

TORREYANA LIFE SCIENCE

11011 Torreyana
San Diego, CA

COASTAL DEVELOPMENT APPROVAL #: PMT-3158584
SITE DEVELOPMENT APPROVAL #: PMT-3158586

PRJ – 1058759 11011 Torreyana Road San Diego, CA
APN No. 340-010-2900 Map No. 8434 Lot No. 7 Subdivision Torrey Pines Science Park Unit No. 2



PARKING STALL REQUIREMENTS

STANDARD STALL:	8' WIDE X 16' LONG
ACCESSIBLE STALLS:	9' WIDE X 16' LONG W/ 5' WIDE X 16' LONG ACCESS AISLE
VAN ACCESSIBLE STALLS:	9' WIDE X 16' LONG W/ 8' WIDE X 16' LONG ACCESS AISLE
STALLS WITH 9' LANDSCAPE OVERHANG PER SDMC SECTION 142.0605 (H) (5):	8' WIDE X 15' LONG W/ 9' LANDSCAPE OVERHANG

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS TO:

- UNIVERSITY PROCESS 3 SDP AND CDP TO DEMOLISH EXISTING 76,894 SF BUILDING AND PROPOSE 152,080 SF OF SCIENTIFIC RESEARCH AND DEVELOPMENT BLDG WITH 484 PARKING SPACES 44 SURFACE AND 440 SUBGRADE LOCATED AT 11011 TORREYANA ROAD. THE SITE IS LOCATED IN THE IP-1-1 ZONE, COASTAL, NAPP1 OVERLAY ZONE, AND 2035 TRANSIT PRIORITY AREA TPA WITHIN THE UNIVERSITY COMMUNITY PLAN AREA, COUNCIL DISTRICT 1.
- THE PROJECT INCLUDES DEMOLISHING THE EXISTING STRUCTURE WITH AN ABOVE-GRADE PARKING STRUCTURE LOCATED AT 11011 TORREYANA ROAD. THE STRUCTURE WOULD BE REPLACED WITH ONE (1) NEW STRUCTURE, TOTALING 152,080 SQFT. 34 FAR. THE SITE IS LOCATED AT 11011 TORREYANA RD APN 340-010-2900 IN THE IP-1-1 BASE ZONE WITH THE UNIVERSITY COMMUNITY PLAN AREA. THE PREMISES CONTAINS ENVIRONMENTALLY SENSITIVE LANDS ESL, IN THE FORM OF MSCP VEGETATION-MARITIME SUCCULENT SCRUB, MULTIPLE HABITAT PLANNING AREA (MHPA), AND STEEP HILLSIDES IN THE COASTAL OVERLAY ZONE NON-APPEALABLE 1

PROPOSED DEVIATIONS:

- THE PROJECT IS USING THE SQUARE FOOTAGE METHOD OF CALCULATION FOR DENSITY.
- COASTAL DEVELOPMENT
- SITE DEVELOPMENT

AIRPORT SAFETY ZONE

Use:	Parking Method
R&D at 2.1/1000 Parking Ratio and 1.05 V-Value	X=(50/1000*10.24) / (2.1*1.05) X=512,000 / 2,205
Total Allowable Area for Site	232,200 SF

Value determined using the formula $X=(50/1000S_a) / V$ where S_a =Site Acreage (including a portion of the road), CALUPH Appendix G), P= Parking Ratio (SDMC Table 142-050), and V= Vehicle Occupancy (MCASD ALLUCP Appendix D). Site area used for Fig. 3.1-10.60a.c.

Area of Site	Square Feet	Acres
	445,916	10.24

SITE DATA

LOT (GROSS)	466,061	(10.24 ACRES)
LAND USE	INDUSTRIAL	R&D
LANDSCAPE AREA	94,904 S.F.	20%
BUILDING FOOTPRINT	70,156	15%
GROSS BUILDING SQUARE FOOTAGE	152,080	
BASEMENT PORTION OF LEVEL 1 SQUARE FOOTAGE	40,075	
PARKING 1 LEVEL BASEMENT LAB SUPPORT AREA	45,500S.F.	
F.A.R.	3.263	2.0 MAX.
ACCESSOR'S PARCEL NO.	340-010-29-00	
LEGAL DESCRIPTION:	LOT 7 OF MAP 8434	
ZONING INFORMATION:	INDUSTRIAL - LIGHT IP-1-1	
OVERLAY ZONES:	Airport Land Use Compatibility Overlay Zone (MCAS Miramar), Airport Influence Area Overlay Zone (MCAS Miramar - Review Area 1), Airport Safety Zone (Accidental Potential 2), Coastal Overlay Zone (Non-appealable 1), Coastal Height Limitation, Community Implementation Area - University "CPIOZ B", 1st Public Roadway, Prime Industrial Lands (PIL), Multiple Habitat Planning Area (MHPA), MSCP Sensitive - Maritime Succulent Scrub, Parking Impact Overlay Zone (Coastal), Brush Management, Very High Fire Severity Zone (VHFSOZ), Transit Priority Area (TPA) within the University Community Plan	
STRUCTURE MAX. HEIGHT:	30'	
SETBACK REQUIREMENTS:	FRONT YARD: 25'-0" / 20' MIN. STREET YARD: 25'-0" / 20' MIN. SIDE YARD: 10'-0" REAR YARD: 15'-0" / 10' MIN. * UP TO 50% OF THE LENGTH OF BUILDING FACADE ALONG EACH SETBACK	

SHEET INDEX

SHEET ISSUED ON DATE INDICATED, WITH MODIFICATIONS ●
SHEET ISSUED ON DATE INDICATED, NO MODIFICATIONS ○

SHEET NO.	TITLE	DATE	MODIFICATIONS
TS-1.0	TITLE SHEET	04/25/2024	
A0.1	DEMO SITE PLAN	05/27/2024	
A1.1	OVERALL SITE PLAN	11/18/2023	
A1.2	ENLARGED SITE PLAN	04/16/2024	
A1.4	ENLARGED SITE PLAN - LOADING DOCK	08/04/2023	
A1.6	CIRCULATION SITE PLAN	10/03/2023	
A1.7	FIRE ACCESS PLAN	02/22/2024	
A2.0	OVERALL - LEVEL P3 BASEMENT FLOOR PLAN	04/23/2024	
A2.1	OVERALL - LEVEL P4 BASEMENT FLOOR PLAN	04/23/2024	
A2.2	OVERALL - LEVEL P2 BASEMENT FLOOR PLAN	04/23/2024	
A2.3	OVERALL - LEVEL P1 BASEMENT FLOOR PLAN	04/23/2024	
A2.4	OVERALL - LEVEL 1 FLOOR PLAN	04/23/2024	
A2.5	OVERALL - LEVEL 2 FLOOR PLAN	04/23/2024	
A2.6	OVERALL - LEVEL 3 FLOOR PLAN	04/23/2024	
A3.1	OVERALL - ROOF PLAN	04/23/2024	
A4.1	BUILDING ELEVATIONS	04/23/2024	
A4.2	BUILDING ELEVATIONS	04/23/2024	
A4.3	BUILDING ELEVATIONS	04/23/2024	
A5.1	BUILDING SECTIONS	04/23/2024	
A5.2	BUILDING SECTIONS	04/23/2024	
A6.0	RENDERINGS	04/23/2024	
A6.1	RENDERINGS	04/23/2024	

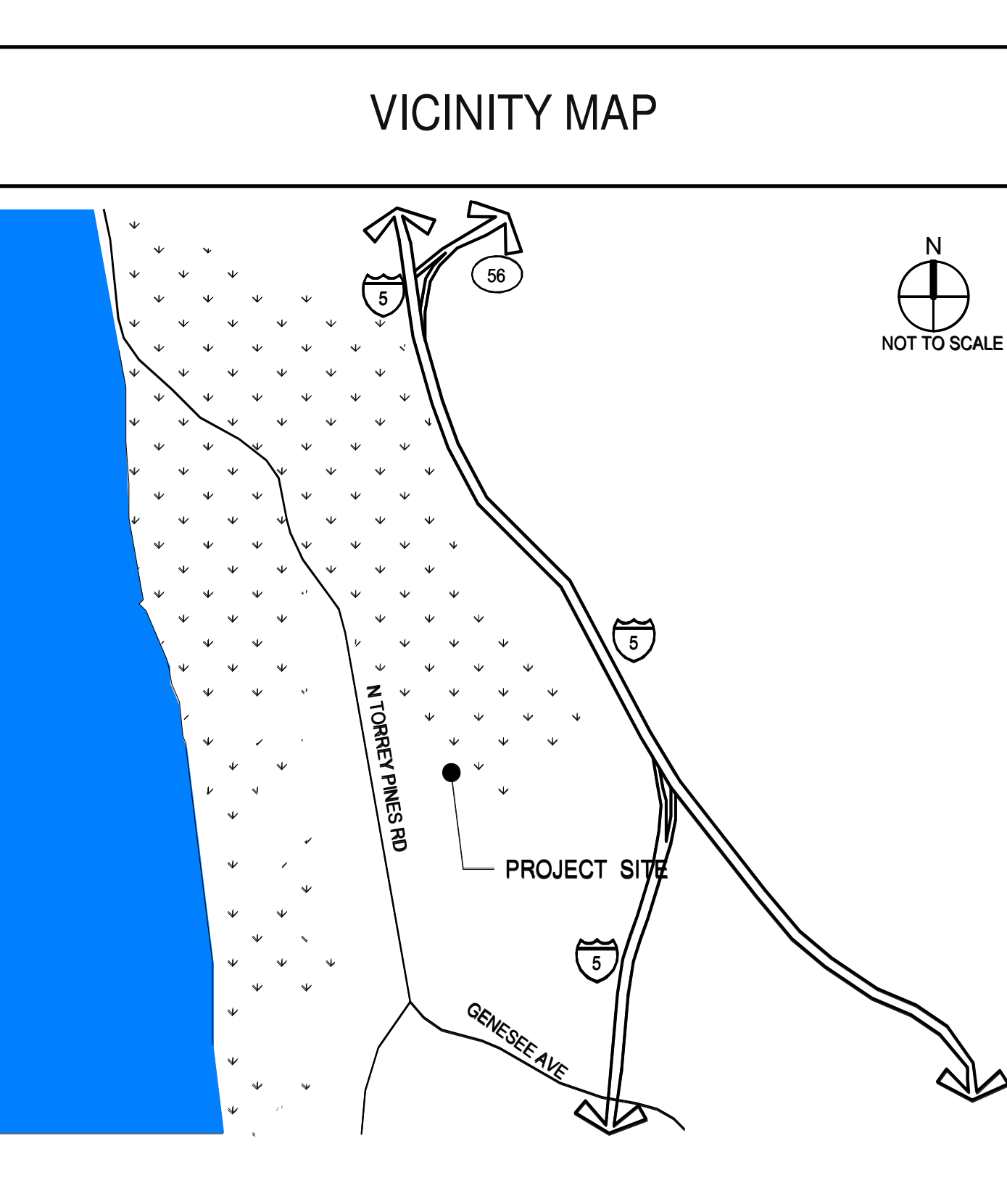
ARCHITECTURAL SHEET COUNT: 22
LANDSCAPE SHEET COUNT: 7
CIVIL SHEET COUNT: 6

PARKING

PARKING	PARKING RATIO PER 1000	SPACES
Minimum Required	2.1 / 1000	152,080/1000 = 152.08 * 2.1 = 320
Total Maximum Allowed	4.0 / 1000	152,080/1000 = 152 * 4 = 608
Proposed Parking	3.18 / 1000	152,080/1000 = 152 * 3.18 = 484

TOTAL SQUARE FOOTAGE FOR 11011 TORREYANA ROAD - 152,080 SF.

Category	Min. Parking Ratio per 1000 sq ft per SDMC 142.050 (c) & Table 142-050 for Research and Development Use in Transit Priority Area	Min. Req. Spaces	Provided No. of spaces for the project
Torreyana - At Grade Parking	2.1	320	44
Total Parking		320	44
EV Charging (CALGREEN Table 5.106.5.3.3)		11	11
Accessible Parking per CBC 11B-208.2		3	4
Clean Air Low Emitting CALGREEN 5.106.5.2 (12% Mandatory)		6	6
Bicycle Parking (Short Term) per SDMC 142.0530 (e) (1) (A)		0	3
Bicycle Parking (Long Term) per SDMC 142.0530 (e) (1) (A)		0	0
Motorcycle per SDMC 142.0530 (g)		-	-
Torreyana - Garage Parking		334	440
Total Parking		334	440
EV Charging (CALGREEN Table 5.106.5.3.3)		87	87
Accessible Parking per CBC 11B-208.2		10	12
Clean Air Low Emitting CALGREEN 5.106.5.2 (12% Mandatory)		38	38
Bicycle Parking (Short Term) per SDMC 142.0530 (e) (1) (A)		-	-
Bicycle Parking (Long Term) per SDMC 142.0530 (e) (1) (A)		21	24
Motorcycle per SDMC 142.0530 (g)		9	9



LEGAL DESCRIPTION: THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO, CITY OF SAN DIEGO AND DESCRIBED AS FOLLOWS: LOT 7 OF TORREY PINES SCIENCE PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8434, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 10, 1976, EXCEPTING ALL OIL, GAS AND OTHER HYDROCARBONS, GEOTHERMAL RESOURCES, AS DEFINED IN SECTION 8903 OF THE CALIFORNIA PUBLIC RECORDS CODE, AND ALL OTHER MINERALS, WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, WITHIN OR THAT MAY BE PRODUCED FROM SAID PROPERTY, AS CONTAINED IN DEED RECORDED JANUARY 12, 1989 AS INSTRUMENT NO. 89-07959, OF OFFICIAL RECORDS.

ACCESSOR'S PARCEL NO.: 340-010-29-00
OCC. CLASSIFICATION: B - BUSINESS
EXISTING USE: RESEARCH & DEVELOPMENT
PROPOSED USE: RESEARCH & DEVELOPMENT
CHANGE IN USE: NO
YEAR EXISTING BUILDING WAS BUILT: 1981
NUMBER OF EXISTING DWELLING UNITS: NONE
NUMBER OF PROPOSED DWELLING UNITS: NONE
GEOLOGIC HAZARD CATEGORY: 52: OTHER LEVEL AREAS, GENTLY SLOPING TO STEEP TERRAIN, GEOLOGIC STRUCTURE, LOW RISK
SEWER DEMAND: 45 GPM
GENERAL PROJECT SUMMARY: BRIDGEWEST GROUP IS PLANNING TO BUILD A NEW TWO STORY ABOVE GRADE & 1 BASEMENT LEVEL, 152,080 SF. SCIENTIFIC RESEARCH BUILDING OVER 4 LEVELS OF SUBGRADE PARKING AT 11011 TORREYANA ROAD (10.24 ACRE SITE). THE INTENT OF THIS PROJECT IS TO OBTAIN A COASTAL DEVELOPMENT PERMIT & SITE DEVELOPMENT PERMIT TO CONSTRUCT THE NEW BUILDING LOCATED AT TORREYANA ROAD, UNDER SEPARATE GRADING AND BUILDING PERMITS. THE SITE WHERE THE PROPOSED STRUCTURE IS TO BE LOCATED CURRENTLY HAS A 76,894 SF R&D FACILITY, BUILDING WILL BE DEMOLISHED ENTIRELY PRIOR TO CONSTRUCTION OF NEW FACILITY.
CIVIL: GRADING AND DRAINAGE - DRAINAGE AND GRADES PATTERNS FOR THE PROJECT WERE DESIGNED TO CREATE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ROADWAYS AND CONVEY SURFACE RUNOFF INTO THE PROPOSED ON-SITE DRAINAGE SYSTEM THAT WAS ECOLOGICALLY LOW IMPACT ENTRY GARDEN UPON ARRIVAL AT THE BUILDING'S FRONT FACADE AND ARE GUIDED AROUND BACK TO WHERE PRIMARY ENTRY TO THE BUILDING IS LOCATED. THE PARKING EXPERIENCE IS SOFTENED BY AMPLE VEGETATIVE BUFFERS AND A GENEROUS AMOUNT OF SHADE TREES THAT FRAME VIEWS OF BUSY TRAFFIC WITHIN THE ENTRY PLAZA AND THE BUILDING'S BALCONIES ABOVE. IN TERMS OF ACCESSIBILITY, THE FIRE LANE WAS DESIGNED TO DOUBLE AS A PEDESTRIAN PROMENADE ENHANCED WITH DECORATIVE PAVING ALONGSIDE PERMEABLE GRASS-CRETE TO ADD VISUAL INTEREST TO THE SPACE. WORKERS ARE ALSO PROVIDED WITH HUMAN SCALE SPACES TO PAUSE AND TAKE A PHONE CALL OR ENJOY LUNCH WHERE TASTEFUL VEGETATIVE SCREENING MINIMIZES BOTH AUDIBLE AND VISUAL COMMOTION AND TREE PLACEMENT DAPPLES THE GROUND WITH COMFORTABLE SHADE. AS MENTIONED, THE SITE BACKS UP TO THE CREST OF THE NATIVE HILLSIDE LANDSCAPE, SO BRUSH MANAGEMENT PRACTICES HAVE BEEN IMPLEMENTED TO MITIGATE THE RISK OF WILDFIRE WHILE PROTECTING THAT SENSITIVE NATIVE HABITAT. AS A WHOLE, THE DESIGN MAXIMIZES USER EXPERIENCE WHILE MAINTAINING THE PRIORITY OF PRESERVING THE SURROUNDING LANDSCAPE.
STRUCTURAL: BUILDING CONSTRUCTED OF STRUCTURAL CONCRETE COLUMNS AND TWO WAY CONCRETE DECKS, BEARING WALLS TO BE CONSTRUCTED OF POURED-IN-PLACE CONCRETE.
MECHANICAL: NEW MECHANICAL SYSTEMS INCLUDE AIR HANDLERS, CHILLERS, BOILERS, PUMPS, HEAT EXCHANGERS, WATER COOLED VARIABLE REFRIGERANT SYSTEMS, AND EXHAUST FANS.
ELECTRICAL: UPGRADE EXISTING ELECTRICAL SYSTEMS AND SPACE PROVISIONS FOR TENANT GENERATORS, TRANSFER SWITCHES, AND PANELS.
PLUMBING: NEW PLUMBING PIPING INSTALLATION AND SPACE ALLOCATION FOR FUTURE, CORE FACILITIES WILL BE BUILT OUT TO INCLUDE MAIN GANG RESTROOMS. NEW BUILDING STORM DRAIN, SEWER, GREASE WASTE, WATER, NATURAL GAS, AND LAB UTILITIES WILL BE COORDINATED WITH ALL DISCIPLINES.

SCOPE AREA(S):
TOTAL LEVEL 1 FLOOR AREA: 26,314 S.F.
TOTAL LEVEL 2 FLOOR AREA: 65,508 S.F.
TOTAL LEVEL 3 FLOOR AREA: 60,258 S.F.
TOTAL LEVEL 1, 2 & 3 FLOOR AREA: 152,080 S.F.

APPLICABLE PLANS: UNIVERSITY COMMUNITY PLAN IS THE APPLICABLE PLAN FOR THE PROJECT AREA.

Square Footage as Determined by California Airport Land Use Planning Handbook - APPENDIX G: METHODS FOR DETERMINING CONCENTRATIONS OF PEOPLE

Maximum Square Footage of Building	232,200 SF	
Parking Ratio	.0021	2.1 SPACES / 1000 SF
Required Parking Spaces =	232,200 / 1000 = 232.2 * 2.1 = 488	488 SPACES
People Per Space	1.05	
Maximum People On Site	488 * 1.05 = 512	512 PEOPLE
Acres	10.24	
People Average per Acre	512/10.24 = 50	50 PEOPLE
Max Square Footage Allowed Per Max Parking	476 PER PERSON, 512 PEOPLE * 476 = 243,712 SF.	

Square Feet per Acre	232,200 SF / 10.24 ACRES	22,676
----------------------	--------------------------	--------

CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE OF CONSTRUCTION (602)	TYPE:	I-B
BUILDING ELEMENTS	(TABLE 601)	
STRUCTURAL FRAME		2 HR.
EXTERIOR BEARING WALLS		2 HR.
INTERIOR BEARING WALLS		2 HR.
EXTERIOR NON-BEARING WALLS	SEE BELOW	
INTERIOR NON-BEARING WALLS		0 HR.
FLOORS		2 HR.
ROOF		1 HR.
EXTERIOR WALLS BASED ON FIRE SEPARATION	(TABLE 602)	
NORTH EXTERIOR WALL (X > 30')		0 HR.
EAST EXTERIOR WALL (X > 30')		0 HR.
SOUTH EXTERIOR WALL (X > 30')		0 HR.
WEST EXTERIOR WALL (X > 30')		0 HR.

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

ALLOWABLE AREA OF OPENINGS (TABLE 705.6) (FULLY SPRINKLERED THROUGHOUT)

FLOOR	DIRECTION	FIRE SEPARATION DISTANCE (F.T.)	ALLOWABLE OPENING AREA (%)	ACTUAL AREA OF PROTECTED OPENING(SQ. FT.)	UNLIMITED UNPROTECTED OPENINGS ARE PERMITTED
NORTH	NORTH	> 20	-		
	EAST				
	SOUTH				
	WEST				

CHAPTER 9 - FIRE PROTECTION SYSTEMS

(903.3.1.1) AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED WITH ACCORDANCE WITH NFPA 13.
(903.4) AUTOMATIC SPRINKLER SYSTEM MONITORING AND ALARMS WILL BE PROVIDED.

OPEN SPACE EASEMENTS

OPEN SPACE EASEMENTS OVER, UNDER, UPON ACROSS PORTIONS OF LOTS 5.6, 7, AND * AS SHOWN ON THIS MAP WITHIN THIS SUBDIVISION CONDITIONS SHALL BE THAT NO PART OF SAID OPEN SPACE EASEMENTS SHALL BE USED EXCEPT FOR THE PURPOSE OF INSTALLING, ERECTING, CONSTRUCTION, MAINTAINING, PLANTING AND GROWING THEREON THE FOLLOWING: (1) GRASS, FLOWERS, SHRUBS, TREES AND IRRIGATION, AND OTHER LANDSCAPING APPOINTMENTS; (2) FENCES AND RETAINING WALLS; (3) RECREATION FACILITIES PROVIDED THE SAME SHALL NOT INCLUDE ANY BUILDING; (4) UTILITY DISTRIBUTION FACILITIES PROVIDED THEY ARE INSTALLED UNDERGROUND EXCEPT THAT TRANSFORMER BOXES AND OTHER SIMILAR EQUIPMENT MAY BE INSTALLED ABOVE GROUND BUT NOT ON POLES, DERRICKS OR SIMILAR SUPPORTS; (5) OPEN PARKING AREAS; (6) SIDEWALKS, PATHS AND STEPS; (7) DIRECTIONAL SIGNS; (8) OUTDOOR LIGHTING FACILITIES AND COMMUNITY TELEVISION ANTENNA FACILITIES, PROVIDED, HOWEVER, THAT EACH AND EVER FACILITY AND APPOINTMENT INSTALLED, ERECTED, CONSTRUCTED OR MAINTAINED, PURSUANT TO ANY OF CLAUSES (1) THROUGH (8) MUST BE HERE FOR AND HERE AFTER APPROVED BY THE CITY OF SAN DIEGO. IT MUST BE CLEARLY IDENTIFIED THE ALLOWABLE LIMITATIONS ARE NOT BEING EXCEEDED. CURRENT ENCROACHMENTS INCLUDE SURFACE PARKING, LOADING AREAS, AND TURNAROUND AREAS FOR TRUCKS.

BUILDING & CODE INFORMATION

BUILDING DEPARTMENT:	CITY OF SAN DIEGO, CALIFORNIA
APPLICABLE BUILDING CODES:	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2022 STATE OF CALIFORNIA ENERGY CODE 2022 STATE OF CALIFORNIA GREEN BUILDING CODE 2022 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS

OWNER

ALLIANCE DIVERSIFIED HOLDINGS LLC, A DELAWARE LIMITED LIABILITY COMPANY	PRIMARY CONTACT: EVAN WILSON PH: (619) 618-5599 EMAIL: ewilson@bridgewestgroup.com
382 WE 191ST STREET PMB 55807 MIAMI, FLORIDA 33179	

PROJECT DIRECTORY

OWNER	ALLIANCE DIVERSIFIED HOLDINGS LLC, A DELAWARE LIMITED LIABILITY COMPANY
CONTRACTOR/SURVEYOR	TO BE DETERMINED
ARCHITECT	WARE MALCOMB

ARCHITECT'S CONSULTANTS

CIVIL ENGINEER	WARE MALCOMB 3911 SORRENTO VALLEY BLVD., #120 SAN DIEGO, CA 92121 P 858.638.7277	PRIMARY CONTACT: KARLA MIDDLETON PH: (619) 564-5126 EMAIL: Kmiddlet@waremalcomb.com ALTERNATE CONTACT: HANNAH MORELL PH: (858) 638-7277 EMAIL: Hmorell@waremalcomb.com
LANDSCAPE ARCHITECT	MCCULLOUGH 703 16TH STREET, #100 SAN DIEGO, CA 92101 (619) 501-7725	PRIMARY CONTACT: BEN ARCIA PH: (619) 501-7725 EMAIL: Ben@mccullough.com

CPIOZ & DEVELOPMENT INTENSITY

THE SITE IS LOCATED WITHIN THE "CHEVRON" SUBAREA, WHICH REQUIRES DEVELOPMENT PROJECTS TO MITIGATE THEIR PEAK HOUR TRIP GENERATION RATE TO A LEVEL EQUAL TO OR LESS THAN THAT WHICH WOULD BE GENERATED BY A PROJECT OF 18,000 SQ. FT. PER ACRE. THE PROJECT IS CALCULATED TO GENERATE FEWER TRIPS AS COMPARED TO THE CPIOZ CHEVRON MAPS. AS SHOWN IN TABLE 6-2 OF THE PROJECT'S LMA, THEREFORE, THE PROJECT COMPLIES WITH THE CPIOZ CHEVRON REQUIREMENT, AND MITIGATION OF PEAK-HOUR TRIPS IS NOT REQUIRED.

CLIMATE ACTION PLAN

TO ENSURE COMPLIANCE AS A PART OF THE CITY OF SAN DIEGO CLIMATE ACTION PLAN REQUIREMENTS TO REDUCE SINGLE OCCUPANT VEHICLE (SOV) TRAVEL AND ASSOCIATED PARKING DEMAND, THE PROJECT WILL IMPLEMENT A PARKING CASH OUT PROGRAM TO INCENTIVIZE EMPLOYEES TO CARPOOL, VANPOOL, OR USE PUBLIC TRANSIT. THE PARKING CASH OUT PROGRAM WILL INCLUDE DISCOUNTS OR SUBSIDIES TO BE USED AT ON-SITE AMENITIES UP TO \$30 A MONTH.

COMMITMENT TO MAINTAINING AN EMPLOYER NETWORK IN THE SANDAG COMMUTE PROGRAM AND PROMOTING ITS RIDE/METRO SERVICE TO TENANTS/EMPLOYEES.

ON-SITE BIKE SHARING WILL BE MADE POSSIBLE AND IS LOCATED DIRECTLY ADJACENT TO THE MAIN ENTRY OF THE BUILDING AND CAN BE LOCATED ON SHEET A-1.1 KEYNOTED AS 126.

THE PROJECT WILL PROVIDE AN ON-SITE GYM AVAILABLE ONLY TO EMPLOYEES.

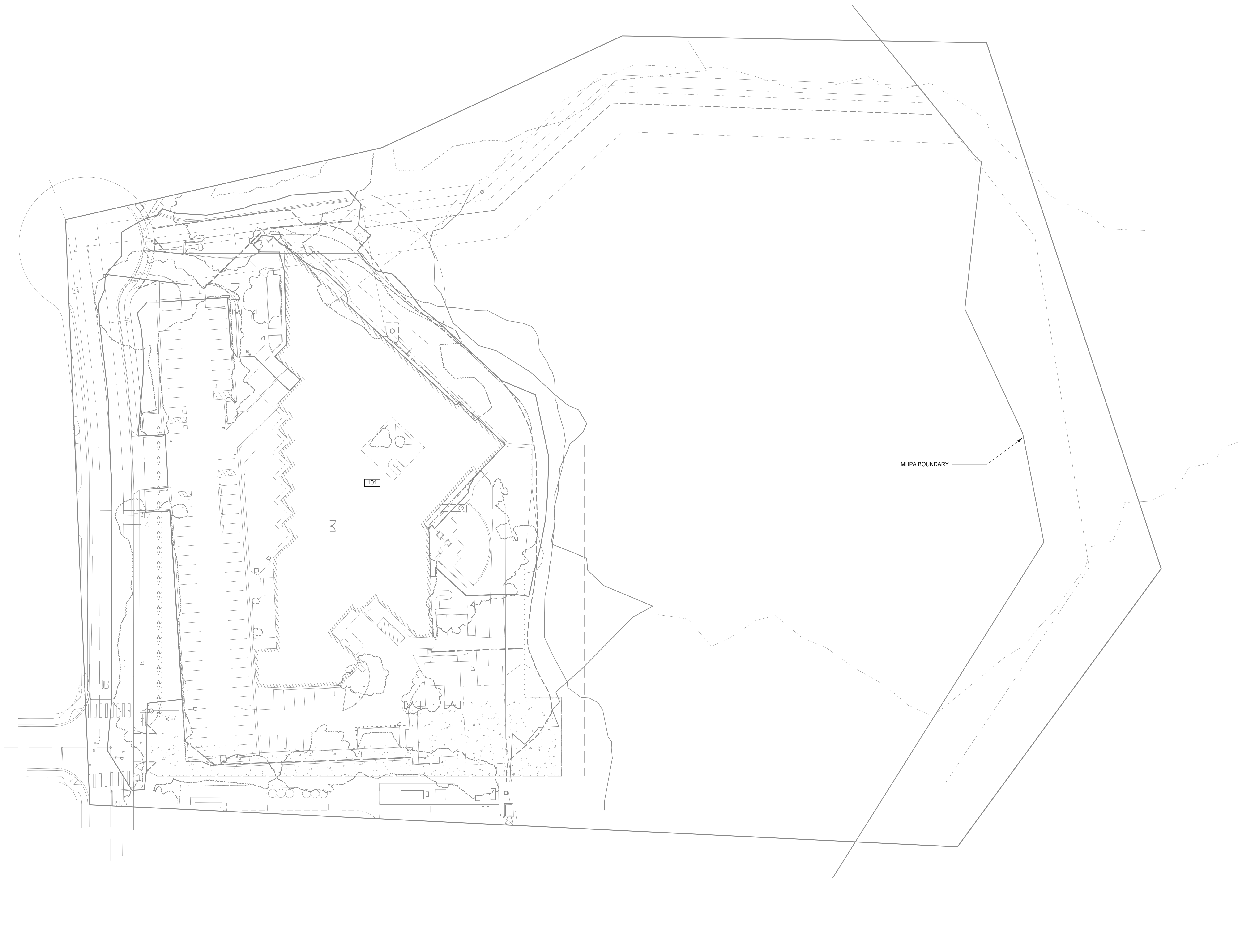
THE MTS BUS STOP IS LOCATED ON THE SOUTHWEST CORNER OF THE PROPERTY AND IS LOCATED ON PLAN ON SHEET A-1.1-A-1.2-A1.6.

