



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 29, 2025 REPORT NO. HO-25-008

HEARING DATE: February 12, 2025

SUBJECT: 741 Sunset Cliffs Boulevard, Process Three Decision

PROJECT NUMBER: [PRJ-1105619](#)

OWNER/APPLICANT: Louise and Christopher Mason, Owners / Chris Nirschl, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve construction of a two-story, 2,339-square-foot single dwelling unit with a detached 960-square-foot garage on a 0.25-acre vacant site located at 741 Sunset Cliffs Boulevard within the Peninsula Community Plan area?

Proposed Actions: Approve Coastal Development Permit No. PMT-3282802.

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project proposes the development of one single dwelling unit on a vacant single lot.

Community Planning Group Recommendation: On October 17, 2024, the Peninsula Community Planning Group voted 13-0-0 to approve the project with no conditions (Attachment 6).

Environmental Review: The project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). The environmental determination for the project was made on December 6, 2024, and the opportunity to appeal that determination ended December 20, 2024 (Attachment 7). There were no appeals of the environmental determination.

BACKGROUND

The 0.25-acre vacant site is located at 741 Sunset Cliffs Boulevard in the RS-1-7 Zone, the Coastal Overlay Zone (Appealable Area), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone, the Airport Land Use Compatibility Overlay Zone and the Airport Influence Area (San Diego

International Airport Review Area 2 and Naval Air Station North Island Review Area 2) within the Peninsula Community Plan area (Community Plan) (Attachments 1-3).

The project site is surrounded by residential development and the Sunset Cliffs Boulevard public right-of-way. There is no public view or coastal access from the project site, as identified in the Community Plan. Additionally, the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multi Habitat Planning Area.

DISCUSSION

The proposed project consists of the construction of a two-story, 2,339-square-foot single dwelling unit with a detached 960-square-foot garage (Attachment 9 – Project Plans). The project complies with the RS-1-7 Zone development regulations for building height (23 feet) which does not exceed the 30-foot height limit, density, setbacks, and floor area ratio (.33) that is below the maximum (.54) allowed. No deviations or variations are required. The Community Plan designates the site as low density residential (5-9 dwelling units per acre), and the development of a single dwelling unit on a vacant single lot is consistent with the prescribed density.

The project is consistent with the Community Plan objectives of creating housing opportunities for persons of all income levels and conserving the character of the existing stable single-family neighborhoods throughout the Peninsula Community Plan area including the very low-density character of certain neighborhoods. The project complies with these Community Plan objectives by developing an underutilized vacant lot with a single dwelling unit, a land use that is supported by the Community Plan. The project is also consistent with the Community Plan objective of encouraging a design compatible with the existing residential development in all new infill housing. The project complies with this Community Plan objective by providing an architectural design that does not adversely impact the community character and is compatible with the bulk and scale of the surrounding neighborhood.

A biology report prepared for the site concluded that there are no impacts to environmentally sensitive lands. A geotechnical report prepared for the site also concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards. Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. The permit includes requirements that address storm water and runoff, public improvements, maintenance, lighting, and parking.

Required Actions

Pursuant to SDMC Section [126.0704\(a\)\(3\)](#), the proposed project requires a Process Three Coastal Development Permit for improvements that result in an intensification of use within the appealable area of the Coastal Overlay Zone. The decision to approve, conditionally approve, or deny the project shall be made by the Hearing Officer, and the decision is appealable to the Planning Commission. For decisions involving coastal development within the appealable area, the final City decision is appealable to the Coastal Commission.

Conclusion:

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3282802, with modifications.
2. Deny Coastal Development Permit No. PMT-3282802, if the findings required to approve the project cannot be affirmed.

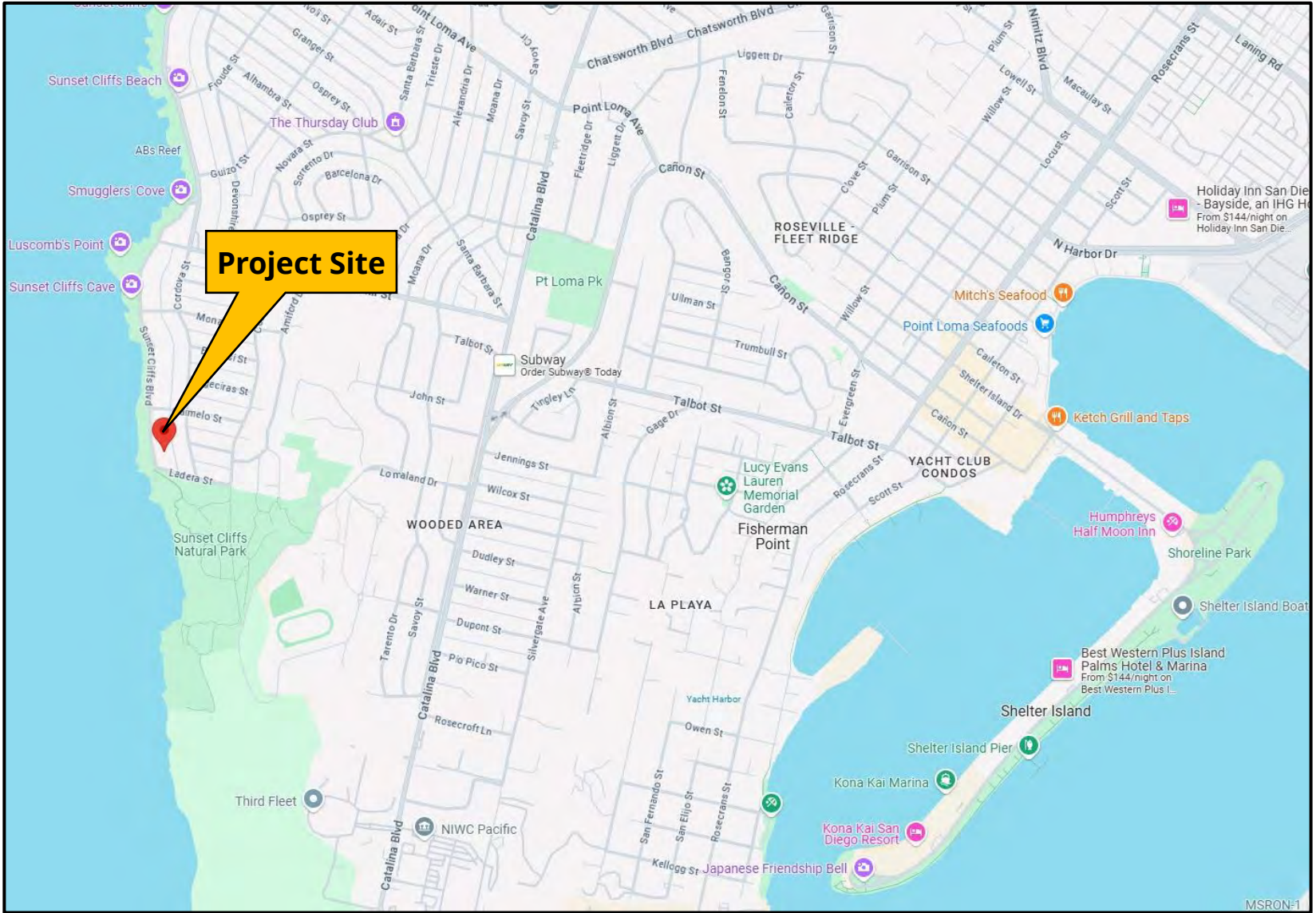
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Xavier Del Valle".

Xavier Del Valle, Development Project Manager

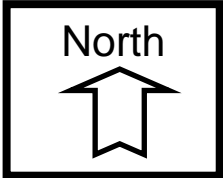
Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. Notice of Right to Appeal (NORA)
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

741 Sunset Cliffs Boulevard
PRJ-1105619: 741 Sunset Cliffs Boulevard



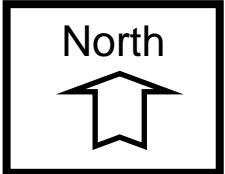


Project Site

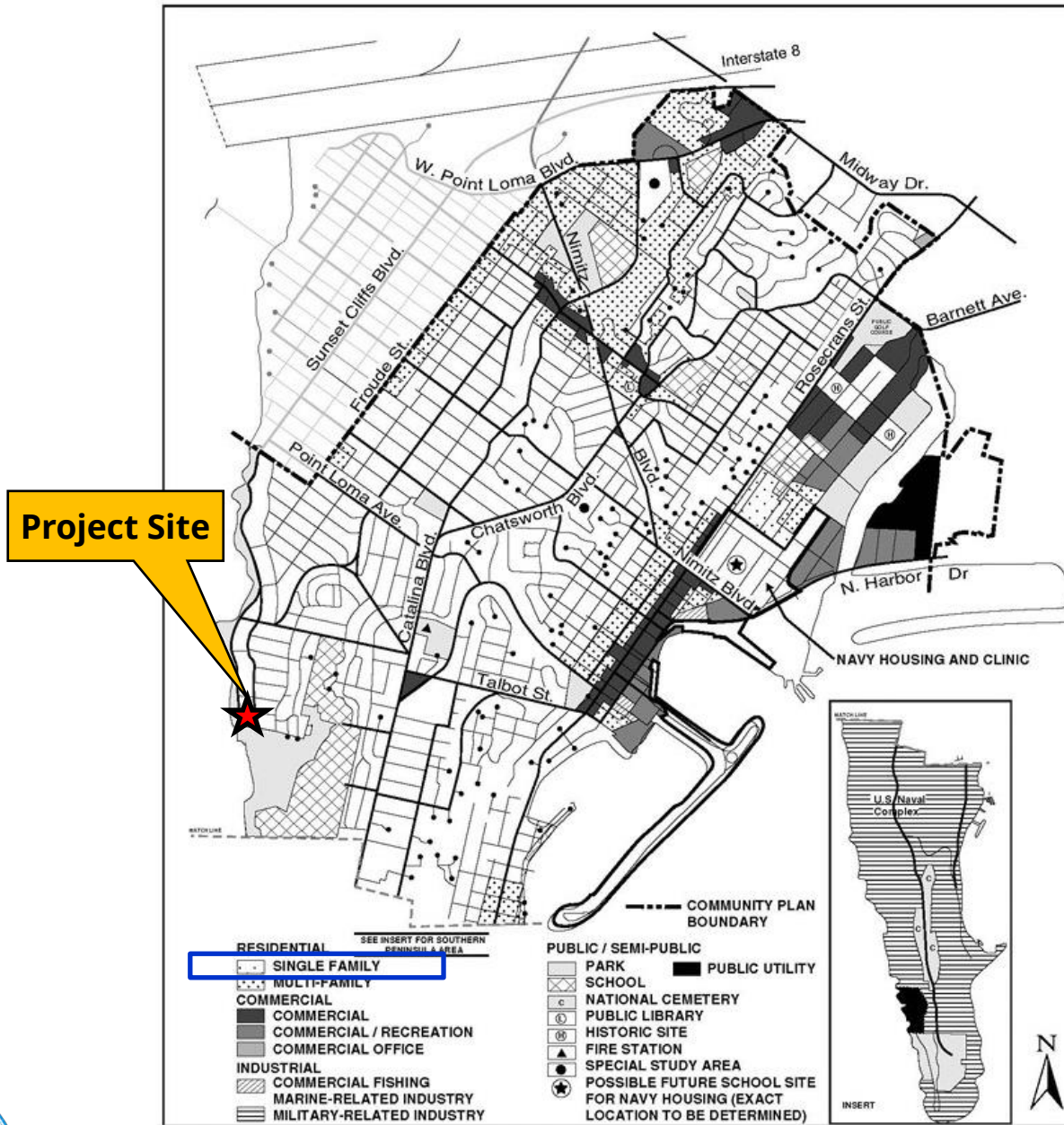


Aerial Photograph

741 Sunset Cliffs Boulevard
PRJ-1105619: 741 Sunset Cliffs Boulevard



Peninsula Community Plan Area Land Use Map



Project Site



741 Sunset Cliffs Boulevard
PRJ-1105619: 741 Sunset Cliffs Boulevard

HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. PMT-3282802
741 SUNSET CLIFFS BOULEVARD: PRJ-1105619

