

Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

# POWELL RESIDENCE

## KANE ST.

## SITE DEVELOPMENT PERMIT

### SAN DIEGO, CALIFORNIA

#### LEGAL OWNER:

MR. JON POWELL  
2343 GARFIELD RD.  
SAN DIEGO, CA 92110  
TEL: (858) 414-6444

#### PROJECT TEAM:

##### DESIGNER:

BALLERINO DESIGN ASSOCIATES  
416 W. SAN YSIDRO BLVD., #207  
SAN YSIDRO, CA 92113  
CONTACT: DOMINIC BALLERINO  
DOMINIC@BALLERINODESIGN.COM

##### CIVIL ENGINEER:

KAPPA SURVEYING & ENGINEERING  
INC.  
8402 N. MAGNOLIA AVE.  
SUITE C  
SANTEE, CA 92071  
TEL: (619) 449-2600  
CONTACT: BILL DICK, PLS

##### LANDSCAPE DESIGN:

BOTANICA LANDSCAPE DESIGN  
TEL: (619) 378-6044  
WWW.BOTANICADSIGN.COM  
CONTACT: FELLON LAY

##### GEOTECHNICAL ENGINEER:

TERRAPACIFIC CONSULTANTS INC.  
4010 MORENA BLVD.  
SUITE 108  
SAN DIEGO, CA 92117  
TEL: (858) 521-1130  
CONTACT: CHRISTOPHER O'HERN

##### GENERAL CONTRACTOR:

OWNER-BUILDER

Abbreviations	Symbols	Project Data	Scope of Work	Sheet Index
<div><div><div>A/C</div><div>AIR CONDITIONING</div></div><div><div>A.C.</div><div>ASPHALTIC CONCRETE</div></div><div><div>AFF.</div><div>ABOVE FINISH FLOOR</div></div><div><div>ALUM.</div><div>ALUMINUM</div></div><div><div>A.S.R.</div><div>AUTOMATIC SPRINKLER RISER</div></div><div><div>BLK.</div><div>BLOCK</div></div><div><div>BLDG.</div><div>BUILDING</div></div><div><div>CB.</div><div>CATCH BASIN</div></div><div><div>C.J.</div><div>CONTROL JOINT</div></div><div><div>CL.</div><div>CENTER LINE</div></div><div><div>CLG.</div><div>CEILING</div></div><div><div>CLR.</div><div>CLEAR</div></div><div><div>COL.</div><div>COLUMN</div></div><div><div>CONC.</div><div>CONCRETE</div></div><div><div>CONT.</div><div>CONTINUOUS</div></div><div><div>C.T.</div><div>CERAMIC TILE</div></div><div><div>D.S.</div><div>DOWN SPOUT</div></div><div><div>ED.F.</div><div>ELECTRIC DRINKING FOUNTAIN</div></div><div><div>E.J.</div><div>EXPANSION JOINT</div></div><div><div>E.W.C.</div><div>ELECTRIC WATER COOLER</div></div><div><div>EXP.</div><div>EXPOSED</div></div><div><div>F.D.</div><div>FLOOR DRAIN</div></div><div><div>F.G.</div><div>FINISH GRADE</div></div><div><div>F.H.</div><div>FIRE HYDRANT</div></div><div><div>FIN.</div><div>FINISH</div></div><div><div>FLR.</div><div>FLOOR</div></div><div><div>F.O.M.</div><div>FACE OF MASONRY</div></div><div><div>F.O.S.</div><div>FACE OF STUD</div></div><div><div>F.S.</div><div>FINISH SURFACE</div></div><div><div>G.I.</div><div>GALVANIZED IRON</div></div><div><div>M.O.</div><div>MASONRY OPENING</div></div><div><div>MTR.</div><div>METER</div></div><div><div>N.C.</div><div>NOT IN CONTRACT</div></div><div><div>N.T.S.</div><div>NOT TO SCALE</div></div><div><div>O/</div><div>OVER</div></div><div><div>O.C.</div><div>ON CENTER</div></div><div><div>O.D.</div><div>OVERFLOW DRAIN</div></div><div><div>O.S.</div><div>OVERFLOW SCUPPER</div></div><div><div>OPP.</div><div>OPPOSITE</div></div><div><div>P.L.</div><div>PROPERTY LINE</div></div><div><div>P.O.C.</div><div>POINT OF CONNECTION</div></div><div><div>R.D.</div><div>ROOF DRAIN</div></div><div><div>SIM.</div><div>SIMILAR</div></div><div><div>T.C.</div><div>TOP OF CONCRETE</div></div><div><div>T.M.</div><div>TOP OF MASONRY</div></div><div><div>T.P.</div><div>TOP OF PARAPET</div></div><div><div>T.S.</div><div>TOP OF SHEATHING</div></div><div><div>TYP.</div><div>TYPICAL</div></div><div><div>W/</div><div>WITH</div></div><div><div>W.H.</div><div>WATER HEATER</div></div><div><div>WTR.</div><div>WATER</div></div></div> <div><div><div>1</div><div>GRID NUMBER</div></div><div><div>2</div><div>KEYNOTE REFERENCE NUMBER</div></div><div><div>1</div><div>2</div><div>3</div><div>4</div><div>(BHT)</div><div>INTERIOR ELEVATION DIRECTION OF WALL'S WALL NUMBER</div></div><div><div>1</div><div>A</div><div>EXTERIOR MATERIAL COLOR REFERENCE</div></div><div><div>1</div><div>PLAN CHANGE/BULLETIN</div></div><div><div>A</div><div>ADDENDUM</div></div><div><div>1</div><div>A6.0</div><div>DETAIL REFERENCE</div></div></div> <div><div><div><div>NEAREST BUS STOP CLAIREMONT DR. &amp; HARTFORD ST. (DISTANCE = 2500 FT.)</div><div>CLAIREMONT DR</div><div>MILTON ST</div><div>GALVESTON ST.</div><div>HARTFORD ST.</div><div>FIELD ST</div><div>FAIRFIELD ST</div><div>ARNOTT ST</div><div>HURLEY ST</div><div>TOKALON ST</div><div>JELLET ST</div><div>KANE ST</div><div>GARFIELD RD</div><div>MORENA BLVD</div><div>5</div><div>SITE</div><div></div></div></div><div><div>PROJECT CODE INFORMATION:</div><div><div>TYPE OF CONSTRUCTION:</div><div>TYPE OF OCCUPANCY:</div><div>BUILDING CODE:</div><div>GOVERNING AGENCY:</div><div>ZONING:</div><div>YEAR CONSTRUCTED:</div><div>F.A.R. (ALLOWED):</div><div>F.A.R. (PROPOSED):</div><div>COVERAGE:</div><div>MAX. HEIGHT:</div></div><div><div>TYPE V-B</div><div>R-3</div><div>CBC 2019, CRC 2019</div><div>CITY OF SAN DIEGO</div><div>R5-1-7</div><div>N/A</div><div>0.53 (6320 SF.)</div><div>0.32 (3,815 SF.)</div><div>50% MAX.</div><div>24' / 30'</div></div></div><div><div>APPLICABLE BUILDING CODES:</div><div>2019 CALIFORNIA BUILDING CODE</div><div>2019 CALIFORNIA RESIDENTIAL CODE</div><div>2019 CALIFORNIA ELECTRICAL CODE</div><div>2019 CALIFORNIA MECHANICAL CODE</div><div>2019 CALIFORNIA PLUMBING CODE</div><div>2019 CALIFORNIA FIRE CODE</div><div>2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)</div><div>2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS</div></div><div><div>LEGAL DESCRIPTION:</div><div>-</div><div>SITE ADDRESS:</div><div>0000 KANE ST. SAN DIEGO, CA 92110</div><div>ASSESSOR'S PARCEL NUMBER:</div><div>000-000-00-00</div><div>LOT SIZE:</div><div>11,925 SF.</div></div><div><div>CONSTRUCTION OF 1 NEW RESIDENTIAL UNIT &amp; ADU</div><div><div>1. (N) 3-STORY RESIDENCE.</div><div>2. (N) ADU (FIRST LEVEL).</div><div>3. SITE IMPROVEMENTS INCLUDING NEW LANDSCAPING, AND RETAINING WALLS.</div></div><div><div>FLOOR AREAS:</div><div><div>SQUARE FOOTAGE SUMMARY</div><div>(N) SINGLE FAMILY RESIDENCE:</div><div>1ST LEVEL: 1,056 SF</div><div>ADU: 580 SF</div><div>GARAGE: 476 SF</div><div>2ND LEVEL: 1,604 SF</div><div>3RD LEVEL: 1,155 SF</div><div>TOTAL (OVERALL): 3,815 SF</div></div><div><div>PARKING SUMMARY:</div><div>(N) SINGLE FAMILY RESIDENCE:</div><div>REQUIRED 2 STALLS</div><div>PROVIDED 2 STALLS (GARAGE)</div><div>(N) ADU:</div><div>REQUIRED EXEMPT</div><div>PROVIDED NONE</div></div></div><div><div>SHT. NO.:</div><div>T-10</div><div>S-P-1</div><div>L-1</div><div>L-2</div><div>L-3</div><div>A-1</div><div>A-2</div><div>A-3</div><div>A-4</div><div>A-5</div><div>A-6</div><div>A-7</div><div>TFM</div><div>C-1</div><div>C-2</div><div>C-3</div><div>C-4</div><div>C-5</div><div>C-6</div></div><div><div>SHEET TITLE:</div><div>TITLE SHEET</div><div>SITE PLAN</div><div>LANDSCAPE DEVELOPMENT PLAN</div><div>BRUSH MANAGEMENT PLAN</div><div>LANDSCAPE DEVELOPMENT PLAN NOTES</div><div>FLOOR PLAN - FIRST LEVEL</div><div>FLOOR PLAN - SECOND LEVEL</div><div>FLOOR PLAN - THIRD LEVEL</div><div>ROOF PLAN</div><div>EXTERIOR ELEVATIONS</div><div>EXTERIOR ELEVATIONS</div><div>EXTERIOR ELEVATIONS</div><div>TENTATIVE PARCEL MAP</div><div>GRADING &amp; DRAINAGE</div><div>TYP. CROSS SECTIONS</div><div>TYP. CROSS SECTIONS</div><div>SLOPE ANALYSIS</div><div>SWF TABLES</div><div>EROSION CONTROL</div></div></div></div>				

Project Title:  
  
POWELL  
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San Diego, CA

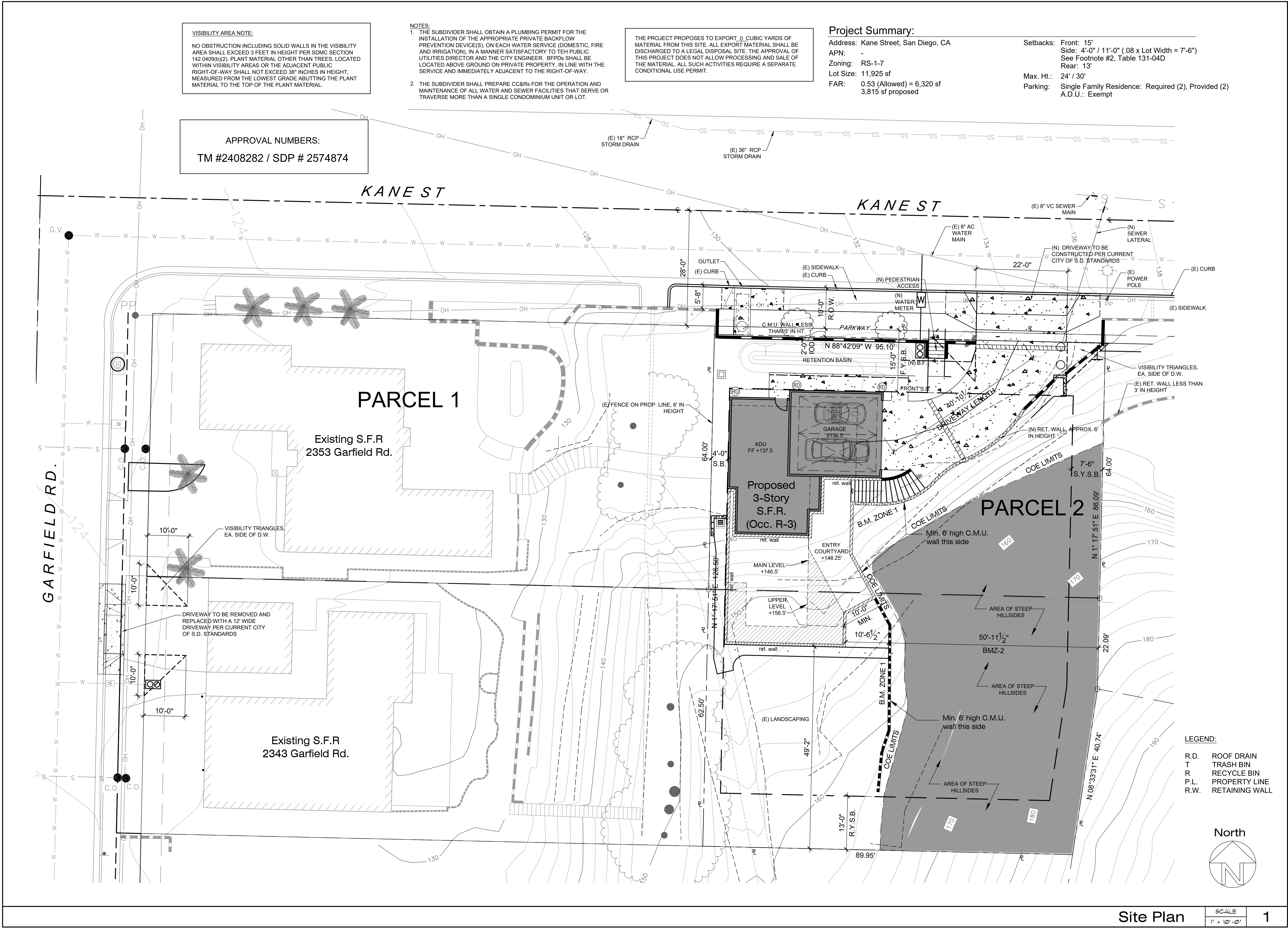
Site  
Development  
Permit (S.D.P.)

Revisions:	
SDP/TM PLANCHICK CORRECTIONS 05.16.2022	1
SDP/TM RE-SUBMITTAL 04.21.2023	2
SDP/TM RE-SUBMITTAL 10.05.2023	3
SDP/TM RE-SUBMITTAL 12.08.2023	4
SDP/TM RE-SUBMITTAL 05.10.2024	5
SDP/TM RE-SUBMITTAL 08.15.2024	6
SDP/TM RE-SUBMITTAL 10.11.2024	7
Sheet Title:	

Site Plan

Signatures:  
  
Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino  
  
Project No.: 20019  
  
Drawn By: DB Checked By: DB  
Date: 08.01.2021  
  
Sheet No.:

SP.1



VISIBILITY AREA NOTE:  
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT PER SDMC SECTION 142.0409(b)(2). PLANT MATERIAL OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36" INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

APPROVAL NUMBERS:  
TM #2408282 / SDP # 2574874

- NOTES:
1. THE SUBDIVIDER SHALL OBTAIN A PLUMBING PERMIT FOR THE INSTALLATION OF THE APPROPRIATE PRIVATE BACKFLOW PREVENTION DEVICE(S), ON EACH WATER SERVICE (DOMESTIC, FIRE AND IRRIGATION), IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER. BFPDs SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY.
  2. THE SUBDIVIDER SHALL PREPARE CC&Rs FOR THE OPERATION AND MAINTENANCE OF ALL WATER AND SEWER FACILITIES THAT SERVE OR TRAVERSE MORE THAN A SINGLE CONDOMINIUM UNIT OR LOT.

THE PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

Project Summary:

Address: Kane Street, San Diego, CA  
APN: -  
Zoning: RS-1-7  
Lot Size: 11,925 sf  
FAR: 0.53 (Allowed) = 6,320 sf  
3,815 sf proposed

Setbacks: Front: 15'  
Side: 4'-0" / 11'-0" (.08 x Lot Width = 7'-6")  
See Footnote #2, Table 131-04D  
Rear: 13'  
Max. Ht.: 24' / 30'  
Parking: Single Family Residence: Required (2), Provided (2)  
A.D.U.: Exempt

Site Plan

SCALE  
1" = 10'-0"

1



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
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Site  
Development  
Permit (S.D.P.)

Sheet Title:

Landscape  
Development  
Plan

In Collaboration with:



PELLON LAY 619.379.6044

Revisions:

Drawings Prepared By: PL

Project No.: 2215

Drawn By: Checked By:

Date: 11.27.2024

Sheet No.:

L-1

## PLANTING LEGEND

TREES:	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
1		CHITALPA TASHKENTENSIS	CHITALPA 'PINK DAWN'	2	24" BOX	NEW STREET TREE SEE SHEET L-3 DETAIL A.
2		ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY TREE	2	24" BOX.	NEW TREE SEE SHEET L-3 DETAIL A.
3		STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	1	15 GAL. MULTI	NEW TREE SEE SHEET L-3 DETAIL A.
E1		STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	2	(2) (3'X6')	EXISTING TO REMAIN.