TITLE SHEET

DATE	PREPARED BY	REMARKS
05/27/2024	K MIDDLETON	PREPARED FOR PERMITTING
05/27/2024	K MIDDLETON	PLANNING COMMENTS
08/04/2023	K MIDDLETON	PLANNING COMMENTS
09/28/2023	K MIDDLETON	PLANNING COMMENTS
02/27/2024	K MIDDLETON	PLANNING COMMENTS
04/23/2024	K MIDDLETON	PLANNING COMMENTS

PAPM: K MIDDLETON
DRAWN BY: HM
JOB NO.: SDG20-0111

PREPARED BY: WARE MALCOMB ARCHITECTS
ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120 SAN DIEGO, CA 92121
PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
PROJECT ADDRESS: 11011 TORREYANA RD, SAN DIEGO, CA 92121
PROJECT NAME: TORREYANA
SHEET TITLE:
ORIGINAL PREPARATION DATE:
MUP PROJECT #:
DEP: SHEET: OF



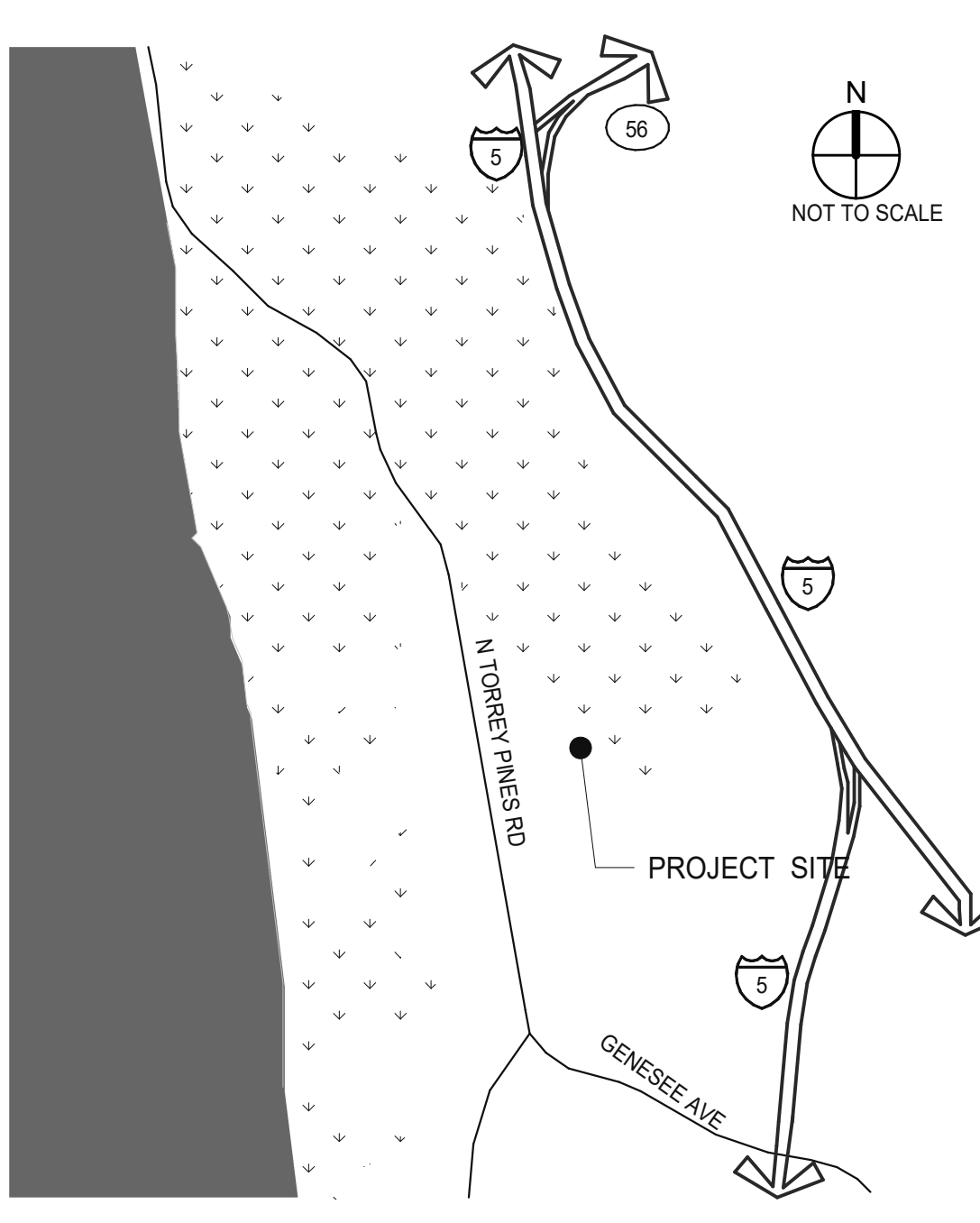
LEGEND

- ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE. 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- T TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- + LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE (HATCHED)
- ① PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FUTURE DOCK HIGH TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER

KEYNOTES:

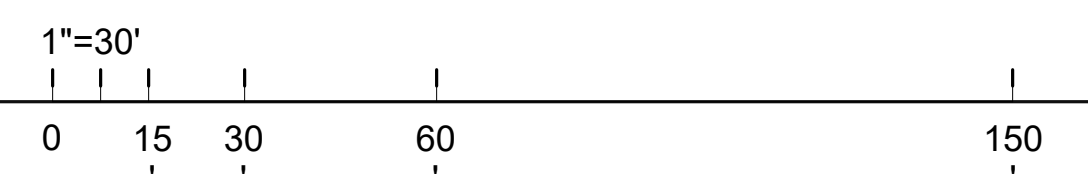
- 101 EXISTING BUILDING & SITE IMPROVEMENTS TO BE DEMOLISHED.

KEY PLAN

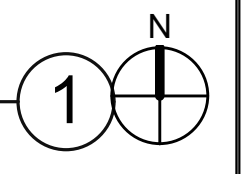


PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120
 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD.
 SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE: DEMO SITE PLAN

ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF



DEMO SITE PLAN
 SCALE: 1" = 40'-0"



WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 3911 Sorrento Valley Blvd., Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST
 GROUP

TORREYANA LIFE
SCIENCE
 11011 Torreyana
 San Diego, CA

DEMO SITE PLAN	
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
07/27/2022	CONCEPT PLAN
08/04/2023	PLANNING COMMENTS
08/29/2023	PLANNING COMMENTS
09/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-0.1

GENERAL PROJECT NOTES

1. THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR THE MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC SECTIONS 13.0270(A)(4)(D) AND 13.0265). THE HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)

SITE NOTES

1. REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.
2. REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.
3. REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
4. ALL DIMENSION ON SITE PLAN ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE OR CENTERLINE OF PARKING STALL, UNLESS OTHERWISE NOTED.
5. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
6. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS.
7. CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 50'-0" O.C. MAX. AND CONTROL JOINTS T 5'-0" O.C. MAX. BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE.
8. GENERAL CONTRACTOR SHALL COORDINATE SITE PLAN DATA SHOWN ON ARCHITECTURAL, CIVIL, ELECTRICAL, DRY UTILITY AND LANDSCAPE DRAWINGS AND NOTIFY ARCHITECT FOR CLARIFICATION OF AND DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, PROPERTY DIMENSIONS ETC. AND NOTIFY THE ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
10. REFERENCE SOILS REPORT FOR RECOMMENDATIONS ON SOIL BEARING VALUES FOUNDATION AND SLAB REINFORCING AND PAVING SECTIONS FOR PARKING STALLS, TRAFFIC AREAS TRUCK LOADING DOCKS.
11. FRONTAGE YARDS USED FOR ALLOWABLE AREA INCREASES PER CBC SECTION 506.0 SHALL BE PERMANENTLY MAINTAINED.
12. FIRE ACCESS ROADWAY SIGNS / RED CURBS SHALL BE INSTALLED.
13. POST INDICATOR VALVES FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ ACCESS SIDE OF THE STRUCTURE (IFC1001.4).
14. SETBACK FOR P.I.V AND F.D.C SHALL BE FOUR FEET FROM CURB AND 3'X3' CONCRETE PAD POURED AROUND BOTH. SEE CIVIL DRAWINGS.
15. PROVIDE WHITE CURB AT LOADING ZONE.
16. THE LENGTH OF A PARKING SPACE MAY OVERHANG A RAISED CURB OR WHEEL STOP AND A REQUIRED LANDS CAPE AREA BY MAXIMUM OF 3 FEET, PROVIDED THAT THE HEIGHT OF THE CURB DOES NOT EXCEED 8 INCHES AND THE AREA OF OVERHANG IS NOT PART OF A REQUIRED PEDESTRIAN PATH. PER SDMC SECTION 142.0506 (H) (5)

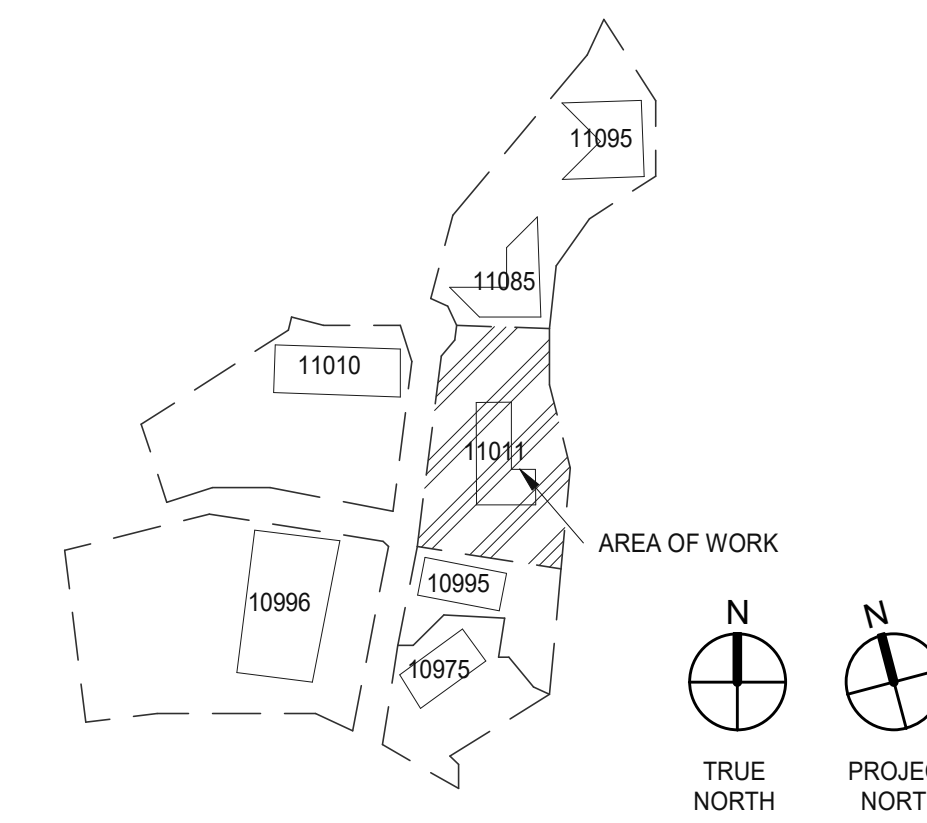
SPECIAL GEOTECHNICAL NOTES

1. THE GEOTECHNICAL CONSULTANT SHALL CONDUCT GEOLOGIC MAPPING/LOGGING DURING PERMITTED EXCAVATIONS. FAULTS, IF DISCOVERED, SHALL BE EVALUATED AND ANALYZED FOR ACTIVITY LEVEL BY THE GEOTECHNICAL CONSULTANT.
2. A DETAILED AS GRADED GEOTECHNICAL REPORT SHALL BE SUBMITTED THAT INCLUDES A DETAILED GEOLOGIC MAP AND LOGS OF THE PERMITTED EXCAVATION IF FAULTING IS DISCOVERED. THE AS GRADED REPORT SHALL ADDRESS THE ACTIVITY OF FAULTING AND INDICATE IF STRUCTURAL SETBACKS ARE RECOMMENDED. THE PRECISE LOCATION OF FAULT(S), IF DISCOVERED, SHALL BE SHOWN ON THE FINAL AS BUILT PLANS.

LEGENDS

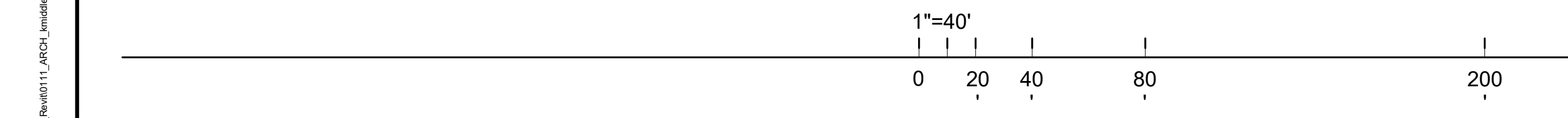
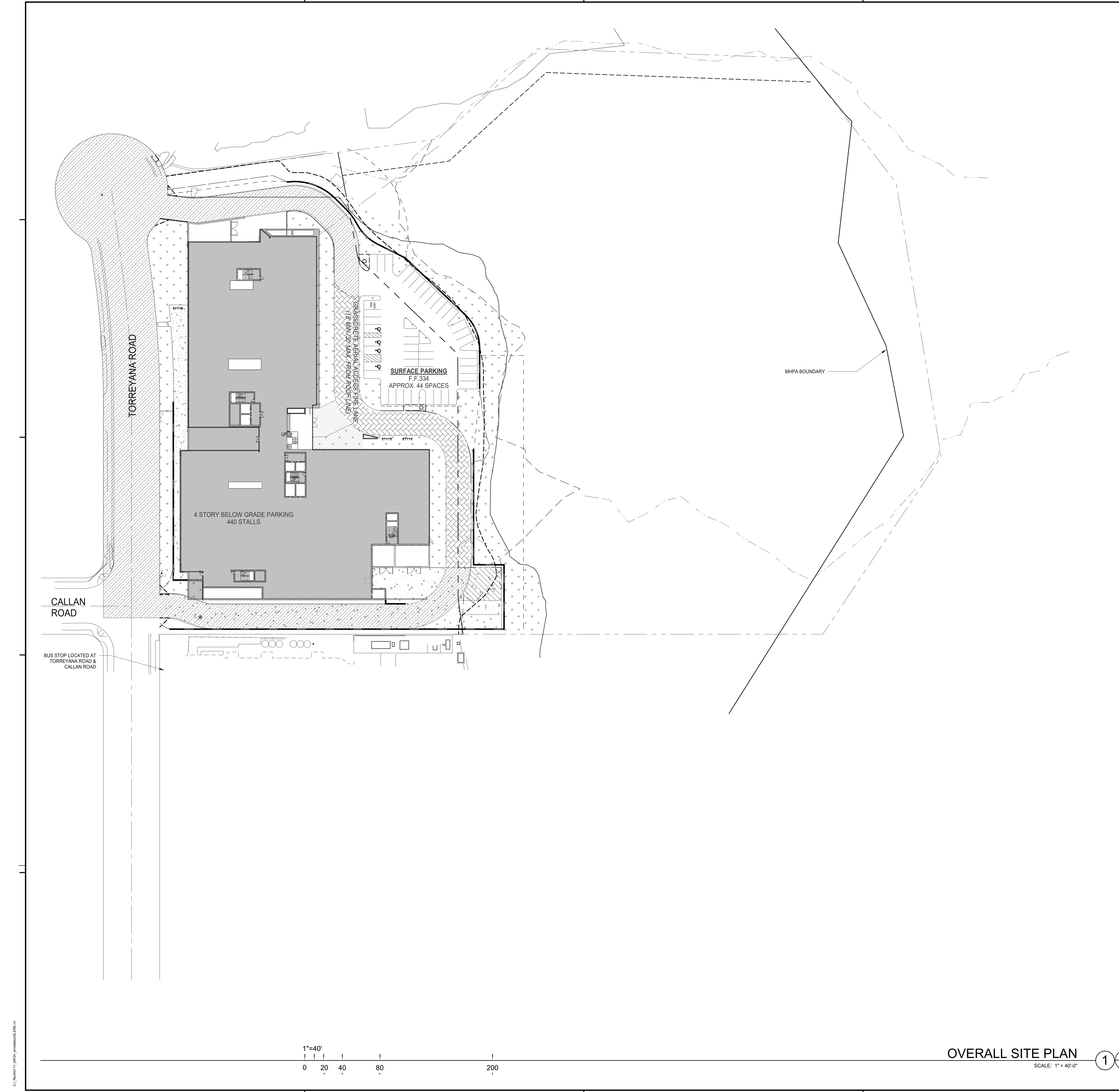
- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE.
- EASEMENT LINE.
- ☐ POLE MOUNTED LIGHT FIXTURE.
- ☐ WALLPACK LIGHT FIXTURE.
- ☐ TRANSFORMER WITH CONCRETE PAD (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ☐ LANDSCAPE AND IRRIGATION AREA.
- ☐ OUTDOOR EATING AND/OR RECREATIONAL FACILITY
- ① PARKING STALL COUNT TOTAL
- ☐ DOCK HIGH TRUCK DOOR
- ☐ GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER
- ▨ FIRE LANE (HATCHED)
- ▨ FACADE OF BUILDING OVER 40' IN HEIGHT

KEY PLAN



PREPARED BY: **WARE MALCOMB ARCHITECTS**
 ADDRESS: **3911 SORRENTO VALLEY BLVD. SUITE # 120**
SAN DIEGO, CA 92121
 PHONE NO #: **(858) 638-7277 / KARLA MIDDLETON**
 PROJECT ADDRESS: **11011 TORREYANA RD.**
SAN DIEGO, CA 92121
 PROJECT NAME: **TORREYANA**
 SHEET TITLE: **OVERALL SITE PLAN**

ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF



OVERALL SITE PLAN
 SCALE: 1" = 40'-0"
 1 OF 1

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd., Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

OVERALL SITE PLAN

DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
07/20/2022	PLANNING COMMENTS
08/09/2023	PLANNING COMMENTS
08/28/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: **K MIDDLETON**
 DRAWN BY: **HM**
 JOB NO.: **SDG20-0111**

SHEET
A-1.1

C:\p\11011_TORREYANA_LIFE_SCIENCE\11011_TORREYANA_LIFE_SCIENCE_0111.dwg

2024-10-09_11011_TORREYANA_LIFE_SCIENCE_0111.dwg

GENERAL PROJECT NOTES

- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR THE MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC SECTIONS 113.070(A)(4)(D) AND 130.0805). THE HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D).

SITE NOTES

- REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.
- REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURBS AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.
- REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- ALL DIMENSION ON SITE PLAN ARE TO FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE OR CENTERLINE OF PARKING STALL, UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
- PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS.
- CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 50'-0" O.C. MAX. AND CONTROL JOINTS T 5'-0" O.C. MAX. BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR SHALL COORDINATE SITE PLAN DATA SHOWN ON ARCHITECTURAL, CIVIL, ELECTRICAL, DRY UTILITY AND LANDSCAPE DRAWINGS AND NOTIFY ARCHITECT FOR CLARIFICATION OF AND DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, PROPERTY DIMENSIONS ETC. AND NOTIFY THE ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- REFERENCE SOILS REPORT FOR RECOMMENDATIONS ON SOIL BEARING VALUES FOUNDATION AND SLAB REINFORCING AND PAVING SECTIONS FOR PARKING STALLS. TRAFFIC AREAS TRUCK LOADING DOCKS.
- FRONTAGE YARDS USED FOR ALLOWABLE AREA INCREASES PER CBC SECTION 506.0 SHALL BE PERMANENTLY MAINTAINED.
- FIRE ACCESS ROADWAY SIGNS / RED CURBS SHALL BE INSTALLED.
- MOST INDICATOR VALVES FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ ACCESS SIDE OF THE STRUCTURE (IF C1001.4).
- SETBACK FOR P.I.V. AND F.D.C. SHALL BE FOUR FEET FROM CURB AND 3'X3' CONCRETE PAD POURED AROUND BOTH. SEE CIVIL DRAWINGS.
- PROVIDE WHITE CURB AT LOADING ZONE.
- FIRE ACCESS ROADWAY SIGNS / RED CURBS SHALL BE INSTALLED.
- THE LENGTH OF A PARKING SPACE MAY OVERHANG A RAISED CURB OR WHEEL STOP AND A REQUIRED LANDS CAPE AREA BY MAXIMUM 30 FEET, PROVIDED THAT THE HEIGHT OF THE CURB DOES NOT EXCEED 6 INCHES AND THE AREA OF OVERHANG IS NOT PART OF A REQUIRED PEDESTRIAN PATH. *PER SDMC SECTION 142.0506 (H) (6).

SPECIAL GEOTECHNICAL NOTES

- THE GEOTECHNICAL CONSULTANT SHALL CONDUCT GEOLOGIC MAPPING/ LOGGING DURING PERMITTED EXCAVATIONS. FAULTS, IF DISCOVERED, SHALL BE EVALUATED AND ANALYZED FOR ACTIVITY LEVEL BY THE GEOTECHNICAL CONSULTANT.
- A DETAILED AS GRADED GEOTECHNICAL REPORT SHALL BE SUBMITTED THAT INCLUDES A DETAILED GEOLOGIC MAP AND LOGS OF THE PERMITTED EXCAVATION. IF FAULTING IS DISCOVERED, THE AS GRADED REPORT SHALL ADDRESS THE ACTIVITY OF FAULTING AND INDICATE IF STRUCTURAL SETBACKS ARE RECOMMENDED. THE PRECISE LOCATION OF FAULT(S), IF DISCOVERED, SHALL BE SHOWN ON THE FINAL AS BUILT PLANS.

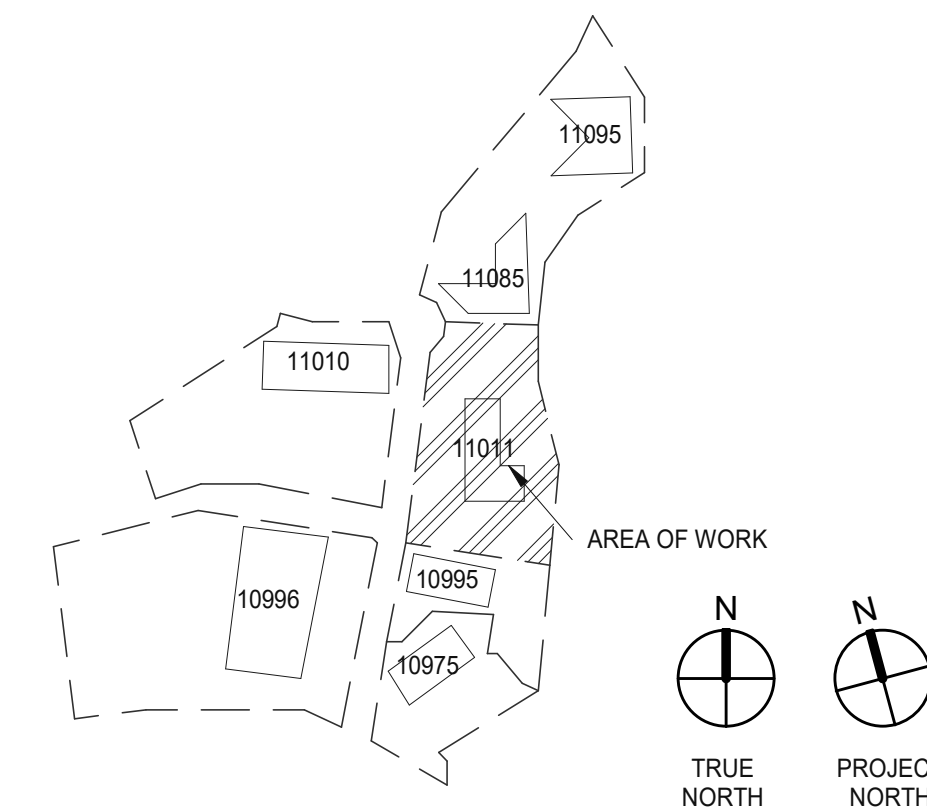
KEYNOTES:

- 101 PROPERTY LINE.
- 102 ACCESSIBLE ENTRY SIGNAGE.
- 103 ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 104 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
- 105 PAINTED PARKING STRIPING PER CITY STANDARDS.
- 106 2'-0" PARKING OVERHANG.
- 107 PRECAST CONCRETE WHEELSTOP.
- 108 ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- 109 ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
- 110 FIRELANE ENTRY SIGNAGE.
- 111 FIRELANE SIGNAGE.
- 112 FIRELANE CURB. DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
- 113 LANDSCAPE AND IRRIGATION AREA.
- 114 CONCRETE SIDEWALK.
- 115 CONCRETE RAMP.
- 116 CONCRETE RETAINING WALL.
- 117 BIKE RACK FOR SHORT TERM BIKE STORAGE.
- 118 TRASH ENCLOSURE WITH RECYCLE BIN.
- 119 EASEMENT LINE.
- 120 ACCESSIBLE DIRECTIONAL SIGN.
- 121 STRIPE 5x20' MINIMUM AREA FOR PASSENGER DROP-OFF AND LOADING ZONE.
- 122 TRUNCATED DOMES.
- 123 CLEAN AIR/VANPOOL/LEV DESIGNATED PARKING STALL.
- 124 LONG-TERM BIKE PARKING.
- 125 EXISTING FIRE HYDRANT TO REMAIN.
- 126 BIKE SHARE STORAGE.
- 127 ELECTRIC BIKE CHARGING STATION ACCESSIBLE TO THE PUBLIC.

LEGEND

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- - - EASEMENT LINE.
- ☐ WALLPACK LIGHT FIXTURE.
- ☐ TRANSFORMER WITH CONCRETE PAD, (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS).
- ▨ LANDSCAPE AND IRRIGATION AREA.
- ▨ OUTDOOR EATING AND/OR RECREATIONAL FACILITY.
- ① PARKING STALL COUNT TOTAL.
- ☐ DOCK HIGH TRUCK DOOR.
- ☐ GRADE LEVEL TRUCK DOOR.
- FIRE HYDRANT.
- P.I.V. WITH TAMPERS.
- ▨ FIRE LANE (HATCHED).
- ▨ FACADE OF BUILDING OVER 40' IN HEIGHT.

KEY PLAN



PREPARED BY: WARE MALCOMB ARCHITECTS
ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
PROJECT NAME: TORREYANA
SHEET TITLE: ENLARGED SITE PLAN

ORIGINAL PREPARATION DATE:
MUP PROJECT #:
DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 PLANNING
 INTERIORS
 CIVIL ENGINEERING
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd., Suite #120
 San Diego, CA 92121
 P: 858.638.7277

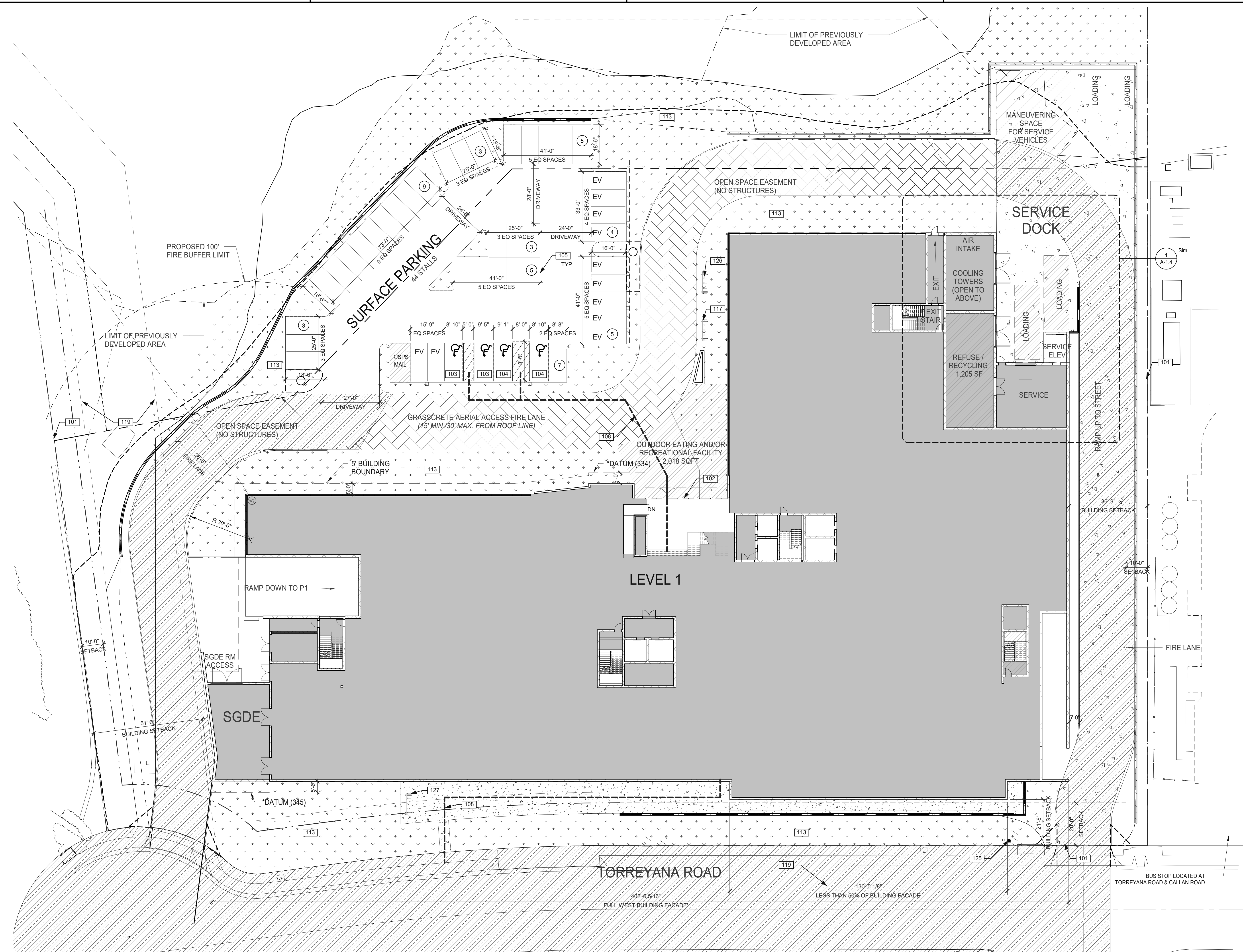
BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

ENLARGED SITE PLAN

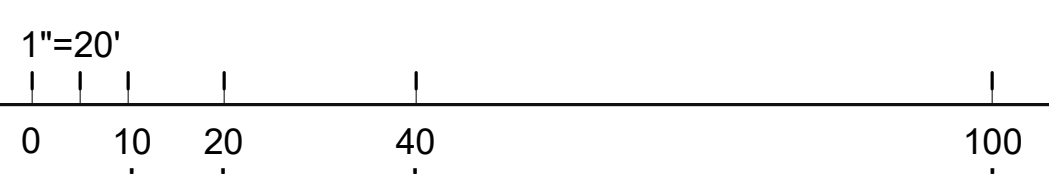
PAPM: K MIDDLETON
DRAWN BY: HM
JOB NO.: SDG20-0111

SHEET
A-1.2

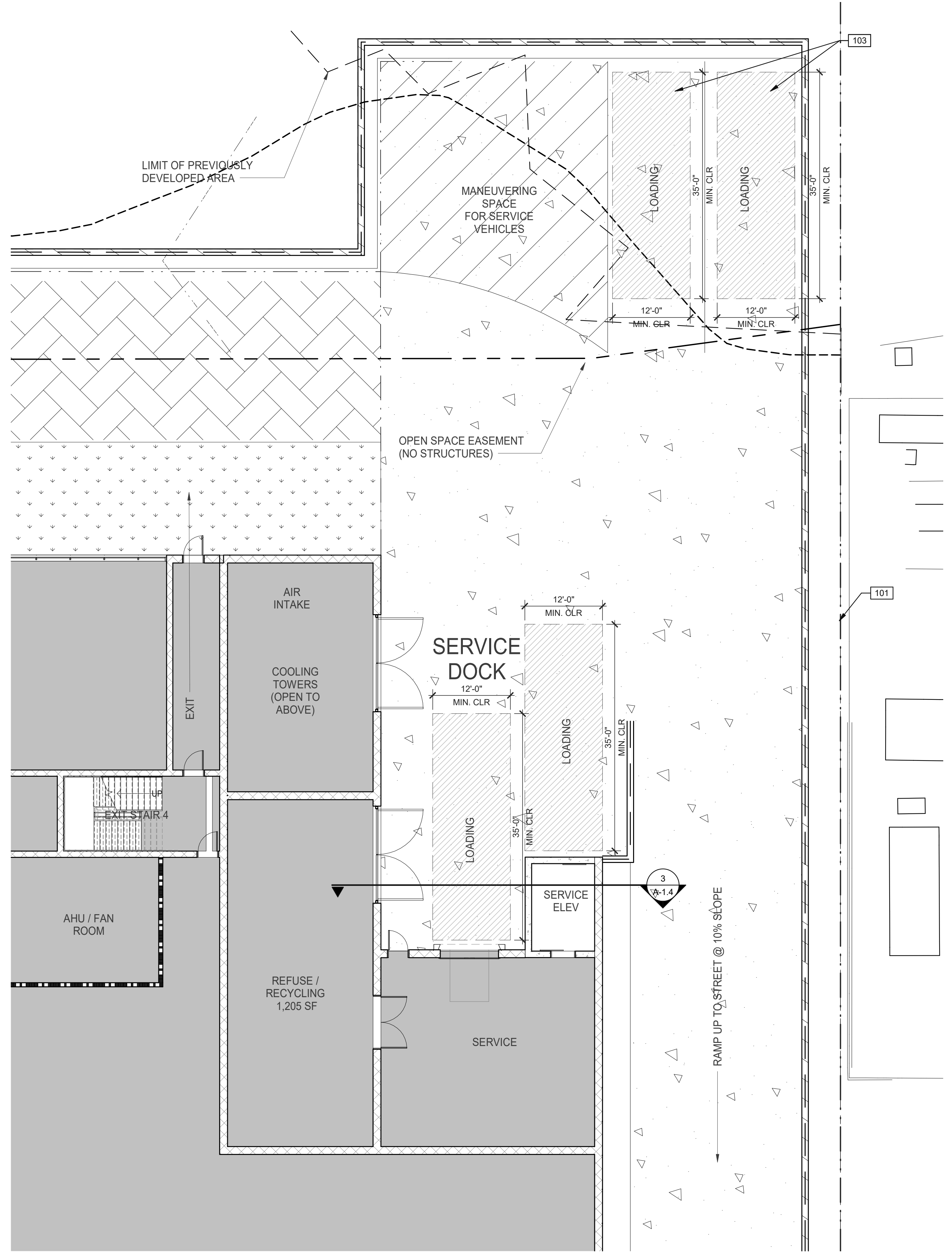


TOTAL SQUARE FOOTAGE FOR 11011 TORREYANA ROAD - 152,080 SF.

