



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 16, 2025 REPORT NO. HO-25-015

HEARING DATE: April 23, 2025

SUBJECT: 8559 Prestwick Drive, Process Three Decision

PROJECT NUMBER: [PRJ-1086924](#)

OWNER/APPLICANT: 8559 Prestwick Dr, LLC (Owner/Applicant)

### **SUMMARY**

Issue: Should the Hearing Officer approve a Site Development Permit for a 2,456 square-foot addition to an existing one-story, 2,567 square-foot single-dwelling unit, and associated site improvements at 8559 Prestwick Drive within the La Jolla Shores Planned District Ordinance of the La Jolla Community Plan area?

#### Proposed Actions:

1. APPROVE Site Development Permit No. PMT-3221134.

Fiscal Considerations: None. All cost associated with the processing of this application are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: There are no open actions for the subject project site.

Housing Impact Statement: The project will result in the development of an addition to an existing, one-story, single dwelling unit. The project does not propose an increase in dwelling units and maintains the Very Low Density Residential density designation. The development supports goals and policies of the Residential Land Use Element and consistent with the La Jolla Community Plan.

Community Planning Group Recommendation: On May 23, 2024, the La Jolla Shores Permit Review Committee voted 5-0-1 to recommend approval of the proposed project without conditions. Subsequently thereafter on June 6, 2024, the La Jolla Community Planning Association voted 12-0-1, to recommend approval of the proposed project without conditions (Attachment 8).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332, In-fill Development. The environmental

exemption determination for this project was made on December 12, 2024. No appeals were filed within the time provided by San Diego Municipal Code (SDMC) Section [112.0520](#).

## **BACKGROUND**

The 0.28-acre [12,162 square feet] site is located at 8559 Prestwick Drive, between Inverness Drive and Prestwick Court in the La Jolla Shores Planned District – Single-Family (LJSPD-SF) Base Zone, Coastal [Non-Appealable-2] Overlay Zone, Coastal Height Limit Overlay Zone, Parking Impact [Campus] Overlay Zone, Very High Fire Hazard Severity Zone within the La Jolla Shores Planned District Ordinance (LJSPDO) of the La Jolla Community Plan and Local Coastal Program Land Use Plan [Attachments 1 & 2].

## **DISCUSSION**

### Project Description

The project proposes an addition of 2,456 square feet to an existing one-story, 2,567 square-foot single-dwelling unit. The 0.28-acre site is located within the La Jolla Shores Heights subdivision. The property is accessed from the northwest corner via Prestwick Drive. The surrounding neighborhood character is primarily comprised of one and two-story single-family homes featuring various architectural styles. The land use designation for the subject site is Very Low Density Residential, which allows a density up to 5 Dwelling Units (DU) per acre as identified in the La Jolla Community Plan (Community Plan).

### Permits Required

Pursuant to SDMC Section [1510.0201\(d\)](#), the proposed project requires a Process Three Site Development Permit for the construction of a major project in the La Jolla Shores Planned District.

### Community Plan Analysis

The Land Use Map of the Community Plan designates the 0.28-acre site for Very Low Density Residential (0-5 Dwelling Units per acre). The goals and policies of the Residential Land Use Element calls for developments to maintain the existing residential character of the surrounding neighborhood by providing harmonious visual relationship to exist between the bulk and scale of structures as well as to maintain the Coastal Height Limit. The building envelope incorporates a mixture of neutral gray, natural stone, and earth-tone colors within the siding and roof as prescribed in the General Design Regulations of the LJSPDO. The project does not exceed the limitation in height of 30 feet and complies with the Coastal Height Limit regulations and no additional stories are being proposed. Furthermore, there are no public views or view corridors designated as referenced in Figure 9 of the Community Plan. The proposal for an addition with no additional dwellings is consistent with the prescribed land use and density, and thus would be consistent with the residential designation.

### Project-Related Issues

The project site is located within the La Jolla Shores Subdivision and is subject to the regulations of the LJSPDO in accordance with SDMC Section 1510.0301. For the proposed development to be consistent with the Community Plan's land use designation, the DU density must not exceed more

than one (1) DU per net-acre and implement the LJSPDO Development Regulations for Single-Family Zones. According to Table 131-04j, the maximum Floor Area Ratio (FAR) allowed for the property is 0.52 (6,324 square feet). The project proposes an FAR of 0.45 (5,446 square-feet), which complies with the maximum FAR allowed for the LJSPD-SF Base Zone. In addition, the proposed building lot coverage of the development is 6,324 square-feet, which complies with the Lot Coverage allowance for developments for the LJSPD-SF Base Zone. Furthermore, the project complies with the height and setbacks of the underlying base zone development regulations. The building envelope incorporates a mixture of neutral gray, natural stone, and earth-tone colors within the siding and roof elements as prescribed in the General Design Regulations of the LJSPDO. All existing trees fronting the property along the Prestwick Drive Right-of-Way are to remain and protected in-place. The project site is also within the Parking Impact (Campus) Overlay Zone, to which an improved driveway width of 12 feet is required as per SDMC Section [142.0560\(j\)](#).

The project site does not contain environmentally sensitive lands as defined in Chapter 14, Article 03, Division 1 of the Land Development Code. The site is within the Very High Fire Hazard Severity Zone. Because the premises is surrounded by single-dwelling unit-type development and is further than 100 feet from native or naturalized vegetation, the project does not require Brush Management as per SDMC section [142.0412](#).

The proposed development will be conditioned to include an improved 12-foot driveway with 10-foot visibility triangles on each side that will provide adequate sight distance for safe vehicle movement when entering and exiting the Prestwick Drive public right-of-way. The project site is required to comply with the [City of San Diego Stormwater Standards](#) to ensure that any on-site runoff during all construction phases is properly treated. The preparation of a Water Pollution Control Plan (WPCP) and the implementation of Best Management Practices will be required, which ensures water quality standards appropriate to the project location are met during construction. Because the property is within the Areas of Special Biological Significance (ASBS) watershed, no dry weather runoff is permitted, and the project is subject to increased inspections during construction. Furthermore, the project will require an Encroachment Maintenance and Removal Agreement for the proposed sidewalk underdrain within the Prestwick Drive Right-of-Way for the purpose of conveying on-site drainage to the City's storm drain system.

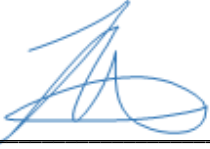
#### Conclusion

Staff has reviewed the proposed project and has found the proposal to be consistent with the governing entitlements, regulations of the Land Development Code, and the Community Plan. Staff, therefore, recommends approval of Site Development Permit No. PMT-3221134.

#### **ALTERNATIVES**

1. APPROVE Site Development Permit No. PMT-3221134 with modifications.
2. DENY Site Development Permit No. PMT-3221134, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

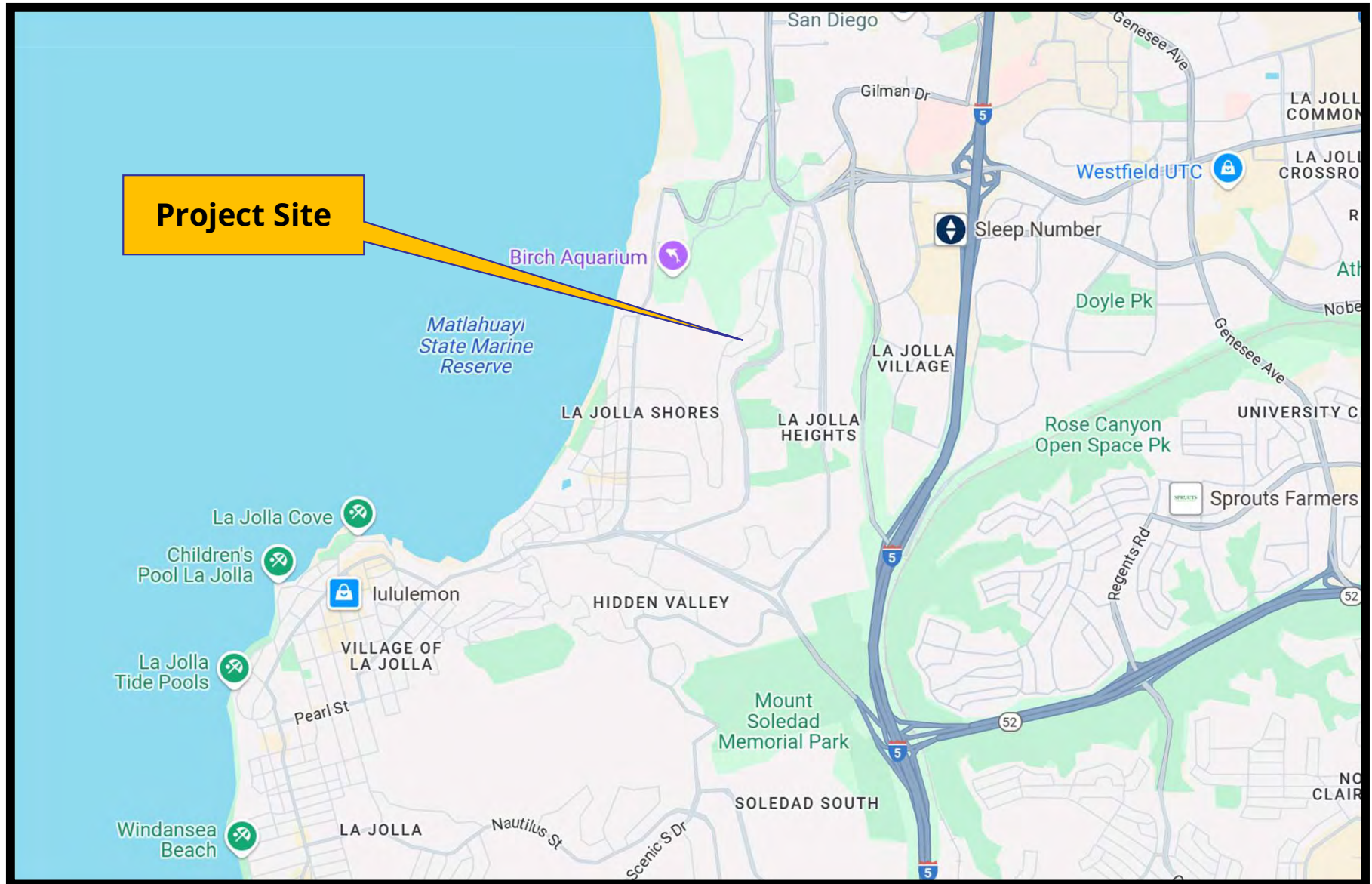


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Mark Lopez  
Development Project Manager  
Development Services Department

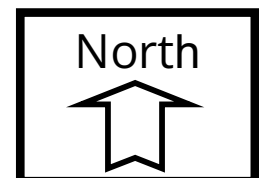
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Environmental Determination, Notice of Right to Appeal
7. Ownership Disclosure Statement Form (DS-318)
8. Community Plan Group Recommendation Vote
9. Project Plans

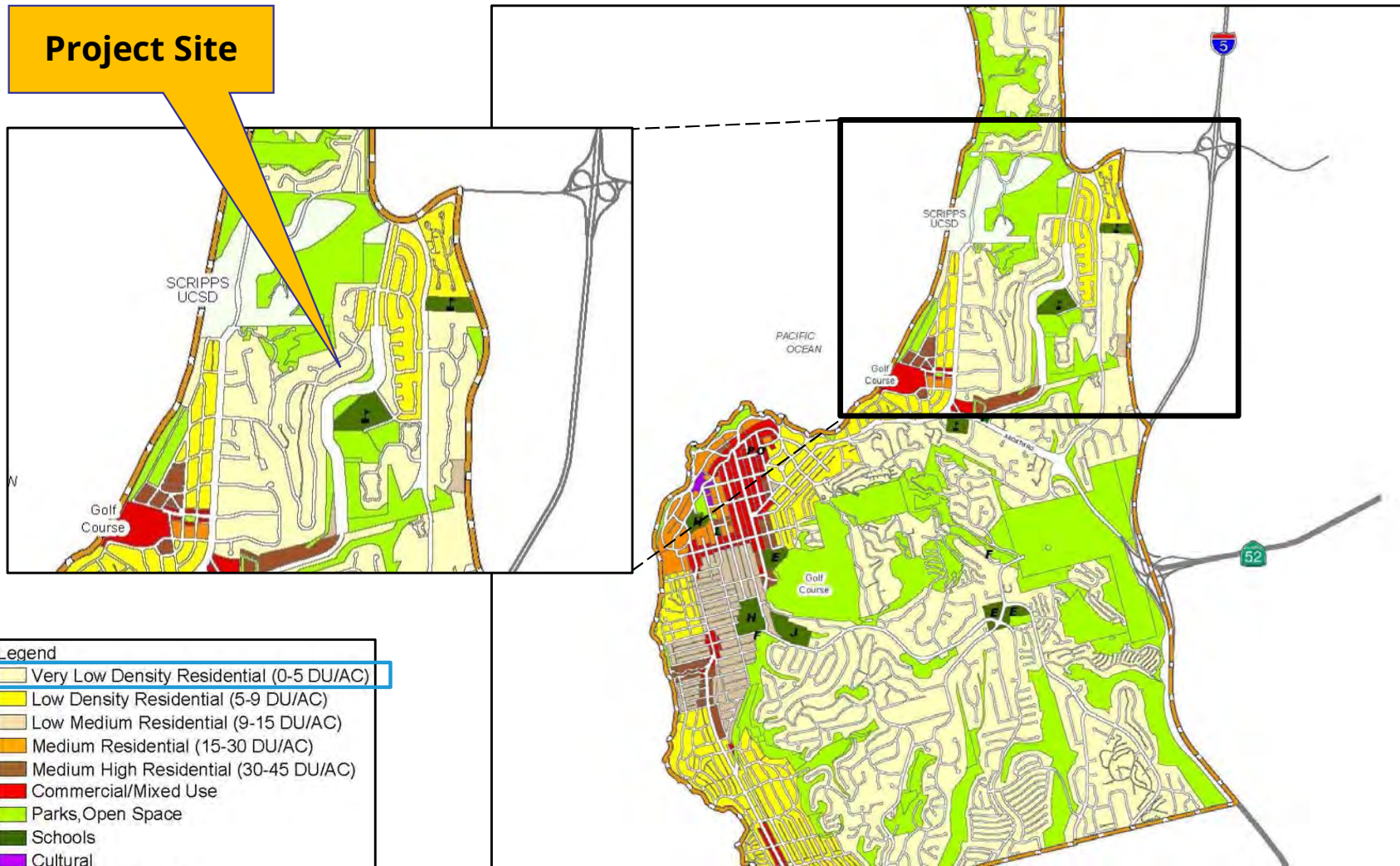


## Project Location Map

8559 Prestwick; Project No. PRJ-1086924  
8559 Prestwick Drive, La Jolla, CA 92037



**Project Site**



## Community Plan Land Use Map

8559 Prestwick; Project No. PRJ-1086924  
8559 Prestwick Drive, La Jolla, CA 92037

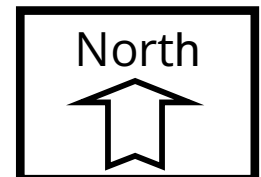
North





## Aerial Photograph

8559 Prestwick; Project No. PRJ-1086924  
8559 Prestwick Drive, La Jolla, CA 92037



**RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501**

**WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501**

INTERNAL ORDER NUMBER: 24009555

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**SITE DEVELOPMENT PERMIT NO. PMT-3221134  
8559 PRESTWICK - PROJECT NO. PRJ-1086924  
HEARING OFFICER**

This Site Development Permit No. PMT-3221134 is granted by the Hearing Officer of the City of San Diego to 8559 Prestwick Dr, LLC, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0505. The 0.28-acre site is located at 8559 Prestwick Drive in the La Jolla Shores Planned District – Single-Family (LJSPD-SF) Base Zone, Coastal [Non-Appealable-2] Overlay Zone, Coastal Height Limit Overlay Zone, Parking Impact [Campus] Overlay Zone, Very High Fire Hazard Severity Zone of the La Jolla Community Plan. The project site is legally described as: LOT 29 OF LA JOLLA SHORES HEIGHTS, ACCORDING TO MAP THEREOF FILED NO. 5831, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 3, 1967 [APN No. 346-670-0800].

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee for the addition to an existing one-story, single-dwelling unit as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 23, 2025, on file in the Development Services Department.

The project shall include:

- a. 2,456 square-foot addition to an existing one-story, 2,567 square-foot single-dwelling unit;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 8, 2028.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to

comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

**CLIMATE ACTION PLAN REQUIREMENTS:**

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new 12-foot driveway, adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

12. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, for the proposed sidewalk underdrains to be installed within the Prestwick Drive Right-of-Way, satisfactory to the City Engineer.

13. Prior to the issuance of any building permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

14. Prior to the issuance of any building permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

15. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

16. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 23, 2025 and Resolution No. HO-XXXX.

## ATTACHMENT 4

Site Development Permit No. PMT-3221134  
Date of Approval: April 23, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Mark Lopez  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**8559 Prestwick Dr, LLC**  
Owner/Permittee

By 

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Bernardo Ascencio  
Manager

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
RESOLUTION NO. HO-XXXX  
SITE DEVELOPMENT PERMIT NO. PMT-3221134  
**8559 PRESTWICK DRIVE - PROJECT NO. PRJ-1086924**

WHEREAS, 8559 PRESTWICK DR, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a 2,456 square-foot addition to an existing one-story, 2,567 square-foot single-dwelling unit, and associated site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. PMT-3221134), on portions of a 0.28-acre site;

WHEREAS, the project site is located at 8559 Prestwick Drive in the La Jolla Shores Planned District – Single-Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable-2) Overlay Zone, Coastal Height Limit Overlay Zone, Parking Impact (Campus) Overlay Zone, Very High Fire Hazard Severity Zone; La Jolla Shores Planned District Ordinance of the La Jolla Community Plan area;

WHEREAS, the project site is legally described as LOT 29 OF LA JOLLA SHORES HEIGHTS, ACCORDING TO MAP THEREOF FILED NO. 5831, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 3, 1967 [APN No. 346-670-0800];

WHEREAS, on December 12, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (Infill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on April 23, 2025, the Hearing Officer of the City of San Diego considered Site Development Permit No. PMT-3221134, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. PMT-3221134:

**SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]**

**a) Findings for all Site Development Permits:**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes a 2,456 square-foot addition to an existing one-story, 2,567 square-foot single-dwelling unit, and associated site improvements.

The 0.28-acre (12,162 square feet) site is located at 8559 Prestwick Drive, between Inverness Drive and Prestwick Court and is accessed via Prestwick Drive. The subject property is in the La Jolla Shores Planned District – Single-Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable-2) Overlay Zone, Coastal Height Limit Overlay Zone, Parking Impact [Campus] Overlay Zone, Very High Fire Hazard Severity Zone within the La Jolla Planned Shores District Ordinance (LJSPDO) of the La Jolla Community Plan area. The site is located within the La Jolla Shores Heights subdivision.

The surrounding neighborhood character is primarily comprised of one and two-story single-family homes featuring various architectural styles. The land use designation for the subject site is Very Low Density Residential, which allows a density up to 5 dwelling units per acre (0-5 DU/AC) as identified in the La Jolla Community Plan (Community Plan). The goals and policies of the Residential Land Use Element calls for developments to maintain the existing residential character of the surrounding neighborhood by providing harmonious visual relationship to exist between the bulk and scale of structures, as well as to maintain the 30-foot Coastal Height Limit. The project is proposing an addition with no additional dwellings and is consistent with the prescribed land use and density. Also, the project does not exceed the limitation in height of 30 feet and proposes a maximum structure height of 25 feet-9-1/4 inches. No additional stories are being proposed. Furthermore, there are no public views or view corridors designated as referenced in Figure 9 of the Community Plan. Therefore, the proposed project will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

There are no environmentally sensitive lands present on site, therefore the project is not subject to the Environmentally Sensitive Lands Regulations of the Land Development Code. Also, the site is not within or adjacent to the Multi-Habitat Planning Area (MHPA) of the City's Multiple Species Conservation Program. The site is within the Very High Fire Hazard Severity Zone. Because the premises is surrounded by single-dwelling unit-type development and is further than 100 feet from native or naturalized vegetation, the project does not require Brush Management as per SDMC section 142.0412.

The project contains specific requirements to ensure compliance with the regulations of the Land Development Code and current City Standards, including those to protect the public health, safety, and welfare. These requirements include an improved 12-foot driveway with 10-foot visibility triangles on each side that will provide adequate sight distance for safe vehicle movement when entering and exiting the Prestwick Drive public right-of-way. The project is required to comply with the City's Stormwater Standards to ensure that any on-site runoff is properly treated during and post-construction phases. The preparation of a Water Pollution Control Plan (WPCP) will be required, which ensures water quality treatment appropriate to the project location are met during construction. Best Management Practices will also be implemented during construction, such as sediment and erosion control, fugitive dust suppression, trash control, and spill prevention. Because the property is within the Areas of Special Biological Significance (ASBS) watershed, no dry weather runoff is permitted, and the project is subject to increased inspections during construction. Furthermore, the project will also require an Encroachment Maintenance and Removal Agreement for the proposed sidewalk underdrain within the Prestwick Drive Right-of-Way for the purpose of conveying on-site drainage to the City's storm drain system. Therefore, the proposed project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project site is located within the La Jolla Shores Subdivision and is subject to the regulations of the LJSPDO in accordance with SDMC Section 1510.0301.

The 0.28-acre (12,162 square-feet) lot is designated as Very Low Density Residential, which allows to provide up to five Dwelling Units (DU) per acre as identified in the Land Use Element of the Community Plan. For the proposed development to be consistent with the Community Plan's land use designation, the DU density must not exceed more than one (1) DU per net-acre and implement the development regulations for Single-Family Zones in accordance with SDMC Section 1510.0304. According to Table 131-04J, the maximum Floor Area Ratio (FAR) allowed for the property is 0.52 (6,324 square-feet). The project proposes an FAR of 0.45 (5,446 square-feet), which complies with the maximum FAR allowed under the prescribed LJSPD-SF Base Zone. In addition, the proposed building lot coverage of the development is 6,324 square-feet, which meets the Lot Coverage allowance for developments for the LJSPD-SF Base Zone. Furthermore,

the project complies with the height and setbacks of the underlying base zone development regulations.

The building envelope incorporates a mixture of neutral gray, natural stone, and earth-tone colors within the siding and roof as prescribed in the General Design Regulations of the LJSPDO. All existing trees fronting the property along the Prestwick Drive Right-of-Way are to remain and protected in-place. The project site is also within the Parking Impact [Campus] Overlay Zone, to which an improved driveway width of 12 feet is required as per SDMC Section 142.0560(j). According to County building records, the existing dwelling unit was constructed in 1968. Staff performed a historic resources assessment for subject property and determined that it does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria pursuant to SMDC Section 143.0212.

Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. PMT-3221134 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. PMT-3221134, a copy of which is attached hereto and made a part hereof.

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Mark Lopez  
Development Project Manager  
Development Services Department

Adopted on: April 23, 2025

IO#: 24009555



THE CITY OF SAN DIEGO

DATE OF NOTICE: December 12, 2024

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

24009555

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**PROJECT NAME / NUMBER:** 8559 Prestwick Drive / PRJ-1086924**COMMUNITY PLAN AREA:** La Jolla**COUNCIL DISTRICT:** 1**LOCATION:** 8559 Prestwick Drive, San Diego, California 92037

**PROJECT DESCRIPTION:** A request for a SITE DEVELOPMENT PERMIT for a 2,456-square foot addition and remodel of an existing 2,567-square foot single family residential unit. Additionally, the project proposes two covered patios, associated hardscape and landscape. The 0.279-acre (12,162-square foot) project site is located at 8559 Prestwick Drive. The site is designated Residential and zoned La Jolla Planned District Single Family (LJPD)-SF within the La Jolla Community Plan and Local Coastal Program. The project site is also within the Coastal Zone Boundary, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable - 2) Very High Fire Hazard Severity Zone, and Parking Impact Overlay Zone (Coastal and Campus). **LEGAL DESCRIPTION:** Lot 29 of La Jolla Shores Heights, according to map thereof filed No. 5831, in the City of San Diego, County of San Diego, State of California, filed in the office of the county recorder of San Diego County, February 3, 1967.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (In-fill Development).**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to 15332, In-fill Development; (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered,

rare, or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. Furthermore, the exceptions listed in Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

**DEVELOPMENT PROJECT MANAGER:** Jose Bautista  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER / EMAIL:** (619) 557-7983 / JABautista@san Diego.gov

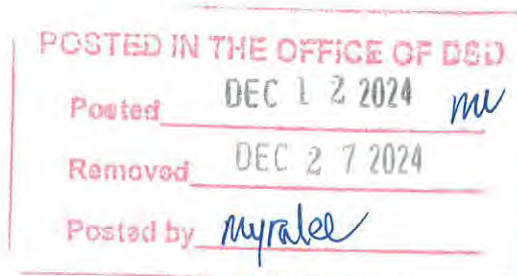
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On December 12, 2024, the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (December 27, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form DS-3031 can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to [Hearings1@san Diego.gov](mailto:Hearings1@san Diego.gov) by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form DS-3031 can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application DS-3031 (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.





**City of San Diego**  
**Development Services**  
 1222 First Ave., MS 302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**FORM**  
**DS-318**

October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title:** 8559 Prestwick **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** 8559 Prestwick Dr. La Jolla, CA 92037

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? CA Corporate Identification No. 88-2819613  
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, and addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: 8559 Prestwick LLC / Karla Beltran - Manager ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 1299 Prospect St Suite 103  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: 619-513-6176 Fax No.: \_\_\_\_\_ Email: karla@archbel.com  
 Signature: \_\_\_\_\_ Date: 03/07/2023  
 Additional pages Attached: ☐ Yes ☒ No

**Applicant**

Name of Individual: 8559 Prestwick LLC / Karla Beltran - Manager ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 1299 Prospect St Suite 103  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: 619-513-6176 Fax No.: \_\_\_\_\_ Email: karla@archbel.com  
 Signature: \_\_\_\_\_ Date: 03/07/2023  
 Additional pages Attached: ☐ Yes ☒ No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

Page 3	City of San Diego · Information Bulletin 620		August 2018
	<b>City of San Diego</b> <b>Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101		<b>Community Planning</b> <b>Committee Distribution</b> <b>Form</b>
	Project Name: 8559 PRESTWICK		Project Number: 1086924
Community: La Jolla			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: June 06, 2024
# of Members Yes 12	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations: none			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: ADRIAN FERAL			
TITLE: SECRETARY		DATE: July 25, 2024	

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

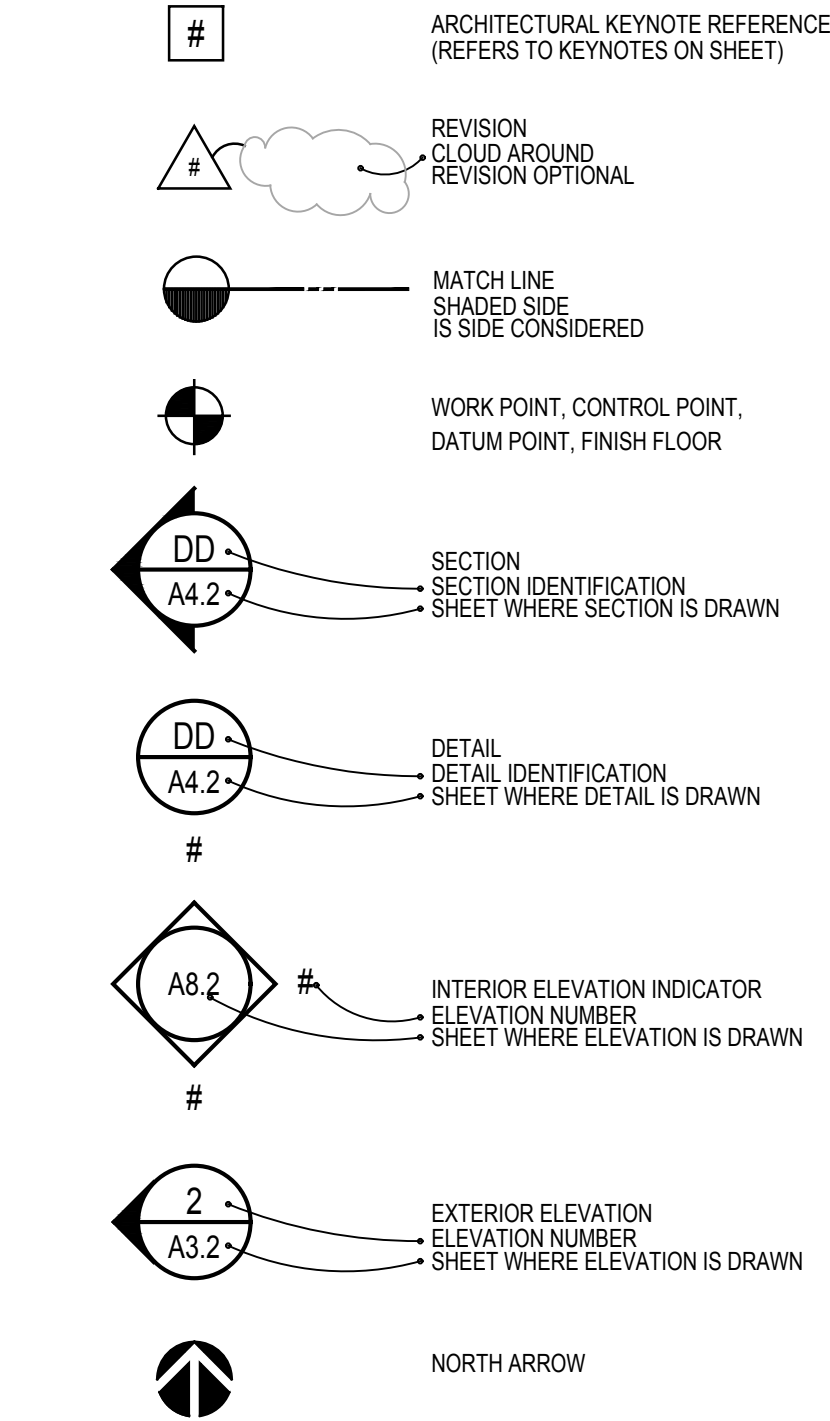
Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

ABBREVIATIONS

A.B.	ANCHOR BOLT	H.	HIGH
A.C.	ASPHALTIC CONCRETE	H.B.	HOSE BB
AC	AIR CONDITIONING	H.C.	HOLLOW CORE
ACT	ACOUSTICAL TILE	HDWD.	HARDWOOD
A.D.	AREA DRAIN	HDWE.	HARDWARE
ADJ.	ADJUSTABLE	H.M.	HOLLOW METAL
ADJA.	ADJACENT	HORIZ.	HORIZONTAL
A.F.F.	ABOVE FINISH FLOOR	HR.	HOUR
AGGR.	AGGREGATE	HT.	HEIGHT
ALUM.	ALUMINUM	H.V.A.C.	HEATING/VENTILATION & AIR CONDITIONING
ALT.	ALTERNATE	HW.	HOT WATER
ANOD.	ANODIZED	LD.	INSIDE DIAMETER
A.P.	ACCESS PANEL	INCL.	INCLUDING
APPROX.	APPROXIMATE	INSUL.	INSULATION
ARCH.	ARCHITECTURAL	INT.	INTERIOR
ASB.	ASBESTOS		
ASPH.	ASPHALT	JAN.	JANITOR
		JST.	JOIST
BD.	BOARD	JT.	JOINT
BITUM.	BITUMINOUS		
BLDG.	BUILDING	KIT.	KITCHEN
BLK.	BLOCK	K.O.	KNOCK OUT
BLKG.	BLOCKING		
BM.	BEAM	LAB.	LABORATORY
BTM.	BOTTOM	LAM.	LAMINATE
B.R.	BEDROOM	LAV.	LAVATORY
BRKT.	BRACKET	L.F.	LINEAL FEET
BSMT.	BASEMENT	LKR.	LOOKER
BIS.	BOTH SIDES	L.R.	LIVING ROOM
B.U.R.	BUILT UP ROOFING	LT.	LIGHT
		LVR.	LOUVER
CAB.	CABINET	MAT.	MATERIAL
C.B.	CATCH BASIN	MAX.	MAXIMUM
CEM.	CEMENT	M.B.	MACHINE BOLT
CER.	CERAMIC	M.C.	MEDICINE CABINET
C.I.	CAST IRON	M.D.	METAL DECK
C.I.P.	CAST IRON PIPE	MECH.	MECHANICAL
C.J.	CONTROL JOINT	MEMB.	MEMBRANE
C.L.	CHAIN LINK	MET.	METAL
C.LG.	CEILING	MFR.	MANUFACTURER
CLKG.	CAULKING	MH.	MANHOLE
CLOS.	CLOSET	MIN.	MINIMUM
CLR.	CLEAR	MIR.	MIRROR
CMU.	CONC. MASONRY UNIT	MISC.	MISCELLANEOUS
CNTR.	COUNTER	M.O.	MASONRY OPENING
C.O.	CLEAN OUT	M.R.	MISTURE RESISTANT
COL.	COLUMN	MTD.	MOUNTED
CONC.	CONCRETE	MTG.	MOUNTING
COND.	CONDIION	MUL.	MULION
CONN.	CONNECTION		
CONSTR.	CONSTRUCTION	N.	NORTH
CONT.	CONTINUOUS	N.C.	NOT IN CONTRACT
CONTR.	CONTRACTOR	N.O.S.	NUMBER(S)
CORR.	CORRIDOR	NOM.	NOMINAL
C.P.	CEMENT PLASTER	N.T.S.	NOT TO SCALE
CPT.	CARPET		
C.T.	CERAMIC TILE		
CTR.	CENTER		
CTRSK.	COUNTERSUNK	O.	OVER
CW.	COLD WATER	O.A.	OVER ALL
		OB.	OBSCURE
D.	DEEP	O.C.	ON CENTER
D.A.	DOUBLE ACTING	O.D.	OUTSIDE DIAMETER
DBL.	DOUBLE	O.F.D.	OVERFLOW DRAIN
DEPT.	DEPARTMENT	O.F.I.C.	OWNER FURNISHED- CONTRACTOR INSTALLED
DET.	DETAIL	OFF.	OFFICE
D.F.	DRINKING FOUNTAIN	O.H.	OVERHANG
DIA.	DIAMETER	OPNG.	OPENING
DIM.	DIMENSION	OPP.	OPPOSITE
DISP.	DISPENSER	OVHD.	OVERHEAD
D.O.	DOOR OPENING		
DN.	DOWN	P.	PAINT
DR.	DOOR	P.D.	PLANTER DRAIN
D.S.	DOWNSPOUT	PDC.	PREFABRICATED
D.S.P.	DRY STAND PIPE		
DWG.	DRAWING	PC.	PIECE
DWR.	DRAWER	PERF.	PERFORATED
		PL.	PLATE
E.	EAST	PLAS.	PLASTER
EA.	EACH	PLBG.	PLUMBING
E.F.	EXTERIOR FINISH	PLYWD.	PLYWOOD
EFS.	EXTERIOR INSULATION AND FINISH SYSTEM	PNL.	PANEL
		PR.	PART
E.J.	EXPANSION JOINT	PRCST.	PRECAST
EL.	ELEVATION	PT.	POINT
ELEC.	ELECTRICAL	P.T.D.	PAPER TOWEL DISPENSER
ELEV.	ELEVATOR	P.T.D.R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
EMER.	EMERGENCY	PTN.	PARTITION
ENCL.	ENCLOSURE	P.T.R.	PAPER TOWEL RECEPTACLE
E.O.S.	EDGE OF SLAB	EQAL.	EQUAL
E.P.	ELECTRIC PANELBOARD	PVMT.	PAVEMENT
EQ.	EQUIPMENT		
EQPT.	EQUIPMENT	Q.T.	QUARRY TILE
ETS.	EXPOSED TO STRUCTURE		
E.W.	EACH WAY	R.	RISER
E.W.C.	ELECTRIC WATER COOLER	RAD.	RADIUS
EXH.	EXHAUST	R.B.	RESILIENT BASE
EXIST. (E)	EXISTING	R.D.	ROOF DRAIN
EXP.	EXPANSION	REF.	REFERENCE
EXPO.	EXPOSED	REFR.	REFRIGERATOR
EXT.	EXTERIOR	RENF.	REINFORCING
		REQ.	REQUIRED
F.A.	FIRE ALARM	RESIL.	RESILIENT
F.B.	FLAT BAR	REV.	REVISED
F.D.	FLOOR DRAIN	RFG.	ROOFING
FDN.	FOUNDATION	RGTR.	REGISTER
F.E.	FIRE EXTINGUISHER	R.H.	ROBE HOOK
F.E.C.	FIRE EXTINGUISHER CABINET	RM.	ROOM
F.F.	FACTORY FINISH	R.O.	ROUGH OPENING
F.F.EL.	FINISH/FLOOR ELEVATION	RWD.	REDWOOD
FIN.	FINISH	R.W.L.	RAIN WATER LEADER
F.H.C.	FIRE HOSE CABINET		
FLR.	FLOOR	S.	SOUTH
FLASH.	FLASHING	S.A.	SINGLE ACTING
FLR.C.O.	FLOOR CLEAN OUT	S.C.	SOLID CORE
FLOD.	FOLDING	S.C.D.	SEAT COVER DISPENSER
FLOOR.	FLUORESCENT	SCHED.	SCHEDULE
F.O.C.	FACE OF CONCRETE	SCR.	SCREEN
F.O.F.	FACE OF FINISH	S.D.	SOD/ DISPENSER
F.O.M.	FACE OF MASONRY	SEAL.	SEALER
F.O.S.	FACE OF STUDS	SECT.	SECTION
FR.	FRAMING	SEPAR.	SEPERATE OR SEPERATION
FR.	FRAME	SH.	SHelf
		SHNR.	SHOWER
F.S.	FULL SIZE	SHT.	SHEET
FT.	FOOT OR FEET	SL.	SIMILAR
FTG.	FOOTING	SLO.	SLOPE
FURN.	FURNISH	SLDG.	SLIDING
FURN.	FURNISH	SM.	SMOOTH
FUT.	FUTURE	SPEC.	SPECIFICATION
		SQ.	SQUARE
GA.	GAUGE	SSIN.	PRE-FAB STAINLESS STEEL
GALV.	GALVANIZED		OVER INSULATING PANELS
G.B.	GRAB BAR	SST.	STAINLESS STEEL
GC.	GLAZED COATING	S.S.K.	SERVICE SINK
GL.	GALVANIZED IRON	STA.	STATION
GL.	GLASS GLAZING	STD.	STANDARD
GND.	GROUND	STL.	STEEL
GR.	GRADE		
GYP. BD.	GYPSPUM WALL BOARD		
GYP.	GYPSPUM		

SYMBOLS



SOIL GENERAL NOTE:

THE STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATIONS OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

NOTE: OWNER(S) 8559 PRESTWICK DR LLC (PRINT NAME) OWNER(S) ARCHBEL (SIGNATURE) DATE 10.07.2020

DESIGNER(S) RAMON MOSCOSO (PRINT NAME) DESIGNER(S) (SIGNATURE) DATE 10.07.2020

RESPONSABILITY GENERAL NOTE:

AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCOE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT:

OWNER SIGNATURE ARCHBEL

WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEM SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTER AND APPROVED BY THE BUILDING OFFICIAL.

CF2R/CF3R NOTES:

- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLATION CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF HE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTICS TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTICS TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

FIRE NOTES:

- OCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.
- DURING THE CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS. IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2.
- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE. SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3.
- OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.

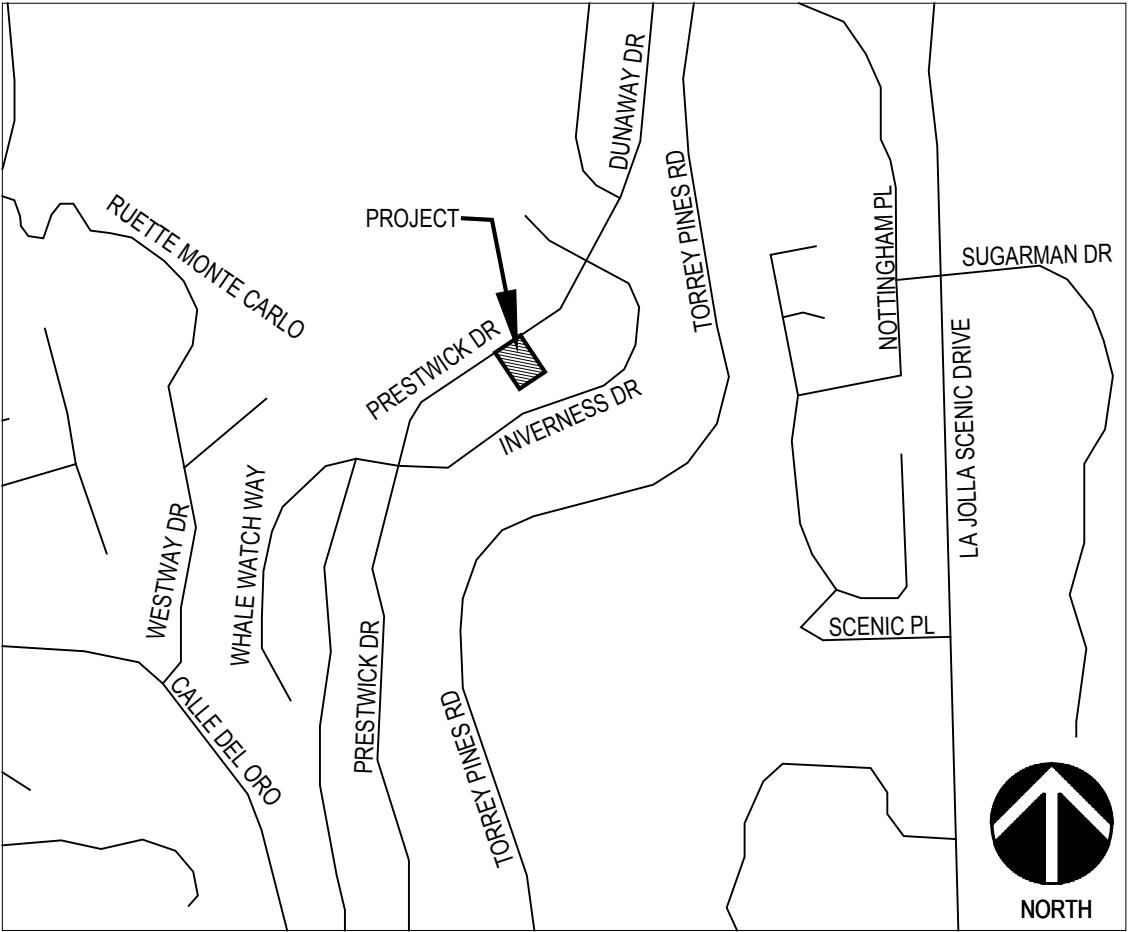
DEFERRED FIRE SPRINKLERS

(TYPE NFPA 13D PER CRC SECT. R313 & CBC SECT. 903) (FIRE SPRINKLERS: 26 GPM)

ALL AREAS WITHIN AND OTHER THAN WITH IN THE DWELLING REQUIRED TO BE PROTECTED WITH A FIRE SPRINKLER SYSTEM.

WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL. TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS. THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE HAS BEEN DEFERRED. IT IS UNDERSTOOD THAT PLANS FOR HE PROJECT HAVE, AT HIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS, AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF HE DEFERRED ITEMS LISTED. IWE UNDERSTAND THAT IWE WILL NOT BE AUTHORIZED ANY INSPECTIONS OF THE DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS. COMPLETE PLANS AND SPECIFICATION FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

VICINITY MAP



GENERAL NOTES

1. ALL WORK INCLUDING MATERIALS AND WORKMANSHIP SHALL CONFIRM TO THE REQUIREMENT OF LOCAL CODES, LAWS, ORDINANCES AND GOVERNING JURISDICTIONS CURRENT ADOPTED EDITIONS OF THE UNIFORM BUILDING CODE AND MECHANICAL, PLUMBING, FIRE AND ELECTRICAL CODES.
2. THE CONTRACTOR/SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR CONDITIONS OF HIS WORK AND MATERIALS AND IF ANY DISCREPANCIES ARE NOTED, SHALL NOTIFY THE ARCHITECT, OWNER AND JOB SUPERINTENDENT/MANAGER OF THESE DISCREPANCIES IMMEDIATELY.
3. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND OTHERS PERSONS DURING DEMOLITION AND CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING, SCAFFOLDING, PLANKING, ETC. SUB-CONTRACTOR, AT HIS OWN EXPENSE, SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT SAME AT THE JOB SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
4. CONTRACTOR TO SUBMIT ALL PRODUCT INFORMATION, SHOP DRAWINGS, CATALOG, CUTS, ETC. TO THE ARCHITECT FOR APPROVAL.
5. STRUCTURAL GENERAL NOTES
6. WRITTEN DIMENSIONS TAKE PRIORITY OVER SCALED DIMENSIONS. CONTRACTOR TO VERIFY ALL LARGER SCALE DETAIL DRAWINGS FOR SEQUENCE, DIMENSIONS AND FINISH MATERIALS AS INDICATED. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF DIMENSIONS BETWEEN SEPARATE TRADES.
7. EXTERIOR WALL DIMENSIONS RE O HE OUTER FACE OF CONCRETE, MASONRY, OR STUD, AND INTERIOR PARTITIONS RE DIMENSIONED TO THE OUTER FACE OF STUD, UNLESS NOTED OTHERWISE.
8. THESE DRAWINGS NO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTIONS SAFETY. SAFETY OF ALL PARTIES ON THE JOB SITE IS HE CONTRACTOR'S RESPONSIBILITY
9. UNLESS SPECIFICALLY SHOWN O NOTED ON HE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER OR ARCHITECT. GRADE BEAMS, FOOTINGS AND STRUCTURAL SLABS, SHALL NOT BE SLEEVED WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER UNLESS OTHERWISE NOTED ON PLANS.
10. ALL UTILITIES TO BE UNDERGROUND PER UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.
11. ALL ADDRESSES SHALL BE PLACED ON THE BUILDINGS IN SUCH A MANNER THAT THEY ARE CLEARLY SEEN FROM THE STREET.
12. ALL SURFACE WATER TO DRAIN AWAY FROM ALL STRUCTURES, TYPICAL.
13. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REGARDING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION
14. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST E SUBMITTED TO HE INSPECTION SERVICES DIVISION PRIOR TO ERECTIONS OR PREFABRICATED COMPONENTS
15. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF FIRE-FABRICATED COMPONENTS
16. CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS
17. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE.

DIRECTORY

OWNER:  
8559 PRESTWICK DR LLC  
1299 PROPECT STREET SUITE #103  
LA JOLLA CA 92037  
619-487-0776  
CONTACT: JOSE LUIS IZABAL

STUDIO:  
MOSARCH STUDIO  
1911 SAN DIEGO AVE. SUITE 103  
SAN DIEGO, CA 92110  
M@MOSARCHSTUDIO.COM  
619-946-7555

STRUCTURAL ENGINEER:  
GAMA ENGINEERING INC  
1911 SAN DIEGO AVE SUITE 106  
SAN DIEGO CA 92110  
JUAN GARCIA  
619-254-8548

PROJECT INFORMATION

PROJECT TYPE: ONE STORY SINGLE FAMILY RESIDENCE ADDITION	LEGAL DESCRIPTION: TR 5831 LOT 29'
OCCUPANCY GROUP: PRIMARY R-3/U	LOT SIZE: 12,162 S.F.
CONSTRUCTION TYPE: TYPE VB	FRONT YARD SETBACK: 15'
FIRE SPRINKLERS: YES	REAR YARD SETBACK: 7'-6"
ZONE: LJSPD-SF	INTERIOR SIDE YARD SETBACK: 5'
YEAR BUILT: 1968	MAXIMUM BUILDING HEIGHT: 30'

<b>BUILDING LIVING AREA:</b>	
(E) SINGLE FAMILY DWELLING:	2,567 S.F.
(N) SINGLE FAMILY ADDITION:	2,456 S.F.
TOTAL LIVING AREA:	5,023 S.F.
(E) 2-CAR GARAGE	398 S.F.
(N) COVER PATIO - 1	204 S.F.
(N) COVER PATIO - 2	114 S.F.
FAR: 52%	
TOTAL LOT 12,162 SQ.FT. 52% OF TOTAL LOT 12,162 SQ.FT. = 6,324 SQ.FT. (ALLOWED)	
TOTAL SQUARE FOOTAGE:	
(E) SINGLE FAMILY DWELLING:	2,567 S.F.
(N) SINGLE FAMILY ADDITION:	2,456 S.F.
(E) 2- CAR GARAGE:	420 S.F.
TOTAL:	5,446 S.F.

6,324 SQ. FT. ALLOWED > TOTAL : 5,446 S.F.

LOT COVERAGE= 60%

TOTAL LOT 12,162 SQ.FT.  
60% OF TOTAL LOT 12,162 SQ.FT. = 7,297 SQ.FT. (ALLOWED)

TOTAL SQUARE FOOTAGE: 1ST FLOOR W/GARAGE : 5,446 SQ.FT.  
COVER PATIOS : 318 SQ. FT.

7,297 SQ.FT. ALLOWED > TOTAL: 5,784 SQ.FT.

SCOPE OF WORK

EXISTING ONE STORY SINGLE FAMILY DWELLING TO BE COMPLETELY REMODEL TO RECEIVE NEW ADDITION:

- REMODEL:
  - MASTER BEDROOM AND MASTER BATH, SECONDARY BEDROOMS AND BATHS
  - LIVING ROOM, KITCHEN & DINING ROOM
  - GARAGE
- ADDITION:
  - FAMILY ROOM, PREP AREA, FOYER
  - LINEN/SERVER ROOM
  - LAUNDRY ROOM
  - SECONDARY WALK IN CLOSETS

NEW 2 COVER PATIO  
BBQ AREA  
(E) GAS METER TO BE RELOCATED  
(E) ELECTRICAL METER TO BE RELOCATED AND TO BE UPGRADED TO 200 AMP

CODE COMPLIANCE

2019 CALIFORNIA RESIDENTIAL CODE (BASED ON 2018 IRC)  
2019 CALIFORNIA BUILDING CODE (BASED ON 2018 IBC.)  
2019 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2017 NEC)  
2019 CALIFORNIA PLUMBING CODE (BASED ON THE 2018 UPC)  
2019 CALIFORNIA MECHANICAL CODE (BASED ON THE 2018 UMC)  
2019 FIRE CODE (BASED ON TEH 2018 IFC)  
2019 CALIFORNIA GREEN STANDARD CODE  
2019 TITLE 24 CALIFORNIA ENERGY  
2019 CALIFORNIA EXISTING BUILDING CODE (BASED ON THE 2018 IEBG)  
2019 CALIFORNIA REFERENCED STANDARDS CODE

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Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL	03.15.24
FIFTH SUBMITTAL	10.18.24

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Drawn By:	LS
Checked:	RM
Cad No.:	C-08

Scale:	1/4" = 1'-0" U.N.O.
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TITLE SHEET

SHEET:

TS

SINGLE DWELLING UNITS / DUPLEXES / ACCESSORY DWELLING UNITS 2019 CALIFORNIA RESIDENTIAL CODE

General/ Special Subjects

Prop D/ Coastal Height Limitation Overlay Zone (If applicable to project)

- The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above base of measurement (reference datum). [SDMC Section 132.0505]

- A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D).

FAA Part 77 Notification (If applicable to project)

- FAA Self Certification option:  
The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents, provides the following certification on their plans, along with their signature and registration stamp:  
"I, \_\_\_\_\_, do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required."
- A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction inspection.

Deferred Submittal (general)

- Plans for the deferred submittal items shall be submitted in a timely manner but not less than 30 business days prior to installation for City review and approval.

- The deferred submittal items shall not be installed until their design and submittal documents have been approved by the Building Official. [SDMC §129.0205]

- The registered and responsible design professional shall review the deferred submittal documents and submit them to the Building Official, with annotation indicating that the deferred submittal documents have been reviewed and found to be in general conformance to the design of the building. [SDMC §129.0205]

Deferred Submittal (NFPA 13D Fire Sprinkler)

- The submittal of residential fire sprinkler plans required by California Residential Code Section R313 has been deferred.

- To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans.

Special Inspections (If applicable to project)

- NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.

- NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.

- The special inspector must be registered by the City of San Diego, Development Services, in the category of work required to have special inspection.

- The special inspections identified on plans are, in addition to, and not a substitute for, those inspections required to be performed by a City's building inspector.

- The construction materials testing laboratory must be approved by the City of San Diego, Development Services, for testing of materials, systems, components and, equipment.

- Offsite fabricator must be approved by the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of the fabricator's shop.

- Offsite fabricator shall submit an 'Application to perform Off-Site Fabrication' to the Inspection Services Division for approval prior to commencement of fabrication.

- Offsite fabricator shall submit a 'Certificate of Compliance for Off-Site Fabrication' to the Inspection Services Division prior to erection of fabricated items and assemblies.

Soils and Foundation

- When no geotechnical investigation report is provided:  
The structure(s) will be located entirely on undisturbed native soil.  
Signature \_\_\_\_\_Owner/Licensed Engineer or Architect
- When no geotechnical investigation report is provided:  
As a California licensed Architect/Engineer, I have classified the undisturbed native soils to be \_\_\_\_\_ and per Table 1806.2 of the 2019 CBC I have assigned a foundation pressure of \_\_\_\_\_ psf. for the design of foundations related to this project.  
Signature \_\_\_\_\_of Licensed Architect/Engineer

- If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required.

Fire Notes

- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC 3315.1.

- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.

California Residential Code

- Ducts in the garage and ducts penetrating walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gauge sheet steel or other approved material and shall have no openings into the garage. [CRC R302.5.2]

- Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. [CRC R307.2]

- Smoke alarms and smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance.

- Smoke alarms shall be installed not less than a 3-foot horizontal distance from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by other sections of the CRC.

- Smoke alarms and smoke detectors shall not be installed within a 36-inch horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow of those registers.

- Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery backup and low battery signal.

- Smoke alarms shall comply with NFPA 72 and shall be listed in accordance with UL 217.
- Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034.

- Smoke alarm systems and components shall be California State Fire Marshal listed and approved in accordance with California Code of Regulations, Title 19, Division 1 for the purpose for which they are installed.

- Window opening control devices serving emergency escape and rescue openings shall comply with ASTM F2090. [CRC R310.1.1]

- Add note on plans: "Window fall control device shall comply with ASTM F2090. At the emergency escape windows, the device after operation should release the control device allowing the windows to fully open providing the clear net opening area required for emergency escape window in accordance with CRC R310.2.1.

2019 Residential – California Green Building Standards Code

Electric Vehicle Charging

- A listed raceway to facilitate future installation of Electric Vehicle Charger.

- Raceway shall be not less than trade size 1 (nominal 1-in. diameter) to accommodate a dedicated 208/240-volt branch circuit.

- Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of the EV charger.

- Raceway shall be continuous at enclosed, inaccessible or concealed areas and spaces.

- The service panel or subpanel shall provide capacity to install a 40-ampre minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

- The service panel or subpanel circuit directory shall identify:  
a) The overcurrent protective device space(s) for future EV charging as "EV CAPABLE"  
b) The raceway termination location as "EV CAPABLE"

General Notes:

- New residential developments with a landscape area over 500 sq. ft. shall comply with one of the following [CALGreen 4.304.1]  
1) Local water efficient landscape ordinance or current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO).  
2) Landscape areas less than 2500 sq. ft. may comply with MWELO's Appendix D Prescriptive Compliance Option.

- Joints and openings, annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. [CALGreen 4.406.1]

- Before final inspection, a complete operation and maintenance manual shall be placed in the building. A sample of the manual is available on the Housing and community Development (HCD) web site. The manual should include the items listed in 2019 CALGreen 4.410.1.

- Paints, stains, coatings, adhesives, sealants and caulks shall comply with the Volatile Organic Compound (VOC) limits listed in 2019 CALGreen Section 4.504.2.

- The VOC Content Verification shall be made available to the City staff upon request.

- All new and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following:  
1) Carpet and Rug Institute's Green Label Plus Program  
2) California Department of Public Health's Specification 01350  
3) NSF/ANSI 140 at the Gold level  
4) Scientific Certification Systems Indoor AdvantageTM Gold

- Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following [CALGreen 4.504.4]  
1) VOC emission limits defined in the CHPS High Performance Products Database  
2) Certified under UL GREENGUARD Gold  
3) Certification under the Resilient Floor Covering Institute (RFC) FloorScore Program  
4) Meet the California Department of Public Health's Specification 01350

- New hardwood plywood, particle board, and medium density fiberboard (MDF) composite wood product used in the building shall meet the formaldehyde limits listed in 2019 CALGreen Table 4.504.5.

- Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content. [CALGreen 4.505.3]

Plumbing/Mechanical

- A plumbing fixture certification must be completed and signed by either a licensed general contractor, a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the Development Services Department.

- All plumbing fixtures and fittings will be water conserving and will comply with the 2019 CGBSC

- Per 2019 CGBSC, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC).

- Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM).

- Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM).

- Provide water closets with a maximum flow of 1.28 gallons flush (GPF).

- Provide shower heads with a maximum flow of 1.8 gallons per minute (GPM).

- When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Handheld showers are considered showerheads.

- Permanent vacuum breakers shall be included with all new hose bibbs.

- Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC).

- Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

- Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:  
1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.  
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.

- Heating and Air conditioners shall be sized, designed and have their equipment selected using the following methods:  
1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.  
2. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2009 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.  
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2004 (Residential Equipment Selection).

- All duct and other related air distribution component openings shall be covered during with tape, plastic, or sheet metal until the final startup of the heating cooling, and ventilation equipment. [CALGreen 4.504.1]

- Newly installed bathroom exhaust fans shall be Energy Star compliant and be ducted to terminate outside of the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent. [CALGreen 4.506.1]

Outdoor Showers

- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. Cold water connection only.

- Storm/Rainwater is not permitted in the public sewer conveyance system.

2019 Residential – California Energy Code

Lighting

- Lighting in bathrooms shall have all high efficacy luminaire and at least one luminaire must be controlled by a vacancy sensor.

- All the installed wattage of luminaires in kitchens shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer. Under cabinet lighting shall be switched separately.

- Lighting in Garages, Laundry Rooms and Utility Rooms: All luminaires shall be high efficacy and at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.

- All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

- Outdoor Lighting: All luminaires mounted to the building or to other buildings on the same lot shall be high efficacy luminaires and must be controlled by a manual on and off switch, AND controlled by one of these automatic control types: Photocontrol and a motion sensor, or Astronomical time clock or Energy management control system (EMCS).

- Provide an exterior light at new exterior exits. For dwelling units, attached garages, and detached garages with electric power, at least one wall switch-controlled lighting outlet shall be installed to provide illumination on the exterior side of outdoor entrances or exits with grade level access. A vehicle door in a garage shall not be considered as an outdoor entrance or exit. Exception: Remote, central, or automatic control of lighting shall be permitted.

2019 Residential –Mechanical/Plumbing

Mechanical Notes

- Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC).

- When a water heater compartment is openable to and is accessible from a bedroom or bathroom, fuel burning water heaters shall be separated in a closet protected with a listed, gasketed self-closing door assembly installed with a threshold/bottom seal complying with Section 504.1.1 and 504.1.2 of the California Plumbing Code. Combustion air shall be supplied to the closet from the exterior in accordance with Section 506.4 of the CPC & the water heater shall be direct venting. The closet shall be used exclusively for the water heater. CPC 504.1

- When a central heating furnace compartment is openable to and is accessible from a sleeping room such as a bedroom or a bathroom they shall be separated from bedroom in a closet protected with a listed, gasketed self-closing door assembly complying with Section 904.1.1 and 904.1.2 of the California Mechanical Code. Combustion air shall be supplied to the closet from the exterior in accordance with Section 506.4 of the CPC. The closet shall be used exclusively for the furnace. The furnace shall be of the direct vent type. CMC 904.1

Water Meter/Residential Fire Sprinkler

- Water meters for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.

- After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement:  
Owner Signature: \_\_\_\_\_

2019 Residential – Very High Fire Hazard Zone Severity Zone

- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of non-combustible materials. [CRC R337.5.4]

- Drip edge flashing used at the free edges of roofing materials shall be non-combustible.

- Valley flashings shall be not less than 0.019-inch (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide underlayment consisting of one layer of No. 72 ASTM cop sheet running the full length of the valley. [CRC R337.5.3]

- Chimneys, flues or stovepipes attached to any fireplace, stove, barbeque or other solid or liquid fuel burning equipment or device shall be equipped with an approves spark arrestor.

- Turbine attic vents shall be equipped to allow one-way direction rotation only and shall not free spin in both directions.

- Glazing frames made of vinyl materials shall have welded corners, metal reinforcement in the interlock area, and be certified to the most current edition of ANSI/AAMA/NWMA 101/1.S.2 structural requirements.

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Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL:	03.15.24
FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE:

Revisions	
Job Number:	PREST-22
Drawn By:	LS
Checked:	RM
Cad No.:	C-08
Scale:	1/4" = 1'-0" U.N.O.

GENERAL NOTES

SHEET:

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

### CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

**301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

**301.1.1 Additions and alterations.** [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

**Note:** On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

**301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]** The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

### SECTION 302 MIXED OCCUPANCY BUILDINGS

**302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

#### ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

## CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

### DIVISION 4.1 PLANNING AND DESIGN

#### SECTION 4.102 DEFINITIONS

**4.102.1 DEFINITIONS**  
The following terms are defined in Chapter 2 (and are included here for reference)

**FRENCH DRAIN.** A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

**WATTLES.** Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

#### 4.106 SITE DEVELOPMENT

**4.106.1 GENERAL.** Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

**4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.** Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance.

**Note:** Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: [https://www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.html](https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html))

**4.106.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales
- Water collection and disposal systems
- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

**Exception:** Additions and alterations not altering the drainage path.

**4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

#### Exceptions:

- On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
  - Where there is no commercial power supply.
  - Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit.
- Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

**4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.** For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

**4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

**4.106.4.2 New multifamily dwellings.** If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

#### Notes:

- Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

**4.106.4.2.1 Electric vehicle charging space (EV space) locations.** Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

**4.106.4.2.1 Electric Vehicle Charging Stations (EVCS)** When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

- The EV space shall be located adjacent to an accessible parking space meeting the requirements of the *California Building Code*, Chapter 11A, to allow use of the EV charger from the accessible parking space.
- The EV space shall be located on an accessible route, as defined in the *California Building Code*, Chapter 2, to the building.

**Exception:** Electric vehicle charging stations designed and constructed in compliance with the *California Building Code*, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.

**Note:** Electric Vehicle charging stations serving public housing are required to comply with the *California Building Code*, Chapter 11B.

**4.106.4.2.2 Electric vehicle charging space (EV space) dimensions.** The EV space shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486 mm).
  - The minimum width of each EV space shall be 9 feet (2743 mm).
  - One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
- a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

**4.106.4.2.3 Single EV space required.** Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

**4.106.4.2.4 Multiple EV spaces required.** Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

**4.106.4.2.5 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the *California Electrical Code*.

**4.106.4.3 New hotels and motels.** All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

#### Notes:

- Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

**4.106.4.3.1 Number of required EV spaces.** The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TABLE 4.106.4.3.1	
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

**4.106.4.3.2 Electric vehicle charging space (EV space) dimensions.** The EV spaces shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486mm).
- The minimum width of each EV space shall be 9 feet (2743mm)

**4.106.4.3.3 Single EV space required.** When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.

**4.106.4.3.4 Multiple EV spaces required.** When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

**4.106.4.3.5 Identification.** The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.

**4.106.4.3.6 Accessible EV spaces.** In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the *California Building Code*, Chapter 11B.

### DIVISION 4.2 ENERGY EFFICIENCY

#### 4.201 GENERAL

**4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

### DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

#### 4.303 INDOOR WATER USE

**4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

**Note:** All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

**4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

**Note:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

**4.303.1.2 Urinals.** The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

#### 4.303.1.3 Showerheads.

**4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

**4.303.1.3.2 Multiple showerheads serving one shower.** When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

**Note:** A hand-held shower shall be considered a showerhead.

#### 4.303.1.4 Faucets.

**4.303.1.4.1 Residential Lavatory Faucets.** The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

**4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

**4.303.1.4.3 Metering Faucets.** Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

**4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

**Note:** Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

**4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.** Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

#### NOTE:

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

#### 4.304 OUTDOOR WATER USE

**4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.** Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

#### NOTES:

- The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: <https://www.water.ca.gov/>

### DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

#### 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

**4.406.1 RODENT PROOFING.** Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

#### 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

**4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

#### Exceptions:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
- The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

**4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN.** Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

- Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
- Identify diversion facilities where the construction and demolition waste material collected will be taken.
- Identify construction methods employed to reduce the amount of construction and demolition waste generated.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

**4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

**Note:** The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

**4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

**4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

**4.408.5 DOCUMENTATION.** Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4..

#### Notes:

- Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at [www.hcd.ca.gov/CALGreen.html](http://www.hcd.ca.gov/CALGreen.html) may be used to assist in documenting compliance with this section.
- Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

#### 4.410 BUILDING MAINTENANCE AND OPERATION

**4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
  - Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
  - Roof and yard drainage, including gutters and downspouts.
  - Space conditioning systems, including condensers and air filters.
  - Landscape irrigation systems.
  - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspections verifications required by the enforcing agency or this code.

**4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

**Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

### DIVISION 4.5 ENVIRONMENTAL QUALITY

#### SECTION 4.501 GENERAL

##### 4.501.1 Scope

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

#### SECTION 4.502 DEFINITIONS

##### 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

**AGRIFIBER PRODUCTS.** Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

**COMPOSITE WOOD PRODUCTS.** Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

**DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

**MAXIMUM INCREMENTAL REACTIVITY (MIR).** The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g) O<sub>3</sub>/g ROG.

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

**MOISTURE CONTENT.** The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

**PRODUCT-WEIGHTED MIR (PWMIR).** The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

**REACTIVE ORGANIC COMPOUND (ROC).** Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

**VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

### 4.503 FIREPLACES

**4.503.1 GENERAL.** Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

### 4.504 POLLUTANT CONTROL

**4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

**4.504.2 FINISH MATERIAL POLLUTANT CONTROL.** Finish materials shall comply with this section.

**4.504.2.1 Adhesives, Sealants and Caulks.** Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCQCMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

**4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

**4.504.2.3 Aerosol Paints and Coatings.** Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

**4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
- Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT <sub>1,2</sub>	
(Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sub>1,2</sub>	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS <sub>1</sub>	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
- THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS:	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD <sub>2</sub>	0.13

- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

## DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

**4.504.3 CARPET SYSTEMS.** All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

- Carpet and Rug Institute's Green Label Plus Program.
- California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
- NSF/ANSI 140 at the Gold level.
- Scientific Certifications Systems Indoor Advantage<sup>®</sup> Gold.

**4.504.3.1 Carpet cushion.** All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

**4.504.3.2 Carpet adhesive.** All carpet adhesive shall meet the requirements of Table 4.504.1.

**4.504.4 RESILIENT FLOORING SYSTEMS.** Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

- Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
- Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
- Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

**4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

**4.504.5.1 Documentation.** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

## 4.505 INTERIOR MOISTURE CONTROL

**4.505.1 General.** Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

**4.505.2 CONCRETE SLAB FOUNDATIONS.** Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

**4.505.2.1 Capillary break.** A capillary break shall be installed in compliance with at least one of the following:

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

**4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.** Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

## 4.506 INDOOR AIR QUALITY AND EXHAUST

**4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
  - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
  - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

### Notes:

- For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
- Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

## 4.507 ENVIRONMENTAL COMFORT

**4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.** Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are acceptable.

## CHAPTER 7

## INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

## 702 QUALIFICATIONS

**702.1 INSTALLER TRAINING.** HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

**702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

### Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

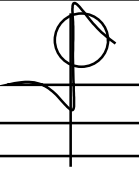
[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

**Note:** Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

## 703 VERIFICATIONS

**703.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

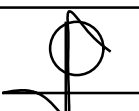
Issue Dates	
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SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL:	03.15.24
FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE: 	
Revisions	
Job Number:	PREST-22
Drawn By:	LS
Checked:	RM
Cad No.:	C-08
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## GENERAL NOTES

SHEET:

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300' SURVEY

SHEET:

SV

PROPERTIES INFORMATION					
ADDRESS	LOT AREA	GROSS FL. AREA	SETBACKS		
			FRONT	REAR	SIDES
8505 PRESTWICK DRIVE	22,380 SF	3,083 SF	51.8'	NONE	14.8' & 25.6'
8515 PRESTWICK DRIVE	12,229 SF	3,441 SF	20.8'	25.6'	21.7' & 7'
8525 PRESTWICK DRIVE	11,299 SF	3,389 SF	18.1'	18.3'	10.1' & 18.5'
8535 PRESTWICK DRIVE	23,337 SF	4,844 SF	30.2'	NONE	11.9' & 8'
8539 PRESTWICK DRIVE	11,088 SF	2,967 SF	20.1'	26.8'	21.7' & 8.6'
8548 PRESTWICK DRIVE	26,155 SF	4,274 SF	15.0'	NONE	13.1' & 3.9'
8548 PRESTWICK DRIVE	11,477 SF	3,867 SF	18.5'	20.4'	8.3' & 13.3'
8558 PRESTWICK DRIVE	27,241 SF	5,703 SF	17.4'	NONE	5.8' & 4.2'
8559 PRESTWICK DRIVE	12,162 SF	3,620 SF	24.9'	19.6'	14.9' & 16.2'
8559 PRESTWICK DRIVE	24,034 SF	3,702 SF	21.9'	NONE	17.4' & 12.7'
8569 PRESTWICK DRIVE	13,200 SF	3,671 SF	25'	46.1'	11.6' & 11.5'
8578 PRESTWICK DRIVE	16,168 SF	4,898 SF	16.9'	NONE	4.8' & 5.8'
8579 PRESTWICK DRIVE	15,267 SF	3,534 SF	23.7'	42.3'	11.8' & 3.7'
8588 PRESTWICK DRIVE	12,812 SF	3,738 SF	22'	NONE	30.8' & 10.3'
8589 PRESTWICK DRIVE	14,957 SF	3,788 SF	22.5'	49.6'	6.2' & 5.2'
8599 PRESTWICK DRIVE	15,965 SF	4,209 SF	22.2'	41.7'	9.9' & 5.9'
2732 INVERNESS DRIVE	10,859 SF	3,291 SF	20.5'	20.5'	17.5' & 16.2'
2756 INVERNESS DRIVE	17,647 SF	3,947 SF	20.0'	NONE	18.8' & 12.0'
2748 INVERNESS DRIVE	11,302 SF	3,605 SF	18.2'	2.2'	21.1' & 19.0'
2745 INVERNESS COURT	19,538 SF	4,141 SF	29.9'	34.4'	12.1' & 9.0'
2751 INVERNESS DRIVE	15,235 SF	3,191 SF	21.4'	NONE	11.0' & 19.1'
2756 INVERNESS DRIVE	11,117 SF	3,786 SF	23.0'	14.7'	14.4' & 15.3'
2763 INVERNESS DRIVE	16,887 SF	2,854 SF	20.3'	NONE	14.1' & 28.7'
2765 INVERNESS COURT	11,809 SF	3,816 SF	24.3'	5.1'	6.1' & 19.9'
2770 INVERNESS DRIVE	11,997 SF	5,130 SF	20.3'	NONE	8.6' & 8.4'
2775 INVERNESS DRIVE	18,312 SF	2,962 SF	20.3'	NONE	17.1' & 28.5'
2780 INVERNESS DRIVE	12,852 SF	4,138 SF	19.9'	35.6'	9.8' & 17.2'
2787 INVERNESS DRIVE	15,931 SF	3,983 SF	20.4'	NONE	16.0' & 5.7'
2792 INVERNESS DRIVE	15,495 SF	3,693 SF	31.0'	34.9'	24.7' & 15.9'
2803 INVERNESS DRIVE	16,510 SF	3,823 SF	18.0'	NONE	14.6' & 13.4'
2810 INVERNESS DRIVE	14,218 SF	4,281 SF	20.1'	13.9'	24.8' & 11.9'
2838 INVERNESS DRIVE	14,575 SF	3,821 SF	19.7'	19.4'	30.3' & 12.3'

PLEASE REFER TO THE PHOTOGRAPHIC SURVEY  
(SHEET PS1, PS2 & PS3)

#### LEGEND

--- INDICATES SUBJECT PROPERTY  
GROSS FL. AREA INDICATES GROSS FLOOR AREAS

NOTES:  
SETBACK DISTANCES TO FRONT AND SIDES OF BUILDINGS  
PER FIELD SURVEY AND RECORD MAP. NOT ALL REAR  
YARDS WERE DEEMED NECESSARY TO MEASURE.

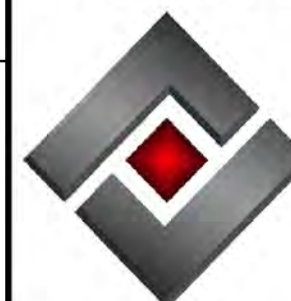
ALL LOT AREAS CALCULATED PER MAP NO. 5831.

ALL GROSS FLOOR AREAS CALCULATED USING A  
COMBINATION OF SURVEYED BUILDING CORNERS, BUILDING  
GEOMETRY AND AERIAL PHOTOGRAMMETRY PER 2020 9"  
SANGIS IMAGERY DATA.

ALL AREAS ROUNDED TO THE NEAREST SQUARE FOOT.

FULL ACCESS TO ALL PROPERTIES WITHIN THE 300' RADIUS  
WAS RESTRICTED TO THE SURVEYOR.

PREPARED BY:



FUSION ENG TECH  
1810 GILLESPIE WAY #207  
EL CAJON, CA 92020  
(619) 736-2800

LA JOLLA SHORES  
PLANNED DISTRICT SURVEY  
8559 PRESTWICK DRIVE  
CITY OF LA JOLLA, CALIFORNIA

SHEET  
1  
OF  
1

#### LEGAL DESCRIPTION:

PORTIONS OF LA JOLLA SHORES HEIGHTS, IN THE CITY OF SAN  
DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA,  
ACCORDING TO MAP THEREOF NO. 5831, FILED IN THE OFFICE  
OF THE COUNTY RECORDER OF SAID COUNTY FEBRUARY 3, 1967.

#### BASIS OF BEARINGS:

THE CENTERLINE OF PRESTWICK DRIVE PER  
MAP NO. 5831.  
I.E. N60°23'00"E

#### PROPERTY INFORMATION:

OWNER: MULTIPLE

#### SOURCE OF TOPOGRAPHY:

RECORD MAP INFORMATION PER MAP NO. 5831.  
TOPOGRAPHIC SURVEY BY GEOCENTRIC LAND SURVEYING  
ON FEBRUARY 28, 2023.

40 0 40 80 120  
SCALE 1" = 40'



① 2787 INVERNESS DRIVE.



② 2775 INVERNESS DRIVE.



③ 2763 INVERNESS DRIVE.



④ 2751 INVERNESS DRIVE.



⑤ 2810 INVERNESS DRIVE.



⑥ 2792 INVERNESS DRIVE.



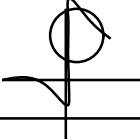
⑦ 2780 INVERNESS DRIVE.



⑧ 2770 INVERNESS DRIVE.



⑨ 2756 INVERNESS DRIVE.

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⑩ 2744 INVERNESS DRIVE.



⑪ 8589 PRESTWICK DRIVE.



⑫ 8579 PRESTWICK DRIVE.



⑬ 8569 PRESTWICK DRIVE.



⑭ 8559 PRESTWICK DRIVE.



⑮ 8549 PRESTWICK DRIVE.



⑯ 8539 PRESTWICK DRIVE.

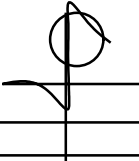


⑰ 8529 PRESTWICK DRIVE.



⑱ 8558 PRESTWICK DRIVE.

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DESIGNER SIGNATURE: 

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PHOTOGRAPHIC  
SURVEY

SHEET:



19 8547 PRESTWICK DRIVE.



20 8568 PRESTWICK DRIVE.



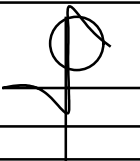
21 8558 PRESTWICK DRIVE.



22 8548 PRESTWICK DRIVE.



23 8538 PRESTWICK DRIVE.

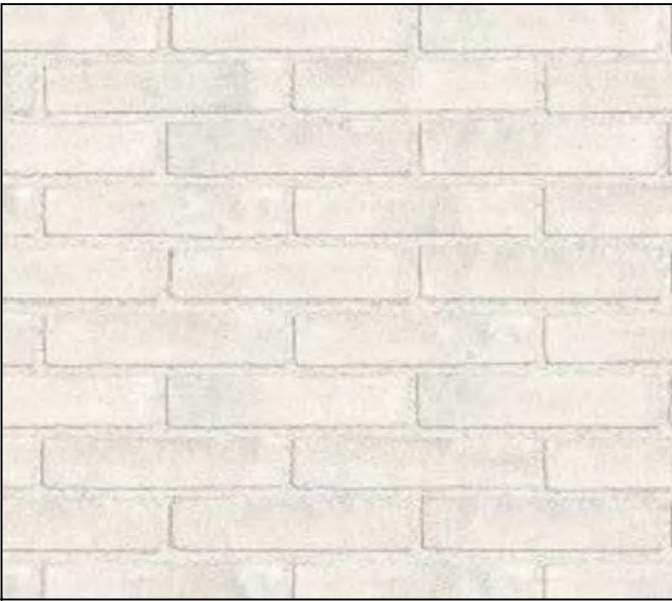
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MATERIALS



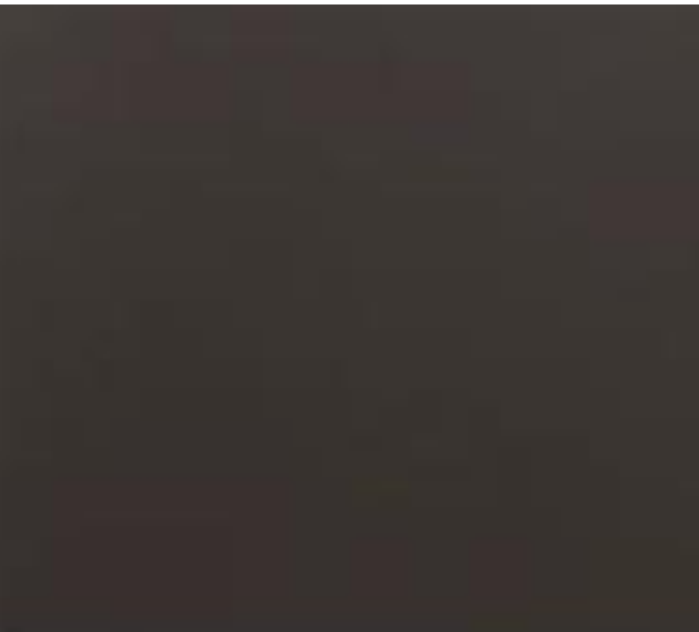
MATERIAL: VERTICAL SIDING.  
MODEL: SAMPLE BOARD  
COLOR: FLINTSTONE | DE6219  
BY: JAMES HARDIE.  
FOR: EXTERIOR WALLS PER ELEVATION



MATERIAL: BRICK VENNER  
MODEL: TUNDRA BRICK  
COLOR: CHALK DUST  
BY: EL DORADO STONE  
BY: GAF.  
FOR: EXTERIOR WALLS PER ELEVATION



MATERIAL: BORAL BOARD  
COLOR: METAL FRINGE | DET626  
FOR: WINDOW AND DOOR HEAD TRIM.



MATERIAL: GARAGE DOOR  
COLOR: RENWICK BROWN, MODERN  
BY: CLOPAY.  
FOR: GARAGE DOORS



MATERIAL: TIMBERLINE® CS COOL ROOF,  
FLAT CONCRETE ROOF TILE  
COLOR: GRAY.  
BY: GAF.  
FOR: ROOFS.

**NOTE:  
STRATEGY 1  
1. COOL/ GREEN ROOFS.**

THE PROJECT WILL HAVE A ROOF MATERIAL TO BE A MINIMUM 3- YEAR AGED , SOLAR REFLECTANCE OF 0.20 , THERMAL EMITTANCE OF 0.75 AND SOLAR REFLECTIVE INDEX OF 16.  
THE PROJECT SHALL INSTALL A COOL/GREEN ROOF COMPONENTS CONSISTENT WITH CAP CONSISTENCY CHECKLIST REQUIREMENTS.



MATERIAL: ALUMINUM CLAD  
COLOR: DARK BRONZE  
BY: SIERRA PACIFIC OR SIMILAR.  
FOR: WINDOWS AND DOORS.

8559 PRESTWICK DR.:

ARCHITECTURAL THEME :  
MODERN SCANDINAVIAN.

FINDINGS FOR SITE DEVELOPMENT PERMIT - SECTION 126.0505

THE ARCHITECTURAL THEME OF THE PROPOSED REMODEL IS TO REFLECT A MODERN SCANDINAVIAN HOUSE ARCHITECTURAL STYLE. MODERN SCANDINAVIAN HOUSES COMBINE THE RUSTIC CHARM OF TRADITIONAL BARNs WITH SLEEK, MINIMALIST DESIGN PRINCIPLES CHARACTERISTICS OF SCANDINAVIAN ARCHITECTURE. WE BELIEVE THAT THIS STYLE BORROWS ARCHITECTURAL CHARACTERISTICS AND THE USE OF MATERIALS OF THOSE WITHIN ITS CONTEXT MAKING A PERFECT ARCHITECTURAL STYLE FOR THE COMMUNITY. THIS PROPOSED DESIGN PROVIDES A VARIETY OF FEATURES THAT WILL ENHANCE THE BEAUTY OF ITS SURROUNDING NEIGHBORS. THE DESIGN EMPHASIZES SIMPLICITY AND FUNCTIONALITY, WITH CLEAN LINES AND MINIMAL ORIENTATION.THE DESIGN ALSO PROVIDES LARGE WINDOWS ARE USED EXTENSIVELY TO MAXIMIZE NATURAL LIGHT, CREATING BRIGHT AND AIRY INTERIORS. THE DESIGN ALSO PROVIDES THE USE OF NATURAL AN NEUTRAL COLOR PALETTES WHICH CONTRIBUTES TO A CALM AND INVITING ATMOSPHERE. THE DESIGN INTENT OF THE PROJECT IS TO PROVIDE A DESIGN THAT WILL FIT IN SCALE AND ARCHITECTURAL STYLE. THE PROPOSED SINGLE FAMILY RESIDENCE WAS REMODEL AND EXPANDED RESPECTING THE ORIGINAL ONE STORY LEVEL RESIDENCE, THE REMODEL DOES NOT EXTENDS TO A SECOND FLOOR, MAINTAINING MORE OF AN EASY APPROACH AND HUMAN SCALE. THE ARCHITECTURAL STYLE WAS UPDATED TO A MORE MODERN APPROACH STILL KEEPING TRADITIONAL ROOF PITCH AND ARCHITECTURAL ELEMENTS AND MATERIALS. I BELIEVE THE PROPOSED DESIGN WILL BRING A MORE HARMONIES VISUAL RELATIONSHIP TO THE COMMUNITY AND WILL HOPE OTHERS TO FOLLOW.

A. FINDINGS FOR ALL SITE DEVELOPMENT PERMITS

1. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN;

THE PROJECT IS LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037, THE ZONING AND PARCEL INFORMATION PORTAL (ZAPP) SHOWS THAT THE PARCEL IS LOCATED IN LA JOLLA PLANNED DISTRICT (LJSPD-SF) VERY LOW MEDIUM DENSITY RESIDENTIAL (0-5 DWELLING UNITS/ACRE) WHICH IS A SINGLE-FAMILY DWELLING UNIT ZONE, THE PROJECT SCOPE IS THE FOLLOWING: EXISTING ONE STORY SINGLE FAMILY DWELLING TO BE COMPLETELY REMODELED AND RECEIVE NEW ADDITION, THEREFORE, OUR PROJECT IS CONSISTENT WITH THE PRESCRIBED LAND USE AND DENSITY

2. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE;

WE CAN DETERMINE THAT THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY AND WELFARE SINCE ALL PROPOSED BUILDINGS HAVE BEEN DESIGNED UNDER THE 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 GREEN STANDARD CODE, 2022 TITLE 24 CALIFORNIA ENERGY CODE, AS WELL AS UNDER ALL ZONING & PLANNING REGULATIONS MARKED BY THE CITY OF SAN DIEGO.

3. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REGULATIONS OF THE LAND DEVELOPMENT CODE INCLUDING ANY ALLOWABLE DEVIATIONS PURSUANT TO THE LAND DEVELOPMENT CODE.