## SHRUBS:

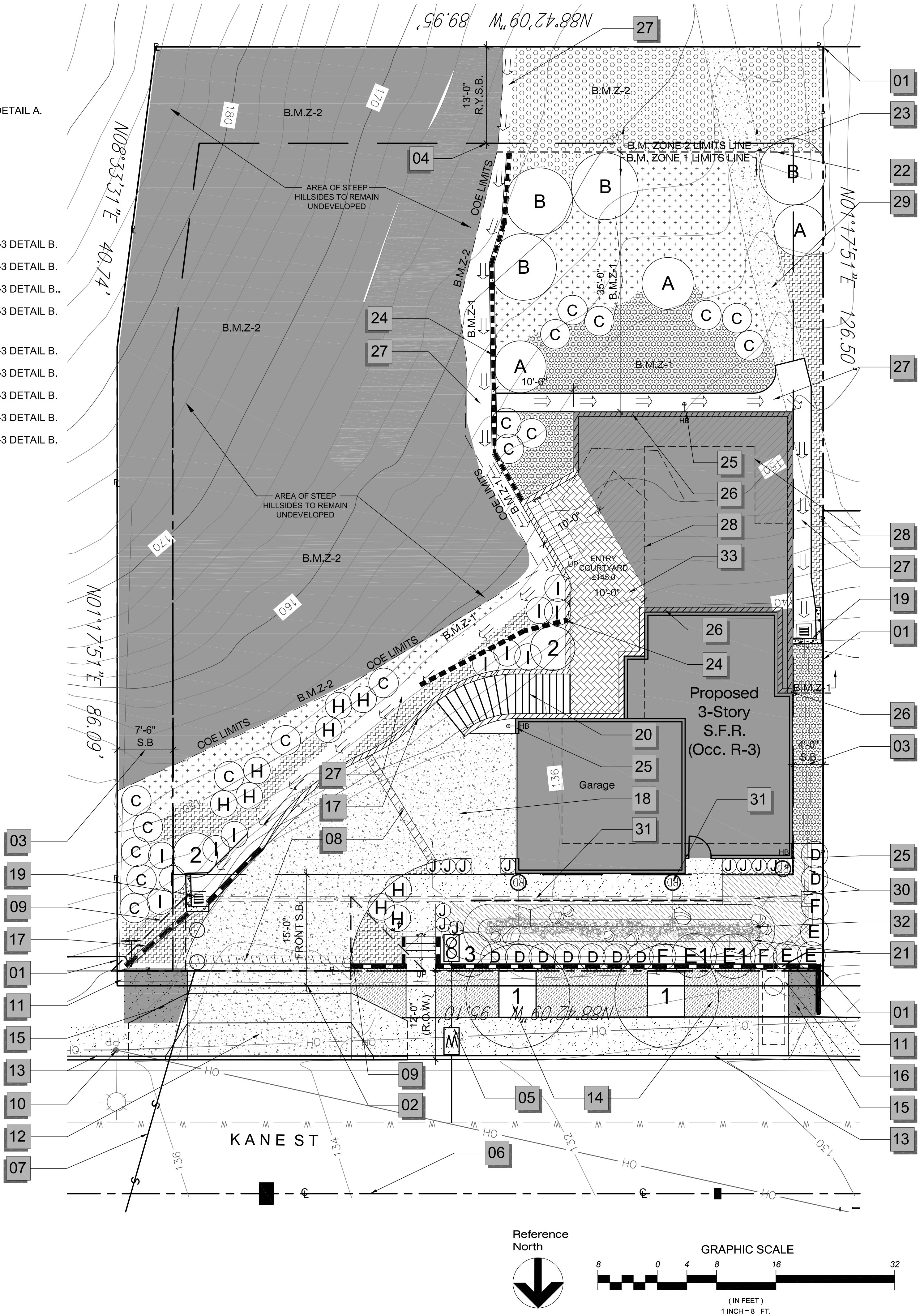
A	MELALEUCA NESOPHILA	PINK MELALEUCA	3	5 GAL. SPACED @ 60" O.C.	NEW SEE SHEET L-3 DETAIL B.
B	RHUS INTEGRIFOLIA	LEMONADEBERRY	4	5 GAL. SPACED @ 52" O.C.	NEW SEE SHEET L-3 DETAIL B.
C	ECHIUUM CANDICANS	PRIDE OF MADERA	17	5 GAL. SPACED @ 48" O.C.	NEW SEE SHEET L-3 DETAIL B..
D	WESTRINGIA FRUTICOSA	'BLUE GEM' COAST ROSEMARY	9	5 GAL. SPACED @ 36" O.C.	NEW SEE SHEET L-3 DETAIL B.
E	CISTUS PURPUREA	ROCKROSE	3	1 GAL. SPACED @ 32" O.C.	NEW SEE SHEET L-3 DETAIL B.
F	PHORMIUM X HYBRID	'DUSKY CHIEF'	4	5 GAL. SPACED @ 36" O.C.	NEW SEE SHEET L-3 DETAIL B.
H	AGAVE ATTENUATTA SPP.	FOXTAIL AGAVE	9	5 GAL SPACED @ 30" O.C.	NEW SEE SHEET L-3 DETAIL B.
I	KNIPHOFIA UVARIA	RED-HOT-POKER	11	1 GAL. SPACED @ 24" O.C.	NEW SEE SHEET L-3 DETAIL B.
J	BUXUS MICROPHYLLA	JAPANESE BOXWOOD	11	1 GAL. SPACED @ 24" O.C.	NEW SEE SHEET L-3 DETAIL B.

## GROUNDCOVERS:

	ROSEMARINUS OFFICINALIS	'PROSTRATE' ROSEMARY	6" POTS SPACED @ 24" O.C.	NEW SEE SHEET L-3 DETAIL C.
	BACCHARIS PILULARIS 'PIGEON POINT'	BLUE DWARF COYOTE BRUSH	1 GAL. SPACED @ 72" O.C.	NEW SEE SHEET L-3 DETAIL C.
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK BEARBERRY 'P. REYES' 4" POT SPACED @ 48" OC.		NEW SEE SHEET L-3 DETAIL C.
	DELTA BLUE GRASS CO.	"BIOFILTRATION SOD"	+/- 325 SQ. FT.	NEW PROPOSED MEADOWS.
	STENOTAPHRUM SECUDATUM	ST. AUGUSTINE (LAWN)	+/- 270 SQ. FT. FLATS	NEW PROPOSED R.O.W. LAWN.
	VEGETATION 'CHAPARRAL'	NATIVE SAN DIEGO CHAPARRAL	EXISTING.	EXISTING TO REMAIN.
NOTED: RHUS SP., ICE PLANT SP.				

## GENERAL LEGEND

ITEM	DESCRIPTION	
01	PROPERTY LINE.	17
02	15' FRONT SETBACK LINE.	18
03	SIDE SETBACK LINE.	19
04	13' REAR SETBACK LINE.	20
05	NEW PROPOSED WATER METER/1" BACKFLOW PREVENTER. PER ENGINEERING PLANS.	21
06	STREET CENTER LINE.	22
07	SEWER LINE EXISTING TO REMAIN.	23
08	NEW PROPOSED 12" TRENCH DRAIN PER ENGINEERING PLANS.	24
09	NEW PROPOSED VISIBILITY TRIANGLE DRIVEWAY. PER ENGINEERING PLANS.	25
10	UTILITY POLE EXISTING TO REMAIN.	26
11	NEW PROPOSED C.M.U. WALL WITH CONCRETE STEPS LESS THAN 3' HT. FOR 12'-0" RIGHT-OF-WAY CLEARANCE PER ENGINEERING PLANS.	27
12	NEW PROPOSED DRIVEWAY CUT. PER ENGINEERING PLANS.	28
13	EXISTING CURB SIDE AND 5' WIDE SIDEWALK TO REMAIN.	29
14	NEW PROPOSED STREET TREE/PARKWAY LAWN LOCATION .	30
15	NEW PROPOSED CONCRETE SIDEWALK EXTENTION FOR R.O.W. PER ENGINEERING PLAN.	31
16	NEW PROPOSED CURB OUTLET. PER ENGINEERING PLANS.	32
		33
		34





SAN DIEGO MUNICIPAL CODE  
142.0412 - BRUSH MANAGEMENT

TABLE 142-04H		
	STANDARD WIDTH	PROVIDED WIDTH
ZONE ONE	35-FEET	35-FEET
ZONE TWO	65-FEET	37-9 FEET



(F) THE ZONE TWO WIDTH MAY BE DECREASED BY 1-1/2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH.

(G) ZONE ONE REQUIREMENTS:

(1) THE REQUIRED ZONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.

(2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCE, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITBLE GAZEBO THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ONE SHALL BE OF NON-COMBUSTABLE, ONE HOUR FIRE-RATED OF HEAVY TIMBER CONSTRUCTION.

(3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTANCE.

(4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.

(5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:

(A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR

(B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.

(6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.

(7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

(H) ZONE TWO REQUIREMENTS

(1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.

(2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.

(3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO HEIGHT OF 6 INCHES.

(4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE ARE PRUNED.

(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

(A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTANCE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.

(B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THE LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF THE FIRE THROUGH LADDER FUELINE.

(C) ALL NEW ZONE TWO PLANTINGS SHALL IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.

SAN DIEGO LANDSCAPE STANDARDS  
SECTION III - BRUSH MANAGEMENT

3-1 BRUSH MANAGEMENT - DESCRIPTION

FIRE SAFETY IN THE LANDSCAPE IS ACHIEVED BY REDUCING THE READILY FLAMMABLE FUEL ADJACENT TO STRUCTURES. THIS CAN BE ACCOMPLISHED BY PRUNING AND THINNING OF NATIVE AND NATURALIZED VEGETATION, REVEGETATION WITH LOW FUEL VOLUME PLANTINGS OR A COMBINATION OF THE TWO. IMPLEMENTING BRUSH MANAGEMENT IN A ENVIRONMENTALLY APPROPRIATE MANNER REQUIRES A REDUCTION IN THE AMOUNT AND CONTINUITY OF HIGHLY FLAMMABLE FUEL WHILE MAINTAINING PLANT COVERAGE FOR SOIL PROTECTION. SUCH A TRANSITION WILL MINIMIZE THE VISUAL, BIOLOGICAL AND EROSION IMPACTS WHILE REDUCING THE RISKS OF WILDLAND FIRES.

3-2 BRUSH MANAGEMENT - REQUIREMENTS

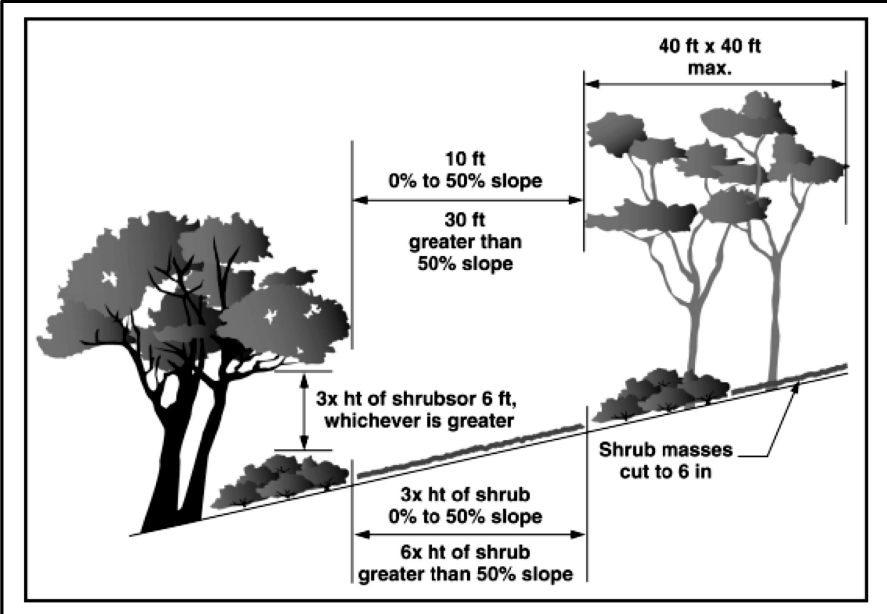
3-2-1 BASIC REQUIREMENTS - ALL ZONES

3-2-1.01 FOR ZONE TWO, PLANTS SHALL NOT BE CUT BELOW SIX INCHES.

3-2-1.02 DEBRIS AND TRIMMINGS PRODUCED BY THINNING AND PRUNING SHALL BE REMOVED FROM THE SITE OR IF LEFT, SHALL BE CONVERTED INTO MULCH BY A CHIPPING MACHINE AND EVENLY DISPERSED, NON-IRRIGATED, TO A MAXIMUM DEPTH OF 6 INCHES.

3-2-1.03 TREES AND LARGE TREE FORM SHRUBS (E.G. OAKS, SUMAC, TOYON) WHICH ARE BEING RETAINED SHALL BE PRUNED TO PROVIDE CLEARANCE OF THREE TIMES THE HEIGHT OF THE UNDER STORY PLANT MATERIAL OR SIX FEET WHICHEVER IS HIGHER (**FIGURE 3-1**) DEAD AND EXCESSIVELY TWIGGY SHALL ALSO BE REMOVED.

**FIGURE 3-1**  
PRUNING TREES TO PROVIDE CLEARANCE FOR BRUSH MANAGEMENT



3-2-1.04 ALL PLANTS OR PLANT GROUPING EXCEPT CACTI, SUCCULENTS, TREES AND TREE-FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT PLANTS (**FIGURE 3-1**).

3-2-1.05 MAXIMUM COVERAGE AND AREA LIMITATIONS AS STATED HEREIN SHALL NOT APPLY TO INDIGENOUS NATIVE TREE SPECIES (I.E. PINUS, QUERCUS, PLATANUS, SALIX AND POLULUS).

3-2-2 ZONE 1 REQUIREMENTS - ALL STRUCTURES

3-2-2.01 DO NOT USE, AND REMOVE IF NECESSARY, HIGHLY FLAMMABLE PLANT MATERIALS (SEE **APPENDIX "B"**).

3-2-2.02 TREES SHOULD NOT BE LOCATED ANY CLOSER TO A STRUCTURE THAN A DISTANCE EQUAL TO THE TREE'S MATURE SPREAD.

3-2-2.03 MAINTAIN ALL PLANTINGS IN A SUCCULENT CONDITION.

3-2-2.04 NON-IRRIGATED PLANT GROUPINGS OVER SIX INCHES IN HEIGHT MAY BE RETAINED PROVIDED THEY DO NOT EXCEED 100 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 10 PERCENT OF THE TOTAL ZONE 1 AREA.

3-2-3 ZONE 2 REQUIREMENTS - ALL STRUCTURES

3-2-3.01 INDIVIDUAL NON-IRRIGATED PLANT GROUPINGS OVER 24 INCHES IN HEIGHT MAY BE RETAINED PROVIDED THEY DO NOT EXCEED 400 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 30 PERCENT OF THE TOTAL ZONE 2 AREA.

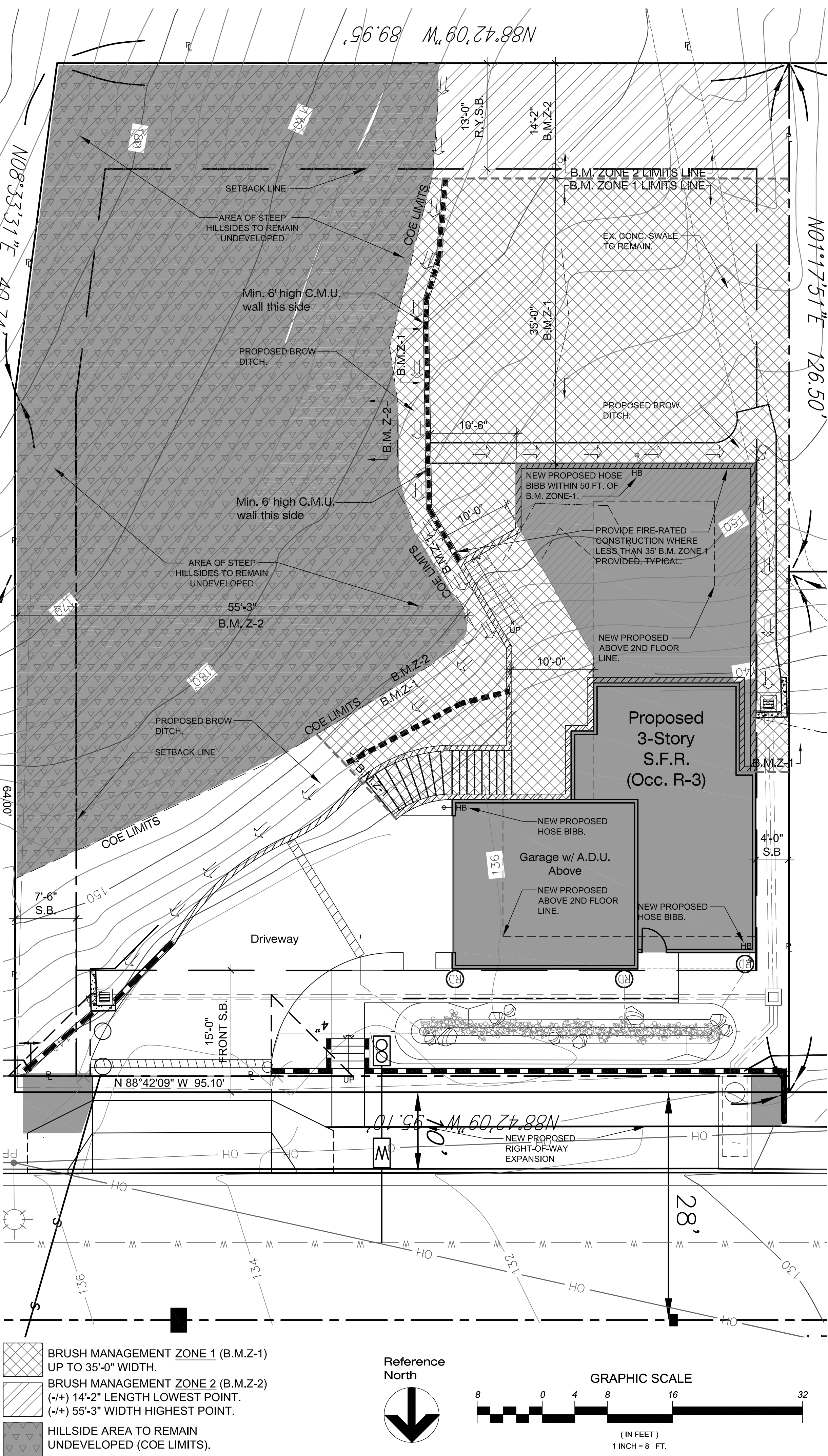
**BRUSH MANAGEMENT MAINTENANCE NOTES**

1. GENERAL MAINTENANCE- REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE ARE NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPES FAILURES. BECAUSE EACH PROPERTY IS UNIQUE ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, HOWEVER, PROPERTY OWNERS SHOULD EXCEPT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE: ZONE 1 : YEAR-ROUND COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

2. BRUSH MANAGEMENT ZONE 1- THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENT PLANTINGS SHOULD BE KEPT WELL WATERED AND IRRIGATION RUN-OFF SHOULD DRAIN TOWARD THE STREET. RAIN GUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTING, PARTICULARLY NON-IRRIGATED NATIVE AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.

3. BRUSH MANAGEMENT ZONE 2- SEASONAL MAINTENANCE IN THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS. REMOVAL OF WEEDS SHOULD NOT BE DONE WITH HAND TOOLS SUCH AS HOES, AS THIS DISTURBS VALUABLE SOIL. THE USE OF WEED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL. ON SLOPES ALL DRAINAGE DEVICES MUST BE KEPT CLEAR. RE-INSPECT AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BE BLOCK DRAINS. VARIOUS GROUNDCOVER SHOULD BE PERIODICALLY SHEARED AND DEAD REMOVED. DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES. FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH.

4. LONG-TERM MAINTENANCE RESPONSIBILITY- ALL LANDSCAPING/BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONE(S) AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF **MR. JON POWELL** [OWNER] THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.



