

***HISTORICAL RESOURCE TECHNICAL REPORT
FOR THE
3220, 3240, 3250 & 3350 SPORTS ARENA BOULEVARD BUILDINGS
SAN DIEGO, CALIFORNIA 92110***

PRJ-1106734

*3220, 3240, 3250 & 3350 Sports Arena Boulevard
San Diego, California 92110*

Report Submitted To:

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Executive Summary

This Historical Resource Technical Report (HRTR) was prepared at the request of Midway Rising, LLC in order to determine the potential historical and/or architectural significance of four (4) one-story, Modern Contemporary style commercial buildings, and their associated ancillary structures, located at 3220, 3240, 3250 and 3350 Sports Arena Boulevard (identified as the “Properties”) in the City of San Diego’s Midway community, California according to National Register of Historic Places, California Register of Historical Resources, and City of San Diego Historical Resources Board designation criteria. The study is consistent with the adopted City of San Diego, Historical Resources Board (HRB), *Historical Resource Technical Report Guidelines and Requirements* (Land Development Manual, Historical Resources Guidelines, Appendix E, Part 1.2, February 2009) and the adopted *Guidelines for the Application of Historical Resources Board Designation Criteria* (Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2, August 27, 2009). This HRTR was prepared in conjunction with the “Midway Rising Project” (PRJ-106734) to determine whether the Properties can be considered historically and/or architecturally significant.

The Properties are defined as 3220 Sports Arena Boulevard (Assessor’s Parcel Number 760-102-04-00; a portion of Pueblo Lot 337); 3240 Sports Arena Boulevard (Assessor’s Parcel Number 760-102-05-00; portions of Pueblo Lots 313, 314, 332, and 338); 3250 Sports Arena Boulevard (760-102-01-00; portions of Pueblo Lots 313, 319, 337, and 338); and 3350 Sports Arena Boulevard (760-102-32-00; portions of Pueblo Lots 313 and 338). They are owned by the City of San Diego (a Public Agency).

The Properties largely consist of one and two-story, One-Part Commercial Block and/or Modern Contemporary style commercial buildings constructed between 1967-1978. Historical research indicates that the Properties are not historically and/or architecturally significant. None of the buildings are associated with any important events or individuals; do not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block and/or Modern Contemporary construction; do not represent the notable works of “master” architects and/or important, creative individuals; or possess high artistic values. Consequently, the Properties are not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, the California Historic Resources Inventory, or the San Diego Historical Resources Board Register.

Introduction

Report Organization

This HRTR was prepared to determine the potential historical and/or architectural significance of four (4) one-story, Modern Contemporary style commercial buildings, and their associated ancillary structures, located at 3220, 3240, 3250 and 3350 Sports Arena Boulevard in San Diego's Midway community. The HRTR was prepared in conjunction with the "Midway Rising" Project. The 3250 Sports Arena Boulevard building was constructed in 1967 (with ancillary structures erected thereafter), the 3220 Sports Arena Boulevard building was constructed in 1968, the 3240 Sports Arena Boulevard building was constructed in 1969, and the 3350 Sports Arena Boulevard was constructed in 1978. As such, the buildings are between approximately forty-six (46) and fifty-seven (57) years of age. Since structures that are at least forty-five (45) years of age may be considered potential historic resources under the California Environmental Quality Act (CEQA), the Properties were researched and evaluated as potential historic resources in accordance with City of San Diego Historical Resources Board (HRB) local criteria; California Register of Historical Resources (state) criteria; and National Register of Historic Places (national) criteria by Scott A. Moomjian, Esq., Historic Properties Consultant, from November 2023-April 2024. The Properties were determined by the present study not to be historically and/or architecturally significant.

The HRTR includes a Title Page; Table of Contents; Executive Summary; Introduction (Report Organization; Project Area; Project Personnel); Project Setting (Physical Project Setting; Project Area and Vicinity; Property Histories; Historical Overview of the Midway community); Methods and Results (Archival Research; Field Survey; and Description Of Surveyed Resources with current photographs); Significance Evaluation; Findings and Conclusions; Bibliography; and Appendices. The Appendices consist of Building Development Information (Notices of Completion; Water and Sewer Connection Records; and Construction/Building Permits); Ownership and Occupant Information (Chain of Title; and San Diego City Directory Occupant Listings); Maps (800:1 Scale Engineering Map; U.S.G.S. La Jolla Quadrangle; and Original Subdivision Map); California Department of Parks & Recreation (DPR) Inventory Forms; and Report Preparer Qualifications (Resume).

Project Area

The Properties are located in San Diego's Midway community. The Properties are defined as 3220 Sports Arena Boulevard (Assessor's Parcel Number 760-102-04-00; a portion of Pueblo Lot 337); 3240 Sports Arena Boulevard (Assessor's Parcel Number 760-102-05-00; portions of Pueblo Lots 313, 314, 332, and 338); 3250 Sports Arena Boulevard (760-102-01-00; portions of Pueblo Lots 313, 319, 337, and 338); and 3350 Sports Arena Boulevard (760-102-32-00; portions of Pueblo Lots 313 and 338). The site area is located within a built, urban environment along the 3200-3300 blocks of Sports Arena Boulevard. Collectively, the parcels are irregular in shape and contribute to approximately 3,010,400 square feet (69.109 acres). They are located within the Pueblo Lands of San Diego (Map MM36) which was filed in February 1876. The Properties are bounded by Kurtz Street to

the north, Camino del Rio West to the east, Midway Drive to the south, and Hancock Street to the west.

The surrounding neighborhood was largely developed during the 1940s through the 1960s. Such development has continued to the present day. The original neighborhood setting in and around the Properties generally consisted of temporary, residential housing used during the Second World War. During the 1950s and 1960s, the setting evolved to include light industrial and commercial uses, including business, store, and warehouse construction. In 1966, the San Diego International Sports Arena (now Pechanga Arena) was built northwest of the Property locations. Subsequently, an assortment of ancillary retail, commercial, recreational, and entertainment venues became established. Since this time, commercial/retail construction has continued throughout the area to the present day, and architectural styles are eclectic in nature, generally reflecting a mix of Modern/Contemporary and vernacular/utilitarian designs.

Project Personnel

Project personnel included Scott A. Moomjian, Esq., Historic Properties Consultant, who conducted the field survey, archival research, and prepared the final report with its findings and conclusions. All chain of title research was conducted by First American Title Insurance Company.

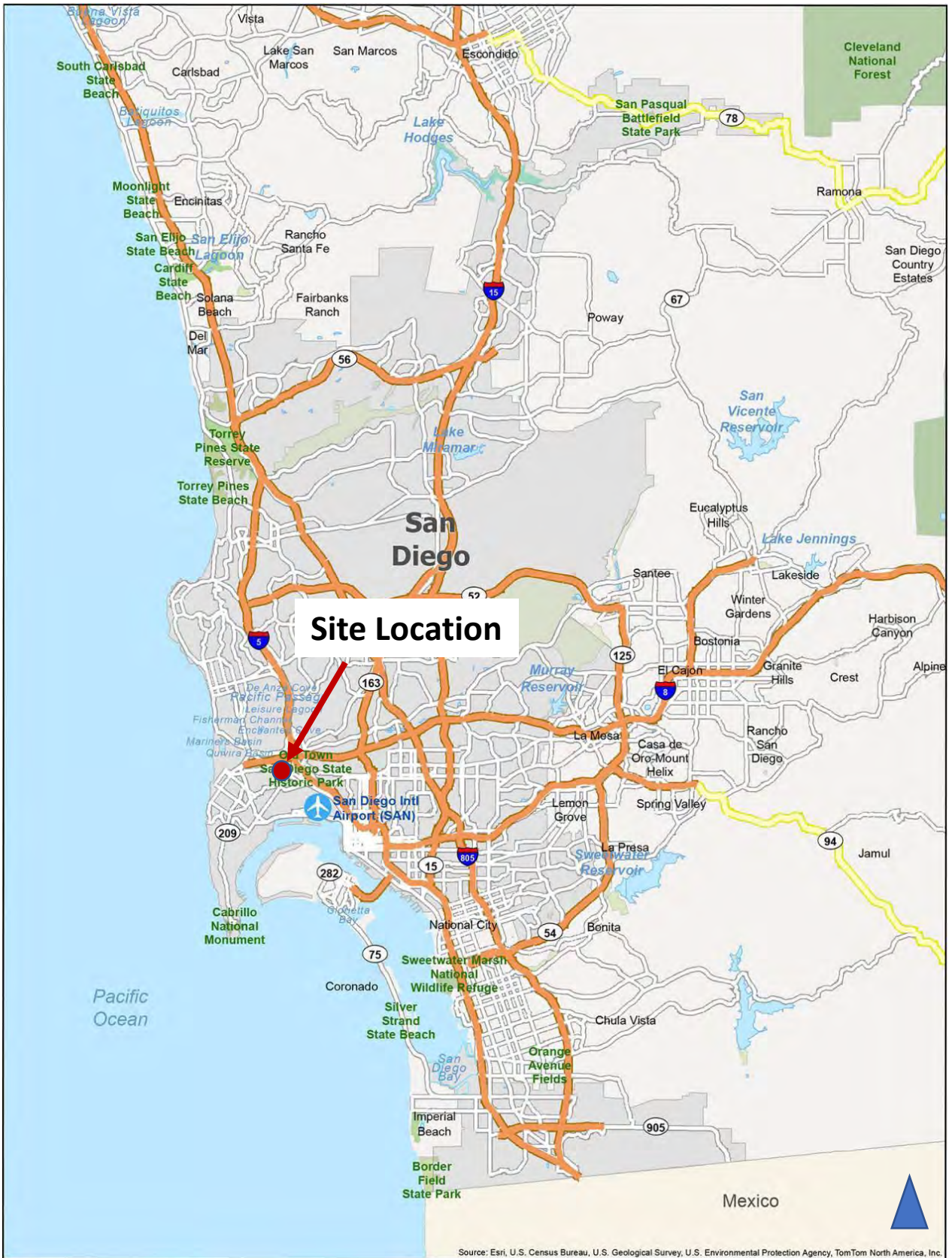
Project Setting

Physical Project Setting

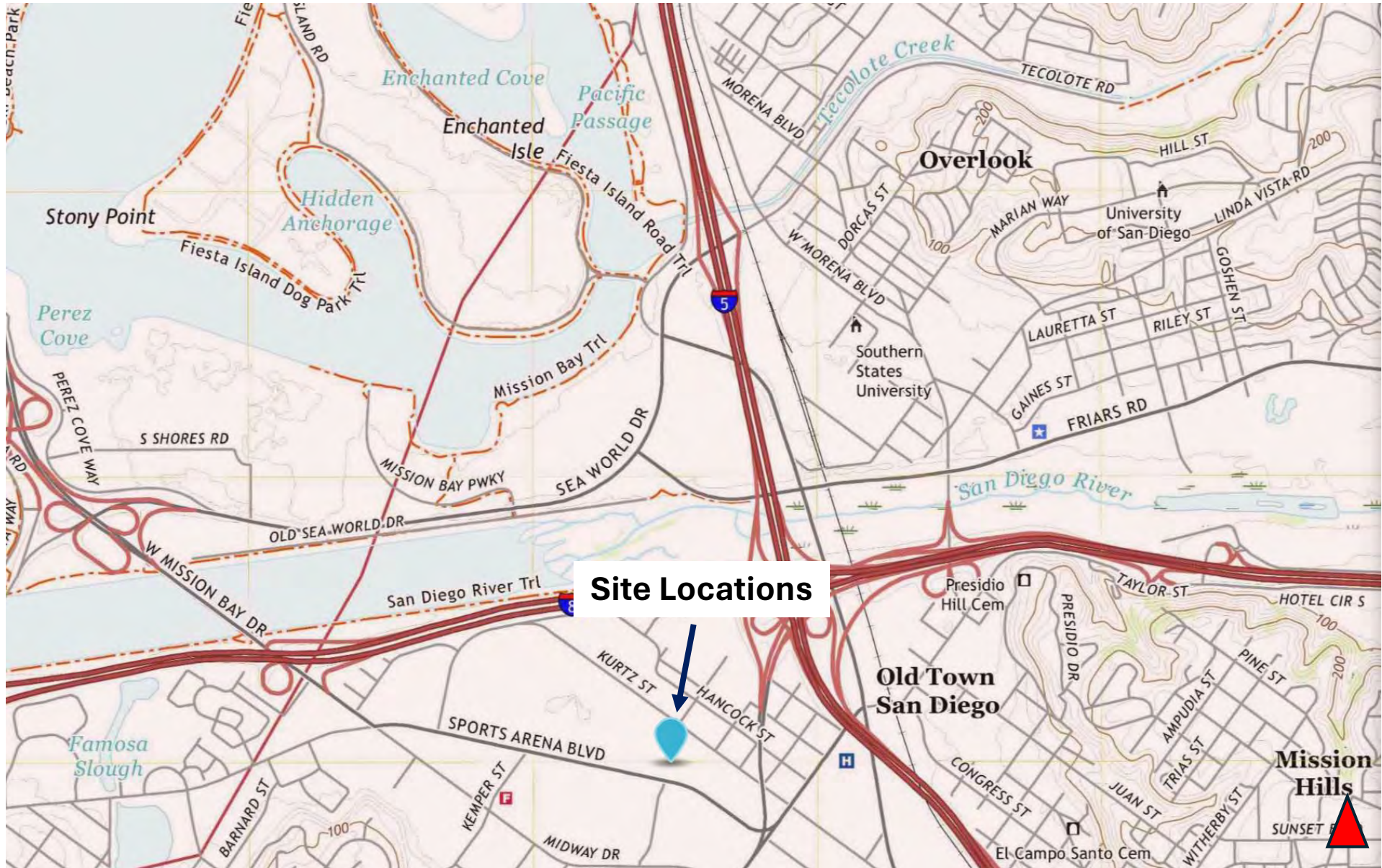
The Properties are located in San Diego's Midway community within the Pueblo Lands of San Diego. The site area is located within a built, urban environment. Prior to the development of the Properties, the surrounding area was previously known as the "Frontier Housing Project," which comprised 3,500 temporary dwellings constructed in 1944 to house workers during the Second World War. The buildings were only meant to be used for up to two years, however, many remained up to ten years until they fell into disrepair. Subsequently, all were demolished by 1957. As the push for post-World War II development began, the area was cleared of old housing and transformed into an area consisting of commercial, industrial, and entertainment buildings. The largest catalyst for change within the immediate area occurred after the construction of the adjacent Pechanga Arena (originally known as the San Diego International Sports Area) in 1966. Over the years the neighborhood setting in and around the Properties has dramatically changed, and the architectural styles in the area are eclectic in nature. Such styles generally reflect a mix of Modern/Contemporary and vernacular/utilitarian designs.

Project Area and Vicinity

The overall area in and around the Properties largely consists of light industrial and commercial uses, and includes businesses, stores, and warehouses. Within the nearby vicinity, other commercial ventures include restaurants, retail shops, and



Regional Location Map



Site Location Map

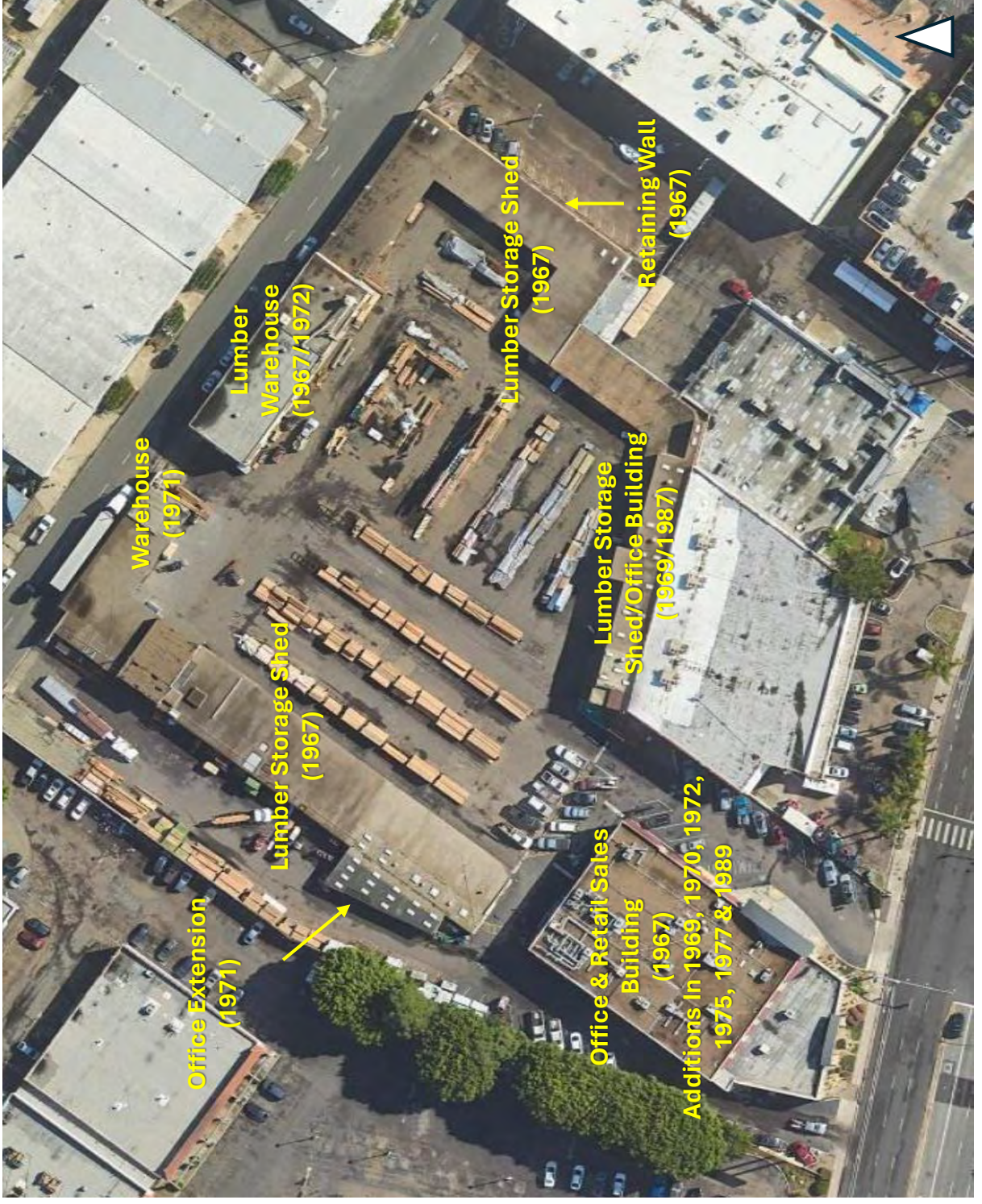
3220, 3240, 3250 & 3350 Sports Arena Boulevard Site Locations



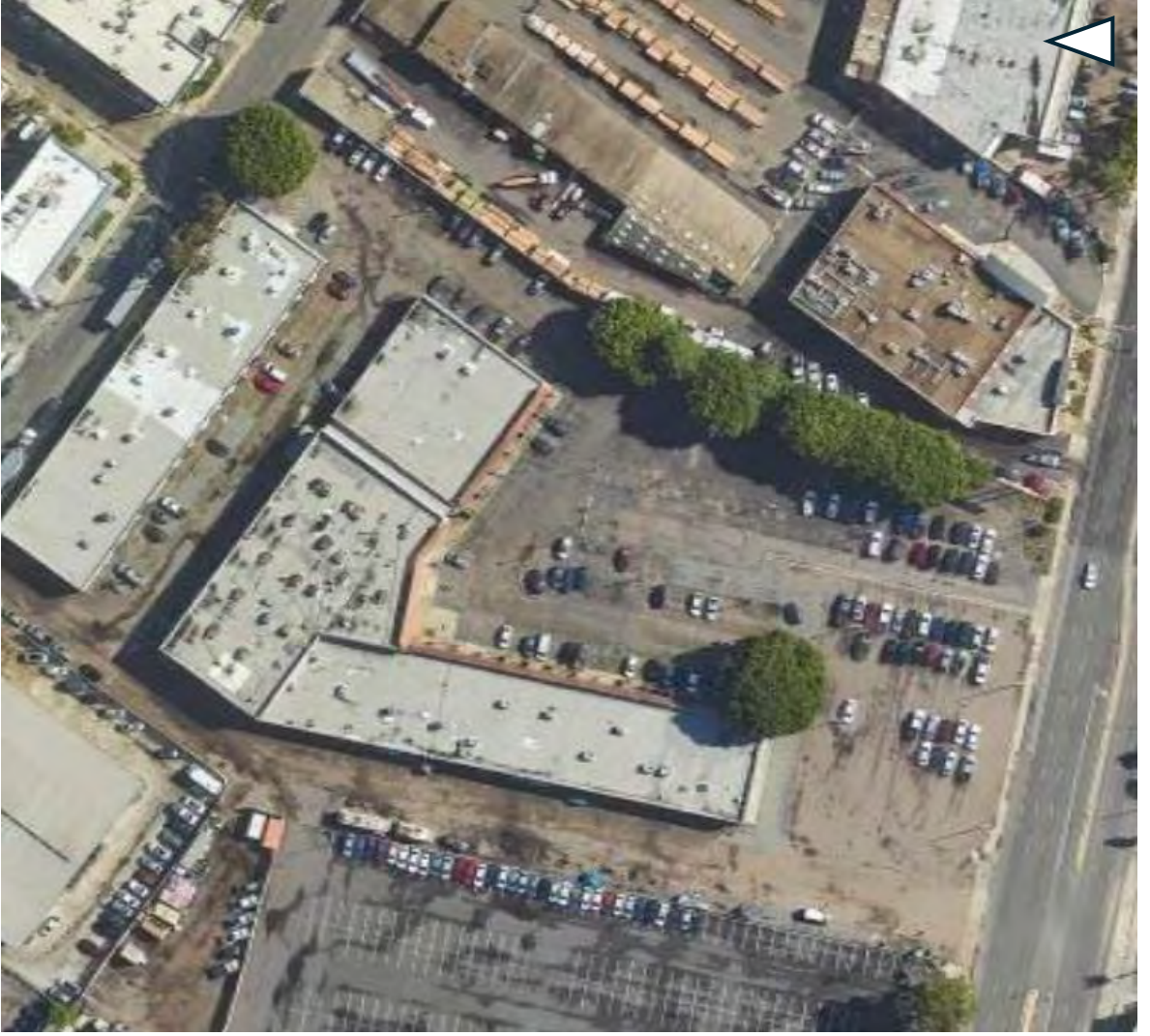
3220 & 3240 Sports Arena Boulevard



3250 Sports Arena Boulevard



3350 Sports Arena Boulevard



recreation/entertainment venues, primarily along Sports Arena Boulevard. Over the years, the original neighborhood setting in and around the Properties has substantially changed from residential to light industrial and commercial use. Overall, architectural styles in and around the Properties are eclectic in nature and generally reflect a mix of Modern/Contemporary and vernacular/utilitarian designs.

Property Histories

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were not documented, or inventoried, in any prior historic survey or historic inventory. Specifically, they were not included or evaluated as part of the *Midway-Pacific Highway Community Plan Area, Historic Resources Survey Report, Historic Context & Reconnaissance Survey*, prepared by Galvin Preservation Associates, Inc. in September 2018.

The Properties on which the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are today located, Assessor's Parcel Numbers 760-102-04-00, 760-102-05-00, 760-102-01-00, and 760-102-32-00, were acquired by the United States of America in January 1944. Subsequently, the properties were deeded to the City of San Diego in October 1964. Today, the properties are still owned by the City of San Diego and subject to various leaseholds.

3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building is located on a portion of Pueblo Lot 337. Historical research indicates that the structure was built as a commercial retail store for Pier 1 Imports in 1968. While Commercial-Industrial Records could not be obtained for the building due to the fact that the property is owned by the City of San Diego (a Public Agency), a *San Diego Union* newspaper article reported in August 1968 that "Pier One Imports is starting a commercial building at 3220 Sports Arena Blvd., valued on the permit on \$88,000. The building will have 9,850 square feet." This is supported by a City of San Diego Building Permit Application which indicates that A.L. Wildey and T. Ota from Newport Beach, California, designed the structure for Pier 1 Imports as a "Concrete Tilt-Up Retail & Warehouse," and the building was constructed by Don Koll Company, Inc. (also from Newport Beach). Another City of San Diego Building Permit Application filed one month later indicated that the structure was under construction by this time and proposed an addition measuring approximately 20 x 71.6 feet.

Review of original architectural plans (Plan-File Number 13539-D) filed in conjunction with the San Diego Building Permit Application (E-19057), indicates that the 3220 Sports Arena Boulevard building was designed as a simple, one-story Modern Contemporary style commercial building for Pier 1 Imports. The design allowed for the construction of a square-shaped "Future Addition" (which was never built) along the north elevation. The structure had precast concrete wall panels with scored stucco along approximately one-half of the main (southwest) elevation, as well as divided storefront glass windows and double-glass entry door along the remaining southeast elevation. It was devoid of both ornamentation and front façade signage area. Sometime before 2007, the building was modified and altered to reflect its current appearance.

Between 1968-2020, the 3220 Sports Arena Boulevard building was used as a commercial retail store by Pier 1 Imports, Inc. The building was one of four stores which operated in the San Diego region (San Diego, La Jolla, La Mesa, and Carlsbad). Over this period, the building was subject to four (4) different sign installations (1968, 1969, 1970, and 1977) and roofing (rock) repair (1976). Since 2021, the building has operated as a homeless shelter under the management of Alpha Project.

Historical research indicates that Pier 1 Imports, Inc. is an online retailer and former Fort Worth, Texas based retail chain, specializing in imported home furnishings and décor. Pier 1 Imports, Inc. was established in 1962 when Charles D. Tandy and Luther Henderson (with the Tandy Corporation), provided a loan to California-based Cost Plus Imports in exchange for franchise rights. That year, the partners opened their first store as Cost Plus Imports, in San Mateo, California. By 1966, their franchises had grown to 16 Pier 1 Imports locations in California and Texas with corporate headquarters established in Fort Worth, Texas.

In 1970, Pier 1 Imports went public on the American Stock Exchange and later joined the New York Stock Exchange in 1972. By this time, the company had established 123 stores both nationally and internationally in Australia and Europe. By 1985, the chain grew to 265 stores, and continued to grow through the 2000s. However, by 2020, the company suffered due to decreasing sales prior to, and after, the Covid-19 Pandemic. In January 2020, the company announced it would close up to 450 stores, citing “a reduction in corporate headcount.” One month later, Pier 1 Imports, Inc. and seven affiliated companies filed for bankruptcy. In June 2020, Retail Ecommerce Ventures (REV) acquired Pier 1 Imports for \$31 million with the intent of establishing it as an online e-commerce business. In October 2020, the last Pier 1 Imports store closed, and online operations were moved to Dallas, Texas.

3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building is located on portions of Pueblo Lots 313, 314, 332, and 338. Historical research indicates that the structure was built as a commercial retail store for Trend Furniture Company in 1969. While Commercial-Industrial Records could not be obtained for the building due to the fact that the property is owned by the City of San Diego (a Public Agency), a *San Diego Union* newspaper article reported in August 1969 that “a building permit valued at \$262,000 was issued for construction of a furniture store at 3240 Sports Arena Blvd. The owner is Victor Schulman and the lessee will be Trend Furniture Co.” This article is supported by a City of San Diego Building Permit Application in May 1969 which indicates that John S.M. Daniels designed the structure for owner Victor Schulman as a “Masonry & Wood Frame Bldg.,” to be used as a “Retail Store.” The structure was built by the Melhorn Construction Company, and was signed by its vice-president and manager, M.W. (Martin W.) Melhorn. It should be noted that Martin W. Melhorn was the son of William B. Melhorn (1894-1969) and the grandson of Martin V. Melhorn (1866-1925), both of whom have been established by the City of San Diego as “master” builders. Due to the fact that the former Melhorn retired in 1958 and died in April

1969 (before the 3240 Sports Arena Boulevard building was constructed), it is clear that he did not have any association with the structure.

Review of original architectural plans (Plan-File Number 18256-D) filed in conjunction with the San Diego Building Permit Application (E-64278), indicates that the 3240 Sports Arena Boulevard building was designed as a one-story, Modern Contemporary style commercial building for Trend Furniture Company. The structure included an upper horizontal stucco signage section above four areas of decorative stone veneer with large, fixed panes storefront glass, and two aluminum entry doors flanking a large, fixed glass pane along the main (south) elevation. At the southwest elevation, there was an area that functioned as a “Truck Well” for service deliveries.

Historical research indicates that the 3240 Sports Arena Boulevard building served as a furniture store for Trend Furniture Company from 1969-1998. At the time the building opened in November 1969, it included 20,000 square feet of retail space and was described as having a “contemporary design” which allowed for the future construction of a second floor with 12,000 square feet of space (which was never built). The structure was the second store commissioned by Trend Furniture Company. The first store, located at 5310 Jackson Drive in La Mesa, opened in April 1966. It was designed by Fred Bergendorff and Associates and built by Melhorn Construction Company. This store, designed in a Modern Contemporary style, was almost identical in appearance to the 3240 Sports Arena Boulevard building. After Trend Furniture Company vacated the premises, the building was used by La Jolla Patio & Mattress from 1999-2000. Sometime between 2002-2003, the building became used by its current occupant, the Salvation Army, as a Thrift and Donation Center.

3250 Sports Arena Boulevard

The 3250 Sports Arena Boulevard building is located on portions of Pueblo Lots 313, 319, 337, and 338. The building largely consists of a one and two-story, heavily modified, Modern Contemporary style commercial retail structure, built in conjunction with Dixieline Lumber Company, as well as three (3), major, associated ancillary structures, including a one-story, lumber storage shed with office extension, located along the west elevation; a one-story, lumber storage shed, located along with east and south elevations with second-story office; and a two-story, lumber mill, located along the north elevation.

Historical research indicates that the Dixieline Lumber Company began in 1913 when it was then known as the “North Park Lumber Company.” This firm commenced operations along the east side of Ohio Street between University and Lincoln Avenues (3919 Ohio Street) in North Park. Fresh lumber was brought in from the Great Northwest on Clipper Ships as San Diego was becoming a major metropolis. Once the Panama Canal opened in 1914, San Diego decided to host the California Panama Exposition to promote San Diego as a major port. This sparked a local building boom, and the company quickly established itself as the premier supplier of lumber and building materials in Southern California. In 1916, the business changed its name to “Dixie Lumber & Supply Company.” Under the ownership and operation of William S. Cowling, Sr., the company continued to grow

during the 1920s, and after the Second World War, included the sale of cement, paint, and general contractor supplies.

In the early 1950s, Dixie Lumber & Supply Company established a site located at Harbor Drive and 28th Street. In 1957, the company merged with Airline Lumber Company and the enterprise then became the “Dixieline Lumber Company.” In 1958, the company moved its operations to Old Town (4009 Rosecrans Street) and in 1963, William Cowling, Jr. became its president. Soon thereafter, the company acquired a six and one-half acre site in National City, and in 1967, leased the 3250 Sports Arena Boulevard property from the City of San Diego. This site served as a retail location with a Modern-style office headquarters. In 1979, the Cowling family sold Dixieline Lumber Company to Weyerhaeuser, however, it regained control of the company in 1994. In 2003, Dixieline Lumber Company was acquired by Lanoga Corporation, and in January 2006, it was acquired by its current parent, Pro-Build Holdings, Inc. Today, the company has ten locations throughout San Diego County.

While Commercial-Industrial Records could not be obtained for the 3250 Sports Arena Boulevard building due to the fact that the property is owned by the City of San Diego (a Public Agency), a City of San Diego Building Permit Application indicates that the structure was built as an “Office & Sales Bldg. For Lumber Yard” in 1967. According to the Building Permit, Weber & Edwards served as the architects. The architectural firm of Weber & Edwards was composed of James Weber and Robert Edwards. James Francis Weber was born in Cleveland, Ohio on April 14, 1931, and obtained his bachelor’s degree in architecture from Ohio State University in 1954. Between 1954-1957 he worked for Richard G. Wheeler, AIA. By 1962, he established James F. Weber & Associates in Pacific Beach. This firm, with partner Robert Edwards, operated from 1963-1989. Over the course of its career, the firm designed numerous single-family, multi-family, commercial, and religious buildings.

According to a Notice of Completion, the 3250 Sports Arena Boulevard building was completed by McKee Construction Company for Dixieline Lumber Company in November 1967. Erected at the main Sports Arena Boulevard entrance to the site, a historical photograph shows the office and sales structure as one and two-stories in height with a flat roof, slender vertical wood fascia panels, and vertical wood siding. Historical research indicates that over the course of its existence, the building was substantially modified and altered. Inspection of historical photographs from 1970, 1978, and 1979, coupled with a review of City of San Diego Building Permit Applications, indicate that the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989 which dramatically transformed the size, footprint, and appearance of the structure, thereby eliminating its original Modern Contemporary style. The architects and/or designers associated with these changes include Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, C.E., and Don Coorot. Dixieline Lumber Company served as the builder.

At the same time the 3250 Sports Arena Boulevard building was constructed, a City of San Diego Building Permit Application indicates that Weber & Edwards designed a 270 foot

long retaining wall composed of 24" concrete blocks. This feature appears to exist along the east elevation today.

Following the construction of the 3250 Sports Arena building, City of San Diego Building Permit Applications indicate that three additional structures followed in 1967, designed by architects Weber & Edwards, including two, one-story "lumber storage rack[s]" and a one-story "Lumber Mill Building." These structures effectively enclosed the site and were built along the north, south, east, and west elevations. As with the 3250 Sports Arena Boulevard building, these structures were also modified over the years. In 1971, an office extension was built along the southwest elevation of the western storage rack, and in 1987, a partial office area was built atop the south elevation of the eastern storage rack. In addition, the Lumber Mill was subject to a second story addition in 1971. Finally, a small warehouse was added to the site along the northwest elevation in 1971. The architects and/or designers associated with these changes include S/W Associates, Architects, Robert K. Burkett, and Don Coorot. Dixieline Lumber Company served as the builder.

3350 Sports Arena Boulevard

The 3350 Sports Arena building is located on portions of Pueblo Lots 313 and 338. Historical research indicates that the structure was built in 1978 as a commercial movie theatre and retail stores in 1978. While Commercial-Industrial Records could not be obtained for the building due to the fact that the property is owned by the City of San Diego (a Public Agency), a City of San Diego Building Permit Application in March 1977 indicates that architect Roy Johnson of La Mesa designed the structure for Equity Investments as a "masonry commercial building." Valued at approximately \$1,097,500, the building was constructed by G.L. Friehe Construction Company and opened as "Mann's Sports Arena 6" on July 21, 1978. The movie theatre contained six screens (a "Six-Plex") and was part of the "Sports Arena Square" along with several other commercial tenants.

The 3350 Sports Arena Boulevard building was part of Mann Theatres, a movie theater chain which predominately operated in the western United States, with a heavy concentration of theaters in Southern California. The Mann Theatres chain was named after Ted Mann, founder of the original Minnesota chain. In 1973, Mann purchased the theatre division of National General Pictures, which primarily consisted of the original Fox Theatres chain. In 1986, Mann Theatres was acquired by Gulf and Western Industries, and in turn, in 1987, Warner Communications was brought in as a partner. In 1997, Mann Theatres was sold to WestStar. After this time, all Mann Theatre cinemas were gradually sold off to other chains, and the company ceased operation on December 27, 2011.

Historical research indicates that the 3350 Sports Arena Boulevard building served a number of different commercial tenants from approximately 1981-2021. (*See Appendix B, Ownership and Occupant Information, City Directory Listing Of Occupants*). These include, but are not limited to, restaurant, athletic, medical, supply, electronic, and home/décor businesses. Over this period, the building experienced a number of changes, primarily in relation to interior, tenant improvements. By 2002, the movie theatre had closed, and it became occupied by SOMA, an independent, live music entertainment venue.

At this time, additional tenant improvements were undertaken, including “structural and non-structural work.” In 2019, the building was extensively remodeled in 2019. Today, in addition to SOMA, the building serves as the location of other commercial tenants, including, but not limited to, Kite Country, Built, Troy Crossfit, Prima Materia, The Arena, and Crack In The Wall.

Historical Overview Of The Midway Community

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are located within San Diego’s Midway community. Frequently identified as the “Midway-Pacific Highway Community Plan Area,” this area encompasses approximately 800 acres of relatively flat land, which is situated north of Downtown between Old Town and the north end of the Peninsula Community Plan area. The community is comprised of two basic elements: the Midway area and the narrow, linear-shaped Pacific Highway corridor. The Midway area consists of an urbanized commercial core containing numerous retail centers, motels and institutional facilities that cater to the needs of nearby residential and visitor populations. Wide streets, flat topography, and a mixture of large and small commercial buildings characterize the area. There are pockets of multi-family residential buildings in the western portion of the community, adjacent to the Peninsula Community Plan area. Pechanga Arena (formerly known as the San Diego International Sports Arena), which is surrounded by acres of surface parking lots, is a focal point of the area. Interstate 8 (I-8) functions as the northern boundary, with the San Diego River and the Mission Bay area located north of I-8.

In the 1850s when the first attempt was made to build a city on the present area of Downtown, a group of Old Town citizens bought the land to the south of Old Town and established a rival subdivision closer to the bay. The subdivision began around present-day Witherby Street and extended south along the shoreline of the bay to about present-day A Street. The portion of the land that was subdivided and laid out into streets, squares, blocks, and lots was designated Middletown.

The development of Middletown, as well as Old Town, was stymied by a severe drought, followed by the onset of the Civil War. These troubles led to an actual drop in the town’s population from 650 in 1850, to 539 in 1860. Not until land speculator and developer Alonzo Horton arrived in 1867 did San Diego begin to develop fully into an active American town. Alonzo Horton’s development of New Town in 1867 began to swing the community focus away from Old Town and began the urbanization of San Diego. Horton purchased 800 acres and began an aggressive promotional campaign, offering free lots to anyone who would build a house worth \$500 on it. Horton’s successful promotion attracted other speculators and developers to San Diego, and within the next five years 15 new subdivisions were laid out around Horton’s Addition.

The years 1868 and 1869 were “boom” years, with steady growth until the economic panic of 1873 occurred. The population dropped to 1,500 in 1875, but then rebounded. San Diego’s civic leaders continued to focus on the development of the railroad. Construction of the Santa Fe Railroad began in 1880 and the first trains arrived in San Diego in 1882,

leading to a period of renewed and steady growth. During the late 1800s and early 1900s, the areas of Golden Hill, Uptown, Banker's Hill, and Sherman Heights, located on hills immediately adjacent to downtown, were developed.

This period of steady growth was followed by another boom that resulted in a population of 35,000 and a full-fledged land investment and speculation frenzy, which created 30 new real estate tracts countywide by 1888. These new tracts included the areas of Hillcrest and University Heights, located roughly two miles outside of the downtown core and accessed by new streetcar lines running along 4th Avenue and Switzer Canyon into the Uptown area. These and the other subdivisions located on the periphery of downtown became San Diego's first streetcar suburbs. The boom resulted in over \$10 million in new improvements, including paving, electrical streetlights and railways, sewage systems, and new construction before ending suddenly when the bottom fell out of the real estate market in the spring of 1888. By the 1890s the city's population settled to around 17,000.

Although it would appear that the Midway area was conveniently located between Old Town and New Town, attempts at development floundered because of its early, swamp-like conditions. Historically, the Midway area was part of the San Diego River delta, comprising the flat land between the hill of the San Diego Presidio and the hills of Point Loma. The San Diego River switched back and forth between emptying into Mission Bay, through the Midway area, into the San Diego Bay. The silt it carried built sand bars and eventually blocked channels. To protect the main harbor from these deposits, the U.S. Army Corps of Engineers decided to make the Mission Bay route of the river permanent. In 1853, George Derby, an army land surveyor, engineered the construction of a dike just south of the present flood channel, extending northeasterly from what is now the junction of Midway Drive and Sports Arena Boulevard.

During the late 19th and early 20th centuries, transportation improvements and the development of early industries, as well as the presence of the airport and military, resulted in the slow expansion of the Midway area. However, large sections of the area remained undeveloped. During the Second World War, areas along Pacific Highway were used for numerous defense industries. The post-war development of the area mainly consisted of small warehouses and commercial buildings that sprang up in a rather haphazard fashion.

While there were a few isolated residential and commercial buildings prior to the Second World War, the commercial and residential development of the Midway area was random and sparse. A few homesteaders constructed small houses, but the earth was too sandy and salty for agriculture. As early as 1900, San Diegans initiated efforts to attract the attention of the Navy Department in hopes that officials would choose it for naval bases and other shore activities. The military presence in San Diego began in 1901 with the establishment of the Navy Coaling Station in Point Loma. In addition, the City attempted to assist in the search for homes by developing a Defense Housing Commission, which listed available vacancies within the area. The City also lifted ordinances against rooming houses in residential zones, but nothing could meet the continuous immigration of defense workers.

In 1940, the federal government passed the Lanham Act, which appropriated \$150 million to the Federal Works Agency to provide massive amounts of housing in congested defense industry centers. The development of defense housing units within San Diego would be located within undeveloped areas both east and north of the city's downtown. "The Frontier Housing Project" was one of the largest such developments. It was located at the intersection of Midway and Rosecrans. In 1943, the Federal Public Housing Agency took bids for the construction of 3,500 temporary dwelling units. By May 1944, 1,100 units were ready for occupancy. Although the buildings were only intended to last for two years, some remained for 20. Between 1954-1955, the Federal government relinquished control of the Properties to the City of San Diego. However, by this time, Navy families and San Diego State University students occupied many of the units.

After the Second World War, small warehouses and industrial buildings began to fill in the undeveloped areas along the Pacific Highway corridor. The Consolidated Aircraft plant continued to be a strong visual element and economic force in the area. The Midway area gave way to commercial strip and shopping center development that mainly catered to nearby residential and visitor populations. Streets were widened, removed, and renamed to facilitate the movement of automobiles. Interstates 5 and 8 were constructed, which formed rigid barriers between the neighborhoods on the north and east.

During the 1950s, several of the large parcels occupied by the Frontier Housing Project were purchased by the City of San Diego and later sold for development. However, business continued to be oriented toward the automobile and mainly consisted of freestanding buildings surrounded by large surface parking lots. Consequently, residential and commercial uses were physically and architecturally disconnected from one another. Overall, the area was characterized by the presence of several motels and auto camps, interspersed with single-family residences, commercial buildings, and vacant lots. Businesses that required large flat parcels such as lumberyards, drive-in theaters, and nurseries also began to locate in the area.

The character of the Midway area that exists today began to take shape during the 1960s. Modern commercial buildings were constructed on vacant lots or replaced older commercial and residential buildings. Multi-family residential complexes also began appearing in the Midway area during the 1960s. The greatest change to the area was the construction of the San Diego International Sports Arena (today Pechanga Arena) in 1966. As early as the 1950s, San Diego had been seeking to attract professional sports franchises. Robert Breitbard acquired the Gulls (then a member of the Western Hockey League) and laid plans for the construction of an indoor arena. The land was formerly part of the Frontier Housing Project and owned by the City of San Diego; however, the \$6,500,000 for construction was privately financed. The Arena opened in November 1966. It was designed for seating 13,500 hockey and 16,000 for other sporting and public events. Within a year a professional basketball team, the San Diego Rockets, was added. The Gulls continued to play in the arena until 1995 when the team disbanded, however, it returned in 2015. From the 1960s to the present, the Midway area has become less industrial and more commercial. Today, the area is now mainly known for its large, region-serving retail establishment and its multi-lane traffic arteries.

Methods and Results

Archival Research

The archival research for this HRTR included, but was not necessarily limited to, preparing a chain of title from recorded legal documents obtained by First American Title Insurance Company; City of San Diego Building Permit Application records research; City of San Diego water and sewer connection records research; San Diego City Directories; Sanborn Fire Insurance Map research; historical photographs; online research; local, state, and federal inventories/surveys/database material; personal research/archival material in possession of Scott A. Moomjian, Esq.; and standard and authoritative sources related to local history, architecture, and building development information.

Field Survey

The field survey work was conducted by Scott A. Moomjian, Esq. on November 16, 2023, February 16, 2024, and April 9, 2024. An intensive survey of the subject Properties and surrounding neighborhood was undertaken during these times. The Properties were recorded on the appropriate DPR 523 forms according to instructions and publications produced by the California Office of Historic Preservation (See Attachment D).

Description of Surveyed Resources

3220 Sports Arena Boulevard

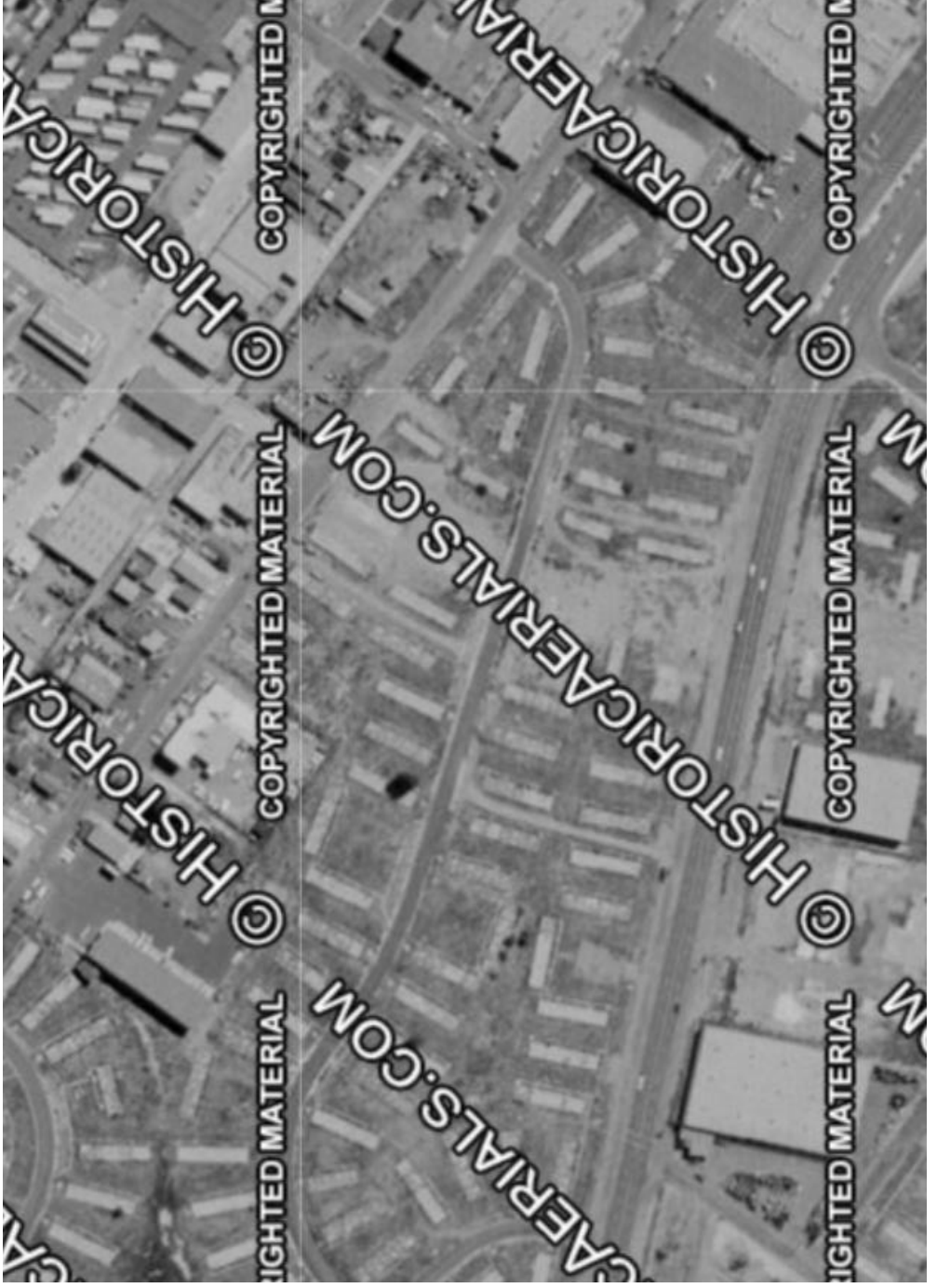
The 3220 Sports Arena Boulevard building is a One-Part Commercial Block structure with Modern Contemporary style elements. Constructed in 1968, it is irregular in shape and is set back from Sports Arena Boulevard to allow for a small, surface parking lot in front. Additional parking areas are located east and northeast of the building.

Of standard wood-frame construction, the 3220 Sports Arena Boulevard building has a flat roof with no eave overhang, and a stucco exterior. Originally, the main (south) elevation featured precast concrete wall panels with scored stucco along approximately one-half of the main (southwest) elevation, as well as divided storefront glass windows and double-glass entry door along the remaining southeast elevation. It was devoid of both ornamentation and front façade signage area. Sometime before 2007, however, the building was modified and altered to include the introduction of a thick cornice along the south elevation roofline; new stucco and scoring along the southwest elevation; and the construction of a projecting, central storefront area with rough concrete block pilasters, recessed entry with glass panes and transoms, and upper storefront area with vertical wood veneer to allow for signage. Today, no signage exists, and overall, the building appears to be in good condition.

Historical Photograph #1
1953
Courtesy of historicaerials.com



Historical Photograph #2
1964
Courtesy of historicaerials.com



**Historical Photograph #3
1966**

Courtesy of EDR



**Historical Photograph #4
1970**

Courtesy of EDR



Historical Photograph #5

1978

Courtesy of historicaerials.com



Historical Photograph #6

1979

Courtesy of EDR

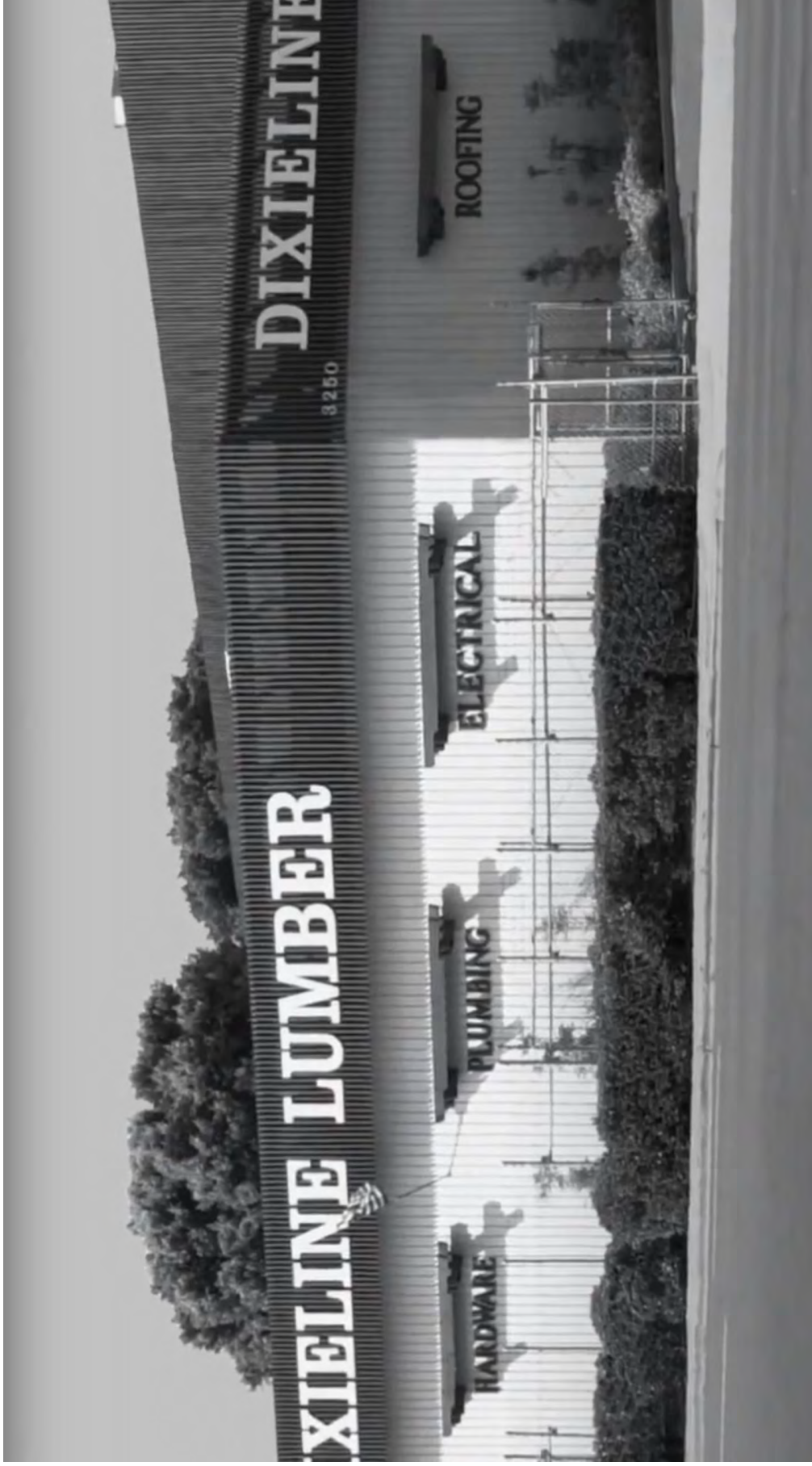


Historical Photograph #7

3250 Sports Arena Boulevard

Original Dixieline Lumber Service/Retail Sales Building (c.1967)

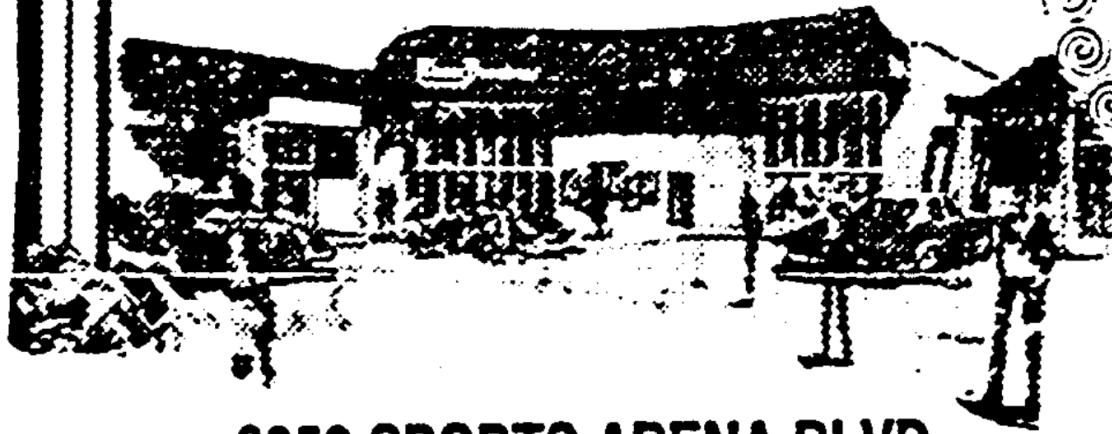
Photograph Courtesy Of Dixieline Lumber & Home Centers 100th Anniversary—San Diego History



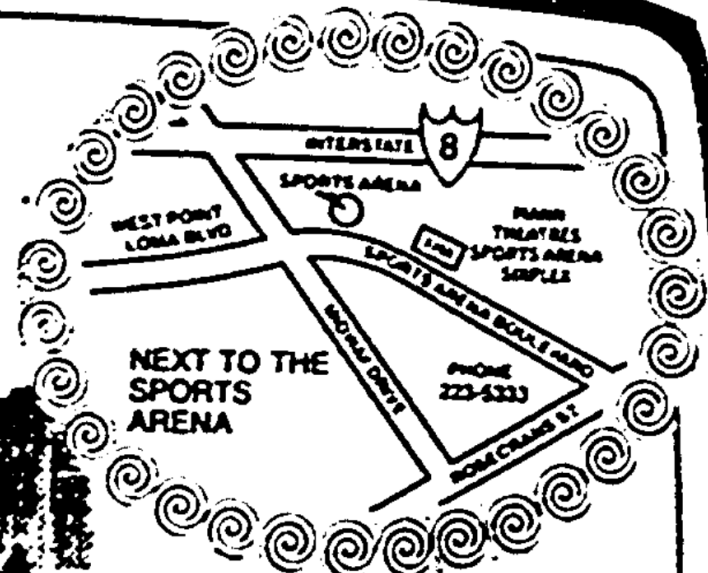
Historical Photograph #8
3350 Sports Arena Boulevard
San Diego Union
August 25, 1978

Man Features!
STAR WARS
CLOSE ENCOUNTERS
CHEAP DETECTIVE

NEW!
**SPORTS ARENA
SIXPLEX THEATRE**
6 SCREENS!