THE PROJECT PROPOSES AN ADDITION FOR AN EXISTING SINGLE DWELLING UNIT WITH NO ADDITIONAL DWELLINGS AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037, THE PARCEL IS LOCATED IN LA JOLLA PLANNED DISTRICT (LJSPD-SF) THE PROJECT FOLLOWS ALL THE NECESSARY RULES OF THE LAND DEVELOPMENT CODE BUT NOT LIMITED TO THE FOLLOWING WAYS: - WALLS WITH OPENINGS FACING THE SIDE PROPERTY LINE HAVE AT LEAST 5' OF DISTANCE AND STRUCTURE SETBACKS ARE SIMILAR TO THOSE OF THE REST OF THE NEIGHBORHOOD. - THE MAXIMUM BUILDING HEIGHT OF THE PROJECT IS APPROX. 25'-9 1/4" WHICH IS LESS THAN THE MAXIMUM ALLOWABLE HEIGHT OF 30' - THE LOT HAS 12,162 SQ. FT. AND THE PROJECT COVERS 5,446 SQ. FT. THEREFORE, LOT COVERAGE IS LESS THAN 60 PERCENT OF THE LOT - THE PROJECT PROPOSES 2 OFF-STREET PARKING AND IT COMPLIES WITH THE REQUIRED PARKING - THE PROJECT PROPOSES 3,965 S.F. OF LANDSCAPE AREAS WHICH IS MORE THAN THE REQUIRED 30 PERCENT OF THE TOTAL PARCEL AREA - THE FLOOR AREA RATIO FOR SINGLE-FAMILY ZONES IS 0.52 IN LOTS THAT HAVE 12,001 - 13,000 PER TABLE 131-04J OF CHAPTER 15, ART 10, DIV 3. THE PROJECT PROPOSES 5,446 S.F. OF TOTAL SQUARE FOOTAGE WHICH IS LESS THAN THE MAXIMUM PERMITTED FLOOR AREA RATIO.

B. SUPPLEMENTAL FINDINGS--ENVIRONMENTALLY SENSITIVE LANDS

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT ON ENVIRONMENTALLY SENSITIVE LANDS

C. SUPPLEMENTAL FINDINGS--ENVIRONMENTALLY SENSITIVE LANDS DEVIATIONS

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT ON ENVIRONMENTALLY SENSITIVE LANDS

D. SUPPLEMENTAL FINDINGS--ENVIRONMENTALLY SENSITIVE LANDS DEVIATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY REGULATIONS

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT ON ENVIRONMENTALLY SENSITIVE LANDS

E. SUPPLEMENTAL FINDINGS--STEEP HILLSIDES DEVELOPMENT AREA REGULATIONS ALTERNATIVE COMPLIANCE

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT ON STEEP HILLSIDE

F. SUPPLEMENTAL FINDINGS--IMPORTANT ARCHAEOLOGICAL SITES AND TRADITIONAL CULTURAL PROPERTIES

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT ON STEEP HILLSIDE

G. SUPPLEMENTAL FINDINGS--HISTORICAL RESOURCES DEVIATION FOR IMPORTANT ARCHAEOLOGICAL SITES AND TRADITIONAL CULTURAL PROPERTIES

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 WILL NOT ALTER ANY HISTORICAL RESOURCES OR ARCHAEOLOGICAL SITE

H. SUPPLEMENTAL FINDINGS--HISTORICAL RESOURCES DEVIATION FOR RELOCATION OF A DESIGNATED HISTORICAL RESOURCE

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 WILL NOT ALTER ANY HISTORICAL RESOURCES

I. SUPPLEMENTAL FINDINGS--HISTORICAL RESOURCES DEVIATION FOR SUBSTANTIAL ALTERATION OF A DESIGNATED HISTORICAL RESOURCE OR WITHIN A HISTORICAL DISTRICT

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 WILL NOT ALTER ANY HISTORICAL RESOURCES OR ARCHAEOLOGICAL SITE

J. SUPPLEMENTAL FINDINGS--CLAIREMONT MESA HEIGHT LIMIT

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT IN THE CLAIRMONT MESA HEIGHT LIMIT OVERLAY ZONE

K. SUPPLEMENTAL FINDINGS--MOBILEHOME PARK DISCONTINUANCE

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 IS NOT IN THE MOBILE HOME PARK OVERLAY ZONE

L. SUPPLEMENTAL FINDINGS--CONDOMINIUM CONVERSIONS

THE SUBJECT PROPERTY, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 WILL NOT CONSIST OF A CONDOMINIUM CONVERSION PROJECT

M. SUPPLEMENTAL FINDINGS--PUBLIC RIGHT-OF-WAY ENCROACHMENTS.

THE SUBJECT PROJECT, LOCATED AT 8559 PRESTWICK DRIVE LA JOLLA, CA 92037 WILL NOT ENCROACH ON ANY PART OF THE PUBLIC RIGHT-OF-WAY

mosarch studio

1911 SAN DIEGO AVE, SUITE 103, SAN DIEGO, CA 92110

PRESTWICK DR

8559 PRESTWICK DR  
LA JOLLA, CA 92037

Issue Dates	
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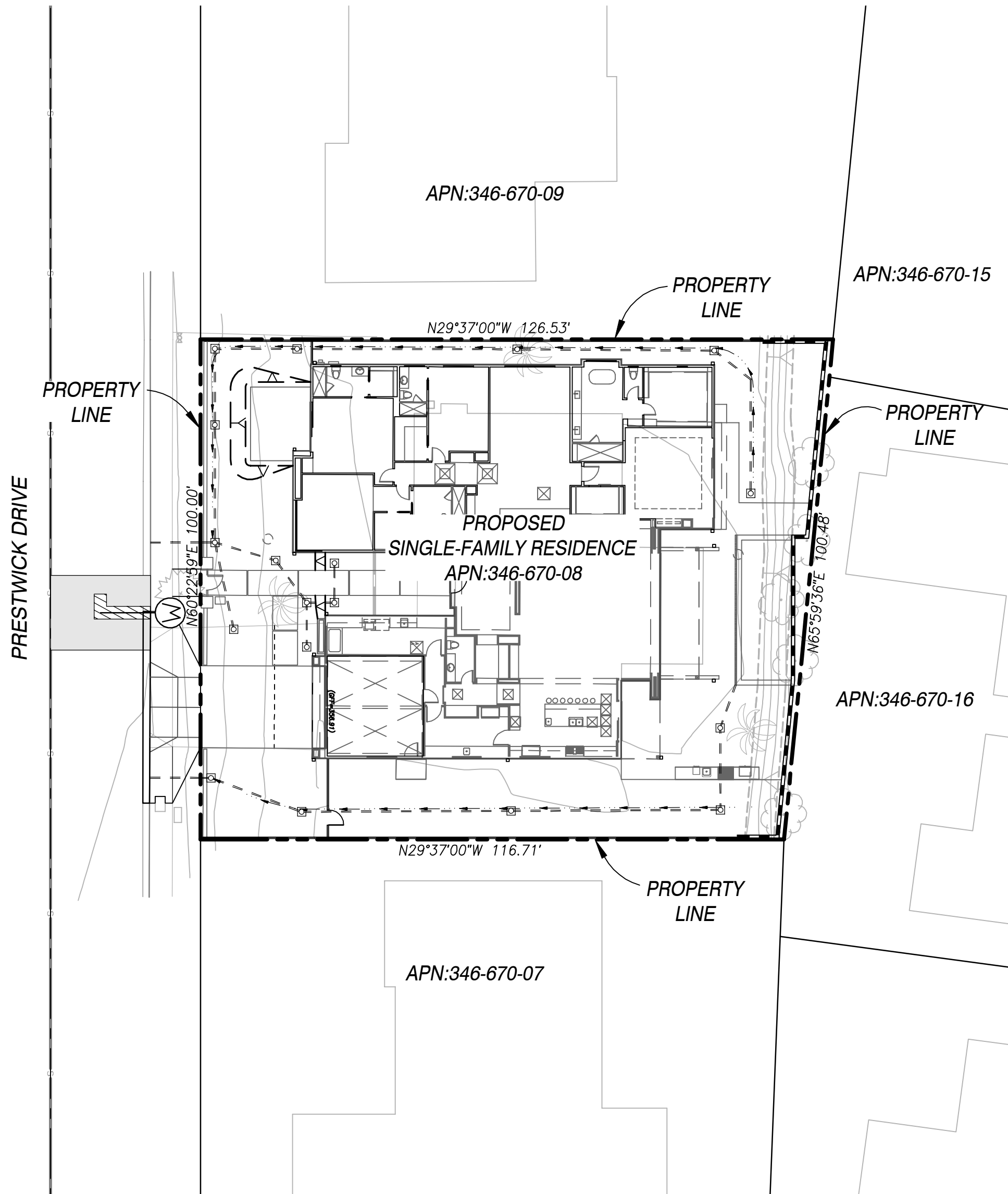
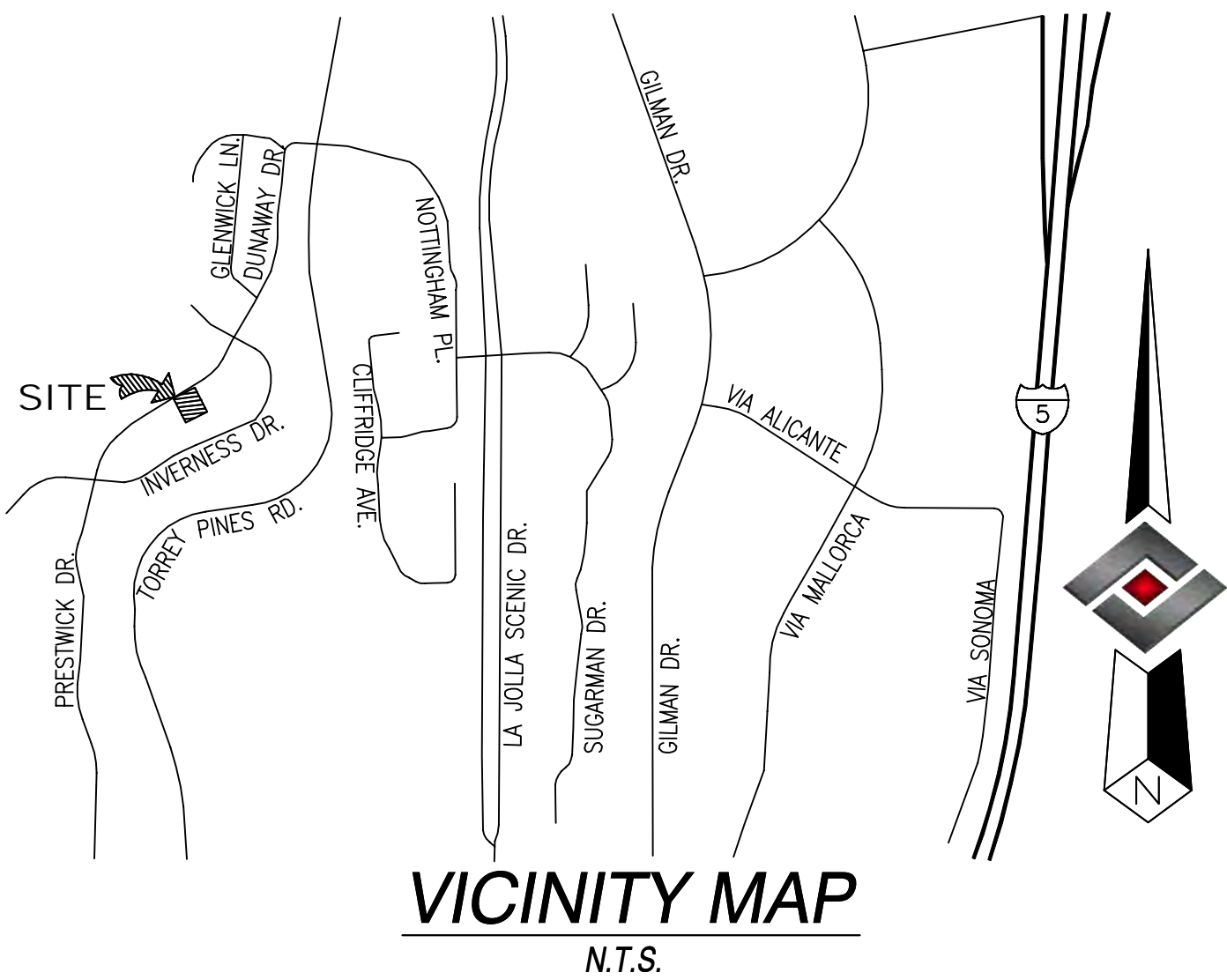
MATERIAL  
BOARD

SHEET:

MB

CIVIL SITE & BMP PLANS FOR:

8559 PRESTWICK DRIVE



SHEET INDEX

TITLE SHEET / KEY MAP.....	1
EXISTING CONDITION.....	2
PROPOSED CIVIL SITE PLAN.....	3
STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST...	4
EROSION CONTROL / BMP PLAN.....	5

NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. NO DRY WEATHER RUNOFF IS PERMITTED, PROJECT WILL BE SUBJECT TO INCREASED INSPECTIONS, SATISFACTORY TO THE CITY ENGINEER.

OWNER/APPLICANT

BERNARDO ASCENCIO  
ARCHBEL BUILDERS  
1299 PROSPECT ST, SUITE 103, SAN DIEGO, CA 92037  
619-487-0776 / KARLA@ARCHBEL.COM

REFERENCE DRAWINGS

LA JOLLA SHORES HEIGHT MAP NO. 5831  
EXISTING SEWER IMPROVEMENTS PLANS PER DWG. NO. 12525-3-D  
EXISTING WATER IMPROVEMENTS PLANS PER DWG. NO. 12528-3-D

SITE ADDRESS

8559 PRESTWICK DRIVE, LA JOLLA, CA 92037

TOPOGRAPHY SOURCE

RECORD MAP INFORMATION PER MAP NO. 5831.  
TOPOGRAPHIC SURVEY BY GEOCENTRIC LAND SURVEYING  
ON FEBRUARY 28, 2023.

BENCHMARK

CITY OF SAN DIEGO SEBP AT INVERNESS DRIVE AND PRESTWICK DRIVE.  
ELEV= 347.411; DATUM: NGVD29

ASSESSORS PARCEL NUMBER

346-670-08-00

EXISTING LEGAL DESCRIPTION

PORTIONS OF LA JOLLA SHORES HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5831, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY FEBRUARY 3, 1967.

PROPOSED LEGAL DESCRIPTION

PORTIONS OF LA JOLLA SHORES HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5831, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY FEBRUARY 3, 1967.

EARTHWORK QUANTITES

CUT QUANTITIES: 10 C.Y.  
FILL QUANTITIES: 10 C.Y.  
IMPORT/EXPORT: 0 C.Y.  
MAX CUT DEPTH: 1.0 FT.  
MAX FILL DEPTH: 2.0 FT.

CONSTRUCTION STORM WATER PROTECTION NOTES

- TOTAL SITE DISTURBANCE AREA (ACRES) = 12,162 S.F. (0.279 AC)  
WATERSHED: LOS PERASQUITOS  
HYDRAULIC SUB AREA NAME AND NUMBER: UNDEFINED (906.30)
- THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE MINOR WPCP.
- CONSTRUCTION SITE PRIORITY : MEDIUM

NO PERMANENT STORM WATER BMPS ARE REQUIRED

EXISTING/PROPOSED IMPERVIOUS AREAS			
EXISTING IMPERVIOUS AREAS	AREA (SF)	PROPOSED IMPERVIOUS AREAS	AREA (SF)
EXISTING BLDG. FOOTPRINT	3,870	PROPOSED BLDG. FOOTPRINT	5,400
DRIVEWAY	615	HARDSCAPE AREAS/PATIO	1,736
HARDSCAPE AREAS	N/A	POOL	280
TOTAL	4,485	TOTAL	7,416

EXISTING/PROPOSED PERVIOUS AREAS			
EXISTING PERVIOUS AREAS	AREA (SF)	PROPOSED PERVIOUS AREAS	AREA (SF)
LANDSCAPE/DIRT	7,677	LANDSCAPE	4,746

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

FUSION ENGINEERING & TECHNOLOGY  
1810 GILLESPIE WAY SUITE 207  
EL CAJON, CA 92020  
619-736-2800, 619-992-6618  
JOHNNY@FUSIONENGTECH.COM  
WWW.FUSIONENGTECH.COM

JOHN S. RIVERA R.C.E. NO. 73878 EXP. 06-30-25 DATE



PREPARED BY:



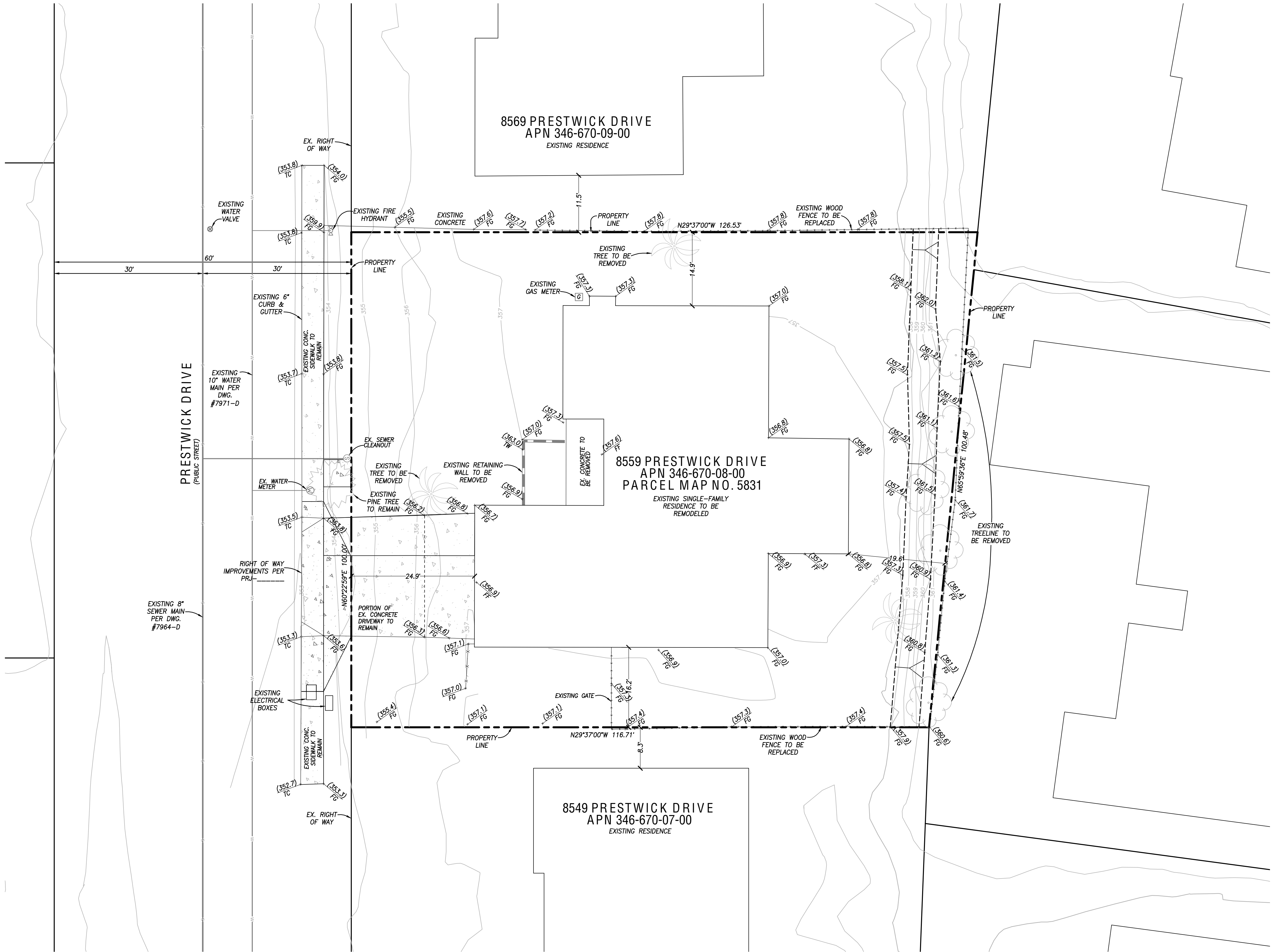
Fusion Eng Tech  
1810 Gillespie Way, #207  
El Cajon, CA 92020  
(619) 736-2800

COVER SHEET

8559 PRESTWICK DRIVE  
Civil Site Plan

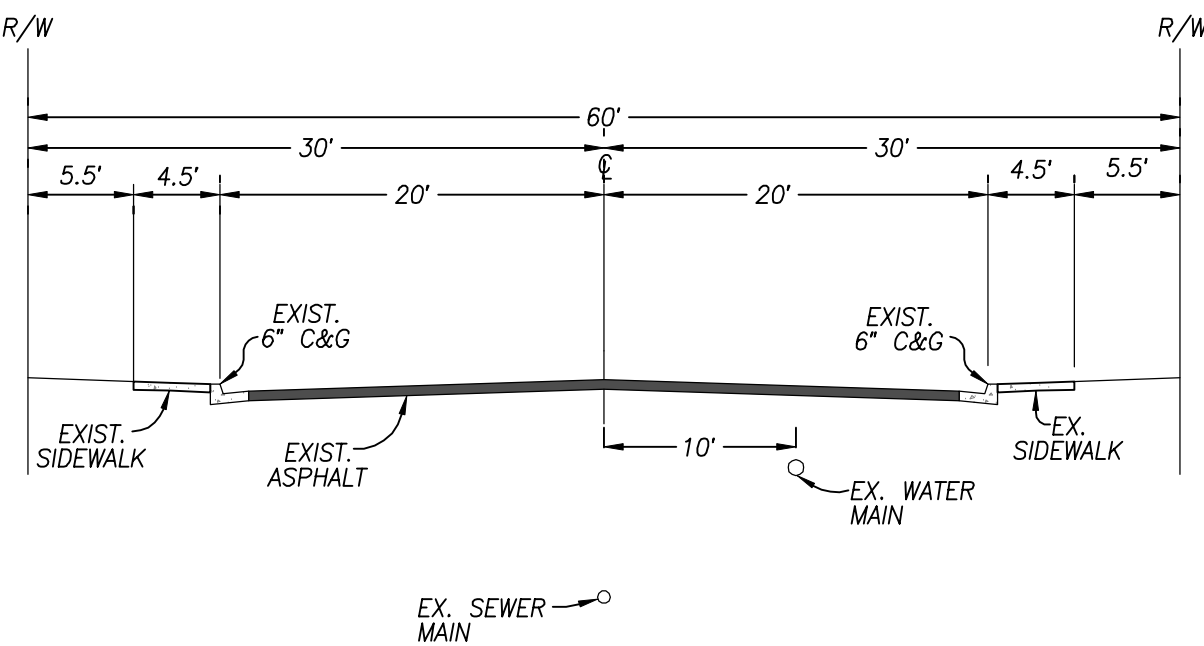
CITY OF SAN DIEGO, CALIFORNIA

C-1



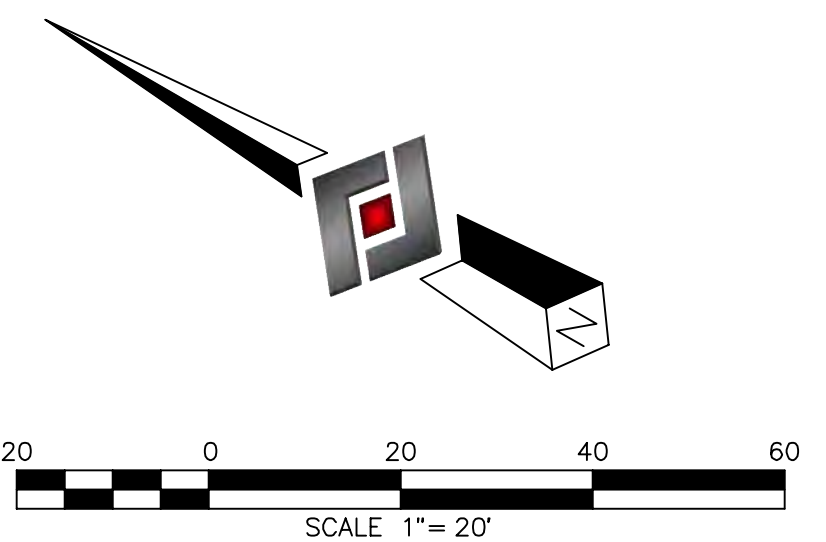
LEGEND:

- PROJECT BOUNDARY
- EXISTING LOT LINES
- EXISTING CENTERLINE
- EXISTING RIGHT OF WAY
- EXISTING CONTOUR
- EXISTING CONCRETE TO REMAIN
- EXISTING RETAINING WALL TO BE REMOVED
- EXISTING CURB & GUTTER
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- EXISTING FIRE HYDRANT
- EXISTING SEWER MAIN
- EXISTING SEWER CLEANOUT
- EXISTING WOOD FENCE
- EXISTING GAS METER
- EXISTING TOP OF CURB ELEVATION
- EXISTING FINISHED GRADE ELEVATION



EX. SEWER MAIN

PRESTWICK DRIVE (PUBLIC)  
SCALE: 1"=10'



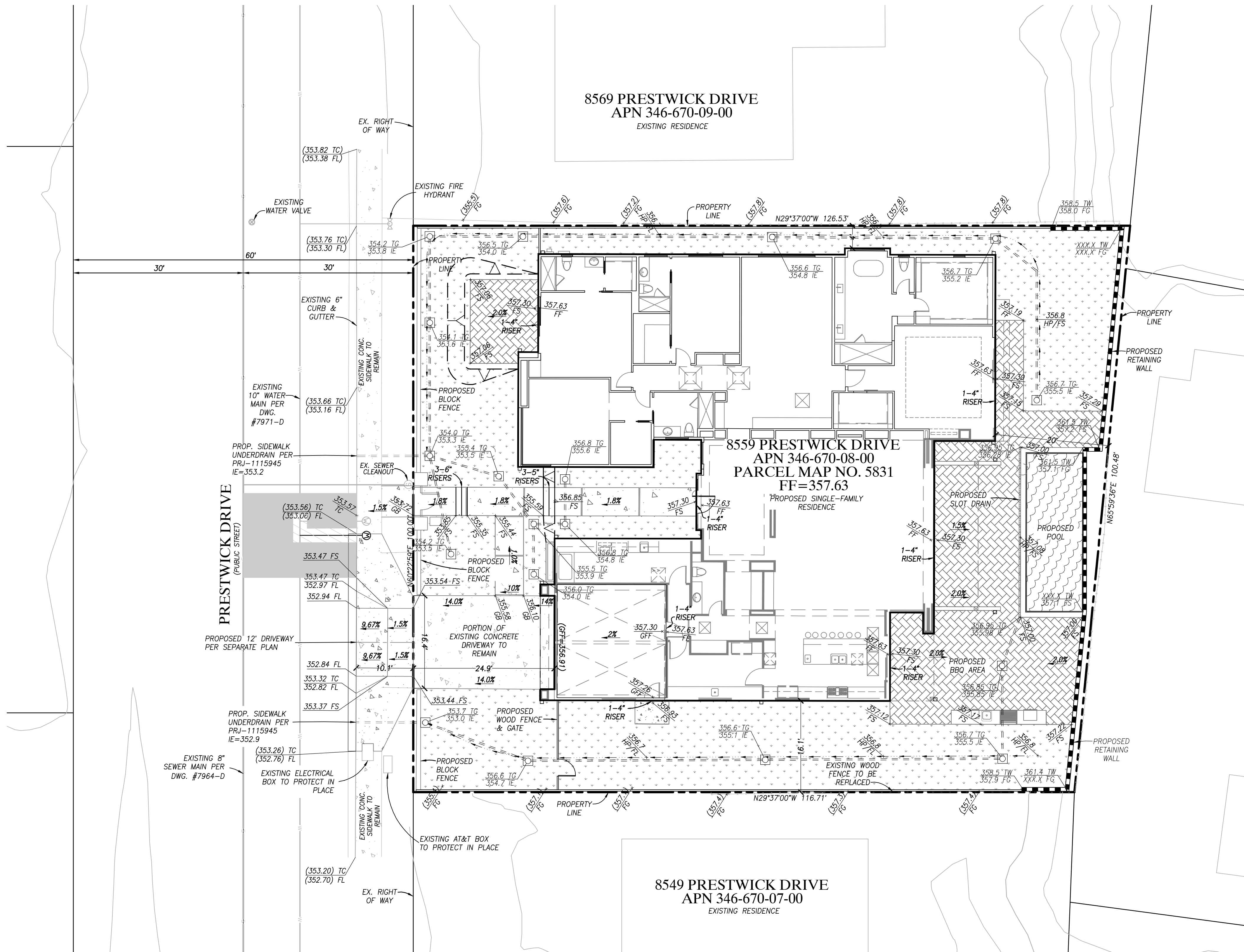
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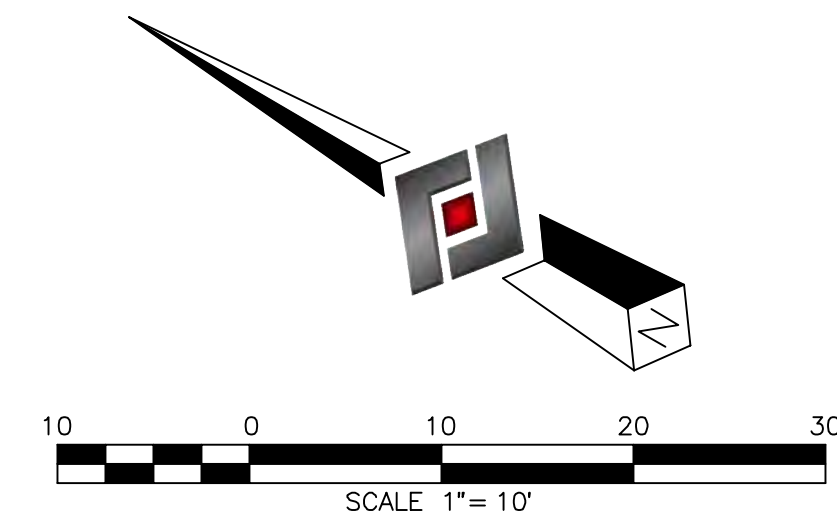
EXISTING CONDITION CIVIL SITE PLAN  
**8559 PRESTWICK DRIVE**  
Civil Site Plan  
CITY OF SAN DIEGO, CALIFORNIA

C-2



LEGEND:	
	PROJECT BOUNDARY
	EXISTING LOT LINES
	EXISTING CENTERLINE
	EXISTING RIGHT OF WAY
	EXISTING CONTOUR
	EXISTING CONCRETE TO REMAIN
	EXISTING CURB & GUTTER
	EXISTING WATER MAIN
	EXISTING WATER SERVICE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SEWER MAIN
	EXISTING SEWER CLEANOUT
	EXISTING WOOD FENCE
	PROPOSED RETAINING WALL
	PROPOSED ELEVATION
	PROPOSED POOL
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED TOP OF GRATE/INVERTED ELEVATION
	PROPOSED PAVER HARDSCAPING
	PROPOSED CONCRETE HARDSCAPING
	PROPOSED LANDSCAPING
	PROPOSED AREA DRAIN GRATE
	PROPOSED AREA DRAIN PIPE

**NOTE:**  
THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. NO DRY WEATHER RUNOFF IS PERMITTED. PROJECT WILL BE SUBJECT TO INCREASED INSPECTIONS, SATISFACTORY TO THE CITY ENGINEER



PREPARED BY:



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PROPOSED CONDITION CIVIL SITE PLAN  
**8559 PRESTWICK DRIVE**  
Civil Site Plan  
CITY OF SAN DIEGO, CALIFORNIA

C-3

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR. .

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

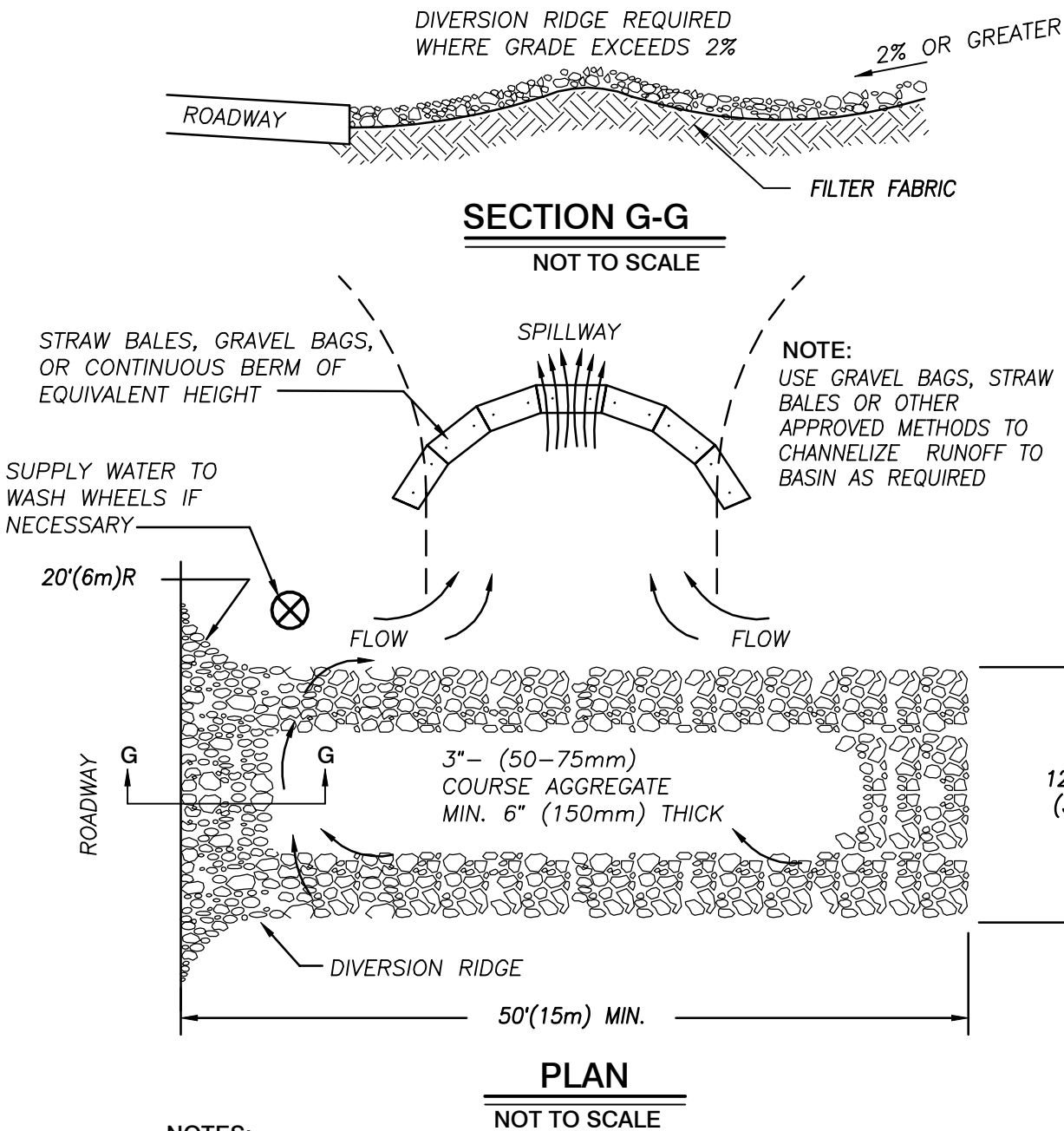
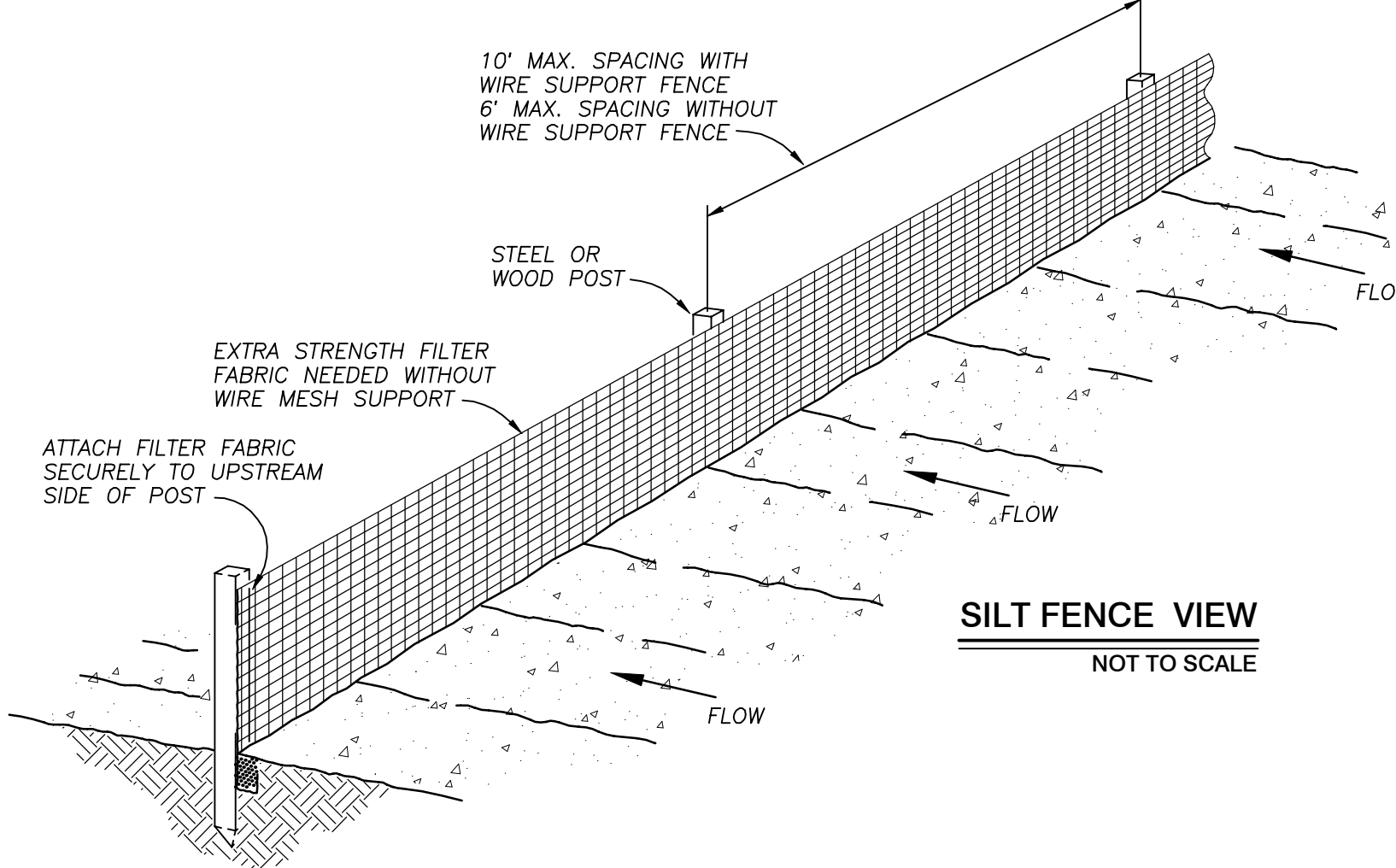
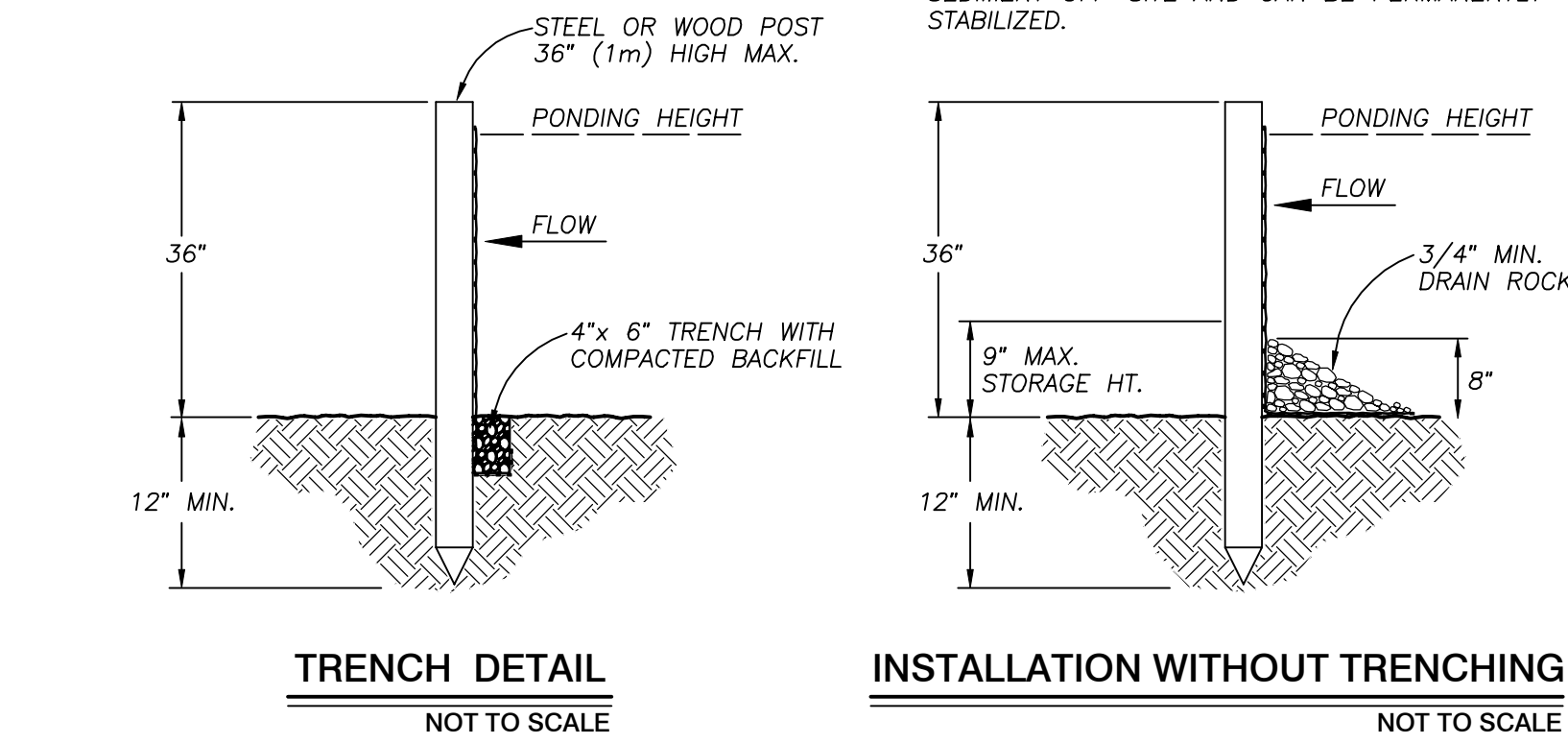
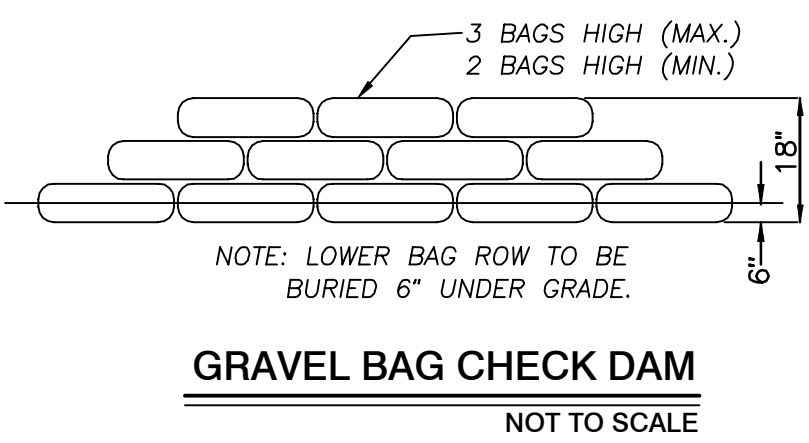
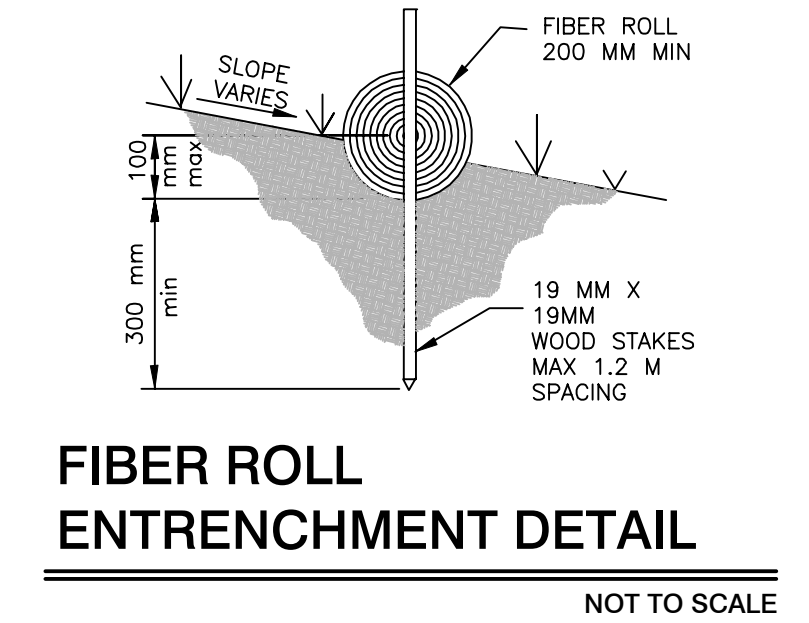
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.