Ballerino Design Associates, LLC  
P.O. BOX 122689  
SAN DIEGO, CA 92112-2689  
858-216-5241 TEL.  
WWW.BALLERINODESIGN.COM

Project Title:  
**POWELL  
RESIDENCE**  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

Sheet Title:  
**Brush  
Management  
Plan**

In Collaboration with:  
**BOTANICA  
LANDSCAPE DESIGN**  
PELLON LAY 619.379.6044

Revisions:  


Drawings Prepared By: **PL**  
Project No.: **2215**  
Drawn By: **Checked By:**  
Date: **11.27.2024**  
Sheet No.: **L-2**



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

Sheet Title:

Landscape  
Planting  
Details & Notes

In Collaboration with:



PELLON LAY 619.379.6044

Revisions:

Drawings Prepared By: PL

Project No.: 2215

Drawn By: Checked By:

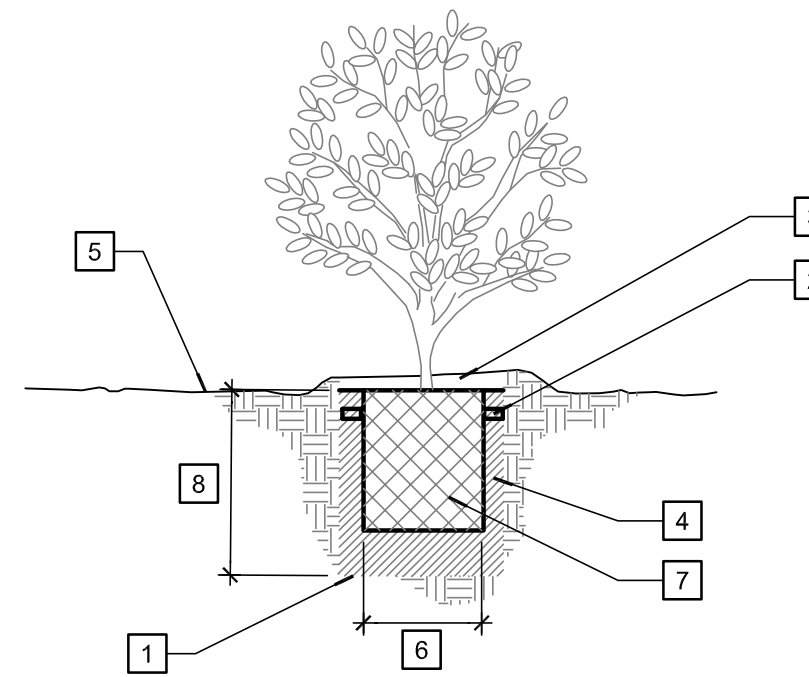
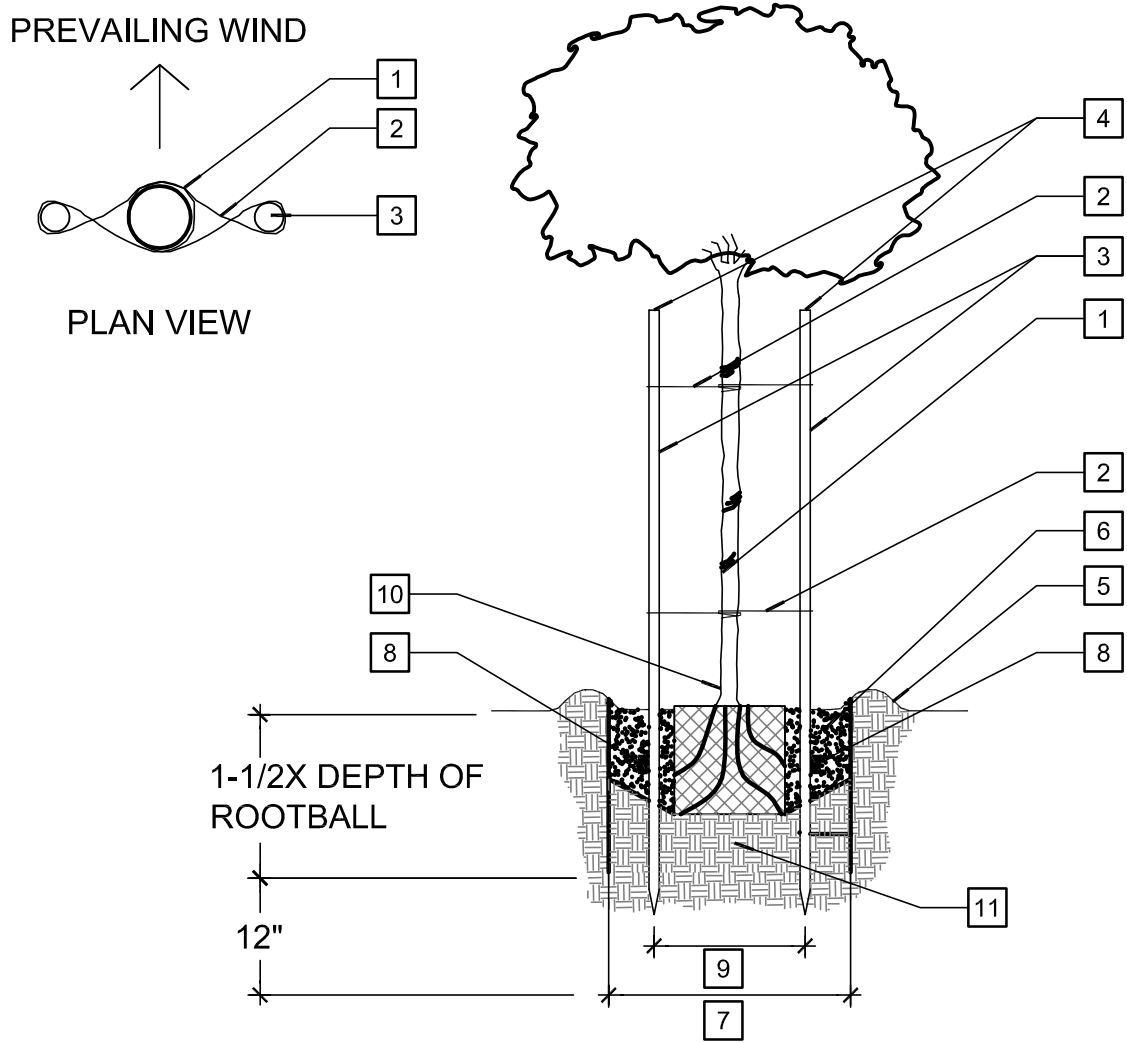
Date: 11.27.2024

Sheet No.:

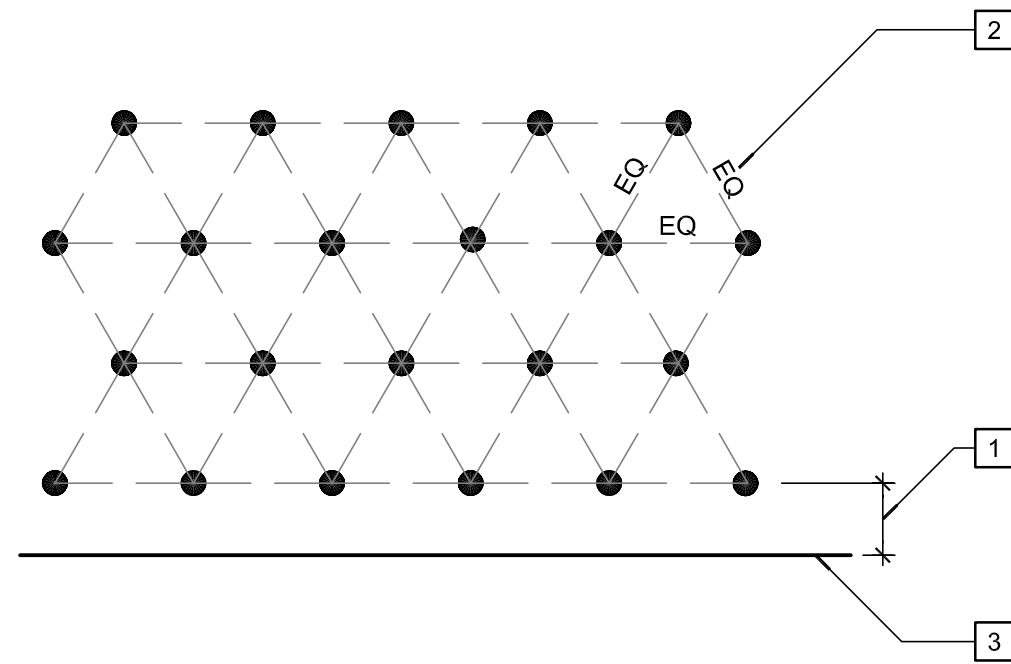
- 1 TREE/TREE TRUNK
- 2 (4) TREE TIES PER SPECS. SPACE AS SHOWN. INSTALL TREE TIES PER MANUFACTURER'S RECOMMENDATIONS.
- 3 (2) IN. DIA. X 10 FT. LONG LODGEPOLE PINE STAKES, SET PERPENDICULAR TO REVELING WINDS.
- 4 CUT TOP SECTION OFF STAKE 6" BELOW TREE CANOPY.
- 5 FINISH GRADE.
- 6 BACKFILL (SEE SPEC.) PUDDLE AND SETTLE SET TREE 2 IN. ABOVE FINISH GRADE.
- 7 2 X ROOTBALL DIAMETER.
- 8 PLANTS TABLETS. INSTALL PER MANUFACTURER/S SPECS.
- 9 PLACE STAKES OUTSIDE OF ROOTBALL.
- 10 SET CROWN 2 IN. ABOVE FINISH GRADE.
- 11 SUBGRADE.

NOTE:

- A) TREES 15 GALLON SIZE OR SMALLER PROVIDE SINGLE STAKE. CUT STAKE 6" BELOW TREE CANOPY.
- B) TREES 24 BOX SIZE OR LARGER PROVIDE DOUBLE STAKE. CUT 6" BELOW TREE CANOPY.
- C) TREES IN TURF AREA TO RECEIVE TREE TRUNK PROTECTOR BASE. SHALL BE "ARBORGARD" BY DEEP ROOT.



- 1 BACKFILL MIX WITH NATIVE SOIL. APPLY FERTILIZER TO SURFACE AWAY FROM TRUNK PER SPECS.
- 2 FERTILIZER TABLETS PER SPECS.
- 3 WATER RETENTION BASIN 4 IN. HIGH.
- 4 PUDDLE AND SETTLE BACKFILL PRIOR TO PLACEMENT OF SHRUB.
- 5 FINISH GRADE.
- 6 2X WIDTH OF ROOTBALL.
- 7 ROOTBALL.
- 8 MIN. 1-1/2X ROOTBALL DEPTH.



- 1 DISTANCE FROM EDGE OF PLANTER TO CENTER OF PLANT TO BE 1/2 THE SPECIFIED SPACING PER GROUNDCOVER.
- 2 EQUAL TRIANGULAR SPACING REQUIRED BETWEEN PLANTS (REFER TO PLANT LEGEND FOR ON CENTER SPACING).
- 3 EDGE OF PLANTING AREA.

A TREE DETAIL TYP.

NTS

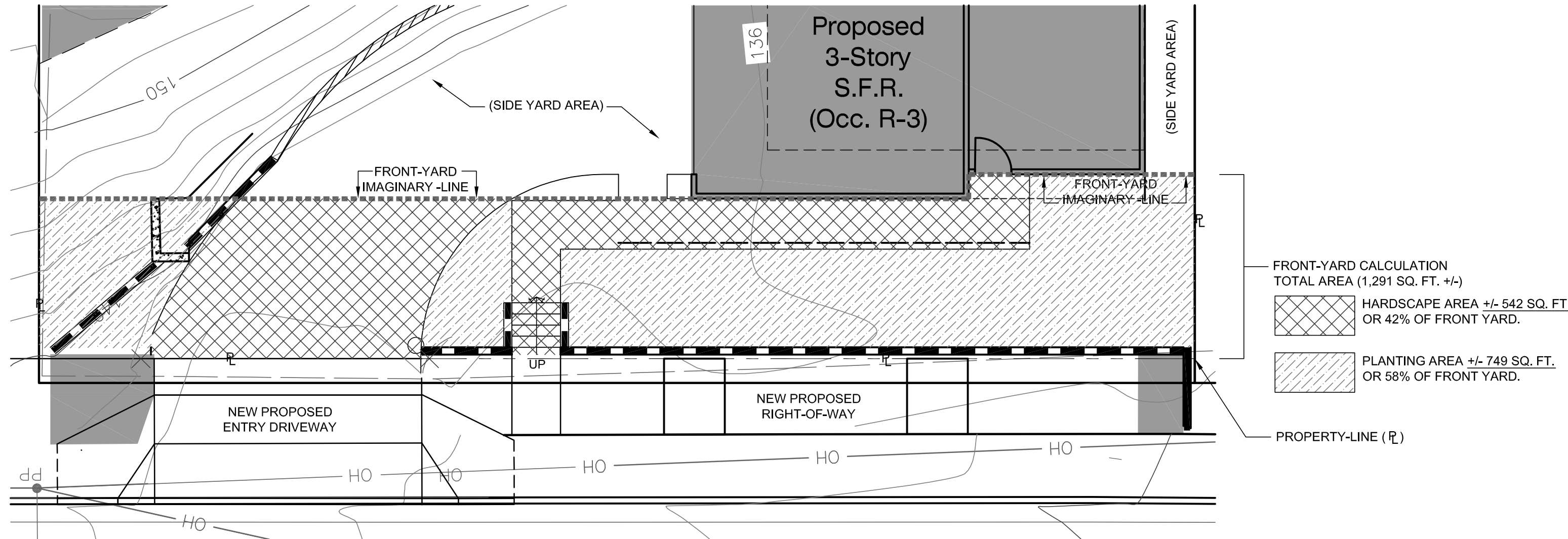
B SHRUB DETAIL TYP.

NTS

C GROUNDCOVER DETAIL TYP.

NTS

FRONT-YARD HARDSCAPE CALCULATIONS (SCALE 1IN = 8 FT.):



PLANTING NOTES

- 1) All landscape installation shall be in accordance with the City of San Diego's Land Development Manual Landscape Standards. Owner shall be responsible for the long-term maintenance of the project.
- 2) Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:
  - a) A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
  - b) Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
  - c) A tree watering schedule will be maintained and documented during construction.
  - d) All damaged trees will be replaced with one of equal or greater size.
- 3) \*Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring renegotiation per SDMC 142.0411\*
- 4) \*Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball." Please clearly identify the installation of root barriers in the locations subject to there conditions per 142.0403 9b).
- 5) All pruning shall comply with the standards of America national standards institute (ANSI) for tree care operations and the international society of horticulture (ISA) for tree pruning, topping of trees not permitted.
- 6) A minimum root zone of 40 SF. in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403 (b) (5)."
- 7) Trees shall be maintained so that all branches over pedestrian walkways are 6 ft. above the walkway grade and branches over vehicular travel ways are 16 ft. above the grade of the travel way per the San Diego Municipal Code 142.0403(b)(10).
- 8) An automatic electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design shall provide adequate support for the vegetation selected.' also, indicate the type(s) of irrigation system(s) proposed;i.e. spray, drip, etc.
- \*Maintenance: All required landscape areas shall be maintained by JON POWELL (homeowner). Landscape and irrigation areas in the public-right-of-way shall be maintained by JON POWELL (homeowner). The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactory treated or replaced per the conditions of the permit."

MINIMUM TREE SEPARATION DISTANCE:

- Improvement/ Minimum Distance to Street Tree
  - Traffic signals / stop sign - 20 feet.
  - Underground utility lines -5 feet.
  - Above ground utility structures -10 feet.
  - Driveway (entries) -10 feet.
  - Intersections (intersecting curb lines of two streets) -25 feet.
  - Sewer Lines -10 feet.



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

Revisions:

SDP/TM PLANCHECK CORRECTIONS 05.16.2022	1
SDP/TM RE-SUBMITTAL 04.21.2023	2
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SDP/TM RE-SUBMITTAL 05.10.2024	5
SDP/TM RE-SUBMITTAL 08.15.2024	6
SDP/TM RE-SUBMITTAL 10.11.2024	7

Sheet Title:

Floor Plan  
1st Level

Signatures:

Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino

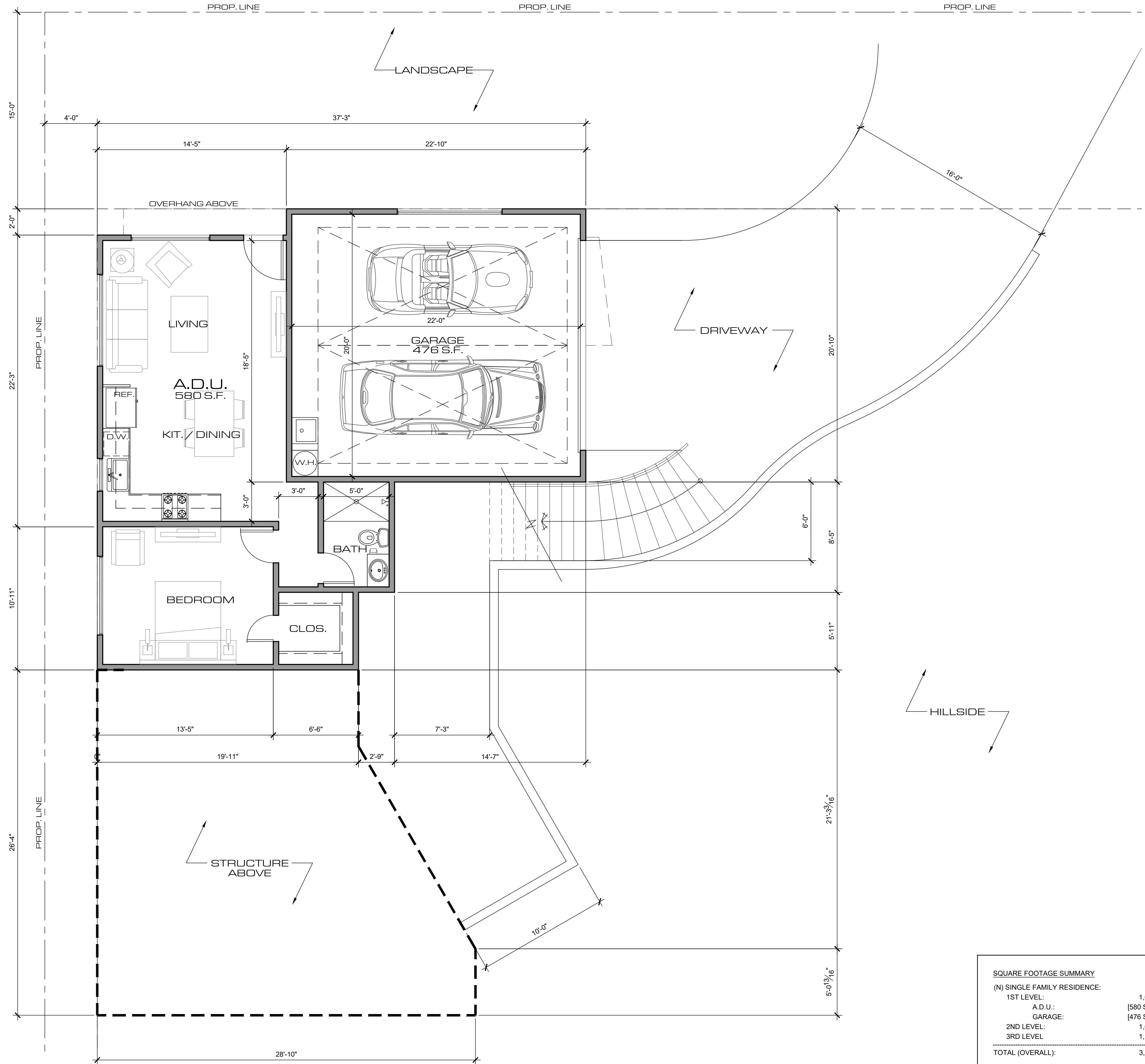
Project No.: 20019

Drawn By: DB Checked By: DB

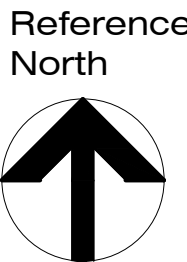
Date: 08.01.2021

Sheet No.:

A-1



SQUARE FOOTAGE SUMMARY	
(N) SINGLE FAMILY RESIDENCE:	
1ST LEVEL:	1,056 SF
A.D.U.:	[580 SF]
GARAGE:	[476 SF]
2ND LEVEL:	1,604 SF
3RD LEVEL:	1,155 SF
TOTAL (OVERALL):	3,815 SF



Floor Plan - 1st Level

SCALE  
1/4"=1'-0"

1



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

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SDP/TM RE-SUBMITTAL 05.10.2024	5
SDP/TM RE-SUBMITTAL 08.15.2024	6
SDP/TM RE-SUBMITTAL 10.11.2024	7

