



HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

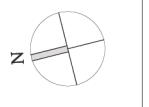
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S.R. CLARKE LANDSCAPE
110 COPPERWOOD WAY #P
OCEANSIDE, CA 92058
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- NOTE:**
- 1. ROOM TAGS: (1) ROOM NUMBER, (2) ROOM NAME, (3) ROOM TYPE, (4) ROOM AREA, (5) ROOM VOLUME, (6) ROOM PERIMETER, (7) ROOM HEIGHT, (8) ROOM FINISHES, (9) ROOM EQUIPMENT, (10) ROOM COMMENTS.
 - 2. WALLS: (1) WALL TYPE, (2) WALL THICKNESS, (3) WALL FINISHES, (4) WALL HEIGHT, (5) WALL PERIMETER, (6) WALL AREA, (7) WALL VOLUME, (8) WALL COMMENTS.
 - 3. FLOORS: (1) FLOOR TYPE, (2) FLOOR FINISHES, (3) FLOOR HEIGHT, (4) FLOOR PERIMETER, (5) FLOOR AREA, (6) FLOOR VOLUME, (7) FLOOR COMMENTS.
 - 4. ROOFS: (1) ROOF TYPE, (2) ROOF FINISHES, (3) ROOF HEIGHT, (4) ROOF PERIMETER, (5) ROOF AREA, (6) ROOF VOLUME, (7) ROOF COMMENTS.
 - 5. CEILING: (1) CEILING TYPE, (2) CEILING FINISHES, (3) CEILING HEIGHT, (4) CEILING PERIMETER, (5) CEILING AREA, (6) CEILING VOLUME, (7) CEILING COMMENTS.
 - 6. LIGHTING: (1) LIGHTING TYPE, (2) LIGHTING FINISHES, (3) LIGHTING HEIGHT, (4) LIGHTING PERIMETER, (5) LIGHTING AREA, (6) LIGHTING VOLUME, (7) LIGHTING COMMENTS.
 - 7. MECHANICAL: (1) MECHANICAL TYPE, (2) MECHANICAL FINISHES, (3) MECHANICAL HEIGHT, (4) MECHANICAL PERIMETER, (5) MECHANICAL AREA, (6) MECHANICAL VOLUME, (7) MECHANICAL COMMENTS.
 - 8. ELECTRICAL: (1) ELECTRICAL TYPE, (2) ELECTRICAL FINISHES, (3) ELECTRICAL HEIGHT, (4) ELECTRICAL PERIMETER, (5) ELECTRICAL AREA, (6) ELECTRICAL VOLUME, (7) ELECTRICAL COMMENTS.
 - 9. PLUMBING: (1) PLUMBING TYPE, (2) PLUMBING FINISHES, (3) PLUMBING HEIGHT, (4) PLUMBING PERIMETER, (5) PLUMBING AREA, (6) PLUMBING VOLUME, (7) PLUMBING COMMENTS.
 - 10. HVAC: (1) HVAC TYPE, (2) HVAC FINISHES, (3) HVAC HEIGHT, (4) HVAC PERIMETER, (5) HVAC AREA, (6) HVAC VOLUME, (7) HVAC COMMENTS.
 - 11. INSULATION: (1) INSULATION TYPE, (2) INSULATION FINISHES, (3) INSULATION HEIGHT, (4) INSULATION PERIMETER, (5) INSULATION AREA, (6) INSULATION VOLUME, (7) INSULATION COMMENTS.
 - 12. GLAZING: (1) GLAZING TYPE, (2) GLAZING FINISHES, (3) GLAZING HEIGHT, (4) GLAZING PERIMETER, (5) GLAZING AREA, (6) GLAZING VOLUME, (7) GLAZING COMMENTS.
 - 13. MIRRORS: (1) MIRROR TYPE, (2) MIRROR FINISHES, (3) MIRROR HEIGHT, (4) MIRROR PERIMETER, (5) MIRROR AREA, (6) MIRROR VOLUME, (7) MIRROR COMMENTS.
 - 14. PARTITIONS: (1) PARTITION TYPE, (2) PARTITION FINISHES, (3) PARTITION HEIGHT, (4) PARTITION PERIMETER, (5) PARTITION AREA, (6) PARTITION VOLUME, (7) PARTITION COMMENTS.
 - 15. STAIRS: (1) STAIR TYPE, (2) STAIR FINISHES, (3) STAIR HEIGHT, (4) STAIR PERIMETER, (5) STAIR AREA, (6) STAIR VOLUME, (7) STAIR COMMENTS.
 - 16. ELEVATORS: (1) ELEVATOR TYPE, (2) ELEVATOR FINISHES, (3) ELEVATOR HEIGHT, (4) ELEVATOR PERIMETER, (5) ELEVATOR AREA, (6) ELEVATOR VOLUME, (7) ELEVATOR COMMENTS.
 - 17. CORES: (1) CORE TYPE, (2) CORE FINISHES, (3) CORE HEIGHT, (4) CORE PERIMETER, (5) CORE AREA, (6) CORE VOLUME, (7) CORE COMMENTS.
 - 18. SHAFTS: (1) SHAFT TYPE, (2) SHAFT FINISHES, (3) SHAFT HEIGHT, (4) SHAFT PERIMETER, (5) SHAFT AREA, (6) SHAFT VOLUME, (7) SHAFT COMMENTS.
 - 19. MECH. ROOMS: (1) MECH. ROOM TYPE, (2) MECH. ROOM FINISHES, (3) MECH. ROOM HEIGHT, (4) MECH. ROOM PERIMETER, (5) MECH. ROOM AREA, (6) MECH. ROOM VOLUME, (7) MECH. ROOM COMMENTS.
 - 20. ELECTR. ROOMS: (1) ELECTR. ROOM TYPE, (2) ELECTR. ROOM FINISHES, (3) ELECTR. ROOM HEIGHT, (4) ELECTR. ROOM PERIMETER, (5) ELECTR. ROOM AREA, (6) ELECTR. ROOM VOLUME, (7) ELECTR. ROOM COMMENTS.
 - 21. PLUMBING ROOMS: (1) PLUMBING ROOM TYPE, (2) PLUMBING ROOM FINISHES, (3) PLUMBING ROOM HEIGHT, (4) PLUMBING ROOM PERIMETER, (5) PLUMBING ROOM AREA, (6) PLUMBING ROOM VOLUME, (7) PLUMBING ROOM COMMENTS.
 - 22. STORAGE ROOMS: (1) STORAGE ROOM TYPE, (2) STORAGE ROOM FINISHES, (3) STORAGE ROOM HEIGHT, (4) STORAGE ROOM PERIMETER, (5) STORAGE ROOM AREA, (6) STORAGE ROOM VOLUME, (7) STORAGE ROOM COMMENTS.
 - 23. OFFICE ROOMS: (1) OFFICE ROOM TYPE, (2) OFFICE ROOM FINISHES, (3) OFFICE ROOM HEIGHT, (4) OFFICE ROOM PERIMETER, (5) OFFICE ROOM AREA, (6) OFFICE ROOM VOLUME, (7) OFFICE ROOM COMMENTS.
 - 24. CONFERENCE ROOMS: (1) CONFERENCE ROOM TYPE, (2) CONFERENCE ROOM FINISHES, (3) CONFERENCE ROOM HEIGHT, (4) CONFERENCE ROOM PERIMETER, (5) CONFERENCE ROOM AREA, (6) CONFERENCE ROOM VOLUME, (7) CONFERENCE ROOM COMMENTS.
 - 25. BREAK ROOMS: (1) BREAK ROOM TYPE, (2) BREAK ROOM FINISHES, (3) BREAK ROOM HEIGHT, (4) BREAK ROOM PERIMETER, (5) BREAK ROOM AREA, (6) BREAK ROOM VOLUME, (7) BREAK ROOM COMMENTS.
 - 26. RESTROOMS: (1) RESTROOM TYPE, (2) RESTROOM FINISHES, (3) RESTROOM HEIGHT, (4) RESTROOM PERIMETER, (5) RESTROOM AREA, (6) RESTROOM VOLUME, (7) RESTROOM COMMENTS.
 - 27. SHOWERS: (1) SHOWER TYPE, (2) SHOWER FINISHES, (3) SHOWER HEIGHT, (4) SHOWER PERIMETER, (5) SHOWER AREA, (6) SHOWER VOLUME, (7) SHOWER COMMENTS.
 - 28. BATHS: (1) BATH TYPE, (2) BATH FINISHES, (3) BATH HEIGHT, (4) BATH PERIMETER, (5) BATH AREA, (6) BATH VOLUME, (7) BATH COMMENTS.
 - 29. KITCHENS: (1) KITCHEN TYPE, (2) KITCHEN FINISHES, (3) KITCHEN HEIGHT, (4) KITCHEN PERIMETER, (5) KITCHEN AREA, (6) KITCHEN VOLUME, (7) KITCHEN COMMENTS.
 - 30. DINING ROOMS: (1) DINING ROOM TYPE, (2) DINING ROOM FINISHES, (3) DINING ROOM HEIGHT, (4) DINING ROOM PERIMETER, (5) DINING ROOM AREA, (6) DINING ROOM VOLUME, (7) DINING ROOM COMMENTS.
 - 31. LIVING ROOMS: (1) LIVING ROOM TYPE, (2) LIVING ROOM FINISHES, (3) LIVING ROOM HEIGHT, (4) LIVING ROOM PERIMETER, (5) LIVING ROOM AREA, (6) LIVING ROOM VOLUME, (7) LIVING ROOM COMMENTS.
 - 32. BED ROOMS: (1) BED ROOM TYPE, (2) BED ROOM FINISHES, (3) BED ROOM HEIGHT, (4) BED ROOM PERIMETER, (5) BED ROOM AREA, (6) BED ROOM VOLUME, (7) BED ROOM COMMENTS.
 - 33. HALLS: (1) HALL TYPE, (2) HALL FINISHES, (3) HALL HEIGHT, (4) HALL PERIMETER, (5) HALL AREA, (6) HALL VOLUME, (7) HALL COMMENTS.
 - 34. CLOSET: (1) CLOSET TYPE, (2) CLOSET FINISHES, (3) CLOSET HEIGHT, (4) CLOSET PERIMETER, (5) CLOSET AREA, (6) CLOSET VOLUME, (7) CLOSET COMMENTS.
 - 35. PORCHES: (1) PORCH TYPE, (2) PORCH FINISHES, (3) PORCH HEIGHT, (4) PORCH PERIMETER, (5) PORCH AREA, (6) PORCH VOLUME, (7) PORCH COMMENTS.
 - 36. PATIOS: (1) PATIO TYPE, (2) PATIO FINISHES, (3) PATIO HEIGHT, (4) PATIO PERIMETER, (5) PATIO AREA, (6) PATIO VOLUME, (7) PATIO COMMENTS.
 - 37. DECKS: (1) DECK TYPE, (2) DECK FINISHES, (3) DECK HEIGHT, (4) DECK PERIMETER, (5) DECK AREA, (6) DECK VOLUME, (7) DECK COMMENTS.
 - 38. TERRACES: (1) TERRACE TYPE, (2) TERRACE FINISHES, (3) TERRACE HEIGHT, (4) TERRACE PERIMETER, (5) TERRACE AREA, (6) TERRACE VOLUME, (7) TERRACE COMMENTS.
 - 39. BALCONIES: (1) BALCONY TYPE, (2) BALCONY FINISHES, (3) BALCONY HEIGHT, (4) BALCONY PERIMETER, (5) BALCONY AREA, (6) BALCONY VOLUME, (7) BALCONY COMMENTS.
 - 40. STAIRS: (1) STAIR TYPE, (2) STAIR FINISHES, (3) STAIR HEIGHT, (4) STAIR PERIMETER, (5) STAIR AREA, (6) STAIR VOLUME, (7) STAIR COMMENTS.
 - 41. ELEVATORS: (1) ELEVATOR TYPE, (2) ELEVATOR FINISHES, (3) ELEVATOR HEIGHT, (4) ELEVATOR PERIMETER, (5) ELEVATOR AREA, (6) ELEVATOR VOLUME, (7) ELEVATOR COMMENTS.
 - 42. CORES: (1) CORE TYPE, (2) CORE FINISHES, (3) CORE HEIGHT, (4) CORE PERIMETER, (5) CORE AREA, (6) CORE VOLUME, (7) CORE COMMENTS.
 - 43. SHAFTS: (1) SHAFT TYPE, (2) SHAFT FINISHES, (3) SHAFT HEIGHT, (4) SHAFT PERIMETER, (5) SHAFT AREA, (6) SHAFT VOLUME, (7) SHAFT COMMENTS.
 - 44. MECH. ROOMS: (1) MECH. ROOM TYPE, (2) MECH. ROOM FINISHES, (3) MECH. ROOM HEIGHT, (4) MECH. ROOM PERIMETER, (5) MECH. ROOM AREA, (6) MECH. ROOM VOLUME, (7) MECH. ROOM COMMENTS.
 - 45. ELECTR. ROOMS: (1) ELECTR. ROOM TYPE, (2) ELECTR. ROOM FINISHES, (3) ELECTR. ROOM HEIGHT, (4) ELECTR. ROOM PERIMETER, (5) ELECTR. ROOM AREA, (6) ELECTR. ROOM VOLUME, (7) ELECTR. ROOM COMMENTS.
 - 46. PLUMBING ROOMS: (1) PLUMBING ROOM TYPE, (2) PLUMBING ROOM FINISHES, (3) PLUMBING ROOM HEIGHT, (4) PLUMBING ROOM PERIMETER, (5) PLUMBING ROOM AREA, (6) PLUMBING ROOM VOLUME, (7) PLUMBING ROOM COMMENTS.
 - 47. STORAGE ROOMS: (1) STORAGE ROOM TYPE, (2) STORAGE ROOM FINISHES, (3) STORAGE ROOM HEIGHT, (4) STORAGE ROOM PERIMETER, (5) STORAGE ROOM AREA, (6) STORAGE ROOM VOLUME, (7) STORAGE ROOM COMMENTS.
 - 48. OFFICE ROOMS: (1) OFFICE ROOM TYPE, (2) OFFICE ROOM FINISHES, (3) OFFICE ROOM HEIGHT, (4) OFFICE ROOM PERIMETER, (5) OFFICE ROOM AREA, (6) OFFICE ROOM VOLUME, (7) OFFICE ROOM COMMENTS.
 - 49. CONFERENCE ROOMS: (1) CONFERENCE ROOM TYPE, (2) CONFERENCE ROOM FINISHES, (3) CONFERENCE ROOM HEIGHT, (4) CONFERENCE ROOM PERIMETER, (5) CONFERENCE ROOM AREA, (6) CONFERENCE ROOM VOLUME, (7) CONFERENCE ROOM COMMENTS.
 - 50. BREAK ROOMS: (1) BREAK ROOM TYPE, (2) BREAK ROOM FINISHES, (3) BREAK ROOM HEIGHT, (4) BREAK ROOM PERIMETER, (5) BREAK ROOM AREA, (6) BREAK ROOM VOLUME, (7) BREAK ROOM COMMENTS.
 - 51. RESTROOMS: (1) RESTROOM TYPE, (2) RESTROOM FINISHES, (3) RESTROOM HEIGHT, (4) RESTROOM PERIMETER, (5) RESTROOM AREA, (6) RESTROOM VOLUME, (7) RESTROOM COMMENTS.
 - 52. SHOWERS: (1) SHOWER TYPE, (2) SHOWER FINISHES, (3) SHOWER HEIGHT, (4) SHOWER PERIMETER, (5) SHOWER AREA, (6) SHOWER VOLUME, (7) SHOWER COMMENTS.
 - 53. BATHS: (1) BATH TYPE, (2) BATH FINISHES, (3) BATH HEIGHT, (4) BATH PERIMETER, (5) BATH AREA, (6) BATH VOLUME, (7) BATH COMMENTS.
 - 54. KITCHENS: (1) KITCHEN TYPE, (2) KITCHEN FINISHES, (3) KITCHEN HEIGHT, (4) KITCHEN PERIMETER, (5) KITCHEN AREA, (6) KITCHEN VOLUME, (7) KITCHEN COMMENTS.
 - 55. DINING ROOMS: (1) DINING ROOM TYPE, (2) DINING ROOM FINISHES, (3) DINING ROOM HEIGHT, (4) DINING ROOM PERIMETER, (5) DINING ROOM AREA, (6) DINING ROOM VOLUME, (7) DINING ROOM COMMENTS.
 - 56. LIVING ROOMS: (1) LIVING ROOM TYPE, (2) LIVING ROOM FINISHES, (3) LIVING ROOM HEIGHT, (4) LIVING ROOM PERIMETER, (5) LIVING ROOM AREA, (6) LIVING ROOM VOLUME, (7) LIVING ROOM COMMENTS.
 - 57. BED ROOMS: (1) BED ROOM TYPE, (2) BED ROOM FINISHES, (3) BED ROOM HEIGHT, (4) BED ROOM PERIMETER, (5) BED ROOM AREA, (6) BED ROOM VOLUME, (7) BED ROOM COMMENTS.
 - 58. HALLS: (1) HALL TYPE, (2) HALL FINISHES, (3) HALL HEIGHT, (4) HALL PERIMETER, (5) HALL AREA, (6) HALL VOLUME, (7) HALL COMMENTS.
 - 59. CLOSET: (1) CLOSET TYPE, (2) CLOSET FINISHES, (3) CLOSET HEIGHT, (4) CLOSET PERIMETER, (5) CLOSET AREA, (6) CLOSET VOLUME, (7) CLOSET COMMENTS.
 - 60. PORCHES: (1) PORCH TYPE, (2) PORCH FINISHES, (3) PORCH HEIGHT, (4) PORCH PERIMETER, (5) PORCH AREA, (6) PORCH VOLUME, (7) PORCH COMMENTS.
 - 61. PATIOS: (1) PATIO TYPE, (2) PATIO FINISHES, (3) PATIO HEIGHT, (4) PATIO PERIMETER, (5) PATIO AREA, (6) PATIO VOLUME, (7) PATIO COMMENTS.
 - 62. DECKS: (1) DECK TYPE, (2) DECK FINISHES, (3) DECK HEIGHT, (4) DECK PERIMETER, (5) DECK AREA, (6) DECK VOLUME, (7) DECK COMMENTS.
 - 63. TERRACES: (1) TERRACE TYPE, (2) TERRACE FINISHES, (3) TERRACE HEIGHT, (4) TERRACE PERIMETER, (5) TERRACE AREA, (6) TERRACE VOLUME, (7) TERRACE COMMENTS.
 - 64. BALCONIES: (1) BALCONY TYPE, (2) BALCONY FINISHES, (3) BALCONY HEIGHT, (4) BALCONY PERIMETER, (5) BALCONY AREA, (6) BALCONY VOLUME, (7) BALCONY COMMENTS.