3350 SPORTS ARENA BLVD.
223-5333



**BARGAIN MATINEE
TODAY TO 6 P.M.**

**LOCATED SOUTH
OF THE
SAN DIEGO
SPORTS ARENA**

3220 Sports Arena Boulevard

3220 Sports Arena Boulevard

Photograph #1

South Elevation; View Facing North



Photograph #2

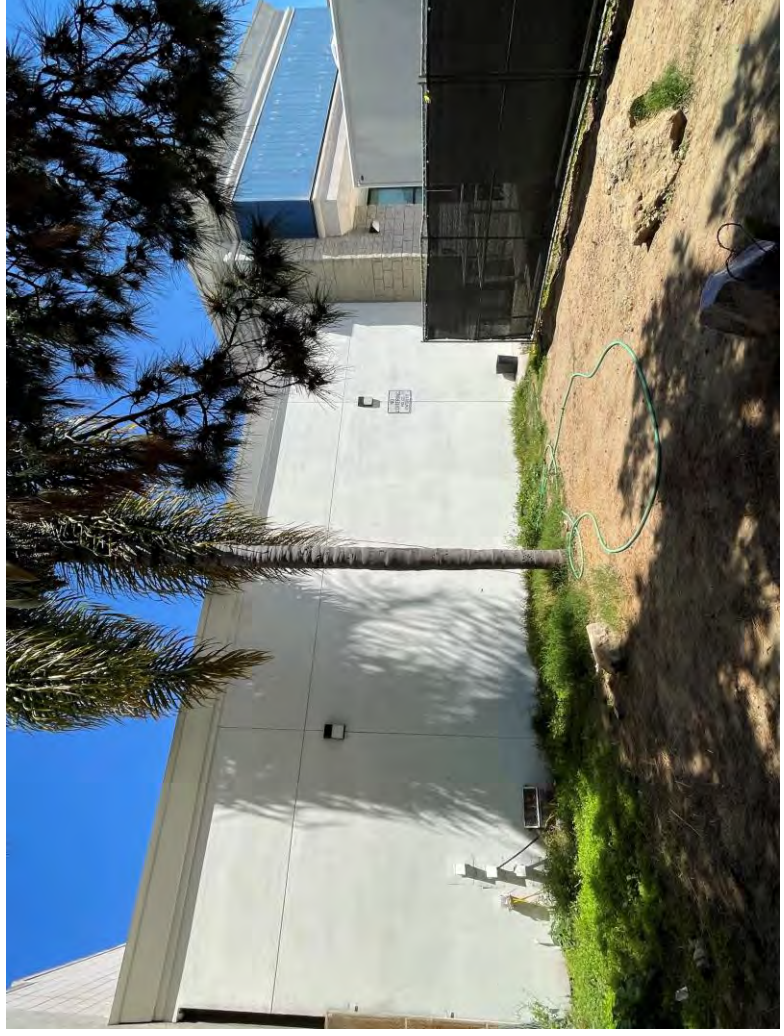
South Elevation; View Facing West



3220 Sports Arena Boulevard

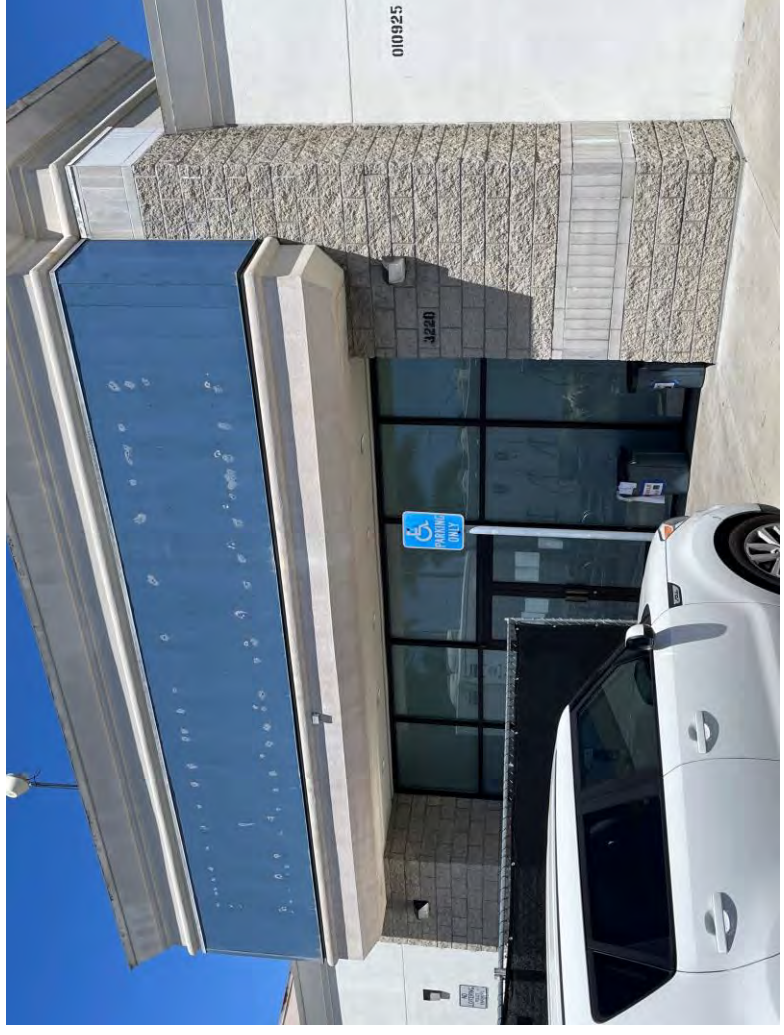
Photograph #3

West Elevation; View Facing North



Photograph #4

South Elevation Detail; View Facing North



3220 Sports Arena Boulevard

Photograph #5

South & East Elevations; View Facing Northwest



Photograph #6

East Elevation; View Facing West



3220 Sports Arena Boulevard

Photograph #7

East Elevation; View Facing West



Photograph #8

East & North Elevations; View Facing Southwest



3220 Sports Arena Boulevard

Photograph #9

North Elevation; View Facing West



3240 Sports Arena Boulevard

3240 Sports Arena Boulevard

Photograph #1

South Elevation; View Facing Northwest



Photograph #2

South Elevation; View Facing North



3240 Sports Arena Boulevard

Photograph #3

South Elevation; View Facing Northeast



Photograph #4

South Elevation; View Facing Northeast



3240 Sports Arena Boulevard

Photograph #5

West & South Elevations; View Facing Northeast



Photograph #6

West Elevation; View Facing Northeast



3240 Sports Arena Boulevard

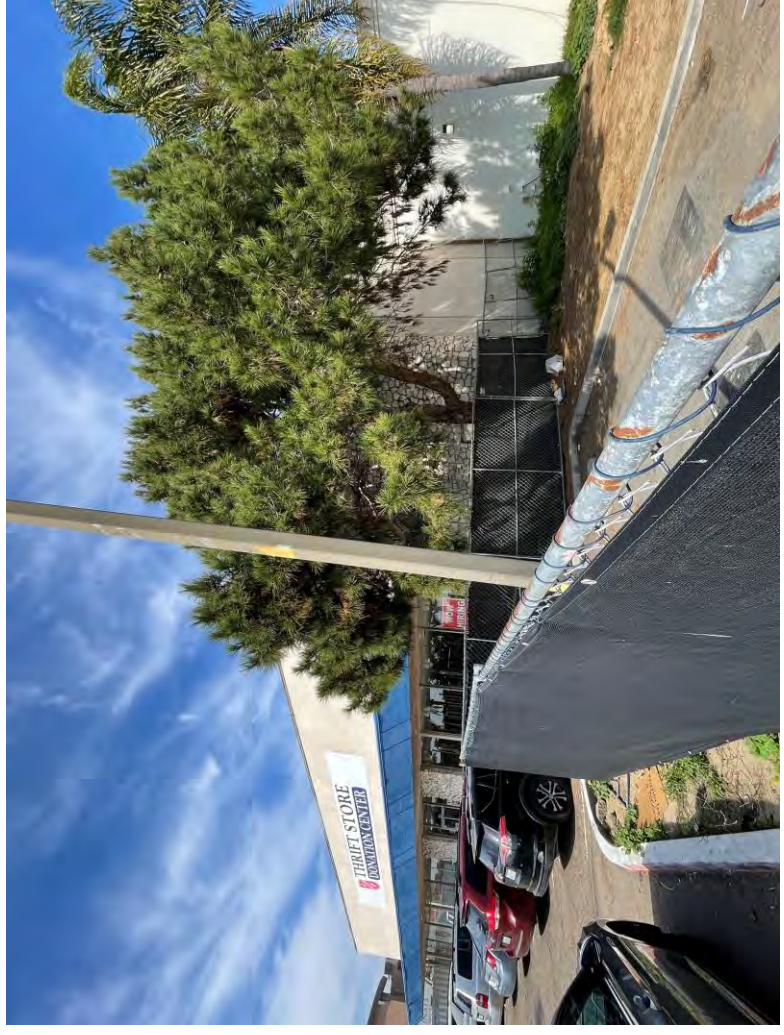
Photograph #7

South & East Elevations; View Facing Northwest



Photograph #8

South & East Elevations; View Facing Northwest



3240 Sports Arena Boulevard

Photograph #9

East Elevation; View Facing Northeast



3250 Sports Arena Boulevard

3250 Sports Arena Boulevard

Photograph #1

Service/Retail Sales Building

South & East Elevations; View Facing Northwest



Photograph #2

Service/Retail Sales Building

East Elevation; View Facing Northwest



3250 Sports Arena Boulevard

Photograph #3

Service/Retail Sales Building

South Elevation; View Facing Northeast



Photograph #4

Service/Retail Sales Building

West & South Elevations; View Facing Northeast



3250 Sports Arena Boulevard

Photograph #5

Service/Retail Sales Building

West Elevation; View Facing Northeast



Photograph #6

Service/Retail Sales Building

North & West Elevations; View Facing South



3250 Sports Arena Boulevard

Photograph #7

Service/Retail Sales Building

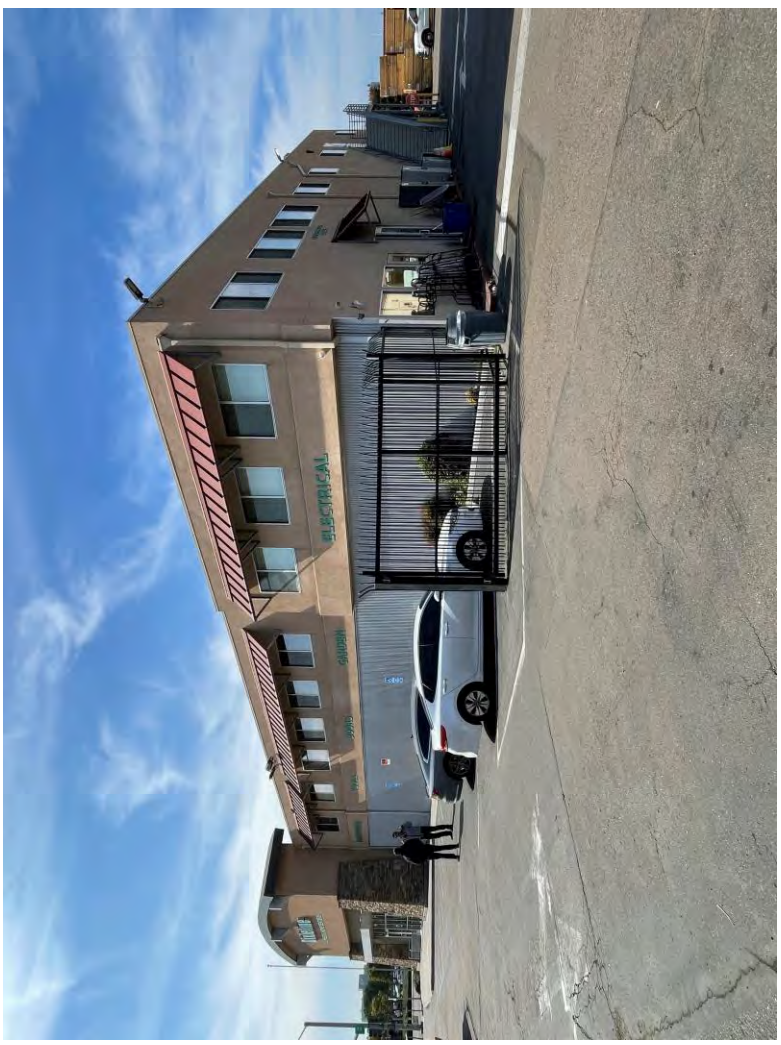
North & West Elevations; View Facing South



Photograph #8

Service/Retail Sales Building

East & North Elevations; View Facing Southwest



3250 Sports Arena Boulevard

Photograph #9

Lumber Storage Shed/Building

South Elevation; View Facing Northeast



Photograph #10

Lumber Storage Shed/Building

South & East Elevations; View Facing North



3250 Sports Arena Boulevard

Photograph #11

Lumber Storage Shed/Building

East Elevation; View Facing Northwest



Photograph #12

Lumber Storage Shed/Building

Northeast Elevation; View Facing Northwest



3250 Sports Arena Boulevard

Photograph #13

Office Building/Lumber Storage Shed
North Elevation; View Facing Southeast



Photograph #14

Lumber Warehouse (Left) & Lumber Storage Shed (Right)
West & South Elevations; View Facing Northeast



3250 Sports Arena Boulevard

Photograph #15

Lumber Warehouse

South Elevation; View Facing Northeast



Photograph #16

Lumber Warehouse

West Elevation; View Facing Southeast

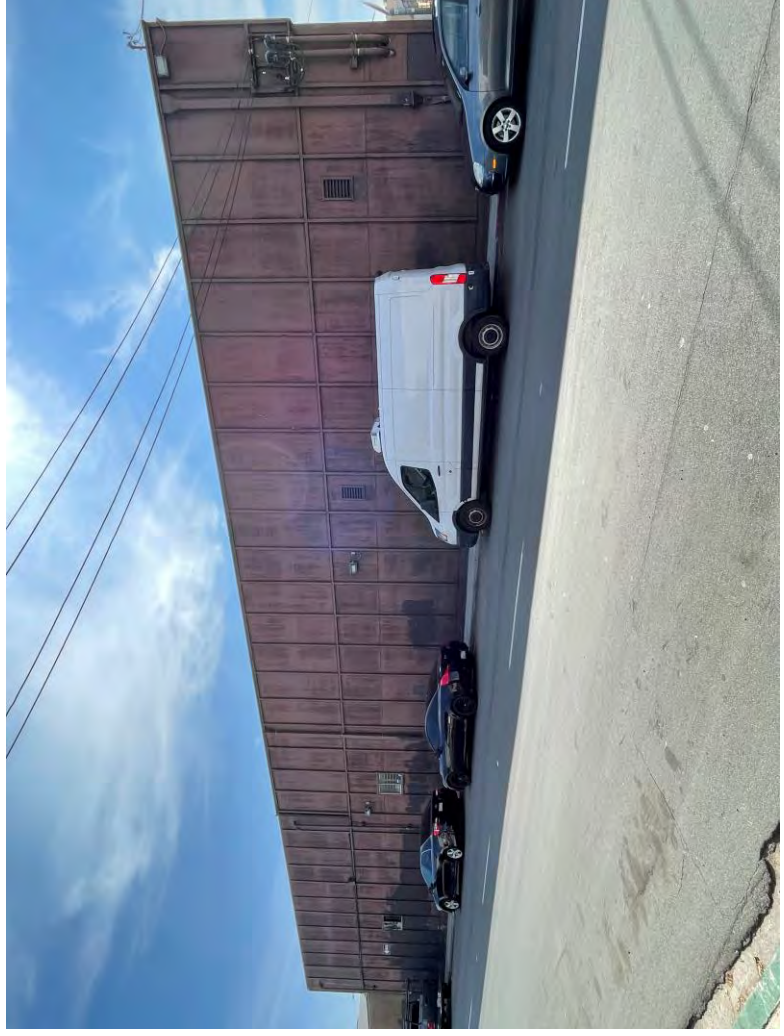


3250 Sports Arena Boulevard

Photograph #17

Lumber Warehouse

North Elevation; View Facing South



Photograph #18

Lumber Warehouse

North Elevation; View Facing Southwest



3350 Sports Arena Boulevard

3350 Sports Arena Boulevard

Photograph #1

South Elevation; View Facing North



Photograph #2

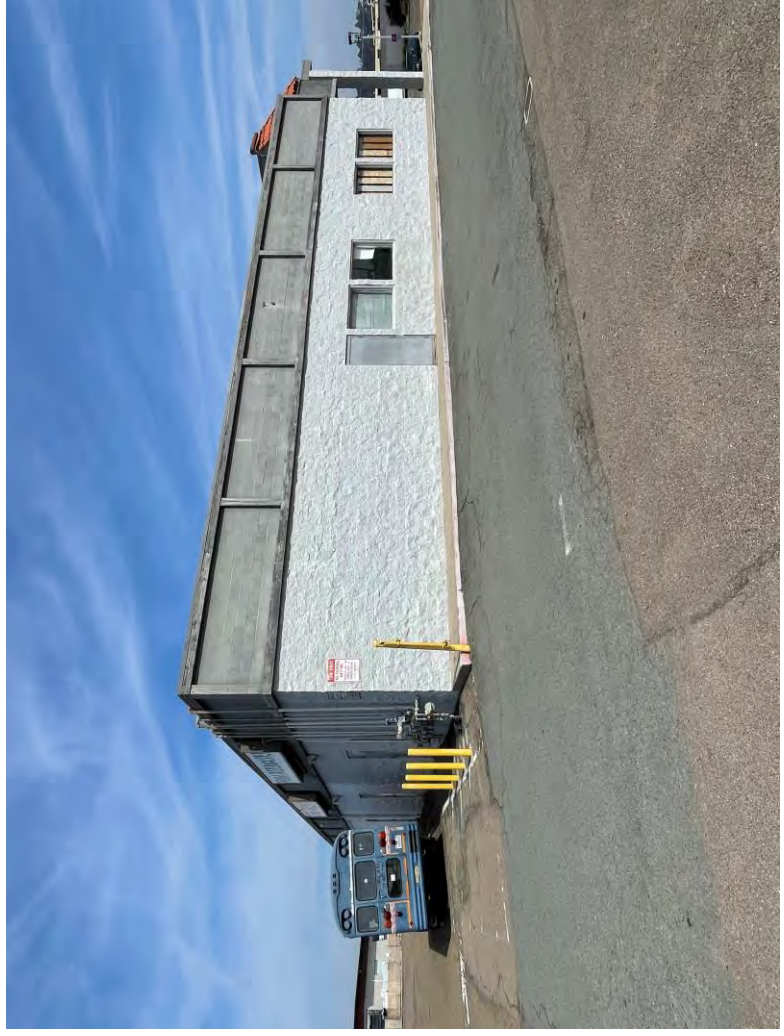
Southwest Elevation; View Facing North



3350 Sports Arena Boulevard

Photograph #3

Southwest Elevation; View Facing North



Photograph #4

Southwest Elevation; View Facing Northeast



3350 Sports Arena Boulevard

Photograph #5

West Elevation; View Facing North



Photograph #6

Northwest Elevation; View Facing Northeast



3350 Sports Arena Boulevard

Photograph #7

West Elevation; View Facing South



Photograph #8

East Elevation; View Facing West



3350 Sports Arena Boulevard

Photograph #9

South/Southeast Elevation; View Facing North



Photograph #10

South/Southeast Elevation; View Facing Northwest



3350 Sports Arena Boulevard

Photograph #11

Southeast Elevation; View Facing Northeast



Photograph #12

Southeast Elevation; View Facing Northwest



3350 Sports Arena Boulevard

Photograph #13

East Elevation; View Facing West



Photograph #14

East/Northeast Elevation; View Facing Southwest



3350 Sports Arena Boulevard

Photograph #15

North Elevation; View Facing South



Photograph #16

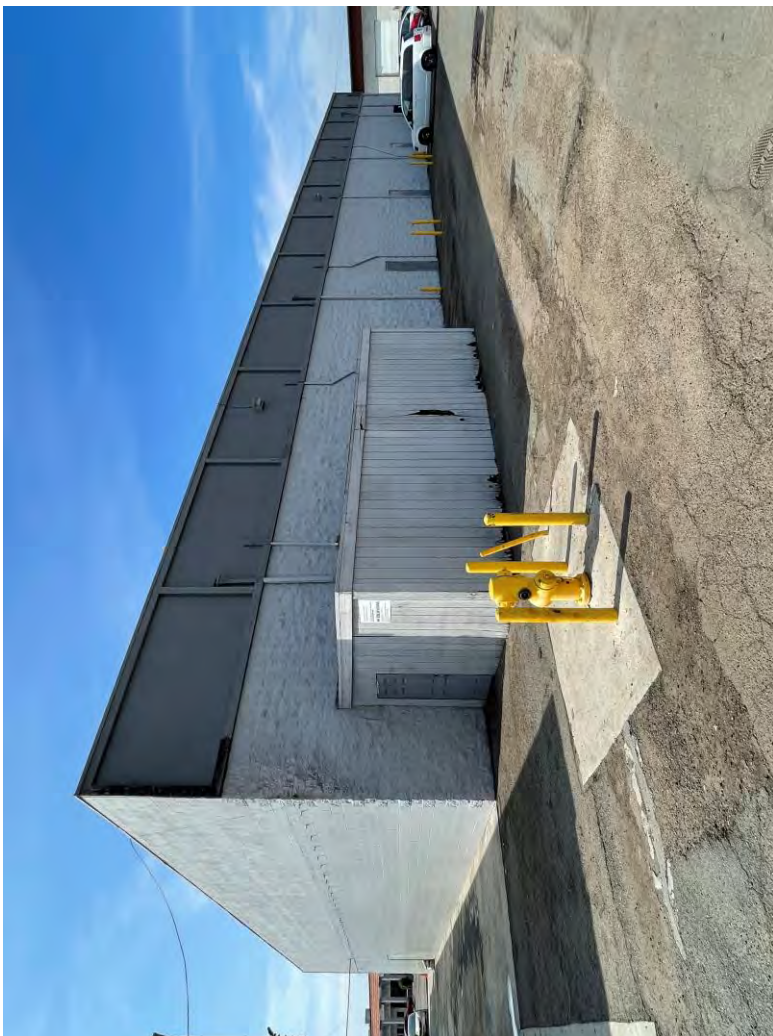
North Elevation; View Facing South



3350 Sports Arena Boulevard

Photograph #17

North Elevation; View Facing Southwest



Photograph #18

North & Northwest Elevation; View Facing South



3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building is a One-Part Commercial Block structure with Modern Contemporary style elements. Constructed in 1969, the building was designed stylistically similar to another commercial structure built in La Mesa in 1966. The 3240 Sports Arena Boulevard building has a parallelogram shape and is set back from Sports Arena Boulevard to allow for a small, surface parking lot in front. The west elevation serves as a warehouse/distribution area. This area is recessed from the main (south) elevation and rectangular in shape. It has a flat roof with small, side parapets, and bay entrance with a shed roof and metal “pull up” style door.

Of standard wood-frame construction, the 3240 Sports Arena Boulevard building has a flat roof with no eave overhang, and a stucco exterior. Along the side (southeast and southwest) elevations, the structure has a decorative stone veneer. The main, front façade has a lower, metal storefront, composed of large, fixed panes of glass, and metal/glass entry doors, flanked by decorative stone veneer. Above the storefront is a wide, horizontal, cantilevered canopy composed of stucco. Between the roofline and canopy exists a horizontal façade reserved for signage of which the building is devoid, save for a printed banner attached to the structure identifying it as “Thrift Store/Donation Center” for the Salvation Army. Overall, the building appears to be in good condition.

3250 Sports Arena Boulevard

The 3250 Sports Arena Boulevard site largely consists of approximately four (4) main structures used in conjunction with a commercial lumber yard. The main building (3250 Sports Arena Boulevard) is located along the southwest elevation, adjacent to the main entry area along Sports Arena Boulevard. This structure serves as a company office and retail sales building. Constructed in 1967, it was originally Modern Contemporary in style one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989.

Of standard wood-frame construction, the 3250 Sports Arena Boulevard building is today one and two-stories, and generally rectangular except for the south elevation which is irregular in configuration. Along the north elevation, the building is two-stories in height with a flat roof, no eave overhang, and stucco exterior. Metal stairs which lead to the second story are located along the north elevation, and shed, metal window visors are located along the northeast elevation. Windows are composed of vinyl sliders. The main entrance to the building is located along the east elevation, underneath a broad, arched roof section with projecting beams, and an exterior composed of stucco with columns sheathed in stone. The entry is composed of metal glass doors under a projecting canopy. A similar arched roof section is located on the south elevation. It may have been used at one time for another entrance to the building, however, the pedestrian access area appears to have been in-filled. Other exterior features on the building include stucco, vertical metal, and stone siding. Overall, the building appears to be in good condition.

Lumber Storage Sheds

The site includes two, one-story, lumber storage sheds. Both sheds were built in 1967, and enclose the site along the west, east, and south perimeters. Of wood-frame construction, the western storage shed is wide and “L”-shaped with a low-pitched (almost flat) roof. It is open along its east side and connects to a small warehouse structure, built in 1971, located at the northwest corner of the site. At the southwest elevation, there is a small office extension built in 1971. Overall, it appears to be in fair condition.

Of wood-frame construction, the eastern storage shed is also wide, irregular in shape, has a low-pitched (almost flat) roof, and is open along its north and east sides. It connects to the lumber warehouse along the northeast corner of the site runs southward, and then jogs westward along the north elevation of the adjacent 3240 Sports Arena Boulevard building. At this location, the shed has a two-story, office building component built in 1989 with a projecting, central square section, wood panel exterior, and corner area with a flat roof and wide eave overhang. Overall, it appears to be in fair condition.

Lumber Mill

The site includes a two-story structure used as a lumber mill. It is located along the north elevation adjacent to Kurtz Street and is attached to the lumber storage shed to the east. Originally built in 1967 as a one-story building, it was subject to a second story addition in 1972. The building is rectangular in shape and the roof is flat with no eave overhang. The exterior is composed of concrete blocks and board and batten siding along the first story, and board and batten on the second story. Large openings exist on both the first and second stories to accommodate the transportation of wood. Overall, it appears to be in fair condition.

3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was designed and built in a Modern Contemporary style in 1978 as a one-story, six-screen movie theatre with attached commercial units. Today, the building no longer serves as a movie theatre. The movie screens, as well as physical elements indicative of its original use, have been removed, and the former movie theatre space largely serves as a live entertainment venue (SOMA). Approximately nine (9) commercial units (spaces) are used as well. Overall, the building appears to be in good condition.

The 3350 Sports Arena Boulevard building is “L”-shaped and divided into two components. The first component consists of two, attached rectangular sections. The first section consists of the former movie theatre space attached to the commercial units. This section is located along the northwest and west elevations. It has a masonry/concrete block exterior, flat roof with no eave overhang and parapets. Some areas along the roofline have wood panels. Along the front (south) elevation, the upper area has a projecting element with a shed roof and red, Mission tile. Below these elements, the south elevation has two separate areas of large, fixed, multi-paned metal windows and glass entry doors. Along

the east elevation, there are storefront units composed of large, fixed metal windows and glass entry doors. These units are recessed underneath a projecting canopy which is supported by a series of masonry columns and projecting wood beams.

The second component of the 3350 Sports Arena Boulevard building is detached and located along the northeast elevation. It is square in shape and has a masonry/concrete block exterior. The roof is flat with no eave overhang and parapets. Some areas along the roofline have wood panels. Along its front (south) elevation, the upper area has a projecting canopy with a shed roof and red, Mission tile. It is supported by a series of masonry columns and projecting wood beams.

Significance Evaluation

Integrity Evaluation

In addition to determining the significance of a property under state and national criteria, it must also possess integrity. The national, state, and local registers recognize seven aspects of integrity—location, design, setting, materials, workmanship, feeling, and association.

Integrity is defined by the National Register of Historic Places as the “ability of a property to convey and maintain its significance.” In order to be listed in the National Register, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. Historic properties either retain integrity (this is, convey their significance) or they do not. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The retention of specific aspects of integrity is paramount for a property to convey its significance. Within the concept of integrity, the National Register criteria recognize seven aspects or qualities that, in various combinations, define integrity. These are location, design, setting, materials, workmanship, feeling, and association.

Integrity is defined by the California Register as the “authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance.” In order to be listed in the California Register, properties must not only be shown to be significant under the California Register criteria but must also retain enough of their historic character, or appearance, to be recognizable as historical resources and convey the reasons for their significance.

Integrity is defined by the HRB *Guidelines for the Application of Historical Resources Board Designation Criteria* as “the authenticity of a historical resource’s physical identity clearly indicated by the retention of characteristics that existed during the resource’s period of significance.” Further, integrity relates “to the presence or absence of historic materials and character defining features” of a resource.

Location

Location is defined by the National Register as “the place where the historic property was constructed or the place where the historic event occurred.” It is defined by the HRB Designation Guidelines as “the place where a resource was constructed or where an event occurred.”

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were constructed in 1968, 1969, 1967, and 1978, respectively. Therefore, the Properties have remained in their original locations throughout their existence.

Design

Design is defined by the National Register as the “combination of elements that create the form, plan, space, structure, and style of a property.” It is defined by the HRB Designation Guidelines as resulting “from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property.”

Over the course of their existence, the 3240 and 3350 Sports Arena Boulevard buildings have not been substantially modified or altered from that of their original designs. Therefore, the structures retain their original design elements for integrity purposes.

The 3220 Sports Arena Boulevard building, as well as the 3250 Sports Arena Boulevard building (including its related ancillary structures), have been substantially modified and altered from that of their original design/construction. These changes have compromised their original form, plan, space, structure, and style such that they no longer retain their original design elements for integrity purposes.

Setting

Setting is defined by the National Register as the physical environment of a historic property. It is defined by the HRB Designation Guidelines as applying “to a physical environment, the character of a resource’s location, and a resource’s relationship to the surrounding area.”

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have been sited at their original locations since they were constructed in 1968, 1969, 1967, and 1978, respectively. Inspection of the surrounding neighborhood today indicates the presence of some original structures, however, many buildings in the immediate area have been removed or remodeled over the years, such that the overall physical environment of the area has been adversely impacted. In addition, the character of the surrounding area has transformed from single-family residential use to light industrial and commercial uses. As a result, the Properties no longer retain their original setting elements for integrity purposes.

Materials

Materials are defined by the National Register as the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. It is defined by the HRB Designation Guidelines as comprising “the physical elements combined or deposited in a particular pattern or configuration to form a property.”

The majority of materials which have gone into the construction of the 3240 and 3350 Sports Arena Boulevard buildings are largely original. As a result, the structures retain their materials elements for integrity purposes.

The 3220 Sports Arena Boulevard building, as well as the 3250 Sports Arena Boulevard building (including its related ancillary structures), have been substantially modified and altered from that of their original design/construction. As a result, the buildings no longer retain their original materials elements for integrity purposes.

Workmanship

Workmanship is defined by the National Register as “the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.” It is defined by the HRB Designation Guidelines as consisting “of the physical evidence of crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular, and high styles.”

As with the materials discussion above, the workmanship which has gone into the construction of the 3240 and 3350 Sports Arena Boulevard buildings is largely original. As a result, the structures retain their workmanship elements for integrity purposes.

The 3240 and 3250 Sports Arena Boulevard buildings (and its related ancillary structures), have been substantially modified and altered from that of their original design/construction. As a result, the buildings no longer retain their original workmanship elements for integrity purposes.

Feeling

Feeling is defined by the National Register as “a property’s expression of the aesthetic or historic sense of a particular period of time.” It is defined by the HRB Designation Guidelines as relying “on present physical features of a property to convey and evoke an aesthetic or historic sense of past time and place.”

In its current condition, the 3240 Sports Arena Boulevard building still imparts an aesthetic sense of late 1960s Modern Contemporary style commercial construction. As a result, the structure retains its feeling elements for integrity purposes.

In their current condition, the 3320, 3250 and 3350 Sports Arena Boulevard buildings no longer impart an aesthetic sense of late 1960s/1970s Modern Contemporary style commercial construction. This is largely due to the modifications and alterations which the 3220 and 3250 Sports Arena Boulevard building (including its related ancillary structures), have sustained over the years. Since the 3350 Sports Arena Boulevard building no longer functions as a movie theatre, and physical features related to its original use no longer exist, the structure does not evoke an aesthetic or historic sense of past time and place. Therefore, these buildings no longer retain their original feeling elements for integrity purposes.

Association

Association is defined by the National Register as “the direct link between an important historic event or person and a historic property.” It is defined by the HRB Designation Guidelines as directly [linking] a historic property with a historic event, activity, or person or past time and place; and requires the presence of physical features to convey the property’s historic character.”

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not directly linked to any important historic events or persons. As a result, the Properties do not possess, nor have they ever possessed, associative elements for integrity purposes.

Application of San Diego Historical Resources Board (HRB) Register Significance Criteria

According to the City of San Diego Land Development Code, *Historical Resources Guidelines* (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), a building, structure, sign, interior element and fixture, feature, site, place, district, area or object may be designated as historic by the City of San Diego Historical Resources Board if it meets any of the following below criteria. Guidelines in applying the criteria for designation exist in the *Guidelines for the Application of Historical Resources Board Designation Criteria* (Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2, and Adopted August 27, 2009).

Criterion A-- If it exemplifies or reflects special elements of a City’s, a community’s or a neighborhood’s historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

“Special Elements of Development”

According to the HRB Designation Guidelines, special elements of development refer to a resource that is distinct among others of its kind or that surpass the usual in significance. It is not enough for a resource to simply reflect an aspect of development, as all buildings, structures, and objects do. For each aspect of development, the resource shall exemplify or reflect a special element of that development which either maintains an established precedent or may in itself be the model for development.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect *special* elements of San Diego's, the Pueblo Lands of San Diego's, Midway's, or Sports Arena Boulevard' historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping, or architectural development. The structures in no way exemplify or reflect "special elements" of City, community, or neighborhood development any more than other existing structures (new or old) along Sports Arena Boulevard or within the Pueblo Lands of San Diego.

Under the *Guidelines for the Application of the Historical Resources Board Designation Criteria*, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not possess special elements of development which are distinct among others of their kind or that surpass the usual in significance. As specified under the *Guidelines*, it is not enough for a resource to simply reflect an aspect of development as all buildings do. Similarly, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not reflect a special element of development any more than other structures which were constructed throughout the Pueblo Lands of San Diego or the Midway community. The Properties do not reflect an element of development which maintains an established precedent, nor were they the model of development in the Pueblo Lands of San Diego or the Midway community.

Historical Development—*In order to be significant for Historical Development, a resource shall exemplify or reflect a special or unique aspect of the City's general historical development; or shall exemplify or reflect a unique aspect of the City's history.*

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect a special or unique aspect of the City's general historical development; or exemplify or reflect a unique aspect of the City's history. The Properties, therefore, are not significant with respect to any form of historical development.

Archaeological Development—*In order to be significant for Archaeological Development, a resource shall be prehistoric or historic in nature but must exemplify archaeological development through subsurface deposits and may include associated surface features.*

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not prehistoric or historic archaeological resources and, therefore, the Properties are not significant with respect to any form of archaeological development.

Cultural Development—*In order to be significant for Cultural Development, a resource shall exemplify or reflect development that is associated with a group of people linked together by shared values, beliefs, and historical associations, or are properties associated with significant achievement in the visual and fine arts, (painting, sculpture, architecture, theater, dance, music) literature, philosophy, religion, science, mathematics, the social studies, or any of the disciplines that are commonly associated with public and private institutions of higher learning and/or academic inquiry.*

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect an association with a group of people linked together by shared values, beliefs, and historical associations, or are associated with significant achievements in the visual and fine arts, literature, philosophy, religion, science, mathematics, the social studies, or any of the disciplines that are commonly associated with public and private institutions of higher learning and/or academic inquiry. The Properties, therefore, are not significant with respect to any form of cultural development.

Social Development—In order to be significant for Social Development, a resource shall exemplify or reflect development that is associated with relations and interactions with others.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with relations and interactions with others. The Properties, therefore, are not significant with respect to any form of social development.

Economic Development—In order to be significant for Economic Development, a resource shall exemplify or reflect development associated with the local, regional, state or national economy or economics, including manufacturing, labor and agriculture, maritime and transportation industries.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with economics or economic industries. The Properties, therefore, are not significant with respect to any form of economic development.

Political Development—In order to be significant for Political Development, a resource shall exemplify or reflect development associated with politics or the political atmosphere, including women's suffrage, neighborhood activism, labor organizations and the Civil Rights Movement associated with ethnic and gay/lesbian issues.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with politics or the political atmosphere/environment. The Properties, therefore, are not significant with respect to any form of political development.

Aesthetic Development—In order to be significant for Aesthetic Development, a resource shall exemplify or reflect development associated with an artistic arrangement in theory or practice.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with artistic arrangement in theory or practice. The Properties, therefore, are not significant with respect to any form of aesthetic development.

Engineering Development—In order to be significant for Engineering Development, a resource shall exemplify or reflect development associated with engineering. Engineering development may include professionally applied standards or design ingenuity within engineering disciplines. Engineering solutions may be applied within individual buildings, structures and objects, or be associated with large scale infrastructure development like ports, railroads, roads and freeways, dams and flood control, electrical transmission and water systems.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated engineering, including professional engineering standards, engineering design ingenuity, or engineering disciplines. The Properties, therefore, are not significant with respect to any form of engineering development.

Landscape Development—In order to be significant for Landscape Development, a resource shall exemplify or reflect development associated with garden and park design, subdivision design, or ecosystem/habitat restoration and may include professionally applied standards or design ingenuity within landscape disciplines.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with garden and park design, subdivision design, ecosystem/habitat restoration, or professional landscaping standards, or design ingenuity within landscape disciplines. The Properties, therefore, are not significant with respect to any form of landscape development.

Architectural Development—In order to be significant for Architectural Development, a resource shall exemplify or reflect development associated with the City's built environment, especially that designed and constructed by non-architects, including real estate developers, contractors, speculators, homeowners and others associated with the building industry.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with the City's built environment, including architecture designed and constructed by non-architects, real estate developers, contractors, speculators, homeowners, and others associated with the building industry. The Properties, therefore, are not significant with respect to any form of architectural development.

Therefore, based upon the above analysis, the Properties do not qualify under any aspect of HRB Criterion A (Community Development).

Criterion B--Is identified with persons or events significant in local, state, or national history.

According to the HRB Designation Guidelines, resources associated with individuals whose specific contributions to history can be identified and documented may qualify under Criterion B for persons significant in history. Persons significant in our past refers to individuals associated with San Diego whose activities, achievements and contributions are demonstrably important within the City, state, or nation.

Eligibility under Criterion B for significant person(s) involves first determining the importance of the individual, second ascertaining the length and nature of the individual's association with the resource under study and comparison to other resources associated with the individual, and third determining if the resource is significant under HRB Criterion B as a resource that is best identified with a person(s) significant in local, state, or national history.

A person would not be considered historically significant simply by virtue of position/title, association, affiliation, race, gender, ethnicity or religion. Criterion B is generally restricted to those properties that are associated with a person's important achievements, rather than those that are associated with their birth or retirement, or that are commemorative in nature. The person must have made demonstrable achievements and contributions to the history of San Diego, the state, or the nation. In addition, the resource must be associated with the person during the period that the person's significant achievements and contributions occurred.

If the resource is not associated with the historical person during the person's significant period, research other resources associated with the person in order to identify those that best represent the person's historic contributions. Determine the status of the associative properties as demolished, extant, or out of the locality and length of time associated with the person. The best representatives are properties associated with the person's productive life. Properties associated with the person's formative or later years may also qualify if it can be demonstrated that the person's activities during this period were historically significant or if no properties from the person's productive years survive elsewhere.

No historical evidence was found which would suggest that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were ever associated with any persons or events significant in local, state, or national history. None of the persons or entities identified with the Properties performed any activities, achievements or contributions which were demonstrably important within the City, state, or nation. Therefore, the Properties do not qualify under HRB Criterion B (Historic Person).

Criterion C--Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials or craftsmanship.

According to the HRB Designation Guidelines, this Criterion applies to resources significant for their physical design or method of construction. To embody the distinctive characteristics of a style, type, period or method of construction refers to the way in which a property was conceived, designed, or fabricated by an individual, a group of people, or

a culture. Distinctive characteristics are those physical features or traits that commonly recur in individual styles, types, periods or methods of construction.

In order to qualify under this Criterion, a resource must embody distinctive characteristics of an architectural style, a type of construction, a recognized construction period, or an identifiable method of construction, as established through accepted bodies of scholarly and professional work. Comparison to other resources of the same style, type, period, or method of construction is not required unless scholarly work has not been done on a particular property type or unless surviving examples of a property type are extremely rare. In these instances where it has not been determined what physical features a property must possess in order for it to reflect the significance of a historic context, comparison with similar properties should be undertaken.

It is important to note that Criterion C states that a resource embody the distinctive characteristics of a style, type, period or method of construction; it does not state that the resource must be a unique or distinguished example of a style, type, period or method of construction. Resources which do not embody the distinctive characteristics of a style, type, period or method of construction as supported by established sources do not qualify.

3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building was originally constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1968. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style and is not considered a valuable example of the use of indigenous materials or craftsmanship. In this regard, the structure does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction.

One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they

can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20th century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18th and 19th centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19th century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall

area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20th century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3220 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Further, the existing wall area along the south elevation to allow for signage, as well as stucco/scoring, cornice, concrete pilasters, entry area, and storefront glass, are not original. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Finally, the building is devoid of integrated, original advertising signage.

For these reasons, the 3220 Sports Arena Boulevard building does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction. In addition, due to the fact that no indigenous materials went into the construction of the building, it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been

examined herein under the City of San Diego, San Diego Modernism Historic Context Statement (“Modernism Context Statement”).

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3220 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3220 Sports Arena Boulevard building possesses no original, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1968, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3220 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3220 Sports Arena Boulevard building contains several large, aluminum storefront windows. However, these windows are not original. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3220 Sports Arena Boulevard building generally features a stucco exterior, concrete block pilasters, and vertical wood siding located above the main entry along the south elevation. However, these elements are not original. Further, no flagstone or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of them.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3220 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3220 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. *Attached garages or carports for homes.*

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3220 Sports Arena Boulevard building.

4. *Split-level design, especially on sloped residential sites.*

The 3220 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. *Horizontally oriented commercial buildings.*

The 3220 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. *Distinctive triangular, parabolic or arched forms.*

The 3220 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3220 Sports Arena Boulevard building is a commercial structure, but it lacks an “eyebrow” overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3220 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

•*“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3220 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•*“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3220 Sports Arena Boulevard building was designed by A.L. Wildey and T. Ota from Newport Beach, California. It is not known whether these individuals were architects and no other examples of their work have been identified. In any event, Wildey and Ota have not been established by the City of San Diego as “master” architects, are not identified in the Modernism Context Statement as a “Contributing Designers Of Modern San Diego” and are not recognized for greatness in the field of architecture. In particular, the 3220 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

•*“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3220 Sports Arena Boulevard building does not possess original integrity and is not associated with a significant architect(s) to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•*“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”*

The 3220 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3220 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building was constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1969. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style and is not considered a valuable example of the use of indigenous materials or craftsmanship. In this regard, the structure does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction.

One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20th century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements

(such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18th and 19th centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19th century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20th century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near

the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3240 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Further, the building is devoid of integrated, advertising signage despite abundant space.

For these reasons, the 3240 Sports Arena Boulevard building does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction. In addition, due to the fact that no indigenous materials went into the construction of the building, it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement (“Modernism Context Statement”).

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3240 Sports Arena Boulevard building under the Modernism Context

Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3240 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1969, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco with a stone veneer accent); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3240 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3240 Sports Arena Boulevard building contains several large, aluminum storefront windows. Therefore, the building possesses this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3240 Sports Arena Boulevard building generally features a stucco exterior with some limited areas of stone veneer. No vertical wood siding, concrete block, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses one of these features--Large aluminum framed windows.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3240 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3240 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3240 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3240 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. *Horizontally oriented commercial buildings.*

The 3240 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. *Distinctive triangular, parabolic or arched forms.*

The 3240 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3240 Sports Arena Boulevard building is a commercial structure, but it lacks an “eyebrow” overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3240 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3240 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3240 Sports Arena Boulevard building was designed by John S.M. Daniels. It is not known whether Daniels was, in fact, an architect, and no other examples of his work have been identified. In any event, Daniels has not been established by the City of San Diego as “master” architect, is not identified in the Modernism Context Statement as a “Contributing Designer Of Modern San Diego” and is not recognized for greatness in the field of architecture. In particular, the 3240 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

•*“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3240 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•*“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”*

The 3240 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3240 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

3250 Sports Arena Boulevard

Historical research indicates that the 3250 Sports Arena Boulevard building was originally constructed as a one and two-story Modern Contemporary style commercial structure in 1967. The building was originally one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, however, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989. These changes compromised the original integrity of the building to the extent that the structure today no longer resembles its original design/construction. An examination of the 3250 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3250 Sports Arena Boulevard building lacks all original general characteristics associated with the Modern Contemporary architectural style. Built in 1967, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965), the structure lacks any and all original elements of the style, including angular massing, an unusual roof form; interior courtyards; sliding glass doors; and a varied use of exterior building materials. Based upon the foregoing, therefore, the structure does not possess the general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3250 Sports Arena Boulevard building does not have an original, strong roof form with deep eave overhangs. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3250 Sports Arena Boulevard building does not have original, large aluminum windows. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3250 Sports Arena Boulevard building does not have original, non-traditional exterior finishes. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3250 Sports Arena Boulevard building does not feature original, angular massing. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3250 Sports Arena Boulevard building does not feature any original sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3250 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3250 Sports Arena Boulevard building does not feature an original split-level design. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure but does not feature an original, horizontal orientation. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3250 Sports Arena Boulevard building does not feature original, distinctive triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. “Eyebrow” overhangs on commercial buildings; and

The 3250 Sports Arena Boulevard building is a commercial structure, but it lacks original, “eyebrow” overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure, but it does not feature original, integrated and stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of these features.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3250 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3250 Sports Arena Boulevard building was designed by the architectural firm of Weber & Edwards. This firm was composed of architects James Weber and Robert Edwards. Neither Weber or Edwards have been established by the City of San Diego as “master” architects, are not identified in the Modernism Context Statement as “Contributing Designers Of Modern San Diego,” and are not recognized for greatness in the field of architecture. In particular, the 3250 Sports Arena Boulevard building does not display any “notable” physical characteristics, original or otherwise, which would warrant recognition.

• *“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3250 Sports Arena Boulevard building does not possess original integrity and is not associated with significant architects to warrant designation as a “notable” architectural example. Further, it lacks all character-defining features of the Modern Contemporary architectural style.

• *“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”*

The 3250 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3250 Sports Arena Boulevard building does not possess original General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was constructed in 1978 in a Modern Contemporary architectural style. In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

An examination of the 3350 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3350 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1978, well after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of masonry/concrete block with some wood panels); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3350 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3350 Sports Arena Boulevard building contains several large storefront windows. However, they appear to be metal and not aluminum. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3350 Sports Arena Boulevard building features a masonry/concrete block exterior with some wood panels. No vertical wood siding, stucco, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3350 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3350 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3350 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3350 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3350 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. “Eyebrow” overhangs on commercial buildings; and

The 3350 Sports Arena Boulevard building is a commercial structure, but it lacks “eyebrow” overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3350 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3350 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3350 Sports Arena Boulevard building was designed by architect Roy Johnson of La Mesa, California. Aside from the 3350 Sports Arena Boulevard building, no other examples of Johnson’s work have been identified. In any event, Johnson has not been established by the City of San Diego as “master” architect, is not identified in the Modernism Context Statement as a “Contributing Designer Of Modern San Diego” and is not recognized for greatness in the field of architecture. In particular, the 3350 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

• *“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3350 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect(s) to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•*“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”*

The 3350 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3350 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

Criterion D--Is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman.

According to the HRB Designation Guidelines, a “Master” is defined as “a figure of generally recognized greatness in a field.” A property is not eligible under Criterion D simply because it was designed by a prominent architect, builder, etc., but rather must be the work of a master. Additionally, not all examples of a Master’s work are eligible. Criterion D requires the resource to be representative of the notable work of the Master.

The identities of the individuals or entities responsible for the original design/construction and/or the additions made to the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings include A.L. Wildey, T. Ota, John S.M. Daniels, Melhorn Construction Company, Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, Don Coorot, Roy Johnson, Don Koll Company, Inc., McKee Construction Company, Dixieline Lumber Company, and G.L. Friehe Construction Company. None of these individuals or firms have been established as “masters,” and the Properties does not possess any physical elements or characteristics which can be considered “notable.” As a result, the Properties do not qualify under HRB Criterion D (Work of a Master).

Criterion E--Is listed on or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not listed on either the National Register or California Register of Historical Resources. The buildings have not been determined to be eligible for listing on either register by the National Park Service or the State Historic Preservation Office. The Properties do not qualify under HRB Criterion E (National or California Register Eligible).

Criterion F--Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

No historic district exists for the Midway community. In addition, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have never been deemed to be contributors to any proposed historic district(s). The structures are not a finite group of resources related together in a clearly distinguishable way, nor are they related together in a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value, nor do they represent one or more architectural periods or styles in the history and development of San Diego. The Properties do not qualify under HRB Criterion F (Historic District).

Application of National Register Criteria

When evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation—A, B, C, or D. The National Register Criteria describes how properties are significant for their association with important events or persons, for their importance in design or construction, or for their information potential. In addition, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. The seven aspects of integrity include: location, design, setting, materials, workmanship, feeling, and association.

Criterion A: Event

To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself, to qualify under Criterion A: the property's specific association must be considered important as well.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion A: Event at either the local, state, or national levels. Historical

research failed to identify any important events associated with the buildings over the course of their existence.

Criterion B: Person

Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons “significant in our past” refers to individuals whose activities are demonstrably important within a local, State, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person’s important achievements. The persons associated with a property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion B are usually those associated with a person’s productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual’s significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion C.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion B: Person at either the local, state, or national levels. No historical evidence was found which would suggest that the Properties were ever associated with any persons or events significant in local, state, or national history. None of the persons or entities identified with the Properties performed any activities, achievements or contributions which were demonstrably important within the City, state, or nation.

Criterion C: Design/Construction

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. The property must express a particular phase in the development of the master’s career, an aspect of his or her work, or a particular theme in his or her craft.

Embodying The Distinctive Characteristics Of A Type, Period & Method Of Construction

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion C: Design/Construction at either the local, state, or national levels.

3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building was originally constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1968. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20th century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window

wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18th and 19th centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19th century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20th century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3220 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Further, the existing wall area along the south elevation to allow for signage, as well as stucco/scoring, cornice, concrete pilasters, entry area, and storefront glass, are not original. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Finally, the building is devoid of integrated, original advertising signage.

For these reasons, the 3220 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement (“Modernism Context Statement”).

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3220 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3220 Sports Arena Boulevard building possesses no original, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1968, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3220 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3220 Sports Arena Boulevard building contains several large, aluminum storefront windows. However, these windows are not original. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3220 Sports Arena Boulevard building generally features a stucco exterior, concrete block pilasters, and vertical wood siding located above the main entry along the south elevation. However, these elements are not original. Further, no flagstone or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of them.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3220 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3220 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3220 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3220 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. *Distinctive triangular, parabolic or arched forms.*

The 3220 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3220 Sports Arena Boulevard building is a commercial structure, but it lacks an “eyebrow” overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3220 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3220 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3220 Sports Arena Boulevard building was designed by A.L. Wildey and T. Ota from Newport Beach, California. It is not known whether these individuals were architects and no other examples of their work have been identified. In any event, Wildey and Ota have not been established by the City of San Diego as “master” architects, are not identified in the Modernism Context Statement as a “Contributing Designers Of Modern San Diego” and are not recognized for greatness in the field of

architecture. In particular, the 3220 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

•“*Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.*”

The 3220 Sports Arena Boulevard building does not possess original integrity and is not associated with a significant architect(s) to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•“*The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.*”

The 3220 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3220 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building was constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1969. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20th century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18th and 19th centuries. Rather than appearing somewhat like a small house or

service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19th century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20th century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3240 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of

large, picturesque elements. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Further, the building is devoid of integrated, advertising signage despite abundant space.

For these reasons, the 3240 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement (“Modernism Context Statement”).

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3240 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3240 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1969, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior

courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco with a stone veneer accent); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3240 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3240 Sports Arena Boulevard building contains several large, aluminum storefront windows. Therefore, the building possesses this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3240 Sports Arena Boulevard building generally features a stucco exterior with some limited areas of stone veneer. No vertical wood siding, concrete block, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses one of these features--Large aluminum framed windows.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3240 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3240 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3240 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3240 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3240 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3240 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

- *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3240 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

- *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3240 Sports Arena Boulevard building was designed by John S.M. Daniels. It is not known whether Daniels was, in fact, an architect, and no other examples of his work have been identified. In any event, Daniels has not been established by the City of San Diego as “master” architect, is not identified in the Modernism Context Statement as a “Contributing Designer Of Modern San Diego” and is not recognized for greatness in the field of architecture. In particular, the 3240 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

- *“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3240 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

- *“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior*

space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”

The 3240 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3240 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

3250 Sports Arena Boulevard

Historical research indicates that the 3250 Sports Arena Boulevard building was originally constructed as a one and two-story Modern Contemporary style commercial structure in 1967. The building was originally one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, however, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989. These changes compromised the original integrity of the building to the extent that the structure today no longer resembles its original design/construction. An examination of the 3250 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their

properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3250 Sports Arena Boulevard building lacks all original general characteristics associated with the Modern Contemporary architectural style. Built in 1967, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965), the structure lacks any and all original elements of the style, including angular massing, an unusual roof form; interior courtyards; sliding glass doors; and a varied use of exterior building materials. Based upon the foregoing, therefore, the structure does not possess the general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3250 Sports Arena Boulevard building does not have an original, strong roof form with deep eave overhangs. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3250 Sports Arena Boulevard building does not have original, large aluminum windows. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3250 Sports Arena Boulevard building does not have original, non-traditional exterior finishes. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3250 Sports Arena Boulevard building does not feature original, angular massing. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3250 Sports Arena Boulevard building does not feature any original sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3250 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3250 Sports Arena Boulevard building does not feature an original split-level design. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure but does not feature an original, horizontal orientation. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3250 Sports Arena Boulevard building does not feature original, distinctive triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. “Eyebrow” overhangs on commercial buildings; and

The 3250 Sports Arena Boulevard building is a commercial structure, but it lacks original, “eyebrow” overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3250 Sports Arena Boulevard building is a commercial structure, but it does not feature original, integrated and stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of these features.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3250 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3250 Sports Arena Boulevard building was designed by the architectural firm of Weber & Edwards. This firm was composed of architects James Weber and Robert Edwards. Neither Weber or Edwards have been established by the City of San Diego as “master” architects, are not identified in the Modernism Context Statement as “Contributing Designers Of Modern San Diego,” and are not recognized for greatness in the field of architecture. In particular, the 3250 Sports Arena Boulevard building does not display any “notable” physical characteristics, original or otherwise, which would warrant recognition.

• *“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3250 Sports Arena Boulevard building does not possess original integrity and is not associated with significant architects to warrant designation as a “notable” architectural example. Further, it lacks all character-defining features of the Modern Contemporary architectural style.

•*“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”*

The 3250 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3250 Sports Arena Boulevard building does not possess original General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was constructed in 1978 in a Modern Contemporary architectural style. In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

An examination of the 3350 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3350 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1978, well after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of masonry/concrete block with some wood panels); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3350 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3350 Sports Arena Boulevard building contains several large storefront windows. However, they appear to be metal and not aluminum. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3350 Sports Arena Boulevard building features a masonry/concrete block exterior with some wood panels. No vertical wood siding, stucco, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3350 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3350 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3350 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3350 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3350 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3350 Sports Arena Boulevard building is a commercial structure, but it lacks “eyebrow” overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3350 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3350 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3350 Sports Arena Boulevard building was designed by architect Roy Johnson of La Mesa, California. Aside from the 3350 Sports Arena Boulevard building, no other examples of Johnson’s work have been identified. In any event, Johnson has not been established by the City of San Diego as “master” architect, is not identified in the Modernism Context Statement as a “Contributing Designer Of Modern San Diego” and is not recognized for greatness in the field of architecture. In particular, the 3350 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

•“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”

The 3350 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect(s) to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”

The 3350 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3350 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

Representing The Work Of A Master

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion C: Design/Construction at either the local, state, or national levels on the basis of their architects, designers, or builders. The identities of the individuals or entities responsible for the original design/construction and/or the additions made to the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings include A.L. Wildey, T. Ota, John S.M. Daniels, Melhorn Construction Company, Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, Don Coorot, Roy Johnson, Don Koll Company, Inc., McKee Construction Company, Dixieline Lumber Company, and G.L. Friehe Construction Company. None of these individuals or firms have been established as “masters,” and the Properties does not possess any physical elements or characteristics which can be considered “notable.”

Possessing High Artistic Values

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion C: Design/Construction as structures which possess high artistic values. The buildings do not articulate a particular concept of design to the extent that an aesthetic ideal is expressed.

Criterion D: Information Potential

Properties may be eligible under Criterion D if they have yielded, or may be likely to yield, information important in prehistory or history.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion D: Information Potential as the Properties have not yielded, and are not likely not to yield, information important in terms of history or prehistory.

Application of California Register Criteria

The California Register of Historical Resources was consciously designed on the model of the National Register. While the eligibility criteria of the two programs are extremely similar, there are differences between them. When evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation—1, 2, 3, or 4. The Criteria describes how properties are significant for their association with important events or persons, for their importance in design or construction, or for their information potential. In addition, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. Historical resources eligible for listing in the California Register must meet one of the significance criteria described above and retain enough of their historic character or appearance to be recognizable as historical resources and convey the reasons for their significance.

Criterion 1: Event

To be considered for listing under Criterion 1, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself, to qualify under Criterion 1: a property's specific association must be considered important as well.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 1: Event at either the local, state, or national levels. Historical research failed to identify any important events associated with the buildings over the course of their existence.

Criterion 2: Person

To be considered for listing under Criterion 2, a property must be associated with the lives of persons important in our past. This Criterion applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons “significant in our past” refers to individuals whose activities are demonstrably important within a local, State, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person’s important achievements. The persons associated with a property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion 2 are usually those associated with a person’s productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual’s significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion 3.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 2: Person at either the local, state, or national levels. No historical evidence was found which would suggest that the Properties were ever associated with any persons or events significant in local, state, or national history. None of the persons or entities identified with the Properties performed any activities, achievements or contributions which were demonstrably important within the City, state, or nation.

Criterion 3: Design/Construction

Properties may be eligible under Criterion 3 if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. A property must express a particular phase in the development of the master’s career, an aspect of his or her work, or a particular theme in his or her craft.

Embodying The Distinctive Characteristics Of A Type, Period & Method Of Construction

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 3: Design/Construction at either the local, state, or national levels.

3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building was originally constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1968. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20th century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window

wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18th and 19th centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19th century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20th century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3220 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Further, the existing wall area along the south elevation to allow for signage, as well as stucco/scoring, cornice, concrete pilasters, entry area, and storefront glass, are not original. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Finally, the building is devoid of integrated, original advertising signage.

For these reasons, the 3220 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement (“Modernism Context Statement”).

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3220 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3220 Sports Arena Boulevard building possesses no original, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1968, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3220 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3220 Sports Arena Boulevard building contains several large, aluminum storefront windows. However, these windows are not original. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3220 Sports Arena Boulevard building generally features a stucco exterior, concrete block pilasters, and vertical wood siding located above the main entry along the south elevation. However, these elements are not original. Further, no flagstone or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of them.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3220 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3220 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3220 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3220 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. *Distinctive triangular, parabolic or arched forms.*

The 3220 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3220 Sports Arena Boulevard building is a commercial structure, but it lacks an “eyebrow” overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3220 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

•*“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3220 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•*“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3220 Sports Arena Boulevard building was designed by A.L. Wildey and T. Ota from Newport Beach, California. It is not known whether these individuals were architects and no other examples of their work have been identified. In any event, Wildey and Ota have not been established by the City of San Diego as “master” architects, are not identified in the Modernism Context Statement as a “Contributing Designers Of Modern San Diego” and are not recognized for greatness in the field of

architecture. In particular, the 3220 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

•“*Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.*”

The 3220 Sports Arena Boulevard building does not possess original integrity and is not associated with a significant architect(s) to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•“*The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.*”

The 3220 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3220 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building was constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1969. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20th century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18th and 19th centuries. Rather than appearing somewhat like a small house or

service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19th century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20th century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3240 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of

large, picturesque elements. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Further, the building is devoid of integrated, advertising signage despite abundant space.

For these reasons, the 3240 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement (“Modernism Context Statement”).

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3240 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3240 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1969, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior

courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco with a stone veneer accent); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3240 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3240 Sports Arena Boulevard building contains several large, aluminum storefront windows. Therefore, the building possesses this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3240 Sports Arena Boulevard building generally features a stucco exterior with some limited areas of stone veneer. No vertical wood siding, concrete block, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses one of these features--Large aluminum framed windows.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3240 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. *Sunshades, screens or shadow block accents.*

The 3240 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. *Attached garages or carports for homes.*

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3240 Sports Arena Boulevard building.

4. *Split-level design, especially on sloped residential sites.*

The 3240 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. *Horizontally oriented commercial buildings.*

The 3240 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. *Distinctive triangular, parabolic or arched forms.*

The 3240 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3240 Sports Arena Boulevard building is a commercial structure, but it lacks an “eyebrow” overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3240 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

- *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3240 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

- *“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”*

Historical research indicates that the 3240 Sports Arena Boulevard building was designed by John S.M. Daniels. It is not known whether Daniels was, in fact, an architect, and no other examples of his work have been identified. In any event, Daniels has not been established by the City of San Diego as “master” architect, is not identified in the Modernism Context Statement as a “Contributing Designer Of Modern San Diego” and is not recognized for greatness in the field of architecture. In particular, the 3240 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

- *“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”*

The 3240 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

- *“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior*

space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”

The 3240 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3240 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

3250 Sports Arena Boulevard

Historical research indicates that the 3250 Sports Arena Boulevard building was originally constructed as a one and two-story Modern Contemporary style commercial structure in 1967. The building was originally one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, however, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989. These changes compromised the original integrity of the building to the extent that the structure today no longer resembles its original design/construction. An examination of the 3250 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their

properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3250 Sports Arena Boulevard building lacks all original general characteristics associated with the Modern Contemporary architectural style. Built in 1967, after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965), the structure lacks any and all original elements of the style, including angular massing, an unusual roof form; interior courtyards; sliding glass doors; and a varied use of exterior building materials. Based upon the foregoing, therefore, the structure does not possess the general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3250 Sports Arena Boulevard building does not have an original, strong roof form with deep eave overhangs. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3250 Sports Arena Boulevard building does not have original, large aluminum windows. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3250 Sports Arena Boulevard building does not have original, non-traditional exterior finishes. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3250 Sports Arena Boulevard building does not feature original, angular massing. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3250 Sports Arena Boulevard building does not feature any original sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3250 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3250 Sports Arena Boulevard building does not feature an original split-level design. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure but does not feature an original, horizontal orientation. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3250 Sports Arena Boulevard building does not feature original, distinctive triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. “Eyebrow” overhangs on commercial buildings; and

The 3250 Sports Arena Boulevard building is a commercial structure, but it lacks original, “eyebrow” overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3250 Sports Arena Boulevard building is a commercial structure, but it does not feature original, integrated and stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of these features.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

•“*While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.*”

The 3250 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•“*...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.*”

Historical research indicates that the 3250 Sports Arena Boulevard building was designed by the architectural firm of Weber & Edwards. This firm was composed of architects James Weber and Robert Edwards. Neither Weber or Edwards have been established by the City of San Diego as “master” architects, are not identified in the Modernism Context Statement as “Contributing Designers Of Modern San Diego,” and are not recognized for greatness in the field of architecture. In particular, the 3250 Sports Arena Boulevard building does not display any “notable” physical characteristics, original or otherwise, which would warrant recognition.

•“*Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis*

demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”

The 3250 Sports Arena Boulevard building does not possess original integrity and is not associated with significant architects to warrant designation as a “notable” architectural example. Further, it lacks all character-defining features of the Modern Contemporary architectural style.

•“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”

The 3250 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3250 Sports Arena Boulevard building does not possess original General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was constructed in 1978 in a Modern Contemporary architectural style. In October 2007, the City of San Diego developed and implemented the Modernism Context Statement.” The stated purpose of the Modernism Context Statement is to “assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970” and was created to better understand “Modern era resources and the types of resources that are significant to the history and development of San Diego.” The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

An examination of the 3350 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3350 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1978, well after the generally recognized “period of significance” for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of masonry/concrete block with some wood panels); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) “Primary” Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3350 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be “strong.” Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3350 Sports Arena Boulevard building contains several large storefront windows. However, they appear to be metal and not aluminum. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3350 Sports Arena Boulevard building features a masonry/concrete block exterior with some wood panels. No vertical wood siding, stucco, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) “Secondary” Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Angular massing.

The 3350 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3350 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3350 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3350 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. *Horizontally oriented commercial buildings.*

The 3350 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. *Distinctive triangular, parabolic or arched forms.*

The 3350 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. *“Eyebrow” overhangs on commercial buildings; and*

The 3350 Sports Arena Boulevard building is a commercial structure, but it lacks “eyebrow” overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. *Integrated, stylized signage on commercial buildings.*

The 3350 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• *“While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially.”*

The 3350 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•“...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect.”

Historical research indicates that the 3350 Sports Arena Boulevard building was designed by architect Roy Johnson of La Mesa, California. Aside from the 3350 Sports Arena Boulevard building, no other examples of Johnson’s work have been identified. In any event, Johnson has not been established by the City of San Diego as a “master” architect, is not identified in the Modernism Context Statement as a “Contributing Designer Of Modern San Diego” and is not recognized for greatness in the field of architecture. In particular, the 3350 Sports Arena Boulevard building does not display any “notable” physical characteristics which would warrant recognition.

•“Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples.”

The 3350 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect(s) to warrant designation as a “notable” architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•“The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as “eyebrow” overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource.”

The 3350 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3350 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

Work of an Important, Creative Individual

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 3: Design/Construction as structures which represent the works of important, creative individuals. The identities of the individuals or entities responsible for the original design/construction and/or the additions made to the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings include A.L. Wildey, T. Ota, John S.M. Daniels, Melhorn Construction Company, Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, Don Coorot, Roy Johnson, Don Koll Company, Inc., McKee Construction Company, Dixieline Lumber Company, and G.L. Frieh Construction Company. None of these individuals or firms have been established as “masters,” and the Properties does not possess any physical elements or characteristics which can be considered “notable.”

Possessing High Artistic Values

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 3: Design/Construction as structures which possess high artistic values. The buildings do not articulate a particular concept of design to the extent that an aesthetic ideal is expressed.

Criterion 4: Information Potential

A property may be eligible under Criterion 4 if they have yielded, or may be likely to yield, information important in prehistory or history.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 4: Information Potential as the Properties have not yielded, and are not likely to yield, information important in terms of history or prehistory.

Findings and Conclusions

Impacts Discussion

The present study has determined that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not historically and/or architecturally significant under local, state, and national significance criteria. Since the Properties have been determined to be ineligible for the local, state, and national registers, and are therefore not significant, the Midway Rising Project will not impact historical resources.

Application of City of San Diego CEQA Significance Criteria

According to the City of San Diego Land Development Code, *Historical Resources Guidelines* (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), the determination of potential significance for historic buildings, structures, and objects, and

landscapes is based on age, location, context, association with an important person or event, uniqueness, and integrity.

Age

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were constructed between 1967-1978. As such, they are approximately 46-57 years of age.

Location

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have remained in their current locations since their original construction.

Context

The physical environment surrounding the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings has been substantially changed to the extent that their original context has also been altered.

Association–Event

Historical research failed to reveal any historically important event(s) at the local, state, or national levels ever having been associated with the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings.

Association–Person

Historical research failed to reveal any historically important persons at the local, state, or national levels ever having been associated with the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings.

Uniqueness–Architecture

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were designed in the Modern Contemporary architectural style. This style is not considered unique.

Uniqueness–Use

The Properties were designed and constructed as commercial structures. This type of use is not unique.

Structural Integrity

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings appear to be structurally sound and possess a sufficient degree of structural integrity.

Application of CEQA

Public Resources Code

CEQA Public Resources Code §21084.1 provides that any project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. Public Resources Code Section §5020.1(q) defines “substantial adverse change” as demolition, destruction, relocation, or alteration such that the significance of the historical resource would be impaired. According to Public Resources Code Section §5024.1, an historical resource is a resource that is listed in, or determined to be eligible for listing in, the California Register of Historical Resources. A resource may be listed as an historical resource in the California Register if it meets any of the following National Register of Historic Places criteria: 1) is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage; 2) is associated with the lives of persons important in our past; 3) embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or 4) has yielded, or may likely yield information important in prehistory or history. In addition, an historical resource is a resource that is listed in, or determined to be eligible for listing in the California Register of Historical Resources; a resource that is included in a local register of historical resources; or is identified as significant in an historical resource survey if that survey meets specified criteria.

a) Event Association:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under event association as resources which are associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage. Historical research indicates that the buildings were never associated with any event or events that have made a significant contribution to California’s history and cultural heritage.

b) Individual Association:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under individual association as resources which are associated with the lives of persons important in our past. Historical research indicates that the buildings were never associated with any individual or individuals, or any entity or entities, which are important in local, state, or national history.

c) Design/Construction:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not embody the distinctive characteristics of a type, period, or method of construction; do not represent the work of an important creative individual; and do not possess high artistic values.

d) Information Potential:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under information potential as resources which have yielded, or may likely yield, information important in prehistory or history.

As structures which are not historically or architecturally significant, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not eligible for listing in the California Register of Historical Resources, the California Historic Resources Inventory, the National Register of Historic Places, or the San Diego Historical Resources Board Register.

CEQA Guidelines

According to CEQA Guidelines §15064.5(a)(3), a lead agency can find a resource historic if the resource has been determined to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided that the determination is supported by substantial evidence in light of the whole record.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have been determined not to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. The buildings, therefore, do not qualify as historical resources under CEQA Guidelines §15064.5(a)(3).

The present study has determined that the Properties are not historically and/or architecturally significant under local, state, and national significance criteria. Therefore, the Midway Rising Project which proposes to remove the structures and construct a mixed-use redevelopment of the project site for recreation, entertainment, residential, and commercial uses, will not cause a substantial adverse change in the significance of a historical resource, or historical resources, or have a significant effect on the environment.

Mitigation Measures

Since the Midway Rising Project which proposes the removal of the Properties and new redevelopment on site, will not cause a substantial adverse change in the significance of a historical resource, or historical resources, no mitigation is required.

Conclusion

The Properties are defined as 3220 Sports Arena Boulevard (Assessor's Parcel Number 760-102-04-00; a portion of Pueblo Lot 337); 3240 Sports Arena Boulevard (Assessor's Parcel Number 760-102-05-00; portions of Pueblo Lots 313, 314, 332, and 338); 3250 Sports Arena Boulevard (760-102-01-00; portions of Pueblo Lots 313, 319, 337, and 338); and 3350 Sports Arena Boulevard (760-102-32-00; portions of Pueblo Lots 313 and 338). They are owned by the City of San Diego (a Public Agency).

The Properties largely consist of one and two-story, One-Part Commercial Block and/or Modern Contemporary style commercial buildings constructed between 1967-1978. Historical research indicates that the Properties are not historically and/or architecturally significant. None of the buildings are associated with any important events or individuals; do not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block and/or Modern Contemporary construction; do not represent the notable works of “master” architects and/or important, creative individuals; or possess high artistic values. Consequently, the Properties are not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, the California Historic Resources Inventory, or the San Diego Historical Resources Board Register.

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APPENDIX A
BUILDING DEVELOPMENT INFORMATION

SAN DIEGO COUNTY ASSESSOR'S BUILDING RECORDS

NOT AVAILABLE

*Note County Building Records Are Not Available Since Properties Are
Owned By Public Agency (City Of San Diego)*

NOTICES OF COMPLETION

3220 SPORTS ARENA BOULEVARD—NOT RECORDED/NOT AVAILABLE
3240 SPORTS ARENA BOULEVARD--NOT RECORDED/NOT AVAILABLE
3250 SPORTS ARENA BOULEVARD—RECORDED ON NOVEMBER 6, 1967
3350 SPORTS ARENA BOULEVARD—RECORDED ON NOVEMBER 16, 1978,
NOVEMBER 24, 1982 & SEPTEMBER 24, 2002

856

RECORDING REQUESTED BY
Dixieline Lumber Co.

FILE/PAGE NO 173540
RECORDED REQUEST OF
G. F. [Signature]

NOV 6 10 59 AM '67

SERIES 8 BOOK 1967
OFFICIAL RECORDS
SAN DIEGO COUNTY, CALIF.
A. S. GRAY, RECORDER
\$2.00

WHEN RECORDED MAIL TO
Dixieline Lumber Co.
3250 Frontier St.
San Diego, California

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NOTICE OF COMPLETION

NOTICE IS HEREBY GIVEN THAT:

- The undersigned is OWNER of the interest or estate stated below in the property hereinafter described.
- The FULL NAME of the undersigned is Dixieline Lumber Co.
- The FULL ADDRESS of the undersigned is 3250 Frontier Dr., San Diego, Calif.
- The NATURE OF THE INTEREST or ESTATE of the undersigned is: in fee leasee
(If other than fee, strike "in fee" and insert, for example, "purchaser under contract of purchase," or "lessee.")
- The FULL NAMES and FULL ADDRESSES of ALL PERSONS, if any, WHO HOLD SUCH INTEREST or ESTATE with the undersigned as JOINT TENANTS or as TENANTS IN COMMON are:

NAMES	ADDRESSES
_____	_____
- The full names and full addresses of the predecessors in interest of the undersigned if the property was transferred subsequent to the commencement of the work of improvement herein referred to:

NAMES	ADDRESSES
_____	_____
- A work of improvement on the property hereinafter described was COMPLETED Nov. 6, 1967
- The NAME OF THE ORIGINAL CONTRACTOR, if any, for such work of improvement is McKee Construction Co.
- (If no contractor, insert "none.")
The street address of said property is 3250 Frontier Dr., San Diego
- The property on which said work of improvement was completed is in the City of San Diego
County of San Diego, State of California, and is described as follows:

Port. of Pueblo, Lots 313, 314, 337

Date: _____
STATE OF CALIFORNIA
COUNTY OF _____ ss.

Signature of owner named in paragraph 2
[Signature]
Dixieline Lumber Co., Inc.

The above subscribed, being duly sworn, says: That W. S. Cowling, Jr. he is the owner of the aforesaid interest or estate in the property described in the foregoing notice; that he has read the same and knows the contents thereof, and that the facts stated therein are true.

SUBSCRIBED AND SWORN TO before me
on _____
(Seal) _____
Notary Public in and for said county and state.

Verification for PARTNERSHIP owner:
STATE OF CALIFORNIA
COUNTY OF _____ ss.