15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.

(a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".



NOTES:  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION ENTRANCE

NOT TO SCALE

NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

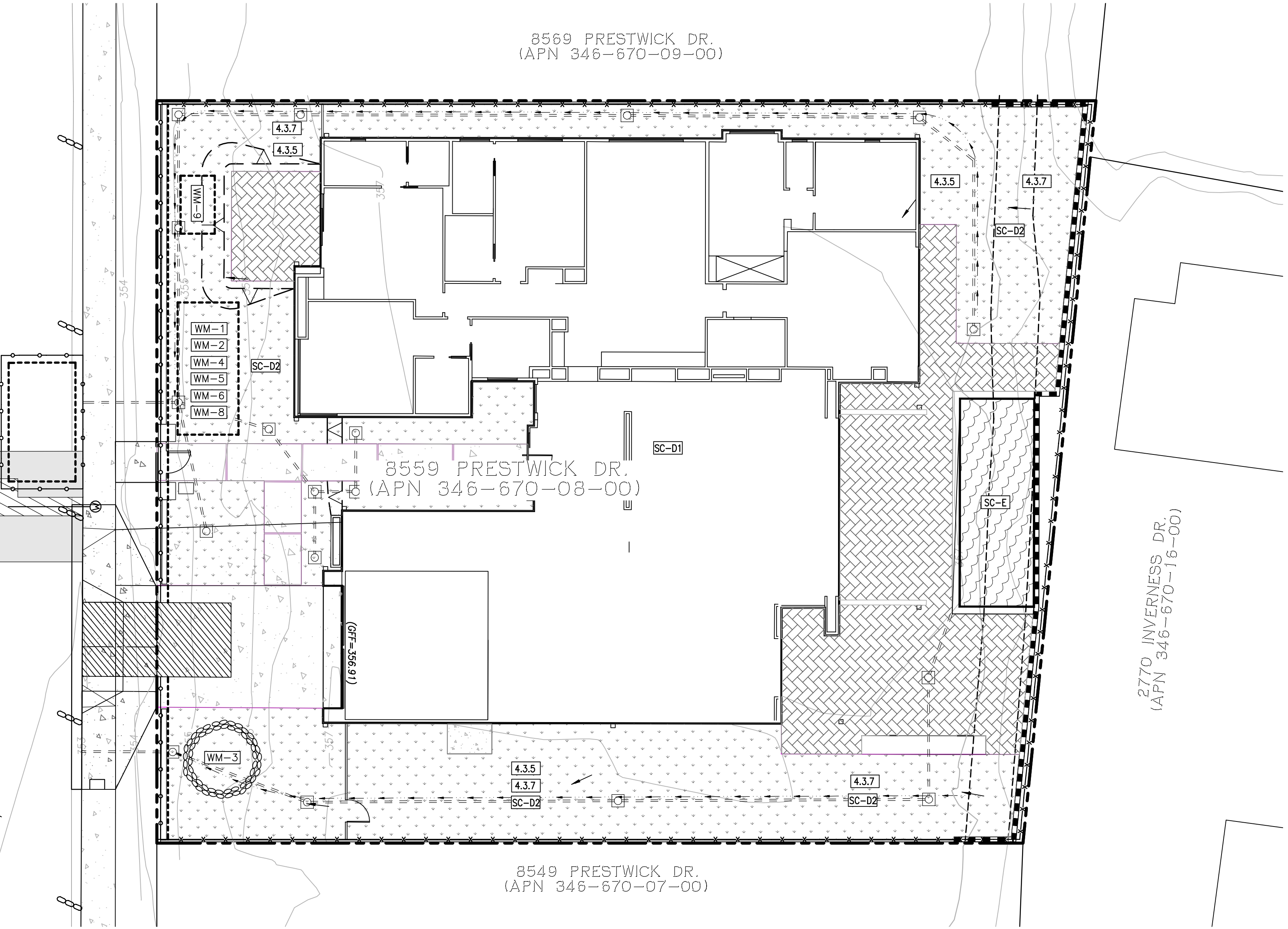
GENERAL NOTE:

AS CONSTRUCTION PROGRESSES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADD OR CHANGE ANY EROSION CONTROL OR SEDIMENT CONTROL MEASURES IN ORDER TO MITIGATE FOR ACTUAL CONDITIONS.

NOTE:

- VEGETATION STABILIZATION (PLANTING OR HYDROSEEDING) MAY BE INSTALLED BETWEEN MAY 1ST AND AUGUST 15TH. SLOPE IRRIGATION MUST BE INPLACE AND TO BE OPERABLE FOR SLOPES >3'. VEGETATION MUST BE WATERED AND ESTABLISHED PRIOR TO OCTOBER 1ST. THE OWNER SHALL SUPPLEMENT VEGETATION WITH BARK OR MULCH BY OCTOBER 1ST IF VEGETATION ESTABLISHMENT DOES NOT OCCUR BY THAT DATE. EROSION CONTROL MEASURES MUST ALSO BE USED WHILE LANDSCAPING IS BEING ESTABLISHED. ESTABLISHED VEGETATION SHALL HAVE A SUBSURFACE MAT OF INTERTWINED MATURE ROOTS WITH A UNIFORM VEGETATION COVERAGE OF 70% OF THE NATURAL VEGETATIVE COVERAGE OR MORE ON ALL DISTURBED AREAS.
- ALL SLOPES OVER THREE FEET MUST HAVE ESTABLISHED VEGETATIVE COVER PRIOR TO FINAL PERMIT APPROVAL
- ADD A DRIP PAN BELOW PORTABLE BATHROOM STALL (WM-9).

PRESTWICK DRIVE



LEGEND:



CONSTRUCTION STORMWATER BMP LEGEND:

ITEMS	CALTRANS FACT SHEET/DETAILS	SYMBOL	QUANTITY
HYDROSEEDING	SS-4		12,064 SF
SILT FENCE	SC-1		342 LF
GRAVEL BAG CHECK DAMS	SC-4		5 EA
FIBER ROLLS	SC-5		216 LF
GRAVEL BAG BERM	SC-6		
STREET SWEEPING AND VACUUMING	SC-7		
STABILIZED CONSTRUCTION ENTRANCE	TC-1 AND/OR TC-3		1 EA (201 SF)
MATERIAL DELIVERY & STORAGE	WM-1		
MATERIAL USE	WM-2		
STOCKPILE MANAGEMENT	WM-3		
SPILL PREVENTION & CONTROL	WM-4		
SOLID WASTE MANAGEMENT	WM-5		
HAZARDOUS WASTE MANAGEMENT	WM-6		
CONCRETE WASTE MANAGEMENT	WM-8		
SANITARY WASTE MANAGEMENT	WM-9		

STANDARD SWQMP LEGEND:

SITE DESIGN BMPs	SYMBOL
MAINTAIN NATURAL DRAINAGE PATHWAYS	
IMPERVIOUS AREA DISPERSION	
DROUGHT TOLERANT LANDSCAPING	

SOURCE CONTROL BMPs

SYMBOL

STORMWATER NOTES:

- PROJECT CLASSIFIED AS A STANDARD PER CITY OF SAN DIEGO DS-560 FORM.
- SITE DESIGN AND SOURCE CONTROL BMP'S IDENTIFIED IN THIS PLAN SHEET ARE PER THE STANDARD PROJECT CHECKLISTS (FORM I-4A AND I-5A).
- FOR ADDITIONAL POTENTIAL SOURCES OF RUNOFF POLLUTANTS, THE FOLLOWING SOURCE CONTROL BMP'S SHALL BE IMPLEMENTED:
  - NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONSTROL:
  - LANDSCAPE/OUTDOOR PESTICIDE USE: PROVIDE IPM INFORMATION TO HOMEOWNER.
  - MINIMUM OR NO PESTICIDES.
  - POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES: DISCHARGE POOL TO SANITARY SEWER IF PERMITTED TO DO SO. IF WATER DECHLORINATED WITH A NEUTRALIZING CHEMICAL OR BY ALLOWING CHLORINE TO DISSIPATE FOR A FEW DAYS, THE WATER MAY BE RECYCLED/REUSED BY DRAINING IT GRADUALLY ONTO A LANDSCAPED AREA. FOR ADDITIONAL INFORMATION REFER TO CASQA GUIDANCE SHEET SC-72.



PREPARED BY:



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1810 Gillespie Way, #207  
El Cajon, CA 92020  
(619) 736-2800

EROSION CONTROL PLAN  
8559 PRESTWICK DRIVE  
Civil Site Plan  
CITY OF SAN DIEGO, CALIFORNIA

C-4



FORM  
**DS-560**  
September 2021

## Stormwater Requirements Applicability Checklist

Project Address: 8559 PRESTWICK DRIVE

Project Number: PRJ-1086924

### SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the [Stormwater Standards Manual](#). Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the [California State Water Resources Control Board](#).

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

#### PART A – Determine Construction Phase Stormwater Requirements

1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

☐ Yes, SWPPP is required; skip questions 2-4. ☒ No; proceed to the next question.

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?

☒ Yes, WPCP is required; skip questions 3-4. ☐ No; proceed to the next question.

3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

☐ Yes, WPCP is required; skip question 4. ☐ No; proceed to the next question.

4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit,
- Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
- Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments.

☐ Yes, no document is required.

#### Check one of the boxes below and continue to Part B

☐ If you checked "Yes" for question 1, an SWPPP is REQUIRED – continue to Part B

☐ If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B

☐ If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

<sup>1</sup> More information on the City's construction BMP requirements as well as CGP requirements can be found at <http://www.sandiego.gov/stormwater/regulations/index.shtml>

CLEAR FORM

Visit our web site: [sandiego.gov/dsd](http://sandiego.gov/dsd).

Upon request, this information is available in alternative formats for persons with disabilities.  
DS-560 (09-21)

P1

#### PART B – Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

#### Complete Part B and continue to Section 2

##### ☒ 1. ASBS

- A. Projects located in the ASBS watershed.

##### ☐ 2. High Priority

- A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.  
B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.

##### ☐ 3. Medium Priority

- A. Projects that are not located in an ASBS watershed or designated as a High priority site.  
B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.  
C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.

##### ☐ 4. Low Priority

- A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

### Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

#### PART C – Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the [Stormwater Standards Manual](#) are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
- If "no" is checked for all the numbers in Part C: Continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?

☐ Yes ☒ No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?

☐ Yes ☒ No

3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

☐ Yes ☒ No

Visit our web site: [sandiego.gov/dsd](http://sandiego.gov/dsd).

Upon request, this information is available in alternative formats for persons with disabilities.  
DS-560 (09-21)

P2

#### PART D – PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
- If "no" is checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

- Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
- Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
- Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual?

☐ Yes, PDP exempt requirements apply ☒ No, proceed to next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the [City's Stormwater Standards Manual](#)?

☐ Yes, PDP exempt requirements apply ☒ No, proceed to next question

#### PART E – Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
- If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No

2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No

3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification [\[SIC 5811\]](#)), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. ☐ Yes ☒ No

4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No

5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

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DS-560 (09-21)

P3

7. New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). ☐ Yes ☒ No

8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. ☐ Yes ☒ No

9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes [5013](#), [5014](#), [5541](#), [7532-7534](#) or [7536-7539](#). ☐ Yes ☒ No

10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas. ☐ Yes ☒ No

#### PART F – Select the appropriate category based on the outcomes of Part C through Part E

1. The project is **NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS**. ☐ Yes ☐ No

2. The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements apply. See the [Stormwater Standards Manual](#) for guidance. ☒ Yes ☐ No

3. The Project is **PDP EXEMPT**. Site design and source control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance. ☐ Yes ☐ No

4. The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control and structural pollutant control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance on determining if the project requires hydromodification plan management. ☐ Yes ☐ No

Name of Owner or Agent

Title

Signature

Date

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DS-560 (09-21)

P4

### Source Control BMP Checklist for Standard Projects

Form I-4A

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. **Note: All selected BMPs must be shown on the construction plans.**

Source Control Requirement	Applied <sup>1,2</sup>
4.2.1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants	
On-site storm drain inlets	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Interior parking garages	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Need for future indoor & structural pest control	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Landscape/Outdoor Pesticide Use	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Refuse areas	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Fire Sprinkler Test Water	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6A: Large Trash Generating Facilities	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6B: Animal Facilities	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6C: Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
SC-6D: Automotive Facilities	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

Discussion / justification for all "No" answers shown above:

### Site Design BMP Checklist for Standard Projects

Form I-5A

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. **Note: All selected BMPs must be shown on the construction plans.**

Site Design Requirement	Applied <sup>1,2</sup>
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.6 Runoff Collection	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

Discussion / justification for all "No" answers shown above:



PREPARED BY:

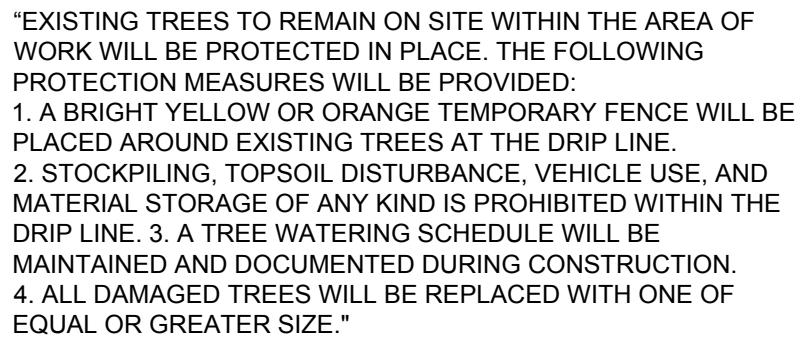


Fusion Eng Tech  
1810 Gillespie Way, #207  
El Cajon, CA 92020  
(619) 736-2800

STORM WATER REQUIREMENTS APPLICABILITY  
CHECKLIST & STANDARD SWQMP  
**8559 PRESTWICK DRIVE**  
**Civil Site Plan**  
CITY OF SAN DIEGO, CALIFORNIA

C-5

 CONCRETE AREAS  
 EXISTING DWELLING AREA  
 ADDITION DWELLING AREA



SCALE 1/8" = 1'-0"



1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION.
2. WHERE A FIXTURE IS INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER. SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
3. STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING STRUCTURES FLL, EXPANSE SOILS OR ANY GEOLOGIC INSTABILITY BASED ON OBSERVATION OF THE SITE OR LABORATORY EXAMINATION, A SOILS OR GEOLOGICAL REPORT AND SUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.
4. ALL PROPERTY LINES ( REAL AND ASSUMED), EASEMENTS AND BUILDINGS (BOTH EXISTING AND PROPOSED), ARE SHOWN ON THIS SITE PLAN.
5. WHERE A FIXTURE IS INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER. SERVING SUCH DRAINAGE PIPING, SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
6. A MINIMUM SLOPE OF HORIZONTAL DRAINAGE (SEWER) PIPING (SLOPE), HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGMENT AND UNIFORM SLOPE OF NOT LESS THAN ONE FOURTH (1/4) INCH PER FOOT (20.9 MM/M) OR TWO (2) PERCENT TOWARD THE POINT OF DISPOSAL.
7. WHERE LOCAL STATIC WATER PRESSURE IS IN EXCESS OF (80) POUND PER SQUARE INCH, AN APPROVED PRESSURE REGULATOR PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED AND THE STATIC PRESSURE REDUCED TO (80) POUNDS PER SQUARE INCH OR LESS. PLEASE PROVIDE PRESSURE REGULATOR OR PROVIDE LETTER FROM THE WATER DISTRICT INDICATING THAT THE LOCAL STATIC WATER PRESSURED IS LESS THAN 80 POUNDS PER SQUARE INCH.
8. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE AT THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM 12 INCHES PLUS 2%, PROVIDE ELEVATIONS ON THE SITE PLAN TO SHOW COMPLIANCE.
9. DRAIN SURFACE DRAINAGE SHALL BE DIVERTED TO A SURF DRAIN SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 NCHEIS (152 MM) WITHIN THE FIRST 10 FEET (3048 mm). SECTION R401.3
10. DRAINAGE WILL BE PERFORMED IN THE FRONT OF WATER MAINS.
11. STORM WATER RUNOFF FROM IMPERVED SURFACES AND ADJACENT AREAS WILL BE ROUTED TO LANDSCAPE AREAS OR PLANTER BOXES, PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
12. EXCESS CUT MATERIAL SHALL BE USED ONSITE.
13. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
14. PRIOR THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

THE LOT WHERE THIS PROJECT IS PROPOSED IS LOCATED PARTIALLY WITHIN THE VERY HIGH FIRE HAZARD SEVERITY ZONE DESIGNED ON THE VERY FIR HAZARD SEVERITY ZONE MAP ADOPTED PURSUANT TO ORDINANCE 0-19884 N.S. AND EFFECTIVE ON AUGUST 27, 2009. (SDMCE SEC. 55.5001)

1. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.
2. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHERS SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USE, IN WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 33151.1"
3. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTERS 33.3 WELDING, CUTTING, AND OTHER HOT WORK SHALL BE CONFORM TO CFC CHAPTER 33.3
4. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL MW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF PRIVATE ROAD NO THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MANS SHALL BE USED TO IDENTIFY THE STREET AND PREVIOUS IDENTIFICATION SHALL CONFORM TO CFC SECTION 5.01.
5. WALL FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATION IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
6. DUMPSTER AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLERS SYSTEM OR LOCATED IN A TYPE I OR II STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE COVERED OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3
7. OPEN FLAMES, FIRE AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.

TOTAL DISTURBANCE AREA	3,691 SQ. FT.
EXISTING AMOUNT OF IMPERVIOUS AREA	4,378 SQ. FT.
PROPOSED AMOUNT OF IMPERVIOUS AREA	3,925 SQ. FT.
TOTAL IMPERVIOUS AREA	8,303 SQ. FT.
IMPERVIOUS % INCREASE	89.00%

THE PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

1911 SAN DIEGO AVE, SUITE 103, SAN DIEGO CA 92110

8559 PRESTWICK DR  
LA JOLLA, CA 92037

DESIGNER SIGNATURE: \_\_\_\_\_

Revisions \_\_\_\_\_

Scale:  $1/4" = 1'-0"$  U.N.O.

PP

SITE PLAN LEGEND

# → KEY PHOTO LEGEND

mosarch studio

1911 SAN DIEGO AVE, SUITE 103, SAN DIEGO, CA 92110

PRESTWICK DR

8559 PRESTWICK DR  
LA JOLLA, CA 92037

Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL:	03.15.24
FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE: 

Revisions

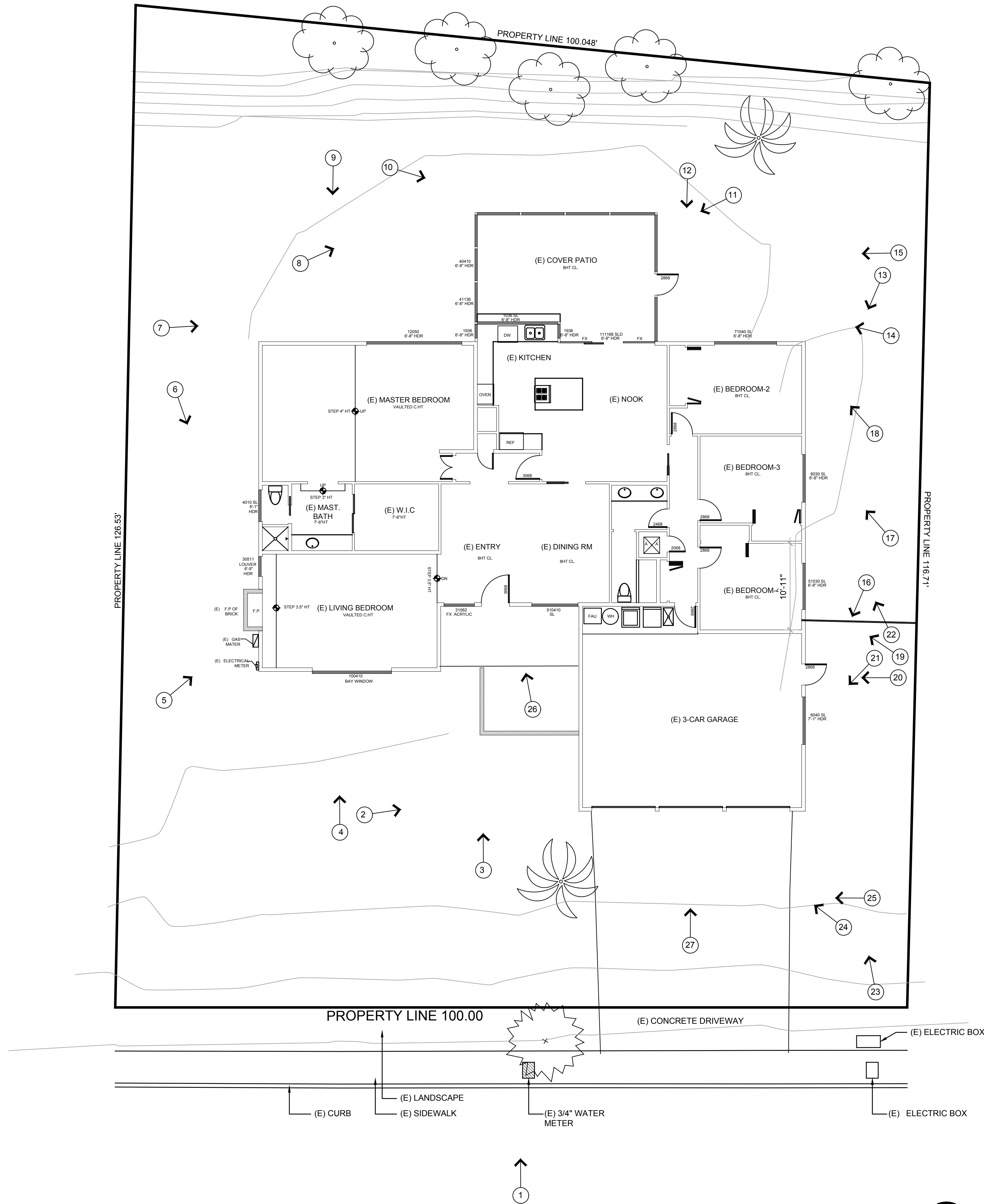
Job Number:	PREST-22
Drawn By:	LS
Checked:	RM
Cad No.:	C-08

Scale: 1/4" = 1'-0" U.N.O.

HISTORICAL  
SITE PLAN

SHEET:

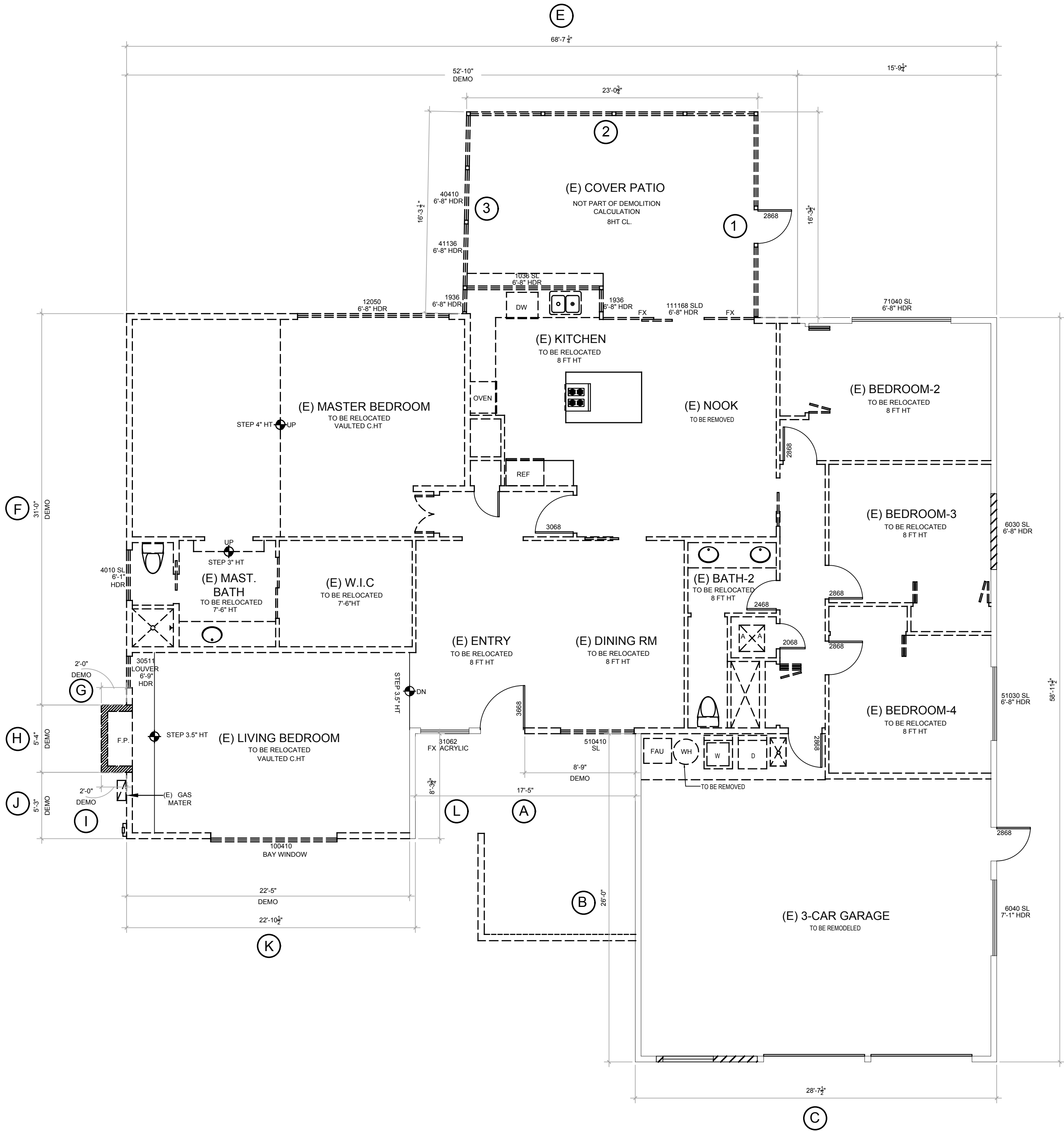
HS



HISTORICAL SITE PLAN

SCALE 1/8" = 1'-0"





EXISTING/DEMO FLOOR PLAN

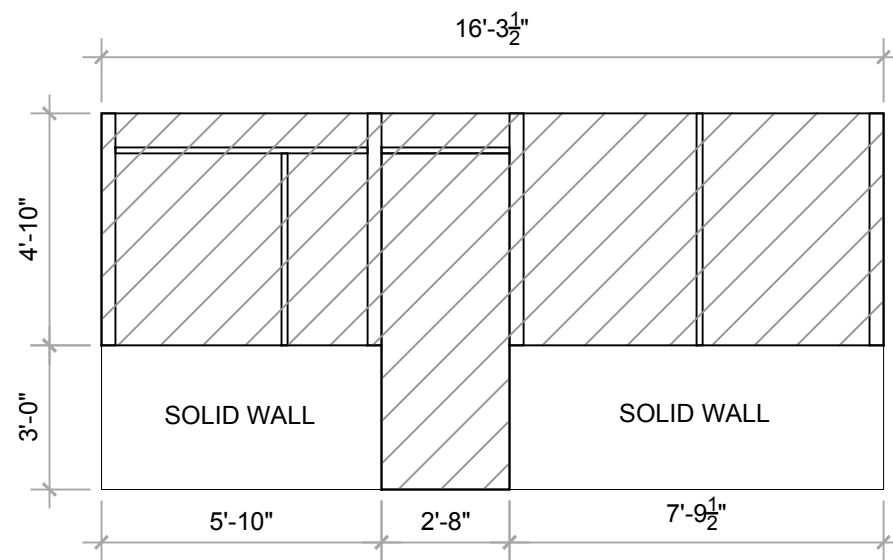


DEMOLITION CALCULATIONS			
WALL ORIENTATION	(E) WALL TOTAL LINEAR FEET	(E) WALL TO REMAIN	(E) WALL TO BE DEMO
(A)	17'-5"	8'-8"	8'-9"
(B)	26'-0"	26'-0"	0'-0"
(C)	28'-7 1/2"	28'-7 1/2"	0'-0"
(D)	58'-11 1/2"	58'-11 1/2"	0'-0"
(E)	68'-7 1/4"	15'-9 1/4"	52'-10"
(F)	31'-0"	0'-0"	31'-0"
(G)	2'-0"	0'-0"	2'-0"
(H)	5'-4"	0'-0"	5'-4"
(I)	2'-0"	0'-0"	2'-0"
(J)	5'-3"	0'-0"	5'-3"
(K)	22'-10 1/2"	0'-5 1/2"	22'-5"
(L)	8'-3 3/4"	8'-3 3/4"	0'-0"
TOTAL	276'-4 1/2"	#####	129'-7"
TOTAL LINEAR FEET OF EXISTING WALLS = 276'-4 1/2" (100%)			
TOTAL LINEAR FEET OF EXISTING WALLS TO REMAIN = 146'-9 1/2" (53.11%)			
TOTAL LINEAR FEET OF EXISTING WALLS TO BE REMOVED = 129'-7" (46.89%)			
50% OF TOTAL LINEAR WALL = 138'-2 1/4"			
138'-2 1/4" > 129'-7"			

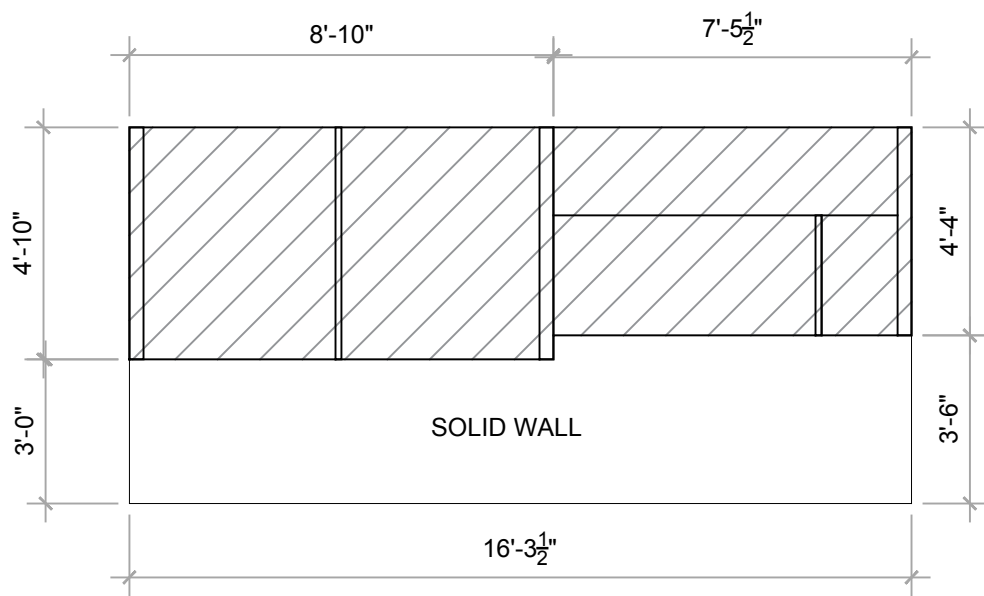
(PER SECTION 113.0234, DIAGRAM 113-02N)  
COVER PATIO IS EXEMPT FROM THE DEMOLITION CALCULATION  
SINCE IT DOESN'T QUALIFY AS F.A.R.

% WALL OPENING CALCULATIONS				
WALL ORIENTATION	TOTAL WALL AREA SQ.FT.	SOLID WALL AREA SQ.FT.	WALL OPENING AREA SQ.FT.	TOTAL WALL OPENING %
(1)	128.61	41.87	86.74	67.44%
(2)	180.64	69.18	111.46	61.70%
(3)	128.61	52.60	76.01	58.32%
TOTAL	437.86	163.65	274.21	62.62%
TOTAL WALL AREA SQ.FT. = 437.86 (100%)				
TOTAL SOLID PART AREA OF WALL SQ.FT. = 163.65 (37.38%)				
TOTAL WALL OPENING AREA = 274.21 (62.62%)				

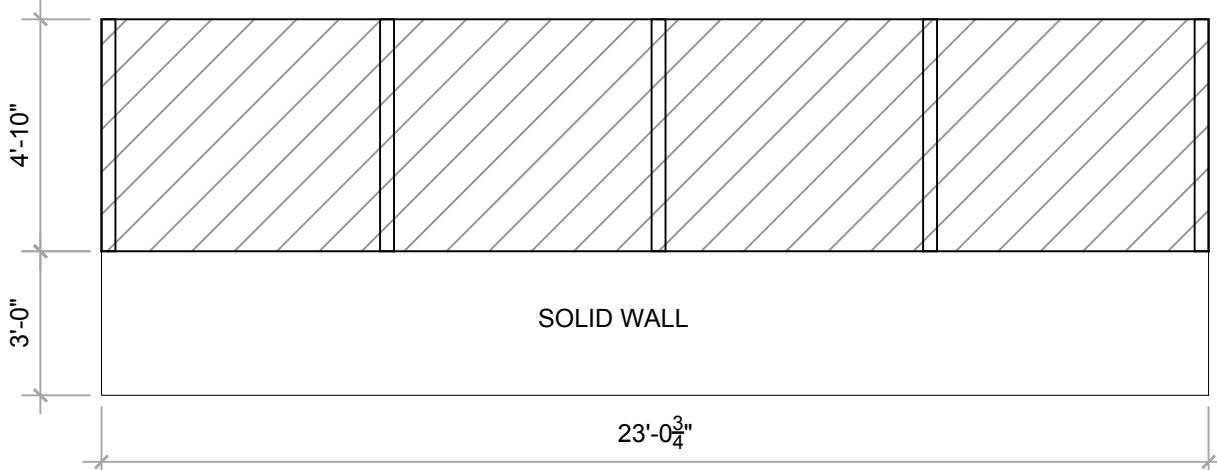
EXISTING COVER PATIO WALLS ELEVATIONS



1



3



2

DEMOLITION LEGEND

- (E) WALL TO REMAIN
- WALL TO BE REMOVED
- WALL COUNTS AS DEMO/ WALL TO REMAIN
- DOOR OR WINDOW TO BE REMOVED
- DOOR OR WINDOW TO BE FRAMED IN.

DEMOLITION KEY NOTES

- CONTRACTOR TO VERIFY DIMENSIONS ON FIELD AND CHECK IF RELOCATION IS NECESSARY PER PROPOSED FLOOR PLAN

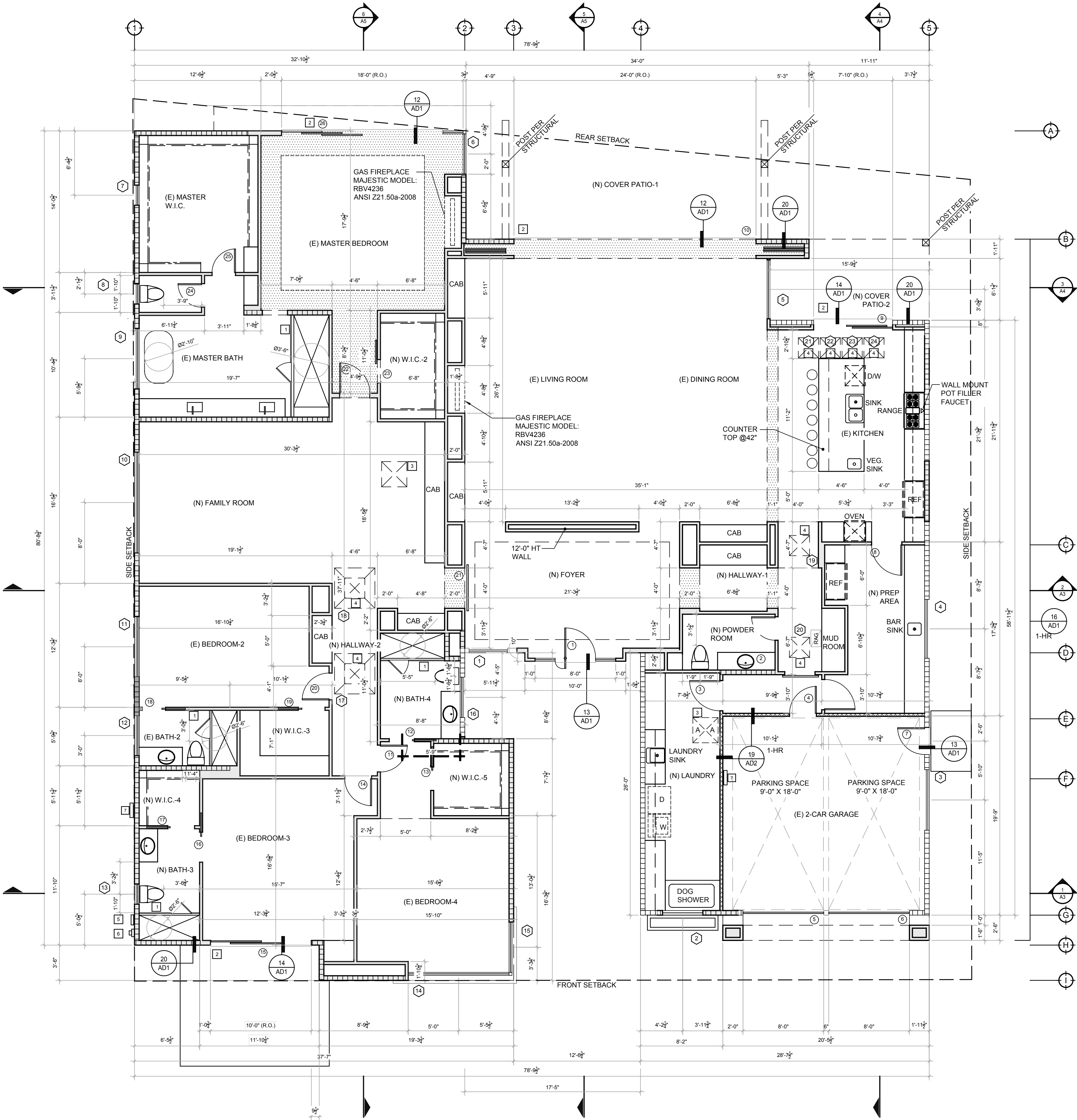
Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL:	03.15.24
FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE:

Revisions

Job Number:	PREST-22
Drawn By:	LS
Checked:	RM
Cad No.:	C-08

Scale: 1/4" = 1'-0" U.N.O.



PROPOSED FLOOR PLAN

SCALE: 3/16" = 12"



NORTH

FLOOR PLAN LEGEND:

- (E) 2 x 4 WALL
- (N) 2 x 4 WALL
- (N) 2 x 6 WALL
- (N) 1 HR PROTECTION
- SOFFIT
- RAG RETURN AIR GRILL

FLOOR PLAN KEYNOTES:

- TEMPERED GLASS ENCLOSURE AND FLUSH FLOOR
- NEW CONCRETE AREA TO SLOPE AT A MIN OF 2% AWAY FROM BUILDING, MIN 36" DEPTH, THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED AND NOT MORE THAN 7 3/4" BELOW THE THRESHOLD.
- ATTIC ACCESS; 24" X 30"
- (N) SKYLIGHT
- NEW LOCATION OF EXISTING GAS METER
- NEW LOCATION OF EXISTING ELECTRICAL METER TO BE UPGRADED TO 200 AMP
- (N) TWO RINNAI TANKLESS WATER HEATER R50LSI 5 GALLON/MINUTE; 200,000 BTU'S PER TITLE 24

NOTE: SLEEPING ROOMS MUST HAVE AN OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY MEANS OF EGRESS WHICH OPENS DIRECTLY ONTO PUBLIC STREET, ALLEY, YARD OR EXTERIOR COURTYARD. PROVIDE SILL HEIGHT NOT OVER 44" ABOVE FLOOR, 5.7 SQ. FT. OF OPERABLE AREA 24" NET CLEAR OPENING HEIGHT, 20" NET CLEAR OPENING WIDTH.

