



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 19, 2025 REPORT NO. HO-25-011

HEARING DATE: March 26, 2025

SUBJECT: 1821 VIKING WAY. Process Three Decision

PROJECT NUMBER: [PRJ-1114539](#)

OWNER/APPLICANT: Williams Family Trust/Happy Space Studios Attn. Francis Czener

SUMMARY

Issue: Should the Hearing Officer approve the remodel and 851-square foot, two-story addition to an existing one-story, 2,694-square-foot single dwelling unit located at [1821 Viking Way](#) within the [La Jolla Community Plan and Local Coastal Land Use Plan](#) area?

Proposed Actions:

1. Approve Site Development Permit No. PMT-32900093; and
2. Adopt (MND No. 2024110673) and Adopt (MMRP)

Fiscal Considerations: None with this action. All costs associated with the project's processing are paid from a deposit account maintained by the applicant.

Community Planning Group Recommendation: On August 9, 2024, the La Jolla Community Planning Association voted 15-0-1 to recommend approval of the proposed project without conditions.

Other Recommendations (IF APPLICABLE): On May 15, 2024, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the project.

Environmental Impact: Mitigated Negative Declaration No. PRJ-1114539/SCH No. 2024110673 was prepared in accordance with the California Environmental Quality Act Statute and Guidelines. A Mitigation Monitoring and Reporting Program for archaeological and tribal cultural resources will be implemented to reduce impacts to below a level of significance.

BACKGROUND:

The site is located at 1821 Viking Way and is developed with an existing one-story, 2,694-square-foot single-dwelling unit. The project is the remodel of the site and a two-story 851-square-foot addition for a total development size of 3,545 square feet.

DISCUSSION

Project Description: The 0.19-acre site is located at 1821 Viking Way in the La Jolla Shores Planned District Base Zone, Coastal (Non-Appealable), Coastal Height Limit, Parking (Beach and Coastal) Impact, Transit Area, Parking Standards Transit Priority Area, La Jolla Shores Archaeological Study Area, and Paleontological (High) Sensitivity Area Overlay Zones of the La Jolla Community Plan and Local Coastal Program Land Use Plan.

Plan-Historic staff have reviewed the photos, Assessor's Building Record, and written description of the property and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Permits Required: A Site Development Permit is required for development considered a major project in the La Jolla Shores Planned District Ordinance area, as indicated in SDMC Section 1510.0201(d). The Site Development Permit is a Process Three, with the Hearing Officer as the decision maker. The Hearing Officer's decision is final unless appealed to the Planning Commission.

Community Plan Analysis: The Community Plan land use designation for the site is Residential Low Density (5-9 dwelling units per acre). The 0.19-acre site could yield one to two dwelling units based on the land use designation. The proposed project with one existing dwelling unit to be remodeled and the construction of a two-story addition is consistent with the land use density. Further, the site is within the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone. The LJSPD-SF density regulation states, "...no lot or parcel shall be developed or occupied by more dwelling units than the average dwelling unit density (units per acre) of the developed SF Zone within 300 feet." The project vicinity is developed with one and two-story single-dwelling units, limiting the proposed development to one dwelling unit.

Environmental Analysis: In accordance with the California Environmental Quality Act (CEQA), an Initial Study was prepared for the project to identify potentially significant environmental impacts associated with implementation of the project. The Initial Study identified significant impacts to historical resources due to the project's location within the Spindrift Archaeological site and an archaeological evaluation was conducted (BFS Environmental Services, August 30, 2024). The evaluation included an archaeological survey and test excavations to determine if sensitive historical (archaeological) resources are present below surface. The test excavations determined the presence of limited archaeological material which can be attributed to Site SDI-39; however, no intact elements were identified within the project boundary test excavations. Due to the discovery of archaeological material associated with SDI-39 on the project site, disturbance to soil associated with project implementation could result in a significant impact to buried archaeological resources. A Mitigation Monitoring and Reporting Program for archaeological and tribal cultural resources including on-site archaeological, and tribal resource monitoring during all construction phases will be implemented to reduce impacts to below a level of significance.

Conclusion: Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with adopted City Council policies, the Community Plan,

and the Land Development Code. The staff has provided draft findings and conditions supporting approval and recommends that the Hearing Officer approve the proposed project.

ALTERNATIVES

1. Approve Site Development Permit No. PMT-32900093, with modifications; and
2. Deny Site Development Permit No. PMT-32900093; and, if the findings required to approve the project cannot be affirmed.

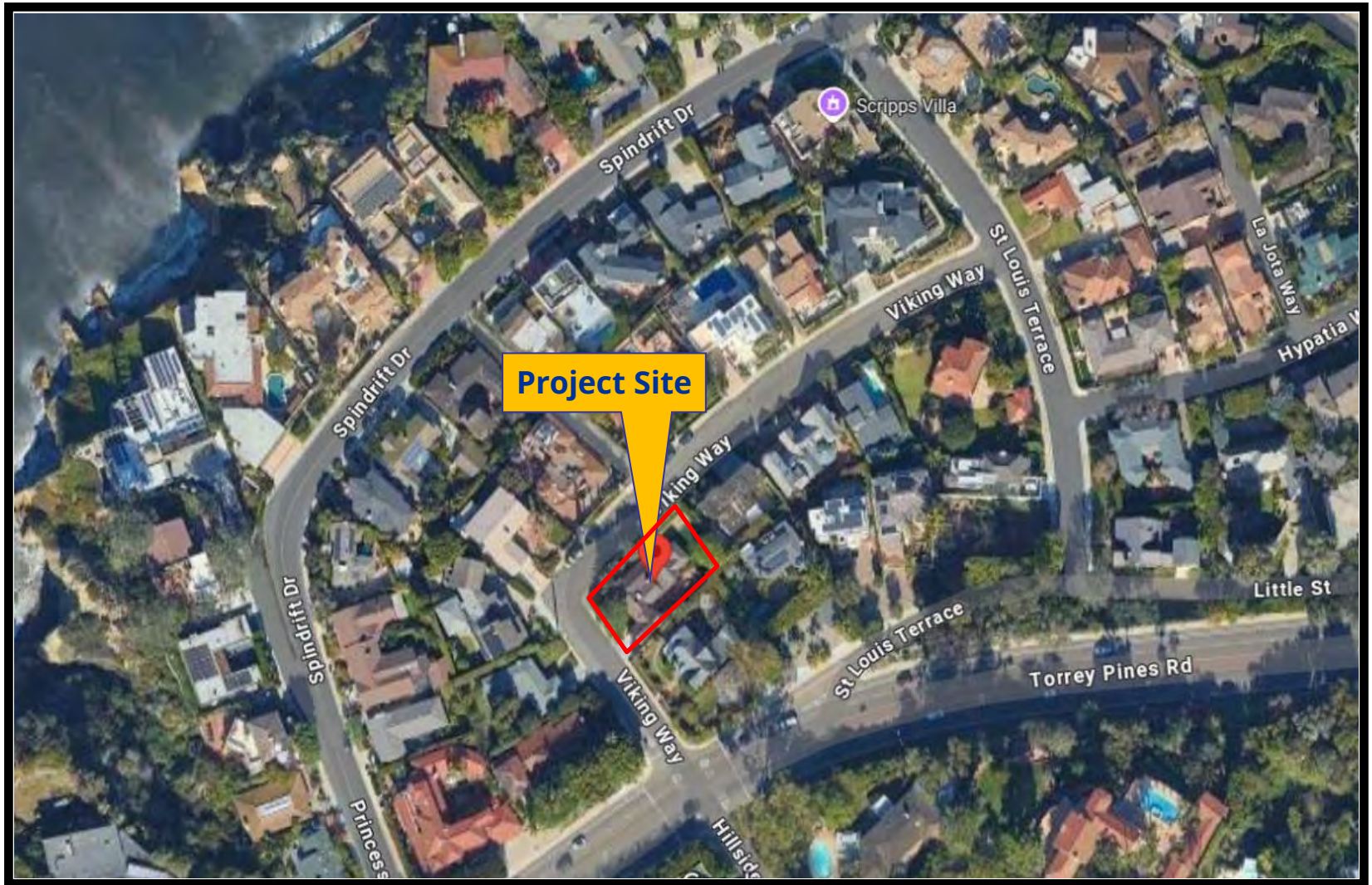
Respectfully submitted,



Karen Bucey
Development Project Manager
Development Services Department

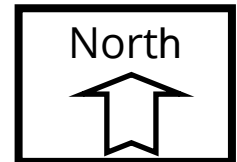
Attachments:

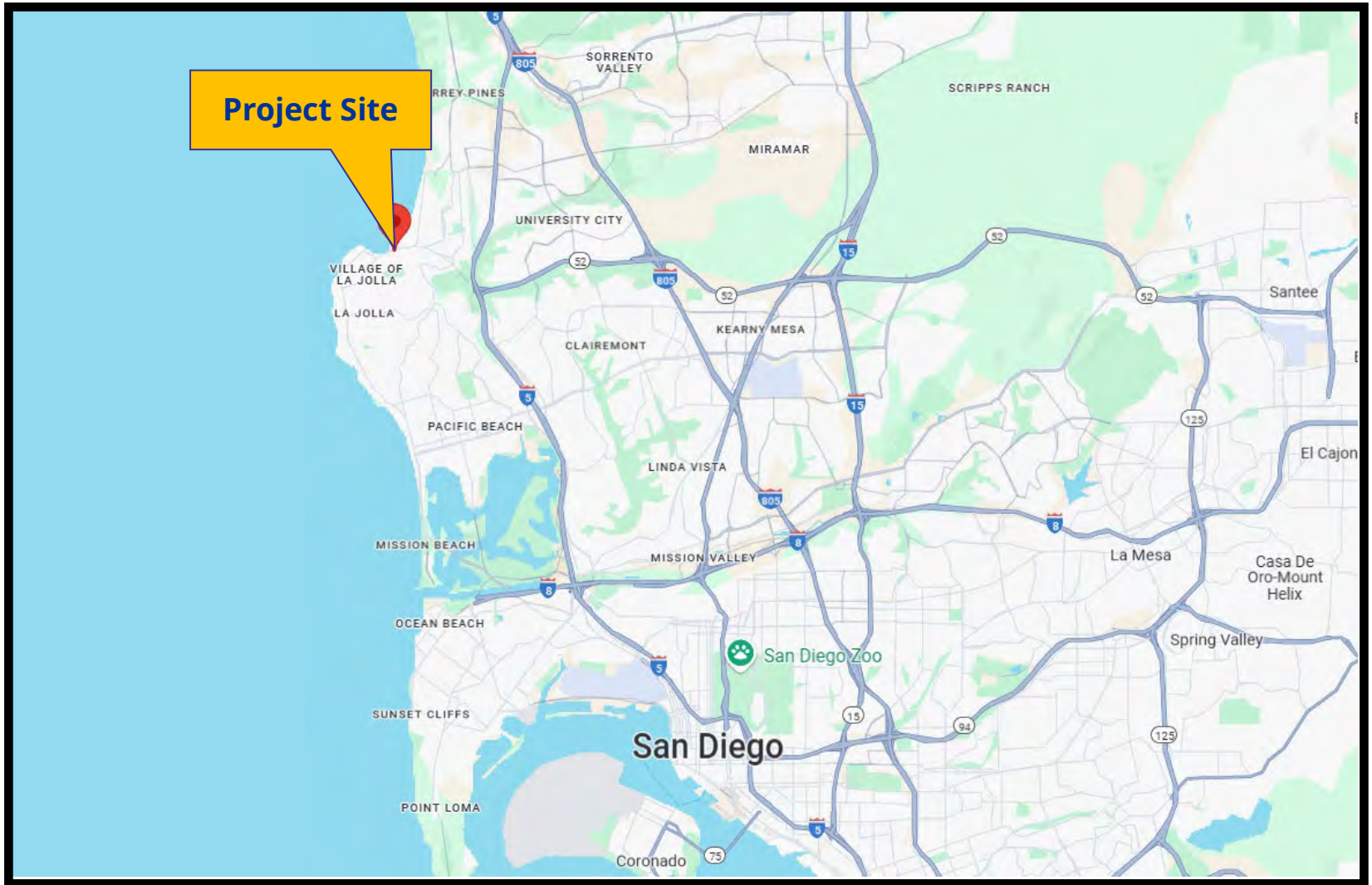
1. Aerial Photographs
2. Vicinity Map
3. Draft Permit
4. Draft Resolution
5. Draft Environmental Resolution ([MND SCH-2024110673 with MMRP](#))
6. Ownership Disclosure Statement
7. La Jolla Community Planning Association Vote Sheet
8. La Jolla Shores Planned District Advisory Board Minutes
9. Project Plans



Project Location Map

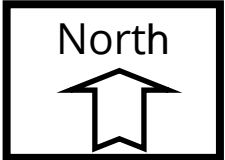
Project No. PRJ-1114539, 1821 Viking Way





Aerial Photo

Project No. PRJ-1114539, 1821 Viking Way



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009912

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT
1821 VIKING WAY: PRJ-1114539 (MMRP)
HEARING OFFICER

This Site Development Permit No. PMT-3290093 is granted by the Hearing Officer of the City of San Diego to Williams Family Trust, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Section 1510.0201(d). The 0.19-acre site is located at 1821 Viking Way in the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable), and Coastal Height Limitation Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) Area. The project site is legally described as: All of Lots 60 and 61 and the Westerly 23 Feet of Lot 62 of La Jolla Vista, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1762, filed in the Office of the County Recorder of San Diego County, August 1, 1923.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee to construct a two-story addition to an existing one-story, single-dwelling unit with attached garage as described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated March 26, 2025, on file in the Development Services Department.

The project shall include:

- a. Constructing an 851 square-foot addition (194 square feet on the first floor and 657 square feet on the second floor) to an existing one-story, 2,694 square-foot single dwelling unit with attached garage, and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by April 9, 2028.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations, or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this

Permit. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the existing stairs, railings, cobble stones, wall, landscape, and irrigation within the right-of-way, subject to the City Engineer's approval. satisfactory to the City Engineer.

12. The project proposes to export six (6) cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2024 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual

14. Development of this project shall comply with all stormwater construction requirements of the current version of the City of San Diego's Stormwater Standards Manual.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

18. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program (MMRP) shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
19. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 2024110673, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
20. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No. 2024110673, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

**Cultural Resources (Archaeology)
Tribal Cultural Resources**

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of construction permits for grading or building, the Permittee or Subsequent Owner shall submit a landscape plan consistent with Approved Exhibit "A" (Landscape Development Plan). The landscape diagram shall show the required 30 percent landscaped area in a crosshatch pattern and labeled "Landscape Plan" (SDMC Section 1510.0304(h)).
22. Provide the following note on the "Landscape Plan": "All of the landscape to meet the 30 percent area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance (SDMC Section 1510.0304(h)) prior to final inspection."
23. Any modifications or changes to the "Landscape Plan" and existing or proposed plant material, as shown on the Approved Exhibit "A," Landscape Development Plan, is permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance (SDMC Section 1510.0304(h)).

24. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
25. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards.
26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

27. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose unless otherwise authorized in writing authorized by the appropriate City decision-maker in accordance with the SDMC.
28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

PUBLIC UTILITIES REQUIREMENTS:

29. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
30. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
31. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
32. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 26, 2025, and HO-25-011.

DRAFT

Site Development Permit I No. PMT-3290093
Date of Approval March 26, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

WILLIAMS FAMILY TRUST
Owner/Permittee

By _____
DAN C. WILLIAMS
Trustee

WILLIAMS FAMILY TRUST
Owner/Permittee

By _____
KRISTI P. WILLIAMS
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. 32900093
1821 VIKING - PROJECT NO. PROJECT NO. 1114539

WHEREAS, Williams Family Trust, Owner/Permittee, filed an application with the City of San Diego for a permit for the remodel and 851-square-foot two-story addition to an existing one-story, 2,694-square-foot single dwelling unit with an attached garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 32900093);

WHEREAS, the 0.19-acre site is located at 1821 Viking Way in the La Jolla Shores Planned District Base Zone, Coastal (Non-Appealable), Coastal Height Limit, Parking (Beach and Coastal) Impact, Transit Area, Parking Standards Transit Priority Area, La Jolla Shores Archaeological Study Area, and Paleontological (High) Sensitivity Area Overlay Zones of the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) Area;

WHEREAS, the project site is legally described as All of Lots 60 and 61 and the Westerly 23 Feet of Lot 62 of La Jolla Vista, in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 1762, filed in the Office of the County Recorder of San Diego County, August 1, 1923;

WHEREAS, on March 26, 2025, the Hearing Officer of the City of San Diego considered Site Development Permit No. 32900093 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 32900093:

A. SITE DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0505]**1. Findings for all Site Development Permits:****a. The proposed development will not adversely affect the applicable land use plan.**

The Community Plan land use designation for the site is Residential Low Density (5-9 dwelling units per acre). The 0.19-acre site could yield one to two dwelling units based on the land use designation. The proposed project with one existing dwelling unit to be remodeled and the construction of a two-story addition is consistent with the land use density. Further, the site is within the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone. The LJSPD-SF density regulation states, "...no lot or parcel shall be developed or occupied by more dwelling units than the average dwelling unit density (units per acre) of the developed SF Zone within 300 feet." The project vicinity is developed with one and two-story single-dwelling units, limiting the proposed development to one dwelling unit.

The Community Plan Residential Element recommends that projects promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. Further, an additional goal of the Community Plan Residential Element is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The structures in the vicinity of the project consist of large one- and two-story single dwelling units of varying styles including beach cottages, contemporary coastal, and Tudor styles. The remodel and additions are complementary to the existing beach cottage style incorporating transitions within the second level by pushing a portion of the second story back, creating a visual relief and building articulation.

The Historical Resource Regulations [SDMC Section 143.0212](#) requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. The development on site was constructed in 1924 and has had revisions in 1940, 1992, and 2019.

The site's historicity has been reviewed (Project No. [PRJ-1112693](#)) and determined that it is not an individually designated resource located within a designated historic district, nor does it meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The project, as proposed, is in conformance with the land use designation, the implementing zoning, historic regulations and does not require any deviations. Therefore, the proposed development will comply with the regulations of the Land

Development Code including any allowable deviations pursuant to the Land Development Code.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval to assure the project's compliance with applicable local, regional, state and federal codes and rules. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large. Construction of the project authorized through this permit will include conditions requiring an Encroachment Maintenance Removal Agreement for the existing stairs, railings, cobble stones, wall, landscape, and irrigation within the right-of-way, landscape improvements, and onsite stormwater management, as well as be subject to all adopted building, electrical, mechanical, fire codes, which will be enforced through plan review and building inspections completed by the City's building inspectors.

The project was reviewed pursuant to the California Environmental Quality Act. A [Mitigated Negative Declaration, SCH No. 2024110673, with Mitigation, Monitoring, and Reporting Program](#), was prepared for potential impacts to Cultural Resources (Archaeology) and Tribal Cultural Resources. The site will be monitored to avoid impacts during ground disturbance activities. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed addition consists of a 194-square-foot addition on the ground floor and a 657-square-foot addition on the second story over the existing first-floor footprint for a total of 851 square feet. The La Jolla Shores Planned District does not contain prescribed setbacks. Rather, the project design must be in general conformity to that in the surrounding 300 feet area per Single-Family Zone-Development Regulations per [SDMC Section 1510.0304\(b\)](#). The development will reduce the side yard setback from 26 feet to 24 feet and the front setback from 11 feet to 10.29 feet but remains in conformity with the 300-foot vicinity. The height of the structure will increase from 16.08 feet to 25.83 feet and remain consistent with the Coastal Height Limit of 30 feet. The maximum permitted floor area ratio is determined by lot size shown in the La Jolla Shores Planned District Ordinance, Single Family Zone-Development Regulations, [SDMC Section 1510.0304\(i\)\(1\)\(A\)](#) and Table 131-04J. The allowable Floor Area Ratio (FAR) for a 0.19-acre lot is 0.56, or a maximum of 4,556 square feet. The proposed FAR is 3,545 square feet, or an observed FAR of 0.44. The project is in conformance with the development regulations of the zone and no deviations are required.

The original residential structure dates to 1924 and was subsequently remodeled in 1940, 1992, and 2019. SDMC Section [143.0212](#) requires City staff to review all projects

impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site.

Plan-Historic staff have reviewed the photos, Assessor's Building Record, and written description of the property and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The project as proposed is consistent with the residential development regulation, Historical Resources regulations, and does not require any deviations. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, SDP No. 32900093 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 32900093, a copy of which is attached hereto and made a part hereof.

Karen Bucey
Development Project Manager
Development Services

Adopted on: March 26, 2025

IO#: 24009912

RESOLUTION NUMBER R-_____

ADOPTED ON _____

**A RESOLUTION OF THE HEARING OFFICER OF THE CITY
OF SAN DIEGO ADOPTING MITIGATED NEGATIVE DECLARATION
NO. PRJ-1114539/SCH NO. 2024110673 AND THE MITIGATION,
MONITORING, AND REPORTING PROGRAM**

WHEREAS, on May 9, 2024, Happy Space Studio, Inc., submitted an application to the Development Services Department for a Site Development Permit for the Viking Way Residence (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego on March 26, 2025; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 1114539 prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

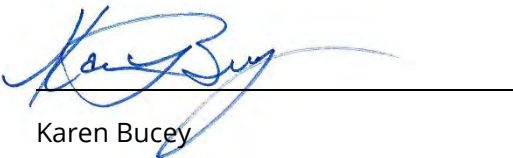
BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the

Attachment 5

changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that the Development Services Department staff is directed to file a Notice of Determination in accordance with CEQA with the Clerk of the Board of Supervisors for the County of San Diego and the State Clearinghouse in the Office of Land Use and Climate Innovation regarding the project.

By: 
Karen Bucey

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

Site Development Permit

PROJECT NO. PRJ-1114539

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 1114539 shall be made conditions of the Site Development Permit as may be further described below.

MITIGATION MONITORING AND REPORTING PROGRAM (MMRP)

A. GENERAL REQUIREMENTS – PART I

Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **“ENVIRONMENTAL/MITIGATION REQUIREMENTS.”**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and

perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

QUALIFIED ARCHAEOLOGIST
QUALIFIED NATIVE AMERICAN MONITOR

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, PRJ-1114539 and /or Environmental Document PRJ-1114539, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc).

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency. *Not applicable for this project.*
4. MONITORING EXHIBITS: All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.
5. OTHER SUBMITTALS AND INSPECTIONS: The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

| DOCUMENT SUBMITTAL/INSPECTION CHECKLIST | | |
|---|---|---|
| Issue Area | Document Submittal | Associated Inspection/Approvals/Notes |
| General | Consultant Qualification Letters | Prior to Preconstruction Meeting |
| General | Consultant Construction Monitoring Exhibits | Prior to or at Preconstruction Meeting |
| Cultural Resources (Archaeology) | Archaeology Report(s) | Archaeology/Historic Site Observation |
| Tribal Cultural Resources | Monitoring Report(s) | Archaeology/Historic Observation |
| Bond Release | Request for Bond Release Letter | Final MMRP Inspections Prior to Bond Release Letter |

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

ARCHAEOLOGICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site-specific records search (1/4 mile radius) has been completed. Verification includes but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - The applicant shall submit a letter to MMC acknowledging their responsibility for the cost of curation associated with all phases of the archaeological monitoring program.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed or emailed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging,

Exhibit A, MMRP

trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.

2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in Guidelines Section, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

Exhibit A, MMRP

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains ARE determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Guidelines Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
 - b. The landowner or authorized representative rejects the recommendation of the

Exhibit A, MMRP

MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN

- c. To protect these sites, the landowner shall do one or more of the following:
 - Record the site with the NAHC;
 - Record an open space or conservation easement; or
 - Record a document with the County. The document shall be titled "Notice of Reinterment of Native American Remains" and shall include a legal description of the property, the name of the property owner, and the owner's acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

Exhibit A, MMRP

- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation. The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.

