



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: JANUARY 29, 2025 REPORT NO. HO-25-004

HEARING DATE: FEBRUARY 12, 2025

SUBJECT: ROMERO DRIVE SINGLE DWELLING UNIT  
PROCESS THREE DECISION

PROJECT NUMBER: [PRJ-1112271](#)

OWNER/APPLICANT: RAJESH MEHTA / BRIAN YAMAGATA

### SUMMARY

**Issue:** Should the Hearing Officer approve a Coastal Development Permit and a Variance to construct a new two-story single dwelling unit on a vacant 17,646 sf lot located at the [southeast end of Romero Drive](#) within the [La Jolla Community Planning](#) area?

### Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3279062, and Variance No. PMT-3279063.

### Fiscal Considerations:

All costs associated with the processing of the application are recovered through a fee paid for by the applicant.

### Community Planning Group Recommendation:

The applicant has chosen not to present and obtain a recommendation from the La Jolla Community Planning Association.

### Environmental Impact:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 10, 2024, and the opportunity to appeal that determination ended September 24, 2024.

## BACKGROUND

The 0.40 -acre site is located at the southwest terminus of Romero Drive, also known as Assessor's Parcel Number 352-261-04-00 in the Residential-Single Unit (RS) 1-4 zone, Coastal Overlay (non-appealable) Zone, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone, Brush Management, and Very High Fire Hazard Severity Zone of the La Jolla Community Planning area.

The site is located approximately 0.45 miles north of the throughfare, Nautilus Street, approximately 1.3 mile east of the Interstate 5 Freeway, 0.75 miles south of Torrey Pines Road, and 1.4 miles east of the Pacific Ocean.

The project site is currently a vacant 17,646 sf lot comprised of existing manufactured slopes. A zoning analysis revealed the potential for Steep Hillside to be present, but the Geotechnical Report, dated April 2, 2024, reviewed, and accepted by staff, stated that a "subsurface exploration revealed the site is mantled with undocumented fill soil likely associated with the construction of Romero Drive." As such, the project site's manufactured slopes are not steep hillsides as defined by San Diego Municipal Code (SDMC) section 113.0103 and do not require review under the Environmentally Sensitive Lands (ESL) regulations of the SDMC. The western end of the property is mapped as Eucalyptus Woodland, which is a Tier IV habitat type, according to the City of San Diego Land Development Code. Impacts to Tier IV habitat do not require mitigation and do not trigger ESL regulations. There is no other ESL located on the project site, as outlined in the SDMC.



**Figure 1**

Project Description:

The project proposes to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage. The project site consists of existing manufactured slopes that average more than a 25% gradient (Figure 2). Although the project site is surrounded by a larger hillside system that elevates from the Pacific Ocean to the west and up to Mount Soledad to the east, the project site is not a part of the steep hillside system, as noted above, and does not require review under the ESL regulations of the SDMC. This site-specific situation allowed for the legal purchase of a legal lot, with no ESL regulations restricting development. This combination of allowable development on a sloped site, dictated the design of the project, which is described as a two-story, single-dwelling unit, but only has one story visible from Romero Drive (Figure 3).

Variance:

The project requires a variance for a reduction of the front yard setback to four feet where a minimum of six feet is required, pursuant to [SDMC, section 131.0431, Table 131-04D, Footnote 1](#). The site is currently a vacant 17,646 sf lot comprised of existing manufactured slopes that average more than a 25% gradient. The project site contains virtually no flat pad that would allow for development of a single dwelling unit. The site conditions were present and not created by the proposed development. As such, with the exception of the requested setback, the design of the development adheres to the legally presented site conditions. To meet the conditions, the project uses the minimal flat portions of the site at the street frontage, which equates to the four-foot street side setback being provided. Any additional street setback would require the project to be pushed further out over the existing slope, which would require more vertical development on the western portion of the project as the slope continues downward as it extends west. As such, the variance is needed to minimize the vertical encroachment into the slope.

The Community Plan recommendations for Open Space Preservation and Natural Resource Protection, including Hillside Development Guidelines (pg. 50), notes the following:

- *Design structures on slopes to adapt to existing hillside conditions. Avoid the use of standard prepared pads on slopes with grades above 25 percent.*
- *Design structures on hillsides with a 25 percent or greater slope in a manner that does not excessively alter the natural hillside conditions, thereby minimizing the need for cut and fill grading.*

Most critically, the project will not meet the allowable plumb line height limit of 30 feet for the standard 20-foot long by 8-foot-high garage with the required six-foot street setback (Figure 2). Unlike similar development in the area, the finished floor level of the garage cannot be lower than the street level because the property is at the terminus of Romero Drive's storm conveyance system, with a large storm catch basin just beyond the property designed to capture a considerable volume of water runoff. If the project were redesigned to lower the garage to meet the plumb line height limit, it would result in a condition where the garage would be the lowest point prior to the catch basin and would cause the street run off to divert down the driveway to the garage. To avoid this flooding hazard, the finish floor level needs to match or exceed the street level. To meet the

plumbline height limit, under the potential flooding condition, the project will need the four-foot setback, as requested in the variance. For these reasons the variance is appropriate for project approval.

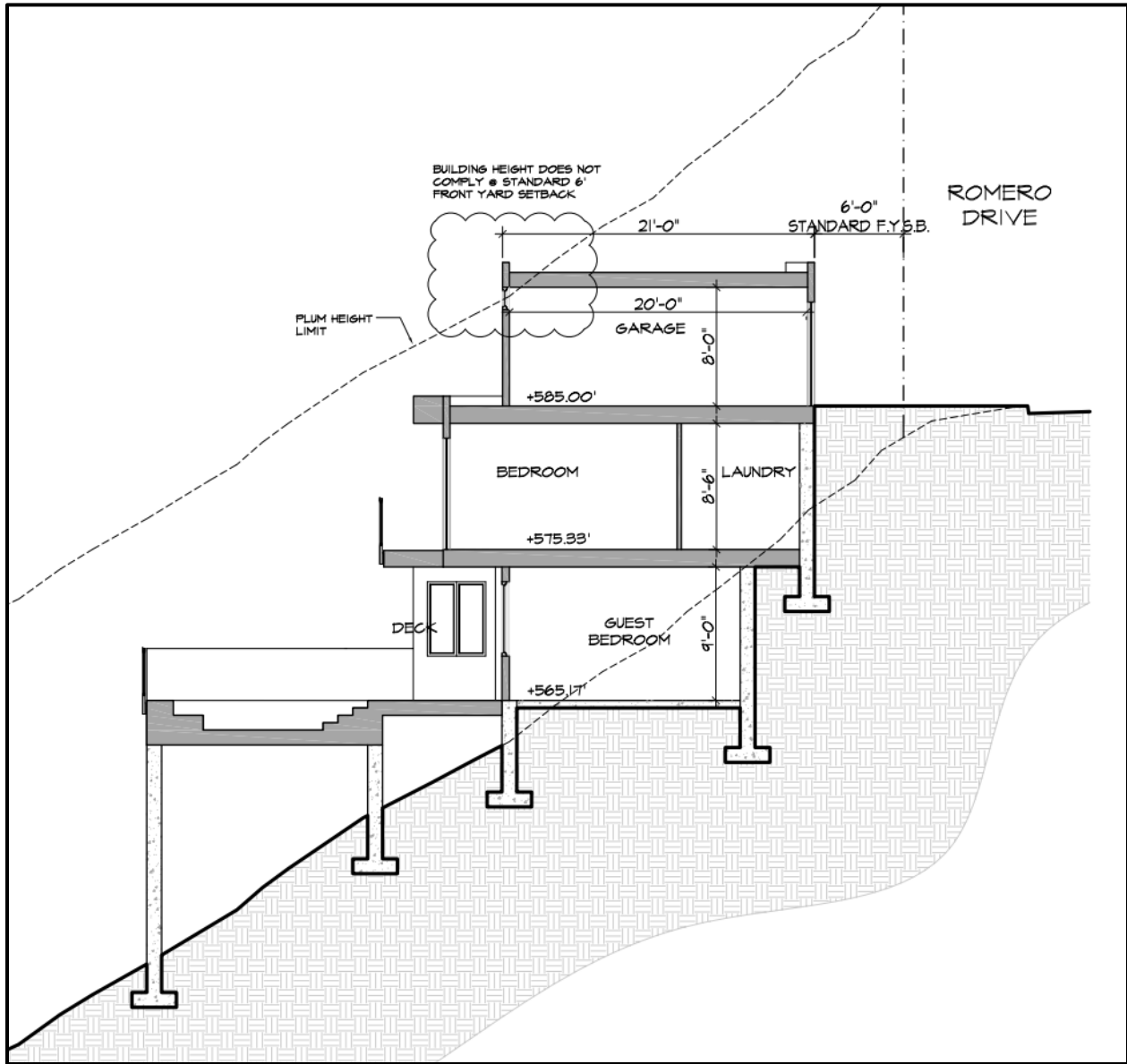


Figure 2



**Figure 3**

Permits Required:

- Pursuant to [SDMC section 126.0702\(a\)](#), the proposed development shall require a Coastal Development Permit (CDP) in accordance with a Process Two; and
- Pursuant to [SDMC section 126.0804](#), the proposed development shall require a Variance in accordance with a Process Three because the applicant is proposing a deviation from the required front setback of 6'-0" (Table 131-04D Footnote 1) to a 4'-0" setback.

Consolidation of Processing regulations (SDMC section 112.0103) mandates that all actions be consolidated and processed at the highest decision level. At this time, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer, with appeal rights to the Planning Commission.