Sheet Title:

Floor Plan  
2nd Level

Signatures:

Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino

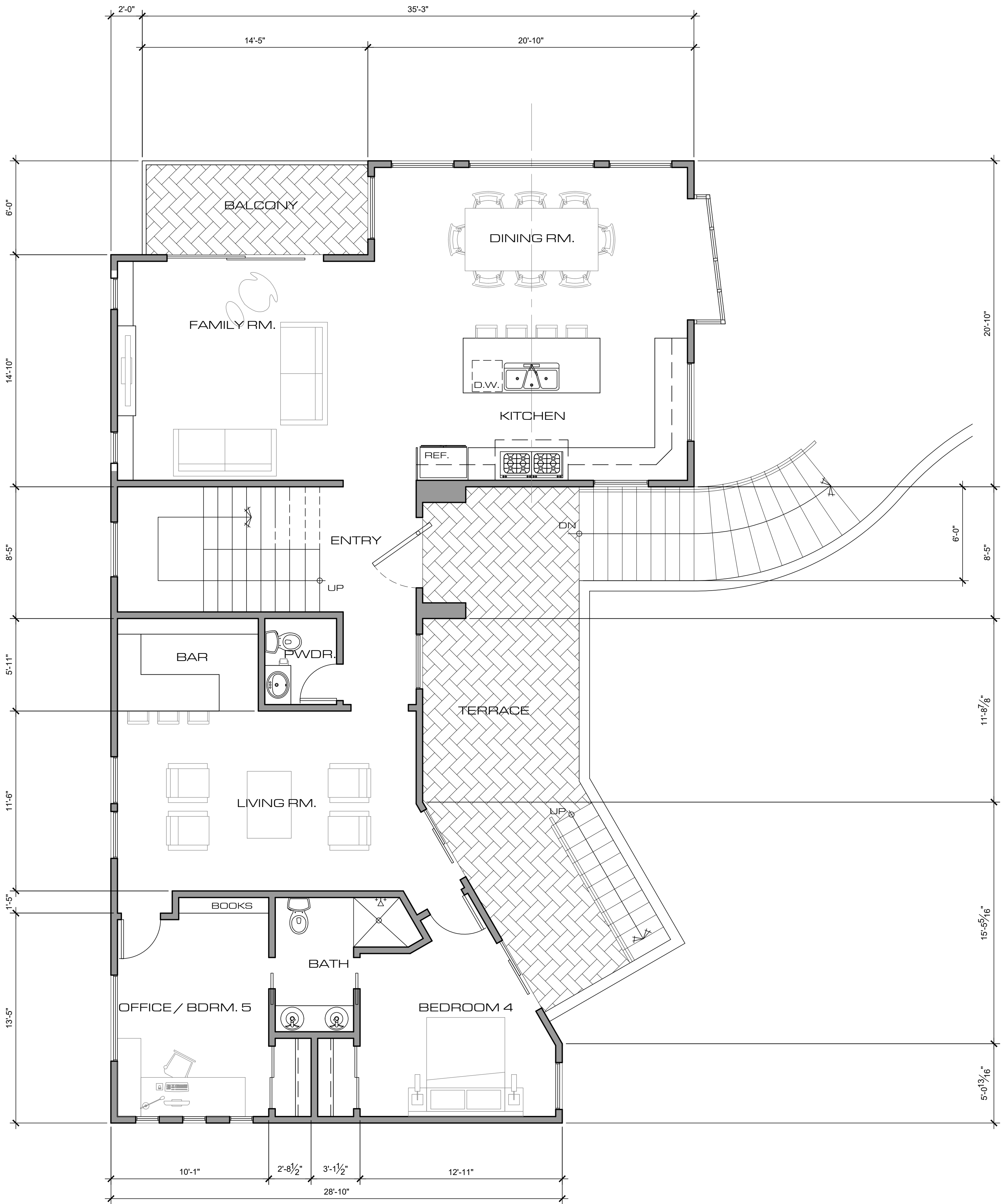
Project No.: 20019

Drawn By: DB Checked By: DB

Date: 08.01.2021

Sheet No.:

A-2



SQUARE FOOTAGE SUMMARY	
(N) SINGLE FAMILY RESIDENCE:	
1ST LEVEL:	1,056 SF
A.D.U.:	[580 SF]
GARAGE:	[476 SF]
2ND LEVEL:	1,604 SF
3RD LEVEL:	1,155 SF
TOTAL (OVERALL):	3,815 SF



Floor Plan - 2nd Level

SCALE  
1/4"=1'-0"

1



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

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SDP/TM RE-SUBMITTAL 05.10.2024	5
SDP/TM RE-SUBMITTAL 08.15.2024	6
SDP/TM RE-SUBMITTAL 10.11.2024	7

Sheet Title:

Floor Plan  
3rd Level

Signatures:

Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino

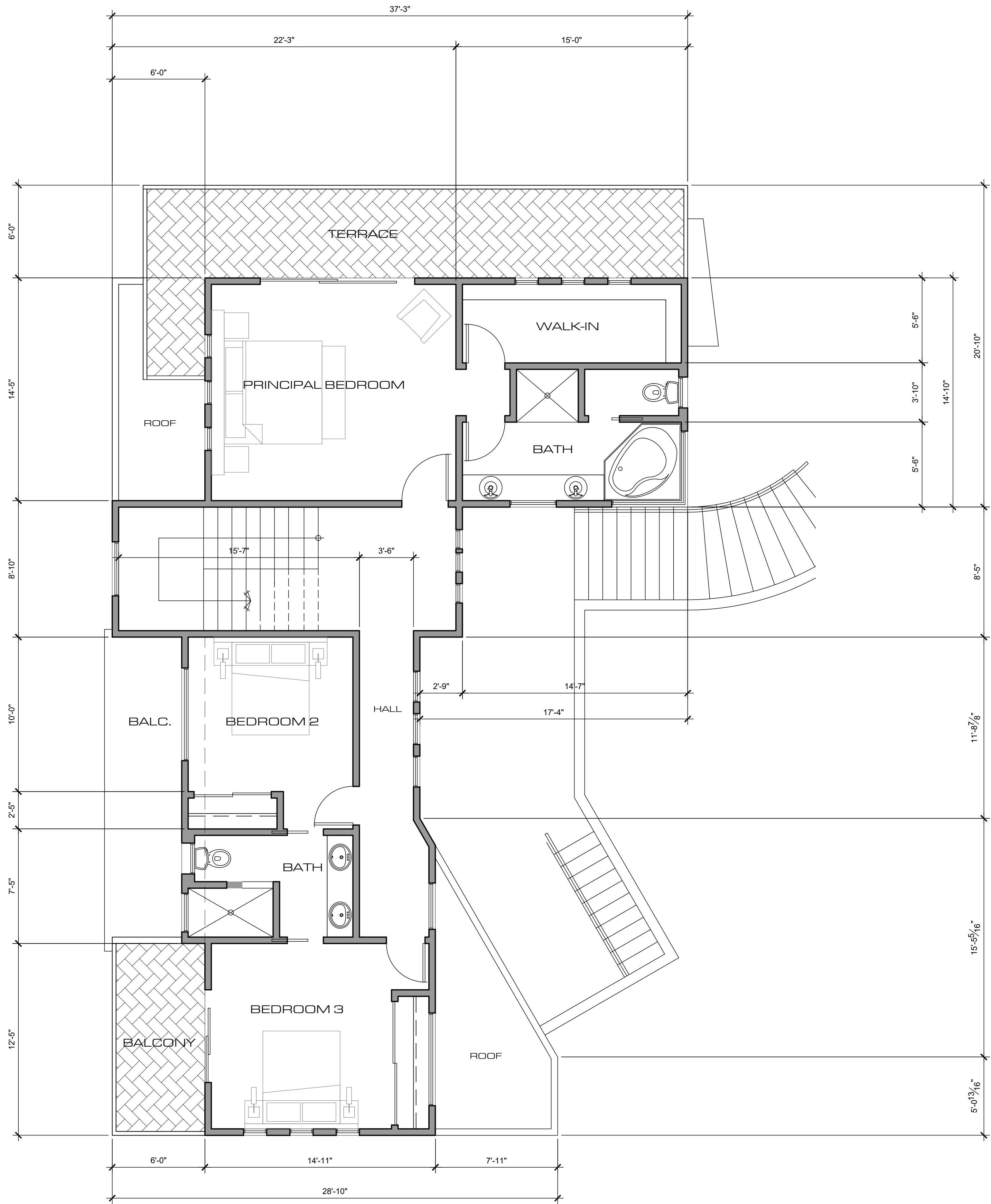
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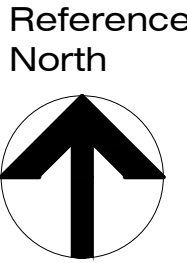
Date: 08.01.2021

Sheet No.:

A-3



SQUARE FOOTAGE SUMMARY	
(N) SINGLE FAMILY RESIDENCE:	
1ST LEVEL:	1,056 SF
A.D.U.:	[580 SF]
GARAGE:	[476 SF]
2ND LEVEL:	1,604 SF
3RD LEVEL:	1,155 SF
TOTAL (OVERALL):	3,815 SF



Floor Plan - 3rd Level

SCALE  
1/4"=1'-0"

1



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

Revisions:

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SDP/TM RE-SUBMITTAL 05.10.2024	5
SDP/TM RE-SUBMITTAL 08.15.2024	6
SDP/TM RE-SUBMITTAL 10.11.2024	7

Sheet Title:

Roof Plan

Signatures:

Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino

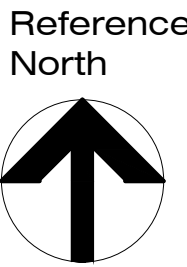
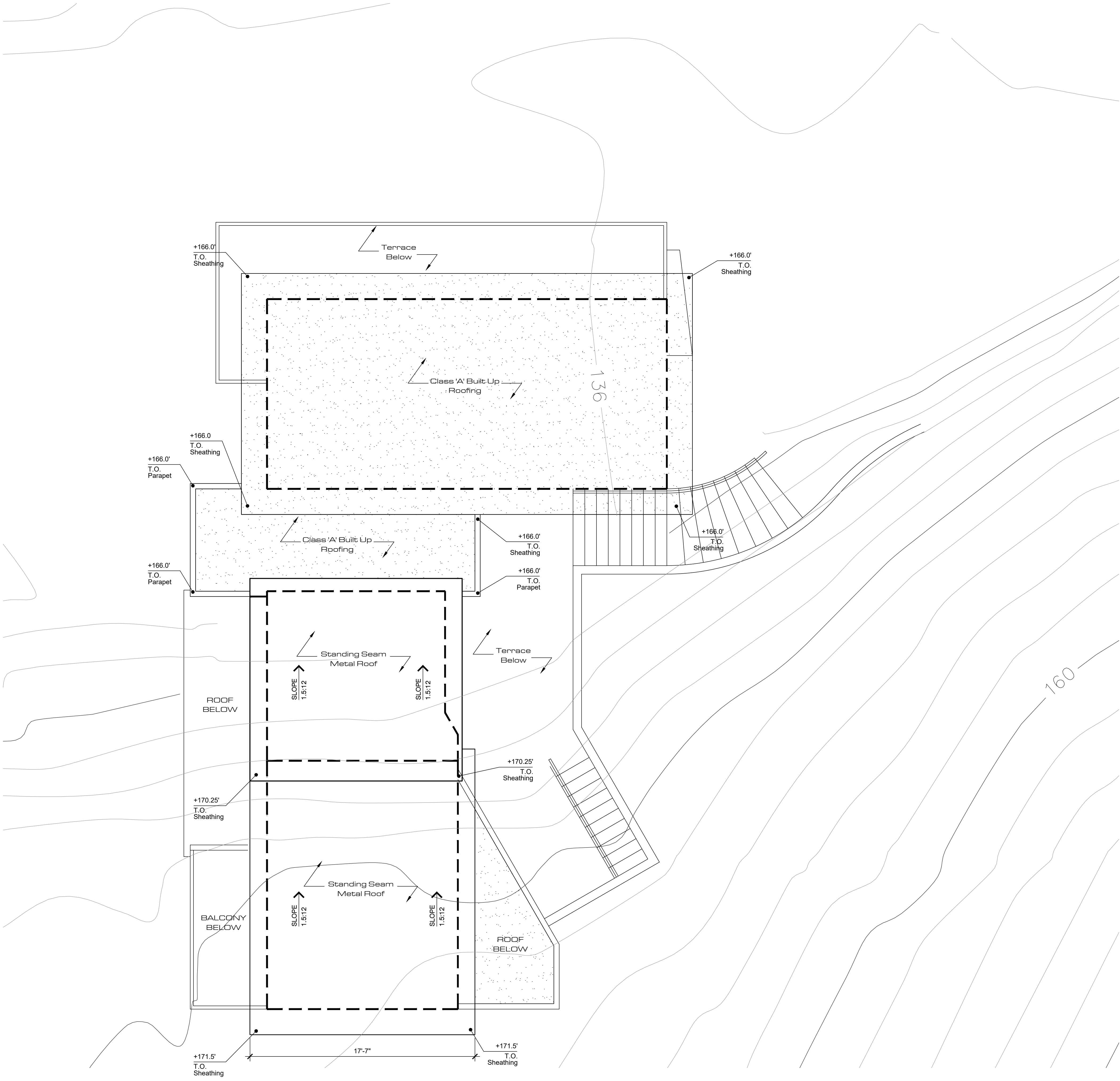
Project No.: 20019

Drawn By: DB Checked By: DB

Date: 08.01.2021

Sheet No.:

A-4



Roof Plan

SCALE  
1/4"=1'-0"

1



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

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SDP/TM RE-SUBMITTAL 12.08.2023	4
SDP/TM RE-SUBMITTAL 05.10.2024	5
SDP/TM RE-SUBMITTAL 08.15.2024	6
SDP/TM RE-SUBMITTAL 10.11.2024	7

Sheet Title:

Exterior  
Elevations

Signatures:

Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino

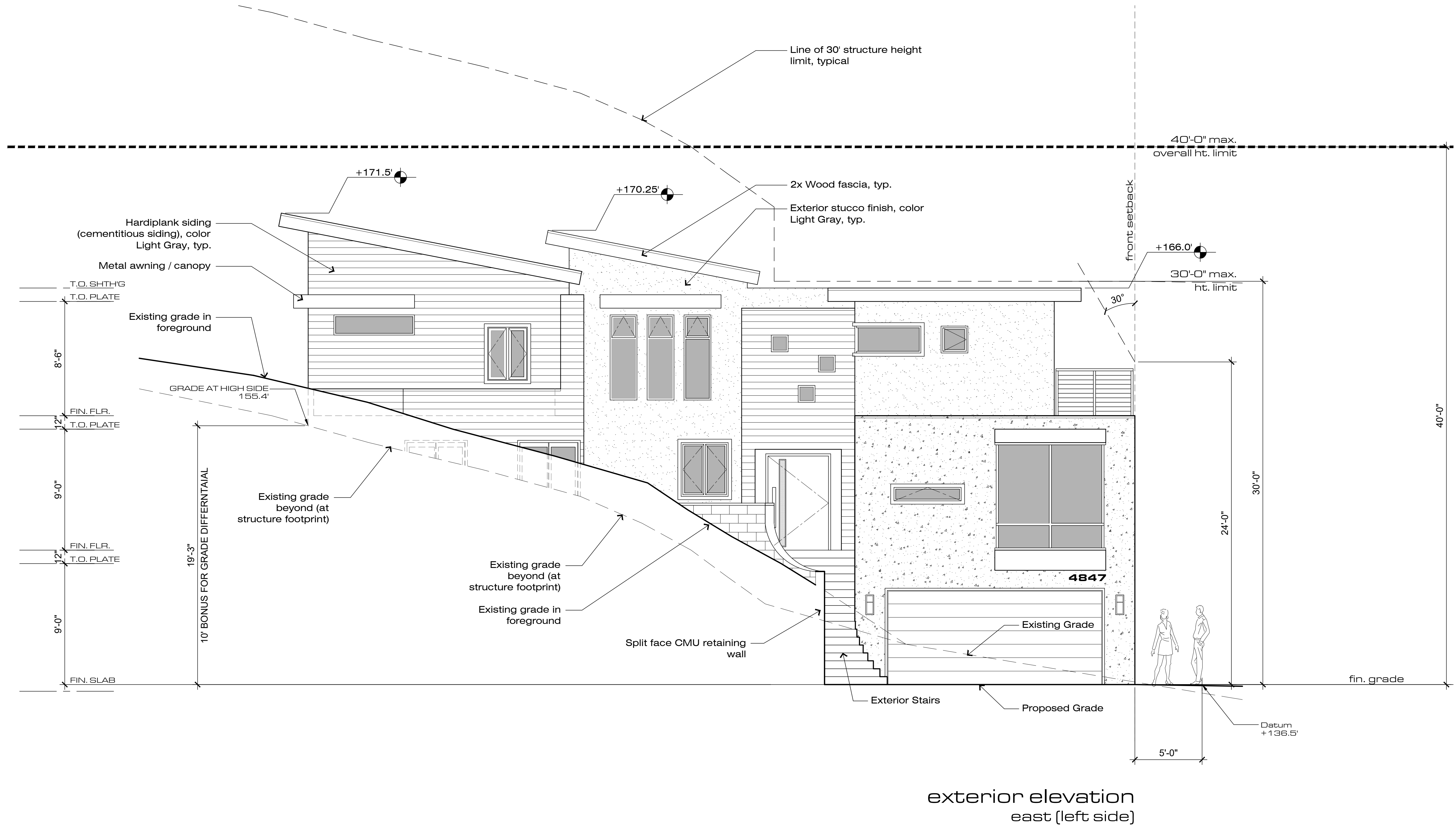
Project No.: 20019

Drawn By: DB Checked By: DB

Date: 08.01.2021

Sheet No.:

A-5



Exterior Elevations

SCALE  
1/4"=1'-0"








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416 W. SAN YSIDRO BLVD., #L-2207  
ASSOCIATES, LLC  
BALLERINO DESIGN  
SAN YSIDRO, CA 92173  
858.2165241 TEL.  
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POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

# Site Development Permit (S.D.P.)

SDP/TM. PLANCHCK CORRECTIONS	
05.16.2022	
SDP/TM RE-SUBMITTAL	
04.21.2023	
SDP/TM RE-SUBMITTAL	
10.05.2023	
SDP/TM RE-SUBMITTAL	
12.08.2023	
SDP/TM RE-SUBMITTAL	
05.10.2024	
SDP/TM RE-SUBMITTAL	
08.15.2024	
SDP/TM RE-SUBMITTAL	
10.11.2024	

## Exterior Elevations

Drawings Prepared By:

D. Ballerino  
Dominic F. Ballerino

Date: 08.01.2021

**A-6**





Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
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SDP/TM RE-SUBMITTAL 10.11.2024	7

Sheet Title:

Exterior  
Elevations

Signatures:

