



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: February 20, 2025, REPORT NO. PC-25-002  
HEARING DATE: February 27, 2025  
SUBJECT: T-MOBILE HOWARD ANDERSON, Process Four Decision  
PROJECT NUMBER: [1112888](#)  
OWNER/APPLICANT: Carmel Village Associates/T-Mobile West Corporation

### SUMMARY

Issue(s): Should the Planning Commission approve the continued use of an existing Wireless Communication Facility (WCF) located at 2190 Carmel Valley Road in Torrey Pines Community Plan?

Staff Recommendation(s):

APPROVE Planned Development Permit (PDP) No. 3298082

Community Planning Group Recommendation: On September 12, 2024, the Torrey Pines Community Planning Group Voted 4-0-0 to approve the project without conditions (Attachment 9).

Environmental Review: The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 15, 2024, and the opportunity to appeal that determination ended December 2, 2024 (Attachment 6).

Fiscal Impact Statement:

All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement:

This project application is for a wireless communication facility and is not associated with residential development.

BACKGROUND

This commercial use is located at 2190 Carmel Valley Road in the Commercial Neighborhood (CN-1-2) zone of Torrey Pines Community Plan. The building houses several business offices and there are several neighborhood restaurants to the east, along Carmel Valley Road, with residential uses to the north and west and open space to the south (Attachments 1,2&3).

The antennas are located on the surface of the building behind Fiberglass Reinforced Panel (FRP) screens that match the building (Figure 1). In this case, the antennas are concealed; however, the location of the equipment in the rear-yard which encroaches one-foot into the setback, creates a deviation from the standard 10-foot setback, which requires the approval of a PDP (Figure 2).

The previous permit, PDP No. 938539 for this WCF was approved by the Planning Commission on September 20, 2012. A ten-year expiration date was added as permit condition to allow the City to evaluate this facility for future technology improvements and design modifications in accordance with the regulations at the time of the submittal. The site has been providing service to the surrounding community for over ten years.



Figure 1 Existing views looking north at the building from Carmel Valley Road.

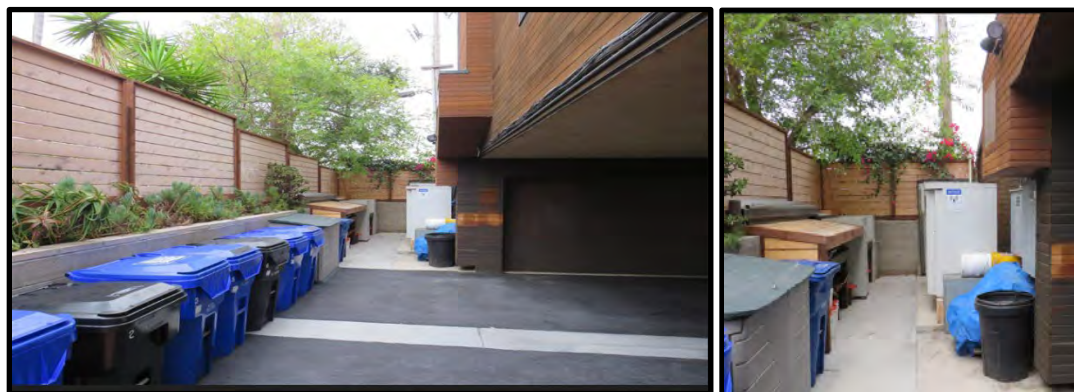


Figure 2 Existing equipment cabinets in the rear of the building (courtyard) behind the fence.

## DISCUSSION

### Project Description:

The project consists of six antennas and three RRUs located behind Fiberglass Reinforced Panels (FRP), fully screened, painted and textured to match the building exterior. The equipment is located in the rear of the building at grade level (courtyard), screened behind a wooden fence and encroaches one foot into the rear yard setback, which triggers the need for a PDP approval. The equipment cabinets are away from right-of-way, not visible to the public. The site has been operating here for over ten year and there are no changes proposed as part of this project to continue the use.

WCFs are allowed in Commercial zone with the processing of a Limited Use Permit. For this site, the project is in compliance with the San Diego Municipal Code (SDMC) for the placement of a WCF, except for the deviation from the rear yard setback for placement of the equipment within the setback. The deviation proposed to the development standards (setback) is allowed through approval of a PDP, pursuant to SDMC section [126.0602\(b\)\(1\)](#), a process four decision.

<b>Required Permits</b>	<b>Basis</b>
<i>Limited Use Permit</i>	<i>WCF in a commercial zone that does not contain residential development. SDMC section <a href="#">141.01.420(a)(1)</a></i>
<i>Planned Development Permit</i>	<i>10 feet rear yard setback required. Proposed equipment encroachment of 1-foot. SDMC section <a href="#">126.0602(b)(1)</a></i>

The purpose of the PDP procedure is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. In this case, the encroachment of the equipment one-foot into the rear-yard setback keeps the equipment hidden from public view. Placement of the equipment in the subterranean level where the use is limited and concealed by the fence, versus another location with high visibility, makes this location a more preferable project than conforming with the setbacks.

Pursuant to SDMC Section [126.0704\(a\)](#), Exemption from a Costal Development Permit (CDP), this is an existing WCF and this project is exempt from processing a CDP, no modification or improvement is proposed.

### Community Plan Analysis:

The Torrey Pines Community Plan does not address WCFs as a specific land use. However, the City of San Diego General Plan (General Plan) (UD-A.15) requires that the visual impact of wireless

facilities to be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The General Plan also calls for these facilities to be designed aesthetically pleasing and respectful of the neighborhood context. Furthermore, the General Plan states that equipment associated with wireless facilities shall be concealed from view. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is, among other things, to camouflage facilities from public view. The existing site is designed to conceal the antennas behind FRP screens that are painted and textured to match the building in order to minimize visual impact. This WCF design technique will blend the site with the surrounding environment. The equipment is located in the rear of the building within the courtyard, not visible to the public and screened by the fence (Figure 2). Therefore, staff has determined that the proposed WCF design complies with the General Plan requirements for concealment of the WCFs.

The Torrey Pines Community Planning Group voted 4-0-0 on September 19, 2024, to approve the project without any conditions (Attachment 9).

#### Environmental Analysis:

The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guideline section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 15, 2024, and the opportunity to appeal that determination ended December 2, 2024 (Attachment 6).

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report dated May 18, 2022, by MobileCOMM Professionals LLC., was submitted to the City verifying that the proposed project is in compliance with FCC regulations upon implementation of the proposed changes. The report will be stamped as Exhibit "A" and provided within the Project file.

#### Project-Related Issues:

##### Rear Yard Setback Deviation:

T-Mobile is requesting a deviation from the applicable development regulations (rear yard setback) as allowed with approval of a PDP. This site is zoned Commercial (CN-1-12) which has a minimum 10-foot rear yard setback and the existing WCF was approved for a deviation of one and half feet in September of 2015 by the Planning Commission. A deviation of the allowed setback is through a PDP is required to continue the existing use.

<b>DEVIATIONS SUMMARY</b>			
<b>Table 1</b>			
<b>Deviation Description</b>	<b>Deviation from SDMC</b>	<b>Allowed/Required</b>	<b>Proposed</b>
<b>Minimum Rear yard Setback</b>	<u>SDMC sections 131.0531(a).</u>	10-feet	9 feet

*Justification* - SDMC section [126.0602\(b\)\(1\)](#) allows for a deviation for relief from strict development standards through processing of a PDP. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. This is an existing site which has provided service to the area for over a decade and the location of the equipment in the grade area behind the building does not cause any interference with the land use nor it is visible to the any pedestrians. The project in its current location is necessary to maintain the existing level of service to the area for T-Mobile customers. The coverage map indicates that the loss of the existing coverage footprint could result in significant impact to those within the area (Attachment 12). A degradation of the existing service could have a significant impact on customers and essential emergency communication services. Additionally, the commercial zone allows collocation, and there is another WCF (Verizon) on this site and if a future carrier pursues this search ring, the site will allow for one additional carrier.

Lastly, consistent with [Council Policy 600-43](#), the project is located in a Preference Level 1 location and is considered the most desirable location for WCF. The one-foot encroachment into the rear yard setback, though minimal, enables the equipment to be positioned in a way that significantly improves its concealment from public view. This specific location is effectively hidden due to the building's placement and various factors, including existing fencing and nearby landscaping. This deviation is beneficial, making this project more favorable than if the equipment were placed in a more visible area.

The combination of the Preference Level 1 location, collocation opportunity, the screening of antennas and the hidden nature of the equipment in the rear courtyard, are reasons why city staff was able to make the necessary justification to support this deviation.

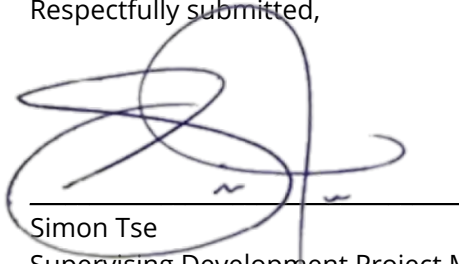
Conclusion:

The project has been determined by staff to be consistent with the purpose and intent of the San Diego Municipal Code sections, [126.0601](#), and [141.0420](#), the Wireless Communication Facilities Design Guidelines and [Council Policy 600-43](#) which includes the development regulations and the Wireless Communication Facilities Regulations. Therefore, staff recommends Planning Commission approve PDP No. 3298082.

ALTERNATIVES

1. APPROVE PDP No. 3298082, with modifications.
2. Deny PDP No. 3298082, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Simon Tse  
Supervising Development Project Manager  
Development Services Department