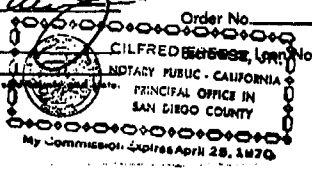
Verification for CORPORATE owner:
STATE OF CALIFORNIA
COUNTY OF San Diego ss.
W. S. Cowling, Jr.
being duly sworn, says:
That he is the President
of Dixieline Lumber Co.

being duly sworn, says:
That he is one of the partners of _____ the partnership that executed the foregoing notice as owner of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said partnership; that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

that executed the foregoing notice as owner of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said corporation; that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

SUBSCRIBED AND SWORN TO before me
on _____
(Seal) _____
Notary Public in and for said county

SUBSCRIBED AND SWORN TO before me
on Nov. 6, 1967
(Seal) Gilfred Prosser, Jr.



No 173540

RECORDING REQUESTED BY **1107**

FILE/PAGE NO. **78-497384**
 RECORD REQUEST OF
 National American Title Ins. Co.
 Nov 16 3 25 PM '78
 OFFICIAL RECORDS
 RECORDER
 SAN DIEGO COUNTY, CALIF.

AND WHEN RECORDED MAIL TO
 NAME **DOUBLE M DEVELOPMENT**
 ADDRESS **1164 PHYLLIS LANE**
 CITY & STATE **AUBURN, CALIF 95603**

Title Order No. **14371-A** Escrow No. _____

SPACE ABOVE THIS LINE FOR RECORDER'S USE

\$4.00

Notice of Completion

Individual

Before using this form, refer to recommended procedure stated on reverse side of this form

NOTICE IS HEREBY GIVEN THAT:

- The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- The full name of the undersigned is **DOUBLE M DEVELOPMENT CORPORATION**
- The full address of the undersigned is **1164 PHYLLIS LANE - AUBURN, CALIFORNIA 95603**
- The nature of the title of the undersigned is: In fee
 (If other than fee, strike "In fee" and insert, for example, "purchaser under contract of purchase," or "lessee".)
- The full names and full addresses of all persons, if any, who hold title with the undersigned as joint tenants or as tenants in common are:

NAMES	ADDRESSES
- A work of improvement on the property hereinafter described was completed on **NOVEMBER 15, 1978**
- The name of the original contractor, if any, for such work of improvement was **DOUBLE M DEVELOPMENT CORPORATION**
 (If no contractor for work of improvement as a whole, insert "none".)
- The full name(s) and address(es) of the transferor(s) of the undersigned is (are):

NAME(S)	ADDRESS(ES)
- The property on which said work of improvement was completed is in the city of **SAN DIEGO**
 county of **SAN DIEGO** state of California, and is described as follows:
SEE ATTACHED EXHIBIT "A"
- The street address of said property is **3350 SPORTS ARENA BOULEVARD - SAN DIEGO, CALIF.**
 (If no street address has been officially assigned, insert "none".)

Dated _____ Signature of owner named in paragraph 2: **DOUBLE M DEVELOPMENT CORPORATION**
By: [Signature]

Verification for individual owners
 STATE OF CALIFORNIA }
 County of **San Diego** } SS.

The undersigned, being duly sworn, says: That he is the owner of the above-described interest or estate in the property described in the foregoing notice; that he has read the same, and knows the contents thereof, and that the facts stated therein are true.

Signature of owner named in paragraph 2:
DOUBLE M DEVELOPMENT CORPORATION
[Signature]
 President

SUBSCRIBED AND SWORN TO before me on
November 15, 1978
[Signature]
 Name (Typed or Printed)
 Notary Public in and for said State
Kristin Bays

FOR NOTARY SEAL OR STAMP

No. **497384**

Order No. 843098-M
Escrow No. 012
Loan No.

82-363909
RECORDED IN
OFFICIAL RECORDS
OF SAN DIEGO COUNTY, CA.
1982 NOV 24 PM 1:31
VERA L LYLE
COUNTY RECORDER

RF 3
MG /

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NOTICE OF COMPLETION

NOTICE IS HEREBY GIVEN THAT:

- The undersigned is OWNER of the interest ~~as stated~~ stated below in the property hereinafter described.
- The FULL NAME of the undersigned is Sumac Development, Inc.
- The FULL ADDRESS of the undersigned is 1138 D Street, Ramona, CA 92065
- The NATURE OF THE INTEREST ~~is as stated below~~ is Building contractor for tenant improvements
(If other than fee, strike "in fee" and insert, for example, "purchaser under contract of purchase," or "lease.")
- The FULL NAMES and FULL ADDRESSES of ALL PERSONS, if any, WHO HOLD SUCH INTEREST or ESTATE with the undersigned as JOINT TENANTS or as TENANTS IN COMMON are:

_____	_____
NAMES	ADDRESSES
NONE	
- The full names and full addresses of the predecessors in interest of the undersigned if the property was transferred subsequent to the commencement of the work of improvement herein referred to:

_____	_____
NAMES	ADDRESSES
NONE	
- A work of improvement on the property hereinafter described was COMPLETED November 15, 1982
- The NAME OF THE ORIGINAL CONTRACTOR, if any, for such work of improvement is Sumac Development, Inc.
(If no contractor, insert "none.")
- The street address of said property is 3350 Sports Area Blvd., San Diego, CA
- The property on which said work of improvement was completed is in the City of San Diego
County of San Diego, State of California, and is described as follows:

MAP 36, BOOK 760, PAGE 102, PARCEL 32, SUITE "H", SAN DIEGO COUNTY RECORDER

This document is filed for public record by First American Title Company as an escrowation service only. Said Company assumes no responsibility for or liability as to the validity of said document nor for the amount thereof upon title to the property herein described.

Date: 11-17-82

Verification for INDIVIDUAL owner:
STATE OF CALIFORNIA
COUNTY OF } ss.
San Diego

Signature of owner named in paragraph 2
[Signature]
FOR
Sumac Development, Inc.

The undersigned, being first duly sworn, states that he is the owner of the aforesaid interest or estate in the property described in the above notice; that he has read the same, knows and understands the contents thereof, and that the facts stated therein are true.

Signature of owner named in paragraph 2
[Signature]
FOR
Sumac Development, Inc.

Verification for PARTNERSHIP owner:
STATE OF CALIFORNIA
COUNTY OF } ss.
DNA

SUBSCRIBED AND SWORN TO before me
on November 17, 1982
Signature [Signature]
Notary Public in and for said state.

being duly sworn, says:
That he is one of the partners of _____

Verification for CORPORATE owner:
STATE OF CALIFORNIA
COUNTY OF } ss.
DNA

the foregoing notice as owner of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said partnership; that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

being duly sworn, says:
That he is the _____
of _____

Signature of partner _____

that executed the foregoing notice as owners of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said corporation; that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

SUBSCRIBED AND SWORN TO before me

Signature of officer _____
SUBSCRIBED AND SWORN TO before me

Signature _____
Notary Public in and for said state

Signature _____
Notary Public in and for said state.



No. 363909

(This area for official notarial seal) Form 1054



DOC # 2002-0818542

SEP 24, 2002 1:54 PM

RECORDING REQUESTED BY AND WHEN RECORDED, RETURN TO:

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 14.00

13967

SOMA Productions
c/o Law Offices of Jon K. Ladd, APC
11440 West Bernardo Court, Suite 214
San Diego, CA 92127-1643

18
38
COM

NOTICE OF COMPLETION

NOTICE pursuant to California Civil Code §3093, must be filed within ten (10) days after completion.

NOTICE IS HEREBY GIVEN that:

1. The undersigned is owner of the interest or estate stated below in the property hereinafter described.
2. The full name of the owner is: Len A. Paul, an individual d/b/a SOMA productions.
3. The full address of the owner is: 3350 Sports Arena Boulevard, Suite I, Can Diego, CA.
4. The nature of the interest or estate of owner is: leasehold.
5. The names and addresses of all persons, if any, who hold title to the property as joint tenants or as tenants in common are:

Arena Group 2000
c/o URC Management
3525 Del Mar Heights Road, #294
San Diego, CA 92130

The City of San Diego
City Manager
Attn: Real Estate Assets Director
City Administration Building
202 "C" Street, M.S. 9B
San Diego, CA 92101-4155

6. A work of improvement on the property hereinafter described was completed on September 18, 2002. The work that was done was the construction of various tenant improvements including structural and non-structural work.

13968

7. The name of the contractor for such work of improvement was: C & S Doctor, Inc., a California corporation d/b/a C & SD Construction. The date of contract was August 13, 2002.

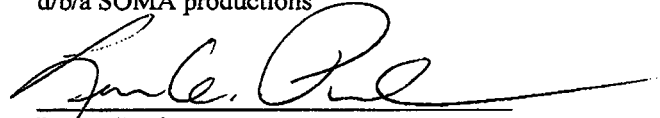
8. The property in which said work of improvement was completed is located in the City of San Diego, County of San Diego, State of California and is described as follows: 3350 Sports Arena Boulevard, Suite I, Can Diego, CA..

9. The street address of said property is: 3350 Sports Arena Boulevard, Suite I, San Diego, CA.

DATED: September 19, 2002

“Owner”

Len A Paul, an individual
d/b/a SOMA productions



Len A. Paul

13969

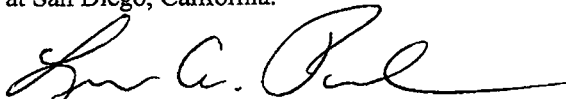
VERIFICATION

I, the undersigned, say:

I am the person that executed the foregoing notice; I have read said notice and know the contents thereof; the same is true of my own knowledge.

I declare under penalty of perjury under the laws of the state of California that the foregoing is true and correct.

Executed this 19th day of September, 2002, at San Diego, California.



Len A. Paul

WATER & SEWER CONNECTION RECORDS

WATER CONNECTION RECORDS NOT AVAILABLE FOR
3220, 3250 & 3350 SPORTS ARENA BOULEVARD

SEWER CONNECTION RECORDS NOT AVAILABLE FOR
3220 & 3250 SPORTS ARENA BOULEVARD

151-163

UTILITIES DEPARTMENT WATER/SEWER SERVICE ORDER

NEW SERVICE RESET OWNER TENANT

1-WHITE-WTR FLD-MFR-PERM.
2-YELLOW-WTR FLD-M.SH-D.P-M.SH
3-GREEN-CHOLLAS WTR TICKLER
4-PINK-CHOLLAS SWR TICKLER

DISTRIBUTION

5-GOLD-SWR FLD-MFR-N.S.
6-BLUE-SWR FLD-MFR-PERM
7-GREEN-N.S.-WTR & SWR TICKLER

SER. NO.
75381

ACCT NO	ACCOUNT NUMBER 2-11	DIST. NO.	SERVICE ADDRESS 14-34 (NO. DIR., NAME, SEC.)	ZONE	CUSTOMER NAME 21-41 (22)	BILL SECT
1,0		12-14	03240 Sports Arena Bl	10	Schulman, Victor	03
SEC. 1	SEC. 2	SEC. 3	SEC. 4	SEC. 5	SEC. 6	SEC. 7

MAILING ADDRESS 23-55 (25)	CITY 25-72 (13)	STATE	ZIP CODE 19-75	PERMIT NO.	PLAN FILE NO.	NO. WARNING
4275 El Cajon Bl	SD	Ca	92105	E64278	18256-D	ELCO, U. G. CALL 298-0595

NAME OVERFLOW 12-35 (25)	ADDRESS OVERFLOW 37-51 (25)	ITEM NO.	REF READ 22-45	FROM 14-32/MR/5V	FROM 14-32/MR/5V	CAGE
						3
DATE WANTED	LOT	BLK.	SUBDIVISION	PLAT NO.	DATE ISSUED	ISSUED BY
			Por PL 313-314-332 & 338	214-1704	8-7-69	MP

AREA CHARGE	WM CONNECTION CHARGE	WATER FEE	AREA CHARGE	SEWER FEE	DATE PAID
\$	# 17715 \$ 863.50	\$ 385.00	\$	\$ 265.00	8-5-69

LAT SIZE	TYPE CONNECTION	WORK ORDER	TYPE CONNECTION	WORK ORDER
1"	1"	7131106	4" Street to MANH Manhole	
METER OR P.C. LOCATION			CONTRACTOR	
60' EWLL on Sports Arena N (letter)			Melhorn Const Co 296-0121	

SPECIAL INSTRUCTIONS:	SPECIAL INSTRUCTIONS:
Couple Run on Water	
WATER	SEWER

SERVICE ENTERS PROPERTY	LATERAL TAPS MAIN
60 FT. E OF W L/L on Sports	FT. FROM
ADDITIONAL SPACE	LATERAL ENTERS PROPERTY
Arcade Blvd N	FT. FROM

METER	LATERAL	CLEANOUT LOCATION
SIZE 03	SIZE 95" X 12"	I O
MANE 3	STYLE 5	SEWER DEPTH
150 PSI	12"	CAULKING COMP.
DATE INSTALLED	FOREMAN	MAT'L. INSIDE PROP.
9-24-69		SEWER DEPTH
		CAULKING COMP.
		MAT'L. INSIDE PROP.

UTILITIES DEPARTMENT
WATER/SEWER SERVICE ORDER

NEW SERVICE RESET OWNER TENANT

ACCOUNT NUMBER 341: **10** DIST. NO.: **03240** SERVICE ADDRESS: **Sports Arena XXXX BL 10** CUSTOMER NAME: **Trend Furniture** PLAN FILE NO.: **MD-TBL U.S.** **01**

SECURITY: **0000** SP. S/F.L.S.: **7503** SOV. INVOICED: **1** C/C DATE TURNED ON: **10/10/69** METER ORDERED: **101010** PERMIT NO.: **12-18-C** **2**

MAILING ADDRESS: **38-25 124** CITY: **ELIZABETH** STATE: **ZIP CODE 7019** ITEM NO. SET USED: **101010** 2ND MTR. S.S./M/75V: **3**

NAME OVERFLOW: **12-35 124** ADDRESS OVERFLOW: **37-61 148** SUBDIVISION:

DATE WANTED: **PL 337** LOT: **POR** BLK.: **PL 337** WATER FEE: **\$ 1,228.00** AREA CHARGE: **\$** SEWER FEE: **\$** DATE PAID: **10-6-69** ISSUED BY: **ML**

TYPE CONNECTION: **6" F S 5/8" Det.** METER ORDER: **29019** TYPE CONNECTION: **W** AREA CHARGE: **\$** WATER FEE: **\$** SEWER FEE: **\$**

METER OR P.I.E. LOCATION: **1050' MWL Rosecrans on Sports Arena N** CONTRACTOR: **Schmidt Fire Protection Co.**

SPECIAL INSTRUCTIONS: **WATER P 6344** **SEWER**

Receipt # **24817** (no **XXXX** vault)

SERVICE ENTERS PROPERTY: **W** OF **W** L/L **O.F. ROSECRANS** LATERAL TAPS MAIN: **FROM**

ADDITIONAL SPACE: **NSFO, NS, P, O, R, T, S, A, R, E, N, A, B, L, U, G, N** LATERAL ENTERS PROPERTY: **FROM**

METER: **3** STYLE: **2** SIZE: **1** RING: **4"** CLEANOUT LOCATION: **1/0**

MAIN DEPTH: **12"** OTHER: **1** FOREMAN: **Quinto**

DATE INSTALLED: **11-17-69** DATE INSPECTED: DATE INSTALLING: FOREMAN:

SEWER DEPTH: **1/0** CAULKING COMP.: **CEM.** MAT'L. INSIDE PROP.: **SOIL PIPE** OTHER: **OTHER**

James
76741
 5 SEP 1969

DISTRIBUTION:
 5-GOLD-SWR PLD-MTR-N.S.
 6-BLUE-SWR PLD-MTR-PERM
 7-GREEN-N.S.-WTR & SWR TICKLER

1-WHITE-WTR FLD-MTR-PERM
 2-YELLOW-WTR FLD-MTR-PERM
 3-GREEN-CHOLLA-SWTR TICKLER
 4-PINK-CHOLLA-SWTR TICKLER

CALL 298-0596

SEWER SERVICE ORDER

NEW SERVICE RESET OWNER TENANT

1-WHITE-WTR FLD-MIR-N.S.
 2-YELLOW-WTR FLD-MIR-N.S.
 3-GREEN-CHOLLAS WTR TICKLER
 4-PINK-CHOLLAS SWR TICKLER

DISTRIBUTION

5-GOLD-SWR FLD-MIR-N.S.
 6-BLUE-SWR FLD-MIR-PERM
 7-GREEN-N.S.-WTR & SWR TICKLER

BLDG 1

SER. NO.

32540

WC 1-4 10	ACCOUNT NUMBER 1-41	DIST. NO. 12-14	SERVICE ADDRESS 1-4-4 INCL. DIR., NAME, ST. NO.	ZONE 10-10	CUSTOMER NAME 1-4-1 (2-1)	MILL. NO. OF 1-4-4
			03350 Sports Arena Bl 10		Equity Investments	05

ST. CO. 1-4-4	MH. CO. 1-4-4	SER. CO. 1-4-4	DEPT. CO. 1-4-4	ST. NO. 1-4-4	ADD. INVD. CO. 1-4-4	ST. NO. 1-4-4	DATE TURNED ON 1-4-4	MH. NO. 1-4-4	ST. NO. 1-4-4	REC'D. 1-4-4	SPOUSE'S NAME 1-4-4 (1-4-4)	INS. NO. 1-4-4	PLAN FILE NO. 1-4-4	NO. TEL. U.S. 1-4-4
													88243D	

MAILING ADDRESS 1-4-4 (2-1)	CITY 1-4-4 (1-4)	STATE 1-4-4	ZIP CODE 1-4-4	PERMIT NO. 1-4-4
3110 Hancock St	SD	CA	92110	L33306

NAME OVERFLOW 1-4-4 (2-1)	ADDRESS OVERFLOW 1-4-4 (2-1)	ITEM NO. 1-4-4	SET READ 1-4-4	MONTHLY 1-4-4	MONTHLY 1-4-4	C/C 1-4-4
						3

DATE WANTED	LOT	BLK.	SUBDIVISION	PLAT NO. 1-4-4	DATE ISSUED	ISSUED BY
			Por Pueblo Lots 313 & 338	D-18-C 214-1704	3/30/77	SH/in

AREA CHARGE	WM CONNECTION CHARGE	WATER FEE	AREA CHARGE	SEWER FEE	DATE PAID
#42501 \$3400.00 #	\$	\$1095.00	#42502 \$3731.85 #	\$250.00	3/24/77

LAT. SIZE	TYPE CONNECTION	WORK ORDER	TYPE CONNECTION	WORK ORDER
2"	2"	624754	6" MH cut-in	29013

METER OR P.O. LOCATION	CONTRACTOR
30' W of E PL (on Kurtz St)	Owner 298-2994 11 L.U.

SPECIAL INSTRUCTIONS:	SPECIAL INSTRUCTIONS:
Enc. permit # P-16587	SUBJ TO FIELD INSP PRICE PER ART ROBINSON

SERVICE ENTERS PROPERTY	LATERAL TAPS MAIN
3.1 FT. N OF S L/L ON KURTZ	FT. FROM

ADDITIONAL SPACE	LATERAL ENTERS PROPERTY
S.T.	FT. FROM

METER	LATERAL	CLEANOUT LOCATION
SIZE 05 MAKE 7 STYLE 5	SIZE 2" TIME Pastic	10

PRESSURE	MAIN S2	C.I.	A.C.	OTHER	MAIN DEPTH	SEWER DEPTH	CAULKING COMP.	MAT'L.	INSIDE PROP.
140 PSI	12"		✓		4 1/2'				

DATE INSTALLED	FOREMAN	DATE INSPECTED	DATE INSTALLED	FOREMAN
11-10-77	R. LANDIN			

CONSTRUCTION/BUILDING PERMITS

3220 SPORTS ARENA BOULEVARD

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS: **3220 Sports Arena Blvd**
 COORD. INDEX: **214-1704** PLAN FILE NO.: **13539-D** PERMIT NO.: **E19057**

OWNER

NAME (OR NAME OF BUSINESS): **PIER 1 IMPORTS.**
 MAILING ADDRESS (NUMBER): **9201 So. SEPULVEDA**
 CITY: **L.A. 90045** TELEPHONE NUMBER: **776-4267**

USE ZONE: **M-1** SETBACK: **-** LOT AREA: **-**
 CENSUS TRACT: **11-67** FRONT YARD: **-**
 B.C. CODE: **018** SIDE YD. (INT.): **-** TOTAL AREA COVERED: **9850** SQ. FT.
 VARIANCE NO.: **-** SIDE YD. (STR.): **-** LOT SPLIT OR RECON. DATE: **1/26/64**

DESIGNER

NAME: **A.L. WILCOY & T. OTA.**
 ADDRESS (NUMBER): **1598 MONROVIA AVE**
 CITY: **NEWPORT BEACH CALIF.** TELEPHONE NUMBER: **-**

CURB TO P.L.: **5** STREET IMPROV'D: YES NO ENCR. PERMIT: YES NO
 MINER SIZE: **18" x 24"** SERV. SIZE: **14"** CLEARANCE: **-** CHECKED BY: **[Signature]**

BUILDER

NAME: **DON KOLL COMPANY INC.**
 ADDRESS (NUMBER): **1598 MONROVIA AVE**
 CITY: **NEWPORT BEACH CALIF.** TELEPHONE NUMBER: **-**

REMARKS: **Long Run - see attached receipt**
 NO. ADDITIONAL CONNECTIONS REQ'D: **4** TYPE COND.: **4** CHECKED BY: **[Signature]**

JOB LOCATION

STATE LICENSE NUMBER: **221764** CLASS NO.: **B-1** CITY LICENSE NUMBER: **41568**
 LOT: **1** BLOCK: **1** SUBDIVISION: **(see plans)** UNIT: **1**
 JOB ADDRESS: **3220 Sports Arena Blvd**
 CONDITION OF SOIL: **ORIGINAL** COMPACTED FILL LOOSE FILL
 NO. OF EXISTING BUILDINGS ON LOT AND USE: **1**

REMARKS	VALUATION OF WORK	NO. UNITS	RATE PER UNIT	TOTAL
			88.000 -	88000 -
PLAN CHECK FEE			78.75	
SUPPLEMENTAL PLAN CHK. FEE				
BUILDING PERMIT FEE			197.50	197.50
SUB-TOTAL			754.25	197.50
SEWER PERMIT FEE	100		734.25	
SEWER FEE	500	2	7.63	265 -
WATER FEE	500		7908	358 -

PROPOSED WORK

WORK TO BE DONE: NEW ADD ALTER REPAIR MOVE DEMOLISH
 DESCRIBE: **CONCRETE TILT-UP.**
Retail & Warehouse.
 EXISTING USE OF BUILDING OR PROPERTY: **-**
 PROPOSED USE OF BUILDING OR PROPERTY: **-**
 NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS: **1**

SPECIAL INSPECTOR REQ'D. FOR	TOTAL FEES DUE	FIRE ZONE	TYPE OF CONST.	OCCUP. GRP.
<input type="checkbox"/> CONCRETE	820.50	3	III	F2
<input checked="" type="checkbox"/> MASONRY				
<input checked="" type="checkbox"/> WELDING, H.S. BOLTS				
<input type="checkbox"/> PRE-DRIVING				
<input type="checkbox"/> OTHER				
BLDG. AREA: 9850				
NO. STORIES: 1				
TOT. FLR. AREA: 9850				
PLAN CHG. REC'D. NO. & AMT.: 8119				
DATE: 6/1/68				

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): **[Signature]** DATE SIGNED: **6/1/68**
 AGENT FOR: **Don Koll Co.**
 ADDRESS: **1598 MONROVIA Newport Beach**
 COUNTY SANITATION DISTRICT: **-** PRIVATE DISPOSAL APPROVAL: **-**
 HEALTH DEPT. APPROVAL: **-** SPRINKLERS REQ'D FOR: **-**

ATTENTION
 THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT



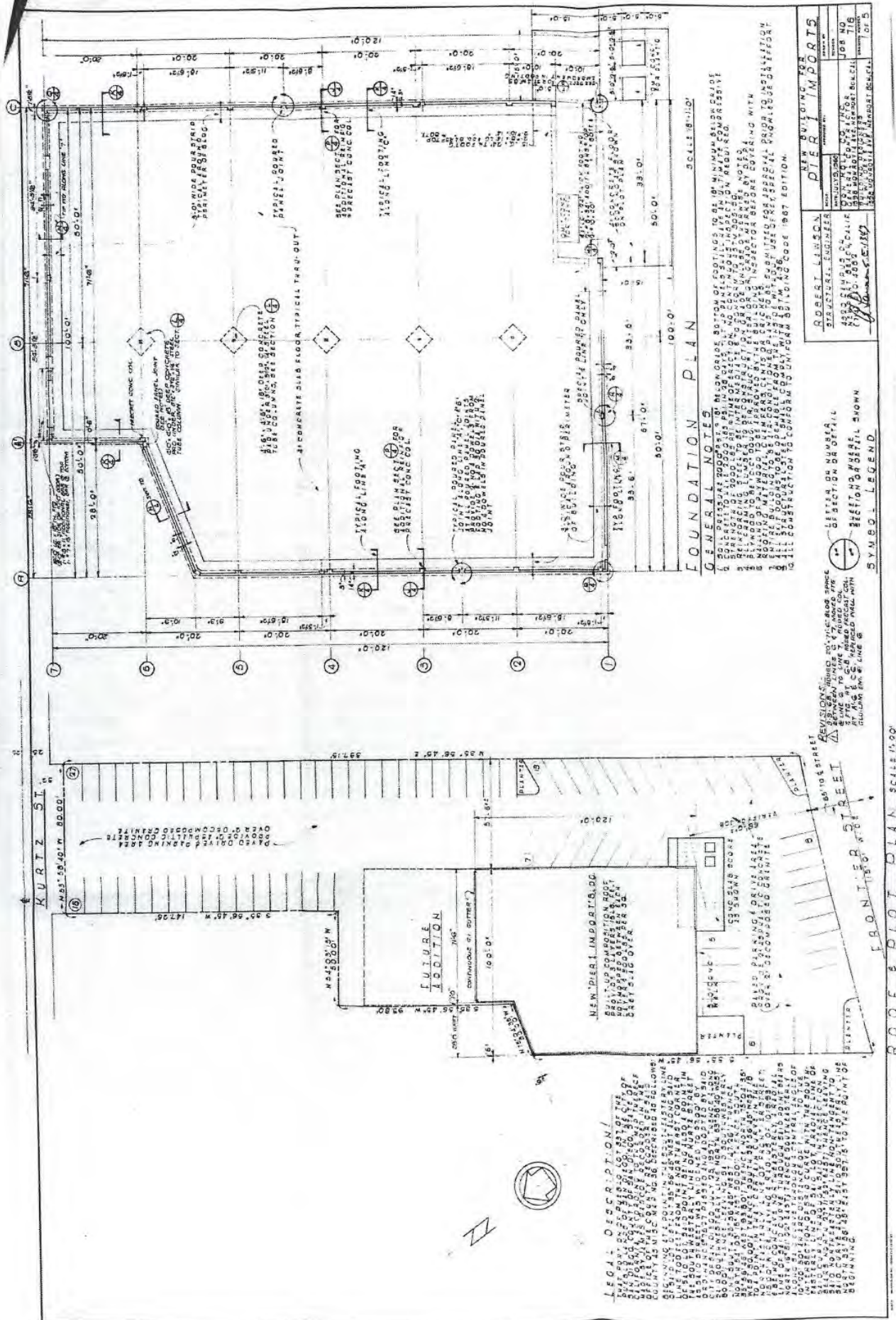
PLANS CHECKED: **[Signature]** DATE: **5/2/68**
 PLANS APPROVED: **[Signature]** DATE: **5/5/68**
 PLOT PLAN CHECKED & APPR'D: **[Signature]** DATE: **5/5/68**
 CITY COUNCIL APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OR WASH. DEPUTY: **[Signature]**
 DATE: **8/5/68** INSPECTOR

PARCEL NO.

HP-208 (REV. 1-67)



Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3220 SPORTS ARENA BLVD

COORD. INDEX 214-704 PLANNING PERMIT NO. E24088

OWNER
NAME (OR NAME OF BUSINESS)
MER 1 IMPORTS
MAILING ADDRESS (NUMBER) (STREET)
9201 SO. SEPULVEDA
CITY L.A. 90085 TELEPHONE NUMBER 776-4267

USE ZONE N-1 SETBACK FRONT YARD REAR YD. LOT AREA
CENSUS TRACT N-67 ALLOW COVERAGE
B.C. CODE 022 SIDE YD. (INT.) TOTAL AREA COVERED 1430/1,389
VARIANCE NO. SIDE YD. (STR.) LOT SPLIT DATE

DESIGNER
NAME A.L. WILDEY & T. OTA
ADDRESS (NUMBER) (STREET)
1598 MONROVIA AVE.
CITY NEWPORT BEACH TELEPHONE NUMBER

CURB NO. P.L. STREET IMPROV'D ENCR. PERMIT CHECKED BY
F. 5 YES NO YES NO
METER SIZE SERVICE SIZE CLEARANCE CHECKED BY

BUILDER
NAME DON KOOL COMPANY, INC.
ADDRESS (NUMBER) (STREET)
1598 MONROVIA AVENUE
CITY NEWPORT BEACH TELEPHONE NUMBER 646-3918

REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D. TYPE CONN. CHECKED BY

STATE LICENSE NUMBER 221764 CLASS NO. 8-1 CITY LICENSE NUMBER 41568
LOT BLOCK SUBDIVISION UNIT

REMARKS
VALUATION OF WORK NO. UNITS PER UNIT TOTAL
12,600 - 12,600 -

JOB LOCATION
JOB ADDRESS 3220 SPORTS ARENA BLVD.
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE

FUND & ACC'T. PLAN CHECK FEE 21 - 21 -
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE 42 - 42 -
100 SUB-TOTAL 63 -
7342
506 SEWER FEE
79751
500 WATER FEE
790811

PROPOSED WORK
WORK TO BE DONE NEW ADD ALTER REPAIR MOVE DEMOLISH
DESCRIBE ADDITION OF 20'-0" x 71'-6" CONCRETE TILT-UP AREA
EXISTING USE OF BUILDING OR PROPERTY RETAIL & WAREHOUSE UNDER CONSTRUCTION
PROPOSED USE OF BUILDING OR PROPERTY
 NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REQ'D. FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER
TOTAL FEES DUE 63
FIRE ZONE 3 TYPE OF CONST. OCCUP. GR. T1N F2
BLDG. AREA 1430 NO. STORIES 1 TOT. FLD. AREA 1430/1,389
PLAN CHK. RECPT. NO. & AMT. DATE

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.
SIGNATURE (OWNER OR AGENT) DATE SIGNED 9/11/68
NAME FOR DON KOOL CO., INC.
ADDRESS 1598 MONROVIA AVE., NEWPORT BEACH
COUNTY SANITATION DISTRICT RECEIPT NO. PRIVATE DISPOSAL APPROVAL
HEALTH DEPT. APPROVAL: SPRINKLERS REQ'D FOR

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
CITY OF SAN DIEGO

PLANS CHECKED DATE 9/11/68
PLANS APPROVED DATE 9/11/68
PLOT PLAN CHECKED & APPROVED DATE 9/11/68
APPROVAL APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF OWNER OR HIS DEPUTY DATE 9/11/68 DIRECTOR



PARCEL NO.

18-258 (REV. 6-61)

PLANNING

ENG.

WATER

SEWER

INSPECTION

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS: **3220 SPORTS ARENA BLVD.**
 COOPER INDEX: **14-104**
 PLAN FILE NO. PERMIT NO. **E26550**

OWNER
 NAME (OR NAME OF BUSINESS): **PIER 1 IMPORTS**
 MAILING ADDRESS (NUMBER): **3220 SPORTS ARENA BLVD.**
 CITY: **SAN DIEGO**
 TELEPHONE NUMBER: **233-0248**

DESIGNER
 NAME: **MARTIN NEON CO**
 ADDRESS (NUMBER): **4714 FELTON**
 CITY: **SAN DIEGO**
 TELEPHONE NUMBER: **282-0177**

OWNER
 NAME: **MARTIN NEON CO**
 ADDRESS (NUMBER): **4714 FELTON**
 CITY: **SAN DIEGO**
 TELEPHONE NUMBER: **282-0177**
 STATE LICENSE NUMBER: **103610**
 CLASS NO.: **C45**
 CITY LICENSE NUMBER: **940**

JOB LOCATION
 LOT: **103610** BLOCK: **C45** SUBDIVISION: **940** UNIT: **940**
 JOB ADDRESS: **3220 SPORTS ARENA BLVD.**
 CONDITION OF SOIL AT JOB SITE:
 ORIGINAL COMPACTED FILL LOOSE FILL
 NO. OF EXISTING BUILDINGS ON LOT AND USE:

PROPOSED WORK
 WORK TO BE DONE: NEW ADD ALTER REPAIR MOVE DEMOLISH
 DESCRIBE: **Install 10'x15' - 2 pole sign as per prints -**
 EXISTING USE OF BUILDING OR PROPERTY:
 PROPOSED USE OF BUILDING OR PROPERTY: **Store (New)**
 NON RESIDENTIAL: RESIDENTIAL: NUMBER OF DWELLING UNITS:

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.
 SIGNATURE (OWNER OR AGENT): **Martin Neon Co.** DATE SIGNED:
 AGENT FOR: **Martin Neon Co.**
 ADDRESS: **4714 Felton**
 COUNTY SANITATION DISTRICT: PRIVATE DISPOSAL APPROVAL RECEIPT NO.
 HEALTH DEPT APPROVAL: SPRINKLERS REQD FOR:

USE ZONE: **M-1** SETBACK FRONT YARD: **0'** LOT AREA:
 CENSUS TRACT: **N-67** REAR YD.: **0** ALLOW COVERAGE: **100%**
 B.C. CODE: **S12N** SIDE YD. (INT.): **0** TOTAL AREA COVERED:
 VARIANCE NO.: SIDE YD. (STR.): LOT SPLIT DATE:

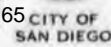
REMARKS:
 CURB TO P.L. STREET IMPROV'D ENCR. PERMIT CHECKED BY
 F. \$ YES NO YES NO
 METER SIZE SERVICE SIZE CLEARANCE CHECKED BY

NO. ADDITIONAL CONNECTIONS REQD. TYPE CONN. CHECKED BY
 REMARKS:

VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
PLAN CHECK FEE			
SUPPLEMENTAL PLAN CHK FEE			
BUILDING PERMIT FEE			6.00
SUB-TOTAL	100		6.00
SEWER PERMIT FEE	100		7.348
SEWER FEE	506	2.50	1274.3
WATER FEE	500		1250.0
	7908		1000.00

SPECIAL INSPECTOR REQ'D. FOR:
 CONCRETE
 MASONRY
 WELDING, H.F. BOLTS
 PILE DRIVING
 OTHER:
 TOTAL FEES DUE: **6.00**
 FIRE ZONE - TYPE OF CONST. OCCUP. GRP.
 BLDG. AREA NO. STORIES TOT. FLR. AREA
 PLAN CHK. RECPT. NO. & AMT. DATE

ATTENTION
 THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
 INSPECTION DEPARTMENT
 PLANS CHECKED: **John Chaley** DATE: **7/27/68**
 PLANS APPROVED: **W Amiller** DATE: **11/68**
 PLOT PLAN CHK'D & APP'D: **W Amiller** DATE: **11/68**
 APPLICATION APPROVAL
 THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY; AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
 SIGNATURE OF DEPT. OF BLDG. DEPUTY: **W Amiller**
 DATE: **10-1-68** INSPECTOR



PLANING ENG WATER SEWER INSPECTION
 1706
 10-1-68

10-238 (REV. 1-67) (8-1)

Building Permit Application

APPLICANT FEE
INSIDE HEAVY LINES

JOB ADDRESS 3220 Sports Arena Blvd.

E-38434

PARCEL NO.

OWNER	NAME (OR NAME OF BUSINESS) Foster and Kleiser		COORD. INDEX 214-1704	PLAN FILE NO.	PERMIT NO.
	MAILING ADDRESS (NUMBER) (STREET) 407 Laurel Street		USE ZONE M-1	SETBACK FRONT YARD 0	LOT AREA
	CITY San Diego		TELEPHONE NUMBER 232-9191	CENSUS TRACT N-67	REAR YD. 0
DESIGNER	NAME Same		B CODE 519N	SID YD. (INT.) 0	TOTAL AREA COVERED
	ADDRESS (NUMBER) (STREET)		VARIANCE NO.	SIDE YD. (STR.) 100	LOT SPLIT DATE
	CITY		TELEPHONE NUMBER	CURB TO P.L. F <input type="checkbox"/> S <input type="checkbox"/>	STREET IMPROV. J <input type="checkbox"/> YES <input type="checkbox"/> NO
BUILDER	NAME Same		REMARKS		
	ADDRESS (NUMBER) (STREET)		NO. ADDITIONAL CONNECTIONS REQ'D		
	CITY		TELEPHONE NUMBER		
JOB LOCATION	STATE LICENSE NUMBER 2918-C61	CLASS NO.	CITY LICENSE NUMBER 16983	VALUATION OF WORK	
	LOT Par RL 337	BLOCK	SUBDIVISION	NO. UNITS	PER UNIT
	JOB ADDRESS 3220 Sports Arena Blvd.			TOTAL	
PROPOSED WORK	CONDITION OF SOIL AT JOB SITE <input type="checkbox"/> ORIGINAL <input type="checkbox"/> COMPACTED FILL <input type="checkbox"/> LOOSE FILL			FUND & ACC'T	PLAN CHECK FEE
	NO. OF EXISTING BUILDINGS ON LOT AND USE			100	BUILDING PERMIT FEE
	WORK TO BE DONE <input type="checkbox"/> NEW ADD <input type="checkbox"/> ALTER REPAIR <input type="checkbox"/> MOVE DEMOLISH			7342	SUB-TOTAL
DESCRIBE Special Bldg. SIGN			306	SEWER FEE	18.50
EXISTING USE OF BUILDING OR PROPERTY			79750	WATER FEE	18.50
PROPOSED USE OF BUILDING OR PROPERTY			500		
NON RESIDENTIAL			79800		
RESIDENTIAL			SPECIAL INSPECTOR REQ'D FOR		
NUMBER OF DWELLING UNITS			TOTAL FEES DUE		
			FIRE ZONE 3		
			TYPE OF CONST. SIGN		
			BLDG. AREA		
			NO. STORIES		
			TOT. FLR. AREA		
			PLAN, CHK. RECPT. NO. & AMT.		
			DATE		

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)
[Signature] DATE SIGNED
1-3-68
12/20/68

AGENT FOR
Foster and Kleiser

ADDRESS
407 Laurel Street, San Diego

COUNTY SANITATION DISTRICT
RECEIPT NO.

PRIVATE DISPOSAL APPROVAL

HEALTH DEPT. APPROVAL: SPRINKLERS REQ'D FOR:

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT



CITY OF SAN DIEGO

PLANS CHECKED
Geo Moranic DATE **12/20/68**

PLANS APPROVED

DATE

PLOT PLAN CHECK'D & APPROV'D
W Amiller DATE **1/3/69**

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OF INSP. DEPUTY
W Amiller

DATE
1-3-69

INSPECTOR

ENGINEERING PLANNING WATER SEWER INSPECTION

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS: **3220 Sports Arena Blvd.**
COORD. INDEX: **314-1704** PLAN FILE NO. PERMIT NO. **E41148**

CARRIER

DESIGNER

BUILDER

JOB LOCATION

PROPOSED WORK

PLANNING

WATER

SEWER

INSPECTION

NAME (JOB NAME OF BUSINESS): **Foster & Kleiger**
MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 49 San Diego**
TELEPHONE NUMBER: **232 9491**

NAME: **same**
ADDRESS (NUMBER) (STREET):
CITY: TELEPHONE NUMBER:

NAME: **same**
ADDRESS (NUMBER) (STREET):
CITY: TELEPHONE NUMBER:

STATE LICENSE NUMBER: **298-061** CLASS NO. CITY LICENSE NUMBER: **16483**

JOB ADDRESS: **3220 Sports Arena Blvd.**
CONDITION OF SOIL AT JOB SITE:
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE:

WORK TO BE DONE: NEW ADD ALTER REPAIR MOVE DEMOLISH
DESCRIPTION: **Double four billboard 16' x 48'**
EXISTING USE OF BUILDING OR PROPERTY:
PROPOSED USE OF BUILDING OR PROPERTY:

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE OF OWNER OR AGENT: **John H. Harty** DATE SIGNED: **1-30-69**
AGENT FOR: **Foster & Kleiger**
ADDRESS: **P.O. Box 49 San Diego**
COUNTY SANITATION DISTRICT: PRIVATE DISPOSAL APPROVAL:
HEALTH DEPT. APPROVAL: SPRINKLERS REOD FOR:

USE: **M-1** SETBACK: **6'** FRONT YARD LOT AREA:
ZONE: **N-67** REAR YD. SIDE YD. (INT) TOTAL AREA COVERED:
CENSUS TRACT: **5197** VARIANCE NO. SIDE YD. (STR) LOT SPLIT DATE:

CURB TO P.L. STREET IMPROV'D ENCR. PERMIT CHECKED BY:
 YES NO YES NO
METER SIZE SERVICE SIZE CLEARANCE CHECKED BY:

REMARKS:
NO. ADDITIONAL CONNECTIONS REQ'D. TYPE CONN. CHECKED BY:
REMARKS:

VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
PLAN CHECK			10.00
BUILDING PERMIT FEE			18.00
SUBTOTAL			27.00
SEWER FEE			-
WATER FEE			-

SPECIAL INSPECTOR REOD' FOR:
 CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING OTHER:
TOTAL FEES DUE: **27.00**
FIRE ZONE: **3** TYPE OF CONST: **SIGN** OCCUP. GRP:
BLDG. AREA: NO. STORES: TOT. FLR. AREA:

PLAN CHK. RECPT. NO. & AMT. DATE:

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT



CITY OF SAN DIEGO

PLANS CHECKED: **S. MORALIS** DATE: **1-28-69**
PLANS APPROVED: **[Signature]** DATE: **1-28-69**
RECEIVED BY: **[Signature]** DATE: **1-30-69**

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. OR DEPT. DEPUTY: **[Signature]** DATE: **1-30-69** INSPECTOR

IN-208 (REV. 6-68)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3220 Sports Arena Blvd.

COORD. INDEX 214-124 PLAN FILE NO. PERMIT NO. E88648

OWNER
NAME (OR NAME OF BUSINESS) Foster Kleiser Co.
MAILING ADDRESS (NUMBER) POB 49 (STREET)
CITY San Diego TELEPHONE NUMBER 232-991

USE ZONE M-1 SETBACK FRONT YARD LOT AREA

DESIGNER
NAME same
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

LENSUS TRACT 65 00 REVISIONS ALLOW COVERAGE
B.C. CODE SIDE YD. (INT.) TOTAL AREA COVERED SQ. FT.
VARIANCE NO. SIDE YD. (STR.) LOT SPLIT DATE

BUYER
NAME same
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

CURB D.P.L. STREET IMPROV'D ENCR. PERMIT CHECKED BY
F. S. YES NO YES NO
METER SIZ. SERVICE SIZ. CLEARANCE CHECKED BY

STATE LICENSE NUMBER 2918 CLASS NO. C-61 CITY LICENSE NUMBER 16983

REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D TYPE CONN. CHECKED BY
REMARKS

VALUATION OF WORK NO. UNITS PER UNIT TOTAL \$5.00

LOT 1 BLOCK 337 SUBDIVISION UNIT

FUND & ACC'T PLAN CHECK FEE SUPPLEMENTAL PLAN CHK FEE BUILDING PERMIT FEE 8.00
100 7342 SUB-TOTAL 8.50
506 797.00 SEWER FEE
500 790.00 WATER FEE

JOB ADDRESS 3220 Sports Arena Blvd.
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE

SPECIAL INSPECTOR REQ'D FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER

WORK TO BE DONE NEW ADD ALTER REPAIR MOVE DEMOLISH
DESCRIBE Add to Alt. (existing) RAISE EXISTING SIGN BY 19' BY PROVIDING ADD. POST IN CENTER (ALIAS FORMS) TO BE SIGNS.

TOTAL FEES DUE 8.50
FIRE ZONE 3 TYPE OF CONST. OCCUP. GRP. SIGN
BDDG. AREA NO. STORIES TOT. FLR. AREA

PROPOSED USE OF BUILDING OR PROPERTY
 NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

PLAN CHK RECPT NO. & AMT. DATE
SIGNS CHECKED DATE 2/6/70
SEUMURANTE DATE 2/6/70
PLANS APPROVED DATE 2/6/70
PLOT PLAN CHECK & APPROV. DATE 2/6/70

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

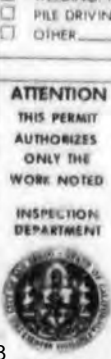
APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. CHIEF OR DEPUTY
DATE 2/26/70 INSPECTOR

SIGNATURE (OWNER OR AGENT) DATE SIGNED 2/26/70
AGENCY Foster Kleiser
ADDRESS POB 49 S.D.

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED INSPECTION DEPARTMENT
CITY OF SAN DIEGO

COUNTY SANITATION DISTRICT PRIVATE DISPOSAL APPROVAL
HEALTH DEPT. APPROVAL SPRINKLERS REQ'D FOR

168



CITY OF SAN DIEGO

PARCEL NO.

IN-258 (REV. 6-68)

PLANNING
ENG.
WATER
SEWER
INSPECTION

COUNTYMAN NAME *Severs*

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

USE ADDRESS: **3220 Sports Arena Blvd.**

CENSUS TRACT NUMBER: **65.00** PERMIT NUMBER: **K94142**

OWNER: NAME (OR NAME OF BUSINESS): **Peer Imports**

MAILING ADDRESS (NUMBER) (STREET): **3220 Sports Arena Blvd**

CITY: **San Diego CA** ZIP TELEPHONE NUMBER: **222-0187**

USE ZONE: **M-1** COORD. INDEX: **214-1705** PLAN FILE NO.:

SETBACK FRONT YARD: REAR YD: (INT): (STRI): NAME OF STREET:

DESIGNER: ADDRESS (NUMBER) (STREET):

CITY: ZIP TELEPHONE NUMBER:

ALLOWABLE COVERAGE: FLOOR AREA RATIO ALLOWED: MAX. ALLOWABLE HEIGHT (FT.): VARIANCE NO.:

LOT SPLIT DATE: AGREEMENT NO.: NO. OF BATH SINKS: CURB TO P.L.:

BLUDDER: NAME: **H.S. Baggett Roofing Co**

ADDRESS (NUMBER) (STREET): **2908 Myrtle Ave**

CITY: **San Diego CA** ZIP TELEPHONE NUMBER: **297-0117**

STATE LICENSE NUMBER: **227148** CLASS NO.: **C-59** CITY LICENSE NUMBER: **08216**

DATE PLANS SUBMITTED: WORK TO BE DONE: SIGN MOVE, ALTER DEMOLISH, REPAIR NON-RESIDENTIAL, NEW ADD RESIDENTIAL

PLAN CHK RECPT NO: PLAN CHK RECPT AMT \$: BEDROOMS: **220** (5, 1, 2, 3, 4, 5)

FUND & ACCY: VALUATION OF WORK: PER UNIT: TOTAL: **140-**

JOB LOCATION: JOB ADDRESS: **same**

CONDITION OF SOIL AT JOB SITE: ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE: **one - Commercial bld**

100	PLAN CHECK FEE				
73421	SUPPLEMENTAL PLAN CHK FEE				
100	BUILDING PERMIT FEE				5-
73422	BUILDING PERMIT FEE				
320	9660 STATE FEE				50
506	9750 SEWER FEE				
500	9980 WATER FEE				
73423	PARK FEE				

PROPOSED WORK: DESCRIBE WORK TO BE DONE: **4.00 repair rock**

EXISTING USE OF BUILDING OR PROPERTY: **Commercial bld**

PROPOSED USE OF BUILDING OR PROPERTY: **Commercial bld**

SPECIAL INSPECTION REQUIRED FOR: CONCRETE, MASONRY, WELDING PIPES BOILERS, FIRE SPRINKLING, OTHER IDENTIFY

TOTAL FEES DUE: **5150**

FIRE ZONE: **3** TYPE OF CONST: OCCUP GRP:

BLDG. AREA: NO. STORIES: TOT. FLR AREA:

SPRINKLERS REQ FOR: HGT. IN FT.:

I hereby acknowledge that I have read this application and the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized hereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE OF AGENT: **H.S. Baggett** DATE SIGNED: **7-6-76**

AGENT FOR: ADDRESS:

PLANS CHECKED: DATE:

PLANS APPROVED: DATE:

PLOT PLAN CHK (I) & APPR (I): DATE:

APPLICATION APPROVAL: THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILD. INSP. DEPT. DEPUTY: **C.L. Severs**

DATE: **7/17/76** INSPECTOR

METER SIZE	SERVICE SIZE	CREDIT	CHECKED BY
REMARKS			
NO. ADDITIONAL CONNECTIONS REQ'D	TYPE CONN	CHECKED BY	
REMARKS			



CITY OF SAN DIEGO

71976/07 5.50 5.50+ 4.00+5

IN-258 (REV. 9-75)

ENGINEERING & DEV. APPROVAL:

INSPECTION CONING APPROVAL:

HEALTH DEPT. APPROVAL:

66

BUILDING PERMIT - SIGN		APPLICANT FILL INSIDE HEAVY LINES	
NAME OR NAME OF BUSINESS PIER 1 IMPORTS			
MAILING ADDRESS (NUMBER) (STREET) 3220 SPORTS ARENA BLVD.			
CITY SAN DIEGO		TEL. NUMBER 232-0487	
NAME SR 34116 OF 317-77			
ADDRESS (NUMBER) (STREET)			
CITY		TEL. NUMBER	
NAME S O QRS			
ADDRESS (NUMBER) (STREET) 452-8 TH			
CITY S D		TEL. NUMBER 2347201	
STATE LICENSE NO. 230977		CLASS. NO. C45	
CITY LICENSE NO. 11292			
LOT BLOCK SUBDIVISION UNIT REGALO L. 337			
JOB ADDRESS 3220 SPORTS ARENA BLVD.			
LIST EACH EXISTING SIGN GIVING TYPE AND AREA		SIGN TYPE	
GROUND (Remove) (192)		150+	
wall (Remove)		150	
WORDING OF SIGN COPY Pier 1 Imports		150	
IS AN EXISTING SIGN BEING REPLACED?			
I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.			
SIGNATURE (OWNER OR AGENT) Joe Schmuth		DATE SIGNED 9-15-77	
AGENT FOR: S O QRS			
ADDRESS 452 8 TH			

JOB ADDRESS 3220 Sports Arena Bl			
CENSUS TRACT NUMBER		BUILDING PERMIT NUMBER 506010	
TYPE OF NEW SIGN		MAIN CERT. EXP. DATE 9-30-79	MAIN CERT. NO. ---
<input type="checkbox"/> OFF-PREMISE		VAR. NO.	EXP. DATE
<input checked="" type="checkbox"/> GROUND		<input type="checkbox"/> WALL	
<input type="checkbox"/> WALL		C.U.P. NO.	EXP. DATE
<input type="checkbox"/> PROJECTING		<input type="checkbox"/> ROOF	EXP. DATE
<input type="checkbox"/> ROOF		<input type="checkbox"/> FRWY. OR.	EXP. DATE
<input type="checkbox"/> FRWY. OR.		<input type="checkbox"/> BLINKING	EXP. DATE
<input type="checkbox"/> BLINKING		<input checked="" type="checkbox"/> ELECTRIC	EXP. DATE
<input checked="" type="checkbox"/> ELECTRIC		<input type="checkbox"/> TURNING	EXP. DATE
<input type="checkbox"/> TURNING		<input type="checkbox"/> NOT VIS. R.W.	EXP. DATE
SIGN AREA	SIGN HGT.	ZONE	
COMM. CODE	LARD USE	PROJ. OVER RT. OF WAY	MAX. HT. ALLOW.
MAX. AREA ALLOW.	COORD. INDEX	R/W WIDTH	SPEED ZONE
FRONTAGE	FRNT. YARD SET BACK	REQ. ACT	REAR YD.
(INT.)	(STR.)	CURB TO P.L.	
PLANNING DEPT. APP. BY			DATE

SIGN TYPE	49 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.65	\$31.65	\$34.65	
WALL, ELECTRIC	\$34.65	\$37.65	\$40.65	
GRD., ROOF, PROJ.	\$52.65	\$55.65	\$58.65	
SPECIAL INSP. REQ.	EST. HRS.	\$10.00 PER HR.		
OTHER Rework exist. Signs.				20.00

FUND & ACC'T		SUB TOTAL		FEE	
		100/73602		20.00	
PENALTY		73609			
9660		FUND 100			
STATE FEE				.50	
TOTAL				20.50	
APPROVAL					
This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fee paid, and receipt is acknowledged in spec provided.					
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY Rob Seneca					
DATE 9/15/77					

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

581 91577003

20-50+

20-50+

10-11 (2-77)

PLAN FILE NO. **89935** PLAN APPROVED **9/15/77** DATE

FILE

BUILDING PERMIT - SIGN

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3220 Sports Arena Blvd

CENSUS TRACT NUMBER

BUILDING PERMIT NUMBER

504819

SIGN OWNER

NAME OR NAME OF BUSINESS

PIER 1 IMPORTS

MAILING ADDRESS (NUMBER) (STREET)

3220 SPORTS ARENA BLVD

CITY

SAN DIEGO

ZIP

TEL. NUMBER

322-0487

SIGN USER

NAME

SR 34116 OF 3-17-77

ADDRESS (NUMBER)

(STREET)

CITY

ZIP

TEL. NUMBER

SIGN INSTALLER

NAME

S D QRS

ADDRESS (NUMBER)

452 8 TH

(STREET)

CITY

S.D.

ZIP

TEL. NUMBER

334-7201

STATE LICENSE NO.

230977

CLASS. NO.

C45

CITY LICENSE NO.

11292

LOT

BLOCK

SUBDIVISION

UNIT

102
PUEBLO LOT 337

JOB ADDRESS

3220 SPORTS ARENA BLVD.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE

AREA

Wall remove

150

Ground

194

150+

WORDING OF SIGN COPY

PIER 1 IMPORTS

150

IS AN EXISTING SIGN BEING REPLACED?

YES

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SIGNATURE (OWNER OR AGENT)

DATE SIGNED

Agent for: J. Schmel

9-15-77

AGENT FOR:

S D QRS

ADDRESS

452 8 TH

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. OR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. EXPI. DATE

9-30-79

MAIN CERT. NO.

00423

VA. NO.

EXP. DATE

C.U.P. NO.

EXP. DATE

SPECIAL DIST./C.S.P.

EXP. DATE

SIGN AREA

150 FT

SIGN HGT.

—

ZONE

M-1

COMM. CODE

LAND USE

PROJ. OVER RT. OF WAY

MAX. HT. ALLOW.

MAX. AREA ALLOW.

COORD. INDEX

214-1705

R/W WIDTH

60+

SPEED ZONE

—

FRONTAGE

100'

FRNT. YARD SET. BACK

REG.

REAR YD.

ACT

(INT.)

(STR.)

CURB TO P.L.

PLANNING DEPT. APP. BY

J. Danner

DATE

9-15-77

SIGN TYPE

49 S.F. OR LESS

50 - 99 SQ. FT.

100 S.F. OR MORE

FEE

WALL, NON-ELEC.

\$28.65

\$31.65

\$34.65

WALL ELECTRIC

\$34.65

\$37.65

\$40.65

GRD. ROOF. PROJ.

\$52.65

\$55.65

\$58.65

SPECIAL INSP. REQ.

EST. HRS.

\$10.00 PER HR.

OTHER

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT



CITY OF SAN DIEGO

1581 94577003

41-15

3 CODE

41-15+ 61-65+8

FUND & ACC.T

SUB TOTAL

100/73602

40 65

PENALTY

73608

FUND 100

320 9660

STATE FEE

.50

TOTAL

41 15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy; fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF B.L.I.C. INSP. DEPT. DEPUTY

K. Lencina

DATE

9/15/77

10-15 (9-77)

PLAN FILE NO.

89733

PLAN APPROVED

G. Mica

DATE

9/15/77

PLANNING

INSPECTION

FILE

3240 SPORTS ARENA BOULEVARD

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS: **3240 Sports Arena Blvd San Diego CA**
 COORD. INDEX: **214-1704** PLAN FILE NO: **182261** PERMIT NO: **E64278**

OWNER
 NAME (OR NAME OF BUSINESS): **VICTOR SCHULMAN**
 MAILING ADDRESS (NUMBER) (STREET): **4275 EL CAJON BLVD**
 CITY: **SAN DIEGO** TELEPHONE NUMBER: **281-6661**

USE ZONE: **M-1** SETBACK FRONT YARD: **0** LOT AREA
 CENSUS TRACT: **N-67** REAR YD: **0** ALLOW COVERAGE: **100%**
 B.C. CODE: **18** SIDE YD. (INT.): **0** TOTAL AREA COVERED
 VARIANCE NO.: **-** SIDE YD. (STR.): **0** LOT SPLIT DATE

DESIGNER
 NAME: **JOHN S.M. DANIELS**
 ADDRESS (NUMBER) (STREET): **2802 JUHN ST.**
 CITY: **SAN DIEGO** TELEPHONE NUMBER: **298-6183**

CURB TO P.I. STREET IMPROV'D FENCE, PERMIT CHECKED BY
 F. S. YES NO YES NO
 METER SIZE: **1 1/4"** SERVICE SIZE: **1 1/4"** CLEARANCE: **7' 6"** CHECKED BY: **[Signature]**

BUILDER
 NAME: **MELHORN CONST. CO**
 ADDRESS (NUMBER) (STREET): **2147 SAN DIEGO AVE**
 CITY: **SAN DIEGO** TELEPHONE NUMBER: **246-9121**
 STATE LICENSE NUMBER: **199084** CLASS NO.: **B-1** CITY LICENSE NUMBER: **15706**

REMARKS: **Double run - see attached pages**
 NO. ADDITIONAL CONNECTIONS REQ'D: **4/21 to 1/18** CHECKED BY: **[Signature]**
 REMARKS

JOB LOCATION
 LOT: **1075 23, 314, 332, 338** BLOCK: **15706** SUBDIVISION: **FR. RUBEN UNIT**
 JOB ADDRESS: **3240 Sports Arena Blvd**
 CONDITION OF SOIL AT JOB SITE: ORIGINAL COMPACTED FILL LOOSE FILL
 NO. OF EXISTING BUILDINGS ON LOT AND USE

VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
		113,000	262,000

PLAN CHECK FEE	FUND & ACCT.	AMOUNT
		188.75
SUPPLEMENTAL PLAN CHK. FEE		113.75
BUILDING PERMIT FEE		75.00
SUB-TOTAL		377.50
SEWER PERMIT FEE		452.00
SEWER FEE		265.00
WATER FEE		385.00

PROPOSED WORK
 WORK TO BE DONE: NEW ADD ALTER REPAIR MOVE DEMOLISH
 DESCRIBE: **MASONRY + WOOD FRAME**
 Building
 EXISTING USE OF BUILDING OR PROPERTY
 PROPOSED USE OF BUILDING OR PROPERTY: **RETAIL STORE**
 NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REQ'D. FOR:
 CONCRETE
 MASONRY
 WELDING, H.S. BOILS
 PILE DRIVING
 OTHER
 TOTAL FEES DUE: **1102.50**
 FIRE ZONE: **3** TYPE OF CONST: **Vn Sp** OCCUP. GRP: **F2**
 BLDG. AREA: **16,000** NO. STORIES: **2** TOT. FLR. AREA: **30,360**
 AN CHK. RCPT. NO. & AMT. DATE: **14512 113.25 5-8-69**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation insurance.
 SIGNATURE (OWNER OR AGENT): **M.W. Melhorn** DATE SIGNED: **5-7-69**
 AGENT FOR
 ADDRESS: **2147 SAN DIEGO AVE**
 COUNTY SANITATION DISTRICT PRIVATE DISPOSAL APPROVAL RECEIPT NO.
 HEALTH DEPT. APPROVAL: **SPRINKLERS REQ'D FOR DOUBLING FLOOR AREA**

ATTENTION
 THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
 INSPECTION DEPARTMENT
 CITY OF SAN DIEGO
 CITY OF SAN DIEGO

PLANS CHECKED: **A. Ormonde** DATE: **8/5/69**
 PLANS APPROVED: **A. Ormonde** DATE: **8/5/69**
 PLOT PLAN CHK'D & APPROV: **J.F. Casey** DATE: **8-5-69**
 APPLICATION APPROVAL
 THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
 SIGNATURE: **J.F. Casey** DATE: **8-5-69** INSPECTOR



PARCEL NO.

PLANNING

ENG.

SEWER

WATER

INSPECTION

INSPECTION

Building Permit Application

APPLICANT'S JOB ADDRESS
INSIDE HEAVY LINES

JOB ADDRESS
3240 SPORTS ARENA BLVD
PERMIT NO. **E668170**

PARCEL NO.

OWNER	NAME (OR NAME OF BUSINESS) VICTOR SCHULMAN	
	MAILING ADDRESS (NUMBER) 4275 EL CAJON BLVD	(STREET) BLVD
PASSENER	CITY SAN DIEGO	TELEPHONE NUMBER 281-6661
	NAME John S.M. DANIELS	
BUILDER	ADDRESS (NUMBER) 2803 JUCH ST.	(STREET) SAN DIEGO
	CITY SAN DIEGO	TELEPHONE NUMBER 296-6183
JOB LOCATION	NAME MELHORN CONST. CO.	
	ADDRESS (NUMBER) 2147 SAN DIEGO AVE	(STREET) SAN DIEGO
PROPOSED WORK	CITY SAN DIEGO	TELEPHONE NUMBER 296-0121
	STATE LICENSE NUMBER 194084	CLASS. NO. B-1
JOB LOCATION	CITY LICENSE NUMBER 15204	NO. OF EXISTING BUILDINGS ON LOT AND USE
	LOT 3240	BLOCK SPORTS ARENA BLVD.
PROPOSED WORK	SUBDIVISION PORTUGAL UNIT	NO. OF EXISTING BUILDINGS ON LOT AND USE
	CONDITION OF SOIL AT JOB SITE <input checked="" type="checkbox"/> ORIGINAL	<input type="checkbox"/> COMPACTED FILL
PROPOSED WORK	<input type="checkbox"/> LOOSE FILL	NO. OF EXISTING BUILDINGS ON LOT AND USE
	WORK TO BE DONE <input checked="" type="checkbox"/> NEW ADD	<input type="checkbox"/> ALTER REPAIR
PROPOSED WORK	<input type="checkbox"/> MOVE	<input type="checkbox"/> DEMOLISH
	DESCRIBE MASONRY + WOOD FRAME	EXISTING USE OF BUILDING OR PROPERTY BLDG.
PROPOSED WORK	PROPOSED USE OF BUILDING OR PROPERTY RETAIL STORE	NON RESIDENTIAL <input checked="" type="checkbox"/>
	RESIDENTIAL <input type="checkbox"/>	NUMBER OF DWELLING UNITS 1

COORD. INDEX 214-170418256-D	PLAN FILE NO.	PERMIT NO. E668170
USE ZONING M-1	SETBACK FRONT YARD 0	LOT AREA
CENSUS TRACT N-67	REAR YD	ALLOW. COVERED 100
B.C. CODE 18	SIDE YD. (INT)	TOTAL AREA COVERED 50 FT.
VARIANCE NO.	SIDE YD. (STR)	LOT SPLIT DATE
CURB TO P.L. F. S.	STREET IMPROV'D <input type="checkbox"/> YES <input type="checkbox"/> NO	ENCR. PERMIT <input type="checkbox"/> YES <input type="checkbox"/> NO
METER SIZE	SERVICE SIZE	CLEARANCE
REMARKS		
NO. ADDITIONAL CONNECTIONS REQ'D.	TYPE CONN.	CHECKED BY
REMARKS		
VALUATION OF WORK	NO. UNITS	PER UNIT
		TOTAL 235800.00
FUND & ACC'T.	PLAN CHECK FEE	17575
	SUPPLEMENTAL PLAN CHK. FEE	
	BUILDING PERMIT FEE	351.00
100 7342	SUB-TOTAL	52725
506 74250	SEWER FEE	
500 79080	WATER FEE	
SPECIAL INSPECTOR REQ'D. FOR <input type="checkbox"/> CONCRETE <input type="checkbox"/> MASONRY <input type="checkbox"/> WELDING, H.S. BOLTS <input type="checkbox"/> PILE DRIVING <input type="checkbox"/> OTHER		TOTAL FEES DUE 52725
FIRE ZONE 3		TYPE OF CONST. VNSPR
BLDG. AREA 1600		OCCUP. GRP. F2
NO. STORIES 2		LOT FLR AREA 19360
PLAN CHK. RECPT. NO. & AMT.		DATE
<p>ATTENTION</p> <p>THIS PERMIT AUTHORIZES ONLY THE WORK NOTED</p> <p>INSPECTION DEPARTMENT</p> <p>CITY OF SAN DIEGO</p>		
PLANS CHECKED N. OROMONTE		DATE 8-5-69
PLANS APPROVED N. OROMONTE		DATE 8-5-69
PLOT PLAN CHK'D & APPR'D J. CAREY		DATE 8-5-69
<p>APPLICATION APPROVAL</p> <p>THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.</p> <p>SIGNATURE OF DEPT. OF INSP. DEPUTY J. W. Walker</p> <p>DATE 8/25/69</p> <p>INSPECTOR</p>		

IN-25B (REV. 5-68)

TO CORRECT ERROR
 PLANS CHECKED
 DATE 8/25/69

100 7342
 506 74250
 500 79080
 8/25/69



SPRINKLERS
INSTALLER
ON JOB

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3240 Sports Arena Blvd
E 63502

NAME (OR NAME OF BUSINESS)
VICTOR Schulman

MAILING ADDRESS (NUMBER) (STREET)
4275 EL Cajon Blvd.

