graphics  
civil engineering  
10 Goldman  
Irvine, California 92618  
P: 949.860.9128  
F: 949.863.1581

8841 RESEARCH DR  
SUITE 200  
IRVINE - CA 92618  
949.381.1323  
RDS@EL.COM

**PROTEA PROPERTIES**  
 8825-8875 AERO DRIVE  
 SAN DIEGO, CALIFORNIA 92123

LANDSCAPE CALCULATIONS

DATE	REMARKS
07/26/2018	CIP RESUBMITAL

PA / PM:  
 DRAWN BY:  
 JOB NO.:

SHEET  
**L3.1**

Thu, 26 Jul 2018











Minutes of the Monthly Meeting of the  
Kearny Mesa Planning Group  
December 19, 2018  
Serra Mesa/Kearny Mesa Public Library  
9005 Aero Drive, San Diego, CA 92123

**Planning Group Members in Attendance:**

Tim Nguyen  Paul Yung  Tana Lorah  Todd Matcher  Ray Richmond  Jeff Sallen  
 John Turpit  Meridith Marquis  Buzz Gibbs  Ed Quinn  Karen Ruggels  Robyn Badilla  
 Derek Applbaum  John Mulvihill  Dana Hooper  Mike Huntoon

**Community Members in Attendance:**

Lisa Lind, Leslie Stahl, Miles Arnold, Bill Snipes, Trevor Snipes, Steven Bossi, David Belanich and Robert McDowell

The Meeting was brought to order at 11:35 PM by Jeff Sallen, chair of the Kearny Mesa Planning Group. Copies of the **Minutes of the October 2018 meeting** were distributed. A vote was postponed to the end of the meeting due to insufficient planning group members present. Additional members showed up throughout the meeting and the minutes were approved (7-0-3).

**Kearny Mesa Community Plan Update / Public Comment:**

Police Officer Dave Gibson spoke introduced himself and informed the audience of recent and ongoing crimes throughout Kearny Mesa. Officer Gibson fielded questions from planning group members and community members present in the audience.

Following Officer Gibson, Lisa Lind with the City of San Diego stood before the audience and gave a brief update to the ongoing Kearny Mesa Community Plan Update.

**Informational Item(s):**

Project #602244 / Trevor Snipes (Design Engineer) with Snipe-Dye Associates presented on a proposed new catch basin within a public easement. There is an existing catch basin at the bottom of the hill that currently is covered in about 4' of sediment and no longer functions properly. Runoff from the hill has eroded away some of the hill and created a well-defined ravine. The plan is to replace this catch basin and implement a storm drain system to alleviate further erosion of the hill. Mr Snipes requested he be listed as an action item on next month's agenda.

**Action Item(s):**

Marcela with the Atlantis Group gave a brief presentation to discuss a redevelopment of 8875 Aero Drive. The former Bank of America Vault building is set to be redeveloped into an approximate 114,000 SF veterans affairs hospital annex facility. Details on the project remain limited at this time. Plans for construction of a three story parking structure were discussed as well as landscaping/beautification of the site. The Kearny Mesa Planning Group voted in favor of the project (10-0-0).

Jeff then thanked everyone for coming and ended the meeting.

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM DS-318</b>  October 2017
---	---	---	--

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** VA Facility CUP **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** 8825-8875 Aero Drive, San Diego, CA 92123

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? CA Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Protea Aero Drive, LLC  Owner  Tenant/Lessee  Successor Agency

Street Address: 3262 Holiday Court, Suite 100

City: La Jolla State: CA Zip: 92037

Phone No.: 805-380-8684 Fax No.: 858-457-5593 Email: info@proteaproperties.com

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: Jeffrey Essakow/ Protea Aero Drive, LLC  Owner  Tenant/Lessee  Successor Agency

Street Address: 3262 Holiday Court, Suite 100

City: La Jolla State: CA Zip: 92037

Phone No.: 858-380-8684 Fax No.: \_\_\_\_\_ Email: info@proteaproperties.com

Signature: \_\_\_\_\_ Date: July 31, 2018

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: KA Real Estate II, LLC  Owner  Tenant/Lessee  Successor Agency

Street Address: 5820 Oberlin Dr., Ste 201

City: San Diego State: CA Zip: 92121

Phone No.: 858-404-6080 Fax No.: 858-404-6081 Email: Kayvm@kaentapprises.net

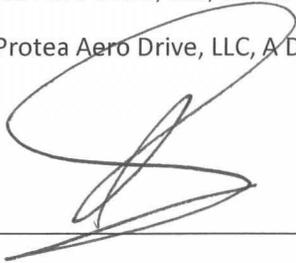
Signature: \_\_\_\_\_ Date: 07-31-18

Additional pages Attached:  Yes  No

Owner and Applicant (Page 2 of Ownership Disclosure Statement)

Protea Aero Drive, LLC, a Delaware Limited Liability Company

By: Protea Aero Drive, LLC, A Delaware Limited Liability Company, its Managing Member



July 31, 2018

By Jeffrey Essakow, Managing Member

Owners of more than 10% interest in Protea Aero Drive, LLC:

KA Real Estate II, LLC – Kayvon Agahnia, Manager