WHEREAS, LOUISE MASON and CHRISTOPHER MASON, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a two-story, 2,339-square-foot single dwelling unit with a detached 960-square-foot garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT-3282802), on portions of a 0.25-acre vacant site;

WHEREAS, the project site is located at 741 Sunset Cliffs Boulevard in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Parking Impact (Beach and Coastal) Overlay Zone, Airport Land Use Compatibility Overlay Zone (ALUCOZ) and Airport Influence Area (San Diego International Airport Review Area 2 and Naval Air Station North Island Review Area 2) within the Peninsula Community Plan area;

WHEREAS, the project site is legally described as Lot 15 in Block N of Azure Vista, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1981, filed in the Office of the County Recorder of San Diego County, January 4, 1927;

WHEREAS, on December 6, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 12, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3282802 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3282802:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located over 115 feet east of the Pacific Ocean in an urbanized area within the Peninsula Community Plan area (Community Plan). The project site is not located between the sea and the first public roadway and there is no public view or coastal access from the project site, as identified in the Community Plan. The project complies with the community goals regarding public view preservation and enhancement since the project complies with the RS-1-7 Zone development regulations for building height (23 feet) which does not exceed the 30-foot height limit, density, setbacks, and floor area ratio (.33) that is below the maximum (.54) allowed. No deviations or variations are required. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is vacant and surrounded by residential development and the Sunset Cliffs Boulevard public right-of-way. The project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multi Habitat Planning Area. A biology report prepared for the site determined that there are no impacts to environmentally sensitive lands. Additionally, the project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small

Structures). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project complies with the RS-1-7 Zone development regulations for building height (23 feet) which does not exceed the 30-foot height limit, density, setbacks, and floor area ratio (.33) that is below the maximum (.54) allowed. No deviations or variations are required. The Community Plan designates the site as low density residential (5-9 dwelling units per acre), and the development of a single dwelling unit on the vacant single lot is consistent with the prescribed density.

The project is consistent with the Community Plan objectives of creating housing opportunities for persons of all income levels and conserving the character of the existing stable single-family neighborhoods throughout the Peninsula Community Plan area including the very low-density character of certain neighborhoods. The project complies with these Community Plan objectives by developing an underutilized vacant site into a single dwelling unit, a land use that is supported by the Community Plan. The project is also consistent with the Community Plan objective of encouraging a design compatible with the existing residential development in all new infill housing. The project complies with this Community Plan objective by providing an architectural design that does not adversely impact the community character and is compatible with the bulk and scale of the surrounding neighborhood.

Additionally, the project site is not located between the sea and the first public roadway and there is no public view or coastal access from the project site, as identified Community Plan. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located between the nearest public road and the sea or the shoreline of any body of water. The project will be developed entirely within private property and will not adversely impact public access or any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT-3282802 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT-3282802, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on February 12, 2025

IO#: 24009870

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009870

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3282802
741 SUNSET CLIFFS BOULEVARD: PRJ-1105619
HEARING OFFICER

This Coastal Development Permit No. PMT-3282802 is granted by the Hearing Officer of the City of San Diego to LOUISE MASON and CHRISTOPHER MASON, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.25-acre vacant site is located at 741 Sunset Cliffs Boulevard in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Parking Impact (Beach and Coastal) Overlay Zone, Airport Land Use Compatibility Overlay Zone (ALUCOZ) and Airport Influence Area (San Diego International Airport Review Area 2 and Naval Air Station North Island Review Area 2) within the Peninsula Community Plan area. The project site is legally described as: Lot 15 in Block N of Azure Vista, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1981, filed in the Office of the County Recorder of San Diego County, January 4, 1927.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new single dwelling unit on a vacant single lot as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 12, 2025, on file in the Development Services Department.

The project shall include:

- a. Constructing a two-story 2,339-square-foot single dwelling unit with detached 960-square-foot garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 28, 2028.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA) for the sidewalk underdrain, landscaping and irrigation within the public right-of-way, satisfactory to the City Engineer.

13. The project proposes to export 50 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book") 2024 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with a City standard curb and gutter, adjacent to the site on Sunset Cliffs Boulevard as shown on the Exhibit A, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of uplifted sidewalk panels with a City standard sidewalk, adjacent to the site on Sunset Cliffs Boulevard as shown on the Exhibit A, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the reconstruction of the asphalt alley pavement with a City standard concrete alley adjacent to the site as shown on Exhibit A, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction Best Management Practices (BMP) Standards Chapter 4 of the City's Storm Water Standards.
19. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001 or subsequent order, and the current version of the City of San Diego Stormwater Standards Manual.
22. Development of this project shall comply with all stormwater construction requirements of the current version of the City of San Diego Stormwater Standards Manual.

PLANNING/DESIGN REQUIREMENTS:

23. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 12, 2025, and [Approved Resolution Number].

Coastal Development Permit No. PMT-3282802
February 12, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

OWNER/PERMITTEE

By _____
LOUISE MASON

OWNER/PERMITTEE

By _____
CHRISTOPHER MASON

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	<h1>Community Planning Committee Distribution Form</h1>
	Project Name: 741 Sunset Cliffs Blvd	Project Number: PRJ-1105619
Community: Peninsula		
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: October 17, 2024
# of Members Yes 13	# of Members No 0	# of Members Abstain 0
Conditions or Recommendations: None		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: Eric H Law		
TITLE: Chair, Project Review Committee		DATE: October 21, 2024

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



THE CITY OF SAN DIEGO

DATE OF NOTICE: December 6, 2024

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009870

PROJECT NAME / NUMBER: 741 Sunset Cliffs Boulevard / PRJ-1105619

COMMUNITY PLAN AREA: Peninsula

COUNCIL DISTRICT: 2

LOCATION: 741 Sunset Cliffs Boulevard, San Diego CA 92107

PROJECT DESCRIPTION: Coastal Development Permit to construct a single dwelling unit on a vacant, undeveloped lot at 741 Sunset Cliffs Boulevard. The single-dwelling unit would be a two-story, 2,339 square-foot structure with a detached 960 square-foot garage. The 0.25-acre lot is zoned Residential – Single Unit (RS-1-7) and designated as Residential – Single Family in the Peninsula Community Plan. The project is also within the following overlays: Complete Communities Mobility Choices, Airport Land Use Compatibility Overlay Zone, Coastal Height Limit Overlay Zone, Coastal Overlay Zone, Parking Impact Overlay Zone, Affordable Housing Parking Demand, ALUCP Airport Influence Area, FAA Part 77 Noticing Area, and Very High Fire Hazard Severity Zone, within Council District 2. **LEGAL DESCRIPTION:** Lot 15, Block N, Map No. 1981.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303, New Construction or Conversion of Small Structures.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303, New Construction or Conversion of Small Structures. CEQA Section 15303 allows for the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The legal parcel is allowed a maximum of one single-family residence, or a second dwelling unit in a residential zone. The project is proposing to construct a single-family residence on

a vacant lot; this would not exceed the maximum limit for the parcel. The vacant, undeveloped lot is located within an urbanized area and does not support any native habitats or sensitive biological resources as defined by the City's Biological Resources Guidelines and Environmentally Sensitive Lands Regulations. The exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment was identified; the project is not adjacent to a scenic highway; lastly, the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

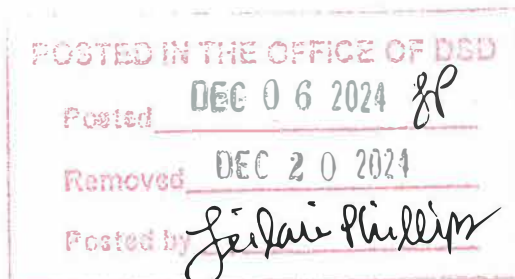
DEVELOPMENT PROJECT MANAGER: Xavier Del Valle
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 557-7941 / XDelValle@sandiego.gov


On December 6, 2024 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (December 20, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Lot 15, Block N, Map 1981, San Diego, CA **Project No. For City Use Only:** PRJ-1105619
Project Address: Lot 15, Block N, Map 1981, San Diego CA

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Louise Mason & Christopher Mason Owner Tenant/Lessee Successor Agency
 Street Address: 5034 Long Branch Ave
 City: San Diego State: CA Zip: 92107
 Phone No.: 619.806.1837 Fax No.: _____ Email: chris@chrismason.com
 Signature: _____ Date: 10/01/2023
 Additional pages Attached: Yes No

Applicant

Name of Individual: CHRIS NIRSCHL AGENT Owner Tenant/Lessee Successor Agency
 Street Address: 776 LAGUNA DR.
 City: CARLSBAD State: CA Zip: 92008
 Phone No.: 303-818-9551 Fax No.: _____ Email: NIRSCHL77@COMCAST.NET
 Signature: _____ Date: 11-20-23
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development_services.
 Upon request, this information is available in alternative formats for persons with disabilities.

REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map 1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschl
766 Laguna Drive
Carlsbad, CA 92008
303-818-9551

Earthwork Quantities Table:

Cut Quantities: 194 cubic yards (Per Geotechnical Recommendations)
 Fill Quantities: 96 cubic yards (Per Geotechnical Recommendations)

Remaining Cut Quantities: 98 cubic yards (not used for fill)
 Quantities Used On-Site: 48 cubic yards (to be used to slope away from structures)
 Export: 50 cubic yards (Export organic and unused soil and debris from site)

Import: 26 cubic yards (Import sand for under slab prep)

Max Cut Depth: 60"
 Max Fill Depth: 24"

The project proposes to export approximately 50 cubic yards of excess and organic debris laced soil necessary to complete the proposed work. If necessary any export material shall be discharged to a legal disposal site. The approval of this project does not allow processing and sale of the material, all such activities require a separate Conditional Use Permit.

Attached Geotechnical Investigation from Christian Wheeler Engineering:

Includes: Coastal Bluff Edge Distances to Property Line.
 Includes: Coastal Bluff Stability and Retreat Analysis.
 Includes: Recommended Grading and Drainage Specifications.
 Includes: Recommended Foundation and Retaining Wall Specifications.
 Includes: Seismic and Fault Line Design and Hazard Analysis.
 Includes: Geologic Cross Sections of Site and Bluff.
 Includes: Photographic Timeline of Site and Bluff Overview.