Drawings Prepared By:  
*D. Ballerino*  
Dominic F. Ballerino

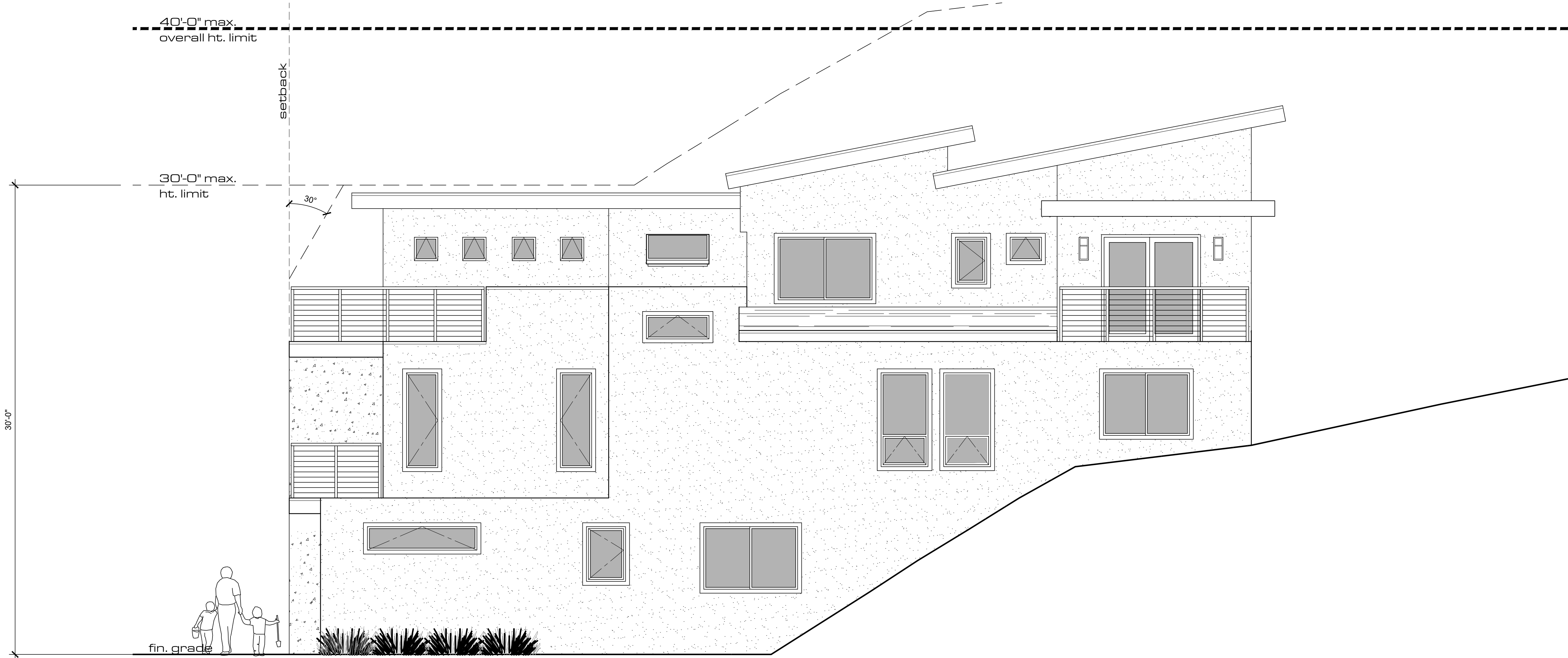
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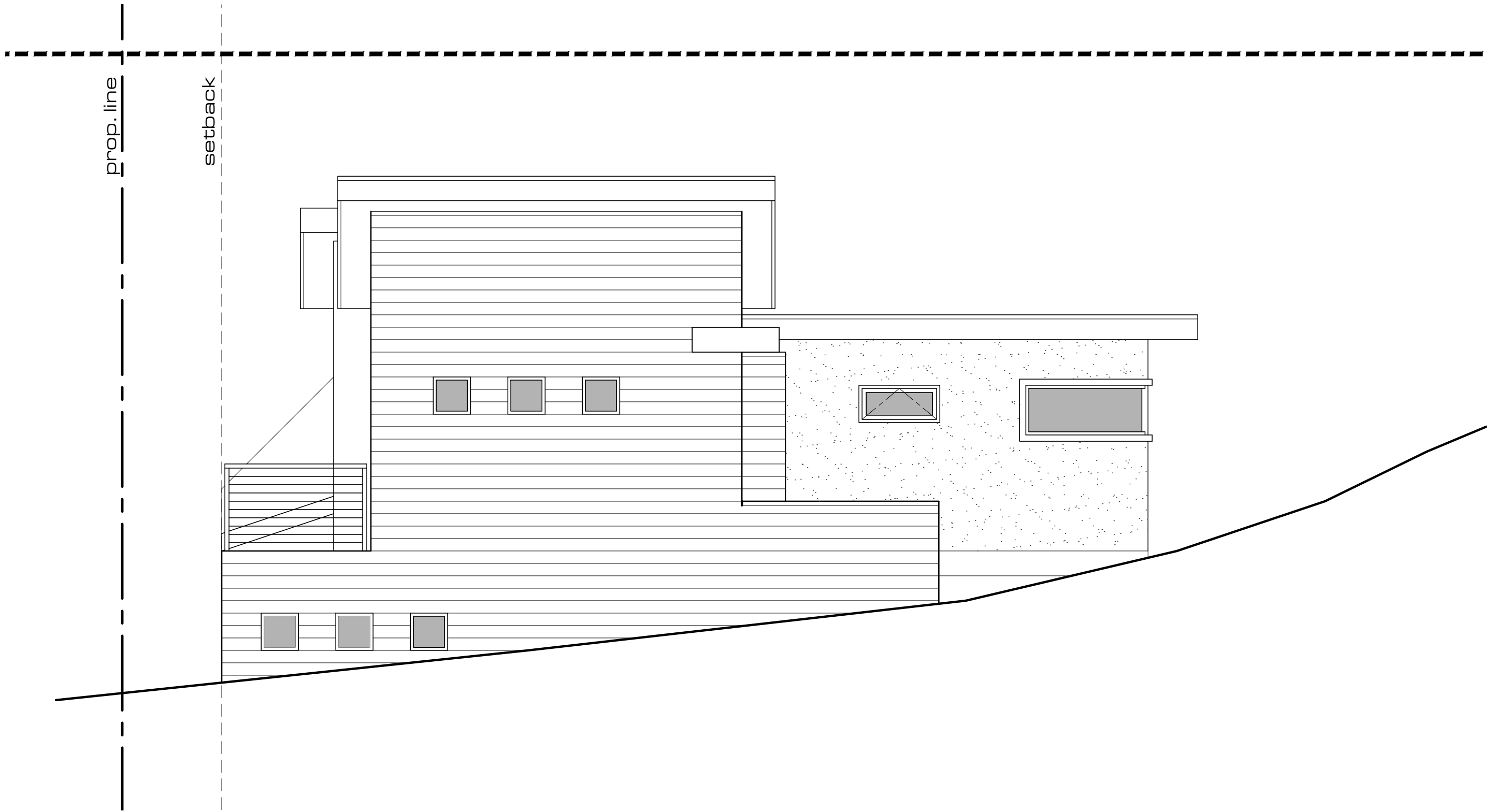
Date: 08.01.2021

Sheet No.:

A-7



exterior elevation  
west (right side)



exterior elevation  
south (rear)

Exterior Elevations

SCALE  
1/4"=1'-0"

1



LEGEND

- EXISTING BUILDING
- PROPERTY LINE/TM BOUNDARY
- PP • POWER POLE
- ⓔ ELECTRIC METER
- ⓖ GAS METER
- ⊗ VALVE (GAS/WATER)
- Ⓢ C.O. SEWER CLEANOUT
- W WATER METER
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- OH OVERHEAD WIRES
- G EXISTING GAS LINE
- W EXISTING WATER LINE
- S EXISTING SEWER LINE
- SD EXISTING STORM DRAIN LINE
- EXISTING BLOCK WALLS
- EXISTING RETAINING BLOCK WALLS
- AC PAVING
- CONCRETE
- DECORATIVE PAVING
- INDICATES FOUND LEAD & DISC MARKED "RCE 9822" PER MAP NO. 4911, UNLESS OTHERWISE NOTED
- INDICATES FOUND 3/4" IRON PIPE WITH DISC MARKED "RCE 9822" PER MAP NO. 4911, UNLESS OTHERWISE NOTED

GRADING NOTES

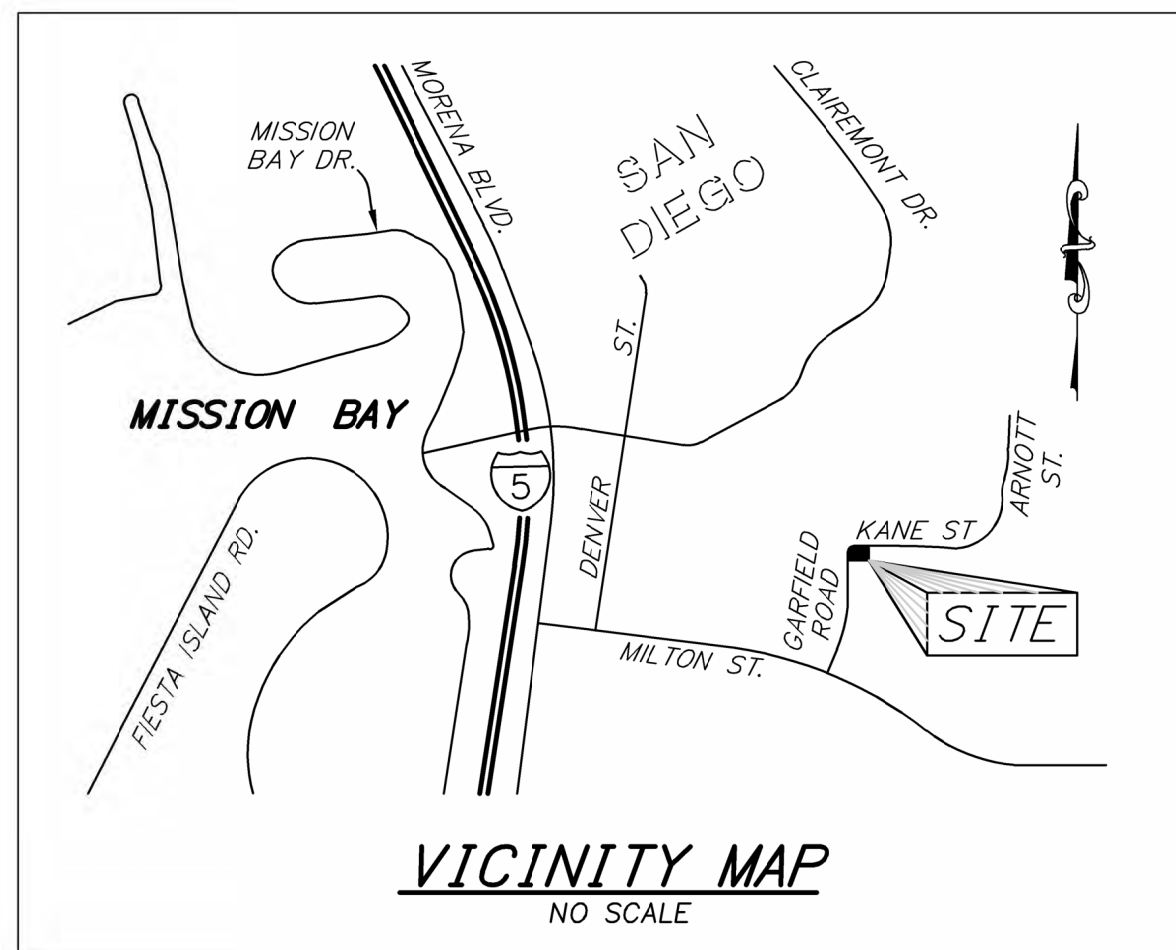
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

USE WHEN GRADING < 1 ACRE - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS

EARTHWORK

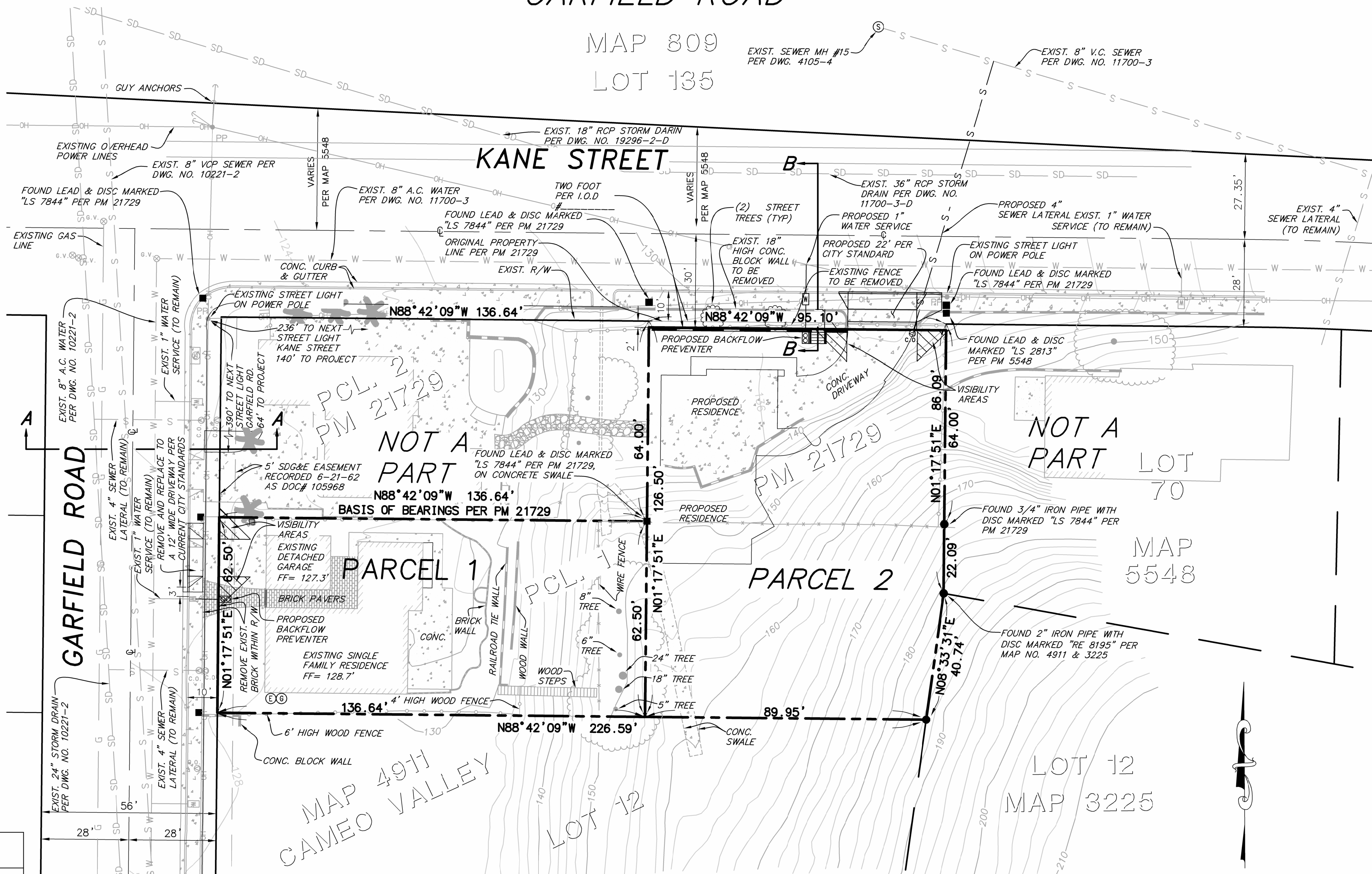
CUT: 103 C.Y.  
FILL: 195 C.Y.  
EXPORT: 92 C.Y.

SITE UTILITIES	
UTILITY COMPANY	CURRENT STATUS
SDG&E --- ELECTRIC	OVERHEAD
COX --- TELEPHONE	OVERHEAD
COX --- CABLE	OVERHEAD



TENTATIVE MAP NO. 2408282  
GARFIELD ROAD

MAP 809  
LOT 135



LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP 21729, IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY OCTOBER 10, 2019.

OWNER

POWELL FAMILY TRUST  
DATED MAY 17, 2011  
2343 GARFIELD ROAD  
SAN DIEGO, CA 92110  
(858) 414-6444

BY: JONATHAN POWELL, TRUSTEE  
BY: LINDA MARIE POWELL, TRUSTEE

NUMBER OF EXISTING PARCELS = 1

NUMBER OF PROPOSED PARCELS = 2

ZONING

BASE ZONE: RS-1-7 NO CHANGES PROPOSED  
COMMUNITY PLAN NAME: CLAIREMONT MESA

ASSESSOR'S PARCEL NUMBER

430-820-13 AND 430-820-28

TOTAL MAP AREA

PARCEL 1 - 8,540.27 SF/0.19 AC  
PARCEL 2 - 11,925.57 SF/0.27 AC

BASIS OF BEARINGS

THE SOUTHERLY LINE OF PARCEL 2 OF PARCEL MAP 21729

N88°42'09"W

BENCHMARK

BENCH MARK FOR THIS SURVEY IS CITY OF SAN DIEGO ENGINEERING DEPARTMENT VERTICAL CONTROL MONUMENT, #12945, A BRASS PLUG AT THE SOUTHEASTERLY RETURN OF MILTON STREET AND ILLION STREET.

ELEVATION: 163.777'

DATUM: NGVD 29

PROJECT DESCRIPTION

THIS PROJECT IS PROPOSING THE CREATION OF (2) TWO PARCELS. THE OFF-SITE IMPROVEMENT IS THE CONSTRUCTION OF A RESIDENTIAL TYPE DRIVEWAY. ANY NEW ON-SITE UTILITIES WILL BE UNDERGROUNDED. THE PARCEL 2 SITE IS CURRENTLY VACANT.

MAPPING NOTE

ALL PROPERTY CORNERS WILL BE SET AND A TWO LOT PARCEL MAP WILL BE FILED UPON APPROVAL OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.