Exhibit A, MMRP

5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

| | | | |
|---|---|---|---------------------|
|  | City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000 | <h1>Ownership Disclosure Statement</h1> | FORM |
| | | | DS-318 |
| | | | October 2017 |

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Williams Residence **Project No. For City Use Only:** _____

Project Address: 1821 Viking Way
San Diego, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Williams Family Trust Owner Tenant/Lessee Successor Agency

Street Address: 1821 Viking Way

City: La Jolla State: CA Zip: 92037

Phone No.: 512-771-8246 Fax No.: 512-320-1413 Email: dewilliams@danwilliamsconsulting.com

Signature: [Signature] Date: 4-4-24

Additional pages Attached: Yes No

Applicant

Name of Individual: Francis Czermer Owner Tenant/Lessee Successor Agency

Street Address: 4396 Calavo Drive

City: La Mesa State: CA Zip: 91941

Phone No.: 619-920-8965 Fax No.: _____ Email: francis@happyspacestudio.com

Signature: [Signature] Date: 4-4-2024

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____


City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

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 Upon request, this information is available in alternative formats for persons with disabilities

| | | | |
|--|---|------------------------------------|---|
| Page 3 | City of San Diego · Information Bulletin 620 | | August 2018 |
|  | City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 | | <h2 style="text-align: center;">Community Planning Committee Distribution Form</h2> |
| Project Name: 1114539 | | Project Number: 1821 Viking Way | |
| Community: La Jolla | | | |
| <p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p> | | | |
| <input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny | | | Date of Vote: August 01, 2024 |
| # of Members Yes 15 | # of Members No 0 | # of Members Abstain 1 | |
| Conditions or Recommendations: none | | | |
| <input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.) | | | |
| NAME: ADRIANFERAL | | | |
| TITLE: SECRETARY | | DATE: August 09, 2024 | |
| <div style="border: 1px solid black; height: 50px; width: 100%;"></div> | | | |

Visit our web site at www.sandiego.gov/development-services.

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DS-5620 (08-18) ONLINE FORM



LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD

DRAFT MEETING MINUTES FROM:

WEDNESDAY, May 15, 2024

Item 1: CALL TO ORDER

Board Member Lightner called the meeting to order at 10:00 a.m.

Item 2: ROLL CALL

Members Present: Herbert Lazerow, Kathleen Neil, Philip Wise and Sherri Lightner. Chair Jane Potter and Board Member Weissman absent.

Staff Liaison: Melissa Garcia, Senior Planner, City Planning Department; Angela Dang, Junior Planner, City Planning Department.

Item 3: APPROVAL OF THE AGENDA

Motion to approve the agenda by Board Member Lazerow, seconded by Board Member Neil. Agenda approved 4-0-0.

Board Member Lightner noted that the project for Item 8 has not submitted an application for a Site Development Permit to the City and assumed that the project would be heard as a preliminary.

Item 4: APPROVAL OF THE MINUTES from April 17, 2024.

Motion to approve minutes with suggested changes from Board Members Lightner and Lazerow by Board Member Lazerow, seconded by Board Member Wise. Minutes approved 4-0-0.

Item 5: BOARD MEMBER COMMENT

Board Member Lightner received a notice for a Coastal Development Permit for a street vacation and requested staff investigate whether this project needs to be heard by the Board.

Board Member Lightner noted that the Land Development Code Update and the Environmental Justice Element would both be heard by the Land Use & Housing Committee on May 17, 2024.

Item 6: STAFF LIAISON COMMENT AND NON-AGENDA PUBLIC COMMENT

Board Member Neil commented as a member of the public. Board Member Neil noted that the La Jolla Shores Association formed a committee to discuss the Capital Improvement Project on the walkway between the Marine room and the adjacent residential property owned by the Barbey family and stated that anyone interested in joining the committee should contact Board Member Neil.

Item 7: **PRJ-1114539 - 1821 Viking Way (ACTION ITEM)**

Proposal to remodel an existing one-story single-family home, add an additional 194 sq ft on the first floor and a 657 sq ft. second-floor addition. The applicant is seeking a recommendation of approval of a Site Development Permit.

Francis Czerner presented the project.

Public Comment:

There was no testimony provided by the public on this item.

Board Comment included:

- Acknowledgement that the DSD reviewer did a great job on the review of the project

Board Motion: The LJSPDAB voted to recommend approval of the project as presented. Motion made by Board Member Neil, seconded by Board Member Wise. Motion approved 4-0-0.

Item 8: **PRJ-1107808 - 2477 Avenida de la Playa - (ACTION ITEM)**

Proposal to demolish existing 4,380 sq ft single-family home and construct new two-story 4,948 sq ft single-family residence with attached 633 sq ft garage, spa/pool, and related site improvements. The applicant is seeking recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP).

Nate Nicodemus, AIA, presented the project.

Board Motion: The LJSPDAB moved to consider this as a concept review only and requests the applicant return to the Board once the following considerations have been addressed: DSD resolves the sidewalk and driveway issues, the applicant provides a 2nd floor step back, the applicant provides evidence of the character of the homes within the 300 foot area such as the second story, the applicant works with the neighbors to resolve issues, and confirmation is received that the applicant has applied for a SDP. Motion made by Board Member Neil, seconded by Board Member Wise.

Motion approved 4-0-0.

Item 10: **Land Development Code Update - (ACTION ITEM)**

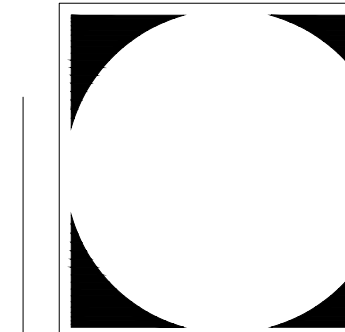
Public Comment: There was no testimony provided by the public on this item.

Board Comment: Concern regarding residential care facilities in the Shores

Board Motion: No motion was made on this item.

Item 11: ADJOURNMENT

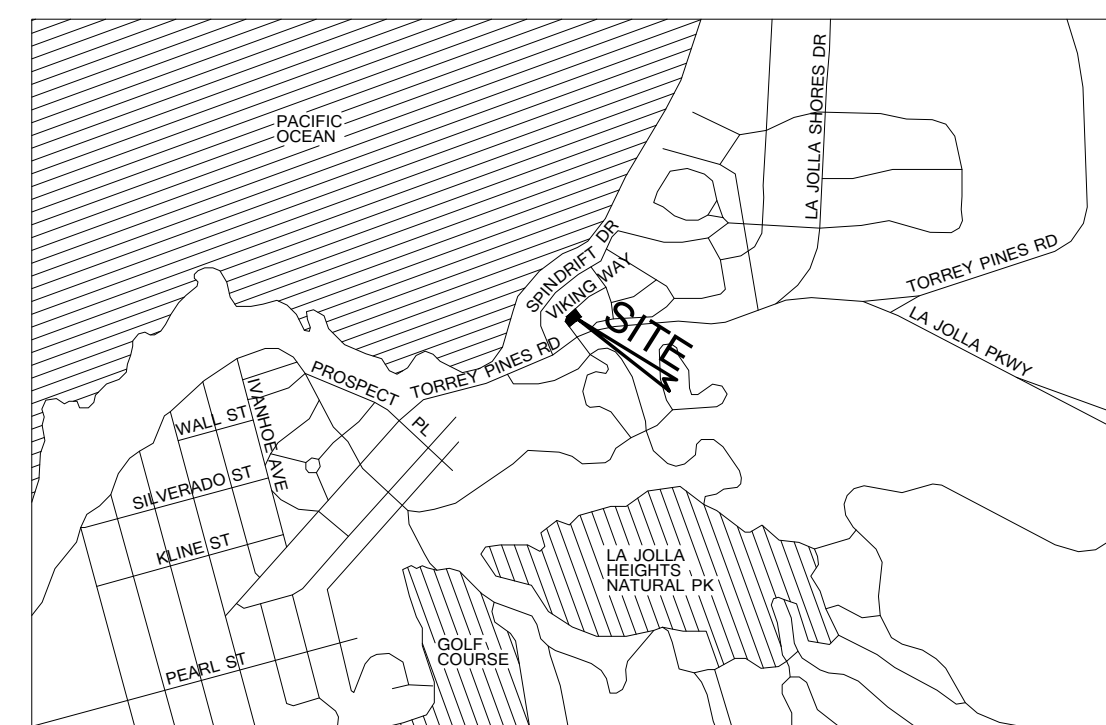
Next meeting: June 12, 2024. The meeting concluded at 11:28 a.m.



HAPPY SPACE STUDIO, INC.

4396 CALAVO DR.
LA MESA, CA 91941
619-920-8965
info@happyspacestudio.com

WILLIAMS COTTAGE



VICINITY MAP

SCALE: N.T.S.



SHEET INDEX

| | |
|-------|---|
| TS-1 | TITLE SHEET, PROJECT INFO, SITE PLAN |
| SP-1 | SURVEYED PLAN |
| SP-2 | BMP PLOT PLAN |
| A-1-0 | AS-BUILT & DEMO PLANS |
| A-1-1 | FIRST FLOOR PLAN |
| A-1-2 | SECOND FLOOR PLAN |
| A-1-3 | ROOF PLAN |
| A-1-4 | DOOR & WINDOW SCHEDULES GREEN BUILDING REGS |
| A-2-0 | ELEVATIONS |
| A-2-1 | ELEVATIONS |
| A-3-0 | SECTIONS |
| A-3-1 | SECTIONS |
| A-3-2 | SECTIONS |
| A-3-3 | SECTIONS |
| SW-1 | STORMWATER REQUIREMENTS CHECKLIST |

PROJECT DATA

| | |
|--|--|
| ZONING: | LJSPD-SF |
| OCCUPANCY GROUP: | RESIDENTIAL R-3 |
| OVERLAY: | LA JOLLA COMMUNITY PLAN AREA COASTAL HEIGHT LIMIT OVERLAY ZONE COASTAL OVERLAY ZONE - N-APP-2 PARKING IMPACT OVERLAY ZONE - COASTAL TRANSIT PRIORITY AREA PARKING STANDARDS TRANSIT PRIORITY AREA HIGH PALEONTOLOGICAL SENSITIVITY AREA GEOLOGICAL HAZARD CATEGORY 27 SAN DIEGO UNIFIED SCHOOL DISTRICT LA JOLLA SHORES ARCHAEOLOGICAL STUDY AREA 8,135 SF |
| LOT AREA: | |
| LOT COVERAGE ALLOWED: | 0.60 x 8,135 = 4,881 SF |
| LOT COVERAGE PROPOSED: | 0.36 x 8,135 = 2,888 SF |
| FLOOR AREA RATIO ALLOWED: | 0.56 x 8,135 = 4,556 SF |
| FLOOR AREA RATIO PROPOSED: | 0.44 x 8,135 = 3,545 SF |
| BUILDING HEIGHT ALLOWED: | 30'-0" |
| BUILDING HEIGHT PROPOSED: | 25'-10" |
| PARKING: | EXISTING - 2 SPACES (COVERED) PROVIDED - 2 SPACES (BOTH COVERED; EXISTING TO REMAIN) |
| FLOOR AREA (PER SAN DIEGO ZONING CODE DEFINITION): | |
| FIRST FLOOR AREA (EXISTING): | 2,317 SF |
| FIRST FLOOR ADDITION FLOOR AREA: | 194 SF |
| TOTAL PROPOSED FIRST FLOOR AREA: | 2,511 SF |
| SECOND FLOOR ADDITION FLOOR AREA: | 657 SF |
| TOTAL PROPOSED HOUSE FLOOR AREA: | 3,168 SF |
| GARAGE AREA (EXISTING): | 377 SF |
| TOTAL SITE FLOOR AREA: | 3,545 SF |
| DECK AREA: | |
| SECOND FLOOR BALCONY 1: | 273 SF |
| SECOND FLOOR BALCONY 2: | 103 SF |
| TOTAL DECK AREA: | 376 SF |
| ROOF AREA: | |
| AREA OF EXISTING ROOF: | 2,858 SF |
| AREA OF PROPOSED ROOF: | 3,011 SF |
| TOTAL INCREASE IN ROOF AREA: | 153 SF |
| CONSTRUCTION TYPE: | V-B |
| YEAR EXISTING HOUSE BUILT: | 1930 |
| EXISTING HOUSE SPRINKLERED: | NO |
| FIRE SPRINKLERS REQUIRED: | NO |

BUILDING CODES:

- THESE PLANS AND ALL WORK SHALL COMPLY WITH: 2022 BUILDING CODE (CBC) AND/OR 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen), 2022 ELECTRICAL CODE (CEC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CBEES), AND ALL CITY OF SAN DIEGO AMENDMENTS.
- DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.
- DEPUTY INSPECTORS ARE REQUIRED TO BE REGISTERED WITH THE CITY OF SAN DIEGO.
- SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, PATIO COVERS, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFIR, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

DIMENSION NOTES:
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR IN NO CASE SHALL SCALE THESE DRAWINGS. IF THE CONTRACTOR SHOULD FIND AN ERROR IN THE DIMENSIONS, HE SHALL NOTIFY THE DESIGNER PRIOR TO START OF CONSTRUCTION.

FIRE DEPARTMENT NOTES:

- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF .5". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC 3315.1.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33 WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

GREEN BUILDING STANDARDS:

THE SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPARTMENT.

A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED.

INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS SHALL BE PROVIDED BY THE SOIL ENGINEER RESPONSIBLE FOR THE PROJECT PER SOIL REPORT PER CGC SECTION 4.505.2.1, ITEM 3.

PROJECT INFORMATION

OWNER: WILLIAMS FAMILY TRUST
1821 VIKING WAY
LA JOLLA, CA 92037

ARCHITECT: HAPPY SPACE STUDIO, INC.
FRANCIS CZERNER, R.A.
4396 CALAVO DRIVE
LA MESA, CA 91941
619-920-8965

PROJECT ADDRESS: 1821 VIKING WAY
LA JOLLA, CA 92037

ASSESSOR'S PARCEL #: 346-454-01-00

STRUCTURAL ENGINEER: MIKE SURPRENANT
9575 BUSINESSPARK AVE. STE A
SAN DIEGO, CA 92131
858-693-0757

LEGAL DESCRIPTION: ALL OF LOTS 60 AND 61 AND THE WESTERLY 23 FEET OF LOT 62 OF LA JOLLA VISTA IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN GRANT DEED RECORDED MAY 22, 2014 AS DOCUMENT NO. 2014-0211402, O.R.

SCOPE OF WORK:
SITE DEVELOPMENT PERMIT FOR THE FOLLOWING REMODEL/ADDITION:
REMODEL OF EXISTING ONE-STORY SINGLE FAMILY 4-BED/4-BATH HOME & SECOND FLOOR ADDITION INTO A 5-BED/6-BATH HOME, INCLUDING:
FIRST FLOOR:
-NEW STAIRS TO NEW SECOND FLOOR ADDITION
-ADDITION & REMODEL OF (E) BED 2 & (E) BATH 2
-ADDITION & REMODEL OF (E) BED 4 & (E) BATH 4
-ADDITION OF NEW EN-SUITE BATH 3
SECOND FLOOR:
-ADDITION OF NEW SECOND FLOOR, INCLUDING BED 5, BATH 5, FOYER, OFFICE, & BALCONY
ROOF:
-EXISTING ROOF STRUCTURE TO REMAIN WHERE POSSIBLE
-NEW ROOF OVER SECOND FLOOR ADDITION
AREA OF REMODEL: 1,007 SF

SERVICE AGENCIES:
WATER/SEWER SCHOOL FIRE GAS/ELEC CITY OF SAN DIEGO PUBLIC UTILITIES DEPARTMENT SAN DIEGO UNIFIED SCHOOL DISTRICT SAN DIEGO FIRE DEPARTMENT SAN DIEGO GAS & ELECTRIC

GENERAL SITE NOTES:

- ALL UTILITY CONNECTIONS SHALL BE DESIGNED TO COORDINATE WITH THE ARCHITECTURAL ELEMENTS OF THE SITE SO AS NOT TO BE EXPOSED EXCEPT WHERE NECESSARY. LOCATIONS OF PAD MOUNTED TRANSFORMERS, METER BOXES, AND OTHER UTILITY RELATED ITEMS SHALL BE INCLUDED IN THE SITE PLAN SUBMITTED WITH THE BUILDING PERMIT APPLICATION WITH AN APPROPRIATE SCREENING TREATMENT, TRANSFORMERS, TERMINAL BOXES, METER CABINETS, PEDESTALS, DUCTS AND OTHER FACILITIES MAY BE PLACED ABOVE GROUND PROVIDED THEY ARE SCREENED WITH LANDSCAPING.
- THE EXISTING SURVEY MONUMENTS, IF ANY, SHALL BE REFERENCED ON THE SITE PLAN AND SHALL BE PROTECTED IN-PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD SHALL BE FILED WITH THE COUNTY PRIOR TO RELEASE OF SECURITIES.
- ROOF WATER TO BE DOWN-SPROUTED TO PERMEABLE SURFACES.
- EXISTING LOT DRAINAGE, AREA DRAINS, WITH SUBSURFACE DRAINS, TO REMAIN UNALTERED, WHERE APPLICABLE.
- ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- NO WORK WILL BE PERFORMED IN THE RIGHT OF WAY.
- NO EXISTING OR PROPOSED EASEMENTS EXIST ON SUBJECT PROPERTY.
- UNUSED SEWER LATERAL SHOULD BE PLUGGED AT PROPERTY LINE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409(b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ADJUTING PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

LANDSCAPING NOTES:

- ALL LANDSCAPING PLANTINGS TO BE NATIVE AND/OR DROUGHT TOLERANT PLANTS.

LANDSCAPE PLAN LEGEND:

- FOOTPRINT OF HOUSE & GARAGE
- HARDSCAPE AREA
- LANDSCAPED AREA

LANDSCAPING CALCULATIONS:
LANDSCAPED AREA: 2,954 SF
PERCENTAGE OF TOTAL PARCEL AREA:
2,954 / 8,135 = 36.3% (>30% REQUIRED)

BMP DATA:

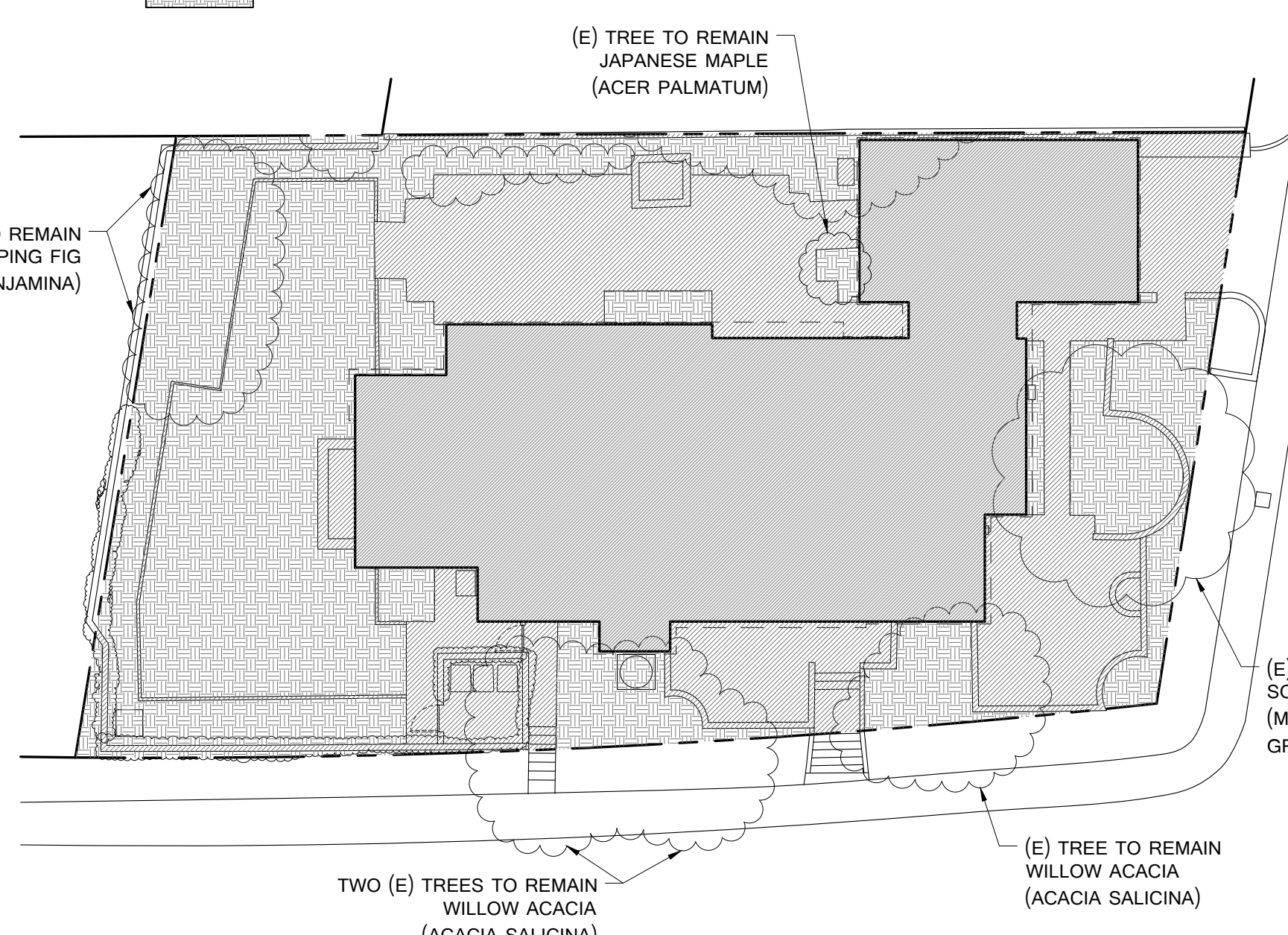
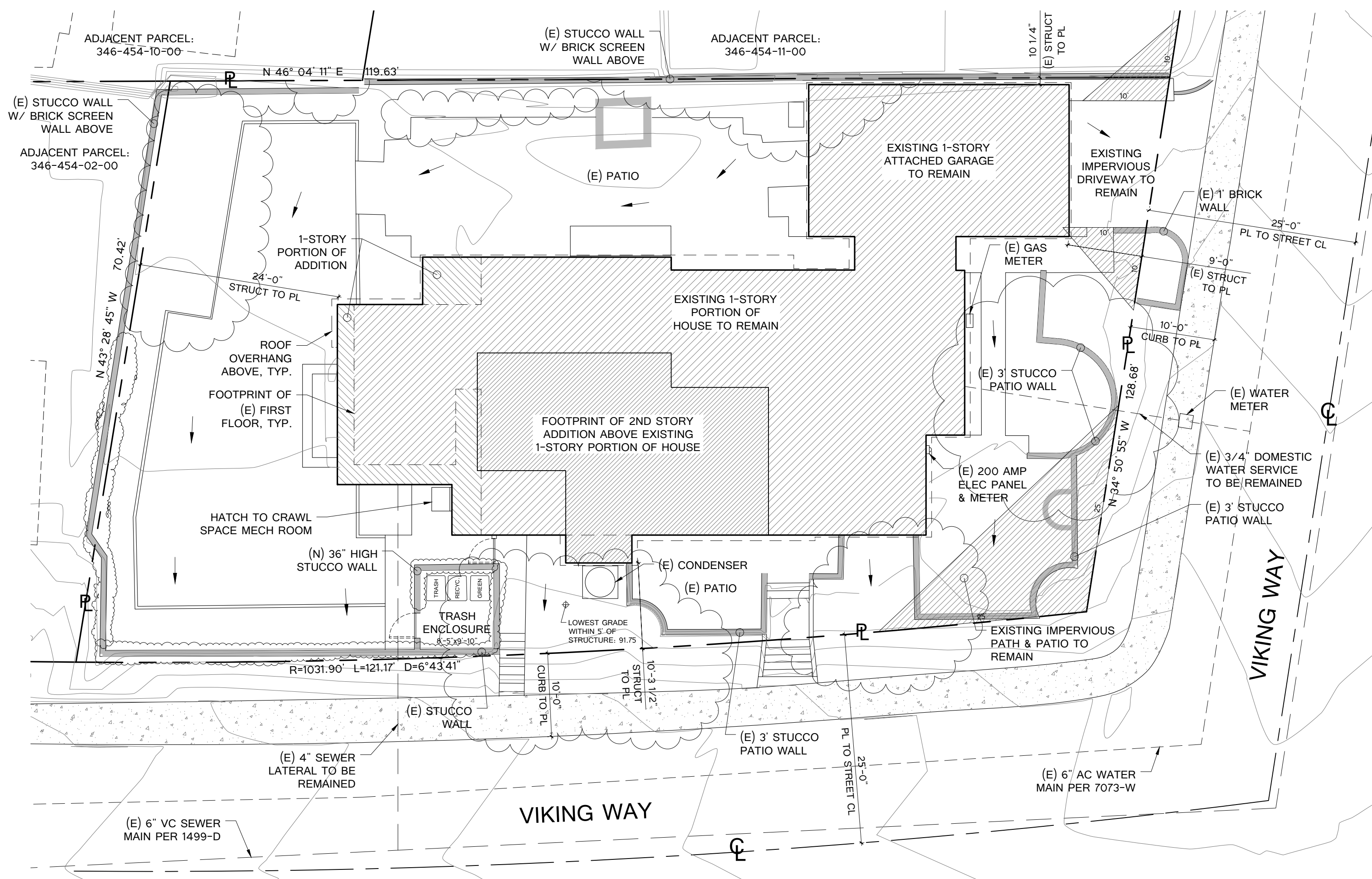
| | |
|--|----------|
| A. TOTAL DISTURBANCE AREA: | 478 SF |
| B. EXISTING AMOUNT OF IMPERVIOUS AREA: | 4,860 SF |
| C. AMOUNT OF CREATED IMPERVIOUS AREA: | 258 SF |
| D. AMOUNT OF REPLACED IMPERVIOUS AREA: | 182 SF |
| E. AMOUNT OF REMOVED IMPERVIOUS AREA: | 38 SF |
| F. TOTAL PROPOSED IMPERVIOUS AREA: | 5,080 SF |
| F. IMPERVIOUS % INCREASE: | +4.52% |

EARTHWORK QUANTITIES:

| | |
|--------------------------|------------|
| CUT QUANTITIES | 12 cu. yd. |
| FILL QUANTITIES | 6 cu. yd. |
| IMPORT / EXPORT (EXPORT) | -6 cu. yd. |
| MAX CUT DEPTH | 1.75 ft. |
| MAX FILL DEPTH | 1 ft. |

BUILDING SETBACKS TABLE

| SETBACK | EXISTING | PROPOSED |
|-------------|------------|------------------------|
| FRONT | 11'-0" | 10'-3 1/2" |
| STREET SIDE | 9'-0" | 9'-0" (NO CHANGE) |
| SIDE | 26'-0" | 24'-0" |
| REAR | 0'-10 1/4" | 0'-10 1/4" (NO CHANGE) |



SITE LANDSCAPE DIAGRAM

SCALE: 1/16" = 1'-0"

SITE PLAN

SCALE: 1" = 10'-0"

REVISIONS

WILLIAMS COTTAGE
1821 VIKING WAY
LA JOLLA, CA 92037

PROJECT

DATE

9.10.2024

SCALE

VARIABLES

SHEET NO.