WHEN THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF FLOOR-CEILING ASSEMBLY IN A SINGLE-FAMILY DWELLING, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. DRAFTSTOPPING MATERIALS SHALL BE NOT DRAFT STOPPING PANEL 3/8 INCH TYPE 2-M PARTICLE BOARD, OR OTHER LESS THAN 1/2 INCH GYPSUM BOARD, 3/8 INCH WOOD STRUCTURAL APPROVED MATERIALS ADEQUATELY SUPPORTED.

WINDOW OPENING CONTROL DEVICES SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090

THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE ARCHITECT AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR THE ROOFING CONTRACTOR TO PROVIDE THE NECESSARY STANDARD OF CARE, WORKMANSHIP, AND MATERIALS TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF AND/OR DECK DAMAGES SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR ONTO THE EXTERIOR FINISH OF THE STRUCTURE.

NOTE: THE RESCUE OPENING AND EMERGENCY ESCAPE SHALL BE MAINTAINED AND FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE LISTED IN SECTION CRC R310.1 THE RELEASE MECHANISM SHALL BE MAINTAINED AND OPERABLE AT ALL TIME. SUCH BARS, GRILLS, AND GRATES OR ANY SIMILAR DEVICES SHALL BE EQUIPPED WITH AN APPROVED EXTERIOR RELEASE DEVICE FOR USE BY THE FIRE DEPARTMENT JURISDICTION ONLY REQUIRED WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION. WINDOW OPENING CONTROL DEVICES SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090

FLOOR PLAN GENERAL NOTES

- ALL NEW GLAZING (FENESTRATIONS) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
- MANUFACTURE WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.
- SHOWERS IN ALL OCCUPANCIES, OTHER THAN DWELLING UNITS SERVED BY INDIVIDUAL WATER HEATERS. SHALL BE PROVIDED WITH INDIVIDUAL SHOWER CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE.
- THE TEMPERATURE LIMIT SHALL BE ADJUSTED TO 120 DEGREES F.
- BATHROOM MECHANICAL EXHAUST FANS, WHICH EXHAUST DIRECTLY FROM BATHROOMS, SHALL COMPLY WITH THE FOLLOWING (CGC 4.506.1)
  - FANS SHALL BE "ENERGY STAR" COMPLIANT AND TBE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
  - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE AND HAVE CONTROLS CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 AND 80 PERCENT.
- WHOLE HOUSE FANS SHALL HAVE INSULATED LOUVERS OR COVERS, WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION OF R-4.2.
- WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED REDUCTION COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. SEE TABLE IN SHEET GN.3 FOR MORE INFORMATION, (CGC 4.303.2)
- PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN TABLE (GCG4.303.3).
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 S.F. THE MINIMUM NET CLEAR OPENING FOR EMERGENCY SCAPE GRADE FLOOR OPENING SHALL BE 5 S.F. (R310.1.1)
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE FOLLOWING DIMENSIONS: THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (SEC R310.1.2). THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY SCAPE AND RESCUE OPENING FROM THE INSIDE.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A STILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. (SEC R310.1).
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL HOSE BIBBS.
- PROVIDE ULTRA LOW FLUSH TOILETS.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALL AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION.
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYLYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO.26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 101.11.5.2
- ATTIC/ UNDER FLOOR INSTALLATION MUST COMPLY WITH SECTION 904, 908, 909 OF THE CALIFORNIA MECHANICAL CODE.
- PER 2019 GREEN CODE SEC 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
- ENCLOSED FRAMING IN WOOD EXTERIOR BALCONIES AND DECKS SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. CBC SECTION 2304.12.2.6, AS AMENDED BY EMERGENCY BUILDING STANDARDS.
- WOOD BALCONIES AND DECKS THAT SUPPORT MOISTURE-PERMEABLE FLOORS SHALL BE PROVIDED WITH AN IMPERVIOUS MOISTURE BARRIER SYSTEM UNDER THE MOISTURE-PERMEABLE FLOOR, WITH POSITIVE DRAINAGE. CBC SECTION 2304.12.2.5, AS AMENDED BY EMERGENCY BUILDING STANDARDS.

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Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
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FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE:

Revisions

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Scale: 1/4" = 1'-0" U.N.O.

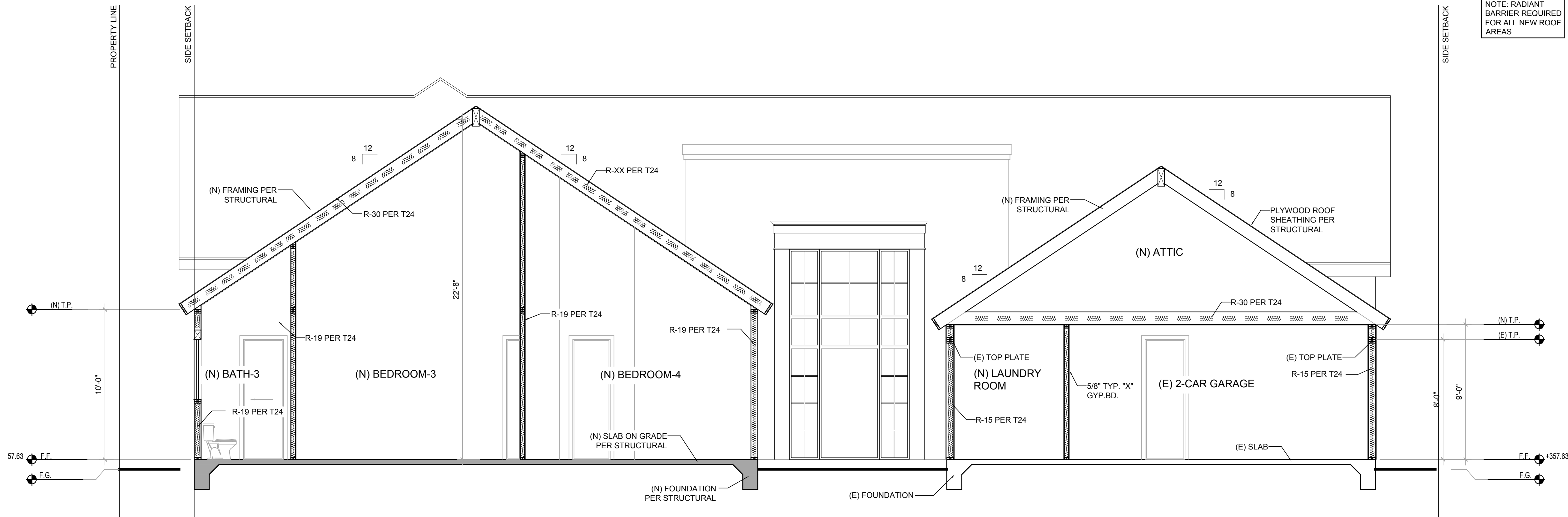
PROPOSED  
FLOOR PLAN

SHEET:

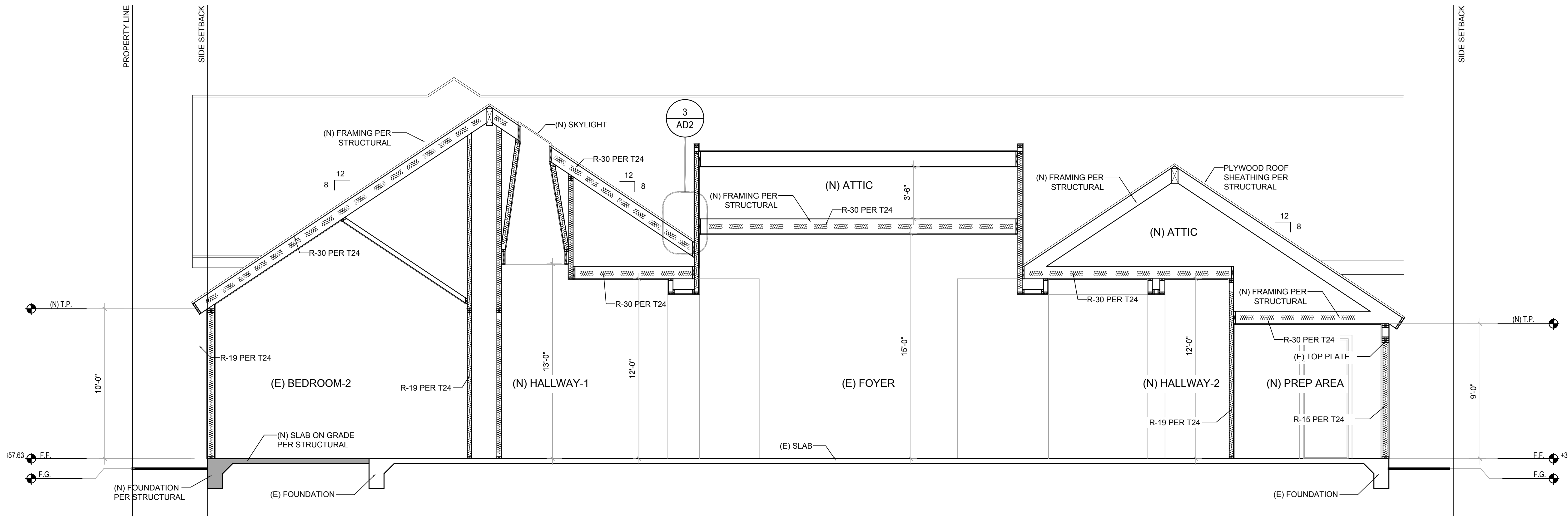
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NORTH




1 BUILDING SECTION



2 BUILDING SECTION

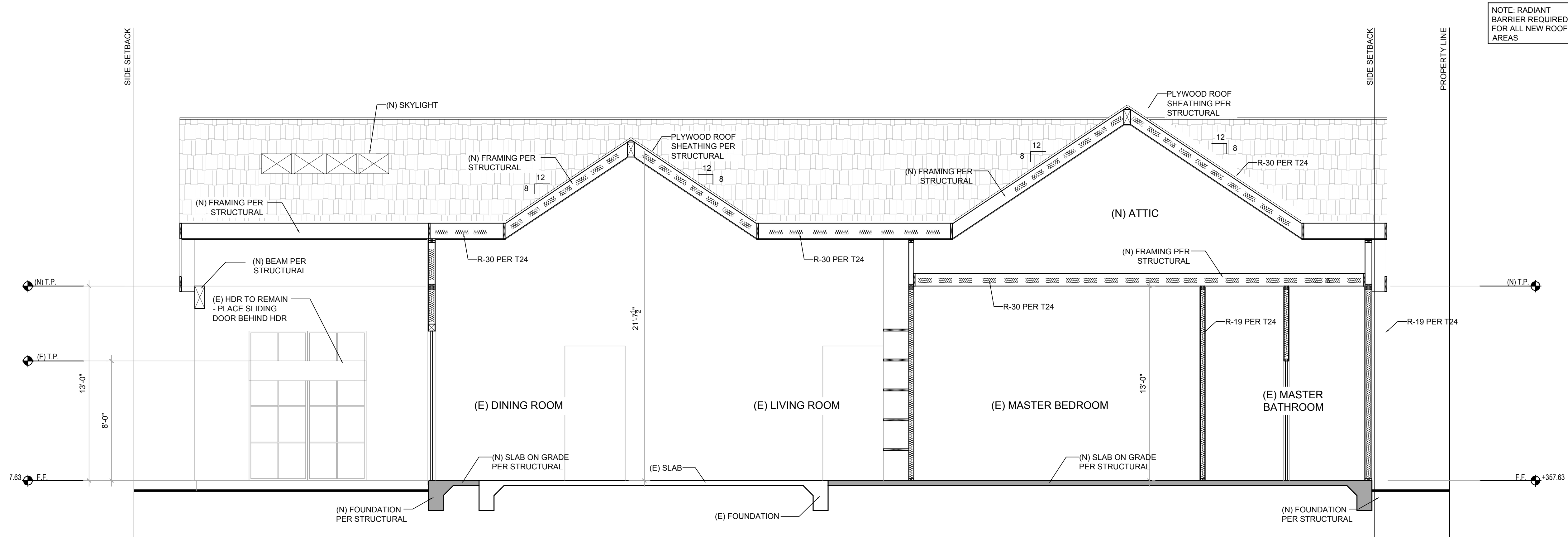
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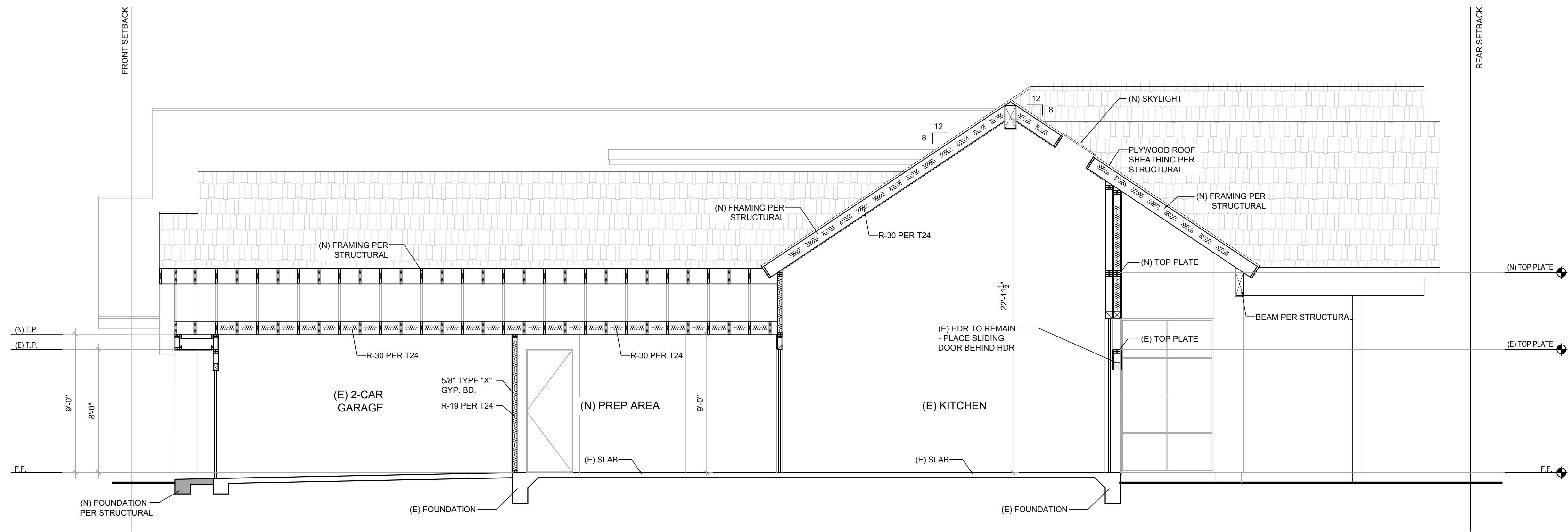
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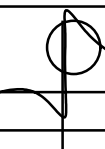


3 BUILDING SECTION



4 BUILDING SECTION

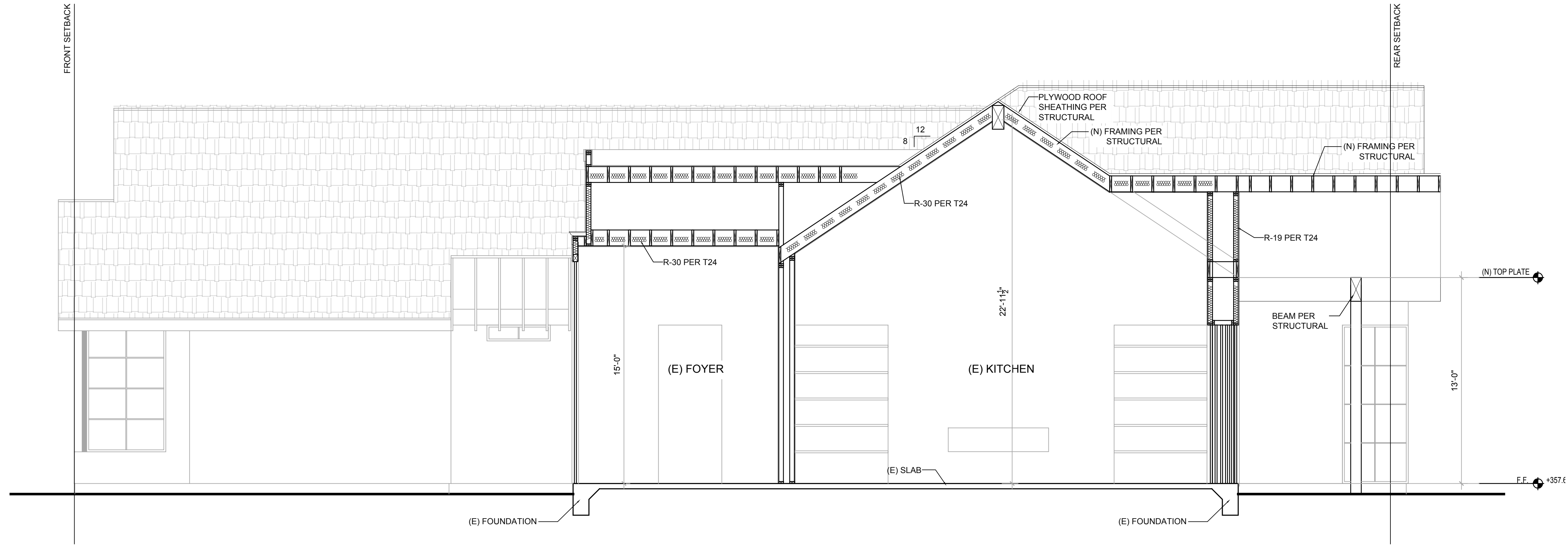
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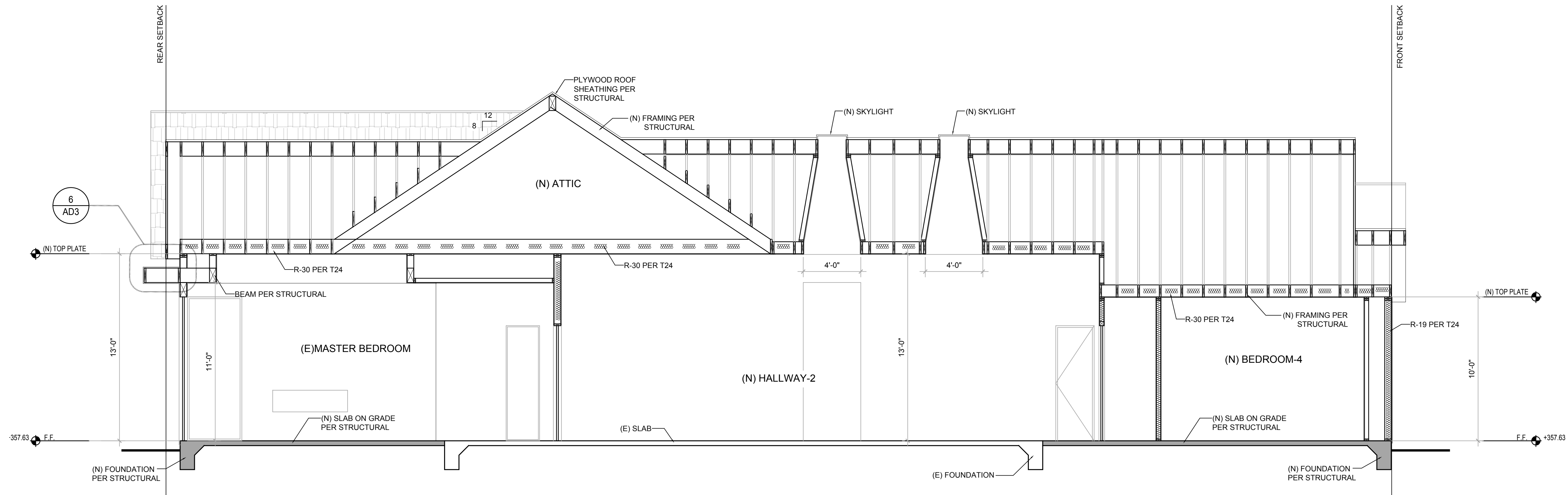
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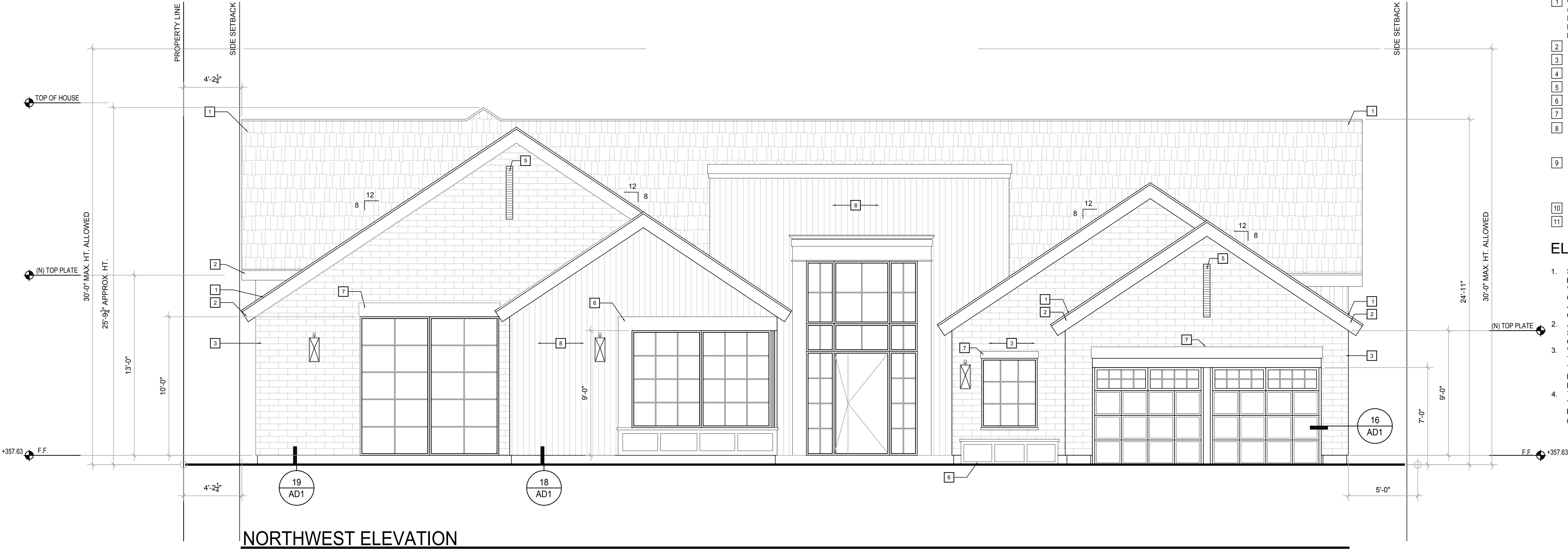


5 BUILDING SECTION

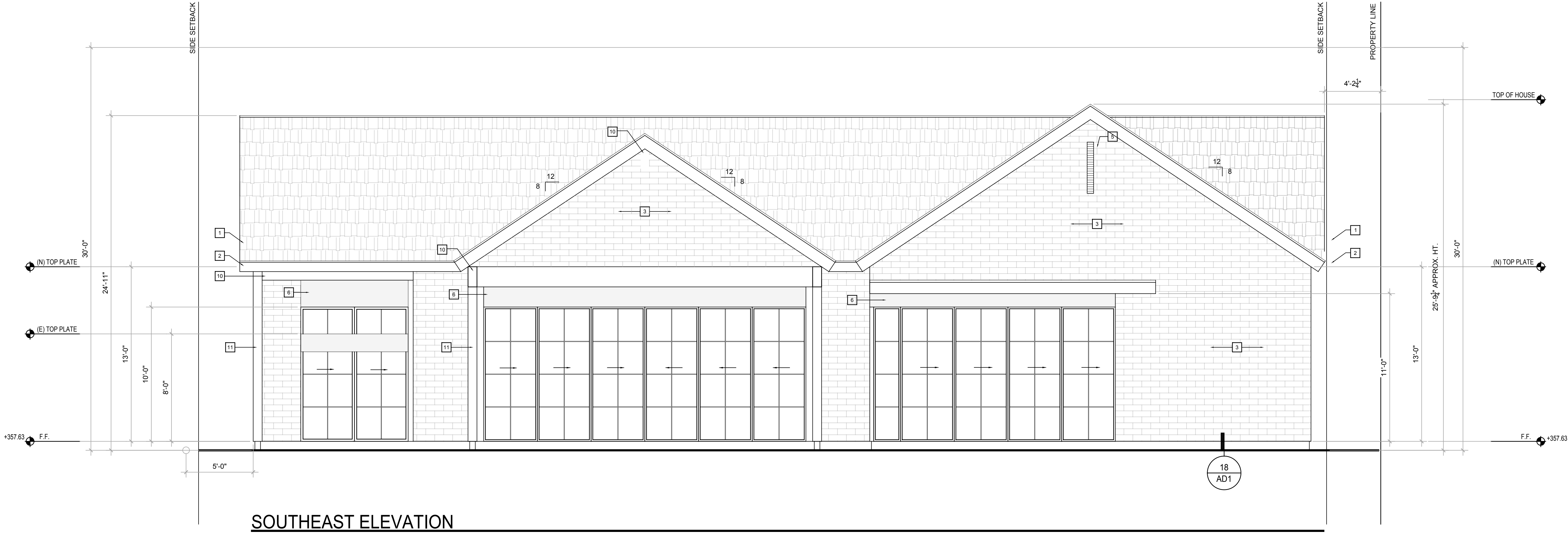


6 BUILDING SECTION

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NORTHWEST ELEVATION



SOUTHEAST ELEVATION

ELEVATION KEYNOTES:

- 1 GAF- TIMBERLINE® CS COOL ROOF™, FLAT CONCRETE ROOF TILE (MINIMUM CLASS 'A' ROOF ASSEMBLY); ESR #1372, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R905.2 AND THE MANUFACTURES INSTRUCTIONS. PROVIDE DOUBLE UNDERLAYMENT FOR LOW SLOPES ROOFS PER CRC SECTION R905.2.7
- 2 2X FASCIA
- 3 BRICK VENEER
- 4 RESERVED
- 5 DECORATIVE VENT
- 6 BORAL BOARD FINISH; PAINT TO MATCH DOOR FRAME
- 7 6" DECORATIVE WOOD WINDOW/DOOR HEAD TRIM
- 8 JAMES HARDIE - HARDIE PANEL VERTICAL SIDING, PAINTED OR SIMILAR OVER METAL LATH AND (2) LAYERS OF 60 MIN. GRADE 'D' PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE
- 9 JAMES HARDIE - HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM FOR BOARD AND BATTEN FINISH, PAINTED OR SIMILAR OVER METAL LATH AND (2) LAYERS OF 60 MIN. GRADE 'D' PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE WITH
- 10 BEAM PER STRUCTURAL
- 11 POST PER STRUCTURAL

ELEVATION GENERAL NOTES:

- 1. SLEEPING ROOMS MUST HAVE AN OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY MEANS OF EGRESS WHICH OPENS DIRECTLY ONTO PUBLIC STREET, ALLY YARD OR EXTERIOR COURTYARD. PROVIDE SILL HEIGHT NOT OVER 44" ABOVE FLOOR, 5.7 S.F. OPERABLE 24" NET CLEAR OPENING HEIGHT, 20" NET.
- 2. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTION 904, 908 AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- 3. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD PER CRC SEC R317.1 OR CBC 2304.11.2.2
- 4. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM)

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EXTERIOR  
ELEVATIONS

SHEET:

A6

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EXTERIOR  
ELEVATIONS

SHEET:

A7

ELEVATION KEYNOTES:

- 1 GAF- TIMBERLINE® CS COOL ROOF , FLAT CONCRETE ROOF TILE (MINIMUM CLASS 'A' ROOF ASSEMBLY). ESR #1372. SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R905.2 AND THE MANUFACTURER'S INSTRUCTIONS. PROVIDE DOUBLE UNDERLAYMENT FOR LOW SLOPES ROOFS PER CRC SECTION R905.2.7
- 2 2X FASCIA
- 3 BRICK VENEER
- 4 DECORATIVE TRELLIS WITH WOOD KNEE BRACING
- 5 DECORATIVE VENT
- 6 BORAL BOARD FINISH
- 7 6" DECORATIVE WOOD WINDOW/DOOR HEAD TRIM
- 8 JAMES HARDIE - HARDIE PANEL VERTICAL SIDING PAINTED OR SIMILAR OVER METAL LATH AND (2) LAYERS OF 60 MIN. GRADE 'D' PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE
- 9 JAMES HARDIE - HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM FOR BOARD AND BATTEN FINISH PAINTED OR SIMILAR OVER METAL LATH AND (2) LAYERS OF 60 MIN. GRADE 'D' PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE WITH
- 10 BEAM PER STRUCTURAL
- 11 POST PER STRUCTURAL

ELEVATION GENERAL NOTES:

1. SLEEPING ROOMS MUST HAVE AN OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY MEANS OF EGRESS WHICH OPENS DIRECTLY ONTO PUBLIC STREET, ALLY YARD OR EXTERIOR COURTYARD, PROVIDE SILL HEIGHT NOT OVER 44" ABOVE FLOOR, 5.7 S.F. OPERABLE 24" NET CLEAR OPENING HEIGHT, 20" NET.
2. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTION 904, 908 AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC).
3. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD PER CRC SEC R317.1 OR CBC 2304.11.2.2
4. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM)

SOUTHWEST ELEVATION

NORTHEAST ELEVATION

REFLECTED CEILING FLOOR PLAN

SCALE: 3/16" = 12"



REFLECTED CEILING KEY NOTES:

- 1

(N) TWO RINNAI TANKLESS WATER HEATER RS0LSI 5 GALLON/MINUTE; 200,000 BTU'S PER TITLE 24
- 2

ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) ROUGH-IN ONLY IS REQUIRED IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSE WITH ATTACHED GARAGES. THE EVSE ROUGH-IN CONSIST OF A MINIMUM 1" CONDUIT EXTENDING FROM THE MAIN PANEL TO A JUNCTION BOX WHERE THE EVSE RECEPTACLE BOX WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE A FUTURE 200 VOLT 40 AMPERE DEDICATED BRANCH CIRCUIT. CALIFORNIA GREEN CODE 4.106.4
- 3

ROUTE DRYER 4" MIN. VENT THRU ROOF TO DAY LIGHT. APPROXIMATELY 12' VERTICAL LENGTH, EQUIPPED WITH BACK-DRAFTER DAMPERS.
- 4

ATTIC ACCESS 30"x30" THE LARGEST PIECE OF EQUIPMENT CAN BE MOVED THROUGH THE OPENING.
- 5

SKYLIGHTS
- 6

NEW LOCATION OF EXISTING GAS METER
- 7

NEW LOCATION OF EXISTING ELECTRICAL METER TO BE UPGRADED TO 200 AMP
- 8

30"x30" CLEAR WORKING AREA
- 9

NEW 2 FAU: 34,500 BTU'S (EACH) PER TITLE 24 CONSULTANT; REFER TO TITLE 24 FOR SPECS
- 10

PROVIDE LIGHT, SWITCH AND OUTLET AT ATTIC.

NOTE:  
STRATEGY 1  
2. PLUMBING FIXTURES AND FITTINGS.

WITH RESPECT TO PLUMBING FIXTURES OR FITTINGS PROVIDED AS PART OF THE PROJECT, WOULD THOSE LOW-FLOW FIXTURES/APPLIANCES BE CONSISTENT WITH EACH OF THE FOLLOWING:

RESIDENTIAL BUILDINGS:

\* KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI;

\* STANDARD DISHWASHERS: 4.25 GALLONS PER CYCLE;

\* COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE;

\* CLOTHES WASHERS: WATER FACTOR OF 6 GALLONS PER CUBIC FEET OF DRUM CAPACITY

ELECTRICAL SYMBOLS

	DUPLEX CONVENIENCE OUTLET		110 VOLT SMOKE DETECTOR W/ BATTERY BACK-UP
	DUPLEX CONVENIENCE OUTLET TAMPER RESISTANT RECEPTACLE		CARBON MONOXIDE ALARM WITH BATTERY BACK-UP
	DUPLEX CONV. OUTLET W/ GROUND FAULT INTERRUPTER		TELEVISION JACK (PREWIRE FOR CABLE)
	WATERPROOF DUPLEX CONV. OUTLET W/ GROUND FAULT INTERRUPTER		EXHAUST FAN 50 CFM/MAX. 3 SONE. (TO BE DUCTED TO EXTERIOR)
	220 VOLT OUTLET		ELECTRIC SUB-PANEL
	4" RECESSED LIGHT (IC RATED)		ELECTRIC METER
	RECESSED FLOURESECENT LIGHT (40 LUMENS / WATT OR BETTER)		HOSE BIB
	WATER PROOF RECESSED LIGHT ON GROUND FAULT INTERRUPTER CIRCUIT		GAS INE
	WALL MOUNTED LIGHT FIXTURE		WHOLE HOUSE VENTILATION FAN PER CALC
	SINGLE POLE SWITCH		UNDER CABINET LIGHTING
	THREE WAY SWITCH		EXHAUST FAN 100 CFM (3 STONES MAX), DUCTED TO EXTERIOR.
	DIMMER SWITCH		VACANCY SENSOR
	THREE WAY DIMMER SWITCH		WALL MOUNTED LIGHT FIXTURE PHOTO CELL / MOTION SENSOR
	FOUR WAY DIMMER SWITCH		
	FIVE WAY DIMMER SWITCH		

ELECTRICAL VEHICLE CHARGING:

A LISTED RACEWAY TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGER. RACEWAY SHALL BE NOT LESS THAN TRADE SIZE 1 (NOMINAL 1-IN. DIAMETER) TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CHARGER. RACEWAY SHALL BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPLRE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY:  
A) THE OVERCURRENT PROTECTIVE DEVIDE SPACE(S) FOR FUTURE EV CHARGING AS "EV CAPABLE" AND  
B) THE RACEWAY TERMINATION LOCATION AS "EV CAPABLE"

ELECTRICAL NOTES:

- A) LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICANCY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
- B) ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
- C) LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- D) OTHER ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH, AND CONTROLLED BY ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND A MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).
- E) OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH, AND CONTROLLED BY ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND A MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEMS(EMCS)
- F) BATHROOM EXHAUST FANS:  
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.  
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < . 50 PERCENT OF MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT IN)

PLUMBING NOTES:

- A) PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM)
- B) ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2019 CGBC.
- C) THE CONTROL VALVES IN SHOWERS, BATHTUBS, AND BIDIETS MUST BE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.
- D) PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM)
- E) PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM)
- F) PROVIDE WATER CLOSET WITH A MAXIMUM FLOW OF 1.28 FLUSH (GPF)

MECHANICAL GENERAL NOTES :

1. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
2. ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING.
3. THE LARGEST PIECE OF EQUIPMENT CAN BE MOVED THROUGH THE OPENING.
4. ATTIC/UNDERFLOOR/ INSTALLATIONS MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE
5. THE CONDENSER CANNOT BE PLACED WITHIN 5 FEET OF THE NEW CONDENSER UNIT
6. THE CONDENSING UNIT SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3 INCHES ABOVE THE ADJOINING GROUND LEVEL PER CMC 1105.2
7. THE REFRIGERANT CIRCUIT ACCESS PORT SHALL BE PROTECTED FROM UNAUTHORIZED ACCESS WITH A LOCKING-TYPE TAMPER RESISTANT CAP PER THE CMC 1105.11
8. CONDENSATE FROM AIR-COOLING COILS SHALL BE COLLECTED AND DRAINED TO AN APPROVED LOCATION. DRAIN PANS AND COILS SHALL BE ARRANGED TO ALLOW DRAINAGE AND ACCESS FOR CLEANING WHERE TEMPERATURE DROPS BELOW FREEZING, HEAT TRACING AND INSULATION OF CONDENSATE DRAINS SHALL BE INSTALLED PER THE CMC 1105.7
9. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE-X GYPSUM BOARD? OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATION IS NOT REQUIRED.

- NOTES:
- SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FT HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN A 3-FOOT HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY OTHER SECTIONS OF THE CRC.
- SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36-INCH HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS.
- SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WIT BATTERY BACKUP AND LOW BATTERY SIGNAL.
- SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SHALL BE LISTED IN ACCORDANCE WITH UL217
- COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034
- SMOKE ALARM SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHALL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.

WHOLE HOUSE VENTILATION CALC.

BASED ON 2019 RESIDENTIAL TITLE-24 MANUAL AND EQUATION 4.1a ASHRAE 62.2.

-FORMULA:  
VENTILATION (CFM) = (CFA/100) + (7.5x (NUMBER OF BEDROOMS+1)  
-CFA = 5,028  
-TOTAL NUMBER OF BEDROOMS = 4

VENTILATION RATE (CFM) = (5,028/100) + (7.5 x (4) + 1) = 87.78

REQUIRED CONTINUOUS VENTILATION (CFM) = 87.78 CFM.  
DESIGNED CFM = 79 CFM (EF-1)

REFER TO SHEET AD.3 FOR WHOLE HOUSE FAN SPECS.