Compliance Code Requirements:

The 2022 edition of the California Residential Code (CRC) applies:
 All work to conform to 2022 CBC, 2022 CRC, 2022 CGBSC, CPC, and 2022 Green Code. Per 2022 CGBSC Sec 4.303.2 plumbing fixtures (water closets and urinals) and fittings (faucets and shower heads) shall be installed in accordance with the California Plumbing Code (CPC) and table 1401.1 of the CPC. All plumbing fixtures and fittings will be water conserving and will comply with the 2022 CGBSC Sec 4.303.1.

General Site Notes:

- Total Disturbed Area: Approximately 9,834 square feet
- Existing Grade to be unchanged and maintained except as necessary to create slope away from structures.
- Stormwater runoff to be directed to landscaped areas before being discharged to the public.

Floor Area Ratio For Proposed (FAR) Total:

- Total finished covered deck area: 332 square feet
- Proposed detached (3) car garage: 960 square feet
- Proposed first and second floors finished home: 2,339 square feet

Total proposed FAR: 3,631 square feet
 Total Lot size: 10,917 square feet
 Total proposed FAR ratio: 33% (Allowable is 54%)

Impervious Area Tabulations:

Proposed Additions Plus Existing Impervious Area:

- Total Site area: 10,838 square feet
- Total Disturbance area: 9,834 square feet
- Existing Impervious area: 0 square feet
- Existing Pervious area: 10,838 square feet
- Proposed Impervious area from project: 3,612 square feet
- Proposed Pervious area from project: 6,222 square feet

Total Proposed New Site Impervious area: 3,612 Square Feet
 Total Proposed New Site Pervious area: 7,226 Square Feet

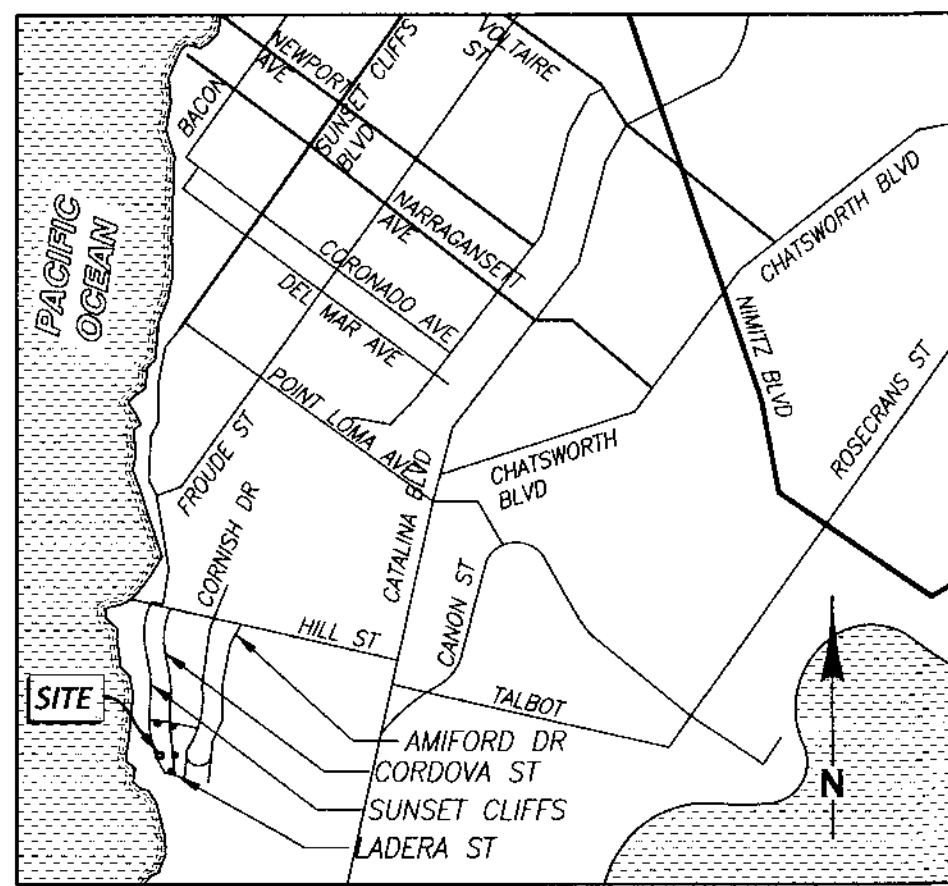
Site Disturbance Area:

New building areas:

- House footprint: 2,339 square feet
- Garage footprint: 960 square feet
- Foundation excavation and backfill area: 660 square feet
- New hardscape/concrete area: 1,253 square feet
- Area disturbed on site necessary to complete project work not already accounted for above: 4622 square feet

Total: 9,834 Square Feet

All stormwater runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain systems



VICINITY MAP

THOMAS BROS. MAP 1287-H3
 NO SCALE

Environmentally Sensitive Lands (ESL), Fire, Geology, Hydrology:

- Preliminary Review: ESL not applicable on this site
- Flood Hazard Area: Zone X, Area of Minimal Flood Hazard
- Very High Fire Hazard Severity Zone: (VHFSZ)
- Geologic Hazard Category: Category 43 and 52
- Hydrology Watershed: PUEBLO San Diego, Subarea: Point Loma
- School District: San Diego Unified

Easements, Transit Stops:

- There are no existing or proposed easements on this site
- There are no existing or proposed transit stops adjacent to this site

Landscape Area (For water conservation purposes):

- Total landscaped area: 5,028 Square Feet
 - Plant area (Native vegetation): 1,567 Square Feet
 - Xeriscape areas (Beach stone): 1,840 Square Feet
 - Vegetable garden: 504 Square Feet
 - Trees, shrubs, and ground covers: 1,117 Square Feet

Scope of Work For Proposed New Home:

Proposed Home: 2,339 Square Feet

- Proposed first floor: 798 square feet.
- Proposed second floor: 1,541 square feet.

Proposed Highest Finished Point: 23 Feet (Per SDMC Section 132.05.05)

- Proposed (2) main level decks: 240 and 332 square feet.
- Proposed detached single story garage: 960 square feet.
- Proposed roof deck: 258 square feet.

General Site Notes:

- Total Disturbed Area: Approximately 5,212 square feet
- Existing Grade to be unchanged and maintained
- Stormwater runoff to be directed to landscaped areas before being discharged to the public.

Project Sheet Index:

A-1: Title Sheet and General Notes
 A-2: Site Plan
 C.1: Drainage Plan by Coffey Engineering
 A-3: First Floor & Roof Deck Floor Plans
 A-4: Second Floor Level Floor Plan
 A-5: West Elevation
 A-6: North Elevation
 A-7: South Elevation
 A-8: East Elevation
 A-9: East to West Sections, Section 1
 A-10: North to South Sections, Section 2 and 3

Project Information:

Project Owners:
 Chris and Louise Mason
 5034 Long Branch Avenue
 San Diego, CA, 92107
 (619) 806-1837

Owner's Agent and Designer:
 Chris Nirschl
 (303) 818-9551

Soils Engineers:
 Christian Wheeler Engineering
 David Russel
 (619) 550-1721

Surveyor:
 Jennings Land Surveying
 Paul Jennings
 (619) 933-1981

Civil Engineer:
 Coffey Engineering Inc
 Michael Rein
 (858) 831-0111

Biological Consultant
 Vince Scheidt
 (858) 336-7106

Project Address:
 741 Sunset Cliffs Blvd, San Diego, CA, 92107

Legal Description:
 Lot 15, Block N, Map 1981

APN: 532-010-06-00

Lot Area: 10,917 Square Feet
 Year Built: Empty Lot

Parcel and Site Location Information:

- City Council District 2
- City Owned Parks: Sunset Cliffs Natural Park
- Community Plan Area: Peninsula
- Base Zone Designation: OP-1-1
- Non-sprinkled
- Construction Type: V-B
- Occupancy Group: R-3
- Zone: RS-1-7

Overlay Zones:

- Airport Land Use Compatibility Overlay Zone (ALUCOZ):
 - NAS (North Island)
 - San Diego International Airport
- Coastal Height Limit (30 feet)
- Coastal Overlay Zone: CST-APP
- Coastal Overlay Zone: First Public Roadway (COZFPR)
- Parking Impact Overlay Zone (PIOZ):
 - PIOZ COASTAL IMPACT
 - PIOZ BEACH IMPACT
- Sensitive Coastal Overlay Zone (SCOZ): SCOZ-CB

Airports:

- San Diego International Airport: Review area 2
 - Lindbergh Field 185 to 190 ft above sea level at 17,000 to 17,500 ft horizontal distance from runway
 - Lindbergh Field 180 to 185 ft above sea level at 17,000 to 17,500 ft horizontal distance from runway

- North Island NAS Airport: Review area 2
 - North Island NAS 161 to 166 ft above sea level at 13,500 to 14,000 ft horizontal distance from runway

- North Island NAS 166 to 171 ft above sea level at 14,000 to 14,500 ft horizontal distance from runway

Highest elevation point of proposed new residential structure is 99 feet elevation above sea level so above restrictions do not apply.

Date

Scale

Drawn

Job

SITE INFORMATION

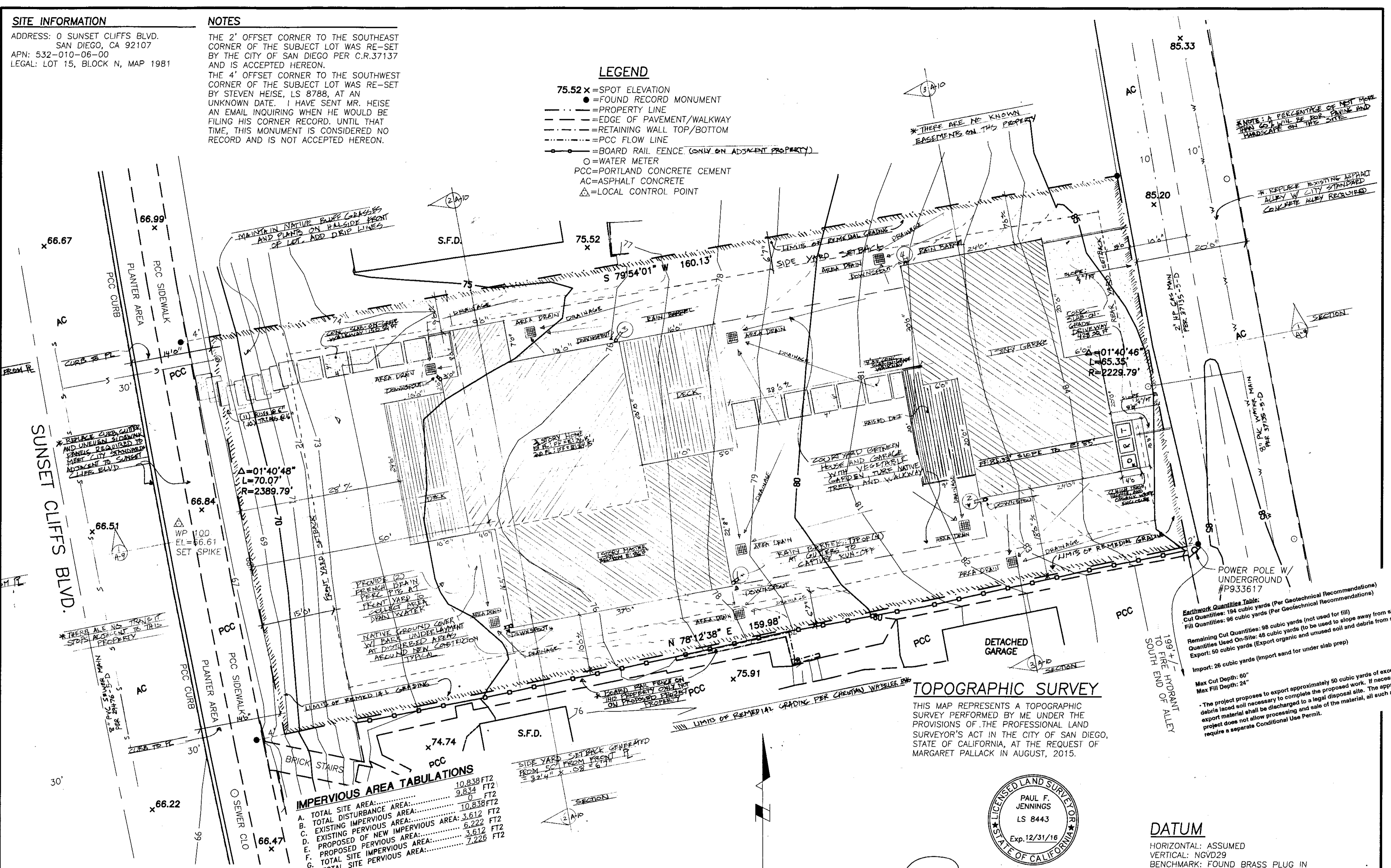
ADDRESS: 0 SUNSET CLIFFS BLVD.
 SAN DIEGO, CA 92107
 APN: 532-010-06-00
 LEGAL: LOT 15, BLOCK N, MAP 1981