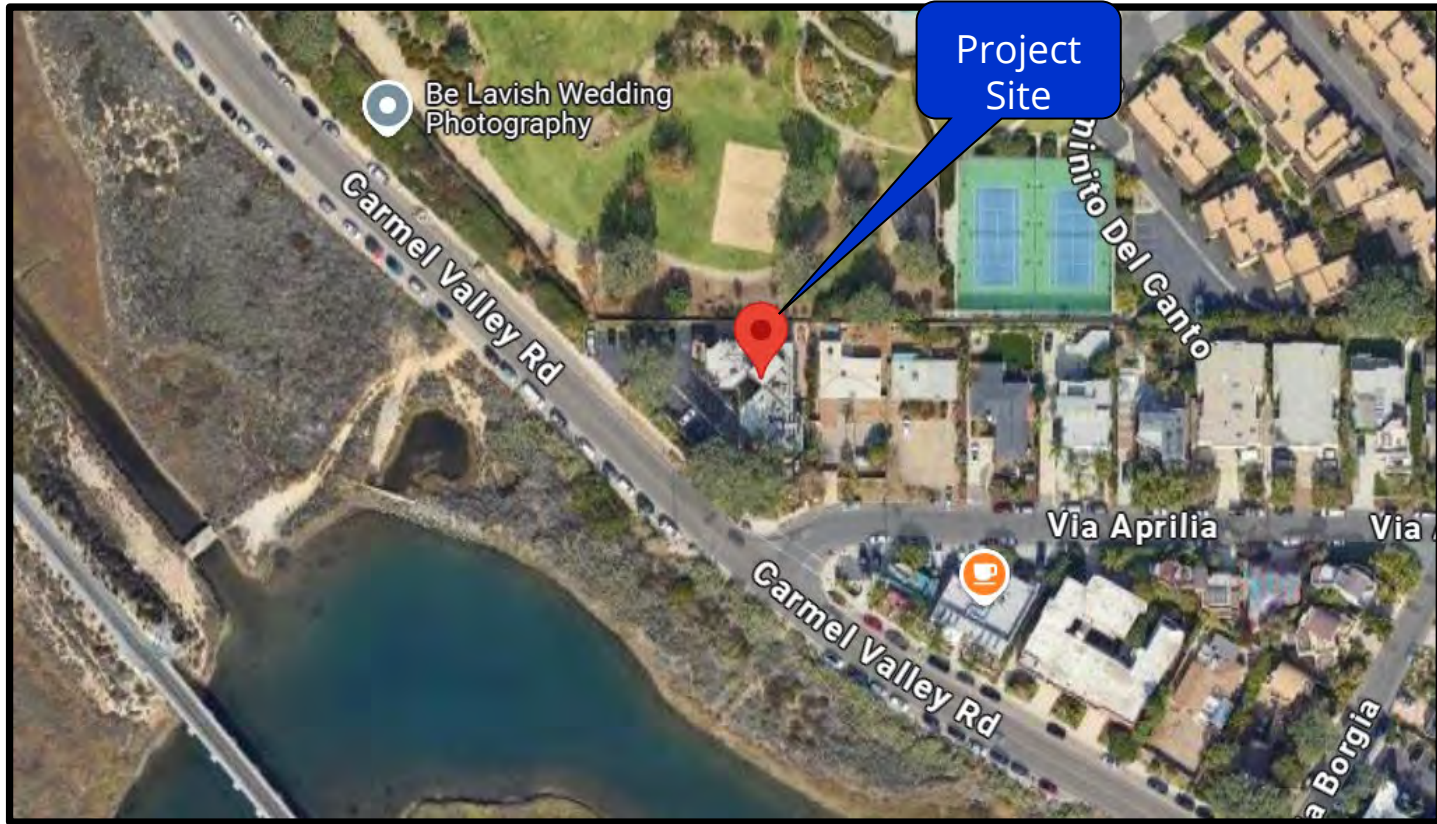


Nilia Safi  
Development Project Manager  
Development Services Department

Attachments:

1. Aerial Photographs
2. Project Location Map
3. Community Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Project Plans
8. Ownership Form
9. Community Planning Group Recommendation
10. Photographic Survey
11. Existing Photos
12. Telecom Coverage Map

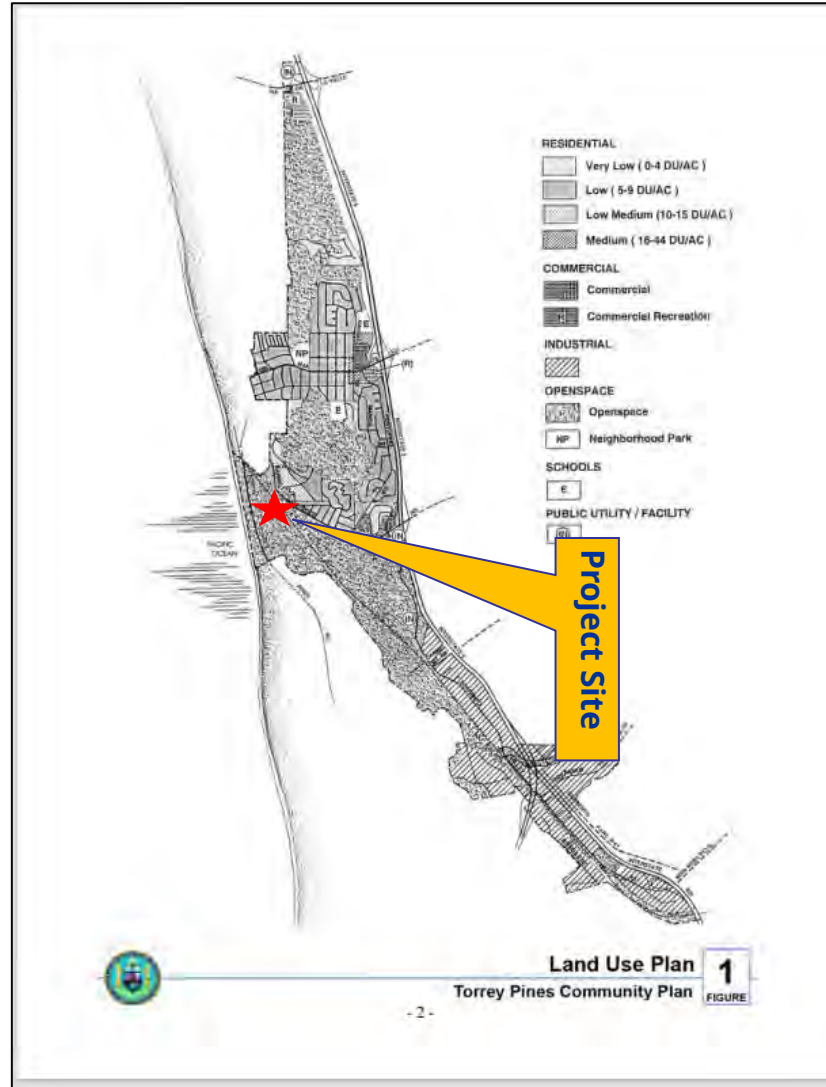
# Aerial Photograph



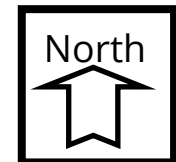
**T-Mobile Howard Anderson PRJ 1112888**  
**2190 Carmel Valley Road**



# Torrey Pines Community Plan Map

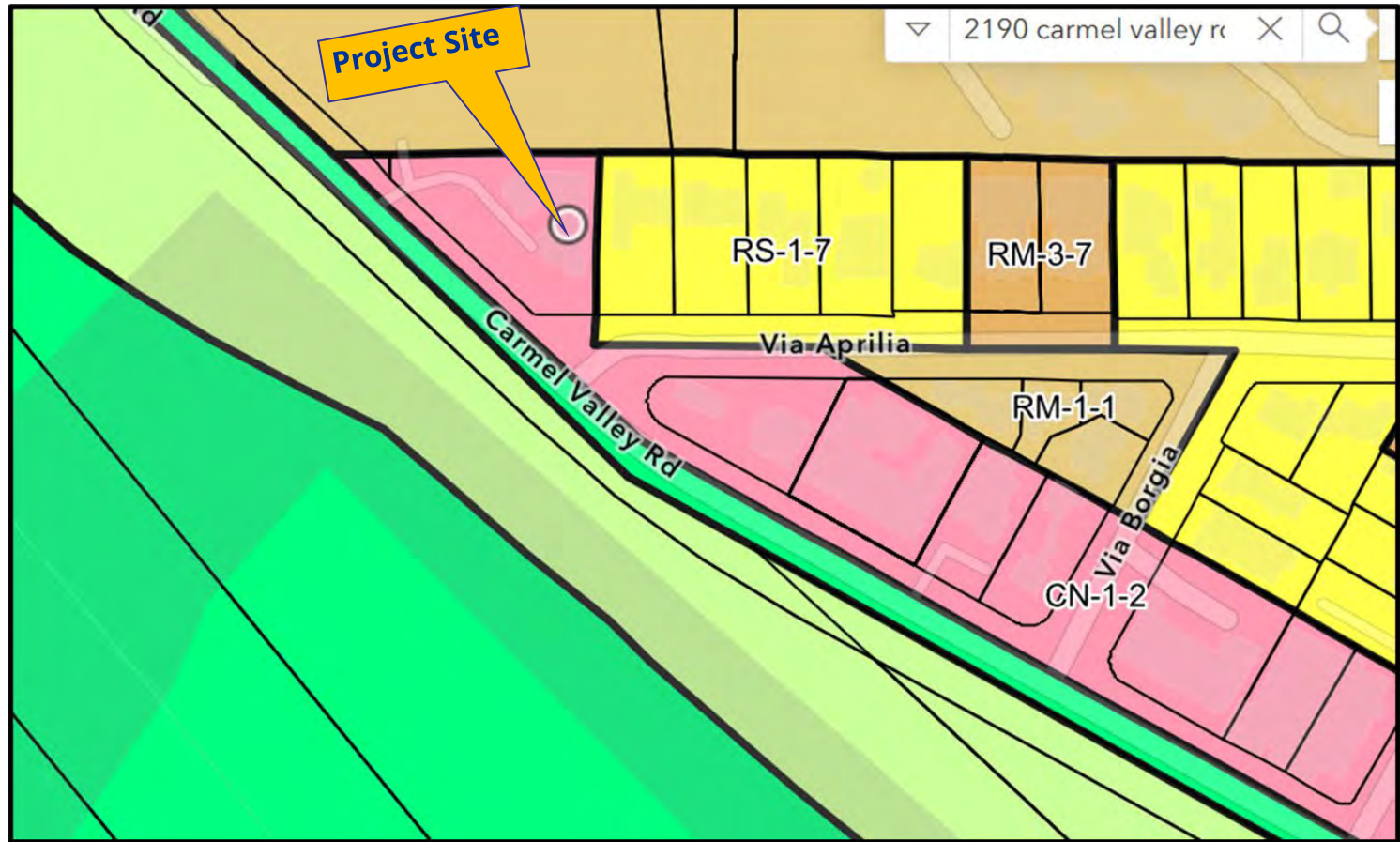


**T-Mobile Howard Anderson PRJ 1112888**  
**2190 Carmel Valley Road**

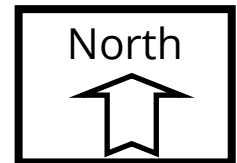




# Project Location Map



**T-Mobile Howard Anderson PRJ 1112888**  
**2190 Carmel Valley Road**



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 3298082  
**T-MOBILE HOWARD ANDERSON PROJECT NO. 1112888**  
PLANNING COMMISSION

This Planned Development Permit No. 3298082 is granted by the Planning Commission of the City of San Diego to Carmel Village Associates, Owner, and T-Mobile West Corporation, Permittee, pursuant to San Diego Municipal Code (SDMC) section [126.0602\(b\)\(1\)](#), [131.0502](#) and [141.0420](#). The site is located at 2190 Carmel Valley Road in the CN-1-2 zone of the Torrey Pines Community Plan area. The project site is legally described as Lots 1, 2, 3, and 4, in Block 1, of Del Mar Terrace, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1527, filed in the office of the recorder of said San Diego County, February 5, 1913.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to for a Wireless Communication Facility as described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated February 27, 2025, on file in the Development Services Department.