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REFLECTED  
CEILING  
PLAN

SHEET:

A8

mosarch studio

1911 SAN DIEGO AVE, SUITE 103, SAN DIEGO, CA 92110

WINDOW SCHEDULE										
SYM	ROOM	NOMINAL SIZE	TYPE							
			OPER	MATERIAL	HDR. HT.	AREA	GLAZE	U-FACTOR	SHGC	REMARKS
1	FOYER	3'-10" X 6'-8"	FX	COMPOSITE	6'-8"	25.62	DOUBLE	0.32	0.34	(E) HDR TO REMAIN TEMPERED
2	LAUNDRY	4'-0" X 5'-0"	DH	COMPOSITE	7'-0"	20	DOUBLE	0.32	0.34	TEMPERED
3	GARAGE	6'-0" X 4'-0"	SL	COMPOSITE	6'-8"	24	DOUBLE	0.32	0.34	(E) HDR TO REMAIN TEMPERED
4	PREP AREA	5'-10" X 4'-0"	SL	COMPOSITE	6'-8"	23.34	DOUBLE	0.32	0.34	(E) HDR TO REMAIN TEMPERED
5	DINING ROOM	6'-0" X 10'-0"	FX	COMPOSITE	10'-0"	60	DOUBLE	0.32	0.34	TEMPERED
6	MASTER BEDROOM	4'-0" X 10'-0"	?	COMPOSITE	10'-0"	40	DOUBLE	0.32	0.34	TEMPERED
7	MASTER W.I.C.	2'-0" X 4'-0"	SH	COMPOSITE	8'-0"	8	DOUBLE	0.32	0.34	TEMPERED
8	MASTER BATH	2'-0" X 4'-0"	DH	COMPOSITE	8'-0"	8	DOUBLE	0.32	0.34	TEMPERED
9	MASTER BATH	6'-0" X 6'-0"	AW	COMPOSITE	8'-0"	36	DOUBLE	0.32	0.34	TEMPERED
10	FAMILY ROOM	10'-0" X 6'-0"	XOX	COMPOSITE	8'-0"	60	DOUBLE	0.32	0.34	TEMPERED
11	BEDROOM-2	6'-0" X 6'-0"	SL	COMPOSITE	8'-0"	36	DOUBLE	0.32	0.34	TEMPERED
12	BATH-2	4'-0" X 1'-6"	SL	COMPOSITE	8'-0"	6	DOUBLE	0.32	0.34	TEMPERED
13	BATH-3	2'-0" X 4'-0"	DH	COMPOSITE	8'-0"	8	DOUBLE	0.32	0.34	TEMPERED
14	BED-4	10'-0" X 7'-0"	FX	COMPOSITE	9'-0"	70	DOUBLE	0.32	0.34	TEMPERED
15	BED-4	5'-0" X 7'-0"	?	COMPOSITE	9'-0"	35	DOUBLE	0.32	0.34	TEMPERED
16	BATH-4	4'-0" X 1'-0"	SL	COMPOSITE	9'-6"	4	DOUBLE	0.32	0.34	ABOVE (E) TOP PLATE TEMPERED
SKYLIGHT										
17	HALLWAY-2	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
18	HALLWAY-2	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
19	HALLWAY-1	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
20	HALLWAY-1	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
21	KITCHEN	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
22	KITCHEN	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
23	KITCHEN	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
24	KITCHEN	2'-0" X 2'-0"	FX	COMPOSITE		4	DOUBLE	0.48	0.27	TEMPERED
NOTES:										
ALL NEW GLASS DOORS TO HAVE A U-FACTOR OF 0.50 PER TITLE 24 CONSULTANTS.										
<div><div><div>WINDOW #1</div></div><div><div>WINDOW #6</div></div><div><div>WINDOW #9</div></div><div><div>WINDOW #10</div></div><div><div>WINDOW #14</div></div><div><div>WINDOW #15</div></div></div>										

DOOR SCHEDULE						
SYM	ROOM	NOMINAL SIZE	MATERIAL	THICK	FINISH	REMARKS
1	FOYER	8'-0" X 14'-0"	GLASS	1 3/8	PER CONTRACTOR	TEMPERED
2	POWDER ROOM	2'-4" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
3	LAUNDRY ROOM	3'-0" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
4	GARAGE	2'-8" X 8'-0"	SOLID WOOD	1 3/8	PER CONTRACTOR	SELF-LATCHING TIGHT FITTING 1 3/8" SOLID WOOD DOOR, TITAN HANCOCK KNOB
5	GARAGE	8'-0" X 7'-0"	METAL	1 3/8	PER CONTRACTOR	(E) HDR TO REMAIN
6	GARAGE	8'-0" X 7'-0"	METAL	1 3/8	PER CONTRACTOR	(E) HDR TO REMAIN
7	GARAGE	2'-8" X 7'-0"	WOOD/GLASS	1 3/8	PER CONTRACTOR	TEMPERED
8	PREP AREA	3'-0" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	BARN DOOR
9	KITCHEN	7'-10" X 10'-0"	GLASS	1 3/8	PER CONTRACTOR	(E) HDR TO REMAIN SLIDER DOOR / TEMPERED
10	LIVING/DINING RM	24'-0" X 10'-0" (R.O.)	GLASS	1 3/8	PER CONTRACTOR	POCKET DOOR / TEMPERED
11	BED-4	2'-8" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
12	BATH-4	2'-6" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	POCKET DOOR
13	WIC-5	2'-4" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	POCKET DOOR
14	BED-3	2'-8" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
15	BED-3	10'-0" X 8'-0"	GLASS	1 3/8	PER CONTRACTOR	SLIDING DOOR / TEMPERED
16	BATH-3	3'-0" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	POCKET DOOR
17	W.I.C.-4	2'-8" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	POCKET DOOR
18	BATH-2	2'-4" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	POCKET DOOR
19	W.I.C.-3	2'-8" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	POCKET DOOR
20	BED-2	2'-8" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
21	LINEN/SERVER	2'-8" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
22	MSTR BED	3'-0" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
23	W.I.C.-2	2'-4" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
24	MSTR BATH	2'-4" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
25	MSTR W.I.C.	2'-4" X 8'-0"	WOOD	1 3/8	PER CONTRACTOR	
26	MSTR BED	18'-0" X 10'-0" (R.O.)	GLASS	1 3/8	PER CONTRACTOR	SLIDING DOOR / TEMPERED
NOTES:						
ALL NEW GLASS DOORS TO HAVE A U-FACTOR OF 0.50 PER TITLE 24 CONSULTANTS.						
<div><div><div>DOOR #1</div></div><div><div>DOOR #9</div></div><div><div>DOOR #10</div></div><div><div></div></div></div>						

INTERIOR FINISH SCHEDULE						
ROOM	FLOOR	BASE	WALLS	CEILING	CLG. HT.	REMARKS
FOYER	WOOD	WD	GYP. BD.	GYP. BD.	15'-0"	
HALLWAY-1	WOOD	WD	GYP. BD.	GYP. BD.	9'-0"	
POWDER ROOM	TILE	WD	GYP. BD.	GYP. BD.	9'-0"	
LAUNDRY	TILE	WD	GYP. BD.	GYP. BD.	9'-0"	
PREP AREA	WOOD	WD	GYP. BD.	GYP. BD.	9'-0"	
2-CAR GARAGE	CONCRETE	WD	GYP. BD.	GYP. BD.	9'-0"	
KITCHEN	TILE	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
DINING ROOM	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
LIVING ROOM	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
MSTR BED	WOOD	WD	GYP. BD.	GYP. BD.	13'-0"	
MSTR WIC	WOOD	WD	GYP. BD.	GYP. BD.	13'-0"	
MSTR BATH	TILE	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
FAMILY ROOM	WOOD	WD	GYP. BD.	GYP. BD.	10'-0"	
WIC-2	WOOD	WD	GYP. BD.	GYP. BD.	10'-0"	
LINEN ROOM	WOOD	WD	GYP. BD.	GYP. BD.	10'-0"	
BED-2	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
HALLWAY-2	WOOD	WD	GYP. BD.	GYP. BD.	13'-0"	
BATH-4	TILE	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
WIC-3	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
BATH-2	TILE	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
WIC-4	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
BATH-3	TILE	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
BED-3	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
BED-4	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED
WIC-5	WOOD	WD	GYP. BD.	GYP. BD.	VARIES	VAULTED

mosarch studio

1911 SAN DIEGO AVE, SUITE 103, SAN DIEGO, CA 92110

PRESTWICK DR

8559 PRESTWICK DR  
LA JOLLA, CA 92037

Issue Dates

FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL:	03.15.24
FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE:

Revisions

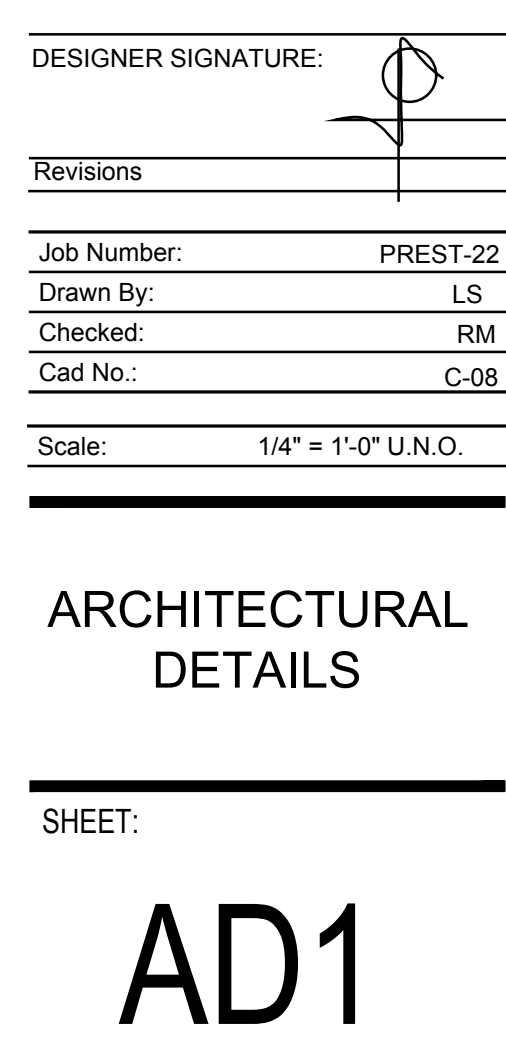
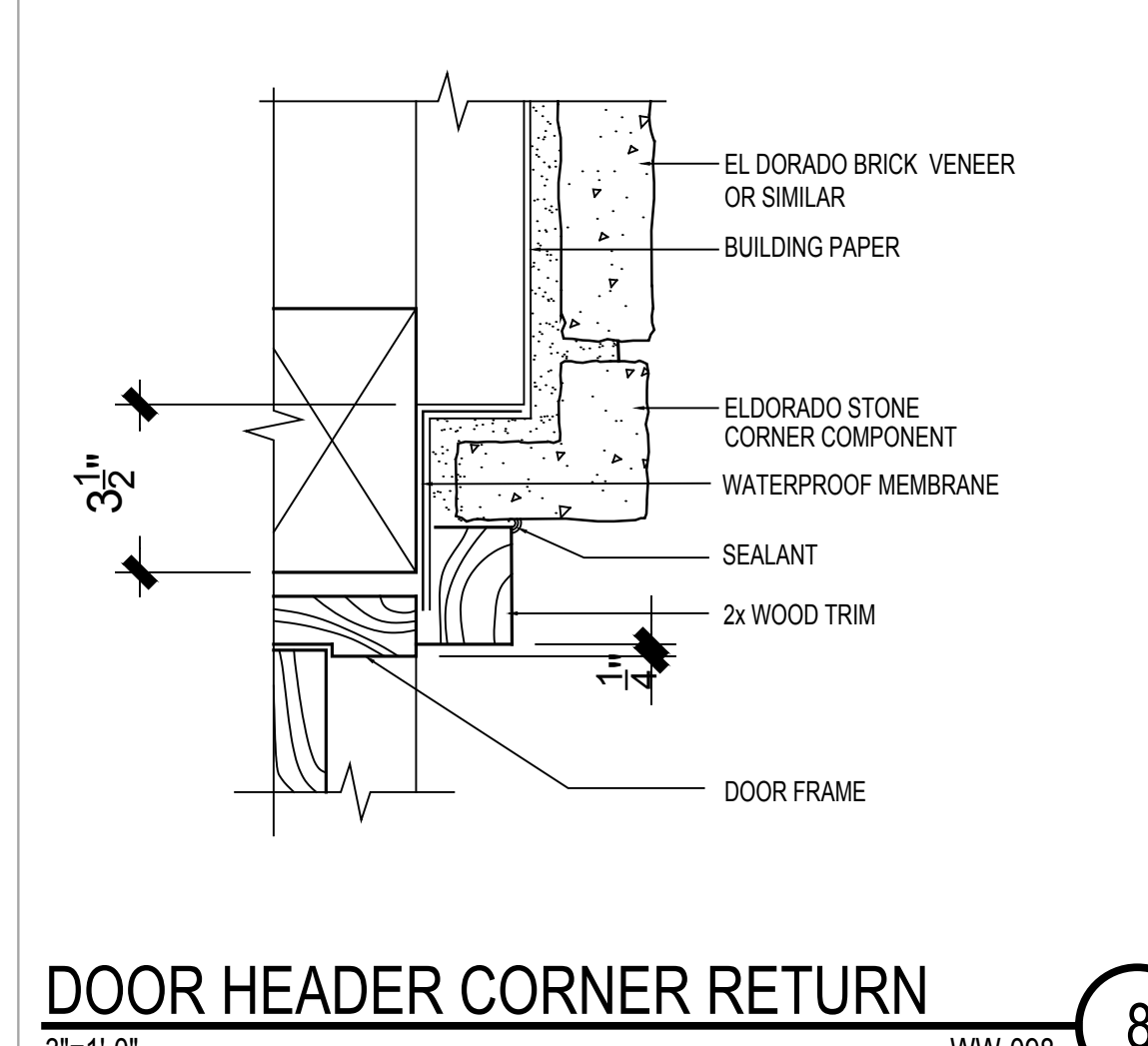
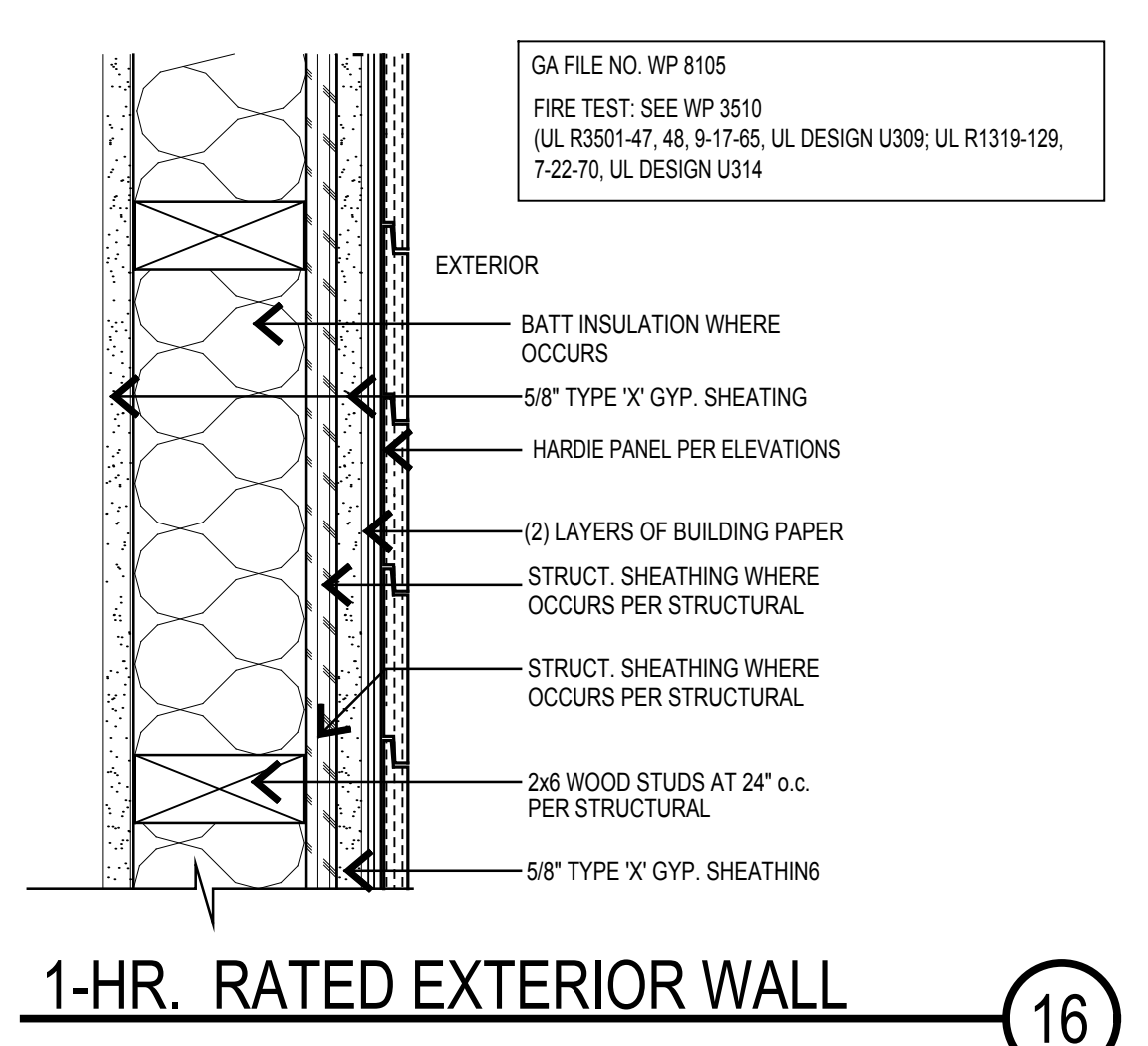
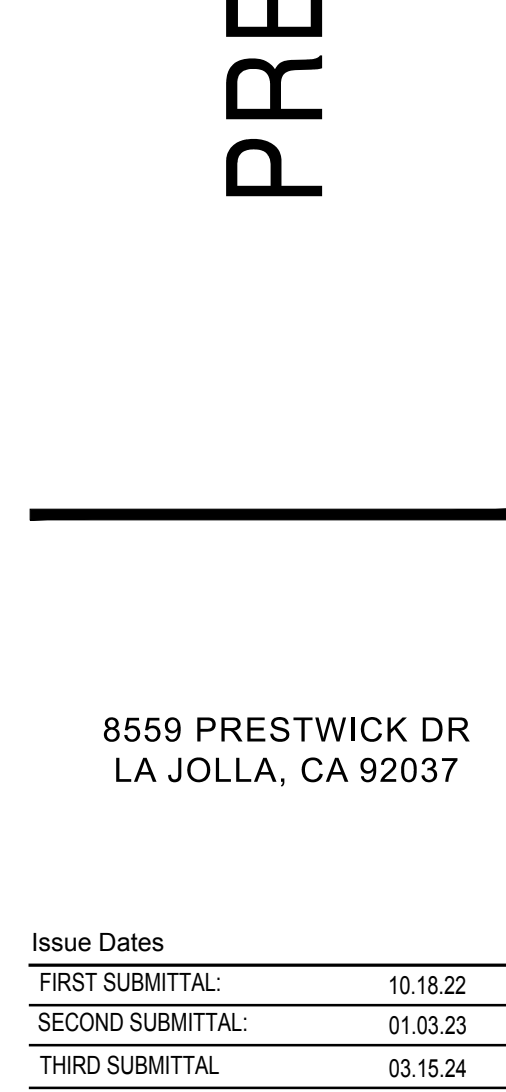
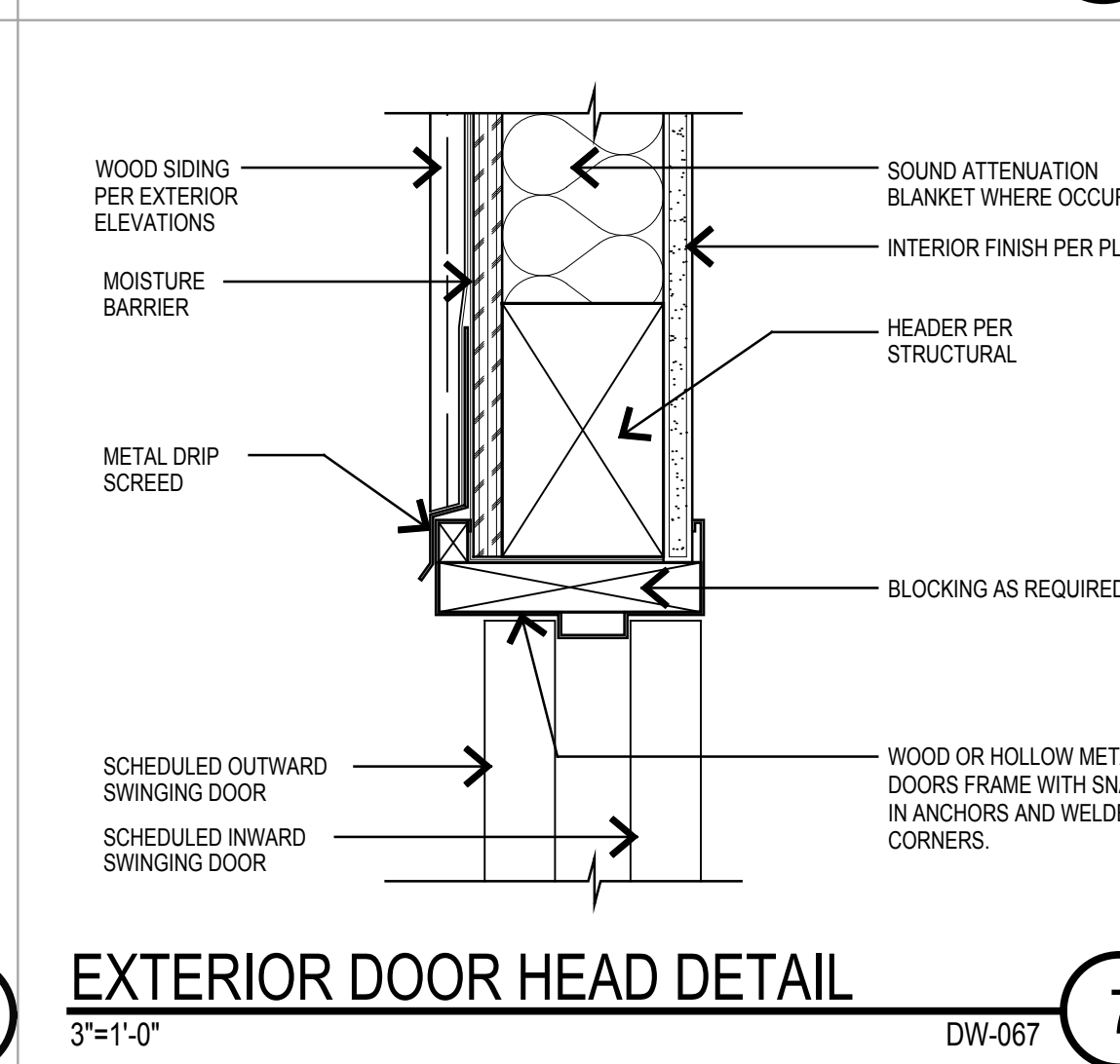
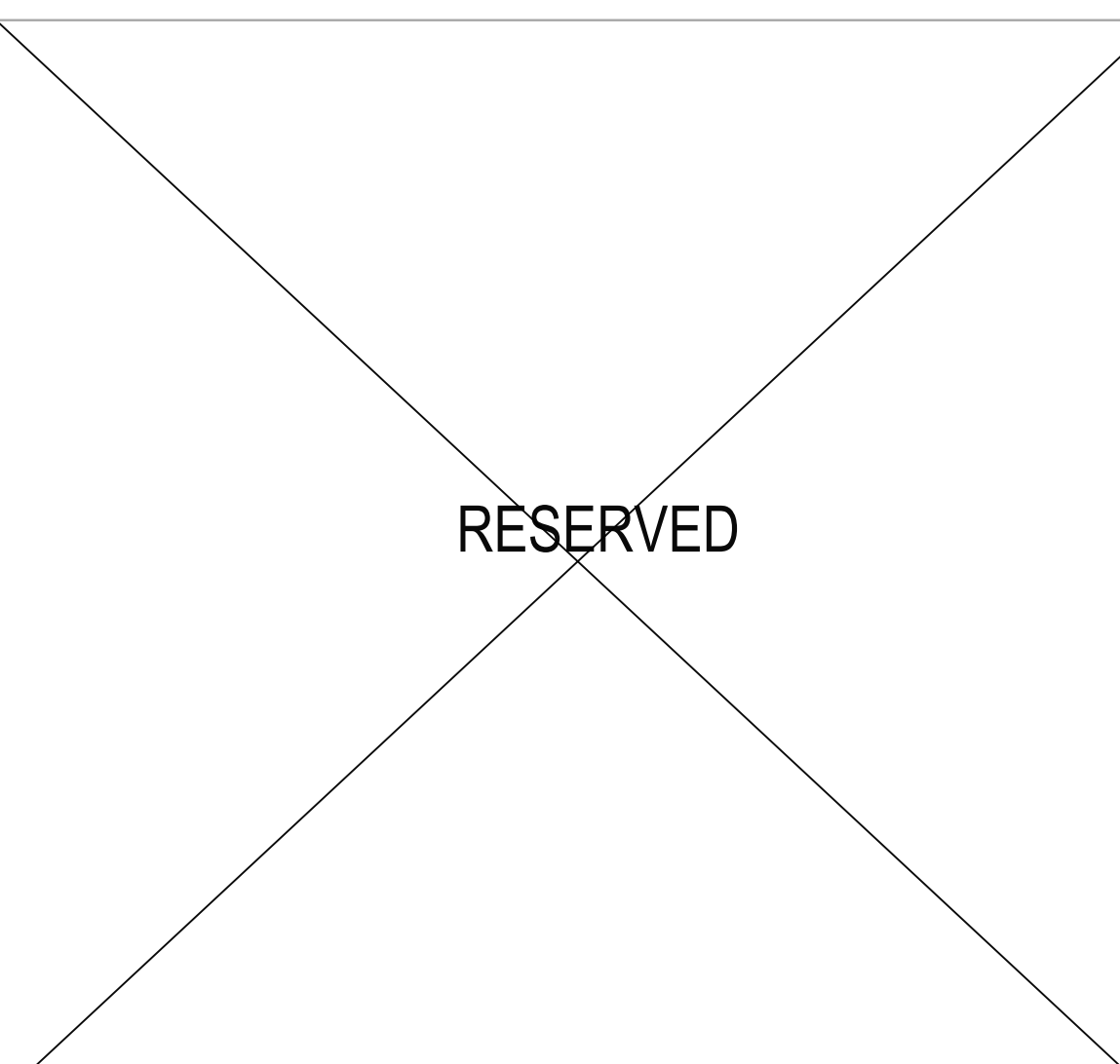
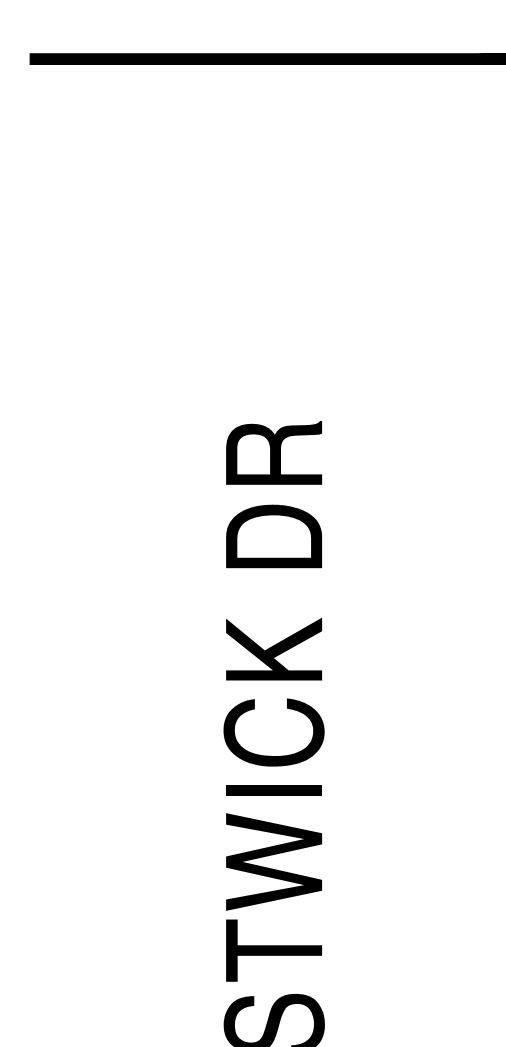
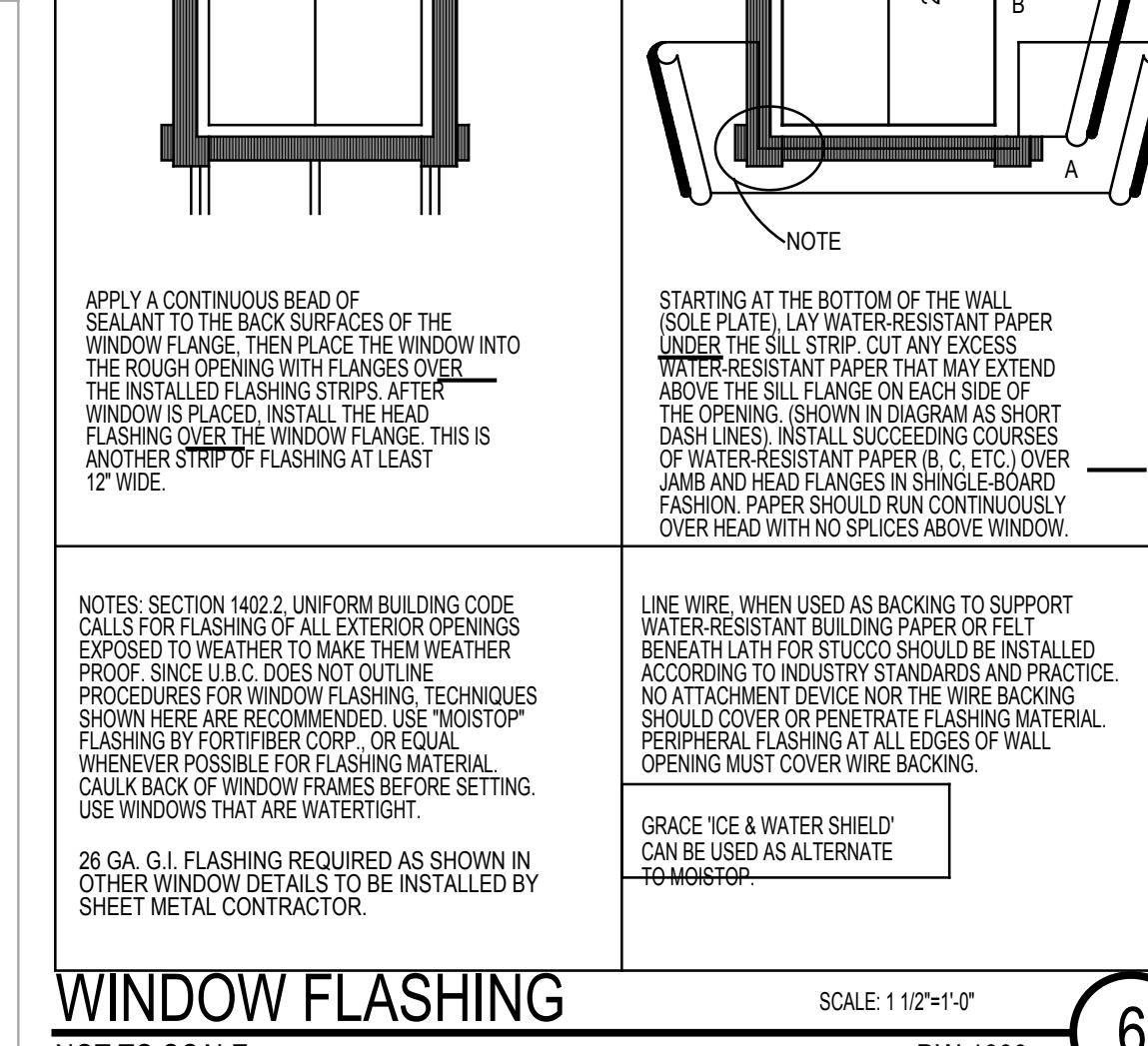
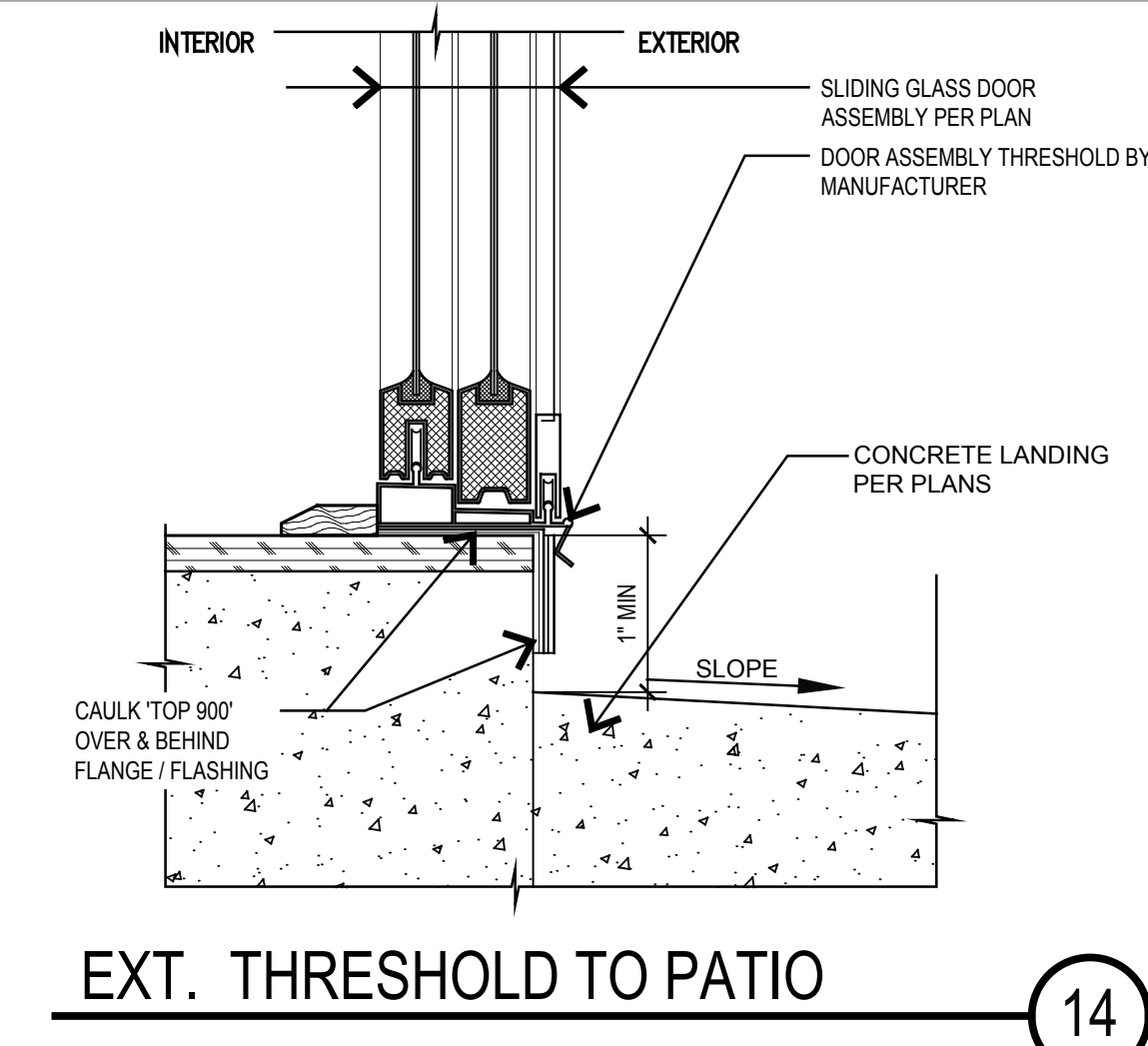
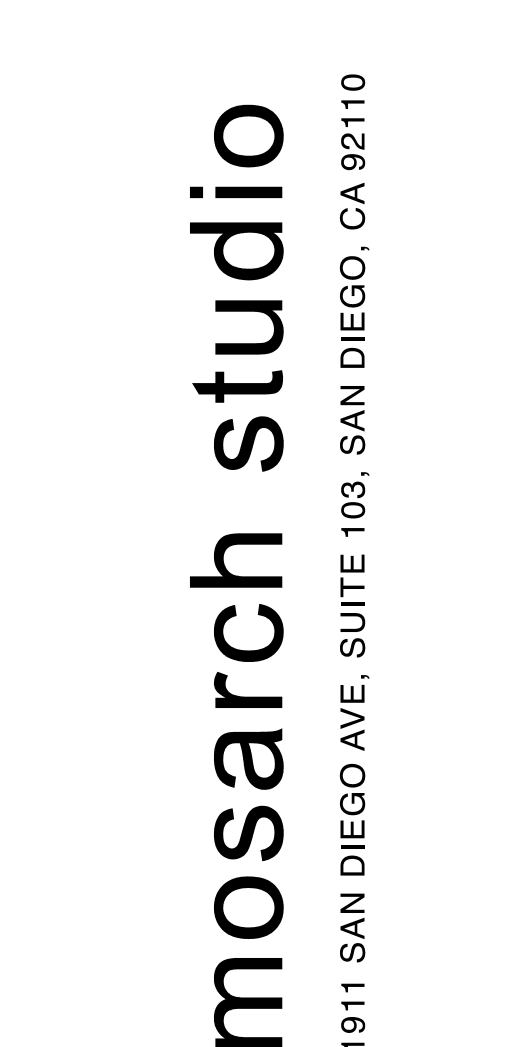
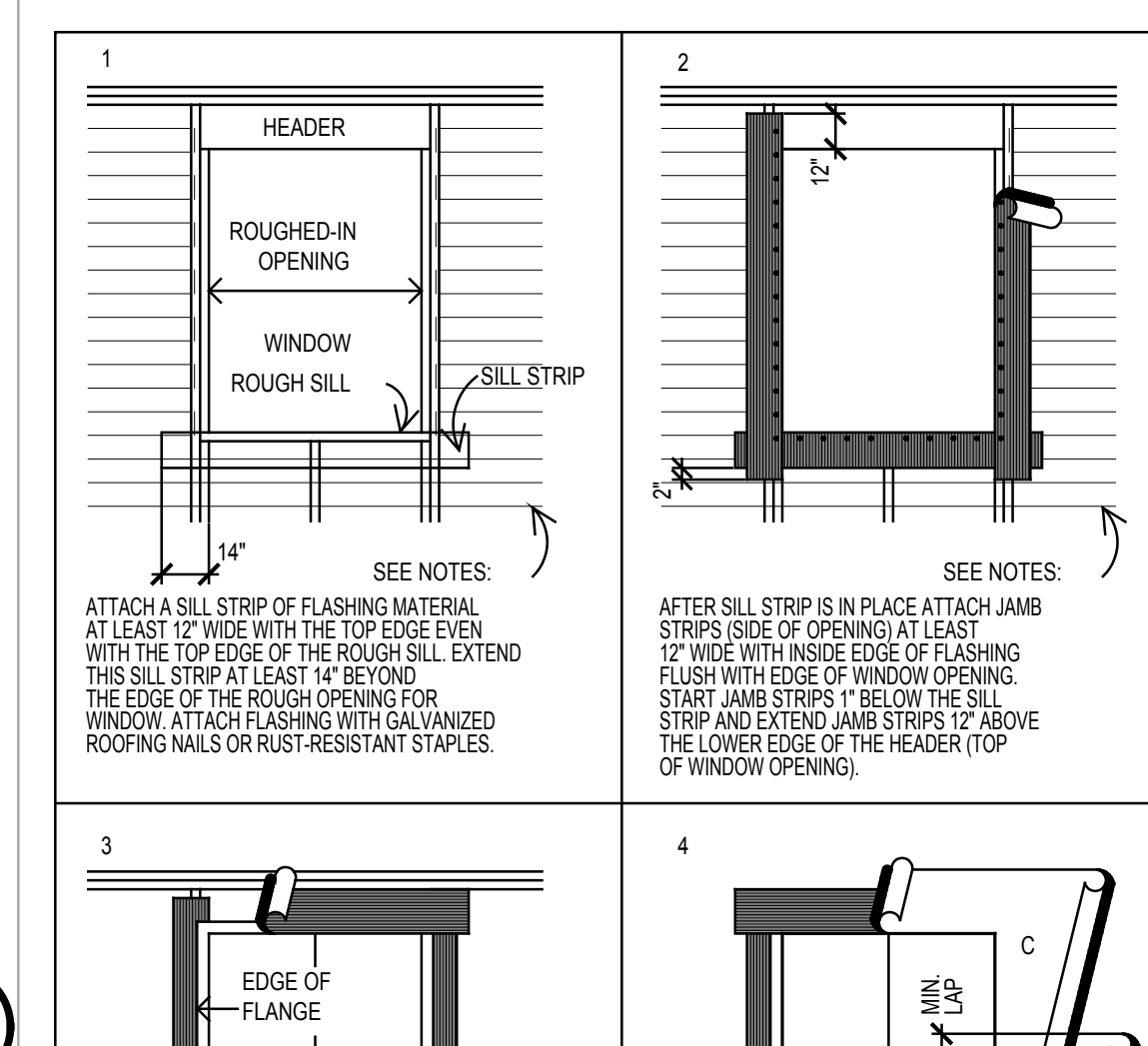
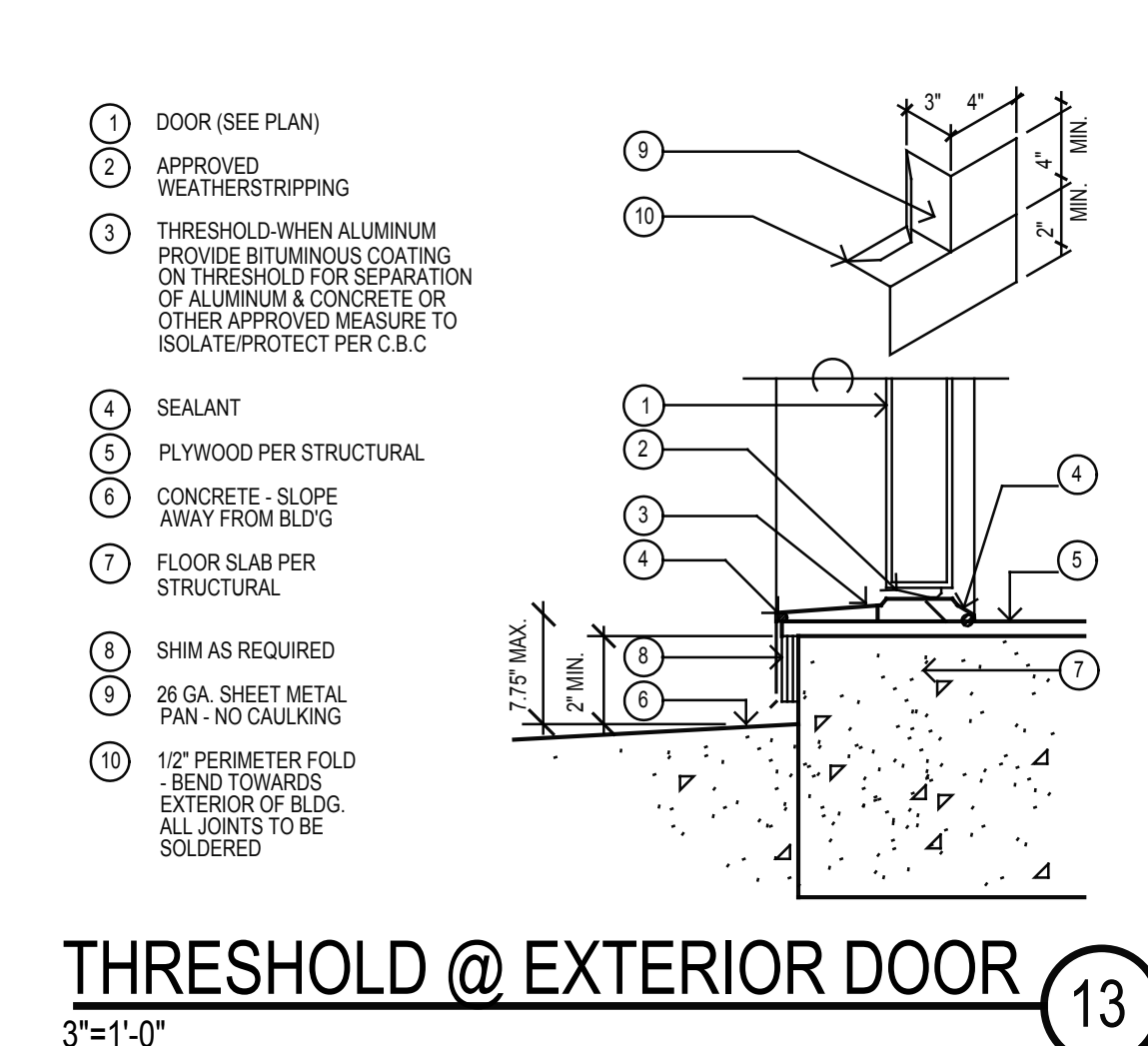
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Drawn By:	LS
Checked:	RM
Cad No.:	C-08

Scale: 1/4" = 1'-0" U.N.O.

WINDOW, DOOR & INTERIOR SCHEDULE


SHEET:

A9





Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL	03.15.24
FIFTH SUBMITTAL	10.18.24

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Revisions

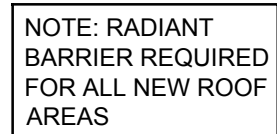
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Drawn By:	LS
Checked:	RM
Cad No.:	C-08

Scale: 1/4" = 1'-0" U.N.O.