BRUSH MANAGEMENT COMPLIANCE
WALLS ON NORTH, EAST & WEST SIDE
OF BUILDING, EXCEPT ELEVATOR
AREAS WILL BE BUILT OF CONCRETE
WALLS OR 1 HOUR FIRE RATED WALLS.
ALL WINDOW OPENINGS OR GLASS
DOORS WILL BE OF DOUBLE GLASS OR
FIRE RATED TEMPERED OR LAMINATED GLASS.

BRUSH MANAGEMENT LEGEND
BRUSH MANAGEMENT ZONE 1
ALL PLANTS SELECTED FOR THIS AREA
CONFORM TO ZONE 1 REQUIREMENTS.
PER SDMG 140.412 SEE BRUSH MANAGEMENT
NOTES BELOW AND SEE S1 FOR
PLANTING LEGEND.
BRUSH MANAGEMENT ZONE 2
DUE TO SITE LIMITATIONS THIS PROJECT DOES
NOT HAVE A BRUSH
MANAGEMENT ZONE 2. SEE ALTERNATE
COMPLIANCE NOTE THIS SHEET.

REV	DATE	DESCRIPTION

SITE PLAN/BRUSH MANAGEMENT

PROJECT NUMBER:
DRAWING DATE: 05/28/24
SCALE: 3/8" = 1'-0"
SHEET:
A0.00



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2538 RUETTE NICOLE
LA JOLLA, CA 92037

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110 COPPERWOOD WAY #P
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- NOTE:**
- 1. ROOMS ARE TO BE FINISHED BY THE CONTRACTOR.
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REV	DATE	DESCRIPTION

SECOND FLOOR PLAN

PROJECT NUMBER: HERMANNY
DRAWING DATE: 01/2024 SCALE: 3/8" = 1'-0"
SHEET: A1.20

PROGRAM KEY

201	SUITE 1
202	SUITE 2
203	OFFICE
204	MAIN SUITE
205	MEET ROOM
206	DRESSING ROOM
207	LAUNDRY

BRUSH MANAGEMENT COMPLIANCE WALLS ON NORTH, EAST & WEST SIDE OF BUILDING & BITTING VENTILATION AREAS WILL BE BUILT OF CONCRETE WALLS OR 1 HOUR FIRE RATED WALL. ALL WINDOW OPENINGS ON GLASS DOORS WILL BE OF DOUBLE GLAZE DUAL FIRE RATED TEMPERED OR LAMINATED GLASS.



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2538 RUETTE NICOLE
LA JOLLA, CA 92037

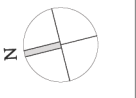
SEBASTIAN MARISCAL STUDIO
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cla@sebastianmariscal.com

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LANDSCAPE ARCHITECT
S.R. CLARKE LANDSCAPE
110 COPPERWOOD WAY #P
OCEANSIDE, CA 92058
T: 760.716.3100



- NOTE:**
- 1. REFER TO ALL OTHER DRAWINGS FOR MATERIALS AND FINISHES.
 - 2. REFER TO ALL OTHER DRAWINGS FOR DIMENSIONS AND NOTES.
 - 3. REFER TO ALL OTHER DRAWINGS FOR DIMENSIONS AND NOTES.
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BRUSH MANAGEMENT COMPLIANCE
WALLS ON NORTH, EAST & WEST SIDE
OF BUILDING ARE TO BE CONCRETE
AREAS WILL BE BUILT OF CONCRETE
WALLS OR 1 HOUR FIRE RATED WALLS.
ALL WINDOW OPENINGS OR GLASS
DOORS WILL BE OF DOUBLE GLAZED
FIRE RATED TEMPERED OR LAMINATED GLASS.

BRUSH MANAGEMENT LEGEND
BRUSH MANAGEMENT ZONE 1
ALL PLANTS SELECTED FOR THIS AREA
CONFORM TO ZONE 1 REQUIREMENTS
PER SDG&C 140.1412 SEE BRUSH MANAGEMENT
NOTES BELOW AND SEE S1 FOR
PLANT LIST(S)
BRUSH MANAGEMENT ZONE 2
DUE TO SITE LIMITATIONS THIS PROJECT DOES
NOT HAVE A BRUSH
MANAGEMENT ZONE 2. SEE ALTERNATE
COMPLIANCE NOTE THIS SHEET.