The project shall include:

- a. The project is the continued use of an existing Wireless Communication Facility (WCF) consisting of six antennas concealed behind Fiberglass Reinforced Panels (FRP) painted to match the façade of the existing building.
- b. Deviations -Two equipment cabinets located at grade level, encroaching by one-foot into the rear yard setback.
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 13, 2028.
2. This Planned Development Permit (PDP) and corresponding use of this site shall expire on **February 27, 2035**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**TELECOM DESIGN REQUIREMENTS:**

12. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

13. No overhead cabling is allowed for this project.

14. The WCF shall conform to the approved construction plans.

15. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
16. Photo simulations shall be printed on the construction plans.
17. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
18. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
19. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
20. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.
21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on February 27, 2025 and (Approved Resolution Number xxxx).

DRAFT

Planned Development Permit No. 3298082:  
February 27, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Nilia Safi  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Carmel Village Associates**  
Owner

By \_\_\_\_\_  
NAME  
TITLE

**T-Mobile West Corporation**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXX  
PLANNED DEVELOPMENT PERMIT NO. 3298082  
**T-MOBILE HOWARD ANDERSON PROJECT NO.1112888**

WHEREAS, Carmel Village Associates, Owner and T-Mobile West Corporation, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit (PDP) No. 3298082);

WHEREAS, the project site is located at 2190 Carmel Valley Road in the CN-1-2 zone, of the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as lots 1, 2, 3, and 4, in Block 1, of Del Mar Terrace, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1527, filed in the office of the recorder of said San Diego County, February 5, 1913;

WHEREAS, on November 15, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 27, 2025, the Planning Commission of the City of San Diego considered PDP No. 3298082 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to PDP No. 3298082:



**FINDINGS FOR PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]****a. The proposed development will not adversely affect the applicable land use plan.**

The project is the continued use of an existing Wireless Communication Facility (WCF) consisting of six antennas concealed behind Fiber Reinforced Panels (FRP) painted to match the façade of the existing building. There is no construction or changes to the existing facility as part of the permit. The equipment is currently located in the rear setback with no proposed changes. The site is located at 2190 Carmel Valley Road in the CN-1-2 Zone, Coastal Overlay Zone (COZ), Coastal Height Limit Overlay Zone (N-APP-a) of the Torrey Pines Community Plan.

Pursuant to SDMC Section 141.0420, WCFs are permitted in all zones citywide with the appropriate permit process. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations includes to camouflage facilities from public view. The Torrey Pines Community Plan defers all WCFs to the City of San Diego WCF Design Guidelines (WCF Design Guidelines), regulations, and the City of San Diego's General Plan (General Plan). The General Plan requires all wireless facilities to minimize visual impacts under Policy UD-A.15.a. It also includes the following provisions: A) Conceal wireless facilities in existing structures, when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; B) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; C) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The existing antennas are located behind FRP screens that match the building color and design, a method to reduce potential visual impact. With this integration, the antennas are aesthetically pleasing and respectful of the neighborhood context. The equipment is located inside an enclosure within the rear yard setback, screened from public view behind a wooden fence. Therefore, the project complies with the General Plan requirements for concealment, and it will not affect the applicable land use.

**b. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The project was determined to be exempt from CEQA Guidelines section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare. These conditions include, but are not limited to, a concealment requirement and electromagnetic field controls. This is an existing WCF, and no modifications are proposed as part of this approval. All proposed improvement plans associated with the project have been reviewed prior to issuance of all construction permits and inspected during construction to assure the project meets or exceeds all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. T-Mobile submitted an RF Report dated May 18, 2022, demonstrating compliance with the required FCC regulations.

Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of City’s jurisdiction and will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

A (WCF is permitted to operate within a commercial zone through the issuance of a Process 1 Limited Use Permit. In accordance with Council Policy 600-43, the proposed location is classified as a Preference Level 1 site, making it the most desirable option as defined by the policy. This designation underscores the alignment of the site with the city’s strategic priorities for WCF placements. However, the requested deviation from the rear yard setback requirements necessitates a Planned Development Permit (PDP), which requires approval through Process 4 decision.

The project complies with the regulations of the SDMC, except for the rear yard setback where the equipment is located. The CN-1-2 zone has a minimum setback of 10 feet from the property line. The equipment enclosure is located within the rear yard setback, 9-feet from the property line. SDMC section 126.0602(b)(1) allows a deviation for relief from strict development standards through processing of a PDP. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

The deviation is minor and necessary, in order for this T-Mobile facility to support the operation in this location. This deviation from setback does not impact the use of the building or surrounding area. The equipment enclosure is located away from the public right -of-way and screened by the wooden fence. T-Mobile has indicated that this site is a key location compared with other locations nearby to achieve the height and coverage necessary to provide service in this location.

This T-Mobile facility has been in this location for over two decades, providing critical voice and data service to the surrounding residential, commercial used and

immediate roadways. The previous permit was approved by the Planning Commission on September 20, 2012. A 10-year expiration was added to the permit for future modification due to change in technology or regulations. This request for the continued use of this site and a new permit does not propose any changes to the antennas or the equipment.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to SDMC section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, PDP No. 3298082 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 3298082, a copy of which is attached hereto and made a part hereof.

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Nilia Safi  
Development Project Manager  
Development Services

Adopted on: February 27, 2025

IO#: 11003679

fm 7-17-17

**NOTICE OF EXEMPTION**

**TO:** Recorder/County Clerk  
P.O. Box 1750, MS A-33  
1600 Pacific Hwy, Room 260  
San Diego, CA 92101-2400

**From:** City of San Diego  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, CA 92101

Office of Land Use and Climate Innovation  
1400 Tenth Street, Room 121  
Sacramento, CA 95814

**Project Title / Number:** Carmel Valley Road WCF / PRJ-1112888

**State Clearinghouse No.:** N/A

**Project Location-Specific:** 2190 Carmel Valley Road, San Diego, CA 92014

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** Planned Development Permit (PDP) to continue the operation of an existing rooftop wireless communication facility (WCF) located at 2190 Carmel Valley Road. The PDP would allow encroachments of the existing antennas into the rear yard setback. The project is designated Residential Low Medium (10-15 DU/AC) in the Torrey Pines Community Planning Area and zoned Commercial Neighborhood (CN-1-2) base zone. It is within Council District 1 and located in the following overlays/areas: Coastal Overlay Zone (N-APP-1), Airport Influence Area (AIA) for MCAS Miramar, Parking Impact Overlay Zone (PIOZ), and Affordable Housing Parking Demand (High). **LEGAL DESCRIPTION:** Lots 1, 2, 3, and 4, in Block 1, of Del Mar Terrace, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1527, filed in the Office of the Recorder of said San Diego County, February 5, 1913.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Chris Vuong, 17169 Botero Drive, San Diego CA, 92127, (858) 205-4150

**Exempt Status:** (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)  
 Declared Emergency (Sec. 21080(b)(3); 15269(a))  
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  
 Categorical Exemption: CEQA Section 15301(b) (Existing Facilities)  
 Statutory Exemptions:  
 Other:

**Reasons why project is exempt:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301(b) (Existing Facilities). Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of public or private structures, facilities, mechanical equipment, or topographical features,

involving negligible or no expansion of existing or former use. Additionally, 15301(b) includes existing facilities of both investor and publicly owned utilities used to provide electric power, natural gas, sewerage, or other public utility services. Since the project would allow for the continued operation of an existing WCF, the exemption was deemed appropriate. The exceptions listed in CEQA Section 15300.2 would not apply in that the project is not located in a particularly sensitive environment; no cumulative impacts were identified; no significant effect on the environment was identified; the project is not adjacent to a scenic highway; the project would not cause substantial adverse change in the significance of a historical resource; and the site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites

**Lead Agency Contact Person:** Carissa L. Garcia

**Telephone:** (619) 687-5959

**If filed by applicant:**

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

*Amelia A. Garcia* SENIOR PLANNER  
 Signature/Title

\_\_\_\_ December 3, 2024 \_\_\_\_  
 Date

**Check One:**

- Signed by Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or LCI:



# STORM WATER QUALITY NOTES-CONSTRUCTION BMP'S

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCCP
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR. .
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.

(d) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL."

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <b>RESPONSE</b>                  DATE                  A 07/23/24                  B 07/19/24             </td> <td style="width: 50%; text-align: center;">                 SHEET # OF # SHEETS                  2 OF 8 SHEETS             </td> </tr> </table>	<b>RESPONSE</b> DATE A 07/23/24 B 07/19/24	SHEET # OF # SHEETS 2 OF 8 SHEETS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <b>CONSTRUCTION CHANGE TABLE</b>                  EXPLODED OR ADDED SHEET NUMBERS             </td> <td style="width: 50%; text-align: center;">                 CP. NO.             </td> </tr> </table>	<b>CONSTRUCTION CHANGE TABLE</b> EXPLODED OR ADDED SHEET NUMBERS	CP. NO.	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">                 SCALE                  1/2" = 1'-0"                  IF THE BAR SCALES                  ARE SHOWN, THE DRAWING IS                  NOT TO SCALE.             </td> <td style="width: 50%; text-align: center;">                 SHEET # OF # SHEETS                  2 OF 8 SHEETS             </td> </tr> </table>	SCALE 1/2" = 1'-0" IF THE BAR SCALES ARE SHOWN, THE DRAWING IS NOT TO SCALE.	SHEET # OF # SHEETS 2 OF 8 SHEETS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <b>NOTES FOR</b>                  REMAKE CONTRACT                  SDO06690A / HOWARD ANDERSON                  APPROVED FOR PERMITS                  SUBMITTED TO CITY             </td> <td style="width: 50%; text-align: center;">                 SHEET # OF # SHEETS                  2 OF 8 SHEETS             </td> </tr> </table>	<b>NOTES FOR</b> REMAKE CONTRACT SDO06690A / HOWARD ANDERSON APPROVED FOR PERMITS SUBMITTED TO CITY	SHEET # OF # SHEETS 2 OF 8 SHEETS
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 The City of <b>SAN DIEGO</b> DEVELOPMENT SERVICES DEPARTMENT		602									



DEVELOPMENT SERVICES DEPARTMENT

602





1. FOR THE PURPOSES OF THIS CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
 CONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION) AND ANY LOWER TIER SUBCONTRACTORS.  
 ENGINEER – J5 INFRASTRUCTURE PARTNERS  
 OWNER – T-MOBILE WIRELESS

2. CONTRACTOR SHALL VISIT THE CELL SITE PRIOR TO THE SUBMISSION OF BIDS TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CORRECT THE WORK DRAWINGS TO REFLECT THE EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED AFTER THE COMMENCEMENT OF CONSTRUCTION WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY COSTS INCURRED TO REMEDY THE SITUATION SHALL BE AT THE EXPENSE OF THE CONTRACTOR. THE ENGINEER SHALL APPROVE ALL METHODS USED TO CORRECT THE SITUATION.

3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

4. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.

5. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

6. CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUITS AND OTHER CABLES. CONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL AND NEW TRAYS AS NECESSARY.

7. CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.

8. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

9. AT ANY TIME DURING THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE SITE. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.