CITY (NUMBER) TELEPHONE NUMBER
San Diego 281-6661

COORD. INDEX
214-1704

PLAN FILE NO.
782560

PERMIT NO.
E 63502

USE ZONE
M-1

SETBACK FRONT YARD
0

LOT AREA

CENSUS TRACT
N-67

REAR YD.
0

ALLOW. COVERAGE
100%

B.C. CODE
18

SIDE YD. (INT.)
0

TOTAL AREA COVERED

VARIANCE NO.

SIDE YD. (STR.)

LOT SPLIT DATE

NAME
John S.M. Daniels

ADDRESS (NUMBER) (STREET)
2902 Juan St.

CITY (NUMBER) TELEPHONE NUMBER
San Diego 298-6133

CURB TO S. STREET IMPROV'D. ENCR. PERMIT CHECKED BY

F. S. YES NO YES NO

METER SIZE SERVICE SIZE CLEARANCE CHECKED

NAME
MELHORN CONST. CO.

ADDRESS (NUMBER) (STREET)
2147 San Diego Ave.

CITY (NUMBER) TELEPHONE NUMBER
San Diego 296-0121

REMARKS
To Come Later

NO. ADDITIONAL CONNECTIONS REQ'D. TYPE COMM. CHECKED

REMARKS
To Come Later

STATE LICENSE NUMBER
199084

CLASS NO.
B-1

CITY LICENSE NUMBER
15204

VALUATION OF WORK NO. UNITS PER-UNIT TOTAL

LOT OR BLOCK SUBDIVISION UNIT
214-332-338

JOB ADDRESS
3240 Sports Arena Blvd.

CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE

PLAN CHECK FEE
41.75

SUPPLEMENTAL PLAN CHK. FEE

BUILDING PERMIT FEE
8350

SUB-TOTAL
12525

SEWER PERMIT FEE
250

SEWER FEE
7743

WATER FEE
7908

WORK TO BE DONE NEW ADD ALTER REPAIR MOVE DEMOLISH

SPECIAL INSPECTOR REQ'D. FOR

CONCRETE
MASONRY
WELDING, H.S. BOYS
PILE DRIVING
OTHER

DESCRIBE
Foundation - only for Furniture store

EXISTING USE OF BUILDING OR PROPERTY

PROPOSED USE OF BUILDING OR PROPERTY

NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

TOTAL FEES DUE
12525

FIRE ZONE
3

TYPE OF CONST.
BASE

OCCUP. GRP.
F2

BLDG. AREA NO. STORIES TOT. FLR. AREA

PLAN CHK. RECPT. NO. & AMT. DATE

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED IN INSPECTION DEPARTMENT

PLANS CHECKED
John Math NCA

DATE

PLANS APPROVED
John Math

DATE
7-29-69

PLOT/PLAN PREPARED BY
William Miller

DATE
7-29-69

SIGNATURE (OWNER OR AGENT)
M.W. Melhorn

DATE SIGNED
7/29/69

AGENT FOR:

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY; AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

ADDRESS
2147 SAN DIEGO AVE.

COUNTY SANITATION DISTRICT RECEIPT NO. PRIVATE DISPOSAL APPROVAL



SIGNATURE OF DEPT. OF BLDG. DEPT.
W. Amiller

DATE
7-29-69

INSPECTOR

HEALTH DEPT. APPROVAL: SPRINKLERS REQ'D FOR.

PARCEL NO.

IN-258 (REV. 1-67)

OWNER

DEIGNER

BUILDER

JOB LOCATION

PROPOSED WORK

PLANNING

ENG.

WATER

SEWER

INSPECTION

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3240 SPORTS ARENA BLVD

OWNER

NAME (OR NAME OF BUSINESS)
TREND FURNITURE

MAILING ADDRESS (NUMBER) (STREET)
3240 SPORTS ARENA BLVD

CITY (NUMBER) (STREET)
SAN DIEGO

TELEPHONE NUMBER

COORD. INDEX
314 1704

PLAN FILE NO.

PERMIT NO.
E72148

USE ZONE
M-1

SETBACK FRONT YARD

LOT AREA

CENSUS TRACT
N-67

REAR YD.

ALLOW. COVERAGE

B.C. CODE

SIDE YD. (INT.)

TOTAL AREA COVERED

SQ. FT.

DESIGNER

NAME
DESIGN ENGINEERS

ADDRESS (NUMBER) (STREET)
4455 TWAIN AVE

CITY (NUMBER) (STREET)
SAN DIEGO

TELEPHONE NUMBER
281-8191

VARIANCE NO

SIDE YD. (STR.)

LOT SPLIT DATE

CURB TO P.L.
F. S.

STREET IMPROV'D
 YES NO

ENCR. PERMIT
 YES NO

CHECKED BY

METER SIZE

SERVICE SIZE

CLEARANCE

CHECKED BY

BUILDER

NAME
CAL NEON PRODUCTS

ADDRESS (NUMBER) (STREET)
4530 MISSION GORGE FR

CITY (NUMBER) (STREET)
SAN DIEGO

TELEPHONE NUMBER
2832191

REMARKS

NO. ADDITIONAL CONNECTIONS REQ'D

TYPE CONN.

CHECKED BY

REMARKS

STATE LICENSE NUMBER
174499

CLASS. NO.
C-10

CITY LICENSE NUMBER
764

VALUATION OF WORK

NO. UNITS

PER UNIT

TOTAL
1500.00

LOT BLOCK SUBDIVISION UNIT

JOB LOCATION

JOB ADDRESS
3540 SPORTS ARENA BLVD.

CONDITION OF SOIL AT JOB SITE

ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE

FUND & ACCT.

PLAN CHECK FEE

SUPPLEMENTAL PLAN CHK. FEE

BUILDING PERMIT FEE

100 7342

SUB-TOTAL
8.50

506 79750

SEWER FEE
8.50

500 79080

WATER FEE
1.00

WORK TO BE DONE

NEW ADD

ALTER REPAIR

MOVE DEMOLISH

PROPOSED WORK

DESCRIBE
INSTALL PYLON SIGN

EXISTING USE OF BUILDING OR PROPERTY

PROPOSED USE OF BUILDING OR PROPERTY

NON RESIDENTIAL

RESIDENTIAL

NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REQ'D. FOR

CONCRETE

MASONRY

WELDING, H.S. BOLTS

PILE DRIVING

OTHER

TOTAL FEES DUE
8.50

FIRE ZONE
3

TYPE OF CONST.
SGN

BLDG. AREA

NO. STORIES

TOT. FLR AREA

PLAN CHK. RECPT. NO. & AMT.

DATE

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)
John E. Edwards

DATE SIGNED
9-24-69

AGENT FOR
CAL NEON PRODUCTS

ADDRESS
4530 MISSION GORGE FR

COUNTY SANITATION DISTRICT

PRIVATE DISPOSAL APPROVAL

ATTENTION

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

CITY OF SAN DIEGO

PLANS CHECKED
NEO MCRAE

DATE
9/24/69

PLANS APPROVED
John E. Edwards

DATE
9/24/69

PILOT PLAN CHK'D & PR'D
John E. Edwards

DATE
9/30/69

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OF BLDG. INSPECTION
John A. Lopez

DATE
9-30-69

INSPECTOR



PARCEL NO.

IN-238 (REV. 6-68)

McCallagh

Melhorn Construction Co.

2147 San Diego Avenue

P. O. BOX 10178



RECEIVED

NOV 19 '69

DEPT. OF INSPECTION

18 November 1969

Mr. Gene Meier
San Diego Building Department
202 "C" Street
San Diego, Calif. 92101

Dear Mr. Meier:

We are requesting a temporary certificate of occupancy for the Trend Furniture at 3240 Sports Arena Blvd., until permanent doors are installed.

Yours very truly,

MELHORN CONSTRUCTION CO.

Martin W. Melhorn

Martin W. Melhorn

Mac - your recommendation please!

Permits: E-63502 (plan)
E-66870 (bel. of work)

Plan File: 1B256D

RJD: fmp

Memo from Fire Protection: (Smith) Sprinkler system checked & ok on 11/19/69

Date: 7/29/69

City of San Diego
Inspection Department
City Administration Building
Community Concourse
San Diego, California 92101

Attention: Building Inspection Director

Dear Sir:

It is requested that a Building Permit be issued at this time, authorizing construction of foundations for the proposed building to be located at:

3240 Sports Avenue Blvd.

Plans for this building are on file in the Inspection Dept. under Plan File No:

18956 D

It is understood that the plans submitted have not, at this time, been reviewed for compliance with applicable State and City laws, nor has the work described been approved by the City. No work will be performed under this permit other than construction of the foundations.

If it should be determined by the Inspection Department that changes in the plans are necessary after commencement of construction of the foundations, I/we assume full responsibility and all risk of loss which may result by reason of such changes. I/we agree that the building shall conform to the approved final plans as amended, without regard to the stage of completion.

OWNER: *Victor Feldman*

We, the responsible Architect/Engineer and Contractor, are aware of construction proceeding under the conditions stated above and agree to such procedure.

ARCHITECT/ENGINEER: *John S. M. Daniels*

Date: 7/29/69

CONTRACTOR: MELHORN CONST. Co.

Martin W. Melhorn

Date: 7/29/69

WATER METER DATA CARD

WATERMETER RECEIPT NO. DATE PLAN FILE NUMBER

JOB ADDRESS (PRINT)

3240 SPORTS ARENA BL

OWNER'S NAME (PRINT)

VICTOR SCHULMAN

TELEPHONE NUMBER

281-6661

METER TO BE LOCATED IN ALLEY STREET

(PRINT STREET NAME)

DISTANCE METER TO BE FROM LEFT PROPERTY LINE (WHEN FACING PROP. ERTY) FT.

WATER PRESSURE REGULATOR (REQUIRED IF MAX. PRESSURE OVER 100 PSI)

 NOT DESIRED WILL BE PROVIDEDWATER SOFTNER CONNECTION WILL WILL NOT BE PROVIDED

LENGTH OF WATER SYSTEM (FROM METER TO FARTHEST OUTLET)

EXISTING SYSTEM: _____ PROPOSED SYSTEM: 170'

DIAMETER OF BLDG. SUPPLY LINE: _____ METER SIZE: _____

PRESSURE CORRECTION FOR CHANGE IN ELEVATION, VERTICAL DIST. (FT.)

METER TO HIGH OUTLET X.43. PLUS _____ PSI MINUS 1.3 PSI

WATER PRESSURE BOOSTER-PUMP INCREASES PRESSURE _____ PSI

FLUSHMETER VALVE FIXTURES WILL WILL NOT BE USED

BLDG. - NO. STORIES	FIXT. UNIT		NEW		EXISTING	
	PUBLIC USE	PRIVATE USE	PRIVATE FIXTURES	TOTAL FIXTURES	PUBLIC FIXTURES	TOTAL FIXTURES
OCCUPANCY						
WATER FOR <input type="checkbox"/> NEA <input type="checkbox"/> EXIST.						
BLDGS. <input type="checkbox"/>						
TYPE OF FIXTURE						

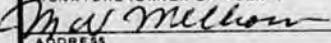
BATHUB & OR SHOWER	4	2				
DENTAL UNIT OR DENTAL LAV.	1	1				
DRINK, FOUNTAIN - EA. H'D.	1	1				
HOSE BIBB	5	3	2	10		
LAUNDRY TUB - CL. WASHER	4	2				
SINK, BAR OR LAVATORY	2	1	2	4		
SINK, CLINIC, FLUSHING	10	-				
SINK, KIT OR DISHWASHER	4	2				
SINK, SERVICE	4	2				
SINK, WASH, EA. FAUCE' SET	2	-				
SINK WASH, CIRCLE SPRAY	4	-				
TRAILER, HOUSE	6	6				
URINAL, PEDESTAL	10	-				
URINAL, FLUSH TANK	3	-	1	3		
URINAL, WALL/STALL	5	-				
WATER CLOSET, TANK	5	3	3	15		
WATER CLOSET, FLUSH VALVE	10	6				
WATER SUPPLY OUTLET - 3/8"	2	1				
WATER SUPPLY OUTLET - 1/2"	4	2				
WATER SUPPLY OUTLET - 3/4"	6	3				
WATER SUPPLY OUTLET - 1"	10	6				
SPRINKLER HEADS, [FULL]	1	1				

FIXTURE UNIT SUB TOTAL	NEW- 32	EXIST-
FIXTURE UNIT TOTAL	FU =	GPM
OTHER WATER REQ. (SAME METER)	=	GPM
EXIST WATER REQ. (SAME METER)	=	GPM
TOTAL WATER REQ. (SAME METER)	=	GPM

I AFFIRM THAT THE INFORMATION GIVEN IS CORRECT; THAT THE APPROVAL GIVEN HEREIN FOR MINIMUM METER SIZE AND MAXIMUM WATER CAPACITY OF WATER PIPE ARE BASED SOLELY ON THIS INFORMATION AND ANY DEVIATION IN CONSTRUCTION WILL BE WIRE RESUBMISSION OF CORRECTED DATA FOR DETERMINATION OF ADEQUACY OF WATER PIPE AND METER SIZES.

SIGNATURE (OWNER OR AGENT)

DATE SIGNED



5-8-69 180

ADDRESS

2147 SAN DIEGO AVE - 1

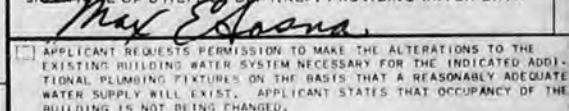
GPM FOR SPECIAL FIRE PROTECTION SYSTEM APPROVED BY FIRE PREV. REP. FIRE

 GPM FOR (1) OR (2) HIGHEST OUTLETS, (A & B OCCUP.)
 50 GPM FOR HIGHEST OUTLET (ALL OTHER OCCUPANCIES)
 GPM TOTAL FIRE PROTECTION WATER TO BE SUPPLIED FROM DOMESTIC W. METER SEPARATE CONN. TO W. MAIN.

 WATER PRESSURE DATA: NOR. MIN. PRESS. _____ NORMAL MAXIMUM PRESSURE 163 PSI.
 DATA: 151 PSI PRESS. REGULATOR REQ. YES NO

 BACKFLOW PROTECTOR REQUIRED AT METER YES NO
 APPROVED METER SIZE 1" IN. PRESS. DROP _____ PSI

SIGNATURE OF UTILITY DEPT. REP. PROVIDING WATER DATA



APPLICANT REQUESTS PERMISSION TO MAKE THE ALTERATIONS TO THE EXISTING BUILDING WATER SYSTEM NECESSARY FOR THE INDICATED ADDITIONAL PLUMBING FIXTURES ON THE BASIS THAT A REASONABLY ADEQUATE WATER SUPPLY WILL EXIST. APPLICANT STATES THAT OCCUPANCY OF THE BUILDING IS NOT BEING CHANGED.

APPLICANT REQUESTS PURCHASE OF METER AND SERVICE PRIOR TO FINAL APPROVAL OF PLANS OR ISSUANCE OF BUILDING PERMIT. APPLICANT ACKNOWLEDGES THAT HE WILL PAY FOR REPLACEMENT OF SAID METER AND SERVICE SHOULD PLAN CHECK OR FIELD INSPECTION INDICATE THAT THEY DO NOT COMPLY WITH CODE REQUIREMENTS. APPLICANT UNDERSTANDS COST OF ORIGINAL METER AND SERVICE IS NOT REFUNDABLE EXCEPT AS PROVIDED IN ART. 7, CHAPTER VI, MUNICIPAL CODE.

SIGNATURE (OWNER OR AGENT)

DATE SIGNED

DESIGN WATER PRESSURE (FOR TABLE 10-2) _____ PSI

DESIGN WATER PRESSURE (FOR APPENDIX A) _____ PSI

WATER SUPPLY LINE - NEW _____ IN.

WATER SUPPLY LINE - OLD _____ IN.

MIN. METER SIZE COMPATIBLE WITH TABLE BELOW _____ IN.

 PERMIT MAY BE ISSUED ON BASIS OF MINOR CHANGES AND/OR ALTERATIONS PER SIGNED REQUEST ABOVE.

 FLUSH TANK SYSTEM IS APPROVED FOR INSTALLATION PER UPC TABLE 10-2. PRESSURE RANGE TO _____ PSI.

 SYSTEM MUST BE INSTALLED PER UPC APPENDIX "A" IF OVER 200' IN LENGTH OR IF CONTAINING FLUSHMETER VALVES. MINIMUM WATER PIPE SIZES TO BE AS INDICATED BELOW:

PIPE SIZE (IN.)

GPM

FLUSH TANK SYS.

FLUSH VALVE SYS.

GPM

FLUSH TANK SYS.

FLUSH VALVE SYS.

INSPECTION DEPARTMENT APPROVAL



CITY OF SAN DIEGO

INSPECTION DEPARTMENT

FORM IN-16 (1-66)

DATE

7-29-9

APPROVED BASIS OF PIPE SIZING

3250 SPORTS ARENA BOULEVARD

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

OR ADDRESS

3250 SPORTS ARENA BLVD

CENSUS
TRACT
NUMBER

65.00

PERMIT
NUMBER

K5747

NAME (OR NAME OF BUSINESS)

Dixieline Lumber Company

MAILING ADDRESS (NUMBER)

(STREET)

3250 Sports Arena Blvd.

CITY

San Diego

TELEPHONE NUMBER

224-4161

NAME

George J. Blatcher, G.E.

ADDRESS (NUMBER)

(STREET)

2188 San Diego Avenue

CITY

San Diego

TELEPHONE NUMBER

296,1676

NAME

Dixieline Lumber Company

ADDRESS (NUMBER)

(STREET)

3250 Sports Arena Blvd.

CITY

San Diego

TELEPHONE NUMBER

224-4161

STATE LICENSE NUMBER

CLASS NO.

CITY LICENSE NUMBER

USE
ZONE

M-1

COORD. INDEX

219-1706

PLAN FILE NO.

74 690-D

LOT AREA

ALLOWABLE
COVERAGE

TOTAL AREA
COVERED

FLOOR AREA
RATIO

SETBACK
FRONT YARD

REAR YD

SIDE YD

(INT)

(STR)

NAME OF STREET

MAX. ALLOWABLE
HEIGHT (FT.)

VARIANCE NO.

LOT SPLIT DATE

HEALTH DEPT.
APPROVAL

CURB TO PL

PLAN CHG. RECPT NO

WORK TO BE DONE

ALTER

DEMOLISH

B.C. CODE DWELL UNITS

PLAN CHG. RECPT NO

REPAIR

NEW

RESID

RECORDS

PLAN CHG. RECPT. AMT.

NO. UNITS

PER UNIT

TOTAL

3

1

VALUATION
OF WORK

NO. UNITS

PER UNIT

TOTAL

2

45,000.00

LOT

BLOCK

SUBDIVISION

UNIT

1

Portion of Pueblo Lots

332, 314, 337 & 338

JOB ADDRESS

3250 SPORTS ARENA BLVD

CONDITION OF SOIL AT JOB SITE

ORIGINAL

COMPACTED FILL

LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE

S: sales, building supplies

DESCRIBE WORK
TO BE DONE

Add to existing office

and sales building

EXISTING USE OF
BUILDING OR PROPERTY sales, building supply

PROPOSED USE OF
BUILDING OR PROPERTY

sales

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws, regulating construction, and in doing the work authorized hereby no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)

DATE SIGNED

George J. Blatcher 7/31/75

AGENT FOR

Dixieline Lumber Company

ADDRESS

2188 San Diego Avenue

FUND & ACC'T

PLAN CHECK FEE

SUPPLEMENTAL PLAN CHG. FEE

BUILDING PERMIT FEE

100 7342

1

100 7342

SUB-TOTAL

506 79750

SEWER FEE

500 79080

31.00

500 79080

WATER FEE

320 9600

STATE FEE

207.00

232.00

320 9600

STATE FEE

TOTAL

5.81

237.81

31.00

SPECIAL INSPECTION
REQUIRED FOR

CONCRETE

MASONRY

WELDING H.S. BOLTS

PILE DRIVING

OTHER (IDENTIFY)

TOTAL FEES DUE

237.81

FIRE ZONE

TYPE OF CONST

OCCUP. GRP

3

IN

F2

BLDG. AREA

FLO. STORIES

TERR. AREA

9510

2

11190

SPRINKLERS REQ. FOR

HGT. INFT.

ATTENTION

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

PLANS CHECKED

DATE

J. J. ... 7/26/75

PLANS APPROVED

DATE

C.H. Steyers 10/24/75

PLAT PLAN CHG. D. & APPD.

DATE

Per ... 10/24/75

APPLICATION APPROVAL

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SIGNATURE OF DEPT. OF INSP. DEPT. DATE

C.H. Steyers 10/24/75

INSPECTOR



CITY OF SAN DIEGO

182

OWNER'S SIGNATURE
ANK

PARCEL NO.

IN-288 (REV. 12-72)

ZONING APPROVAL

INSPECTION

H.O. 3202

COURT FEE
NAME

FEE NO.

506 (REV. 12-74)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY UNITS

NAME (OR NAME OF BUSINESS)
Dixieline Lumber
MAILING ADDRESS (NUMBER) (STREET)
3350 Sports Arena Blvd
CITY **S.D.** TELEPHONE NUMBER

NAME
Same
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

NAME
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

LOT **919** BLOCK SUBDIVISION UNIT
338 Pueblo land
JOB ADDRESS
3250 Sports Arena Blvd
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
none

DESCRIPTIVE WORK TO BE DONE
WALL ADD
10' OF 10' HIGH WALL TO EXISTING WALL
EXISTING USE OF BUILDING OR PROPERTY
EXISTING WALL
PROPOSED USE OF BUILDING OR PROPERTY
enclosure

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OF AGENT) DATE SIGNED
Dixieline Lumb.
AGENT FOR
John Boydhead
ADDRESS

METER SIZE SERVICE SIZE CREDIT CHECKED BY
REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D TYPE CONN. CHECKED BY
REMARKS

JOB ADDRESS
3250 SPORTS ARENA BLVD
CENSUS TRACT NUMBER
65.00 PERMIT NUMBER
753442

USE ZONE **M-1** COORD. INDEX
214-1704 PLAN FILE NO.
75225-D

SETBACK FRONT YARD REAR YD SIDE YD (INT) (STR) NAME OF STREET
ALLOWABLE COVERAGE FLOOR AREA RATIO ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.
LOT SPLIT DATE AGREEMENT NO. NO. OF BAR SINKS CURB TO P.L. F S

DATE PLANS SUBMITTED: WORK TO BE DONE
 SIGN MOVE
 ALTER DEMOLISH
 REPAIR NON-RESID
 NEW RESIDENTIAL
PLAN CHK RECPT NO. RECPT AMT \$
B.C. CODE DWELL UNITS
BEDROOMS 3 4 5
S 1 2

FUND & ACCT.	NO. UNITS	PER UNIT	TOTAL
100 73421 PLAN CHECK FEE			8
100 73421 SUPPLEMENTAL PLAN CHK FEE			
100 73422 BUILDING PERMIT FEE			1600
320 9660 STATE FEE			50
506 79750 SEWER FEE			
500 79080 WATER FEE			
73423 PARK FEE			

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)
TOTAL FEES DUE **2450**
FIRE ZONE **3** TYPE OF CONST. **IN J** OCCURRING
BLOG AREA NO. STORIES TOT. FER AREA
SPRINKLERS REQ'D FOR HOT. IN FT.

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
BUILDING INSPECTION DEPARTMENT
PLANS CHECKED DATE
APPROVED BY
E. D. ... 9/24/75
DATE
2011



CITY OF SAN DIEGO

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF BUILD. INSP. DEPT. DEPUTY
E. D. ...
DATE
9/24/75
INSPECTOR

ENGINEERING & DEV. APPROVAL
INSPECTION
BUILDING APPROVAL
HEALTH DEPT. APPROVAL

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

3250 SPORTS ARENA BL
CENSUS TRACT NUMBER 65.00 PERMIT NUMBER K19285

NAME (OR NAME OF BUSINESS)
Dixieline Lumber
MAILING ADDRESS (NUMBER) (STREET)
3250 Sports As. Blvd.
CITY TELEPHONE NUMBER

DESIGNER
NAME
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

BUILDER
NAME
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

STATE LICENSE NUMBER CLASS. NO. CITY LICENSE NUMBER

JOB LOCATION
LOT # *313* BLOCK SUBDIVISION *Pueblo* UNIT
3250 lands
JOB ADDRESS
3250 Sports Arena Bl
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE

PROPOSED WORK
DESCRIBE WORK TO BE DONE
new 4' x 11' 10' high

EXISTING USE OF BUILDING OR PROPERTY
warehouse
PROPOSED USE OF BUILDING OR PROPERTY
enclosure

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized hereby, no person will be employed in violation of Labor Code of the State of California relating to child labor.

SIGNATURE OF OWNER OR AGENT
[Signature] DATE SIGNED
AGENT FOR
3250 Sports As. Blvd.
ADDRESS

SEWER WATER
METER SIZE SERVICE SIZE CREDIT CHECKED BY
REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D TYPE CONN. CHECKED BY
REMARKS

USE ZONE *M-1* LOORD INDEX *Q14-1704* PLAN FILE NO. *75225-D*
LOT AREA ALLOW COVERAGE % TOTAL AREA COVERED SQ. FT.
SETBACK FRONT YARD REAR YD. (INT.) (STR.) NAME OF STREET
VARIANCE NO. LOT SPLIT DATE HEALTH DEPT APPROVAL

L.D. PRMT REQ'D ST IMP PRMT REQ'D ENCR PRMT REQ'D CHECKED BY
 YES NO YES NO YES NO
CURB TO PL WORK TO BE DONE
F. SIGN MOVE B.C. CODE
PLAN CHK. RECPT NO. ALTER DEMOLISH NO. BEDROOMS
REPAIR NON-RES
PLAN CHK. RECPT. AMT. \$ NEW RESIDENTIAL DWELLING UNITS
ADD

VALUATION OF WORK NO. UNITS PER UNIT TOTAL
12800 *12800*
FUND & ACC'T PLAN CHECK FEE *26.50* *26.50*
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE *58.00* *58.00*
100 7342 SUB-TOTAL *79.50*

506 79750 SEWER FEE
500 79080 WATER FEE
90 *90*

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)
TOTAL FEES DUE *80.40*
FIRE ZONE *3* TYPE OF CONST. *V* OCCUP. GRP. *2*
BLDG. AREA NO. STORIES TOT. FLR AREA
SPRINKLERS REQ. FOR

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
PLANS CHECKED
PLANS APPROVED
PLOT PLAN CHK'D & APPR'D
DATE
DATE
DATE

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. OF INSP. DEPUTY
DATE
[Signature] INSPECTOR



PARCEL NO.

IN-258 (REV. 12-79)

IN-255 (REV. 12-72)

PARCEL NO.

COUNTY NAME
SAN DIEGO

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

NAME (OR NAME OF BUSINESS)
PIXIELINE LUMBER CO.
MAILING ADDRESS (NUMBER) (STREET)
3250 SPORTS ARENA BLVD.
CITY
SAN DIEGO. TELEPHONE NUMBER
224-4161

NAME
660. J. FLETCHER C.E.
ADDRESS (NUMBER) (STREET)
2188 SAN DIEGO, AVE "N"
CITY
SAN DIEGO. TELEPHONE NUMBER
296-1676

NAME
OWNER
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

LOT (PARTIAL) DIVISION UNIT
P.L. 313.34 P.L. 337.338

JOB ADDRESS
3250 SPORTS ARENA BLVD
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
4 - STORAGE & STORAGE SHEDS

DESCRIBE WORK TO BE DONE
SHEDS (4) 8' x 16' FT.

EXISTING USE OF BUILDING OR PROPERTY
LUMBER YARD.
PROPOSED USE OF BUILDING OR PROPERTY
STORAGE SHEDS.

I hereby declare that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) **[Signature]** DATE SIGNED **10-20-75**
AGENT FOR
Pixeline Lumber Co.
ADDRESS
3250 SPORTS ARENA BL.

METER SIZE SERVICE SIZE CREDIT CHECKED BY
REMARKS
NO ADDITIONAL CONNECTIONS REQUIRED TYPE COILING CHECKED BY
REMARKS

JOB ADDRESS
3250 Sports Arena Blvd

LICENSE TRACT NUMBER
65.00 PERMIT NUMBER
K70051

USE ZONE
M-1 COORD. INDEX
214-1706 PLAN FILE NO.
76971-D

LOT AREA ALLOWABLE COVERAGE TOTAL AREA COVERED FLOOR AREA RATIO

SETBACK FRONT YARD REAR YD SIDE YD (INT) (ISTR) NAME OF STREET

MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO. LOT SPLIT DATE HEALTH DEPT. APPROVAL

CURE TO P.L. WORK TO BE DONE
SIGN MOVE
PLAN CHK. REPT. NO. **46577** ALTER DEMOLISH
REPAIR NON-RESID
PLAN CHK. REPT. AMT **40** NEW RESIDENTIAL
ADD

VALUATION OF WORK NO. UNITS PER UNIT TOTAL
22,000 - 43,000

FUND & ACC'T PLAN CHECK FEE **40 -**

SUPPLEMENTAL PLAN CHK. FEE **57 -**

BUILDING PERMIT FEE **130 -**

100 7342 SUB-TOTAL **161 -**

506 79750 SEWER FEE

500 79080 WATER FEE

320 9080 STATE FEE **301**

SPECIAL INSPECTION REQUIRED FOR TOTAL FEES DUE **16401**

CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)
FIRE ZONE **3** TYPE OF CONST. **TYP EX** OCCUP. GRP. **6-2**
BLDG. AREA **5157** NO. STORIES **1** TOT. FLR. AREA **6157**
SPRINKLERS REQ'D FOR HGT. IN FT.

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
PLANS CHECKED DATE
PLANS APPROVED DATE
INSPECTION DEPT. APPROVED DATE

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. OF INSP. DEPUTY
DATE **10-20-75** INSPECTOR



CITY OF SAN DIEGO

ZONING APPROVAL: 20' Coastal Zone Ht Limit 4.0.544.32.07

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS: **3250 SPORTS ARENA BLVD**
 PERMIT NUMBER: **612238**
 CENSUS TRACT NUMBER: **65.00**

OWNER: NAME (OR NAME OF BUSINESS) **WATERLINE LUMBER CO.**
 MAILING ADDRESS (NUMBER) (STREET) **3250 SPORTS ARENA BLVD**
 CITY **SAN DIEGO CA.** TELEPHONE NUMBER **224-4161**

DESIGNER: NAME **WATERLINE**
 ADDRESS (NUMBER) (STREET) **1625 GRAND AVE**
 CITY **SAN DIEGO** TELEPHONE NUMBER **274-2164**

BUILDER: NAME **OWEN**
 ADDRESS (NUMBER) (STREET) _____
 CITY _____ TELEPHONE NUMBER _____

STATE LICENSE NUMBER _____ CLASS. NO. _____ CITY LICENSE NUMBER _____

JOB LOCATION: LOT _____ BLOCK _____ SUBDIVISION _____ UNIT _____
 JOB ADDRESS **3250 SPORTS ARENA**
 CONDITION OF SOIL: ORIGINAL COMPACTED FILL LOOSE FILL
 NO. OF EXISTING BUILDINGS ON LOT AND USE _____

PROPOSED WORK: DESCRIBE WORK TO BE DONE **ADD OFFICE TO 2ND FLOOR BUILDING @ SECOND FLOOR**
 EXISTING USE OF BUILDING OR PROPERTY **LUMBER SALES**
 PROPOSED USE OF BUILDING OR PROPERTY **LUMBER SALES**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Working Compensation Insurance.

SIGNATURE (OWNER OR AGENT) *[Signature]* DATE SIGNED **8-14-70**
 AGENT FOR **WATERLINE & WARE AIA.**
 ADDRESS **3250 SPORTS ARENA BLVD**

METER SIZE _____ SERVICE SIZE _____ CREDIT _____ CHECKED BY **MD**
 REMARKS _____
 NO. ADDITIONAL CONNECTIONS REQ'D _____ TYPE CONN _____ CHECKED BY **MP**
 REMARKS _____


COORD. INDEX **214-1704** PLAN FILE NO. **26239-D** HEALTH DEPT. APPROVAL _____
 LOT AREA _____ ALLOW COVERAGE **100%** USE ZONE **M-1**
 SETBACK FRONT YARD _____ REAR YD. _____ TOTAL AREA COVERED _____ SQ. FT.
 VARIANCE NO. _____ LOT SPLIT DATE _____ SIDE YD. (INT.) (STR.) _____

PERMITS: D. FRMT REQ'D YES NO; ST. IMP. FRMT REQ'D YES NO; ENCR. FRMT REQ'D YES NO; CHECKED BY _____
 CURB TO P.L. _____ WORK TO BE DONE: B.C. **99**
 PLAN CHK. RECD. NO. **52512** ALTER MOVE NO. BEDROOMS _____
 REPAIR DEMOLISH DWELLING UNITS _____
 PLAN CHK. REPT. AMT. **\$1950** NEW ADD RESIDENTIAL _____

VALUATION OF WORK: NO. UNITS _____ PER UNIT _____ TOTAL **11,400 - 11,400 -**

FUND & ACC'T: PLAN CHECK FEE **1950**
 SUPPLEMENTAL PLAN CHK. FEE _____
 BUILDING PERMIT FEE _____
 100 7342 SUB-TOTAL **3900**
 508 79750 SEWER FEE _____
 500 79080 WATER FEE _____

SPECIAL INSPECTION REQUIRED FOR: CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING OTHER (IDENTIFY) _____
 TOTAL FEES DUE **3900**
 FIRE ZONE **3** TYPE OF CONST. **V-N** OCCUP. GRP. **FL**
 BLDG. AREA **1140** NO. STORIES **2** TOT. FLR. AREA **6000** SQ. FT.
 SPRINKLERS REQ'D FOR _____

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
 INSPECTION DEPARTMENT: 
 PLANS CHECKED: **NEW MOUNTAIN** DATE **8/12/70**
 PLANS APPROVED: **St. M. Monte** DATE **8/24/70**
 PLOT PLAN CHECKED & APPROVED: **[Signature]** DATE **8/24/70**

APPLICATION APPROVAL: THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
 SIGNATURE OF DEPT. OF BLDG. INSPECTION: **[Signature]**
 DATE: **8/16/70** INSPECTOR

PARCEL NO.

14-238 (REV. 6-69)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS: 3250 FRONTIER BLVD FRONTIER ST.

OWNER

NAME (OR NAME OF BUSINESS): **DIXIELINE LUMBER Co.**

MAILING ADDRESS (NUMBER) (STREET): **3050 FRONTIER ST.**

CITY: **SAN DIEGO** TELEPHONE NUMBER: **293-9871**

COORD. INDEX: **214-1704** PLAN FILE NO: **17554D** PERMIT NO: **E47873**

USE: **M-1** SETBACK: **-** FRONT YARD: **-** LOT AREA: **-**

CENSUS TRACT: **N-67** REAR YD: **-** ALLOW. COVERAGE: **100%**

B.C. CODE: **022** SIDE YD. (INT.): **-** TOTAL AREA COVERED: **-**

VARIANCE NO: **-** SIDE YD. (STR.): **-** LOT SPLIT DATE: **-**

DESIGNER

NAME: **WEBER & EDWARDS**

ADDRESS (NUMBER) (STREET): **4312 CASS ST.**

CITY: **SAN DIEGO** TELEPHONE NUMBER: **274-8330**

CURB TO P.L. F. **5** STREET IMPROV'D: YES NO ENCR. PERMIT: YES NO CHECKED BY: **-**

METER SIZE SERVICE SIZE CLEARANCE CHECKED BY: **-**

BUILDER

NAME: **-**

ADDRESS (NUMBER) (STREET): **-**

CITY: **-** TELEPHONE NUMBER: **-**

REMARKS: **-**

NO. ADDITIONAL CONNECTIONS REQ'D: **-** TYPE CONN: **-** CHECKED BY: **-**

REMARKS: **-**

STATE LICENSE NUMBER: **-** CLASS NO: **-** CITY LICENSE NUMBER: **-**

VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
		2600	1000

JOB LOCATION

LOT: **313, 214, 337** BLOCK: **100** SUBDIVISION: **-** MPIT: **-**

JOB ADDRESS: **3250 FRONTIER ST.**

CONDITION OF SOIL AT JOB SITE: **3 - OFF. ALL & STORAGE**

ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE: **3 - OFF. ALL & STORAGE**

FUND & ACC'T	PLAN CHECK FEE	SUPPLEMENTAL PLAN CHK. FEE	BUILDING PERMIT FEE	SUB-TOTAL
100				15.00
7342				22.50
506	SEWER FEE			-
79750				-
500	WATER FEE			-
79080				-

PROPOSED WORK

WORK TO BE DONE: NEW ALTER MOVE DEMOLISH

ADD REPAIR DEMOLISH

DESCRIBE: **OFFICES**

EXISTING USE OF BUILDING OR PROPERTY: **LUMBER Co.**

PROPOSED USE OF BUILDING OR PROPERTY: **LUMBER Co.**

NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS: **-**

SPECIAL INSPECTOR REQ'D FOR:

CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING OTHER: **-**

TOTAL FEES DUE: **22.50**

FIRE ZONE	TYPE OF CONST.	OCCUP. GRP.
3	JEN	F2
BLDG. AREA	NO. STORIES	TOT. FLR. AREA
648	2	10625

PLAN CHK. REC'D NO. & AMT: **-** DATE: **-**

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SIGNATURE (OWNER OR AGENT): **Donald H. Edwards** DATE SIGNED: **3-28-69**

AGENT FOR: **Webber & Edwards Architects**

ADDRESS: **4312 Cass St.**

COUNTY SANITATION DISTRICT RECEIPT NO: **-** PRIVATE DISPOSAL APPROVAL: **-**

HEALTH DEPT. APPROVAL: **-** SPRINKLERS REQ'D FOR: **-**

ATTENTION

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

PLANS CHECKED: **CEO MOPANTE** DATE: **3/24/69**

DATE: **4-1-69**

DATE: **4-1-69**

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OR ASST. DEPUTY: **John A. Lopez** DATE: **4-1-69** INSPECTOR



IN-258 (REV. 6-68)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS
3250 SPORTS ARENA BLVD

CENSUS TRACT NUMBER **05-00** PERMIT NUMBER **073665**

OWNER
NAME (OR NAME OF BUSINESS)
DIXIE LIME LUMBER Co.

MAILING ADDRESS (NUMBER) (STREET)
3250 SPORTS ARENA BLVD.

CITY TELEPHONE NUMBER
SAN DIEGO CAL 92110 224-4161

DESIGNER
NAME
S/W ASSOC

ADDRESS (NUMBER) (STREET)
2138 GARNET

CITY TELEPHONE NUMBER
SAN DIEGO CAL 92109 274-2164

BUILDER
NAME

ADDRESS (NUMBER) (STREET)

CITY TELEPHONE NUMBER

STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

JOB LOCATION
LOT BLOCK SUBDIVISION UNIT
313 RUELLO

JOB ADDRESS
3250 SPORTS ARENA BLVD

CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
FOUR COMMERCIAL (F-2)

PROPOSED WORK
DESCRIBE WORK TO BE DONE
SMALL WAREHOUSE

EXISTING USE OF BUILDING OR PROPERTY
COMMERCIAL (F-2)

PROPOSED USE OF BUILDING OR PROPERTY
COMMERCIAL (F-2)

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SIGNATURE (OWNER OR AGENT)
Jan Mackowski

DATE SIGNED
DEC 2 1971

AGENT FOR
S/W ASSOC.

ADDRESS
2138 GARNET SAN DIEGO CAL 92109

COORD. INDEX
214-1706

PLAN FILE NO.
35601-D

HEALTH DEPT APPROVAL

LOT AREA
131264

ALLOW COVERAGE
100 %

USE ZONE
M-1

SETBACK FRONT YARD **0** REAR YD. **0**

TOTAL AREA COVERED
9334829 SQ. FT.

VARIANCE NO. LOT SPLIT DATE

SIDE YD. (INT.) (STR.)
0

L. I. PRMT REQ'D ST. IMP. PRMT REQ'D ENCR. PRMT REQ'D CHECKED BY

YES NO YES NO YES NO

CURB TO P.L. WORK TO BE DONE B.C. CODE
10

PLAN CHK. RECPT. NO. ALTER MOVE NO. BEDROOMS
95656 12/11 REPAIR DEMOLISH

PLAN CHK. RECPT. AMT. \$ **3500** NEW ADD NON-RESID DWELLING UNITS
NO RESIDENTIAL

VALUATION OF WORK NO. UNITS PER UNIT TOTAL
5200 -

FUND & ACC'L PLAN CHECK FEE **16 -**

SUPPLEMENTAL PLAN CHK. FEE

BUILDING PERMIT FEE **32.00**

100 7342 SUB-TOTAL **32.00**

506 79750 SEWER FEE

500 79080 WATER FEE

SPECIAL INSPECTION REQUIRED FOR

CONCRETE MASONRY WELDING H.S. BOLTS PILE DRIVING OTHER (IDENTIFY)

TOTAL FEES DUE **32.00**

FIRE ZONE **3** TYPE OF CONST. **Vm** OCCUP. GRP. **FL**

BLDG. AREA **719/4151** NO. STORIES **1** TOT. FLR. AREA **719/4151**

SPRINKLERS REQ. FOR

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

PLANS CHECKED
William DATE **12/10/71**

PLANS APPROVED
R. Ford DATE **12/24/71**

PLOT PLAN CHECKED & APPROVED
R. Ford DATE **12/24/71**

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OF INSP. DEPUTY
R. Ford

DATE **12/24/71**

INSPECTOR

PARCEL NO.

PLANNING

ENG.

INSPECTION



CITY OF SAN DIEGO

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS
3250 SPORTS ARENA BLVD.
CENSUS TRACT NUMBER **65.00** PERMIT NUMBER **673666**

OWNER
NAME (OR NAME OF BUSINESS)
DIXIELINE LUMBER Co.
MAILING ADDRESS (NUMBER) (STREET)
3250 SPORTS ARENA BLVD.
CITY
SAN DIEGO CAL. 92110 TELEPHONE NUMBER
224-461

COORD. INDEX
214-1706 PLAN FILE NO.
35601-D HEALTH DEPT. APPROVAL
LOT AREA
135269 ALLOW COVERAGE **100 %** USE ZONE
M-1
SETBACK FRONT YARD **0** REAR YD. **0** TOTAL AREA COVERED
724672 SQ. FT.
VARIANCE NO. LOT SPLIT DATE SIDE YD. (INT.) (5 FT.)
0

DESIGNER
NAME
S/W ASSOC.
ADDRESS (NUMBER) (STREET)
2138 GARNET
CITY
SAN DIEGO CAL 92109 TELEPHONE NUMBER
274-2164

L.D. PRMT REQ'D YES NO ST. IMP. PRMT. REQ'D YES NO ENCR PRMT REQ'D YES NO CHECKED BY

BUILDER
NAME
ADDRESS (NUMBER) (STREET)
CITY
STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

CURB TO P.L. WORK TO BE DONE B.C. **002**
PLAN CHK. REPT. NO. **95656** ALTER REPAIR MOVE DEMOLISH NO. BEDROOMS
PLAN CHK. REPT. AMT **3190** NEW ADD NON-RESIDENTIAL DWELLING UNITS
VALUATION OF WORK NO. UNITS PER UNIT TOTAL
61217 7,500-

JOB LOCATION
LOT **313** BLOCK SUBDIVISION **PUEBLO** UNIT
JOB ADDRESS
3250 SPORTS ARENA BLVD.
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
FOUR, COMMERCIAL (F-2)

FUND & ACC'T. PLAN CHECK FEE
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE
100 7342 SUB-TOTAL **38.00**
506 79750 SEWER FEE **38.00**
500 79080 WATER FEE

PROPOSED WORK
DESCRIBE WORK TO BE DONE
OFFICE EXTENSION
EXISTING USE OF BUILDING OR PROPERTY
COMMERCIAL (F-2)
PROPOSED USE OF BUILDING OR PROPERTY
COMMERCIAL (F-2)

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)
TOTAL FEES DUE **38.00**
FIRE ZONE **3** TYPE OF CONST. **Va** C/CUP GRP. **Fv**
BIDS. AREA **670/652** NO. STORIES **1** TOT. FLR AREA **670/672**
SPRINKLERS REQ'D FOR

I hereby acknowledge that I have read this application; that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)
San Mackayin DATE SIGNED
DEC 2 1971
AGENT FOR
S/W ASSOC
ADDRESS
2138 GARNET SAN DIEGO CAL 92109.

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
PLANS CHECKED
DATE **12/27/71**
PLANS APPROVED
DATE **12/29/71**
PLOT PLAN CHECKED & APPROVED
DATE **12/29/71**
APPLICATION APPROVAL

MET/PS SIZE SERVICE SIZE CREDIT CHECKED BY
REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D WPE CONN. CHECKED BY
bg
REMARKS

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. OF INSP. DEPUTY
A. Hard
DATE **12/29/71** INSPECTOR



PARCEL NO.

IN 258 REV 6-69

SEWER WATER

INSPECTION

CONTRACTOR'S NAME

2180 17052

PARCEL NO.

IN-268 (REV. 9-76)

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

OWNER
 NAME (OR NAME OF BUSINESS)
Dixieline Lumber Co
 MAILING ADDRESS (NUMBER) (STREET)
3250 Sports Arena Blvd.
 CITY ZIP TELEPHONE NUMBER
San Diego 92138 224-4161

DESIGNER
 NAME
**Robert L. Nowak & Assoc
 Keith A. Shellman**
 ADDRESS (NUMBER) (STREET)
**1248 Oak Hill City Dr
 2510 Lake Shore Dr**
 CITY ZIP TELEPHONE NUMBER
**La Jolla 92037 446-3597
 San Diego 443-1051**

BUILDER
 NAME
Allen Havenstein
 ADDRESS (NUMBER) (STREET)
1696 Bartram Way
 CITY ZIP TELEPHONE NUMBER
El Cajon 440-3918

STATE LICENSE NUMBER CLASS. NO. CITY LICENSE NUMBER
304159 B1 46149

JOB LOCATION
 LOT 313, 3N BLOCK SUBDIVISION UNIT
351, 338 Pueblo LOTS
 JOB ADDRESS
3250 Sports Arena Blvd.
 CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
 NO. OF EXISTING BUILDINGS ON LOT AND USE
1

PROPOSED WORK
 DESCRIBE WORK TO BE DONE
Nursery

EXISTING USE OF BUILDING OR PROPERTY
Lumber Sales, Hardware
 PROPOSED USE OF BUILDING OR PROPERTY
Nursery

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby. No person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) DATE SIGNED
Dale L. Nowak 2-11-76
 AGENT FOR
Dixieline Lumber
 ADDRESS
3250 Sports Arena Blvd.

WATER
 METER SIZE SERVICE SIZE CREDIT CHECKED BY
 REMARKS

SEWER
 NO ADDITIONAL CONNECTIONS REQ'D TYPE CONN. CHECKED BY
 REMARKS

JOB ADDRESS
3250 Sports Arena Blvd.
 CENSUS TRACT NUMBER
65.00
 PERMIT NUMBER
K72537

USE ZONE
M-1
 COORD. INDEX
214-1704
 PLAN FILE NO.
79865-D

SETBACK FRONT YARD REAR YD SIDE YD (INT) (STR) NAME OF STREET

ALLOWABLE COVERAGE FLOOR AREA RAT. % ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.

LOT SPLIT DATE AGREEMENT NO. NO. OF BAR SINKS CURB TO P.L.

DATE PLANS SUBMITTED
2-11-76
 WORK TO BE DONE
 SIGN MOVE
 ALTER DEMOLISH
 REPAIR NON-RESID
 NEW RESIDENTIAL
 ADD

PLAN CHK. RECPT. NO.
56280
 PLAN CHK. RECPT. AMT
516.00

NO. UNITS PER UNIT TOTAL
5148 5200 -

FUND & ACCT. VALUATION OF WORK
100 73421 16.00

PLAN CHECK FEE
100 73422 32-

BUILDING PERMIT FEE
320 9660 50

STATE FEE
506 79750

SEWER FEE
500 79080

WATER FEE
73423

PARK FEE

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING H.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)

TOTAL FEES DUE
32.50

FIRE ZONE
3
 TYPE OF CONST.
TIN
 OCCUP. GRP.
F2
 BLDG. AREA
207
 NO. STORIES
1
 TOTAL AREA
207
 SPRINKLERS REQ'D FOR
HOT. IN FT.

PLANS CHECKED
P. P. Myers 2/20/76
 DATE
 PLAN APPROVED
C. L. Steyers 2/23/76
 DATE
 PLOT PLAN CHK'D & APP'D
Per zoning 2/20/76
 DATE
 APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILD. INSP. DEPT. DEPUTY
C. L. Steyers
 DATE
2/23/76
 INSPECTOR



CITY OF EL CAJON

190

ENGINEERING & DEV. APPROVAL

ZONING APPROVAL

HEALTH DEPT. APPROVAL

30' HT. LIMIT
H.O. 544, 3202

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS
3750 SPORTS ARENA.

CENSUS TRACT NUMBER **6500** PERMIT NUMBER **#17334**

OWNER
NAME (OR NAME OF BUSINESS)
DIXIE LINE LUMBER CO.
MAILING ADDRESS (NUMBER) (STREET)
POST OFFICE Box 1051
CITY PHONE NUMBER
SAN DIEGO 2244161

DESIGNER
NAME
ROBERT K. BURKETT
ADDRESS (NUMBER) (STREET)
1950 5th AVE
CITY TELEPHONE NUMBER
SAN DIEGO 233 1855

BUILDER
NAME
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER
STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

JOB LOCATION
LOT #14, BLOCK SUBDIVISION UNIT
2112337 1 PUERLO LOTS
JOB ADDRESS
3750 SPORT'S ARENA BL
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE

PROPOSED WORK
DESCRIBE WORK TO BE DONE
2nd FLR. ADDITION
EXISTING USE OF BUILDING OR PROPERTY
MILL WORKS STORAGE
PROPOSED USE OF BUILDING OR PROPERTY
SPORTS AREA

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance

SIGNATURE (OWNER OR AGENT) DATE SIGNED
Robert K. Burkett **Jan 24 72**
AGENT FOR
ADDRESS
1950 5th AVE SAN DIEGO

SEWER WATER
METER SIZE SERVICE SIZE CREDIT CHECKED BY
REMARKS
NO ADDITIONAL CONNECTIONS REQ'D TYPE CONN CHECKED BY
REMARKS

USE ZONE **M-1** COORD INDEX **214 1704** PLAN FILE NO. **38421-D**
LOT AREA ALLOW COVERAGE TOTAL AREA COVERED
3300 83200'

SETBACK FRONT YARD REAR YD (INT) (STR) NAME OF STREET
VARIANCE NO. LOT SPLIT DATE HEALTH DEPT APPROVAL

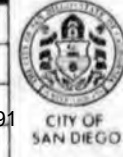
L.D. PRMT REQ'D ST IMP PRMT REQ'D ENCR PRMT REQ'D CHECKED BY
YES NO YES NO YES NO

CURB TO P/L WORK TO BE DONE
SIGN MOVE NO. CODE DWELL UNITS
PLAN CHECK REPT. NO. **11102** ALTER DEMOLISH **022**
REPAIR NON RESID 5 1 2
NEW RESIDENTIAL 3 4 5
PLAN CHK REPT. AMT **54825** ADD
VALUATION OF WORK NO. UNITS PER UNIT TOTAL
27200 37200

FUND & ACC'T
PLAN CHECK FEE **48.25**
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE **96.50**
100 SUB-TOTAL **96.50**
7342
506 SEWER FEE
79750
500 WATER FEE
79080
TRA FEE 320
TRA FEE 9660
109

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING P.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)
TOTAL FEES DUE **98.39**
FIRE ZONE **3** TYPE OF CONST **IN** OCCUP. GRD **5.5**
BLDG. AREA **3700** NO STORIES **2** BLDG. AREA **8320**
SPRINKLERS REQ'D FOR

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
DATE APPROVED **9/19/72**
DATE **9/19/72**
APPLICATION APPROVAL



THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. OF INSP. DEPUTY
H. Jucker
DATE **9/19/72** INSPECTOR

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3250 SPORTS ARENA BLVD

CENSUS
TRACT
NUMBER

65.00

PERMIT
NUMBER

H27076

30' HEIGHT
6'19"17

JRP

PARCEL NO.

OWNER
NAME (OR NAME OF BUSINESS)
DIANE LUMBER COMPANY
MAILING ADDRESS (NUMBER) (STREET)
3250 SPORTS ARENA BLVD.
CITY TELEPHONE NUMBER
SAN DIEGO, CALIF. 234-4161

DESIGNER
NAME
S/W ASSOCIATES, ARCHITECTS
ADDRESS (NUMBER) (STREET) SUITE
123 CAMINO DE LA REINA, E230
CITY TELEPHONE NUMBER
SAN DIEGO, CALIF. 291-4520

BUILDER
NAME
OWNER
ADDRESS (NUMBER) (STREET)
DIANE LUMBER CO.
CITY TELEPHONE NUMBER
STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

JOB LOCATION
BLOCK SUBDIVISION UNIT
313, 314 337 PUEBLO LOTS 313, 314 337
JOB ADDRESS
3250 SPORTS ARENA BLVD.
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
4 - SALES OFFICE & STORAGE BLDGS.
DESCRIBE WORK TO BE DONE
ADDITION TO OFFICE BLDG.
EXISTING USE OF BUILDING OR PROPERTY
OFFICE & SALES
PROPOSED USE OF BUILDING OR PROPERTY
OFFICE SPACE

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)
Richard A. Baker DATE SIGNED
10-16-72
AGENT FOR
S/W ASSOCIATES, ARCHITECTS
ADDRESS
123 CAMINO DE LA REINA, SUITE E230

METER SIZE SERVICE SIZE CREDIT CHECKED BY
REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D TYPE CONN. CHECKED BY
REMARKS

COORD. INDEX PLAN FILE NO. HEALTH DEPT. APPROVAL
214-1704 41959-D
LOT AREA ALLOW COVERAGE **100%** USE ZONE **M-1**
SETBACK FRONT YARD REAR YD. TOTAL AREA COVERED
N/C TO FT.
VARIANCE NO. LOT SPLIT DATE SIDE YD. (INT.) (STR.)

L.D. PRMT. REQ'D ST. IMP. PRMT. REQ'D ENCR. PRMT. REQ'D CHECKED BY
 YES NO YES NO YES NO

CURB TO FL. WORK TO BE DONE B.C. CODE
22
PLAN CHK. RECPT. NO. ALTER MOVE NO. BEDROOMS
31153 REPAIR DEMOLISH
PLAN CHK. RECPT. AMT. **514.50** NEW NON-RESID. DWELLING UNIT
RESIDENTIAL RESIDENTIAL

VALUATION OF WORK NO. UNITS PER UNIT TOTAL
5000.00 5000.00
FUND & ACC'T. PLAN CHECK FEE **19.50**
SUPPLEMENTAL PLAN CHECK FEE
BUILDING PERMIT FEE **29.00**
100 7342 SUB-TOTAL **DOUBLE FEE 58.00**

506 SEWER FEE
79750 WATER FEE
500 79085
St. Fee 320/1460
SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 FILE DRIVING
 OTHER (IDENTIFY)
TOTAL FEES DUE
58.50

FIRE ZONE **3** TYPE OF CONST. **W** OCCUP. GRP. **F2**
BLDG. AREA **N/C** NO. STORIES **2** TOT. FLOOR AREA **500/1200**
SPRINKLERS REQ'D FOR:

PLANS CHECKED DATE
James... **11/10/72**
CLASS APPROVED DATE
... **...**
NOT FOR PERMIT & APPROV. DATE
... **...**
APPLICATION APPROVAL

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
CITY OF SAN DIEGO
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEP. OR INSP. DEPUTY
R. D. ...
DATE
12-13-72 INSPECTOR

IN-258 (REV. 5-69)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS
3250 Sports Arena Blvd.

NAME (OR NAME OF BUSINESS)

Dixieline Lumber Company

CENSUS
TRACT
NUMBER

65.00

PERMIT
NUMBER

22410

OWNER

MAILING ADDRESS (NUMBER) (STREET)

3250 Sports Arena Blvd.

COORD. INDEX

218 17067

PLAN FILE NO.

390900

HEALTH DEPT APPROVAL

DESIGNER

NAME

S/W Associates, Architects

LOT AREA

ALLOW

COVERAGE *100 %*

USE

ZONE *M-1*

BUILDER

NAME

(Owner)

SETBACK

FRONT YARD *1*

REAR YD. *1*

TOTAL AREA COVERED

ADDRESS (NUMBER) (STREET)

123 Camino De La Reina, Suite E230

VARIANCE NO.

LOT SPLIT/DJ'YE

SIDE *1*

(INT.)

(STR)

CITY

San Diego, Calif.

TELEPHONE NUMBER

291-4520

L.D. PRMT REQ'D

ST IMP. PRMT REQ'D

ENCR PRMT REQ'D

CHECKED BY

YES NO

YES NO

YES NO

JOB LOCATION

LOT

337

BLOCK

SUBDIVISION

UNIT

313, 314

Parcel Lot B

337, 313, 314

JOB ADDRESS

3250 Sports Arena Blvd.

CONDITION OF SOIL AT JOB SITE

ORIGINAL

COMPACTED FILL

LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE

3 - Sales Office & Storage Shed

CURB TO P.L.

5

WORK TO BE DONE

B.C. CODE

22

PLAN CHK. REPT. NO.

10472

ALTER

MOVE

REPAIR

DEMOLISH

PLAN CHK. REPT. AMT

\$ 13⁰⁰

NEW

NON RESID

RESIDENTIAL

DWELLING UNITS

VALUATION OF WORK

3420

NO. UNITS

PER UNIT

TOTAL

3420

FUND & ACC'T

PLAN CHECK FEE

SUPPLEMENTAL PLAN CHK. FEE

BUILDING PERMIT FEE

100 7342

506 79750

300 79080

79080

13⁰⁰

SUB-TOTAL

SEWER FEE

WATER FEE

26⁰⁰

26⁰⁰

26⁰⁰

26⁰⁰

SPECIAL INSPECTION REQUIRED FOR

CONCRETE MASONRY WELDING, H.S. BOLTS

FILE DRIVING

OTHER (IDENTIFY)

TOTAL FEES DUE

26⁰⁰

FIRE ZONE *3*

BLOG. AREA *NC*

TYPE OF CONST. *Vn*

NO. STORIES *2*

OCCUP. GRP. *F2*

TOT. FLR. AREA *add 170*

SPRINKLERS REQ'D FOR.

ATTENTION

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

CITY OF SAN DIEGO

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

INSPECTION DEPARTMENT

PLAN CHECKED

R. Hunsicker

DATE *4-15-72*

PLANS APPROVED

R. Hunsicker

DATE *4/15/72*

PLOT PLAN CHK'D & APPRD

R. Hunsicker

DATE *4/15/72*

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OF INSP. DEPUTY

R. Hunsicker

DATE *4/15/72*

INSPECTOR

PARCEL NO.

SEWER WATER

METER SIZE	SERVICE SIZE	CREDIT	CHECKED BY
REMARKS			
NO. ADDITIONAL CONNECTIONS REQ'D	TYPE CONN.	CHECKED BY	
REMARKS			



Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS

3250 Frontier St. 8528-15 PERMIT NO. A80061

OWNER

NAME (OR NAME OF BUSINESS)
DIXIELINE LUMBER Co.

MAILING ADDRESS (NUMBER) (STREET)
2009 ROSECREANS ST.

CITY
SAN DIEGO

TELEPHONE NUMBER
698-9871

COORD. INDEX
212-170

PLAN FILE NO.
8528-15

PERMIT NO.
A80061

USE ZONE
M-1

SETBACK FRONT YARD

LOT AREA

CENSUS TRACT
H-65

REAR YD.

ALLOW COVERAGE
100%

TOTAL AREA COVERED

B.C. CODE
020

SIDE YD. (INT.)

SO FT.

DESIGNER

NAME
WEBER & EDWARDS

ADDRESS (NUMBER) (STREET)
4312 CASS ST.

CITY
SAN DIEGO

TELEPHONE NUMBER
488-1093

VARIANCE NO.

SIDE YD. (STR.)

LOT SPLIT DATE

CURB TO P.L.

SHEET IMPROV'D

ENC. PERMIT

CHECKED BY

F. 5

YES NO

YES NO

AE/EP SIZE

SERVICE SIZE

CLEARANCE

CHECKED BY

BUILDER

NAME

ADDRESS (NUMBER) (STREET)

CITY

TELEPHONE NUMBER

REMARKS

NO. ADDITIONAL CONNECTIONS REQ'D

TYPE CONN.

CHECKED BY

REMARKS

STATE LICENSE NUMBER

CLASS. NO.

CITY LICENSE NUMBER

VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
			1100
			4.50
			9.00
			13.50

JOB LOCATION

LOT 215, 318

BLOCK 337

SUBDIVISION RIEGLO LOT

UNIT

JOB ADDRESS
3250 FRONTIER

CONDITION OF SOIL AT JOB SITE

ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
NONE

PLAN CHECK FEE

FUND & ACCT

SUPPLEMENTAL PLAN CHK. FEE

BUILDING PERMIT FEE

SUB-TOTAL

SEWER PERMIT FEE

SEWER FEE

WATER FEE

WORK TO BE DONE

NEW ADD ALTER REPAIR MOVE DEMOLISH

SEWER PERMIT FEE 100

SEWER FEE 7348

SEWER FEE 506

WATER FEE 500

PROPOSED WORK

DESCRIPTION
320' OF 24" CONC. BLK. RET.

WALL

EXISTING USE OF BUILDING OR PROPERTY

PROPOSED USE OF BUILDING OR PROPERTY

NON RESIDENTIAL RESIDENTIAL

NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REQ'D. FOR

CONCRETE

MASONRY

WELDING, H & BOLTS

PILE DRIVING

OTHER

TOTAL FEES DUE

FIRE ZONE 3

BLDG. AREA

NO. STORIES

TOT. FLR. AREA

PLAN CHK. REL'PT. NO. & AMT.

DATE

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SIGNATURE (OWNER OR AGENT)
Donald H. Edwards

DATE SIGNED
8-17-67

AGENT FOR
WEBER & EDWARDS Architects

ADDRESS
4312 CASS ST.

COUNTY SANITATION DISTRICT

PRIVATE DISPOSAL APPROVAL RECEIPT NO.

HEALTH DEPT. APPROVAL

SPRINKLERS REQ'D FOR

ATTENTION

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

PLANS CHECKED

DATE

PLANS APPROVED

DATE

PLOT PLAN CHK'D & APPROV'D

DATE

APPLICATION APPROVAL

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SIGNATURE OF DEPT. OR Insp. DEPUTY

DATE

CITY OF SAN DIEGO



PARCEL NO.

OWNER
DESIGNER
BUILDER
JOB LOCATION
PROPOSED WORK
INSPECTION

Legal needed

PARCEL NO.

1-25-67 REC 1-6 81

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

JOB ADDRESS: 3250 Sport to Arena Blvd - FRONTIERS

OWNER

NAME (OR NAME OF BUSINESS): DIXIELINE Lumber Co.

MAILING ADDRESS (NUMBER) (STREET): 4009 ROSELORNS ST.

CITY: SAN DIEGO

TELEPHONE NUMBER: 298-9871

COORD. INDEX: 210-1704

PLAN FILE NO.: 8528-D

PERMIT NO.: AB0062

USE: SEIBACK

ZONE: M-1

CENSUS TRACT: N.C.5

B.C. CODE: 32

VARIANCE NO.:

DESIGNER

NAME: WEBER & EDWARDS-ARCH

ADDRESS (NUMBER) (STREET): 4312 Cass St.

CITY: SAN DIEGO

TELEPHONE NUMBER: 488-1093

LOT AREA

FRONT YARD

REAR YD.

ALLOW. COVERAGE

TOTAL AREA COVERED

SQ. FT.

LOT SPLIT DATE

CURB TO P.L.

F. 5

METER SIZE: 1 1/2"

STREET IMPROV'D: YES

ENCR. PERMIT: YES

CHECKED BY: [Signature]

BUILDER

NAME: Not Selected

ADDRESS (NUMBER) (STREET):

CITY:

TELEPHONE NUMBER:

REMARKS: see attached receipt

NO. ADDITIONAL CONNECTIONS REQ'D: 4" Street

TYPE CONNECTION: Street

CHECKED BY: [Signature]

REMARKS: Subject to final inspection and plan check

STATE LICENSE NUMBER

CLASS NO.

CITY LICENSE NUMBER

JOB LOCATION

LOT: 313, 314, 317

BLOCK: PUBLIC LOTS

SUBDIVISION: PUBLIC LOTS

UNIT:

JOB ADDRESS: 3250 FRONTIER ST.

CONDITION OF SOIL AT JOB SITE: ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE:

REMARKS

VALUATION OF WORK: 72,000

NO. UNITS: 22,000

PER UNIT: 86.75

TOTAL: 173.50

PLANNING

WATER

SEWER

PROPOSED WORK

WORK TO BE DONE: NEW ADD ALTER REPAIR MOVE DEMOLISH

DESCRIBE: OFFICE & SALES BLDG FOR Lumber Yard

EXISTING USE OF BUILDING OR PROPERTY:

PROPOSED USE OF BUILDING OR PROPERTY:

NON RESIDENTIAL RESIDENTIAL

NUMBER OF DWELLING UNITS: 1

SPECIAL INSPECTOR REQ'D FOR:

CONCRETE

MASONRY

WELDING, H.S. BOLTS

PILE DRIVING

OTHER

TOTAL FEES DUE: 752

FIRE ZONE: 3

TYPE OF CONSTR. OCCUR. ORP: IN

BLDG. AREA: 6110

NO. STORIES: 2

TOT. FIR. AREA: 9970

PLAN CHK. RECPT. NO. & AMT.: 38910 / 86.75

DATE: 6/13/67

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SIGNATURE (OWNER OR AGENT): Richard H. Williams

DATE SIGNED: June 12 '67

AGENT FOR: WEBER & EDWARDS

ADDRESS: 4312 Cass St. S.D.