REV	DATE	DESCRIPTION

ROOF PLAN	
PROJECT NUMBER:	HERMANNY
DRAWING DATE:	05/28/24
SCALE:	3/8" = 1'-0"
SHEET:	A1.30

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

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NOTE:
1. REFER TO ALL OTHER SHEETS FOR DETAILS AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
3. FINISHES ARE AS NOTED OR AS SHOWN ON THE DRAWING.
4. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS APPROVED BY THE ARCHITECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING TREES AND LANDSCAPE.
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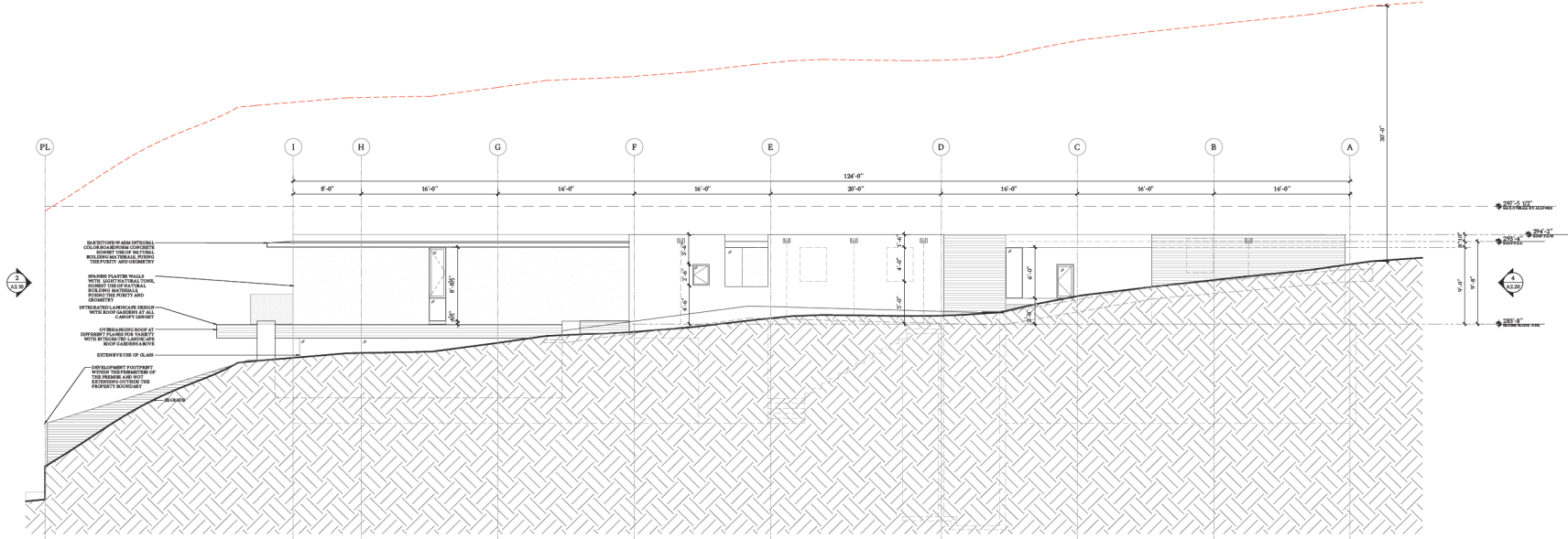
PROGRAM KEY
001 CONCRETE
002 FORMWORK
003 FLOORING
004 TRIM
005 INTERIOR
006 INTERIOR CARBON
007 STAIRS
008 ROOFING
009 EXTERIOR
010 EXTERIOR CARBON
011 STAIRS
012 ROOFING
013 EXTERIOR
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WWW.SMSTUDIO.COM

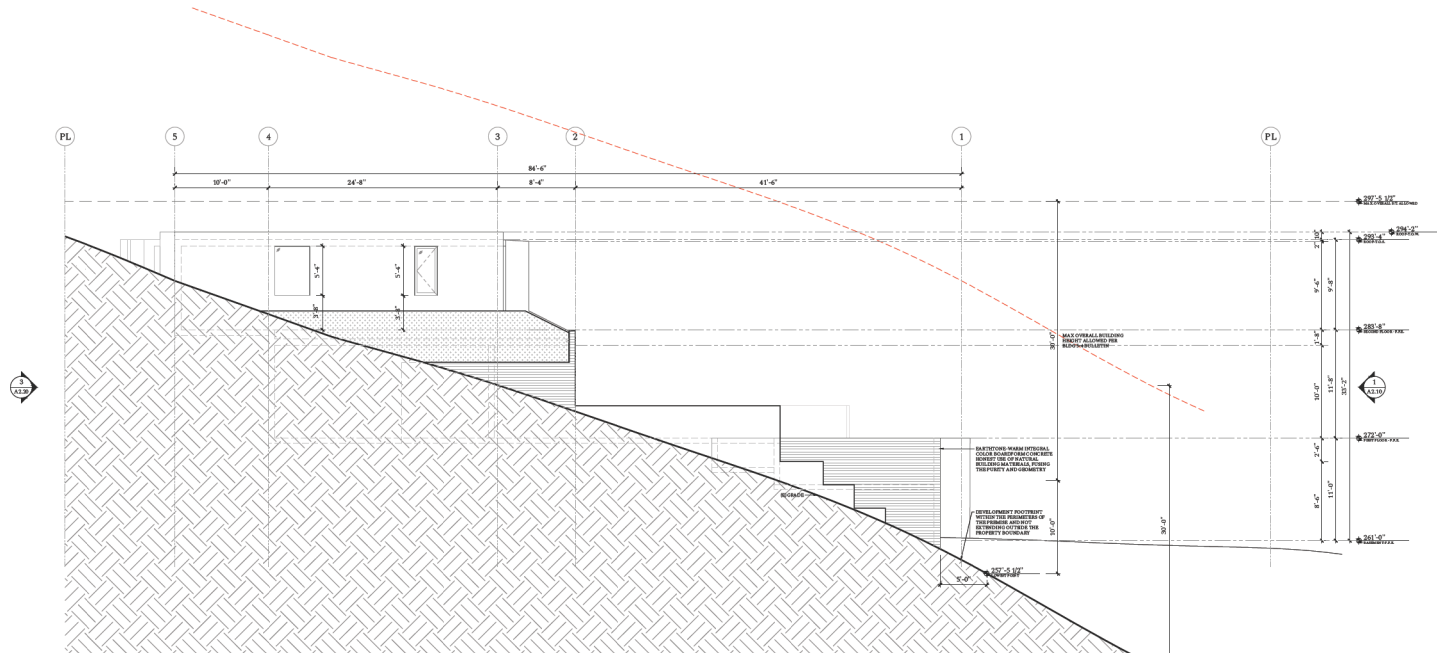


REV	DATE	DESCRIPTION

BUILDING ELEVATIONS	
PROJECT NUMBER: HERMANNY	
DRAWING DATE: 07/2024	SCALE: 3/8" = 1'-0"
SHEET: A2.20	



3 EAST BACK ELEVATION
SCALE: 3/8" = 1'-0"



4 NORTH SIDE ELEVATION
SCALE: 3/8" = 1'-0"

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

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OCEANSIDE, CA 92058
T: 760.763.1000

NOTE:

1. FOUNDATION	2. CONCRETE	3. FLOOR ASSEMBLY	4. CEILING ASSEMBLY
5. ROOF ASSEMBLY	6. EXTERIOR WALL	7. INTERIOR WALL	8. WINDOW/DOOR
9. PARTITION WALL	10. STAIR	11. FLOOR FINISH	12. CEILING FINISH
13. ROOF FINISH	14. EXTERIOR FINISH	15. INTERIOR FINISH	16. MECHANICAL
17. ELECTRICAL	18. PLUMBING	19. HVAC	20. LIGHTING

CONSTRUCTION NOTES:

- ALL WALLS SHALL BE CONCRETE OR CMU UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS SHALL BE CONCRETE OR CMU WITH FINISH AS NOTED.
- ALL INTERIOR WALLS SHALL BE CONCRETE OR CMU WITH FINISH AS NOTED.
- ALL FLOOR FINISHES SHALL BE AS NOTED.
- ALL CEILING FINISHES SHALL BE AS NOTED.
- ALL ROOF FINISHES SHALL BE AS NOTED.
- ALL EXTERIOR FINISHES SHALL BE AS NOTED.
- ALL INTERIOR FINISHES SHALL BE AS NOTED.
- ALL MECHANICAL, ELECTRICAL, AND HVAC SHALL BE AS NOTED.
- ALL LIGHTING SHALL BE AS NOTED.

PROVIDED BY:

001	002	003	004	005	006	007	008	009	010	011	012	013	014	015	016	017	018	019	020
021	022	023	024	025	026	027	028	029	030	031	032	033	034	035	036	037	038	039	040