10. AS MAY BE REQUIRED BY THE GOVERNING AGENCY OR PROPERTY OWNER, THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER, WATER, OR TOILET FACILITIES. THE EXISTING CELL SITE IS ASSUMED TO BE IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH THE OWNER. ALSO, WORK MAY NEED TO BE SCHEDULED FOR AN MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDDAY.

11. CONTRACTOR SHALL COMPLY WITH ALL OSHA REGULATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. SINCE THE CELL SITE MAY BE ABOVE ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH VOLTAGES OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUT DOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGEROUS PERSONAL RF EXPOSURE MONITORS ARE REQUIRED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.

12. CONTRACTOR SHALL NOT USE OR INSTALL ANY MATERIAL CONTAINING ASBESTOS OR LEAD PAINT. THE USE OF SUCH MATERIAL IS STRICTLY PROHIBITED.

13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON PLANS, AND TO AVOID OR PROTECT THEM FROM ANY DAMAGE. ANY COSTS INCURRED TO REPAIR UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE AT THE SOLE COST OF THE CONTRACTOR. TELEPHONE # 811 FOR USG DIG AHEAD.

14. THE GOVERNING AGENCY MAY REQUIRE A COPY OF THE APPROVED PLANS TO BE KEPT ON SITE AT ALL TIMES. THE CONTRACTOR SHALL MAKE SUCH A SET AVAILABLE FOR INSPECTION AT ALL TIMES. ANY DEVIATIONS FROM THE APPROVED SET SHALL BE DOCUMENTED AND PROVIDED TO THE ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL BEAR THE SOLE COST TO CORRECT ANY INSTALLATION WHICH DEVIATES FROM APPROVED PLANS AND IS NOT ACCEPTED BY THE ENGINEER.

15. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS & METHODS, TECHNIQUES, SEQUENCING, AND PROCEDURES REQUIRED TO PERFORM THE WORK. ANY ANALYSIS OF THE STRUCTURE UNDER TEMPORARY CONSTRUCTION LOADING CONDITIONS IS OUTSIDE OF THE SCOPE OF THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION SO THAT THE LOAD DOES NOT EXCEED THE STRUCTURES DESIGNED USE LOAD, OR PROVIDE TEMPORARY SHORING OR BRACING IN THESE AREAS.

16. DRAWINGS ARE NOT TO BE SOALED. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE.

17. ALL NEW COMPONENTS ADD TO THE EXTERIOR OF THE STRUCTURE, WHICH ARE VISIBLE FROM PUBLIC VIEW, SHALL BE PAINTED TO MATCH THE EXISTING CONDITIONS.

18. ALL DETAILS AND NOTES INDICATED IN THESE PLANS ARE THE MINIMUM REQUIREMENTS.

19. IT MAY BE NECESSARY TO TEMPORARILY RELOCATE, REMOVE, REPAIR, OR WORK AROUND VARIOUS ARCHITECTURAL FEATURES, FIXTURES, CABINETS, OR OTHER STRUCTURAL ELEMENTS IN ORDER TO COMPLETE THE PROPOSED WORK. CONTRACTOR SHALL RESTORE THESE ITEMS TO THEIR ORIGINAL CONDITION AT THEIR EXPENSE UNLESS OTHERWISE NOTED IN THESE PLANS.

**SYMBOLS**

- SOLID GROUND BUS BAR
- SOLID NEUTRAL BUS BAR
- SUPPLEMENTAL GROUND CONDUCTOR
- 2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
- SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
- GROUND ROD
- DISCONNECT SWITCH
- UTILITY METER
- EXOTHERMIC CONNECTION (WELDED TO GROUND RING AND COMPRESSION TO GROUND HALO)
- HOT LEAD, AMP, OR DOUBLE CONNECTION

**ABBREVIATIONS**

- ABOVE GRADE LEVEL
- EXISTING
- MINIMUM
- NOT TO SCALE
- REFERENCE
- RADIO FREQUENCY
- TO BE DETERMINED
- TYPICAL
- EQUIPMENT GROUND RING
- AMERICAN WIRE GAUGE
- MASTER GROUND BUS
- EQUIPMENT GROUND
- BARE COPPER WIRE
- GENERATOR
- INTERIOR GROUND RING (HALO)
- ACL
- (E)
- MIN
- N.T.S.
- REF
- RF
- T.B.D.
- TYP
- EGR
- AWG
- MGB
- EG
- BCW
- GEN
- IGR
- GROUND ROD WITH ACCESS (TEST WELL)
- G —
- T —
- C —
- A —
- OH/E —
- CABLES
- ANTENNA COAX
- OVERHEAD ELECTRICAL
- UTILTY METER

**ABBREVIATIONS**

- PROPOSED
- ELECTRICAL METALLIC TUBING
- GROUND
- GPS
- GLOBAL POSITIONING SYSTEM
- GROUND FAULT CIRCUIT INTERRUPTER
- BARE TINNED COPPER WIRE
- EMT
- GND
- GPS
- GFCI
- INTERRUPTEUR
- BTWC

**LEGEND**

1. ALL FOUNDATIONS WORK SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA ELECTRICAL CODE, AS WELL AS WITH ALL LOCAL, STATE, AND NATIONAL CODES, LAWS, AND ORDINANCES APPLICABLE TO FOUNDATION WORK.
2. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION SO AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
4. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION SHALL BE ACCORDING TO SPECIFIC SITE CONDITIONS.
5. GROUNDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINNED COPPER WIRE, UNLESS NOTED OTHERWISE.
6. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
7. INSTALL GROUND CONDUCTORS AND GROUND ROD A MINIMUM OF 1'-0" FROM CONCRETE SLAB, FOOTING, OR FENCE.
8. ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY AN ELECTRICAL CONTRACTOR.
9. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
10. METAL CONDUIT AND TRAY SHALL BE GROUNDING AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH # 6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
11. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR. SUCH OBJECTS SHALL BE GROUNDED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUIT TO MEET CODE REQUIREMENTS. SUCH CONDUITS, NON-METALLIC METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO EACH END OF THE METAL CONDUIT. NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
12. CHEMICAL GROUND SHALL BE XIT, CHEM-ROC, OR APPROVED EQUAL, WHEN REQUIRED.
13. CONNECTIONS TO THE GROUND BARS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR ARE PERMITTED.
14. NOTIFY PROJECT MANAGER IF THERE ARE DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SOIL CONDITIONS.
15. ANY EQUIPMENT, BOX, SKID TO BE GROUNDING AND DOES NOT HAVE A DESIGNATED GROUND CONNECTION SHALL BE DRILLED AS NECESSARY TO CONNECT A GROUND WIRE.
16. ALL NEW GROUNDING SHALL CONFORM WITH T-MOBILE GROUNDING STANDARDS.

**GROUNDING NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS TO COMPLETE ALL UPGRADES AS INDICATED IN THIS DOCUMENT.
2. ALL DIMENSIONS, SECTIONS AND DETAILS OF THE EXISTING STRUCTURE ARE INCLUDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL RELEVANT INFORMATION PRIOR TO CONSTRUCTION OR FABRICATION. NOTIFY THE ENGINEER-OF-RECORD IMMEDIATELY OF ANY DISCREPANCIES. ALL NEW WORK SHALL ACCOMMODATE EXISTING CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRIAGES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
4. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
5. COORDINATE WORK INDICATED ON THESE DRAWINGS WITH THE NEW EQUIPMENT EXISTING EQUIPMENT, WAREHOUSE ETC.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO GROUNDING ANY MATERIALS OR CONDUCTING ANY WORK.
7. ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS AND CODES LATEST EDITION.
8. CONTRACTOR SHALL COLD-GALVANIZE ALL RAW STEEL AS REQUIRED DURING CONSTRUCTION PROCESS.

**GENERAL NOTES**

REV	DATE	DESCRIPTION	BY	CHK
A	07/25/24	02/17/24		
B	07/24/24	02/17/24		

**T-Mobile**  
T-MOBILE WEST LLC

**J5 INFRASTRUCTURE**  
25 MARCO V. SATE DR  
SAN MARINO, CALIFORNIA 91766

**GENERAL UPGRADE TABLE**  
REFLECTED BY SHEET SHEET NUMBERS

CHANGE	DATE	BY	CHK

The City of **SAN DIEGO**  
DEVELOPMENT SERVICES DEPARTMENT

**SD06690A / HOWARD ANDERSON**  
APPROVED FOR PERMIT  
DATE: 07/25/24

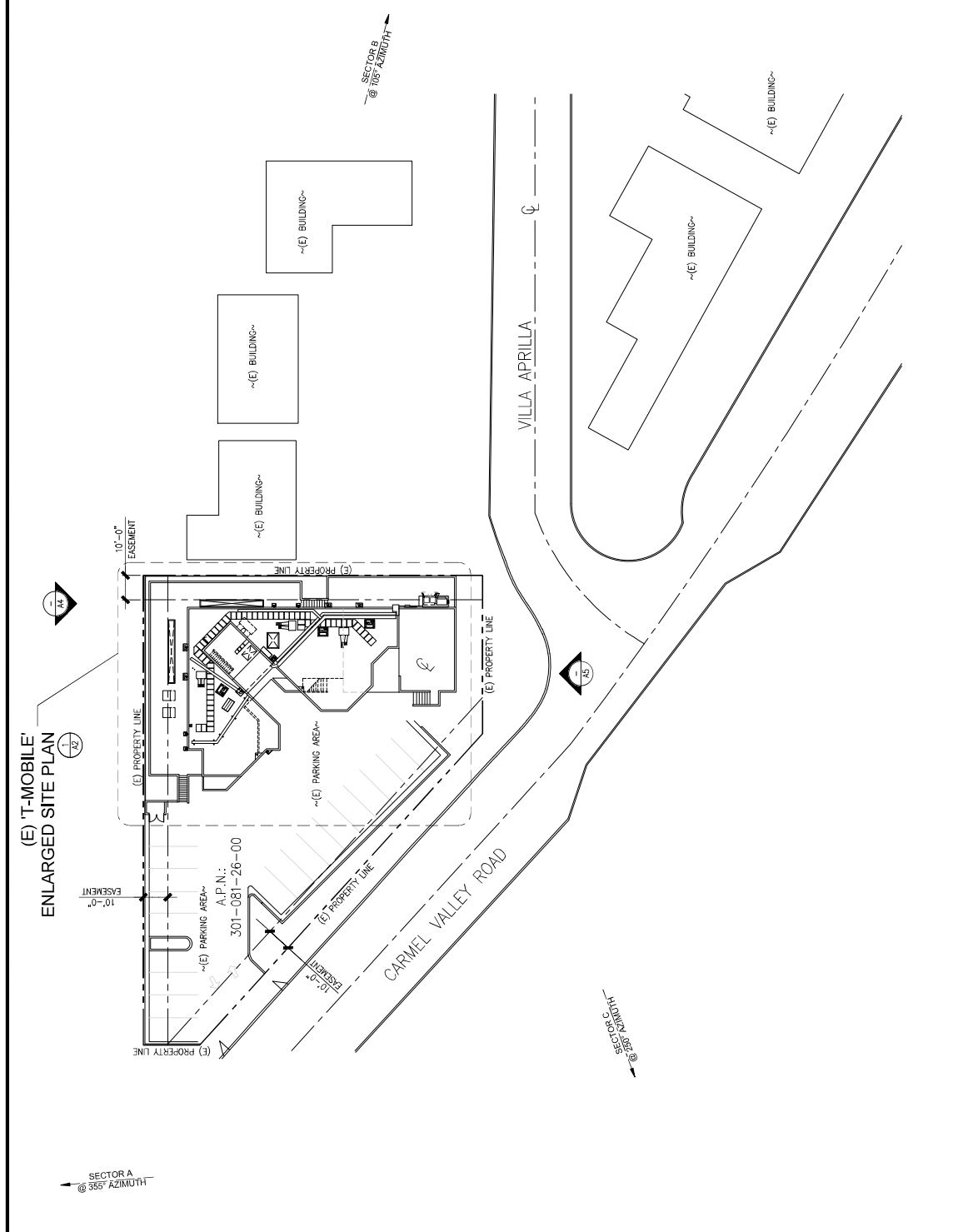
PERM NO. \_\_\_\_\_  
APP NO. \_\_\_\_\_