NOTES

THE 2' OFFSET CORNER TO THE SOUTHEAST CORNER OF THE SUBJECT LOT WAS RE-SET BY THE CITY OF SAN DIEGO PER C.R.37137 AND IS ACCEPTED HEREON.
 THE 4' OFFSET CORNER TO THE SOUTHWEST CORNER OF THE SUBJECT LOT WAS RE-SET BY STEVEN HEISE, LS 8788, AT AN UNKNOWN DATE. I HAVE SENT MR. HEISE AN EMAIL INQUIRING WHEN HE WOULD BE FILING HIS CORNER RECORD. UNTIL THAT TIME, THIS MONUMENT IS CONSIDERED NO RECORD AND IS NOT ACCEPTED HEREON.

LEGEND

- 75.52 x = SPOT ELEVATION
- = FOUND RECORD MONUMENT
- = PROPERTY LINE
- - - = EDGE OF PAVEMENT/WALKWAY
- - - = RETAINING WALL TOP/BOTTOM
- - - = PCC FLOW LINE
- = BOARD RAIL FENCE (ONLY ON ADJACENT PROPERTY)
- = WATER METER
- PCC = PORTLAND CONCRETE CEMENT
- AC = ASPHALT CONCRETE
- △ = LOCAL CONTROL POINT



IMPERVIOUS AREA TABULATIONS

A. TOTAL SITE AREA:	10,838 FT ²
B. TOTAL DISTURBANCE AREA:	9,834 FT ²
C. EXISTING IMPERVIOUS AREA:	10,838 FT ²
D. EXISTING PERVIOUS AREA:	3,612 FT ²
E. PROPOSED PERVIOUS AREA:	3,612 FT ²
F. TOTAL SITE IMPERVIOUS AREA:	7,226 FT ²
G. TOTAL SITE PERVIOUS AREA:	3,612 FT ²

TOPOGRAPHIC SURVEY

THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY ME UNDER THE PROVISIONS OF THE PROFESSIONAL LAND SURVEYOR'S ACT IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, AT THE REQUEST OF MARGARET PALLACK IN AUGUST, 2015.



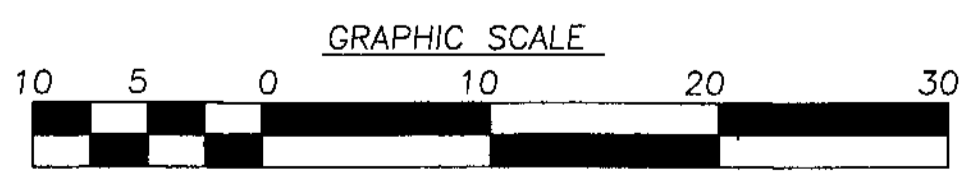
PAUL F. JENNINGS
 MY REGISTRATION EXPIRES ON 12-31-2016

DATUM

HORIZONTAL: ASSUMED
 VERTICAL: NGVD29
 BENCHMARK: FOUND BRASS PLUG IN TOP OF CURB AT NORTHEAST INTERSECTION OF LADERA ST. AND SUNSET CLIFFS BLVD. PER CITY OF SAN DIEGO BENCHMARK BOOK i.e.65.84
 UNITS: US SURVEY FOOT
 CONTOUR INTERVAL: 1 FOOT

Earthwork Quantities Table:
 Cut Quantities: 194 cubic yards (Per Geotechnical Recommendations)
 Fill Quantities: 96 cubic yards (Per Geotechnical Recommendations)
 Remaining Cut Quantities: 88 cubic yards (not used for fill)
 Quantities Used On-Site: 48 cubic yards (to be used to slope away from structures)
 Export: 50 cubic yards (Export organic and unused soil and debris from site)
 Import: 26 cubic yards (Import sand for under slab prep)
 Max Cut Depth: 60"
 Max Fill Depth: 24"
 The project proposes to export approximately 50 cubic yards of excess and organic debris located on-site to complete the proposed work. If necessary any export material shall be discharged to a legal disposal site. The approval of this project does not allow processing and sale of the material, all such activities require a separate Conditional Use Permit.

JENNINGS LAND SURVEYING
 P.O. BOX 376
 PINE VALLEY, CA 91962
 CELL: 619-933-1981
 DATE OF FIELD SURVEY: AUGUST 8, 2015
 BY: P.JENNINGS AND J.REISIG
 DRAWN BY: P.JENNINGS ON AUGUST 10, 2015
 JOB NO: 15-033



Chris & Louise Mason Home: Lot 15, Block N, Map 1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschl
 766 Laguna Drive
 Carlsbad, CA 92008
 908-818-9551

LEGAL DESCRIPTION

LOT 15, BLOCK N, MAP 1981
APN: 532-010-06-00

GRADING NOTES

- ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED TOWARD THE STREET.

IMPERVIOUS AREA TABULATIONS

A. TOTAL SITE AREA:	10,938 FT ²
B. TOTAL DISTURBANCE AREA:	9,834 FT ²
C. EXISTING IMPERVIOUS AREA:	0 FT ²
D. EXISTING PERVIOUS AREA:	10,838 FT ²
E. PROPOSED OF NEW IMPERVIOUS AREA:	3,612 FT ²
F. PROPOSED PERVIOUS AREA:	6,222 FT ²
G. TOTAL SITE IMPERVIOUS AREA:	3,612 FT ²
H. TOTAL SITE PERVIOUS AREA:	7,226 FT ²

NOTES

- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

DRAINAGE NOTES

- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN LEADS TO BE 4" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- HARDSCAPE GRADES TO BE 2% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
- SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 5% MINIMUM AWAY FROM STRUCTURE FOR 10' PER SOILS ENGINEER RECOMMENDATIONS.
- SOIL COVER ABOVE DRAIN LINES SHALL BE 12" MINIMUM UNLESS OTHERWISE NOTED.
- NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GM	GAS METER
A.C.	ASBESTOS CEMENT	H	HIGH
BLK	BLOCK	ICV	IRRIGATION CONTROL VALVE
BRK	BRICK	PLTR	PLANTER
BW	GRADE AT BOTTOM OF WALL	PVMT	PAVEMENT
C	CENTER LINE	SMH	SEWER CLEANOUT
C. CONC	CONCRETE	ST LT	STREET LIGHT
CC&R	CONDITIONS, COVENANTS & RESTRICTIONS	TW	TOP OF WALL ELEVATION
ELEV	ELEVATION	TYP	TYPICAL
FL	FLOW LINE	WM	WATER METER