Community Plan Analysis:

The project site is located approximately 1.4 miles east of the Pacific Ocean at the terminus of Romero Drive, a public street. Romero Drive is a fully developed street that does not encroach upon any existing or proposed physical accessways to the coast as identified in Figure 6 (pg. 23) of the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The Community Plan identifies fourteen issues needed to protect community coastal resources (pg. 19). Most of the identified issues are not applicable to the proposed project due to the project's location in a residential area, and the distance of the site to the coast, approximately 1.3 miles to the east. Other issues identified in the Local Coastal Program that could be applicable to the project site are:

- *Environmentally Sensitive Habitat Areas and Marine Resources.*

- As noted in the Project Background, the project site is located on manufactured slopes and does not contain Environmentally Sensitive Lands (ESL). There are no Marine Resources close to the project site.
- *Coastal Bluff, Hillside Development and Preservation.*
  - The project is located on manufactured slopes. The project will not impact ESL, Steep Hillside or Coastal Bluffs. The small Tier IV habitat of Eucalyptus Woodland does not require mitigation. All roof and area drains are designed to flow away from the slope and drain towards the street or are directed into drainage facilities with energy dissipating devices, to prevent slope erosion.
- *Nonpoint Source Pollution in Urban Runoff.*
  - The project incorporates several design strategies to address nonpoint source pollution from urban runoff where feasible, including:
    - Water conserving native plants.
    - Use of permeable paving on the front and rear setbacks.
    - Use of rain sensor shut off devices.
    - High efficiency irrigation system with low precipitation rate sprinkler equipment.
- *Visual Resources.*
  - Figure 9 of the Community Plan (pg. 36) identifies Country Club Drive as a Scenic Overlook (#53), defined as a view over private property from a public right-of-way. The view towards the Pacific Ocean from Country Club Drive is oriented from east to west. The project site is located approximately 700 feet east of Country Club Drive, and at a higher elevation. As such, any westerly views from Country Club Drive to the Pacific Ocean would not be affected or altered in any way due to the proposed project.

Figure 7 of the Community Plan designates the project site as Open Space/Park. While the Community Plan's Goal for Open Space is to, "Protect the environmentally sensitive resources of La Jolla's open areas including its coastal bluffs, sensitive steep hillside slopes, canyons, native plant life and wildlife habitat linkages," (pg. 29) it also recognizes that, "The community also contains a number of private open space areas....they are privately owned and are thus generally zoned for very low-intensity residential development (0-5 dwelling units/acre) to provide for reasonable use while preserving portions of the site in open space (pg. 29, 30)." The proposed single dwelling unit conforms to the density of the base zone and is consistent with the allowances for private lots in the Community Plan. While the site does not preserve any open space, it is surrounded by conserved lands that meet the intent of the low-density development and preserved spaces.

In addition, the proposed project meets several of the Residential Land Use Goals (pg. 67), including:

- *Provide a high-quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space.*
  - As noted, the project provides reasonable use of the privately owned, open space designated site and is in compliance with the very low-intensity residential development (0-5 dwelling units/acre) zoning for Open Space ~~requirements~~ of within the Community Plan. Open Space requirements of the Community Plan. The project is oriented east to west to highlight the relationship to the sea and the project's manufactured slopes are not a part of a steep hillside system and thus will not alter the natural landform of the existing system.
  
- *Promote the development of a variety of housing types and styles in La Jolla.*
  - The Community Plan Residential Land Use section notes that, "There are very few vacant parcels remaining in La Jolla where construction of single-family homes can occur. All of the available vacant parcels are isolated single lots that are expected to develop at the density permitted by the existing zone." The project will promote development by providing a single dwelling unit on a currently vacant lot. In addition, the new development will provide variety to the housing types in the neighborhood as the single dwelling unit will be a unique style characterized by the modern design and low profile as seen from Romero Drive. Although the building is two stories over a basement, only one story will be visible from the street.
  
- *Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.*
  - The project seeks to meet or exceed the following Community Character recommendations of the Residential Land Use section of the Community Plan:
    - *Bulk and scale - with regard to surrounding structures or landform conditions as viewed from the public right-of-way and from parks and open space.*
      - As noted, the project will only have one story visible from the street. This reduces the bulk and scale of the predominately two-story dwelling units found along Romero drive as noted in a site survey.
    - *Hardscapes - with regard to pavement types, patterns or lack of patterns, colors, widths, colors and contours;*
      - The project hardscape is designed to blend with the surrounding neighborhood, specifically the curb gutters, which are unique to the area.
    - *Site fixtures - with regard to height, type, material and location (fences, walls, retaining walls, curb cuts and driveways);*

- Low retaining walls will ensure that the site fixtures do not dominate the low profile of the project design.
- *Curbs, gutters and street pavements -with regard to types and materials.*
  - The project proposes the use of the cobbled stone curbs that are prevalent in the area. The use of the cobbled stone will ensure the project street front conforms to the surrounding neighborhood.

The Community Plan has several recommendations for Open Space Preservation and Natural Resource Protection, including Hillside Development Guidelines (pg. 50). The proposed project implements several of the recommendations, including:

- *Design structures on slopes to adapt to existing hillside conditions. Avoid the use of standard prepared pads on slopes with grades above 25 percent.*
  - The design of the proposed project is specific to the slope. As most of the project site is sloped, the design of the dwelling unit conforms to the slope conditions and a standard pad is not feasible.
- *Design structures on hillsides with a 25 percent or greater slope in a manner that does not excessively alter the natural hillside conditions, thereby minimizing the need for cut and fill grading.*
  - The project is designed to cause as little impact to the slope as possible. As the slope orients towards the west, which is the preferred vantage point of the project, the design takes advantage of the slope and minimizes cut into the slope, while utilizing the slope for maximum scale.
- *Maintain the natural surface drainage system.*
  - In addition to roof drainage systems designed to avoid runoff towards the slope, the project also implements the following drainage techniques:
    - Low-water plants.
    - Use of permeable paving.
    - Use of rain sensor shut off devices.
    - High efficiency irrigation system with low precipitation rate sprinkler equipment.
  - These elements will reduce the erosion to the slope and surrounding hillsides.
- *Set back large residential structures from the top of slope of steep hillsides so that the design and site placement of a proposed project respect the existing natural landform and steep hillside character of the site.*
  - The project uses the slope to maximize the view of the Pacific Ocean to the west. In



doing so, the project minimizes the impact to the hillside views located to the east of the project. The project also uses the slope to conceal the second story and basement from the street, giving the appearance of a single-story dwelling unit from Romero Drive.

- Where new development is located on a hillside with street frontage, locate parking on the street side portion of the site.
  - The project is locating the parking on the street side frontage as recommended.

The project meets the Community Plan residential density range and the project's design incorporates several of the Residential Land Use recommendations. The project is appropriate for Hillside Development as recommended in the Community Plan and is in compliance with the Local Coastal Program.

STAFF RECOMMENDATION:

Staff has reviewed the proposed project and determined that the project is in conformance with the policies and regulations of the Land Development Code, General Plan, and the Community Plan. Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES:

1. Approve Coastal Development Permit No. PMT-3279062, and Variance No. PMT-3279063, with modifications.
2. Deny Coastal Development Permit No. PMT-3279062, and Variance No. PMT-3279063 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



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*Robin MacCartee*  
Development Project Manager  
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Environmental Exemption or Notice of Right to Appeal
6. Ownership Disclosure Statement
7. Project Plans

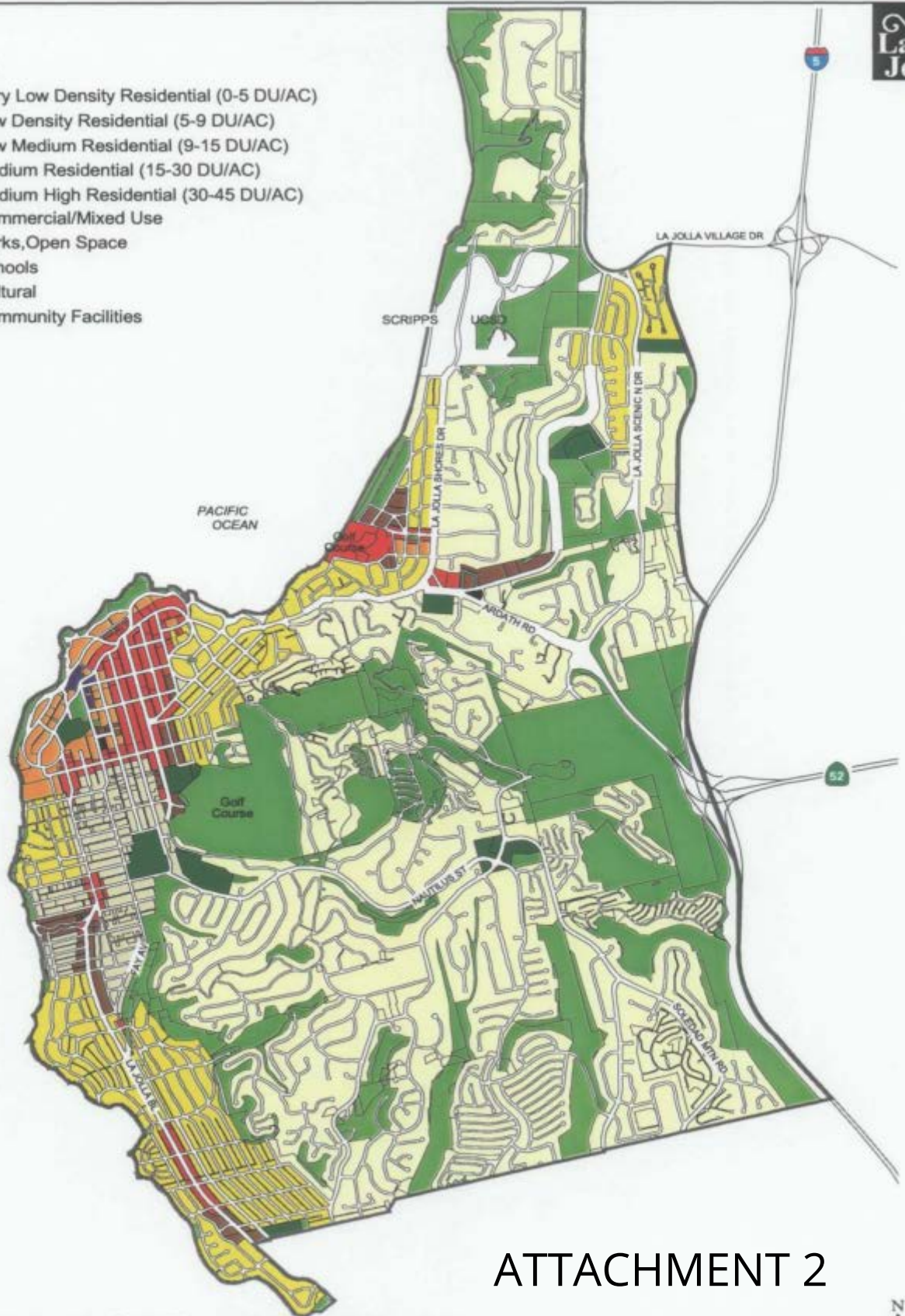


Project Site

ATTACHMENT 1

Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities



# ATTACHMENT 2

## Community Land Use Map



HEARING OFFICER, RESOLUTION NO. HO-25-004  
COASTAL DEVELOPMENT PERMIT NO. PMT-3279062  
VARIANCE NO. PMT-3279063

**ROMERO DRIVE SINGLE DWELLING UNIT - PROJECT NO. 1112271**

WHEREAS, Rajesh Mehta, a married man as his sole and separate property, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage and a variance for a reduction of the street side setback to four feet where a minimum of six feet is required at a vacant 17,646 sf lot located at the southeast terminus of Romero Drive (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No's. PMT-3279062, and PMT-3279063, on portions of a 0.40 -acre site;