SHEET 4 OF 8 SHEETS

G04

**NOTES:**

- \* THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION GATHERED AT THE SITE. EXISTING CONDITIONS, DIMENSIONS, LEVELS, PROPERTY LINES AND CONDUIT TUNING. \* VERIFY ALL DIMENSIONS, LEVELS, PROPERTY LINES AND CONDUIT TUNING. \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CURRENT CONDITION OF THE STRUCTURE, WHICH IS ASSUMED TO BE IN GOOD CONDITION, FREE OF DAMAGE AND DETERIORATION. \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING EQUIPMENT PRIOR TO CONSTRUCTION.



**(E) T-MOBILE ENLARGED SITE PLAN**

PRIVATE CONTRACT  
**OVERALL SITE PLAN FOR**  
**SD06690A / HOWARD ANDERSON**  
 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR LEVELS

PRJ. NO.	
DATE	
SHEET 6 OF 9 SHEETS	
A1	

24"X36" SCALE 1" = 20'-0"  
 11"X17" SCALE 1" = 6'-0"

**The City of SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT

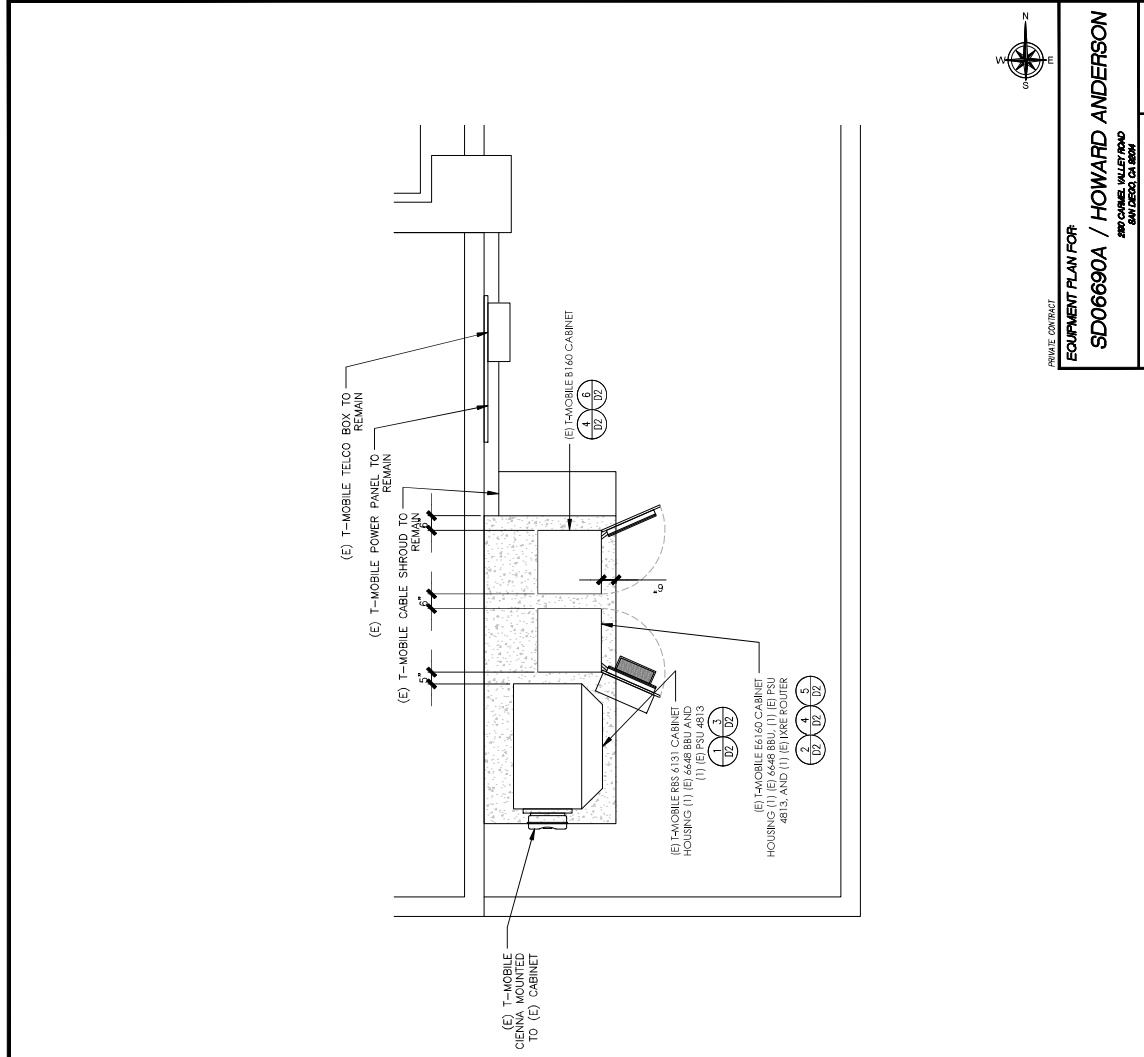
1/2"  
 IF THIS BAR DOES NOT FIT THE DRAWING IS NOT TO SCALE.