COUNTY SANITATION DISTRICT RECEIPT NO.

PRIVATE DISPOSAL APPROVAL

HEALTH DEPT. APPROVAL

SPRINKLERS REQ'D FOR:

INSPECTION DEPARTMENT

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

INSPECTION DEPARTMENT

PLANNING CHECKED: J.W. Mulrod

DATE: 7-10-67

PLANS APPROVED: [Signature]

DATE: 8/21/67

PLOT PLAN CHK'D & APPROV'D: [Signature]

DATE: 8/21/67

APPLICATION APPROVAL

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SIGNATURE OF DEPT. OR INSP. DEPT.: [Signature]

DATE: 8/21/67

INSPECTOR



CITY OF SAN DIEGO

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

JOB ADDRESS

3250 FRONTIER ST. West Heavy Blvd

NAME (OR NAME OF BUSINESS) DIXIELINE LUMBER CO.
MAILING ADDRESS (NUMBER) (STREET) 4009 ROSECRAWN ST.
CITY SAN DIEGO TELEPHONE NUMBER 298-9871

COORD. INDEX PLAN FILE NO. PERMIT NO. A82818
214-1704 9277D
USE ZONE M-1 SETBACK FRONT YARD - LOT AREA REAR YD. -
CENSUS TRACT N-67 BEAR YD. - ALLOW. COVERAGE 100 %
B.C. CODE 018 SIDE YD. (INT.) - TOTAL AREA COVERED
VARIANCE NO. SIDE YD. (STR) - LOT SPLIT DATE

DESIGNER NAME WEBER & EDWARDS ARCHITECT
ADDRESS (NUMBER) (STREET) 4312 CASS ST.
CITY SAN DIEGO 9 TELEPHONE NUMBER 488-1093

CURB TO P.L. STREET IMPROV'D ENCR. PERMIT CHECKED BY
E 3 YES NO YES NO
METER SIZE SERVICE SIZE CLEARANCE CHECKED BY

OWNER NAME
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D. TYPE CONN. CHECKED BY
REMARKS

STATE LICENSE NUMBER CLASS. NO. CITY LICENSE NUMBER

VALUATION OF WORK NO. UNITS TOTAL
24650 34730 - 34,650.00

LOT 313, 314, 337 BLOCK SUBDIVISION PORTIONS OF PUEBLO UNIT
JOB ADDRESS 3250 FRONTIER ST.
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE 1

PLAN CHECK FEE FUND & ACC'T. Pch. 77.00
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE Pch. 40.00
SUB TOTAL 100 7342 40.00
SEWER PERMIT FEE 100 7348 2.50
SEWER FEE 506 7743
WATER FEE 500 7908

WORK TO BE DONE NEW ADD ALTER REPAIR MOVE DEMOLISH
DESCRIBE LUMBER STORAGE RACK
EXISTING USE OF BUILDING OR PROPERTY OFFICE & RETAIL SALES
PROPOSED USE OF BUILDING OR PROPERTY LUMBER CO.
 NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REQ'D. FOR
 CONCRETE FIRE ZONE 3 TYPE OF CONST. OCCUP. ORP
 MASONRY WELDING, H.S. BOILS BLDG. ARE NO. STORES TOT. FLR. AREA
 PILE DRIVING OTHER W/wood 11690
TOTAL FEES DUE 40.00
PLAN CHK. REC'D. NO. & AMT. DATE
47571 77.00 8-10-67

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SIGNATURE (OWNER OR AGENT) Wm M Wynn DATE SIGNED 7-10-67
AGENT FOR WEBER & EDWARDS ARCHITECT
ADDRESS 4312 CASS ST.
COUNTY SANITATION DISTRICT PRIVATE DISPOSAL APPROVAL
HEALTH DEPT. APPROVAL: SPRINKLERS REQ'D FOR:

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED INSPECTION DEPARTMENT
CITY OF SAN DIEGO
PLAN CHECKED G.W. Murdoch DATE 9-11-67
PLANS APPROVED G.W. Murdoch DATE 9-14-67
NOT PLAN CHECK'D & APPRO'D Per Planning Wm DATE 9/14/67
APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF DEPT. OF H.S.P. DEPUTY P.W. Amiller DATE 9-14-67 INSPECTOR



PARCEL NO

OWNER

DESIGNER

BUILDER

JOB LOCATION

PROPOSED WORK

PLANNING

ENG.

WATER

SEWER

INSPECTION

IN-258 (REV. 1-67)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS
Front Arona Blvd
3250 FRONTIER STREET
COORD. INDEX 24-1704 PERMIT NO. 88206
92770 A84655

OWNER

NAME (OR NAME OF BUSINESS)
~~XXXXXXXXXX~~ TIKIELINE LUMBER
MAILING ADDRESS (NUMBER) (STREET)
4009 ROSECRAWN ST.
CITY SAN DIEGO TELEPHONE NUMBER
298-9871

USE ZONE M-1 SETBACK FRONT YARD REAR YD. LOT AREA
CENSUS TRACT N-67 ALLOW COVERAGE 100%
B.C. CODE 022 SIDE YD. (INT.) TOTAL AREA COVERED
VARIANCE NO. SIDE YD. (STR.) LOT SPLIT DATE

DESIGNER

NAME
WEBER & EDWARDS ARCHITECT
ADDRESS (NUMBER) (STREET)
4312 COSS ST.
CITY SAN DIEGO TELEPHONE NUMBER
408-1093

CURB TO P.I. STREET IMPROV'D ENCR. PERMIT CHECK'D BY
F S YES NO YES NO
METER SIZE SERVICE SIZE CLEARANCE CHECKED BY

BUILDER

NAME
ADDRESS (NUMBER) (STREET)
CITY TELEPHONE NUMBER

REMARKS
NO. ADDITION CONNECTIONS REQ'D. TYPE CONN. CHECKED BY
REMARKS

JOB LOCATION

STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER

VALUATION OF WORK NO. UNITS PER UNIT

LOT BLOCK SUBDIVISION UNIT
JOB ADDRESS
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE

PLAN CHECK FEE FUND & ACC'T. 22.50
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE
SUB-TOTAL 100 7342 22.50
SEWER PERMIT FEE 100 7348 2.50
SEWER FEE 506 7743
WATER FEE 500 7908

PROPOSED WORK

WORK TO BE DONE NEW ADD ALTER REPAIR MOVE DEMOLISH
DESCRIBE
Structural detail change
EXISTING USE OF BUILDING OR PROPERTY
PROPOSED USE OF BUILDING OR PROPERTY
NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REQ'D FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER
TOTAL FEES DUE 22.50
FIRE ZONE 3 TYPE OF CONSTRUCTION F-2
BLDG. AREA NO. STORIES TOT. FIR. AREA
PLAN CHK. REC'T. NO. & AMT. DATE

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT

PLANS CHECKED DATE
APPROVED
G.W. Mendenhall 10-2-67
NOT PLAN AND D. APPR'D DATE
J. Freed 10/2/67
APPLICATION APPROVAL

SIGNATURE (OWNER OR AGENT)
Alvin W. Hummer DATE SIGNED 9-27-67
AGENT FOR
WEBER & EDWARDS ARCHITECT
ADDRESS
4312 COSS ST.
COUNTY SANITATION DISTRICT PRIVATE DISPOSAL APPROVAL
RECEIPT NO.
HEALTH DEPT. APPROVAL SPRINKLERS REQ'D FOR

INSPECTION DEPARTMENT

CITY OF SAN DIEGO

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF INSPECTOR OR DEPUTY
J. Freed
DATE 10/2/67
INSPECTOR

PARCEL NO.

IN 258 REV. 4-67 2-1

PARCEL NO.

IN 25 SEC. 147. 67

Building Permit Application		APPLICANT FILL INSIDE HEAVY LINES		JOB ADDRESS 3250 FRONTIER			
OWNER	NAME (OR NAME OF BUSINESS) DIXIELINE LUMBER			COORD. INDEX 214-1704	PLAN FIRE NO.	PERMIT NO. A85736	
	MAILING ADDRESS (NUMBER) (STREET) 3250 FRONTIER			USE ZONE M-1	SETBACK FRONT YARD	LOT AREA	
DESIGNER	CITY SD.			CEMENSUS TRACT N-67	REAR YD.	ALLOW. COVERAGE	
	NAME			B.C. CODE Sign	SIDE YD. (INT.)	TOTAL AREA COVERED	
BUILDER	ADDRESS (NUMBER) (STREET)			VARIANCE NO.	SIDE YD. (STR.)	LOT SPLIT DATE	
	CITY SAN DIEGO QRS SIGNS			CURB TO P.L. E <input type="checkbox"/> S <input type="checkbox"/>	STREET IMPROV'D YES <input type="checkbox"/> NO <input type="checkbox"/>	ENCR. PERMIT YES <input type="checkbox"/> NO <input type="checkbox"/>	CHECKED BY
JOB LOCATION	ADDRESS (NUMBER) (STREET) 452 NINTH AVENUE			METER SIZE	SERVICE SIZE	CLEARANCE	
	CITY SAN DIEGO			REMARKS			
PROPOSED WORK	STATE LICENSE NUMBER 290977	CLASS. NO. 8-45	CITY LICENSE NUMBER 11292	NO. ADDITIONAL CONNECTIONS REQ'D			CHECKED BY
	LOT	BLOCK	SUBDIVISION	UNIT	REMARKS		
JOB ADDRESS 3250 FRONTIER				VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
CONDITION OF SOIL AT JOB SITE				PLAN CHECK FEE	FUND & ACC'T.		
<input type="checkbox"/> ORIGINAL <input type="checkbox"/> COMPACTED FILL <input type="checkbox"/> LOOSE FILL				SUPPLEMENTAL PLAN CHK. FEE			
NO. OF EXISTING BUILDINGS ON LOT AND USE				BUILDING PERMIT FEE			
WORK TO BE DONE				SUB-TOTAL	100		
DESCRIBE RECT D/F INT. ILLUM PLEX				SEWER PERMIT FEE	100		
EXISTING USE OF BUILDING OR PROPERTY				SEWER FEE	7348	2	50
PROPOSED USE OF BUILDING OR PROPERTY				SEWER FEE	306		
<input type="checkbox"/> NON RESIDENTIAL <input type="checkbox"/> RESIDENTIAL				WATER FEE	500		
NUMBER OF DWELLING UNITS				SPECIAL INSPECTOR REQ'D FOR	TOTAL FEES DUE		
SIGNATURE (OWNER OR AGENT) <i>[Signature]</i>				<input type="checkbox"/> CONCRETE	FIRE ZONE 3 TYPE OF CONST. STCN		
AGENT FOR: SAN DIEGO QRS SIGNS				<input type="checkbox"/> MASONRY	BLDG. AREA NO. STORIES LOT AREA		
DATE SIGNED 10-1-67				<input type="checkbox"/> WELDING, H.S. BOLTS	PLAN CHK. RECPT. NO. & AM DATE		
ADDRESS 452 NINTH AVE., SAN DIEGO				<input type="checkbox"/> PILE DRIVING	PLANS CHECKED <i>[Signature]</i> DATE 9/16/67		
COUNTY SANITATION DISTRICT RECEIPT NO.				<input type="checkbox"/> OTHER	PLANS APPROVED <i>[Signature]</i> DATE 10/11/67		
HEALTH DEPT. APPROVAL				ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED			
SPRINKLERS REQ'D FOR				INSPECTION DEPARTMENT			
				CITY OF SAN DIEGO			

PLANNING
ENG.
WATER
SEWER
INSPECTION



ST 11-67-12708-4-4444-00

PLANS CHECKED
[Signature] DATE **9/16/67**

PLANS APPROVED
[Signature] DATE **10/11/67**

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF DEPT. OF INSP. DEPUTY
[Signature]

DATE **10/11/67**

INSPECTOR

PARCEL NO. 8528-0

PARCEL NO.

IN 258 (REV. 1-67)

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

JOB ADDRESS 3250 FRONTIER STREET

OWNER NAME (OR NAME OF BUSINESS) DIXIELINE LUMBER CO. MAILING ADDRESS (NUMBER) 4009 ROSECRANS ST. CITY SAN DIEGO. TELEPHONE NUMBER 298-9871

COORD. INDEX 214-1704 PLAN FILE NO. 9277D PERMIT NO. A82819 USE ZONE M-1 SETBACK FRONT YARD LOT AREA CENSUS TRACT N 67 REAR YD. ALLOW. COVERAGE 100% B.C. CODE 010 SIDE YD. (INT.) TOTAL AREA COVERED SQ. FT. VARIANCE NO. SIDE YD. (STR.) LOT SPLIT DATE

DESIGNER NAME WEBER & EDWARDS ARCHITECT ADDRESS (NUMBER) 4312 CASS ST. CITY SAN DIEGO 9. TELEPHONE NUMBER 488-1093

CURB TO P.L. F. 5 STREET IMPROVD. YES NO ENCR. PERMIT CLEARANCE CHECKED BY DATE

UILDER NAME ADDRESS (NUMBER) CITY TELEPHONE NUMBER

REMARKS NO. ADDITIONAL CONNECTIONS REQ'D. TYPE CONN. CHECKED BY DATE

STATE LICENSE NUMBER, CLASS NO., CITY LICENSE NUMBER

VALUATION OF WORK NO. UNITS 64,176 TOTAL 64,176.00

JOB LOCATION LOT 313, 314, 317 BLOCK PORTLAND OF PUEBLO UNIT JOB ADDRESS 3250 FRONTIER ST. CONDITION OF SOIL AT JOB SITE ORIGINAL COMPACTED FILL LOOSE FILL NO. OF EXISTING BUILDINGS ON LOT AND USE 1

PLAN CHECK FEE FUND & ACC'T 81.50 - 40.50 SUPPLEMENTAL PLAN CHK. FEE BUILDING PERMIT FEE SUB-TOTAL 100 7342 SEWER PERMIT FEE 2 50 250 SEWER FEE 506 7743 WAIVER FEE 500 7908

PROPOSED WORK WORK TO BE DONE NEW ADD ALTER REPAIR MOVE DEMOLISH DESCRIBE LUMBER STORAGE RACK. LUMBER MILL BUILDING. EXISTING USE OF BUILDING OR PROPERTY OFFICE & RETAIL SALES PROPOSED USE OF BUILDING OR PROPERTY LUMBER COMP. NON RESIDENTIAL RESIDENTIAL NUMBER OF DWELLING UNITS

SPECIAL INSPECTOR REG'D. FOR CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING OTHER TOTAL FEES DUE 4945.00 FIRE ZONE 3 TYPE OF OCCUP. GRP. E3 MILK PROCESSING BLDG. AREA 2,440 1 WORKER 11,690

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction; and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance. SIGNATURE (OWNER OR AGENT) M. W. Miller DATE SIGNED 7-10-67 AGENT FOR WEBER & EDWARDS ARCHITECT ADDRESS 4312 CASS ST. COUNTY SANITATION DISTRICT RECEIPT NO. PRIVATE DISPOSAL APPROVAL HEALTH DEPT. APPROVAL: SPRINKLERS REQ'D FOR.

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED INSPECTION DEPARTMENT \$29 14-67 PERM. 126674-4-67-191457 PLAN CHK. REPT. NO. & AMT. 47571 4057 DATE 8-10-67 PLAN CHECKED G. W. Murdoch DATE 7-11-67 PLAN APPROVED G. W. Murdoch DATE 9-11-67 FOOT PLAN CHK'D & APPROV. DATE 9-14-67 APPLICATION APPROVAL W. Miller DATE 9-14-67 INSPECTOR



Building Permit Application

APPLICANT FILL IN THESE HEAVY LINES

OWNER
NAME (OR NAME OF BUSINESS)
Dixieline Lumber Co.
MAILING ADDRESS (NUMBER) (STREET)
3250 Sports Arena Blvd
CITY
San Diego
TELEPHONE NUMBER
224-4161

DESIGNER
NAME
George Fletcher
ADDRESS (NUMBER) (STREET)
2188 San Diego Ave
CITY
San Diego
TELEPHONE NUMBER
296-1676

BUILDER
NAME
Allen Havenstein
ADDRESS (NUMBER) (STREET)
12430 Ridgeton Drive
CITY
Lakeside
TELEPHONE NUMBER
92040 561-4073

STATE LICENSE NUMBER
304159
CLASS. NO.
B1
CITY LICENSE NUMBER
46149
LOT NO.
33,314,397
BLOCK
338
SUBDIVISION
Rieblo Lands of SD
UNIT

JOB LOCATION
JOB ADDRESS
3250 Sports Arena Blvd
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
3 - retail sails, storage, offices
DESCRIBE WORK TO BE DONE
remodel existing nursery

PROPOSED WORK
EXISTING USE OF BUILDING OR PROPERTY
retail sales
PROPOSED USE OF BUILDING OR PROPERTY
retail sales

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen Compensation Insurance.

SIGNATURE (OWNER OR AGENT)
[Signature] V.P.
DATE SIGNED
2-1-78

AGENT FOR
Dixieline Lumber Co
ADDRESS
3250 Sports Arena Blvd

METER SIZE
EX 1 1/2
SERVICE SIZE
CREDIT
CHECKED BY
[Signature]
NO. ADDITIONAL CONNECTIONS REQ'D
TYPE CONN.
CHECKED BY
[Signature]
REMARKS
no cap. due
CHECKED BY
[Signature]

4-24-78
PARCEL NO.

3250 SPORTS ARENA BLVD
CENSUS TRACT NUMBER
65.00
PERMIT NUMBER
L 89837

USE ZONE
M-1
COORD. INDEX
214-1705
PLAN FILE NO.
E61278
LOT AREA
ALLOWABLE COVERAGE
TOTAL AREA COVERED
FLOOR AREA RATIO

SETBACK FRONT YARD
REAR YD
SIDE YD
(INT) (STRI) NAME OF STREET
MAX. ALLOWABLE HEIGHT (FT.)
VARIANCE NO.
LOT SPLIT DATE
HEALTH DEPT. APPROVAL
CURB TO P.L.
F
S
PLAN CHK. REPT. NO.
56321
PLAN CHK. REPT. AMT
\$5950
WORK TO BE DONE
SIGN
ALTER
REPAIR
NEW ADD
 MOVE
 DEMOLISH
 NON-RESID
 RESIDENTIAL
B.C. CODE
180
DWELL UNITS
S 1 2
3 4 5*

VALUATION OF WORK
NO. UNITS
PER UNIT
TOTAL
37,000 - 37,000
FUND & ACC'T.
PLAN CHECK FEE
59 50
SUPPLEMENTAL PLAN CHK. FEE
BUILDING PERMIT FEE
100 7342
SUB-TOTAL
119 -
119 -
500 79750
SEWER FEE
500 79080
WATER FEE
320 9680
STATE FEE
259

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING H'S BOLS
 PILE DRIVING
 OTHER (IDENTIFY)
TOTAL FEES DUE
12159
FIRE ZONE
3
TYPE OF CONST.
THUS
OCCUP. GRP
F2
BUILDING AREA
NO. STORIES
2
JOB IN AREA
HGT. IN FT.
23180
SPRINKLERS REQ'D FOR

ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
PLANS CHECKED
E. RAMIREZ
PLANS APPROVED
[Signature]
DATE
2-22-78
DATE
3/14/78
APPROVED
[Signature]
DATE
3/14/78
APPLICATION APPROVAL



CITY OF SAN DIEGO
INSPECTION DEPARTMENT
SIGNATURE (CITY DEPT. OF INSP. DEPUTY)
[Signature]
DATE
3-14-78
FILE

HO. 3202

ZONING APPROVAL

30' HT. LIMIT

COURTIERMAN
N AHE BRITTON

PARCEL NO.

IN-26B (REV. 9-75)

Building Permit Application APPLICANT FILL INSIDE HEAVY LINES

NAME (OR NAME OF BUSINESS)
Dixieline Lumber Co

MAILING ADDRESS (NUMBER) (STREET)
3250 Sports Arena Blvd

CITY (NUMBER) (STREET) ZIP TELEPHONE NUMBER
San Diego 92138 224-4161

DESIGNER
NAME
George Fletcher

ADDRESS (NUMBER) (STREET) ZIP TELEPHONE NUMBER
2188 San Diego Ave San Diego 296-1676

BUILDER
NAME
George Fletcher

ADDRESS (NUMBER) (STREET) ZIP TELEPHONE NUMBER
2188 San Diego Ave San Diego 296-1676

STATE LICENSE NUMBER CLASS NO CITY LICENSE NUMBER

LOT FOR BLOCK SUBDIVISION UNIT
313, 314 337, 338 — PUEBLO LANDS OF S.D.

JOB ADDRESS
3250 Sports Arena Blvd

CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
3 office, sales, storage

DESCRIBE WORK TO BE DONE
add 2nd story office space

EXISTING USE OF BUILDING OR PROPERTY
retail lumber yard

PROPOSED USE OF BUILDING OR PROPERTY
same

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) DATE SIGNED
[Signature] 2/24/77

AGENT FOR
Dixieline Lumber Co

ADDRESS
3250 Sports Arena Blvd

METER SIZE	SERVICE SIZE	CREDIT	CHECKED BY
REMARKS			
NO. ADDITIONAL CONNECTIONS REQ'D	TYPE CONN	CHECKED BY	
REMARKS			

JOB ADDRESS
3250 SPORTS ARENA BLVD

CENSUS TRACT NUMBER
65.00

PERMIT NUMBER
L 35268

USE ZONE
M-1

COORD. INDEX
214-1705

PLAN FILE NO.
92822-D

SETRACK FRONT YARD REAR YD SIDE YD (INT) (STR) NAME OF STREET

ALLOWABLE COVERAGE FLOOR AREA RATIO % ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.

LOT SPLIT DATE AGREEMENT NO. NO. OF BAR SINKS CURB TO P.L. F S

DATE PLANS SUBMITTED: **2/24/77** WORK TO BE DONE
SIGN MOVE
ALTER DEMOLISH
REPAIR NON-RESID.
PLAN CHK. REPT. NO. **09211-1B** RESIDENTIAL
PLAN CHK. REPT. AMT. **\$85.50** NEW ADD

B.C. CODE DWELL UNITS
220

S	1	2
3	4	5

FUND & ACCT.	NO UNITS	VALUATION OF WORK	PER UNIT	TOTAL
100 73421		PLAN CHECK FEE	85.50	
		SUPPLEMENTAL PLAN CHK FEE		3
100 73422		BUILDING PERMIT FEE		177
320 9680		STATE FEE		4.66
506 79750		SEWER FEE		
500 79080		WATER FEE		
73423		PARK FEE		

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 OTHER (IDENTIFY)

TOTAL FEES DUE
184.66

FIRE ZONE 3	TYPE OF CONST IN	OCCUP GRP 7
BLDG AREA 0/1,200	NO STORIES 2	LOT FIB AREA 2700/308
SPRINKLERS REQ'D FOR		HGT. IN FT.

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT
CITY OF SAN DIEGO

APR - 5-77
MAY 11 1977
112215
1976

PLANS CHECKED DATE
LEWIS 3/8/77

PLANS APPROVED DATE
[Signature] 4/8/77

PLOT PLAN CHECK & APPR'D DATE
[Signature] 4/7/77

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED

SIGNATURE OF BUILDER, INSP. DEPT. DEPUTY
[Signature] 4/8/77

FILE

INSPECTION ZONING APPROVAL: ENGINEERING & DEV. APPROVAL:

HEALTH DEPT. APPROVAL:



Permit Application

City of San Diego Building Inspection Department
1222 First Avenue, MS 301, San Diego, CA 92101 (619) 236-6270

1. Permit Type

Combination Building Mobile Home Electrical Plumbing & Gas Mechanical Demolition
 Relocation Remove Building

2. Project Information

Plan File No. **AC08873-89**

Address **3250 SPORTS ARENA BLVD.** Building or Suite No.

Legal Description
Lot No. Block No. Subdivision Name Unit No. Map No. **MC1550**

Parcel No. **760-102-01-00** Parcel Map No. **PUBLIC LAND** Assessor's Parcel No.

Existing Use **RETAIL HOME CNTR** Condition of Soil at Site Undisturbed Compact Fill Loose Fill

Description of Work **TENNANT IMPROVEMENT - B-MODUL** Total Floor Area

Designer name **DON COLOT** Address **3421 TRIPP CT**

City **SAN DIEGO CA** State Zip Code **92121-1014** Telephone **4559441** License Number

3. Applicant

Contractor Agent for Contractor Owner Agent for Owner

Name **RANDY WOOD** Address **3250 SPORTS ARENA BLVD**

City **SAN DIEGO** State **CA** Zip Code **92120** Telephone **324-4120**

4. Property Owner

Owner Lessee or Tenant

Name **CITY OF SAN DIEGO** Address

City State Zip Code Telephone

5. Contractor

Name **OWNER / BUILDER** Address **3250 SPORTS ARENA BLVD.**

City **SAN DIEGO** State **CA** Zip Code **92120** Telephone **324-4120**

State License No. License Class City Business Tax No.

Licensee/Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 commencing with Section 70000 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature Title Date

6. Workers' Compensation

Workers' Compensation Declaration: I hereby affirm that I have a certificate of coverage, a self-insurance certificate of Workers' Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (See 3800 Lab C).

Insurance Company **CUNEIFIX & BLOCK** Policy No. **MC 5246688** Expiration Date **3-1-90**

Certificate of Exemption: I certify that in the performance of the work for which this permit is issued, I shall not employ any person or any person to be or become subject to the Worker's Compensation Laws of California.

Signature Date **10-17-89**

7. Owner-Builder Declaration

Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (See 7044.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the Applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Section 7000 of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (See 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (See 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractors licensed pursuant to the Contractor's License Law.

I am exempt under Section 7044.5 of the Business and Professions Code.

Signature Date **10-17-89**

8. Construction Lending Agency

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (See 3807, City C).

Lender's Name **SELF FUNDED** Lender's Address

9. Applicant's Signature

I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code (which benefits related to such provisions), I will further certify in the event I do not comply with the Worker's Compensation Law, this permit shall be deemed void.

Signature Date **10-17-89**

Midway PD area B
air. app.

C.T. 65.00 HO 3202
214 1705



PERMIT APPLICATION

CITY OF SAN DIEGO BUILDING INSPECTION DEPARTMENT
1222 First Avenue, MS-301, San Diego, Ca 92101 (619) 236-8270

Continuation Permit Building Permit Electrical Permit Plumbing & Gas Permit Mechanical Permit Relocation Permit Demolition Permit Mobile Home Permit

E 006426 P 007053 M 003528

Plan File No. A00 5284-07

1. PROJECT INFORMATION

ADDRESS: **3250 SPORTS ARENA BLVD.** BUILDING OR SUITE NO. _____

LOT NO. **513, 514, 557, 558** BLOCK NO. _____ SUBDIVISION NAME _____ UNIT NO. _____ MAP NO. _____

PARCEL NO. _____ PARCELS MAP NO. _____ ASSESSOR'S PARCEL NO. **160-102-01**

EXISTENTIAL TO: **DIEXLINE LUMBER/HOME CENTER** CONDITION OF SOIL AT SITE: UNDISTURBED COMPACT FILL CLOSURE FILL

DESCRIPTION OF WORK: **ADD SECOND SIDEY OFFICE SPACE (PARTIAL)** TOTAL FLOOR AREA: **1736**

Removal of soffits in 3

2. APPLICANT

NAME: **DON COORDY & CO. INC.** TELEPHONE NO. **455-9444** CONTRACTOR OWNER AGENT FOR CONTRACTOR

ADDRESS: **SAN TRIPP CT #3** CITY: **S.D.** STATE: **CA.** ZIP CODE _____

3. PROPERTY OWNER

NAME: **DIEXLINE LUMBER** TELEPHONE NO. _____ DOWNER: LESSEE OR TENANT

ADDRESS: **3250 SPORTS ARENA BLVD** CITY: **S.D.** STATE: **CA.** ZIP CODE _____

4. CONTRACTOR

NAME _____ TELEPHONE NO. _____

ADDRESS _____ CITY _____ STATE _____ ZIP CODE _____

STATE LICENSE NO. _____ LICENSE CLASS _____ CITY BUSINESS LICENSE NO. _____

LICENSED CONTRACTOR'S DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 8 commencing with Section 70000 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

SIGNATURE _____ TITLE _____ DATE _____

5. WORKER'S COMPENSATION

OWNER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (Sec. 3800, Lab. C).

INSURANCE COMPANY _____ POLICY NO. _____ EXPIRATION DATE _____

STATE OF EXEMPTION: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.

SIGNATURE *[Signature]* DATE **11-10-87**

6. OWNER-BUILDER DECLARATION

OWNER-BUILDER DEC. AT TOP: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 704, Business and Professions Code): My city or county shall require a permit to construct, alter, improve, demolish, or repair any structure prior to its erection, also require the applicant for such permit to be licensed pursuant to the provisions of the Contractor's License Law (Chapter 8, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that I am a exempt therefrom, and the basis for the largest exemption: Any violation of Section 701.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than the hundred dollars (\$100).

As owner of the property, or my representative with adequate knowledge of the work and the structure to be erected or altered for use (Sec. 704, Business and Professions Code) The Contractor's License Law does not apply to me as owner of property who builds or repairs structures, and who also acts both myself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is not solely my own construction, the owner-builder will have the burden of proving that he did not build or repair for the purpose of sale.

As owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 704, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or repairs structures, and operates for such projects with a contractor's license pursuant to the Contractor's License Law.

An owner under factor _____ & B P C for the reason _____

SIGNATURE *[Signature]* DATE **11/10/87**

7. CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 309, Civ. C).

LENDER'S NAME _____ LENDER'S ADDRESS _____

8. APPLICANT'S SIGNATURE

I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the property mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply with the same. If I do not comply with the Worker's Compensation law, this permit shall be deemed revoked.

SIGNATURE *[Signature]* DATE **8/12/87**

203

11-10-87

3350 SPORTS ARENA BOULEVARD

COUNTERMAN NAME **BRITTON**

Building Permit Application

NAME OF OWNER OF BUSINESS
Equity Investments
MAILING ADDRESS
3110 Hancock Street
CITY
San Diego 92110 TELEPHONE NUMBER
298-2994

NAME
Roy Johnson, A.I.A.
ADDRESS MEMBER
8348 Center Drive, Suite E
CITY
La Mesa 92041 TELEPHONE NUMBER
462-8660

NAME
G. L. Frien Const. Co., Inc.
ADDRESS MEMBER
7902 Dagget Street
CITY
San Diego 92111 TELEPHONE NUMBER
565-1444

STATE LICENSE NUMBER
280358 CLASS NO.
B-1 CITY LICENSE NUMBER
16533

LOT
Por Public Lot 313 & 338
JOB ADDRESS
3350 Sports Arena Blvd.
NO. OF EXISTING BUILDINGS ON LOT AND USE
None - no use.

PROPOSED WORK
Building 1 - Masonry commercial building.

PROPOSED USE OF BUILDING FOR PROPERTY
None
PROPOSED USE OF BUILDING FOR PROPERTY
Retail Stores & Theatre

APPLICANT SIGNATURE
[Signature]
DATE SIGNED
10/21/76
NAME OF APPLICANT
Equity Investments
ADDRESS
3110 Hancock Street San Diego, CA 92110

APPROVED BY
WATER
SEWER
NO ADDITIONAL CONNECTIONS REQUIRED
REMARKS
[Handwritten notes]

Table with columns: PERMITS FRONT YARD, REAR YARD, SIDE YARD, NAME OF STREET, ALLOWABLE COVERAGE, FLOOR AREA, HAZ. WASTING, VARIANCE NO., DATE PERMIT DATE, AGREEMENT NO., NO. OF PERMITS, CLASS TO P.L., DATE CLASS SUBMITTED, WORK TO BE DONE, PLAN OR. REC., PERM. NO., REPAIR, RECEPT. AND.

Table with columns: FUND & ACCT., FEE, PERCENT, TOTAL, PLAN CHECK FEE, SUPPLEMENTAL PLAN CHECK FEE, BUILDING PERMIT FEE, STATE FEE, POWER FEE, WATER FEE, PARK FEE.

Table with columns: SPECIAL INSPECTION REQUIREMENTS, TOTAL FEES DUE, CONCRETE, MASONRY, RESIDUAL INS. COSTS, FIRE DRIVING, OTHER SERVICE.

ATTENTION THE PERMIT AUTHORITY ONLY THE WORK NOTICED
CITY OF SAN DIEGO
PLANNING DEPT.
APPROVAL APPROVAL
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
DATE

IN-258 (REV. 9-75)

Building Permit Application

APPLICANT WILL INSIDE THE LINES

NAME FOR NAME OF BUSINESS:

Equity Investments

MAILING ADDRESS (NUMBER) (STREET)

3110 Hancock Street

CITY ZIP TELEPHONE NUMBER

San Diego 92110 298-2994

NAME

Roy Johnson, A.I.A.

ADDRESS (NUMBER) (STREET)

8348 Center Drive, Suite B

CITY ZIP TELEPHONE NUMBER

La Mesa 92041 462-8660

NAME

G. H. Prish Const. Co., Inc.

ADDRESS (NUMBER) (STREET)

7902 Dagget Street

CITY ZIP TELEPHONE NUMBER

San Diego 92111 565-1444

STATE LICENSE NUMBER CLASS. NO. CITY LICENSE NUMBER

280358 B-1 16533

LOT BLOCK SUBDIVISION (LPT)

Por Pueblo Lot 313 & 318

ADDRESS

3350 Sports Arena Blvd.

CONDITION OF SOIL AT JOB SITE

ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE

None - No use.

DESCRIBE WORK TO BE DONE

Building 1 - Masonry

commercial building.

EXISTING USE OF BUILDING OR PROPERTY

None

PROPOSED USE OF BUILDING OR PROPERTY

Retail Stores & Theatre

I hereby acknowledge that I have read this application that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation insurance.

SIGNATURE (OWNER OR AGENT)

[Signature]

DATE SIGNED

10/21/76

AGENT FOR

Equity Investments

ADDRESS

3110 Hancock Street

San Diego, CA 92110

METER SIZE SERVICE SIZE CRITERIA CHECKED BY

REMARKS

NO ADDITIONAL CONNECTIONS REQUIRED

REMARKS

202-13306

USE ZONE **M-1** COORD. INDEX **214-1704** PLAN FILE NO. **85243-D**

TRACK FRONT YARD REAR YD SIDE YD (INT) (STR) NAME OF STREET

ALLOWABLE COVERAGE FLOOR AREA RATIO ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.

LOT SPLIT DATE AGREEMENT NO. NO. OF SINKS CURB TO P.L.

DATE PLANS SUBMITTED: **10/24/76** WORK TO BE DONE SIGN MOVE DEMOLISH REPAIR NON RESO RESIDENTIAL

PLAN CHK. REC. **10/28/76** PLAN CHK. **6/25/76** REPT. AMT. **5320**

PLND ACCY. VALUATION OF WORK **1,097,500** PER UNIT **1,339,000** TOTAL

100 73421 PLAN CHECK FEE **612.25**

100 73422 SUPPLEMENTAL PLANS/CHK. FEE

320 9080 BUILDING PERMIT FEE **1456.00**

506 79750 STATE FEE **93.10**

70750 SEWER FEE **250.00**

100 79080 WATER FEE **1095.00**

73423 PARK FEE

SPECIAL INSPECTION PROVIDED FOR

CONCRETE MASONRY WELDING HS BOLTS PRE DRIVING OTHER IDENTIFY: **201**

TOTAL FEES DUE **3010.60**

FIRE ZONE **3** (TYPE OF FOUND. OCCUP. OR BLDG. AREA) (NO. STORIES) (TOTAL FEE AREA) **51,800 2 55,200**

SPRINKLERS REQ'D FOR (SQ. FT.)

PLANS CHECKED **Lyons** DATE **11-10-77**

PLANS APPROVED DATE **11-21-77**

PLAT PLANS CHECKED & APPROVED DATE **11-23-77**

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNLESS SHOWN BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILD. INSP. DEPT. DEPUTY

DATE **3-24-77** INSPECTOR



COUNTYMAN NAME **BRITTON**

PARCEL NO.

14-289 (REV. 8-74)

INSPECTION (BUILDING & DEV. APPROVAL) HEALTH DEPT. APPROVAL

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Swensens Ice Cream**

MAILING ADDRESS (NUMBER) (STREET): **333 Pine Street**

CITY: **San Francisco, CA.** ZIP: **92075** TEL. NUMBER:

NAME: **Swensens Ice Cream**

ADDRESS (NUMBER) (STREET): **333 Pine St.**

CITY: **San Francisco, CA** ZIP: **92075** TEL. NUMBER:

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **34-4020**

STATE LICENSE NO. **072497** CLASS NO. **C-45** CITY LIC. USE NO. **61297**

LOT: BLOCK: SUBDIVISION: UNIT:

SITE JOB ADDRESS: **Por. Pueblo Lon 313 & 318**

3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY: **Swensens Ice Cream** **IA**

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction. In doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/1/77**

AGENT FOR: ADDRESS:

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **4500** BUILDING PERMIT NUMBER: **3350**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRMY. OR
- BLINKING
- ELECT. TRK
- TV
- NOT V

MAIN CERT. EXP. DATE: **9-30-79** MAIN CERT. NO.: **3019952**

VAR. NO.: EXP. DATE:

GRUP. NO.: EXP. DATE:

SPECIAL DISTIC. P.: EXP. DATE:

SIGN AREA: **210** SIGN HGT.: **M/1** SONS:

MAX. HGT. ALLOW.: MAX. AREA ALLOW.: **1264**

COORD. INDEX: **24-1704** ROW WIDTH: **60+** SIGNED ZONE: **33' 8"**

FRONT. YARD: REG. YEAR: (INT.): (1976) SQUARE TO PL.

B. K. ACT: PLANNING DEPT. APP. BY: **A. Seiler** DATE: **5-13-77**

SIGN TYPE	48 S.F. OR LESS	50-99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$26.55	\$3.55	\$34.55	
WALL, ELECTRIC	\$24.55	\$37.45	\$40.55	3465
GRD. ROOF, PROJ.	\$52.55	\$56.55	\$58.55	
SPECIAL INSP. REQ.	EST. HRE	\$10.00 PER HRE		
OTHER				

PLAN APPROVED: *[Signature]* DATE: **5/13/77**

FILE NO. **79638**

ATTENTION THIS PERMIT AUTHORITY ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

NOV 10 1977

FUND & ACCT	SUB TOTAL	FEE
320 9680	180/73902	3465
	STATE FEE	50
	TOTAL	3515

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/19/77** FILE

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Swensens Ice Cream

MAILING ADDRESS (NUMBER) (STREET)
333 Pine Street

CITY ZIP TEL. NUMBER
San Francisco, CA. 92075

NAME
Swensens Ice Cream

ADDRESS (NUMBER) (STREET)
333 Pine St.

CITY ZIP TEL. NUMBER
San Francisco, CA. 92075

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.
072497 C-45 61297

LOT BLOCK SUBDIVISION UNIT
Por. Pueblo Lot 313 & 318

SITE
JOB ADDRESS
3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	1 B

WORDING OF SIGN COPY
Swensens Ice Cream

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby certify that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in being the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) DATE SIGNED
[Signature] **5/13**

AGENT FOR

ADDRESS

JOB ADDRESS
3350 Sports Arena

PERMIT NUMBER
65-00

BUILDING PERMIT NUMBER
301355

TYPE OF NEW SIGN

OFF-FRAME
 GROUND
 WALL
 PROJECTING
 ROOF
 SIGN ON
 BLINDING
 ELECTRIC
 TURNING
 NOT V.M. N.W.

MAIN CERT. NO. EXP. DATE
301966 **7-30-77**

VAR. NO. EXP. DATE

SPECIAL LIGHT/CSF EXP. DATE

SIGN AREA SIGN HGT. CODE
880 **M1**

COMM. CODE LAND USE PROJ. OVER BT. OF WAY MAX. HT. ALLOW. MAX. AREA ALLOW.
2514

COORD. INDEX IN/W WIDTH SPEED ZONE FRONTAGE
214-170467 **67**

PLANNING DEPT. APP. BY
[Signature] DATE
5/13/77

SIGN TYPE	49 S.F. OR LESS	50-99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.00	\$31.00	\$34.00	
WALL, ELECTRIC	\$24.00	\$27.00	\$30.00	37.05
SHD. ROOF, PROJ.	\$52.00	\$58.00	\$64.00	
SPECIAL INSP. REQ.	EST. HRS.	\$75.00 PER HR.		

OTHER

ATTENTION THE PUBLIC - THIS PERMIT IS NOT VALID UNTIL THE CITY OF SAN DIEGO INSPECTION DEPARTMENT HAS REVIEWED IT.

FUND & ACCT Y	SUB TOTAL
320 9660	190.00
	STATE FEE
	50
	TOTAL
	38.15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
[Signature]

DATE
5/19/77

FILE

IN 15 (2-76)

PLAN FILE NO. PLAN APPROVED DATE

896-38 *[Signature]* **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Swensens Ice Cream
 MAILING ADDRESS (NUMBER) (STREET): 333 Pine Street
 CITY: San Francisco, CA. ZIP: 92075

SIGN USER
 NAME: Swensens Ice Cream
 ADDRESS (NUMBER) (STREET): 333 Pine St.
 CITY: San Francisco, CA. ZIP: 92075

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho. ZIP: 83707. TEL. NUMBER: 345-4020
 STATE LICENSE NO.: 072497. CLASS NO.: C-45. CITY LICENSE NO.: 61297

SITE
 LOT: Por. Pueblo Lot 313 & 318
 JOB ADDRESS: 3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	1-C

WORDING OF SIGN COPY
 Swensens Ice Cream

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: 5/13

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS
 3350 Sports Arena Blvd

CERES TRUSS NUMBER: 65.00 **BUILDING PERMIT NUMBER**: 801554

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FR.
- BLINKING
- ELECTRIC
- TURNING
- HOT VIB. P.W.

MAIN CERT. NO. 301967 **EXP. DATE** 7-30-79

VAR. NO. **EXP. DATE**

C.U.P. NO. **EXP. DATE**

SPECIAL DISTIC S.P. **EXP. DATE**

SIGN AREA 240 **ISSN NO.** **ZONE** M1

COMM. CODE **AND USE** **PRO. BY** 240 **MAX. HT. ALLOW.** 120' **MAX. AREA ALLOW.** 1200

ORD. INDEX 214-1704 **R/W WIDTH** 60' **SPEED ZONE** **FRONTAGE** 331' 11"

PLANNING DEPT. APP. BY *[Signature]* **DATE** 5/13/77

SIGN TYPE	40 S.F. OR LESS	50-99 S.F.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.50	\$31.50	\$34.50	
ALL ELECTRIC	\$34.50	\$37.50	\$40.50	34.65
GRD. ROOF, PROJ.	\$52.50	\$55.50	\$58.50	
SPECIAL INSP. REQ.	SEE AWS	\$12.00 PER HR.		

OTHER

ATTENTION THE PERMIT AUTHORIZED ONLY THE WORK SHOWN

READING INSPECTOR DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL
320	10072462
9660	STATE
	FEL
	TOTAL 34.65
	50
	TOTAL 35.15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fee paid, and receipt is acknowledged in specs provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: M. Mason

DATE: 5/13/77 **FILE**

PLAN FILE NO. 89638 **PLAN APPROVED** *[Signature]* **DATE** 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock St. DBA Sports Arena SQ.**

CITY: **San Diego** ZIP: TEL. NUMBER:

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO.: **072497** CLASS NO.: **C-45** CITY LICENSE NO.: **61297**

LOT: BLOCK: SUBDIVISION: UNIT:

Site ADDRESS: **Por. Pueblo Lot 313 & 338**

Site ADDRESS: **3350 Sports Arena Blvd**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

SIGN TYPE	AREA
None	2A

WORDING OF SIGN COPY: *Marion P. Mazoni & Associates*

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: ADDRESS: CITY OF SAN DIEGO

JOB ADDRESS: **3350 Sports Arena Blvd**

CENUSE TRACT NUMBER: **65-06** BUILDING PERMIT NUMBER: **304558**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. CR.
- SIGNING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. EXP. DATE: **9-30-79** MAIN CERT. NO.: **301968**

VAR. NO.: EXP. DATE: C.E.P. NO.: EXP. DATE: SPECIAL DIST./C.P.: EXP. DATE:

SIGN AREA: **245** SIGN HGT.: **m/** ZONE: **90 ft**

MAX. HT. ALLOW.: MAX. AREA ALLOW.: FRONTAGE:

COORD. INDEX: **214-124** R/W WIDTH: **65 ft** SPEED ZONE: CURB TO P.L.: **24'**

FRONT YARD SET BACK: REO. ACT: BEAR NO.: (INT.) (STR.) CURB TO P.L.:

PLANNING DEPT. APP. BY: *A. Helmer* DATE: **5/13/77**

SIGN TYPE	42 S.F. OR LESS	50-98 SQ. FT.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$28.65	\$31.65	\$34.65	
WALL ELECTRIC	\$34.65	\$37.65	\$40.65	34.65
GRD. ROOF PROJ.	\$82.65	\$85.65	\$88.65	
SPECIAL INSP. REG.	EST. HRS.	\$10.00 PER HR.		

OTHER:

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT: CITY OF SAN DIEGO

FUND & ACCT: **320 9660** SUB TOTAL: **136,734.82** STATE FEE: **.50** TOTAL: **35.15**

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection or his Deputy, fees paid and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *M. Mazoni* DATE: **5/13/77** FILE

PLAN FILE NO.: **87638** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL (INSIDE HEAVY LINES)

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

SIGN USER NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock St. DBA Sports Arena SQ.**

CITY: **San Diego** ZIP: TEL. NUMBER:

SIGN INSTALLER NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO.: **072497** CLASS NO.: **C-45** CITY LICENSE NO.: **61297**

LOT: BLOCK: SUBDIVISION: UNIT:

JOB ADDRESS: **Por. Pueblo Lot 313 & 338**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

SIGN TYPE	AREA
None	2B

WORDING OF SIGN COPY: **Martin Finance & Insurance**

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: ADDRESS:

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **65.00** BUILDING PERMIT NUMBER: **501327**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. OR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. EXP. DATE: **9-30-79** MAIN CERT. NO.: **301921**

VAR. NO.: EXP. DATE:

C.U.P. NO.: EXP. DATE:

SPECIAL DIST. C.P.: EXP. DATE:

SIGN AREA: **240** SIGN HGT.: **M1** ZONE: **M1**

COMM. CODE: LAND USE: **PROJ. VEH. RT. OF WY.** MAX. HT. ALLOW: **90'** MAX. AREA ALLOW: **90'**

CORRD. INDEX: **24-1704** R/W WIDTH: **60'** SPEED ZONE: **24'** FRONTAGE: **24'**

PLANNING DEPT. APP. BY: **A.B. Law** DATE: **5/13/77**

SIGN TYPE	49 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.68	\$31.65	\$34.65	
WALL, ELECTRIC	\$34.65	\$37.65	\$40.65	3465
GRD. ROOF, PROJ.	\$53.65	\$56.65	\$59.65	
SPECIAL INSP. REQ.	EST. FRS.	\$10.00 PER SET		

OVER:

PLAN FILE NO.: **89638** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED.

BUILDING INSPECTION DEPARTMENT



CITY OF SAN DIEGO

MAY 10 7 11 AM '77

FUND & ACC.T	SUB TOTAL
320	100/78602
9680	STATE FEE
	3465
	50
	TOTAL 3515

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputies, fee paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/19/77**

FILE

BUILDING PERMIT - SIGN

APPLICANT FILL (INSIDE HEAVY LINES)

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

SIGN USER NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock St. DBA Sports Arena Sq.**

CITY: **San Diego** ZIP: **92110** TEL. NUMBER:

SIGN INSTALLER NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO. **072497** CLASS NO. **C-45** CITY LICENSE NO. **61297**

LOT BLOCK SUBDIVISION UNIT

SITE ADDRESS: **Por. Pueblo Lots 313 & 338**

3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
none	

WORDING OF SIGN COPY: **Auto Parts 3A**

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workman's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR:

ADDRESS:

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **65.00** BUILDING PERMIT NUMBER: **751**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- RWY. DR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VISIBLE

MAIN CERT. EXP. DATE: **9-30-79** MAIN CERT. NO.: **301970**

VAR. NO. EXP. DATE

G.O.P. NO. EXP. DATE

SPECIAL DISTRICT P. EXP. DATE

SIGN AREA: **244** SIGN HGT: **M1** ROWE

COMM. CODE LAND USE

PROJ. OVER ST. OF WAY

MAX. HT. ALLOW.

MAX. AREA ALLOW.

CODE INDEX: **214-1704** R/W WIDTH: **60+** SPEED ZONE: **60** FRONTAGE: **16'**

PLANNING DEPT. APP. BY: *[Signature]* DATE: **5/13/77**

SIGN TYPE	# OF S.F. OR LESS	90 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.65	\$31.65	\$34.65	
WALL, ELECTRIC	\$34.65	\$37.65	\$40.65	3465
GRD. ROOF PROJ.	\$52.65	\$55.65	\$58.65	
SPECIAL INSP. REQ.	\$5.00	\$10.00 PER HR.		
OTHER				

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T: **100/73602** SUB TOTAL: **3465**

STATE FEE: **.50**

TOTAL: **3515**

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]* DATE: **5/13/77** FILE

LAN FILE NO. **79638** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National

MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY (NUMBER) (STREET)
Boise, Idaho 83707 345-4020

NAME
Equity Investments

ADDRESS (NUMBER) (STREET)
3110 Hancock St. DBA Sports Arena Sq

CITY (NUMBER) (STREET)
San Diego 92110

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY (NUMBER) (STREET)
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.
072497 C-43 61297

LOT BLOCK SUBDIVISION UNIT
Por. Pueblo Lots 313 & 338

SITE ADDRESS
3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY
Auto Parts 3B

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read the application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction. In doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) **[Signature]** DATE SIGNED **5/13/77**

ADDRESS

JOB ADDRESS
3350 Sports Arena Blvd

PERMIT NUMBER **65100** EXISTING PERMIT NUMBER **504353**

TYPE OF NEW SIGN

- OFF-FRAME
- GROUND
- WALL
- PROJECTING
- ROOF
- FRNT. OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VIL. R.W.

MAIN CERT. EXP. DATE **9-30-79** MAIN CERT. NO. **301969**

VAR. NO. EXP. DATE

CONTR. NO. EXP. DATE

SPECIAL PERMIT NO. EXP. DATE

SIGN AREA **240** SIGN HGT. **7M** ZONE

COMM. CODE LAND USE **600** MAX. HT. ALLOW. **60'**

COORD. INDEX **214124** R/W WIDTH **60'** SPEED ZONE **16'**

FRNT. YARD SET. BACK **ACT** REG. ACT

PLANNING DEPT. APP. BY **A. Kelow** DATE **5/13/77**

SIGN TYPE	45 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$28.00	\$31.00	\$33.00	
WALL ELECTRIC	\$34.00	\$37.00	\$40.00	34.65
GRO. ROOF PROJ.	\$32.00	\$35.00	\$38.00	
SPECIAL INSP. REQ.	EST. HAZ.	\$10.00 PER KW		
OTHER				

INSPECTION

FUND & ACC'T	SUB TOTAL	FEE
320 9660	100.73002	34.65
	ST. FE	.80
	TOTAL	35.45

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY **M. Moon**

DATE **5/13/77** FILE

PLAN FILE NO. **89658** PLAN APPROVED **[Signature]** DATE **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National

MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

NAME
Equity Investments

ADDRESS (NUMBER) (STREET)
3110 Hancock DBA Sports Arena Sq.

CITY ZIP TEL. NUMBER
San Diego 92110

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS. NO. CITY LICENSE NO.
072497 C-45 61297

LOT BLOCK SUBDIVISION VARY
Por. Pueblo Lot 313 & 338

SITE ADDRESS
3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

WORDING OF SIGN COPY
9A
Vacant

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) **[Signature]** DATE SIGNED **5/13/77**

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS
3350 Sports Arena Blvd

RENTAL TRACT NUMBER **65.00** BUILDING PERMIT NUMBER **504350**

TYPE OF NEW SIGN
 OFF-PREMISES
 SIGN ON
 WALL
 PROJECTING
 ROOF
 HWY. DR.
 BLANKING
 ELECTRIC
 TURNING
 NOT VIS. R.W.

MAIN CERT. NO. **9-30-79** MAIN CERT. NO. **301971**

VAR. NO. EXP. DATE
C.U.P. NO. EXP. DATE
SPECIAL DIST. EXP. DATE

SIGN AREA **240** SIGN HGT. **M/1** ZONE **M/1**

COMM. CODES LAND USE **214-1704** MAX. HGT. ALLOW. **60'** MAX. AREA ALLOW. **20'**

COORD. INDEX **214-1704** ROW WIDTH **60'** FEEDS **20'** FRONTAGE

PLANNING DEPT. EMP. BY **Askel** DATE **5/13/77**

SIGN TYPE	45 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$78.65	\$87.75	\$98.65	
WALL, ELECTRIC	\$34.65	\$37.65	\$40.65	34.65
DRG. ROOF PROJ.	\$92.65	\$98.65	\$98.65	
SPECIAL INSP. RYO	EST. HIK	\$15.00 PER HR.		
OTHER				

ATTENTION: THIS PERMIT ALLOWS ONLY THE WORK NOTED.

INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACCT	SUB TOTAL	STATE FEE	TOTAL
320 9860	100,7360R		34.65
		.50	35.15

APPROVA
This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY **D. Mason**

DATE **5/13/77** FILE

PLAN FILE NO. **89638** PLAN APPROVED **[Signature]** DATE **5/13/77**

INCL. (2-10)

PLANNING

INSPECTION

MAY 19 11 13 AM '77

BUILDING PERMIT - SIGN

APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National
MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682
CITY (NUMBER) (STREET)
Boise, Idaho 83707 345-4020

NAME
Equity Investments
ADDRESS (NUMBER) (STREET)
3110 Hancock DBA Sports Arena Sq.
CITY (NUMBER) (STREET)
San Diego 92110

NAME
Image National
ADDRESS (NUMBER) (STREET)
P.O. Box 7682
CITY (NUMBER) (STREET)
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS. NO. CITY LICENSE NO.
072497 C-45 61297

LOT BLOCK SUBDIVISION UNIT
Por. Pueblo Lot 313 & 338

JOB ADDRESS
3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
4B	

WORDING OF SIGN COPY
vacant

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with all city and state laws regarding construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): **[Signature]** DATE SIGNED: **5/13/77**

ADDRESS

JOB ADDRESS
3350 Sports Arena Blvd
PERMIT TRACT NUMBER
65.00
BUILDING PERMIT NUMBER
504349

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRAY OR
 BLINKING
 ELECTRIC
 TURNING
 NOT VIS. R.W.

RAIN CERT. NO. **20-99** MATN. CERT. NO. **30/1992**
VAR. NO. EXP. DATE
C.U.A. NO. EXP. DATE
SPECIAL DISTRICT? EXP. DATE
SIGN AREA **240** SIGN HGT. **M!** ZONE
PROZ. OVER RT. OF WAY MAX. HT. ALLOW. **75'** MAX. AREA ALLOW. **20'**

COORD. INDEX **214-124/60+** R/W WIDTH SPEED ZONE FRONTAGE
FRONT YARD SET BACK REAR YARD SET BACK (INT.) (STRL.) CURB TO P.L.
PLANNING DEPT. APP. BY **[Signature]** DATE **5/13/77**

SIGN TYPE	40 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.95	\$31.95	\$34.40	
WALL, ELECTRIC	\$34.95	\$37.95	\$40.40	34.65
GRD. ROOF, PROJ.	\$52.95	\$55.95	\$58.40	
SPECIAL INSP. REQ.	\$87.00	\$16.00 PER HR.		
OTHER				

Wording of sign copy: **vacant**

ATTENTION: THIS PERMIT IS VALID FOR 180 DAYS ONLY. THE WORK MUST BE COMPLETED WITHIN THIS PERIOD.
BUILDING INSPECTION DEPARTMENT
CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	TOTAL
300 9660	190/73892	34.65
	STATE FEE	.50
		35.15

APPROVAL
This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: **[Signature]** DATE: **5/13/77**

PLAN FILE NO. **89621** PLAN APPROVED: **[Signature]** DATE: **5/13/77**

PLANNING INSPECTION

MAY 19 77 10 15 AM '77

FILE

BUILDING PERMIT - SIGN

APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS

Image National

MAILING ADDRESS (NUMBER)

P.O. Box 7682

CITY

Boise, Idaho

ZIP

83707

TEL. NUMBER

345-4020

NAME

Equity Investments

ADDRESS (NUMBER)

3110 Hancock DBA Sports Arena Sq.

CITY

San Diego

ZIP

92118

TEL. NUMBER

NAME

Image National

ADDRESS (NUMBER)

P.O. Box 7682

CITY

Boise, Idaho

ZIP

83707

TEL. NUMBER

345-4020

STATE LICENSE NO.

072497

CITY LICENSE NO.

C-45

61297

LOT

Por. Pueblo Lot 313 & 338

STREET ADDRESS

3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE

AREA

None

5A

WORDING OF SIGN COPY

Image National

IS AN EXISTING SIGN
BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)

DATE SIGNED

AGENT FOR

ADDRESS

PLAN FILE NO.

89678

PLAN APPROVED

DATE

[Signature] 5/13/77

JOB ADDRESS

3350 Sports Arena Blvd

CHECKS
TRUCK
NUMBER

65.00

MULTIPLIERS
PERMIT
NUMBER

301348

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. DR.
- BLINDING
- ELECTRIC
- TURNING
- NOT VISIBLE

HAIR CERT
EXPIRE DATE

9-30-77

HAIR CERT NO.

301973

VAR. NO.

EXP. DATE

CLIP NO.

EXP. DATE

SPECIAL DISTRICT

EXP. DATE

SIGN AREA

240

WIND HGT.

ZONE

M1

COMM. CODE

LAND USE

MAX. HT. ALLOW.

MAX. AREA ALLOW.

7500

COORD. INDEX

214-1704

ROW WIDTH

60'

SPEED ZONE

FRONTAGE

20'

FRONT YARD SET BACK

REAR YARD SET BACK

FRONT SET BACK

REAR SET BACK

PLANNING DEPT. APPR. BY

[Signature]

DATE

5/13/77

SIGN TYPE	# OF S.F. OR LENS	SO. BE. NO. FT.	FEES OR NOTES	FEE
WALL NON-ELEC	\$22.25	\$21.25	\$22.25	
WALL ELECTRIC	\$78.25	\$21.25	\$20.25	34.65
GRD. ROOF, PROJ.	\$52.25	\$35.25	\$22.25	
SPECIAL INSP. REQ.	EST. AMT.	\$15.00 PER 15'		

OTHER

ATTENTION
THE PUBLIC
ALTERNATE
ONLY FOR
WORK NOTED

BUILDING
INSPECTION
DEPARTMENT



CITY OF
SAN DIEGO

FUND & ACCT	SUB TOTAL	
020	100-73801	34.65
0660	STATE FEE	.50
	TOTAL	35.15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY

[Signature]

DATE

5/13/77

FILE

PLANNING

INSPECTION

MAY 19 77

BUILDING PERMIT - SIGN

APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock TRA Sports Arena SQ.**

CITY: **San Diego** ZIP: **92118** TEL. NUMBER:

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO. (LAND NO. CITY LICENSE NO.): **072497 C-45 61297**

LOT (BLOCK SUBDIVISION UNIT): **Por. Pueblo Lot 313 & 338**

SITE ADDRESS: **3350 Sports Arena Blvd.**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

SIGN TYPE	AREA
None	58

WORDING OF SIGN COPY: **Yogurt Haas & Simmons**

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **65.00** BUILDING PERMIT NUMBER: **10073802**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- PRWY. OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. N.W.

MAIN CERT. NO. **9-30-79** | MAIN CERT. DATE **30/1993**

VAR. NO. _____ EXP. DATE _____

G.U.P. NO. _____ EXP. DATE _____

SPECIAL DISTRICT _____ EXP. DATE _____

SIGN AREA: **240** SIGN HGT.: **75** SIGN WID.: **20'**

COMM. CODE _____ LAND USE _____

COORD. INDEX: **214-1204** R/W WIDTH: **60'** SPEED ZONE _____ FRONTAGE: **20'**

FRONT YARD SET BACK _____ ACT _____

PLANNING DEPT. APPROVAL: *[Signature]* DATE: **5/13/77**

SIGN TYPE	42 S.F. OR LESS	50 - 95 SQ. FT.	100 S.F. OR MORE
WALL, NON-ELEC.	\$26.05	\$31.05	\$34.05
WALL, ELECTRIC	\$24.05	\$27.05	\$30.05
GRD. ROOF, PROJ.	\$52.05	\$56.05	\$58.05
SPECIAL INSP. REQ.	\$10 HRS.	\$10 HRS.	\$10 HRS.
OTHER			

OTHER: **3465**

FINANCIAL SUMMARY:

PUND & ACCT	SUB TOTAL
320 9660	10073802
	STATE FEE
	50
	TOTAL
	3575

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in check provided.

SIGNATURE OF BLDG. INS. DEPT. DEPUTY: *[Signature]*

DATE: **5/19/77**

FILE

PLAN FILE NO. **89638** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National

MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

NAME
Equity Investments

ADDRESS (NUMBER) (STREET)
3110 Hancock DBA Sports Arena Sq.

CITY ZIP TEL. NUMBER
San Diego 92110

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.
072497 G-45 61297

LOT BLOCK SUBDIVISION UNIT
Por. Pueblo Lot 313 & 338

JOB ADDRESS
3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA	SIGN TYPE	AREA
None	GA	

WORDING OF SIGN COPY
Walter Smith Group

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with all local and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) *[Signature]* DATE SIGNED **5/13/77**

AGENT FOR

ADDRESS

JOB ADDRESS
3350 Sports Arena Blvd.

CENSUS TRACT NUMBER **65.00** BUILDING PERMIT NUMBER **301992**

TYPE OF NEW SIGN

OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 PRY. DR.
 BLINKING
 ELECTRIC
 TURNING
 NOT V.S. R.W.

MAIN CERT. NO. EXP. DATE
9-30-77 301992

VAR. NO. EXP. DATE

C.O.P. NO. EXP. DATE

SPECIAL DIST. C.P.R. EXP. DATE

SIGN AREA SIGN HGT. ZONE
240 750 M1

COMM. CODE LAND USE PROJ. OVER RT. OF WAY MAX. HT. ALLOW. MAX. AREA ALLOW.
24-1704 60+ 750

COORD. INDEX R/W WIDTH SPEED ZONE FRONTAGE
24-1704 60+ 20'

FIRST YARD SET BACK REG. ACT DEAN PD. (INT.) (STR.) CURB TO P.L.

PLANNING DEPT. APP BY *A. Kelen* DATE **5/13/77**

SIGN TYPE	49 S.F. OR LESS	50 - 99 50. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$25.00	\$31.00	\$38.00	
WALL, ELECTRIC	\$34.00	\$37.00	\$48.00	3465
GRD. ROOF, PROJ.	\$52.00	\$61.00	\$78.00	
SPECIAL INSP. REQ.	EST. HRS.	\$10.00 PER HR.		

OTHER

FUND	SUB TOTAL
ACC. T	100/23602
320 0860	STATE FEE
	50
	TOTAL
	3515

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY *[Signature]*

DATE **5/13/77**

FILE

ATTENTION THE PERMIT AUTHORITY ONLY THE WORK NOTES

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

APR 13 1977

PLAN FILE NO. **89638** PLAN APPROVED *[Signature]* DATE **5/13/77**

BUILDING PERMIT - SIGN

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4121

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER): 3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110 TEL. NUMBER:

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020
 STATE LICENSE NO.: 072497 CLASS NO.: C-45 CITY LICENSE NO.: 61297

SITE
 ADDRESS: Por. Pueblo Lot 313 & 338
 3350 Sports Arena Blvd.
 LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

SIGN TYPE	AREA
None	6B

WORDING OF SIGN COPY:
Wehrer Beauty Shop

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: 5/13/77

AGENT FOR:
ADDRESS:

ADDRESS: 3350 Sports Arena Blvd
 PERMIT NUMBER: 6500

TYPE OF NEW SIGN:
 OFF PREMISE
 FREESTANDING
 WALL
 PROJECTING
 R.O.P.
 FIBER OPT.
 BLINKING
 ELECTRIC
 TURNING
 NOT VIS. A.W.

DATE: 9-30-79
 PERM. NO.: 301974

PLANNING DEPT. APP BY: *[Signature]* DATE: 5/13/77

SIGN TYPE	AS B.F. OR LEAS.	\$2.00 90 FT.	125 B.F. OR MORE	FEE
WALL, NON-ELEC.	\$22.45	\$31.25	\$34.45	
WALL, ELECTRIC	\$34.45	\$47.45	\$40.45	34.65
RO. S. P. PROJ.	\$52.45	\$55.45	\$28.45	
SPECIAL INSPE. FES.	EST. RATE	\$14.00 PER 100		

ATTENTION: THE PERMIT AUTHORITY ONLY FOR WORK ALIEN

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fee paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]* DATE: 5/13/77

PLAN FILE NO.: 84638
 PLAN APPROVED: *[Signature]* DATE: 5/13/77

FUND & ARC.T: 100/73652
 320 STATE FEE: 50
 9650
 SUB TOTAL: 34.65
 TOTAL: 35.15

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**

CITY: **San Diego** ZIP: **92110** TEL NUMBER:

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL NUMBER: **345-4020**

STATE LICENSE NO.: **072497** CLASS. NO.: **C-45** CITY LICENSE NO.: **61297**

LOT: BLOCK: SUBDIVISION: UNIT:

SITE JOB ADDRESS: **Por. Pueblo Lot 313 & 338**

3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY: **R. W. Bianco Custom Tackle 7A**

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: ADDRESS:

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **65.00** BUILDING PERMIT NUMBER: **50-338**

TYPE OF NEW SIGN

OFF PREMISE

GROUND

WALL

PROJECTING

ROOF

FRM. OR

BLINDING

ELECTRIC

TURNING

NOT VIS. N.W.