WHEREAS, the project site is located at the southwest end of Romero Drive, also known as Assessor's Parcel Number 352-261-04-00 in the Residential-Single Unit (RS) 1-4 zone, Coastal Overlay (non-appealable) Zone, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone, Brush Management, and Very High Fire Hazard Severity Zone of the La Jolla Community Plan area;

WHEREAS, the project site is legally described as LOT 26, IN BLOCK "C" OF LA JOLLA COUNTRY CLUB HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1975, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1926;

WHEREAS, on September 10, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15303 (New Construction) and there was no

appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 12, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT- 3279062 and Variance No. PMT- 3279063 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT- 3279062 and Variance No. PMT- 3279063:

**A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage. The proposed site is currently a vacant 17,646 sf lot comprised of existing manufactured slopes.

The project site is located approximately 1.4 miles east of the Pacific Ocean at the terminus of Romero Drive, a public street, and does not contain any existing or proposed public accessway identified in the Local Coastal Program. Romero Drive is a fully developed street that does not encroach upon any existing or proposed physical accessways to the coast as identified in Figure 6 (pg. 23) of the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The Community Plan identifies fourteen issues needed to protect community coastal resources (pg. 19). Most of the identified issues are not applicable to the proposed project due to the project site's location in a residential area, and the distance of the site from the coast, approximately 1.4 miles to the east of the Pacific Ocean. Issues identified in the Local Coastal Program that could potentially impact the project site are:

- *Environmentally Sensitive Habitat Areas and Marine Resources.*
  - As noted in finding A(1)(b), herein incorporated by reference, the project site is located on manufactured slopes and does not contain Environmentally

Sensitive Lands (ESL). The western end of the property is mapped as Eucalyptus Woodland, which is a Tier IV habitat type, according to the City of San Diego Land Development Code. Impacts to a Tier IV habitat do not require mitigation. There are no Marine Resources close to the project site.

- *Coastal Bluff, Hillside Development and Preservation.*
  - The project is located on manufactured slopes. The project will not impact ESL, Steep Hillside or Coastal Bluffs. Impacts to the small Tier IV habitat of Eucalyptus Woodland do not require mitigation. All roof and area drains are designed to flow away from the slope and drain towards the street or are directed into drainage facilities with energy dissipating devices, to prevent slope erosion.
- *Nonpoint Source Pollution in Urban Runoff.*
  - The project incorporates several design strategies to address nonpoint source pollution from urban runoff, including:
    - Low-water plants.
    - Use of permeable paving.
    - Use of rain sensor shut off devices.
    - High efficiency irrigation system with low precipitation rate sprinkler equipment.
- *Visual Resources.*
  - Figure 9 of the Community Plan (pg. 36) identifies Country Club Drive as a Scenic Overlook (#53), defined as a view over private property from a public right-of-way. The view towards the Pacific Ocean from Country Club Drive is oriented from east to west. The project site is located approximately 700 feet east of Country Club Drive, and at a higher elevation. As such, any westerly views from Country Club Drive to the Pacific Ocean would not be affected or altered in any way due to the proposed project.

For the reasons demonstrated above, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**b. The proposed coastal development will not adversely affect environmentally sensitive lands; and**

The project site is currently a vacant 17,646 sf lot comprised of existing manufactured slopes. A zoning analysis revealed the potential for Steep Hillside to

be present, but the Geotechnical Report, dated April 2, 2024, reviewed, and accepted by staff, stated that a “subsurface exploration revealed the site is mantled with undocumented fill soil likely associated with the construction of Romero Drive.” As such, the project site’s manufactured slopes are not steep hillsides as defined by the San Diego Municipal Code (SDMC) and do not require review under the Environmentally Sensitive Lands regulations of the SDMC. There are no other Environmentally Sensitive Lands (ESL) located on the project site, as outlined in the SDMC.

The project site does not contain nor is it adjacent to MHPA designated lands. The western end of the property is mapped as Eucalyptus Woodland, which is a Tier IV habitat type. According to the City of San Diego Land Development Code, impacts to a Tier IV habitat do not require mitigation.

Figure 7 of the Community Plan designates the project site as Open Space/Park. While the Community Plan’s Goal for Open Space is to, “Protect the environmentally sensitive resources of La Jolla’s open areas including its coastal bluffs, sensitive steep hillside slopes, canyons, native plant life and wildlife habitat linkages,” (pg. 29) it also recognizes that, “The community also contains a number of private open space areas....they are privately owned and are thus generally zoned for very low-intensity residential development (0-5 dwelling units/acre) to provide for reasonable use while preserving portions of the site in open space (pg. 29, 30).”

The proposed development does not contain ESL and will not adversely affect environmentally sensitive lands. The privately owned project site meets the requirements for very low-intensity residential development (0-5 dwelling units/acre) and provides for reasonable use, as outlined in the Open Space Preservation and Natural Resource Protection section of the Community Plan (pg. 30). It is not subject to any open space easement or other protective mechanism, is surrounded by conserved lands but will not impact these conserved lands. The site does not contain MHPA designated lands, and the Tier IV habitat located on the site does not require mitigation. Therefore, the project will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

Figure 7 of the Community Plan designates the project site as Open Space/Park with the acknowledgement that Open Space/Park designated land can be privately owned and, “zoned for very low-intensity residential development (0-5 dwelling units/acre) to provide for reasonable use while preserving portions of the site in open space (pg. 29, 30).”

The project proposes to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage. The density of the single dwelling unit adheres to the low-intensity zoning of the Community Plan. In addition, the project meets several of the Residential Land Use Goals (pg. 67), including:

## ATTACHMENT 3

- *Provide a high-quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space.*
  - As noted, the project provides reasonable use of the privately owned, open space designated site, and complies with the very low-intensity residential development (0-5 dwelling units/acre) zoning for Open Space within the Community Plan. The project is oriented east to west to highlight the relationship to the sea and the project's manufactured slopes are not a part of a steep hillside system and thus will not alter the natural landform of the existing system.
  
- *Promote the development of a variety of housing types and styles in La Jolla.*
  - The Community Plan Residential Land Use section notes that, "There are very few vacant parcels remaining in La Jolla where construction of single-family homes can occur. All of the available vacant parcels are isolated single lots that are expected to develop at the density permitted by the existing zone." The project will promote development by providing a single dwelling unit on a currently vacant lot. In addition, the new development will provide variety to the housing types in the neighborhood as the single dwelling unit will be a unique style characterized by the modern design and low profile. Although the building is two stories over a basement, only one story will be visible from the street.
  
- *Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.*
  - The project seeks to meet or exceed the following Community Character recommendations of the Residential Land Use section of the Community Plan:
    - *Bulk and scale - with regard to surrounding structures or landform conditions as viewed from the public right-of-way and from parks and open space.*
      - As noted, the project will only have one story visible from the street. This reduces the bulk and scale of the predominately two-story dwelling units found along Romero drive as noted in a site survey conducted through Google Earth.
  
    - *Hardscapes - with regard to pavement types, patterns or lack of patterns, colors, widths, colors and contours;*
      - The project hardscape is designed to blend with the surrounding neighborhood. The pavement will have a muted palette chosen to match the street tones.



- *Site fixtures - with regard to height, type, material and location (fences, walls, retaining walls, curb cuts and driveways);*
  - Low retaining walls will ensure that the site fixtures do not dominate the low profile of the project design.
- *Curbs, gutters and street pavements -with regard to types and materials.*
  - The project proposes the use of the cobbled stone curbs that are prevalent in the area. The use of the cobbled stone will ensure the project street front conforms to the surrounding neighborhood.

The Community Plan has several recommendations for Open Space Preservation and Natural Resource Protection, including Hillside Development Guidelines (pg. 50). The proposed project implements several of the recommendations, including:

- *Design structures on slopes to adapt to existing hillside conditions. Avoid the use of standard prepared pads on slopes with grades above 25 percent.*
  - The design of the proposed project is specific to the slope. As most of the project site is sloped, the design of the dwelling unit had to conform to the slope conditions and a standard pad was not feasible.
- *Design structures on hillsides with a 25 percent or greater slope in a manner that does not excessively alter the natural hillside conditions, thereby minimizing the need for cut and fill grading.*
  - The project is designed to cause as little impact to the slope as possible. As the slope orients towards the west, which is the preferred vantage point of the project, the design takes advantage of the slope and minimizes cut into the slope, while utilizing the slope for maximum scale.
- *Maintain the natural surface drainage system.*
  - In addition to roof drainage systems designed to avoid runoff towards the slope, the project also implements the following drainage techniques:
    - Water conserving native plants.
    - Use of permeable paving.
    - Use of rain sensor shut off devices.
    - High efficiency irrigation system with low precipitation rate sprinkler equipment.
  - These elements will reduce the erosion to the slope and surrounding hillsides.