TITLE SHEET

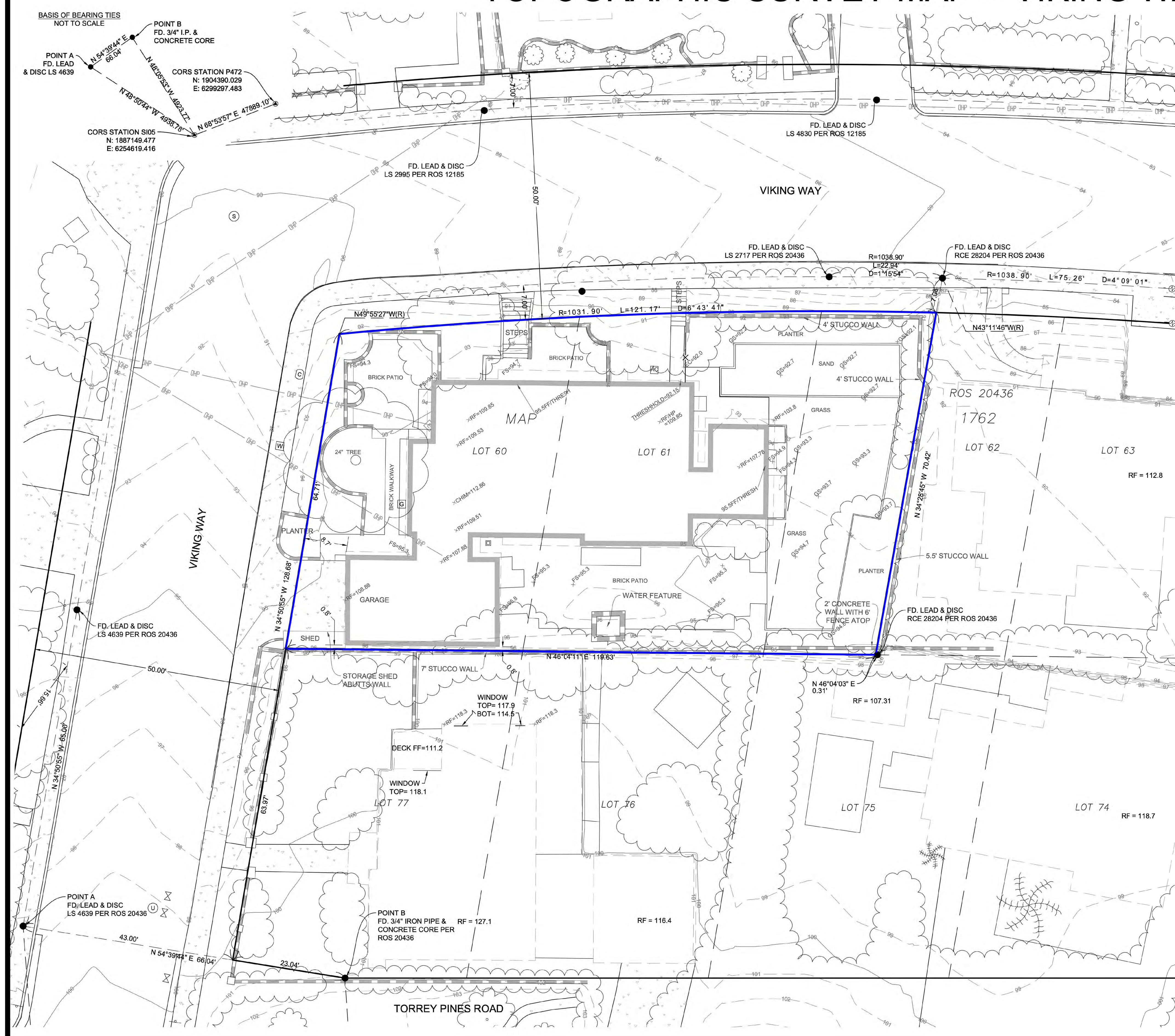
PROJECT INFO

VARIES

TS-1

TOPOGRAPHIC SURVEY MAP -- VIKING WAY

SHEET 1 OF 1 SHEET
PLSA JOB # 2516-02



SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON 02/16/2023.

Gary D. Mellom
GARY D. MELLOM, PLS 8537
03/01/2023
DATE



PROJECT INFORMATION

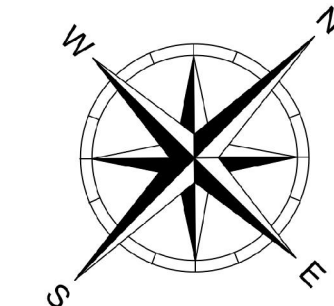
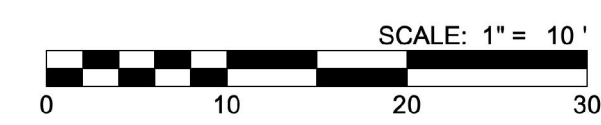
CLIENT: DAN WILLIAMS
ADDRESS: 1821 VIKING WAY, LA JOLLA, CA
APN: 346-454-01

ABBREVIATED LEGAL DESCRIPTION

ALL OF LOTS 60 AND 61 AND THE WESTERLY 23 FEET OF LOT 62 OF LA JOLLA VISTA IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN GRANT DEED RECORDED MAY 22, 2014 AS DOCUMENT NO. 2014-0211402, O.R.

SURVEY NOTES

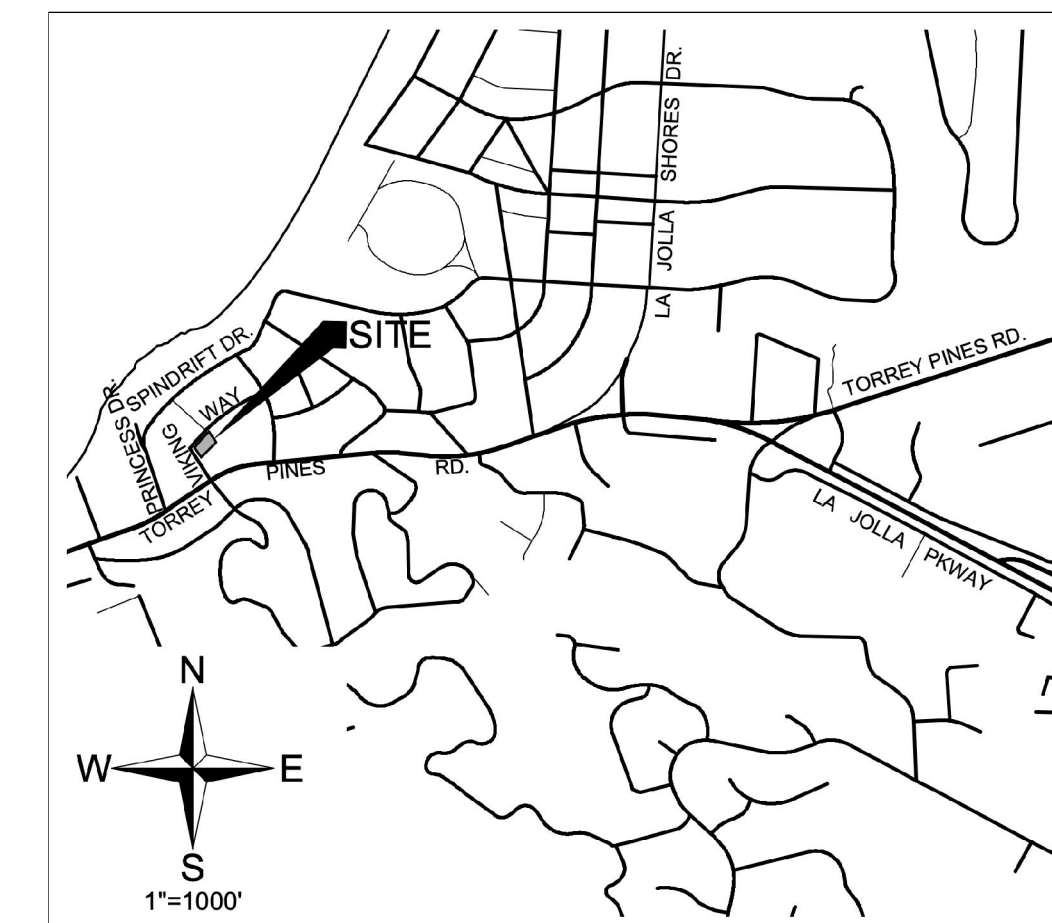
1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 2011, ESTABLISHED FROM GPS STATION CRTN S105 AND GPS STATION CRTN STATION P472. IE N 68°53'57"E.
3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BOOK, BRASS PLUG IN CURB ON NORTHERLY CORNER OF VIKING WAY AND TORREY PINES ROAD. ELEV = 101.766, NGVD 29 DATUM.
4. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
5. TITLE REPORT WAS NOT PROVIDED.



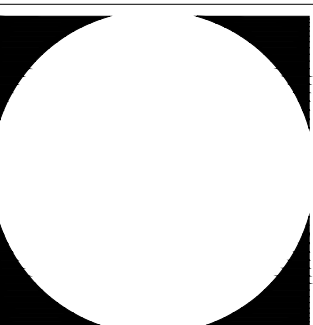
LEGEND

| | | | | | |
|-----------|---------------------------|-----------|--------------------|---------|-------------------------|
| ● | FOUND MONUMENT | [W] | METER - WATER | [D] | DRAIN INLET |
| () | RECORD BOUNDARY DATA PER | [E] | METER - ELECTRIC | [C] | PULLBOX - COMMUNICATION |
| — | PROPERTY LINE | [G] | METER - GAS | [E] | PULLBOX - ELECTRIC |
| - - - | RIGHT-OF-WAY LINE | [L] | LIGHT POLE | [T] | PULLBOX - TELCO |
| - · - · - | CENTER LINE | [U] | UTILITY POLE | [W] | PULLBOX - WATER |
| - · - · - | ADJOINING PROPERTY LINE | [A] | GUY ANCHOR | [R] | RISER - ELECTRIC |
| - · - · - | TIE LINE / REFERENCE LINE | [S] | SIGNAL POLE | [C] | RISER - COMMUNICATION |
| - · - · - | POWER - OVERHEAD | [V] | VAULT | [M] | MAILBOX |
| - · - · - | FENCE - WOOD | [B] | UTILITY BOX | [BOLL] | BOLLARD |
| - · - · - | WALL | [F] | FIRE HYDRANT | [SIGN] | SIGN |
| - · - · - | BUILDING OUTLINE | [V-GAS] | VALVE - GAS | [TR] | TREE W/DESCRIPTION |
| - · - · - | INDEX CONTOUR LINE | [V-WATER] | VALVE - WATER | [SHRUB] | SHRUB |
| - · - · - | INTERMEDIATE CONTOUR LINE | [I] | IRRIGATION VALVE | | |
| · | SPOT ELEVATION | [C] | CLEANOUT | | |
| [CONC] | CONCRETE | [S] | MH - SANITARY | | |
| [BRICK] | BRICK | [D] | MH - DRAINAGE | | |
| [ASPH] | ASPHALT | [E] | MH - ELECTRIC | | |
| | | [C] | MH - COMMUNICATION | | |
| | | [W] | MH - WATER | | |
| | | [U] | MH - UNKNOWN | | |

VICINITY MAP



PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com



HAPPY SPACE
STUDIO, INC.

4396 CALAVO DR.
LA MESA, CA 91941
619-920-8965
info@happyspacestudio.com

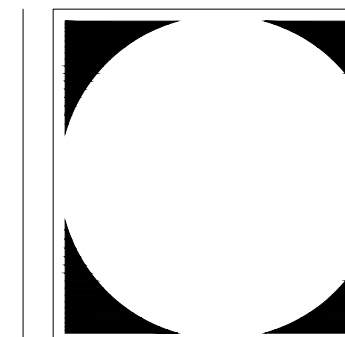
PROJECT: **WILLIAMS COTTAGE**
1821 VIKING WAY
LA JOLLA, CA 92037

SHEET TITLE: **SURVEY PLAN**

SHEET NO: **SP-1**

DATE: 9.10.2024

SCALE: N.T.S.



HAPPY SPACE STUDIO, INC.

4396 CALAVO DR.
LA MESA, CA 91941
619-920-8965
info@happyspacestudio.com

BMP PLAN LEGEND:

- SC-D1 INTEGRATED PEST MANAGEMENT TO BE USED
 - SC-D2 SEE FOOTNOTE *
 - SC-G WALLS SURROUND REFUSE AREA, AND PAVING IS SLOPED TOWARDS PERMEABLE PLANTED AREA TO AVOID RUNOFF
 - SC-O SEE FOOTNOTE **
 - 4.3.2 NATURAL AREAS WITHIN THE PROJECT FOOTPRINT ARE TO BE CONSERVED, INCLUDING ALL MATURE TREES
 - 4.3.3 ADDITION IS MOSTLY ON SECOND STORY TO REDUCE HOUSE FOOTPRINT
 - 4.3.4 AVOID DISTURBANCE DURING CONSTRUCTION. RE-TILL SOIL WHERE COMPACTION IS UNAVOIDABLE
 - 4.3.5 IMPERVIOUS AREAS ARE DISCONNECTED BY PERMEABLE PLANTED AREAS DISPERSED THROUGHOUT
 - 4.3.6 ROOF DRAINAGE & IMPERVIOUS PAVING AREAS SLOPE TOWARDS PERMEABLE PLANTED AREAS TO AVOID RUNOFF
 - 4.3.7 NEW LANDSCAPING TO BE NATIVE &/OR DROUGHT TOLERANT
- * FINAL LANDSCAPE PLANS WILL ACCOMPLISH ALL OF THE FOLLOWING:
 - PRESERVE EXISTING DROUGHT TOLERANT TREES, SHRUBS, AND GROUND COVER TO THE MAXIMUM EXTENT POSSIBLE.
 - DESIGN LANDSCAPING TO MINIMIZE IRRIGATION AND RUNOFF, TO PROMOTE SURFACE INFILTRATION WHERE APPROPRIATE, AND TO MINIMIZE THE USE OF FERTILIZERS AND PESTICIDES THAT CAN CONTRIBUTE TO STORM WATER POLLUTION.
 - WHERE LANDSCAPED AREAS ARE USED TO RETAIN OR DETAIN STORM WATER, SPECIFY PLANTS THAT ARE TOLERANT OF PERIODIC SATURATED SOIL CONDITIONS.
 - CONSIDER USING PEST-RESISTANT PLANTS, ESPECIALLY ADJACENT TO HARDSCAPE.
 - TO ENSURE SUCCESSFUL ESTABLISHMENT, SELECT PLANTS APPROPRIATE TO SITE SOILS, SLOPES, CLIMATE, SUN, WIND, RAIN, LAND USE, AIR MOVEMENT, ECOLOGICAL CONSISTENCY, AND PLANT INTERACTIONS.
 - ** BMP PERMANENT CONTROLS FOR MISCELLANEOUS DRAIN OR WASH WATER:
 - BOILER DRAIN LINES SHALL BE DIRECTLY OR INDIRECTLY CONNECTED TO THE SANITARY SEWER SYSTEM AND MAY NOT DISCHARGE TO THE STORM DRAIN SYSTEM.
 - CONDENSATE DRAIN LINES MAY DISCHARGE TO LANDSCAPED AREAS IF THE FLOW IS SMALL ENOUGH THAT RUNOFF WILL NOT OCCUR. CONDENSATE DRAIN LINES MAY NOT DISCHARGE TO THE STORM DRAIN SYSTEM.
 - ANY DRAINAGE SUMP ON SITE SHALL FEATURE A SEDIMENT SUMP TO REDUCE THE QUANTITY OF SEDIMENT IN PUMPED WATER.

| Source Control BMP Checklist for Standard Projects | | Form I-4A | |
|--|--|---|---|
| All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans. | | | |
| Source Control Requirement | | Applied ⁽¹⁾ ? | |
| SC-D1 | 4.2.1 Prevention of Illicit Discharges into the MS4 | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| | 4.2.2 Storm Drain Stenciling or Signage | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| | 4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | 4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| SC-G | 4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| 4.2.6 BMPs based on Potential Sources of Runoff Pollutants | | | |
| | On-site storm drain inlets | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Interior floor drains and elevator shaft sump pumps | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Interior parking garages | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| SC-D1 | Need for future indoor & structural pest control | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| SC-D2 | Landscape/Outdoor Pesticide Use | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| | Pools, spas, ponds, decorative fountains, and other water features | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Food service | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| SC-G | Refuse areas | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| | Industrial processes | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Outdoor storage of equipment or materials | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Vehicle/Equipment Repair and Maintenance | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Fuel Dispensing Areas | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Loading Docks | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | Fire Sprinkler Test Water | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| SC-O | Miscellaneous Drain or Wash Water | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| | Plazas, sidewalks, and parking lots | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | SC-6A: Large Trash Generating Facilities | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | SC-6B: Animal Facilities | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | SC-6C: Plant Nurseries and Garden Centers | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| | SC-6D: Automotive Facilities | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| Discussion / Justification for all "No" answers shown above: | | | |

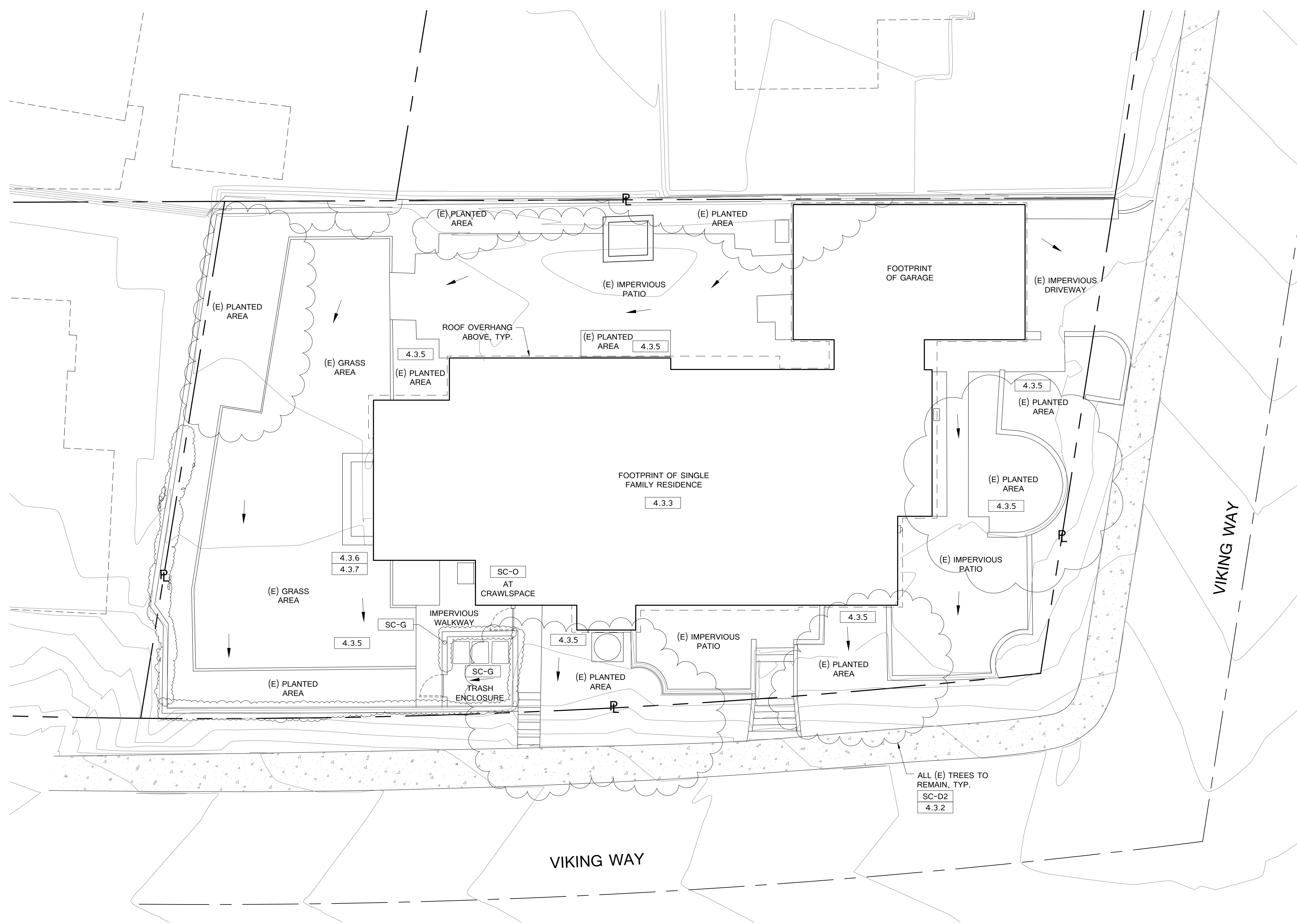
The City of San Diego | Storm Water Standards
Form I-4A | January 2018 Edition



| Site Design BMP Checklist for Standard Projects | | Form I-5A | |
|---|--|---|---|
| All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans. | | | |
| Site Design Requirement | | Applied ⁽¹⁾ ? | |
| 4.3.1 | 4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features | <input type="checkbox"/> Yes | <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A |
| 4.3.2 | 4.3.2 Conserve Natural Areas, Soils, and Vegetation | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| 4.3.3 | 4.3.3 Minimize Impervious Area | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| 4.3.4 | 4.3.4 Minimize Soil Compaction | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| 4.3.5 | 4.3.5 Impervious Area Dispersion | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| 4.3.6 | 4.3.6 Runoff Collection | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| 4.3.7 | 4.3.7 Landscaping with Native or Drought Tolerant Species | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> N/A |
| | 4.3.8 Harvest and Use Precipitation | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A |
| Discussion / Justification for all "No" answers shown above: | | | |
| 4.3.8: Not applied because project is a small addition and much of the roof and drainage is existing to remain. Most existing and all new roof drainage is routed to permeable areas such as planted areas and permeable paving. | | | |

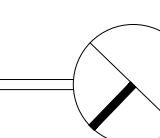
- ⁽¹⁾ Answer for each source control and site design category shall be pursuant to the following:
- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
 - "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
 - "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

The City of San Diego | Storm Water Standards
Form I-5A | January 2018 Edition



BMP PLOT PLAN

SCALE: 1/8" = 1'-0"

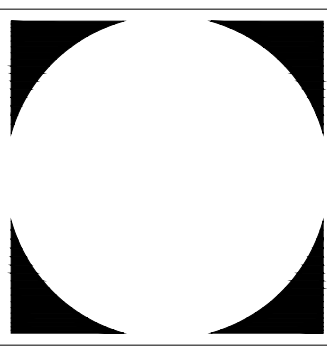


WILLIAMS COTTAGE
 1821 VIKING WAY
 LA JOLLA, CA 92037

DATE: 9.10.2024

SHEET TITLE: BMP PLOT PLAN
 SHEET NO.:
 SCALE: N.T.S.