MAIN CERT. NO. EXP. DATE: **9-30-77** MAIN CERT. NO. EXP. DATE: **301983**

VAR. NO. EXP. DATE

PLAT. NO. EXP. DATE

SPECIAL DISTRICT? EXP. DATE

SIGN AREA: **240** SIGN HGT.: **M/1** ZONE: **M/1**

COMM. CODE: LAND USE: FEED. OVER RT. OF HWY: MAX. HT. ALLOW: MAX. AREA ALLOW: **754**

COORD. INDEX: **214-1204 60+** R/W WIDTH: SPEED ZONE: FRONTAGE: **20'**

FRONT YARD SET. BACK: REAR YARD SET. BACK: (INT.) (STR.) CURBS TO P.L.

PLANNING DEPT. APP. BY: *[Signature]* DATE: **5/13/77**

SIGN TYPE	48 S.F. OR LESS	80 - 98 SQ. FT.	100 S.F. OR MORE	FEE
WALL SIGN-ELEC.	\$28.55	\$31.55	\$34.55	
WALL ELECTRIC	\$24.55	\$27.55	\$30.55	34.65
GRD. ROOF, PROJ.	\$52.55	\$58.55	\$68.55	
SPECIAL INSP. REQ.	EXT. HRS.	\$15.00 PER HR.		
OTHER				

OTHER:

INSPECTION

FUND	SUB TOTAL
ACC'T 100/73602	34.65
STATE FEE	.50
TOTAL	35.15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/13/77**

FILE

PLAN FILE NO.: **89638** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**

CITY: **San Diego** ZIP: **92110**

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO.: **072497** CLASS. NO.: **C-45** CITY LICENSE NO.: **61297**

LDY: _____ BLOCK: _____ SUBDIVISION: _____ UNIT: _____

SITE: **Por. Pueblo Lot 313 & 338**

JOB ADDRESS: **3350 Sprots Arena Blvd.**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY: **BA**

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS: **3350 Sprots Arena Blvd**

CENSUS TRACT NUMBER: **65.00** BUILDING PERMIT NUMBER: **50-550**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. OR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R/W

MAIN CERT. NO. **301991** EXP. DATE: **9-30-79**

VAR. NO. _____ EXP. DATE _____

C.O.P. NO. _____ EXP. DATE _____

SPECIAL DISTANCE _____ EXP. DATE _____

SIGN AREA: **240** SIGN HGT: **7'1"** ZONE: **M1**

PROJ. OVER RT. OF WAY: _____ MAX. HT. ALLOW: **9'0"** MAX. AREA ALLOW: _____

COORD. INDEX: **214-1704** R/W WIDTH: **60'** SPEED ZONE: _____ FRONTAGE: **24'**


FINNY LARD ST. BACK: _____ REC. ACT: _____ NEAR RD. _____

PLANNING DEPT. APP. BY: *[Signature]* DATE: **5/13/77**

SIGN TYPE	48 SF. OR LESS	50 SF. TO 99 SF.	100 SF. OR MORE	FEE
WALL NON-ELEC.	\$24.00	\$24.00	\$24.00	
WALL ELECTRIC	\$48.00	\$37.50	\$40.00	34.65
GRD. ROOF PROJ.	\$52.00	\$38.00	\$38.00	
SPECIAL INSP. REQ.	EXT. INSP.	\$10.00 PER HR.		
OTHER				

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT



CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	STATE FEE
320	10073400	
9680		50
	TOTAL	34.65

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy; fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/13/77**

PLAN FILE NO. **99678** PLAN APPROVED *[Signature]* DATE **5/13/77**

IN-15 (2-78)

PLANNING DEPARTMENT

INSPECTION DEPARTMENT

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7692**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**

CITY: **San Diego** ZIP: **92110** TEL. NUMBER:

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.:

072497 C-45 61297

LOT: BLOCK: SUBDIVISION: UNIT:

Por. Pueblo Lot 313 & 338

SITE ADDRESS: **3350 Sports Arena Blvd**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

AREA	SIGN TYPE
7B	

WORDING OF SIGN COPY: **W. S. Dineen Fashion Jewelry**

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: *[Signature]*

ADDRESS:

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **45.00** BUILDING PERMIT NUMBER: **504331**

TYPE OF SIGN:

- OFF PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- PAINT OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VISIBLE

MAIN CEN. EXP. DATE: **9-30-79** MAIN CEN. NO.: **301984**

VAR. NO.: EXP. DATE:

C.N.P. NO.: EXP. DATE:

SPECIAL DISTIC. P.: EXP. DATE:

SIGN AREA: **244** SIGN HGT.: **m** ZONE: **m**

COMM. CODE: LAND USE: PROJ. OVR. RT. OF WAY: MAX. HT. ALLOW.: **75'** MAX. AREA ALLOW.:

COORD. INDEX: **214-1704** R/W WIDTH: **60'** SPEED ZONE: FRONTAGE: **20'**

FENT. YARD SET. BACK: REG. ACT: YEAR NO.: (INT.): (STR.): CURB TO P.C.:

PLANNING DEPT. APP. BY: *[Signature]* DATE: **5/13/77**

SIGN TYPE	45 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON ELEC.	\$28.65	\$31.35	\$34.65	
WALL, ELECTRIC	\$24.65	\$37.65	\$40.65	34/65
GRO. ROOF, PROJ.	\$52.65	\$55.65	\$58.65	
SPECIAL INSP. REQ.	EST. HRA.	\$1.00 PER HR.		
OTHER				

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED.

PLANNING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	STATE FEE	TOTAL
120 9660	100/73602		34/65
		50	35/15

APPROVAL:

This permit does not become valid until signed by the Director of Building Inspection or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/13/77** FILE

PLAN FILE NO. **89638** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

BUILDING PERMIT - SIGN

APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS

Image National

MAILING ADDRESS (NUMBER) (STREET)

P.O. Box 7682

CITY

Boise, Idaho

SIP
83707

TEL. NUMBER
345-4020

NAME

Equity Investments

ADDRESS (NUMBER) (STREET)

3110 Hancock DBA Sports Arena SQ.

CITY

San Diego

ZIP
92110

TEL. NUMBER

NAME

Image National

ADDRESS (NUMBER) (STREET)

P.O. Box 7682

CITY

Boise, Idaho

SIP
83707

TEL. NUMBER
345-4020

STATE LICENSE NO.

072497

CLASS. NO.

C-45

CITY LICENSE NO.

61297

LOT

BLOCK

SUBDIVISION

UNIT

Por. Pueblo Lot 313 & 338

JOB ADDRESS

3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE

AREA

None

WORDING OF SIGN COPY

Image

IB

IS AN EXISTING SIGN
BEING REPLACED?

NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT)

DATE SIGNED

AGENT FOR:

5/13/77

ADDRESS

JOB ADDRESS

3350 Sports Arena Blvd
6500

PERMIT
NUMBER

PERMIT
NUMBER

30-338

TYPE OF NEW SIGN

- OFF PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- HWY. OR
- BLANKING
- ELECTRIC
- TURNING
- NOT VISIBLE R.W.

MAINTENANCE
EXP. DATE

9-30-79

MAINTENANCE
EXP. DATE

30/1985

VAR. NO.

EXP. DATE

CLIP. NO.

EXP. DATE

SPECIAL DIST. C.P.

EXP. DATE

SIGN AREA

SIGN HGT.

ZONE

240

MI

COMM. CODE LAND USE

PROJ. OVER RT. OF WAY

MAX. HT. ALLOW.

MAX. AREA ALLOW.

COORD. INDEX

R/W WIDTH

SPEED ZONE

PERCENTAGE

214-1704

60'

24'

FRONT YARD

REAR YD.

SIDE YARD

INT'L

INT'L

CURB TO C/L

FRONT

REAR

SIDE

INT'L

INT'L

CURB TO C/L

PLANNING DEPT. APP.

Abel

DATE

5/13/77

SIGN TYPE	49 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$28.45	\$31.65	\$34.85	
WALL ELECTRIC	\$14.85	\$37.65	\$40.45	3465
ROOF, ROOF PROJ.	\$52.45	\$55.65	\$58.85	
SPECIAL INSP. REQ.	EST. HRS.	\$15.00 PER HR.		

OTHER

ATTENTION
THIS PERMIT
AUTHORITY
ONLY THE
WORK NOTED

BUILDING
INSPECTION
DEPARTMENT



CITY OF
SAN DIEGO

FUND	SUB TOTAL
ACC'T 100/72602	3065
STATE FEE	.50
TOTAL	3515

APPROVAL

This permit does not describe work until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY

R. Demore

DATE 5/19/77

FILE

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, IDAHO ZIP: 83707 TEL. NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER) (STREET): 3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020

SITE
 JOB ADDRESS: Por. Pueblo Lot 313 & 338
 3350 Sports Arena Blvd.

STATE LICENSE NO. 072497 CLASS NO. C-45 CITY LICENSE NO. 61297

LOT: BLOCK: SUBDIVISION: UNIT:

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY
 Read Market Ireland # of 9A

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with City and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: 5/13/77
 AGENT FOR: _____
 ADDRESS: _____

JOB ADDRESS: 3350 Sports Arena Blvd

CENSUS TRACT NUMBER: 45.00 **BUILDING PERMIT NUMBER**: 3465

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. NO. EXP. DATE: 4-30-79 30/1990

VAR. NO.: **EXP. DATE**: **C.M.P. NO.**: **EXP. DATE**: **SPECIAL DIST. C.F.**: **EXP. DATE**:

COMM. CODE: **LAND USE**: **PROG. OVER RT. OF WAY**: **MT. X. HT. ALLOW.**: **MAX. AREA ALLOW.**: 2810

COORD. INDEX: 2141204 **R/W WIDTH**: 60+ **SPEED ZONE**: **FRONTAGE**: 75'

FRONT YARD: **REAR YARD**: **INT. I.**: **INTR. I.**: **CURB TO R.L.**: **DATE**: 5/13/77

PLANNING DEPT. APP. BY: *[Signature]* **DATE**: 5/13/77

SIGN TYPE	45 S.F. OR LESS	46 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.48	\$31.05	\$34.41	
WALL, ELECTRIC	\$38.05	\$37.43	\$40.05	34.65
CRD., ROOF, PROJ.	\$27.45	\$35.45	\$39.05	
SPECIAL INF. REQ.	EST. PRK.	\$18.00 PER LIN.		
OTHER				

PLAN FILE NO.: 89638 **PLAN APPROVED**: *[Signature]* **DATE**: 5/13/77

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED:

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & SUB TOTAL

FUND	SUB TOTAL
ACC B	100/73802
370	STATE FEE
0660	50
	TOTAL
	3465

APPROVAL

The permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]* **DATE**: 5/19/77

FILE

BUILDING PERMIT - SIGN		APPLICANT FILL INSIDE HEAVY LINES	
SIGN OWNER	NAME OR NAME OF BUSINESS Image National		
	MAILING ADDRESS (NUMBER) (STREET) P.O. Box 7682		
SIGN USER	CITY Boise, Idaho		
	ZIP	TEL. NUMBER	
SIGN INSTALLER	NAME Equity Investments		
	ADDRESS (NUMBER) (STREET) 3110 Hancock DBA Sports Arena Sq.		
SITE	CITY San Diego		
	ZIP	TEL. NUMBER	
NAME Image National			
ADDRESS (NUMBER) (STREET) P.O. Box 7682			
CITY Boise, Idaho		ZIP	TEL. NUMBER
STATE LICENSE NO. 072497		CLASS. NO. C-45	CITY LICENSE NO. 61297
DIST. BLOCK SUBDIVISION UNIT Por. Pueblo Lot 313 & 238			
JOB ADDRESS 3350 Sports Arena Blvd			
LIST EACH EXISTING SIGN GIVING TYPE AND AREA			
SIGN TYPE		AREA	
WORDING OF SIGN COPY West Market Driveway West			
IS AN EXISTING SIGN BEING REPLACED?			
I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.			
SIGNATURE (OWNER OR AGENT)		DATE SIGNED	
AGENT FOR:		5/13/77	
ADDRESS			

JOB ADDRESS 3350 Sports Arena Blvd		CITY Boise, Idaho	
CITY		ZIP	TEL. NUMBER
TYPE OF NEW SIGN		MAIN COST EXP. DATE	
<input type="checkbox"/> OFF PREMISE <input type="checkbox"/> GROUND <input checked="" type="checkbox"/> WALL <input type="checkbox"/> PROJECTING <input type="checkbox"/> ROOF <input type="checkbox"/> FRAY OR <input type="checkbox"/> BLINKING <input checked="" type="checkbox"/> ELECTRIC <input checked="" type="checkbox"/> SIGNAGE <input type="checkbox"/> NOT VIB. R.W.		9-30-79	
COMM. CODE		LAND USE	PROJ. OVER FT. OF W.A.
CODING INDEX		ROW WIDTH	SPEED ZONE
214-124		160'	75'
PLANNING DEPT. BY		DATE	
A. Balow		5/13/77	
SIGN TYPE		48 S.F. ON LEYS	50 S.F. SQ. FT.
WALL, NON-ELEC.		\$28.65	\$31.65
WALL, ELECTRIC		\$28.65	\$57.65
GRD. ROOF, PROJ.		\$92.65	\$26.65
SPECIAL INSP. REQ.		EST. HRS.	\$10.00 PER HR.
OTHER			

ATTENTION THE PERMIT AUTHORIZES ONLY THE WORK NOTED		FUND & ACCT	
BUILDING INSPECTOR'S DEPARTMENT		100-7266*	
CITY OF SAN DIEGO		320 STATE FEE	
		5660	
		TOTAL	
		35.15	
APPROVAL			
This permit does not become valid until issued by the Director of Building Inspection or his Deputy, fees paid, and receipt is acknowledged in space provided.			
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY			
DATE			

PLAN FILE NO. 79638 PLAN APPROVED BY S. E. M. DATE 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: **Image National**
 MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**
 CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

SIGN USER
 NAME: **Equity Investments**
 ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**
 CITY: **San Diego** ZIP: **92110** TEL. NUMBER:

SIGN INSTALLER
 NAME: **Image National**
 ADDRESS (NUMBER) (STREET): **P.O. Box 7682**
 CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**
 STATE LICENSE NO.: **072497** CLASS. NO.: **C-45** CITY LICENSE NO.: **61297**

SITE
 LOT: BLOCK: SUBDIVISION: UNIT:
 JOB ADDRESS: **Por. Pueblo Lot 313 & 338**
3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
10 A	

WORDING OF SIGN COPY
vacant

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workman's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR: _____
 ADDRESS: _____

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **65.00** **BUILDING PERMIT NUMBER**: **80-332**

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 RWY. OR.
 BLINKING
 ELECTRIC
 TURNING
 HOY VIB. R.W.

MAIN CENT. EXP. DATE: **9-30-79** **MAIN CENT. EXP. DATE**: **30/1989**

VAR. NO.: **EXP. DATE**:
C.V.P. NO.: **EXP. DATE**:
SPECIAL DIST./CHP.: **EXP. DATE**:

SIGN AREA: **240** **SIGN HGT.**: **ZONE**: **M1**

COMM. CODE: **LAND USE**: **PROJ. OVER RT. OF WAY**: **MAX. HT. ALLOW.**:
COORD. INDEX: **214-1704** **R/W WIDTH**: **60'** **SPEED ZONE**: **FRONTAGE**: **30'**

FRNT. YARD SET. BACK: **REQ. ACT**: **REAR YD.**: **WARD**: **(INT.)**: **(STR.)**: **CURB TO FL.**

PLANNING DEPT. OFF. BY: *[Signature]* **DATE**: **5/13/77**

SIGN TYPE	AS S.F. OR LESS	\$5 - \$50 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$22.60	\$31.45	\$36.65	
WALL, ELECTRIC	\$24.65	\$37.55	\$42.55	3465
GRD. ROOF, PROJ.	\$32.55	\$45.65	\$54.65	
SPECIAL INS. REC.	EST. HRR.	\$15.00 PER HRR.		
OTHER				

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

INSPECTION

PUND & ACC.T	SUB TOTAL
320	100/75002
9650	STATE FEE
	50
	TOTAL
	3575

APPROVAL
 The permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DIRTY: *[Signature]*

DATE: **5/13/77**

PLAN FILE NO.: **87638**

PLAN APPROVED: *[Signature]* **DATE**: **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER): 3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110 TEL NUMBER:

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 38707 TEL NUMBER: 345-4020

SITE
 STATE LICENSE NO.: 072497 CLASS NO.: C-45 CITY LICENSE NO.: 61297
 LOT: Por. Pueblo BLOCK: Lot 313 & 338 SUBDIVISION: UNIT:
 JOB ADDRESS: 3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	10 B

WORDING OF SIGN COPY
vacant

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: 5/13/77
 AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS: 3350 Sports Arena Blvd.
CENSUS TRACT NUMBER: 16500 **BUILDING PERMIT NUMBER**: 301986

TYPE OF NEW SIGN

- OFF PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRW. GR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VISIBLE

MAIN CERT. EXPIRES DATE: 9-30-79 **MAIN CERT. NO.**: 301986

VAR. NO.: _____ **EXP. DATE**: _____

C.U.P. NO.: _____ **EXP. DATE**: _____

SPECIAL DISTRICT: _____ **EXP. DATE**: _____

SIGN AREA: 240 **SIGN HGT.**: _____ **ZONE**: _____


COMM. CODE: _____ **LAND USE**: _____ **PROJ. OVER HT. OF WAY**: _____ **MAX. HT. ALLOW.**: _____ **MAX. AREA ALLOW.**: _____

COORD. INDEX: 214/704 **R/W WIDTH**: 60' **SPEED ZONE**: 50' **FRONTAGE**: 50'

PLANNING DEPT. APP. BY: *[Signature]* **DATE**: 5/13/77

SIGN TYPE	40 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEES
WALL NON-ELEC.	\$28.00	\$31.00	\$34.00	
WALL ELECTRIC	\$34.00	\$37.00	\$40.00	34/65
GRD. ROOF, PROJ.	\$52.00	\$55.00	\$58.00	
SPECIAL INSP. REQ.	\$25.00	\$12.00 PER HR.		
OTHER				

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK SHOWN

BUILDING INSPECTION DEPARTMENT

 CITY OF SAN DIEGO

MAY 19 77

FUND & ACCT.	SUB TOTAL	STATE FEE
320	100/73602	
6600		50
	TOTAL	34/65

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or the Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*
DATE: 5/13/77 **FILE**

PLAN FILE NO. 89154 PLAN APPROVED *[Signature]* DATE 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER) (STREET): 3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020

SIGN LICENSE
 STATE LICENSE NO: 072497 CLASS NO: C-45 CITY LICENSE NO: 61297

SITE
 LOT: Por. Pueblo BLOCK: Lot 313 & 338 UNIT:
 JOB ADDRESS: 3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

WORDING OF SIGN COPY: *11A vacant*

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: 5/13/77

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS
 3350 Sports Arena Blvd

CEMETERY TRACT NUMBER
 65100

BUILDING PERMIT NUMBER
 33516

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRWY. OR
 BLINKING
 ELECTRIC
 TURNING
 NOT VIS. R.W.

MAIN CERT. EXP. DATE
 7-30-79

MAIN CERT. NO.
 301975

VAR. NO.

EXP. DATE

C.U.P. NO.

EXP. DATE

SPECIAL D./ST./C.E.P.

EXP. DATE

SIGN AREA
 240

SIGN HGT.

ZONE
 M1

COMM. CODE

LAND USE

PROJ. OVER RT. OF WAY

MAX. HT. ALLOW.
 18'0"

COORD. INDEX
 214-1704

R/W WIDTH
 60'

SPEED ZONE

PORTAGE
 50'

FRONT YARD SET BACK

REG. ACT

NEAR YD.

PLANNING DEPT. APPROBY
[Signature] DATE: 5/13/77

SIGN TYPE	45 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC	\$28.65	\$31.65	\$34.65	
WALL, ELECTRIC	\$34.65	\$27.65	\$40.65	34.65
GRD., ROOF, PROJ.	\$92.65	\$55.65	\$58.65	
SPECIAL INSP. REQ.	EST. HIRE	\$13.65 PER HR.		
OTHER				

ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACCY
 320 SUB TOTAL: 34.65
 0660 STATE FEE: .50

TOTAL 35.15

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
M. Mason

DATE 5/13/77

FILE

PLAN FILE NO. 19635

PLAN APPROVED *[Signature]* DATE 5/13/77

IN-12 (2-76)

PLANNING DEPARTMENT

INSPECTION DEPARTMENT

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National

MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

NAME
Equity Investments

ADDRESS (NUMBER) (STREET)
3110 Hancock DBA Sports Arena Sq.

CITY ZIP TEL. NUMBER
San Diego 92110

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS. NO. CITY LICENSE NO.
072497 C-45 61297

LOT BLOCK SUBDIVISION UNIT

SITE ADDRESS
Por. Pueblo Lot 313 & 338

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

AREA	SIGN TYPE	AREA
None		

WORDING OF SIGN COPY
vacant

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction; in doing the work authorized therein, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) DATE SIGNED
[Signature] **5/13/77**

AGENT FOR:
 ADDRESS:

PLAN FILE NO. **79631**

PLAN APPROVED *[Signature]* DATE **5/13/77**

FOR ADDRESS **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER **6500**

IMMEDIATE TRACT NUMBER **501334**

TYPE OF NEW SIGN

MAIN CERT. NO. **301987** EXP. DATE **9-30-79**

- OFF PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- RAMP OR
- BLANKING
- ELECTRIC
- TURNING
- NOT VISIBLE

CORN. CODE LAND USE

PROJ. OVER HT. OF WAY **24 ft**

MAX. HT. ALLOW **18 ft**

WIND AREA **171**

EDGED INDEX **214-1704**

MAX. WIDTH **60 ft**

FRONTAGE **50'**

FRONT YARD SET BACK **ACT**

PLANNING DEPT. OFF BY *[Signature]* DATE **5/13/77**

SIGN TYPE	45 S.F. OR LESS	45 - 99 S.F.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$28.45	\$71.45	\$94.45	
WALL ELECTRIC	\$74.45	\$27.45	\$49.45	34.65
GRD. ROOF PROJ.	\$52.45	\$28.45	\$84.45	
SPECIAL TRAP REQ.	EST. HRS.	\$18.00 PER HR.		

OTHER

ATTENTION THE PERMIT AUTHORITY ONLY THE WORK WITH:

BUILDING INSPECTOR DEPARTMENT



CITY OF SAN DIEGO

FUND & ACCT.	SUB TOTAL	STATE FEE	TOTAL
320 9660	100.73502	34.65	35.15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY *[Signature]*

DATE **5/19/77**

FILE

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER): 3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110 TEL NUMBER:

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SIGN LICENSE
 STATE LICENSE NO: 072497 CLASS NO: C-45 CITY LICENSE NO: 61297

SITE
 LOT: Port. Pueblo Lot 313 & 338
 BLOCK: SUBDIVISION: UNIT:

JOB ADDRESS
 3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	12A

WORDING OF SIGN COPY
 Pizza

IS AN EXISTING SIGN BEING REPLACED?
 NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) **DATE SIGNED**
5/13/77

AGENT FOR:

ADDRESS:

JOB ADDRESS
 3350 Sports Arena Blvd

CENSUS TRACT NUMBER 6500 **BUILDING PERMIT NUMBER** 501345

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRWY. OR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. EXP. DATE 9-30-79 **MAIN CERT. NO.** 501976

VAR. NO. **EXP. DATE**

C.U.P. NO. **EXP. DATE**

SPECIAL DIST./C.P. **EXP. DATE**

SIGN AREA 240 **SIGN HGT.** 11 **ZONE** M1

COMM. CODE **LAND USE** **PROJ. OVER RT. OF WAY** **MAX. HT. ALLOW.** **MAX. AREA ALLOW.** 1460

COORD. INDEX 214-124 **R/W WIDTH** 60+ **SPEED ZONE** 39' **FRONTAGE**

FRNT. YARD SET. BACK **REAR YD.** **BLDG. WID.** **(INT.)** **(STR.)** **CURS TO ALL.**

PLANNING DEPT. APP. BY *A. DeLew* **DATE** 5/13/77

SIGN TYPE	48 S.F. OR LESS	50 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL NON-ELEC	\$28.65	\$31.65	\$34.65	
WALL ELECTRIC	\$34.65	\$37.65	\$41.65	34.65
GRD. ROOF, PROJ.	\$42.65	\$55.65	\$58.65	
SPECIAL INSP. REQ.	EST. HRS.	\$10.00 PER HR.		
OTHER				

ATTENTION
 THIS PERMIT AUTHORIZES ONLY THE WORK NOTED:

INSPECTOR IN CHARGE

CITY OF SAN DIEGO

FUND & ACCT	SUB TOTAL
320	100.73462
9880	STATE FEE
	50
	TOTAL 34.65
	35.15

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
D. Mason

DATE 5/13/77

PLAN FILE NO. 89034 **PLAN APPROVED** *[Signature]* **DATE** 5/13/77

FILE

BUILDING PERMIT - SIGN **APPLICANT FILL INSIDE HEAVY LINES**

SIGN OWNER
 NAME OR NAME OF BUSINESS: **Image National**
 MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**
 CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **45-4020**

SIGN USER
 NAME: **Equity Investments**
 ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**
 CITY: **San Diego** ZIP: **92110** TEL. NUMBER:

SIGN INSTALLER
 NAME: **Image National**
 ADDRESS (NUMBER) (STREET): **P.O. Box 7682**
 CITY: **Boise, IDaho** ZIP: **83707** TEL. NUMBER: **345-4020**
 STATE LICENSE NO.: **072497** CLASS NO.: **C-45** CITY LICENSE NO.: **61297**

SITE
 LOT: **Port. Pueblo** BLOCK: **Lot 313** SUBDIVISION: *** 338** UNIT:
 JOB ADDRESS: **3350 Sports Arena Blvd.**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
Wall	128

WORDING OF SIGN COPY
 = 128

IS AN EXISTING SIGN BEING REPLACED?
 3

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) *[Signature]* **DATE SIGNED** **5/13/77**
AGENT FOR:
ADDRESS

JOB ADDRESS
3350 Sports Arena Blvd

CENSUS TRACT NUMBER **6500** **BUILDING PERMIT NUMBER** **501313**

MAILING DATE **5-30-77** **MAIN CERT NO.** **301978**

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRNT. OR.
 BLINKING
 ELECTRIC
 TURNING
 NOT VIS. R.W.

MAILING DATE **5-30-77** **VAR. NO.**
CLIP. NO. **EXP. DATE**
SPECIAL DIST./C.F. **EXP. DATE**


SIGN AREA **240** **SIGN HGT.** **M1** **CODE**
PROJ. OVER RT. OF WAY **MAX. HT. ALLOW.** **MAX. AREA ALLOW.** **1560**

COORD. INDEX **214-1704** **ROW WIDTH** **60+** **SPEED ZONE** **FRONTAGE** **291**

FRONT YARD SET-BACK **REG. ACT** **REAR YARD SET-BACK** **INT'L. (STR.)** **CURB TO E.L.**

PLANNING DEPT. APP BY *[Signature]* **DATE** **5/13/77**

SIGN TYPE	FEES OR CHGS.	\$0 - \$250	FOR 250 FT. OR MORE	FEE
WALL, NON-ELEC.	\$18.00	\$21.00	\$24.00	
WALL, ELECTRIC	\$18.00	\$27.00	\$40.00	34.65
GRD. ROOF PROJ.	\$52.00	\$55.00	\$58.00	
SPECIAL INSP. REQ.	EST. AMT.	\$10.00 PER HR.		
OTHER				

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED.
 BUILDING DEPARTMENT

 CITY OF SAN DIEGO

FUND & ACC'T **SUB TOTAL** **34.65**

320 **STATE FEE** **50**

9600 **TOTAL** **35.15**

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY *[Signature]*
DATE **5/13/77** **FILE**

INS-12 (2-7-76)

INSPECTION

PLAN FILE NO. **89638** **PLAN APPROVED** *[Signature]* **DATE** **5/13/77**

BUILDING PERMIT - SIGN		APPLICANT FILL INSIDE HEAVY LINES	
SIGN OWNER	NAME OR NAME OF BUSINESS Kona Theatre		
	MAILING ADDRESS (NUMBER) (STREET) 1001 Sunset Blvd		
	CITY LA., CA.	ZIP 90050	TEL. NUMBER 374-1016
SIGN USER	NAME Kona Theatre		
	ADDRESS (NUMBER) (STREET) 1001 Sunset Blvd		
	CITY LA., CA.	ZIP 90050	TEL. NUMBER
SIGN INSTALLER	NAME Image Motions		
	ADDRESS (NUMBER) (STREET) 1001 Sunset Blvd		
	CITY LA., CA.	ZIP 90050	TEL. NUMBER
SITE	STATE LICENSE NO. 123456		
	CLASS. NO. C-445		
	CITY LICENSE NO. 61234		
JOB ADDRESS 3350 Sports Arena Blvd.			
LIST EACH EXISTING SIGN GIVING TYPE AND AREA			
SIGN TYPE		AREA	
None			
WORDING OF SIGN COPY Kona Theatre 13A			
IS AN EXISTING SIGN BEING REPLACED? No			
I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.			
SIGNATURE (OWNER OR AGENT)		DATE SIGNED	
AGENT FOR:			
ADDRESS			

JOB ADDRESS 3350 Sports Arena Blvd			
CENSUS TRACT NUMBER 6500		BUILDING PERMIT NUMBER 100774	
TYPE OF NEW SIGN		MAIN CTRY. EXP. DATE 9-30-79	MAIN CTRY. NO. 30/979
<input type="checkbox"/> OFF-PREMISE		VAR. NO.	EXP. DATE
<input type="checkbox"/> GROUND		C.U.P. NO.	EXP. DATE
<input checked="" type="checkbox"/> WALL		SPECIAL DIST./C.S.P.	EXP. DATE
<input type="checkbox"/> PROJECTING		SIGN AREA 48 sq ft	SIGN HGT. mi
<input type="checkbox"/> ROOF		PROJ. OVER RT. OF WAY	MAX. HT. ALLOW. 243 ft
<input type="checkbox"/> FRWY. OR		COORD. INDEX 214-1704	R/W WIDTH 60 ft
<input type="checkbox"/> BLINKING		SPEED CURVE	FRONTAGE 65 ft
<input checked="" type="checkbox"/> ELECTRIC		FRONT YARD SET BACK	CURE TO C.L.
<input type="checkbox"/> TURNING		PLANNING DEPT. OFF. BY D. Helms	DATE 5/13/77
<input type="checkbox"/> NOT VIS. N.W.		SIGN TYPE	49 S.F. OR LESS
COMM. CODE	LAND USE	49-99	50-99
100 S.F. OR MORE	FEE	224.45	231.65
WALL, NON-ELEC.	224.45	231.65	238.85
WALL, ELECTRIC	232.45	237.65	246.85
GRD. ROOF, PROJ.	252.45	255.45	258.45
SPECIAL INSP. REQ.	EST. HRS.	376.00 PER H.R.	
OTHER			
FUND & ACC'T	SUB TOTAL	320	9660
100/73402	3465	STATE FEE	50
TOTAL	3515	APPROVAL	This permit does not become valid until signed by the Director of Building Inspection, or his Deputy; fees paid, and receipt is acknowledged in space provided.
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY	M. Mason	DATE	5/13/77

PLAN FILE NO. 89638
 PERM. APPROVED DATE 5/13/77

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
 ENCLING INSPECTION DEPARTMENT
 CITY OF SAN DIEGO
 MAY 10 7 15 AM 1977
 FILE

BUILDING PERMIT - SIGN **APPLICANT FILL INSIDE HEAVY LINES**

SIGN OWNER
 NAME OR NAME OF BUSINESS: *Mark Theater*
 MAILING ADDRESS (NUMBER): *325 E. Laurel St* (STREET)
 CITY: *San Diego* ZIP: *92101* TEL. NUMBER: *231-1486*

SIGN USER
 NAME: *Mark Theater*
 ADDRESS (NUMBER): *325 E. Laurel St* (STREET)
 CITY: *San Diego* ZIP: *92101* TEL. NUMBER: *231-1486*

SIGN INSTALLER
 NAME: *George Anderson*
 ADDRESS (NUMBER): *1111 E. San Diego* (STREET)
 CITY: *San Diego* ZIP: *92101* TEL. NUMBER: *231-1486*

SITE
 STATE LICENSE NO: *62047* CLASS NO: *2-415* CITY LICENSE NO: *6159*
 LOT: *For people* BLOCK: *200 11th St* SUBDIVISION: *11th St* UNIT:
 JOB ADDRESS: *3350 Sports Arena Blvd*

JOB ADDRESS
3350 Sports Arena Blvd

TRACT NUMBER *6500* **BUILDING PERMIT NUMBER** *504844*

TYPE OF NEW SIGN
 OFF PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRAY OR
 SLINKING
 ELECTRIC
 TURNING
 NOT VIS. RW

MAIN CERT. EXP. DATE *9-30-79* **NEWER CERT. NO.** *301977*

VAR. NO. **EXP. DATE**

C.U.P. NO. **EXP. DATE**

SPECIAL DIST. C.S.P. **EXP. DATE**

SIGN AREA *480* **SIGN HGT.** *M1* **ZONE**

COMM. CODE **LAND USE** **PREL. OVER RT. OF WAY** **MAX. HT. ALLOW.** **MAX. AREA ALLOW.**

COORD. INDEX *214-1709* **R/W WIDTH** *60'* **SPEED ZONE** **FRONTAGE** *65'*

FRONT YARD SET-BACK **REG. ACT** **REAR YD.** **SIDE YARD** **INT.** **ISTR.** **CURB TO C.L.**

PLANNING DEPT. APP. OF *Asst* **DATE** *5/13/77*

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
<i>None</i>	

SIGN TYPE	\$2 S.F. OR LESS	\$9 - \$99 S.F.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.55	\$31.55	\$51.55	
WALL, ELECTRIC	\$38.55	\$27.55	\$45.55	<i>34.65</i>
GRD, ROOF, PROJ.	\$52.55	\$55.55	\$58.55	
SPECIAL TRSF. REG.	EST. HWS	\$70.00 PER HR.		

WORDING OF SIGN COPY
Mark Theater 1-1-7-54-10 13B

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction in doing the work authorized hereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.


SIGNATURE (OWNER OR AGENT) **DATE SIGNED**

AGENT FOR:

ADDRESS

ATTENTION: THE PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT



CITY OF SAN DIEGO

FUND & ACC'T **SUB TOTAL**

320	STATE FEE	50
9660	TOTAL	<i>35.15</i>

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
M. Mooney

DATE *5/13/77*

PLAN FILE NO. *89638* **PLAN APPROVED** *5/13/77*

FILE

BUILDING PERMIT - SIGN (APPLICANT FILL INSIDE HEAVY LINES)

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER): P.O. Box 2010
 CITY: San Diego TEL NUMBER: 434-1000

SIGN USER
 NAME: Sports Investments
 ADDRESS (NUMBER): 1710 Sanwick St Sports Arena Sq.
 CITY: San Diego TEL NUMBER: 434-1000

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER): P.O. Box 2010
 CITY: San Diego TEL NUMBER: 434-1000

SIGN INSTALLER LICENSES
 STATE LICENSE NO.: CLASS NO.: CITY LICENSE NO.:
 LOT: BLOCK: SUBDIVISION: UNIT:

SITE
 JOB ADDRESS: 3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

AREA	SIGN TYPE	AREA
None		

WORDING OF SIGN COPY
 Account & Health Club 1A A

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction; in doing the work authorized hereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) _____ **DATE SIGNED** _____
AGENT FOR: _____

ADDRESS _____

JOB ADDRESS
 3350 Sports Arena Blvd

CENSUS TRACT NUMBER 6580 **BUILDING PERMIT NUMBER**

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRAY OR
 BLINKING
 ELECTRIC
 TURNING
 NOT VISIBLE

MAIN CERT. EXP. DATE 9-30-79 **MAIN CERT. NO.** 30/981

VAR. NO. **EXP. DATE**

C.V.P. NO. **EXP. DATE**

SPECIAL DIST. C.P. **EXP. DATE**

SIGN AREA 480 **SIGN HGT.** m **ZONE** M1
PROJ. OVER FT. OF WAY **MAX. HT. ALLOW.** 350' **MAX. AREA ALLOW.** 3500'

COORD. INDEX 214-1704 **NEW WIDTH** 60' **SPEED ZONE** 250' **FRONTAGE** 250'

PLANNING DEPT. AP. BY A. B. Bolan **DATE** 5/13/77

SIGN TYPE	48 XP. OR LESS	50 - 99 SQ. FT.	100 SQ. FT. OR MORE	FEE
WALL NON-ELEC.	\$28.48	\$37.45	\$54.65	
WALL ELECTRIC	\$52.55	\$37.45	\$54.65	34.65
GRD. ROOF PROJ.	\$52.55	\$55.69	\$88.85	
SPECIAL INSP. REQ.	EST. WORK	\$70.50 PER HR.		

OTHER

ATTENTION BLDG. INSPECTION DEPT. ONLY THE WORK NOTED

FUND & ACCT. 320 9860 **SUB TOTAL** 108/7202 **34.65**

STATE FEE .50

TOTAL 35.15

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. OFFICER M. Moseri
DATE 5/13/77 **FILE**

IN 15 (5-74)

INSPECTION

PLAN FILE NO. 14638 **PLAN APPROVED** *[Signature]* **DATE** 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: Page National

MAILING ADDRESS (NUMBER) (STREET): P.O. Box 765

CITY: Poway, Calif. ZIP: 92129 TEL. NUMBER: 951-4122

SIGN OWNER: NAME: Page National

ADDRESS (NUMBER) (STREET): 3117 Rainbow Hill North Atank St.

CITY: San Diego ZIP: 92116 TEL. NUMBER:

SIGN USER: NAME: Page National

ADDRESS (NUMBER) (STREET): P.O. Box 765

CITY: Poway, Calif. ZIP: 92129 TEL. NUMBER: 951-4122

SIGN INSTALLER: NAME: Page National

ADDRESS (NUMBER) (STREET): P.O. Box 765

CITY: Poway, Calif. ZIP: 92129 TEL. NUMBER: 951-4122

STATE LICENSE NO. CLASS. NO. CITY LICENSE NO. LQT. BLOCK SUBDIVISION UNIT

JOB ADDRESS: 3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

WORDING OF SIGN COPY: Signet & Health Club 1AR

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) DATE SIGNED

AGENT FOR: ADDRESS:

JOB ADDRESS: 3350 Sports Arena

GENUS TRACT NUMBER: 65.00 BUILDING PERMIT NUMBER: 50634

TYPE OF NEW SIGN: OFF-PREMISE GROUND WALL PROJECTING ROOF FRAY, OR BLINKING ELECTRIC TURNING NOT YET R.W.

MAIN CERT. EXP. DATE: 9-30-79 MAIN CERT. NO.: 301980

YKR. NO. EXP. DATE

C.U.P. NO. EXP. DATE

SPECIAL DESIGNER EXP. DATE

SIGN AREA: 48 sq ft SIGN HGT.: 7m1 ZONE: YM1

COMM. CODE CLASS. USE: M3E PROJ. OVER RT. OF WAY: MAX. HT. ALLOW.: 350 ft MAX. AREA ALLOW.: 350 sq ft

COORD. INDEX: 214-124 R/W WIDTH: 60 ft SPEED ZONE: 290

FRONT. YARD SET BACK: REG. ACT. REAR YARD SET BACK: (INT.) (STN.) CURB TO C.L.

PLANNING DEPT. APP. BY: J. Balow DATE: 5/13/77

SIGN TYPE	15 S.F. OR LESS	16 - 25 S.F.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$20.00	\$21.00	\$24.00	
WALL ELECTRIC	\$32.00	\$37.00	\$40.00	34.65
GND. ROOF, PROJ.	\$52.00	\$55.00	\$58.00	
SPECIAL INSP. REQ.	1ST. HRL.	\$10.00 PER YR.		
OTHER				

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

PLANNING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACCT.	SUB TOTAL	STATE FEE	TOTAL
320 9660	102,736.02		34.65
		50	35.15

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection or his Deputy, fees paid, and except is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: M. Mason DATE: 5/13/77

PLAN FILE NO. 59638 PLAN APPROVED: [Signature] DATE: 5/13/77

BUILDING PERMIT - SIGN

APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: *Flippo Restaurant*

MATERIALING ADDRESS (NUMBER) (STREET): *500 So. Market Ave.*

CITY: *San Diego, Ca.* ZIP: *92101* TEL. NUMBER: *534-0100*

NAME: *Flippo Restaurant*

ADDRESS (NUMBER) (STREET): *500 So. Market Ave.*

CITY: *San Diego, Ca.* ZIP: *92101* TEL. NUMBER: *534-0100*

NAME: *Flippo Restaurant*

ADDRESS (NUMBER) (STREET): *500 So. Market Ave.*

CITY: *San Diego, Ca.* ZIP: *92101* TEL. NUMBER: *534-0100*

STATE LICENSE NO. CLASS. NO. CITY LICENSE NO.

LOT BLOCK SUBDIVISION UNIT

SITE ADDRESS: *3350 Sports Arena Blvd*

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
<i>None</i>	

WORDING OF SIGN COPY: *Flippo Restaurant 15 A*

IS AN EXISTING SIGN BEING REPLACED? *Yes*

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: *5/13/77*

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS: *3350 Sports Arena Blvd*

CENSUS TRACT NUMBER: *625.00* BUILDING PERMIT NUMBER: *10873662*

TYPE OF NEW SIGN:

- OFF PREMISES
- GROUND
- WALL
- PROJECTING
- ROOF
- FHWY OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VIA P.W.

MAIN CERT. NO. *9-30-79* EXPI. DATE: *30/78*

VAR. NO. _____ EXP. DATE _____

C.G.R. NO. _____ EXP. DATE _____

SPECIAL DTPYC S.P. _____ EXP. DATE _____

SIGN. AREA: *480* SIGN HGT. _____ TONE: *M1*

COMM. CODE _____ LAND USE _____ PROJ. OVER RT. OF WAY _____ MAX. HT. ALLOW. _____ MAX. AREA ALLOW. *1314*

COORD. INDEX: *214-1704* R/W WIDTH: *604* SPEED CONC. _____ PORTAGE: *351*

FRONT YARD SET BACK _____ REAR _____ (LINT.) _____ (WTR.) _____ CURB TO P.L. _____

PLANNING DEPT. APP. BY: *[Signature]* DATE: *5/13/77*

SIGN TYPE	40 S.F. OR LESS	50 - 99 S.F.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.65	\$31.65	\$34.65	
WALL, ELECTRIC	\$34.65	\$37.65	\$40.65	<i>34.65</i>
GRD. ROOF, PROJ.	\$53.65	\$56.65	\$59.65	
SPECIAL INSP. REQ.	EST. HRS.	\$15.00 PER HR.		

OTHER: _____

ATTENTION THIS PERMIT APPROVES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	STATE FEE	TOTAL
320 9660	10873662		<i>34.65</i>
		50	<i>35.15</i>

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *M. Mason*

DATE: *5/13/77* FILE

IN-15 (2-74)

PLANNING INSPECTION

PLAN FILE NO. *89638* PLAN APPROVED *[Signature]* DATE *5/13/77*

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: *Image International*

MAILING ADDRESS (NUMBER) (STREET): *1000 Sports Arena Blvd*

CITY: *San Diego* ZIP: *92101* TEL. NUMBER: *534-1111*

NAME: *Image International*

ADDRESS (NUMBER) (STREET): *1000 Sports Arena Blvd*

CITY: *San Diego* ZIP: *92101* TEL. NUMBER: *534-1111*

NAME: *Image International*

ADDRESS (NUMBER) (STREET): *1000 Sports Arena Blvd*

CITY: *San Diego* ZIP: *92101* TEL. NUMBER: *534-1111*

STATE LICENSE NO. CLASS NO. CITY LICENSE NO. LOT WIDER SUBDIVISION UNIT

LOT ADDRESS: *1000 Sports Arena Blvd*

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
<i>None</i>	

WORDING OF SIGN COPY: *Image International*

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application and the information given is correct and that I am the building or property owner or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized hereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: *5/13/77*

AGENCY FOR: _____

ADDRESS: _____

3350 Sports Arena Blvd

GENUS TRACT NUMBER: *65,00* BUILDING PERMIT NUMBER: *897250*

TYPE OF NEW SIGN:

- OFF PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- PRIVY OR
- SIGNING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. NO. EXP. DATE: *9-30-79* MAIN CERT. NO. EXP. DATE: *30/1963*

VAR. NO. EXP. DATE

C.D.P. NO. EXP. DATE

SPECIAL DIST. EXP. DATE

SIGN AN. SIGN AN. CONC.

COMM. CODE PLAND USE PROJ. OVER FT. OF WAY MAX. HT. ALLOW. MAX. AREA ALLOW.

COND. INDEX RTW WIDTH SPEED ZONE FRONTAGE


ERMT. YARD SET BACK REQ. ACT NEAR YD. INT'L. SPIN. CURB TO C/L

PLANNING DEPT. AM BY: *[Signature]* DATE: *5/13/77*

SIGN TYPE	48" H.P. OR LEAS	\$0 - 99 SQ. FT.	100 SQ. FT. OR MORE	FEE
WALL NON-ELEC.	\$20.00	\$21.00	\$32.00	
WALL ELECTRIC	\$34.00	\$37.00	\$60.00	
GRD. ROOF PROJ.	\$52.00	\$55.00	\$88.00	
SPECIAL INSP. REQ.	EXT. WRE	\$10.00 PER WR.		
OTHER				<i>36.05</i>

ATTENTION THE PERMIT AUTHORITY ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT



CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	STATE FEE	TOTAL
520 9080	10073802		<i>36.05</i>
		50	
			<i>36.55</i>

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt of acknowledgment is provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: *5/19/77*

PLAN FILE NO. *89638* PLAN APPROVED DATE: *5/13/77*

FILE

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS: P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER) (STREET): 3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110 TEL NUMBER:

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SITE
 STATE LICENSE NO.: 071497 CLASS NO.: C-45 CITY LICENSE NO.: 61297
 LOT: For. Pueblo Lot 313 & 338
 SITE ADDRESS: 3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read the application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): [Signature] DATE SIGNED: 5/13/77

AGENT FOR: [Signature]

ADDRESS:

JOB ADDRESS: 3350 Sports Arena Blvd

PERMIT FEE: 605.00

BUILDING PERMIT NUMBER

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FERRY ON
- BLANKING
- ELECTRIC
- TURNING
- NOT VISIBLE

MAIN CERT. NO.: 9-30-77 **391964**

VAR. NO. **EXP. DATE**

CL. NO. **EXP. DATE**

SPECIAL DISTIC. P. **EXP. DATE**

SIGN AREA: 44' **SIGN HGT.**: 94' **ZONE**

COMM. CODE **LAND USE** **PROJ. OVER RT. OF WAY** **MAX. HT. ALLOW.** **MAX. AREA ALLOW.**

CODE INDEX **ROW WIDTH** **SPEED ZONE** **FRONTAGE**

FRONT YARD SET BACK **REAR YARD SET BACK** **DEAR** **DEPT. APPROV. DATE**

PLANNING DEPT. APP. BY: [Signature] **DATE**: 5/13/77

SIGN TYPE	20 FT. OR LESS	20 FT. TO 100 FT.	100 FT. OR MORE	FEE
WALL, NON-ELEC.	\$28.40	\$31.40	\$34.40	
WALL, ELECTRIC	\$34.40	\$37.40	\$40.40	
GRD. ROOF PROJ.	\$52.40	\$55.40	\$58.40	
SPECIAL INSP. REQ.	EST. MFR.	310.00 PER HR.		
OTHER				

36.05

ATTENTION TO NAME AUTHORITY ONLY THE WORK NOTED

ENGINEER/INSPECTOR

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	STATE FEE	TOTAL
320 9660	10072402	50	3605
			3655

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: [Signature]
DATE: 5/17/77 **FILE**

PLAN FILE NO. 89438

PLAN APPROVED [Signature] DATE 5/13/77

BUILDING PERMIT - SIGN

APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National

MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL NUMBER
Boise, Idaho 83707 345-4020

NAME
Equity Investments

ADDRESS (NUMBER) (STREET)
3110 Hancock DBA Sports Arena Sq.

CITY ZIP TEL NUMBER
San Diego 92118

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL NUMBER
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.
072497 C-45 61297

LOT BLOCK SUBDIVISION UNIT
Por. Pueblo Lot 313 & 338

SITE ADDRESS
3350 Sports Arena Blvd

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY
Sports Arena & Signage

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) DATE SIGNED
[Signature] 5/19/77

AGENT FOR:
ADDRESS

JOB ADDRESS
3350 Sports Arena Blvd

CENSUS TRACT NUMBER 65.00

BUILDING PERMIT NUMBER 801385

MAIN CERT. EXP. DATE 9-30-79

MAIN CERT. NO. 301956

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- PRVY. OK
- SLIPPING
- ELECTRIC
- TURNING
- NOT VIS. R/W

VAR. NO. EXP. DATE

IC (C.E. NO.) EXP. DATE

SPECIAL DIST. (C.S.P.) EXP. DATE

SIGN AREA SIGN HGT. ZONE
4' 8'

COMM. CODE LAND USE PROJ. OVER RT. OF WAY MAX. HT. ALLOW. MAX. AREA ALLOW.

COORDE. INDEX R/W WIDTH SPEED ZONE FRONTAGE

FRONT YARD SET BACK REAR YARD SET BACK HNT. (STR.) CURB TO P.L.

PLANNING DEPT. APP. BY *[Signature]* DATE 5/13/77

SIGN TYPE	40 S.F. OR LESS	50 - 75 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.65	\$31.48	\$34.85	
WALL, ELECTRIC	\$34.85	\$37.68	\$40.48	
GRG. ROOF, PROJ.	\$52.85	\$55.68	\$58.98	
SPECIAL INSP. REQ.	EST. HRS	\$10.00 PER HR.		

OTHER

36.05

ATTENTION THIS PERMIT AUTHORITY ONLY THE WORK NOTED

ADDRESS INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	STATE FEE	TOTAL
320 9680	100/75682		36.05
		.50	36.55

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy; fees paid, and receipt of acknowledgment in force provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
[Signature]

DATE 5/19/77

PLAN FILE NO. 89638

PLAN APPROVED *[Signature]*

DATE 5/19/77

BUILDING PERMIT - SIGN		APPLICANT FILL INSIDE HEAVY LINES	
SIGN OWNER	NAME OR NAME OF BUSINESS Image National		
	MAILING ADDRESS (NUMBER) (STREET) P.O. Box 7682		
	CITY Boise, Idaho	ZIP 83707	TEL. NUMBER 345-4020
SIGN USER	NAME Equity Investments		
	ADDRESS (NUMBER) (STREET) 3110 Hancock DBA Sports Arena Sq.		
	CITY San Diego	ZIP 92110	TEL. NUMBER
SIGN INSTALLER	NAME Image National		
	ADDRESS (NUMBER) (STREET) P.O. Box 7682		
	CITY Boise, Idaho	ZIP 83707	TEL. NUMBER 345-4020
SITE	STATE LICENSE NO. 071497	CLASS NO. C-45	CITY LICENSE NO. 61297
	LOT Por. Pueblo Lot 313 & 338	BLOCK	SUBDIVISION
	ADDRESS 3350 Sports Arena Blvd.		
LIST EACH EXISTING SIGN GIVING TYPE AND AREA			
SIGN TYPE		AREA	
None			
WORDING OF SIGN COPY			
IS AN EXISTING SIGN BEING REPLACED? NO			
I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized hereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.			
SIGNATURE (OWNER OR AGENT)		DATE SIGNED 5/13/77	
AGENT FOR			
ADDRESS			

JOB ADDRESS 3350 Sports Arena Blvd		CENSUS TRACT NUMBER 6500		BUILDING PERMIT NUMBER 3605	
TYPE OF NEW SIGN	<input type="checkbox"/> OFF PREMISE	MAIN CERT. EXP. DATE 9-30-79		MAIN CERT. NO. 301955	
	<input type="checkbox"/> GROUND	VAR. NO.		EXP. DATE	
	<input type="checkbox"/> WALL	C.M.P. NO.		EXP. DATE	
	<input checked="" type="checkbox"/> PROJECTIVE	SPECIAL DIST./C.P.		EXP. DATE	
	<input type="checkbox"/> ROOF	SIGN AREA 471		SIGN HGT. 8'	
<input type="checkbox"/> FRWY. OR	ZONE				
<input type="checkbox"/> BLINKING	COMM. CODE		LAND USE		
<input type="checkbox"/> ELECTRIC	PROJ. OVER RT. OF WAY		MAX. HT. ALLOW.		
<input type="checkbox"/> TURNING	COORD. INDEX		R/W WIDTH		
<input checked="" type="checkbox"/> NOY VIS. R.W.	SPEED ZONE		FRONTAGE		
PRINT (FRONT OR BACK)	REQ. ACT	REAR YD.	SIGN STYLING	(INT.)	(EXT.)
PLANNING DEPT. APP BY M.A. Mc... DATE 5/13/77				CURE TO P.L.	
SIGN TYPE		45 S.F. OR LESS	50-99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.		\$28.50	\$31.00	\$34.50	
WALL, ELECTRIC		\$54.75	\$57.50	\$60.25	
GRD. ROOF, PROJ.		\$52.50	\$55.50	\$58.50	
SPECIAL INSP. REQ.		EST. HRS.	\$10.00 PER HR.		
OTHER					

ATTENTION THE PERMIT AUTHORIZED ONLY FOR WORK NOTED		BUILDING INSPECTION DEPARTMENT																	
CITY OF SAN DIEGO		<table border="1"> <tr> <td>FUND & ACCT</td> <td>SUB TOTAL</td> <td></td> <td></td> </tr> <tr> <td>320</td> <td>100/75808</td> <td>3605</td> <td></td> </tr> <tr> <td>9660</td> <td>STATE FEE</td> <td></td> <td>.50</td> </tr> <tr> <td colspan="2">TOTAL</td> <td>3655</td> <td></td> </tr> </table>		FUND & ACCT	SUB TOTAL			320	100/75808	3605		9660	STATE FEE		.50	TOTAL		3655	
FUND & ACCT	SUB TOTAL																		
320	100/75808	3605																	
9660	STATE FEE		.50																
TOTAL		3655																	
APPROVAL																			
This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt acknowledged in space provided.																			
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY K. L. L... DATE 5/19/77																			

PLAN FILE NO. 89638 PLAN APPROVED DATE 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**

CITY: **San Diego** ZIP: **92110**

NAME: **Image National**

ADDRESS (NUMBER) (STREET): **P.O. Box 7682**

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO.: **071497** CLASS. NO.: **C045** CITY LICENSE NO.: **61297**

LOT: BLOCK: SUBDIVISION: UNIT:

SITE JOB ADDRESS: **Por. Pueblo Lot 313 & 338**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA:

AREA	SIGN TYPE	AREA
	None	

WORDING OF SIGN COPY:

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): _____ DATE SIGNED: **5/15/77**

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS: **3350 Sports Arena Blvd**

CENSUS TRACT NUMBER: **6500** BUILDING PERMIT NUMBER: **501387**

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRAY OR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. NO. **301954** EXP. DATE: **9-30-79**

VAR. NO. EXP. DATE

C.U.P. NO. EXP. DATE

SPECIAL DISC. NO. EXP. DATE

SIGN AREA: **474** SIGN HGT: **8'** ZONE:

COMM. CODE: LAND USE:

ENGL. OVER RT. OF WAY: MAX. HT. ALLOW.: MAX. AREA ALLOW.:

COORD. INDEX: R.W. WIDTH: REPEND. ZONE: FRONTAGE:

CREET. YARD SET BACK: REQ. ACT: NEAR YD. SIGN HGT. (INT.) (INT.) CURB TO P.L.

PLANNING DEPT. APP. BY: **ma. ml.** DATE: **5/13/77**

SIGN TYPE	45 S.F. OR LESS	50-99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON ELEC.	\$28.55	\$31.55	\$34.55	
WALL, ELECTRIC	\$34.55	\$37.55	\$40.55	
GRD. ROOF, PROJ.	\$52.55	\$55.55	\$58.55	
SPECIAL IRREP. REQ.	EST. AMT.	\$10.00 PER HR.		

OTHER: **36.05**

ATTENTION: THE STREET ADDRESS AND THE WORK NOTED BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

TYPE & ACCT	SUB TOTAL	STATE FEE	TOTAL
300 0860			
		50	
			36.53

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. CHIEF: _____

DATE: **5/15/77** FILE

PLAN FILE NO. **89638** PLAN APPROVED: **[Signature]** DATE: **5/15/77**

BUILDING PERMIT - SIGN

APPLICANT FILL INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: *Large National*

MAILING ADDRESS (NUMBER) (STREET): *1000 Sports Arena Blvd*

CITY: *San Diego* ZIP: *92107* TEL. NUMBER: *444-4100*

SIGN USER NAME: *Large National*

ADDRESS (NUMBER) (STREET): *1000 Sports Arena Blvd*

CITY: *San Diego* ZIP: *92107* TEL. NUMBER: *444-4100*

SIGN INSTALLER NAME: *Large National*

ADDRESS (NUMBER) (STREET): *1000 Sports Arena Blvd*

CITY: *San Diego* ZIP: *92107* TEL. NUMBER: *444-4100*

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.

LOT BLOCK SUBDIVISION UNIT

JOB ADDRESS: *1000 Sports Arena Blvd*

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

WORDING OF SIGN COPY: *Sanuel & Health Club*

IS AN EXISTING SIGN BEING REPLACED?

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: *5/13/77*

AGENT FOR: _____ ADDRESS: _____

JOB ADDRESS: *3350 Sports Arena Blvd*

CENSUS TRACT NUMBER: *65-06* BUILDING PERMIT NUMBER: *1805*

TYPE OF NEW SIGN:

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRNY. OR
- SLIKING
- ELECTRIC
- TURNING
- NOT VIS. & W.

MAIN CERT. EXPI. DATE: *9-30-79* MAIN CERT. NO.: *301953*

VAR. NO. EXP. DATE

CASE NO. EXP. DATE

SPECIAL DISTRICT EXP. DATE

SIGN AREA: *400* SIGN HGT: *8'* ZONE

COMM. CODE LAND USE PROL. OVER RT. OF WAY MAX. HT. ALLOW. MAX. AREA ALLOW.

COORD. INDEX L/R/W WIDTH SPEED ZONE PROXYARE

FRONT YARD SET BACK REQ. ACT BEAR NO. (INFT.) (FT.) CURB TO C.L.

PLANNING DEPT. APP. BY: *N.A. Mc...* DATE: *5/13/77*

SIGN TYPE	45 FT. OR LESS	50 - 85 SQ. FT.	100 SQ. FT. OR MORE	FEE
WALL, NON-ELEC.	\$20.45	\$31.65	\$54.85	
WALL, ELECTRIC	\$34.85	\$52.65	\$90.95	
GND, ROOF, PROJ	\$32.60	\$52.65	\$89.85	
SPECIAL INSP. REQ.	EST. VARS.	\$10.50 PER RR.		
OTHER				<i>1805</i>

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED: BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

PUND & ACC.T: *100/72802* STATE FEE: *.50* TOTAL: *18.53*

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in copy provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]* DATE: *5/19/77*

PLAN FILE NO. *89638* PLAN APPROVED *[Signature]* DATE *5/13/77*

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER) (STREET): 3110 Hancock DBA Sports Arena Dr.
 CITY: San Diego ZIP: 92110

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER) (STREET): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020

SITE
 STATE LICENSE NO.: 072497 CLASS. NO.: C-45 CITY LICENSE NO.: 61297
 LOT: _____ BLOCK: _____ SUBDIVISION: _____ UNIT: _____
 JOB ADDRESS: Por. Pueblo Lot 313 & 338
3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

WORDING OF SIGN COPY
A. W. Franco Custom Tailor

IS AN EXISTING SIGN BEING REPLACED? X

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): _____ DATE SIGNED: 5/13/77
 AGENT FOR: _____
 ADDRESS: _____

JOB ADDRESS
3350 Sports Arena Blvd.

CENSUS TRACT NUMBER: 6500 BUILDING PERMIT NUMBER: 304355

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRNY. OR.
 BLINDING
 ELECTRIC
 TURNING
 NOT VIS. N.W.

MAIN CENY. EXT. DATE: 9-30-79 MAIN CENY. NO.: 301962
 MAX. NO.: _____ EXP. DATE: _____
 C.C.P. NO.: _____ EXP. DATE: _____
 SPECIAL DIST./C.C.P.: _____ EXP. DATE: _____


SIGN AREA: 4' x 8' SIGN HT.: 8' SONE: _____
 CORR. CODE: _____ BRAND USE: _____ PROJ. OVER RT. OF WAY: _____ MAX. HT. ALLOW: _____ MAX. AREA ALLOW: _____

CODED INDEX: _____ R/W WIDTH: _____ SPEED ZONE: _____ FRONTAGE: _____

FRONT YARD SET BACK: _____ REG. ACT: _____ REAR YD. (INT.): _____ (STR.): _____ CURB TO P.L.: _____

PLANNING DEPT. EMP. BY: Mal. 5/13/77

SIGN TYPE	48 S.F. OR LESS	50 - 99 S.Q. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.65	\$31.65	\$34.65	
WALL, ELECTRIC	\$24.65	\$27.65	\$30.65	
GRD. ROOF, PROJ.	\$32.65	\$35.65	\$38.65	
SPECIAL INSP. REQ.	EST. HRS.	\$10.00 PER HR.		
OTHER				<u>36.05</u>

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED:
 BUILDING INSPECTING DEPARTMENT

 CITY OF SAN DIEGO

FUND & ACC'T: 100/73602 SUB TOTAL: 36.05
320 STATE FEE: .50
0560 TOTAL: 36.55

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.
 SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: _____
 DATE: 5/19/77 FILE

PLAN FILE NO. 89698 PLAN APPROVED [Signature] DATE 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: **Image National**
 MAILING ADDRESS (NUMBER) (STREET): **P.O. Box 7682**
 CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

SIGN USER
 NAME: **Equity Investments**
 ADDRESS (NUMBER) (STREET): **3110 Hancock DBA Sports Arena Sq.**
 CITY: **San Diego** ZIP: **92110** TEL. NUMBER:

SIGN INSTALLER
 NAME: **Image National**
 ADDRESS (NUMBER) (STREET): **P.O. Box 7682**
 CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**
 STATE LICENSE NO.: **072497** CLASS. NO.: **C-45** CITY LICENSE NO.: **61297**

SITE
 LOT: **Por. Pueblo Lot 313 & 338**
 JOB ADDRESS: **3350 Sports Arena Blvd.**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA	SIGN TYPE	AREA
None		

WORDING OF SIGN COPY
Equity Investments

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR:
 ADDRESS:

JOB ADDRESS
3350 Sports Arena Blvd

COUNCIL DISTRICT NUMBER
65.00

BUILDING PERMIT NUMBER
30196

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRKY. OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. B.W.

MAIN CERT. EXP. DATE
9-30-79

MAIN CERT. NO.
30196

VAR. NO.

EXP. DATE

C.D.P. NO.

TEXT. DATE

SPECIAL DISTRICT

EXP. DATE

SIGN AREA
44

SIGN HGT.
8'

ZONE

COMM. CODE ISLAND USE

PROJ. OVER RT. OF WAY

MAX. HT. ALLOW.

MAX. AREA ALLOW.

COORD. INDEX

R/W WIDTH

SPEED ZONE

FRONTAGE

FRONT YARD SET BACK

REQ. ACT

REAR YD.

FRONT YARD

PLANNING DEPT. APP. BY
[Signature]

DATE
5/13/77

SIGN TYPE	\$0 S.F. OR LESS	35 - 99 SQ. FT.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.48	\$31.45	\$34.45	
WALL ELECTRIC	\$24.45	\$37.45	\$40.40	
GRD. ROOF, PROJ.	\$52.45	\$55.45	\$58.45	
SPECIAL INSP. REQ.	EST. HRS	\$15.00 PER HR.		

OTHER: **36.05**

ATTENTION THIS PERMIT IS CANCELED ONLY THE WORK NOTED

WORKING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	
320	100.73603	36.05
868	STATE FEE	.50
	TOTAL	36.55

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/13/77**

FILE

PLAN FILE NO.
89698

PLAN APPROVED
[Signature]

DATE
5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
Image National

MAILING ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

NAME
Equity Investments

ADDRESS (NUMBER) (STREET)
3110 Hancock St. DBA Sports Arena SQ

CITY ZIP TEL. NUMBER
San Diego 92110

NAME
Image National

ADDRESS (NUMBER) (STREET)
P.O. Box 7682

CITY ZIP TEL. NUMBER
Boise, Idaho 83707 345-4020

STATE LICENSE NO. CLASS NO. CITY LICENSE NO.
072497 C-45 61297

LOT (BLOCK) SUBDIVISION UNIT
Por. Pueblo Lots 313 & 338

SITE JOB ADDRESS
3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY
4x80 PAPER

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, in doing the work authorized hereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT) **[Signature]** DATE SIGNED **5/13/79**

AGENT FOR

ADDRESS

JOB ADDRESS
3350 Sports Arena Blvd

CENSUS TRACT NUMBER **05.00** BUILDING PERMIT NUMBER **504361**

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FREEWAY OR
- BLANKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MANCERY EXPI. DATE **9-30-79** MAIN CERY. NO. **301960**

VAR. NO. EXPI. DATE

C.U.P. NO. EXP. DATE

SPECIAL ORDERS EXP. DATE

SIGN AREA **4/80** SIGN HGT. **9'** ZONE

COMM. CODE LAND USE PROJ. OVER RT. OF WAY MAX. HT. ALLOW. MAX. AREA ALLOW.

COORD. INDEX R/W WIDTH SPEED ZONE FRONTAGE

FRONT YARD SET BACK REQ. ACT BEAR NO. (INT. ISTR.) CURB TO P.L.