- *Set back large residential structures from the top of slope of steep hillsides so that the design and site placement of a proposed project respect the existing natural landform and steep hillside character of the site.*
  - The project uses the slope to maximize the view of the Pacific Ocean to the west. In doing so, the project is able to minimize the impact to the hillside views located to the east of the project. The project also uses the slope to conceal the second story and basement from the street, giving the appearance of a single-story dwelling unit from Romero Drive.
- *Where new development is located on a hillside with street frontage, locate parking on the street side portion of the site.*
  - The project is locating the parking on the street side frontage as recommended.

Lastly, the project meets the requirements of the Local Coastal Program as identified in finding A(1)(a), herein incorporated by reference.

In conclusion, the project adheres to the density regulations of the Community Plan and does not interfere with any of the elements of the Local Coastal Program. The project implements Residential Land Use goals and recommendations for Open Space Preservation and Natural Resource Protection, including Hillside Development Guidelines. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The proposed project is located approximately 1.4 miles east of the Pacific Ocean, and approximately 1.2 miles east of the nearest public road and the sea. The nearest water-oriented recreation area as defined in Chapter 3 of the California Coastal Act is the La Jolla Childrens Pool, which is located approximately 1.3-miles northwest of the project site. Therefore, the project site is not located between the first public roadway and the sea or shoreline of any body of water and this finding is not applicable.

**B. VARIANCE APPROVAL [SDMC Section 126.0805]**

**1. Findings for all Variance Approvals:**

- a. There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these**

**conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.**

The project proposes to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage. The project requests a variance for a reduction of the street side setback to four feet where a minimum of six feet is required. The proposed site is currently a vacant 17,646 sf lot comprised of existing manufactured slopes that average more than a 25% gradient. The project site is located within a larger hillside system that elevates from the Pacific Ocean to the west, to Mount Soledad to the east. The hillside system has existed far before any development was present in the area. The special circumstances or conditions applying to the project site and not applying generally to the land or premises in the neighborhood are that the slopes are manufactured and not Steep Hillside as defined by the SDMC, have an extreme vertical incline, and lack flat developable surface area.

A zoning analysis revealed the potential for Steep Hillside to be present, and the Geotechnical Report, dated April 2, 2024, reviewed, and accepted by staff, stated that a "subsurface exploration revealed the site is mantled with undocumented fill soil likely associated with the construction of Romero Drive." As such, the project's manufactured slopes are not a part of a steep hillside system and do not require review under the Environmentally Sensitive Lands (ESL) regulations of the SDMC. Should ESL regulations for Steep Hillside have been applied to the project site, the maximum allowable development area would have been 25%, pursuant to SDMC section 141.0142(a)(4)(A). The project, as proposed, will exceed 25% which is the most reasonable use of the land. In addition, the Geotechnical Report also identified the terrain of the project site to have a 1.3:1 horizontal to vertical inclination, which equates to an approximate gradient of 44%.

To meet the existing site conditions, the project uses the minimal, existing flat portions of the site at the street side frontage, which equates to the four feet street side setback being provided. Any additional street setback would require the project to be pushed further out over the existing slope and the need for more vertical development on the western portion of the project as the slope continues downward as it extends west. By minimizing the extension out over the slope, the project avoids unnecessary cuts into the slope and additional vertical bulk and scale consistent with Community Plan recommendations as indicated in finding A.1.b., incorporated here by reference. Most critically, the project will not meet the allowable plumb line height limit of 30 feet for the standard 20-foot long by 8-foot-high garage should the required six-foot street setback be implemented. Unlike similar development in the area, the finished floor level of the garage cannot be lower than the street level because the property is at the terminus of Romero Drive's storm conveyance system, with a large storm catch basin just beyond the property designed to capture a considerable volume of water runoff. If the project were redesigned to lower the garage to meet the plumb line height limit, it would result in a condition where the garage would be the lowest point prior to the catch basin and would cause the street run off to divert down the driveway to the garage. In order to avoid this flooding

hazard, the finish floor level needs to match or exceed the street level. To meet the plumbline height limit, under the potential flooding condition, the project will need the four-foot setback, as requested in the variance.

Therefore, the existing project site creates a special circumstance or condition applying to the land or premises for which the variance is sought that is peculiar to the land or premises and does not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.

- b. The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.**

The project proposes to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage. The project requests a variance for a reduction of the street side setback to four feet where a minimum of six feet is required. The proposed site is currently a vacant 17,646 sf lot comprised of existing manufactured slopes that average more than a 25% gradient.

The project site sits on a legal lot that contains virtually no flat pad that would allow for development of a single dwelling unit. The site conditions were present and not created by the project applicant. As such, the design of the development must adhere to the legally presented site conditions. To meet the conditions, the project uses the minimal, existing flat portions of the site at the street frontage, which equates to the four feet street side setback being provided. Any additional street setback would require the project to be pushed further out over the existing slope which would result in more vertical development on the western portion of the project as the slope continues downward as it extends west. In addition, the project would be unable to meet the plumb line height limit as required for the zone. Any redesign to meet the height limit, would result in potential flooding conditions unique to the location of the site. As such, the variance is needed to minimize the vertical encroachment into the slope, avoid potential flooding, and permit reasonable use of the land.

The Community Plan recommendations for Open Space Preservation and Natural Resource Protection, including Hillside Development Guidelines (pg. 50), notes the following:

- *Design structures on slopes to adapt to existing hillside conditions. Avoid the use of standard prepared pads on slopes with grades above 25 percent.*
- *Design structures on hillsides with a 25 percent or greater slope in a manner that does not excessively alter the natural hillside conditions, thereby minimizing the need for cut and fill grading.*

By extending the design out over the slope, the project avoids cuts into the slope as outlined in the Community Plan. However, to meet the setback requirement of a minimum of 6 feet, the project would have to extend further out over the slope, increasing the vertical bulk and scale of the project, which is contrary to the Residential Land Use recommendations of the Community Plan.

Therefore, the circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

**c. The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.**

The project requests a variance for a reduction of the front yard setback to four feet where a minimum of six feet is required. The requested action is being applied to ensure Residential Land Use regulations of the Community Plan are being met, especially as it pertains to the height limit and cut into the slopes. The project is in harmony with Romero Drive, which runs approximately 0.4 miles starting at Country Club Drive to the west and ending at the terminus of Romero Drive to the east as far as parkways and sidewalks which are not compliant with the San Diego Street Design Manual.

Existing conditions will be maintained in the proposed development, with no pedestrian traffic access, no change to traffic circulation, no alteration to emergency response patterns, and a current condition that does not meet the Street Design Manual, the proposed development will not alter or affect existing conditions, meaning the variance will only provide design feasibility for the project (see finding B(1)(b) incorporated here by reference) as it relates to the site conditions.

Notwithstanding the single variance that is designed to help facilitate site conditions, the proposed development is consistent with relevant SDMC policies and regulations that are designed for the protection of the public's health, safety, and welfare. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC. Permit conditions include but are not limited to the following: Encroachment Maintenance Removal Agreement for items in the City right-of-way; compliance with a certified drainage study and stormwater requirements; implementation of storm water construction best management practices (BMPs); a Water Pollution Control Plan (WPCP); issuance of a bonded grading permit; implementation of requirements in accordance with a Brush Management Program. Permit conditions have been determined necessary to avoid adverse impacts upon the public health, safety, and general welfare of persons residing or working in the surrounding area.

With the exception of the requested variance, the project shall comply with the development conditions in effect for the subject property as well as other

regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any ministerial permits, such as grading and/or building permits for the proposed development, the plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing, and fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Compliance with these regulations during and after construction will be enforced through building inspections completed by the City's building inspectors.

Therefore, the granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

- d. The granting of the variance will not adversely affect the applicable land use plan. If the variance is being sought in conjunction with any proposed coastal development, the required finding shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.**

The project requests a variance for a reduction of the front yard setback to four feet where a minimum of six feet is required. The requested action is being applied to ensure Hillside Development elements of the Residential Land Use regulations of the Community Plan are being met, specifically:

- *Design structures on slopes to adapt to existing hillside conditions. Avoid the use of standard prepared pads on slopes with grades above 25 percent.*
  - The design of the proposed project is specific to the slope. As most of the project site is sloped, the design of the dwelling unit had to conform to the slope conditions and a standard pad was not feasible.
- *Design structures on hillsides with a 25 percent or greater slope in a manner that does not excessively alter the natural hillside conditions, thereby minimizing the need for cut and fill grading.*
  - The project is designed to cause as little impact to the slope as possible. As the slope orients towards the west, which is the preferred vantage point of the project, the design takes advantage of the slope and minimizes cut into the slope, while utilizing the slope for maximum scale.
- *Set back large residential structures from the top of slope of steep hillsides so that the design and site placement of a proposed project respect the existing natural landform and steep hillside character of the site.*
  - The project uses the slope to maximize the view of the Pacific Ocean to the west. In doing so, the project is able to minimize the impact to the hillside views located to the east of the project. The project also uses the slope to

conceal the second story and basement from the street, giving the appearance of a single-story dwelling unit from Romero Drive.

- *Where new development is located on a hillside with street frontage, locate parking on the street side portion of the site.*
  - The project is locating the parking on the street side frontage as recommended.

The requested variance does not interfere, restrict, or alter existing conditions for public access, traffic circulation or emergency response. The proposed project will increase site drainage, restrict urban runoff, and lessen slope erosion. The variance will reduce slope cut, allow for street frontage parking, and lessen the impacts to the natural landform.

Therefore, the granting of the variance will not adversely affect the applicable land use plan, and the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT- 3279062 and Variance No. PMT- 3279063 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT- 3279062 and Variance No. PMT- 3279063, a copy of which is attached hereto and made a part hereof.