SP-2



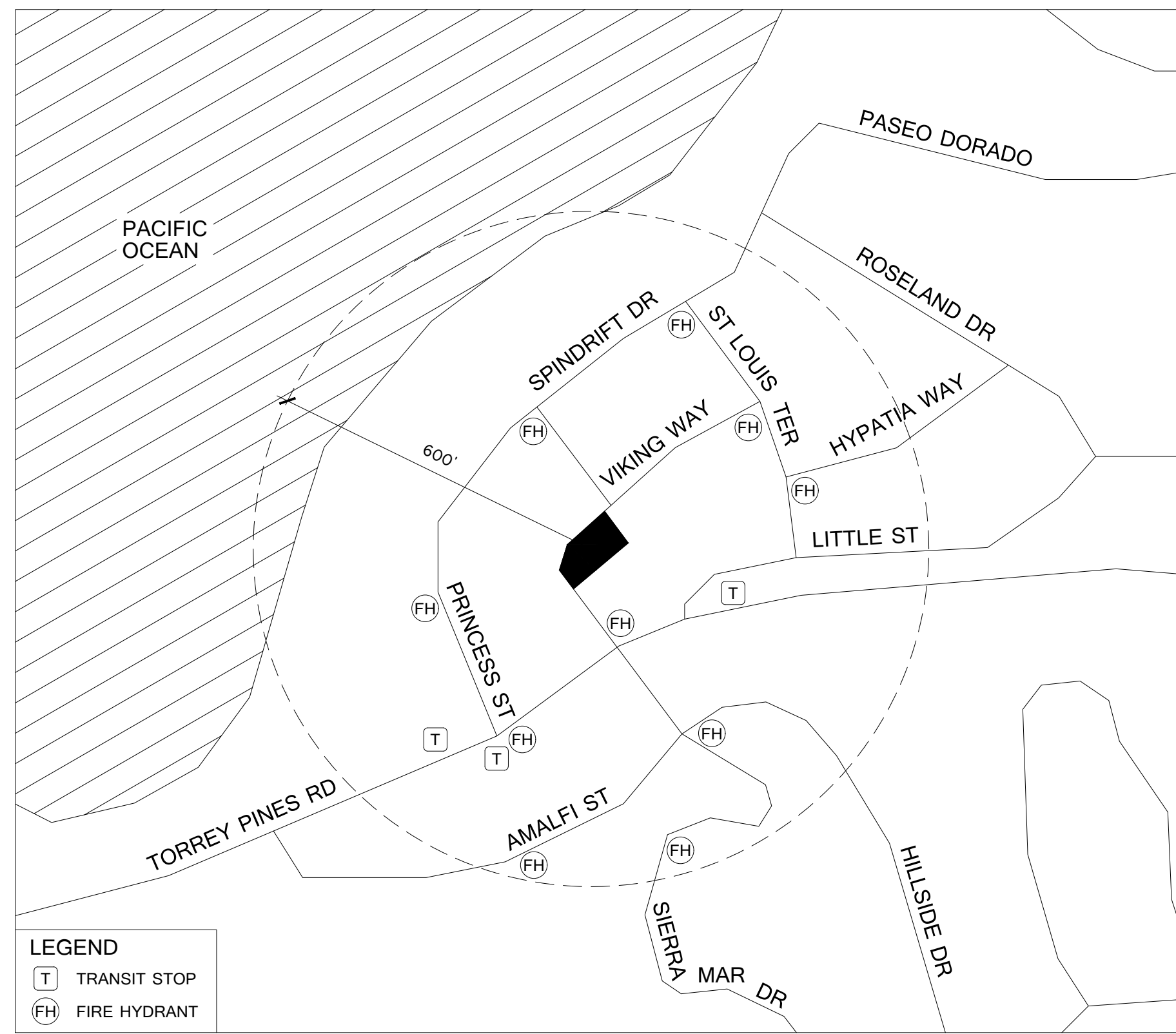
HAPPY SPACE
STUDIO, INC.

4396 CALAVO DR.
LA MESA, CA 91941
619-920-8965
info@happyspacestudio.com

DEMO PLAN LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL, FIXTURE, OR BUILDING ELEMENT TO BE DEMOLISHED

DIMENSION NOTES:
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR IN NO CASE SHALL SCALE THESE DRAWINGS. IF THE CONTRACTOR SHOULD FIND AN ERROR IN THE DIMENSIONS, HE SHALL NOTIFY THE DESIGNER PRIOR TO START OF CONSTRUCTION.



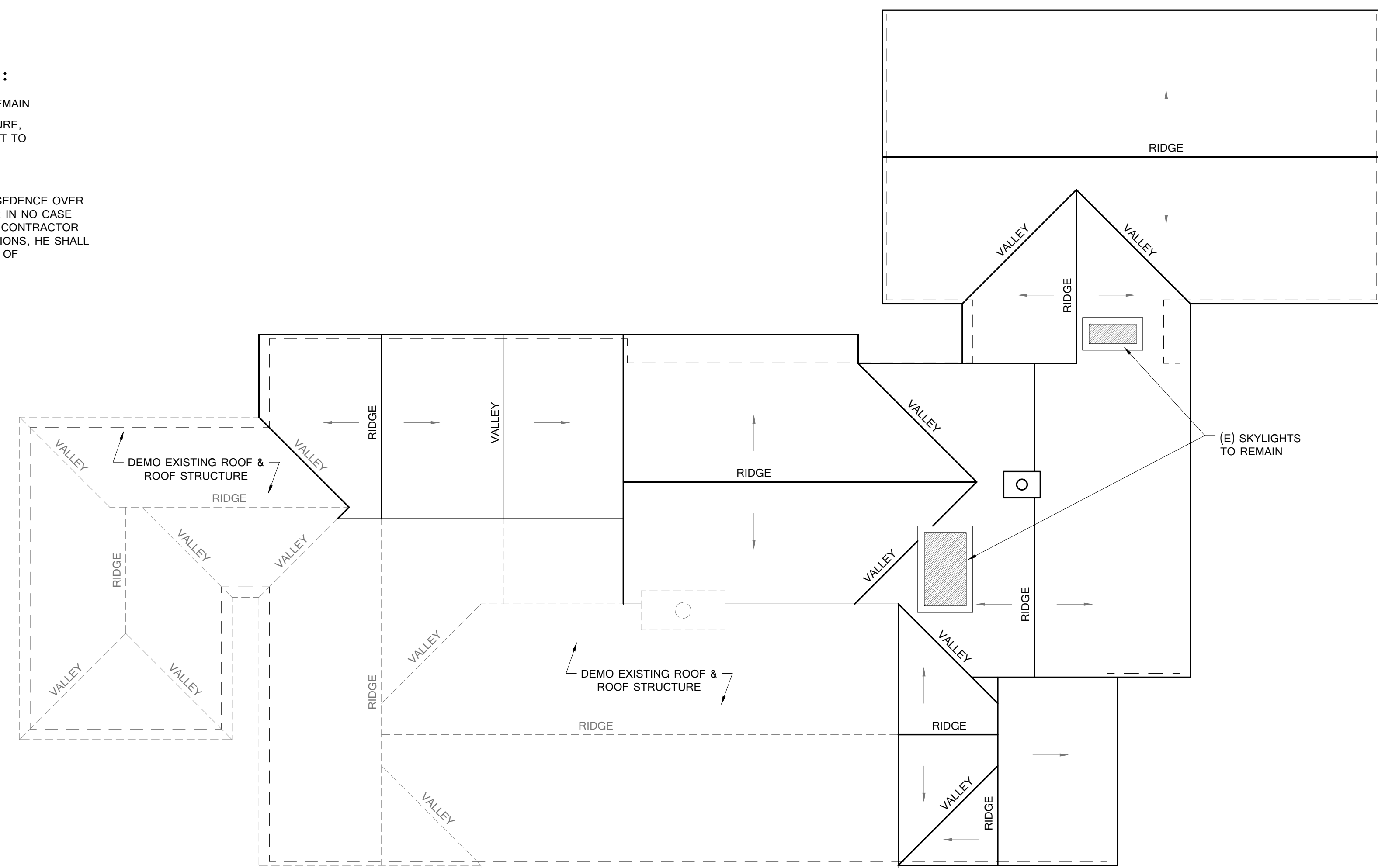
- LEGEND**
- TRANSIT STOP
 - FIRE HYDRANT

VICINITY SITE PLAN

SCALE: N.T.S.

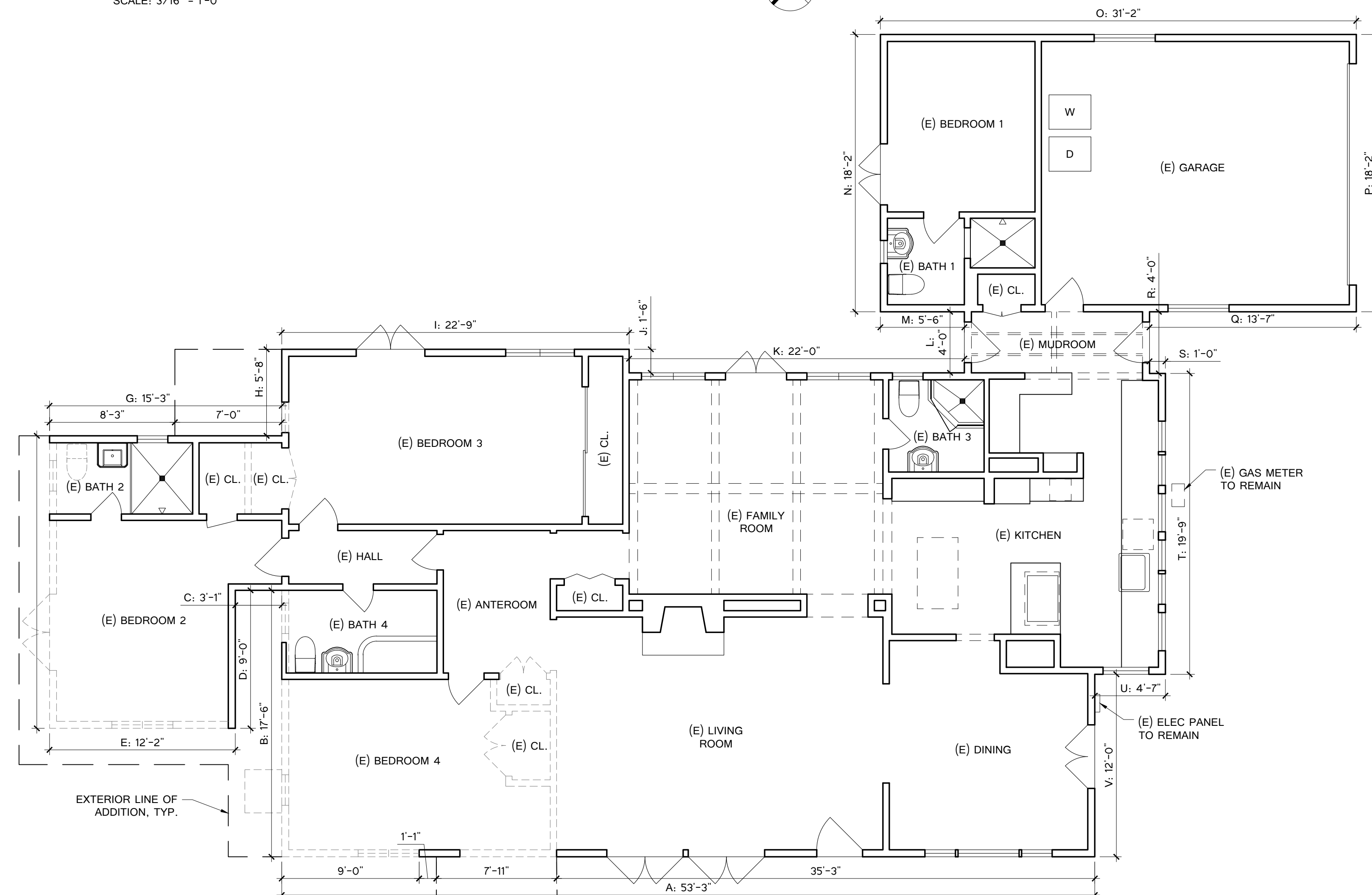
| STING LENGTH | REMOVED LENGTH | REMAINING LENGTH | % REMAINING | COMMENTS |
|--------------|----------------|------------------|-------------|-------------------------------|
| 53'-3" | 16'-11" | 36'-4" | 68.2 % | PARTIAL WDW & ENCLOSED BY NEW |
| 17'-6" | 17'-6" | 0'-0" | 0.0 % | ENCLOSED BY NEW STRUCTURE |
| 3'-1" | 3'-1" | 0'-0" | 0.0 % | ENCLOSED BY NEW STRUCTURE |
| 9'-0" | 9'-0" | 0'-0" | 0.0 % | ENCLOSED BY NEW STRUCTURE |
| 12'-2" | 12'-2" | 0'-0" | 0.0 % | ENCLOSED BY NEW STRUCTURE |
| 19'-2" | 19'-2" | 0'-0" | 0.0 % | ENCLOSED BY NEW STRUCTURE |
| 15'-3" | 7'-0" | 8'-3" | 54.1 % | PARTIAL ENCLOSED BY NEW |
| 5'-8" | 5'-8" | 0'-0" | 0.0 % | ENCLOSED BY NEW STRUCTURE |
| 22'-9" | 0'-0" | 22'-9" | 100 % | NO CHANGE |
| 1'-6" | 0'-0" | 1'-6" | 100 % | NO CHANGE |
| 22'-0" | 0'-0" | 22'-0" | 100 % | NO CHANGE |
| 4'-0" | 0'-0" | 4'-0" | 100 % | NO CHANGE |
| 5'-6" | 0'-0" | 5'-6" | 100 % | NO CHANGE |
| 18'-2" | 0'-0" | 18'-2" | 100 % | NO CHANGE |
| 31'-2" | 0'-0" | 31'-2" | 100 % | NO CHANGE |
| 18'-2" | 0'-0" | 18'-2" | 100 % | NO CHANGE |
| 13'-7" | 0'-0" | 13'-7" | 100 % | NO CHANGE |
| 4'-0" | 0'-0" | 4'-0" | 100 % | NO CHANGE |
| 1'-0" | 0'-0" | 1'-0" | 100 % | NO CHANGE |
| 19'-9" | 0'-0" | 19'-9" | 100 % | NO CHANGE |
| 4'-7" | 0'-0" | 4'-7" | 100 % | NO CHANGE |
| 12'-0" | 0'-0" | 12'-0" | 100 % | NO CHANGE |
| 313'-3" | 90'-6" | 222'-9" | 71.1 % | CDP EXEMPT |

COASTAL DEMO WALL MATRIX



AS-BUILT/DEMO PLAN - ROOF

SCALE: 3/16" = 1'-0"



AS-BUILT/DEMO PLAN - FIRST FLOOR

SCALE: 3/16" = 1'-0"

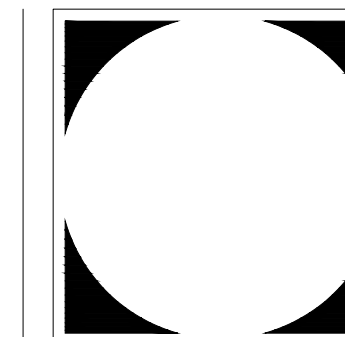
PRODUCT: WILLIAMS COTTAGE
 1821 VIKING WAY
 LA JOLLA, CA 92037

SHEET TITLE: AS-BUILT/DEMO PLANS
 SHEET NO.

A-1.0

DATE: 9.10.2024

SCALE: 3/16" = 1'-0"



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FLOOR PLAN NOTES:

- A MISCELLANEOUS**
- SLEEPING ROOMS MUST HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. THE EMERGENCY EXIT MUST MEET THE FOLLOWING CRITERIA:
 - MINIMUM 5.7 SQUARE FEET NET CLEAR OPENABLE AREA
 - 24" MINIMUM NET CLEAR OPENABLE HEIGHT
 - 20" MINIMUM NET CLEAR OPENABLE WIDTH
 - MAXIMUM FINISH SILL HEIGHT TO BE NO MORE THAN 44" ABOVE FINISHED FLOOR
 - PROVIDE ALL HOSE BIBS AND SPRINKLER SYSTEMS WITH BACK FLOW PREVENTION DEVICES.
 - THE TERMINATION OF ENVIRONMENTAL AIR DUCTS MUST BE A MINIMUM OF 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
 - WALLS AND SOFFITS OF THE ENCLOSED USABLE SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BOARD.
 - ALL HOT WATER PIPING SIZED 3/4" OR LARGER IS REQUIRED TO BE INSULATED AS FOLLOWS: 1" PIPE SIZE OR LESS: 1" THICK INSULATION; LARGER PIPE SIZES REQUIRE 1 1/2" THICK INSULATION. NOTE: IN ADDITION, THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK IS REQUIRED TO BE INSULATED. ES 150.0(j)2
 - PROVIDE 5/8" TYPE "X" GYPSUM BOARD @ ALL SURFACES (WALLS OR CEILING) IN THE GARAGE THAT ARE COMMON WALLS BETWEEN DWELLING AREA & GARAGE.
 - PROVIDE SAFETY GLAZING IN HAZARDOUS AREAS SUCH AS GLASS IN DOORS & GLAZING ADJACENT TO SUCH DOORS AS WELL AS GLAZING ADJACENT TO WALKING SURFACES. ALL NEW GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.

- B WHOLE HOUSE VENTILATION SYSTEM**
- PER TABLE 4.1a OF ASHRAE STANDARD 62.2, MIN. CONTINUOUS VENTILATION RATE = 45 cfm
 - PROVIDE PANASONIC WHISPERLITE FV.08VQL5 FANS (80cfm, .1 SONE RATING) IN ALL BATHS (OR APPROVED EQUAL).
 - PROGRAM TWO OF THESE FANS TO RUN CONTINUOUSLY AT MIN 45cfm. THE CONTINUOUSLY RUNNING FANS ARE TO BE IN THE POWDER BATH ON FIRST FLOOR & BATH 5 ON SECOND FLOOR.

- C KITCHEN, BATH & LAUNDRY**
- REFERENCE ELECTRICAL PLAN/S AND NOTES FOR LIGHTING, RECEPTACLES AND CIRCUITRY.
 - PROVIDE MECHANICAL VENTILATION AT A MINIMUM RATE OF 50cfm. DUCTING SIZE AND LENGTHS TO MEET THE MINIMUM REQUIREMENTS OF ASHRAE STANDARD 62.2 AND MAXIMUM SOUND RATING OF 1 SONE FOR CONTINUOUS OPERATIONS.
 - DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. SEC. 1203.3
 - 15" MINIMUM CLEARANCE FROM CENTERLINE OF WATER CLOSET AND 24" MINIMUM CLEARANCE IN FRONT OF WATER CLOSET.
 - IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES, PER UPC SECTION 412.7.
 - NEW WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES, IF ANY, SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2. H&S CODE, SECTION 17921.3(b).
 - DRYER VENT TO THE OUTSIDE. MAX LENGTH 14' w/ TWO 90d ELBOWS.
 - PROVIDE MIN. 100 SQ INCHES OF MAKE UP AIR AT THE LAUNDRY ROOM (TO REPLACE AIR BEING EXHAUSTED BY DRYER VENT AND EXHAUST FAN, IF APPLICABLE).
 - SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS INSTALLED SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR. CRC R307.2.
 - 6 WATER CLOSETS (TOILETS) REQUIRE A 4" SOILS/WASTE LINE PER CPC TABLE 7-5. CONTRACTOR TO VERIFY (E) WASTE LINE SIZE.
 - PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
 - PROVIDE SHOWER HEADS WITH A MAXIMUM OF 1.8 GALLONS PER MINUTE (GPM).
 - COPPER PIPE TO BE USED FOR ALL INTERIOR WATER SUPPLY.
 - GLAZING @ SHOWER & TUB ENCLOSURES SHALL BE OF TEMPERED GLASS, LAMINATED OR APPROVED PLASTICS. VERIFY TYPE WITH OWNER.
 - WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL THE HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME PER CGC SECTION 4.303.1.3.2.