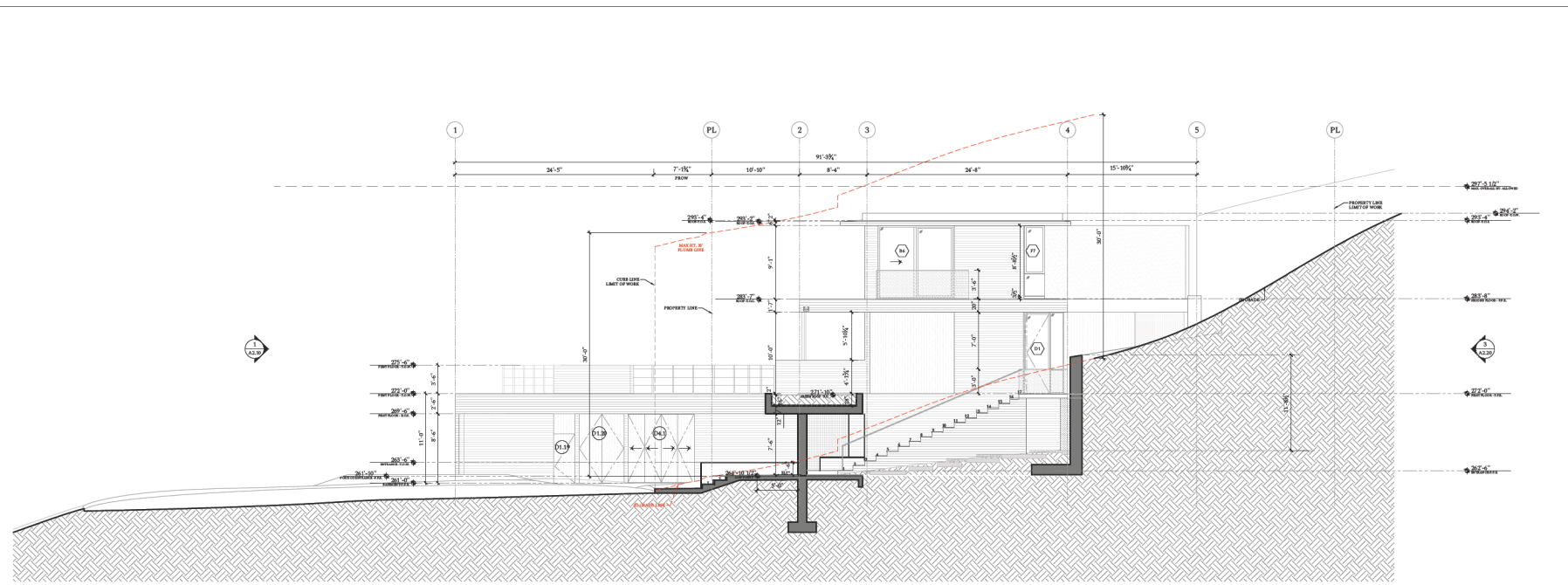
REV	DATE	DESCRIPTION

BUILDING SECTIONS 3 & 4

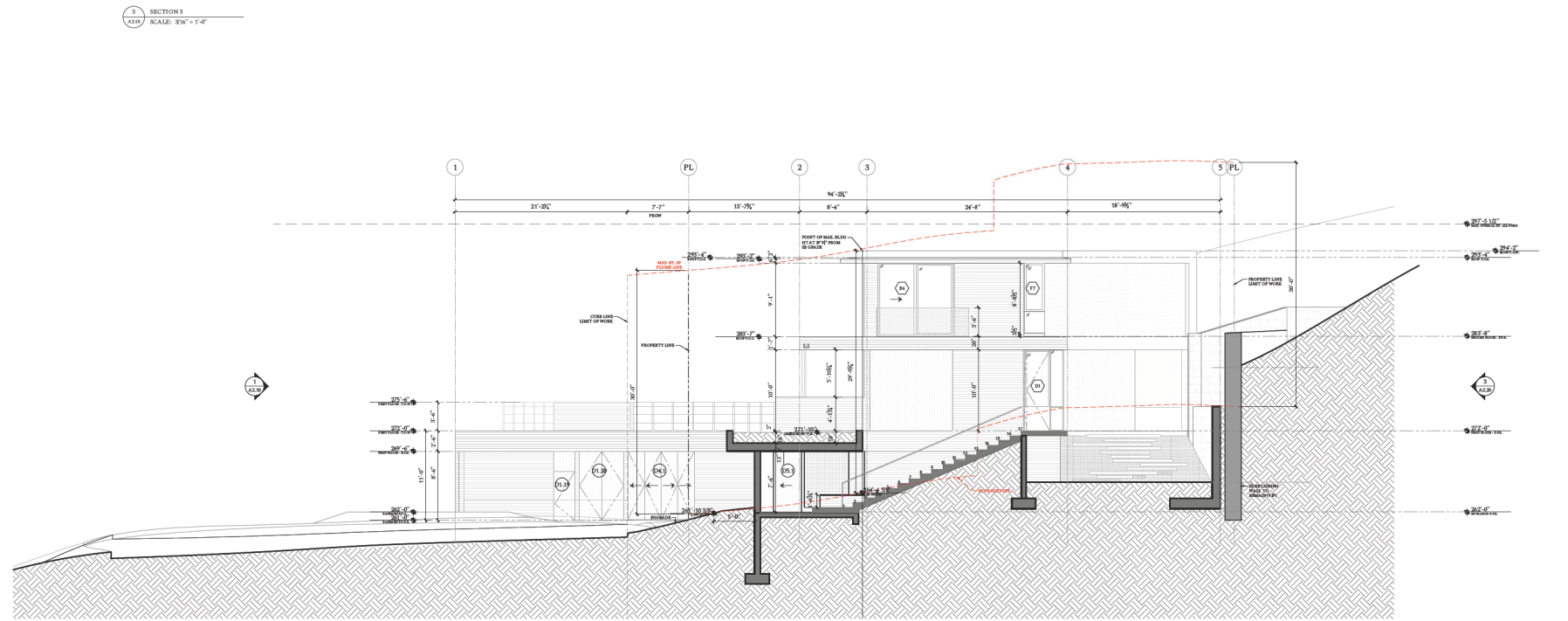
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/2024 SCALE: 3/8" = 1'-0"

SHEET:
A3.10



SECTION 3
SCALE: 3/8" = 1'-0"



SECTION 4
SCALE: 3/8" = 1'-0"

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

SEBASTIAN MARISCAL STUDIO
T: 617.710.9373
cla@sebastianmariscal.com

STRUCTURAL ENGINEER
MOBAYED CONSULTING GROUP
7940 SILVERTON AVE #201
SAN DIEGO, CA 92126
T: 858.586.7655

MEP ENGINEER
H+W ENGINEERING, INC.
1810 GILLESPIE WAY, SUITE 207
EL CAJON, CA 92020
T: 762.203.8699

CIVIL ENGINEER
K&S ENGINEERING
7801 MISSION CENTER CT #100
SAN DIEGO, CA 92108
T: 619.395.5540

LANDSCAPE ARCHITECT
S.R. CLARKE LANDSCAPE
110 COPPERWOOD WAY #P
OCEANSIDE, CA 92058
T: 760.716.3100

- NOTE:**
- 1. REFER TO ALL OTHER SHEETS FOR DETAILS AND SPECIFICATIONS.
 - 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 - 3. FINISHES ARE AS SHOWN ON THE FINISH SCHEDULE.
 - 4. MATERIALS ARE TO BE OF THE BEST QUALITY AVAILABLE.
 - 5. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 - 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - 8. ALL UTILITIES ARE TO BE PROTECTED AND DEEPER THAN SHOWN.
 - 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
 - 10. ALL FOUNDATION WORK IS TO BE ACCORDING TO THE STRUCTURAL ENGINEER'S REQUIREMENTS.
 - 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - 13. ALL UTILITIES ARE TO BE PROTECTED AND DEEPER THAN SHOWN.
 - 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
 - 15. ALL FOUNDATION WORK IS TO BE ACCORDING TO THE STRUCTURAL ENGINEER'S REQUIREMENTS.
 - 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 17. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - 18. ALL UTILITIES ARE TO BE PROTECTED AND DEEPER THAN SHOWN.
 - 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
 - 20. ALL FOUNDATION WORK IS TO BE ACCORDING TO THE STRUCTURAL ENGINEER'S REQUIREMENTS.

PROVISION KEY

001	CONCRETE	002	WOOD
003	GLASS	004	STEEL
005	BRICK	006	PLASTER
007	PAINT	008	CEILING
009	FLOORING	010	WALLS
011	ROOFING	012	MECHANICAL
013	ELECTRICAL	014	PLUMBING
015	MECHANICAL	016	ELECTRICAL
017	PLUMBING	018	MECHANICAL
019	ELECTRICAL	020	MECHANICAL



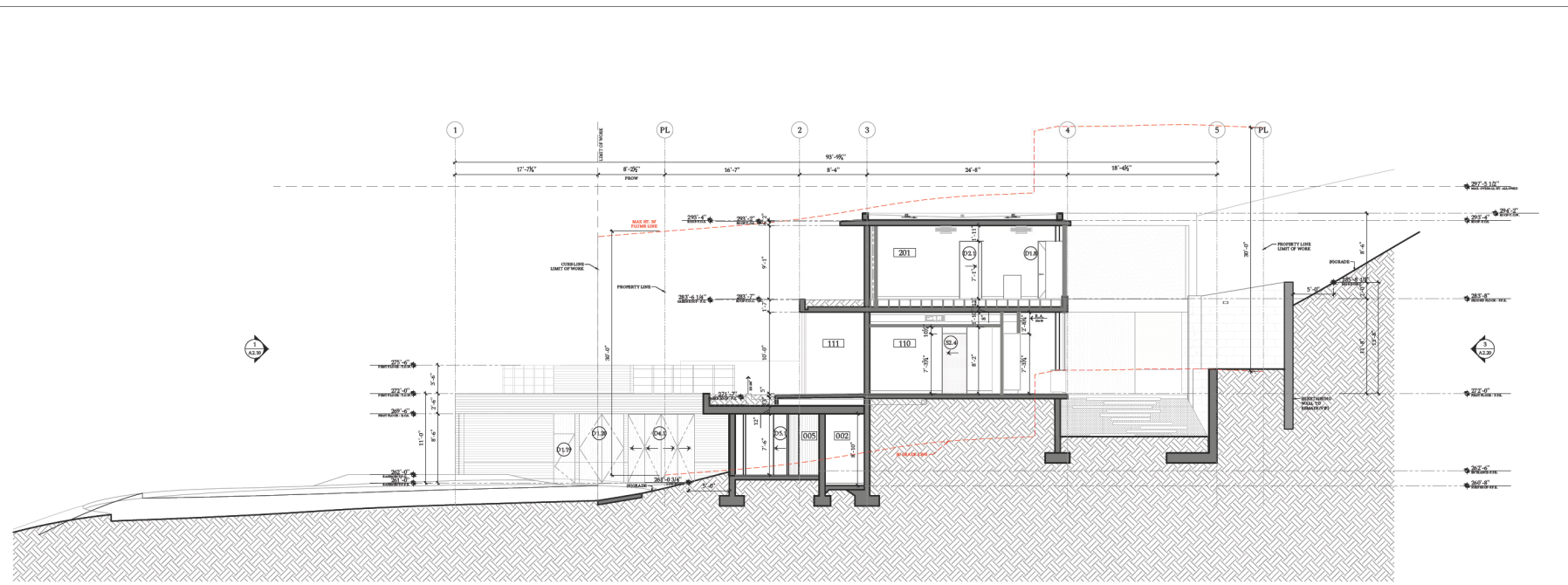
REVISION

REV	DATE	DESCRIPTION

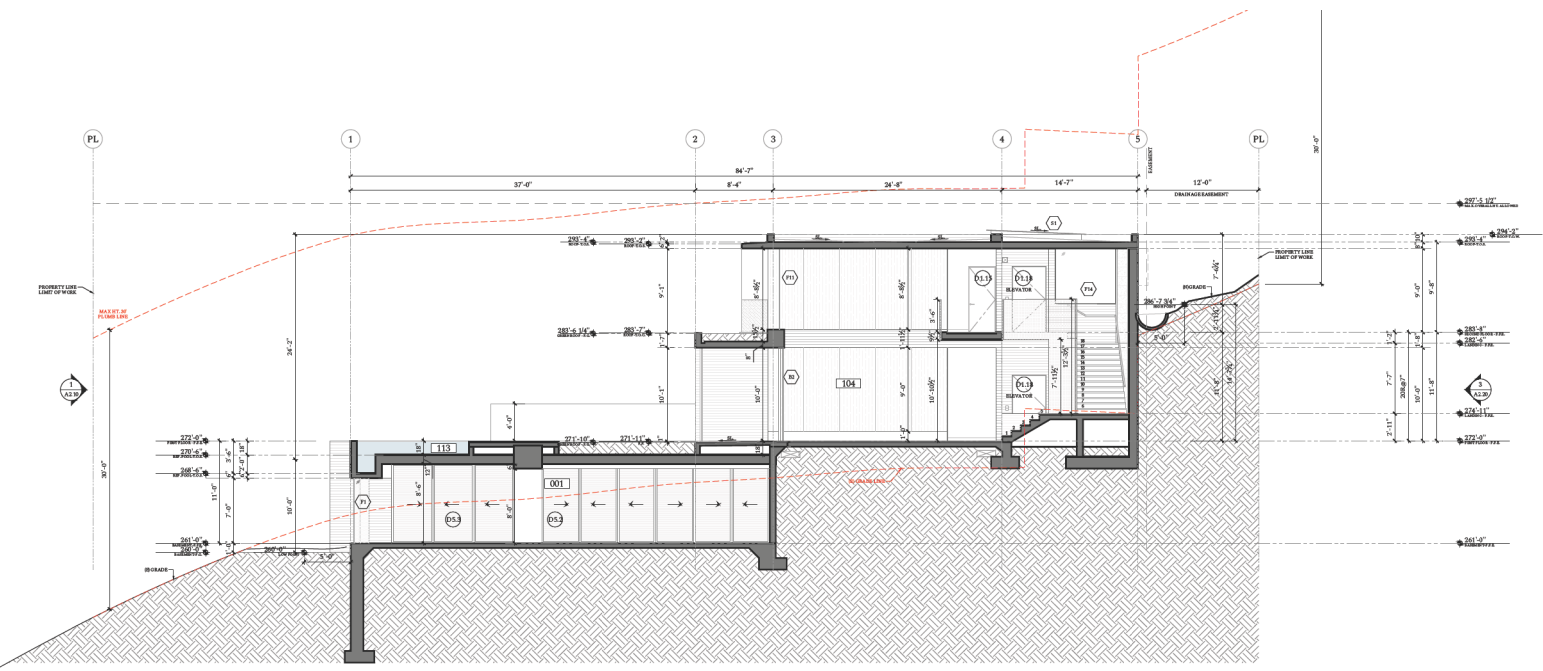
BUILDING SECTIONS 5 & 6

PROJECT NUMBER: HERMANNY
DRAWING DATE: 07/2024
SCALE: 3/8" = 1'-0"

SHEET: A3.20



SECTION 5
SCALE: 3/8" = 1'-0"



SECTION 6
SCALE: 3/8" = 1'-0"

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

SEBASTIAN MARISCAL STUDIO
T: 677.710.9373
cla@sebastianmariscal.com

STRUCTURAL ENGINEER
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7940 SILVERTON AVE #201
SAN DIEGO, CA 92126
T: 458.8678555

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H-W ENGINEERING, INC.
1810 GILLESPIE WAY, SUITE 207
EL CAJON, CA 92020
T: 702.203.8699

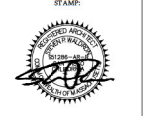
CIVIL ENGINEER
KRS ENGINEERING
7801 MISSION CENTER CT #100
SAN DIEGO, CA 92108
T: 619.395.5400

LANDSCAPE ARCHITECT
S.R. CLAKE LANDSCAPE
110 COPPERWOOD WAY #F
OCEANSIDE, CA 92058
T: 760.716.3100

- NOTE:**
- 1. REFER TO ALL APPLICABLE SPECIFICATIONS AND STANDARDS.
 - 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 - 3. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE CALIFORNIA BUILDING CODES (CBC).
 - 4. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA STRUCTURAL CODES (CSC).
 - 5. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODES (CMC).
 - 6. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODES (CEC).
 - 7. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODES (CPC).
 - 8. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA GAS CODES (CGC).
 - 9. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODES (CFC).
 - 10. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ENERGY CODES (CEC).
 - 11. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODES (CEC).
 - 12. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA LANDMARK PRESERVATION ACT (LMPA).
 - 13. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT (HPA).
 - 14. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-CORRUPTION ACT (ACA).
 - 15. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-SLAVORY ACT (ASA).
 - 16. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-TRAFFICKING ACT (ATA).
 - 17. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-SEXUAL HARASSMENT ACT (ASHA).
 - 18. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-SEXUAL ASSAULT ACT (ASAA).
 - 19. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-SEXUAL OFFENSE ACT (ASOA).
 - 20. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE CALIFORNIA ANTI-SEXUAL VIOLENCE ACT (ASVA).