SURVEYOR

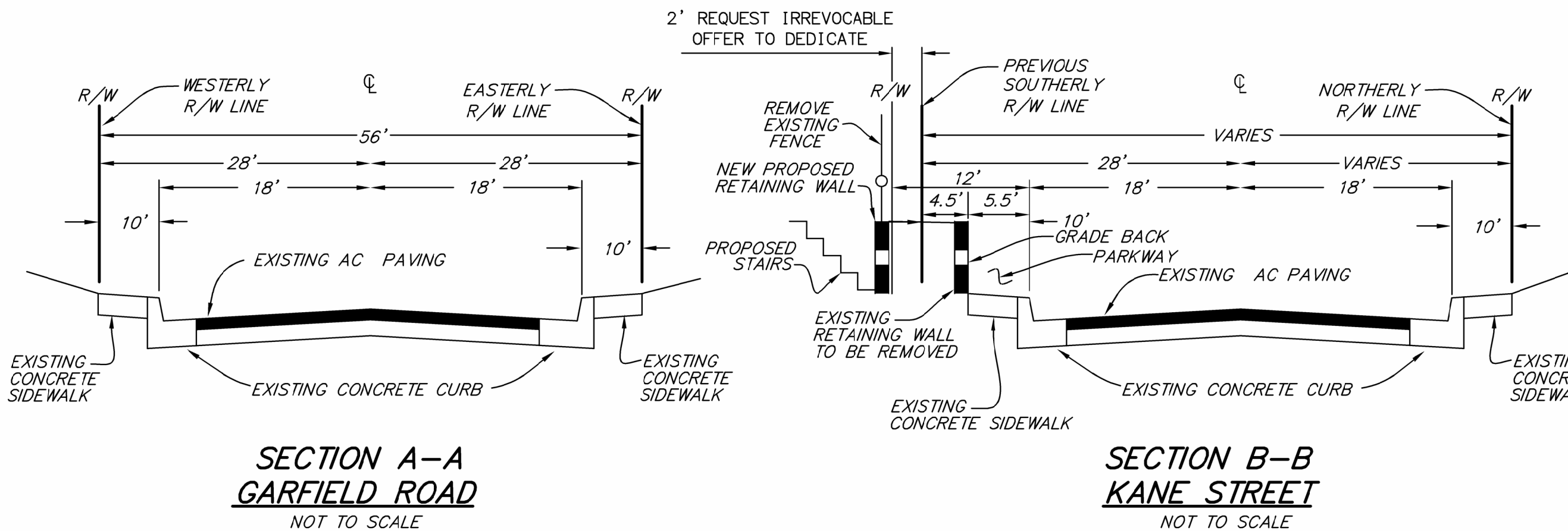
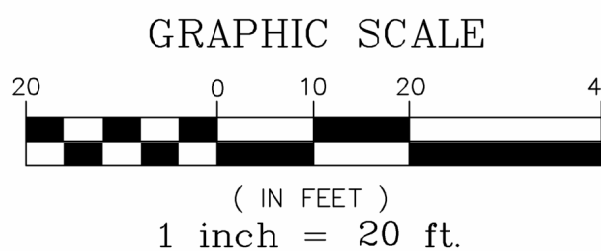
KAPPA SURVEYING & ENGINEERING, INC.  
8402 N. MAGNOLIA AVE. STE C  
SANTEE, CA 92071  
TELEPHONE: (619) 449-2600

09/08/2023  
DATE  
ALLEN R.A. TURNER III, PLS  
REGISTRATION NUMBER: L.S. 7844  
EXPIRATION DATE: EXP. 12/31/2024

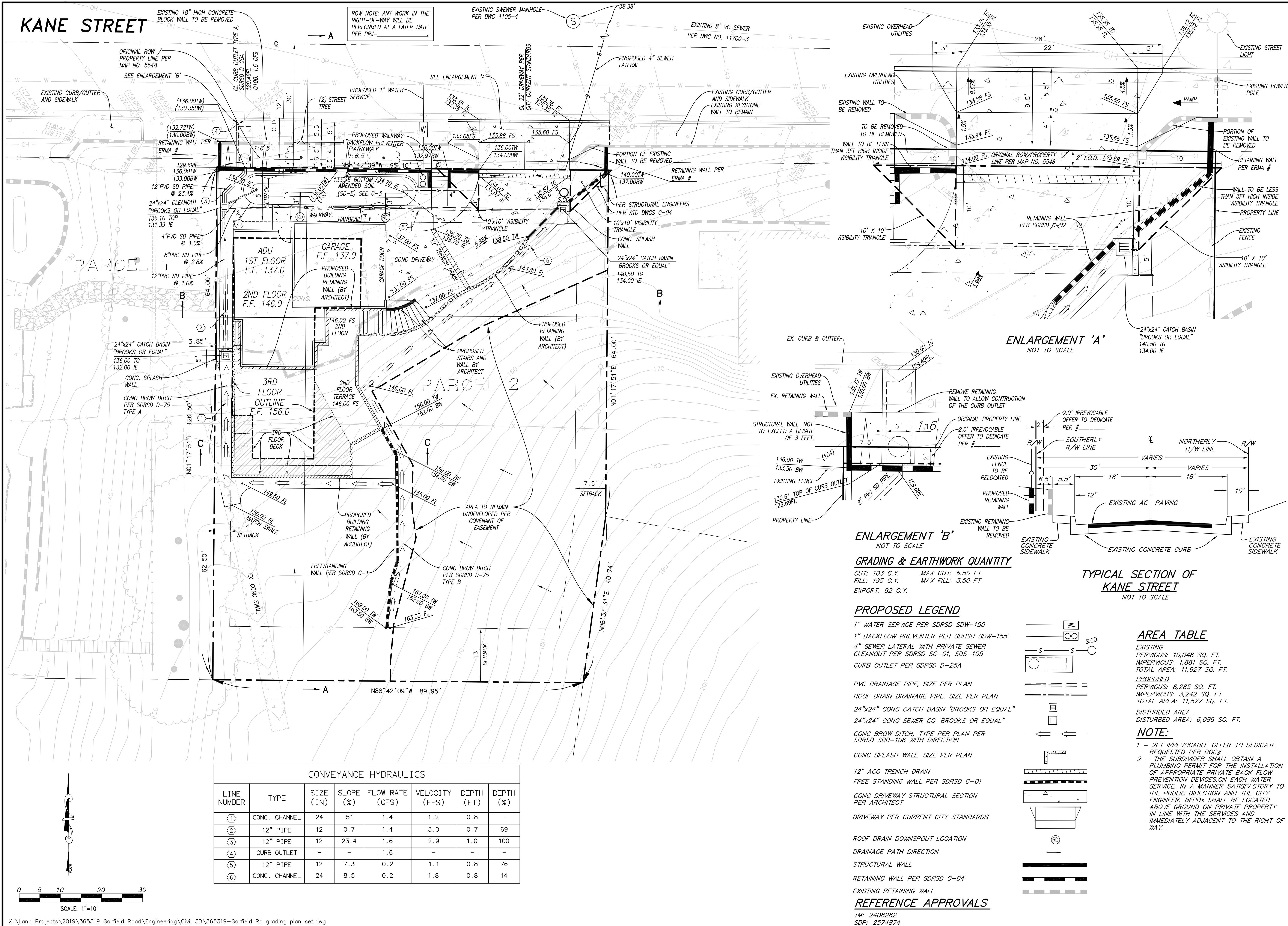


NOTES

- SITE ADDRESS:  
PARCEL 1 - 2343 GARFIELD ROAD, SAN DIEGO  
PARCEL 2 - (HOUSE NUMBER TBD) KANE STREET, SAN DIEGO
- SOURCE OF TOPOGRAPHY IS A FIELD SURVEY PERFORMED BY KAPPA SURVEY INC. ON JANUARY 5, 2018.
- UTILITIES: ALL OVERHEAD FACILITIES THAT SERVE THE SITE WILL BE PLACED UNDERGROUND. PARCEL 2
- (1) EXISTING SDG&E 5' WIDE EASEMENT AS SHOWN ON PLAN
- NO PROPOSED EASEMENTS
- NAD 27 COORDINATES: 226-1707  
NAD 83 COORDINATES: 1866-6269
- ALSO REQUESTING A WAIVER OF THE CITY UNDERGROUND REQUIREMENT FOR EXISTING MAIN OVERHEAD FACILITIES. PARCEL 1
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT PER SDMC SECTION 142.0409 (b)(2). PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36" INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- REFERENCE APPROVAL SDP #2574874







Bda

BALLERINO DESIGN  
ASSOCIATES, LLC  
P.O. BOX 122689  
SAN DIEGO, CA 92112-2689  
TEL: 619.215.5241  
WWW.BALLERINODSIGN.COM

Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

KAPPA SURVEYING & ENGINEERING, INC.  
8402 N. MADRIDA AVE. SUITE C, SANTEE, CA 92071



Sheet Title:

**GRADING  
&  
DRAINAGE**

Signatures:

Drawings Prepared By:

WILLIAM R. DICK

Project No.:

Drawn By: Checked By:

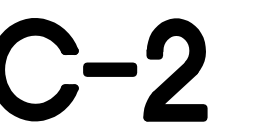
Date:

Sheet No.:

C-1



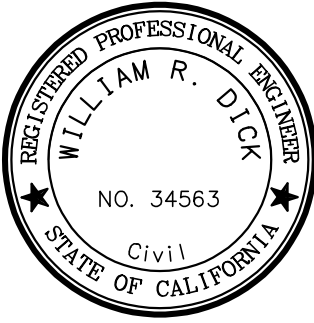
**KAPPA SURVEYING & ENGINEERING, INC.**  
8402 N. MAGNOLIA AVE., SUITE C, SANTEE, CA 92071



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)



Sheet Title:

TYPICAL  
CROSS  
SECTIONS

Signatures:

Drawings Prepared By:

WILLIAM R. DICK

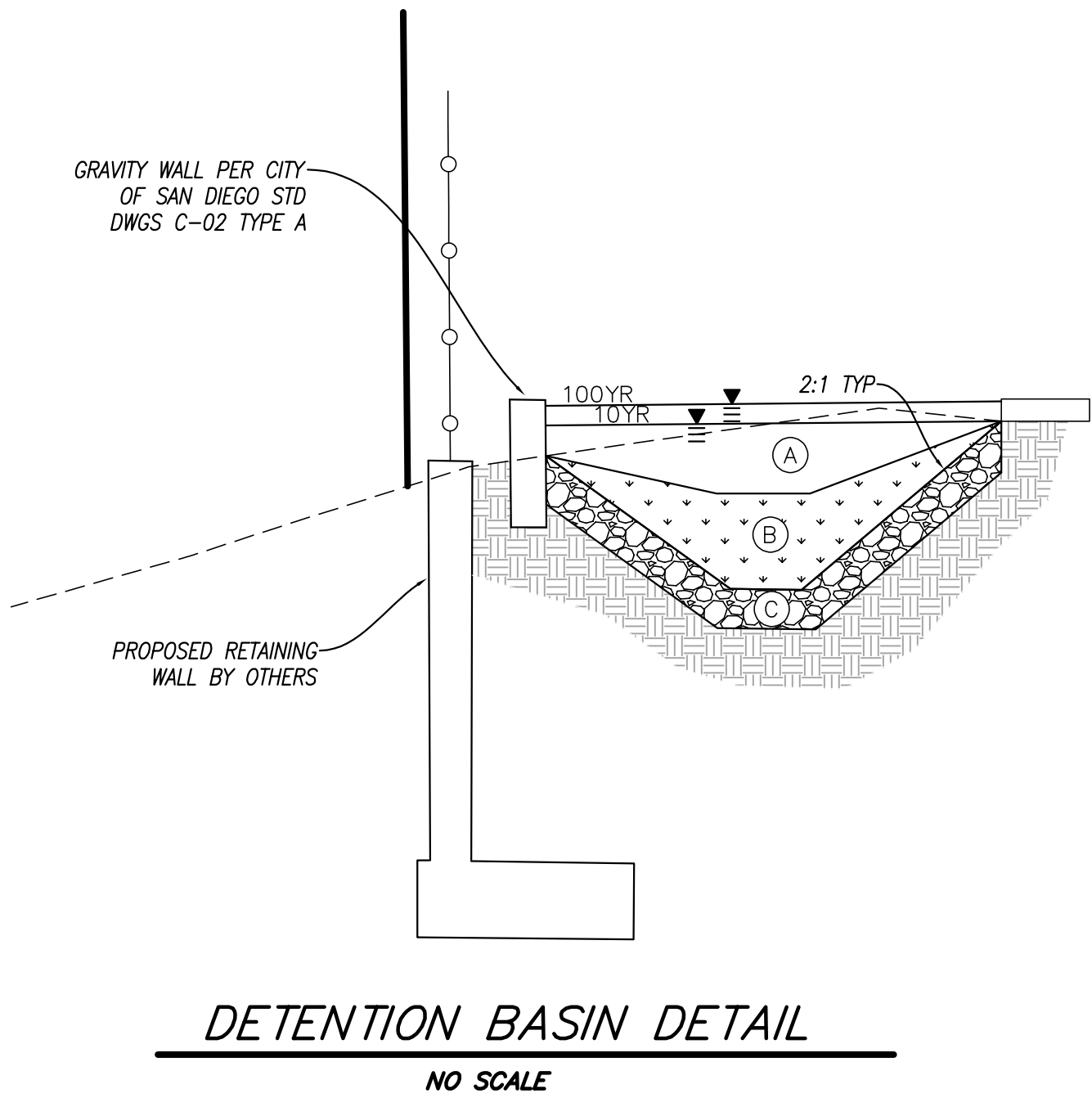
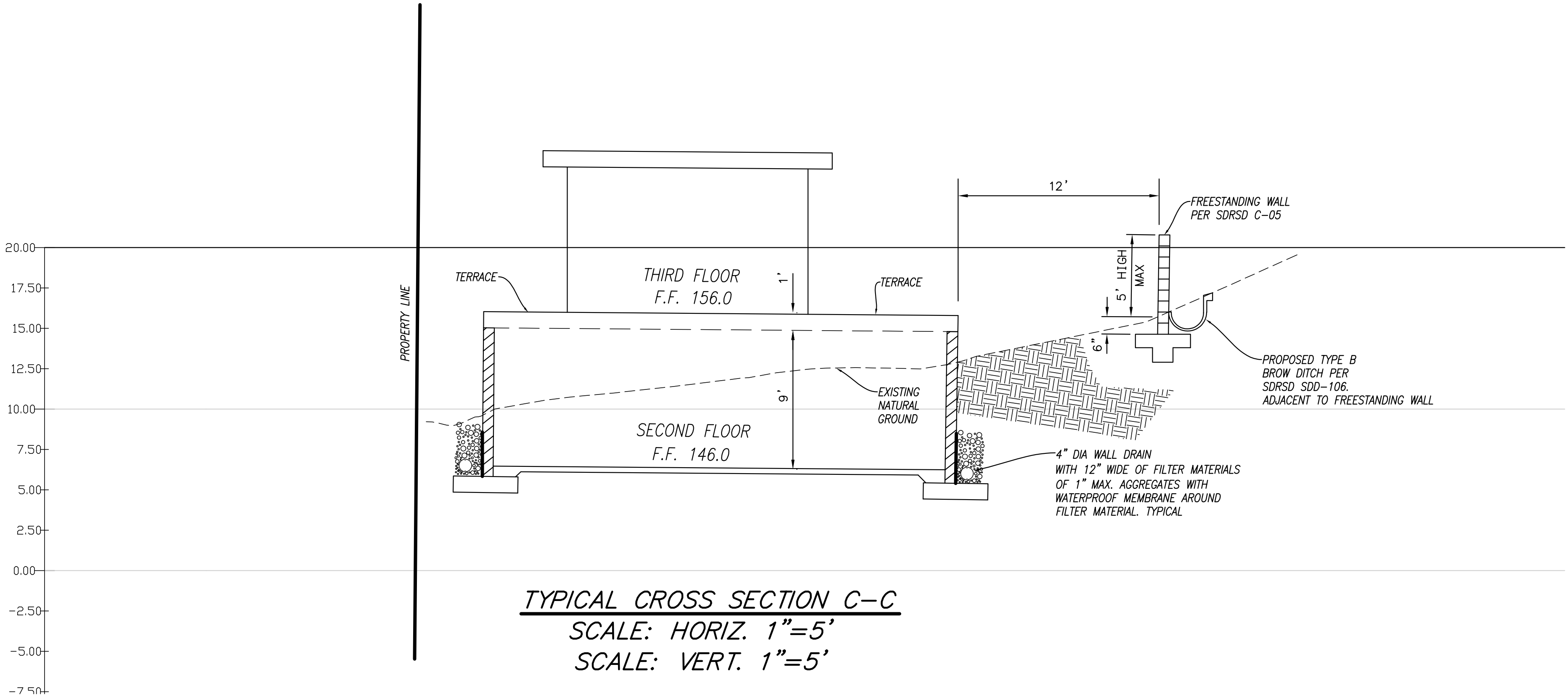
Project No.:

Drawn By: Checked By:

Date:

Sheet No.:

C-3



BASIN DETAILS		
		BASIN
	FOOTPRINT SIZE	1000 SF
	MAXIMUM PONDING ELEVATION	135.63
(A)	PONDING DEPTH/ RISER SIZE	8 INCHES
(B)	* ENGINEERED MEDIA LAYER	12 INCHES
(C)	* FILTER COURSE	6 INCHES
	TOTAL DEPTH OF BASIN	26 INCHES
	OUTLET SIZE	4 INCHES

\* NOTE:  
HANSON A1 BIO RETENTION MIX BA (PRODUCT CODE 804CY) HAS AN ENGINEERED MEDIA SOIL COMPOSITION OF  
- 70% WASHED COURSE SAND  
- 20% WANDY LOAM TOPSOIL  
- 10% COMPOST  
FILTER COURSE GRAVEL  
- 3" OF CLEAN AND WASHED ASTM 33 FINE AGGREGATE SAND.  
- 3" OF ASTM NO 8 STONE

CROSS SECTION ARE FOR  
REFERENCE ONLY.  
REFER TO THE  
ARCHITECTURAL SECTIONS  
FOR THE CONSTRUCTION OF  
THE ULTIMATE BUILD

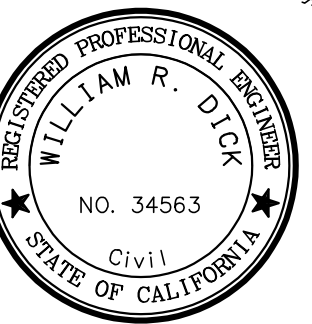


Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

KAPPA SURVEYING & ENGINEERING, INC.  
8402 N. MONROVIA AVE. SUITE C, SANITEL, CA 92171



Sheet Title:

SLOPE  
ANALYSIS

Signatures:

Drawings Prepared By:

WILLIAM R. DICK

Project No.:

Drawn By: Checked By:

Date:

Sheet No.:

C-4

STREET



EARTHWORK ANALYSIS

TOTAL SLOPES AREA > 25% 3,681 SF 0.08 ACRES

LIMITS OF NATURAL SLOPES  
BY TERRAPACIFIC  
CONSULTANTS INC.

4,299 SF / 0.09 ACRES.