TRANSIT STOPS

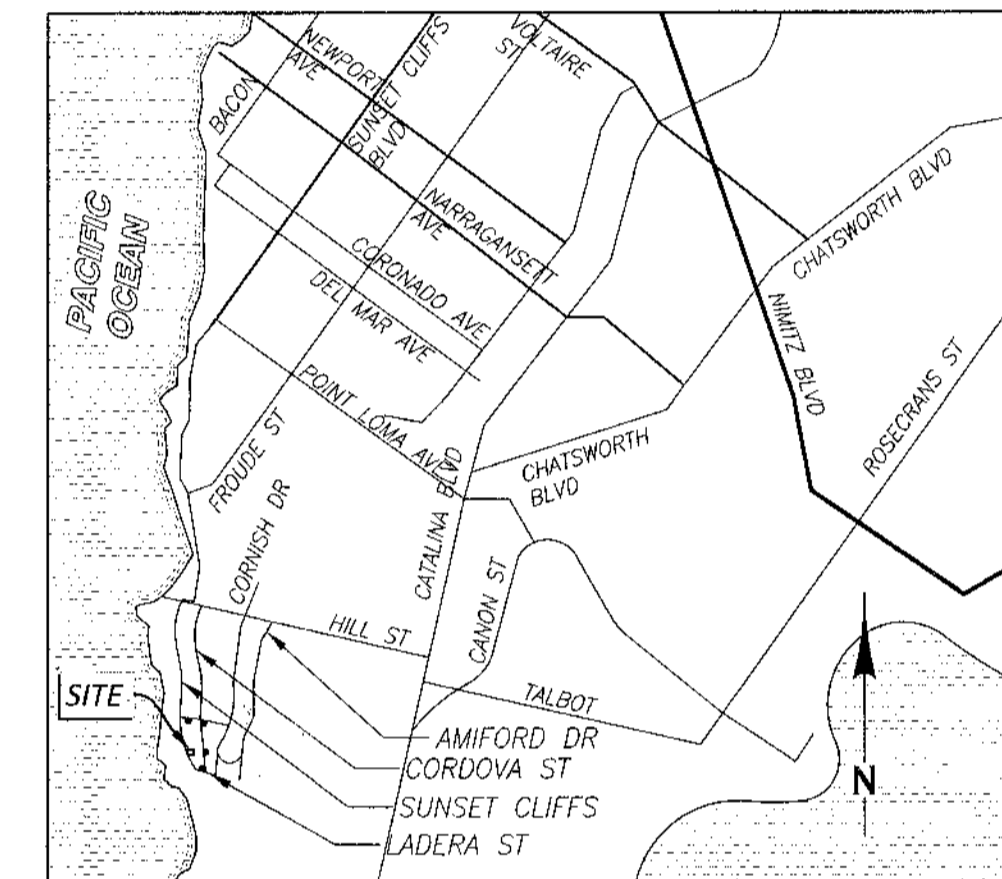
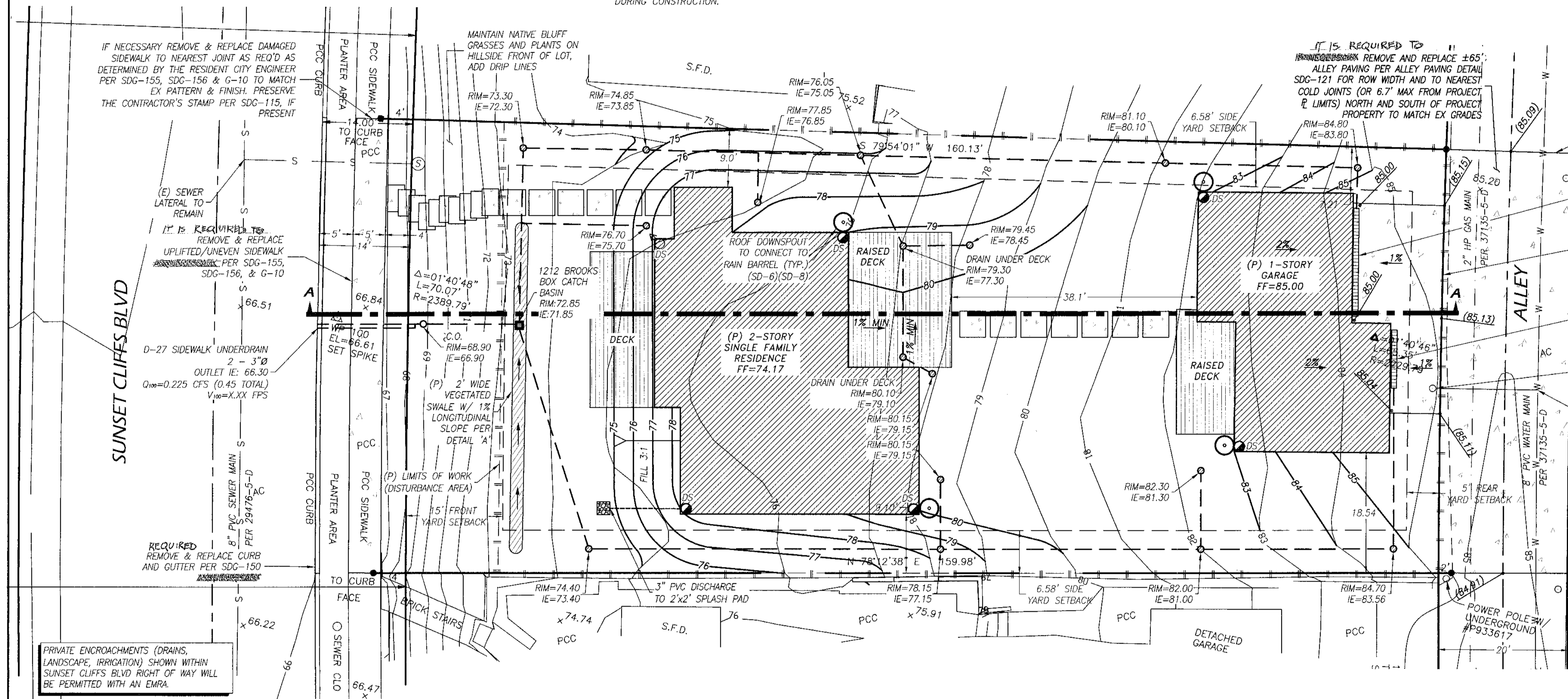
- THERE ARE NO TRANSIT STOPS LOCATED ADJACENT TO THE SUBJECT PROPERTY.

FIRE HYDRANT

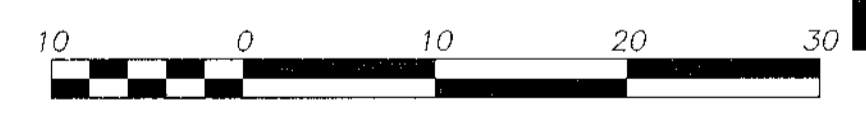
- FIRE HYDRANTS DEPICTED ON VICINITY MAP BELOW ARE LOCATED WITHIN 600' OF THE SUBJECT PROPERTY.

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE (RECORD)	N45°45'45"W	---
PROPERTY LINE - OFFSITE		---
STREET CENTERLINE		---
EASEMENT LINE		---
INDEX CONTOUR		---
PCC CURB		---
SPOT ELEVATION	100.00	+100.00
BUILDING FOOTPRINT		---
PCC PAVING		---
FREE STANDING WALL		---
RETAINING WALL		---
OVERHEAD UTILITIES		OH
POWER POLE		PP
WATER SERVICE		W
SEWER LATERAL		S
TREE; PLANT; PALM		---
BRUSHLINE		---



VICINITY MAP
THOMAS BROS. MAP 1287-H3
NO SCALE



SCALE: 1"=10'