PROGRAM KEY

01	CONCRETE	02	WOOD
03	GLASS	04	STEEL
05	MECHANICAL	06	ELECTRICAL
07	PLUMBING	08	LANDSCAPE
09	INTERIOR	10	EXTERIOR
11	FINISH	12	FOUNDATION
13	ROOFING	14	CLADDING
15	MECHANICAL	16	ELECTRICAL
17	PLUMBING	18	LANDSCAPE
19	INTERIOR	20	EXTERIOR
21	FINISH	22	FOUNDATION
23	ROOFING	24	CLADDING



REVISION

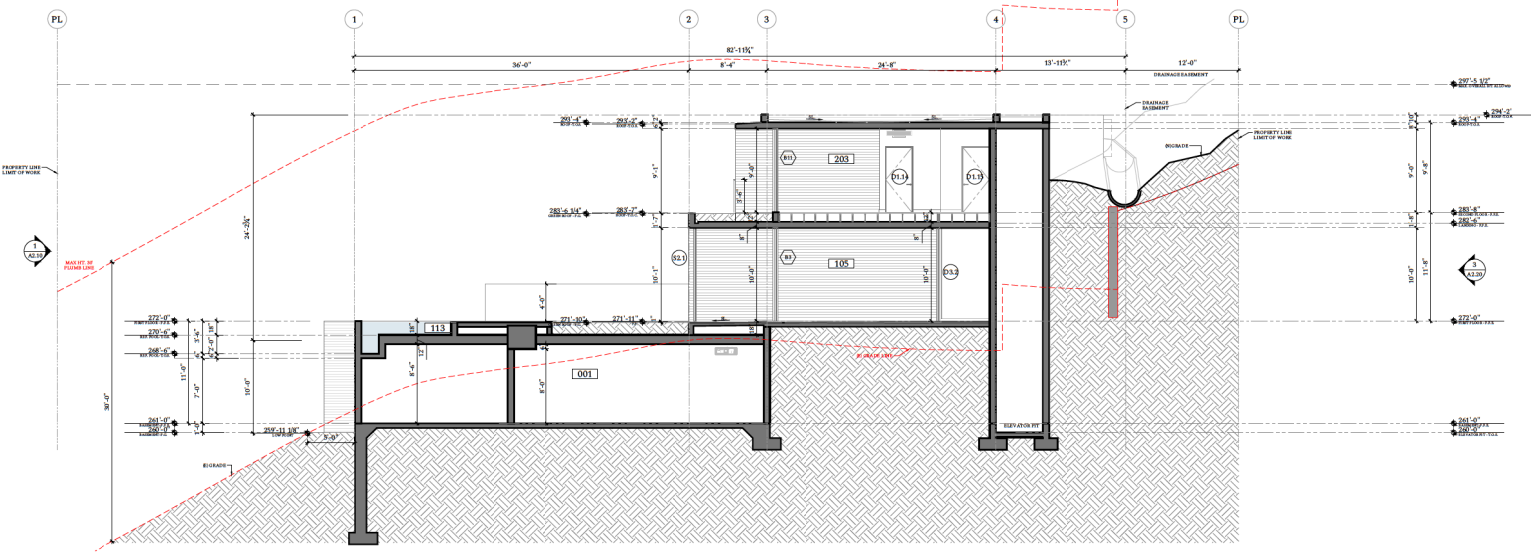
REV	DATE	DESCRIPTION

BUILDING SECTIONS 7 & 8

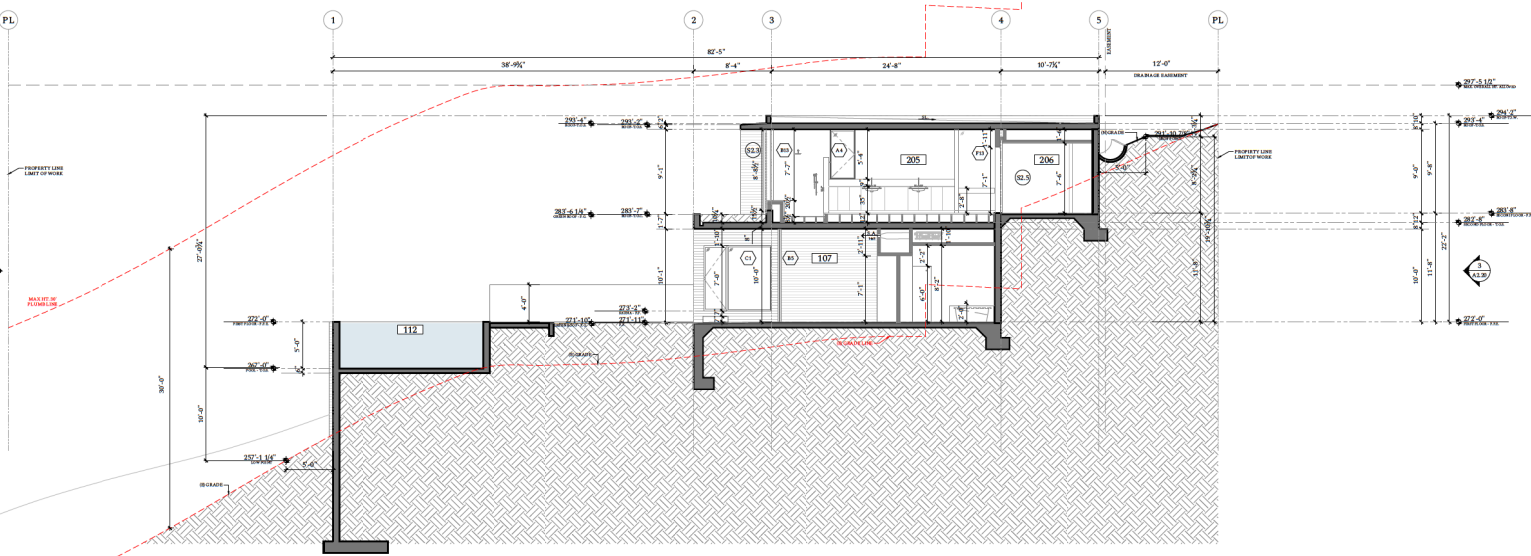
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/2024
SCALE: 3/8" = 1'-0"

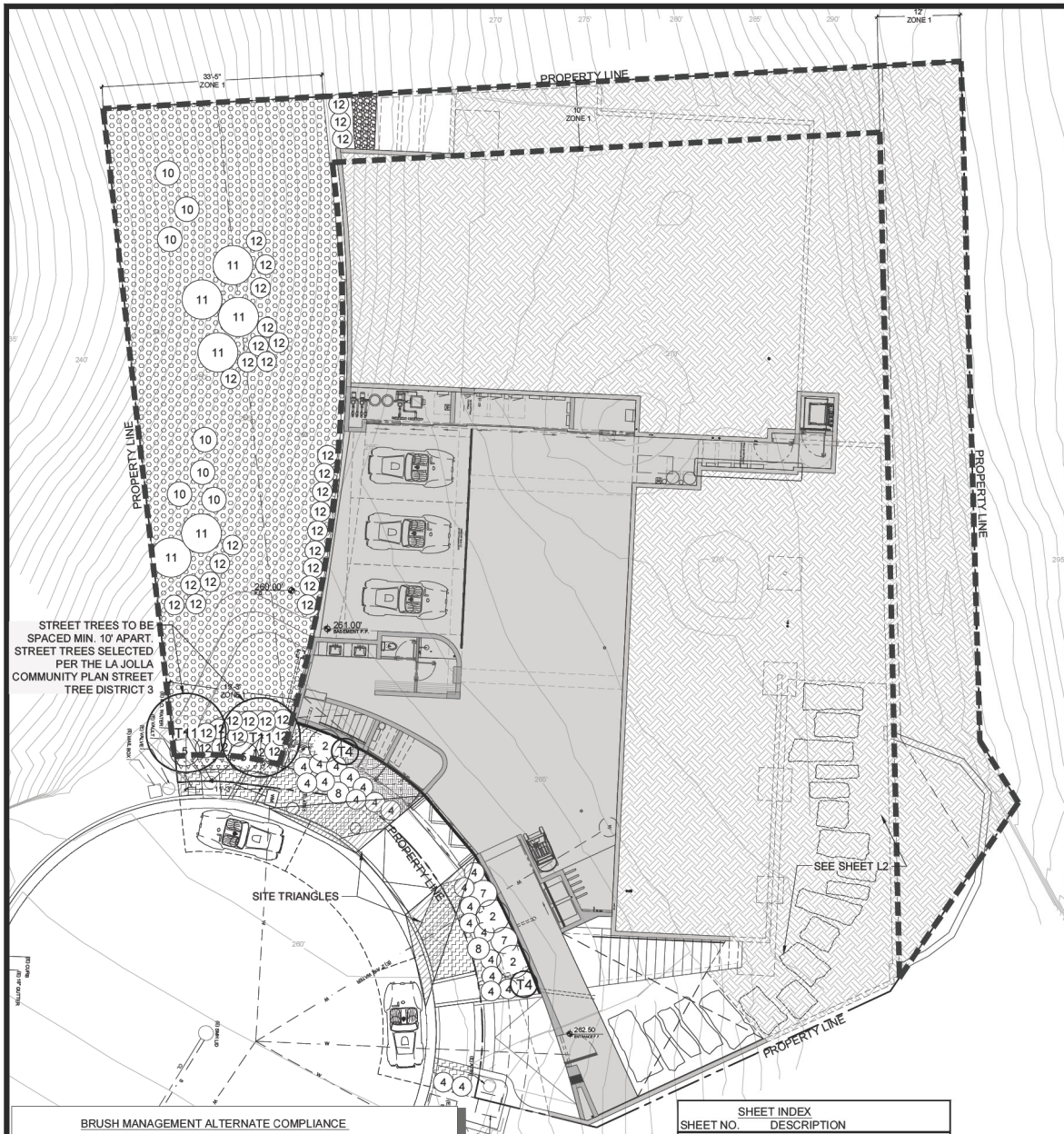
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7 SECTION 7
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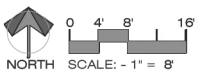


8 SECTION 8
SCALE: 3/8" = 1'-0"



STREET TREES TO BE SPACED MIN. 10' APART. STREET TREES SELECTED PER THE LA JOLLA COMMUNITY PLAN STREET TREE DISTRICT 3

BRUSH MANAGEMENT ALTERNATE COMPLIANCE
 WALLS ON NORTH, EAST & WEST SIDE OF BUILDING ABUTTING VEGETATION AREAS WILL BE BUILT OF CONCRETE WALLS OR 1 HOUR FIRE RATED WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE/DUAL FIRE RATED TEMPERED OR LAMINATED GLASS.