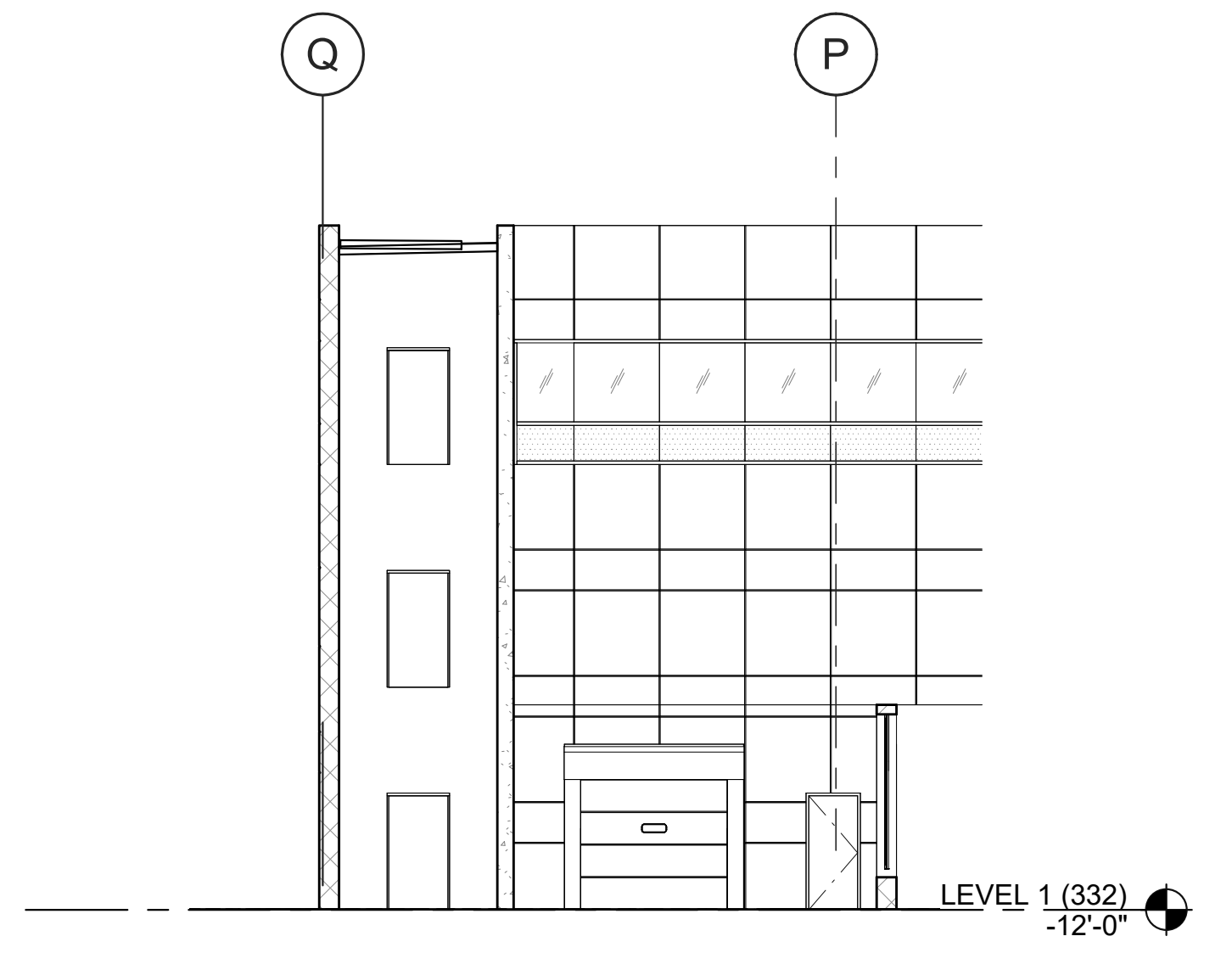
	Min. Parking Ratio per 1000 as per SDMC 142.0530 (c) & Table 142-05G for Research and Development Use in Transit Priority Area	Min. Req. Spaces	Provided No. of spaces for the project
Torreyana - At Grade Parking			
Total Parking	2.1	11	44
EV Charging (CALGREEN Table 5.106.5.3.3)		11	11
Accessible Parking per CBC 11B-208.2		3	4
Clean Air/ Low Emitting CALGREEN 5.106.5.2 (12% Mandatory)		6	6
Bicycle Parking (Short Term) per SDMC 142.0530 (e) (1) (A)		0	3
Bicycle Parking (Long Term) per SDMC 142.0530 (e) (1) (A)		0	0
Motorcycle per SDMC 142.0530 (g)		-	-
Torreyana - Garage Parking			
Total Parking		334	440
EV Charging (CALGREEN Table 5.106.5.3.3)		87	87
Accessible Parking per CBC 11B-208.2		10	12
Clean Air/ Low Emitting CALGREEN 5.106.5.2 (12% Mandatory)		38	38
Bicycle Parking (Short Term) per SDMC 142.0530 (e) (1) (A)		-	-
Bicycle Parking (Long Term) per SDMC 142.0530 (e) (1) (A)		21	24
Motorcycle per SDMC 142.0530 (g)		9	9



ENLARGED SITE PLAN
 SCALE: 1" = 20'-0"
 1/2" = 1"



1"=10'
0 5 10 20 50
DOCK PLAN
SCALE: 1" = 10'-0" ① N



DOCK SECTION
SCALE: 1" = 10'-0" ③

GENERAL PROJECT NOTES

- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR THE MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC SECTIONS 113.070(A)(4)(D) AND 130.0805). THE HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)

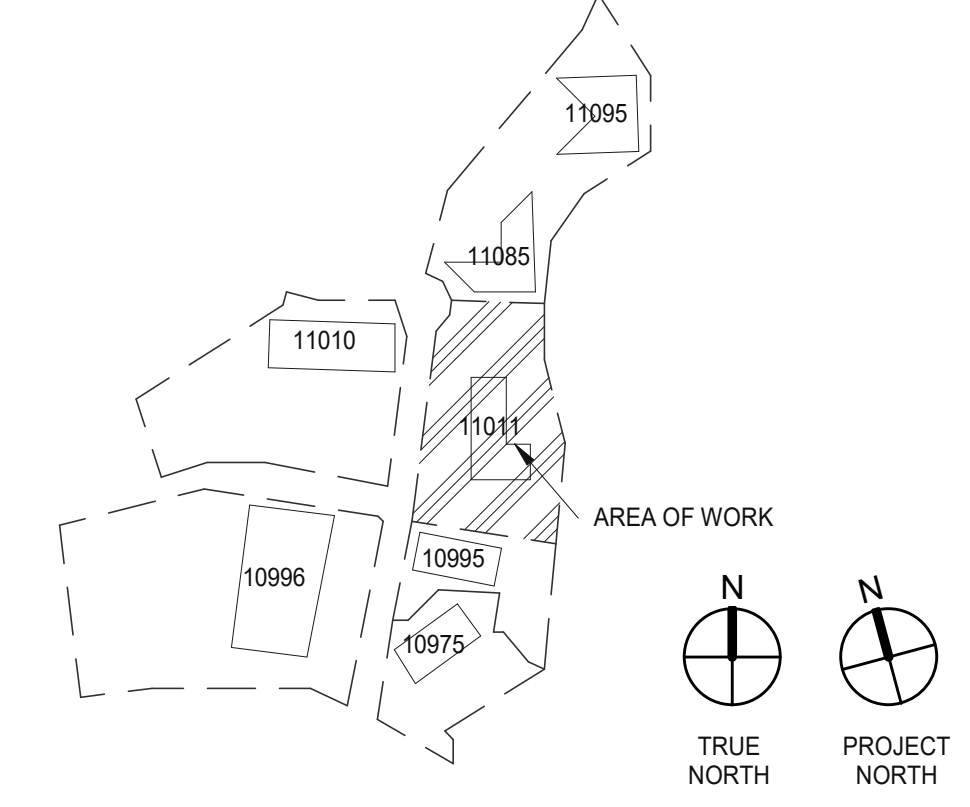
KEYNOTES:

- 101 PROPERTY LINE
- 103 35' X 12' LOADING AREA PER SDMC 140.1010, TYP OF 2 SPACES, UNLIMITED VERTICAL SPACE DIMENSION, NO OVERHEAD OBSTRUCTIONS.

LEGEND

- ACCESSIBLE PATH OF TRAVEL 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE
- EASEMENT LINE
- POLE MOUNTED LIGHT FIXTURE
- WALLPACK LIGHT FIXTURE
- TRANSFORMER WITH CONCRETE PAD (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- LANDSCAPE AND IRRIGATION AREA
- OUTDOOR EATING AND/OR RECREATIONAL FACILITY
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER
- FIRE LANE (HATCHED)
- FAÇADE OF BUILDING OVER 47' IN HEIGHT

KEY PLAN



PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120
 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD.
 SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE: ENLARGED SITE PLAN - LOADING DOCK

ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST GROUP

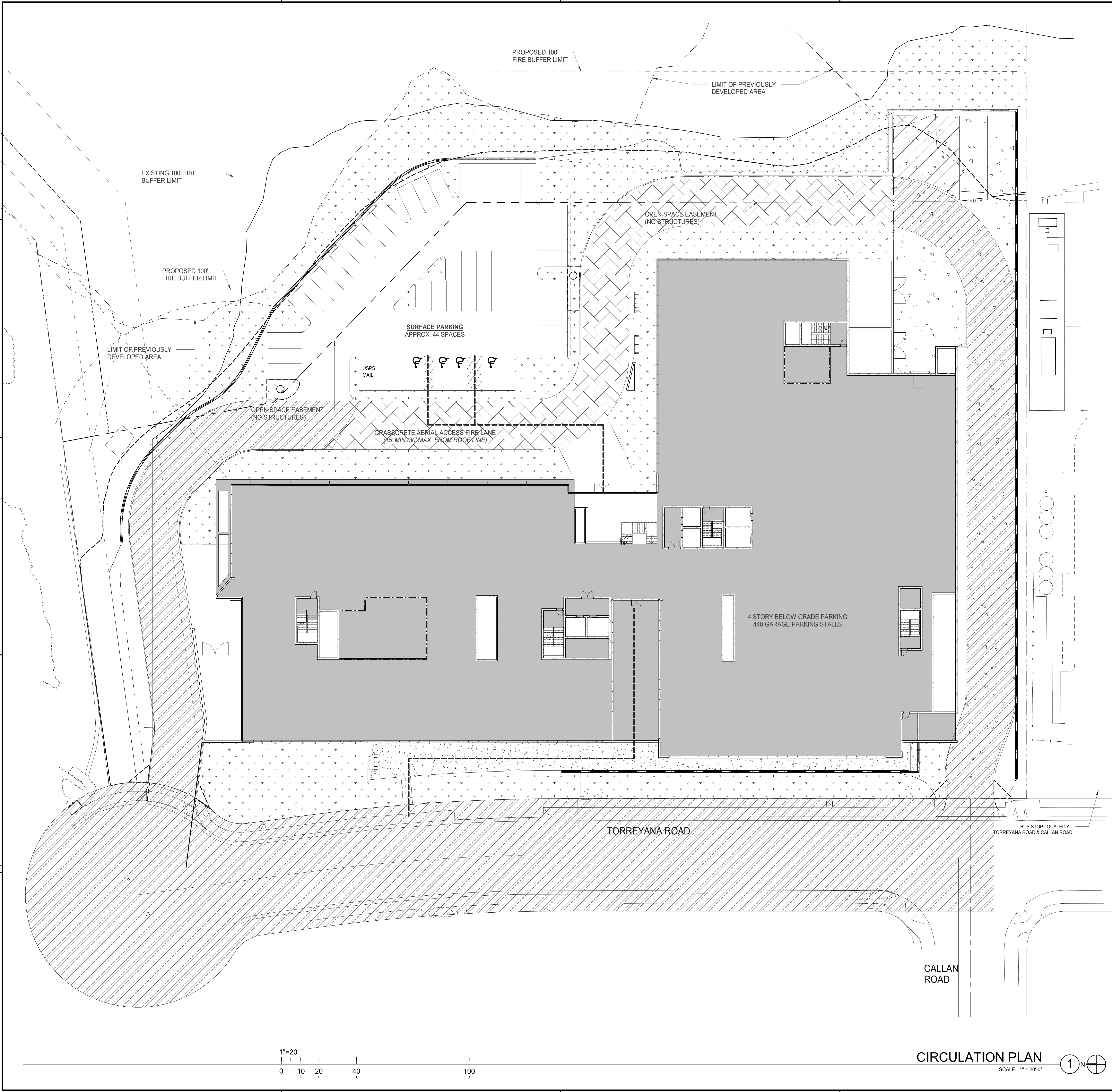
TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

ENLARGED SITE PLAN - LOADING DOCK

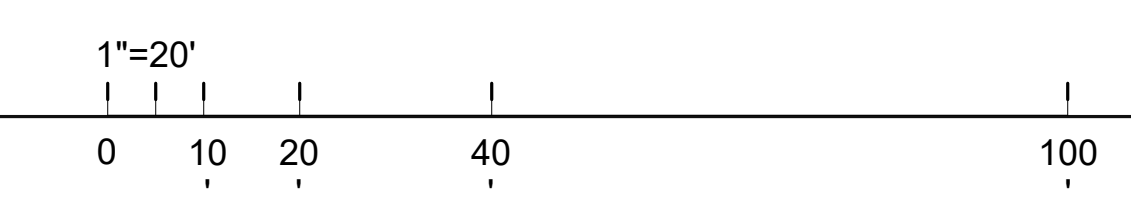
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/02/2023	PLANNING COMMENTS
08/28/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-1.4



LEGENDS
 - - - - - NEW ADA COMPLIANT PATH OF TRAVEL



CIRCULATION PLAN
 SCALE: 1" = 20'-0" 1 N

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120
 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD.
 SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE: CIRCULATION SITE PLAN

ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 3911 Sorrento Valley Blvd., Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST
 GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

CIRCULATION SITE PLAN

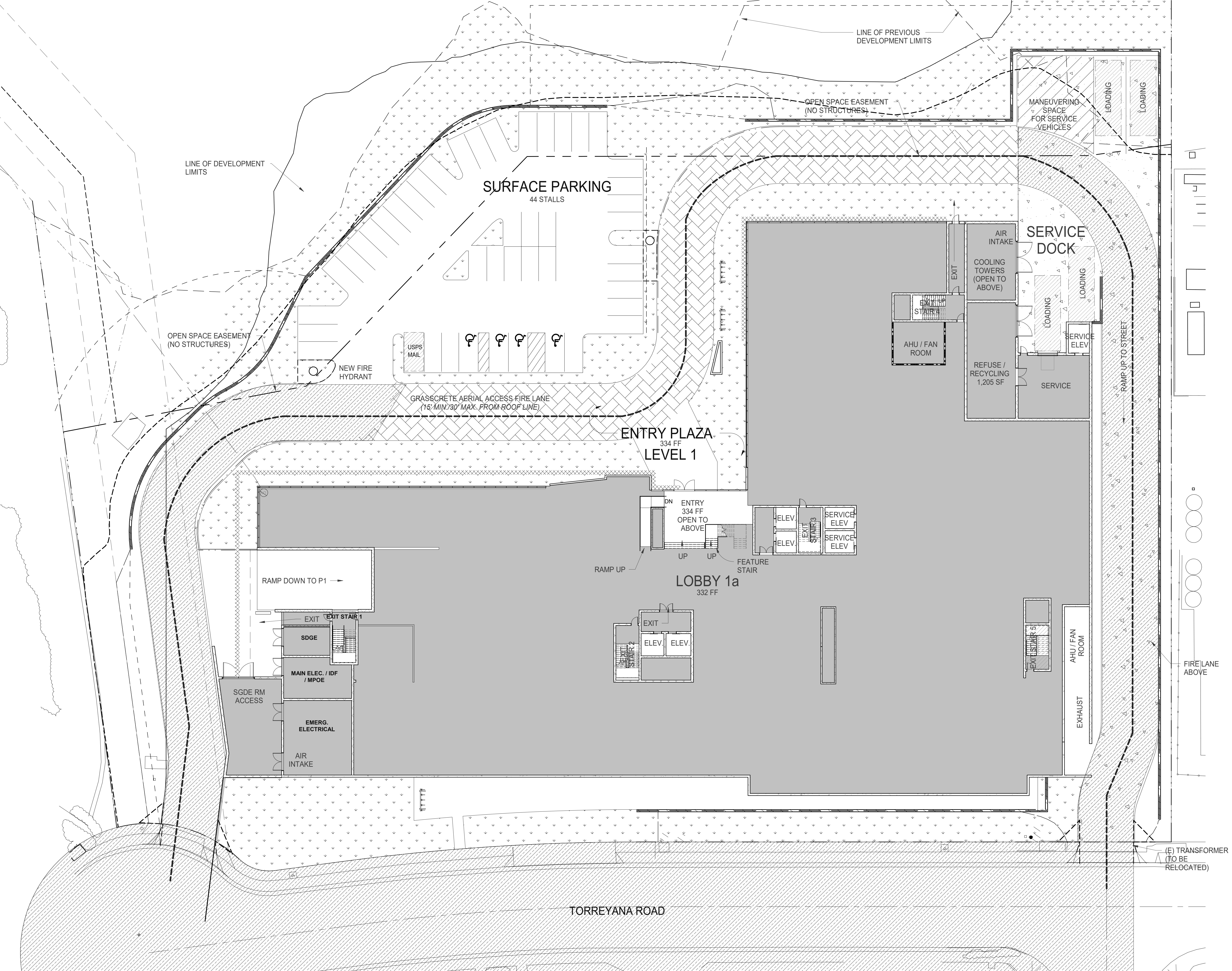
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/04/2022	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-1.6

FIRE ACCESS NOTES

- TO THE APPLICANT: OWNER(S), DEVELOPER(S) AND/OR CONTRACTOR(S): A "DISCRETIONARY" PLAN REVIEW IS "CONCEPTUAL" BY DEFINITION AND DOES NOT CONSTITUTE AN APPROVAL FOR FIRE ACCESS. IT SHALL THEREFORE BE THE INCUMBENT OF THE APPLICANT TO ENSURE THAT A FIRE PLAN REVIEW CYCLE IS PROVIDED DURING THE "MINISTERIAL" REVIEW. ALSO, AN "EXHIBIT A" PACKAGE WITH OR WITHOUT A "FIRE ACCESS PLAN" DOES NOT CONSTITUTE AN APPROVED/FOR ISSUANCE OF CONSTRUCTION/BUILDING PERMIT. 2.CFC 105.4.4
- CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY WITH ALL REQUIREMENTS WITH THE FIRE CODE OFFICIAL REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THESE CODES.
- BUILDING ADDRESS NUMBER(S), LOCATION(S) SHALL BE VISIBLE AND LEGIBLE FROM THE STREET/ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 956.0209
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL OTHER DRIVING CAPABILITIES. CFC 503.2.3
- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.46. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5. SEE APPENDIX D CFC FIGURE D103.1. ALL DIMENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH APPENDIX CFC FIGURE D103.1. ALL DIMENSIONS HAVE BEEN SHOWN ON THE FIRE ACCESS PLAN. TURN RADIUS 30' INSIDE/50' OUTSIDE. SDFP FRP POLICY A141.
- ADDITIONAL HYDRANTS ARE REQUIRED AND/OR WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, VEHICLE IMPACT PROTECTION(S) OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
- PHYSICAL PROTECTION: IF ADDITIONAL HYDRANTS ARE REQUIRED AND/OR WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, VEHICLE IMPACT PROTECTION(S) OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
- WHERE SECURITY GATES ARE INSTALLED, GATES SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200. CFC 503.6
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THERE OF ON EACH FLOOR. CFC SEC. 906
- STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A10BC) AS FOLLOWS:
 - EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - IN EVERY STORAGE AND CONSTRUCTION SHED.
 - ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS. CFC 3315.
- PROVIDE STAIRWAY IDENTIFICATION SIGNS PER CFC 1023.9.1023.9.1.
- CFC 504.1
- NEW BUILDINGS FOUR OR MORE STORIES ABOVE GRADE PLANE, EXCEPT THOSE WITH A ROOF SLOPE GREATER THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL SHALL BE PROVIDED WITH A STAIRWAY TO THE ROOF IN ACCORDANCE WITH 1011.12. SUCH STAIRWAY SHALL BE MARKED AT STREET AND FLOOR LEVELS WITH A SIGN INDICATING THAT THE STAIRWAY CONTINUES TO THE ROOF
- EXTERIOR DOORS AND OPENINGS REQUIRED BY CFC 503.6 SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL. CFC SEC. 504
- CLASS (I) OR (II) OR (III) STANDPIPE OUTLET CONNECTION IS REQUIRED IN OCC. OF 4 OR MORE STORIES IN EVERY LEVEL.
- LEVEL CONNECTION OF EVERY REQUIRED STAIRWAY ABOVE OR BELOW GRADE. OUTLETS AT STAIRWAYS SHALL BE LOCATED WITHIN THE EXIT ENCLOSURE OR, IN THE CASE OF PRESSURIZED ENCLOSURES, WITHIN THE VESTIBULE OR EXTERIOR BALCONY, GIVING ACCESS TO THE STAIRWAY. THERE SHALL BE AT LEAST 1 OUTLET ABOVE THE ROOF LINE WHEN THE ROOF HAS A SLOPE OF MORE THAN 1
- STANDPIPE IS PROVIDED. THE STANDPIPES SHALL BE INTERCONNECTED. CFC 906
- EVERY BUILDING FOUR STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STANDPIPE FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 3313.1
- STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. CFC 3313.1
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER AREAS USED FOR FIRE FIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONS OF ALARM BELLS, HORNS OR STROBES
- DECORATIVE MATERIALS SHALL BE PROVIDED AND/OR MAINTAINED IN A FLAME RETARDANT CONDITION. CFC SEC. 804
- ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC
- 1011.2 BUILDINGS OR FACILITIES HAVING A GROSS BUILDING AREA OF MORE THAN 62,000 SQ. FT. SHALL BE PROVIDED WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS. EXCEPTION: PROJECTS HAVING A GROSS BUILDING AREA OF UP TO 124,000 SQ. FT. THAT HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS. THIS PROJECT EXCEEDS _____ SQ. FT. AND REQUIRES 2 ACCESS ROADS.
- FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE
- FUEL TANKS (TO INCLUDE BELL TANKS OF GENERATOR/EQUIPMENT) REQUIRE PLAN CHECK AND APPROVAL FROM THE TECHNICAL SERVICES SECTION OF THE FIRE DEPARTMENT. TO OBTAIN A BUILDING PERMIT (A NUMBER OR REQUEST A REVIEW FOR PERMIT. CALL (619) 533-4477 TO SCHEDULE AN APPOINTMENT. BUILDING FINAL WILL NOT BE APPROVED UNTIL THE TANK PERMIT HAS BEEN APPROVED.
- ALL FEATURES OF THE FIRE ACCESS ROADS INCLUDING TURNING RADIUS AND DEAD END DESIGN WILL BE IN ACCORDANCE WITH CFC 503 AND APPENDIX D.
- OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED OVER THE AERIAL FIRE APPARATUS ACCESS ROAD OR BETWEEN THE AERIAL FIRE APPARATUS ROAD AND THE BUILDING. OTHER OBSTRUCTIONS SHALL BE PERMITTED TO BE PLACED WITH THE APPROVAL OF THE FIRE CODE OFFICIAL. PER CFC D105.4.
- CFC 507.5.9
- PHYSICAL PROTECTION: IF ADDITIONAL HYDRANTS ARE REQUIRED AND/OR WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, VEHICLE IMPACT PROTECTION(S) OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312.
- WHERE SECURITY GATES ARE INSTALLED, GATES SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200. CFC 503.6
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THERE OF ON EACH FLOOR. CFC SEC. 906
- WHENEVER A FIRE ACCESS LANE/ROAD CROSSES OVER ANY PORTION OF A PROPERTY AND/OR LOT LINE, IT SHALL BE THE APPLICANT'S RESPONSIBILITY TO PROVIDE THE ENTIRETY OF AN EASEMENT AND/OR LOT LINE AGREEMENT DOCUMENT THAT SPECIFICALLY DEFINES THE PORTION OF FILL THAT IS TO BE SECURED FOR "FIRE ACCESS". A GENERAL ACCESS DOCUMENT WILL NOT BE APPROVED. SPECIFIC PORTIONS OF ACCESS SHALL BE DENOTED VIA LEAD LINE NOTATION WITH THE DOCUMENT TYPE AND DOCUMENT NUMBER.
- WHENEVER FIRE ACCESS SHALL BE PROVIDED ON TOP OR OVER A PODIUM AND/OR PARKING STRUCTURE, THE APPLICANT SHALL DISCLOSE THE INTENT FOR THIS TYPE OF ACCESS. THE APPLICANT SHALL ALSO CLEARLY PROVIDE THE FOOTPRINT OUTLINE OF ANY PODIUMS IN RELATION TO ANY ADJACENT FIRE ACCESS LANE AND/OR ROAD. IF, BY DESIGN THE FIRE ACCESS IS INTENDED TO BE ON OR OVER A PODIUMS, THERE ARE VERY SPECIFIC REQUIREMENTS THAT WILL NEED TO BE ADDRESSED FOR APPROVAL AND COMPLIANCE.