---

Robin MacCartee  
Development Project Manager  
Development Services

Adopted on: February 12, 2025

IO#: 24009861

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24009861

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3279062

VARIANCE NO. PMT-3279063

**ROMERO DRIVE SINGLE DWELLING UNIT - PROJECT NO. 1112271**

HEARING OFFICER

This Coastal Development Permit No. PMT- 3279062 and Variance No. PMT- 3279063 is granted by the Hearing Officer of the City of San Diego to Rajesh Mehta, a married man as his sole and separate property, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708, and 126.0805 respectively. The 0.40 -acre site is located at southwest terminus of Romero Drive, also known as Assessor's Parcel Number 352-261-04-00 in the Residential-Single Unit (RS-1-4) zone, Coastal Overlay (non-appealable) Zone, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone, Brush Management, and Very High Fire Hazard Severity Zone of the La Jolla Community Plan area. The project site is legally described as:

LOT 26, IN BLOCK "C" OF LA JOLLA COUNTRY CLUB HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1975, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1926.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a 4,792 square-foot (sf) two-story, single dwelling unit over a partial basement with a 462-sf attached garage. The project includes a variance for a reduction of the street side setback to four feet where a minimum of six feet is required. The proposed site is currently a vacant 17,646 sf lot described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 12, 2025, on file in the Development Services Department.

The project shall include:

- a. Construct a new 4,792 sf two-story, single dwelling unit with a 2,179 sf first floor and a 1,452 sf second floor over a 1,161 sf basement; and
- b. Construct 462 sf attached garage; and



- c. Variance for a deviation from the required street side setback of 6'-0" (Table 131-04D Footnote 1) to a 4'-0" setback.
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 26, 2028.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

**ENGINEERING REQUIREMENTS:**

9. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate an additional 4 feet on Romero Drive to provide a 12-foot curb-to-property-line distance, satisfactory to the City Engineer.

10. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the private storm drain connection, sidewalk underdrains, trench drain, cobble stone curb and gutter, non-standard driveway, steps, stairs, landscapes, and irrigation, within the right-of-way, satisfactory to the City Engineer.

11. Prior to the issuance of any Grading permit, the Owner/Permittee shall obtain an approved Drainage Study to demonstrate that the proposed condition peak flows from the project site are less than pre-project condition peak flows from the project site to the satisfaction of the City Engineer. The analysis should be run for the 100-year peak flows.

12. The Drainage Study shall demonstrate attenuation of post-developed 100-year peak flows to or below the pre-developed 100-year peak flows to each discharge location from the project site.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. The Drainage Study shall include a statement that the proposed stormwater pump station shall only be operational during and immediately following runoff events. It shall also provide a schematic showing the flow path between the discharge location and the nearest downstream stormwater inlet.

15. The project proposes to export 540 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2024 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.

17. Development of this project shall comply with all stormwater construction requirements of the current version of the City of San Diego's Stormwater Standards Manual.

18. The developer is responsible to ensure that all final design plans, grading plans, and building plans incorporate applicable best management practices (BMPs).

**LANDSCAPE REQUIREMENTS:**

19. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

20. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

21. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC §142.0403(b)(6).

22. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of Final Inspection for Single-Dwelling Unit development.

**BRUSH MANAGEMENT PROGRAM REQUIREMENTS:**

25. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department:

Zone One and Two Reduction w/ Alternative Compliance: The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under SDMC §142.0412(f), §142.0412(i), and §142.0412(j). For the site at hand, Zone One shall range from 10-ft. to 30-ft. in width with a corresponding Zone Two of 49-ft. to 65-ft. in width, extending out from the habitable structures towards the native/naturalized vegetation as shown on Exhibit "A." Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures, plus a 10-ft. perpendicular return along adjacent wall faces, shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones. In addition, the building shall be fire sprinklered.

26. Prior to issuance of any construction permit for building, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

27. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

**PLANNING/DESIGN REQUIREMENTS:**

28. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**GEOLOGY REQUIREMENTS**

31. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

32. Prior to the building's foundation inspections, an interim as-graded geotechnical report must be submitted that includes detailed geologic mapping and logs of the proposed basement excavation. If faulting is discovered, the interim as-graded/as-built report shall document the location of faulting, its activity, whether the fault is hazardous and whether structural setbacks are recommended.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

33. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

34. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

35. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

36. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

## ATTACHMENT 4

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at final inspection of completed buildings.

APPROVED by the Hearing Officer of the City of San Diego on February 12, 2025, and [Approved Resolution Number].

**ATTACHMENT 4**

COASTAL DEVELOPMENT PERMIT NO. PMT-3279062

VARIANCE NO. PMT-3279063

Date of Approval: February 12, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Robin MacCartee  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Rajesh Mehta, a married man as his sole  
and separate property**  
Owner/Permittee

By \_\_\_\_\_  
Rajesh Mehta  
Owner/Permittee

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

## NOTICE OF EXEMPTION

**TO:** Recorder/County Clerk  
P.O. Box 1750, MS A-33  
1600 Pacific Hwy, Room 260  
San Diego, CA 92101-2400

**From:** City of San Diego  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, CA 92101

Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, CA 95814

**Project Title / Number:** 7202 Romero Dr / PRJ-1112271

**State Clearinghouse No.:** N/A

**Project Location-Specific:** 7202 Romero Dr., San Diego, CA 92037

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** The project is a Variance and Coastal Development Permit for constructing a 4,792 square-foot two-story, single-dwelling unit over a partial basement with a 462-square-foot attached garage. The project requests a variance for a reduction of the front yard setback. The proposed site is currently vacant at the southeast end of Romero Drive, APN No. 352-261-04. The 0.4-acre site is in the RS-1-4 Base Zone, Coastal (Non-Appealable) Overlay Zone, and Coastal Height Limit Overlay Zone within the La Jolla Community Plan Area. Council District 1. LEGAL DESCRIPTION: LOT 26, IN BLOCK C OF LA JOLLA COUNTRY CLUB HEIGHTS IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 1975 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1926.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Brian Yamagata, 1940 Garnet Avenue, San Diego, CA 92109. (619) 231-9905.

**Exempt Status:** (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: §15303 New Construction or Conversion of Small Structures
- Statutory Exemptions:
- Other:

**Reasons why project is exempt:** City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303, New Construction or Conversion of Small Structures; and where the exceptions listed in Section 15300.2 would not apply. This exemption includes example (a): "One single-family residence, or a second dwelling unit in a



residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption." The project would construct a new single dwelling unit within the allowed development footprint of the lot and conform with the La Jolla Community Plan designation of Very Low Density Residential. The northwest corner of the project site is categorized as Eucalyptus Woodland, considered a Tier IV habitat type. A geological review of the project site shows that the slope consists of artificial fill and thus is not considered a natural steep hillside. The site does not contain or support Environmentally Sensitive Lands. The exceptions listed in Section 15300.2 do not apply. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.

**Lead Agency Contact Person:** Stephanie Kellogg

**Telephone:** (619) 533-3190

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

Courtney Howard / senior planner

Signature/Title


September 26, 2024

Date

**Check One:**

- Signed by Lead Agency  
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:

	<p><b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p>	<p><b>Ownership Disclosure Statement</b></p>	<p><b>FORM DS-318</b></p> <p>October 2017</p>
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**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** MEHTA RESIDENCE **Project No. For City Use Only:** \_\_\_\_\_  
**Project Address:** 7202 ROMERO DRIVE, LA JOLLA, CA 92037

**Specify Form of Ownership/Legal Status (please check):**  
 Corporation  Limited Liability -or-  General – What State? CA Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Rajesh Mehta  Owner  Tenant/Lessee  Successor Agency  
Street Address: 8 old school house road  
City: Manorville State: NY Zip: 11949  
Phone No.: 9144192392 Fax No.: \_\_\_\_\_ Email: rp\_mehta@yahoo.com  
Signature:  Date: 2/6/2024  
Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: Brian Yamagata  Owner  Tenant/Lessee  Successor Agency  
Street Address: 4455 Lamont Street, Suite 101  
City: San Diego State: CA Zip: 92109  
Phone No.: 619-231-9905 Fax No.: \_\_\_\_\_ Email: briany@golba.com  
Signature: Brian Yamagata Digitally signed by Brian Yamagata  
DN: cn=Brian Yamagata, o=, email=briany@golba.com, c=US  
Date: 2024.02.06 16:17:50 -0800 Date: 02.05.2024  
Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Additional pages Attached:  Yes  No

# MEHTA RESIDENCE

7202 ROMERO DRIVE  
LA JOLLA, CALIFORNIA 92037

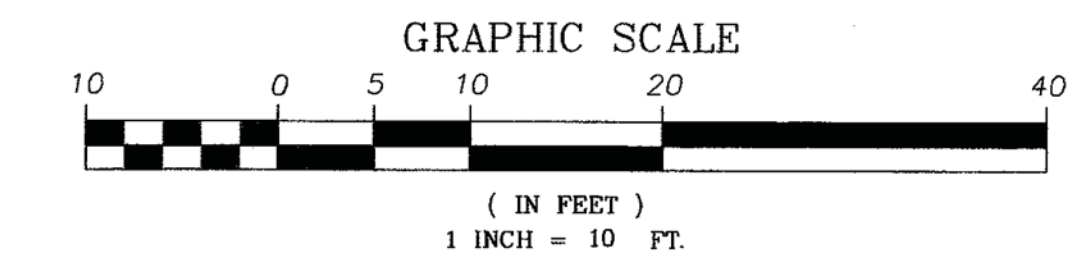


ARTISTIC RENDERINGS - CONCEPT ONLY

## COASTAL DEVELOPEMENT PERMIT & VARIANCE SUBMITTAL SET



# TOPOGRAPHIC PLAN



**LEGEND:**

EXISTING CONTOUR	
PROPERTY LINE	
SETBACK LINE	
EXISTING BUILDING	
EXISTING UTILITY VAULT	
EXISTING STREET LIGHT	
EXISTING POWER POLE	
EXISTING FIRE HYDRANT	
EXISTING WALL	
EXISTING WATER METER	