CITY OF SAN DIEGO, CALIFORNIA

SITE DEVELOPMENT PERMIT

MASON HOME

741 Sunset Cliffs Blvd
San Diego, CA 92107

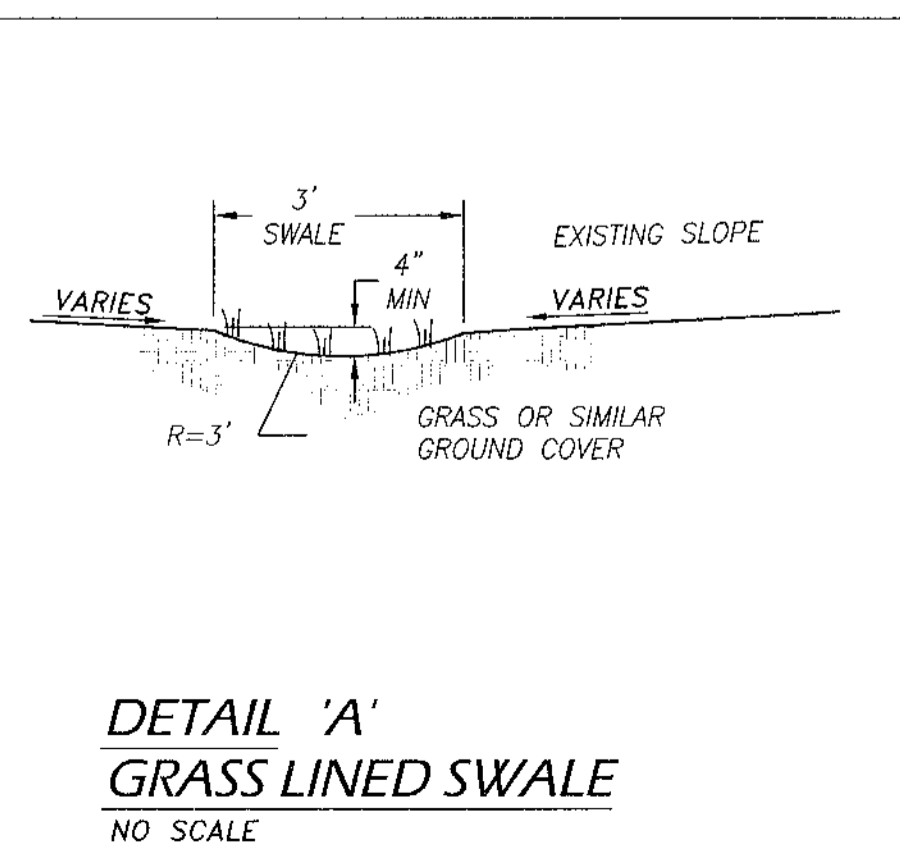
DRAINAGE PLAN

C.1

DRAWN BY: MR

CHECKED BY: MK

SHEET 1 OF 1

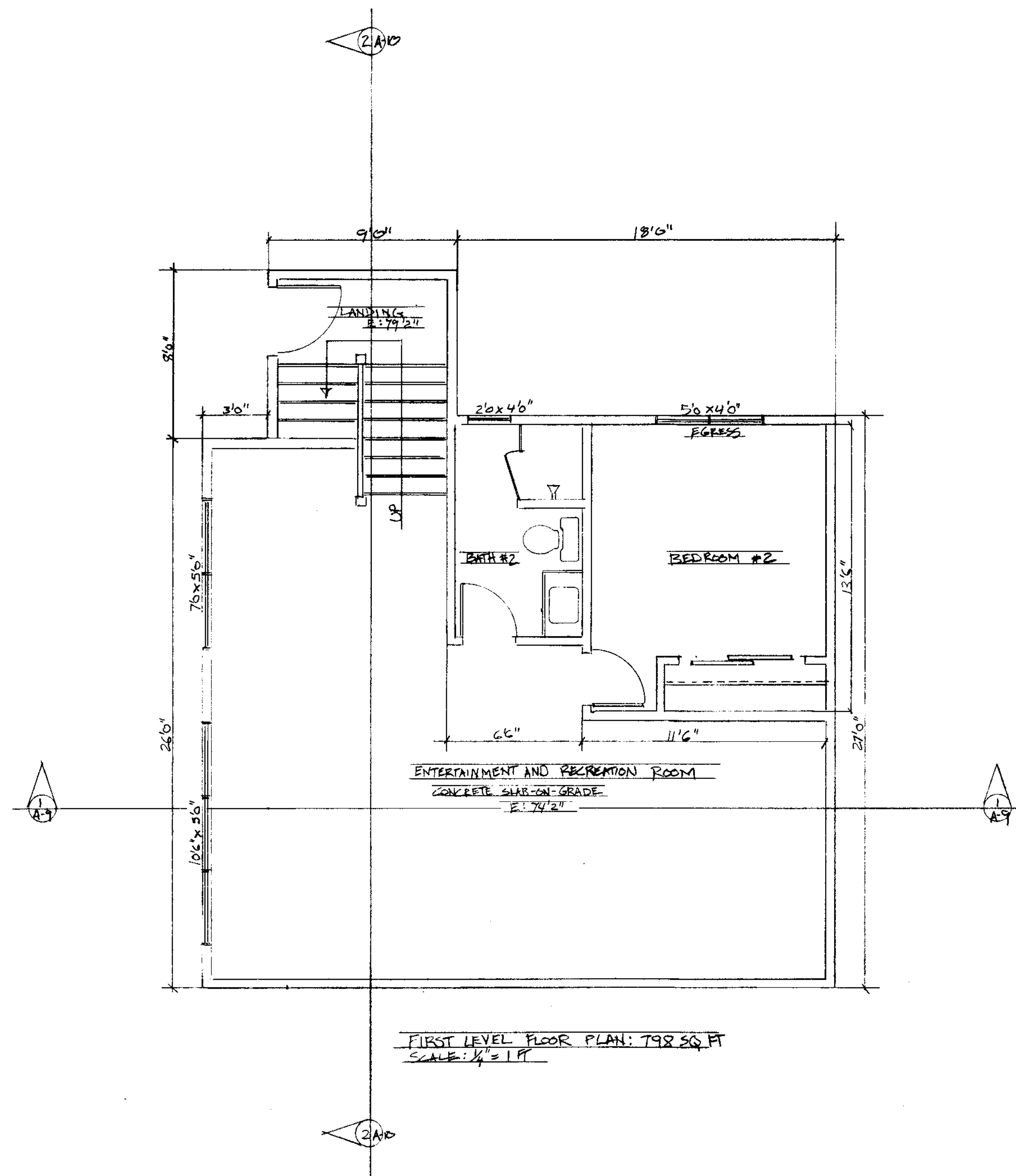


DETAIL 'A'
GRASS LINED SWALE
NO SCALE

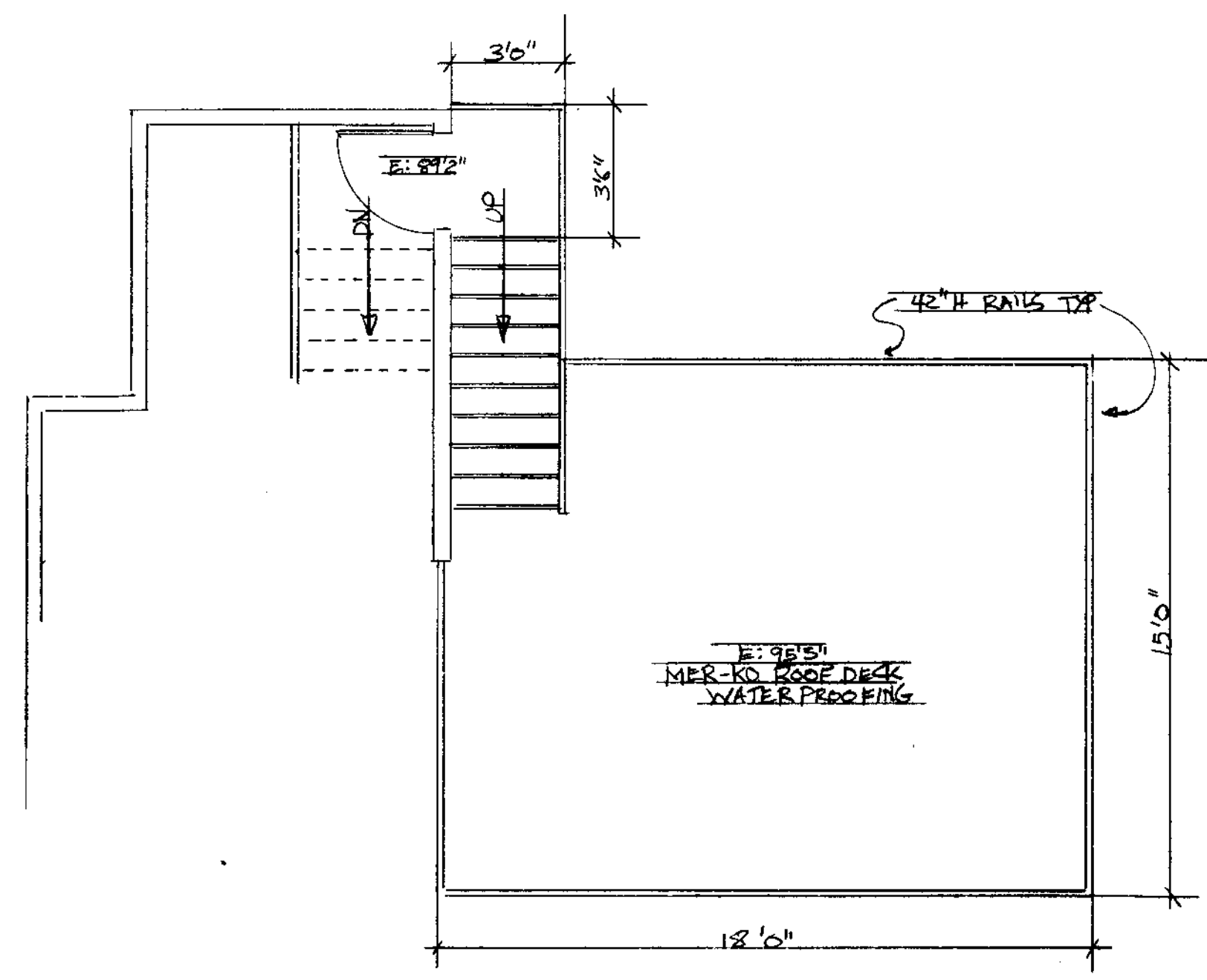
COFFEY ENGINEERING, INC.
9466 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH: (619) 581-0111 FAX: (619) 581-0179

Attachment 9	
REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map
1981, 741 Sunset Cliffs Blvd, San Diego CA 92107



FIRST LEVEL FLOOR PLAN: 798 SQ. FT.
SCALE: 1/4" = 1 FT.



ROOF DECK: 258 SQ. FT.
SCALE: 1/4" = 1 FT.

Design By: Chris Mirschl
766 Laguna Drive
Carlsbad, CA 92008
303-818-9551

Date
Scale
Drawn
Job

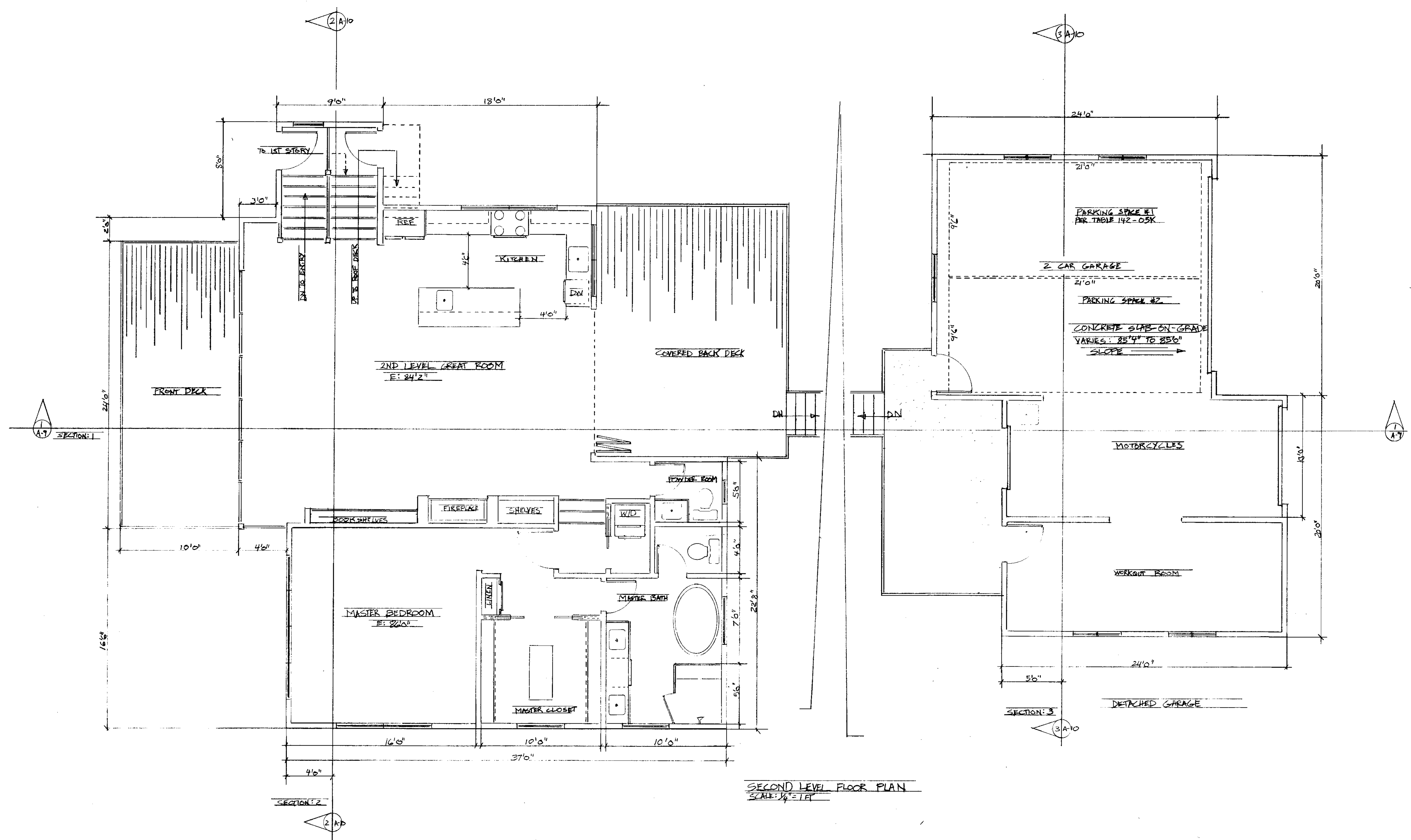
REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map 1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschl
 766 Laguna Drive
 Carlsbad, CA 92008
 303-818-9551

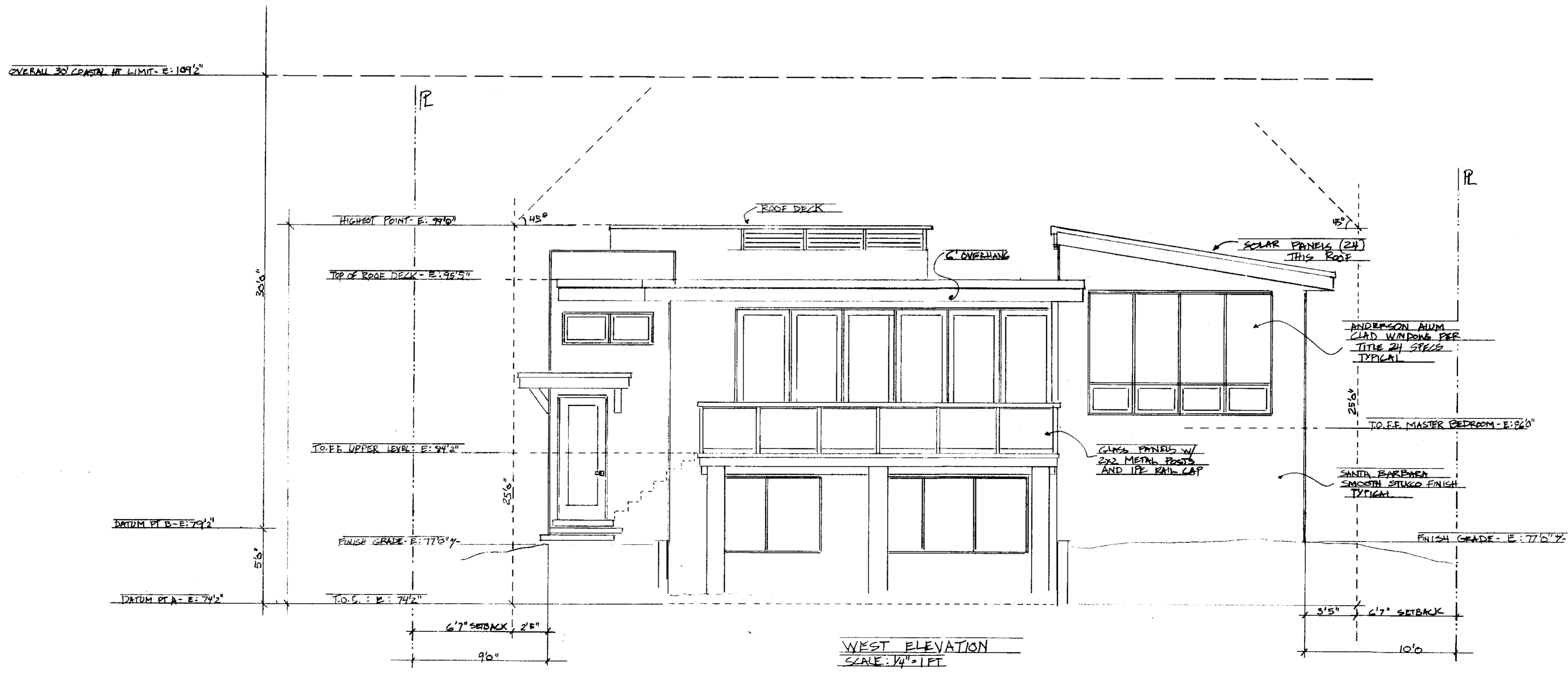
Date
 Scale
 Drawn
 Job

A-4



REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map
1981, 741 Sunset Cliffs Blvd, San Diego CA 92107