SHEET INDEX

SHEET NO.	DESCRIPTION
L-1	LANDSCAPE PLAN BASEMENT
L-2	LANDSCAPE PLAN MAIN FLOOR
L-3	LANDSCAPE PLAN SECOND FLOOR
L-4	BRUSH MANAGEMENT PLAN
L-5	LANDSCAPE AREA DIAGRAM
L-6	HYDROZONE MAP & WATER CALCS

SITE ADDRESS
 2538 RUETTE NICOLE
 LA JOLLA, CA 92037

ARCHITECT
 SEBASTIAN MARISCAL STUDIO
 1060 BROADWAY
 SOMERVILLE, MA
 617-710-9373

OWNER:
 PAULA HERMANNY
 5660 LA JOLLA HERMOSA AVE.
 LA JOLLA, CA 92037

LANDSCAPE ARCHITECT
 S.R. CLARKE LANDSCAPE ARC. & DEV.
 110 COPPERWOOD WAY SUITE #P
 OCEANSIDE, CA 92058
 760-716-3100

PLANT LEGEND

TREES

SYM	BOTANICAL NAME	COMMON NAME	SIZE	HT.	QTY	WU-COLS
T1	HOWEA FORSTERIANA	KENTIA PALM	8" BTH	40'	6	MOD.
T2	MUSA ENSETE	RED BANANA	25" BOX	19'	4	HIGH
T4	PHOENIX ROEBELENI	PYGMY DATE PALM	15 GAL	6-6.5'	11	MOD.
T5	RHAPIS EXCELSA	LADY PALM	30 GAL	6-10'	10	MOD.
T6	PODOCARPUS MACROPHYLLUS	YEW PINE (LOW BRANCHING)	36 BOX	15-20'	2	MOD.
T7	RHAPIS HUMILIS	SLENDER LADY PALM	30 GAL	10-20'	4	MOD.
T8	CYATHEA COOPERI	AUSTRALIAN TREE FERN	30 GAL	15-20'	3	MOD.
T9	CYRTOMIUM FALCATUM	JAPANESE HOLLY FERN	15 GAL	1-2'	7	MOD.
T10	SCHEFFLER ACTINOPHYLLA	UMBRELLA TREE	30 GAL	40-50'	3	MOD.
T11	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM	24" BOX	40'	2	MOD.
T12	SCHEFFLERA ARBORICOLA	DWARF HAWAIIAN SCHEFFLERA	24" BOX	5-6'	9	MOD.

SHRUBS

SYM	BOTANICAL NAME	COMMON NAME	SIZE	HT.	QTY	WU-COLS
1	HELICHRUM PETIOLARE	LICORICE PLANT	5 GAL	1-2'	27	MOD.
2	HEDYCHUM	GINGER LILY	15 GAL	5-6'	6	HIGH
3	SENECIO RADICANS	STRING OF BANANAS	5 GAL	1-2'	37	LOW
4	PHILODENDRON 'XANADU'	DWARF PHYLODENDRON	5 GAL	2-3'	73	MOD.
5	FURCRAEA MEDIUM	FALSE AGAVE	15 GAL	6'	5	LOW
6	CLIVIA MINIATA	KAFIR LILY	5 GAL	1-2'	32	MOD.
7	ALOCASIA MACRORHIZA	GIANT TARO	5 GAL	12-15'	12	HIGH
8	CORDYLINA 'RED STAR'	RED STAR CORDYLINA	15 GAL	12-15'	8	LOW
10	RHAMNUS CALIFORNICA 'LITTLE SUR	LITTLE SUR CALIFORNIA COFFEEBERRY	5 GAL	3-4'	23	LOW
11	CISTUS 'SUNSET'	MAGENTA ROCKROSE	1 GAL	2-3'	12	LOW
12	CONVOLVULUS CNEORUM	BUSH MORNING GLORY	5 GAL	1-2'	54	LOW

GROUNDCOVERS

SYM	BOTANICAL NAME	COMMON NAME	SIZE	HT.	SQ.FT.	WU-COLS	
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	42" O.C.	2-6'	523	MOD.
	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILITURF	1 GAL	18" O.C.	1-2'	1,200	MOD.
	SEASHORE PASPALUM - LOW WATER USE TURF S.O.D.		S.O.D.			1,523	MOD.
	SOLEIROLIA SOLEIROLII	BABY TEARS PLANT	1 GAL	18" O.C.	3'-6"	280	MOD.
	HEMEROCALLIS HRYBRID 'ORANGE'	ORANGE DAYLILY	1 GAL	20" O.C.	2'	185	MOD.
	MYOPORUM PARVIFOLIUM 'PINK'	PINK AUSTRALIAN RACER	1 GAL	48" O.C.	2-4'	4,465	LOW
	MYOPORUM PARVIFOLIUM 'PINK'						

SHRUBS

SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS
(H)	LONICERA HILDEBRANDIANA	BURMESE HONEY SUCKLE	15 GAL	6	MOD.

- LANDSCAPE CONCEPT NOTES:**
- LANDSCAPE STANDARD:**
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LANDSCAPE DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - MINIMUM TREE SEPARATION DISTANCE:**
 TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 - IRRIGATION:**
 AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. IRRIGATION SHALL BE DRIP AND BUBBLER AND LOW VOLUME MP ROTATOR.
 - TREE ROOT ZONE:**
 A MINIMUM ROOT ZONE OF 40 SF. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. POER SDMC 142.01403(d)(5).
 - TREE ROOT BARRIERS:**
 TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, OR STREET PAVEMENTS, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
 - LONG TERM MAINTENANCE:**
 ALL REQUIRED ONSITE LANDSCAPE AND BRUSH MANAGEMENT AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - OFFSITE BRUSH MANAGEMENT:** SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS. FOR FUEL LOAD MAINTENANCE ISSUES, CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSHWEED COMPLAINT LINE (619) 533-4444.
 - BRUSH MANAGEMENT:**
 BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB AND CHAPARRAL HABITATS DURING THE BREEDING SEASONS OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUB-AREA PLAN.
 - MULCH:**
 ALL PLANTING AREAS, EXCEPT THOSE RECEIVING DECORATIVE ROCK, SHALL RECEIVE MIN. 3" DEPTH OF DECORATIVE SHREDDED MULCH PER CITY OF SAN DIEGO STANDARDS.



PRELIMINARY LANDSCAPE PLAN BASEMENT

SHEET TITLE:

PROJECT:
 HERMANNY HOUSE
 2538 RUETTE NICOLE
 LA JOLLA, CA 92037

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: JA
 APPROVED: SC

JCR NO.
 DATE: 05/21/24
 SCALE: AS SHOWN

PLOT DATE: 05/21/24

SHEET **L1** OF **6**



BRUSH MANAGEMENT ALTERNATE COMPLIANCE

WALLS ON NORTH, EAST & WEST SIDE OF BUILDING ABUTTING VEGETATION AREAS WILL BE BUILT OF CONCRETE WALLS OR 1 HOUR FIRE RATED WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZED/UAL FIRE RATED TEMPERED OR LAMINATED GLASS.



PLANT LEGEND

TREES							
SYM	BOTANICAL NAME	COMMON NAME	SIZE	HT.	QTY	WU-	COLS
T1	HOWEA FORSTERIANA	KENTIA PALM	8' BTH	40'	6	MOD.	
T2	MUSA ENSETE	RED BANANA	25' BOX	19'	4	HIGH	
T4	PHOENIX ROEBELENI	PYGYM DATE PALM	15 GAL	6-6.5'	11	MOD.	
T5	RHAPIS EXCELSA	LADY PALM	30 GAL	6-10'	10	MOD.	
T6	PODOCARPUS MACROPHYLLUS	YEW PINE (LOW BRANCHING)	36 BOX	15-20'	2	MOD.	
T7	RHAPIS HUMILIS	SLENDER LADY PALM	30 GAL	10-20'	4	MOD.	
T8	CYATHEA COOPERI	AUSTRALIAN TREE FERN	30 GAL	15-20'	3	MOD.	
T9	CYRTOMIUM FALCATUM	JAPANESE HOLLY FERN	15 GAL	1-2'	7	MOD.	
T10	SCHEFFLER ACTINOPHYLLA	UMBRELLA TREE	30 GAL	40-50'	3	MOD.	
T11	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM	24" BOX	40'	2	MOD.	
T12	SCHEFFLERA ARBORICOLA	DWARF HAWAIIAN SCHEFFLERA	24" BOX	5-6'	9	MOD.	

SHRUBS							
SYM	BOTANICAL NAME	COMMON NAME	SIZE	HT.	QTY	WU-	COLS
1	HELICHRYSM PETIOLARE	LICORICE PLANT	5 GAL	1-2'	27	MOD.	
2	HEDYCHYIUM	GINGER LILY	15 GAL	5-6'	6	HIGH	
3	SENECIO RADICANS	STRING OF BANANAS	5 GAL	1-2'	37	LOW	
4	PHILODENDRON 'XANADU'	DWARF PHYLODENDRON	5 GAL	2-3'	73	MOD.	
5	FURCRAEA MADIOPICTA	FALSE AGAVE	15 GAL	6'	5	LOW	
6	CLIVIA MINIATA	KAFIR LILY	5 GAL	1-2'	32	MOD.	
7	ALOCASIA MACRORHIZA	GIANT TARO	5 GAL	12-15'	12	HIGH	
8	CORDYLINE 'RED STAR'	RED STAR CORDYLINE	15 GAL	12-15'	8	LOW	
10	RHAMNUS CALIFORNICA 'LITTLE SUR	LITTLE SUR CALIFORNIA COFFEEBERRY	5 GAL	3-4'	23	LOW	
11	CISTUS 'SUNSET'	MAGENTA ROCKROSE	1 GAL	2-3'	12	LOW	
12	CONVOLVULUS CNEORUM	BUSH MORNING GLORY	5 GAL	1-2'	54	LOW	

GROUNDCOVERS							
SYM	BOTANICAL NAME	COMMON NAME	SIZE	HT.	SQ.FT.	WU-	COLS
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	42" O.C.	2-6'	523	MOD.
	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILITURF	1 GAL	18" O.C.	1-2'	1,200	MOD.
	SEASHORE PASPALUM - LOW WATER USE TURF S.O.D.		S.O.D.			1,523	MOD.
	SOLEIROLIA SOLEIROLII	BABY TEARS PLANT	1 GAL	16" O.C.	3-6"	280	MOD.
	HEMEROCALLIS HRYBRID 'ORANGE'	ORANGE DAYLILY	1 GAL	20" O.C.	2'	185	MOD.
	MYOPORUM PARVIFOLIUM 'PINK'	PINK AUSTRALIAN RACER	1 GAL	48" O.C.	2-4'	4,465	LOW
	MYOPORUM PARVIFOLIUM 'PINK'						

SHRUBS							
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-	COLS	
LH	LONICERA HILDEBRANDIANA	BURMESE HONEY SUCKLE	15 GAL	6	MOD.		