TC = TOP OF CURB	NG = NATURAL GRADE	GUT = GUTTER ELEVATION
TP = TOP OF PAVING	FF = FINISH FLOOR	GRT = GRATE ELEVATION
TW = TOP OF WALL	FG = FINISH GRADE	SCO = SEWER CLEAN OUT
BW = BOTTOM OF WALL	FL = FLOW LINE	SMH = SEWER MANHOLE

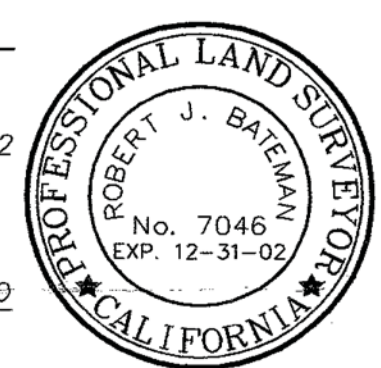
**DECLARATION OF RESPONSIBLE CHARGE:**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

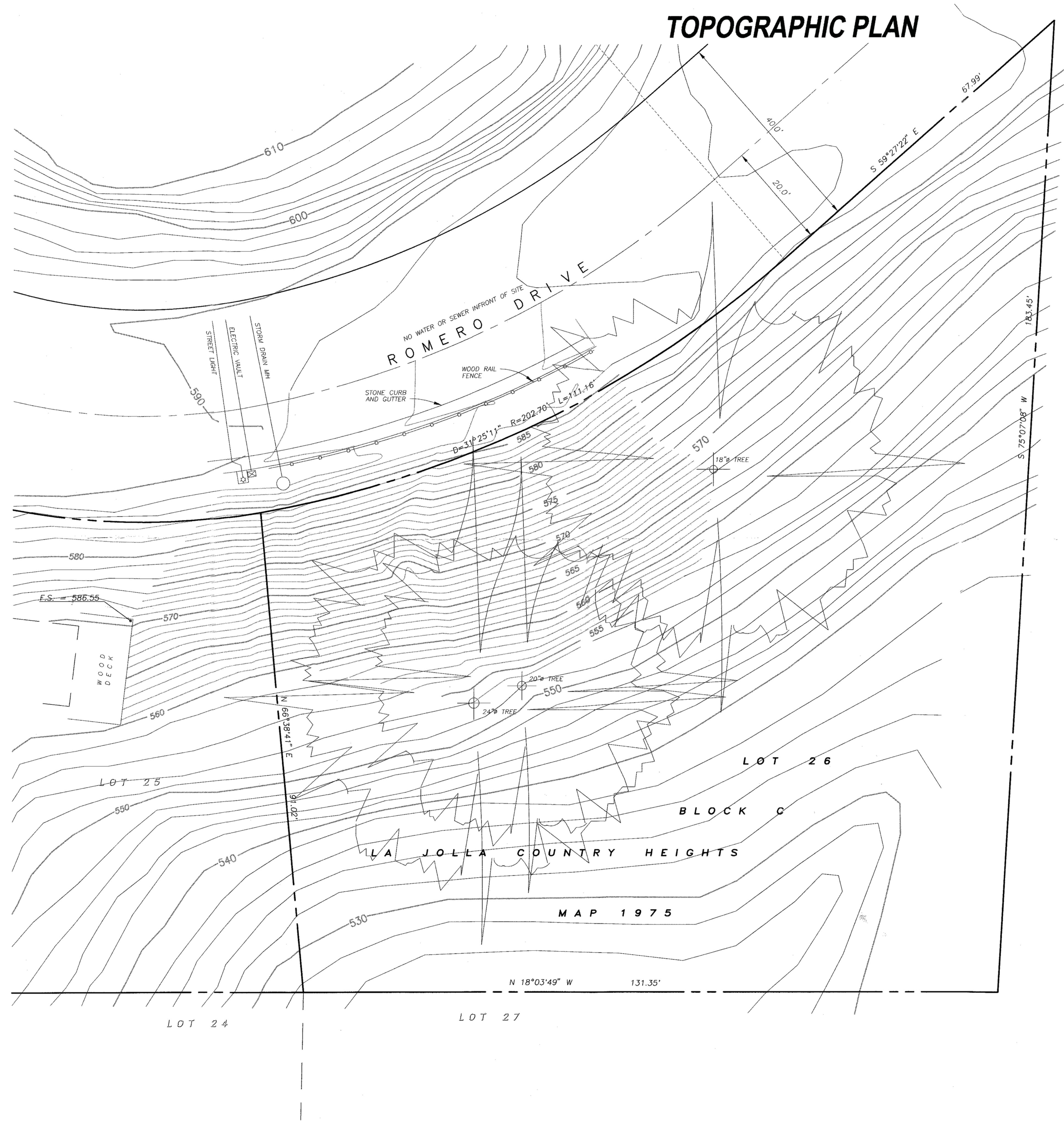
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

**ENGINEER OF WORK:**

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.  
 9619 CHESAPEAKE DRIVE, SUITE 204  
 SAN DIEGO, CALIFORNIA 92123 (619) 565-8362  
 PROJECT NO. 352-261-04  
 DWG. NO. ROMERO-PGP-1.DWG



ROBERT J. BATEMAN, P.L.S. 7046 DATE 9-05-2000  
 REGISTRATION EXPIRES DECEMBER 31, 2002



Prepared By: SAN DIEGO LAND SURVEYING AND ENGINEERING, INC. 9619 CHESAPEAKE DRIVE, SUITE 204 SAN DIEGO, CA 92123 858-565-8362		<p>VICINITY MAP NO SCALE SITE</p>
Consultants: Architect: MARK LEE CHRISTOPHER 1920A FORT STOCKTON DRIVE SAN DIEGO, CA. 92103 619-296-2796 FAX 619-296-2788 Landscape Architect: TODD FRY 7920 PRINCESS STREET LA JOLLA, CA. 92037 PHONE AND FAX Soils Engineer: NAME ADDRESS ADDRESS PHONE AND FAX		
Benchmark: CITY OF SAN DIEGO BENCH MARK. BRASS PLUG LOCATED AT THE NORTHWEST CORNER OF ROMERO COURT AND ROMERO DRIVE. ELEV. = 462.695 M.L.S.		Project Soil Condition: Existing slope, natural compaction
Project Legal Description: LOT 26, IN BLOCK C OF LA JOLLA COUNTRY CLUB HEIGHTS IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 1975 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1926.		Project Permits Required: Grading Plan Variance Costal and Site Development Permit
Source of Topography THE TOPOGRAPHY WAS ESTABLISHED BY FIELD SURVEY OF THE SITE ON MAY 12, 1999 BY SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.		Project Data: Construction Type: 5      Occupancy Classification: R-3 Number of Stories: 3      Building Height: 30' Proposed use: Single Family Res. Existing use: Single Family Res. Zone Designation: RS 1-4 Building Code: CBS/1998 & UBC 1997 Year of Construction (exist. structure): Gross Floor Area (GFA): 1,591 SF Floor Area Ratio (FAR): 0.09
Project Name: 7216 ROMERO DRIVE LA JOLLA, CA. 92037 A.P.N. 352-261-04	Project Address: 7216 ROMERO DRIVE LA JOLLA, CA. 92037 A.P.N. 352-261-04	Project Owner: Ron Taylor 7212 Romero Drive La Jolla, Ca. 92037
Sheet Title: <b>TOPOGRAPHIC PLAN</b>		Scale: 1" = 10' Original Date: JUNE 5, 2000 Revised: Sept. 5, 2000 Revised:

# COASTAL DEVELOPMENT PERMIT

## LEGAL DESCRIPTION

LOT 26, IN BLOCK C OF LA JOLLA COUNTRY CLUB HEIGHTS IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 1975 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1926.

## NOTES

- THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS A SURVEY BY SAN DIEGO LAND SURVEYING AND ENGINEERING, INC., DATED DECEMBER 14, 2000.
- THE PROPOSED USE IS FOR SINGLE-FAMILY RESIDENCE
- THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER AND WATER MAINS.
- DEVELOPER SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- THE ASSESSOR PARCEL NUMBER IS: 352-261-04
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- BENCHMARK: CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NORTHWEST CORNER OF ROMERO COURT AND ROMERO DRIVE. ELEV. = 462.695 M.L.S. (N.G.V.D. 1929).
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