TITLE 24 UTILIZES:

- R-15 NEW WALLS
- R-30 ON ADDITION AND EXISTING CEILINGS
- 0.30 U AND 0.23 SHGC FOR NEW WINDOWS
- ALTERED 0.91 UEF GAS TANKLESS WATER HEATER (EXAMPLE: RINNAI RU160E)
- NEW 96 AFUE FURNACE WITH 14.3 SEER2 A/C, OR BETTER (EXAMPLE: CARRIER 59SC5A080)
- NEW R-6 HVAC DUCTING

REQUIRED SPECIAL FEATURES:

- DUCTS IN CRAWL SPACE

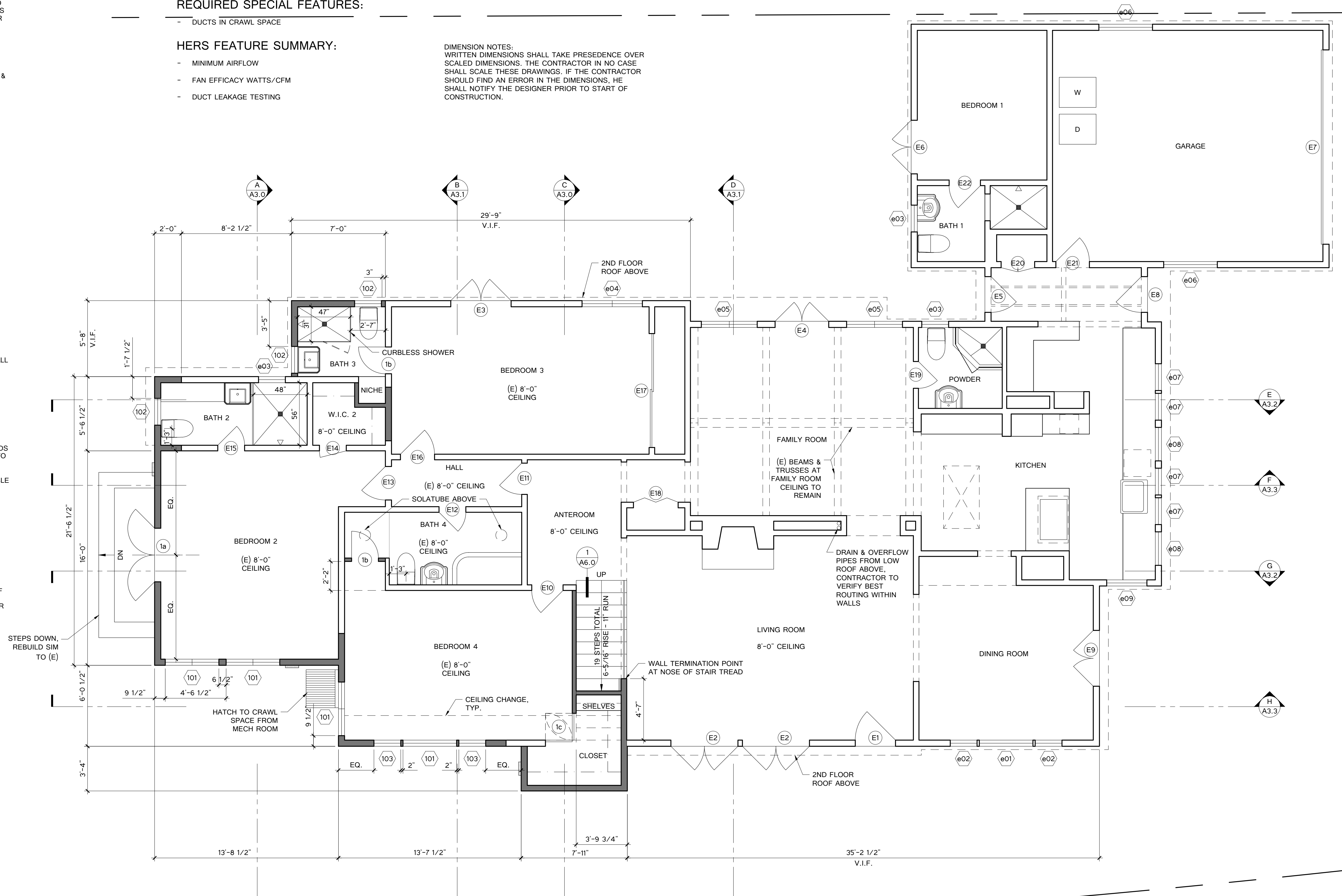
HERS FEATURE SUMMARY:

- MINIMUM AIRFLOW
- FAN EFFICACY WATTS/CFM
- DUCT LEAKAGE TESTING

DIMENSION NOTES:
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PLAN WALL LEGEND:

- NEW NON-RATED STUD WALL
- EXISTING WALL TO REMAIN



UNDER-FLOOR VENTILATION:
EXISTING UNDER-FLOOR VENTS TO REMAIN AT EXISTING RAISED FOUNDATION. NEW VENTS TO BE INSTALLED AT NEW RAISED FLOOR ABOVE EXISTING SLAB.
GAF MASTER FLOW FOUNDATION VENT = 73 SQ. IN. (0.507 SQ. FT.)
0.507 SQ. FT. x 3 VENTS = 1.521 SQ. FT. PROVIDED
FIRST FLOOR ADDITION:
1/150 x 194 SQ. FT. = 1.29 SQ. FT.
REQUIRED = 3 VENTS / PROVIDED = 3 VENTS
THRU-WALL UNDER-FLOOR VENT LOCATION DESIGNATOR
NOTE: UNDER-FLOOR VENTS TO BE SELECTED & INSTALLED TO MATCH EXISTING VENTS AT EXISTING RAISED FOUNDATION.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

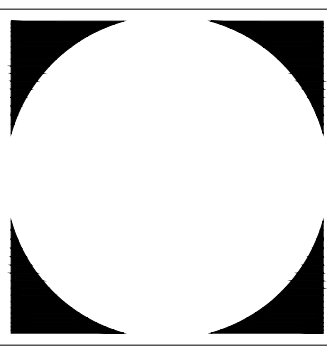
WILLIAMS COTTAGE
 1821 VIKING WAY
 LA JOLLA, CA 92037

SHEET TITLE: FIRST FLOOR PLAN
 SHEET NO.

A-1.1

DATE: 9.10.2024

SCALE: 1/4" = 1'-0"



**HAPPY
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FLOOR PLAN NOTES:

D WATER HEATER & FAU

- EXISTING WATER HEATER, SIZE & TYPE PER T-24 SHEETS. LOCATION PER PLANS.
- PROVIDE P & T VALVE ON WATER HEATER. RUN DISCHARGE LINE TO EXTERIOR WITHIN 6" OF GRADE.
- COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED PER CMC 2022.
- IN SEISMIC ZONES 3 AND 4, WATER HEATERS SHALL BE ADEQUATELY BRACED TO RESIST SEISMIC FORCES. TWO STRAPS SHALL BE PROVIDED (ONE STRAP AT TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK).
- PRESSURE AND TEMPERATURE RELIEF LINES FOR WATER HEATERS SHALL EXTEND OUTSIDE OF THE BUILDING. WHERE IT IS IMPRACTICAL TO EXTEND THE DRAIN LINE OUTSIDE THE BUILDING THE LINE MAY TERMINATE IN AN APPROVED STANDPIPE. A FULL ONE-INCH AIR GAP IS REQUIRED BETWEEN THE P & T DRAIN LINE AND THE STANDPIPE. POLICY P-8.
- FORCED AIR UNIT SYSTEM THAT ARE LOCATED IN ATTIC. PROVIDE A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH FOR FURNACE. CONDENSATE LINE MUST DISCHARGE INTO A PLUMBING FIXTURE. LOCATE FAU PER TRUSS LAYOUT, IF APPLICABLE. SIZE PER TITLE 24.
- ATTIC ACCESS SHALL BE 30" X 30". THE OPENING MAY BE 22" X 30" IF THE EQUIPMENT CAN BE REMOVED THROUGH SUCH OPENING. 30" MIN. CLEAR HEADROOM IN ATTIC ABOVE THE ACCESS OPENING. PROVIDE MIN 30" DEEP UNOBSTRUCTED WORKING SPACE IN FRONT OF FURNACE.
- THE PASSAGEWAY TO THE ATTIC MOUNTED WARM-AIR FURNACE SHALL BE UNOBSTRUCTED, HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE AND NOT BE LONGER THAN 20' IN LENGTH THROUGH ATTIC.
- EQUIPMENT SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR OTHER EQUIPMENT OR DISABLING THE FUNCTION OF REQUIRED FIRE-RESISTANT CONSTRUCTION.
- FAU'S LOCATED IN CLOSET OR ALCOVE. THE CLOSET OR ALCOVE MUST BE 12" WIDER THAN THE FURNACE OR FURNACES TO BE INSTALLED AND NOT BE LONGER THAN 20' IN LENGTH THROUGH ATTIC PER UMC SECTION 304.7.
- UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE PER UL127 AND CRC R1004.4.
- GAS VENTS AND NONCOMBUSTIBLE PIPING IN WALLS, PASSING THROUGH THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING. CBC, SECTION 711.3
- FIREPLACES WITH GAS LOG HEATERS ARE REQUIRED TO HAVE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH LPG LOG LIGHTERS ARE TO HAVE NO "FIT" OR "SUMP" CONFIGURATION.
- WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT.
- NEW 96 AFUE FURNACE WITH 14.3 SEER2 A/C, OR BETTER (EXAMPLE: CARRIER 59SC5A080), PER T-24 REPORT.

SOLAR WATER HEATING NOTES (IF APPLICABLE):

- TWO 3/4" COPPER PIPES MUST BE INSTALLED TO THE MOST CONVENIENT FUTURE SOLAR PANEL LOCATION WHEN THE WATER HEATER IS NOT IN A ONE STORY GARAGE AND IS NOT DIRECTLY BELOW THE MOST SOUTH FACING ROOF.
- ALL PIPING FOR PRESENT AND FUTURE SOLAR WATER HEATING MUST BE INSULATED WHEN IN AREAS THAT ARE NOT HEATED OR COOLED BY MECHANICAL MEANS.

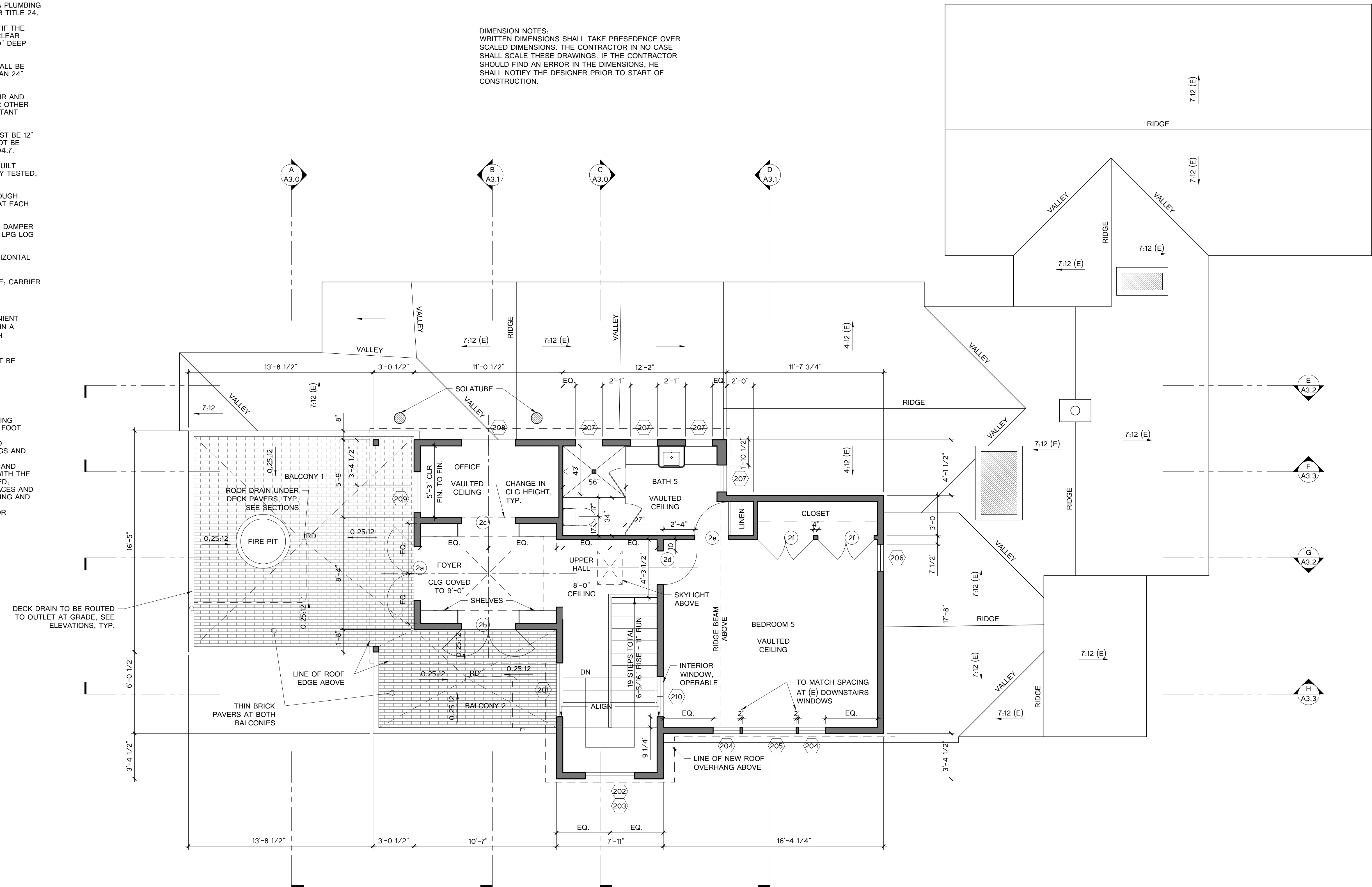
E FIRE STOPS

- PROVIDE FIRE STOPS AT THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND INLINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

DIMENSION NOTES:
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PLAN WALL LEGEND:

- NEW NON-RATED STUD WALL
- EXISTING WALL TO REMAIN



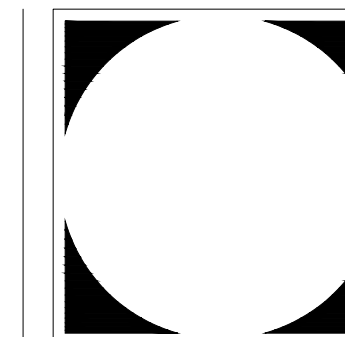
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PRODUCT: WILLIAMS COTTAGE
 1821 VIKING CA 92037
 LA JOLLA, CA 92037

SHEET TITLE: SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SHEET NO.

A-1.2



**HAPPY
SPACE**
STUDIO, INC.

4396 CALAVO DR.
LA MESA, CA 91941
619-920-8965
info@happyspacestudio.com

ROOF NOTES:

1. PROVIDE GUTTERS & DOWNSPOUTS PER ELEVATIONS. MATCH (E) MATERIAL AS ON (E) PORTION OF HOUSE.
2. ALL G.I. FLASHING SHALL BE PER S.M.A.C.N.A. STANDARDS.
3. PROVIDE COPPER ROOF FLASHING @ ALL ROOF and WALL INTERSECTIONS, VALLEYS, and G.I. DIVERTERS on/ EXTERIOR DOORWAYS and HIGH SIDE OF FIREPLACE CHIMNEY STACKS (WHERE OCCURS).
4. PROVIDE PLYWOOD CRICKETS and G.I. FLASHING @ ANY and ALL PRECARIOUS WATER COLLECTION SPOTS ON ROOF TO DIVERT WATER TO NATURAL ROOF FLOW. 1/4" /FT. MIN. @ VALLEYS.
5. BALCONIES AND DECKS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE SLOPED A MIN. OF 1/4 INCH PER FOOT FOR DRAINAGE.
6. SLOPED ROOFING TO BE CLASS 'A' LIGHTWEIGHT SLATE ROOF TILES. SLATE TILES TO BE CALIFORNIA SLATE COMPANY, INC. SLATE2 LIGHTWEIGHT ROOFING SYSTEM (ASTM C 406). OVER ASPHALT-SATURATED FELT ROOF UNDERLAYMENT (ASTM D 226), OR APPROVED EQUAL.
7. PROVIDE 2-INCH NOMINAL LUMBER AS FIREBLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING AT ALL EAVES WITH A FIRE SEPARATION DISTANCE ≥ 2 FEET TO < 5 FEET (CRC TABLE R302.1(1), FOOTNOTE a.

ROOF VENTILATION

1. PROVIDE ATTIC VENTILATION AS REQUIRED. MINIMUM VENT AREA IS 1/150 OF ATTIC AREA
2. ENCLOSED RAFTER SPACES DO NOT REQUIRE VENTING IF THE FOLLOWING SPECIFIC INSULATION DESIGN IS USED, PER SECTIONS R806.5/EM3.9.6:
 - a. IF THE INSULATION IS AIR-PERMEABLE AND IT IS INSTALLED DIRECTLY BELOW THE ROOF SHEATHING WITH RIGID BOARD OR SHEET INSULATION WITH A MINIMUM R-4 VALUE INSTALLED ABOVE THE ROOF SHEATHING. (OR)
 - b. IF THE INSULATION IS AIR-IMPERMEABLE AND IT IS IN DIRECT CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING. (OR)
 - c. IF TWO LAYERS OF INSULATION ARE INSTALLED BELOW THE ROOF SHEATHING: AN AIR-IMPERMEABLE LAYER IN DIRECT CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING AND AN ADDITIONAL LAYER OF AIR-PERMEABLE INSULATION INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION.
3. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF THE INSULATION PLUS THE REQUIRED 1" CLEARANCE, MEMBER SIZES MAY HAVE TO BE INCREASED FOR RAFTER-CEILING JOISTS. SECTION R806.3.
4. ENCLOSED FRAMING IN WOOD EXTERIOR BALCONIES AND DECKS SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. CBC SECTION 2304.12.2.6, AS AMENDED BY EMERGENCY BUILDING STANDARDS.
5. ATTIC VENTS TO BE SELECTED & INSTALLED TO MATCH EXISTING EAVE & GABLE END VENTS.

ATTIC VENTILATION:

O'HAGIN FLAT VENT = 72 SQ.IN. (0.5 SQ.FT.)
VULCAN VENT 5.5 x 14 EAVE VENT = 44 SQ.IN. (0.31 SQ.FT.)
WOOD 10 x 24 GABLE END VENT = 52 SQ.IN. (0.36 SQ.FT.)

1ST FLOOR:

ADDED ATTIC AREA OVER BATH 2:
1/150 OF 12 SQ. FT. ATTIC = 0.08
REQUIRED = 0.08 SQ. FT.
PROVIDED = 1 EAVE VENT = 0.31 SQ. FT.

ADDED ATTIC AREA OVER BATH 3:
1/150 OF 35 SQ. FT. ATTIC = 0.23
REQUIRED = 0.23 SQ. FT.
PROVIDED = 1 FLAT VENT = 0.5 SQ. FT.

2ND FLOOR:

VAULTED CEILINGS OVER BED 5, BATH 5 & OFFICE:
ATTIC VENTILATION IS NOT REQUIRED SINCE AIR-IMPERMEABLE INSULATION IS PROPOSED IN DIRECT CONTACT WITH UNDERSIDE OF ROOF SHEATHING AT ALL AREAS ABOVE THESE CONDITIONED SPACES.

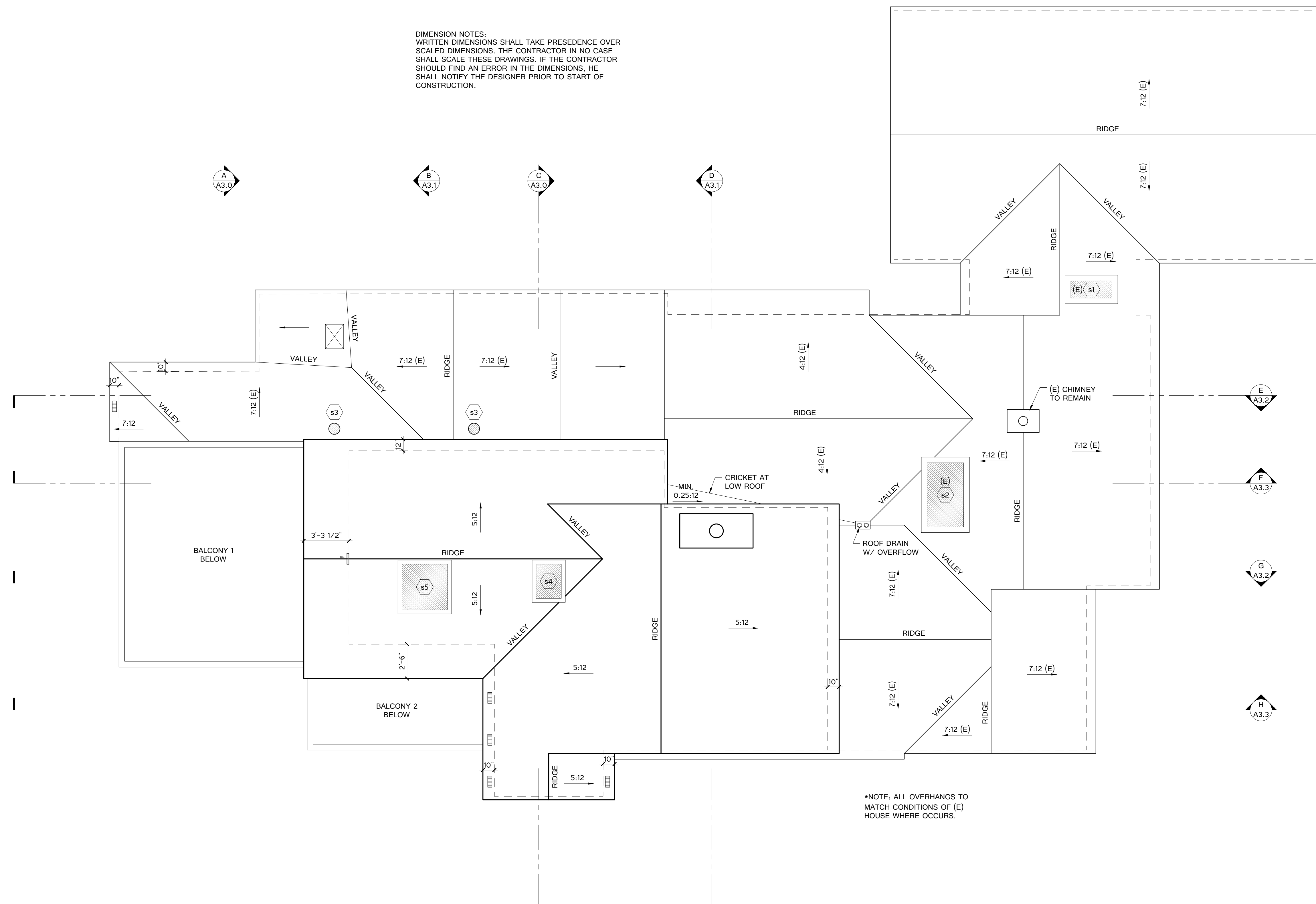
ATTIC AREA ABOVE UPPER HALL & FOYER:
1/150 OF 216 SQ. FT. ATTIC = 1.44
REQUIRED = 1.44 SQ. FT.
PROVIDED = 1 GABLE END VENT, 4 EAVE VENTS = 1.6 SQ. FT.

- = FLAT VENT LOCATION DESIGNATOR*
- = EAVE VENT LOCATION DESIGNATOR*
- = GABLE END VENT LOCATION DESIGNATOR*

DECK NOTES:

1. BALCONIES AND DECKS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE SLOPED A MIN. OF 1/4 INCH PER FOOT FOR DRAINAGE.
2. ENCLOSED FRAMING IN WOOD EXTERIOR BALCONIES AND DECKS SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. CBC SECTION 2304.12.2.6, AS AMENDED BY EMERGENCY BUILDING STANDARDS.

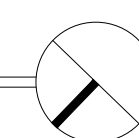
DIMENSION NOTES:
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*NOTE: ALL OVERHANGS TO MATCH CONDITIONS OF (E) HOUSE WHERE OCCURS.

ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

WILLIAMS COTTAGE
1821 VIKING WAY
LA JOLLA, CA 92037

PROJECT:

DATE:

9.10.2024

SHEET TITLE:
ROOF PLAN

SHEET NO.:

SCALE:
1/4" = 1'-0"

A-1.3

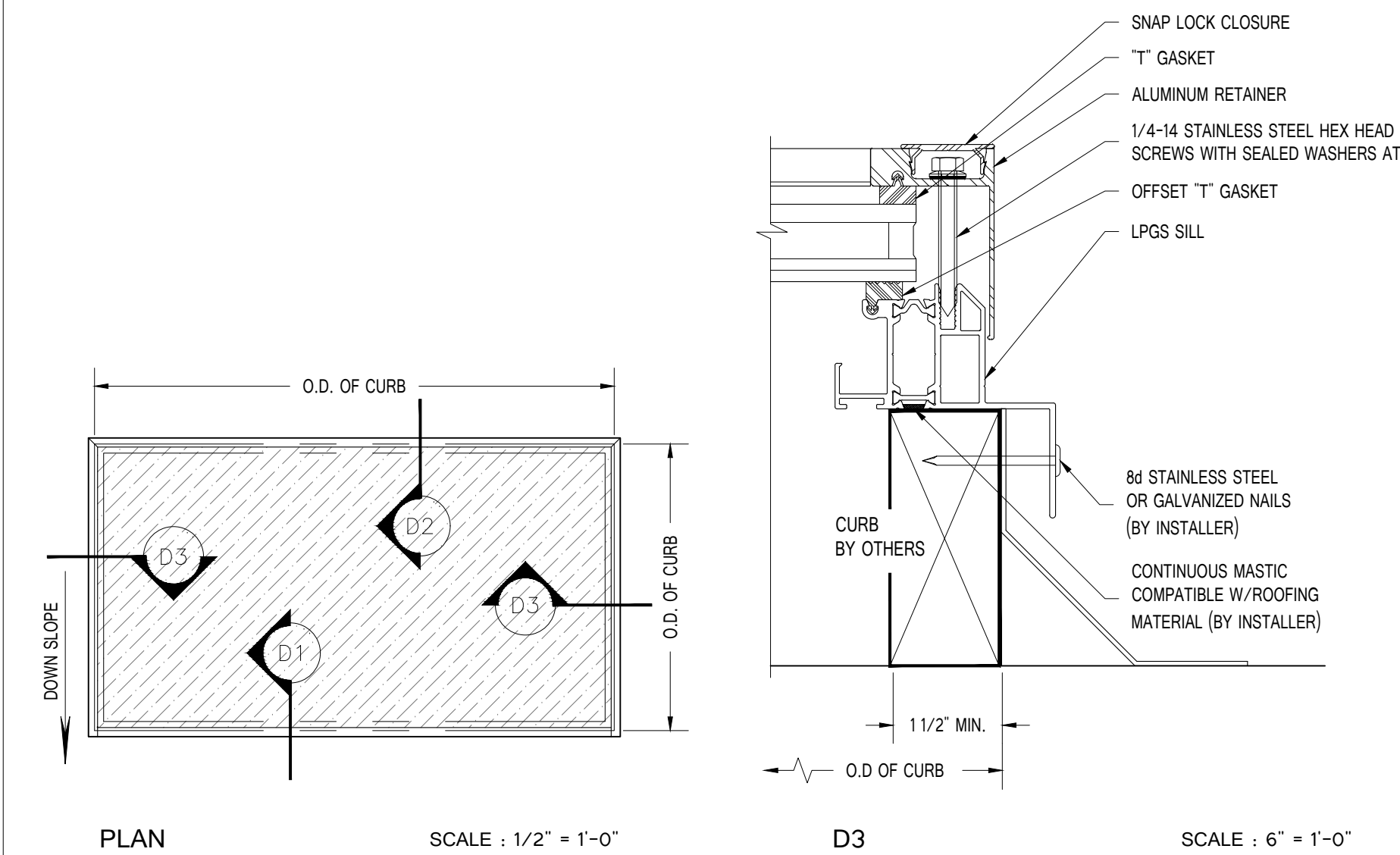
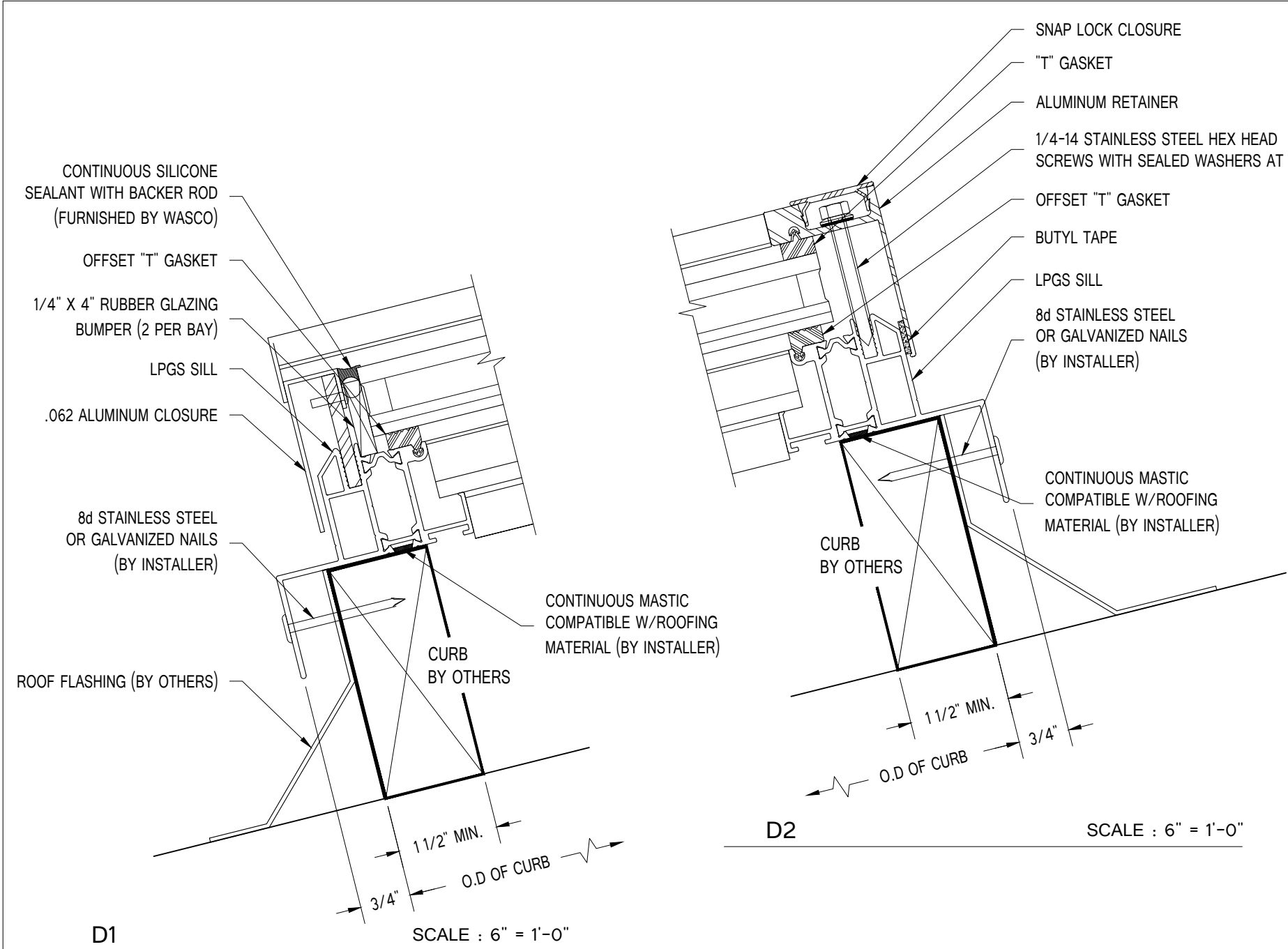
GREEN BUILDING CODE REQUIREMENT

- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD PER CGBS SECTION 4.406
- AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER SECTION CGC 4.410.1
- HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPEN ABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 4% OF THE FLOOR AREA OF SUCH ROOMS. THE GLAZED AREAS NEED NOT BE OPEN ABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION R310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM IS INSTALLED OR A WHOLE HOUSE VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR AIR OF 15 CUBIC FEET PER MINUTE PER OCCUPANT. (WHOLE HOUSE VENTILATION CALCULATIONS REQUIRED) CRC R303.1
- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1.
- VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2.
- THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC SECTION 4.505.3.
- BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CGC 4.506.1.
- HEATING AND AC SHALL BE SIZED AND SELECTED BY ACCA MANUAL J OR ASHRAE HANDBOOK OR EQUIVALENT. THE DUCT SIZING SHALL BE SIZED IN ACCORDANCE WITH ONE OF THE ACCA METHODS LISTED IN CGC SECTION 4.507.2.
- PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND BE GIVEN TO THE BUILDING DEPARTMENT OFFICIAL TO BE FILED WITH THE APPROVED PLANS.
- WATER FIXTURES TO MEET THE FOLLOWING PER CGC 4.303.1

TABLE 4.303.2 FIXTURE FLOW RATES

| FIXTURE TYPE | MAXIMUM FLOW RATE AT ≥ 20 % REDUCTION |
|--------------------------------|---------------------------------------|
| SHOWERHEADS | 1.8 GPM @ 80 PSI |
| LAVATORY FAUCETS, RESIDENTIAL | 1.2 GPM @ 60 PSI ² |
| KITCHEN FAUCETS | 1.8 GPM @ 60 PSI |
| GRAVITY TANK-TYPEWATER CLOSETS | 1.28 GALLONS/FLUSH ₂ |

- INCLUDES SINGLE AND DUAL FLUSH WATER CLOSETS WITH AN EFFECTIVE FLUSH OF 1.28 GALLONS OR LESS.
 - SINGLE FLUSH TOILETS—THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.233.2.
 - DUAL FLUSH TOILETS—THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. FLUSH VOLUMES WILL BE TESTED IN ACCORDANCE WITH ASME A112.19.2 AND ASME A112.19.14.
- LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.
- WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD CAN BE USED AT A TIME.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL COMPLY WITH THE CGC SECTION 4.304.2 AS FOLLOWS:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER CONDITIONS.
 - WEATHER BASED CONTROLLERS SHALL HAVE SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSORS.
- CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2.
- "NONCOMPLIANT" FIXTURES (TOILETS THAT USE MORE THAN 1.6 GALLONS OF WATER PER FLUSH, URINALS THAT USE MORE THAN ONE GALLON OF WATER PER FLUSH, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE, AND INTERIOR FAUCETS THAT EMIT MORE THAN 2.2 GALLONS OF WATER PER MINUTE) SHALL BE REPLACED. CERTIFICATION OF COMPLIANCE SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FINAL PERMIT APPROVAL. CALIFORNIA SB407.
- GRADING AND PAVING - SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). CGC SECTION 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.
- A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC SECTION 4.408.1.
- GAS FIREPLACE(S) SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. WOODSTOVE OR PELLET STOVES MUST BE US EPA PHASE II RATED APPLIANCES. CGC SECTION 4.503.1.
- CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. CGC SECTION 4.505.2.1.



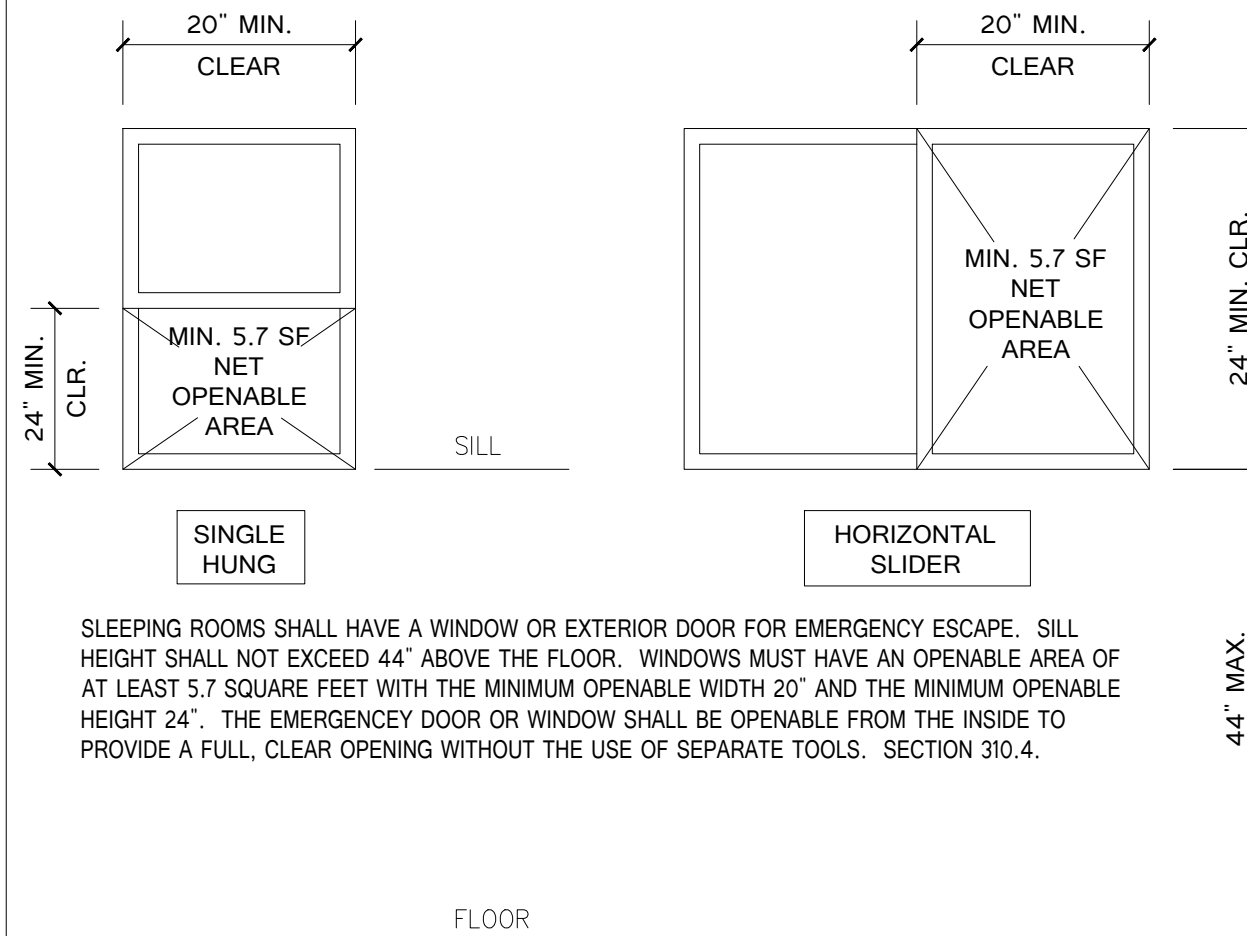
PLAN SCALE: 1/2" = 1'-0"

FLAT SKYLIGHT DETAILS

DOOR & WINDOW NOTES:

- ALL OPENABLE WINDOWS ARE TO HAVE SCREENS. REFER TO THE EXTERIOR ELEVATIONS FOR THE OPENING SECTIONS AND LOCATIONS OF WINDOWS TO HAVE MUTIN BARS. COLOR TO MATCH WINDOW FRAME.
- MANUFACTURED DOORS AND WINDOWS ARE TO MEET ANSI OR NWMA STANDARDS AND ARE SO LABELED.
- ALL EXTERIOR DOORS AND WINDOWS ARE TO BE FULLY WEATHERSTRIPPED.
- ALL OPENINGS ARE TO BE CAULKED AND SEALED; I.E. AROUND JOINTS IN WINDOWS.
- ALL SLIDING GLASS DOORS AND WINDOWS MARKED "TEMP" ARE TO HAVE 3/16" TEMPERED GLASS.
- WINDOWS ARE TO BE WOOD FRAMED, DUAL GLAZED, CLEAR GLASS.
- SEE T-24 CALCS FOR GLAZING REQUIREMENTS AND VALUES.
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- GLAZING IN THE FOLLOWING LOCATIONS SHOULD BE OF SAFETY GLAZING MATERIAL.
 - DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - GLAZING IN DOORS.
 - GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. (SIDE LIGHTS NEXT TO ENTRY DOOR, WINDOW AT LEFT NEXT TO THE DOOR)
- SLEEPING ROOMS MUST HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. THE EMERGENCY EXIT MUST MEET THE FOLLOWING CRITERIA:
 - MINIMUM 5.7 SQUARE FEET NET CLEAR OPENABLE AREA
 - 24" MINIMUM NET CLEAR OPENABLE HEIGHT
 - 20" MINIMUM NET CLEAR OPENABLE WIDTH
 - MAXIMUM FINISH SILL HEIGHT TO BE NO MORE THAN 44" ABOVE FINISHED FLOOR

EMERGENCY EGRESS WINDOWS



SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.

TYPICAL EXAMPLES SHOWN ABOVE. CONTACT WINDOW MANUFACTURER TO DETERMINE THAT EACH SLEEPING ROOM HAS AT LEAST ONE WINDOW THAT MEETS THE MINIMUM REQUIREMENTS. NOTE: CASEMENT WINDOWS MAY PIVOT OPEN INTO AN AREA THAT WHEN CLOSED WOULD APPEAR TO MEET MIN. REQUIREMENTS.

DOOR SCHEDULE

| | DOOR SIZE (WIDTH X HEIGHT)/ORIENT. | TYPE | QTY. | MAT. | GLASS | | REMARKS | ROOM | |
|----------------|------------------------------------|-----------------|---------------------|------------------------|----------|----------|-----------|--|--------------|
| | | | | | U-factor | SHGC | | | |
| LEVEL 1 | | | | | | | | | |
| EXTERIOR | NEW | 1a | 5'-0" x 6'-8" NE | DOUBLE FRENCH | 1 | WD/GLASS | 0.30 0.23 | PER ELEVATION, TEMPERED | BEDROOM 2 |
| | | (NOT USED) | | | | | | | |
| | | (NOT USED) | | | | | | | |
| | EXISTING | E1 | 3'-0" x 6'-8" NW | SOLID, EXT. | 1 | WOOD | | | ENTRY |
| | | E2 | 5'-0" x 6'-8" NW | DOUBLE FRENCH | 2 | WD/GLASS | 0.58 0.65 | | LIVING ROOM |
| | | E3 | 4'-6" x 6'-8" SE | DOUBLE FRENCH | 1 | WD/GLASS | 0.58 0.65 | | BEDROOM 3 |
| | | E4 | 4'-0" x 6'-8" SE | DOUBLE FRENCH | 1 | WD/GLASS | 0.58 0.65 | | FAMILY ROOM |
| | | E5 | 2'-8" x 6'-8" NE | SINGLE FRENCH | 1 | WD/GLASS | 0.58 0.65 | | MUDROOM |
| | | E6 | 4'-0" x 6'-8" NE | DOUBLE FRENCH | 1 | WD/GLASS | 0.58 0.65 | | BEDROOM 1 |
| INTERIOR | NEW | 1b | 2'-0" x 6'-8" | SOLID CORE, INT. | 2 | WOOD | | | BATH 3 & 4 |
| | | 1c | 2'-0" x 6'-8" | SOLID CORE, INT. | 2 | WOOD | | TWO DOORS FORM FRAMELESS CORNER PER PLAN | BED 4 CLOSET |
| | | (NOT USED) | | | | | | | |
| | EXISTING | E10 | 2'-4" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | BEDROOM 4 |
| | | E11 | 2'-4" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | HALL |
| | | E12 | 2'-0" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | BATH 4 |
| | | E13 | 2'-6" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | BEDROOM 2 |
| | | E14 | 2'-0" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | W.I.C. 2 |
| | | E15 | 2'-0" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | BATH 2 |
| EXISTING | E16 | 2'-6.5" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | BEDROOM 3 | |
| | E17 | 8'-6" x 6'-8" | SLIDING, INT. | 1 | WOOD | | | BED 3 CLOSET | |
| | E18 | 3'-4" x 6'-8" | DOUBLE BIFOLD, INT. | 1 | WOOD | | | ANTEROOM CLOSET | |
| | E19 | 2'-0" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | POWDER | |
| | E20 | 2'-6" x 6'-8" | DOUBLE, INT. | 1 | WOOD | | | CLOSET | |
| | E21 | 2'-6" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | GARAGE | |
| | E22 | 2'-4" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | | BATH 1 | |
| LEVEL 2 | | | | | | | | | |
| EXT. | NEW | 2a | 5'-0" x 6'-8" | DOUBLE FRENCH | 1 | WD/GLASS | | CENTER IN FOYER, ALIGN W/ s5 | BALCONY 1 |
| | | 2b | 5'-0" x 6'-8" | DOUBLE FRENCH | 1 | WD/GLASS | | CNTR IN FOYER, ALIGN W/ 2c, s5 & 208 | BALCONY 2 |
| (NOT USED) | | | | | | | | | |
| INTERIOR | NEW | 2c | 4'-6" x 6'-8" | DBL POCKET, INT FRENCH | 1 | WOOD | | ALIGN W/ 2b, s5 & 208 | OFFICE |
| | | 2d | 2'-6" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | ALIGN W/ CENTER OF SKYLIGHT s4 | BEDROOM 5 |
| | | 2e | 2'-6" x 6'-8" | SOLID CORE, INT. | 1 | WOOD | | V.I.F. CLR. WIDTH FOR DOOR SWING | BATH 5 |
| | | 2f | 4'-2" x 6'-8" | DOUBLE, INT. | 2 | WOOD | | | BED 5 CLOSET |

WINDOW SCHEDULE

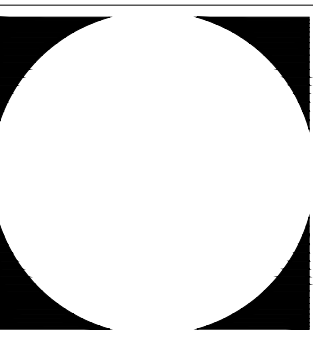
| | WINDOW SIZE (WIDTH X HEIGHT) | SQ.FT. | TYPE | QTY. | FRAME | | GLASS | | | REMARKS | ROOM |
|----------------|------------------------------|------------------|------------|----------|-------|--------|--------|-----------|------|---------|---|
| | | | | | MAT. | FINISH | FINISH | U-factor | SHGC | | |
| LEVEL 1 | | | | | | | | | | | |
| NEW | 101 | 4'-0" x 4'-0" | 16.0 NW | DBL CASE | 4 | WOOD | | 0.30 0.23 | | X | BED 2 & BED 4 |
| | 102 | 2'-0" x 3'-0" | 6.0 NE SE | CASEMNT | 3 | WOOD | | 0.30 0.23 | | X | BATH 2 & 3 |
| | 103 | 2'-0" x 4'-0" | 8.0 NW | CASEMNT | 2 | WOOD | | 0.30 0.23 | | X | BEDROOM 4 |
| EXISTING | e01 | 4'-0" x 4'-0" | 16.0 NW | DBL CASE | 1 | WOOD | | 0.58 0.65 | | | DINING ROOM |
| | e02 | 2'-0" x 4'-0" | 8.0 NW | CASEMNT | 2 | WOOD | | 0.58 0.65 | | | DINING ROOM |
| | e03 | 2'-0" x 3'-0" | 6.0 NE SE | CASEMNT | 3 | WOOD | | 0.58 0.65 | | X | BATH 1&2, PWDR |
| | e04 | 4'-6" x 4'-0" | 18.0 SE | DBL CASE | 1 | WOOD | | 0.58 0.65 | | X | BEDROOM 3 |
| | e05 | 4'-2" x 5'-3" | 21.87 SE | DBL CASE | 2 | WOOD | | 0.58 0.65 | | X | FAMILY ROOM |
| | e06 | 4'-0" x 4'-0" | 16.0 SE NW | DBL CASE | 2 | WOOD | | 0.58 0.65 | | | GARAGE |
| | e07 | 2'-0" x 2'-8" | 5.33 SW | CASEMNT | 4 | WOOD | | 0.58 0.65 | | X | KITCHEN |
| | e08 | 2'-6" x 2'-8" | 6.67 SW | FIXED | 2 | WOOD | | 0.58 0.65 | | X | KITCHEN |
| | e09 | 3'-0" x 3'-0" | 9.0 NW | FIXED | 1 | WOOD | | 0.58 0.65 | | X | KITCHEN |
| LEVEL 2 | | | | | | | | | | | |
| NEW | 201 | 4'-0" x 4'-0" | 16.0 NE | DBL CASE | 1 | WOOD | | 0.30 0.23 | | | STAIR |
| | 202 | 3'-8" x 2'-3" | 8.25 NW | FIXED | 1 | WOOD | | 0.30 0.23 | | X | STAIR |
| | 203 | 3'-8" x 6'-3.75" | 23.15 NW | DBL CASE | 1 | WOOD | | 0.30 0.23 | | | MULLED WITH 203 INTERIOR SWING, MULLED W/ 202, SILL TO BE 36" ABV STAIR MID LANDING, HEAD TO MATCH 2ND FLR HD HT. |
| | 204 | 2'-0" x 4'-0" | 8.0 NW | CASEMNT | 2 | WOOD | | 0.30 0.23 | | | ON EITHER SIDE OF 205 |
| | 205 | 4'-0" x 4'-0" | 16.0 NW | DBL CASE | 1 | WOOD | | 0.30 0.23 | | X | BETWEEN (2) 204 WINDOWS |
| | 206 | 2'-0" x 4'-0" | 8.0 SW | CASEMNT | 1 | WOOD | | 0.30 0.23 | | | BEDROOM 5 |
| | 207 | 2'-0" x 3'-0" | 6.0 SW SE | CASEMNT | 4 | WOOD | | 0.30 0.23 | | X | BATH 5 |
| | 208 | 4'-0" x 3'-0" | 12.0 SE | DBL CASE | 1 | WOOD | | 0.30 0.23 | | | ALIGN W/ 2b, 2c & s5 |
| | 209 | 2'-0" x 4'-0" | 8.0 NE | CASEMNT | 1 | WOOD | | 0.30 0.23 | | | OFFICE |
| | 210 | 3'-0" x 3'-0" | 9.0 NW | DBL CASE | 1 | WOOD | | 0.30 0.23 | | | OFFICE |
| | | | | | | | | | | | INTERIOR OPERABLE WINDOW ALIGN W/ EDGE OF 201, PER PLAN |

*WINDOWS & EXTERIOR DOORS TO BE CUSTOM, WOOD-FRAMED TO MATCH EXISTING UNLESS NOTED OTHERWISE

SKYLIGHT SCHEDULE

| | SKYLIGHT SIZE | ROOM | TYPE | QTY. | FRAME | | GLASS | | | REMARKS | SQ.FT. | |
|------------|---------------|----------------|------------|-------|-------|--------|--------|-----------|------|---------|------------------------|-------|
| | | | | | MAT. | FINISH | FINISH | U-factor | SHGC | | | TEMP. |
| EXIST. | s1 | 1'-3" x 3'-0" | MUDROOM | FIXED | 1 | METAL | | 0.39 0.29 | | X | (E) TO REMAIN | 3.75 |
| | s2 | 2'-8" x 4'-8" | KITCHEN | FIXED | 1 | METAL | | 0.37 0.29 | | X | (E) TO REMAIN | 12.44 |
| (NOT USED) | | | | | | | | | | | | |
| NEW | s3 | 10" DIAMETER | BATH 4 | FIXED | 2 | METAL | | 0.37 0.29 | | X | SOLATUBE 160 DS | 0.55 |
| | s4 | 1'-10" x 2'-6" | UPPER HALL | FIXED | 1 | METAL | | 0.37 0.29 | | X | NEW - VELUX - 2230 FCM | 4.58 |
| | s5 | 3'-4" x 3'-4" | FOYER | FIXED | 1 | METAL | | 0.37 0.29 | | X | NEW - VELUX - 4646 FCM | 11.11 |

*SKYLIGHT NOTES:
 1. ALL SKYLIGHT DIMENSIONS ARE INTERIOR FINISHED SURFACE TO FINISHED SURFACE CLEAR
 2. ALL SKYLIGHTS TO HAVE TRANSLUCENT GLASS



HAPPY SPACE STUDIO, INC.