Design By: Chris Nirschl
766 Laguna Drive
Carlsbad, CA 92008
303-818-9551

Date
Scale
Drawn
Job

A-5

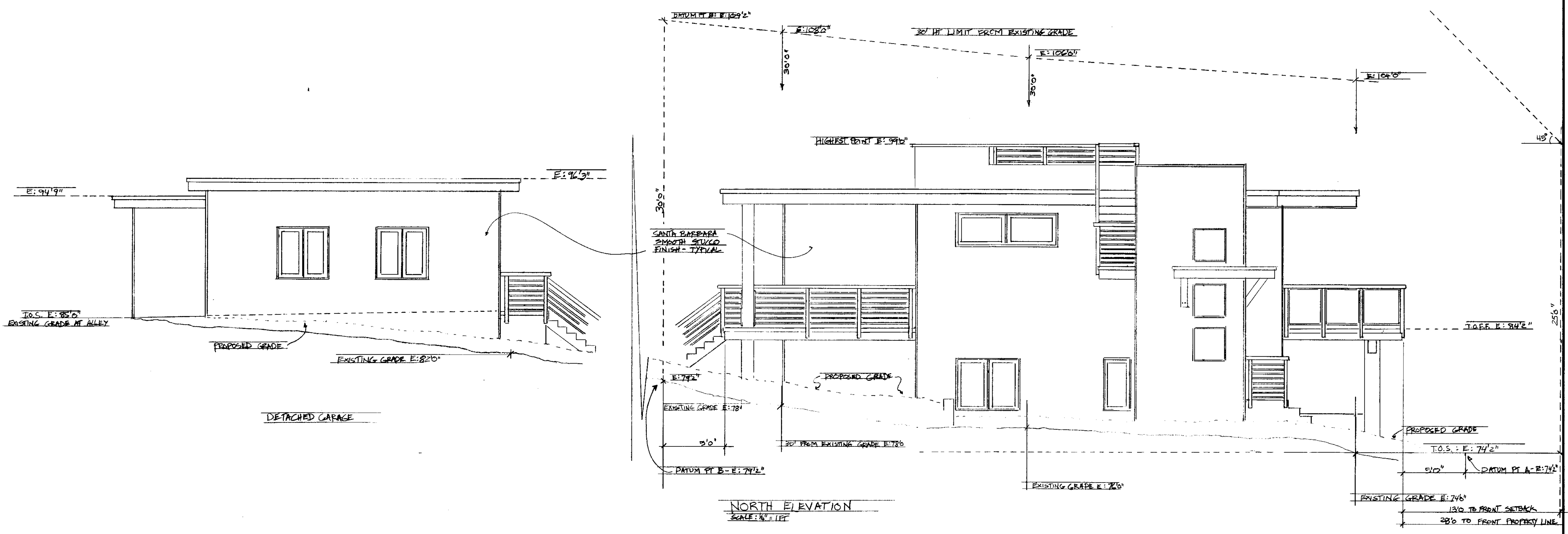
Attachment 9	
REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map
1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschl
766 Laguna Drive
Carlsbad, CA 92008
303-838-9551

Date
Scale
Drawn
Job

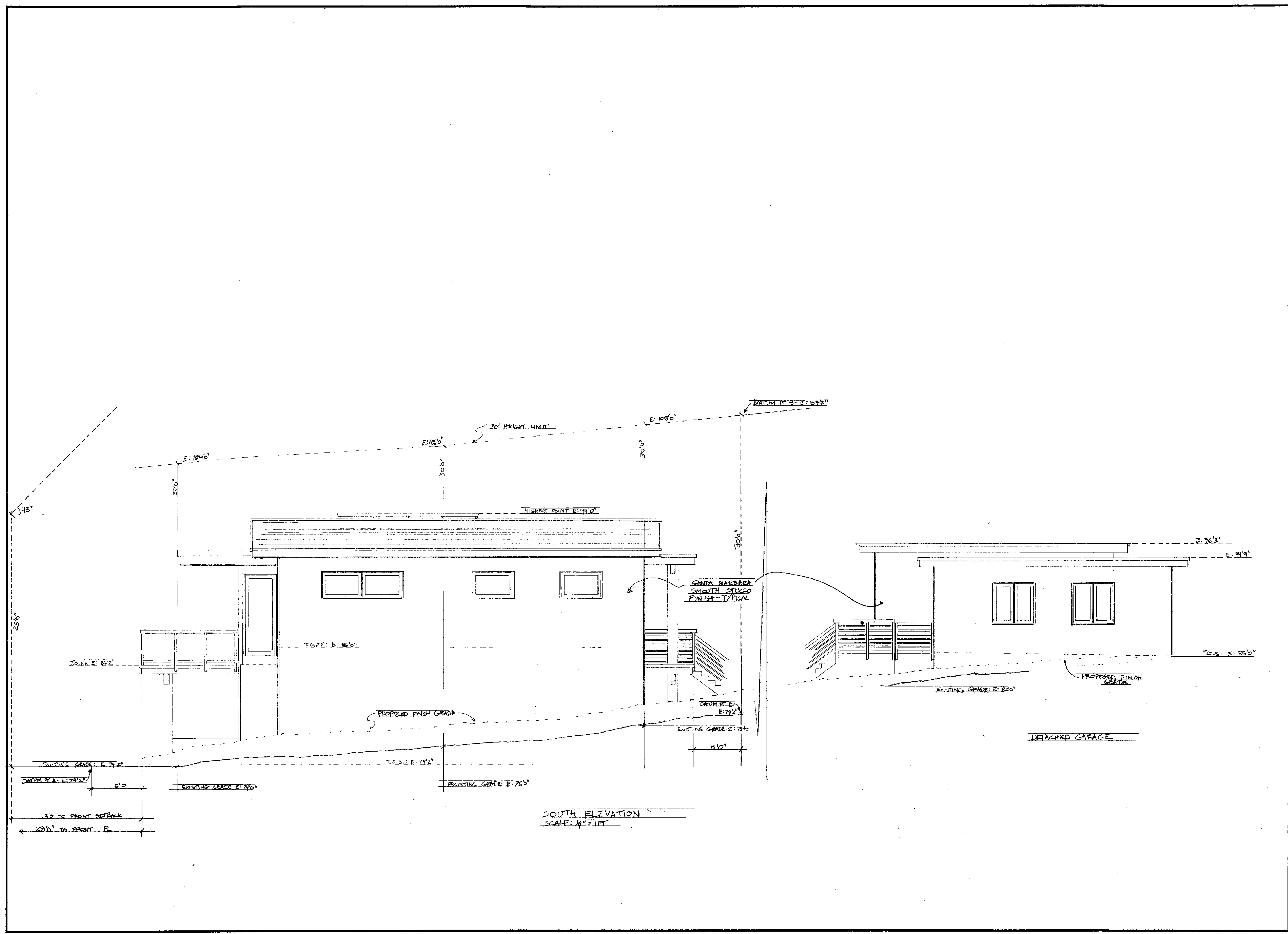
A-6



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map
1981, 741 Sunset Cliffs Blvd, San Diego CA 92107



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Design By: Chris Nirschl
766 Laguna Drive
Carlsbad, CA 92008
303-818-9551

Date
Scale
Drawn
Job

A-7

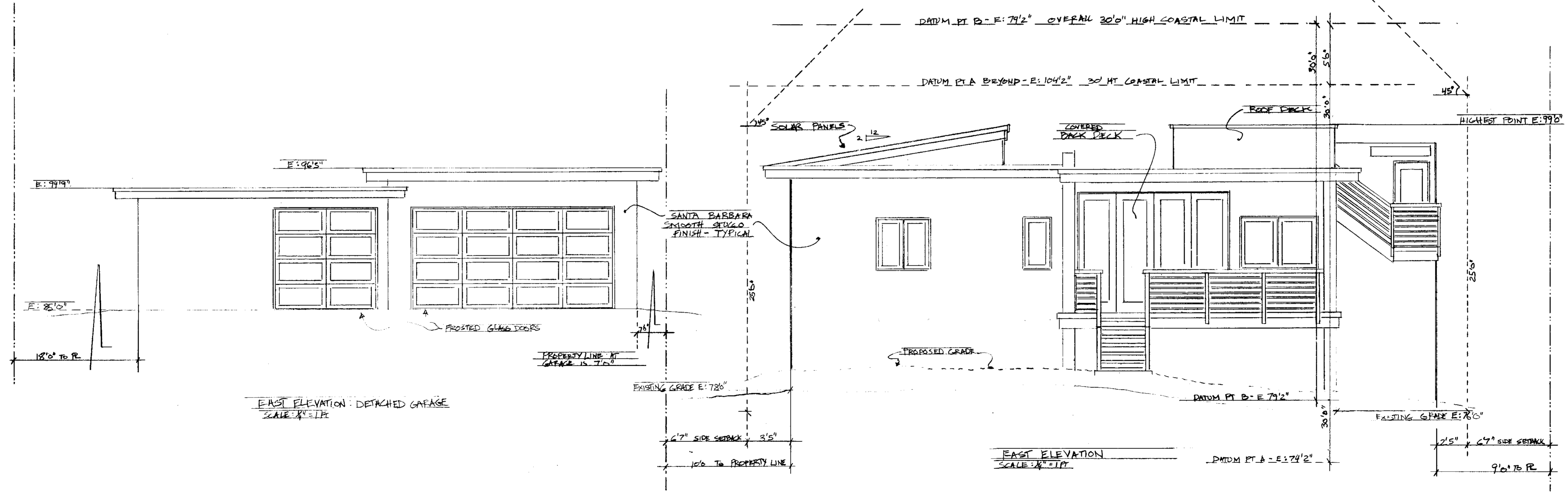
REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map
1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschl
766 Laguna Drive
Carlsbad, CA 92008
303-818-9551