PLANNING DEPT. APP. BY **[Signature]** DATE **5/13/79**

SIGN TYPE	RS. FT. OR LESS	30 - 39 SQ. FT.	100 SQ. FT. OR MORE	FEE
WALL, NON-ELEC.	\$25.45	\$51.05	\$34.85	
WALL, ELECTRIC	\$34.65	\$71.05	\$40.65	
GRD. ROOF, PROJ.	\$52.65	\$85.65	\$56.65	
SPECIAL INSP. REQ.	EST. HRS.	\$45.00 PER HR.		
OTHER				36.05

PLAN FILE NO. **89698** PLAN APPROVED **[Signature]** DATE **5/13/79**

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED.

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACCT	SUB TOTAL	
320	100/73802	36.05
9650	STATE FEE	50
	TOTAL	36.55

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY **[Signature]**

DATE **5/17/79** FILE

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS: **Image National**

MAILING ADDRESS (NUMBER): **P.O. Box 7682** (STREET):

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

NAME: **Equity Investments**

ADDRESS (NUMBER): **3110 Hancock** (STREET): **DIA Sports Arena Sq.**

CITY: **San Diego** ZIP: **92110** TEL. NUMBER:

NAME: **Image National**

ADDRESS (NUMBER): **P.O. Box 7682** (STREET):

CITY: **Boise, Idaho** ZIP: **83707** TEL. NUMBER: **345-4020**

STATE LICENSE NO.: **072497** CLASS NO.: **C-45** CITY LICENSE NO.: **61297**

LOT: **Por. Pueblo** BLOCK: **Lot 313** SUBDIVISION: **6** UNIT: **338**

SITE ADDRESS: **3350 Sports Arena Blvd**

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY: **Odyssey**

IS AN EXISTING SIGN BEING REPLACED? **NO**

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction; in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): *[Signature]* DATE SIGNED: **5/13/77**

AGENT FOR:

ADDRESS:

JOB ADDRESS: **3350 Sports Arena Blvd**

PERMIT FEE NUMBER: **65.00** BUILDING PERMIT NUMBER: **331302**

TYPE OF NEW SIGN:

- OFF-PREMISE
- SIGN ON
- WALL
- PROJECTING
- ROOF
- FRAY OR
- BLINKING
- ELECTRIC
- TURNING
- NOT VIS. R.W.

MAIN CERT. EXPIR. DATE: **9-30-79** MAIN CERT. NO.: **301959**

VAR. NO.: EXP. DATE:

CUR. NO.: EXP. DATE:

SPECIAL DIST./C.S.P.: EXP. DATE:

SIGN AREA: **4' 10"** SIGN HT.: **8'** ZONE:

COMM. CODE: LAND USE: PROJ. OVER SET. OF WAY: MAX. HT. ALLOW.: MAX. AREA ALLOW.:

COORD. INDEX: R/W WIDTH: SPECIAL ZONE: FRONTAGE:

FRONT YARD SET. BACK: REC. ACT: REAR YARD: (LIMIT): (STW.): CURB TO P.L.:

PLANNING DEPT. APPROVED BY: *[Signature]* DATE: **5/13/77**

SIGN TYPE	# S.F. OR LESS	50 - 99 S.F.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$28.00	\$31.00	\$34.00	
WALL ELECTRIC	\$34.00	\$37.00	\$40.00	
GRD. ROOF, PROJ.	\$32.00	\$35.00	\$38.00	
SPECIAL INSP. REQ.	EST. HRS	\$10.00 PER HR.		
OTHER				36.05

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED:

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACC'T	SUB TOTAL	
320	100.7300E	36.05
9800	STATE FEE	50
	TOTAL	36.55

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]*

DATE: **5/13/77**

FILE

PLAN FILE NO. **89678** PLAN APPROVED: *[Signature]* DATE: **5/13/77**

BUILDING PERMIT - SIGN APPLICANT FILL INSIDE HEAVY LINES

SIGN OWNER
 NAME OF NAME OF BUSINESS: Image National
 MAILING ADDRESS (NUMBER) (STREET):
P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SIGN USER
 NAME: Equity Investments
 ADDRESS (NUMBER) (STREET):
3110 Hancock DBA Sports Arena Sq.
 CITY: San Diego ZIP: 92110

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER) (STREET):
P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL NUMBER: 345-4020

SIGN LICENSE
 STATE LICENSE NO.: 072497 CLASS NO.: C-45 CITY LICENSE NO.: 61297

SITE
 JOB ADDRESS: Por. Pueblo Lot 313 & 338
3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY:
Meat Market Triland West

IS AN EXISTING SIGN BEING REPLACED?
NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction, to doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): _____ DATE SIGNED: 5/17/77

AGENT FOR: _____

ADDRESS: _____

JOB ADDRESS: 3350 Sports Arena Blvd

PERMITS TRACT NUMBER: 65100 BUILDING PERMIT NUMBER: 501958

TYPE OF NEW SIGN:
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 ERUVY. OR
 BLINKING
 ELECTRIC
 TURNING
 NOT VIS. P.W.

MAIN CERT. NO. EXP. DATE: 9-30-79 301958

VAR. NO.: _____ EXP. DATE: _____

C.U.P. REG.: _____ EXP. DATE: _____

SPECIAL DIST. SP.: _____ EXP. DATE: _____

SIGN AREA: 4/4 SIGN HGT: 8' CORN: _____

COMM. CODE (LAND USE): _____ PROJ. OVER RT. OF WAY: _____ MAX. HT. ALLOW: _____ MAX. AREA ALLOW: _____

COORD. INDEX: _____ ROW WIDTH: _____ SPEED ZONE: _____ FRONTAGE: _____

FRONT YARD SET BACK: _____ REG. ACT: _____ REAR YD. NO. _____ NO. OF STORIES: _____ (INT.) (SYN.) CURB TO P.L. _____

PLANNING DEPT. APP BY: [Signature] DATE: 5/13/77

SIGN TYPE	48 S.F. OR LESS	49 - 99 S.F.	100 S.F. OR MORE	FEE
WALL, NON-ELEC.	\$28.88	\$37.43	\$44.48	
WALL, ELECTRIC	\$34.80	\$37.43	\$44.48	
FRONT ROOF, PROJ.	\$32.43	\$37.43	\$44.48	
SPECIAL INSP. REG.	EST. HRS.	\$13.80 PER HR.		
OTHER				

3605

ATTENTION: THIS PERMIT ALTHOUGH ONLY THE WORK NOTED

ISSUED BY: _____

INSPECTION DEPARTMENT

CITY OF SAN DIEGO

FUND & ACCY	SUB TOTAL
020	36.05
0660	STATE FEE 50
	TOTAL 36.55

APPROVAL:
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: _____ DATE: 5/19/77

PLAN FILE NO. 89638 PLAN APPROVED: [Signature] DATE: 5/13/77

BUILDING PERMIT - SIGN APPLICANT FILL
INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: Swensens Ice Cream
 MAILING ADDRESS (NUMBER): 333 Pine Street
 CITY: San Francisco, CA ZIP: 92075 TEL. NUMBER: [blank]

SIGN USER
 NAME: Swensens Ice Cream
 ADDRESS (NUMBER): 333 Pine St.
 CITY: San Francisco, CA ZIP: 92075 TEL. NUMBER: [blank]

SIGN INSTALLER
 NAME: Image National
 ADDRESS (NUMBER): P.O. Box 7682
 CITY: Boise, Idaho ZIP: 83707 TEL. NUMBER: 345-4020
 STATE LICENSE NO.: 072497 CLASS. NO.: C-45 CITY LICENSE NO.: 61297

SITE
 ADDRESS: Por. Pueblo Lot 313 & 318
 3350 Sports Arena Blvd.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
None	

WORDING OF SIGN COPY
 Swensens Ice Cream

IS AN EXISTING SIGN BEING REPLACED?
 NO

I hereby acknowledge that I have read the application, and the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regarding construction, in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE OWNER OR AGENT: [Signature] DATE SIGNED: 5/13/77

AGENT FOR: [Signature]
 ADDRESS: [blank]

JOB ADDRESS: 3350 Sports Arena Blvd.
 CENSUS TRACT NUMBER: 65.00
 BUILDING PERMIT NUMBER: 301757

TYPE OF NEW SIGN:
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 SIGN. OR.
 BLINDING
 ELECTRIC
 TURNING
 NOT V.S. R.W.

MAIN CERT. EXP. DATE: 9-30-79
 MAIN CERT. NO.: 301757
 V.S. NO.: [blank] EXP. DATE: [blank]
 C.M.P. NO.: [blank] EXP. DATE: [blank]
 SPECIAL DIST. C.P.: [blank] EXP. DATE: [blank]

SIGN AREA: 40' x 8'
 ZONE: [blank]

COMM. CODE LAND USE: [blank] PROJ. OVER HT. OF WAY: [blank] MAX. HT. ALLOW.: [blank] MAX. AREA ALLOW.: [blank]

COORD. INDEX: [blank] SIGN WIDTH: [blank] SPECIAL ZONE: [blank] FRONTAGE: [blank]

FRONT YARD SET BACK: [blank] REAR YARD: [blank] SIDE YARD: [blank] CONC. TO P.L.: [blank]

PLANNING DEPT. APP. BY: [Signature] DATE: 5/13/77

SIGN TYPE	40 SQ. FT. OR LESS	50-75 SQ. FT.	100 SQ. FT. OR MORE	FEE
WALL, NON-ELEC.	\$27.45	\$31.45	\$34.45	
WALL, ELECTRIC	\$34.45	\$37.45	\$40.45	
GRD. ROOF PROJ.	\$52.45	\$58.45	\$64.45	
SPECIAL INSP. REQ.	ERT. NRS.	\$16.00 PER HR.		
OTHER				

36.05

INSPECTION

FUND & ACC'T	SUB TOTAL	
320	100,73602	3605
9660	STATE FEE	50
	TOTAL	3655

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt acknowledged or receipt provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: [Signature]
 DATE: 5/13/77

FILE

PLAN FILE NO.: 89638
 PLAN APPROVED: [Signature]
 DATE: [blank]

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

JOB ADDRESS
3360 SPORTS ARENA BL
CENSUS TRACT NUMBER **G5.00** PERMIT NUMBER **E 84191**

OWNER
NAME (OR NAME OF BUSINESS)
Equity Investments
MAILING ADDRESS (NUMBER) (STREET)
2350 Financial Square
CITY **San Diego, 92101** ZIP TELEPHONE NUMBER **291-1060**

USE ZONE **M-1** COORD. INDER **214-1704** PLAN FILE NO. **88243-D**
SETBACK FRONT YARD REAR YD. SIDE YD. NAME OF STREET

DESIGNER
NAME
Roy Johnson, AIA
ADDRESS (NUMBER) (STREET)
8348 Center Drive, Suite E
CITY **La Mesa, 92041** ZIP TELEPHONE NUMBER **462-8660**

ALLOWABLE COVERAGE FLOOR AREA RATIO ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.
LOT SPLIT DATE AGREEMENT NO. NO. OF SAN SINKS CURB TO P.L.

BUILDER
NAME
Self
ADDRESS (NUMBER) (STREET)
CITY ZIP TELEPHONE NUMBER

DATE PLANS SUBMITTED: WORK TO BE DONE
SIGN MOVE
ALTER REPAIR
DEMOLISH
PLAN CHK. RECPT. NO. NEW RESID. RESIDENTIAL
REPAIR ADD
PLAN CHECK RECPT. AMT. \$
S.C. CODE S 1 2
O.WELL UNITS 3 4 5

STATE LICENSE NUMBER CLASS. NO. CITY LICENSE NUMBER

FUND & ACCT. VALUATION OF WORK NO. UNITS PER UNIT TOTAL
287,000

JOB LOCATION
LOT BLOCK SUBDIVISION UNIT
Por. Pueblo Lot 313

100 73421 PLAN CHECK FEE **103.38**

JOB ADDRESS
3360 Sports Arena Blvd.
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
None

100 73422 BUILDING PERMIT FEE **206.75**

PROPOSED WORK
DESCRIBE WORK TO BE DONE
Finish work started under Permit No. L33307 BLDG 2

320 8660 STATE FEE **20.09**

EXISTING USE OF BUILDING OR PROPERTY **Vacant**
PROPOSED USE OF BUILDING OR PROPERTY **Commercial**

506 79750 SEWER FEE

500 79080 WATER FEE

73423 PARK FEE

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workman's Compensation law, this permit shall be deemed revoked.

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, U.S. BOLTS
 PILE DRIVING
 SOILS
 OTHER (IDENTIFY)

TOTAL FEES DUE **330.22**
FIRE ZONE **3** TYPE OF CONST. **V N** OCCUP. CAP. **#2**
BLDG. AREA **18,900** NO. STORES **1** TOTAL AREA **18,900**
SPRINKLERS REQ'D FOR **NO. TRFT.**

SIGNATURE (OWNER OR AGENT)
Rubens Weber DATE SIGNED **1/31/78**
AGENT FOR **Equity Investments**
ADDRESS **2350 Financial Square SD**

PLANS CHECKED DATE
PLANS APPROVED **S.P. Kab** DATE **1/31/78**
PLOT PLAN CHK'D & APP'D DATE

METER SIZE SERVICE SIZE CREW CHECKED BY
REMARKS
NO. ADDITIONAL CONNECTIONS REQ'D TYPE CONN. CHECKED BY
REMARKS

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.
SIGNATURE OF BLDG. DEPT. DEPUTY
S.P. Kab II
DATE **1/31/78** FILE




LOCATION RECD. AT COUNTER BY
LOCATION DATE
EXPIRATION DATE
ORKMAN'S C
INSURANCE CL
IN-258 (REV. 8-77)

ENGINEERING & DEV. APPROVAL
INSPECTION
ZONING APPROVAL
HEALTH DEPT. APPROVAL

LOCATION RECD. AT COUNTER BY
 EXPIRATION DATE
 WORKMAN'S COMPENSATION
 14-288 (REV. 8/77)

Building Permit Application		APPLICANT FILL INSIDE HEAVY LINES	
NAME (OR NAME OF BUSINESS) Equity Investments			
MAILING ADDRESS (NUMBER)		(STREET)	
2350 Financial Square			
CITY		ZIP	TELEPHONE NUMBER
San Diego 92101		92101	291-1060
NAME Roy Johnson, AIA			
ADDRESS (NUMBER)		(STREET)	
8348 Center Drive, Suite E			
CITY		ZIP	TELEPHONE NUMBER
La Mesa, CA 92041		92041	462-8660
NAME Self			
ADDRESS (NUMBER)		(STREET)	
CITY			
STATE LICENSE NUMBER		CLASS. NO.	CITY LICENSE NUMBER
LOT		BLOCK	SUBDIVISION
Par. Pueblo Lot 313			
JOB ADDRESS 3350 Sports Arena Blvd.			
CONDITION OF SOIL AT JOB SITE <input type="checkbox"/> ORIGINAL <input checked="" type="checkbox"/> COMPACTED FILL <input type="checkbox"/> LOOSE FILL			
NO. OF EXISTING BUILDINGS ON LOT AND USE None			
DESCRIBE WORK TO BE DONE Finish work started under Permit No. L33306 Budget 1			
EXISTING USE OF BUILDING OR PROPERTY Vacant			
PROPOSED USE OF BUILDING OR PROPERTY Commercial			
I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workman's Compensation law, this permit shall be deemed revoked.			
SIGNATURE (OWNER OR AGENT) <i>Pedro A. Weber</i>		DATE SIGNED 1/31/78	
AGENT FIRM Equity Investments			
ADDRESS 2350 Financial Square - 517			
METER SIZE	SERVICE SIZE	CREDIT	CHECKED BY
REMARKS			
NO ADDITIONAL CONNECTIONS REQ'D	TYPE CONN	CHECKED BY	
REMARKS			

JOB ADDRESS 3350 SPORTS ARENA BLVD			
CENSUS TRACT NUMBER GS,00		PERMIT NUMBER 184192 ✓	
USE ZONE M-1	COORD. INDEX 214-1704	PLAN FILE NO. 88243-D	
SETBACK FRONT YARD	REAR YD	(INT)	(STR) NAME OF STREET
ALLOWABLE COVERAGE	FLOOR AREA RATIO % ALLOWED	MAX. ALLOWABLE HEIGHT (FT.)	VARIANCE NO.
LOT SPLIT DATE	AGREEMENT NO.:	NO. OF BARS/SINK	CURS TO P.L.
DATE PLANS SUBMITTED:	WORK TO BE DONE	I.C. CODE DWELL UNITS	
PLAN CHK. RECPT NO	<input type="checkbox"/> SIGN <input type="checkbox"/> ALTER <input type="checkbox"/> REPAIR <input checked="" type="checkbox"/> NEW ADD	<input type="checkbox"/> MOVE <input type="checkbox"/> DEMOLISH <input checked="" type="checkbox"/> NON-RESO RESIDENTIAL	104 5 1 2 3 4 5
PLAN CHECK RECPT. AMT. \$			
FUND & ACCT.	NO. UNITS	PER UNIT	TOTAL
	VALUATION OF WORK		
100 73421	PLAN CHECK FEE		314.33
100 73422	SUPPLEMENTAL PLAN CHK. FEE		
320 6680	BUILDING PERMIT FEE		628.25
508 79750	STATE FEE		79.10
500 79080	SEWER FEE		
500 79080	WATER FEE		
73423	PARK FEE		
SPECIAL INSPECTION REQUIRED FOR		TOTAL FEES DUE	
<input type="checkbox"/> CONCRETE <input type="checkbox"/> MASONRY <input type="checkbox"/> WELDING, H.S. BOLTS <input type="checkbox"/> PILE DRIVING <input type="checkbox"/> SOILS <input type="checkbox"/> OTHER (IDENTIFY)		1021.41 FIRE ZONE 3 TYPE OF CONST. W/ WIRE F. B. BLDG. AREA 51,800 NO. STORIES 2 TOT. FEE AREA 55,200 SPRINKLERS REQ'D FOR NOT TRFT.	
ATTENTION THIS PERMIT AUTHORIZES ONLY THE WORK NOTED		PLANS CHECKED	DATE
BUILDING INSPECTION DEPARTMENT		PLANS APPROVED	DATE
 CITY OF SAN DIEGO		<i>S.P. Kab</i> NOT PLAN CHECKED & APPROVED	1/31/78
APPLICATION APPROVAL			
THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.			
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY			
<i>S.P. Kab II</i>			
DATE 1/31/78			
FILE			

ENGINEERING & DEV. APPROVAL
 INSPECTION
 SINKING APPROVAL
 HEALTH DEPT. APPROVAL

BUILDING PERMIT - SIGN

APPLICANT FILL
INSIDE HEAVY LINES

SIGN OWNER
 NAME OR NAME OF BUSINESS: MANN THEATRES
 MAILING ADDRESS (NUMBER, STREET): 9200 SUNSET BLVD
 CITY: LA CA ZIP: 90069 TEL. NUMBER: 273-3336

SIGN USER
 NAME: MANN THEATRES
 ADDRESS (NUMBER, STREET): 9200 SUNSET BLVD
 CITY: LA CA ZIP: 90069 TEL. NUMBER: 273-3336

SIGN INSTALLER
 NAME: IMAGE NATIONAL
 ADDRESS (NUMBER, STREET): P.O. BOX 7657
 CITY: BOISE, IDAHO ZIP: 83707 TEL. NUMBER: 345-4020

SITE
 STATE LICENSE NO.: 072497 CLASS NO.: C-45 CITY LICENSE NO.: 61297
 LOT: 338 BLOCK: SUBDIVISION: UNIT:
 JOB ADDRESS: 3350 SPORTS ARENA

JOB ADDRESS
 3350 Sports Arena

PERMIT NUMBER
 65.00

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRAY. OR.
 BLINKING
 ELECTRIC
 TURNING
 NOT VIZ. R.W.

MAIN CERT. NO. CITY
 930-80

MAIN CERT. NO.
 01605

VAR. NO.
 C-14358

PLAN. CODE
 148

LAND USE
 99'

COORD. INDEX
 214-1704

R/W WIDTH
 40'

SPREAD
 30'

PORTAGE
 65'

PLANNING DEPT. APPROV. BY
 [Signature] DATE: 4/18/78

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
NONE	

SIGN TYPE	49 S.F. OR LESS	50-99 SQ. FT.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$28.55	\$31.50	\$34.55	
WALL ELECTRIC	\$34.55	\$37.55	\$40.55	
GRD. ROOF PROJ.	\$32.55	\$35.55	\$38.55	
SPECIAL INSP. REG.	ACT. FEE	\$15.00 PER HR.		

WORDING OF SIGN COPY
 MANN THEATRES

OTHER

IS AN EXISTING SIGN BEING REPLACED?
 NO

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the building or property owner, or the duly authorized agent of the building or property owner. I agree to comply with city and state laws regulating construction. In doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE (OWNER OR AGENT): [Signature] DATE SIGNED: 4/18/78

AGENT FOR: [Signature]

ADDRESS:

3 CODE
 59.13
 62178003
 6 21 78

ATTENTION
 THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT
 CITY OF SAN DIEGO

PUNO & ACCT	1007958X	SUB TOTAL	58.65
PENALTY	73809	FUND 100	
120 0650	STATE FEE	50	
TOTAL		59.15	

APPROVAL
 This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: [Signature] DATE: 6-21-78

PLAN FILE NO: 51812 PLAN APPROVED: [Signature] DATE: 6/21/78

59.15+
 59.15+1

Building Permit Application

APPLICANT FNU
INSIDE HEAVY LINES

NAME (OR NAME OF BUSINESS)
ARNOLD E. HJELM
MAILING ADDRESS (NUMBER) (STREET)
5689 SOLEDAD RD
CITY ZIP TELEPHONE NUMBER
LA JOLLA, CA. 92037 454-1239

DESIGNER
NAME
SWENSEN'S ICE CREAM CO.
ADDRESS (NUMBER) (STREET)
333 PINE ST.
CITY ZIP TELEPHONE NUMBER
SAN FRANCISCO, CA.

BUILDER
NAME
NAUTILUS ENTERPRISE'S INC.
ADDRESS (NUMBER) (STREET)
5978 Soledad AT. RD.
CITY ZIP TELEPHONE NUMBER
LA JOLLA. 92037 454-7179

STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER
290-456 B.I. 26754

LOT P.L. BLOCK SUBDIVISION UNIT
338

JOB ADDRESS
3350 SPORTS ARENA BLVD

CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
1 - COMMERCIAL

PROPOSED WORK
DESCRIBE WORK TO BE DONE
INTERIOR IMPROVEMENTS FOR ICE CREAM PARLOR

EXISTING USE OF BUILDING OR PROPERTY
VACANT

PROPOSED USE OF BUILDING OR PROPERTY
ICE CREAM PARLOR

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workmen's Compensation law, this permit shall be deemed revoked.

SIGNATURE (OWNER OR AGENT)
Arnold E. Hjelm DATE SIGNED
11/5/78

AGENT FOR
ADDRESS

METER SIZE SERVICE SIZE CREDIT CHECKED BY
EX 2" _____

REMARKS

NO. ADDITIONAL CONNECTIONS REQ'D TYPE CONN CHECKED BY
_____ EX _____

REMARKS

3350 SPORTS ARENA BLVD
65.00

USE ZONE **M-1** COORD. INDEX **214-1705** PLAN FILE NO. **E60474**

SETBACK FRONT YARD REAR YD (INT) (STR) NAME OF STREET

ALLOWABLE FLOOR AREA MAX. ALLOWABLE VARIANCE NO.
COVERAGE RATIO ALLOWED HEIGHT (FT.)

LOT SPLIT DATE AGREEMENT NO. NO. OF CURB TO P.L.

DATE PLANS SUBMITTED: **11/5/78** WORK TO BE DONE
SIGN ALTER REPAIR NEW ADD
MOVE DEMOLISH NON-RESO RESIDENTIAL

PLAN CHK. RECPT. NO. **55815 SK**

PLAN CHECK RECPT. AMT. **\$5015**

S.F. CODE		DWELL UNITS	
1	2	3	4
5	6	7	8

FUND & ACCT.	VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
100 73421	PLAN CHECK FEE		50.75	
100 73422	SUPPLEMENTAL PLAN CHK. FEE			
100 73422	BUILDING PERMIT FEE			101.50
330 8080	STATE FEE			2.10
506 79750	SEWER FEE			
500 79080	WATER FEE			
73423	PARK FEE			

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING BOILS OTHER (IDENTIFY)

TOTAL FEES DUE **103.60**

FIRE ZONE **3** TYPE OF OCCUP. GR. **TYPE B**
BLDG. AREA **NC** NO. STORIES **1** TOT. FL. AREA **103.60**
SPRINKLERS REQ'D FOR: **NO** HGT. IN FT.

PLANS CHECKED
RAMIREZ 11/6/78 DATE

PLANS APPROVED
QUENCA 5/31/78 DATE

PLANS CHECK'D & APP'D
NA DATE

APPLICATION APPROVAL
THE PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUSINESS INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILD. INSP. DEPT. DEPUTY
[Signature] DATE
5/31/78



CITY OF SAN DIEGO

IN-268 (REV. 8-77)

LOCATION RECD AT COUNTER BY

Building Permit Application

APPLICANT FEE INSIDE HEAVY UNITS

NAME (OR NAME OF BUSINESS) Mad Jack's Sound Center

MAILING ADDRESS 3350 Sports Arena Blvd CITY San Diego ZIP 5324141

PHONE NUMBER 532-4141

DESIGNER NAME Bill Post ADDRESS 490 S San Blvd CITY San Diego ZIP 532-414

BUILDER NAME Bill Post ADDRESS 490 S San Blvd CITY San Diego ZIP 532-414

STATE LICENSE NUMBER 100 CLASS NO 73421 CITY LICENSE NUMBER 73421

LOT 317 BLOCK Public Lands SUBDIVISION Public Lands

JOB ADDRESS 3350 Sports Arena

CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
Commercial shell

DESCRIBE WORK TO BE DONE
Interior walls & drop ceiling

EXISTING USE OF BUILDING OR PROPERTY vacant

PROPOSED USE OF BUILDING OR PROPERTY Mad Jack's Sound Center

I hereby acknowledge that I have read this notification, that the information given is correct, and that I am, the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction, in the event I do not comply with the Workmen's Compensation law, this permit shall be deemed revoked.

SIGNATURE OF OWNER OR AGENT Bill Post DATE SIGNED 8/2/78

AGENT FOR _____

ADDRESS _____

JOB ADDRESS 3350 Sports Arena Blvd

PERMIT NUMBER 65,00 PLAN FILE NO. H1898

USE ZONE M-1 COORD. INDEX 214-1754 PLAN FILE NO. E68049

REAR YD 0 FRONT YD 0 UNITS (STR) _____ NAME OF STREET _____

ALLOWABLE COVERAGE 100% FLOOR AREA RATIO ALLOWED _____ MAX. ALLOWABLE HEIGHT (FT.) _____ VARIANCE NO. _____

LOT SPLIT DATE _____ AGREEMENT NO. _____ NO. OF BAR SEAMS 0 CURB TO P.L. _____

DATE PLANS SUBMITTED _____ WORK TO BE DONE
 SIGN MOVE
 ALTER DEMOLISH
 REPAIR RECONSTR
 NEW ADD RESIDENTIAL

PLAN CHECK REC'D AMT \$ _____ NO UNITS _____ PER UNIT _____

FUND & ACCT.	VALUATION OF WORK	TOTAL
100 73421	PLAN CHECK FEE	50.75
100 73421	SUPPLEMENTAL PLAN CHECK FEE	
100 73422	BUILDING PERMIT FEE	101.50
320 9680	STATE FEE	240
500 79750	SEWER FEE	
500 79080	WATER FEE	
73423	PARK FEE	
TOTAL FEES DUE		154.35

SPECIAL INSPECTION REQUIRED FOR

CONCRETE
 MASONRY
 WELDING, M.S. BOLTS
 PILE DRIVING
 BOILS
 OTHER (IDENTIFY) _____

TOTAL FEES DUE 154.35

FIRE CODE <u>3</u>	TYPE OF CONSL <u>2N</u>	OCCUP. GRP <u>F2</u>
BIG AREA <u>NC</u>	NO. STORIES <u>1</u>	TOP PER AREA <u>NC</u>
SPRINKLERS REGO FOR _____		NOT IN FT. _____

PLANS CHECKED _____ DATE _____

APPROVAL APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILDING DEPT. DEPUTY Michaelson DATE 8/2/78 FILE

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED.

BUILDING INSPECTION DEPARTMENT

CITY OF SAN DIEGO

10-215 (REV. 8-77)

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

NAME (OR NAME OF BUSINESS)
EQUITY INVESTMENTS
MAILING ADDRESS (NUMBER) (STREET)
2350 FINANCIAL SQUARE
CITY
SAN DIEGO 92101 ZIP TELEPHONE NUMBER
291-1060

NAME
ROY JOHNSON AIA
ADDRESS (NUMBER) (STREET)
8348 CENTER DR. SU. 10 E
CITY
LA MESA CA 92041 ZIP TELEPHONE NUMBER
462-5660

NAME
OWNER
ADDRESS (NUMBER) (STREET)
CITY
ZIP TELEPHONE NUMBER

STATE LICENSE NUMBER CLASS. NO. CITY LICENSE NUMBER

LOT BLOCK SUBDIVISION UNIT
PL. PURPLE LOT 313

JOB LOCATION
JOB ADDRESS
3350 SPORTS AVE. BLVD
CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL
NO. OF EXISTING BUILDINGS ON LOT AND USE
2 COMMERCIAL

PROPOSED WORK
DESCRIBE WORK TO BE DONE
**TENANT IMPROVEMENTS
INTERIOR (MOUNT PALACE)**
EXISTING USE OF BUILDING OR PROPERTY
COMMERCIAL
PROPOSED USE OF BUILDING OR PROPERTY
COMMERCIAL

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner, I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workman's Compensation law, this permit shall be deemed revoked.

SIGNATURE (OWNER OR AGENT)
Michael M. Weber DATE SIGNED
6/5/78
AGENT FOR:
EQUITY INVESTMENTS
ADDRESS
2350 FINANCIAL SQ S.D.

METER SIZE SERVICE SIZE CREDIT CHECKED BY
EXIST 2" meter **MC**

REMARKS
NO CAP

NO. ADDITIONAL CONNECTIONS REQ'D. TYPE CONN CHECKED BY
NO CAP. **EX** **MC**

JOB ADDRESS
3350 Sports Ave
La Mesa CA 92041

FIRE ZONE
M-1 COORD. INDEX
214-1704 PLAN FILE NO.
E65908

RETRACT FRONT YARD REAR YD. SIDE YD. (INT) (STR) NAME OF STREET

ALLOWABLE COVERAGE FLOOR AREA RATIO ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.
LOT SPLIT DATE AGREEMENT NO. NO. OF BAR SINKS CURB TO P.L.
DATE PLANS SUBMITTED: **6/9/78** WORK TO BE DONE
SIGN MOVE
PLAN CHK. REC'T. NO. **86896** ALTER DEMOLISH
PLAN CHECK REPAIR NON-RESO
NEW RESIDENTIAL
RECPT. AMT. **350.75**

FUND & ACCT.	NO. UNITS	PER UNIT	TOTAL
100 PLAN CHECK FEE		50.75	
73421 SUPPLEMENTAL PLAN CHK. FEE			49.00
100 BUILDING PERMIT FEE			199.50
320 STATE FEE			5.24
508 SEWER FEE			
500 WATER FEE			
73423 PARK FEE			

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 SOILS
 OTHER (IDENTIFY)

TOTAL FEES DUE **254.24**

FIRE ZONE **3** TYPE OF CONST. **TN** OCCUP. GRP. **B-3**
BLDG. AREA **NC** NO. STORIES **1** TOT. FL. AREA **NC**
SPRINKLERS REQ'D FOR: _____ HGT. IN FT. _____

PLANS CHECKED
M. Hays DATE **6/23/78**
PLANS APPROVED
C.L. Steyers DATE **8/11/78**
PLOT PLAN CHECK'D & APPROV'D
PER [Signature] DATE **8/10/78**

APPLICATION APPROVAL
THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILD. INSP. DEPT. DEPUTY
C.L. Steyers
DATE **8/11/78**
FILE

SEWAGE TREATMENT PLANT AT COUNTY

INSPECTION ZONING APPROVAL HEALTH DEPT. APPROVAL



CITY OF SAN DIEGO

INSURANCE

WORKMAN'S COMPENSATION

INSURANCE

Building Permit Application APPLICANT TYPE: RESID. HEAVY SIMS

NAME (OR NAME OF BUSINESS): 3350 SPORTS ARENA BLVD

ADDRESS: 495 EL CAMINO BLVD CITY: SAN DIEGO ZIP: 92115 TELEPHONE NUMBER: 583471

OWNER: NAME: 3350 SPORTS ARENA BLVD ADDRESS: 495 EL CAMINO BLVD CITY: SAN DIEGO ZIP: 92115 TELEPHONE NUMBER: 583471

DESIGNER: NAME: 3350 SPORTS ARENA BLVD ADDRESS: 495 EL CAMINO BLVD CITY: SAN DIEGO ZIP: 92115 TELEPHONE NUMBER: 583471

BUILDER: NAME: 3350 SPORTS ARENA BLVD ADDRESS: 495 EL CAMINO BLVD CITY: SAN DIEGO ZIP: 92115 TELEPHONE NUMBER: 583471

STATE LICENSE NUMBER: 73421 CLASS NO: 100 CITY LICENSE NUMBER: 73421

LOT: 3154338 BLOCK: PUEBLO LANDS SUBDIVISION: PUEBLO LANDS SP401

JOB ADDRESS: 3350 SPORTS ARENA BLVD

CONDITION OF SOIL AT JOB SITE: ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND 100' 0

PROPOSED WORK: DESCRIBE WORK TO BE DONE: ADD ON DETACHMENT GARAGE CARPORT

EXISTING USE OF BUILDING OR PROPERTY: COMM.

PROPOSED USE OF BUILDING OR PROPERTY: COMM.

I hereby acknowledge that I have read the specifications, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner, I agree to comply with city and state laws regulating construction, in the event I do not comply with the Workman's Compensation law, this permit shall be deemed revoked.

SIGNATURE (OWNER OR AGENT): [Signature] DATE SIGNED: 9/15/78

AGENT FOR: [Signature] ADDRESS: 3350 SPORTS ARENA BLVD SD

WATER: METER SIZE: 1/2" SERVICE SIZE: 1/2" CHECKED BY: [Signature]

REMARKS: NO ADDITIONAL CONNECTIONS REQ'D

SEWER: NO. OF ADDITIONAL CONNECTIONS REQ'D: 0 TYPE CONN: 1/2" CONN CHECKED BY: [Signature]

JOB ADDRESS: 3350 SPORTS ARENA BLVD

DENSITY TRACT NUMBER: 65-00 MAP NO: 112-389

USE ZONE: M-1 COOSEL INDEX: 214-1705 CASE FILE NO: E68739

SETBACK FRONT YARD: 5' REAR YARD: 5' SIDE: 5' NAME OF STREET: SPORTS ARENA BLVD

ALLOWABLE COVERAGE: 100% FLOOR AREA RATIO ALLOWED: 1.0 MAX. ALLOWABLE HEIGHT (FT.): 35' VARIANCE NO.: 0

LOT SPLIT DATE: 0 AGREEMENT NO.: 0 NO. OF BASE SINKS: 0 CURB TO P.L.: 0

DATE PLANS SUBMITTED: 9/15/78 WORK TO BE DONE: SIGN MOVE ALTER DEMOLISH REPAIR NEW RESIDENTIAL NEW ADD CHANGING RECORDS

PLAN CHK REPT NO: 96777 PLAN CHECK REPT AMT: 36.50

FUND & ACCT.	NO. UNITS	PER UNIT	TOTAL
100 PLAN CHECK FEE		6.50	
73421 SUPPLEMENTAL PLAN CHK. FEE			6.50
100 BUILDING PERMIT FEE		26	
300 STATE FEE			1.50
300 SEWER FEE			1.50
500 WATER FEE			1.50
73423 PARK FEE			1.50
TOTAL FEES DUE			33.00

SPECIAL INSPECTION REQUIRED FOR: CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING SOILS OTHER (IDENTIFY): NO

TOTAL FEES DUE: 33.00

FIRE ZONE: 3 FIRE DEGREE: J OCCUP. GRP.: J

BLDG. AREA: 460 NO. STORIES: 1 SQ. FT. PER AREA: 460

SPRINKLERS REQ'D FOR: NO HGT. IN FT.: 0

ATTENTION: THE PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT CITY OF SAN DIEGO

PLAN CHECKED: AINZA DATE: 9/15/78

PLANS APPROVED: [Signature] DATE: 9/15/78

PLAT PLAN CHECK AMT: 36.50 DATE: 9/15/78

APPLICATION APPROVAL: [Signature]

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: [Signature]

DATE: 9/15/78 FILE

INSURANCE & CITY APPROVAL INSPECTION ZONING APPROVAL HEALTH DEPT. APPROVAL

11-228 (REV. 8/77)
 METER SIZE
 SERVICE SIZE
 CREDIT
 CHECKED BY
 NO. ADDITIONAL CONNECTIONS REQ'D
 REMARKS
 DATE

Working Permit Application

APPLICANT (SEE INSTRUCTIONS)

REGULATOR (NAME OF BUSINESS)
LIPCO ANIMAL SUPPLY

MAILING ADDRESS (NUMBER) (STREET)
PO BOX 1076

CITY
LA MESA ZIP TELEPHONE NUMBER
92041 469-2112

DESIGNER NAME
ROY JOHNSON AIA

ADDRESS (NUMBER) (STREET)
7400 ESCALON BLVD

CITY
LA MESA ZIP TELEPHONE NUMBER
92041 469-4660

BUILDER NAME
Ramtek Corp.

ADDRESS (NUMBER) (STREET)
PO BOX 15215

CITY
SAN DIEGO ZIP TELEPHONE NUMBER
92127-2026

STATE LICENSE NUMBER CLASS NO. CITY LICENSE NUMBER
343544 B 52001

LOT (315-338) BLOCK SUBDIVISION UNIT
315-338 PUEBLOLANDS MAP 36

JOB ADDRESS
3350 SPORTS ARCADE BLVD S.D.

CONDITION OF SOIL AT JOB SITE
 ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
3 - COMMERCIAL

DESCRIBE WORK TO BE DONE
INSTALL BATH + TENANT IMP.

EXISTING USE OF BUILDING ON PROPERTY
VACANT

PROPOSED USE OF BUILDING OR PROPERTY
RETAIL STORE

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workmen's Compensation law, this permit shall be deemed void.

AGENT (OWNER OR AGENT) DATE SIGNED
Joe Ramirez 2-15-79

AGENT FOR ADDRESS

USE ZONE **M-1** COORD. INDEX **24-1705** PLAN FILE NO. **G 74741**

REAR YD. (FT) (IN) NAME OF STREET

ALLOWABLE COVERAGE FLOOR AREA (SQ. FT.) MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.

LOT SPLIT DATE AGREEMENT NO. NO. OF BATHS CLONE TO P.L. NO. OF DWELL. UNITS

DATE PLANS SUBMITTED: WORK TO BE DONE
 HIGH ALTER MOVE DEMOLISH

PLAN CHK. RECPT. NO. REPAIR NON-RES. RESIDENTIAL

PLAN CHECK RECPT. AMT. \$

FUND & ACCT.	NO. UNITS	PER UNIT	TOTAL
100 PLAN CHECK FEE			9.00
73421 SUPPLEMENTAL PLAN CHK. FEE			18.00
100 BUILDING PERMIT FEE			18.00
230 STATE FEE			5.00
508 SEWER FEE			
500 WATER FEE			
73423 PARK FEE			
TOTAL FEES DUE			57.50

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE
 MASONRY
 WELDING, H.S. BOLTS
 PILE DRIVING
 SOILS
 OTHER (IDENTIFY)

TOTAL FEES DUE **57.50**

FIRE ZONE **3** TYPE OF CONG. **IN** OCCUP. OR BLDG. AREA **47**
 NO. STORES **N/C** NO. OF FLOOR **N/C**

SPRINKLERS REQ'D FOR HOV. DEPT.

PLANS CHECKED DATE
2/20/79

PLANS CHECKED & APPRO. DATE

APPLICATION APPROVAL
 THIS PERMIT DOES NOT BECOME VALID UNTIL ISSUED BY THE DIRECTOR OF INSURER INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID. THIS RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BUILD. DEPT. DEPT. DATE
David Butler 2/20/79

ATTENTION: THE PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT
 CITY OF SAN DIEGO

Building Permit Application

APPLICANT FEE
INSIDE HEAVY LINES

NAME (OR NAME OF BUSINESS)
HOLLYWOOD PIZZA

MAILING ADDRESS (NUMBER) (STREET) (CITY)
**3350 SPORTS ARENA BLVD
San Diego 92101**

ZIP TELEPHONE NUMBER
619 440-0765

NAME
ROY JOHNSON AIA

ADDRESS (NUMBER) (STREET) (CITY)
**7400 EL CAJON BLVD
LAMESA 92041**

ZIP TELEPHONE NUMBER
4628660

NAME
FRES CONST

ADDRESS (NUMBER) (STREET) (CITY)
**4309 POPLAR AVE
SD 92105**

ZIP TELEPHONE NUMBER
460765

CLASS NO. CITY LICENSE NUMBER
B 83207

LOT BLOCK SUBDIVISION FOLIO/UNIT
PL 338 & 313

JOB ADDRESS
3350 SPORTS ARENA BLVD

CONDITION OF SOIL AT JOB SITE
 ORIGINAL CONTRACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE
3 - COMM

DESCRIBE WORK TO BE DONE
TENANT IMPROVEMENTS RESTAURANT (HOLLYWOOD PIZZA)

EXISTING USE OF BUILDING OR PROPERTY
COMM.

PROPOSED USE OF BUILDING OR PROPERTY
COMM RESTAURANT

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workmen's Compensation law, this permit shall be deemed revoked.

SIGNATURE (OWNER OR AGENT)
Melinda Thong

DATE SIGNED
12-27-78

AGENT FOR

ADDRESS

JOB ADDRESS
3350 SPORTS ARENA BLVD

CENSUS TRACT NUMBER
65.00

PERMIT NUMBER
151968

USE ZONE
M1

COORD. INDEX
214-1704

PLAN FILE NO.
573267

SETBACK FRONT YARD REAR YD (INT) (STRI) NAME OF STREET

ALLOWABLE COVERAGE FLOOR AREA RATIO ALLOWED MAX. ALLOWABLE HEIGHT (FT.) VARIANCE NO.

LOT SPLIT DATE AGREEMENT NO. NO. OF BAR SINKS CURB TO S.L.

DATE PLAN SUBMITTED
12/24/78

PLAN CHECK RECEIPT NO.
09790

PLAN CHECK
1900

WORK TO BE DONE
 SIGN MOVE ALTER DEMOLISH REPAIR NON RESID NEW ADD RESIDENTIAL

FEES (DOWELL UNITS)

NO.	DESCRIPTION	AMOUNT
1	PLAN CHECK	19
2	SUPPLEMENTAL PLAN CHG. FEE	18
3	BUILDING PERMIT FEE	74.00
4	STATE FEE	1.40
5	SEWER FEE	
6	WATER FEE	
7	PARK FEE	
TOTAL		70.00

FUND ACCT.	VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
100 73421	PLAN CHECK FEE		19	19.00
100 73422	SUPPLEMENTAL PLAN CHG. FEE		18	18.00
100 73422	BUILDING PERMIT FEE		74.00	74.00
320 9880	STATE FEE		1.40	1.40
508 79750	SEWER FEE			
500 79080	WATER FEE			
73423	PARK FEE			

SPECIAL INSPECTION REQUIRED FOR
 CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING SOILS OTHER (IDENTIFY)

TOTAL FEES DUE
93.40

FIRE ZONE
3

BLDG AREA
NC

TYPE OF CONST
VN

NO. STORIES
1

OCCUP. GRP
F2

LOT PER AREA

SPRINKLERS REQ'D FOR

HGT. IN FT.

PLANS CHECKED
JIM ROTHGRO

PLANS APPROVED
12-3-79

PLOT PLAN CHECK & APPROV'D
3-6-79

DATE

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNLESS SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

SIGNATURE OF BLDG. INS. DEPT. DEPUTY
S.P. KUBITZ

DATE
3-6-79



LOCATION AT QUARTER BY
 EXPIRATION DATE
 NEARBY
 WORKMAN'S COMPENSATION INSURANCE

ENGINEERING & ARCHT. APPROVAL
 INSPECTION
 BUILDING APPROVAL
 HEALTH DEPT. APPROVAL

H.10.3680

LOCATION OF COUNTER BY ADAMS

Building Permit Application

APPLICANT FILL INSIDE HEAVY LINES

OWNER: **JOSEPH K. FINE (Agent)**
 MARLAGE ADDRESS: **418 THIRD AVE**
 CITY: **S-D. CO. 92101** TELEPHONE NUMBER: **233-1771**

DESIGNER: **Auton**
 ADDRESS: **26 WILTON RD. WESTPAC, CALIF.**
 CITY: **WESTPAC, CALIF.** TELEPHONE NUMBER: **233-1771**

BUILDER: **SAUGSTOCK INC**
 STATE LICENSE NUMBER: **26023** CLASS NO: **2244** CITY LICENSE NUMBER: **2244**

JOB LOCATION: **3350 SPORTS ARENA BLVD**
 LOT: **73421** BLOCK: **3350** SUBDIVISION: **LOT 1** UNIT: **1**
 CONDITION OF SOIL AT JOB SITE: ORIGINAL COMPACTED FILL LOOSE FILL
 NO. OF EXISTING BUILDINGS ON LOT AND USE: **0**

PROPOSED WORK: **TENDENT IMPROVEMENTS WALLS AND FLOOR PLUMBS WORK**

EXISTING USE OF BUILDING OR PROPERTY: **SHOP**

PROPOSED USE OF BUILDING OR PROPERTY: **HOURLY CUTTING DOWN**

I hereby acknowledge that I have read this application, that the information given is correct and that I am the owner, or the duly authorized agent of the owner, I agree to comply with City and State laws regulating construction, to the extent I do not comply I agree to pay the Workman's Compensation fee, this permit shall be void if not used within 180 days.

SIGNATURE OF OWNER OR AGENT: **Joseph K. Fine** DATE SIGNED: **3/6/79**

AGENT FOR: **SAUGSTOCK INC**
 ADDRESS: **26 WILTON RD. WESTPAC, CALIF.**

WATER: METER SIZE: **EXIST 2" meter** SERVICE SIZE: **2"** COPIES: **2** CHECKED BY: **AK**

SEWER: NO ADDITIONAL CONNECTIONS PLOD: **NO CAP** TYPE CONNECTION: **EX** CHECKED BY: **AK**

JOB ADDRESS: **3350 SPORTS ARENA BLVD**

CENSUS TRACT NUMBER: **65.00** PERMIT NUMBER: **M55673**

USE ZONE: **M-1** COORD. INDEX: **214-104** PLAN FILE NO: **E75435**

SETBACK FRONT YARD: **5** REAR YD: **5** SIDE YD: **5** NAME OF STREET: **SPORTS ARENA BLVD**

ALLOWABLE COVERAGE: **100%** FLOOR AREA RATIO ALLOWED: **100%** MAX. ALLOWABLE HEIGHT (FT.): **35** VARIANCE NO.: **0**

LOT SPLIT DATE: **3/1/79** AGREEMENT NO.: **0** NO. OF STAKES: **0** CURB TO P.L.: **0**

DATE PLANS SUBMITTED: **3/1/79** WORK TO BE DONE: SIGN ALTER REPAIR NEW ADD

PLAN CHG. RECEPT NO: **26023** B.C. CODE DWELL UNITS: **720**

FUND & ACCT.	VALUATION OF WORK	NO UNITS		PER UNIT		TOTAL
		NO.	AMOUNT	AMOUNT	AMOUNT	
100 73421	PLAN CHECK FEE					
100 73422	SUPPLEMENTAL PLAN CHG. FEE					
320 9060	BUILDING PERMIT FEE					
500 79750	STATE FEE					44-
500 79000	SEWER FEE					70
73423	WATER FEE					
	PARK FEE					
						10,000
						10,000

SPECIAL INSPECTION REQUIRED FOR: CONCRETE MASONRY WELDING, H.S. BOLTS PIPE DRIVING SPILLS OTHER (IDENTIFY):

TOTAL FEES DUE: **44.70**

FIRE ZONE: **3** TYPE OF CONST: **VN** OCCUP. GRP: **B3**

BLDG. AREA: **NC** NO. STORES: **-** TOT. FLR. AREA: **NC**

SPRINKLERS REQ. FOR: **NC** HGT. INFT.: **NC**

PLANS CHECKED: **AK** DATE: **3/28/79**

PROPOSED CHG. U.S. APPRO. DATE: **3/28/79**

APPLICATION APPROVAL: **D. Schwartz** DATE: **3/28/79**

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT CITY OF SAN DIEGO

INSPECTION ZONING APPROVAL HEALTH DEPT. APPROVAL ENGINEERING & DEV. APPROVAL

LOCATION REC'D AT EXAMINER BY

NSATION ICATE 12-05-79 EXPIRATION DATE

ORKMAN'S INSURANCE C

Building Permit Application APPLICANT FILL VISITOR HEAVY LINES

APPLICANT NAME OF BUILDING: **MARVIN WEITZMAN**

ADDRESS: **SUITE 6 SPORTS ARENA SQUARE SAN DIEGO 92117**

PHONE: **442-7183**

DESIGNER: **VERDE WATERLOOS LTD**

ADDRESS: **5424 VERDE VAL**

PHONE: **91411 213 994-2861**

BUILDER: **MARC BEVERLY**

ADDRESS: **5077 GLASGOW DR SAN DIEGO 92117**

PHONE: **272-8028**

STATE LICENSE NUMBER: **351900** CLASS: **B-1** CITY LICENSE NUMBER: **41308**

LOT: **PL 313** BLOCK: **SUITE 6** SUBDIVISION: **SUITE 6** LINE: **SUITE 6**

JOB ADDRESS: **3350 SPORTS ARENA BL**

CONDITION OF SOIL AT JOB SITE: ORIGINAL COMPACTED FILL LOOSE FILL

NO. OF EXISTING BUILDINGS ON LOT AND USE: _____

PROPOSED WORK: **TENANT REMODEL**

EXISTING USE OF BUILDING OR PROPERTY: **Comm. SHOPPING CENTER**

PROPOSED USE OF BUILDING OR PROPERTY: _____

I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner, I agree to comply with city and state laws regulating construction, in the event I do not already with the workman's Compensation law, this permit shall be deemed void.

SIGNATURE (OWNER OR AGENT): *Marvin Weitzman* DATE SIGNED: **25 APR 79**

ADDRESS: **PEDIMENT PO BOX 80186**

3350 SPORTS ARENA BL SAN DIEGO

PERMIT NUMBER: **65.00** PERMIT NO: **110350**

USE: **M-1** ZONING: **214-1704** MAP: **E77352**

REAR YARD: _____ FRONT YARD: _____

ALLOWABLE COVERAGE: _____ FLOOR AREA: _____ MAX. ALLOWABLE HEIGHT: _____ VARIANCE NO.: _____

LOT SPLIT DATE: _____ AGREEMENT NO.: _____ NO. OF DWELLS: _____ CURB TO P.L.: _____

DATE PLANS SUBMITTED: _____ WORK TO BE DONE: SIGN MOVE DEMOLISH REPAIR NEW ADD

PLAN CHECK RECEIPT NO: _____ PLAN CHECK RECEIPT AMT \$: _____

FUND & ACCT.	VALUATION OF WORK	NO. UNITS	PER UNIT	TOTAL
100 73421	PLAN CHECK FEE			31
100 73422	SUPPLEMENTAL PLAN CHECK FEE			62
100 8660	BUILDING PERMIT FEE			109
500 78750	STATE FEE			
500 79080	SEWER FEE			
500 79080	WATER FEE			
73423	PARK FEE			

TOTAL FEES DUE: **9409**

SPECIAL INSPECTION REQUIRED FOR: CONCRETE MASONRY WELDING, H.S. BOLTS PILE DRIVING SOILS OTHER (IDENTIFY): _____

TYPE OF CONST.	FIRE ZONE	NO. STORIES	TOT. FLS. AREA	OCCE. GRP.	HGT. REFT.
2 1/2	3	N/C	N/C	N/A	

SPRINKLERS REQ'D FOR: _____

PLANS CHECKED: _____ DATE: _____

APPROVED BY: *[Signature]* DATE: _____

APPLICATION APPROVAL: THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.


SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: *[Signature]* DATE: **4/25/79**

ATTENTION: THE PERMIT AUTHORITY ONLY THE WORK NOTED

BUILDING INSPECTION DEPARTMENT CITY OF SAN DIEGO

INSPECTION ZONING APPROVAL HEALTH DEPT. APPROVAL

C51A 5 VERIFY SIGNATURE

CITY OF SAN DIEGO BUILDING PERMIT APPLICATION		PROJECT ADDRESS																																					
ADDRESS 3350 SPORTS ARENA BLVD		Suite A 3350 Sports Arena Blvd																																					
LOT 1	BLOCK 6500	SUBDIVISION NAME 2	UNIT NO. 6500																																				
EXISTING USE RESTAURANT		PROPOSED USE RESTAURANT																																					
NAME MARK MADURA		TEL. NO. 695-1440																																					
ADDRESS Rancho SANTA FE		CITY CODE 92101																																					
NAME SUNAK DEV.		TEL. NO.																																					
ADDRESS 1138 D ST		CITY CODE 92101																																					
CITY RANCHO		STATE LIC. NO. 345883																																					
LIC. CLASS B		CITY LIC. NO. 8109653																																					
NAME SANKU AS ALVIA		LIC. NO.																																					
ADDRESS		TEL. NO.																																					
CITY		CITY CODE																																					
LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. Contractor's Signature: <i>[Signature]</i>		DESCRIPTION OF PROPOSED WORK: INT. INT. IMPROV. - WALLS ELECT. PLUMBING, CEILING, HVAC.																																					
OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason: (P.C. 7031, 2, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code; or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by an applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500). <input type="checkbox"/> as owner of the property or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale. <input type="checkbox"/> as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with a contractor, as licensed pursuant to the Contractor's License Law. <input type="checkbox"/> am exempt under Sec. B & P C for this reason.		BUILDING INSPECTION DEPARTMENT  CITY TREASURER VALIDATION 9978 3 19978 3 139.00 (PEN) 139.00 (PCRM)																																					
OWNER'S SIGNATURE: <i>[Signature]</i>		WORKERS COMPENSATION DECLARATION: I hereby affirm that I have a certificate of consent for self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (Sec. 3800 Lab. C). Policy No. 471136-81 Insurance Company STATE FARM																																					
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE: I, the undersigned, hereby certify that the performance of the work for which this permit is issued, shall not employ any person in any manner to be so become subject to the Workers' Compensation Laws of California. Owner's or Contractor's Signature: <i>[Signature]</i>		CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3997, Civ. C.). Lender's Name: _____ Lender's Address: _____																																					
APPLICANT: NAME: Bob FARNER ADDRESS: 23001 Grossmont Dr Rancho CITY: RANCHO ZIP CODE: 92130 I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above mentioned property for inspection purposes. If, after making the Certificate of Exemption, upon the Worker's Compensation provisions of the Labor Code, I should become subject to such provisions, I will forewarn promptly in the event I do not comply with the Workmen's Compensation law, that permit shall be deemed revoked. SIGNATURE: <i>[Signature]</i> DATE: 9/24/02 <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> OWNER <input type="checkbox"/> AGENT FOR CONTRACTOR <input type="checkbox"/> AGENT FOR OWNER		FEES: <table border="1"> <tr><th>PAID & ACCT</th><th>VALUATION OF WORK</th><th>PER UNIT</th><th>TOTAL</th></tr> <tr><td>100</td><td>PLAN CHECK FEE</td><td></td><td>59.60</td></tr> <tr><td>100</td><td>EMERGENCY PLUMBING FEE</td><td></td><td>84.00</td></tr> <tr><td>100</td><td>BUILDINGS PERMIT FEE</td><td></td><td>176.00</td></tr> <tr><td>41506</td><td>STATE FEE</td><td></td><td>176.00</td></tr> <tr><td>41500</td><td>SEWER FEE</td><td></td><td></td></tr> <tr><td>41500</td><td>WATER FEE</td><td></td><td></td></tr> <tr><td>73423</td><td>MARK FEE</td><td></td><td></td></tr> <tr><td colspan="3">TOTAL FEES DUE</td><td>139.86</td></tr> </table>		PAID & ACCT	VALUATION OF WORK	PER UNIT	TOTAL	100	PLAN CHECK FEE		59.60	100	EMERGENCY PLUMBING FEE		84.00	100	BUILDINGS PERMIT FEE		176.00	41506	STATE FEE		176.00	41500	SEWER FEE			41500	WATER FEE			73423	MARK FEE			TOTAL FEES DUE			139.86
PAID & ACCT	VALUATION OF WORK	PER UNIT	TOTAL																																				
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73423	MARK FEE																																						
TOTAL FEES DUE			139.86																																				
APPLICANT'S SIGNATURE: <i>[Signature]</i>		WORK TO BE DONE: <input type="checkbox"/> MAINT <input type="checkbox"/> REPAIR <input type="checkbox"/> DEMOLITION <input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> REPAIR <input type="checkbox"/> NEW REPAIR <input type="checkbox"/> REPAIR ALTER <input type="checkbox"/> MAINT <input type="checkbox"/> REPAIR <input type="checkbox"/> REPAIR ALTER																																					
APPLICANT'S SIGNATURE: <i>[Signature]</i> DATE: 9/24/02		DATE CLASS SUBMITTED: _____ TITLE: 24 APPROVAL: <i>[Signature]</i> DATE: 9/27/02																																					

BUILDING PERMIT-SIGN

**APPLICANT FILL
INSIDE HEAVY LINES**

JOB ADDRESS
3350 Sports Ment Bl.
GENEVA TRACT NUMBER
6500
BUILDING PERMIT NUMBER
522193

NAME OR NAME OF BUSINESS
YELLOW REXEL CO.
MAILING ADDRESS
3350 Sports Ment Blvd
CITY
SAN DIEGO
ZIP
92108
TEL. NUMBER

NAME
JOHN E. WILSON
ADDRESS (NUMBER)
1519 INDUSTRIAL AVE
CITY
ESCONDIDO
ZIP
92025
TEL. NUMBER

NAME
COMET SIGN
ADDRESS (NUMBER)
1519 INDUSTRIAL AVE
CITY
ESCONDIDO
ZIP
92025
TEL. NUMBER

STATE LICENSE NO.
400052
CLASS NO.
45
CITY LICENSE NO.
700000
LOT
1
BLOCK
1
SUBDIVISION
GENEVA TRACT
UNIT

JOB ADDRESS
3350 Sports Ment Blvd

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRWY OR
 SIGNING
 ELECTRIC
 TURNING
 NOT VIS. S.W.

MAIN CERT. NO.
9-30-84 60012
VAR. NO.
60012
C.M.F. NO.
60012
SPECIAL DIST./C.P.
60012
EXP. DATE

COMM CODE
215-175
LAND USE
LOT
PROJ. OVER PT. OF WAY
40'
MAX. HT. ALLOW.
78'
ZONE
AGA B
MAX. AREA ALLOW.
78'

COORD. INDEX
715-175
R/W WIDTH
40'
SPEED ZONE
35
FRONTAGE BUILDING
21

FRONT YARD SET BACK
5'
REAR YARD SET BACK
5'
PLANNING DEPT. APPROV.
YES
DATE
11/15/82

LICENSED CONTRACTOR'S DECLARATION
I hereby certify that I am a duly licensed contractor under provisions of Chapter 2 (commencing with Section 7000) of the Labor Code and the provisions of the Building Code and that I am the contractor for the above described work.

OWNER-BUILDER DECLARATION
I hereby certify that I am the owner-builder of the above described work and that I am not a contractor for the above described work. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

I am the owner of the property and I am not a contractor for the above described work. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

I am the owner of the property and I am not a contractor for the above described work. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

I am the owner of the property and I am not a contractor for the above described work. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

WORKER'S COMPENSATION DECLARATION
I hereby certify that I am not a contractor for the above described work and that I am not employing any workers. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
I hereby certify that the above described work is exempt from the provisions of the Workers' Compensation Law of California. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

CONSTRUCTION LENDING AGENCY
I hereby certify that I am not a construction lending agency for the above described work. I understand that I am responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and ordinances. I understand that I am responsible for the safety of the work and for the quality of the work. I understand that I am responsible for the payment of all taxes and fees. I understand that I am responsible for the payment of all costs of the work. I understand that I am responsible for the payment of all costs of the work.

APPLICANT'S SIGNATURE
John E. Wilson
DATE
11-16-82

PLAN FILE NO.
F45469

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
Billboard	43 sq ft

SIGN TYPE	25 SF. OR LESS	26-99 SF.	100 SF. OR MORE	FEE
WALL NON-ELEC.	\$28.55	\$31.55	\$34.55	
WALL ELECTRIC	\$14.55	\$27.55	\$40.55	34.65
GRD. PROP. PROJ.	\$52.55	\$55.55	\$58.55	
SPECIAL INSP. REQ.	10.00	\$10.00	10.00	10.00

ATTENTION
HERE MUST BE STAMPED WITH THE WORKER'S COMPENSATION

BUILDING INSPECTION DEPARTMENT

DIR. OF SAN DIEGO

FUND & ACCT.	SUB TOTAL
100/72311	
6:010 9022	
TOTAL 45.15	

APPROVAL
This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, fees paid, and receipt is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DEPUTY
F. V. Astor
DATE
11-16-82

INSPECTOR

CITY OF SAN DIEGO BUILDING PERMIT APPLICATION

PROJECT ADDRESS
 3350 SPORTS AVENUE
 REGIONAL RESID LOT 313 & PORTION LOT 3392
 OF PUEBLO LAND OF SAN DIEGO

PROJECT ADDRESS
 3350 SPORTS AVENUE
 DIST. NO. 2 CENSUS TRACT NO. 6500
 COORD. INDEX NO. A14548

EXISTING USE RETAIL/RESTAURANT
PROPOSED USE RETAIL/RESTAURANT

CONDITION OF SOIL AT PROJECT
 UNDISTURBED
 COMPACTED FILL
 LOOSE FILL

NAME SPORTS AVENUE SQUARE
PL. NO. 236-1231

DESCRIPTION OF PROPOSED WORK
 TENANT IMPROVEMENT
 Existing Restaurant
 Demising Wall

ADDRESS P.O. BOX 2, SAN DIEGO CA, COWWELL PARK 92130
NAME SUMAL DEVELOPMENT, INC.
AD. 1130 D ST.
CITY RAMONA CA **ZIP CODE** 92065
STATE LIC. NO. 345883 **LIC. CLASS** A, B **CITY LIC. NUMBER** SDB1006653

BUILDING INSPECTION DEPARTMENT
CITY TREASURER VALIDATION
 8949 3
 8949 3
 8949 3
 83.99 RATE
 83.99-NA (E)
 83.99 (PER)

NAME SUMAL DEVELOPMENT, INC. **LIC. NO.** 345883
ADDRESS 1130 D ST.
CITY RAMONA CA **ZIP CODE** 92065

SEWER SIZE METER SIZE 7/8" CREDIT
SEWER CONN. SEE ATT RECR

LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 70001) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor's Signature: James Rudolph Lovell V.P.

OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Section 70001) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the stated exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. This does not apply to an owner of property who builds or improves thereon, and who offers for sale, if, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)
- I am exempt under Sec. B & P C for this reason:

Owner's Signature:

WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of insurance, self-insure, or a certificate of workers' compensation insurance or a certified copy thereof filed with the Building Inspection Department (Sec. 380, Lab. C.)

Policy No. 411736-81 **Insurance Company** STATE FUND

Applicant's Signature: James Rudolph Lovell V.P. **Expiration Date** 1/2/85

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Contractor's Signature:

CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3057, Civ. C.)

Lender's Name: NONE

Lender's Address:

NAME JAMES RUDOLPH LOVELL

ADDRESS 16950 AIR MAIL LAE CITY RAMONA 92065

I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above mentioned property for inspection purposes. If, after making the Certificate of Exemption, from the Worker's Compensation provisions of the Labor Code, I should become subject to such provisions, I will forthwith comply in the event I do not comply with the Worker's Compensation law, this permit shall be deemed revoked.