PREPARED BY: WARE MALCOMB ARCHITECTS
ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120 SAN DIEGO, CA 92121
PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
PROJECT ADDRESS: 11011 TORREYANA RD. SAN DIEGO, CA 92121
PROJECT NAME: TORREYANA
SHEET TITLE: FIRE ACCESS PLAN

LEGEND

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- - - EASEMENT LINE.
- ☐ POLE MOUNTED LIGHT FIXTURE.
- ☐ WALLPACK LIGHT FIXTURE.
- ☐ TRANSFORMER WITH CONCRETE PAD (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ☐ LANDSCAPE AND IRRIGATION AREA.
- ☐ OUTDOOR EATING AND/OR RECREATIONAL FACILITY.
- PARKING STALL COUNT TOTAL
- ☐ DOCK HIGH TRUCK DOOR
- ☐ GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- FIRE EXTINGUISHER
- P.I.V. WITH TAMPER
- ▨ FIRE LANE (HATCHED)
- ▨ FACADE OF BUILDING OVER 40' IN HEIGHT

FIRE ACCESS PLAN
 SCALE: 1" = 20'-0"
 1 N

MUP PROJECT #:
DEP: **SHEET:** **OF**

WARE MALCOMB
 3911 Sorrento Valley Blvd., Suite #120
 San Diego, CA 92121
 P: 858.638.7277

ARCHITECTURE
 PLANNING
 INTERIORS
 CIVIL ENGINEERING
 BUILDING MEASUREMENT

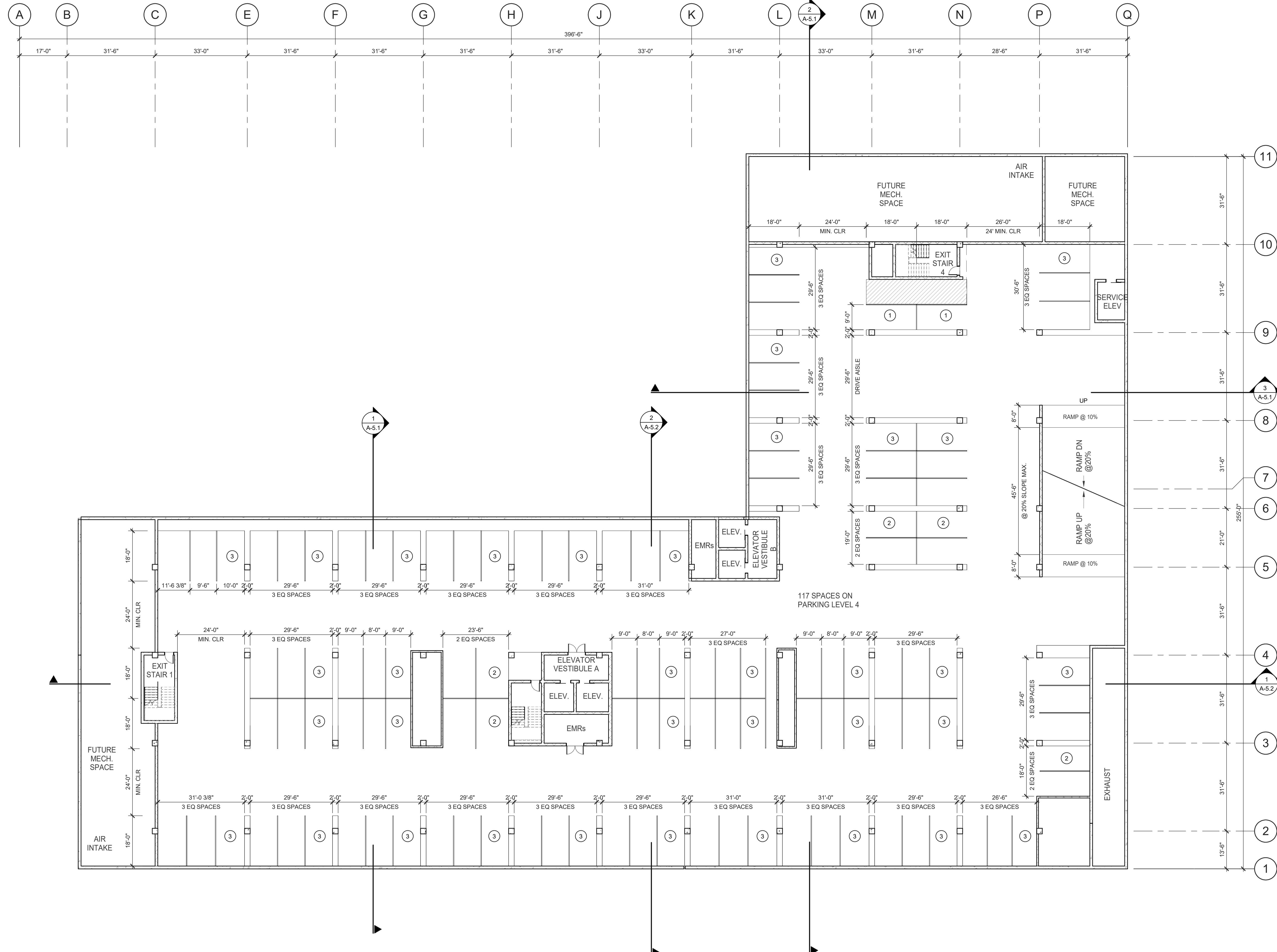
BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

DATE	PRE-SCREEN COMMENTS	REMARKS
06/27/2022		
08/04/2022		
09/26/2023		
02/27/2024		

PAPM: K MIDDLETON
DRAWN BY: HM
JOB NO.: SDG20-0111

SHEET
A-1.7



GENERAL NOTES

SEE SHEET GN02 FOR GENERAL NOTES
 • THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

KEYNOTES:

SEE SHEET TS-1.0 FOR GENERAL NOTES

LEGEND - FLOOR PLAN

- CONCRETE WALL
- CONCRETE WALL WITH FURRING
- CONCRETE MASONRY WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION
- PARKING COUNT TAG

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT

3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 619.638.7277

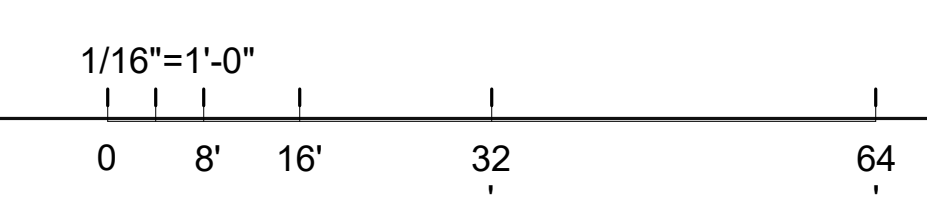
BRIDGEWEST
 GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

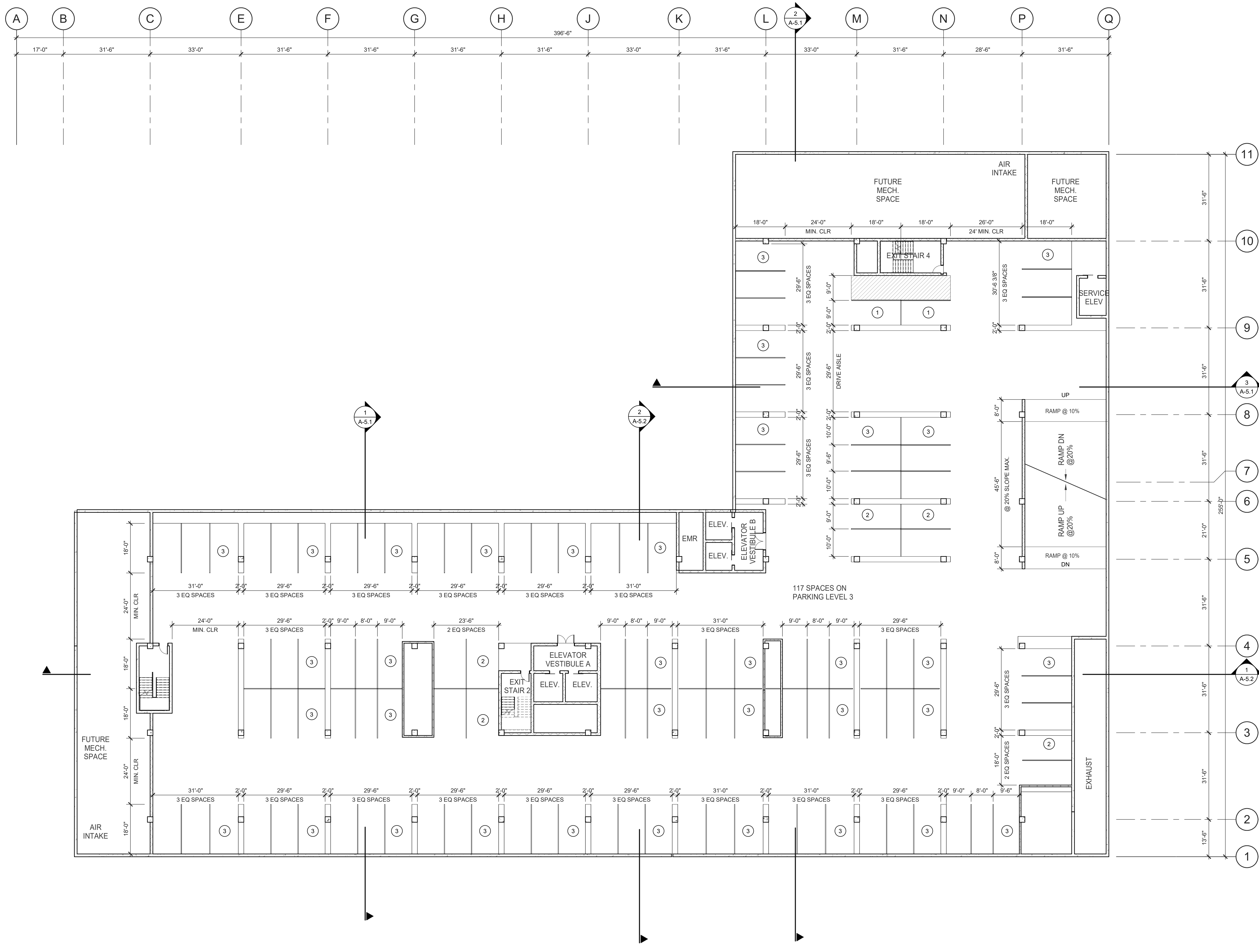
OVERALL - LEVEL P4 BASMENT FLOOR PLAN

DATE	PRE-SCREEN COMMENTS	REMARKS
06/27/2022		
08/04/2022		
08/29/2023		
02/27/2024		

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF



OVERALL - LEVEL P4 FLOOR PLAN
 SCALE: 1/16" = 1'-0" 1 N



GENERAL NOTES

KEYNOTES: 1 2 3
 SEE SHEETS TS-1.0 FOR GENERAL NOTES

LEGEND - FLOOR PLAN

- CONCRETE WALL
- CONCRETE WALL WITH FURRING
- CONCRETE MASONRY WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION
- 0 PARKING COUNT TAG

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120
 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD.
 SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd. Suite #120
 San Diego, CA 92121
 P: 858.638.7277

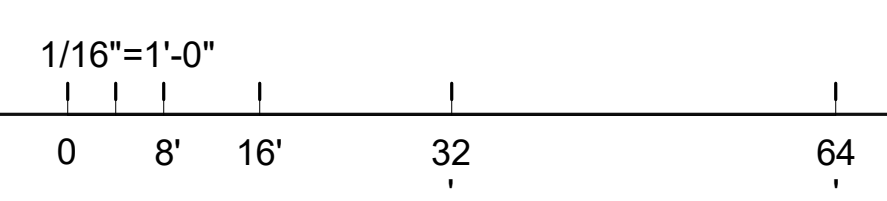
TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

OVERALL - LEVEL P3 BASMENT FLOOR PLAN

DATE	REVISIONS	REMARKS
06/27/2022	1	PRE-SCREEN COMMENTS
08/02/2023	2	PLANNING COMMENTS
08/29/2023	3	PLANNING COMMENTS
09/27/2024	4	PLANNING COMMENTS
	5	PLANNING COMMENTS
	6	PLANNING COMMENTS

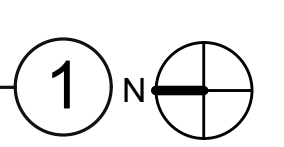
PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

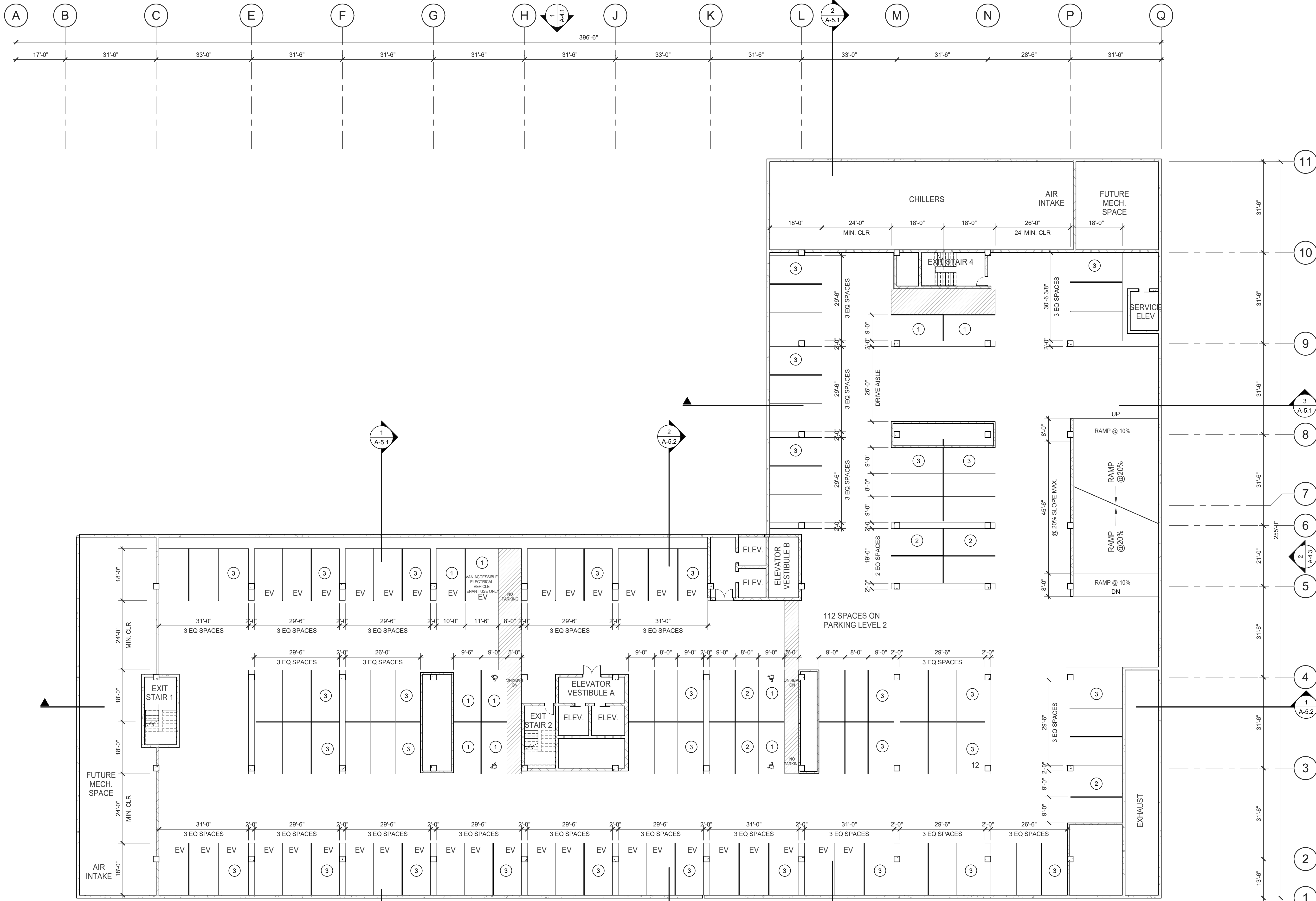
SHEET
A-2.1



OVERALL - LEVEL P3 FLOOR PLAN

SCALE: 1/16" = 1'-0"





GENERAL NOTES

SEE SHEET GM02 FOR GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
3911 Sorrento Valley Blvd, Suite #120
San Diego, CA 92121
P: 619.638.7277

KEYNOTES: [Symbol]

SEE SHEET TS-1.0 FOR GENERAL NOTES

LEGEND - FLOOR PLAN

- CONCRETE WALL
- CONCRETE WALL WITH FURRING
- CONCRETE MASONRY WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION
- PARKING COUNT TAG

TORREYANA LIFE SCIENCE
11011 Torreyana
San Diego, CA

BRIDGEWEST GROUP

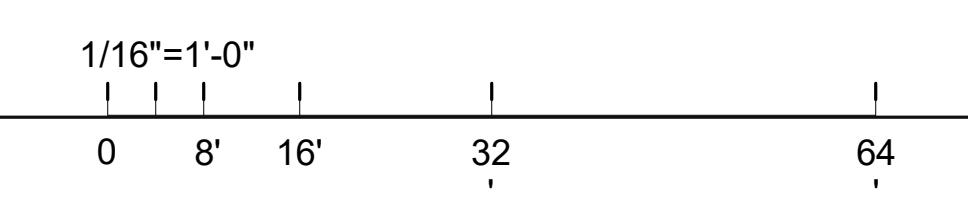
OVERALL - LEVEL P2 BASMENT FLOOR PLAN

DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
07/12/2022	PLANNING COMMENTS
08/29/2022	PLANNING COMMENTS
09/20/2022	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

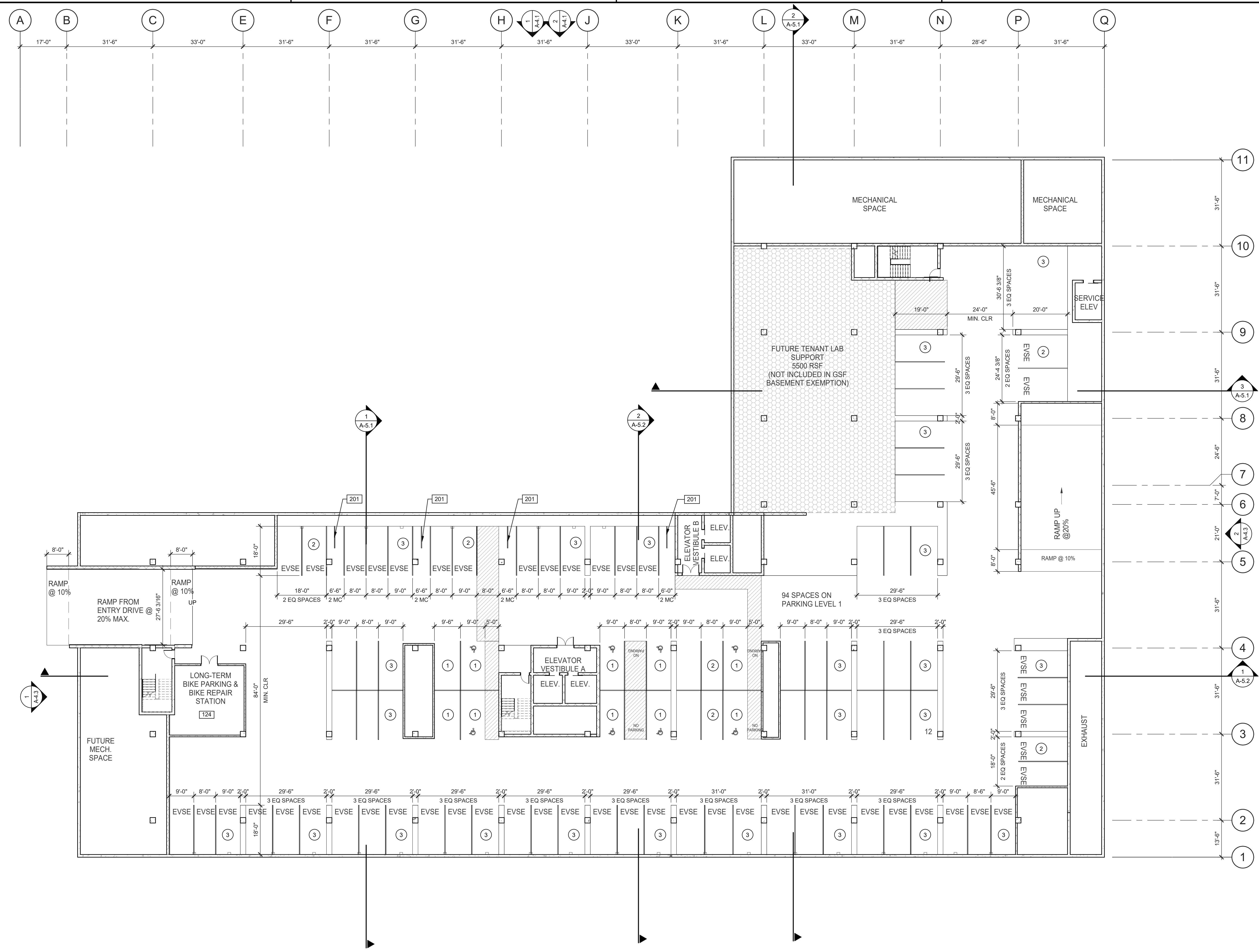
PREPARED BY: WARE MALCOMB ARCHITECTS
ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
PROJECT NAME: TORREYANA
SHEET TITLE:

ORIGINAL PREPARATION DATE:
MUP PROJECT #:
DEP:
SHEET: OF

C:\pwworkspace\11011_Torreyana\11011_Torreyana_P2_Basement.rvt



OVERALL - LEVEL P2 FLOOR PLAN
SCALE: 1/16" = 1'-0"



GENERAL NOTES

KEYNOTES:
 SEE SHEET S-1.0 FOR GENERAL NOTES
 201 MOTORCYCLE PARKING SPACE.

LEGEND - FLOOR PLAN

- CONCRETE WALL
- CONCRETE WALL WITH FURRING
- CONCRETE MASONRY WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION
- PARKING COUNT TAG

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST GROUP

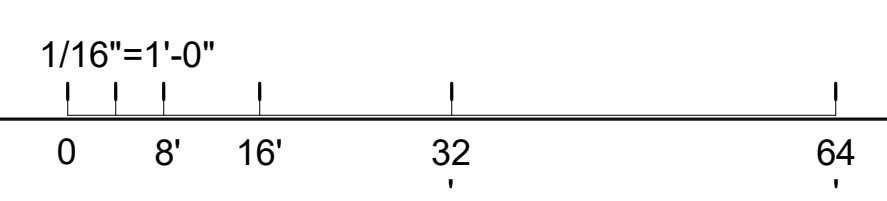
TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

OVERALL - LEVEL P1 BASMENT FLOOR PLAN

DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/04/2022	PLANNING COMMENTS
09/29/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-2.3



OVERALL - LEVEL P1 FLOOR PLAN
 SCALE: 1/16" = 1'-0"

OVERALL - LEVEL 1 FLOOR PLAN

DATE	REVISIONS
06/27/2022	PRE-SCREEN COMMENTS
08/04/2023	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM:	K MIDDLETON
DRAWN BY:	HM
JOB NO.:	SDG20-0111

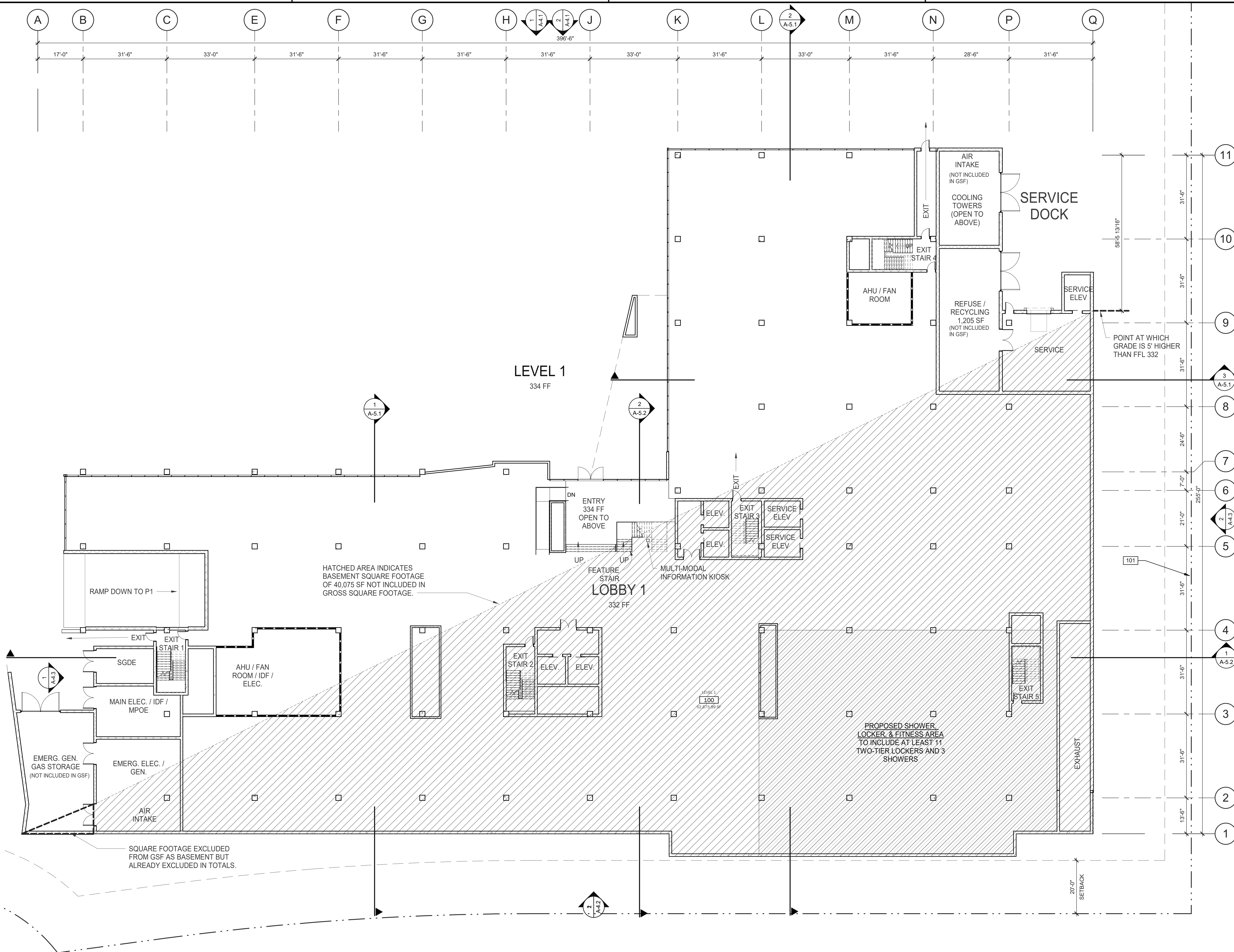
GENERAL NOTES

KEYNOTES: SEE SHEET TS-1.0 FOR GENERAL NOTES
101 PROPERTY LINE.

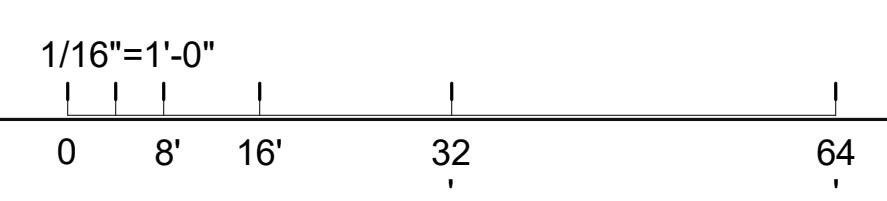
WALL LEGEND

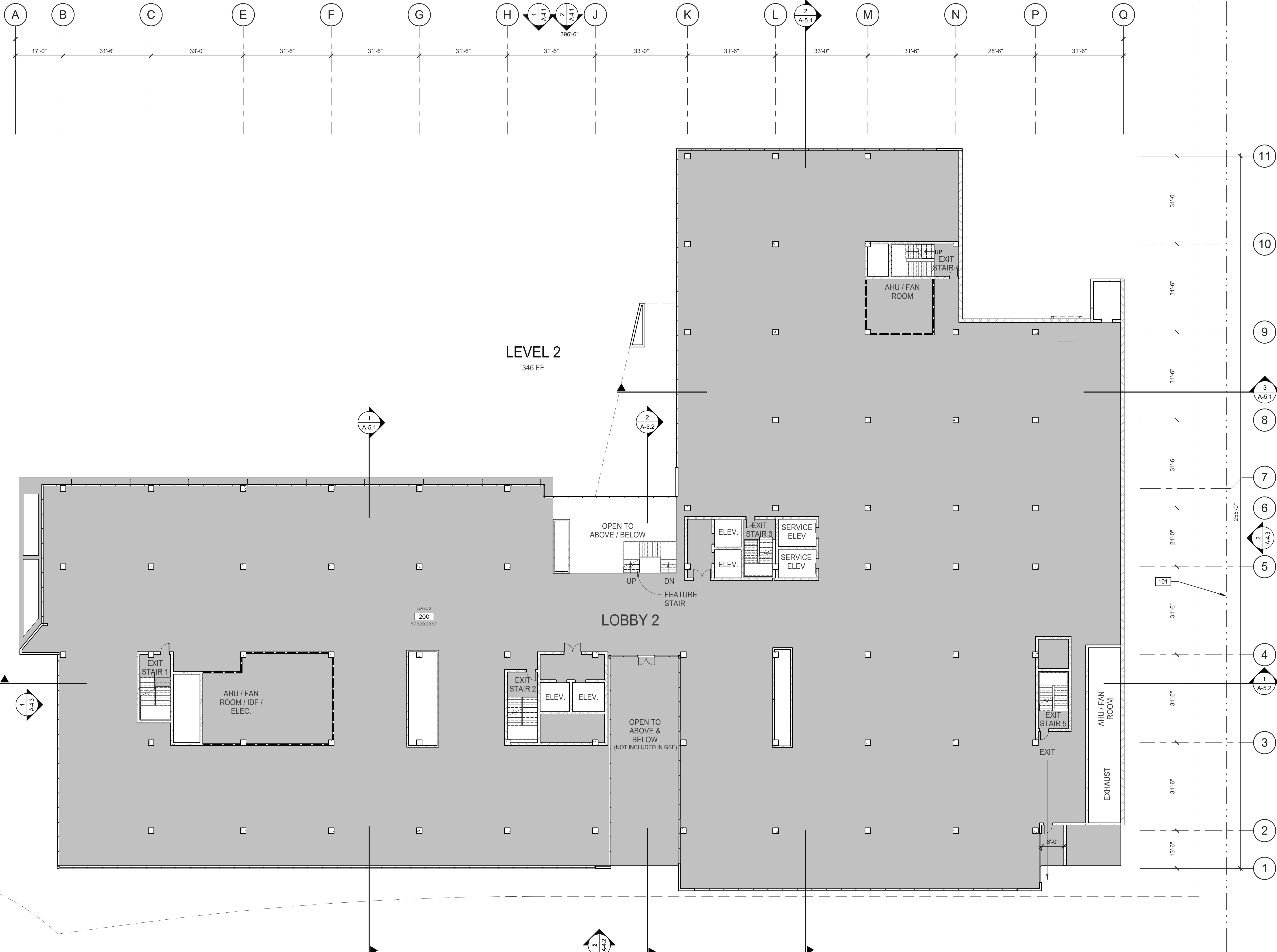
	CONCRETE WALL
	CONCRETE WALL WITH FURRING
	CONCRETE MASONRY WALL
	1HR FIRE-RESISTANCE RATED
	INTERIOR NON-RATED PARTITION
	PARKING COUNT TAG

PREPARED BY: **WARE MALCOMB ARCHITECTS**
 ADDRESS: **3911 SORRENTO VALLEY BLVD, SUITE # 120 SAN DIEGO, CA 92121**
 PHONE NO #: **(858) 638-7277 / KARLA MIDDLETON**
 PROJECT ADDRESS: **11011 TORREYANA RD. SAN DIEGO, CA 92121**
 PROJECT NAME: **TORREYANA**
 SHEET TITLE: _____
 ORIGINAL PREPARATION DATE: _____
 MUP PROJECT #: _____
 DEP: _____ SHEET: **OF**



OVERALL - LEVEL 1 FLOOR PLAN
SCALE: 1/16" = 1'-0"





GENERAL NOTES

SEE SHEET TS-1.0 FOR GENERAL NOTES
 THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

KEYNOTES: [Symbol]

SEE SHEET TS-1.0 FOR GENERAL NOTES

WALL LEGEND

- [Symbol] CONCRETE WALL
- [Symbol] CONCRETE WALL WITH FURRING
- [Symbol] CONCRETE MASONRY WALL
- [Symbol] 1HR FIRE-RESISTANCE RATED
- [Symbol] INTERIOR NON-RATED PARTITION
- [Symbol] PARKING COUNT TAG