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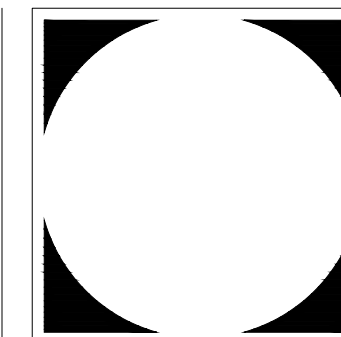
REVISION:

WILLIAMS COTTAGE
 1821 VIKING CA
 LA JOLLA 92037

PROJECT:

SCHEDULES: DOOR & WINDOW DOOR & WINDOW NOTES GREEN BUILDING CODE REQUIREMENTS
 DATE: 9.10.2024
 SCALE: N.T.S.

A-1.4



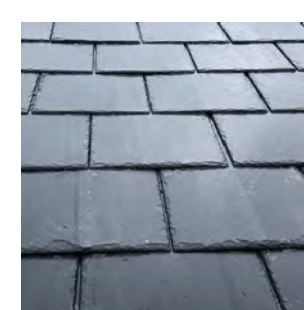
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MATERIALS LEGEND:

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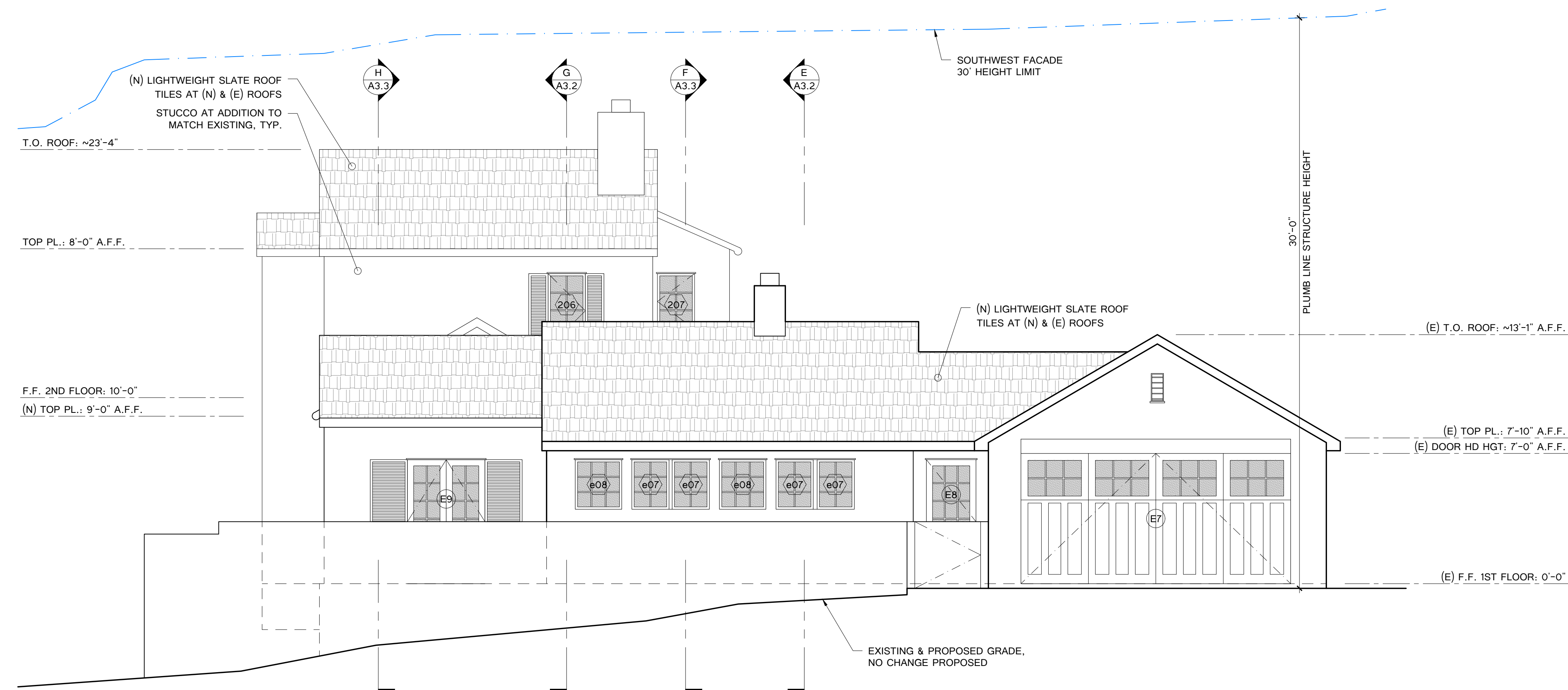
STUCCO:
ALL NEW STUCCO TO MATCH EXISTING STUCCO IN COLOR AND FINISH, AS SHOWN IN PICTURE TO THE LEFT



SLATE ROOF:
ALL NEW & EXISTING ROOF AREAS TO BE RE-ROOFED WITH NEW LIGHTWEIGHT SLATE ROOF TILES

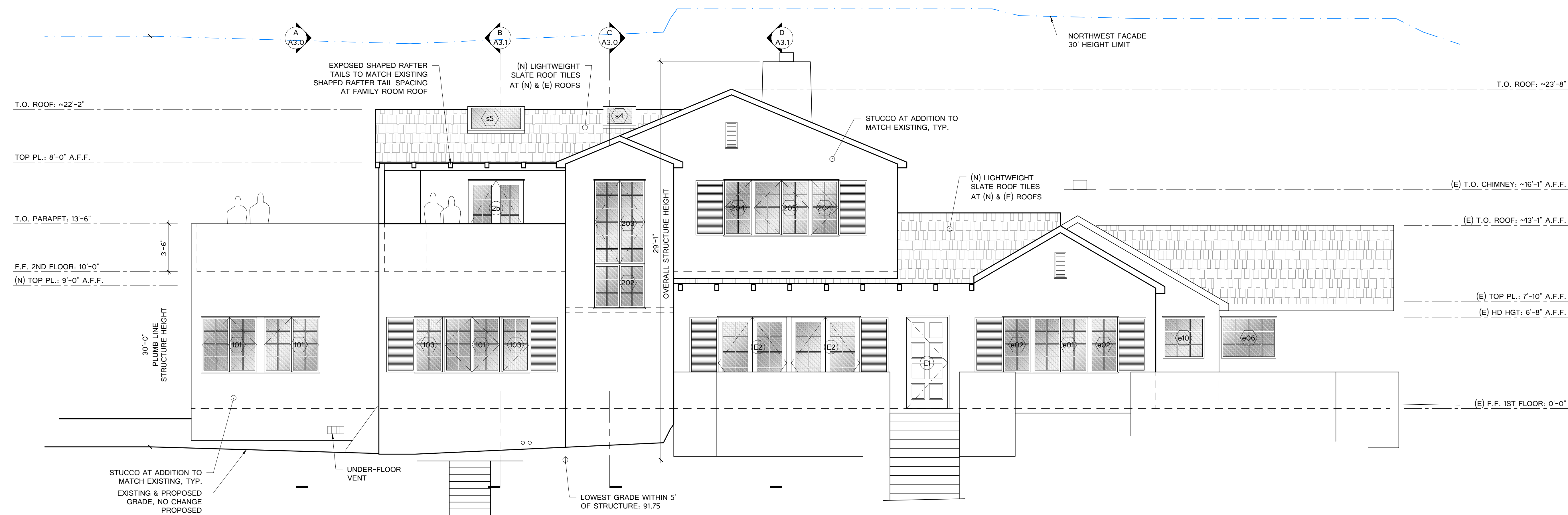
OUTDOOR LIGHTING:

LIGHTING TO HIGHLIGHT ARCHITECTURAL FEATURES OF THE HOUSE IS PERMITTED BUT MUST BE UNOBTRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.



ELEVATION - SOUTHWEST

SCALE: 1/4" = 1'-0"



ELEVATION - NORTHWEST

SCALE: 1/4" = 1'-0"

REVISED

PROJECT: **WILLIAMS COTTAGE**
1821 VIKING CANYON
LA JOLLA, CA 92037

PROJECT

DATE: 9.10.2024

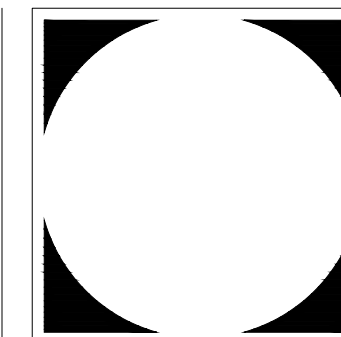
REVISIONS

ELEVATIONS

SHEET NO.

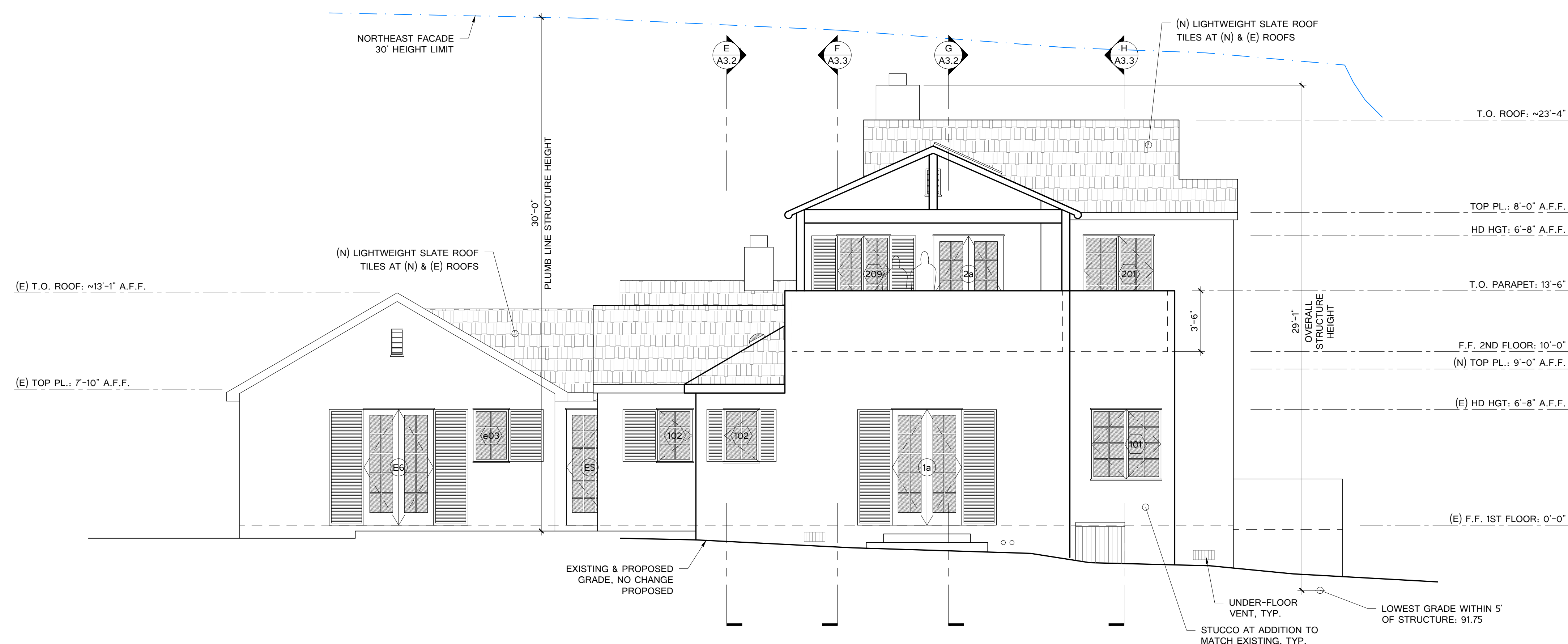
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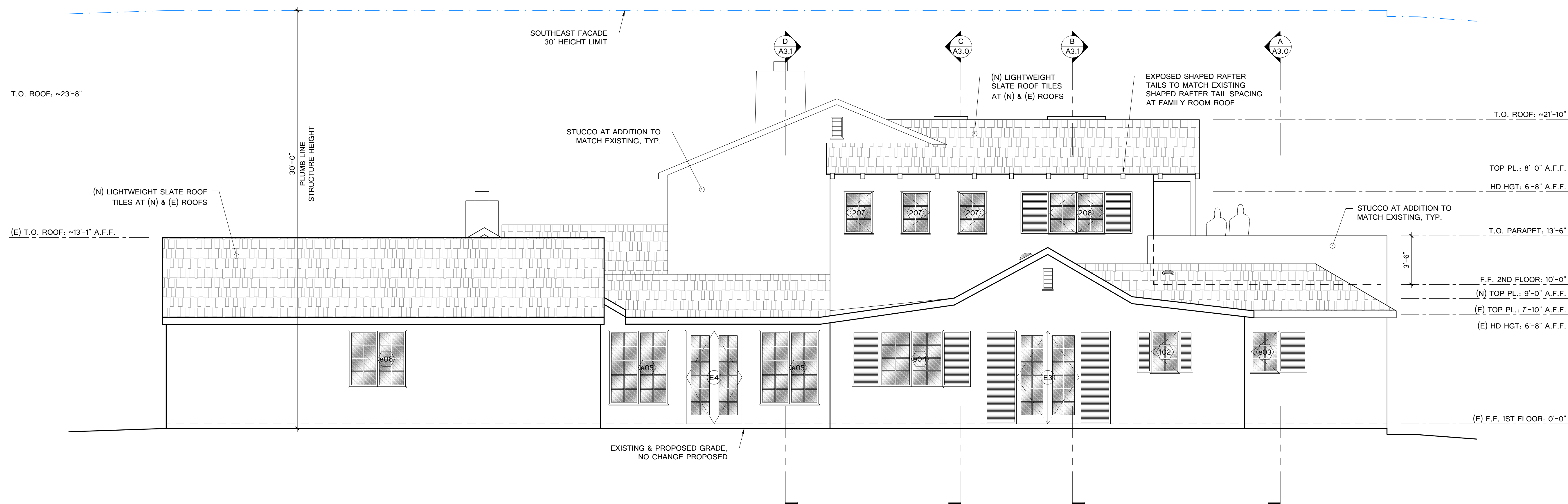
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ELEVATION - NORTHEAST

SCALE: 1/4" = 1'-0"



ELEVATION - SOUTHEAST

SCALE: 1/4" = 1'-0"

REVISED

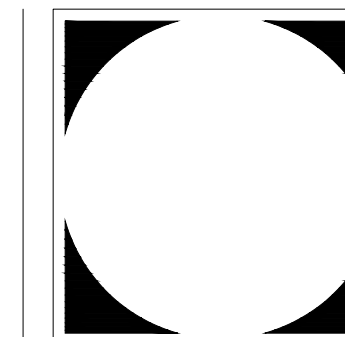
PROJECT: WILLIAMS COTTAGE
1821 VIKING AVE
LA JOLLA, CA 92037

DATE: 9.10.2024

SHEET TITLE: ELEVATIONS

SHEET NO.

A-2.1



**HAPPY
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TITLE 24 UTILIZES:

- R-15 NEW WALLS
- R-30 ON ADDITION AND EXISTING CEILINGS
- 0.30 U AND 0.23 SHGC FOR NEW WINDOWS
- ALTERED 0.91 UEF GAS TANKLESS WATER HEATER (EXAMPLE: RINNAI RU160E)
- NEW 96 AFUE FURNACE WITH 14.3 SEER2 A/C, OR BETTER (EXAMPLE: CARRIER 59SC5A080)
- NEW R-6 HVAC DUCTING

REQUIRED SPECIAL FEATURES:

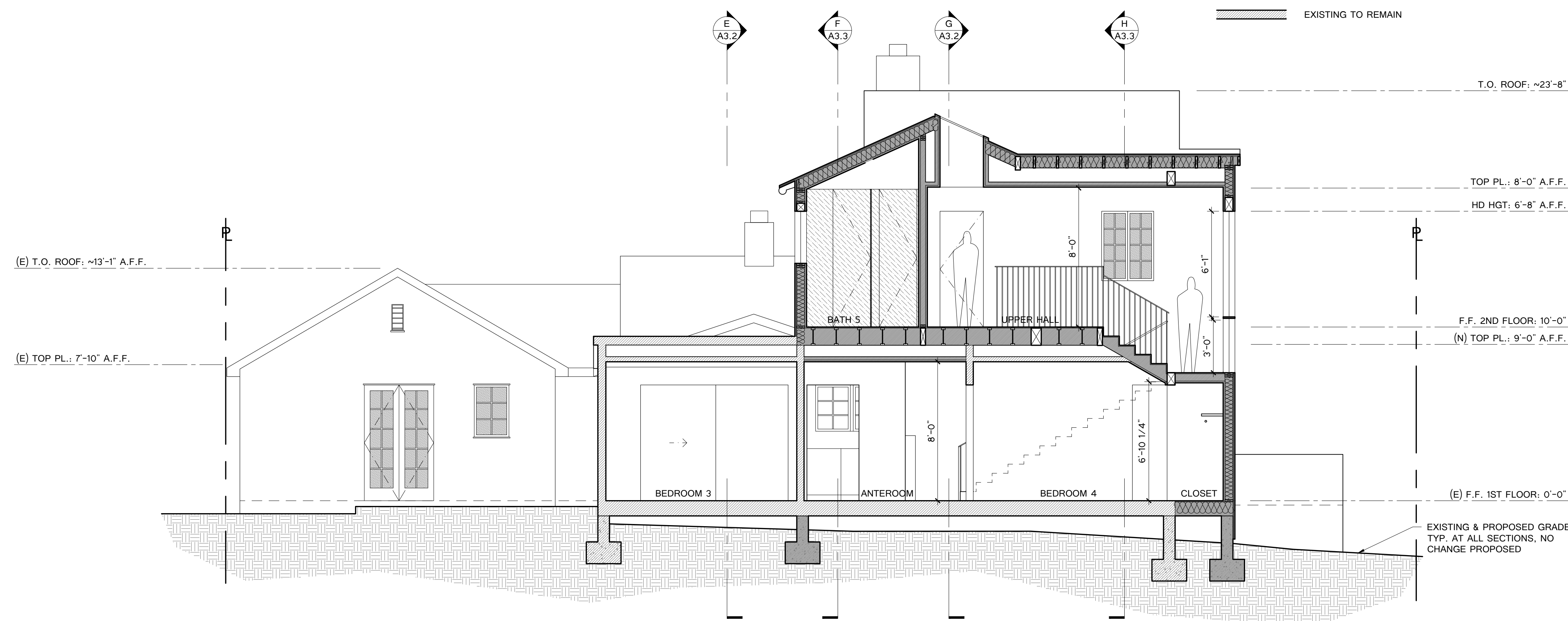
- DUCTS IN CRAWL SPACE

HERS FEATURE SUMMARY:

- MINIMUM AIRFLOW
- FAN EFFICACY WATTS/CFM
- DUCT LEAKAGE TESTING

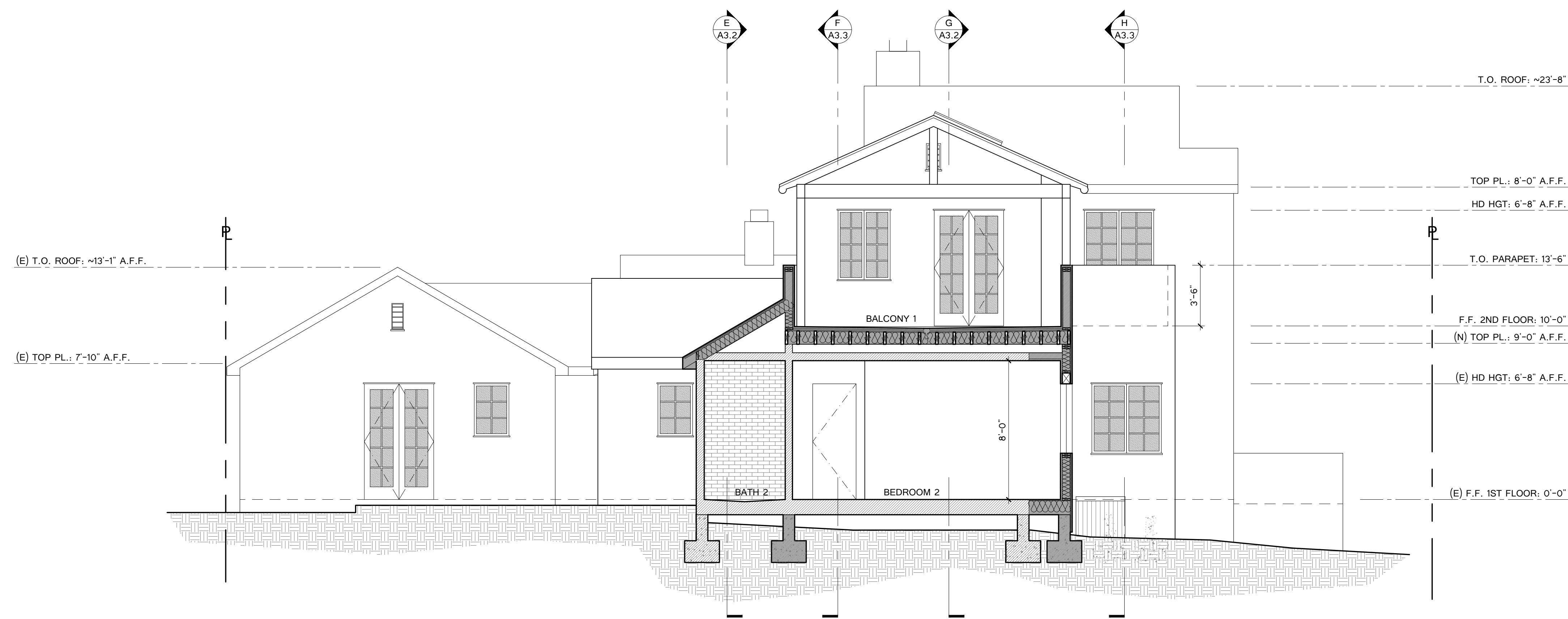
SECTION LEGEND:

- NEW CONSTRUCTION
- EXISTING TO REMAIN



SECTION C

SCALE: 1/4" = 1'-0"



SECTION A

SCALE: 1/4" = 1'-0"

REVISIONS:

WILLIAMS COTTAGE
1821 VIKING CANYON
LA JOLLA, CA 92037

PROJECT:

SHEET TITLE:

SECTIONS

SHEET NO.