## GRADING DATA

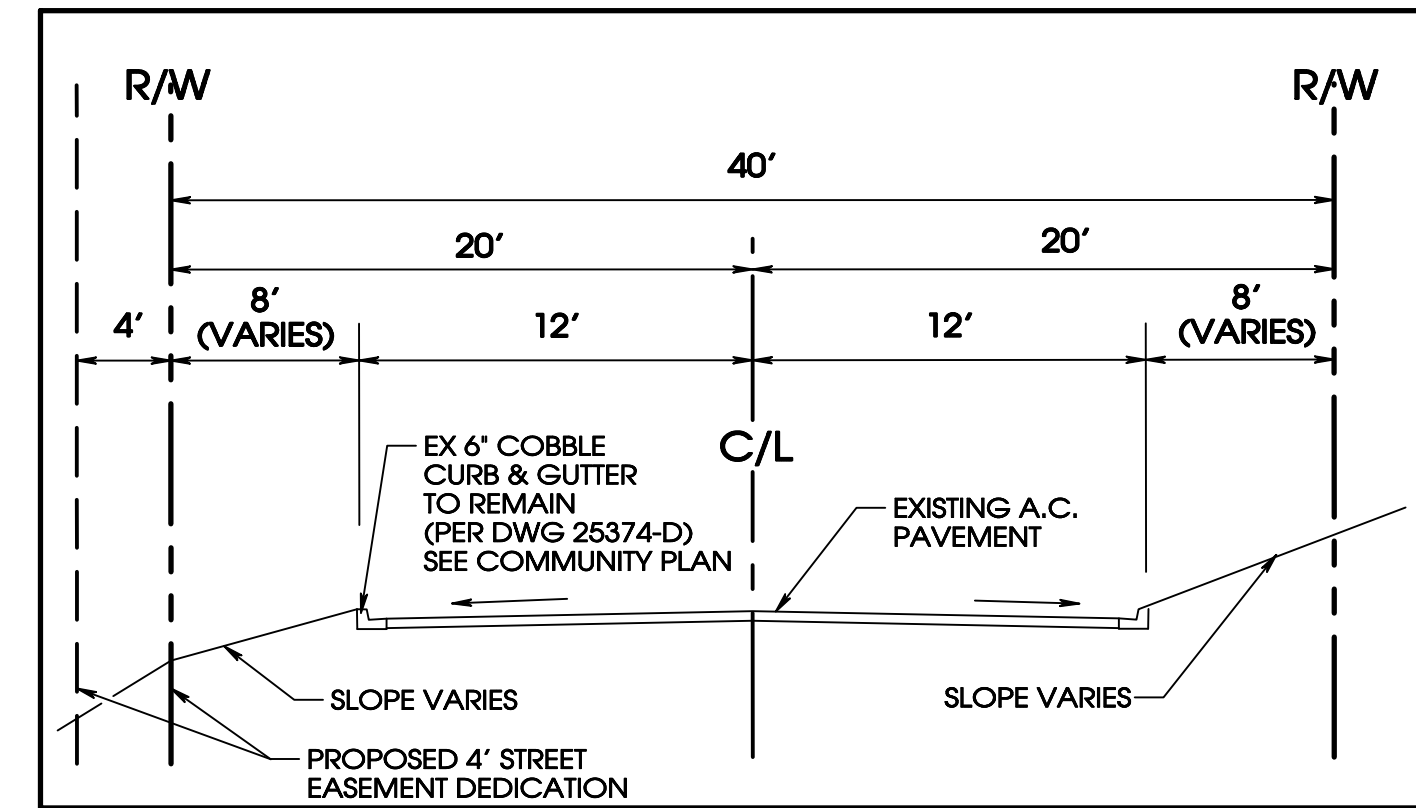
AREA OF SITE - 17,464 S.F. (0.405 AC)  
 AREA OF SITE TO BE GRADED - 5,044 SF  
 PERCENT OF SITE TO BE GRADED - 28.9%  
 AREA OF SITE WITH 25% SLOPES OR GREATER: AREA - 15,104 SF (86.5%)  
 NO ELS. STEEP HILLSIDES OCCUR ONSITE. SEE SHEET C-3 FOR GEOTECHNICAL SITE SECTION. THE SITE IS OVERLAIN BY ARTIFICIAL FILL. NO NATURAL STEEP SLOPES EXISTS ONSITE TO BE PROTECTED BY A COVENANT OF EASEMENT.

VOLUME OF CUT - 590 C.Y.  
 VOLUME OF FILL - 50 C.Y.  
 VOLUME OF EXPORT - 540 C.Y.

(ASSUMES 5' SLAB AND 6" GRAVEL BASE. DOES NOT INCLUDE POOL)

MAXIMUM HEIGHT OF FILL SLOPE - NONE  
 MAXIMUM HEIGHT OF CUT SLOPE - NONE  
 MAXIMUM HEIGHT OF VERTICAL CUT: 15' WITHIN BUILDING FOOTPRINT  
 4.5' OUTSIDE BUILDING FOOTPRINT  
 MAXIMUM HEIGHT OF VERTICAL FILL: 4.5' WITHIN BUILDING FOOTPRINT  
 4.5' OUTSIDE BUILDING FOOTPRINT

EXISTING IMPERVIOUS AREA = 0 SF (0 AC) (0%); EXISTING PERVIOUS AREA = 17,464 SF (100%)  
 PROPOSED CREATED/REPLACED IMPERVIOUS AREA = 4,260 SF (0.105 AC) (24.4%)  
 (INCLUDES POOL); PROPOSED PERVIOUS AREA = 13,204 SF (75.6%)



**ROMERO DRIVE TYPICAL SECTION**  
NOT TO SCALE

Prepared By:  
 CHRISTENSEN ENGINEERING & SURVEYING  
 7888 SILVERTON AVENUE, SUITE 'J'  
 SAN DIEGO, CA 92126  
 PHONE: (858)271-9901 EMAIL: ceands@aol.com

Project Address:  
 7202 ROMERO DRIVE  
 LA JOLLA, CA 92037

Project Name:  
 7202 ROMERO DRIVE RESIDENCE

Sheet Title:  
 PRELIMINARY GRADING PLAN

Revision 5:  
 Revision 4:  
 Revision 3: 10-15-24 ADDRESS CITY COMMENTS  
 Revision 2: 07-25-24 ADDRESS CITY COMMENTS REVISE DESIGN  
 Revision 1: 05-21-24 ADDRESS CITY COMMENTS

Original Date: FEBRUARY 16, 2024

Sheet of Sheets

DEP#

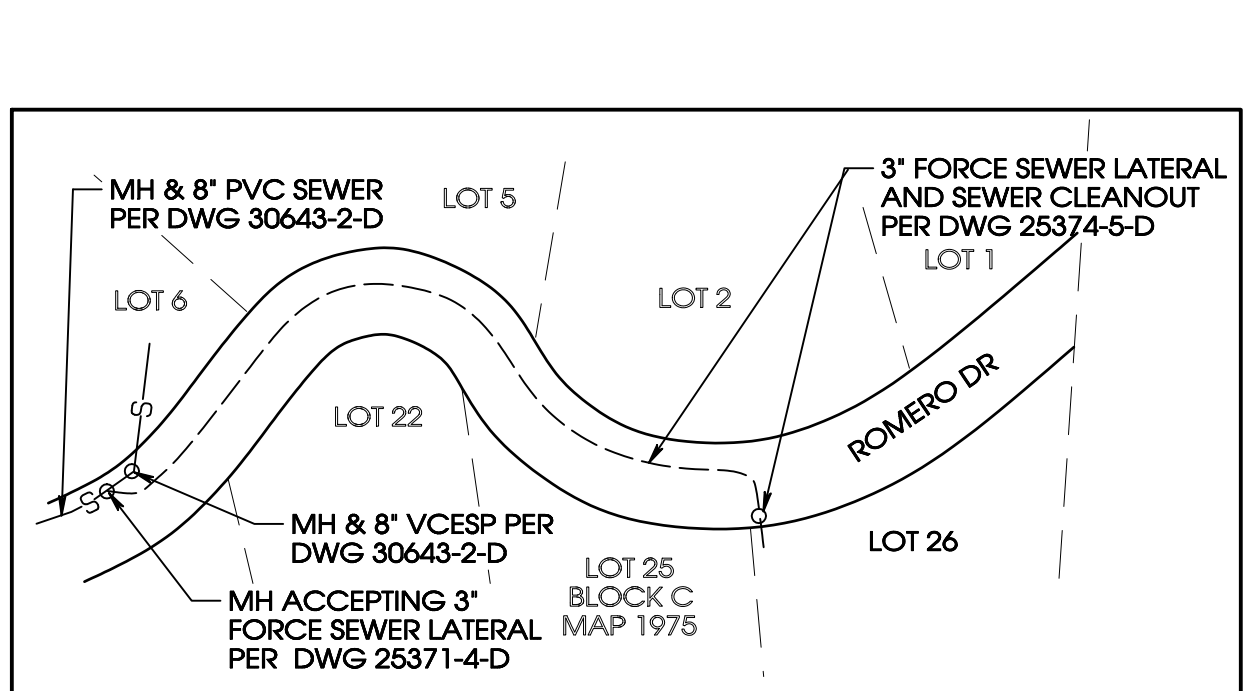
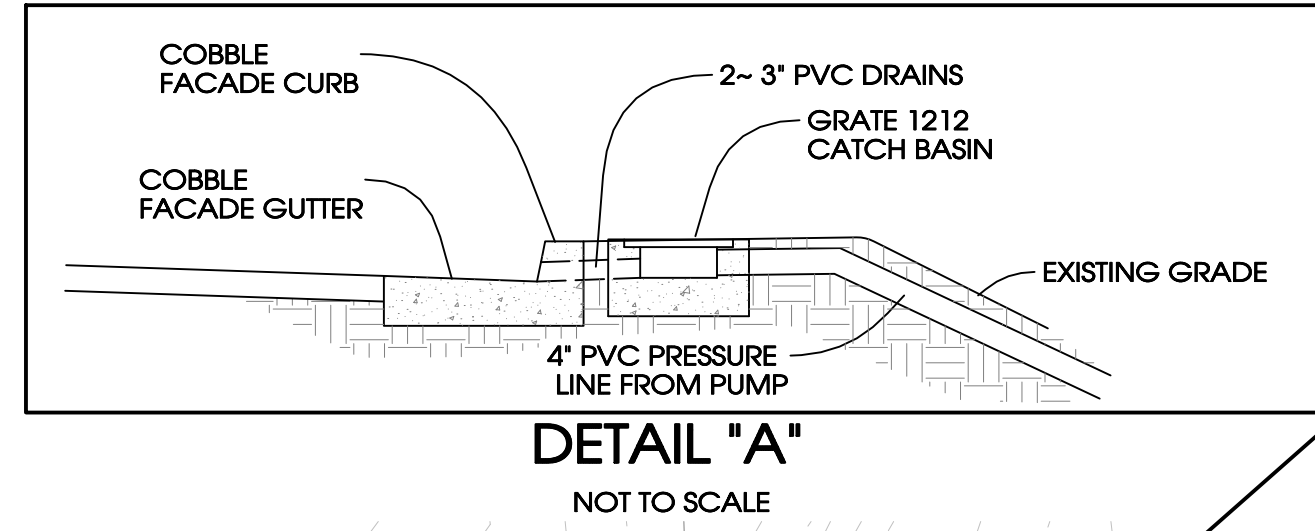
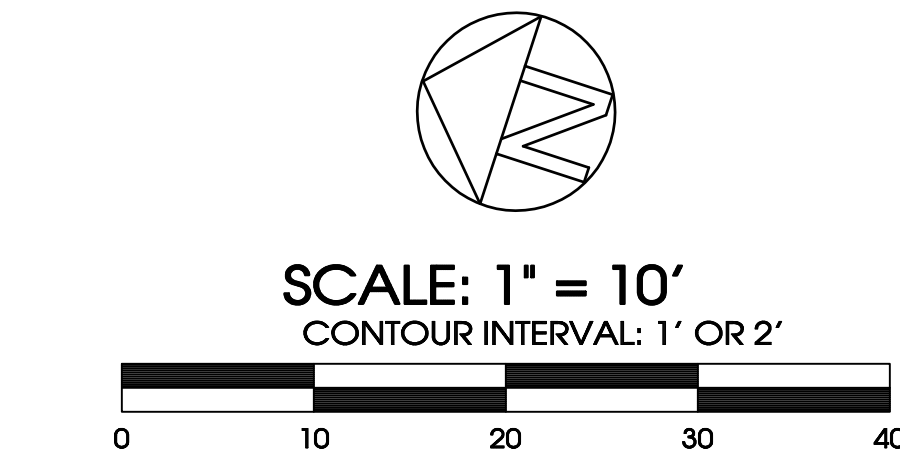
### LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED PVC DRAIN
- PROPOSED CONCRETE SURFACE
- PROPOSED LANDSCAPE AREA
- PROPOSED CATCH BASIN
- PROPOSED AREA DRAIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- ROOF DRAIN LOCATION
- PROPOSED FOUNDATION WALL
- PROPOSED SITE WALL
- PROPOSED TRENCH / SLOTTED DRAIN
- PROPOSED TYPE A-4 CLEANOUT WITH PUMPS
- DOWNSPOUT
- EXISTING 3" PVC FORCE SEWER LATERAL