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD. SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST
 GROUP

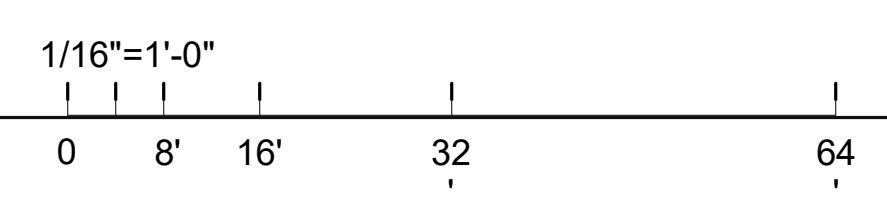
TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

OVERALL - LEVEL 2 FLOOR PLAN

DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/09/2023	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

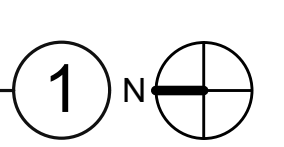
PA/PM:	K MIDDLETON
DRAWN BY:	HM
JOB NO.:	SDG20-0111

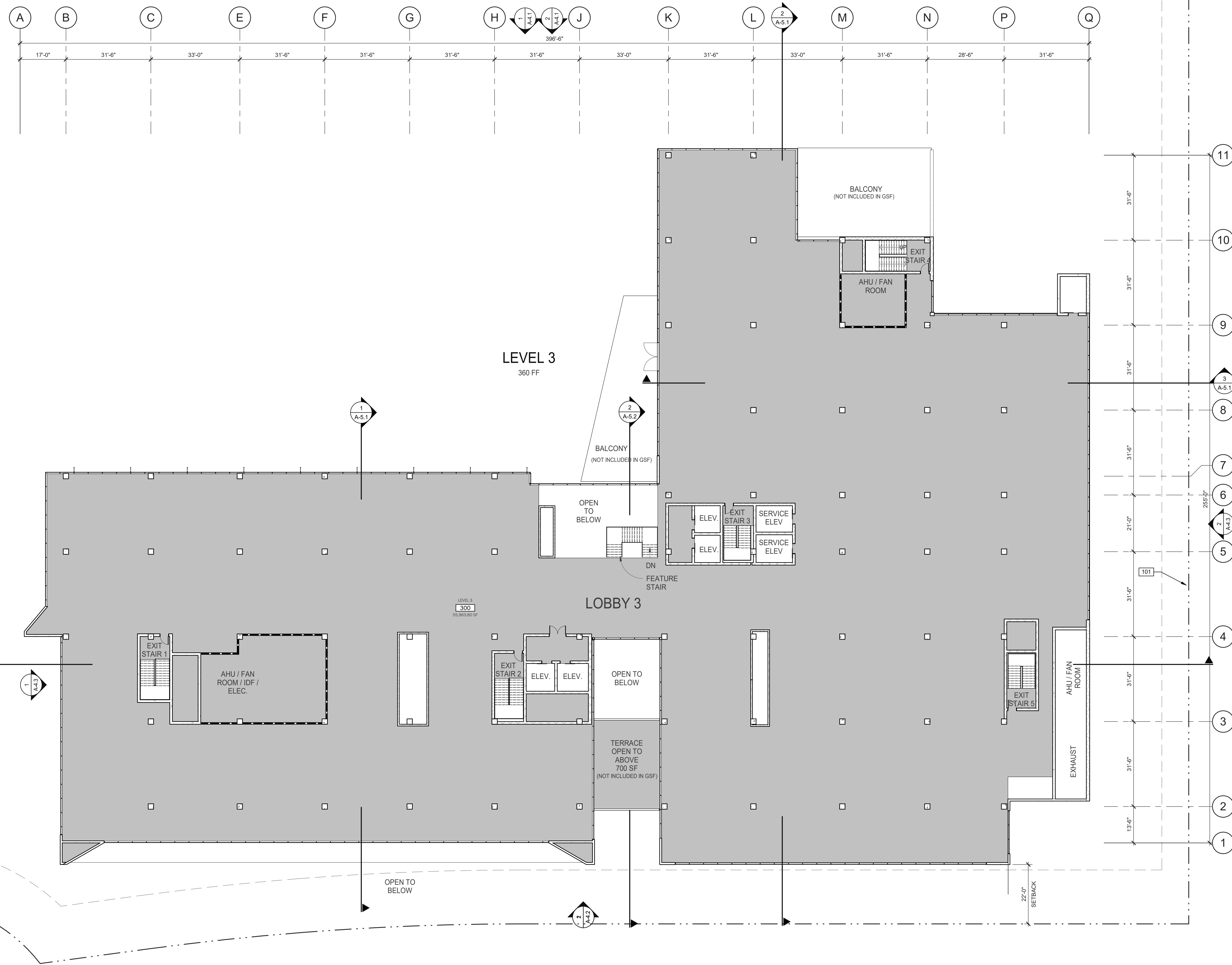
SHEET
A-2.5



OVERALL - LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"





GENERAL NOTES

SEE SHEET A-2.1 FOR GENERAL NOTES
 THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

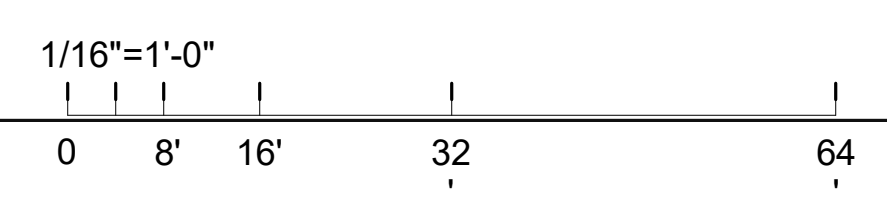
KEYNOTES:

SEE SHEET TS-1.0 FOR GENERAL NOTES

WALL LEGEND

- CONCRETE WALL
- CONCRETE WALL WITH FURRING
- CONCRETE MASONRY WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION
- PARKING COUNT TAG

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE: **OVERALL - LEVEL 3 FLOOR PLAN**
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF



OVERALL - LEVEL 3 FLOOR PLAN SCALE: 1/16" = 1'-0" **1** N

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST GROUP

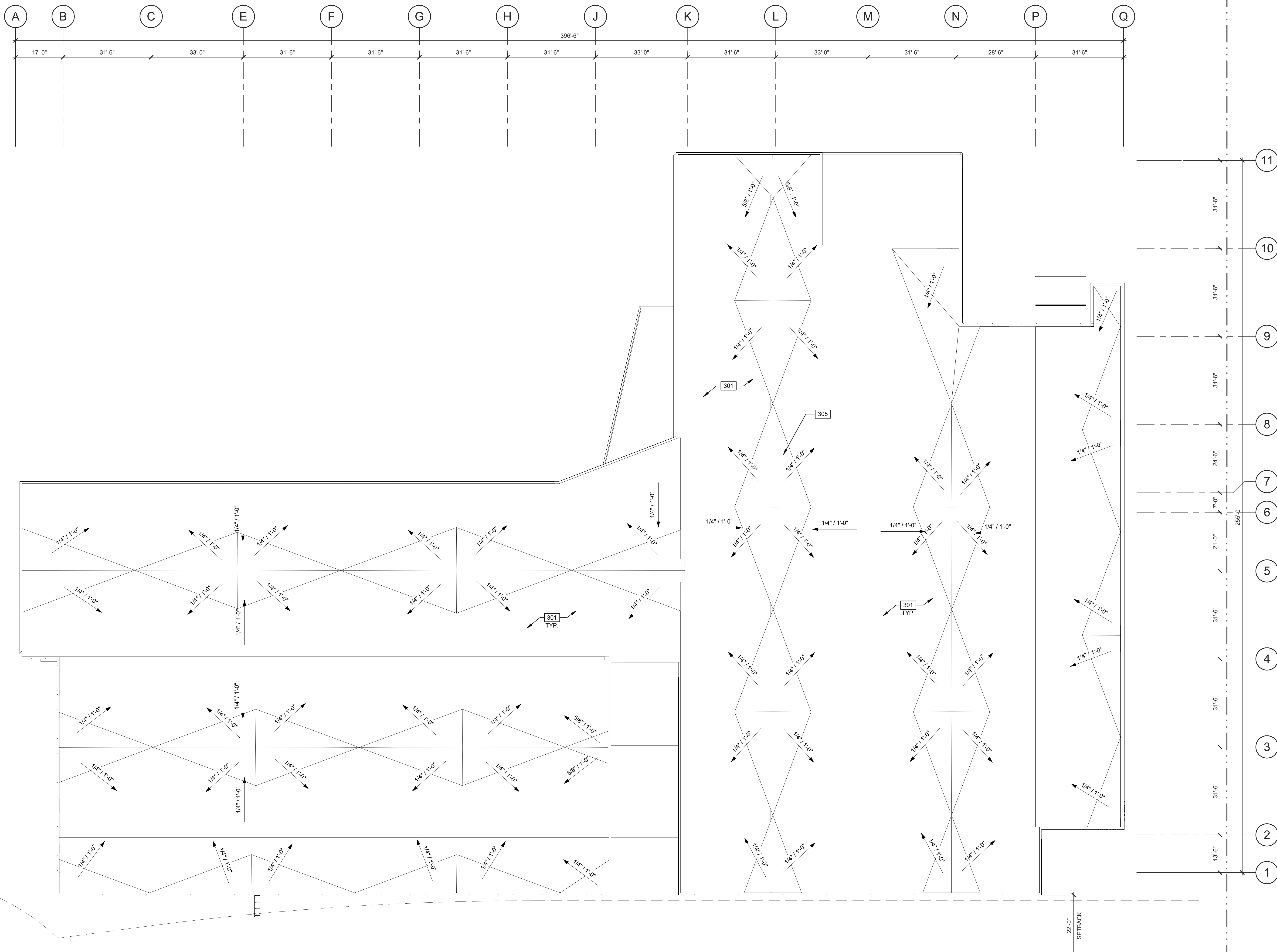
TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

OVERALL - LEVEL 3 FLOOR PLAN

DATE	REVISIONS
06/27/2022	PRE-SCREEN COMMENTS
08/09/2023	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-2.6



GENERAL NOTES

SEE SHEET GN02 FOR GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

KEYNOTES:

- 301 SINGLE PLY REINFORCED, THERMOPLASTIC (TPO) ROOF MEMBRANE, CLASS 'A' 20 YEAR WARRANTY, ROOFING MATERIALS WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE OR SOLAR REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN THE COLUNTARY MEASURES UNDER CALIFORNIA GREEN BUILDING STANDARDS CODE.
- 305 CRICKET: 1/4"=12" SLOPE MIN.

ABBREVIATIONS

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:

ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

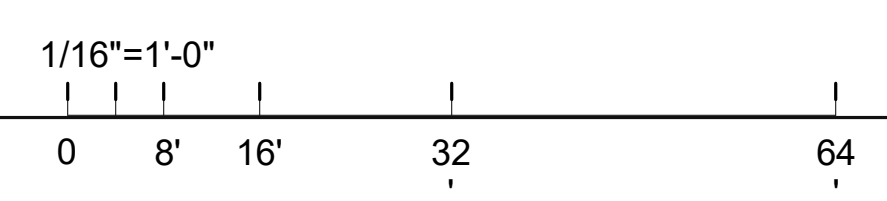
BRIDGEWEST
 GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

OVERALL - ROOF PLAN	
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/09/2023	PLANNING COMMENTS
09/29/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

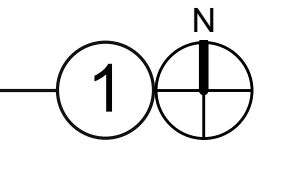
PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-011

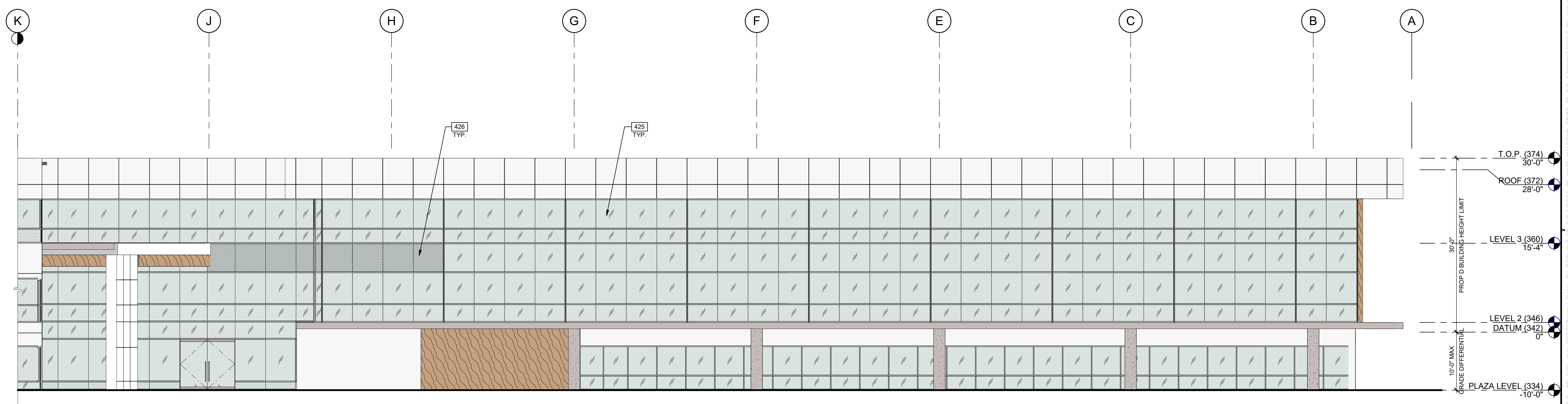
SHEET
A-3.1



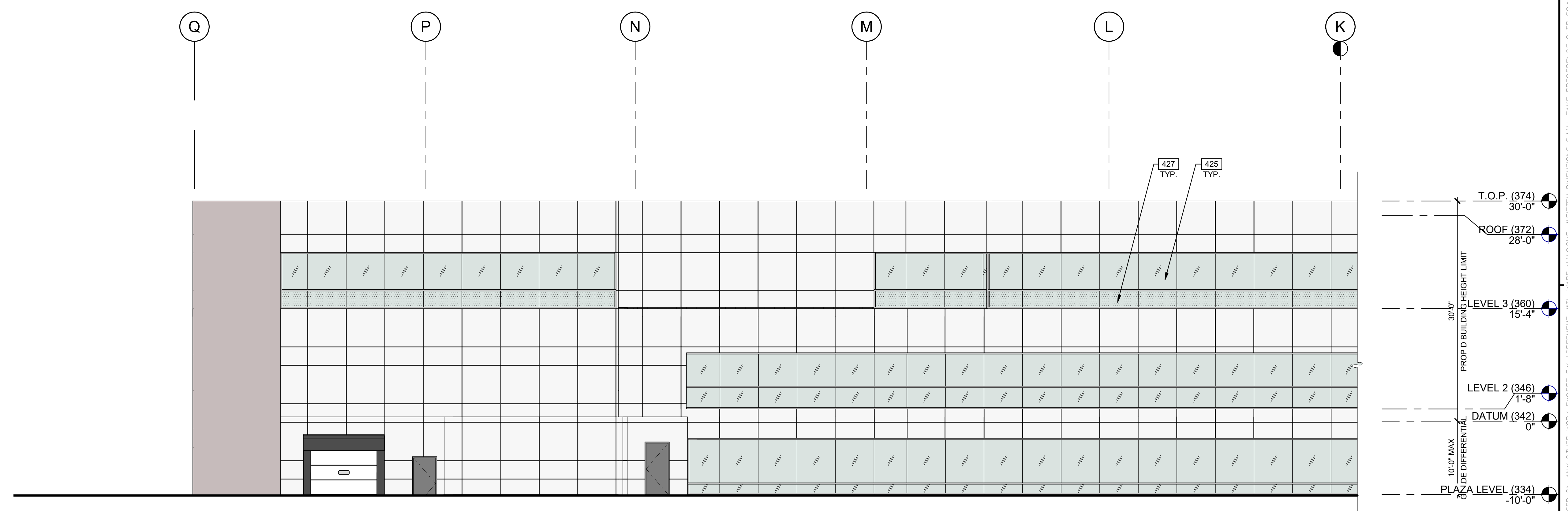
OVERALL - ROOF PLAN

SCALE: 1/16" = 1'-0"





EXTERIOR EAST ELEVATION - A
SCALE: 1/8" = 1'-0" ①



EXTERIOR EAST ELEVATION - B
SCALE: 1/8" = 1'-0" ②

LEGEND

GLASS:	MATERIALS:
VISION GLASS - VIRACON, OPTIGRAY DUAL PANE INSULATED	EQUITONE, FIBER CEMENT PANELS- TECTIVA, COLOR: TE00 OR SIMILAR TO BE APPROVED BY ARCHITECT
SPANDREL GLASS - DUAL PANE WITH OPACITY COATING ON THE 4TH SURFACE. WARM GRAY. CERAMIC PREFERRED.	KNOTWOOD, KEC150, 6" WIDE IN DRIFTWOOD OR SIMILAR TO BE APPROVED BY ARCHITECT
TEMPERED GLASS - VIRACON, OPTIGRAY DUAL PANE INSULATED	

KEYNOTES:

425	VISION GLASS.
426	SPANDREL GLASS.
427	TEMPERED GLASS.

GENERAL NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. A PRECONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120, SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD., SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST GROUP

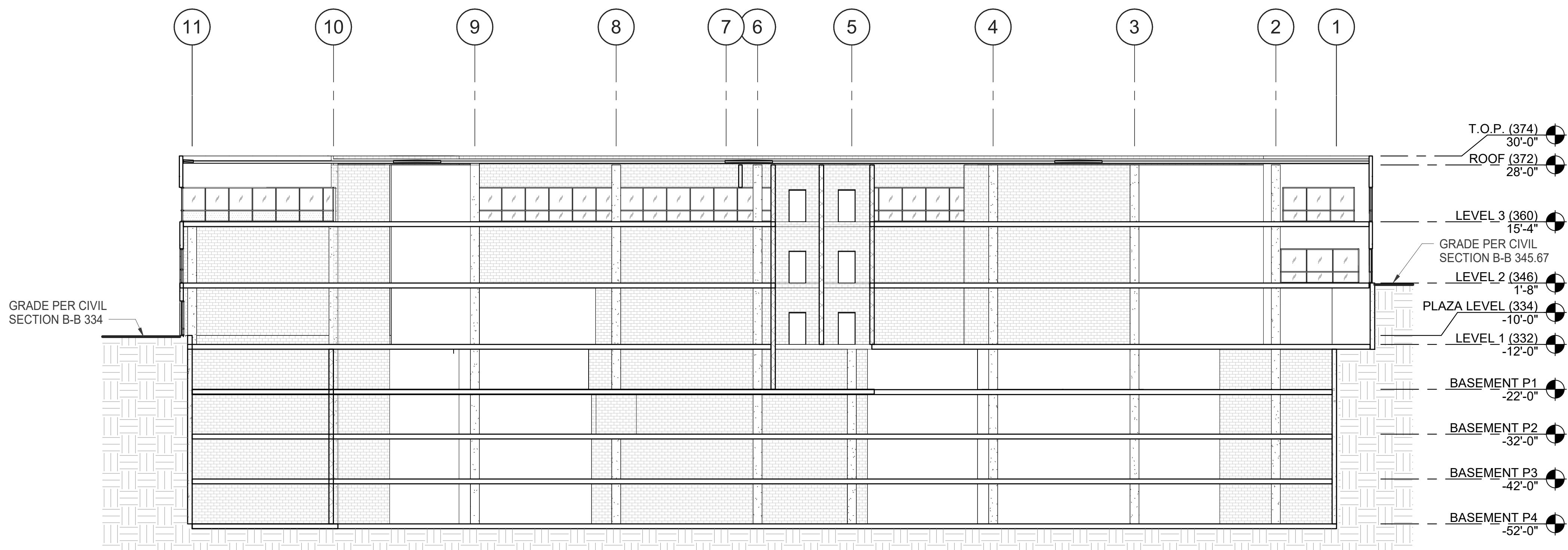
TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

BUILDING ELEVATIONS

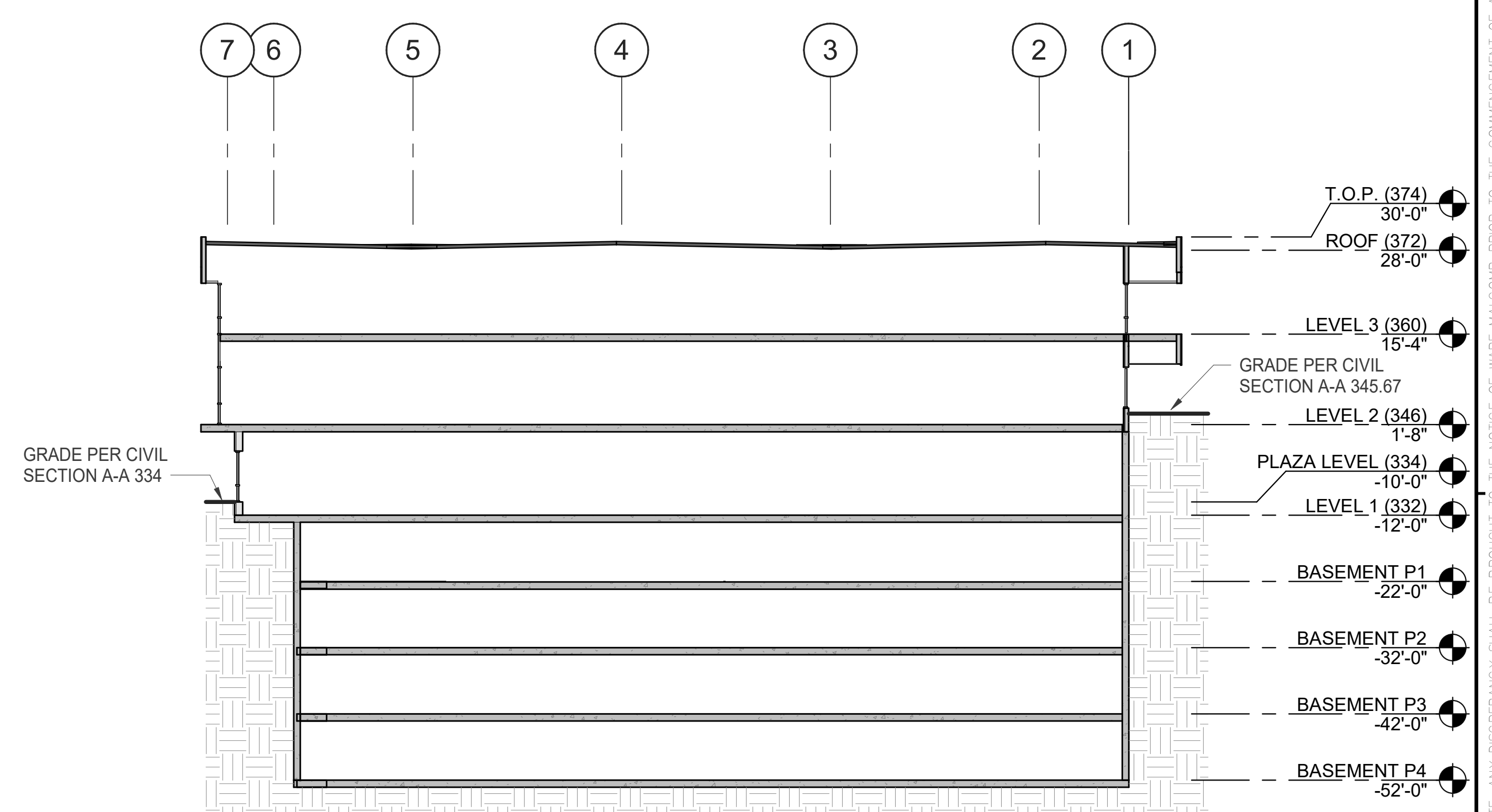
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/04/2023	PLANNING COMMENTS
09/29/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM:	K MIDDLETON
DRAWN BY:	HM
JOB NO.:	SDG20-0111

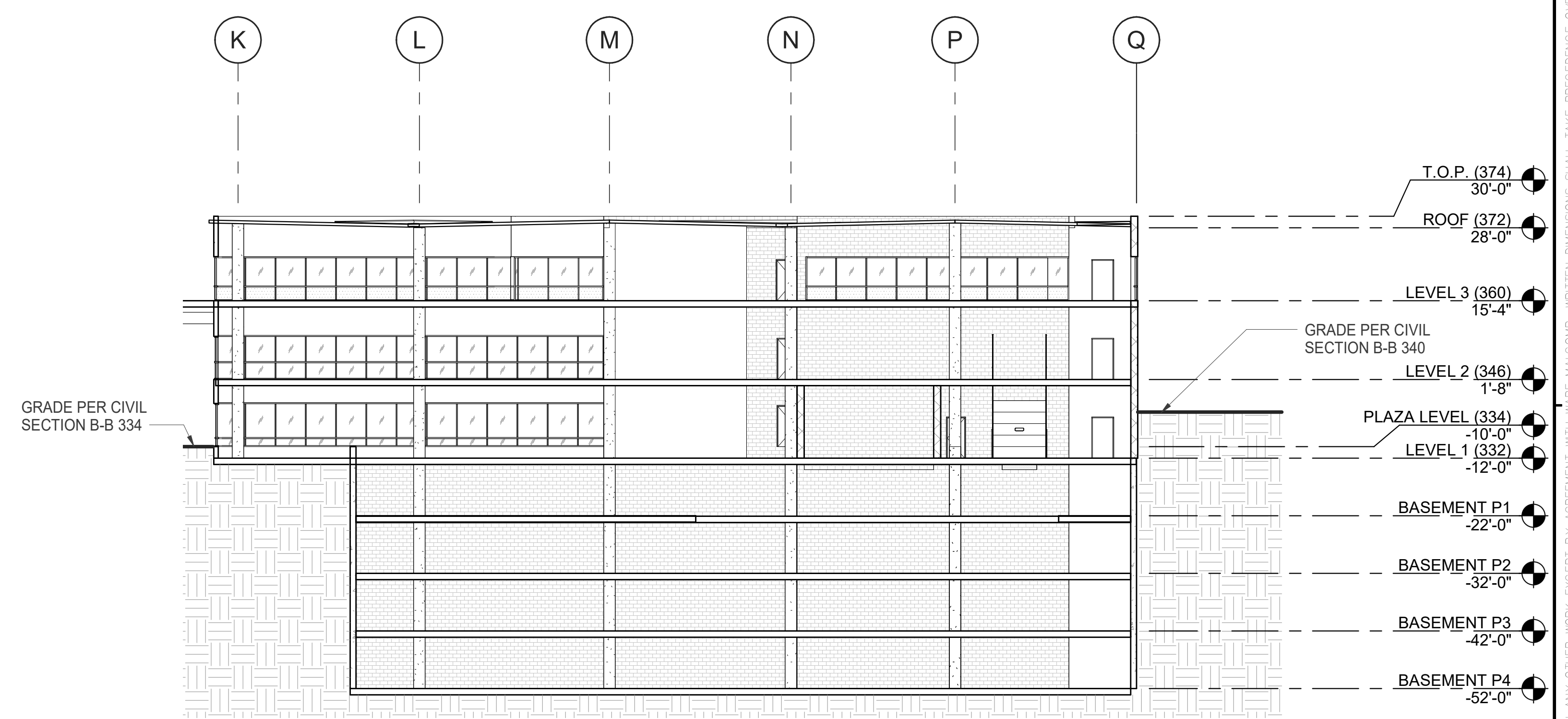
SHEET
A-4.1



BUILDING SECTION 2
SCALE: 1/16" = 1'-0" ②



BUILDING SECTION 1
SCALE: 1/16" = 1'-0" ①



BUILDING SECTION 3
SCALE: 1/16" = 1'-0" ③

LEGEND

KEYNOTES: SEE SHEET TS-1.0 FOR GENERAL NOTES

GENERAL NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. A PRECONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD, SUITE # 120
 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD.
 SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

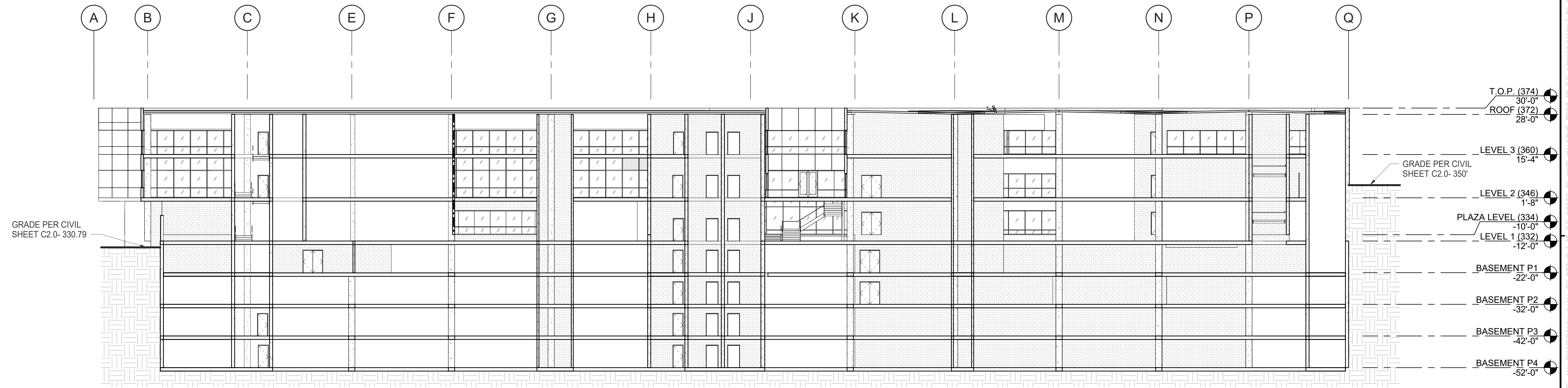
BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