CHANGE	DATE	DESCRIPTION	BY	DATE

**J5 INFRASTRUCTURE**  
 25 MARINA DRIVE, SUITE 100  
 SAN DIEGO, CALIFORNIA 92108

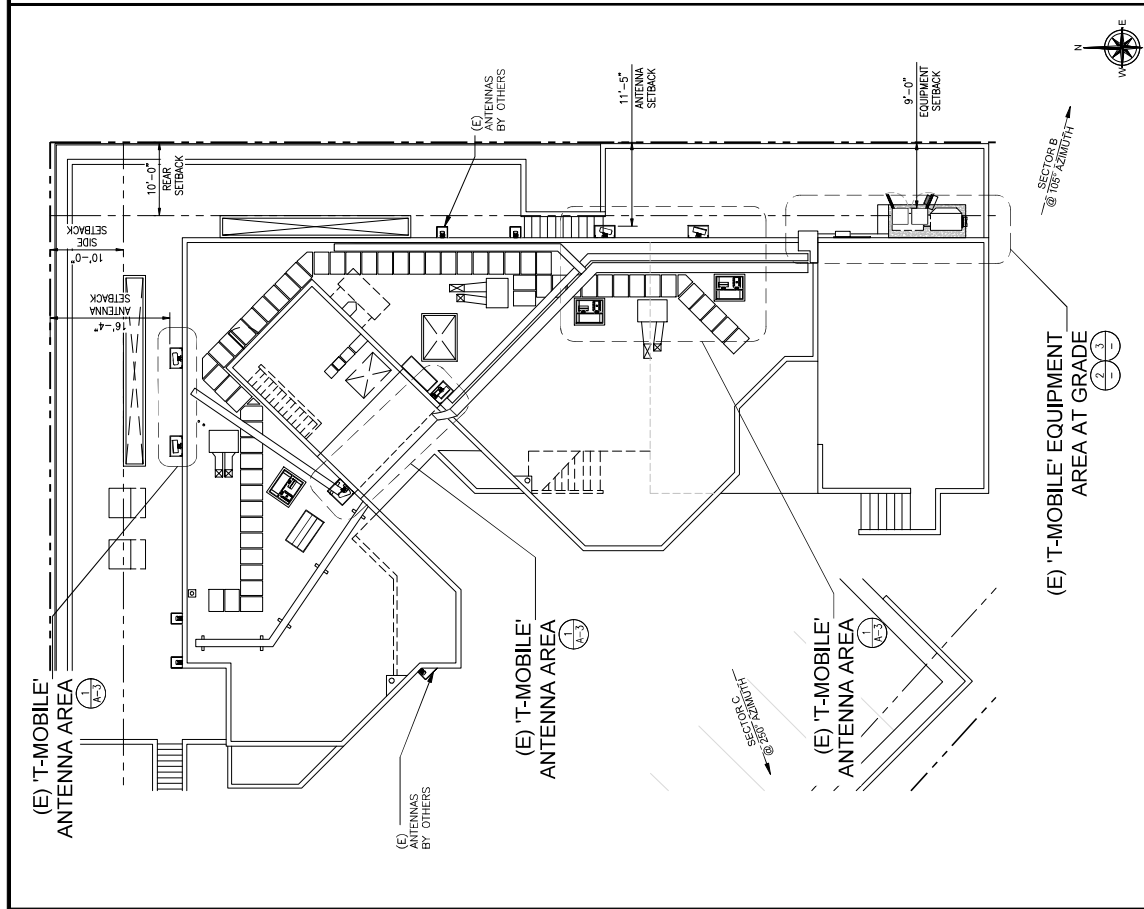
**T-Mobile**  
 T-MOBILE WEST LLC

REV.	DATE	DESCRIPTION
A	07/22/24	02P FEDERAL
B	07/19/24	02P FEDERAL



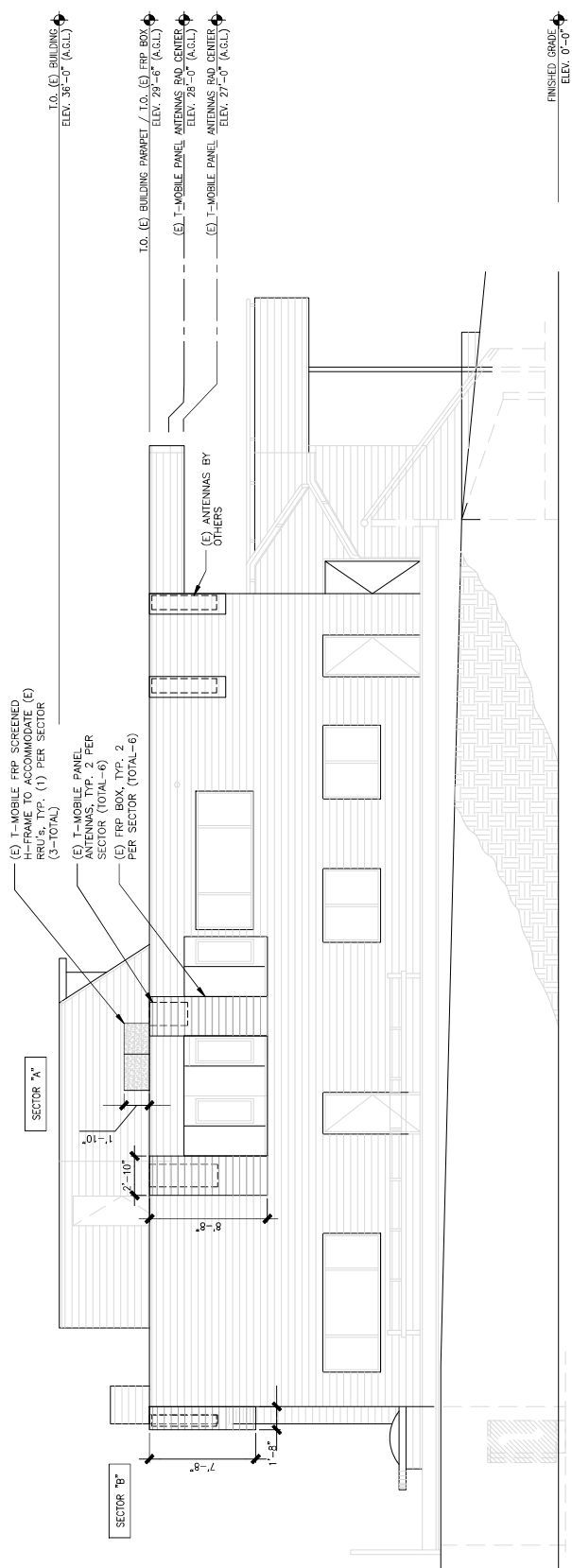
PRIVATE CONTRACT  
**EQUIPMENT PLAN FOR**  
**SD06690A / HOWARD ANDERSON**  
 3RD FLOOR, 1000 LA JOLLA VILLAGE CENTER  
 SAN DIEGO, CA 92161

PRJ. NO.	
DATE	
SHEET # OF # SHEETS	2
A2	



<b>ENLARGED SITE PLAN</b>		<b>EXISTING EQUIPMENT PLAN</b>	
24"X36" SCALE: 1/8" = 1'-0"	10'	24"X36" SCALE: 1/2" = 1'-0"	2
11"X17" SCALE: 1/8" = 1'-0" 11"X17" SCALE: 1/4" = 1'-0"		24"X36" SCALE: 1/2" = 1'-0" 11"X17" SCALE: 1/4" = 1'-0"	
CHANGE DATE 1 1/2 IF THIS SHEET IS USED FOR ANY OTHER PROJECT, THE DRAWING IS NOT TO SCALE.		THE CITY OF <b>SAN DIEGO</b> DEVELOPMENT SERVICES DEPARTMENT	
(E) BUILDING 07/22/24 02/19/24		CONSTRUCTION CHANGE TABLE EXISTING OR ADDED SHEET NUMBERS	
J5 INFRASTRUCTURE 25 MARCO SUE DR IRVINE, CALIFORNIA 92618		CP. NO.	
T-Mobile T-MOBILE WEST LLC		(E) T-MOBILE EQUIPMENT AREA AT GRADE SECTOR 8 @ 105° AZIMUTH	
DESCRIPTION CP. FEDERAL CP. FEDERAL		DATE 07/22/24 02/19/24	





PRIVATE CONTRACT

ELEVATION FOR  
 SDO06690A / HOWARD ANDERSON  
 3RD FLOOR, 4TH FLOOR  
 5TH FLOOR, 6TH FLOOR

PRJ. NO. \_\_\_\_\_  
 INT. NO. \_\_\_\_\_  
 SHEET 6 OF 9 SHEETS

A4

24"X36" SCALE 1/8" = 1'-0"  
 1/4" X 36" SCALE 1/8" = 1'-0"



DEVELOPMENT SERVICES DEPARTMENT

1/2"  
 IF THIS DRAWING IS USED FOR PERMITS, THE DRAWING IS NOT TO SCALE.

CONSTRUCTION CHANGE TABLE  
 EXERCISED OR ADDED SHEET NUMBERS

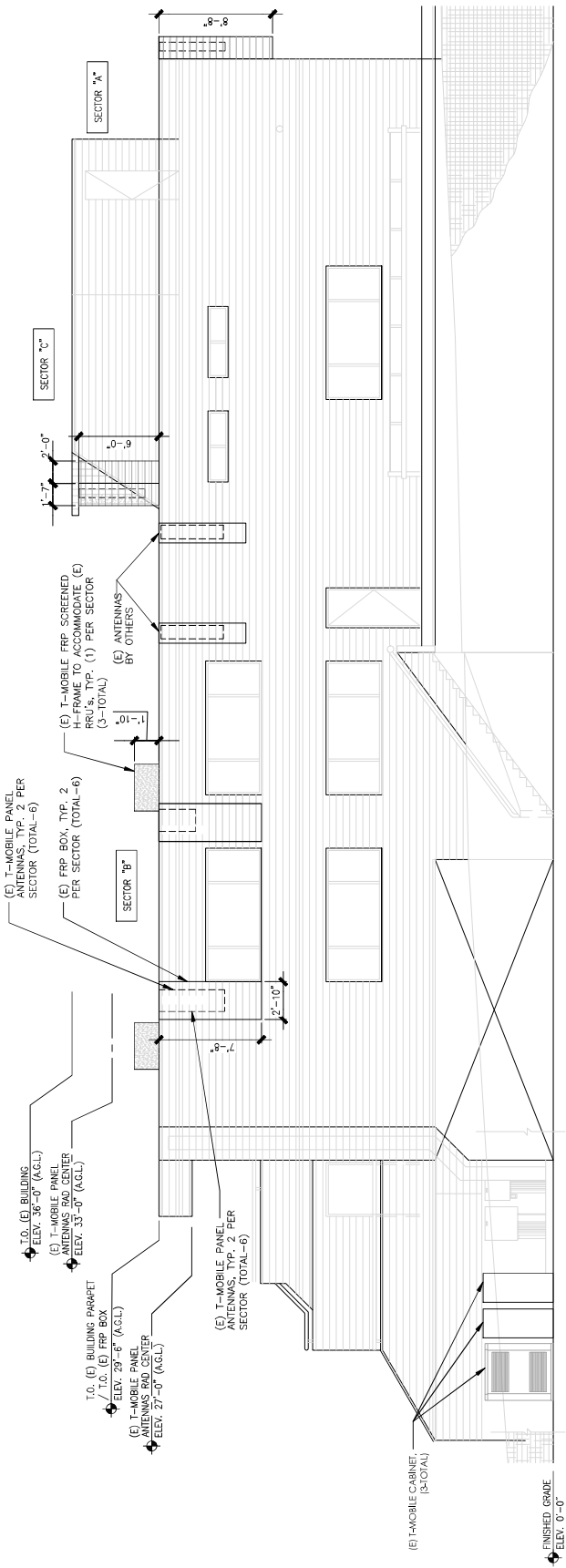
CHANGE	DATE	BY	CP. NO.

**J5 INFRASTRUCTURE**  
 25 MANUEL BLVD, SUITE 100  
 IRVINE, CALIFORNIA 92618

**Mobile-**  
 T-MOBILE WEST LLC

EXISTING NORTH ELEVATION

REV.	DATE	DESCRIPTION
A	07/22/24	02P PERFORM
B	07/19/24	02P PERFORM



PRIVATE CONTRACT  
 ELEVATION FOR  
**SD06690A / HOWARD ANDERSON**  
 3RD FLOOR EAST ELEVATION  
 3RD FLOOR EAST ELEVATION

SHEET 8 OF 9 SHEETS  
 P/U NO. \_\_\_\_\_  
 A/U NO. \_\_\_\_\_

24x36 SCALE 1/8" = 1'-0"  
 11x17 SCALE 1/8" = 1'-0"

The City of  
**SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT

1/2" = 1'-0"  
 IF THIS DRAWING IS USED FOR PERMITS, THE DRAWING IS NOT TO SCALE.

CHANGE	DATE	DESCRIPTION	BY	DATE

REV	DATE	DESCRIPTION	BY	DATE
A	07/22/23	02P PERMITS		
B	07/19/24	02P PERMITS		

**Mobile**  
 MOBILE WEST LLC

**J5 INFRASTRUCTURE**  
 25 MARSHALLS WAY, SUITE 100  
 IRVINE, CALIFORNIA 92618

**EXISTING EAST ELEVATION**



PRIVATE CONTRACT

ELEVATION FOR  
**SD06690A / HOWARD ANDERSON**  
 HOWARD ANDERSON ARCHITECTS  
 2000 W. BROADWAY, SUITE 100  
 SAN ANTONIO, TEXAS 78207

PRJ. NO. \_\_\_\_\_  
 INT. NO. \_\_\_\_\_  
 SHEET 10 OF 10 SHEETS

A6

24"X36" SCALE 1/8" = 1'-0"  
 11"X17" SCALE 1/8" = 1'-0"



1/2"  
 IF THIS DRAWING IS USED FOR PERMITS, THE DRAWING IS NOT TO SCALE.

CHANGE	DATE	DESCRIPTION	BY	DATE

**CONSTRUCTION CHANGE TABLE**  
 REFER TO SHEET NUMBERS

**Mobile**  
 MOBILE WEST LLC

**JS INFRASTRUCTURE**  
 25 MARSHALLS WAY, SUITE 100  
 IRVINE, CALIFORNIA 92618

REV.	DATE	DESCRIPTION
A	07/22/23	02P PERFORM
B	07/19/24	02P PERFORM

**EXISTING SOUTH ELEVATION**

THE CITY OF  
**SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT

NOT USED		1		2		3		4			
SCALE		SCALE		SCALE		SCALE		SCALE			
N.T.S.		N.T.S.		N.T.S.		N.T.S.		N.T.S.			
<p><b>ANTENNA SPECIFICATIONS</b></p> <p>MANUFACTURER: RFS            MODEL: APWALL24_43-U-M20            LENGTH: 95.9 IN            WIDTH: 24 IN            DEPTH: 8.5 IN            PORT COUNT: 8            WEIGHT: 65.7 LBS (ANTENNA ONLY)            HARDWARE ONLY            TOTAL WEIGHT : 68 LBS</p>				<p><b>ANTENNA SPECIFICATIONS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: RRUS 4460 B25+B66            HEIGHT: 19.6 IN            WIDTH: 15.7 IN            DEPTH: 12.1 IN            WEIGHT: 109 LBS</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE FOR RRUS ATTACHMENT.</p>				<p><b>RRUS 4460 B25+B66 SPECIFICATION</b></p>		<p>SCALE</p> <p>N.T.S.</p>	