Date
Scale
Drawn
Job

A-8



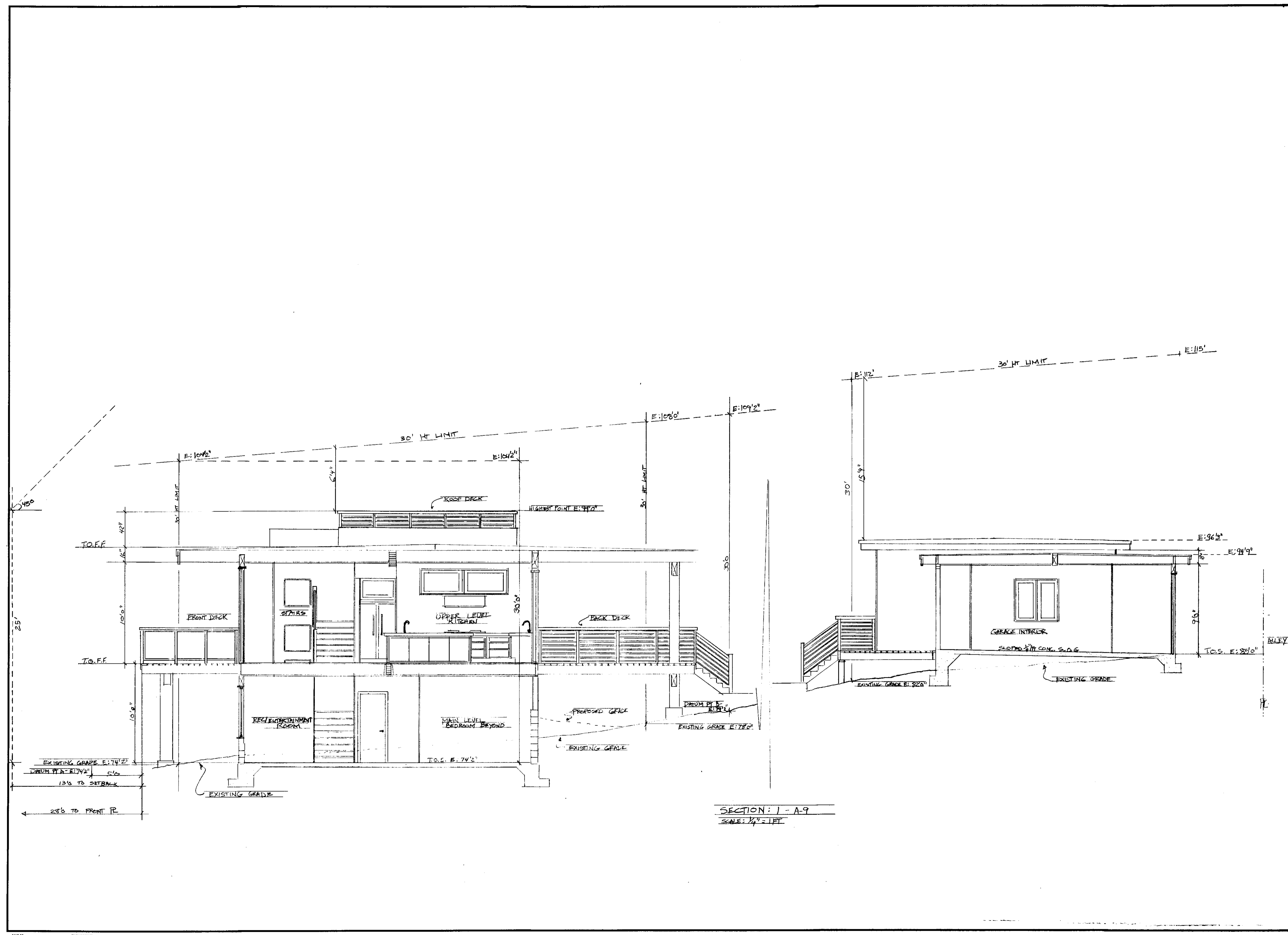
REVISIONS	BY

Chris & Louise Mason Home: Lot 15, Block N, Map
 1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschl
 766 Laguna Drive
 Carlsbad, CA 92008
 303-818-9551

Date
 Scale
 Drawn
 Job

A-9

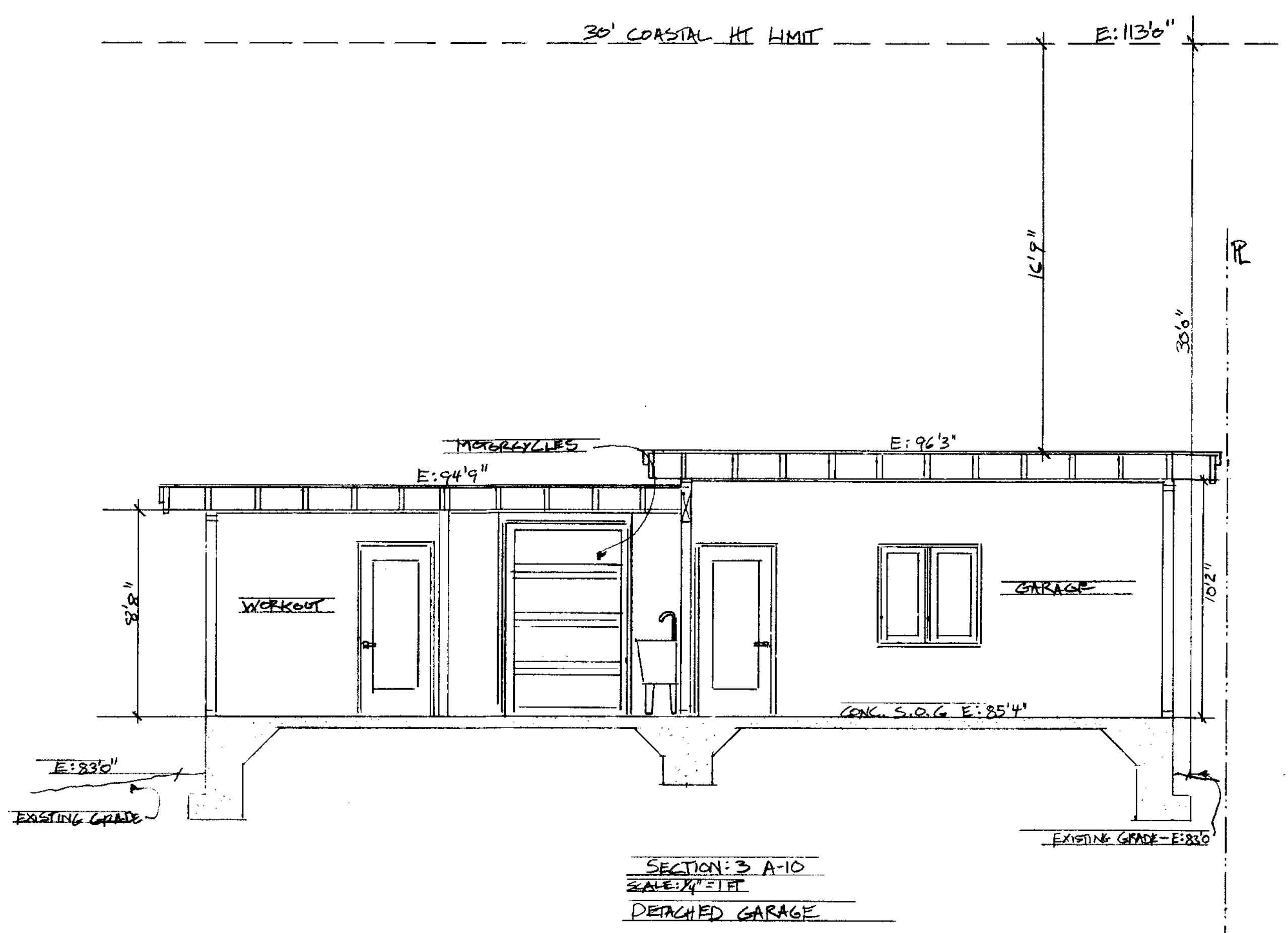


REVISIONS	BY

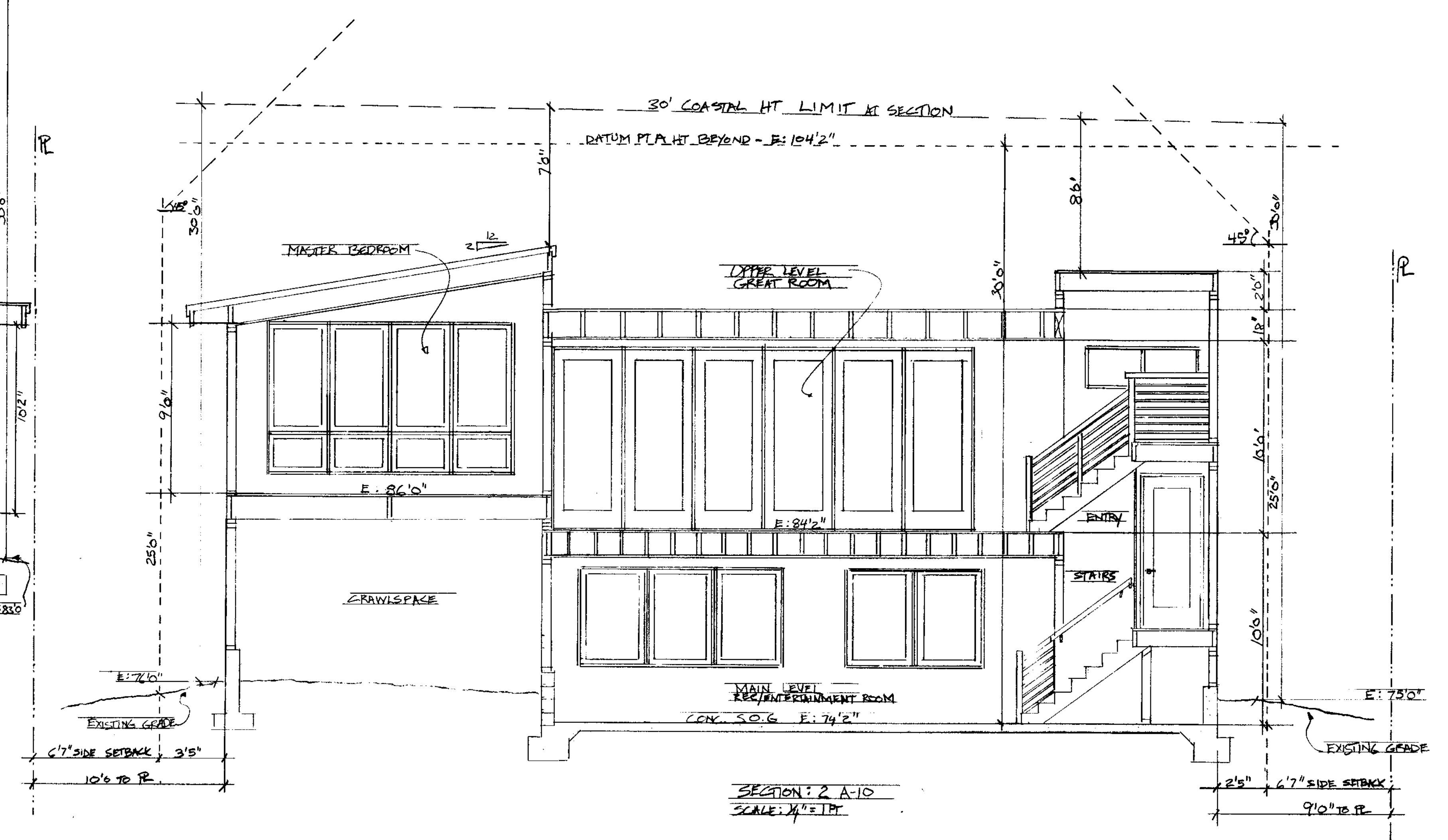
Chris & Louise Mason Home: Lot 15, Block N, Map
1981, 741 Sunset Cliffs Blvd, San Diego CA 92107

Design By: Chris Nirschi
766 Laguna Drive
Carlsbad, CA 92008
303-818-9551

Date
Scale
Drawn
Job



SECTION: 3 A-10
SCALE: 3/4" = 1'-0"
DETACHED GARAGE



SECTION: 2 A-10
SCALE: 3/4" = 1'-0"
HOUSE