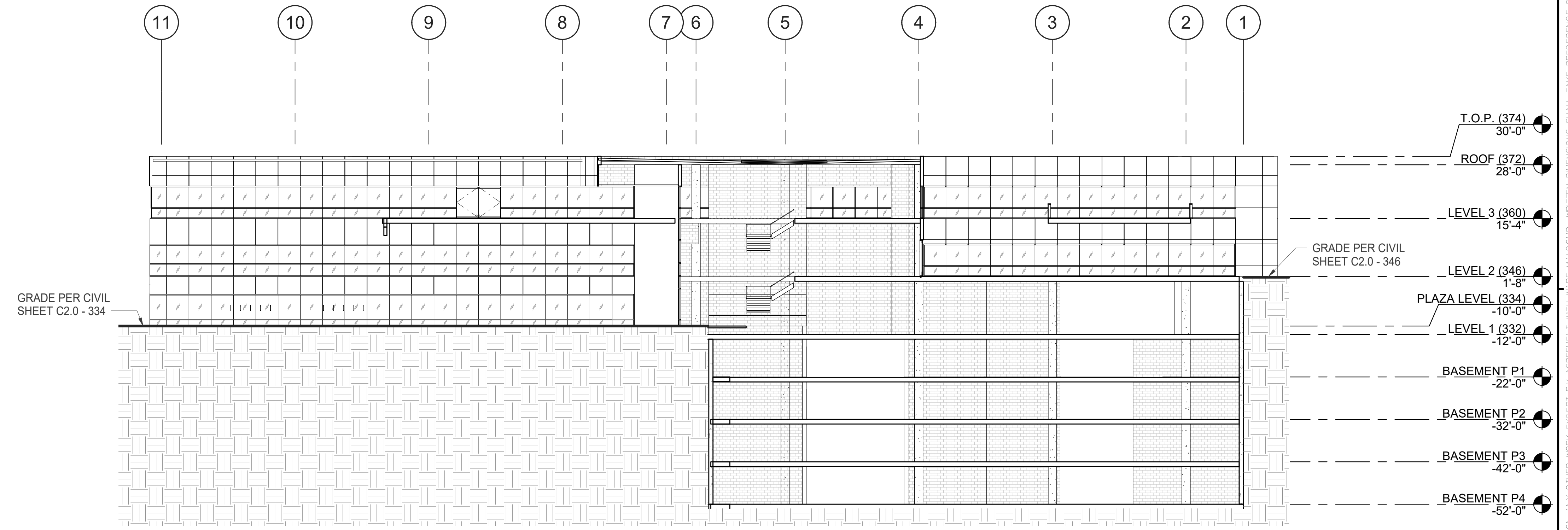
BUILDING SECTIONS	
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/09/2023	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-5.1



BUILDING SECTION 4
SCALE: 1/16" = 1'-0" 1



BUILDING SECTION 5
SCALE: 1/16" = 1'-0" 2

GENERAL NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. A PRECONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE. (PROPOSITION D)

PREPARED BY: WARE MALCOMB ARCHITECTS
 ADDRESS: 3911 SORRENTO VALLEY BLVD. SUITE # 120
 SAN DIEGO, CA 92121
 PHONE NO #: (858) 638-7277 / KARLA MIDDLETON
 PROJECT ADDRESS: 11011 TORREYANA RD.
 SAN DIEGO, CA 92121
 PROJECT NAME: TORREYANA
 SHEET TITLE:
 ORIGINAL PREPARATION DATE:
 MUP PROJECT #:
 DEP: SHEET: OF

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 858.638.7277

BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

BUILDING SECTIONS	
DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
08/01/2023	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

PA/PM: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-5.2

VIEW OF SURFACE PARKING LOT & MAIN ENTRY FROM EAST



VIEW OF MAIN ENTRY PLAZA



WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDS
 INTERIORS
 BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 619.638.7277

BRIDGEWEST
 GROUP

**TORREYANA LIFE
 SCIENCE**
 11011 Torreyana
 San Diego, CA

RENDERINGS

DATE	REMARKS
06/27/2022	PRE-SCREEN COMMENTS
07/20/2022	PLANNING COMMENTS
08/04/2023	PLANNING COMMENTS
09/26/2023	PLANNING COMMENTS
02/27/2024	PLANNING COMMENTS

P/MP: K MIDDLETON
 DRAWN BY: HM
 JOB NO.: SDG20-0111

SHEET
A-6.0

VIEW FROM TORREYANA ROAD



BIRDSEYE VIEW OF BUILDING



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
3911 Sorrento Valley Blvd., Suite #100
San Diego, CA 92121
P: 619.638.7277

BRIDGEWEST
GROUP

**TORREYANA LIFE
SCIENCE**
11011 Torreyana
San Diego, CA

RENDERINGS

DATE	REMARKS
08/02/2023	PLANNING COMMENTS
08/27/2024	PLANNING COMMENTS
08/27/2024	PLANNING COMMENTS

PA/PM: Approver
DRAWN BY: Author
JOB NO.: SDG20-0111

SHEET
A-6.1

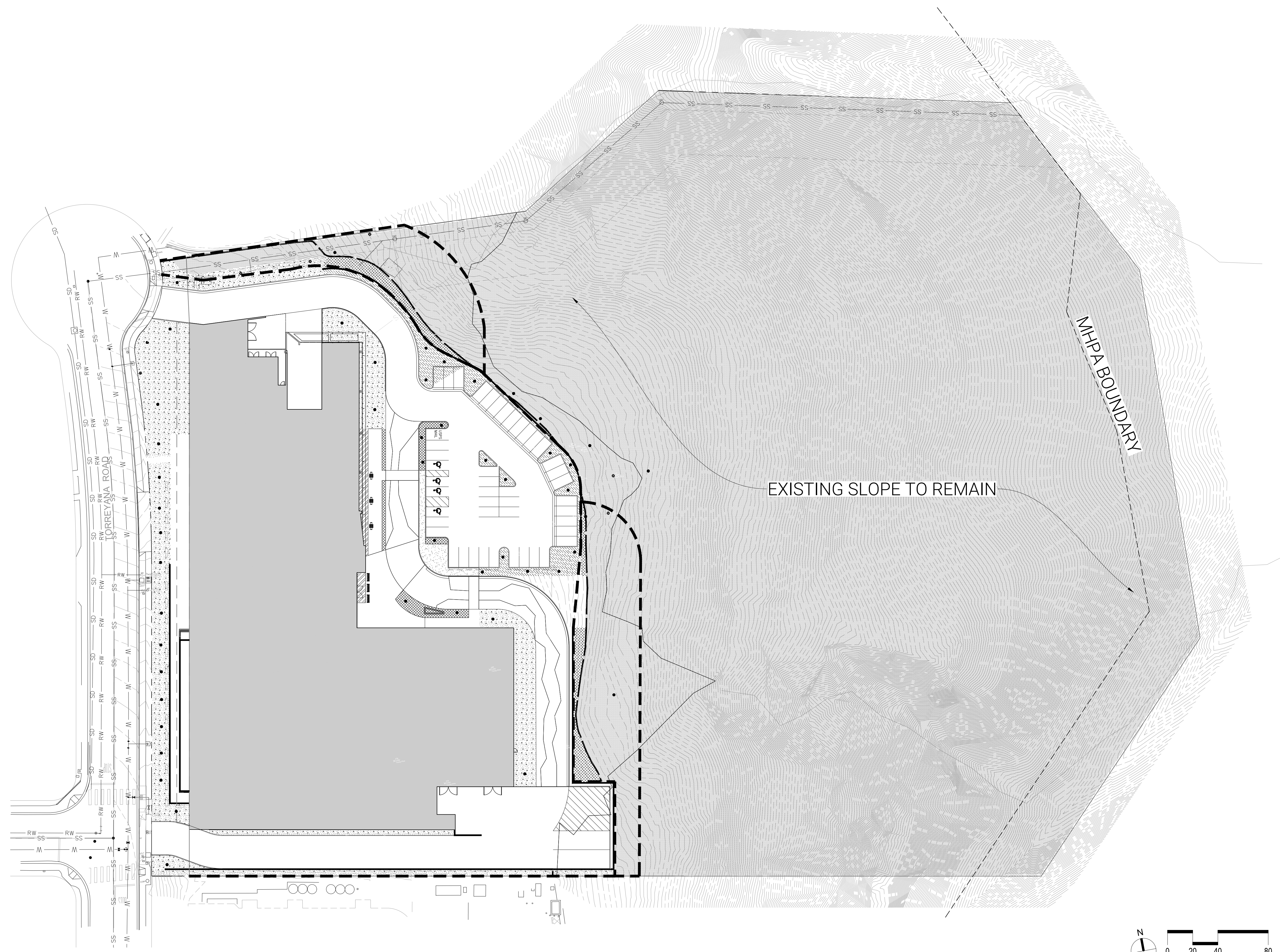
TORREYANA LIFE SCIENCE

LANDSCAPE ENTITLEMENT SET

11011 TORREYANA ROAD, SAN DIEGO, CA, 92121

McCullough
landscape architecture
environmental planning
urban design

McCulloughLA.com
703 4th Street
San Diego, California 92101-100
619.296.3150



Sheet List Table	
Sheet Number	Sheet Title
L-1.00	COVER SHEET
L-2.00	YARD CALCULATIONS
L-3.00	HARDSCAPE PLAN
L-4.00	HYDROZONE MAP
L-5.00	PLANTING PLAN
L-5.01	PLANTING PLAN (2)
L-6.00	BRUSH MANAGEMENT PLAN

DESIGN STATEMENT:

THE GOAL OF THIS PROPOSED LANDSCAPE IS TO COMPLEMENT THE BOLD STATEMENT THAT THE NEW ARCHITECTURE WILL MAKE BY SOFTENING AND NESTLING IT SEAMLESSLY INTO THE SURROUNDING ENVIRONMENT. WE PRIORITIZED HARNESSING VIEWS OVER THE VALLEY, PROMOTING NATIVE VEGETATION AND HABITAT WHILE KEEPING THE EVER-PRESENT RISK OF FIRE IN MIND. THE OVERARCHING GOAL OF ALL DESIGN DECISIONS WAS TO ENHANCE THE EXPERIENCE OF THE DAILY USER OF TORREYANA LIFE SCIENCE. WE ACHIEVE THIS BY DESIGNING THE SPACE TO ENSURE A SMOOTH FLOW FOR USERS WITH POCKETS OF COMFORTABLE SPACES FOR PAUSE, REST, AND REFLECTION.

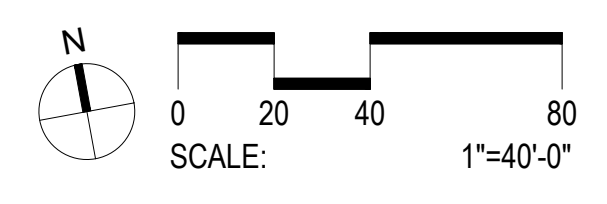
MORE SPECIFICALLY, A KEY FEATURE OF THIS PROJECT IS THE HYBRIDIZATION OF THE IDEA OF A FIRE ACCESS ROAD WITH THAT OF A PLEASANT PEDESTRIAN PROMENADE LINED WITH SHADE TREES AND GREEN SPACE. THIS PROJECT IS BUILT ON THE IDEAL OF ENCOURAGING DAILY USERS TO GATHER AND LINGER OUTSIDE TO IMPROVE THEIR WELL BEING DURING OTHERWISE LONG WORK DAYS WITHOUT COMPROMISING THE IDEAL OF BEING SAFE AND ACCESSIBLE. IN THE EVENT OF NATURAL DISASTER, A KNOWN RISK IN THE SURROUNDING FOOTHILLS OF THE AREA.

TORREYANA LIFE SCIENCE
11011 Torreyana Rd.
San Diego, CA

COVER SHEET	
DATE	REMARKS

PA/PM: DM/ZM
DRAWN BY: MLA
JOB NO.: SDG20-0111

SHEET
L-1.00





Landscape Calculations Worksheet

VEHICULAR USE AREA (>6,000 sf) (\$142.0106 - \$142.0107)

Planting Area Required	Planting Area Provided	Excess Area Provided
VUA 1000 Street Yard: 14.7 Sq. Ft. x 0.03 = 77.35 Points	587	509.65
VUA 1000 Street Yard: 6.366 Sq. Ft. x 0.03 = 190.98 Points	2000	1-38.77

Planting Points Required: 268.33 Points

Planting Points Provided: 587 Points

Excess Points Provided: 318.67 Points

VEHICULAR USE AREA (>6,000 sf) (\$142.0106 - \$142.0107)

Planting Points Required	Planting Points Provided	Excess Points Provided
VUA 1000 Street Yard: 14.7 Sq. Ft. x 0.03 = 77.35 Points	587	509.65
VUA 1000 Street Yard: 6.366 Sq. Ft. x 0.03 = 190.98 Points	2000	1-38.77

Planting Points Required: 268.33 Points

Planting Points Provided: 587 Points

Excess Points Provided: 318.67 Points

Street Tree Requirement

1 Tree per 30 LF of street frontage, excluding Curb Cuts and Designated Bus Stops

Name of Street	Required trees	Proposed Trees
TORREYANA ROAD	18	18

YARD SCHEDULE

SYMBOL	DESCRIPTION	QTY	MATERIAL
R-102	STREET YARD	12,240 SF	AREA BETWEEN THE FRONT PROPERTY LINE AND THE STREET WALL
R-103	FACADE AREA	4,303 SF	PORTION OF THE STREET YARD WITHIN A 10 FOOT OFFSET FROM THE LENGTH OF THE STREET WALL
R-104	REMAINING YARD / COMMON OPEN SPACE	30,548 SF	PORTION OF THE YARD NOT WITHIN THE STREET YARD, FROM SETBACK TO PROPERTY LINE
R-105	VEHICULAR USE AREA OUTSIDE STREET YARD	46,366 SF	AREA OF A PREMISES USED FOR PARKING AND VEHICULAR TRAFFIC, EXCLUDING COVERED OR UNDERGROUND STRUCTURES OUTSIDE STREET YARD
R-106	VEHICULAR USE AREA WITHIN STREET YARD	1,447 SF	AREA OF A PREMISES USED FOR PARKING AND VEHICULAR TRAFFIC, EXCLUDING COVERED OR UNDERGROUND STRUCTURES WITHIN STREET YARD

Landscape Calculations Worksheet: Industrial

Industrial development in All Zones except RM35, RM (residential multiple) and Commercial Zones.

SHEET YARD (\$142.0101 - \$142.0104)

Planting Area Required	Planting Area Provided	Excess Points Provided
TOTAL SHEET YARD AREA: 15,981 Sq. Ft. x 0.0075 = 119.86 Points	877	757.14

Planting Points Required: 119.86 Points

Planting Points Provided: 877 Points

Excess Points Provided: 757.14 Points

Planting Area Reduction (Using excess points, if applicable)

Planting Area Reduction	Maximum Reduced Planting Area	Excess Points Required for Allowed Reduction
PLANTING AREA (SCHEDULE): 822 Sq. Ft. x 0.0075 = 6.17 Points	2867	995.5

Planting Area Reduction: 6.17 Points

Maximum Reduced Planting Area: 2867

Excess Points Required for Allowed Reduction: 995.5

Final Planting Area Required with All Applicable Reductions

Planting Area Required	Excess Plant Point Reduction	Final Planting Area Required
119.86	757.14	7867

Final Planting Area Required: 7867

Final Planting Area Provided

Planting Area Provided	Excess Area Provided
877	757.14

Final Planting Area Provided: 877

Final Excess Area Provided: 757.14

TOTAL PLANTING AREA (\$142.0101 - \$142.0104)

Planting Area Required	Planting Area Provided	Excess Points Provided
TOTAL PLANTING AREA: 991 Sq. Ft. x 0.0075 = 7.43 Points	2955	2947.57

Planting Points Required: 7.43 Points

Planting Points Provided: 2955 Points

Excess Points Provided: 2947.57 Points

REMAINING YARD (\$142.0404 - \$142.0405)

Planting Area Required	Planting Area Provided	Excess Points Provided
REMAINING YARD: 2022.5 Sq. Ft. x 0.0075 = 15.17 Points	10313	10297.83

Planting Points Required: 15.17 Points

Planting Points Provided: 10313 Points

Excess Points Provided: 10297.83 Points

Planting Area Reduction (Using excess points, if applicable)

Planting Area Reduction	Maximum Reduced Planting Area	Excess Points Required for Allowed Reduction
PLANTING AREA (SCHEDULE): 2955 Sq. Ft. x 0.0075 = 22.16 Points	4811	644.75

Planting Area Reduction: 22.16 Points

Maximum Reduced Planting Area: 4811

Excess Points Required for Allowed Reduction: 644.75

Final Planting Area Required with All Applicable Reductions

Planting Area Required	Excess Plant Point Reduction	Final Planting Area Required
15.17	10297.83	7734

Final Planting Area Required: 7734

Final Planting Area Provided

Planting Area Provided	Excess Area Provided
10313	2578

Final Planting Area Provided: 10313

Final Excess Area Provided: 2578

PLANT POINTS NOTE:
 PLANT POINT CALCULATIONS SHOWN AT ENTITLEMENT PHASE ARE ESTIMATED ACCOUNTING FOR NATIVE VEGETATION TO BE PRESERVED. PROPOSED PLANTING AREAS PROVIDED. AVERAGE PROPOSED PLANT SPACING AND AVERAGE PROPOSED CONTAINER SIZES. FINAL PLANT POINTS ARE TO BE CALCULATED WHEN INDIVIDUAL PLANT CONTAINERS ARE SELECTED AND PLACED AT NEXT SUBMITTAL PHASE.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WIRE WALKING AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT IN AGREEMENT WITH WIRE WALKING. WRITERS' DIMENSIONS SHALL TAKE PRECEDENCE OVER SCHEDULE DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WIRE WALKING PRIOR TO THE COMMENCEMENT OF ANY WORK.

McCulloughLA.com
 703 466 Street Suite 500
 San Diego, California 92101-100
 619.296.3150

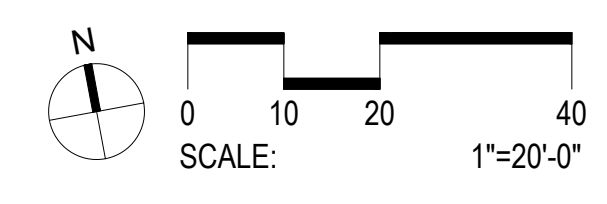
McCullough
 landscape architecture
 environmental planning
 urban design

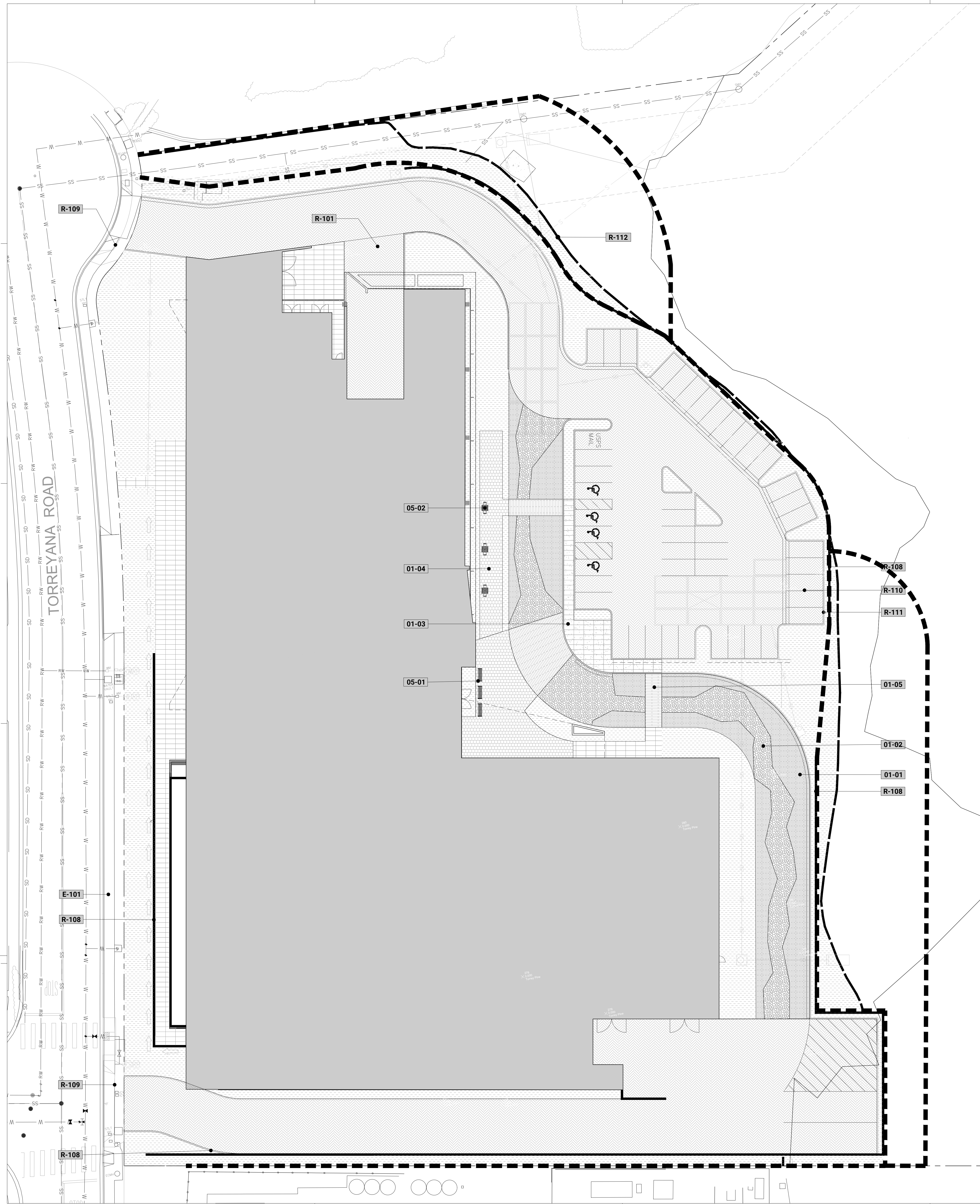
TORREYANA LIFE
SCIENCE
 11011 Torreyana Rd.
 San Diego, CA

YARD CALCULATIONS
 DATE: _____
 REMARKS: _____

PA/PM: DM/ZM
 DRAWN BY: MLA
 JOB NO.: SDG20-0111

SHEET
L-2.00





CONSTRUCTION SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
	05 SITE FURNISHINGS		
	05-01 BENCH	3	
	05-02 TABLE	3	
	09 PLANTING AND LANDSCAPE		
	09-01 MULCHED LANDSCAPE AREA	27,329 SF	
	EXISTING TO REMAIN		
	E-101 EXISTING STREET SIDEWALK		
	REFERENCE SCHEDULE		
	R-101 DRIVEWAY, PER CIVIL ENGINEER	14,915 SF	PER CIVIL
	R-108 SITE RETAINING WALL PER ARCH.		
	R-109 DRIVEWAY APRON PER CIVIL ENG.		
	R-110 PARKING STRIPING PER CIVIL ENG.		
	R-111 6" HT. CONCRETE CURB AT ALL PARKING LOT PLANTER TRANSITIONS		
	R-112 LIMIT OF GRADING		

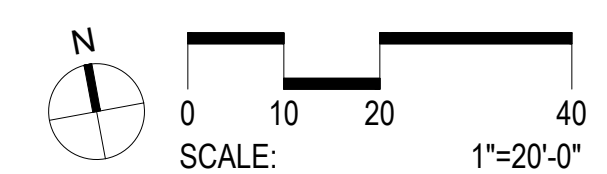
DESIGN STATEMENT:
DESIGN STATEMENT.

ADDITIONAL NOTES:

- ALL LANDSCAPE AND IRRIGATION PLANS SHALL CONFORM WITH THE CIVIC SAN DIEGO'S DESIGN CODE, LANDSCAPE REGULATIONS, THE STREETSCAPE MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CIVIC SAN DIEGO AND REGIONAL STANDARDS.
- ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.
 - EACH TREE SHALL BE PLANTED IN AN AIR AND WATER-PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING AREA SHALL BE UNENCUMBERED BY UTILITIES.
 - ALL IRRIGATION DESIGN AND INSTALLATION SHALL CONFORM WITH THE LANDSCAPE STANDARDS. IT IS THE RESPONSIBILITY OF THE DESIGNER TO BE FAMILIAR WITH AND IMPLEMENT THE LANDSCAPE STANDARDS.
 - ANY CHANGES TO THE STREETSCAPE, SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CIVIC SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.
 - ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIC SAN DIEGO LANDSCAPE PLANNER, THE OWNERS, AND THE DESIGNER/ARCHITECT PRIOR TO INSTALLATION.
 - TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET WITHIN 8 YEARS OF PLANTING.
 - NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY TO BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC SEWER FACILITIES OR IN THE PUBLIC EASEMENT.

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET
SEWER LINES	10 FEET

CONTRACTOR SHALL REPAIR AND REPLACE ALL EXISTING LANDSCAPE, IRRIGATION, AND ANY EXISTING IMPROVEMENTS DISPLACED OR DAMAGED AS A RESULT OF PERFORMING THE WORK OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER. EXISTING LANDSCAPE AND IRRIGATION SHALL BE EXTENDED IN-KIND INTO AREAS LEFT VACANT BY DEMOLITION AT NO ADDITIONAL COST TO THE OWNER.



**TORREYANA LIFE
SCIENCE**
11011 Torreyana Rd.
San Diego, CA

HARDSCAPE PLAN

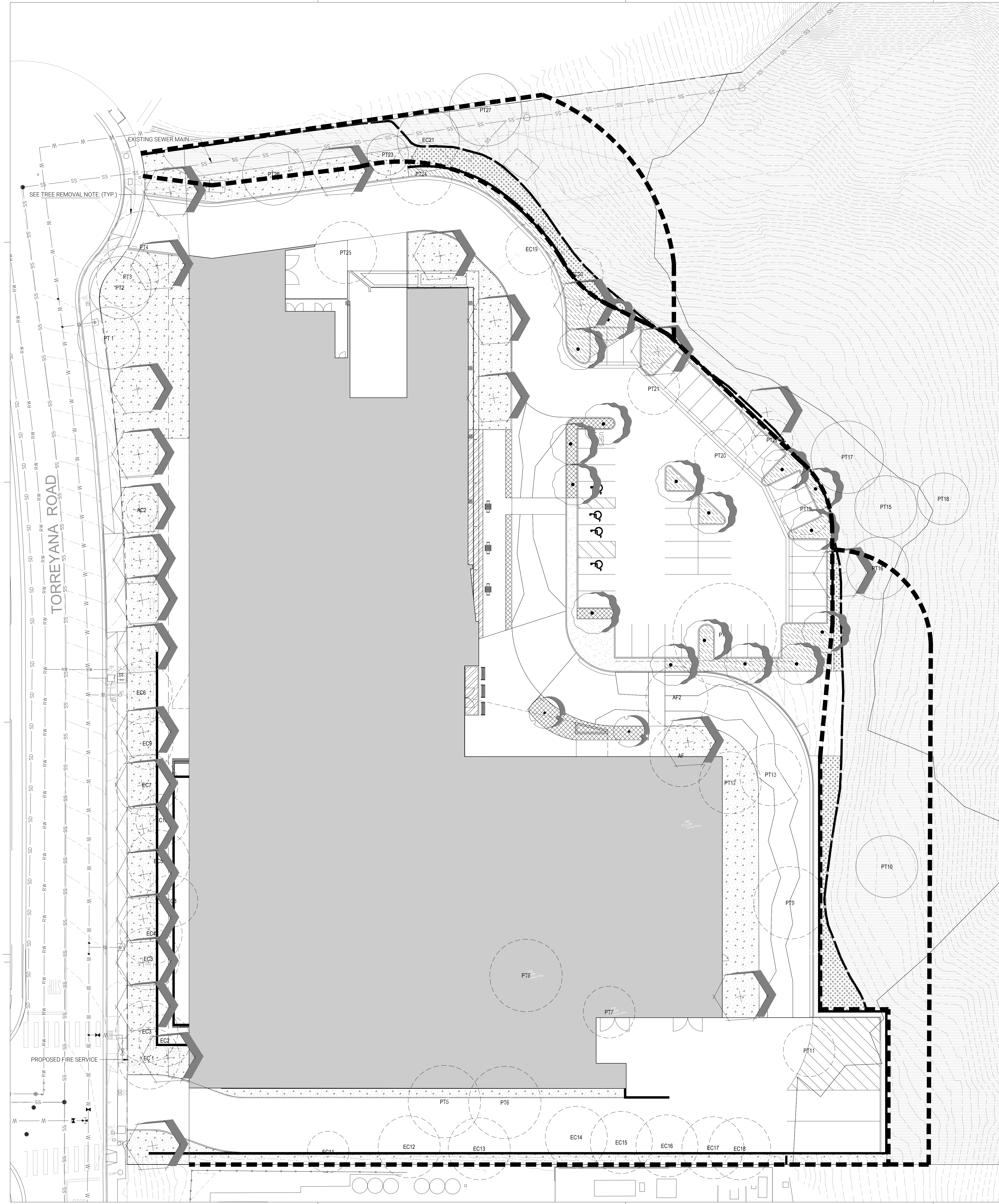
DATE: _____
REMARKS: _____

PA/PM: DM/ZM
DRAWN BY: MLA
JOB NO.: SDG20-0111

SHEET
L-3.00

McCullough
landscape architecture
environmental planning
urban design

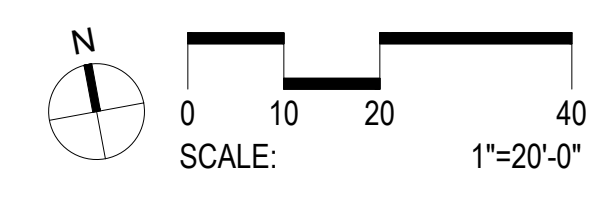
McCulloughLA.com
703 4th Street Suite 500
San Diego, California 92101-100
619.296.3150



CONCEPT PLANT SCHEDULE

	PARKING LOT TREE 1 - 24" BOX MIN. JACARANDA MIMOSIFOLIA / JACARANDA SAMBUCUS MEXICANA / MEXICAN ELDERBERRY ULMUS PARVIFOLIA / LACEBARK ELM	16
	PARKING LOT TREE 2 - 24" BOX MIN. ALOE BARBERAE / TREE ALOE DRACAENA DRACO / DRAGON TREE PRUNUS ILICIFOLIA / HOLLYLEAF CHERRY	2
	TORREY PINE - 24" BOX MIN PINUS TORREYANA / TORREY PINE	27
	PARKING LOT PLANTING CISTUS X 'GRAYSWOOD PINK' / ROCK ROSE DIANELLA CAERULEA 'CASSA BLUE' / CASSA BLUE FLAX LILY GREVILLEA X 'CANBERRA GEM' / CANBERRA GEM GREVILLEA HETEROMELES ARBUTIFOLIA / TOYON RIBES INDECORUM / WHITE FLOWERED CURRANT ROMNEYA COULTERI / MATILJA POPPY ZEPHYRANTHES CANDIDA / ZEPHYRLILY DIPLACUS PUNICEUS / RED BUSH MONKEYFLOWER	3,371 SF
	WALKWAY PLANTING CISTUS X 'GRAYSWOOD PINK' / ROCK ROSE LEYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE GIANT WILD RYE LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH PENSTEMON SPECTABILIS / SHOWY PENSTEMON RIBES VIBURNIFOLIUM 'SPOONER'S MESA' / SAN DIEGO EVERGREEN CURRANT SALVIA LEUCANTHA 'MIDNIGHT' / MEXICAN BUSH SAGE SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS DIPLACUS PUNICEUS / RED BUSH MONKEYFLOWER	1,153 SF
	ROADSIDE PLANTING AGAVE ATTENUATA / AGAVE ALOE RUBROVIOLOCEA / ARABIAN ALOE FESTUCA MAIREI / ATLAS FESCUE GREVILLEA X 'CANBERRA GEM' / CANBERRA GEM GREVILLEA SPHAERALCEA AMBIGUA / DESERT GLOBEMALLOW BERBERIS NEVINII / NEVIN'S BARBERRY CEANOTHUS VERRUCOSUS / WHITE COAST CEANOTHUS DENDROMECON RIGIDA / BUSH POPPY HETEROMELES ARBUTIFOLIA / TOYON	19,377 SF
	BUILDING PERIMETER PLANTING FESTUCA MAIREI / ATLAS FESCUE HEUCHERA MAXIMA 'SANTA ANA CARDINAL' / ISLAND ALUM ROOT LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH MAHONIA X 'SOFT CARESS' / SOFT CARESS MAHONIA NEPHROLEPIS CORDIFOLIA / SWORD FERN PARTHENOISSUS TRICUSPIDATA 'VEITCHII' / BOSTON IVY RUSSELLIA EUISETIFORMIS / FIRECRACKER PLANT WOODWARDIA FIMBRIATA / GIANT CHAIN FERN	752 SF
	EXISTING MARITIME SUCCULENT SCRUB SLOPE PLANTING SEE BIO ASSESSMENT REPORT	288,749 SF
	SCREEN PLANTING AESCULUS CALIFORNICA / CALIFORNIA BUCKEYE ARCTOSTAPHYLOS X 'SUNSET' / SUNSET MANZANITA CEANOTHUS VERRUCOSUS / WHITE COAST CEANOTHUS FRANGULA CALIFORNICA / CALIFORNIA COFFEEBERRY HETEROMELES ARBUTIFOLIA / TOYON MYRICA CALIFORNICA / PACIFIC WAX MYRTLE	2,303 SF

TREE REMOVAL NOTE:
EXISTING MATURE TREES WILL BE PRESERVED UNLESS THEY COME INTO CONFLICT WITH PROPOSED GRADING OR HARDSCAPE CHANGES REQUIRED FOR SITE STABILITY AND ACCESS. PLEASE REFER TO THE PLAN INDICATING WHICH TREES WILL BE REMOVED, AND WHICH WILL REMAIN PROTECTED IN PLACE.