ENCROACHMENT TO NATIVE  
STEEP SLOPE

0.0 SF / 0.0 ACRES.



CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO AND DEVELOPMENT MANUAL, STORM WATER STANDARDS\* MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPS SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
8. THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE, AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LOADED DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 30" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20' LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.
18. PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:
- A. NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.
- B. EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMPS TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMPS INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
- C. AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDRASEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET \_\_\_\_ FOR MIX AND SPECIFICATIONS.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

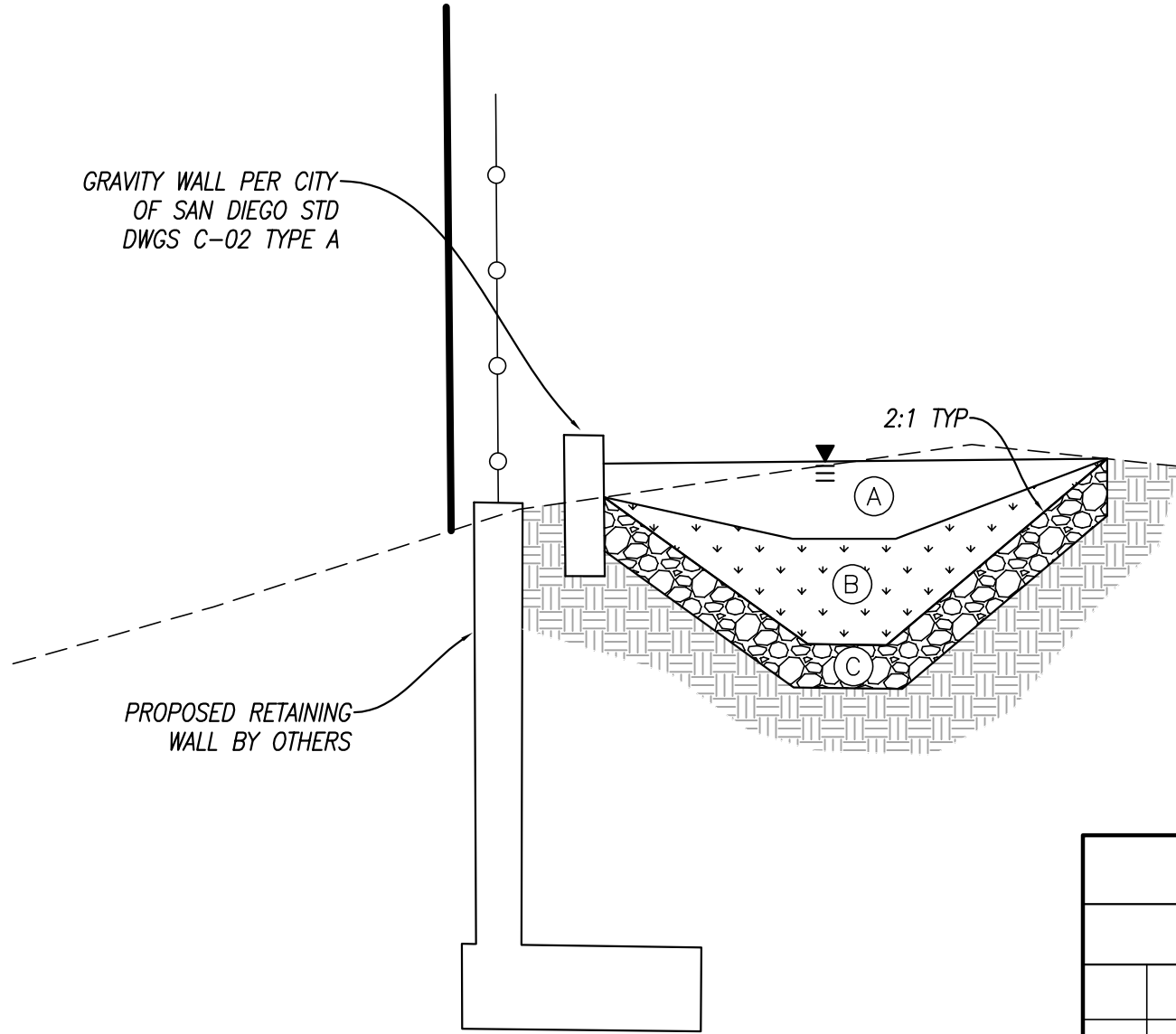
AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/4 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/4 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

AGREEMENT DATA				
APPROVAL TYPE	DESCRIPTION	APPROVAL NO.	DOCUMENT NO.	SEE SHEET NUMBER(S)



DETENTION BASIN DETAIL

NO SCALE

BASIN DETAILS	
	BASIN
	FOOTPRINT SIZE 1000 SF
	MAXIMUM PONDING ELEVATION 135.63
(A)	PONDING DEPTH/ RISER SIZE 8 INCHES
(B)	* ENGINEERED MEDIA LAYER 12 INCHES
(C)	* FILTER COURSE 6 INCHES
	TOTAL DEPTH OF BASIN 26 INCHES
	OUTLET SIZE 4 INCHES

- \* NOTE:
- HANSON A1 BIO RETENTION MIX 8A (PRODUCT CODE 804C\*) HAS AN ENGINEERED MEDIA SOIL COMPOSITION OF
- 70% WASHED COURSE SAND
  - 20% WANDY LOAM TOPSOIL
  - 10% COMPOST
- FILTER COURSE GRAVEL
- 3" OF CLEAN AND WASHED ASTM 33 FINE AGGREGATE SAND.
  - 3" OF ASTM NO 8 STONE

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-4A	
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST NOTE: ALL SELECTED BMPS MUST BE SHOWN ON THE CONSTRUCTION PLANS			
SOURCE CONTROL REQUIREMENT		APPLIED?	
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.2.6 BMPS BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
FOOD SERVICE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
REFUSE AREAS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
FUEL DISPENSING AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
LOADING DOCKS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
FIRE SPRINKLER TEST WATER	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:			

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-5A	
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST NOTE: ALL SELECTED BMPS MUST BE SHOWN ON THE CONSTRUCTION PLANS			
SITE DESIGN REQUIREMENT		APPLIED?	
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.3.4 MINIMIZE SOIL COMPACTION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.3.5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A		
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:			
4.3.6 AND 4.3.8 ARE NOT BEING USED AS 4.3.5. WILL BE USED TO CONVEY THE RUNOFF AND DISTRIBUTE ONTO NATIVE LANDSCAPE			

Bdd

BALLERINO DESIGN ASSOCIATES, LLC  
P.O. BOX 122689  
SAN DIEGO, CA 92112-2689  
TEL: 619.216.5241  
WWW.BALLERINODESIGN.COM

Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)

REGISTERED PROFESSIONAL ENGINEER  
WILLIAM R. DICK  
NO. 34563  
CIVIL  
STATE OF CALIFORNIA

KAPPA SURVEYING & ENGINEERING, INC.  
8402 N. MONROVIA AVE. SUITE 10, SANITIA, CA 92071

Sheet Title:

BMP  
TABLES

Signatures:

Drawings Prepared By:

WILLIAM R. DICK

Project No.:

Drawn By:

Checked By:

Date:

Sheet No.:

C-5



SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

1. THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
2. ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
3. SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.

ADDITIONAL NOTES

1-INTERIM BINDER NOTE:  
GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.

2- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SDMC142-0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

EROSION CONTROL NOTES

4.4 HYDROSEEDING PROCEDURES

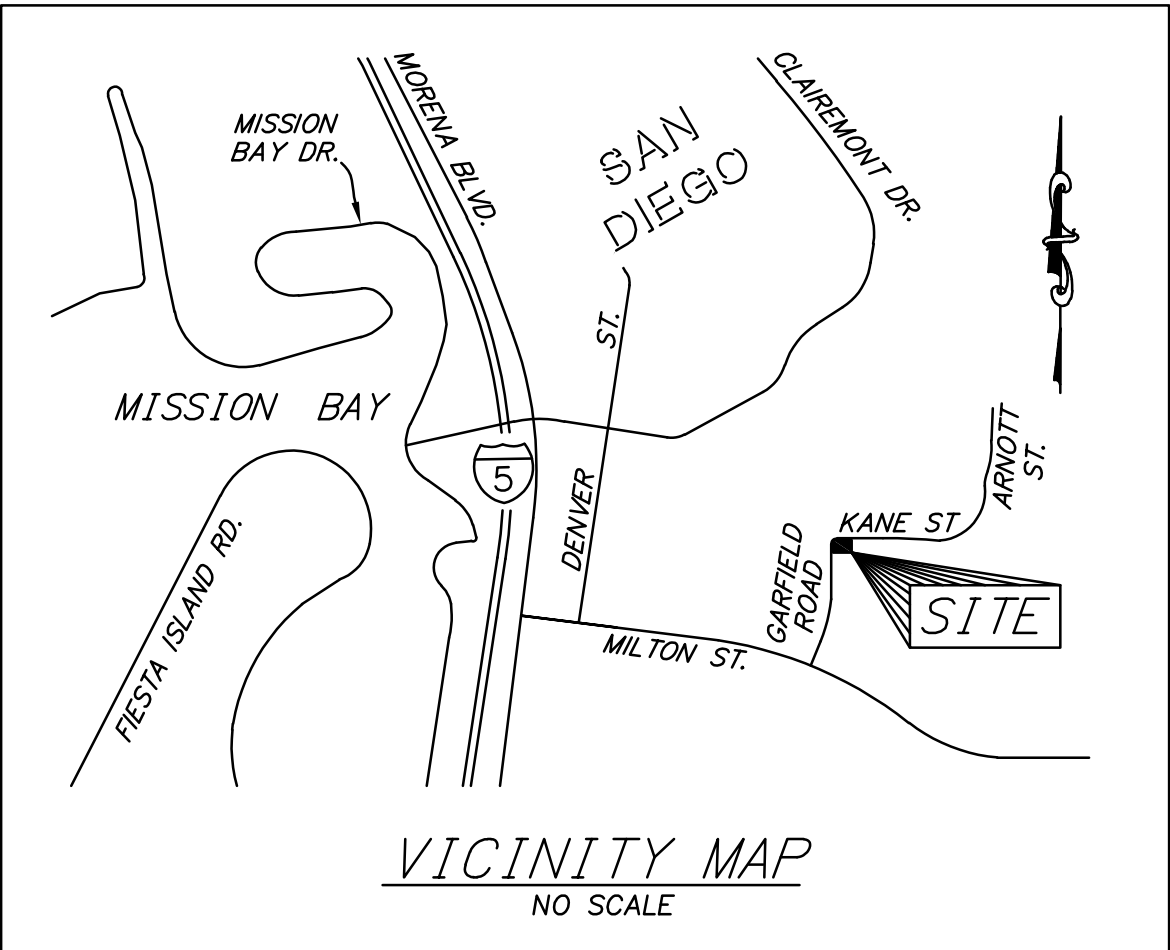
- 4.4-1 SEED MIXES SHALL BE SPECIFIED BY THE PURE LIVE SEED OF EACH SPECIES.
- 4.4-2 FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 POUNDS PER ACRE EXCEPT WHEN USED IN CONJUNCTION WITH STRAW MULCH, WHEN IT SHALL BE APPLIED AT A MINIMUM RATE OF 400 POUNDS PER ACRE.
- 4.4-3 A WETTING AGENT CONSISTING OF 95 PERCENT ALKYL POLYETHYLENE GLYCOL ETHER SHALL BE APPLIED AS PER MANUFACTURERS' RECOMMENDATIONS.30

4.4-4 EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT-IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE SLURRY MIX SHALL BE DYED GREEN. THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY.

ADD INTERIM BINDER NOTE:  
GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2NDAND AUGUST 31STFOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST

4.5 MAINTENANCE REQUIREMENTS

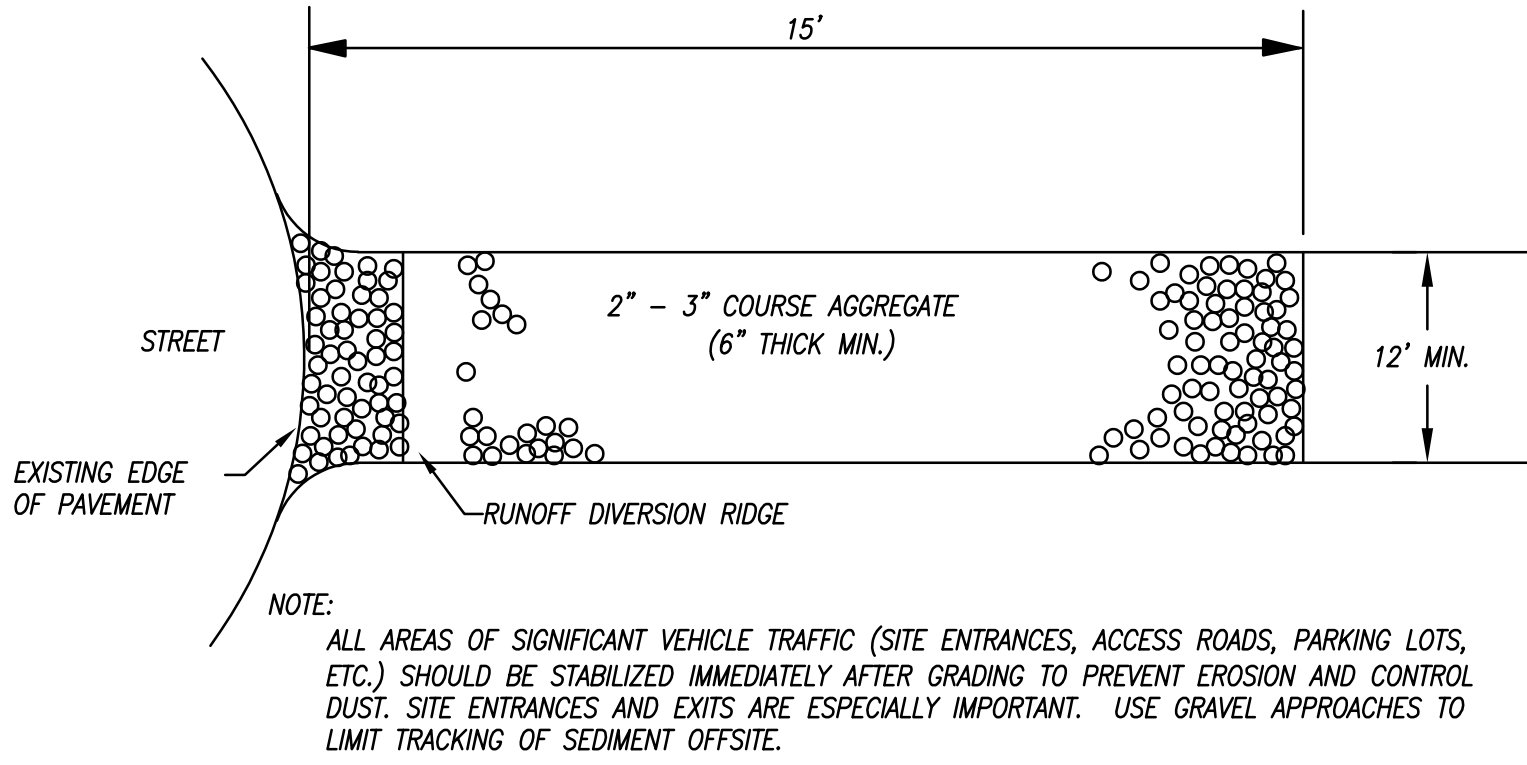
- 4.5-1 PERMANENTLY IRRIGATED SLOPES SHALL BE MAINTAINED FOR A PERIOD NO LESS THAN 90 DAYS.
- 4.5-2 NON-PERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A PERIOD NOT LESS THAN 25 MONTHS.
- 4.5-3 ALL REVEGETATED AREAS SHALL BE MAINTAINED BY THE PERMITTEE UNTIL FINAL APPROVAL BY THE CITY MANAGER. THE MAINTENANCE PERIOD BEGINS ON THE FIRST DAY FOLLOWING ACCEPTANCE AND MAY BE EXTENDED AT THE DETERMINATION OF THE CITY MANAGER.
- 4.5-4 PRIOR TO FINAL APPROVAL, THE CITY MANAGER MAY REQUIRE CORRECTIVE ACTION INCLUDING BUT NOT LIMITED TO, REPLANTING, THE PROVISION OR MODIFICATION OF IRRIGATION SYSTEMS, AND THE REPAIR OF ANY SOIL EROSION OR SLOPE SLIPPAGE.



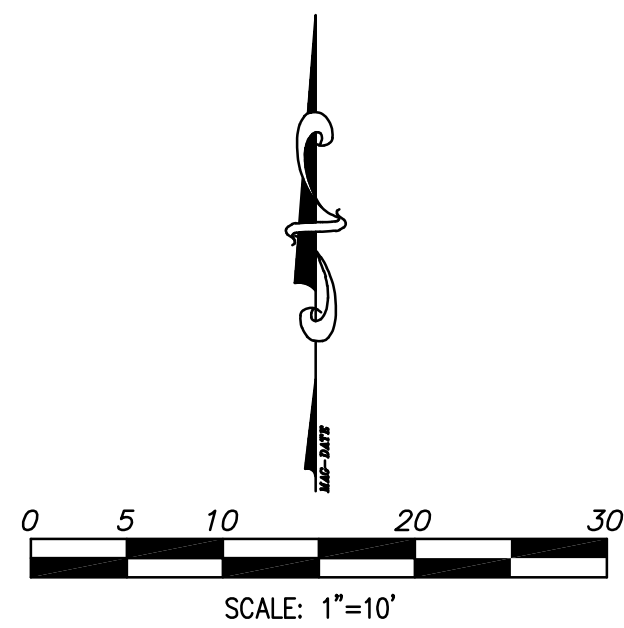
EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMPs WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

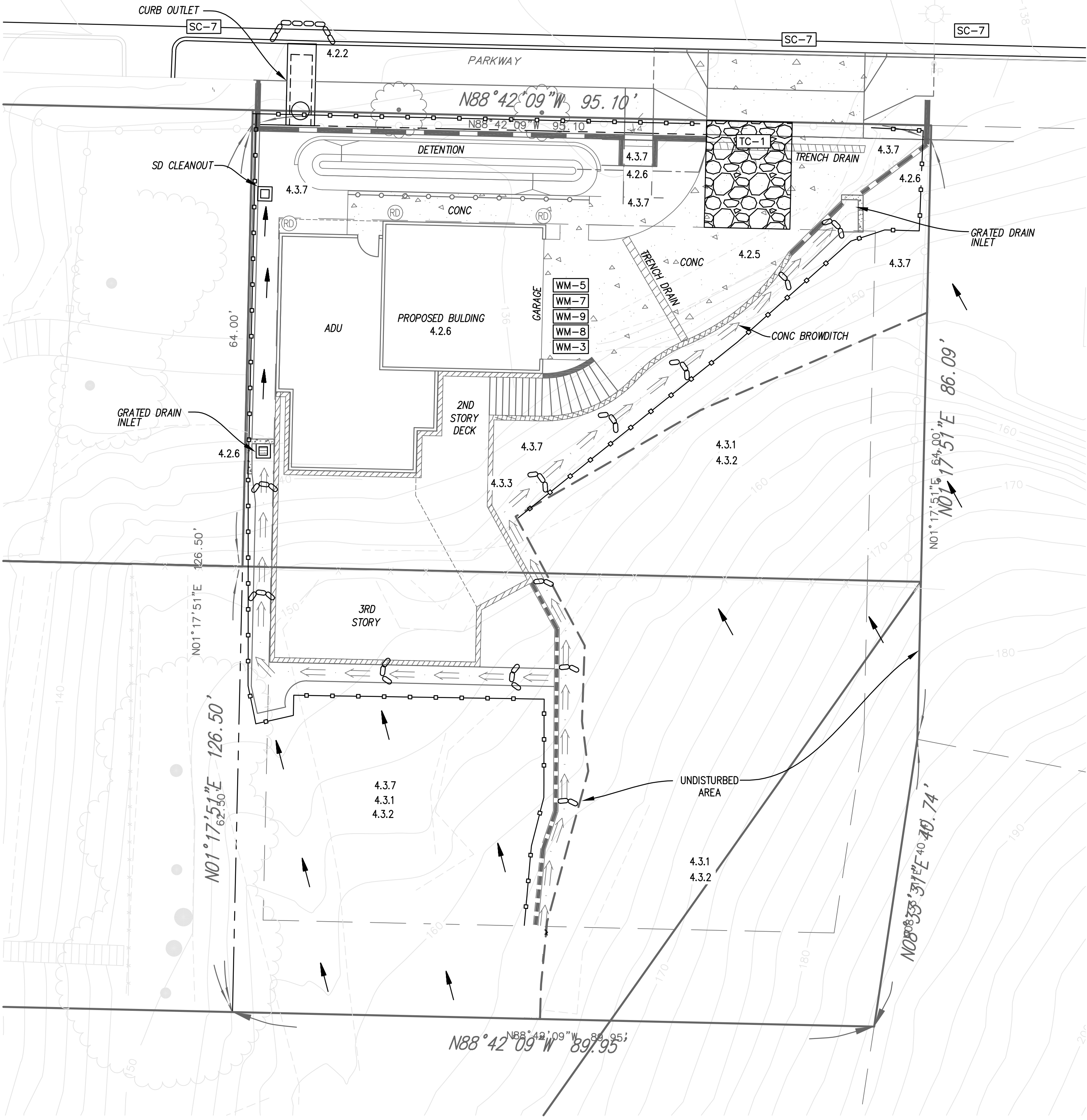
TEMPORARY BMP NAME	BMP DWG NO	SYMBOL
RESOURCE PROTECTION BMPs		
LINEAR SEDIMENT CONTROLS	SC-1	
MATERIAL STORAGE & HANDLING BMPs		
MATERIAL STORAGE	WM-1	WM-1
LANDSCAPE MATERIAL MANAGEMENT	WM-3	WM-3
PAVING AND GRADING OPERATIONS	NS-3	NS-3
CONCRETE CURING	NS-12	NS-12
CONCRETE FINISHING	NS-14	NS-14
WASTE MANAGEMENT BMPs		
SOLID WASTE MANAGEMENT	WM-5	WM-5
CONTAMINATED SOIL MANAGEMENT	WM-7	WM-7
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9	WM-9
CONCRETE WASTE MANAGEMENT	WM-8	WM-8
STOCKPILED WASTE MANAGEMENT	WM-3	WM-3
VEHICLE & EQUIPMENT MANAGEMENT BMPs		
VEHICLE & EQUIPMENT CLEANING	NS-8	NS-8
VEHICLE & EQUIPMENT FUELING	NS-9	NS-9
VEHICLE & EQUIPMENT MAINTENANCE	NS-10	NS-10
NON-STORM WATER MANAGEMENT BMPs		
ILLUICIT CONNECTION/DISCHARGE DETECTION & REPORTING	NS-6	NS-6
POTABLE WATER/IRRIGATION	NS-7	NS-7
GENERAL EROSION CONTROL BMPs		
SCHEDULING/PHASING CONSTRUCTION STOCKPILE MANAGEMENT	SS-1	SS-1
VEGETATIVE STABILIZATION BMPs		
ESTABLISH PERMANENT LANDSCAPING* *CASQA BMP	SD-10	SD-10
DUST CONTROL BMPs		
WIND EROSION CONTROL	WE-1	WE-1
PERIMETER & LINEAR SEDIMENT CONTROL BMPs		
CHAINLINK FENCE	SC-1	
GRAVEL BAG BERM	SC-6	
SAND BAG BARRIER	SC-8	
SEDIMENT CAPTURE BMPs		
STORM DRAIN INLET PROTECTION	SC-10	
OFF-SITE SEDIMENT TRACKING BMPs		
CONSTRUCTION ENTRANCE	TC-1	
STREET SWEEPING & VACUUMING	SC-7	