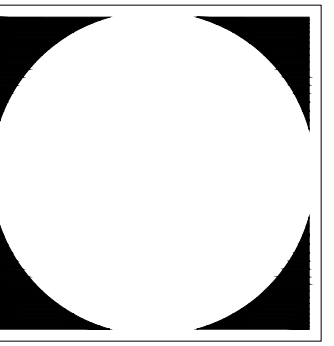
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SCALE:

1/4" = 1'-0"

9.10.2024

A-3.0

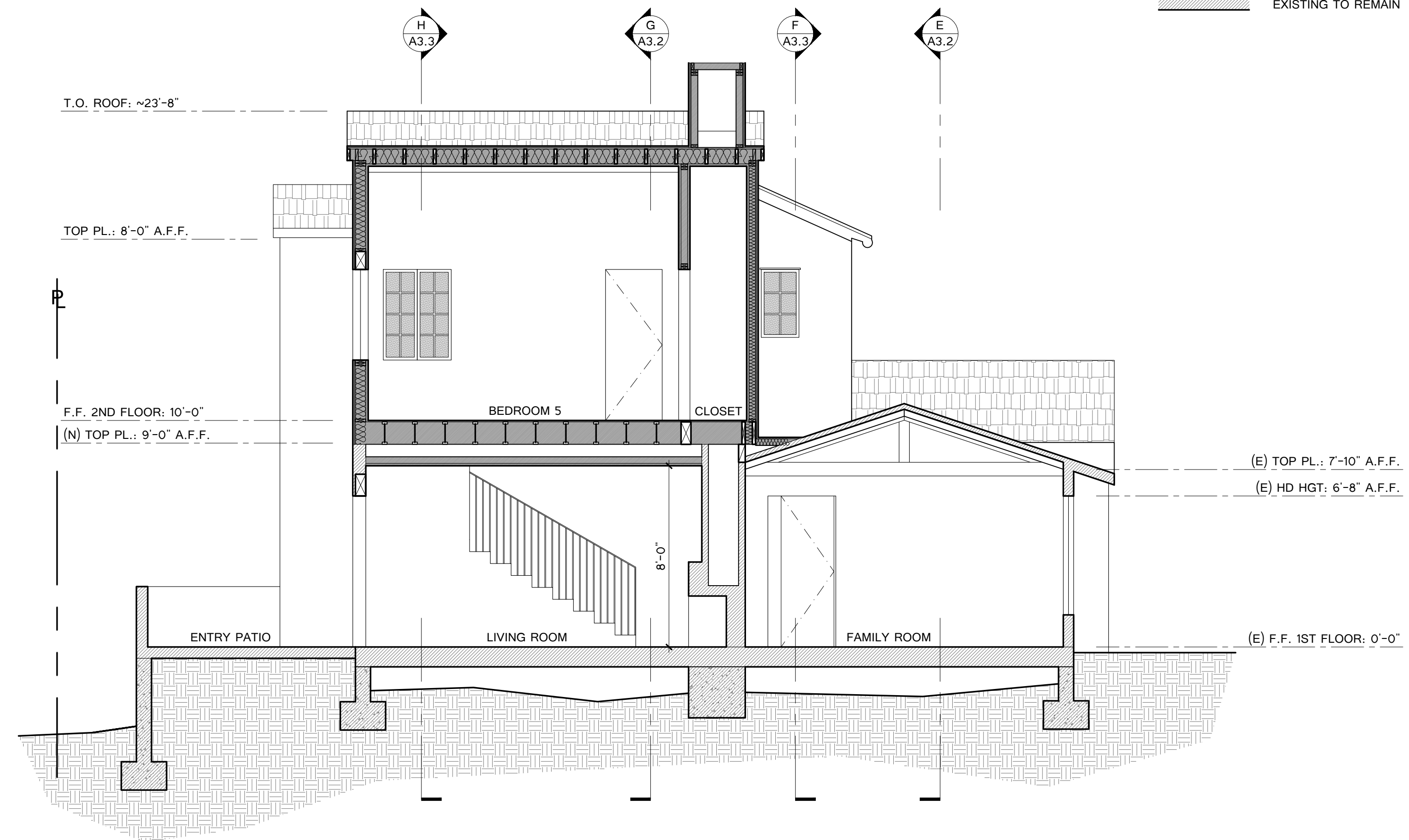


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STUDIO, INC.**

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LA MESA, CA 91941
619-920-8965
info@happyspacestudio.com

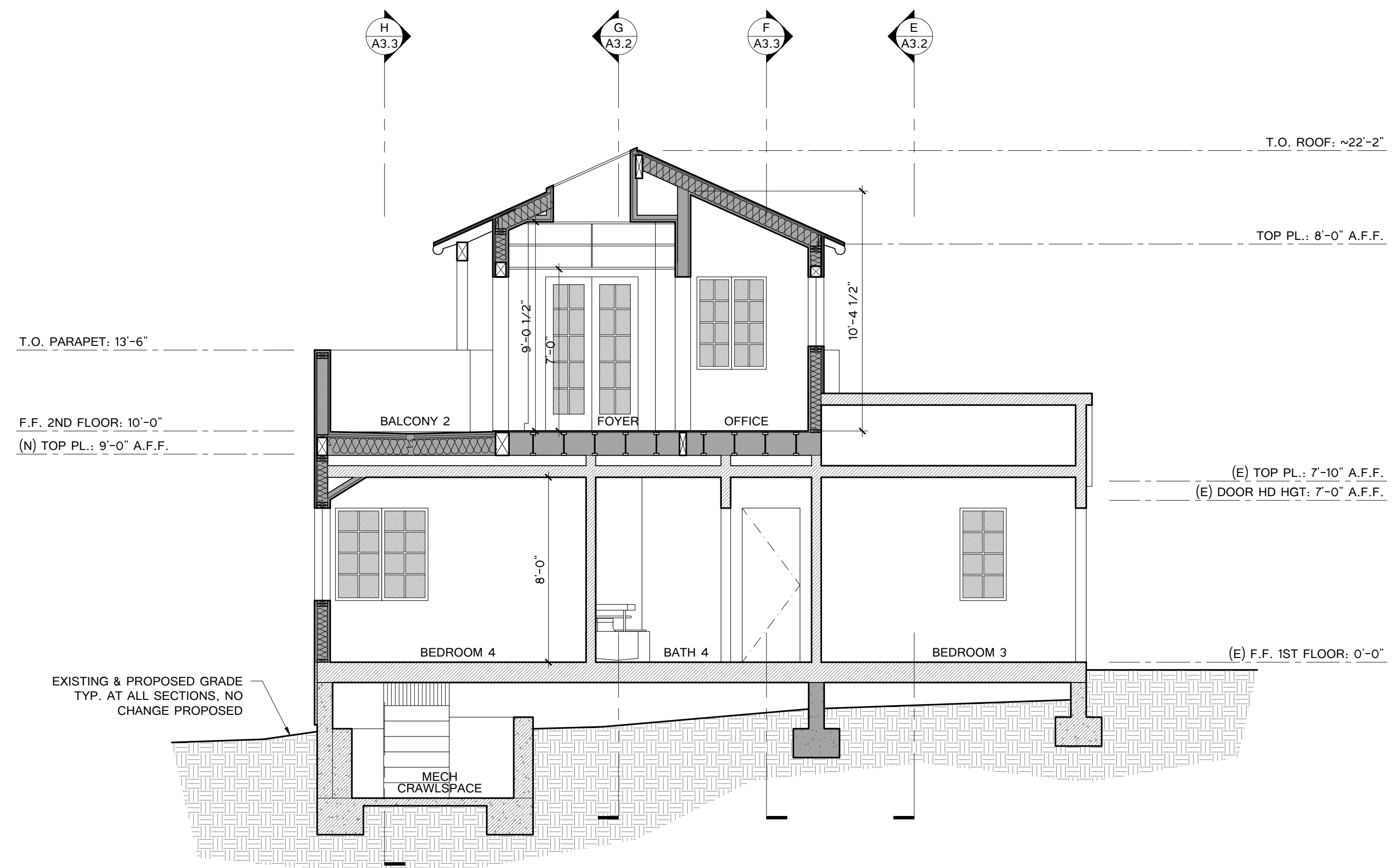
SECTION LEGEND:

- NEW CONSTRUCTION
- EXISTING TO REMAIN



SECTION D

SCALE: 1/4" = 1'-0"



SECTION B

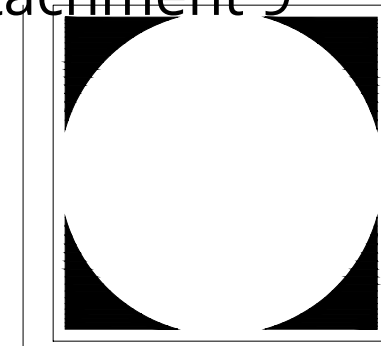
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WILLIAMS COTTAGE
 1821 VIKING CANYON WAY
 LA JOLLA, CA 92037

PROJECT: WILLIAMS COTTAGE
 DATE: 9.10.2024

SHEET TITLE: SECTIONS
 SCALE: 1/4" = 1'-0"

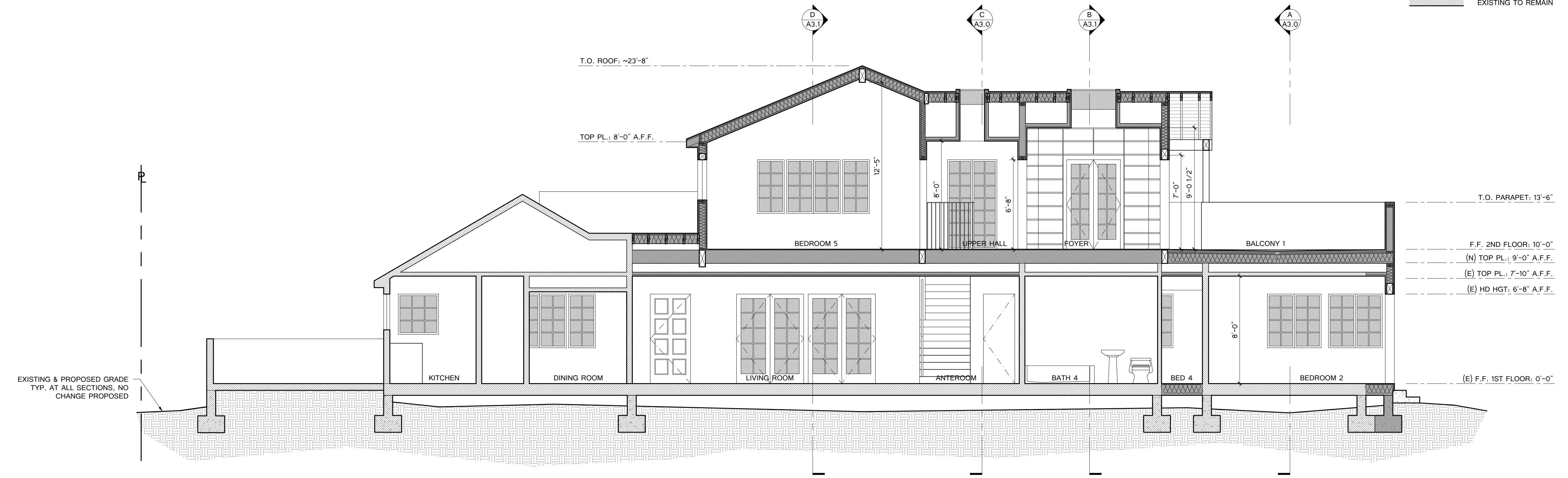
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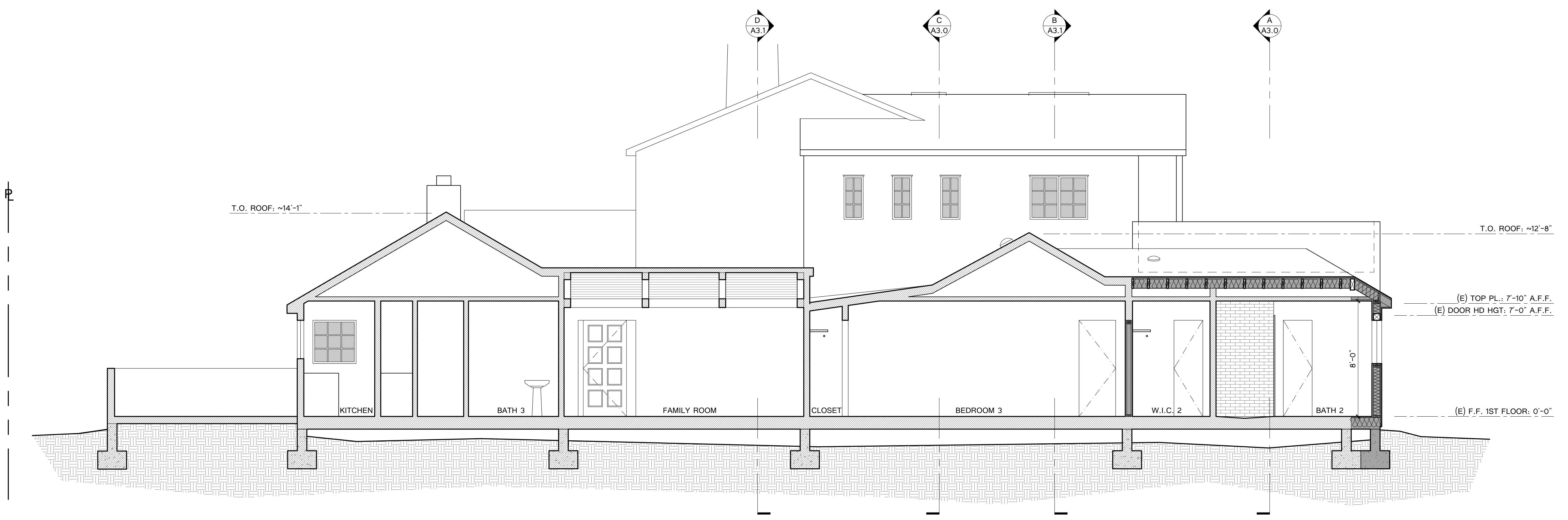
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info@happyspacestudio.com

SECTION LEGEND:
NEW CONSTRUCTION
EXISTING TO REMAIN



SECTION G

SCALE: 1/4" = 1'-0"



SECTION E

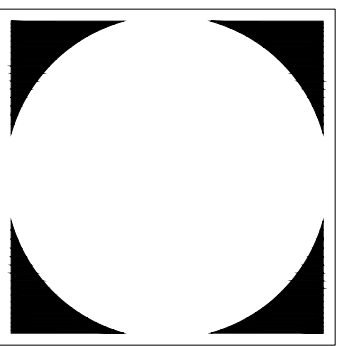
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PROJECT: WILLIAMS COTTAGE
1821 VIKING CANYON WAY
LA JOLLA, CA 92037

DATE: 9.10.2024

SHEET TITLE: SECTIONS
SCALE: 1/4" = 1'-0"

SHEET NO. A-3.2

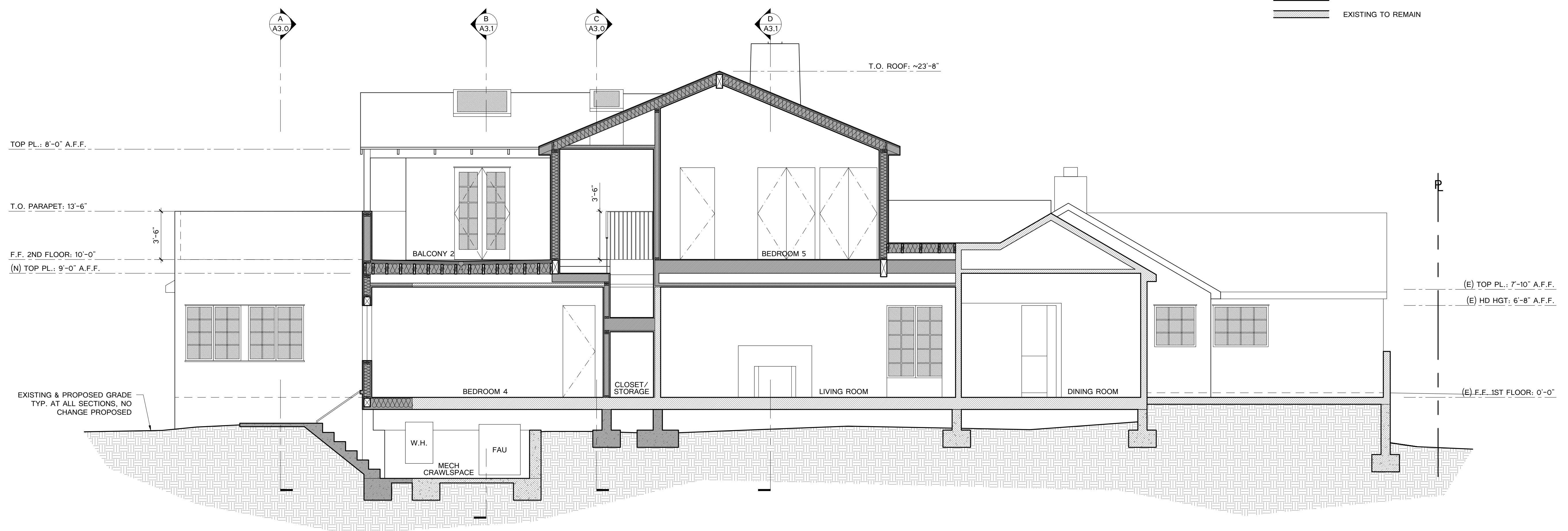


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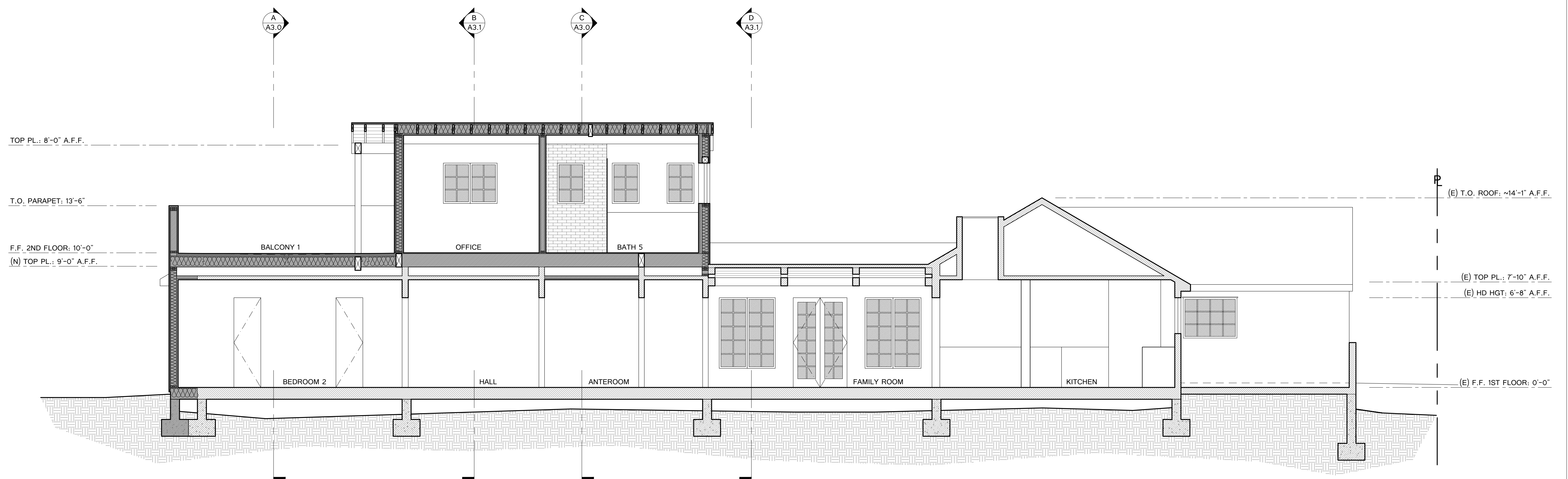
SECTION LEGEND:

- NEW CONSTRUCTION
- EXISTING TO REMAIN



SECTION H

SCALE: 1/4" = 1'-0"



SECTION F

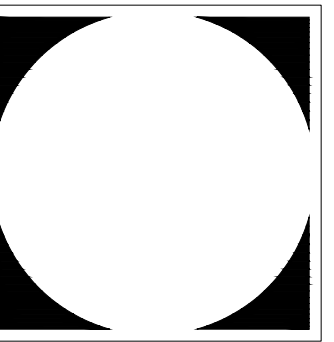
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WILLIAMS COTTAGE
 1821 VIKING CA 92037
 LA JOLLA, CA 92037

DATE: 9.10.2024

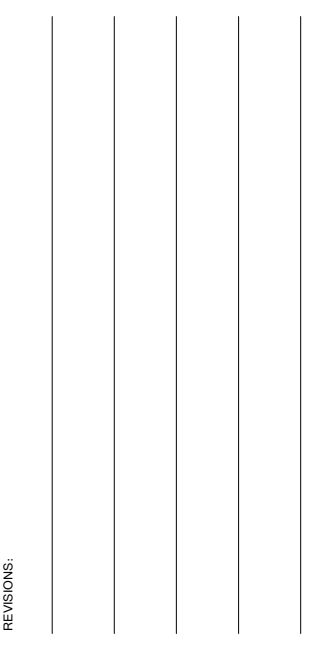
SHEET TITLE: SECTIONS
 SCALE: 1/4" = 1'-0"

A-3.3



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WILLIAMS COTTAGE 1821 VIKING CIRCLE LA JOLLA, CA 92037

DATE: 9.10.2024

STORMWATER REQUIREMENTS CHECKLIST

SCALE: N.T.S.

SW-1

FORM DS-560 September 2021 Stormwater Requirements Applicability Checklist

Project Address: 1821 Viking Way Project Number:

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual. Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the California State Water Resources Control Board.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities...
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility?
4. Does the project only include the following Permit types listed below?

- Check one of the boxes below and continue to Part B
If you checked "Yes" for question 1, an SWPPP is REQUIRED - continue to Part B
If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B
If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

More information on the City's construction BMP requirements as well as CGP requirements can be found at http://www.sandiego.gov/stormwater/regulations/index.shtml

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PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP).

Complete Part B and continue to Section 2

- 1. ASBS
A. Projects located in the ASBS watershed.
2. High Priority
A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.
3. Medium Priority
A. Projects that are not located in an ASBS watershed or designated as a High priority site.
B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.
C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.
4. Low Priority
A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
If "no" is checked for all the numbers in Part C: Continue to Part D.

- 1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

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PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" is checked for all questions in Part D, continue to Part E.

- 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual?
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?

PART E - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- 1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

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- 7. New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).
8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.
9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 8013, 8014, 3541, 7332-7334 or 7336-7339.
10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.

PART F - Select the appropriate category based on the outcomes of Part C through Part E

- 1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance.
3. The Project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance.
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management.

Francis Czerner Architect
Name of Owner or Agent Title
Signature 2-28-24 Date

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