McCulloughLA.com
703 4th Street Suite 300
San Diego, California 92101.100
619.296.3150

McCullough
landscape architecture
environmental planning
urban design

TORREYANA LIFE SCIENCE
11011 Torreyana Rd.
San Diego, CA

PLANTING PLAN

DATE	REMARKS

PA/PM: DM/ZM
DRAWN BY: MLA
JOB NO.: SDG20-0111

SHEET
L-5.00

2024-10-09_TORREYANA ROAD_SITE DEVELOPMENT PLANS

PLANT SCHEDULE

EXISTING TREES (TO BE REMOVED)	BOTANICAL / COMMON NAME	CONT	CAL	MATURE H X S	QTY
AC1	AGONIS FLEXUOSA PEPPERMINT TREE	EXISTING	2.0'	30' X 30'	1
AC2	AGONIS FLEXUOSA PEPPERMINT TREE	EXISTING	2.3'	30' X 30'	1
AC3	ARCHONTOPHYENIX CUNNINGHAMIANA KING PALM	EXISTING	1.2'	15' X 15'	1
AC4	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	0.7'	25' X 25'	1
AC5	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.0'	20' X 25'	1
AC6	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.0'	25' X 25'	1
AC7	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC8	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC9	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC10	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC11	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC12	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC13	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	25' X 25'	1
AC14	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.3'	30' X 30'	1
AC15	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.3'	30' X 30'	1
AC16	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.3'	30' X 30'	1
AC17	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.3'	30' X 30'	1
AC18	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.4'	30' X 35'	1
AC19	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.5'	30' X 25'	1
AC20	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	2.0'	30' X 30'	1
AC21	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	2.0'	30' X 30'	1
AC22	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	2.0'	30' X 30'	1
AC23	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	2.0'	30' X 30'	1
AC24	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	2.3'	30' X 30'	2
AC25	PINUS TORREYANA TORREY PINE	EXISTING	1.0'	20' X 20'	1
AC26	PINUS TORREYANA TORREY PINE	EXISTING	1.0'	25' X 25'	1
AC27	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC28	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC29	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC30	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC31	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC32	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC33	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC34	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC35	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 25'	1
AC36	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	35' X 35'	1
AC37	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	35' X 35'	1
AC38	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	35' X 35'	1
AC39	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	35' X 35'	1
AC40	PINUS TORREYANA TORREY PINE	EXISTING	1.5'	30' X 30'	1
AC41	PINUS TORREYANA TORREY PINE	EXISTING	1.5'	30' X 30'	1
AC42	PINUS TORREYANA TORREY PINE	EXISTING	1.5'	30' X 30'	1
AC43	PINUS TORREYANA TORREY PINE	EXISTING	1.5'	30' X 30'	1
AC44	PINUS TORREYANA TORREY PINE	EXISTING	1.8'	35' X 30'	1
AC45	PINUS TORREYANA TORREY PINE	EXISTING	1.8'	35' X 30'	1
AC46	PINUS TORREYANA TORREY PINE	EXISTING	1.8'	35' X 35'	1
AC47	PINUS TORREYANA TORREY PINE	EXISTING	2.3'	40' X 60'	1

ADDITIONAL NOTES:
ALL LANDSCAPE AND IRRIGATION PLANS SHALL CONFORM WITH THE CIVIC SAN DIEGO'S DESIGN CODE, LANDSCAPE REGULATIONS, THE STREETScape MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CIVIC SAN DIEGO AND REGIONAL STANDARDS.

- ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.
- EACH TREE SHALL BE PLANTED IN AN AIR AND WATER-PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING AREA SHALL BE UNENCUMBERED BY UTILITIES.
- ALL IRRIGATION DESIGN AND INSTALLATION SHALL CONFORM WITH THE LANDSCAPE STANDARDS. IT IS THE RESPONSIBILITY OF THE DESIGNER TO BE FAMILIAR WITH AND IMPLEMENT THE LANDSCAPE STANDARDS.
- ANY CHANGES TO THE STREETScape, SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CIVIC SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.
- ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIC SAN DIEGO LANDSCAPE PLANNER, THE OWNERS, AND THE DESIGNER/ARCHITECT PRIOR TO INSTALLATION.
- TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET WITHIN 8 YEARS OF PLANTING.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY TO BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC SEWER FACILITIES OR IN THE PUBLIC EASEMENT.

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET
SEWER LINES	10 FEET

CONTRACTOR SHALL REPAIR AND REPLACE ALL EXISTING LANDSCAPE, IRRIGATION, AND ANY EXISTING IMPROVEMENTS DISPLACED OR DAMAGED AS A RESULT OF PERFORMING THE WORK OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER. EXISTING LANDSCAPE AND IRRIGATION SHALL BE EXTENDED IN-KIND INTO AREAS LEFT VACANT BY DEMOLITION AT NO ADDITIONAL COST TO THE OWNER.

EXISTING TREES (TO REMAIN)	BOTANICAL / COMMON NAME	CONT	CAL	MATURE H X S	QTY
AC48	EUCALYPTUS CAMALDULENSIS RED GUM	EXISTING	1.2'	30' X 35'	1
AC49	PINUS TORREYANA TORREY PINE	EXISTING	1.0'	20' X 20'	1
AC50	PINUS TORREYANA TORREY PINE	EXISTING	1.0'	30' X 30'	1
AC51	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	25' X 40'	1
AC52	PINUS TORREYANA TORREY PINE	EXISTING	1.2'	30' X 30'	1
AC53	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	30' X 30'	1
AC54	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	30' X 30'	1
AC55	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	30' X 30'	1
AC56	PINUS TORREYANA TORREY PINE	EXISTING	1.3'	35' X 35'	1
AC57	PINUS TORREYANA TORREY PINE	EXISTING	1.5'	30' X 30'	1
AC58	PINUS TORREYANA TORREY PINE	EXISTING	1.5'	30' X 30'	1
AC59	PINUS TORREYANA TORREY PINE	EXISTING	1.8'	35' X 30'	1

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE WALCOURG AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE WALCOURG. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE WALCOURG PRIOR TO THE COMMENCEMENT OF ANY WORK.

McCulloughLA.com
703 4th Street, Suite 500
San Diego, California 92101.100
619.296.3150

McCullough
landscape architecture
environmental planning
urban design

**TORREYANA LIFE
SCIENCE**
11011 Torreyana Rd.
San Diego, CA

PLANTING PLAN (2)	REMARKS

PA/PM:	DM/ZM
DRAWN BY:	MLA
JOB NO.:	SDG20-0111

SHEET
L-5.01

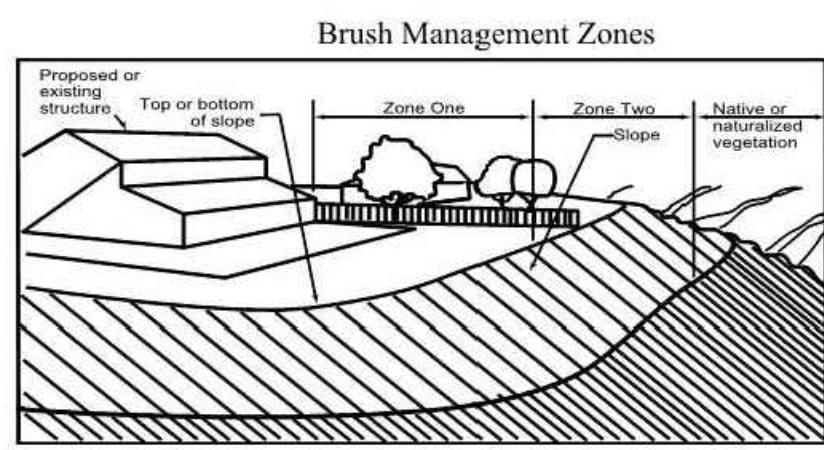
2024-10-09_TORREYANA ROAD_SITE DEVELOPMENT PLANS

§142.0412 Brush Management

Brush management is required in all base zones on publicly or privately owned premises that are within 100 feet of a structure and contain native or naturalized vegetation.

- (a) Brush management activity is permitted within environmentally sensitive lands... (b) Brush Management Zones. Where brush management is required, a comprehensive program shall be implemented that reduces fire hazards around structures...

Diagram 142-04E



- (1) Brush management Zone One is the area adjacent to the structure, shall be least flammable... (2) Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation... (c) The width of Zone One and Zone Two shall not exceed 100 feet and shall meet the width requirements in Table 142-04H...

Table 142-04H Brush Management Zone Width Requirements

Table with 2 columns: Criteria, Zone Widths. Row 1: Zone One Width, 35 ft. Row 2: Zone Two Width, 65 ft.

- (d) Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15... (e) Where Zone One width is required adjacent to the MHPA or within the Coastal Overlay Zone... (f) The Zone Two width may be decreased by 1 1/2 feet for each 1 foot of increase in Zone One width... (g) Zone One Requirements (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure...

- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants... (h) Zone Two Requirements (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation... (2) No structures shall be constructed in Zone Two... (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches... (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading... (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity...

- (i) An applicant may request approval of alternative compliance for brush management in accordance with Process One if all of the following conditions exist: (1) The proposed alternative compliance provides sufficient defensible space between all structures on the premises and contiguous areas of native or naturalized vegetation... (2) The proposed alternative compliance minimizes impacts to undisturbed native or naturalized vegetation... (3) The proposed alternative compliance is not detrimental to the public health, safety, and welfare of persons residing or working in the area... (j) If the Fire Chief approves alternative compliance in accordance with this section, the modifications shall be recorded with the approved permit conditions... (k) For existing structures, the Fire Chief may require brush management in compliance with this section for any area, independent of size, location, or condition... (l) Brush management for existing structures shall be performed by the owner of the property that contains the native and naturalized vegetation... (m) Where specifically authorized by the Fire Chief, goats may be used for brush management in accordance with the following: (1) In order to prevent escapes, harassment from predators or humans, or over browsing, goats shall be managed and monitored 24-hours a day by a contractor with at least two years experience in raising, handling, and controlling of goats... (2) At least 10 business days prior to using goats for brush management, the property owner shall apply to the Fire Rescue Department for a permit to use goats for brush management... (A) Obtain and submit written permission from the owner of any property through which the goats must gain access to the area to be browsed... (B) Provide written notice to the Fire Chief and all owners and residents of property located immediately adjacent to the area to be browsed... (C) Provide photographs of the existing condition of the site, and a plan describing the methods to be employed and measures to retain existing vegetation in compliance with Section 142.0412(h)... (3) The area to be browsed shall be measured, staked, and appropriately fenced with temporary electrically charged fencing to delineate the Zone Two brush management areas... (4) The timing of brush management activities shall comply with Section 142.0412(d)... (5) While goats are browsing: (A) No more than 75 goats are permitted on a single acre of the premises... (B) Goats shall be moved along periodically so that no more than 50 percent of the vegetation is thinned or reduced... (C) The goats shall remain within a secure enclosure at all times... (D) Goats shall be moved into a separate holding pen at night, which shall be located the maximum distance reasonably practicable from residences...

- (E) Droppings in the holding pen, and to the extent reasonably possible within the brush management area, shall be removed and properly disposed of daily in accordance with Section 44.0307... (F) The goats shall be used for brush management only and shall be immediately removed when the brush thinning has been accomplished... (6) No later than 5 business days from the date of removal of the goats, the applicant shall notify the Fire Chief in writing of the removal of the goats... (7) The Fire Rescue Department shall not approve any permit under Section 142.0412(m) that will utilize a contractor determined by the City Manager to have negligently performed brush management services within the three prior calendar years... (n) Within the Coastal Overlay Zone, brush management for new subdivisions shall not be permitted to encroach into an environmentally sensitive habitat area [ESHA], except that encroachment may be permitted where necessary to achieve a maximum development area of 25 percent including Zones One and Two... (o) Violations and Remedies (1) The provisions of this division shall be enforced pursuant to Chapter 12, Article 1, Division 2 (Enforcement Authorities for the Land Development Code), and Chapter 12, Article 1, Division 3 (Violations of the Land Development Code and General Remedies)... (2) In accordance with Section 121.0312, the City Manager may order reasonable restoration of the premises and any adjacent affected site to its lawful condition or may require reasonable mitigation at the sole cost of the responsible person.

(Added 12-9-1997 by O-18451 N.S.; amended 10-18-1999 by O-18691 N.S.; effective 1-1-2000.) (Amended 9-19-2005 by O-19413 N.S.; effective 10-19-2005.) (Amended 6-15-2007 by O-19624 N.S.; effective 7-15-2007.) (Amended 1-15-2008 by O-19698 N.S.; effective 2-14-2008.) (Amended 7-28-2009 by O-19885 N.S.; effective 8-27-2009.) (Amended 8-4-2011 by O-20081 N.S.; effective 10-6-2011.) (Amended 7-31-2012 by O-20187 N.S.; effective 8-30-2012.) (Amended 6-18-2013 by O-20261 N.S.; effective 7-19-2013.)

[Editors Note Section 142.0412. Resolution R-303274 was adopted by City Council to temporarily allow goat monitoring in the coastal overlay zone for a 5 year trial period during which annual monitoring reports would be distributed to the Coastal Commission. If at the end of 5 years, monitoring reports indicate that the use of goats has adversely impacted ESHA, the use of goats in the coastal zone would be discontinued.]

(Amended 3-22-2018 by O-20917 N.S.; effective 4-21-2018.) (Amended 1-11-2019 by O-21033 N.S.; effective 2-10-2019.)

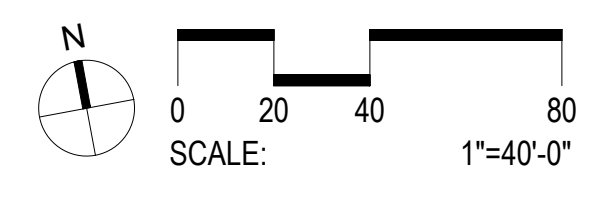
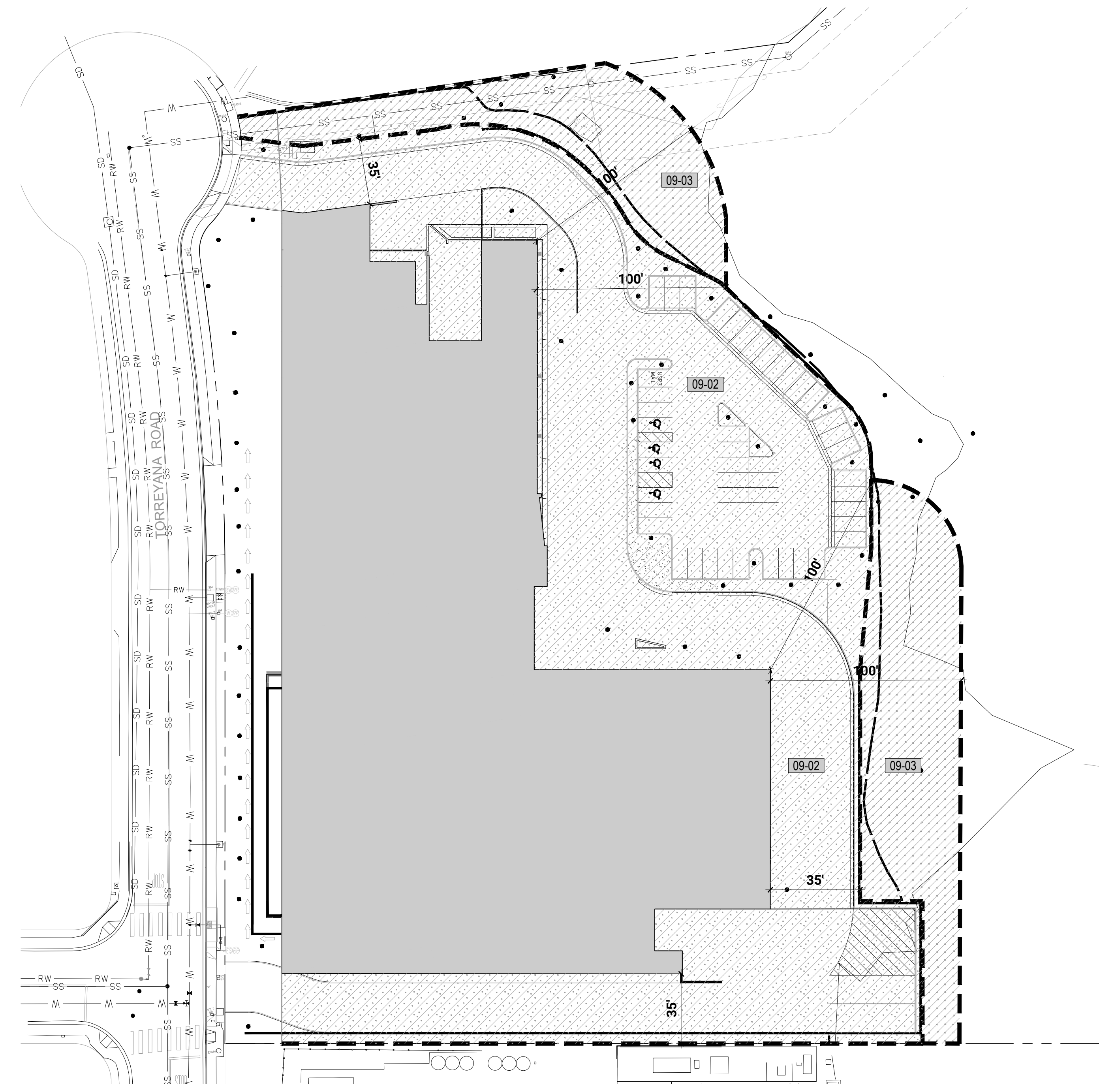
BRUSH MANAGEMENT NOTE: ZONE 1 SHALL EXTEND FROM THE REAR OF THE PROPOSED BUILDING TO THE EDGE OF THE PROPOSED DEVELOPMENT AND ZONE 2 WILL EXTEND FROM EDGE OF DEVELOPMENT ONTO OPEN SPACE. ZONE ONE SHALL BE EQUAL TO LESS THAN 35 FEET IN WIDTH AND TOGETHER, ZONE ONE AND TWO SHALL EQUAL NO LESS THAN 100 FEET IN WIDTH OF DEFENSIBLE SPACE. ALTERNATIVE COMPLIANCE NOTE SDMC 142.0412 (i): AN APPLICANT MAY REQUEST APPROVAL OF ALTERNATIVE COMPLIANCE FOR BRUSH MANAGEMENT IN ACCORDANCE WITH PROCESS ONE IF ALL OF THE FOLLOWING CONDITIONS EXIST: CH. ART. DIV. 14 2 4 33 SAN DIEGO MUNICIPAL CODE CHAPTER 14: GENERAL REGULATIONS (5-2021)

- 1. THE PROPOSED ALTERNATIVE COMPLIANCE PROVIDES SUFFICIENT DEFENSIBLE SPACE BETWEEN ALL STRUCTURES ON THE PREMISES AND CONTIGUOUS AREAS OF NATIVE OR NATURALIZED VEGETATION AS DEMONSTRATED TO THE SATISFACTION OF THE FIRE CHIEF BASED ON DOCUMENTATION THAT ADDRESSES THE TOPOGRAPHY OF THE SITE, EXISTING AND POTENTIAL FUEL LOAD, AND OTHER CHARACTERISTICS RELATED TO FIRE PROTECTION AND THE CONTEXT OF THE PROPOSED DEVELOPMENT. 2. THE PROPOSED ALTERNATIVE COMPLIANCE MINIMIZES IMPACTS TO UNDISTURBED NATIVE OR NATURALIZED VEGETATION WHERE POSSIBLE WHILE STILL MEETING THE PURPOSE AND INTENT OF SECTION 142.0412 TO REDUCE FIRE HAZARDS AROUND STRUCTURES AND PROVIDE AN EFFECTIVE FIRE BREAK. 3. THE PROPOSED ALTERNATIVE COMPLIANCE IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.

ALTERNATIVE COMPLIANCE NOTE: TYPICAL BRUSH MANAGEMENT ZONES CONSIST OF A 35FT ZONE 1 AND A 65 FT ZONE 2; HOWEVER, FOR THE PROJECT AT HAND NON-STANDARD ZONES APPLY. ZONE 1 SHALL EXTEND FROM THE REAR OF THE PROPOSED BUILDING TO THE EDGE OF PROPOSED DEVELOPMENT AND ZONE 2 WILL EXTEND FROM EDGE OF DEVELOPMENT INTO OPEN SPACE. TOGETHER, ZONE 1 AND ZONE 2 SHALL EQUAL 100 FT OF DEFENSIBLE SPACE.

ACCORDING TO SDMC SECTION 142.0412(i) AND THE USE OF ALTERNATIVE COMPLIANCE ZONING METHOD DESCRIBED ABOVE, A FIRE REVIEW CYCLE WILL BE ADDED. FIRE WILL REVIEW AND APPROVE ALTERNATIVE COMPLIANCE MEASURES.

REFERENCE NOTES SCHEDULE table with 3 columns: SYMBOL, DESCRIPTION, COMMENT. Row 1: 09-02, BRUSH MANAGEMENT ZONE 1, PERMANENTLY IRRIGATED ORNAMENTAL PLANTING. Row 2: 09-03, BRUSH MANAGEMENT ZONE 2, THINNED, NATIVE OR NATURALIZED NON-IRRIGATED VEGETATION.



McCulloughLA.com 703 468 5567 Suite 500 San Diego, California 92101-1000 619.296.3150. Includes a signature for 'McCullough' and the text 'landscape architecture environmental planning urban design'.

TORREYANA LIFE SCIENCE 11011 Torreyana Rd. San Diego, CA

BRUSH MANAGEMENT PLAN. Includes a table for 'REMARKS' with columns for 'DATE' and 'REMARKS'. Below the table, it lists 'PA/PM: DM/ZM', 'DRAWN BY: MLA', and 'JOB NO.: SDG20-0111'.

SHEET L-6.00

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOLM AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOLM. WRITTEN PERMISSION SHALL TAKE PRECEDENCE OVER SCHEDULED DIMENSIONS AND SHALL BE OBTAINED FROM THE PROJECT ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

PORITION OF OPEN SPACE EASEMENT LANGUAGE PER MAP No. 8434

TOGETHER WITH OPEN SPACE EASEMENTS OVER, UNDER, UPON AND ACROSS PORTIONS OF LOTS 5, 6, 7 AND 8 AS SHOWN ON THIS MAP WITHIN THIS SUBDIVISION. CONDITIONS SHALL BE THAT NO PART OF SAID OPEN SPACE EASEMENTS SHALL BE USED EXCEPT FOR THE PURPOSE OF INSTALLING, ERECTING, CONSTRUCTING, MAINTAINING, PLANTING AND GROWING THEREON THE FOLLOWING:

- (1) GRASS, FLOWERS, SHRUBS, TREES AND IRRIGATION AND OTHER LANDSCAPING APPURTENANCES;
- (2) FENCES AND RETAINING WALLS;
- (3) RECREATION FACILITIES PROVIDED THE SAME SHALL NOT INCLUDE ANY BUILDING, UTILITY DISTRIBUTION FACILITIES PROVIDED THEY ARE INSTALLED UNDERGROUND, EXCEPT THAT TRANSFORMER BOXES AND SIMILAR EQUIPMENT MAY BE INSTALLED ABOVE GROUND BUT NOT ON POLES, DERRICKS OR SIMILAR SUPPORT;
- (4) OPEN PARKING AREAS;
- (5) SIDEWALKS, SIDEWALKS, PATHS AND STEPS;
- (6) DIRECTIONAL SIGNS;
- (7) OUTDOOR LIGHTING FACILITIES AND COMMUNITY TELEVISION ANTENNA FACILITIES PROVIDED, HOWEVER,

THAT EACH AND EVERY FACILITY AND APPURTENANCE INSTALLED, ERECTED, CONSTRUCTED OR MAINTAINED PURSUANT TO ANY OF CLAUSES (1) THROUGH (8) MUST BE HERETOFOR AND HEREAFTER APPROVED BY THE CITY OF SAN DIEGO.

NOTES:

- 1. ALL EXISTING UTILITIES, SURFACE IMPROVEMENTS, FOOTING AND RETAINING WALLS WITHIN PROPERTY LINE SHALL BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR TO PROPERLY DEMO/DISCONNECT ALL UTILITIES FROM THE BUILDING.

WARE MALCOMB

ARCHITECTURE CIVIL ENGINEERING
PLANNING BRANDING BUILDING MEASUREMENT
INTERIORS

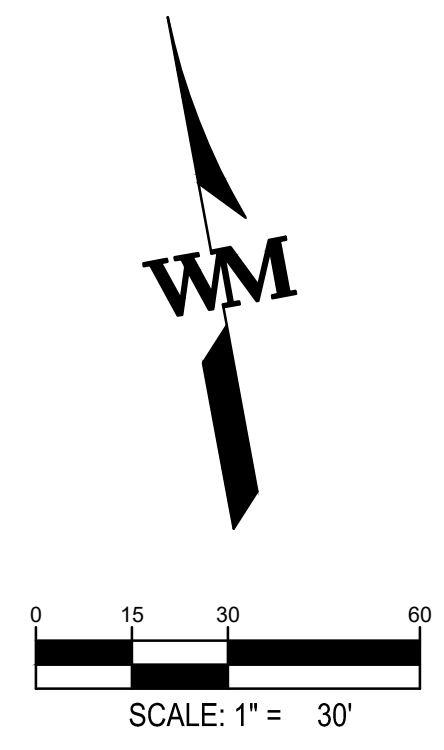
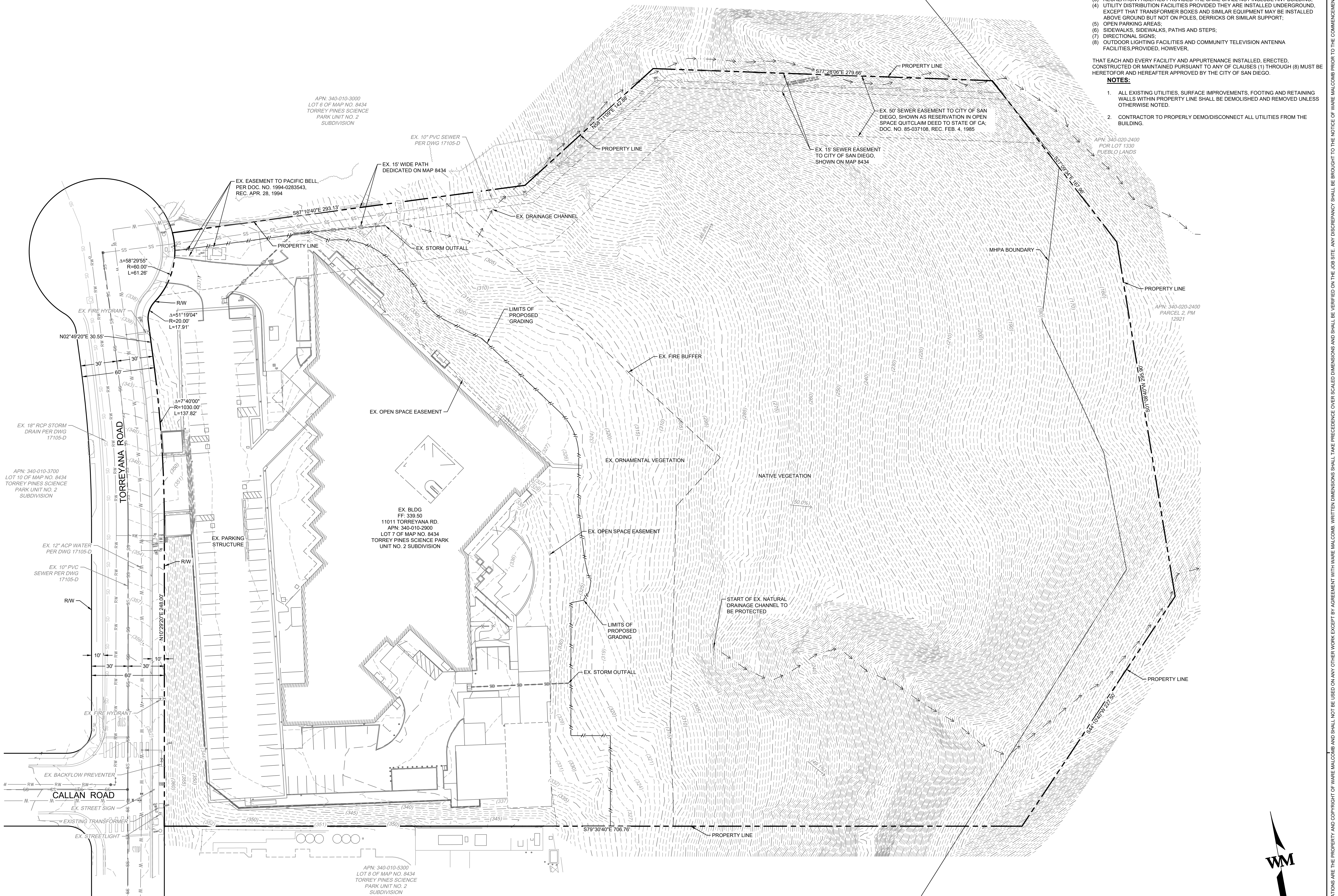
3911 Sorrento Valley Blvd. Suite #120
San Diego, CA 92121
P: 619.688.1217

BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
11011 Torreyana
San Diego, CA