- LANDSCAPE CONCEPT NOTES:**
- LANDSCAPE STANDARD:
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LANDSCAPE DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
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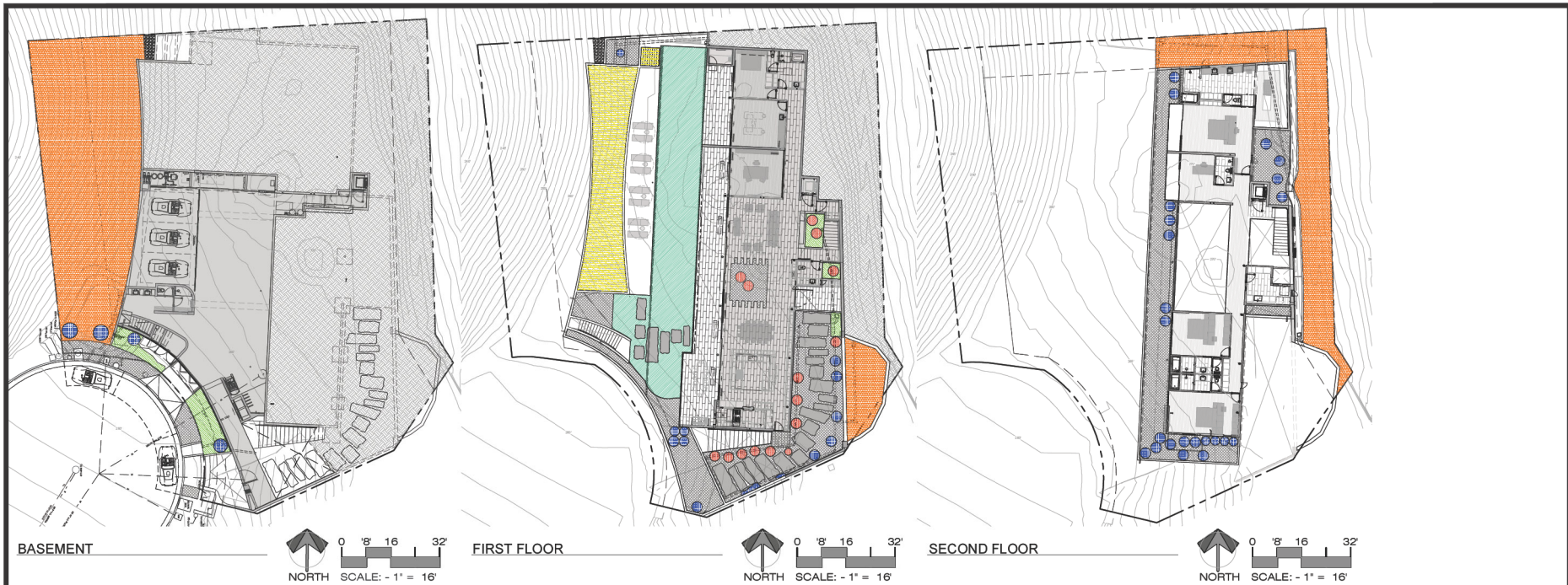
SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN
MAIN FLOOR

PROJECT:
HERMANN HOUSE
2538 RUETTE NICOLE
LA JOLLA, CA 92037

REVISIONS

 DRAWN JA
 APPROVED SC
 JOB NO.
 DATE 05-21-24
 SCALE AS SHOWN
 SHEET **L2** OF **6**

PLOT DATE: 05-21-24



SHEET TITLE:
HYDROZONE MAP & WATER CALCULATIONS

PROJECT:
**HERMANNY HOUSE
 2538 RUETTE NICOLE
 LA JOLLA, CA 92037**

REVISIONS

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 SHEET **L6** OF **6**

Plant Factor: A factor that when multiplied by reference evapotranspiration, estimates the amount of water used by plants. Plant water use calculations are based on the list in WUCOLS III (www.crrc.ucdavis.edu/wucols/wucols03.pdf). The average plant factor are as follows:

- Low water using plants is less than 0.2;
- Medium water using plants is 0.5; and
- High water using plants is 0.8.

Factors for non plant material are as follows:

- Water features. The surface area of man made water features (pools, ponds, spas and similar features) are calculated using the co-efficient for high water using plants.
- Artificial Turf. The surface area of artificial turf is calculated using the co-efficient for low water using plants with a distribution uniformity (DU) of 1.0.

Special Landscape Area: Areas used for active and passive recreation areas, areas solely dedicated to the production of fruits and vegetables, and areas irrigated with reclaimed water.

Irrigation Method and Efficiency			
Bubbler	0.80	Fixed Spray	0.55
Rotator	0.70	Rotator	0.70
Drip	0.90	Nickel Sprinkler	0.70
Drip Irrigation	0.90	MP Rotator	0.75
		Spray Nozzle	0.60

Plant Water Use	Plant Factor	Also Includes
Low	<0.1-0.2	Artificial Turf
Medium	0.3-0.7	
High	0.8 and greater	Water Features
Special Landscape Area	1.0	

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in S.F. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	1	1	0.2	4,733	MProtator	0.75	40.97
1	2	2	0.6	2,444	Drip	0.9	20.85
1	3	3	0.6	307	Drip	0.9	2.27
1	4	4	0.5	1,725	MProtator	0.75	14.79
1	5	5	0.5	1,130	Bubbler	0.85	9.80
1	6	6	0.8	400	Bubbler	0.85	3.60
1	7	7	0.8	625	Pool	0.75	5.93
Total							100%

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget.

Controller No.	[(ETw)(0.62)] [(PF x HA x IE) + SLA]	Result in Gallons per Year
1	(0.47)(406.667)	32,083.45
1	(0.6)(2,220.9)	34,814.71
1	(0.6)(2,042.9)	6,778.27
1	(0.4)(1,052.507)	28,233.00
1	(0.4)(1,050.8)	18,747.20
1	(0.4)(1,050.8)	10,042.88
1	(0.4)(740.75)	26,081.07
Total ETWU gallons per year		154,486.54

SYM	ZONE/TYPE IRR.	HYDROZONE	SQ.FT.
	ZONE ONE / SLOPE SHRUBS, MPROTATORS	LOW	4,733
	ZONE TWO / SHRUB, DRIP	MOD.	2,444
	ZONE THREE / SHRUB, DRIP	HIGH	300
	ZONE FOUR / TURF, MPROTATORS	MOD.	1,725
	ZONE FIVE / TREES, BUBBLERS	MOD	1,120
	ZONE SIX / TREES, BUBBLERS	HIGH	420
	ZONE SEVEN / POOL & SPA	HIGH	925
	TOTAL		11,667

NOTE: WATER SOURCE SHALL BE POTABLE WATER
 I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CARLSBAD'S LANDSCAPE MANUAL AND WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

Signature: *[Handwritten Signature]* 05-21-24
 SIGNATURE DATE

2. DETERMINE THE WATER BUDGET

Water Budget Calculation

The water budget is to be calculated using the following formula.

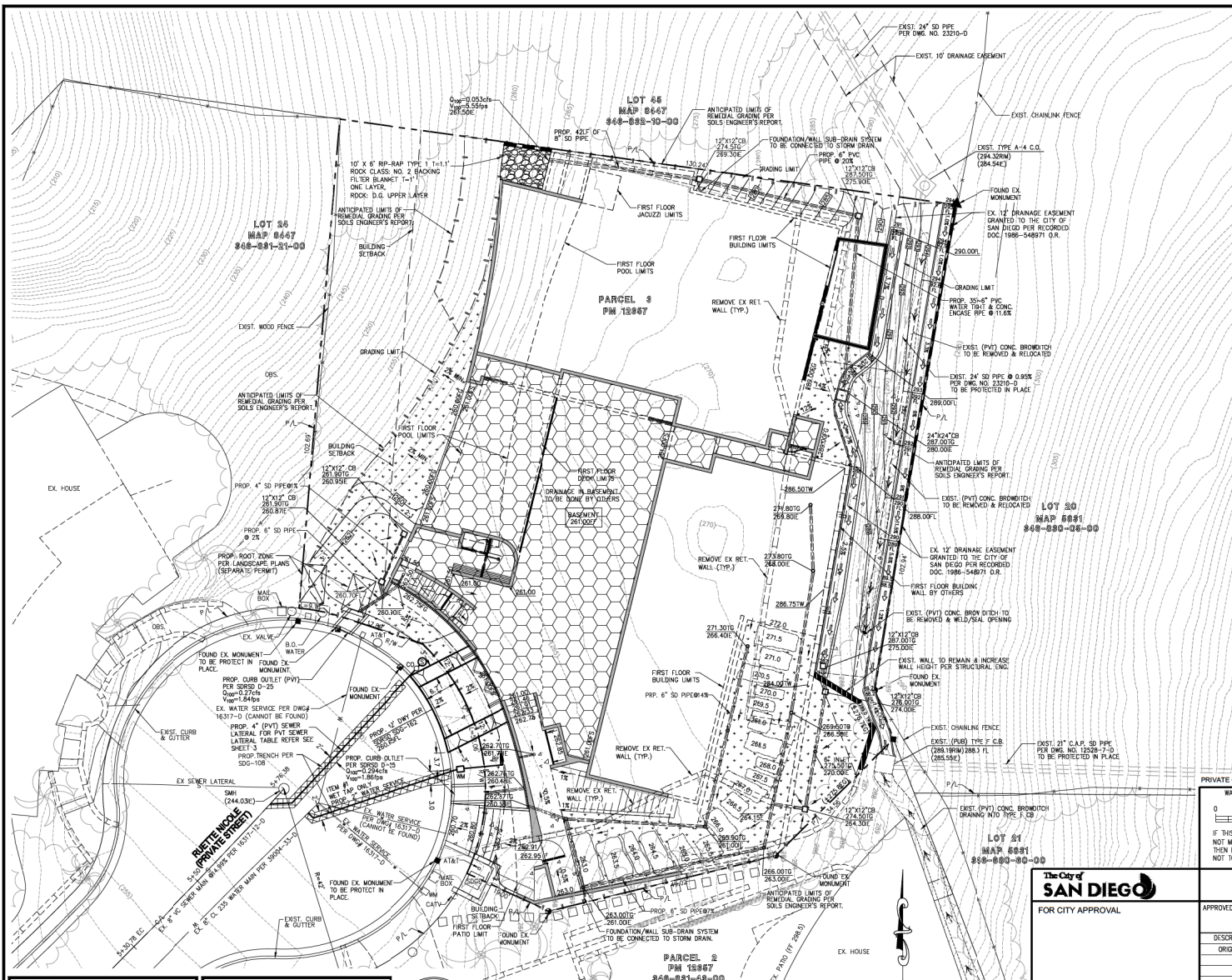
Water Budget = (ETw)(0.62) [(0.7)(LA) + (0.3)(SLA)]

Where:

- ETw = Evapotranspiration (inches per year)(see Table 6 or ETw Map)
- 0.62 = Conversion factor (to gallons)
- 0.7 = Evapotranspiration Adjustment Factor
- LA = Landscape Area (square feet)
- 0.3 = Additional Evapotranspiration Adjustment Factor for Special Landscape Areas
- SLA = Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETw for the calculation may be based on the precise location of the project using the ETw Map or based on the ETw for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

$(41.0)(0.62) [(0.7)(11,667)] + (0.3)(0.0)] = 297,802.6 \text{ Gal./Yr.}$



ITEM	DWG	SYMBOL
PROPOSED TRENCH RESURFACING	SDRS D-25 & SP-02	[Symbol]
PROPOSED CURBKUTLET	SDRS D-25	[Symbol]
6" OR 8" PVC STORM DRAIN PIPE	SDR-35	[Symbol]
6" STORM DRAIN CLEANOUT	-	[Symbol]
12" X 12" CATCH BASIN	NDS OR EQUAL	[Symbol]
PRP. CONC. BROW DITCH	SDRS D-75 TYPE B	[Symbol]
PROPOSED TRENCH DRAIN	NDS OR EQUAL	[Symbol]
X" SEWER LATERAL	SDRS SS-01 & SC-01	[Symbol]
X" WATER SERVICE, WATER METER & BACKFLOW ASSEMBLY	SDRS WR-01, WS-01, WS-03	[Symbol]
RIP-RAP	SDRS D-40	[Symbol]
RETAINING WALL	SEPARATE PERMIT	[Symbol]
12" DRIVEWAY	SDRS G-14D	[Symbol]

NOTE

- AN EMRA SHALL BE PROVIDED FOR ALL PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY.
- PROJECT IS LOCATED IN THE ASBS WATERSHED
- MAINTAIN A 12" MINIMUM VERTICAL SEPARATION BETWEEN WATER SERVICES & SEWER LATERAL CROSSINGS OR WITH ANY OTHER UTILITY SERVICES.
- SUBORANAGE (BY OTHERS) TO BE CONNECTED TO STORM DRAIN SYSTEM.