NOT USED		5		6		7		8			
SCALE		SCALE		SCALE		SCALE		SCALE			
N.T.S.		N.T.S.		N.T.S.		N.T.S.		N.T.S.			
<p><b>RRUS 4480 SPECIFICATIONS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: RRUS 4480 B71+B85A            HEIGHT: 21.8 IN            WIDTH: 15.7 IN            DEPTH: 7.5 IN            WEIGHT: 84 LBS</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE FOR RRUS ATTACHMENT.</p>				<p><b>ANTENNA SPECIFICATIONS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: BASEBAND 6651            HEIGHT: 1.7 IN            WIDTH: 13.66 IN            WEIGHT: 16.53 LBS</p>				<p><b>PSU 48 13</b></p> <p>MANUFACTURER: ERICSSON            MODEL: PSU 48 13            HEIGHT: 1.75 IN            WIDTH: 10.00 IN            DEPTH: 10.00 IN</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.</p>			

NOT USED		9		10		11		12			
SCALE		SCALE		SCALE		SCALE		SCALE			
N.T.S.		N.T.S.		N.T.S.		N.T.S.		N.T.S.			
<p><b>RRUS 4480 71+B85A SPECIFICATIONS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: RRUS 4480 71+B85A            HEIGHT: 21.8 IN            WIDTH: 15.7 IN            DEPTH: 7.5 IN            WEIGHT: 84 LBS</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.</p>				<p><b>BASEBAND 6651 SPECS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: BASEBAND 6651            HEIGHT: 1.7 IN            WIDTH: 13.66 IN            WEIGHT: 16.53 LBS</p>				<p><b>PSU 48 13 SPECS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: PSU 48 13            HEIGHT: 1.75 IN            WIDTH: 10.00 IN            DEPTH: 10.00 IN</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.</p>			

HCS 6X12 CABLE SPECS		9		10		11		12			
SCALE		SCALE		SCALE		SCALE		SCALE			
N.T.S.		N.T.S.		N.T.S.		N.T.S.		N.T.S.			
<p><b>RRUS 4480 71+B85A SPECIFICATIONS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: RRUS 4480 71+B85A            HEIGHT: 21.8 IN            WIDTH: 15.7 IN            DEPTH: 7.5 IN            WEIGHT: 84 LBS</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.</p>				<p><b>BASEBAND 6651 SPECS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: BASEBAND 6651            HEIGHT: 1.7 IN            WIDTH: 13.66 IN            WEIGHT: 16.53 LBS</p>				<p><b>PSU 48 13 SPECS</b></p> <p>MANUFACTURER: ERICSSON            MODEL: PSU 48 13            HEIGHT: 1.75 IN            WIDTH: 10.00 IN            DEPTH: 10.00 IN</p> <p>NOTE: USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.</p>			

MOBILE WEST LLC

IS INFRASTRUCTURE

25 MARINA SUITE 100  
 SAN DIEGO, CALIFORNIA 92108

DEVELOPMENT SERVICES DEPARTMENT

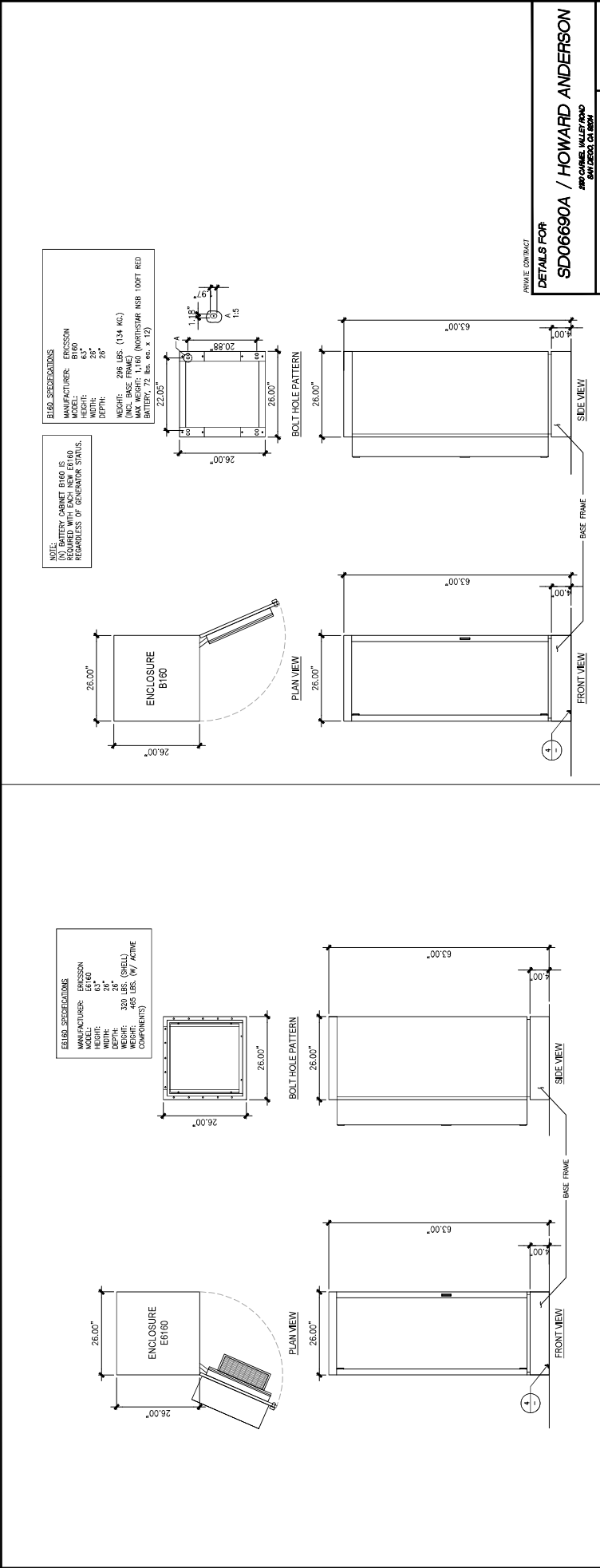
SAN DIEGO

SHEET # OF # SHEETS

D1



NOT USED		SCALE N.T.S.	1	NOT USED	SCALE N.T.S.	2	NOT USED	SCALE N.T.S.	3	NOT USED	SCALE N.T.S.	4
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E6160 SSC CABINET SPECIFICATIONS		SCALE N.T.S.	10	B160 BATTERY CABINET SPECIFICATIONS		SCALE N.T.S.	12
CONSTRUCTION CHANGE TABLE		DATE		DATE		DATE	
REV	DATE	DESCRIPTION	DATE	DESCRIPTION	DATE	DESCRIPTION	DATE
A	07/22/24	QIP REVIEW					
B	07/17/24	QIP REVIEW					

**Mobile**  
 FAVORITE WEST LLC

**IS INFRASTRUCTURE**  
 25 MARSHALLS WAY, SUITE 100  
 SAN MARINO, CALIFORNIA 91768

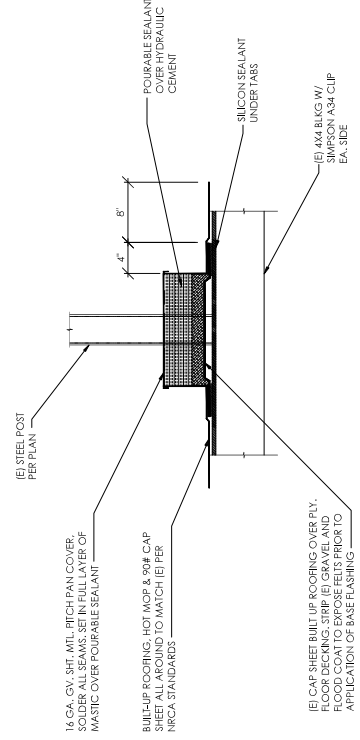
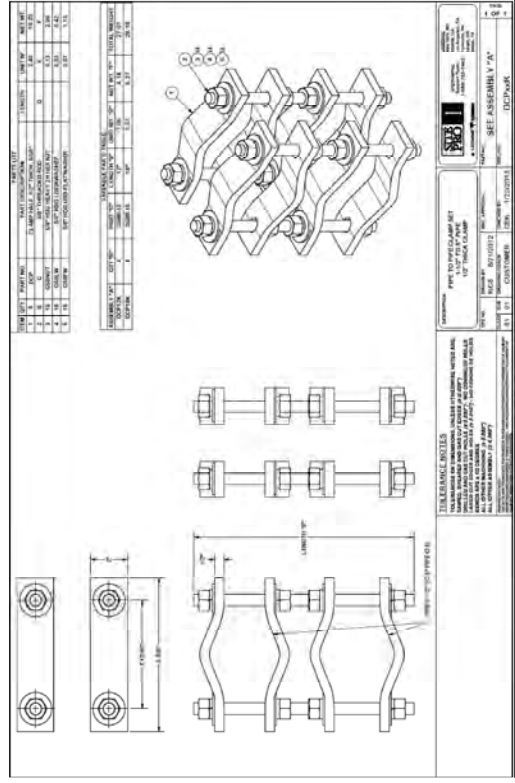
**The City of SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT

**DETAILS FOR**  
 SDO6690A / HOWARD ANDERSON  
 APPROVED BY: [Signature]  
 PROJECT NO. [Blank]  
 SHEET # OF # SHEETS [Blank]

PERU NO. [Blank]  
 PERU NO. [Blank]

D2

NOT USED      SCALE N.T.S.      2      NOT USED      SCALE N.T.S.      4



PRIVATE CONTRACT  
**DETAILS FOR**  
**SD06690A / HOWARD ANDERSON**  
 3RD FLOOR, 1615 LA JOLLA VILLAGE CENTER  
 SAN DIEGO, CA 92161

SHEET # OF # SHEETS  
 P/RU NO.

**PIPE TO PIPE CLAMP SET**  
 SCALE N.T.S.      6      POST WATERPROOFING, TYP.      SCALE N.T.S.      10

**CONSTRUCTION CHANGE TABLE**  
 CHANGED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_

CP. NO.

1/2"

IF THIS BAG DOES NOT HAVE A RED SPANNING IS NOT TO SCALE.

**The City of SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT

**Mobile**  
 MOBILE WEST LLC

**J5 INFRASTRUCTURE**  
 25 MARCO VILLAGE, SUITE 100  
 SAN MARCO, CALIFORNIA 92068

**D.3**



**City of San Diego  
Development Services**  
1222 First Ave., MS 302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

**FORM  
DS-318**  
  
October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

**Project Title:** T-Mobile Howard Anderson **Project No. For City Use Only:** \_\_\_\_\_  
**Project Address:** 2190 Carmel Valley Rd, Del Mar, CA 92014

**Specify Form of Ownership/Legal Status (please check):**  
 Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual CARMEL VILLAGE ASSOCIATES, CA general partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**  
Name of Individual(s): Howard &/or Barbara Anderson, only partners  Owner  Tenant/Lessee  Successor Agency  
Street Address: 2198 CARMEL VALLEY ROAD  
City: DEL MAR State: CA Zip: 92014  
Phone No.: 858-705-2918 Fax No.: NONE Email: howard@haaarchitects.com  
Signature: [Signature] Date: 3.1.2024  
Additional pages Attached:  Yes  No

**Applicant**  
Name of Individual: T-Mobile (Chris Vuong as agent and primary contact)  Owner  Tenant/Lessee  Successor Agency  
Street Address: 17169 Botero Drive  
City: San Diego State: CA Zip: 92127  
Phone No.: 858-205-4150 Fax No.: N/A Email: cvuong@dinell.com  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Additional pages Attached:  Yes  No

**Other Financially Interested Persons**  
Name of Individual: NONE  Owner  Tenant/Lessee  Successor Agency  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Additional pages Attached:  Yes  No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

# Community Planning Committee Distribution Form

Project Name:  
T-Mobile SD06690 at 2190 Carmel Valley RD

Project Number:  
1112888

Community: Torrey Pines

For project scope and contact information (project manager and applicant),  
log into OpenDSD at <https://aca.accela.com/SANDIEGO>.