TOPOGRAPHIC MAP	
DATE	REMARKS

PA/PM: SMB	SHEET
DRAWN BY: SAB	<h1>C1.0</h1>
JOB NO.: SDG20-0111	



APN: 340-010-3000
LOT 8 OF MAP NO. 8434
TORREY PINES SCIENCE
PARK UNIT NO. 2
SUBDIVISION

GRADING QUANTITIES		
GRADED AREA (AC)		3.41
% OF TOTAL SITE		33%
CUT (CY.)	FILL (CY.)	EXPORT (CY.)
117,500	5,400	112,100
MAXIMUM CUT DEPTH (FT.)		55
MAXIMUM FILL DEPTH (FT.)		21
SLOPE RATIO (MAX.)		2:1
RETAINING WALLS LENGTH (FT.)		1,114
RETAINING WALLS MAX HEIGHT (FT.)		12.6

PROPOSED COVENANT OF EASEMENT AREA:
278,908 SQUARE FEET

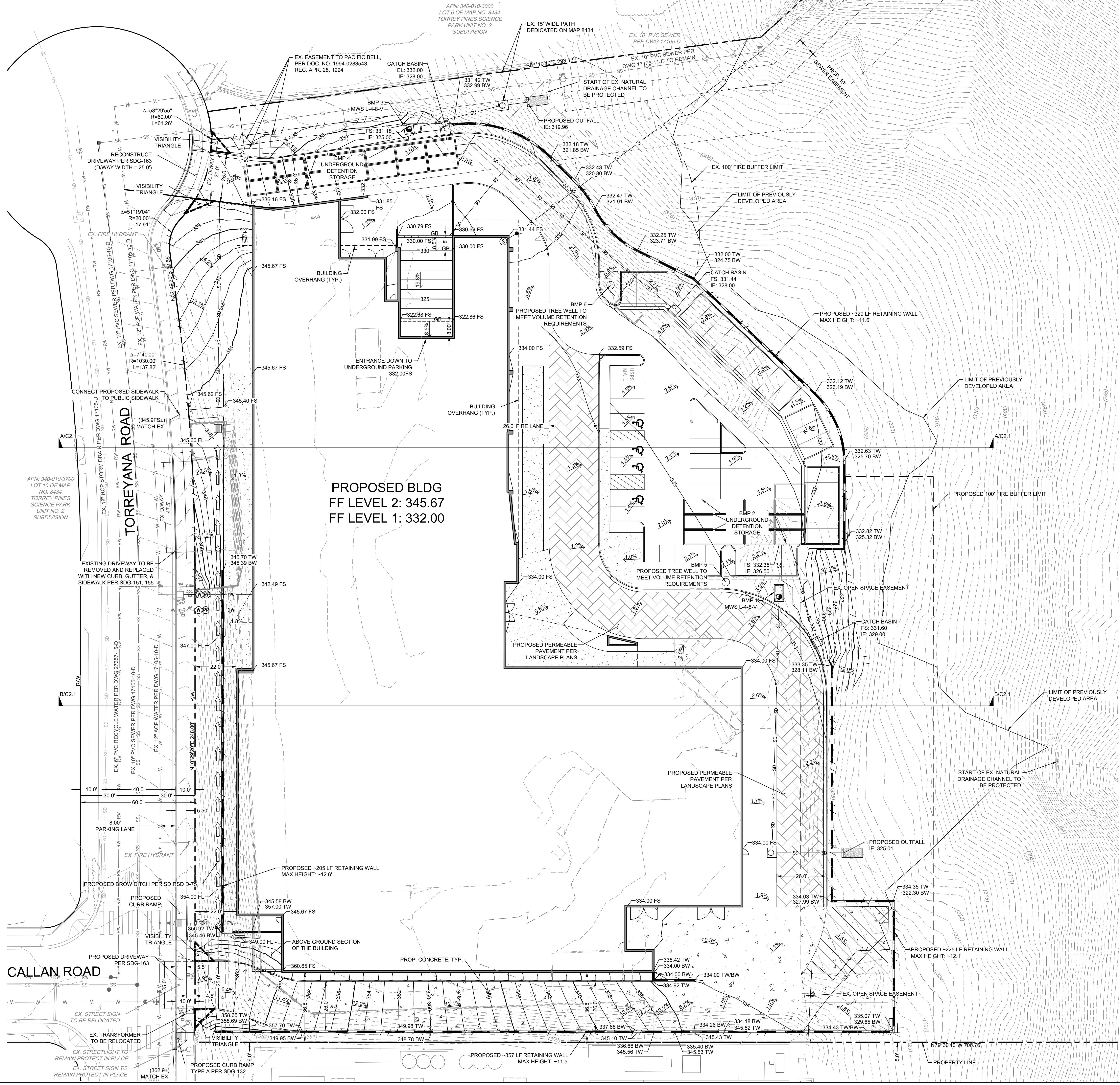
- NOTES**
1. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUNOFF ONTO THE ADJACENT PROPERTIES.
 2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 3. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
 4. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMG SECTION 142.0409 (B)(2), PLANT MATERIAL OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING
PLANNING BRANDING
INTERIORS BUILDING MEASUREMENT

3911 Sorrento Valley Blvd, Suite #120
San Diego, CA 92121
P: 619.638.7277

BRIDGEWEST GROUP

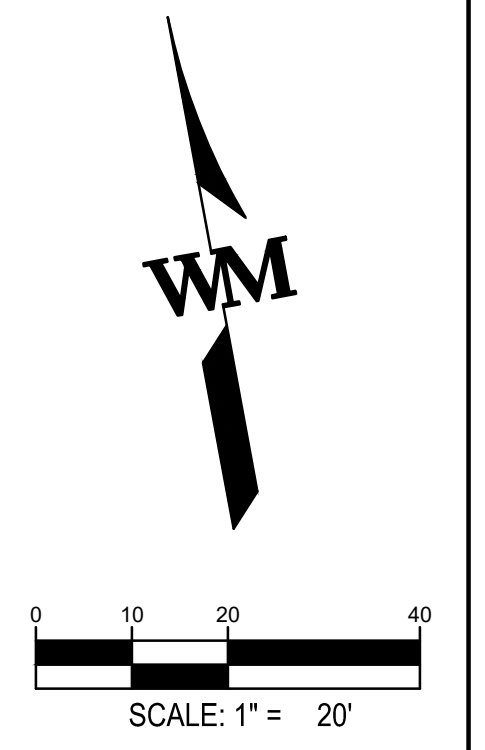
TORREYANA LIFE SCIENCE
11011 Torreyana
San Diego, CA

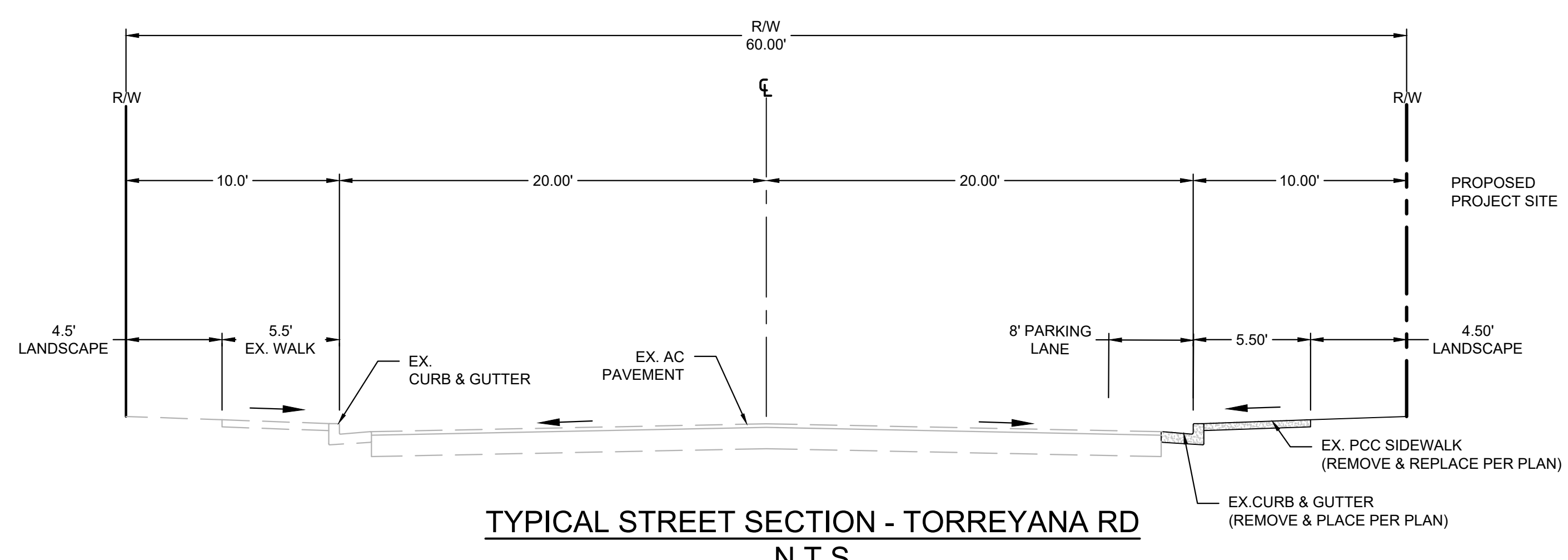
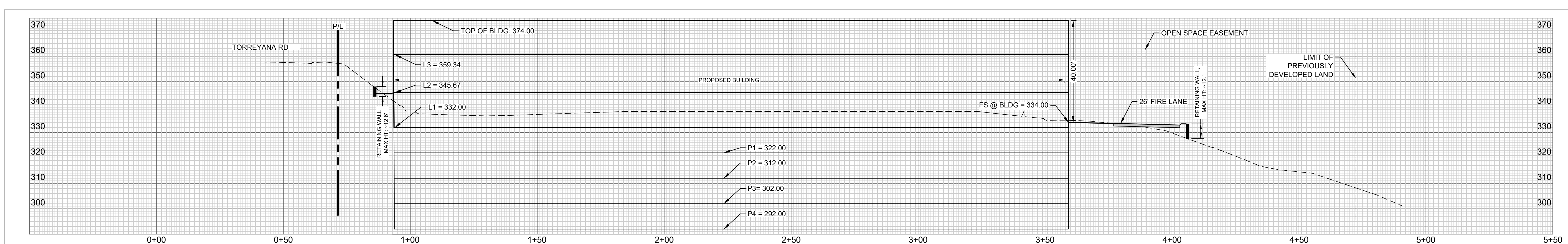
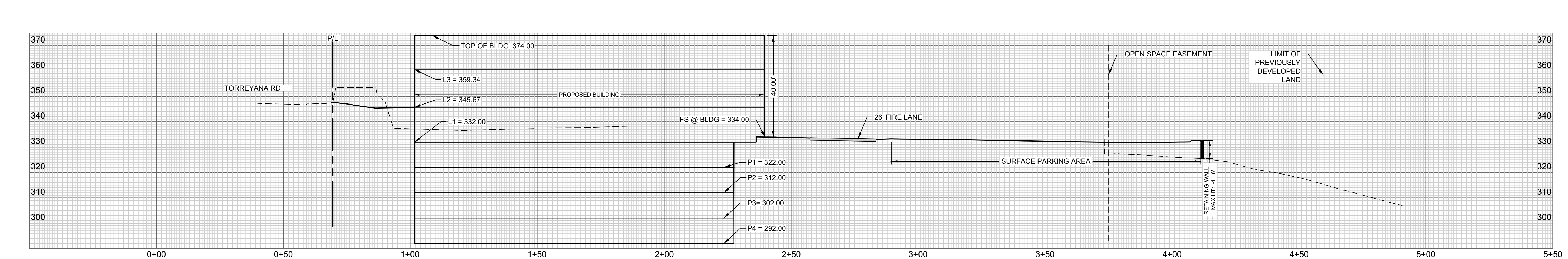


GRADING PLAN	
DATE	REMARKS

P/A/P: SMB
DRAWN BY: SAB
JOB NO.: SDG20-0111

SHEET
C2.0





WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING
PLANNING BRANDING BUILDING MEASUREMENT
INTERIORS
3911 Sorrento Valley Blvd. Suite #120
San Diego, CA 92121
P: 619.638.1277

BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
11011 Torreyana
San Diego, CA

SITE CROSS-SECTIONS	
DATE	REMARKS

PA/PM: SMB
DRAWN BY: SAB
JOB NO.: SDG20-0111

SHEET
C2.1

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTE:
IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACK FLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

WARE MALCOMB
ARCHITECTURE CIVIL ENGINEERING PLANNING INTERIORS
3911 Serrano Valley Blvd, Suite #120
San Diego, CA 92121
P: 619.638.1277

BRIDGEWEST GROUP

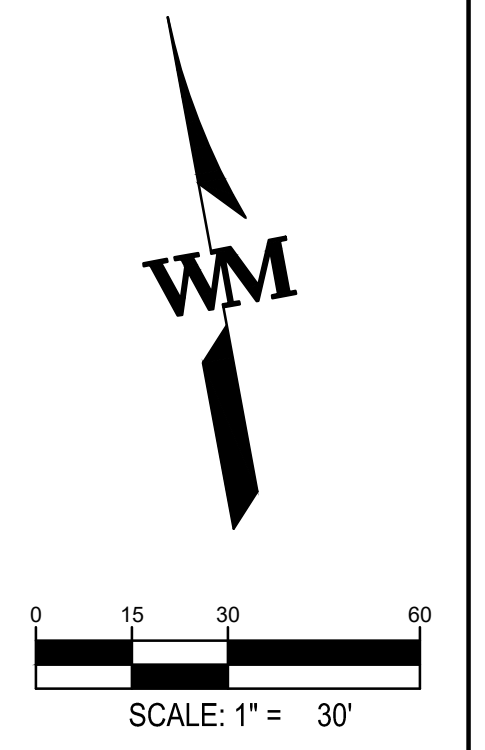
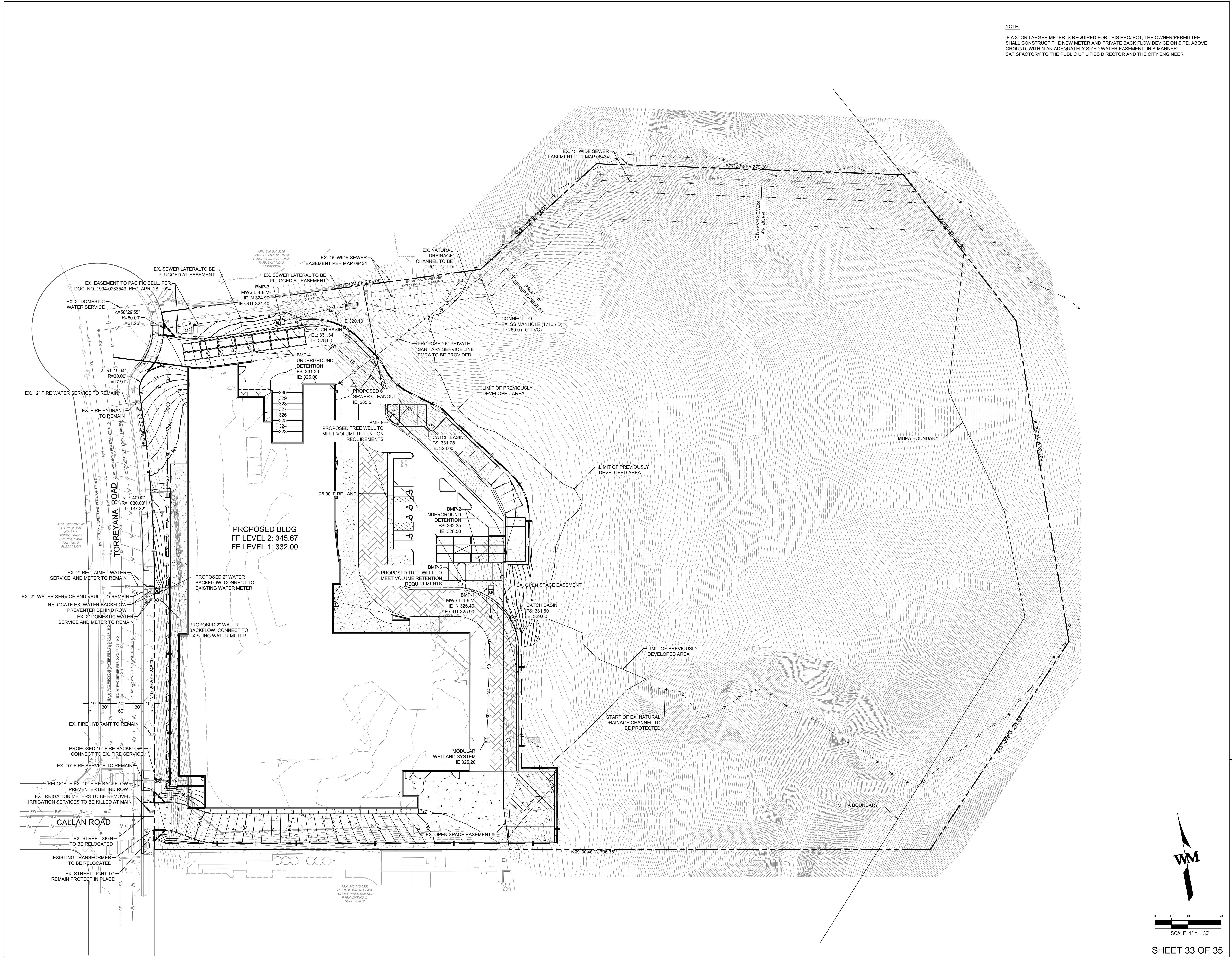
TORREYANA LIFE SCIENCE
11011 Torreyana
San Diego, CA

UTILITY PLAN

DATE	REMARKS

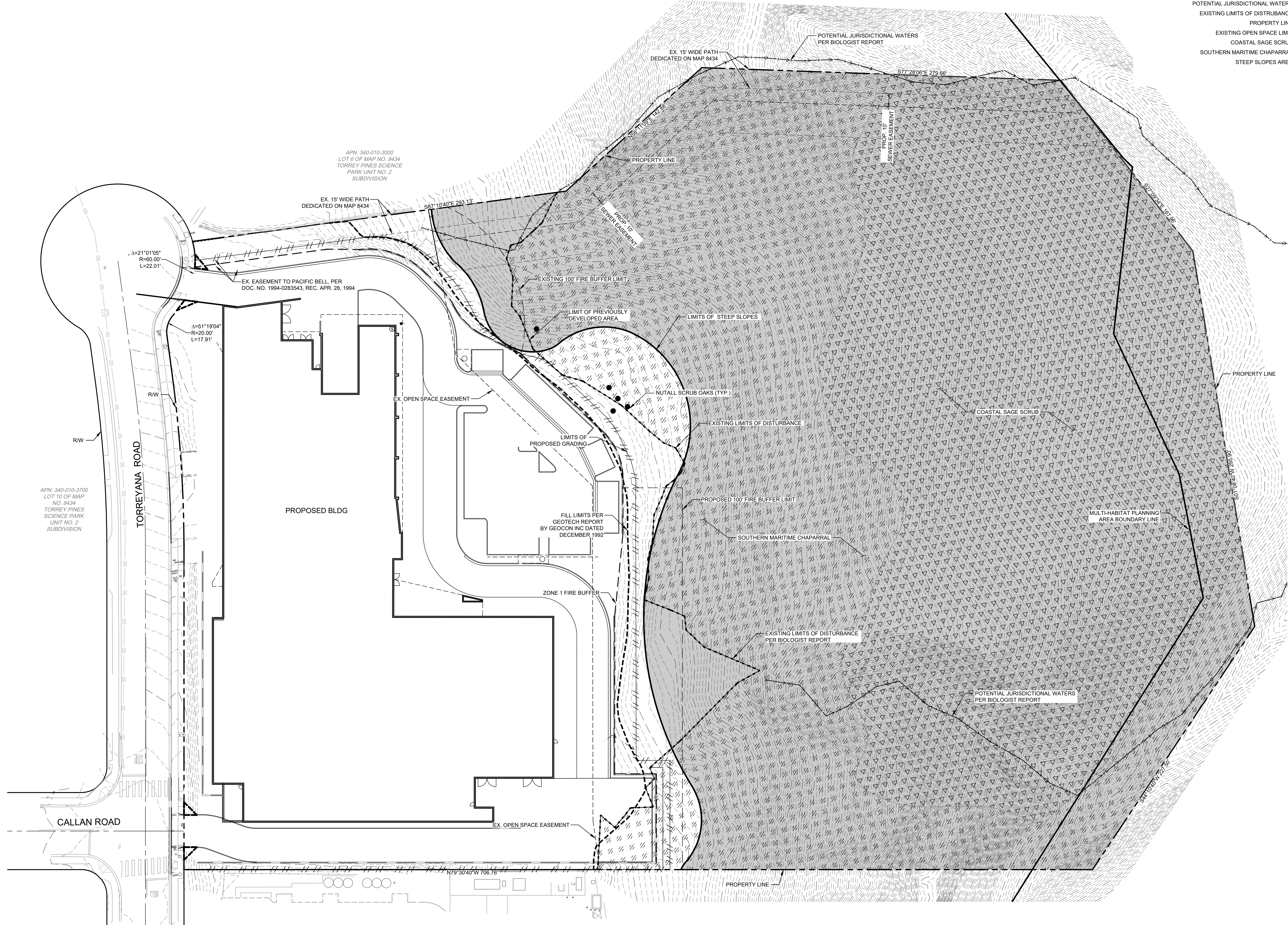
PA/PM:	SMB
DRAWN BY:	SAB
JOB NO.:	SDG20-0111

SHEET
C3.0



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

LEGEND	SYMBOL
SITE FEATURE	
NUTALL SCRUB OAK	●
MULTI-HABITAT PLANING AREA BOUNDARY	—●—
ZONE 1 - FIRE BUFFER	---
GEOTECH FILL LIMITS	
LIMITS OF GRADING	///
POTENTIAL JURISDICTIONAL WATERS	~
EXISTING LIMITS OF DISTURBANCE	- - -
PROPERTY LINE	---
EXISTING OPEN SPACE LIMIT	- - -
COASTAL SAGE SCRUB	▲▲▲▲
SOUTHERN MARITIME CHAPARRAL	▲▲▲▲
STEEP SLOPES AREA	▲▲▲▲



WARE MALCOMB
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING
 INTERIORS BUILDING MEASUREMENT
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 619.638.7277

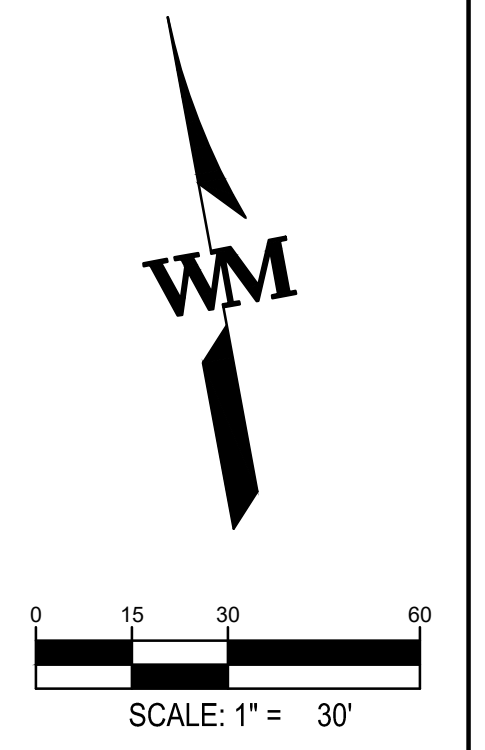
BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

SITE CONSTRAINT PLAN	
DATE	REMARKS

PA/PM:	SMB
DRAWN BY:	SAB
JOB NO.:	SDG20-0111

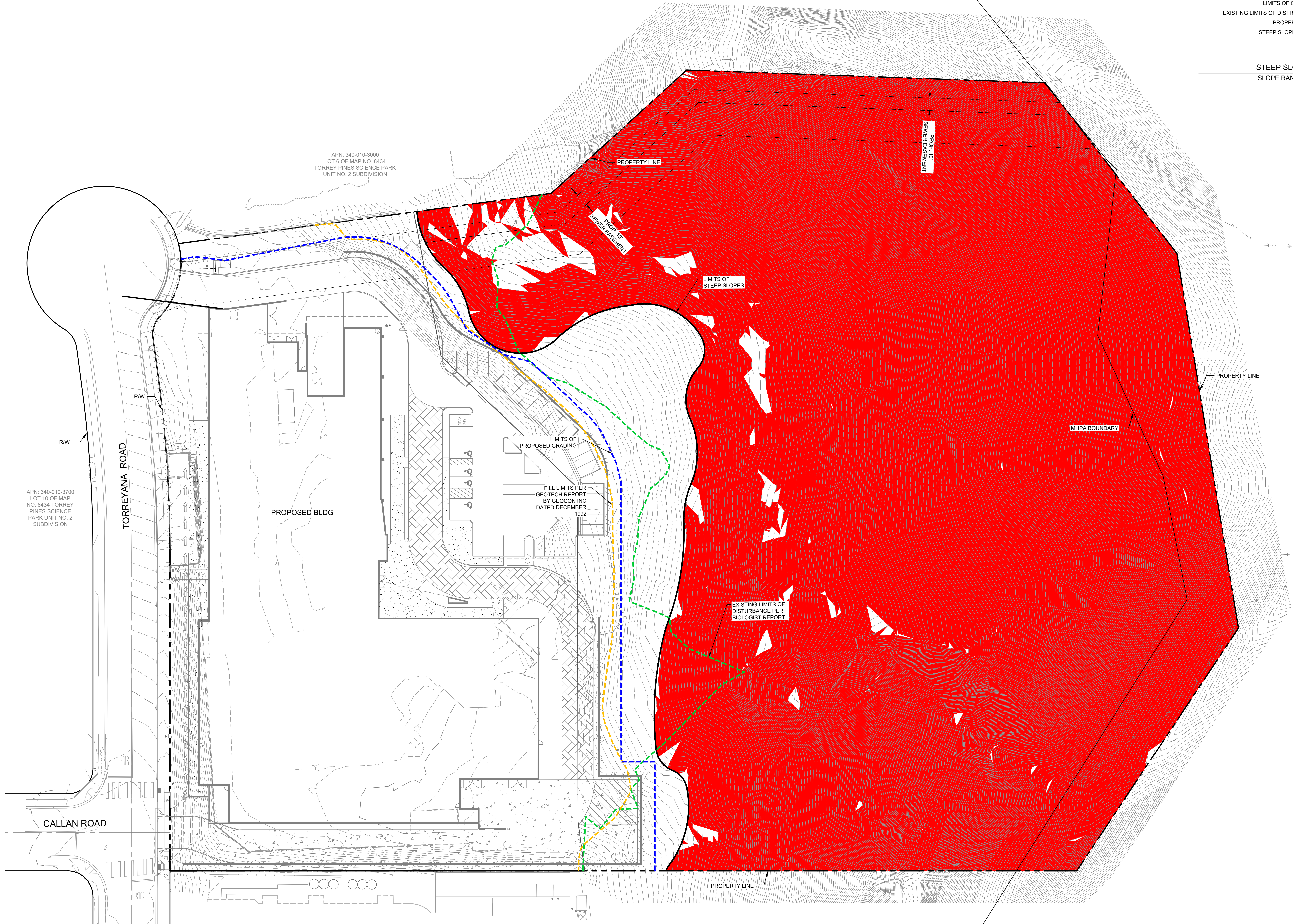
SHEET
C4.0



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE COMMENCEMENT OF ANY WORK

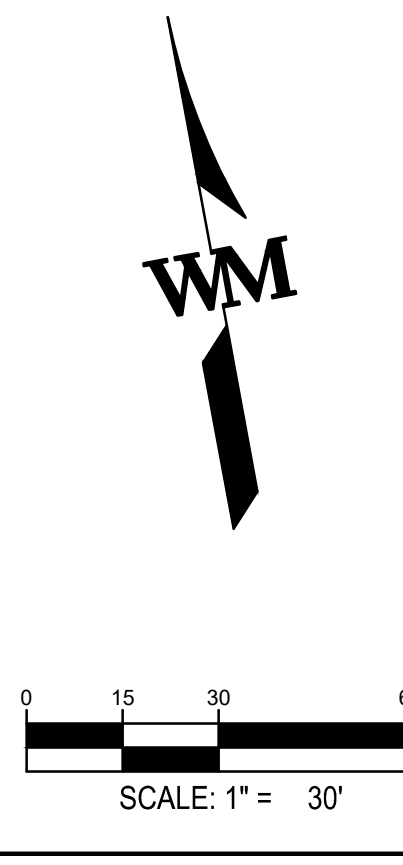
LEGEND	
SITE FEATURE	SYMBOL
GEOTECH FILL LIMITS	--- (Yellow dashed)
LIMITS OF GRADING	--- (Blue dashed)
EXISTING LIMITS OF DISTURBANCE	--- (Green dashed)
PROPERTY LINE	--- (Black solid)
STEEP SLOPES AREA	--- (Red solid)

STEEP SLOPE TABLE	
SLOPE RANGE (%)	AREA (SF)
0 - 24.99	185,871
25 - 100	260,108



EXISTING VEGETATION COMMUNITIES/LAND COVER TYPES				
VEGETATION COMMUNITY/LAND COVER TYPE ¹	HABITAT TIER ²	ACRES ³		
		OUTSIDE OPEN SPACE EASEMENT	WITHIN OPEN SPACE EASEMENT	TOTAL
UPLANDS				
SOUTHERN MARITIME CHAPARRAL (37C00)	I	0	3.0	3.0
DIEGAN COASTAL SAGE SCRUB (32500)	II	0	3.3	3.3
DEVELOPED (12000)	I	3.4	0.7	4.1
TOTAL		3.4	7.0	10.4

¹ VEGETATION CATEGORIES AND NUMERICAL CODES ARE FROM HOLLAND (1986) AND OBERBAUER (2006)
² TIERS REFER TO THE CITY'S BIOLOGY GUIDELINES (2018) HABITAT CLASSIFICATION SYSTEM.
³ ACRES ROUNDED TO THE NEAREST 0.1 ACRE FOR UPLANDS; TOTAL REFLECTS ROUNDING



WARE MALCOMB
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING
 INTERIORS
 3911 Sorrento Valley Blvd, Suite #120
 San Diego, CA 92121
 P: 619.588.1271

BRIDGEWEST GROUP

TORREYANA LIFE SCIENCE
 11011 Torreyana
 San Diego, CA

STEEP SLOPES ANALYSIS	
DATE	REMARKS

PA/PM:	SMB
DRAWN BY:	SAB
JOB NO.:	SDG20-0111

SHEET
C5.0

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

APN: 340-010-3000
 LOT 6 OF MAP NO. 8434
 TORREY PINES SCIENCE PARK
 UNIT NO. 2 SUBDIVISION

APN: 340-010-3700
 LOT 10 OF MAP
 NO. 8434 TORREY
 PINES SCIENCE
 PARK UNIT NO. 2
 SUBDIVISION

APN: 340-010-5300
 LOT 8 OF MAP NO. 8434
 TORREY PINES SCIENCE PARK
 UNIT NO. 2 SUBDIVISION