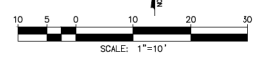
<p>HERMANNY HOUSE LOT 25 MONTORO BASEMENT AND STREET ELEVATION</p>	
<p>DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 4 SHEETS</p>	
APPROVED:	DATE:
DESCRIPTION	APPROVED
ORIGINAL	K&S
AS BUILT	
CONTRACTOR	DATE STARTED
INSPECTOR	DATE COMPLETED
PRJ NO. 1884-6253	NAD83 COORDINATES
254-1691	"LAMBERT" COORDINATES
DRAWING NO.	C1

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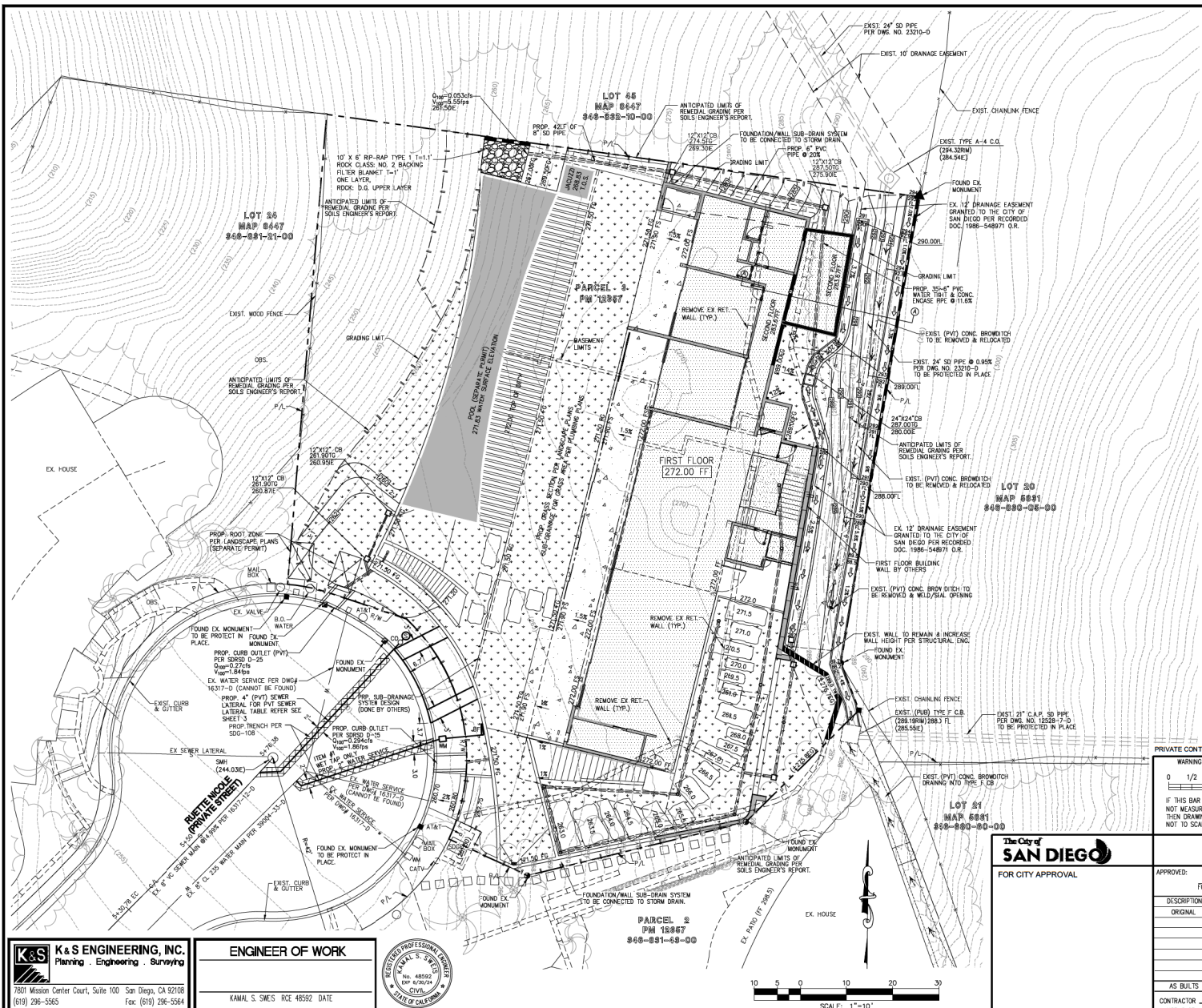
ENGINEER OF WORK

KAMAL S. SMES RCE 48592 DATE



The City of **SAN DIEGO**
FOR CITY APPROVAL

DATE: _____
APPROVED: _____



PROJECT DISTURBED AREA

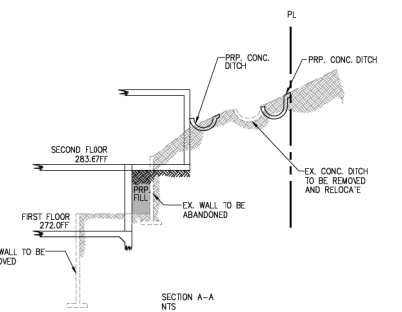
TOTAL LOT AREA	16,671.44 SF
TOTAL DISTURBED AREA	14,440 SF
EXISTING CONDITION IMPERVIOUS AREA	0 AC
EXISTING CONDITION PERVIOUS AREA	16,670.44 SF
PROPOSED CONDITION IMPERVIOUS AREA (BUILDING AND CONCRETE SURFACE)	4,785 SF
PROPOSED CONDITION PERVIOUS AREA (PERMEABLE PAVERS & GRASS SURFACE)	11,876.44 SF
MAX CUT DEPTH UNDER BUILDING FOOTPRINT	8 FT
MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT	9 FT
MAX FILL DEPTH UNDER BUILDING FOOTPRINT	7 FT
MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT	11.5 FT

EARTHWORK QUANTITIES

FILL AREA	460 CY
CUT AREA	1,220 CY
EXPORT	760 CY

THE PROJECT PROPOSED TO EXPORT 760 CY OF MATERIAL FROM THIS SITE INCLUDING THE BASEMENT, FOOTINGS, BUILDING SLABS, HARDSCAPE, ETC. THE QUANTITIES SHOWN HERE ARE FOR CITY BONDS ONLY. CONTRACTOR SHALL PERFORM THEIR EARTHWORK. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREEN BOOK AND SUPPLEMENTAL IMPROVEMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

NOTE
SUBDRAINAGE (BY OTHERS) TO BE CONNECTED TO STORM DRAIN SYSTEM.



PRIVATE CONTRACT

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

HERMANNY HOUSE
LOT 25 MONTORO
FIRST FLOOR ELEVATION PLAN

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ENGINEER OF WORK
KAMAL S. SMES RCE 48592 DATE



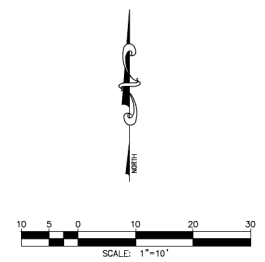
The City of San Diego
FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT		PMT NO. _____	
SHEET 2 OF 4 SHEETS		PRJ NO. _____	
APPROVED:	FOR CITY ENGINEER	DATE _____	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	K&S		
		1884-6253	NAD83 COORDINATES
		254-1691	LAMBERT COORDINATES
AS BUILTS		DRAWING NO.	
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	

C2



B.M.P.	CALTRANS CODE	SYMBOL
HYDRAULIC STABILIZATION (HYDROSEEDING OR BONDED OR STABILIZED FIBER MATRIX)	SS-4, SS-3	
ENERGY DISSIPATION (RP-RAP)	SS-10	
SILT FENCE	SC-1	
FIBER ROLLS (STRAW WATTLE)	SC-5	
GRAVEL BAGS	SC-6, SC-8	
STORM DRAIN INLET PROTECTION	SC-10	
STREET SWEEPING AND VACUUMING	SC-7	
MATERIAL STORAGE	WM-1	
SPILL PREVENTION CONTROL	WM-4	
CONCRETE WASTE MANAGEMENT	WM-8	
SOLID WASTE MANAGEMENT	WM-5	
SANITARY WASTE MANAGEMENT	WM-9	
SURFACE FLOW		



PRIVATE CONTRACT

WARNING

0 1/2 1

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HERMANNY HOUSE
LOT 25 MONTORO
EROSION CONTROL PLAN

FOR CITY APPROVAL	DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 4 SHEETS		PMT NO. _____
	APPROVED:	DATE:	PRJ NO. _____
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	K&S		
			1884-6253 NAD83 COORDINATES
			254-1691 LAMBERT COORDINATES
AS BUILTS			DRAWING NO. _____
CONTRACTOR		DATE STARTED	-D
INSPECTOR		DATE COMPLETED	C3

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ENGINEER OF WORK
KAMAL S. SMES' RCE 48592 DATE _____



PARCEL 2
PM 18967
948-831-69-00



FOR CITY APPROVAL

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP(S) AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP(S).

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS, INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMP(S) SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER RELATED SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP(S) THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL KITCHENS AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP(S) WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP(S) TO WORKING ORDER YEAR ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL, FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.

15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP(S) RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP(S) AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP(S) SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP(S) AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TO-10R CALTRANS FACT SHEET TO-10 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BYPASSING THE ENTRANCE.

(G) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE, CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL."

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS

FORM I-4A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP(S). REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP(S) SHOWN IN THIS CHECKLIST.
NOTE: ALL SELECTED BMP(S) MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?
4.1.1 PREVENTION OF ILLEGAL DISCHARGES INTO THE RSE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.2 STORM DRAIN STOPPING OR STORAGE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.6 BMP(S) BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
ON-SITE STORM DRAIN INLETS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
NEEDS FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
LANDSCAPE/OUTDOOR PESTICIDE USE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
FOOD SERVICES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
REFUSE AREAS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
FUEL DISPENSING AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
LOADING DOCKS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
TIRE SPRINKLER TEST WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6A LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6B ANIMAL FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6C PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6D AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

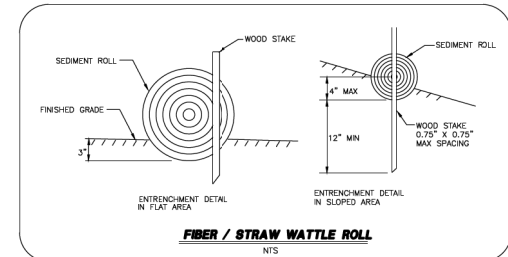
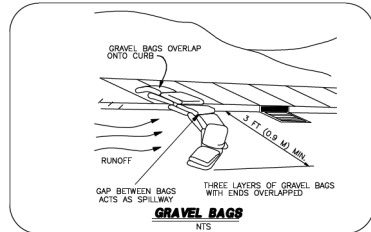
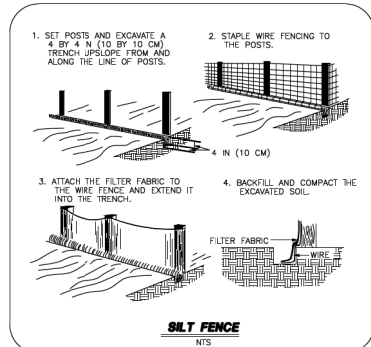
SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS

FORM I-5A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP(S). REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP(S) SHOWN IN THIS CHECKLIST.
NOTE: ALL SELECTED BMP(S) MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?
4.1.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.4 MINIMIZE SOIL COMPACTION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.5 IMPERVIOUS AREA DISPERSION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.6 RUNOFF COLLECTION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.1.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:



PRIVATE CONTRACT

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

HERMANNY HOUSE
LOT 25 MONTORO
EROSION CONTROL NOTES AND DETAILS

The City of **SAN DIEGO**
FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT
SHEET 4 OF 4 SHEETS

PMT NO. _____

APPROVED:

FOR CITY ENGINEER _____ DATE _____

PRJ NO. _____

DESCRIPTION BY APPROVED DATE DATE

ORIGINAL K&S _____

1884-8253

NAD83 COORDINATES

254-1691

LAMBERT COORDINATES

AS BUILTS _____

CONTRACTOR _____ DATE STARTED _____

INSPECTOR _____ DATE COMPLETED _____

DRAWING NO. _____

-D

C4

K&S ENGINEERING, INC.
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7801 Mission Center Court, Suite 100 San Diego, CA 92108
(619) 296-5565 Fax: (619) 296-5564

ENGINEER OF WORK

KAMAL S. SMES RCE 48592 DATE