Select "Search for Project Status" and input the Project Number to access project information.

- Vote to Approve  
 Vote to Approve with Conditions Listed Below  
 Vote to Approve with Non-Binding Recommendations Listed Below  
 Vote to Deny

Date of Vote:  
September 12,

# of Members Yes  
4

# of Members No  
0

# of Members Abstain  
0

Conditions or Recommendations:

- No Action  
(Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)

NAME: Adam Gevanthor

TITLE: Chair

DATE: September 19, 2024

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

# Photographic Survey

## T-Mobile Howard Anderson

2190 Carmel Valley Rd, Del Mar, CA 92014

**Applicant:** T-Mobile

**Authorized representative (primary contact):** Chris Vuong, 858-205-4150, cvuong@J5ip.com

Photographic survey of T-Mobile's WCF on an office building.



Photo No.	View	Looking at Sector?
1	Looking south at site	Sector A
2	Looking north from site	N/A
3	Looking west at site	Sector B
4	Looking east from site	N/A
5	Looking north at site	Sector C
6	Looking south from site	N/A
7	Looking east at site	Sector C
8	Looking west from site	N/A

# Photographic Survey

## 1. Looking south at site



## 2. Looking north from site



# Photographic Survey

## 3. Looking west at site



## 4. Looking east from site



# Photographic Survey

5. Looking north at site



6. Looking south from site





# Photographic Survey

## 7. Looking east at site



## 8. Looking west from site



## Photo Simulation

### T-Mobile Howard Anderson

2190 Carmel Valley RD, Del Mar, CA 92014

**Applicant:** T-Mobile

**Authorized representative (primary contact):** Chris Vuong, 858-205-4150, cvuong@clinellc.com

Photographic survey of T-Mobile's WCF on the rooftop and façade of an office building.

There are no exterior changes proposed for this project.

#### Sector A:



# Photo Simulation

Sector B:



Sector C:





NOTICE  
((Wi-Fi))

8

205 221944



...T...Mobile...

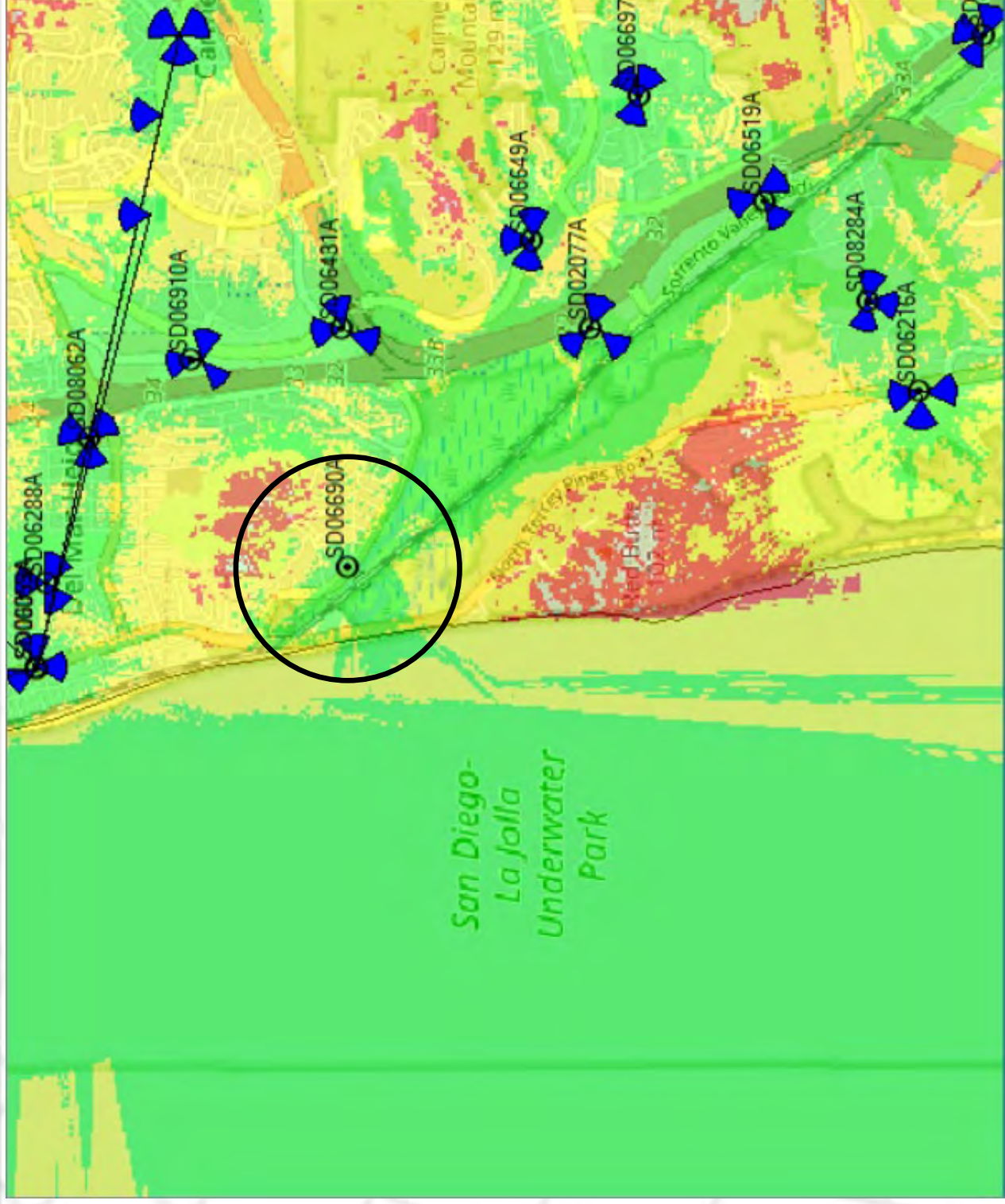
# SD06690A Coverage Maps

02/29/2024

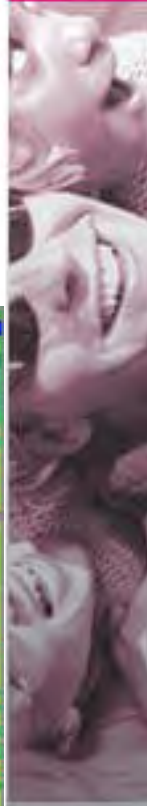
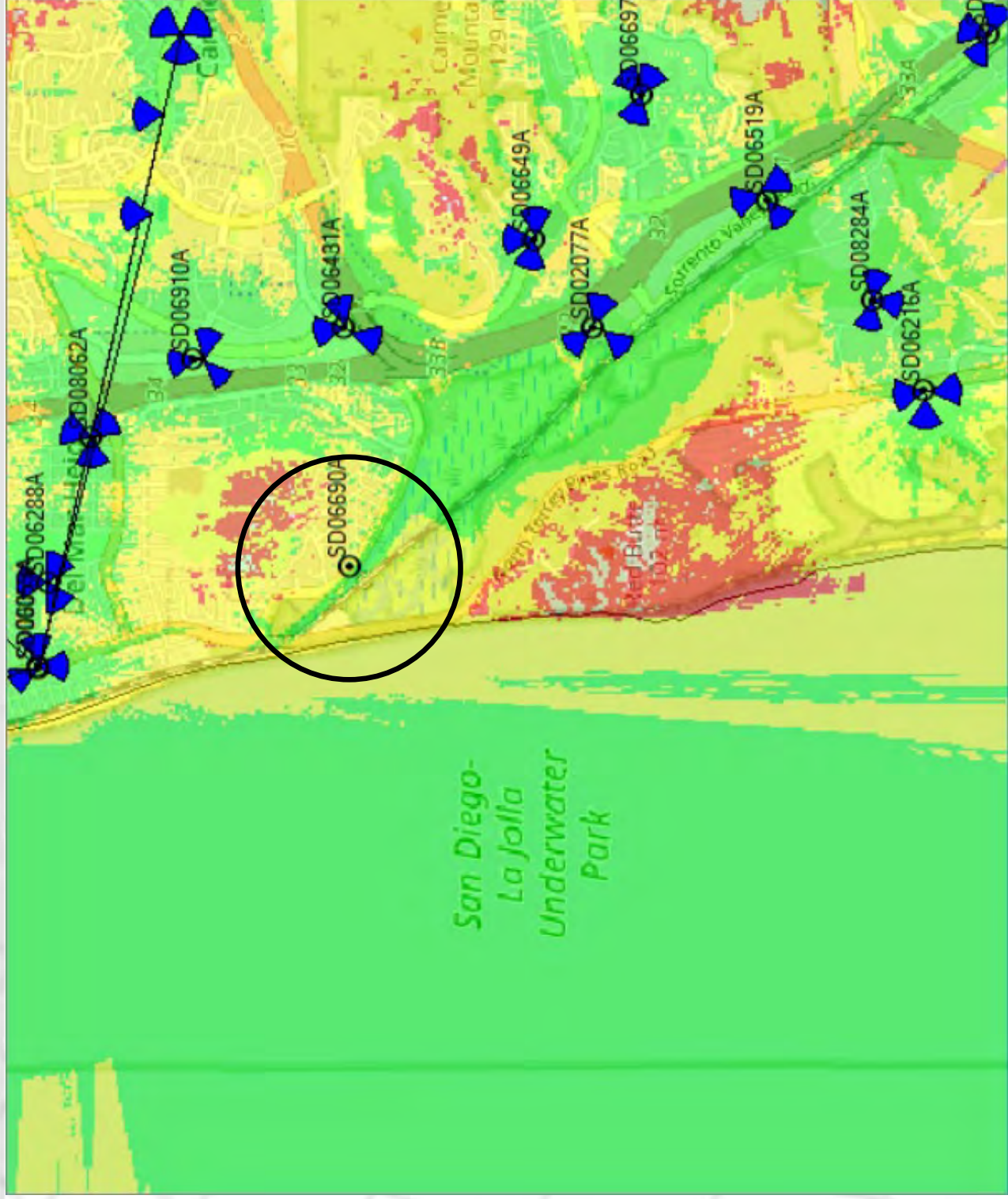


T-Mobile

# Area with SD06690A



# Area without SD06690A





...T-Mobile

SD06690A Only