## ARCHITECTURAL DETAILS

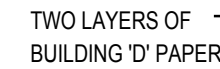
SHEET:

# AD3


$$1-1/2''=1'-0''$$

RO-016B


$$1-1/2'' = 1'-0''$$

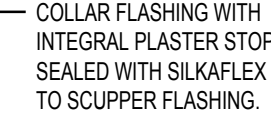
$$3'' = 1' - 0''$$

$$1\frac{1}{2}'' = 1'-0''$$

RF-019



3"=1'-0"

MS-005

 $3'' = 1'-0''$ 

DK-001

Issue Dates	
FIRST SUBMITTAL:	10.18.22
SECOND SUBMITTAL:	01.03.23
THIRD SUBMITTAL:	03.15.24
FIFTH SUBMITTAL:	10.18.24

DESIGNER SIGNATURE: \_\_\_\_\_

Revisions

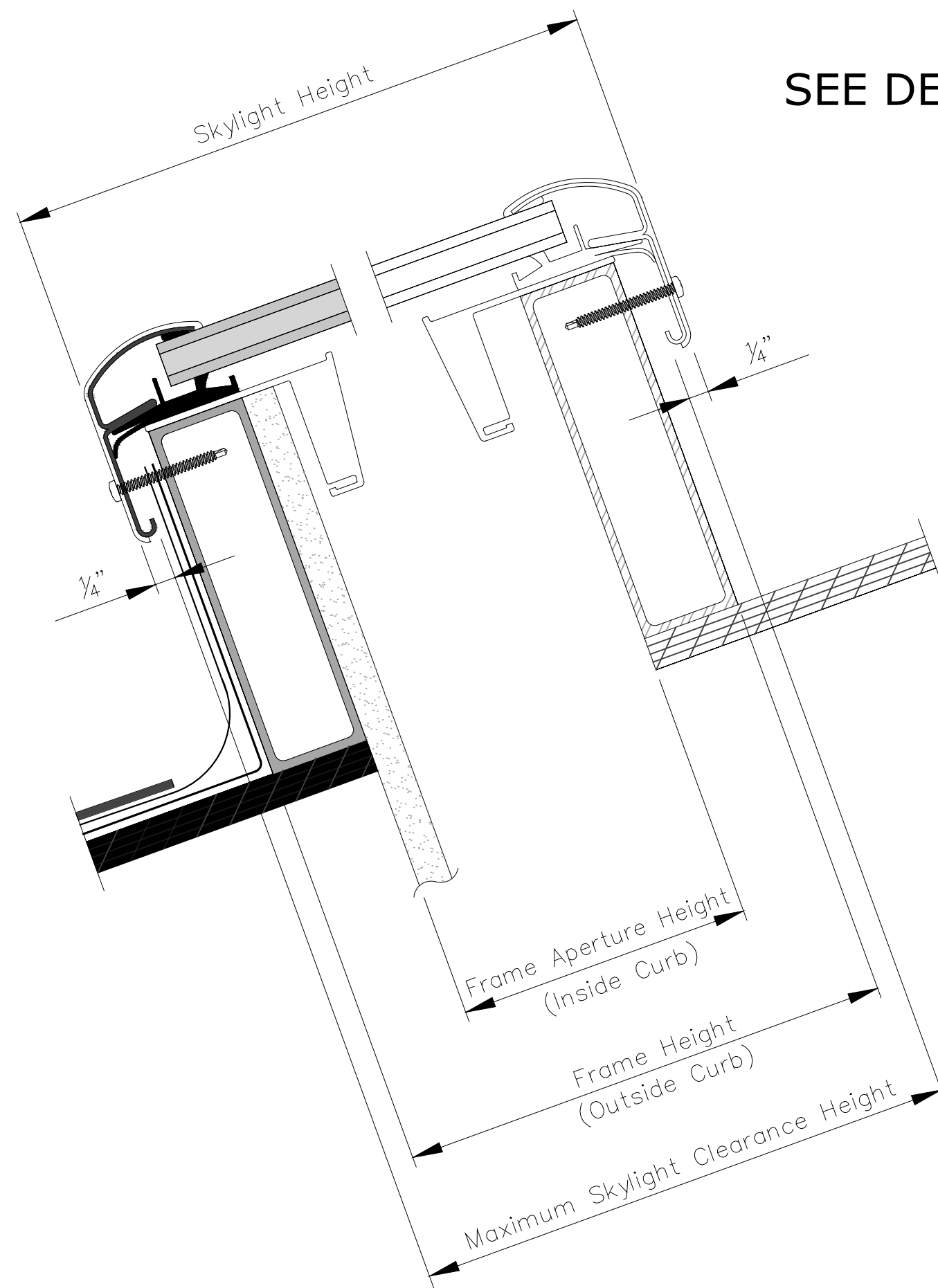
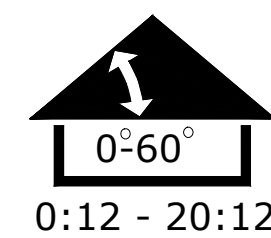
Job Number:	PREST-22
Drawn By:	LS
Checked:	RM
Cad No.:	C-08

Scale: 1/4" = 1'-0" U.N.O.

ARCHITECTURAL  
DETAILS -  
SKYLIGHT

SHEET:

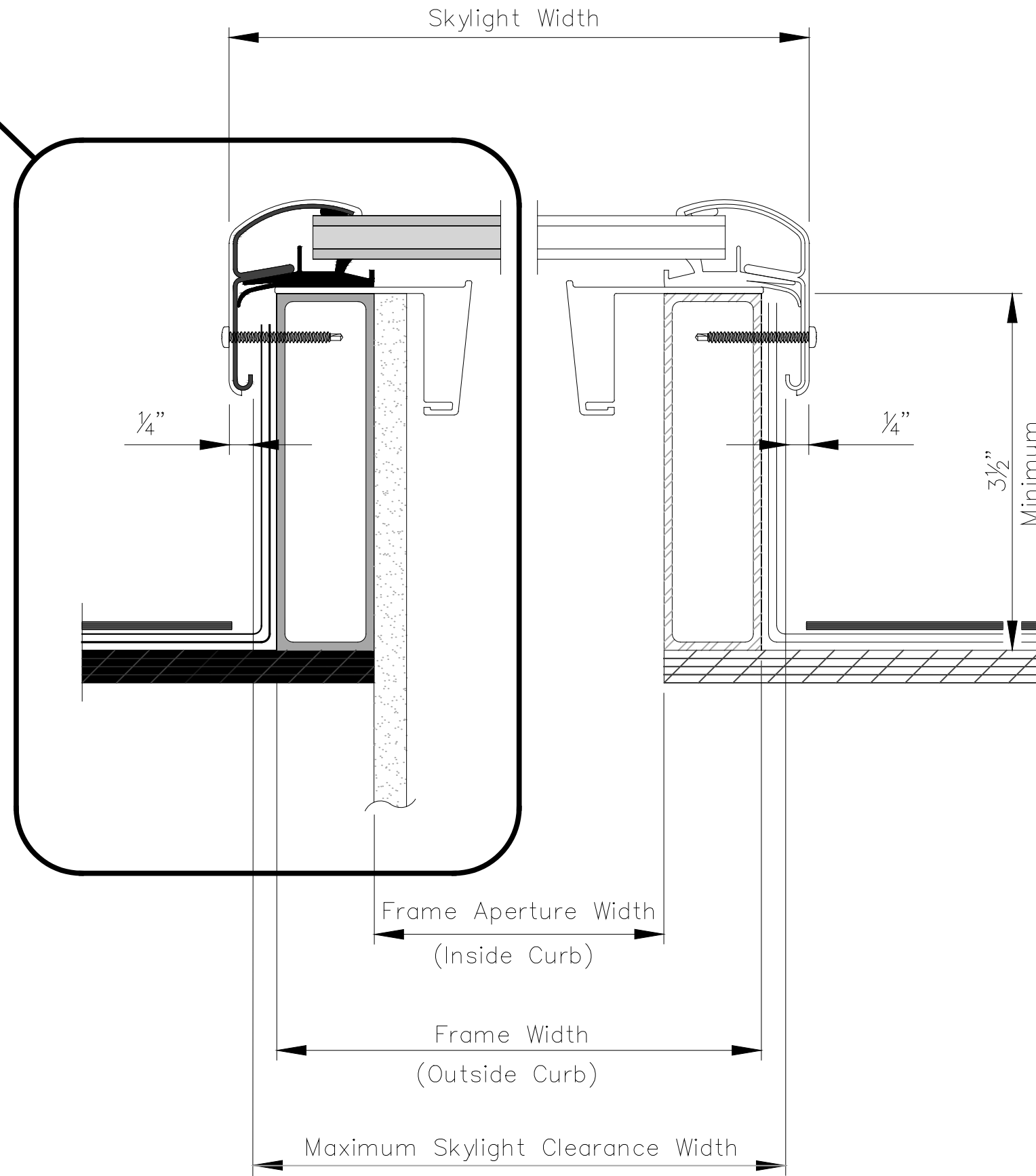
AD4



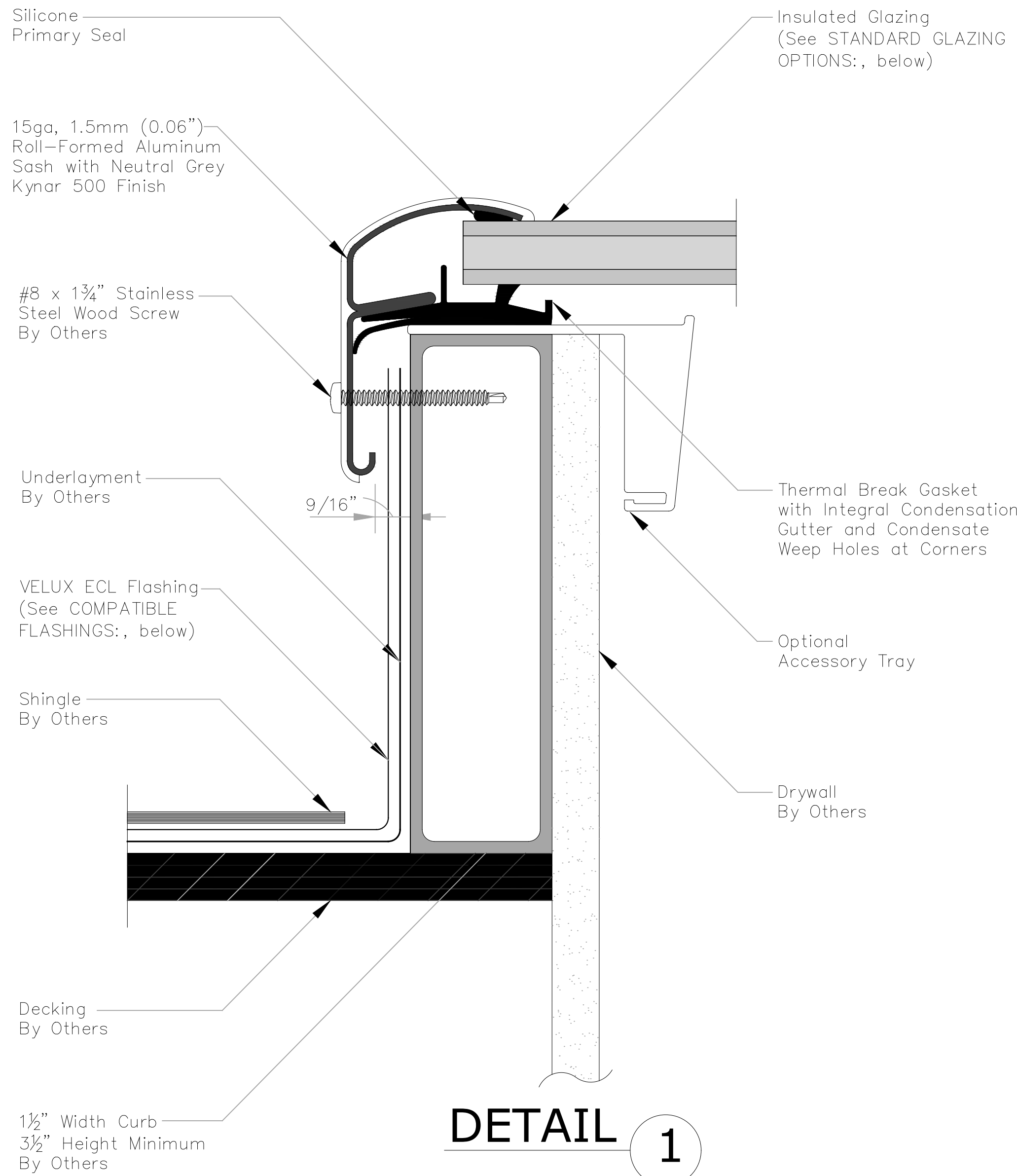
VERTICAL CROSS SECTION

SEE DETAIL

1



HORIZONTAL CROSS SECTION



DETAIL

1

PRODUCT DIMENSIONS

METRIC UNITS(MILLIMETERS)

Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Skylight Height	Maximum Skylight Clearance Height	Daylight Area (Sq. Meters)
1430	445	368	485	473	851	775	892	879	0.28
1446	445	368	485	473	1257	1181	1299	1286	0.43
2222	648	572	689	676	648	572	689	676	0.33
2230	648	572	689	676	851	775	892	879	0.44
2234	648	572	689	676	953	876	994	981	0.50
2246	648	572	689	676	1257	1181	1299	1286	0.68
2270	648	572	689	676	1867	1790	1908	1895	1.02
3030	851	775	892	879	851	775	892	879	0.60
3046	851	775	892	879	851	1181	1299	1286	0.92
3434	952	876	994	981	952	876	994	981	0.77
3446	952	876	994	981	1257	1181	1299	1286	1.03
4622	1257	1181	1299	1286	648	572	689	676	0.68
4646	1257	1181	1299	1286	1257	1181	1299	1286	1.39

IMPERIAL UNITS(INCHES)

Size	Frame Width	Frame Aperture Width	Skylight Width	Maximum Skylight Clearance Width	Frame Height	Frame Aperture Height	Skylight Height	Maximum Skylight Clearance Height	Daylight Area (Sq. Feet)
1430	17 1/2	14 1/2	19 1/8	18 5/8	33 1/2	30 1/2	35 1/8	34 5/8	3.07
1446	17 1/2	14 1/2	19 1/8	18 5/8	49 1/2	46 1/2	51 1/8	50 5/8	4.68
2222	25 1/2	22 1/2	27 1/8	26 5/8	25 1/2	22 1/2	27 1/8	26 5/8	3.52
2230	25 1/2	22 1/2	27 1/8	26 5/8	33 1/2	30 1/2	35 1/8	34 5/8	4.76
2234	25 1/2	22 1/2	27 1/8	26 5/8	37 1/2	34 1/2	39 1/8	38 5/8	5.39
2246	25 1/2	22 1/2	27 1/8	26 5/8	49 1/2	46 1/2	51 1/8	50 5/8	7.27
2270	25 1/2	22 1/2	27 1/8	26 5/8	73 1/2	70 1/2	75 1/8	74 5/8	11.01
3030	33 1/2	30 1/2	35 1/8	34 5/8	33 1/2	30 1/2	35 1/8	34 5/8	6.46
3046	33 1/2	30 1/2	35 1/8	34 5/8	49 1/2	46 1/2	51 1/8	50 5/8	9.85
3434	37 1/2	34 1/2	39 1/8	38 5/8	37 1/2	34 1/2	39 1/8	38 5/8	8.27
3446	37 1/2	34 1/2	39 1/8	38 5/8	49 1/2	46 1/2	51 1/8	50 5/8	11.14
4622	49 1/2	46 1/2	51 1/8	50 5/8	25 1/2	22 1/2	27 1/8	26 5/8	7.27
4646	49 1/2	46 1/2	51 1/8	50 5/8	49 1/2	46 1/2	51 1/8	50 5/8	15.02

STANDARD GLAZING OPTIONS:

- Laminated LowE3 (04)
- Tempered LowE3 (05)
- Impact (06)
- Miami-Dade (07)
- White Laminated (08)

\*Tempered Exterior Pane used with all options

COMPATIBLE FLASHINGS:

- ECL Step flashing
- ECW Tile flashing

**VELUX**  
Sky-Global Product Management

VELUX  
1418 Evans Pond Road  
Greenwood, SC 29649  
1-800-88-VELUX  
www.VELUXUSA.com

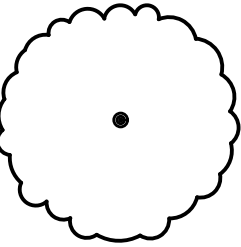
FCM - Fixed Curb Mounted Skylight

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PLANT LEGEND

PLANT SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY	MATURE HEIGHT X SPREAD
	STREET TREE METROSIDEROS EXCELSA NEW ZEALAND CHRISTMAS TREE (STANDARD FORM)	24" BOX	2	35'X35'
NOT DELINEATED	BARK MULCH — 3" DEPTH (TYPICAL FOR ALL LANDSCAPE AREAS AND AREAS NOT SHOWING ANY HARDSCAPE).			

MINIMUM TREE SEPARATION DISTANCE:

DRIVEWAYS - 10 FEET  
TRAFFIC SIGNAL, STOP SIGN - 20 FEET  
UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)  
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET  
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, POLES, ETC.) - 10 FEET

EXISTING TREES TO REMAIN ON-SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
4. THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
5. ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION.
6. A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING ANY ROOTS 4 IN. OR GREATER IN DIAMETER.
7. A WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
8. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

1. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.

2. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMC 142.0403(B)(11).

3. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

ANY PLANT MATERIAL REQUIRED BY THIS DIVISION THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL SHOWN ON APPROVED PLANS.

NOTE: ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, STREET PAVEMENT, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOTBALL.

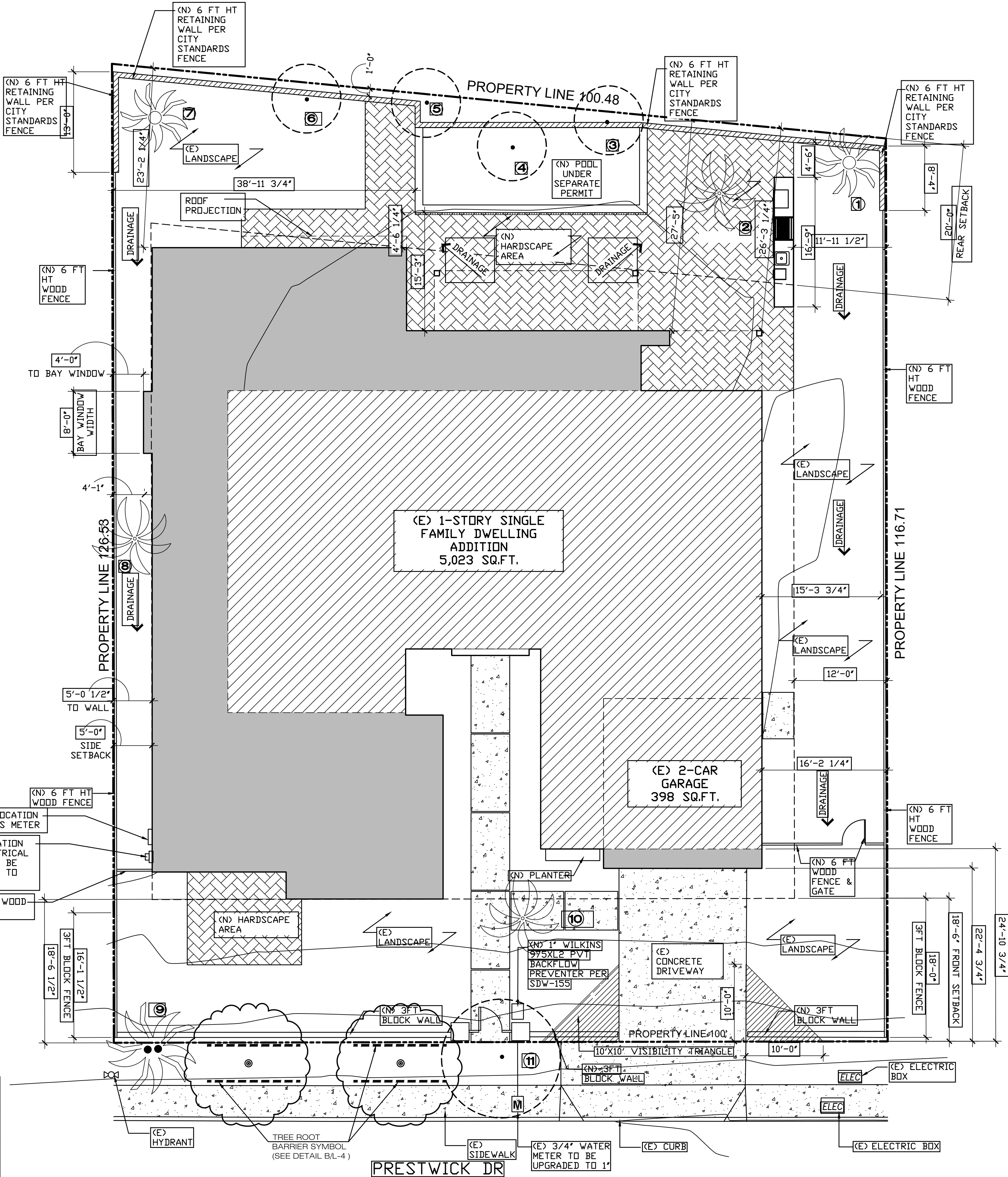
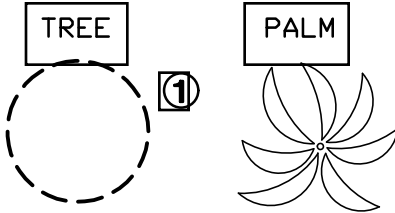
MULCH: ALL REQUIRED PLANTING AREAS SHALL RECEIVE AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGATION PER SDMC 142-0411.

MAINTENANCE NOTE:

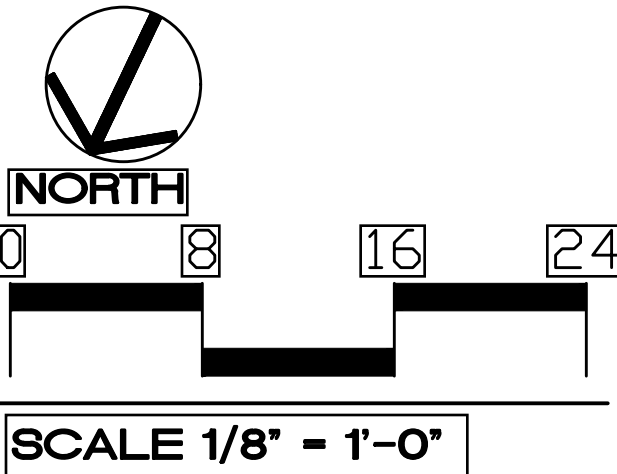
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED 30 DAYS OF A FINAL INSPECTION.

(BTH - BROWN TRUNK HEIGHT)  
EXISTING TREES ON-SITE

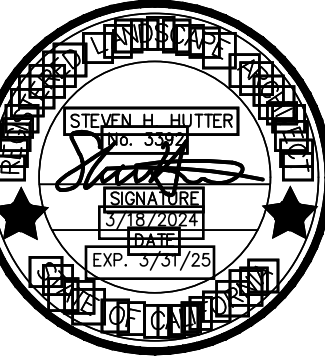
NO.	BOTANICAL NAME COMMON NAME	CALIPER SIZE	COMMENTS
1-2	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	20'-25' BTH	TO BE REMOVED FOR NEW RETAINING WALL
3,4,5,6	PINUS SPECIES PINE SPECIES	8'-12'	TO BE REMOVED FOR NEW RETAINING WALL
7	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	20' BTH	TO BE REMOVED FOR NEW RETAINING WALL
8	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	25' BTH	TO BE REMOVED ADJACENT TO NEW HOUSE REMODEL
9	CHAMAEROPS HUMILIS MEXICAN FAN PALM-DBL TRUNK	8'-12' BTH	TO REMAIN - TRIM OFF ALL DEAD FRONDS
10	ARCHONTOPHOENIX ALEXANDRAE KING PALM	40' BTH	TO BE REMOVED ON TOP OF NEW 1" WATER LINE AND WALKWAY.
11	PINUS SPECIES PINE SPECIES - DBL TRUNK	9'-13'	TO BE REMOVED ON TOP OF NEW 1" WATER LINE



SHEET INDEX:	SHEET No.
TITLE SHEET / PLANTING PLAN	L-1.0
IRRIGATION PLAN	L-2.0
IRRIGATION DETAILS	L-3.0
CLIMATE ACTION PLAN / SHADING CALCULATIONS	L-4.0



Landscape Architects  
2725 Collier Avenue  
San Diego, Ca 92116  
T: (619) 337-4044



PRESTWICK DRIVE

8559 PRESTWICK DRIVE  
LA JOLLA, CA 92037

ISSUE DATES:  
FIRST SUBMITTAL: 10/18/22  
SECOND SUBMITTAL: 01/03/23

DESIGNER SIGNATURE:

REVISIONS:

Job Number: 24008  
Drawn By: SH  
Checked: HDI

Scale: 1/8" = 1'-0" U.N.O.

TITLE SHEET &  
PLANTING PLAN

L1.0

IRRIGATION LEGEND – EQUIPMENT + CONTROLS				
SYM.	MFG.	MODEL	DESCRIPTION	DETAIL
			WATER METER	
*			POINT OF CONNECTION TO WATER SERVICE	
---	PAC. WESTERN	SCH 40 PVC	IRRIGATION MAINLINE (SIZE PER PLAN)	F/L-3
	FEBCO	825YA	3/4" REDUCED PRES. BACKFLOW PREVENTER	B/L-3
	HUNTER	FCT-100	IRRIGATION FLOW SENSOR	G/L-3
	SUPERIOR CONTROLS	3100100 (NORMALLY CLOSED) SAME SIZE AS LINE	MASTER VALVE	M/L-3
	SPEARS	TRUE UNION BALL VALVE	BALL VALVE (LINE SIZE)	D/L-3
	HUNTER	ICV-101-40	REMOTE CONTROL VALVE & REGULATOR/ FILTER ASSEMBLY DRIP (DRIP SYSTEM ONLY) 1" VALVE WITH FILTER SYSTEM FOR DRIP, PRESSURE REGULATED 40 PSI	E/L-3
---	PAC. WESTERN	SCH 40 PVC	IRRIGATION LATERALS – MIN. 12" DEEP	F/L-3
----	PAC. WESTERN	SCH 40 PVC	IRRIGATION SLEEVING – MIN. 18" DEEP, 2X DIA. OF SLEEVED PIPE.– 36" UNDER VEHICULAR AREAS.	F/L-3
	RAINBIRD	44LRC	3/4" QUICK COUPLING VALVE	C/L-3
	HUNTER	I-CORE SERIES	SEE PLAN FOR CONTROLLER SIZE	A/L-3
	RAIN SENSOR	HUNTER WR-CLICK	WIRELESS AUTOMATIC RAIN SHUT-OFF SWITCH OVERRIDE	

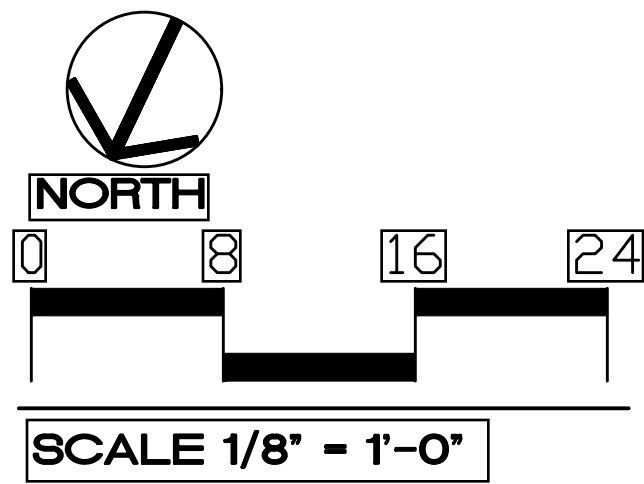
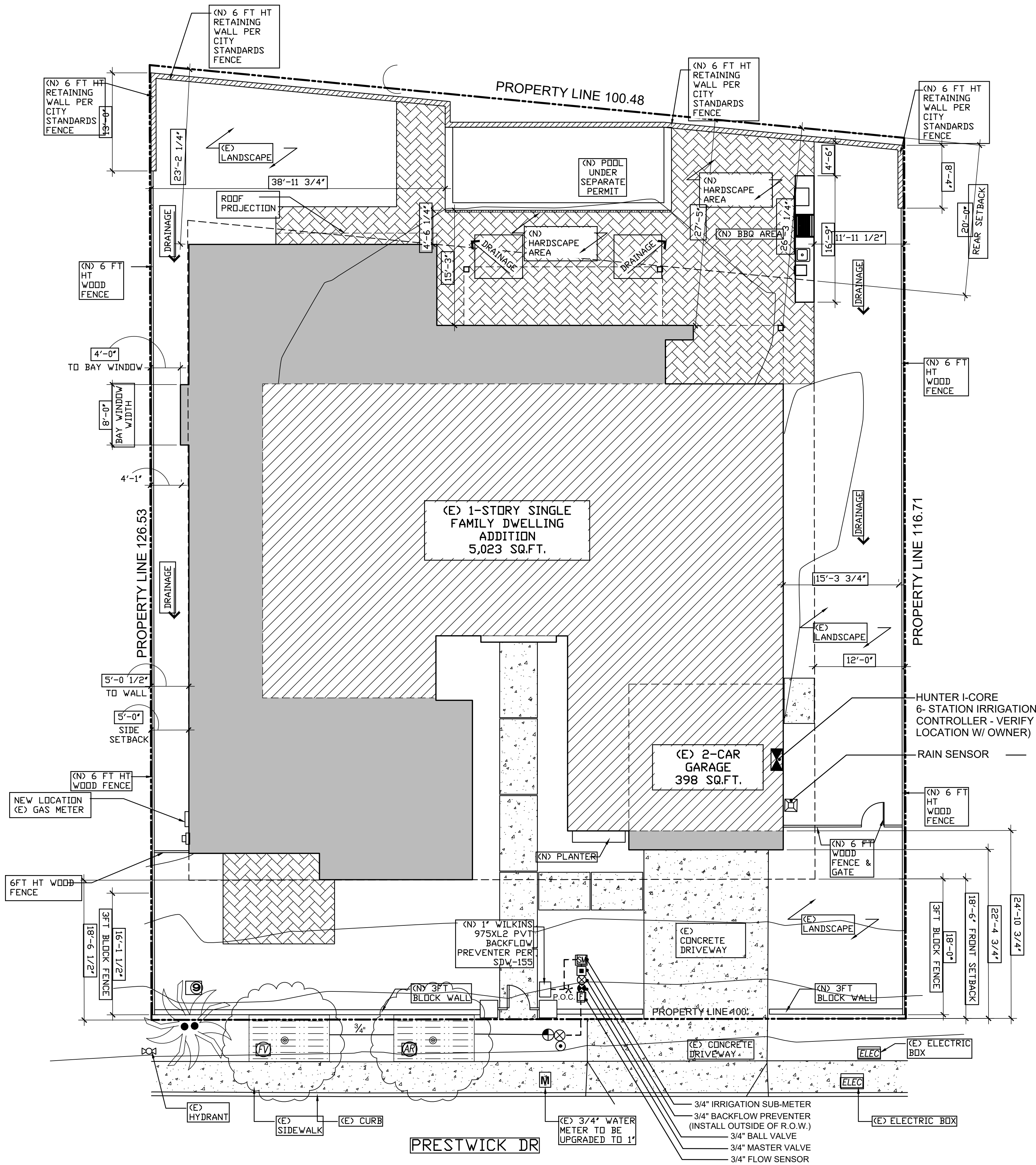
IRRIGATION LEGEND – DRIP				
SYM.	MFG.	MODEL	DESCRIPTION	DETAIL/SHT
	RAINBIRD	XFS-06-18-XXX EMITTERS 0.60 GPH @ 12" O.C. FITTINGS: RAINBIRD XF DRIPLINE INSERT FITTINGS	SUB-SURFACE DRIPLINE AND FITTINGS INCLUDES COPPER SHIELD TECHNOLOGY CONTRACTOR TO SPECIFY LENGTH OF TUBING WHEN ORDERING INSTALL LINES AT 18" APART	H/L-3
	RAINBIRD	RAINBIRD: ARV050 (1/2" AIR RELIEVE VALVE)	AIR VACUUM RELIEF VALVE. INSTALL IN A BOX AT THE HIGHEST POINT OF EACH INDIVIDUAL VALVE ZONE	I/L-3
	DURA	TI-005W	FLUSH VALVE ASSEMBLY. INSTALL IN A BOX AT THE FLUSH END OF SYSTEM	J/L-3

1. ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AS SHOWN ON PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS

IRRIGATION NOTES:  
1. IRRIGATION SLEEVING – MIN. 36" DEEP 2X DIAMETER OF SLEEVED PIPE. AT VEHICULAR AREAS  
4" MINIMUM DIAMETER-ALL SLEEVES SHALL BE SCHEDULE 40.  
2. FIELD ADJUST ALL SPRINKLERS TO ELIMINATE OVER-SPRAY ONTO SIDEWALKS OR DRIVEWAYS.  
3. MAINLINES & EQUIPMENT ARE DIAGRAMMATIC – LOCATE IN PLANTING AREAS WHERE POSSIBLE.

STATION NO. VALVE SIZE  
G.P.M. (MAX)

STATIC WATER PRESSURE = 93 PSI  
IRRIGATION PRESSURE = 30 PSI  
DRIP VALVES INCLUDE A PRESSURE REGULATOR  
MAXIMUM GPM = 1.5 GPM  
MAXIMUM FLOW IS 5 FEET / SECOND.



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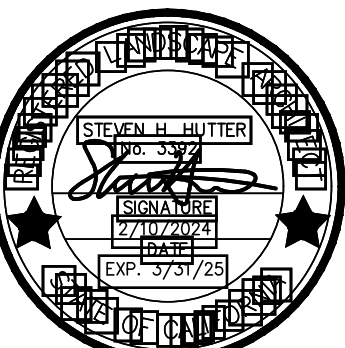
REVISIONS:

Job Number:	24008
Drawn By:	SH
Checked:	HDI

Scale: 1/8" = 1'-0" U.N.O.