STABILIZED CONSTRUCTION ENTRANCE  
NO SCALE  
TC-1



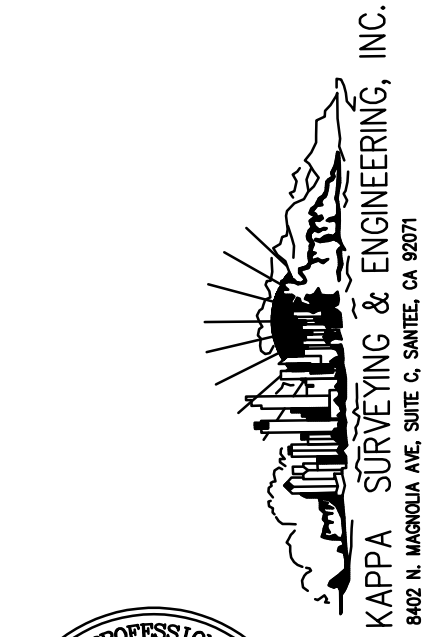
STREET



Project Title:

POWELL  
RESIDENCE  
Garfield Rd. & Kane St.  
San Diego, CA

Site  
Development  
Permit (S.D.P.)



Sheet Title:

EROSION  
CONTROL

Signatures:

Drawings Prepared By:

WILLIAM R. DICK

Project No.:

Drawn By: Checked By:

Date:

Sheet No.:

C-6



LEGEND

- EXISTING BUILDING
- PROPERTY LINE/TM BOUNDARY
- PP • POWER POLE
- ⓔ ELECTRIC METER
- ⓖ GAS METER
- ⊗ VALVE (GAS/WATER)
- Ⓢ C.O. SEWER CLEANOUT
- W WATER METER
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- OH OVERHEAD WIRES
- G EXISTING GAS LINE
- W EXISTING WATER LINE
- S EXISTING SEWER LINE
- SD EXISTING STORM DRAIN LINE
- EXISTING BLOCK WALLS
- EXISTING RETAINING BLOCK WALLS
- AC PAVING
- CONCRETE
- DECORATIVE PAVING
- INDICATES FOUND LEAD & DISC MARKED "RCE 9822" PER MAP NO. 4911, UNLESS OTHERWISE NOTED
- INDICATES FOUND 3/4" IRON PIPE WITH DISC MARKED "RCE 9822" PER MAP NO. 4911, UNLESS OTHERWISE NOTED

GRADING NOTES

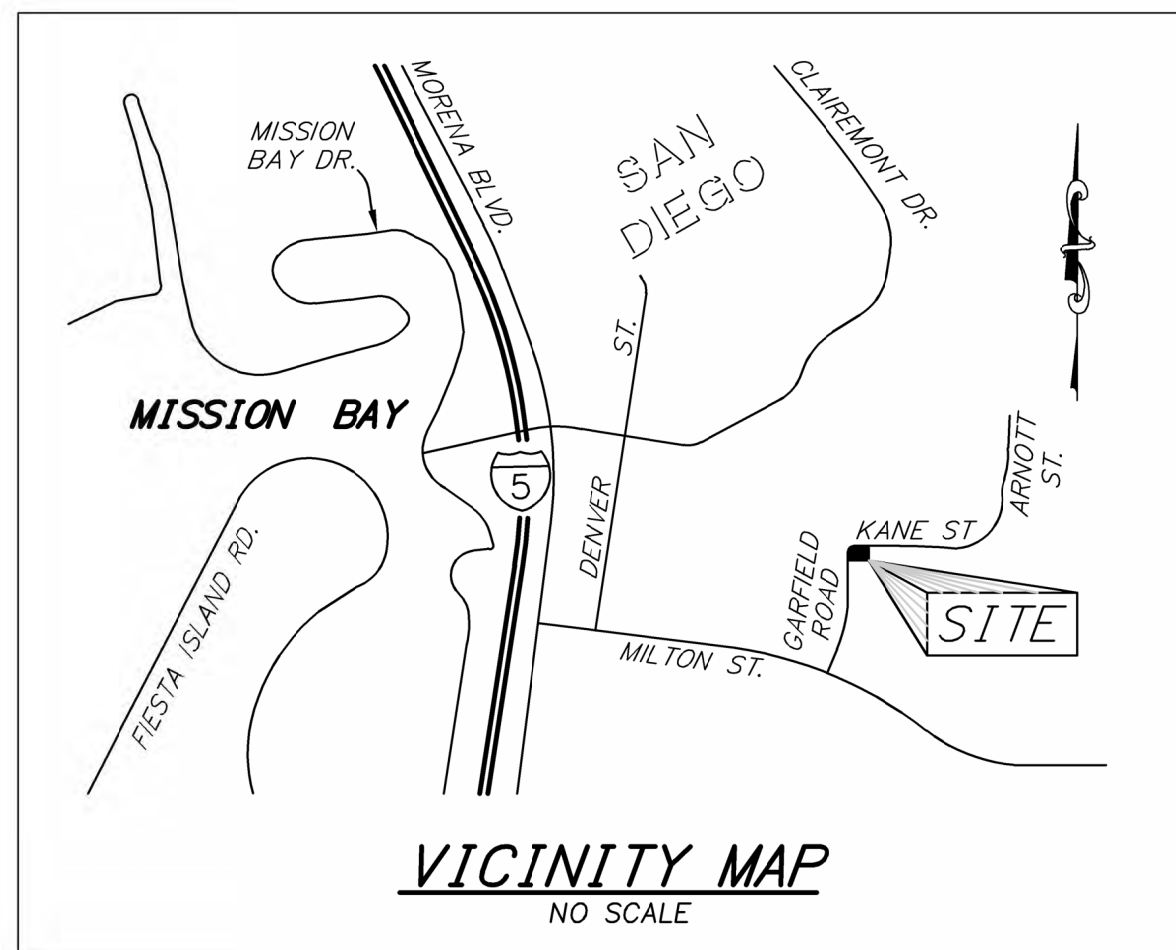
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

USE WHEN GRADING < 1 ACRE - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS

EARTHWORK

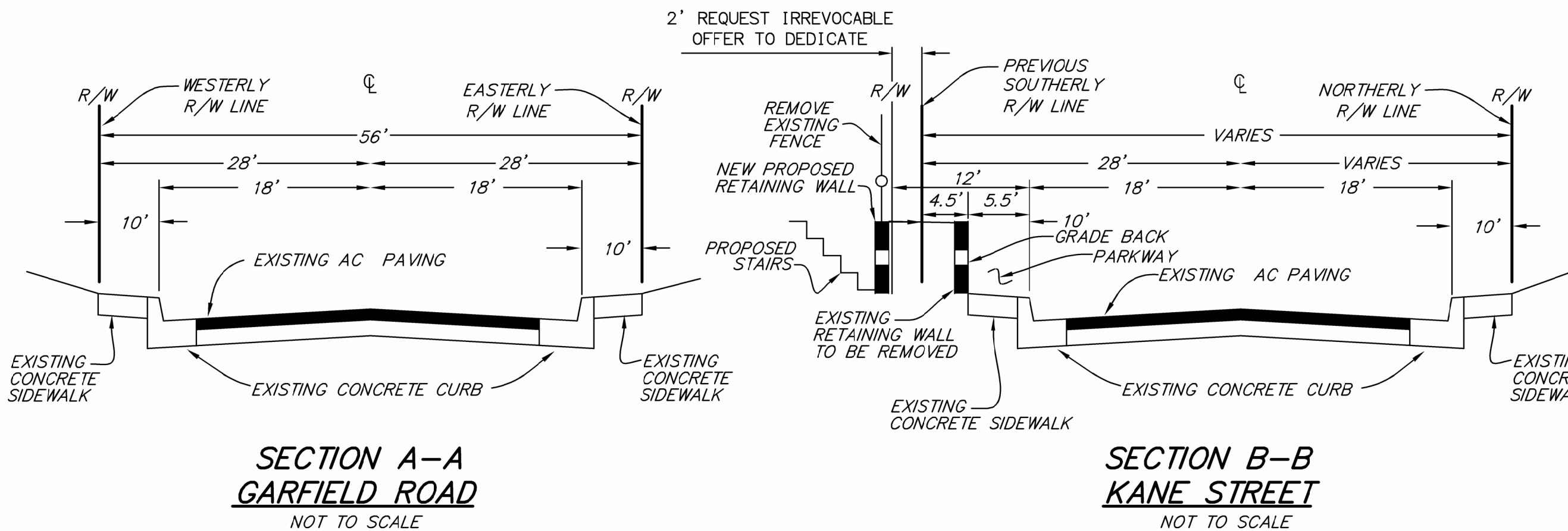
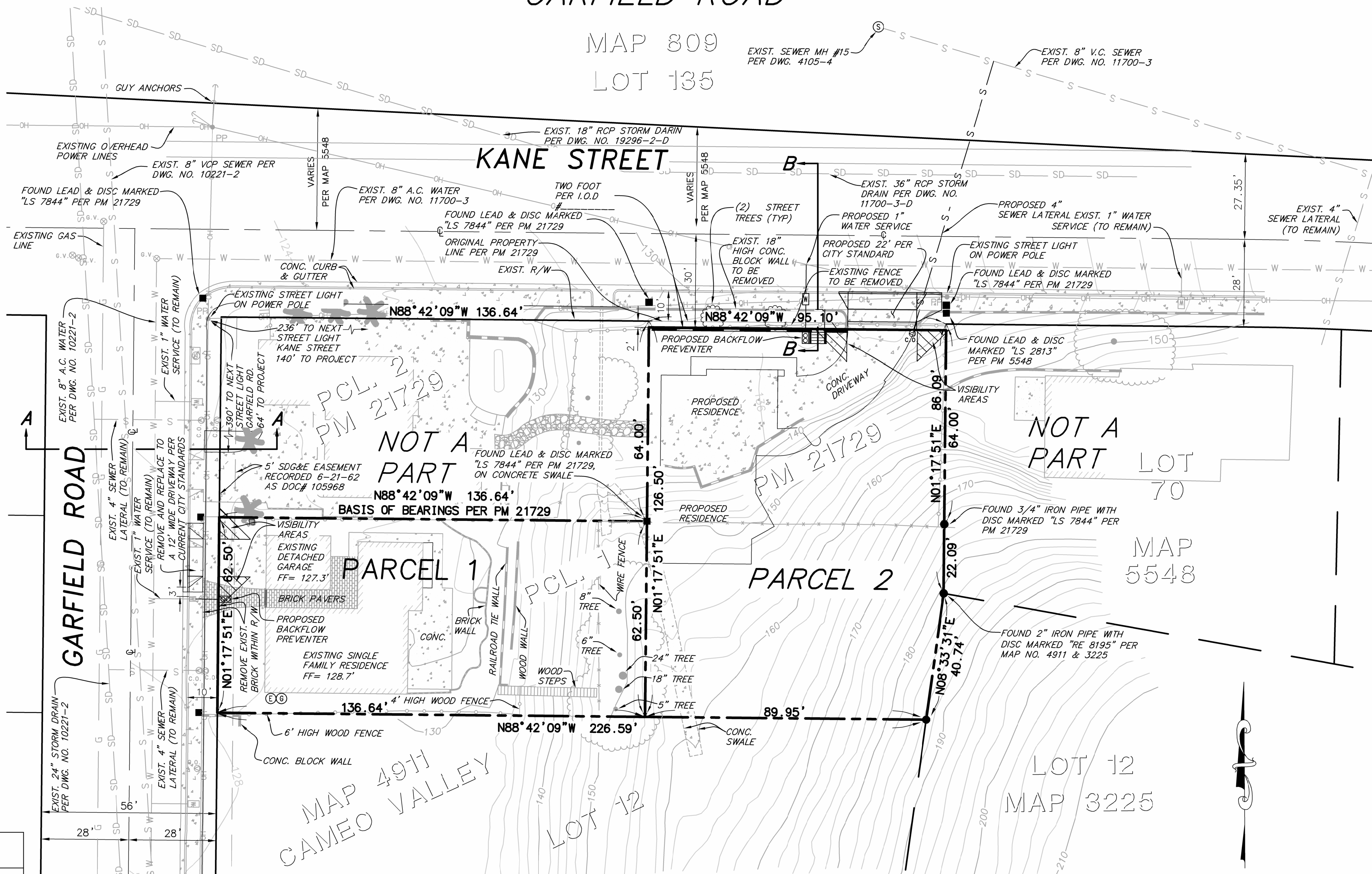
CUT: 103 C.Y.  
FILL: 195 C.Y.  
EXPORT: 92 C.Y.

SITE UTILITIES	
UTILITY COMPANY	CURRENT STATUS
SDG&E --- ELECTRIC	OVERHEAD
COX --- TELEPHONE	OVERHEAD
COX --- CABLE	OVERHEAD



TENTATIVE MAP NO. 2408282  
GARFIELD ROAD

MAP 809  
LOT 135



LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP 21729, IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY OCTOBER 10, 2019.

OWNER

POWELL FAMILY TRUST  
DATED MAY 17, 2011  
2343 GARFIELD ROAD  
SAN DIEGO, CA 92110  
(858) 414-6444

BY: JONATHAN POWELL, TRUSTEE  
BY: LINDA MARIE POWELL, TRUSTEE

NUMBER OF EXISTING PARCELS = 1

NUMBER OF PROPOSED PARCELS = 2

ZONING

BASE ZONE: RS-1-7 NO CHANGES PROPOSED  
COMMUNITY PLAN NAME: CLAIREMONT MESA

ASSESSOR'S PARCEL NUMBER

430-820-13 AND 430-820-28

TOTAL MAP AREA

PARCEL 1 - 8,540.27 SF/0.19 AC  
PARCEL 2 - 11,925.57 SF/0.27 AC

BASIS OF BEARINGS

THE SOUTHERLY LINE OF PARCEL 2 OF PARCEL MAP 21729

N88°42'09"W

BENCHMARK

BENCH MARK FOR THIS SURVEY IS CITY OF SAN DIEGO ENGINEERING DEPARTMENT VERTICAL CONTROL MONUMENT, #12945, A BRASS PLUG AT THE SOUTHEASTERLY RETURN OF MILTON STREET AND ILLION STREET.

ELEVATION: 163.777'

DATUM: NGVD 29

PROJECT DESCRIPTION

THIS PROJECT IS PROPOSING THE CREATION OF (2) TWO PARCELS. THE OFF-SITE IMPROVEMENT IS THE CONSTRUCTION OF A RESIDENTIAL TYPE DRIVEWAY. ANY NEW ON-SITE UTILITIES WILL BE UNDERGROUNDED. THE PARCEL 2 SITE IS CURRENTLY VACANT.

MAPPING NOTE

ALL PROPERTY CORNERS WILL BE SET AND A TWO LOT PARCEL MAP WILL BE FILED UPON APPROVAL OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.

SURVEYOR

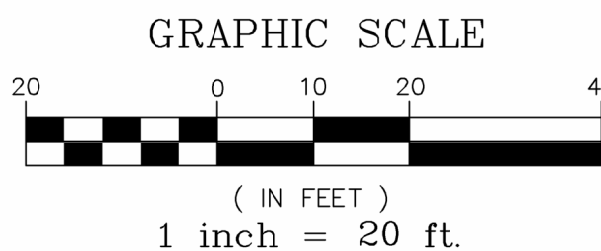
KAPPA SURVEYING & ENGINEERING, INC.  
8402 N. MAGNOLIA AVE. STE C  
SANTEE, CA 92071  
TELEPHONE: (619) 449-2600

09/08/2023  
DATE  
ALLEN R.A. TURNER III, PLS  
REGISTRATION NUMBER: L.S. 7844  
EXPIRATION DATE: EXP. 12/31/2024



NOTES

- SITE ADDRESS:  
PARCEL 1 - 2343 GARFIELD ROAD, SAN DIEGO  
PARCEL 2 - (HOUSE NUMBER TBD) KANE STREET, SAN DIEGO
- SOURCE OF TOPOGRAPHY IS A FIELD SURVEY PERFORMED BY KAPPA SURVEY INC. ON JANUARY 5, 2018.
- UTILITIES: ALL OVERHEAD FACILITIES THAT SERVE THE SITE WILL BE PLACED UNDERGROUND. PARCEL 2
- (1) EXISTING SDG&E 5' WIDE EASEMENT AS SHOWN ON PLAN
- NO PROPOSED EASEMENTS
- NAD 27 COORDINATES: 226-1707  
NAD 83 COORDINATES: 1866-6269
- ALSO REQUESTING A WAIVER OF THE CITY UNDERGROUND REQUIREMENT FOR EXISTING MAIN OVERHEAD FACILITIES. PARCEL 1
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT PER SDMC SECTION 142.0409 (b)(2). PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36" INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- REFERENCE APPROVAL SDP #2574874



TENTATIVE MAP  
2343 GARFIELD ROAD

L.C. 226-1709 NAD83 1866-6269	REVISIONS	DATE: 09/08/2023 PROJECT PTS #657970
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