SIGNATURE James Rudolph Lovell V.P. **DATE** 7/7/83

CONTRACTOR **OWNER** **AGENT FOR CONTRACTOR** **AGENT FOR OWNER**

COASTAL ZONE	YES	DEV PERMIT	NO	NO. OF BAR SINKS	230
HILLSIDE REVIEW	YES	PLANNED	YES		
AGREEMENT NO.		VARIANCE NO.			
FUND ACCI	VALUATION OF WORK	PER UNIT	TOTAL		
100 72421	PLAN CHECK FEE	\$70.00	7000.00		32.89
100 23422	BUILDING PERMIT FEE				5060
83010 9022	STATE FEE				50
41800 77565	SEWER FEE				
41500 77530	WATER FEE				
73423	PARK FEE				
HOLD ORDER NO.	358				

SPECIAL INSPECTION REQUIRED FOR:
 UNUSUAL
 MASONRY
 WELDED STEEL
 POLE DRIVING
 JOISTS
 OTHER (HOW MANY):

TOTAL FEES DUE \$ 8399

TRUCK COURT NO. STORIES 1 1
DECK 82
BUILDING AREA 74
TOTAL FLOOR AREA 74
SPRINKLER MOD FOR OCCUP. EASE YES NO

WORK TO BE DONE
 MOVE OCC CHG
 ALTER DEMOLISH
 REPAIR REIN RESID
 NEW REINFORCEMENT
 ADD

PLANS CHECKED 1/2 Jun 83/07/83
PLANS APPROVED DATE

DATE PLANS SUBMITTED
PLAN CHECK RECEIPT NUMBER
PLAN CHECK RECEIPT AMOUNT

TITLE 24
APPLICATION APPROVAL
 SIGNATURE OF OWNER (NEED NOT BE IDENTICAL)
 JRL 4/7/83

BUILDING PERMIT-SIGN

**APPLICANT FILL
INSIDE HEAVY LINES**

SIGN OWNER
 NAME OR NAME OF BUSINESS: **YELLOW BRICK RD.**
 MAILING ADDRESS (NUMBER) (STREET): **3350 SPORTS ARENA BLVD**
 CITY: **SAN DIEGO** ZIP: TEL NUMBER:

SIGN USER
 NAME: **SAME**
 ADDRESS (NUMBER) (STREET):
 CITY: ZIP: TEL NUMBER:

SIGN INSTALLER
 NAME: **DOMINIC NEON**
 ADDRESS (NUMBER) (STREET): **711 ROCKSPRING RD.**
 CITY: **ESCONDIDO** ZIP: **92025** TEL NUMBER: **792-7747**
 STATE LICENSE NO. **400857** CLASS NO. **C-45** CITY LICENSE NO. **074125 L**

SITE
 LOT: BLOCK: SUBDIVISION: UNIT:
 JOB ADDRESS: **3350 SPORTS ARENA BLVD**

JOB ADDRESS
3350 Sports Arena Blvd

CENSUS TRACT NUMBER **65.07** **BUILDING PERMIT NUMBER** **524916**
524916

TYPE OF NEW SIGN
 OFF-PREMISE
 GROUND
 WALL
 PROJECTING
 ROOF
 FRWY. OR
 BLINKING
 ELECTRIC
 TURNING
 NOT VISIBLE

MAIN CERT. EXP. DATE **9-30-84** **MAIN CERT. NO.** **60779**

VAR. NO. **EXP. DATE**
C.U.P. NO. **EXP. DATE**
SPECIAL DIST./C.S.P. **EXP. DATE**

SIGN AREA **24 sq** **SIGN HGT** **ZONE AREA** **MIDWAY**
WALL AREA ALLOW **1875**

COMM CODE **LAND USE** **PROJ. OVER ST. OF WAY** **MAX. HT. ALLOW.** **WALL AREA** **FRONTAGE**
215-1705 **60+** **35-45** **50**

COORD. INDEX **R/W WIDTH** **SPEED ZONE** **FRONTAGE**
215-1705 **60+** **35-45** **50**

FRONT. VARD. SET BACK **REQ.** **REAR YD.** **VEH. VARD.** **(INT.)** **INTR.** **CURB TO P.L.**
ACT

PLANNING DEPT. APP. BY **DATE**
Chellean **4/29/83**

LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am licensed under Division 9 of Chapter 9 and Division 10 of Chapter 1000 of the Business and Professions Code and the standards of practice contained therein.

OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7011): Business and Professions Code. Any city or county which requires a permit for the erection, removal, or repair of structures shall also require the contractor to obtain a permit from the city or county for the erection, removal, or repair of the structure. I am exempt from the Contractor's License Law for the reason stated above. Any violation of Section 7011 shall be deemed to be a violation of the standards of practice of the Contractor's License Law.

I am owner of the property, or my agent, and I am not a contractor under the Contractor's License Law. I do not intend to engage in any business of contracting for the erection, removal, or repair of structures. I am exempt from the Contractor's License Law for the reason stated above. Any violation of Section 7011 shall be deemed to be a violation of the standards of practice of the Contractor's License Law.

I am owner of the property, or my agent, and I am not a contractor under the Contractor's License Law. I do not intend to engage in any business of contracting for the erection, removal, or repair of structures. I am exempt from the Contractor's License Law for the reason stated above. Any violation of Section 7011 shall be deemed to be a violation of the standards of practice of the Contractor's License Law.

I am exempt under Sec. 7011 B & C of the Business and Professions Code.

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
WALL NONE	

SIGN TYPE	AS F. OR LESS	50 SQ. FT. OR MORE	100 SQ. FT. OR MORE	FEE
WALL NON-ELEC.	\$28.55	\$21.65	\$14.45	
WALL-ELECTRIC	\$34.65	\$27.65	\$20.45	34.65
GRD. WOOF PROJ.	\$92.55	\$65.65	\$58.45	
SPECIAL TRIP REQ.	\$57.45	\$10.00 PER HR.		

OTHER

OWNER'S COMPENSATION DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7011): Business and Professions Code. Any city or county which requires a permit for the erection, removal, or repair of structures shall also require the contractor to obtain a permit from the city or county for the erection, removal, or repair of the structure. I am exempt from the Contractor's License Law for the reason stated above. Any violation of Section 7011 shall be deemed to be a violation of the standards of practice of the Contractor's License Law.

APPLICANT'S SIGNATURE: **Jerry J. Murolet** DATE: **4-18-83**

OWNER'S SIGNATURE: **Dom Neen** DATE: **4-18-83**

PLAN FILE NO. **F 45 165** **PLANS REVISED** **DATE**

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED.

BUILDING INSPECTION DEPARTMENT

FUND & ACCT. **SUB TOTAL**
100/73811

PENALTY **73816**
FUND 100

63010 **STATE** **50**
9022 **FEE**

TOTAL **35 15**

APPROVAL: This permit does not become valid until signed by the Director of Building Inspection, or the Deputy, Fee Paid and Return is acknowledged in space provided.

SIGNATURE OF BLDG. INSP. DEPT. DIR.: **Shultz**

DATE: **4-25-83**

CITY OF SAN DIEGO

CITY OF SAN DIEGO **BUILDING PERMIT APPLICATION**

ADDRESS: **3350 SPORTS ARENA BLVD.**

PROJECT ADDRESS: **3350 SPORTS ARENA BL**

LOT: **PORTION NEAR LOT 33, PARTIAL LOT 3392**
 BLOCK: **PORTION NEAR LAND OF SAN DIEGO**
 SUBDIVISION NAME: **PORTION NEAR LAND OF SAN DIEGO**
 UNIT NO: **---**

DIST. NO: **2** CENSUS TRACT NO: **6500** COORD. INDEX NO: **A14607**

EXISTING USE: **RESTAURANT** PROPOSED USE: **RESTAURANT**

CONDITION OF SOIL AT PROJECT: UNDISTURBED CONTACTED FILL LODGE FILL
 COORD. INDEX NO: **214-170** PLAN FILE NO: **F15232**

OWNER: **JOHN DAVID ROSS** (619) 226-4792
 ADDRESS: **PO BOX 12418 RAMONA 92065** ZIP CODE: **92065**

DESCRIPTION OF PROPOSED WORK: **TENANT IMP - PARTITION ELEC, FLOOR, CEILING**

CONTRACTOR NAME: **SOLAR DEVELOPMENT, INC.**
 ADDRESS: **1130 D ST. (619) 442-0661**
 CITY: **RAMONA** ZIP CODE: **92065**
 STATE LIC. NO: **315885** CITY LIC. NUMBER: **SD81006653**

BUILDING INSPECTION DEPARTMENT CITY TREASURER VALIDATION 101.00 IPERM 101.00 IPERM 15922 1

DESIGNER NAME: **SOLAR DEVELOPMENT** LIC. NO: **315885**
 ADDRESS: **1130 D ST. (619) 442-0661**
 CITY: **RAMONA** ZIP CODE: **92065**

THAT PERMIT AUTHORITY USE ONLY THE WORK NOTED
 SERV. SIZE: **EX** METER SIZE: **EX** CREDIT: **---**
 SEWER CONN.: **EX** SEE RECPT: **60201** CKD BY: **---**

1 LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

2 OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon and contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.
 I am exempt under Sec. B & P.C. for the reason: **---**

USE ZONE: **---** COASTAL ZONE: YES NO
 HILLSIDE REVIEW: YES NO PLANNED DISTRICT: YES NO
 AGREEMENT NO: **---** VARIANCE NO: **---**

FEES & ACC'T	VALUATION OF WORK	PER UNIT	TOTAL
100	PLAN/NECA FEE		391.05
100	BUILDING PERMIT FEE		600.00
62010	STATE FEE		002.00
41500	SEWER FEE		77569.00
11500	WATER FEE		7530.00
3423	PARK FEE		---
TOTAL FEES DUE			4101.02

3 WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of coverage for workers' compensation insurance or a certified copy thereof filed with the Building Inspection Department (Sec. 30, Lab. C).
 Policy No: **471730-82** Insurance Company: **STATE FUND**

4 CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Law of California.
 Owner's or Contractor's Signature: **James R. Lovell** Date: **4/11/83**

5 CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).
 Lender's Name: **NONE**
 Lender's Address: **---**

SPECIAL INSPECTION REQUIREMENTS:
 CHIMNEY
 MASS. HUR.
 WELDED STEEL JOIST
 POLE STRUCTURE
 SOILS
 OTHER (LIST HERE): **---**
 TOTAL FEES DUE: **4101.02**
 BUILDING AREA: **---** TOTAL FLOOR AREA: **---**
 SPRINGERS NEED FOR OCCUP. LOAD: YES NO

6 NAME: **JAMES R. LOVELL**
 ADDRESS: **16050 AIR MAIL LN. RAMONA 92065**

WORK TO BE DONE:
 MOVE DEC. CHG.
 ALTER DEMOLISH
 REPAIR NEW RESTO.
 NEW RESIDENTIAL
 ADD
 PLAN CHECK RECEIPT NUMBER: **---**
 PLAN CHECK RECEIPT AMOUNT: **---**

I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-described property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Worker's Compensation law, this permit shall be deemed revoked.
 SIGNATURE: **James R. Lovell** DATE: **4/11/83**
 CONTRACTOR OWNER AGENT FOR CONTRACTOR AGENT FOR OWNER

DATE PLAN RECEIVED: **4-11-83**
 PLAN APPROVED: **---** DATE: **4/11/83**
 HIGH PLAN CHECKER SIGNATURE: **---**
 TITLE: **24** APPLICATION APPROVAL: **---**

CITY OF SAN DIEGO **BUILDING PERMIT APPLICATION**

PROJECT ADDRESS: 3350 SPORTS ARENA BLVD (STEP 1)
 LOCAL PARCEL: 26500
 COUNTY TRACT NO: A15189
 PERMIT NUMBER: 211-1705 F/15059

PROJECT TYPE: COMMERCIAL
 PROPOSED USE: REPAIR/REPLACE

OWNER: MINORU MIKI
 ADDRESS: 4984 MILWOOD RD SANDIEGO CA 92108

CONTRACTOR: V.K. Engelbrecht
 ADDRESS: 2343 C St SANDIEGO CA 92104

DESIGNER: BOB ANDERSON
 ADDRESS: 748 GLENVIEW ST SANDIEGO CA 92108

PROJECT ADDRESS: 3350 SPORTS ARENA BLVD (STEP 1)
 LOCAL PARCEL: 26500
 COUNTY TRACT NO: A15189
 PERMIT NUMBER: 211-1705 F/15059

DESCRIPTION OF PROJECT: REPAIR/REPLACE
 CITY TREASURER VALIDATION

THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 9001.4, Business and Professions Code):
 Contractor's Signature: [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 9001.4, Business and Professions Code):
 I am exempt under Sec. BAPC of this reason.

WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of coverage and insurance or a certificate of self-insurance filed with the Insurance Department (Sec. 3600, Lab. C).
 Policy No: 013440

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE: I hereby affirm that I am exempt from the Workers' Compensation Laws of California.

CONSTRUCTION LENDING AGENT: I hereby affirm that there is a construction lending agreement for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name: [Blank]
 Lender's Address: [Blank]

APPLICANT: MINORU MIKI
 ADDRESS: 4984 MILWOOD RD SANDIEGO CA 92108

Signature: [Signature] DATE: 5-2-83

CONTRACTOR OWNER AGENT FOR CONTRACTOR AGENT FOR OWNER

SEWER EX METER SIZE EX CREDIT
 STREET EX SEE ATT RECEIPT 166144
 CRED BY: AM

NO. OF BAR SINKS	NO. OF DWELL UNITS
5	1
2	2

DESCRIPTION	AMOUNT	TOTAL
VALUATION OF WORK	32,500 - 32,500	
PLAN CHECK FEE		112.00
CONTRACTOR'S PERMIT FEE		173.48
STATE FEE		2.30
SEWER FEE		
WATER FEE		
MARK FEE		
TOTAL FEES DUE		\$288.54

TOTAL FEES DUE: \$288.54
 INSURANCE: 1
 OCCUP. GROUP: B-2
 TOTAL FLOOR AREA: N/A

PLANS CHECKED: D. HALL
 DATE: 4/18/83
 TITLE: 24
 APPLICATION APPROVAL: [Signature] DATE: 5/13/83

CITY OF SAN DIEGO BUILDING PERMIT APPLICATION

ADDRESS: **3350 SPORTS ARENA BLVD.**
 LOT: **SECTION 10** BLOCK: **10** SUBDIVISION NAME: **PUERBLO LAND OF SAN DIEGO** UNIT NO.: **3392**

PROJECT ADDRESS: **3350 SPORTS ARENA BLVD.**
 DIST. NO.: **2** CENSUS TRACT NO.: **65.00** PLAN FILE NO.: **A15466**

EXISTING USE: **RETAIL/RESTAURANT** PROPOSED USE: **RESTAURANT**
 NAME: **JOHN DAVID RUSSELL** TEL. NO.: **4224-4282**

COORD. INDEX NO.: **214-1705** PLAN FILE NO.: **F15237**

ADDRESS: **P.O. BOX 1245 RAMONA CA 92065** ZIP CODE: **92065**

DESCRIPTION OF PROPOSED WORK: **INSTALL VENT SHAFT ONLY.**

CONTRACTOR NAME: **SUMAR DEVELOPMENT, INC.** TEL. NO.: **442-0661**

BUILDING INSPECTION DEPARTMENT CITY TREASURER VALIDATION
 4877 1 25.00 (PENN)
 14877 1 25.00 (PENN)
 14877 1 25.50 (PENN)

DESIGNER NAME: **SUMAR DEVELOPMENT, INC.** LIC. NO.: **345253**
 ADDRESS: **1130 N. D. ST. RAMONA CA 92065** TEL. NO.: **442-0661**

SERV. SIZE: **SEE METER SIZE** CREDIT: **SEE METER SIZE**

LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

AGREEMENT NO.: **73423** VARIANCE NO.: **---**

OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.3, Business and Professions Code): Any city or county which requires a permit for such permit to be a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code or that he is exempt therefrom and the basis for the signed exemption: Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
 I, as owner of the property, or my employees with wages at their sole compensation with do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with a contractor's licensed pursuant to the Contractor's License Law.
 I am exempt under Sec. **B&P C** for this reason.

COASTAL ZONE: **NO** DEV PERMIT: **NO** BALLSIDE VIEW: **NO** DISTRICT: **---**

Owner's Signature: **James R. Lopez Level**

PLAN NO.	AMOUNT	PER UNIT	TOTAL
100 73423	PLAN CHECK FEE	100	100.00
100 73423	SUPPLEMENTAL PLAN CHECK FEE	---	---
63010 0022	BUILDING PERMIT FEE	---	25.00
41500 77565	STATE FEE	---	50
41500 77530	SEWER FEE	---	---
73423	WATER FEE	---	---
---	PARK FEE	---	---
---	OLD ORDER NO.	3680	---

WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of consent to self-insure, or certificate of Workers' Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (Sec. 3809, Lab. C.).
 Policy No. **471736-32** Insurance Company: **STATE FUND**

TOTAL FEES DUE: **25.50**
 SPECIAL INSURANCE: **---** SECUR. FEE: **A3**
 BUILDING AREA: **NC** TOTAL FLOOR AREA: **NC**
 SPARKLERS WEDO FOR: **---** OCCUP. EMB. PREPARED BY PLAN CHK. NO. **---**

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Law of California.
 Designer's or Contractor's Signature: **James R. Lopez Level** Date: **11/20/83**

CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3997, Lab. C.).
 Lender's Name: **NDMS**

WORK TO BE DONE: MIXUP CONC. CURB ALTERN. GRASS/GRUB REPAIR PAINT/RESID NEW RESIDENTIAL ADD

APPLICANT NAME: **JAMES R. LOPEZ LEVEL** CITY: **RAMONA** ZIP CODE: **92065**
 ADDRESS: **16650 AIR MAIL LN. RAMONA CA 92065**

PLANS CHECKED: **---** DATE: **05/13/83**
 PLANS APPROVED: **---** DATE: **---**
 DATE PLANS SUBMITTED: **---** TITLE: **24** APPLICATION APPROVED: **---** DATE: **5/13/83**

I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Worker's Compensation Law, this permit shall be deemed revoked.

SIGNATURE: **James R. Lopez Level** DATE: **5-11-83**
 CONTRACTOR OWNER AGENT FOR CONTRACTOR AGENT FOR OWNER

BUILDING PERMIT-SIGN **APPLICANT FILL**
INSIDE HEAVY LINES

NAME OR NAME OF BUSINESS
JADEN SPORTS CENTER

MAILING ADDRESS
3350 SPORTS ARENA BLDG

CITY
SAN DIEGO

ZIP
92161

TEL. NUMBER
60778

NAME
SAME

ADDRESS (NUMBER)
6011 ROCKSPRINGS RD.

CITY
ESCONDIDO

ZIP
92025

TEL. NUMBER
7927947

STATE LICENSE NO.
40852

CLASS NO.
C-45

CITY LICENSE NO.
0741851K

LOT
12

BLOCK
12

SUBDIVISION
12

UNIT
12

JOB ADDRESS
3350 SPORTS ARENA BLDG

JOB ADDRESS
3350 Sports Arena Bldg (F)

PERMIT NUMBER
65.00

BUILDING PERMIT NUMBER
524917

MAIL CERT. NO.
524917

TYPE OF NEW SIGN

- OFF-PREMISE
- GROUND
- WALL
- PROJECTING
- ROOF
- FRNT. OR.
- BLINKING
- ELECTRIC
- TURNING
- NOT VIB. R.W.

MAIL CERT. EXP. DATE
9-30-84

MAIL CERT. NO.
60778

VAR. NO.

C.U.P. NO.

SPECIAL DIST./C.L.P.

EXP. DATE

SIGN AREA
24'

SIGN HGT.
Midway

EDGE AREA
109'

COMM. CODE

LAND USE

PROJ. OVER HT. OF W&P

MAX. HT. ALLOW.

COORD. INDEX
215-1705

R/W WIDTH
60'

FREQ. CONC.
35-45'

FRONTAGE BUILDING STREET
79'

FORM BKT. BACK

REQ. ACT

DEAR NO.

(INT.)

(MTR.)

CURE TO P.L.

PLANNING DEPT. APP. BY

DATE

LICENSEE CONTRACTORS DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 9 (Contractors) with Section 70001 of Division 3 of the Business and Professions Code and my license is in full force and effect.

OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 70015, Business and Professions Code): Any city or county which requires a permit for the erection, alteration, repair, demolition, or repair any structure prior to its erection, also requires the applicant to file a signed statement that he is licensed pursuant to the provisions of the Contract Law (Sec. 70015) in compliance with Section 70001 of Division 3 of the Business and Professions Code or that he is a member of the board and the basis for the alleged exemption. Any violation of Section 70015 by any applicant for a permit subject to the applicant to a civil penalty of not more than five hundred dollars (\$500).

I am owner of the property for my improvement, and wages on this site construction, will do the work myself. The structure is not intended or offered for sale (Sec. 70014, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves, and who does not work for hire through his own employees, provided that such improvements are not intended or offered for sale, or that the building or improvement is used with the view of conducting the business and will have the burden of payment that he did not build or improve for the purpose of sale.

I am owner of the property and am employing contracting work licensed contractors to construct, alter, repair, demolish or improve any structure, and contracts for such projects with a contractor licensed pursuant to the Contractor's License Law.

I am exempt under Sec. 70015 for the reason:

Other _____

WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a valid certificate of Workers' Compensation Insurance for a contractually named firm with the Building Department, San Diego (Sec. 3600, Lr. 12).

APPLICANT: Jaden Sports Center, W. S. 5108, San Diego, CA 92161

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE: I hereby affirm that the permit is issued for the work for which this permit is issued, that the employer is not subject to any Worker's Compensation Insurance subject to the Workers' Compensation Law of California.

CONSTRUCTION LENDING AGENCY: I hereby affirm that there is no construction lending agency for the purpose of the work for which this permit is issued (Sec. 3007, Lr. 12).

APPLICANT'S SIGNATURE: Jaden J. Mudra

OWNER

AGENT FOR

DATE: 4-15-83

LIST EACH EXISTING SIGN GIVING TYPE AND AREA

SIGN TYPE	AREA
2 x 14' 6"	290

SIGN TYPE	49 S.F. OR LESS	50-99 S.F.	100 S.F. OR MORE	FEE
WALL NON-ELEC.	\$22.00	\$31.00	\$34.00	
WALL ELECTRIC	\$40.00	\$57.00	\$40.00	34.60
ROOF ROOF PROJ.	\$42.00	\$45.00	\$45.00	
SPECIAL INSP. REQ.	EXT. HIRE	\$10.00 PER HR.		

OTHER

ATTENTION: THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

BUILDING DEPARTMENT

FUND & ADD'T
100/73611

PERALTY
73618

FUND 500

6310 9377

STATE FEE
20

TOTAL
75.15

APPROVAL

This permit does not become valid until signed by the Director of Building Inspection, or his Deputy, and seal and record is acknowledged in these provided.

SIGNATURE OF SIGN INSP. DEPT. OFFICER: [Signature]

DATE: 4-25-83

CITY OF SAN DIEGO

PLAN FILE NO.: F45764

PLAN APPROVED: [Signature]

DATE: 4-15-83

INSPECTOR IN 15

CITY OF SAN DIEGO **BUILDING** PERMIT APPLICATION

PROJECT ADDRESS: 3350 SPORTS ARENA BLVD SUITE G
 BLOCK: MARINA PLAZA SUBDIVISION NAME: P.L. 338
 EXISTING USE: RETAIL PROPOSED USE: SAME

PROJECT ADDRESS: 3350 SPORTS ARENA BLVD SUITE G
 DIET NO: 2 CONTRACT NO: 65-00
 COORP INDEX NO: 214-1705

OWNER NAME: DE. MARVIN WEITZMAN, O.D. 334273
 ADDRESS: 3350 SPORTS ARENA BLVD SUITE G, SD, 92110

DESCRIPTION OF PROPOSED WORK: T.I.

CONTRACTOR NAME: JENKINS JARVEL YNEBE
 ADDRESS: 5144 VESPER AVE
 CITY: VAN HITS CA 91411
 STATE LIC. NO: 37451 UC CLASS: B

BUILDING INSPECTION DEPARTMENT CITY TREASURER VALIDATION
 THIS PERMIT AUTHORIZES ONLY THE WORK NOTED

DESIGNER NAME: SAME AS CONTRACTOR
 ADDRESS: CITY: ZIP CODE:

SERV SIZE METER SIZE CREDIT
 SEWER CONNE: SEE ATT. RECPT.

LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am a licensed contractor under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code.

COASTAL ZONE: YES/NO
 HILLSIDE REVIEW: YES/NO
 AGREEMENT NO. VARIANCE NO.

OWNER-BUILDER DECLARATION: I hereby affirm that I am not a contractor under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code...
 I, as owner of the property, or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale...
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project...
 I am exempt under Sec. 7000.1 (b) (1) B.A.P.C. for the reason:

FUND & ACCT.	VALUATION OF WORK	NO. UNITS	PER UNIT	ACCOUNT ITEM TOTAL
100 73411	PLAN CHECK FEE			16,000
	SUPPL. PLAN CHECK FEE			62.54
100 73412	BUILDING PERMIT FEE			96.68
63010 9022	STATE FEE			173.75
41506 77565	SEWER FEE			1.82
41500 77530	WATER FEE			
73423	PARK FEE			

WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of coverage to self insure or a certificate of Workers' Compensation Insurance...
 Policy No: 504718-83
 Expiration Date: 6-6-85

PENALTY FEES ADDED AS PROVIDED BY MUNICIPAL CODE
 WORK TO BE DONE: NEW, ALTER, MOVE, ADDN, REPAIR, DEMO, REB, R. REB, OCC. CH.
 TOTAL FEES DUE: 160.64

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE: I hereby affirm that the person or persons for whom this permit is issued will not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

SPEC. INSP. REQ'D FOR: CONCRETE, MASONRY, WELD. HS. BOLTS, BOILERS, PILE DRIVE, OTHER.
 DATE PLANS SUBMITTED: 8/8/84
 PLAN CHECK RECEIPT NO.

CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the purpose of the work for which this permit is issued (Sec. 3097, C.A.C.).

APPLICATION APPROVAL: SIGNATURE OF BLDG. INSP. DEPT. SECTY: [Signature] DATE: 8/8/84
 OCCUP. CARD PREPARED BY PLAN CHK. YES/NO

APPLICANT NAME: JENKINS JARVEL YNEBE
 ADDRESS: 5144 VESPER AVE VAN CA 91411
 SIGNATURE: [Signature] DATE: 8-8-84
 CONTRACTOR OWNER AGENT FOR CONTRACTOR AGENT FOR OWNER

INSPECTOR

160.62

Midway Bldg Ho 544
Ho 320
Permit Application

City of San Diego Building Inspection Department
1222 First Avenue, MS 301, San Diego, CA 92101 (619) 236-6270

4005207-85046-91
214-1705

P 1034-91
M 2808-91

Combination Building Mobile Home Electrical Plumbing & Gas Mechanical Demolition
 Relocation Remove Building

Project Location: **BL**

Plan File No. **A00 1724-91**

Address: **ARENA BLVD**

Block No. _____ Subdivision Name _____ Unit No. _____ Map No. _____

Parcel Map No. _____ Assessor's Parcel No. _____

Condition of Soil at Site: Undisturbed Compact Fill Loose Fill

WIDE/OFFICE DEMOLITION

WALLS, CEILING, ELECTRICAL, ROOF (CE) RESTROOM

Architect/Engineer: **ARCHITECTURAL SERVICES**

Address: **1308 MAIN ST # 205**

State: **CA** Zip Code: **92065** Telephone: **(619) 789-6618** License Number: _____

Applicant: Contractor Agent for Contractor Owner Agent for Owner

LOVELL

Address: **1308 MAIN ST # 205**

State: **CA** Zip Code: **92065** Telephone: **(619) 789-6618**

Proposed Owner: Owner Lessee or Tenant

E. R. D. INC. UNIVERSITY TRNG CTR

Address: **4545 La Jolla Village Dr.**

State: **CA** Zip Code: **92122** Telephone: **(619) 452-1000**

Contractor: **WOODSUN DEVELOPMENT INC.**

Address: **1338 D ST.**

State: **CA** Zip Code: **92065** Telephone: **789-4114**

License Class: **B** City Business Tax No: **91010535**

Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9, Division 3 of the Business and Professions Code, and my license is in full force and effect.

Michael

Date: **11-5-91**

Wage Compensation: I hereby declare that I have a certificate of consent in full force, or a certificate of Waiver of Compensation in full force, or a certified copy thereof filed with the Building Inspection Department.

STATE FUNDO

Policy No: **471736** Expiration Date: **92**

Michael Vc

Date: **11-5-91**

Builder Declaration: I hereby affirm that I am licensed under provisions of Chapter 9, Division 3 of the Business and Professions Code, and my license is in full force and effect.

Michael

Date: **11-5-91**

Construction Lending Agency: There is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3007, Ch. 9).

NONE

Lender's Address: _____

Applicant's Signature: I have read the application and affirm that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction.

Michael

Date: **10-7-91**



City of San Diego
 Planning and Economic Development
 Development Services Department
 Permit Center 1222 Elm Ave., MS-301
 San Diego, CA 92101
 (619) 236-8270

Permit Application

Permit # 105-53

1. Permit Type: Commercial Dwelling Mobile Home Dental Plumbing Electrical Fire Mechanical Demolition Other

2. Project Address (include Building or Suite No.)
 3350 Sports Arena Blvd B, C, D, E, F, G

3. Existing Use: *atc*

Description of Work: *add restrooms*

4. Applicant Name: *Greg Oakley*

Address: *14351 Crestwood Ave, Poway, CA 92064*

5. Contractor Name: *Oakley Plumbing*

Address: *14351 Crestwood Ave, Poway, CA 92064*
 State License No: *376597*

6. Licensed Contractor's Declaration: I hereby certify that I am licensed under provisions of Chapter 9 (commencing with Section 70000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

7. Workers' Compensation Declaration: I hereby certify that I am licensed under provisions of Chapter 9 (commencing with Section 70000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

8. Owner/Builder Declaration: I hereby certify that I am licensed under provisions of Chapter 9 (commencing with Section 70000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

9. Construction Lending Agency: I hereby certify that I am licensed under provisions of Chapter 9 (commencing with Section 70000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

10. Applicant's Signature: *[Signature]*



State of Georgia
 Permit Division
 Department of Community Development
 Permit Center - 1227 First Ave. - MS-301
 Savannah, GA 31201
 (415) 241-5275

Permit Application

CE

335

1. Permit Type: Construction Building Mobile Home Electrical Plumbing & Gas Mechanical Miscellaneous Other

2. Project Address: 3350 Sports Arena Blvd Plan No. 1104477-26

3. Applicant: Superior 338 Submitter Name: Lawrence Clarke Unit No. 7531

4. Filing Fee: None Condition of Soil at Site: Unimproved Compact Fill Leaky Fill

5. Description of Work: fire repair walls etc. work 185,000 value 2300

6. Contractor Name: Bejon State: GA Zip Code: 30112 Telephone: 404 925 8800 License Number: 25900

7. Licensed Contractor's Designation: Designer Agent for Contractor Owner Agent for Owner

8. Project General Location: Rathergo Lake 33501 Highway 10520 High Bluff Dr State: GA Zip Code: 30112 Telephone: 404 925 8800

9. Contractor Name: Bejon State: GA Zip Code: 30112 Telephone: 404 925 8800

10. Licensed Contractor's Designation: Designer Agent for Contractor Owner Agent for Owner

11. Signature: [Signature] Title: owner Date: 6/10/96

12. Signature: [Signature] Title: owner Date: 6/10/96

13. Signature: [Signature] Title: owner Date: 6/10/96

14. Signature: [Signature] Title: owner Date: 6/10/96

15. Signature: [Signature] Title: owner Date: 6/10/96

16. Signature: [Signature] Title: owner Date: 6/10/96

17. Signature: [Signature] Title: owner Date: 6/10/96

18. Signature: [Signature] Title: owner Date: 6/10/96

19. Signature: [Signature] Title: owner Date: 6/10/96

20. Signature: [Signature] Title: owner Date: 6/10/96

21. Signature: [Signature] Title: owner Date: 6/10/96

22. Signature: [Signature] Title: owner Date: 6/10/96

23. Signature: [Signature] Title: owner Date: 6/10/96

24. Signature: [Signature] Title: owner Date: 6/10/96

25. Signature: [Signature] Title: owner Date: 6/10/96

26. Signature: [Signature] Title: owner Date: 6/10/96

27. Signature: [Signature] Title: owner Date: 6/10/96

28. Signature: [Signature] Title: owner Date: 6/10/96

29. Signature: [Signature] Title: owner Date: 6/10/96

30. Signature: [Signature] Title: owner Date: 6/10/96

CC-1-3

OWNER BUILDER MAILED 7-9-02



City of San Diego
Development Services
1222 First Ave., MS-301
San Diego, CA 92101-4154
(619) 446-5000

General Application

The City of San Diego www.ci.san-diego.ca.us/development-services

1. Approval Type: • Construction Permits: Structure Grading Public Right-of-Way • Electrical • Plumbing/Mechanical
• Sign • Subdivision • Demolition/Removal • Development Permits: Neighborhood Use Coastal Neighborhood Development
 Site Development Planned Development Conditional Use Variance • Other

2. Project Address: Include Building or Suite No. 3350 SPORTS ARENA BLVD, SUITE I Project Title: ASSEMBLY T.I. Project No. For City Use Only: A10 8563-02

Lot No. FOR 3154338 Block No. PUEBLO LOTS Subdivision Name PUEBLO LOTS Unit No. 310 Map No. 310

Existing Use: ASSEMBLY BLDG. Parcel No. 700-102-32-00 Assessor's Parcel No. 700-102-32-00

Project Description: INTERIOR T.I. REMODEL - ASSEMBLY BLDG. Total Floor Area 17,682 SF

3. Designer name ROY JOHNSON Address 7830 LA MESA BLVD City LA MESA State CA Zip Code 91901 Telephone (619) 462-8660 License Number C-7742

4. Applicant Name Please check one Contractor Agent for Contractor Owner Agent for Owner SUNSHINE PERMIT SERVICE Address 8078 SKYRIM DR. City LAKEVIEW State CA Zip Code 92080 Telephone (619) 390-6209

5. Property Owner/Lessee/Tenant Name Please check one Owner Lessee or Tenant LEN PAUL Address 1220 ROSECRANS ST. #220 City SAN DIEGO State CA Zip Code 92106 Telephone (619) 925-5111

6. Contractor Name (not required for development permits) Address _____ City _____ State _____ Zip Code _____ Telephone _____

State License No. _____ License Class _____ City Business Tax No. _____

Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature _____ Title _____ Date _____

7. Workers' Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:

a. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Insurance Company _____ Policy No. _____ Expiration Date _____

c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature [Signature] Date 7/2/02

8. Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale; if, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law).

I am exempt under Section _____ B.P.C. for the reason _____ Signature _____ Date 7/2/02

9. Construction Lending Agency: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3067, Civ. C.) Lender's Name NONE Lender's Address _____

10. Applicant's Signature: Signature [Signature] Date 7/2/02

CONTINUED ON REVERSE SIDE

LOT AND BLOCK BOOK PAGE

NOT AVAILABLE

PREVIOUS HISTORICAL RESOURCE SURVEY FORMS
PROPERTIES NOT DOCUMENTED OR IDENTIFIED
IN ANY HISTORIC SURVEY OR HISTORIC INVENTORY

APPENDIX B
OWNERSHIP AND OCCUPANT INFORMATION

CHAIN OF TITLE

PREPARED BASED UPON RECORDED LEGAL DOCUMENTS
OBTAINED BY FIRST AMERICAN TITLE INSURANCE COMPANY

Property Detail Report

3220 Sports Arena Blvd, San Diego, CA 92110-4528

APN: 760-102-04-00

San Diego County Data as of: 11/17/2023

Owner Information

Owner Name:	City Of San Diego	Occupancy:	Absentee Owner
Vesting:			
Mailing Address:	Public Agency		

Location Information

Legal Description:	Public Land	County:	San Diego, CA
APN:	760-102-04-00	Alternate APN:	
Munic / Twnshp:	City Of San Diego	Twncshp-Rng-Sec:	
Subdivision:		Tract #:	10Blic
Neighborhood:	Western San Diego	School District:	San Diego Unified School District
Elementary School:	Dewey Elementary S...	Middle School:	Correia Middle Sch...
Latitude:	32.75335	Longitude:	-117.20737
		Legal Lot / Block:	
		Legal Book / Page:	760 / 10
		High School:	Point Loma High Sc...

Last Transfer / Conveyance - Current Owner

Transfer / Rec Date:	Price:	Transfer Doc #:
Buyer Name:	Seller Name:	Deed Type:

Last Market Sale

Sale / Rec Date:	Sale Price / Type:	Deed Type:
Multi / Split Sale:	Price / Sq. Ft.:	New Construction:
1st Mtg Amt / Type:	1st Mtg Rate / Type:	1st Mtg Doc #:
2nd Mtg Amt / Type:	2nd Mtg Rate / Type:	Sale Doc #:
Seller Name:		
Lender:		Title Company:

Prior Sale Information

Sale / Rec Date:	Sale Price / Type:	Prior Deed Type:
1st Mtg Amt / Type:	1st Mtg Rate / Type:	Prior Sale Doc #:
Prior Lender:		N/A

Property Characteristics

Gross Living Area:	1,267 Sq. Ft.	Total Rooms:	0	Year Built / Eff:	1990 / 1990
Living Area:	1,267 Sq. Ft.	Bedrooms:		Stories:	
Total Adj. Area:		Baths (F / H):		Parking Type:	
Above Grade:	1,267 Sq. Ft.	Pool:		Garage #:	
Basement Area:		Fireplace:		Garage Area:	
Style:		Cooling:		Porch Type:	
Foundation:		Heating:		Patio Type:	
Quality:		Exterior Wall:		Roof Type:	
Condition:		Construction Type:		Roof Material:	

Site Information

Land Use:	Store Building	Lot Area:	3,010,400 Sq. Ft.	Zoning:	C-6
State Use:		Lot Width / Depth:		# of Buildings:	1
County Use:	21 - 1 To 3 Story Misc. Store Bldgs.	Usable Lot:		Res / Comm Units:	1 / 1
Site Influence:		Acres:	69.109	Water / Sewer Type:	
Flood Zone Code:	X	Flood Map #:	06073C1614H	Flood Map Date:	12/20/2019
Community Name:	San Diego, City Of	Flood Panel #:	1614H	Inside SFHA:	False

Tax Information

Assessed Year:	2023	Assessed Value:		Market Total Value:	
Tax Year:		Land Value:		Market Land Value:	
Tax Area:	8-256	Improvement Value:		Market Imprv Value:	
Property Tax:		Improved %:		Market Imprv %:	
Exemption:		Delinquent Year:			

Property Detail Report

3240 Sports Arena Blvd, San Diego, CA 92110-4528

APN: 760-102-05-00

San Diego County Data as of: 03/29/2024

Owner Information

Owner Name: Schulmann Victor J Trust Dated 1 / 1989
Vesting:
Mailing Address: 5 First American Way #4, Santa Ana, CA 92707-5913
Occupancy: Absentee Owner

Location Information

Legal Description: Public Land
APN: 760-102-05-00
Munic / Twnshp: City Of San Diego
Subdivision:
Neighborhood: Western San Diego
Elementary School: Dewey Elementary S...
Latitude: 32.75549
County: San Diego, CA
Census Tract / Block: 006500 / 1011
Legal Lot / Block:
Legal Book / Page: 760 / 10
Tract #: 10Blic
School District: San Diego Unified School District
Middle School: Correia Middle Sch...
High School: Point Loma High Sc...
Longitude: -117.21249

Last Transfer / Conveyance - Current Owner

Transfer / Rec Date: / 02/28/1987
Buyer Name: Schulmann Victortrend Furniture
Price:
Seller Name: Owner Name Unavailable
Transfer Doc #: 1987.22812
Deed Type: Deed

Last Market Sale

Sale / Rec Date: / 02/28/1987
Multi / Split Sale:
1st Mtg Amt / Type:
2nd Mtg Amt / Type:
Seller Name: Owner Name Unavailable
Lender:
Sale Price / Type:
Price / Sq. Ft.:
1st Mtg Rate / Type:
2nd Mtg Rate / Type:
Deed Type: Deed
New Construction:
1st Mtg Doc #: N/A
Sale Doc #: 1987.22812
Title Company:

Prior Sale Information

Sale / Rec Date:
1st Mtg Amt / Type:
Prior Lender:
Sale Price / Type:
1st Mtg Rate / Type:
Prior Deed Type:
Prior Sale Doc #: N/A

Property Characteristics

Gross Living Area:
Living Area:
Total Adj. Area:
Above Grade:
Basement Area:
Style:
Foundation:
Quality:
Condition:
Total Rooms: 0
Bedrooms:
Baths (F / H):
Pool:
Fireplace:
Cooling:
Heating:
Exterior Wall:
Construction Type:
Year Built / Eff:
Stories:
Parking Type:
Garage #:
Garage Area:
Porch Type:
Patio Type:
Roof Type:
Roof Material:

Site Information

Land Use: Store Building
State Use:
County Use: 21 - 1 To 3 Story Misc. Store Bldgs.
Site Influence:
Flood Zone Code: X
Community Name: San Diego, City Of
Lot Area: 3,010,400 Sq. Ft.
Lot Width / Depth:
Usable Lot:
Acres: 69.109
Flood Map #: 06073C1614H
Flood Panel #: 1614H
Zoning: C-6
of Buildings: 1
Res / Comm Units: 1 / 1
Water / Sewer Type:
Flood Map Date: 12/20/2019
Inside SFHA: False

Tax Information

Assessed Year: 2023
Tax Year: 2023
Tax Area: 08-256
Property Tax: \$7,051.64
Exemption:
Assessed Value: \$575,603
Land Value: \$301,188
Improvement Value: \$274,415
Improved %: 47.67%
Delinquent Year:
Market Total Value:
Market Land Value:
Market Imprv Value:
Market Imprv %:

Property Detail Report

3250 Sports Arena Blvd, San Diego, CA 92110-4528

APN: 760-102-01-00

San Diego County Data as of: 11/17/2023

Owner Information

Owner Name:	Probuild Company LLC	Occupancy:	Absentee Owner
Vesting:	Corporation		
Mailing Address:	2001 Bryan St #1600, Dallas, TX 75201-3017		

Location Information

Legal Description:	Public Land	County:	San Diego, CA
APN:	760-102-01-00	Alternate APN:	
Munic / Twnshp:	City Of San Diego	Twtnshp-Rng-Sec:	
Subdivision:		Tract #:	10Blic
Neighborhood:	Western San Diego	School District:	San Diego Unified School District
Elementary School:	Dewey Elementary S...	Middle School:	Correia Middle Sch...
Latitude:	32.75356	Longitude:	-117.20841
		High School:	Point Loma High Sc...

Last Transfer / Conveyance - Current Owner

Transfer / Rec Date:	07/25/2003 / 08/22/2003	Price:		Transfer Doc #:	2003.1026952
Buyer Name:	DLC Acquisition Corp	Seller Name:	Dixieline Lumber Co	Deed Type:	Deed

Last Market Sale

Sale / Rec Date:		Sale Price / Type:		Deed Type:	
Multi / Split Sale:		Price / Sq. Ft.:		New Construction:	
1st Mtg Amt / Type:		1st Mtg Rate / Type:		1st Mtg Doc #:	N/A
2nd Mtg Amt / Type:		2nd Mtg Rate / Type:		Sale Doc #:	N/A
Seller Name:				Title Company:	
Lender:					

Prior Sale Information

Sale / Rec Date:		Sale Price / Type:		Prior Deed Type:	
1st Mtg Amt / Type:		1st Mtg Rate / Type:		Prior Sale Doc #:	N/A
Prior Lender:					

Property Characteristics

Gross Living Area:	28,125 Sq. Ft.	Total Rooms:	0	Year Built / Eff:	1968 / 1968
Living Area:	28,125 Sq. Ft.	Bedrooms:		Stories:	
Total Adj. Area:		Baths (F / H):		Parking Type:	
Above Grade:	28,125 Sq. Ft.	Pool:		Garage #:	
Basement Area:		Fireplace:		Garage Area:	
Style:		Cooling:		Porch Type:	
Foundation:		Heating:		Patio Type:	
Quality:		Exterior Wall:		Roof Type:	
Condition:		Construction Type:		Roof Material:	

Site Information

Land Use:	Store Building	Lot Area:	3,010,400 Sq. Ft.	Zoning:	I-7
State Use:		Lot Width / Depth:		# of Buildings:	1
County Use:	21 - 1 To 3 Story Misc. Store Bldgs.	Usable Lot:		Res / Comm Units:	1 / 1
Site Influence:		Acres:	69.109	Water / Sewer Type:	
Flood Zone Code:	X	Flood Map #:	06073C1614H	Flood Map Date:	12/20/2019
Community Name:	San Diego, City Of	Flood Panel #:	1614H	Inside SFHA:	False

Tax Information

Assessed Year:	2023	Assessed Value:	\$1,467,000	Market Total Value:	
Tax Year:	2023	Land Value:	\$654,000	Market Land Value:	
Tax Area:	08-256	Improvement Value:	\$813,000	Market Imprv Value:	
Property Tax:	\$14,492.80	Improved %:	55.42%	Market Imprv %:	
Exemption:		Delinquent Year:			

Property Detail Report

3350 Sports Arena Blvd #60, San Diego, CA 92110-4531

APN: 760-102-32-00

San Diego County Data as of: 11/17/2023

Owner Information

Owner Name:	City Of San Diego	Occupancy:	Absentee Owner
Vesting:			
Mailing Address:	Public Agency		

Location Information

Legal Description:	Public Land	County:	San Diego, CA
APN:	760-102-32-00	Alternate APN:	
Munic / Twnshp:	City Of San Diego	Twncshp-Rng-Sec:	
Subdivision:		Tract #:	10Blic
Neighborhood:	Western San Diego	School District:	San Diego Unified School District
Elementary School:	Dewey Elementary S...	Middle School:	Correia Middle Sch...
Latitude:	32.75431	Longitude:	-117.20926
		High School:	Point Loma High Sc...

Last Transfer / Conveyance - Current Owner

Transfer / Rec Date:	/ 05/14/1999	Price:		Transfer Doc #:	1999.904743
Buyer Name:	City Of San Diego	Seller Name:	Owner Name Unavailable	Deed Type:	Deed

Last Market Sale

Sale / Rec Date:	/ 05/14/1999	Sale Price / Type:		Deed Type:	Deed
Multi / Split Sale:		Price / Sq. Ft.:		New Construction:	
1st Mtg Amt / Type:		1st Mtg Rate / Type:		1st Mtg Doc #:	N/A
2nd Mtg Amt / Type:		2nd Mtg Rate / Type:		Sale Doc #:	1999.904743
Seller Name:	Owner Name Unavailable			Title Company:	
Lender:					

Prior Sale Information

Sale / Rec Date:		Sale Price / Type:		Prior Deed Type:	
1st Mtg Amt / Type:		1st Mtg Rate / Type:		Prior Sale Doc #:	N/A
Prior Lender:					

Property Characteristics

Gross Living Area:	77,163 Sq. Ft.	Total Rooms:	0	Year Built / Eff:	
Living Area:	77,163 Sq. Ft.	Bedrooms:		Stories:	
Total Adj. Area:		Baths (F / H):		Parking Type:	
Above Grade:		Pool:		Garage #:	
Basement Area:		Fireplace:		Garage Area:	
Style:		Cooling:		Porch Type:	
Foundation:		Heating:		Patio Type:	
Quality:		Exterior Wall:		Roof Type:	
Condition:		Construction Type:		Roof Material:	

Site Information

Land Use:	Shopping Center	Lot Area:	3,010,400 Sq. Ft.	Zoning:	I-7
State Use:		Lot Width / Depth:		# of Buildings:	1
County Use:	25 - Neighborhood Shopping Center	Usable Lot:		Res / Comm Units:	1 / 15
Site Influence:		Acres:	69.109	Water / Sewer Type:	
Flood Zone Code:	X	Flood Map #:	06073C1614H	Flood Map Date:	12/20/2019
Community Name:	San Diego, City Of	Flood Panel #:	1614H	Inside SFHA:	False

Tax Information

Assessed Year:	2023	Assessed Value:		Market Total Value:	
Tax Year:		Land Value:		Market Land Value:	
Tax Area:	8-256	Improvement Value:		Market Imprv Value:	
Property Tax:		Improved %:		Market Imprv %:	
Exemption:		Delinquent Year:			

CHAIN OF TITLE
 3220, 3240, 3250 & 3350 SPORTS ARENA BOULEVARD
 SAN DIEGO, CALIFORNIA 92110
 ASSESSOR'S PARCEL NUMBERS 760-102-04-00; 760-102-05-00;
 760-102-01-00; 760-102-32

*Note All Parcels Consist Of Public Land Owned By The City Of San Diego &
Leased To Various Tenants*

<u>Grantor(s)</u>	<u>Grantee(s)</u>	<u>Date</u>	<u>Document</u>
<i>Decree On Declaration Of Taking United States Of America/ Certain Parcels In The City Of San Diego, County Of San Diego</i>	--	January 19, 1944	OR#1619/220
<i>Quitclaim Deed San Diego Trust & Savings Bank</i>	United States Of America	August 30, 1944	OR#1721/489
<i>Quitclaim Deed United States Of America</i>	City Of San Diego	October 1, 1964	OR#179924
<i>Notice Of Completion Dixieline Lumber Company</i>	--	November 6, 1967	DOC#173540
<i>Notice Of Completion Double M Development Corporation</i>	--	November 16, 1978	DOC#78- 49738
<i>Notice Of Completion Sumac Development Corporation</i>	--	November 24, 1982	DOC#82- 363909
<i>Notice Of Completion Len A. Paul</i>	--	September 24, 2002	DOC#2002- 0818542

CITY DIRECTORY LISTING OF OCCUPANTS

SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS
3220 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

<u>Year(s)</u>	<u>Name(s)</u>	<u>Occupation(s), If Listed/Noted</u>
1923-1968	No Listings	
1969-2003	Pier One Imports	
2004	No Directory Available	
2005-2008	Pier One Imports	
2009	No Directory Available	
2010	Pier One Imports SD	
2011	No Directory Available	
2012	Pier One Imports SD	
2013-2014	No Directories Available	
2015-2018	Pier One Imports SD	
2019-2021	No Listings	

SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS
3240 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

<u>Year(s)</u>	<u>Name(s)</u>	<u>Occupation(s), If Listed/Noted</u>
1923-1968	No Listings	
1969-1998	Trend Furniture Company Of San Diego	Retail Furniture Store
1999-2001	La Jolla Patio & Mattresses	
2002	No Listing	
2003-2008	Salvation Army Thrift Store	
2009	No Directory Available	
2010-2021	Salvation Army Thrift Store	

SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS
3250 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

<u>Year(s)</u>	<u>Name(s)</u>	<u>Occupation(s), If Listed/Noted</u>
1923-1967	No Listings	
1968	Dixieline Lumber Company Gilfred Freese Jr.	
1969-1972	Dixieline Lumber Company	
1973-1974	Dixieline Lumber Company Dixieline Builders Fund Control Dixieline Finance Company	
1975-1985	Dixieline Lumber Company Dixieline Builders Fund Control	
1986-2003	Dixieline Lumber Home Center	
2004	No Directory Available	
2005-2008	Dixieline Lumber Home Center Dixieline Lumbers Builders Fund	
2009	No Directory Available	
2010	Dixieline Lumber Home Center Dixieline Lumbers Builders Fund	
2011	No Directory Available	
2012	Dixieline Pro Build	
2013-2014	No Directories Available	
2015-2016	Dixieline Builders First Source	
2017-2021	Dixieline Dixieline Lumber Yard Dixieline Pro Build Dixieline Truss Yard	

SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS
3350 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

<u>Year(s)</u>	<u>Name(s)</u>	<u>Occupation(s), If Listed/Noted</u>
1923-1980	No Listings	
1981-1983	Broken Yolk Restaurant Command Performance Flipside Record & TP Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sound Center Swensens Ice Cream Weitzman M.	Doctor
1984	Broken Yolk Restaurant Command Performance Japan Karate Do Japan Sports Center Karate Do Japan Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sono Restaurant Swensens Ice Cream Weitzman M. Willies Pies of Texas Yellow Brick Road Arc	Doctor
1985	Broken Yolk Restaurant Command Performance The Film Shop Japan Karate Do Japan Sports Center Karate Do Japan Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sono Restaurant	

	Swensens Ice Cream	
	Weitzman M.	Doctor
	Willies Pies of Texas	
	Yellow Brick Road Arc	
1986	Broken Yolk Restaurant	
	Chewys Caramel Fudge	
	Command Performance	
	Japan Karate Do	
	Japan Sports Center	
	Karate Do Japan	
	Gyros Express	
	Hollywood Pizza	
	Mad Jacks SND CTR	
	Petco Animal Supplies	
	Pigeon Toed Shoes	
	Second Sole Athletics	
	Sono Restaurant	
	Swensens Ice Cream	
	Weitzman M.	Doctor
	Willies Pies of Texas	
	Yellow Brick Road Arc	
1987-1988	Cafe Broken Yolk	
	Chewys Caramel Fudge	
	Japan Karate Do	
	Japan Sports Center	
	Karate Do Japan	
	Gyros Express	
	Hollywood Pizza	
	Mad Jacks SND CTR	
	Petco Animal Supplies	
	Record Heaven	
	Second Sole Athletics	
	Tomorrows Memories	
	Swensens Ice Cream	
	Weitzman M.	Doctor
	Yellow Brick Road Arc	
1989-1994	Cafe Broken Yolk	
	Chewys Caramel Fudge	
	Decor Plan	
	Japan Karate Do	
	Japan Sports Center	
	Karate Do Japan	
	Gyros Express	

	<p>Hollywood Pizza Kenneth of London Mad Jacks SND CTR Petco Animal Supplies Record Heaven Second Sole Shoes Second Sole Athletics Tomorrows Memories Swensens Ice Cream Weitzman M. Yellow Brick Road Arc</p>	<p>Doctor</p>
1995-2000	<p>Excelsior Cafe Hollywood Pizza Hometown Bakery Japan Karate Do Japan Sports Center Kobeys Swap Meet Petco Store Royal Gyros & Deli Swensens Ice Cream</p>	
2001-2003	<p>Arena Martial Arts Designer Sportswear Inc K Online Kobeys Swap Meet SD Wagon Company Tap Lighting Unforgettable Desserts</p>	
2004	<p>No Directory Available</p>	
2005-2007	<p>Crack In The Wall In-House Chef Kite Country Knockout Fitness Club Kobeys Swap Meet K Online Ross' Audio & Video Exchange Ross Exchange SD Wagon Company Soma Unforgettable Desserts Vincents Gem Store</p>	

2008	Cargo Unlimited Worldwide Carpet & Flooring Outlet Kite Country The Kobey Corporation Kobeys Swap Meet Losina Art Center Lucky You Inc Outdoor Living Superstore Panda Kitchen & Bath Patisserie Du Soleil SD Jo Du Soma Unforgettable Desserts
2009	No Directory Available
2010	Cargo Unlimited Worldwide Carpet & Flooring Outlet Kite Country The Kobey Corporation Kobeys Swap Meet Losina Art Center Crack In The Wall SD Jo Du Soma Unforgettable Desserts
2011	No Directory Available
2012	Carpet & Flooring Outlet The Kobey Corporation Kobeys Swap Meet Losina Art Center Crack In The Wall SD Jo Du Soma Unforgettable Desserts Panda Kitchen & Bath
2013-2014	No Directory Available

2015-2017

Soma
The Arena Gym

2018-2021

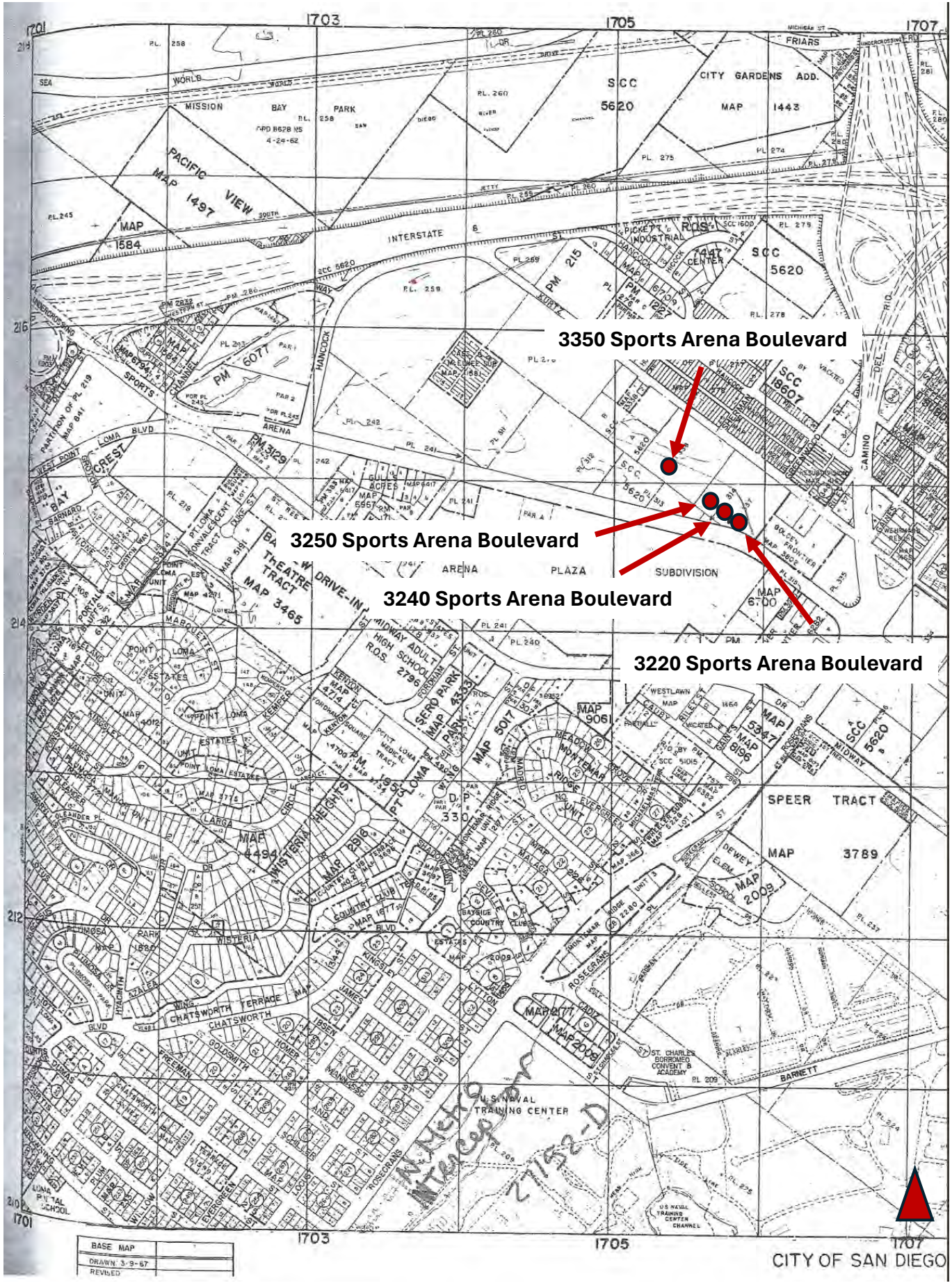
Crack In The Wall
Soma

COPY OF DEED FROM THE DATE OF CONSTRUCTION
NOT AVAILABLE

APPENDIX C

MAPS

CITY OF SAN DIEGO
800:1 SCALE ENGINEERING MAP



3350 Sports Arena Boulevard

3250 Sports Arena Boulevard

3240 Sports Arena Boulevard

3220 Sports Arena Boulevard

BASE MAP
DRAWN 3-9-87
REVISED

CITY OF SAN DIEGO

U.S.G.S. LA JOLLA QUADRANGLE MAP



ORIGINAL SUBDIVISION MAP
PUEBLO LANDS OF SAN DIEGO

Ed. 4th February 1876
Revised

MM 36

MAP

of the Public Lands of San Diego

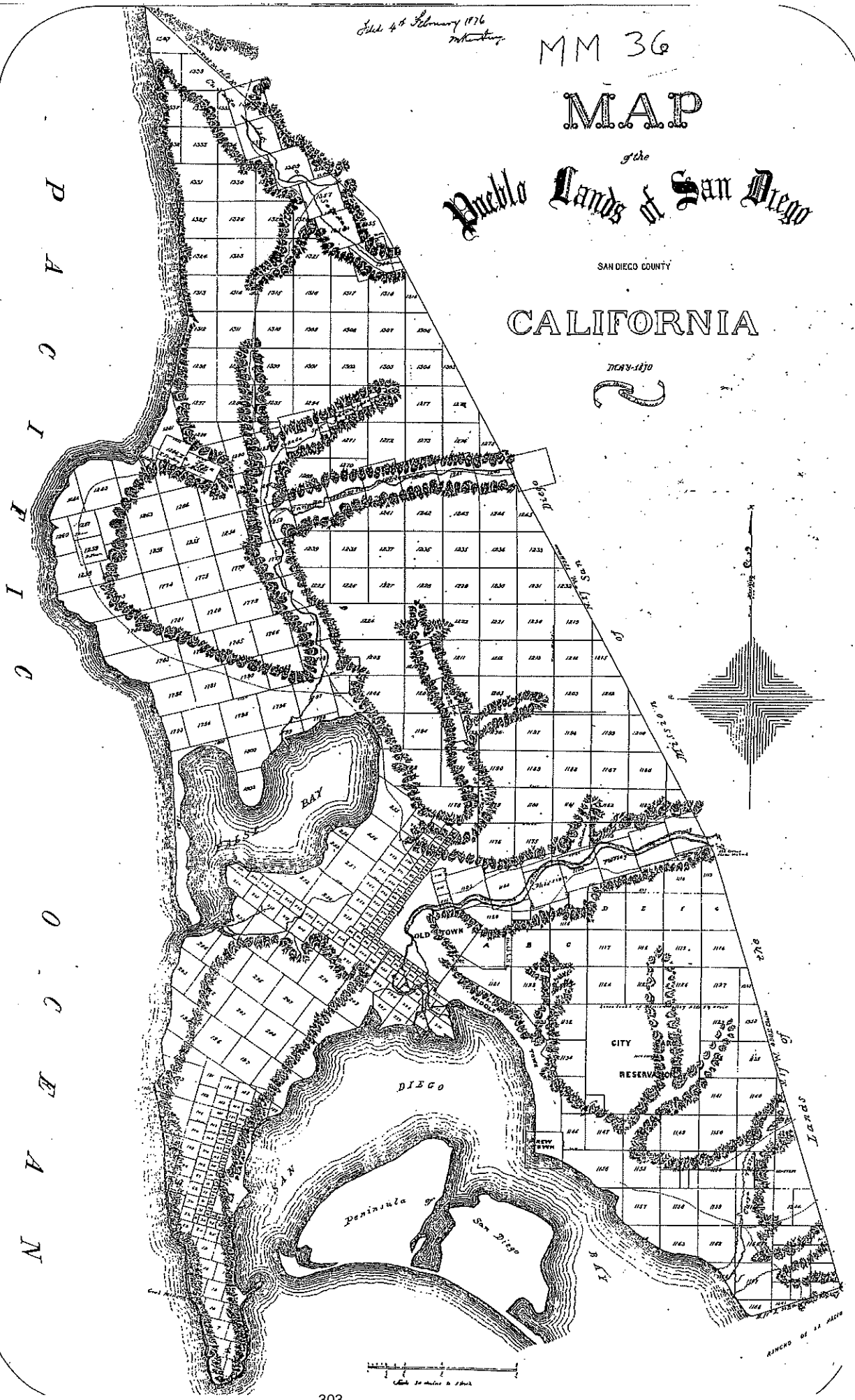
SAN DIEGO COUNTY

CALIFORNIA

1853-1870

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SANBORN FIRE INSURANCE MAPS
NOT AVAILABLE FOR THIS AREA OF SAN DIEGO

APPENDIX D

DPR FORMS

APPENDIX E
PREPARER'S QUALIFICATIONS

SCOTT A. MOOMJIAN
ATTORNEY AT LAW
5173 WARING ROAD, #145
SAN DIEGO, CALIFORNIA 92120
TELEPHONE (619) 230-1770
FACSIMILE (619) 785-3340
smoomjian68@yahoo.com

Education:

*Bachelor of Arts, History, 1990; University Of California, Davis (With Honors)

*Master of Arts, History; 1993; University Of San Diego

*Juris Doctor, 1997; California Western School Of Law, ABA/AALS

*Best Appellate Brief Award, Spring 1996

*American Jurisprudence Award, Environmental Law Seminar, Spring 1997

Professional Background:

Between 1990-1995, Mr. Moomjian worked as both an historian and archaeologist in the San Diego area. During this period, he worked as a historian at the University of San Diego, a social studies instructor at two private elementary and secondary schools, and as a historian and archaeologist for a cultural resource management firm. In 1995, while attending law school, Mr. Moomjian became affiliated with the firm of Marie Burke Lia, Attorney at Law. His law school internship was with SANDAG (The San Diego Association of Governments) where complex environmental, land use, energy, transportation, housing, and municipal issues were studied.

For the past twenty-five years, Mr. Moomjian has been extensively involved in the field of land use law, emphasizing historic properties and cultural resources. His experience includes effectuating compliance with Section 106 (36 CFR 800) of the National Historic Preservation Act; the preparation of historic preservation components of environmental impact reports, historical assessment technical reports, and Historic American Building Survey (HABS) documentation, required by the California Environmental Quality Act (CEQA); nominating historic properties to the local, state, and national registers; completing certification application procedures and securing the federal tax incentives with the State Office Of Historic Preservation and National Park Service; obtaining development permits of various types; and representation before municipal bodies such as the San Diego Historical Resources Board, San Diego County Historic Site Board, San

Diego Planning Commission, San Diego City Council, San Diego County Planning Commission and San Diego County Board of Supervisors.

Mr. Moomjian's extensive experience in the field of historic and cultural properties has also included the surveying of historic resources. In this capacity, he has undertaken all aspects of field work, planning, background research, organization and presentation of survey data, and the completion of historic resource inventory forms. Mr. Moomjian has worked as a principal consultant on historic resource surveys focusing on the downtown East Village (Ballpark), North Embarcadero, and Mid-City areas, as well as those in the Barrio Logan community. He has completed Historic Resource Inventory Updates of the East Village Area for the former Centre City Development Corporation (CCDC). In addition, he has worked in the completion of phase studies and the Programmatic Agreement (PA) for the San Diego County Airport Authority's Quieter Home Program (Loma Portal and Uptown Neighborhoods), as well as an Historic Resource Inventory Update for the City of Murrieta and a Historic Resource Inventory for the City of Chula Vista. Finally, he has completed hundreds of historic studies for properties located throughout the San Diego County region.

Mr. Moomjian has served as a historic property consultant to the San Diego Unified Port District, the San Diego County Regional Airport Authority, and the former Centre City Development Corporation (CCDC). He is recognized as a qualified historical consultant by the City and County of San Diego, as well as other local municipalities including Del Mar, Carlsbad, Oceanside, Escondido, Encinitas, Coronado, and La Mesa. His professional qualifications meet, and/or exceed, the Secretary of the Interior's *Standards and Guidelines for Archaeology and Historic Preservation* (1995) in the disciplines of Architectural History, Historical Preservation, and History. From 2007-2019, Mr. Moomjian served on the San Diego County Historic Site Board (HSB).