IRRIGATION PLAN

L2.0



PRESTWICK DRIVE

8559 PRESTWICK DRIVE  
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DESIGNER SIGNATURE:  
*Shawn Smith*

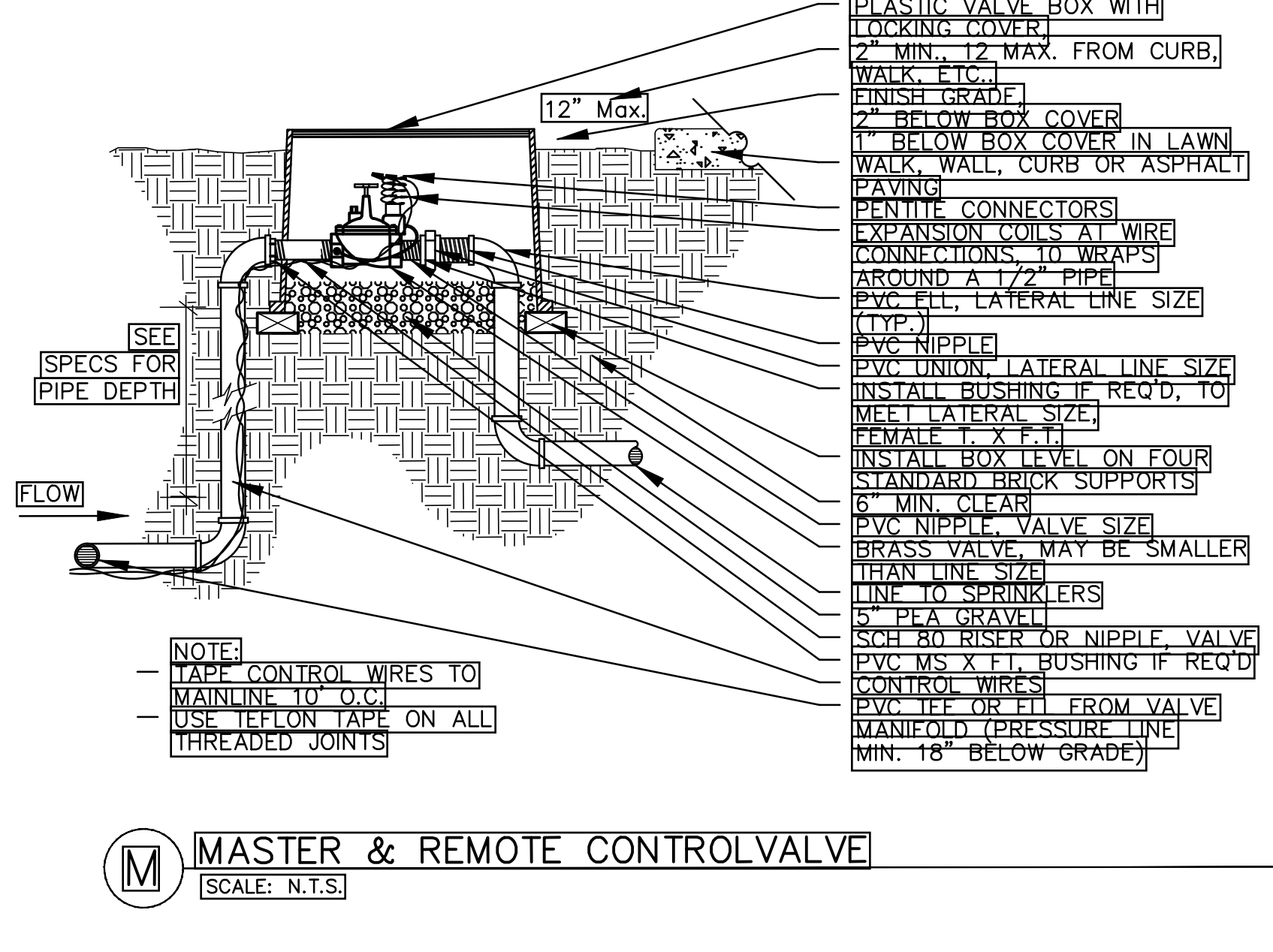
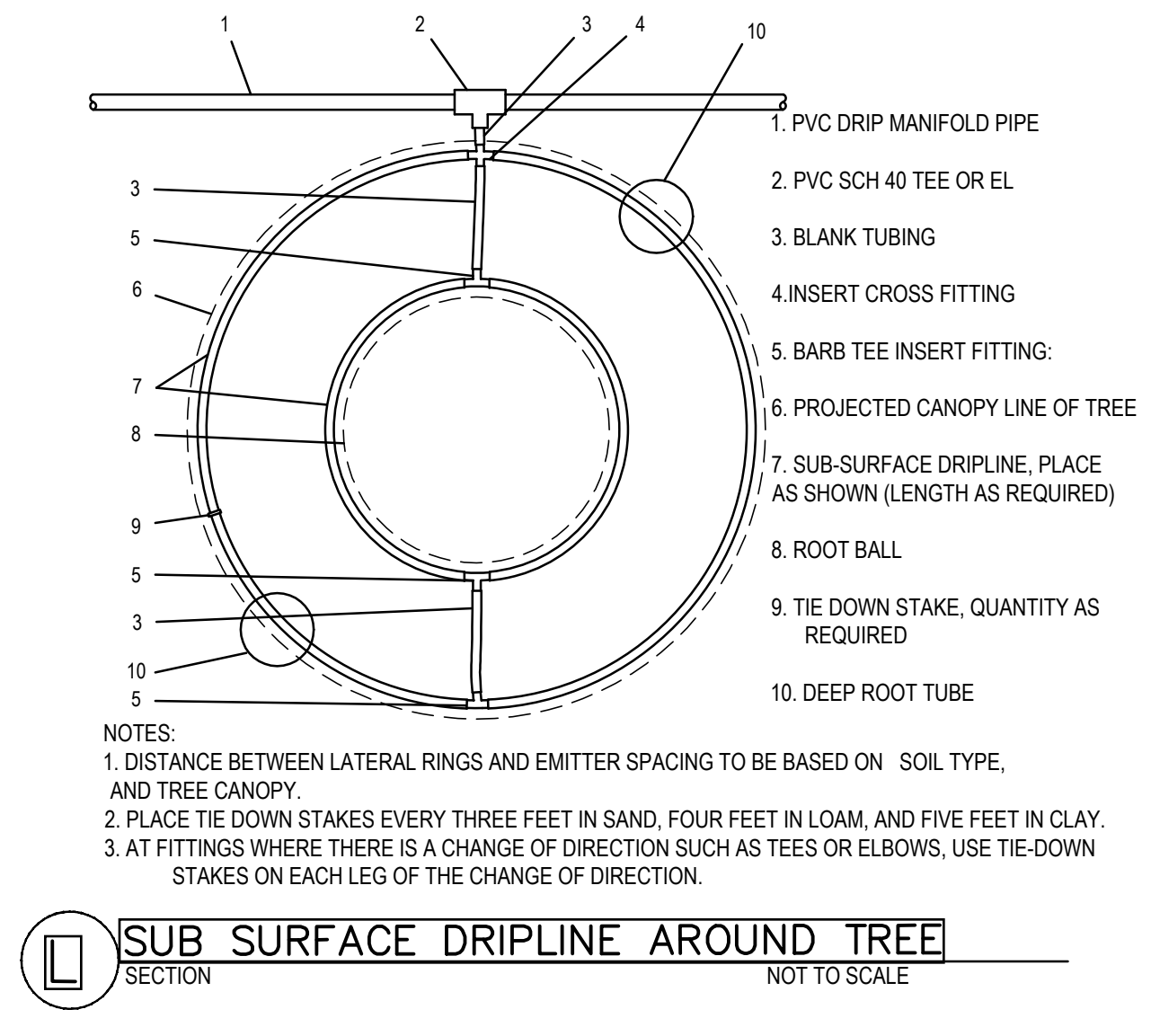
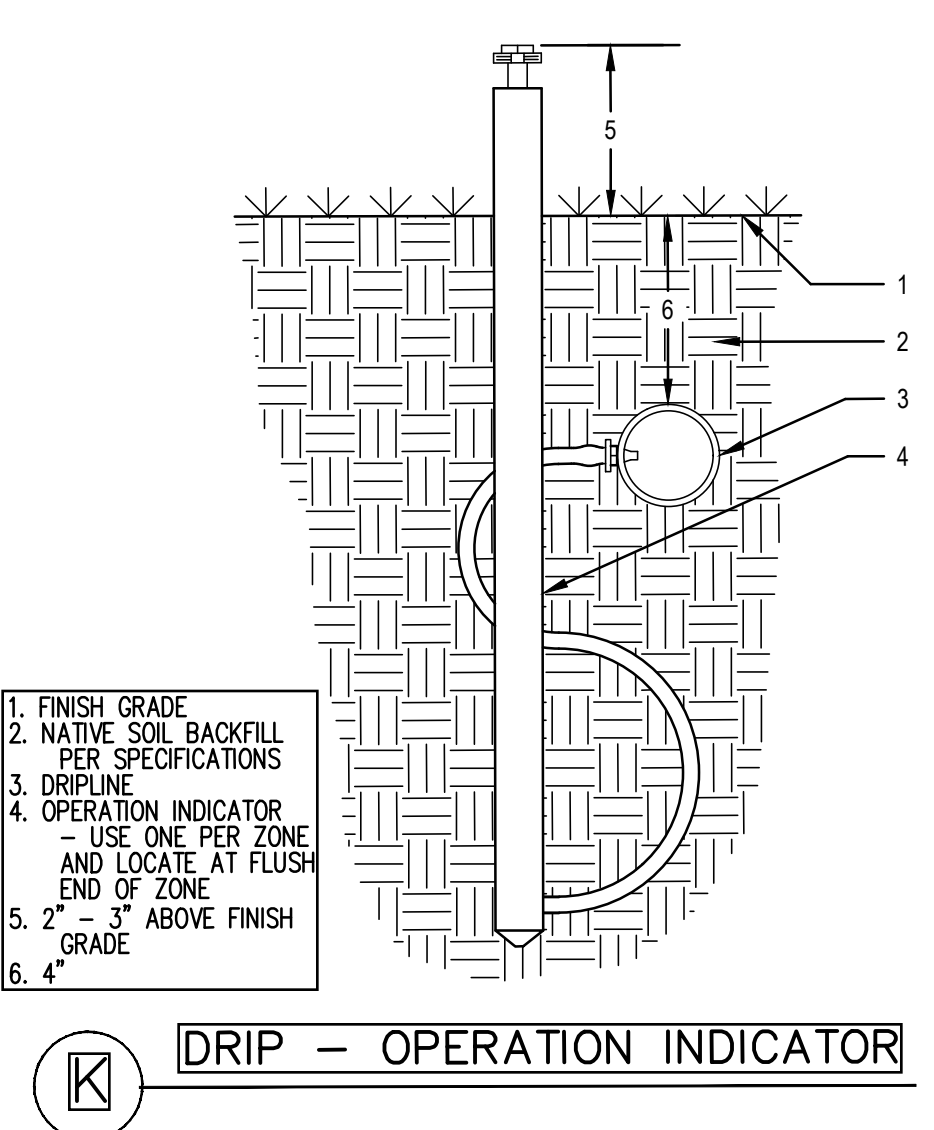
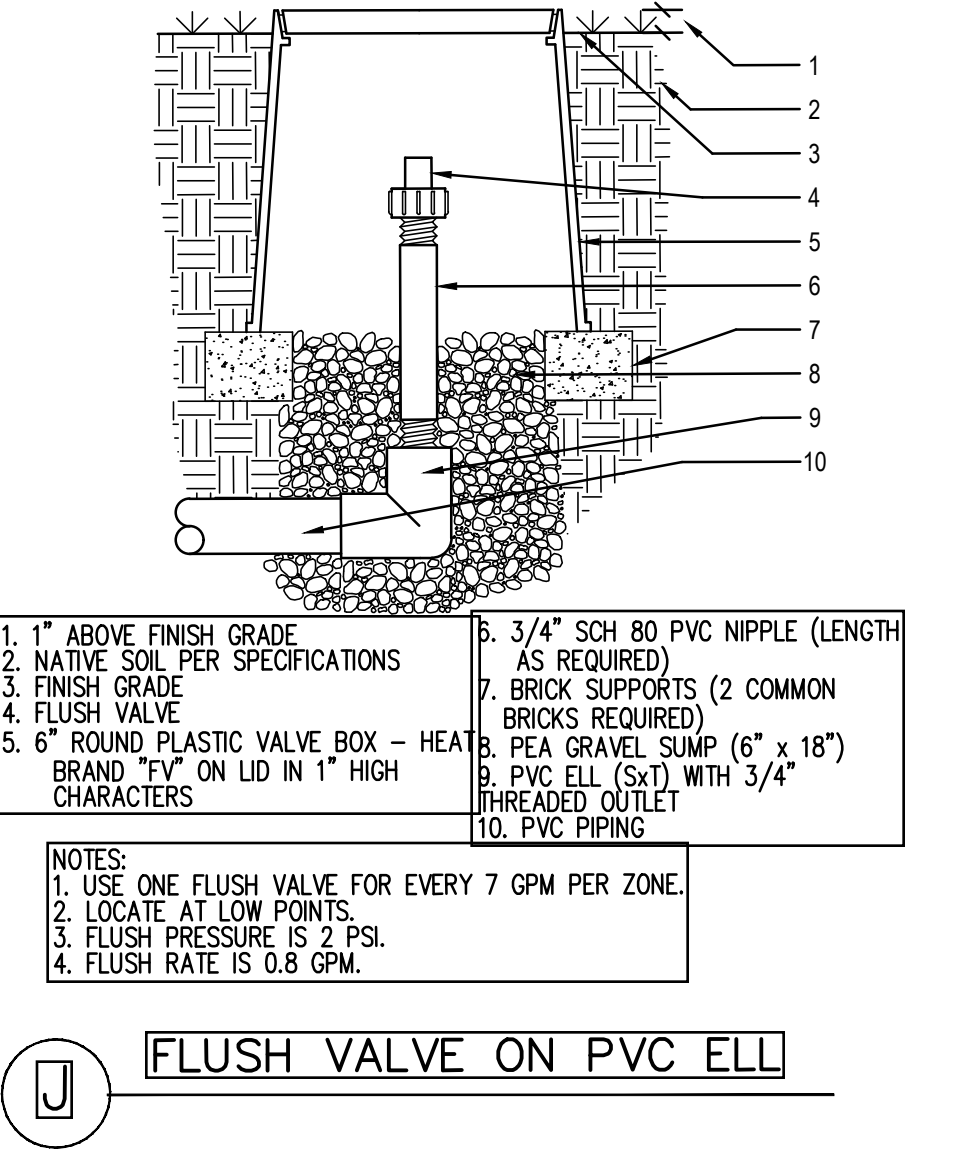
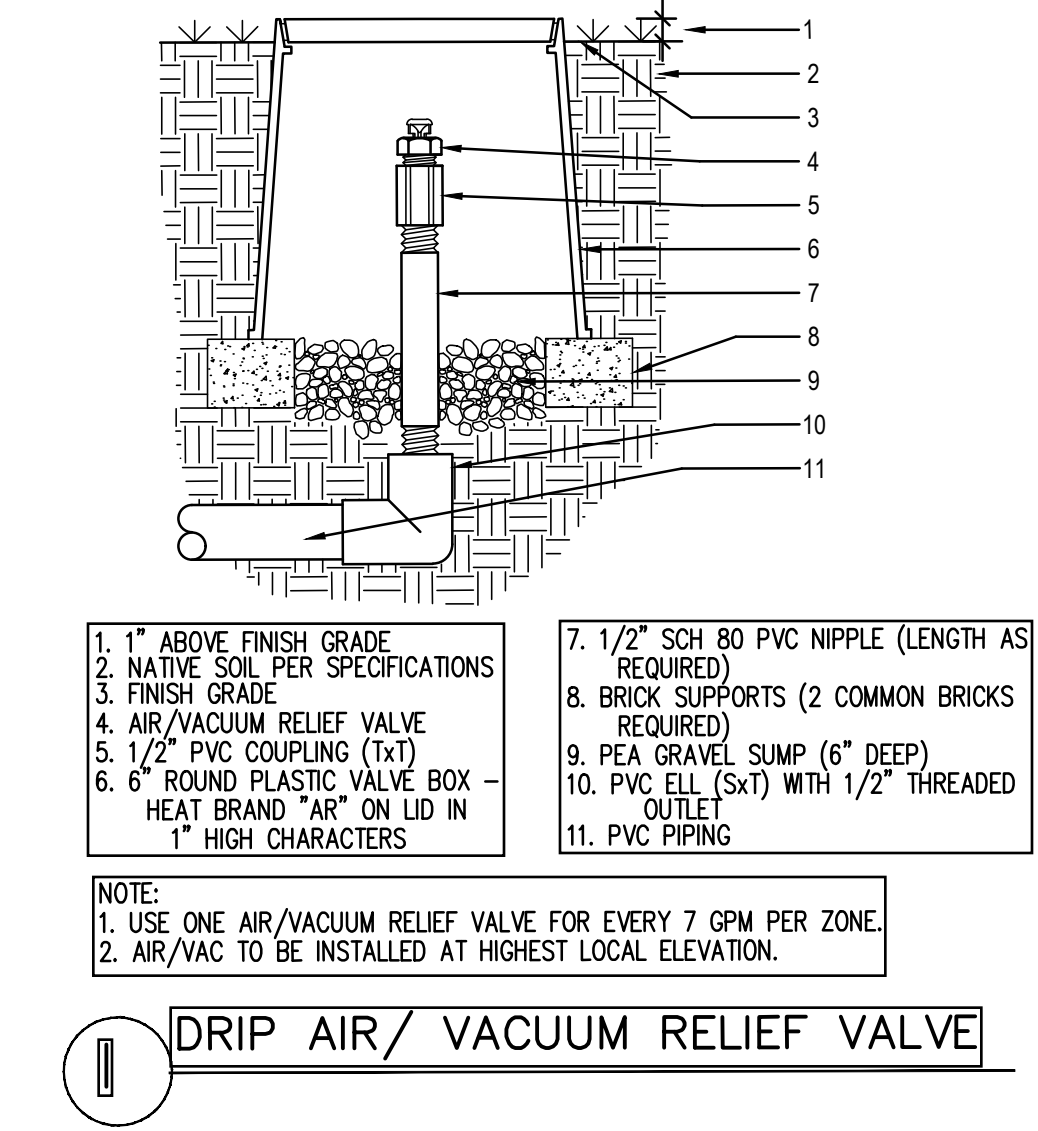
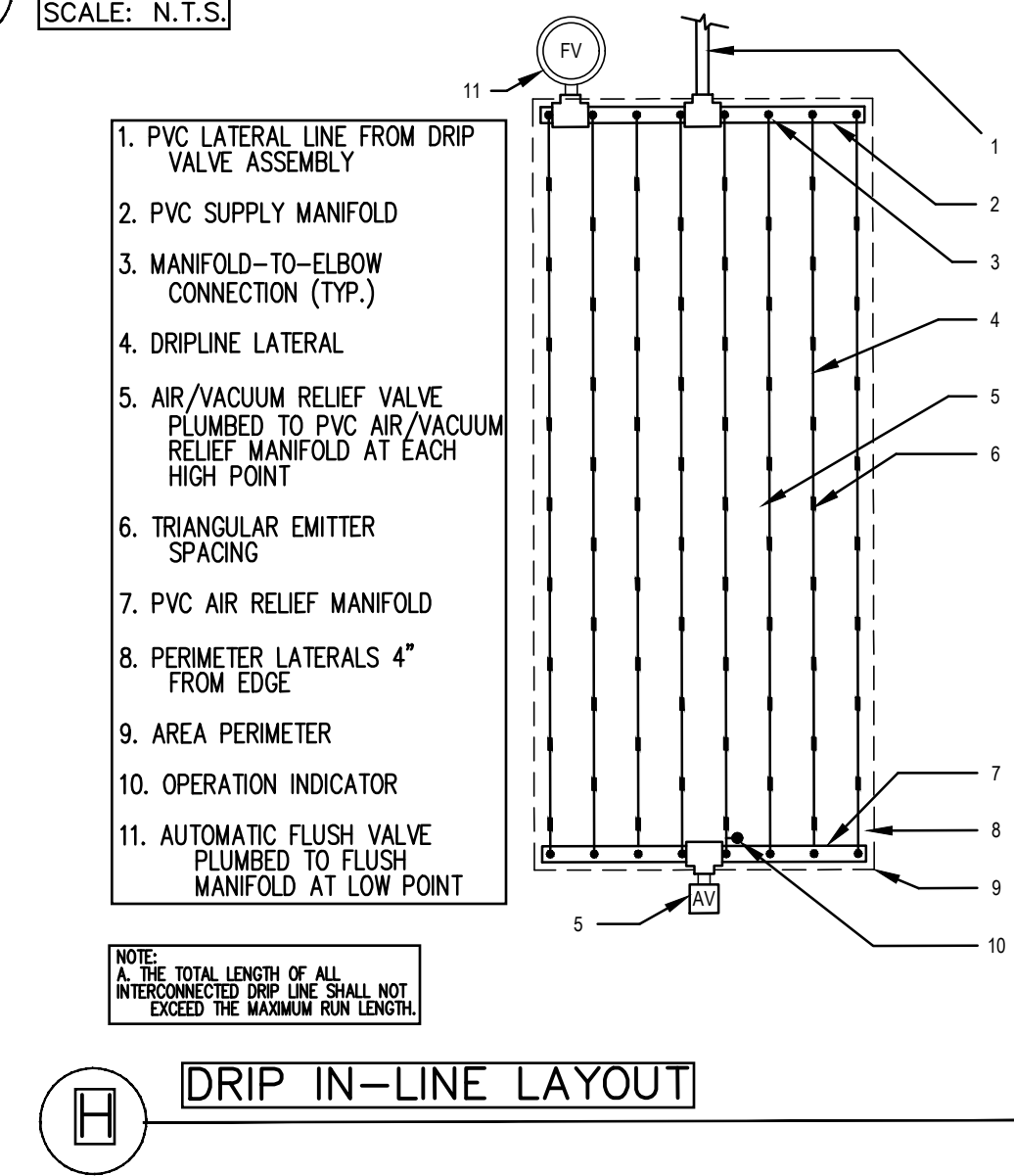
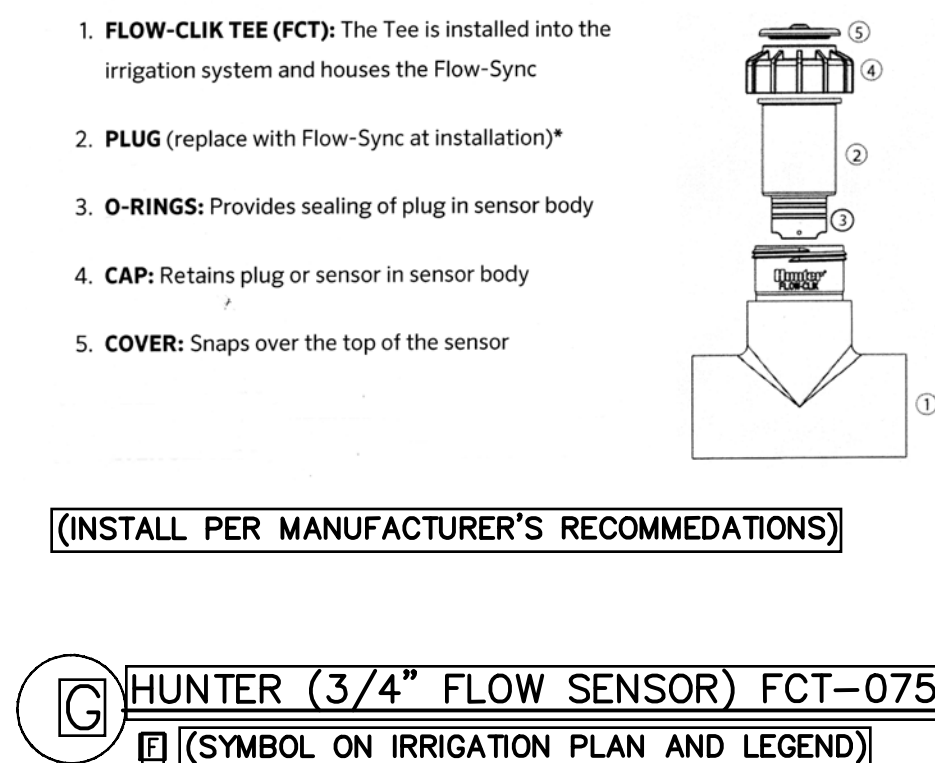
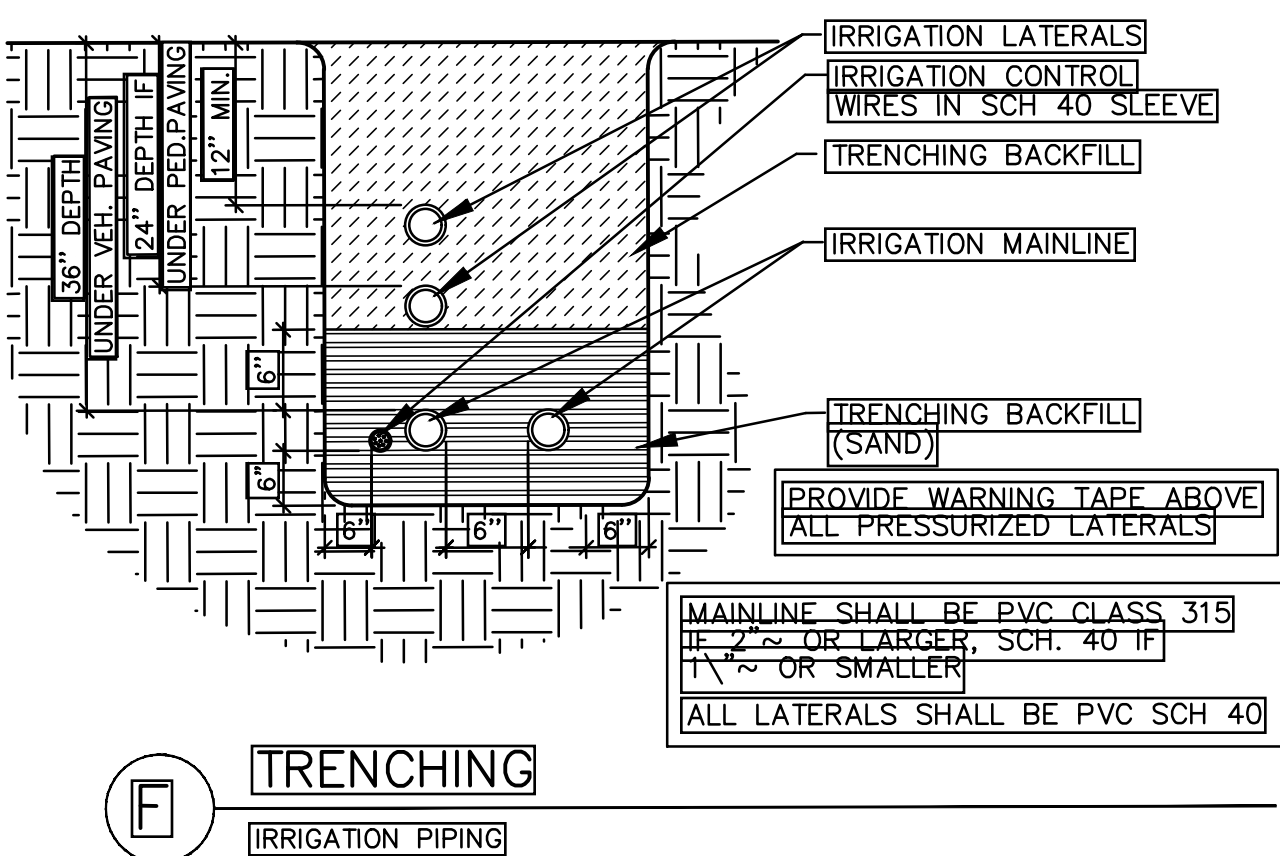
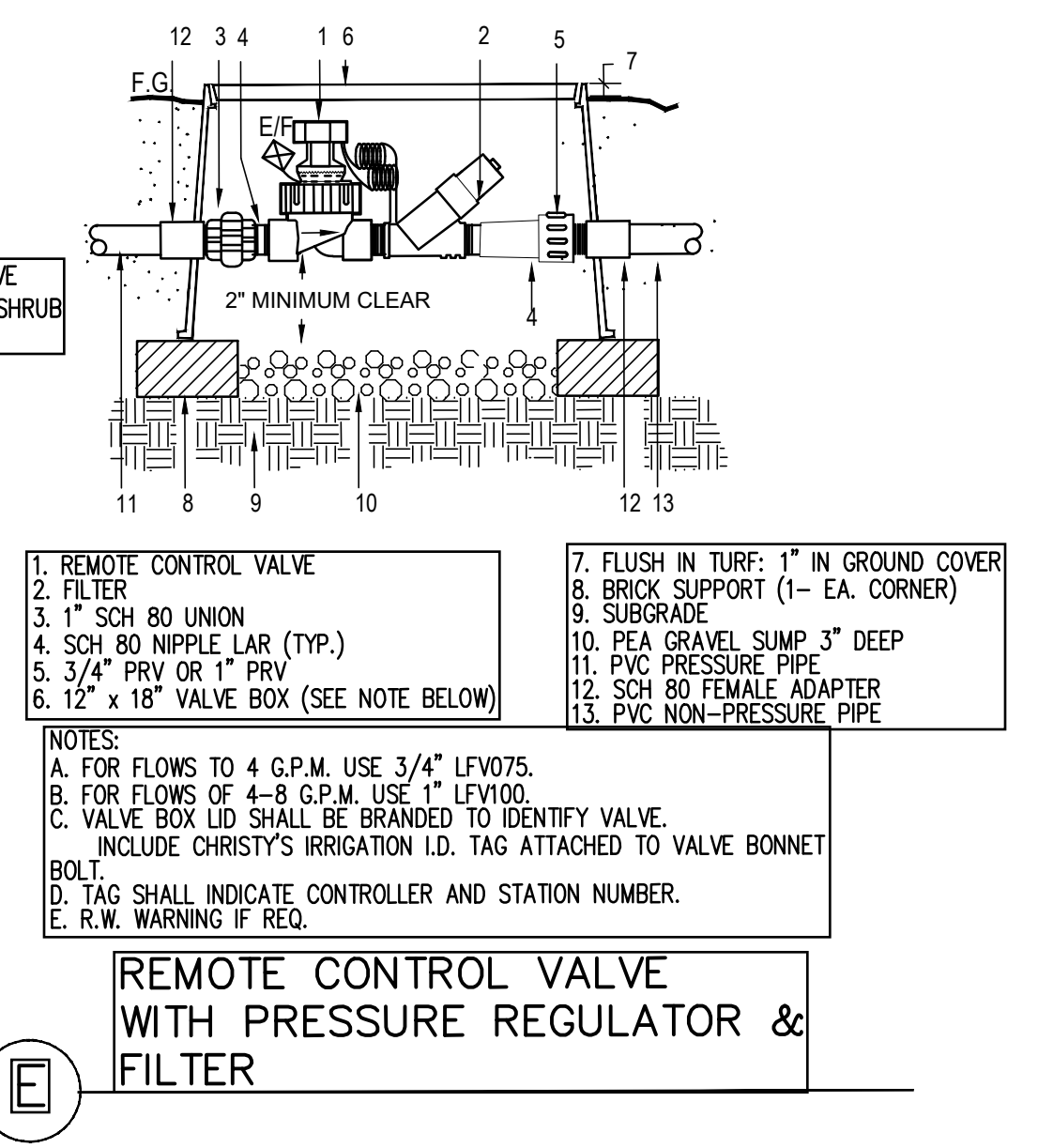
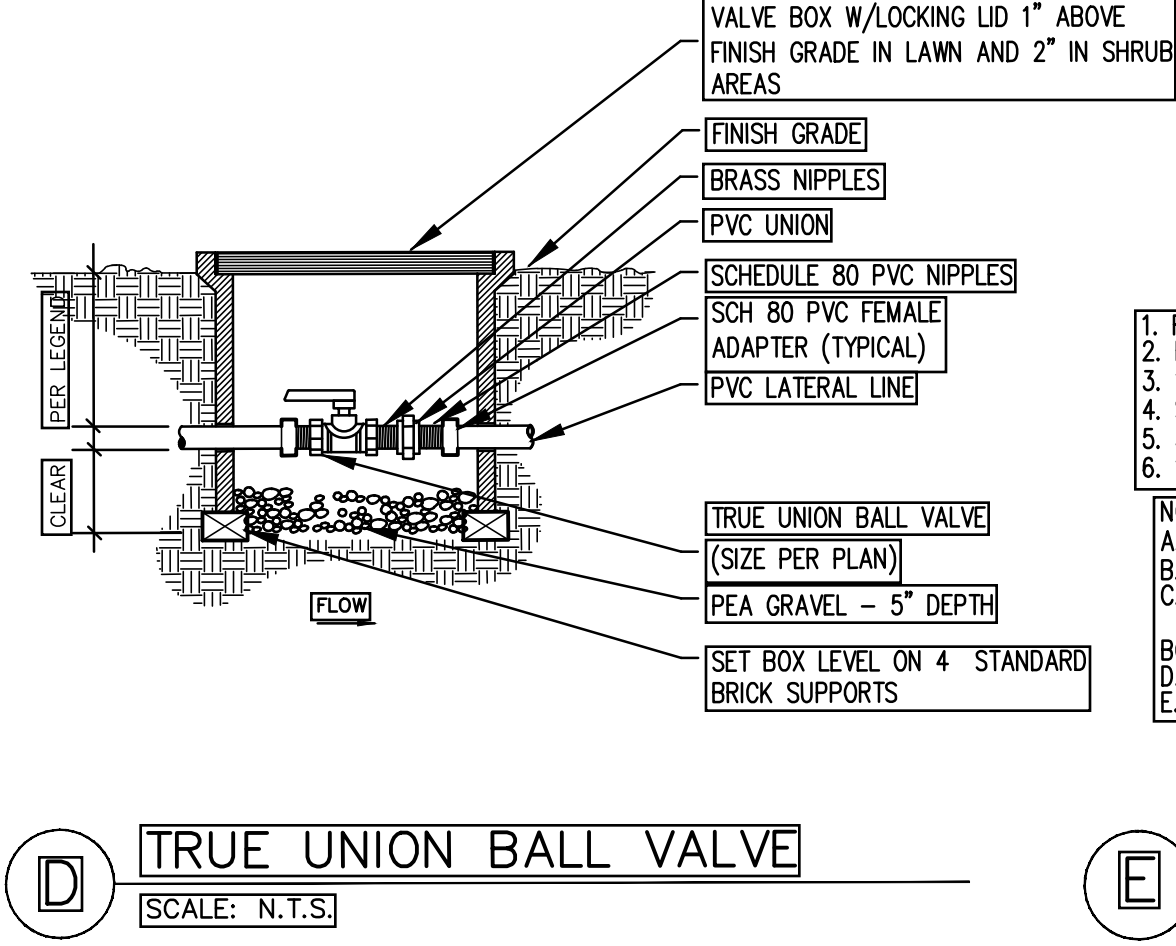
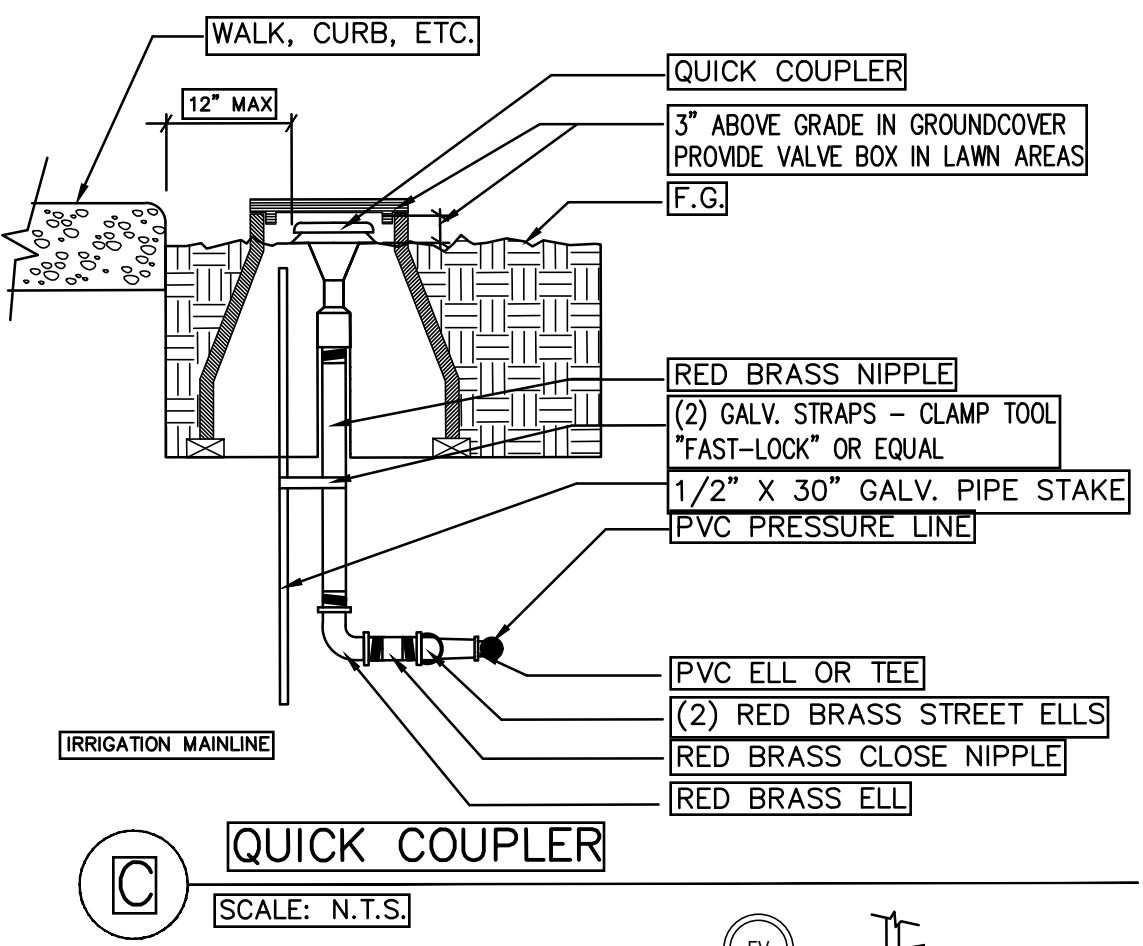
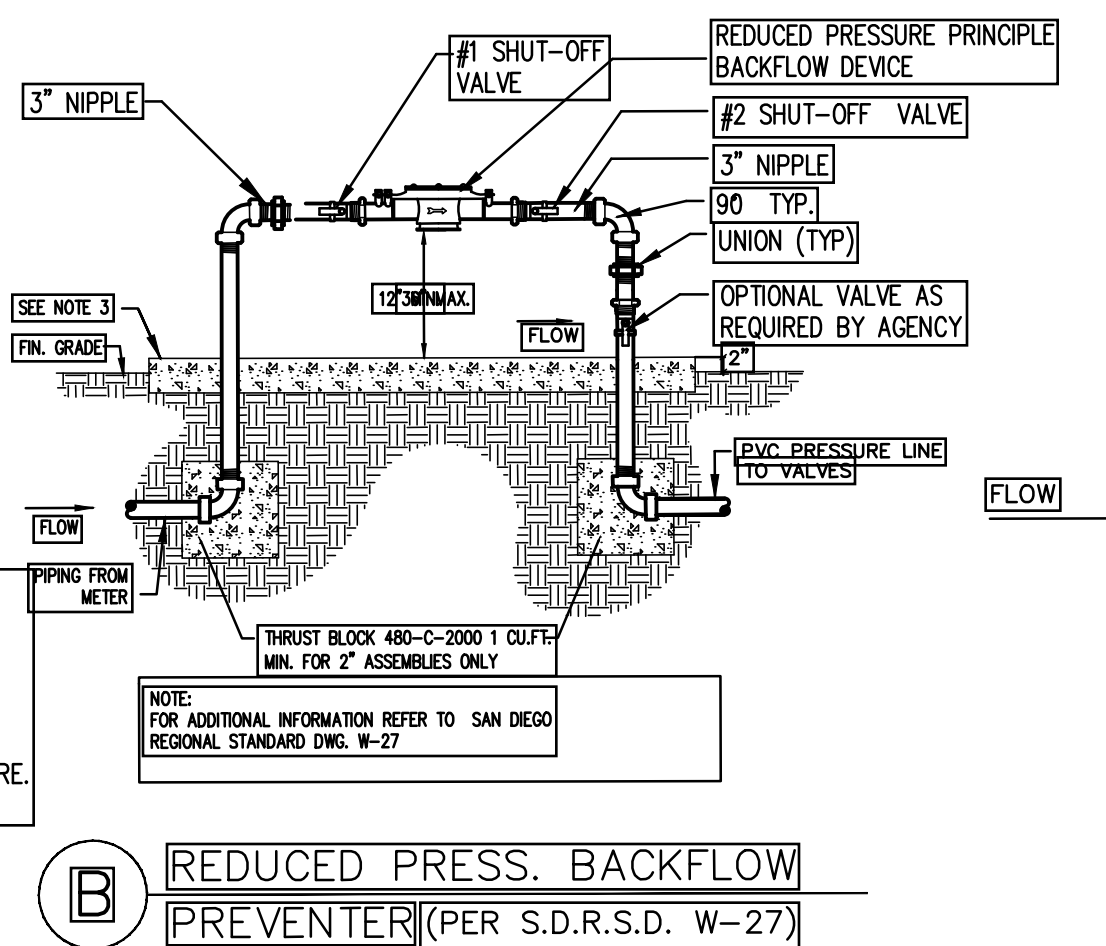
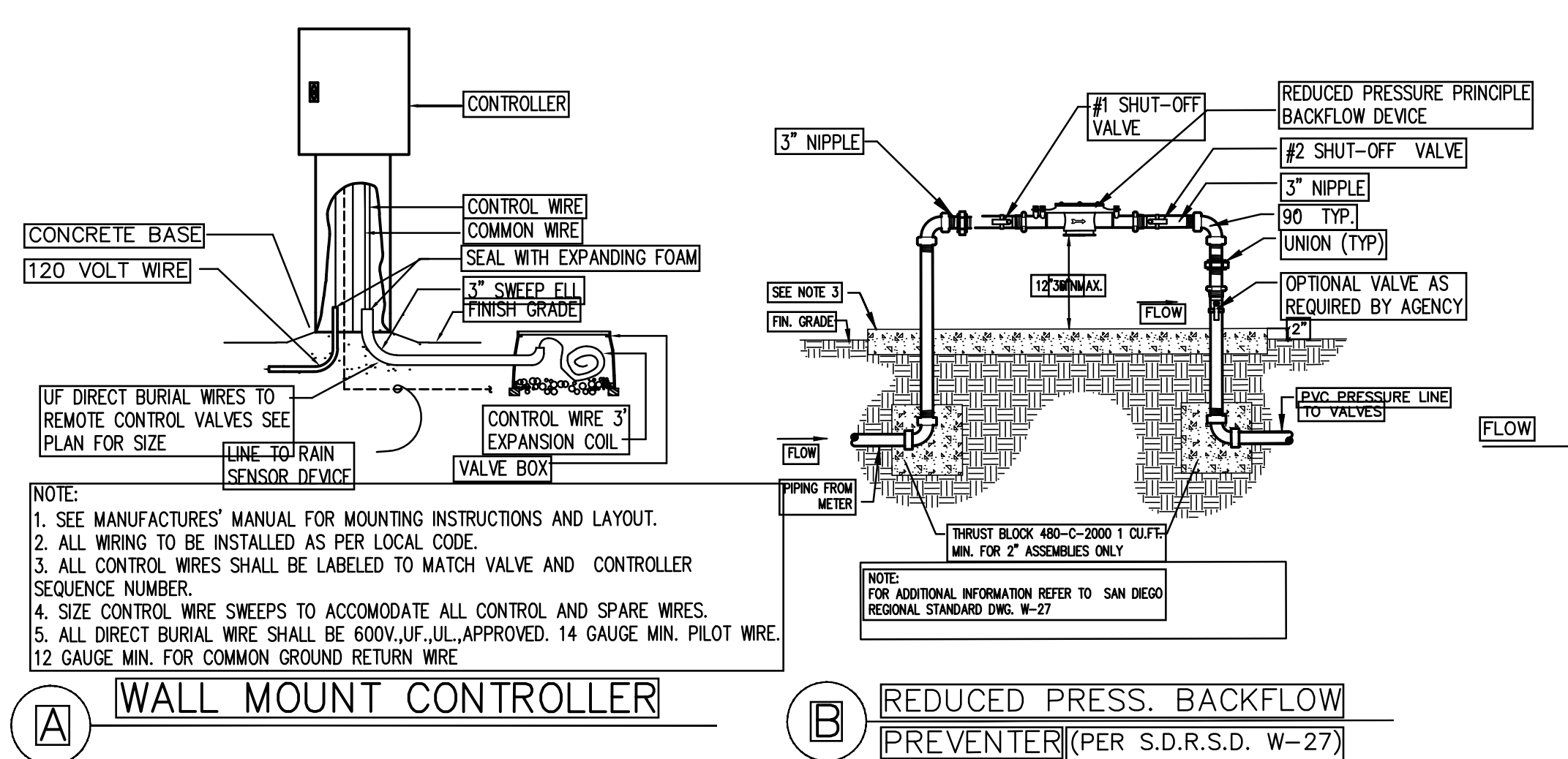
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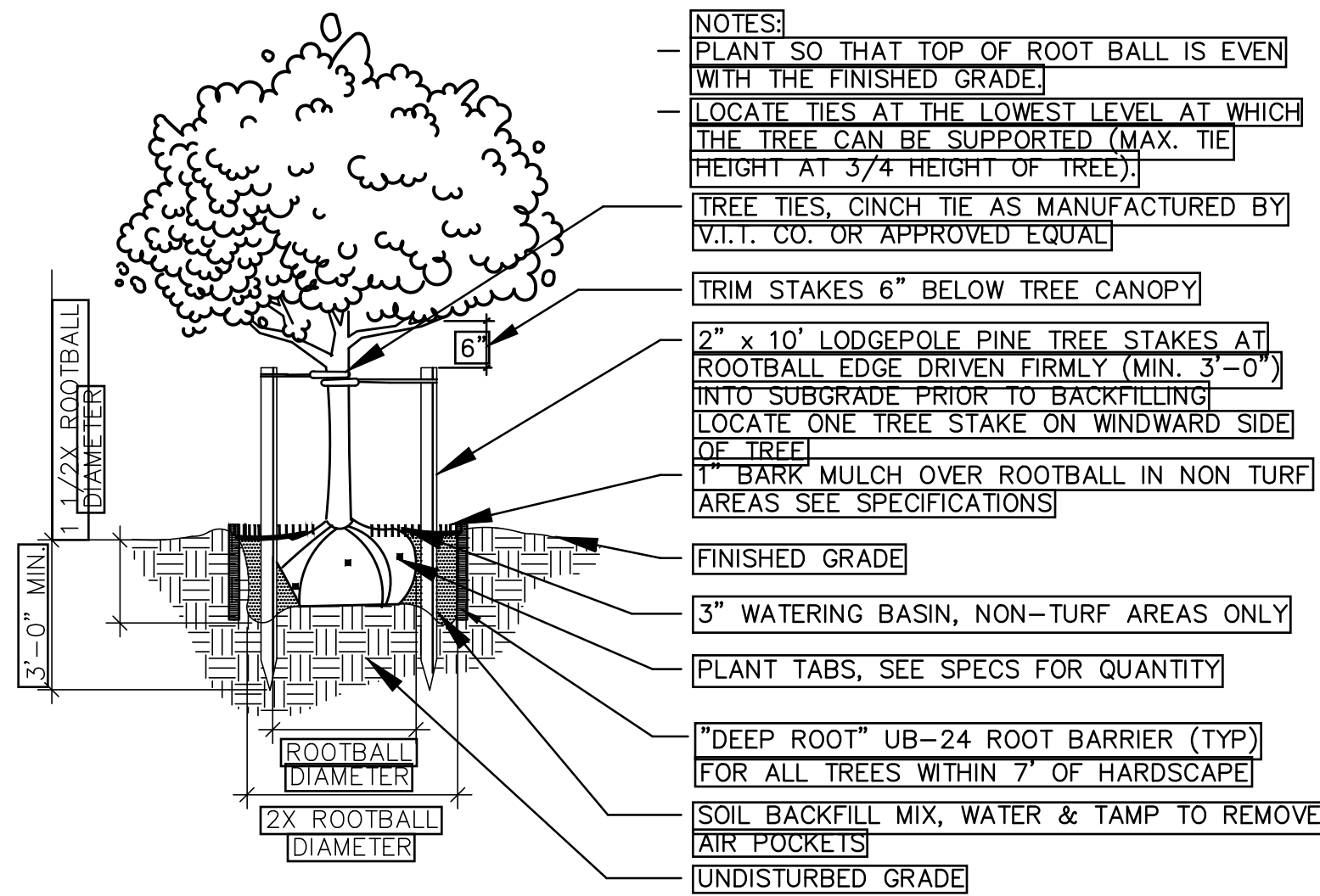
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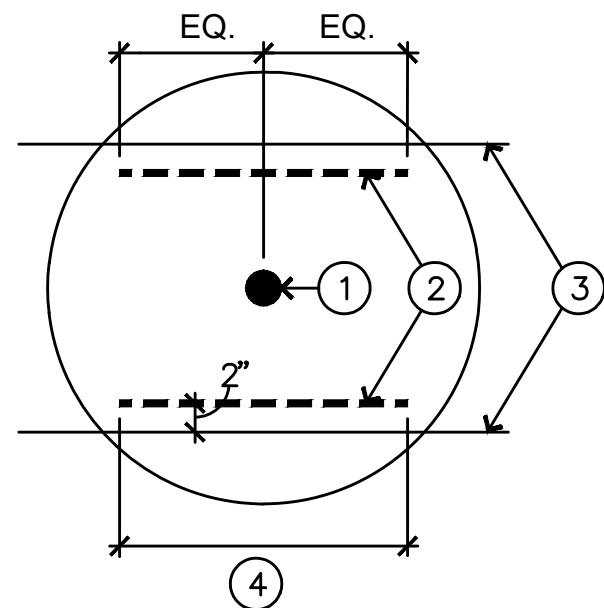
IRRIGATION  
DETAILS

L3.0





**A TREE PLANTING AND STAKING**  
SCALE: N.T.S.

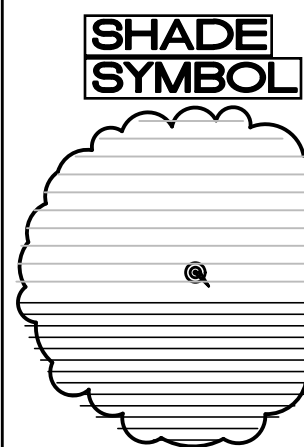


**B ROOT BARRIER DETAIL**  
SCALE: N.T.S.

### CLIMATE ACTION PLAN CONSISTENCY REGULATIONS

- (1) TREE REQUIRED PER 30' OF FRONTAGE = (3) TREES REQ'D  
(3) PROVIDED (1 LARGE EXISTING FAN PALM AND (2) METROSIDEROS  
(4) EXCELSA / NEW ZEALAND CHRISTMAS TREES

### COMPLIANCE TABLE FOR STREET TREE SHADING



(2) NEW ZEALAND CHRISTMAS TREES IN R.O.W ARE SHOWN AT A 10 YEAR CANOPY MATURITY.  
+ ONE EXISTING FAN PALM TO REMAIN.

THROUGHWAY / SIDE WALK AREA = 230 SQ. FEET.  
REQUIRED SHADING = 50% OF R.O.W. = 115 SQ. FT.  
SHADING PROVIDED = 140 SQ FEET.