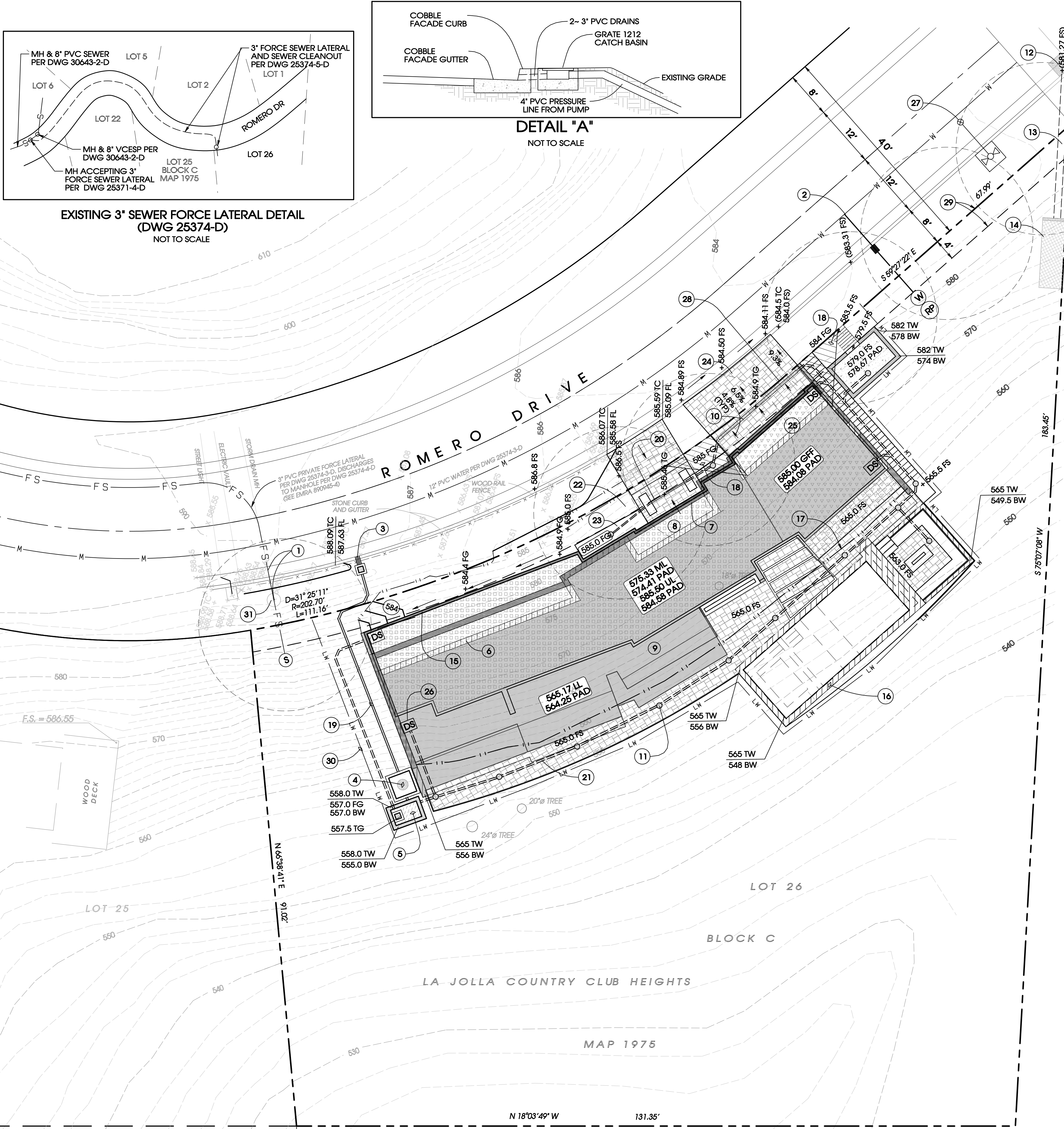
### CONSTRUCTION NOTES

- EXISTING PVT 3" PVC FORCE SEWER LATERAL AND CLEANOUT MANHOLE PER DWG 25374-4-D, TO REMAIN. SEE EMRA NO. 890995-4.
- PROPOSED 1" WATER SERVICE, WATER METER BOX AND BACKFLOW PREVENTER (DOMESTIC)
- PROPOSED TWO PVT SIDEWALK UNDERDRAINS PER D-27 C100 = 0.135 CFS. V100 = 3.3 FPS (EACH OF TWO DRAINS) (SEE DETAIL "A" AT LEFT, ABOVE)
- PROPOSED PVT TYPE A-4 CATCH BASIN AND PUMP TO CONVEY SITE RUNOFF TO PROPOSED 1212 BASIN DISCHARGING BY GRAVITY TO STREET, AS SHOWN
- PROPOSED PVT PLANTER WITH VEGETATION, ENERGY DISSIPATOR TO TREAT SITE IMPERVIOUS SURFACE RUNOFF, DISCHARGING TO CLEANOUT WITH PUMPS, AS SHOWN
- PROPOSED LOWER FLOOR LEVEL BUILDING WALL
- PROPOSED MIDDLE FLOOR LEVEL BUILDING WALL
- PROPOSED UPPER LEVEL FLOOR (SQUARE HATCHING)
- PROPOSED LOWER LEVEL FLOOR (SHADED HATCHING)
- PROPOSED PVT 6" TRENCH DRAIN
- PROPOSED PVT DECK DRAIN (TYPICAL)
- EXISTING PUBLIC TYPE "G" CATCH BASIN PER DWG 25374-5-D
- EXISTING PUBLIC 15" RCP DRAIN PER DWG 25374-5-D
- EXISTING PUBLIC HEADWALL AND 1/4 TON RIP RAP ENERGY DISSIPATOR PER DWG 25374-5-D
- PROPOSED UPPER FLOOR LEVEL BUILDING WALL
- PROPOSED PVT LOWER LEVEL FOUNDATIONS WALL
- PROPOSED DAYLIGHT LINE AT ELEVATION 560. NO FILL SUPPORTING SLAB ABOVE BEYOND THIS LINE
- VISIBILITY TRIANGLE (TYPICAL)
- PROPOSED PVT 4" PVC PRESSURE LINE FROM CATCH BASIN WITH PUMPS TO OUTLET AT CURB
- PROPOSED PVT SLOTTED DRAIN
- PROPOSED PVT PVC DRAIN (TYPICAL)
- PROPOSED PVT LANDSCAPE AREA (TYPICAL) SEE LANDSCAPE PLAN
- PROPOSED PVT PLANTING AREA (NOT WITHIN R/W)
- PROPOSED 20' PVT NON-STANDARD DRIVEWAY
- PROPOSED UPPER LEVEL GARAGE (TRIANGLE HATCHING)
- PROPOSED DOWNSPOUT (TYPICAL)
- EXISTING FIRE HYDRANT
- EXISTING 2" WATER SERVICE TO BE KILLED AT MAIN (DOMESTIC)
- PROPOSED 4' STREET EASEMENT DEDICATION
- LIMIT OF WORK (TYPICAL)

NOTE:  
 AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA 890945-4) EXISTS FOR PVT 3" PVC FORCE SEWER LATERAL AND CLEANOUT, COBBLESTONE CURB & GUTTER IN EXISTING RIGHT OF WAY.  
 PRIVATE IMPROVEMENTS WITHIN PROPOSED 4' STREET DEDICATION AND EXISTING RIGHT OF WAY INCLUDING DRAIN PIPES, AREA AND TRENCH DRAINS, CATCH BASIN, WALKWAY, STEPS, STAIRS, NON-STANDARD DRIVEWAY, IRRIGATION AND LANDSCAPING WILL REQUIRE AN ADDITIONAL EMRA.



**EXISTING 3" SEWER FORCE LATERAL DETAIL (DWG 25374-D)**  
NOT TO SCALE



**CE & S** CHRISTENSEN ENGINEERING & SURVEYING  
 CIVIL ENGINEERS LAND SURVEYORS  
 7888 SILVERTON AVENUE, SUITE 'J', SAN DIEGO, CALIFORNIA 92126  
 TELEPHONE: (858) 271-9901 EMAIL: ceands@aol.com

ANTHONY K. CHRISTENSEN, RCE 54021  
 OCTOBER 15, 2024  
 Date



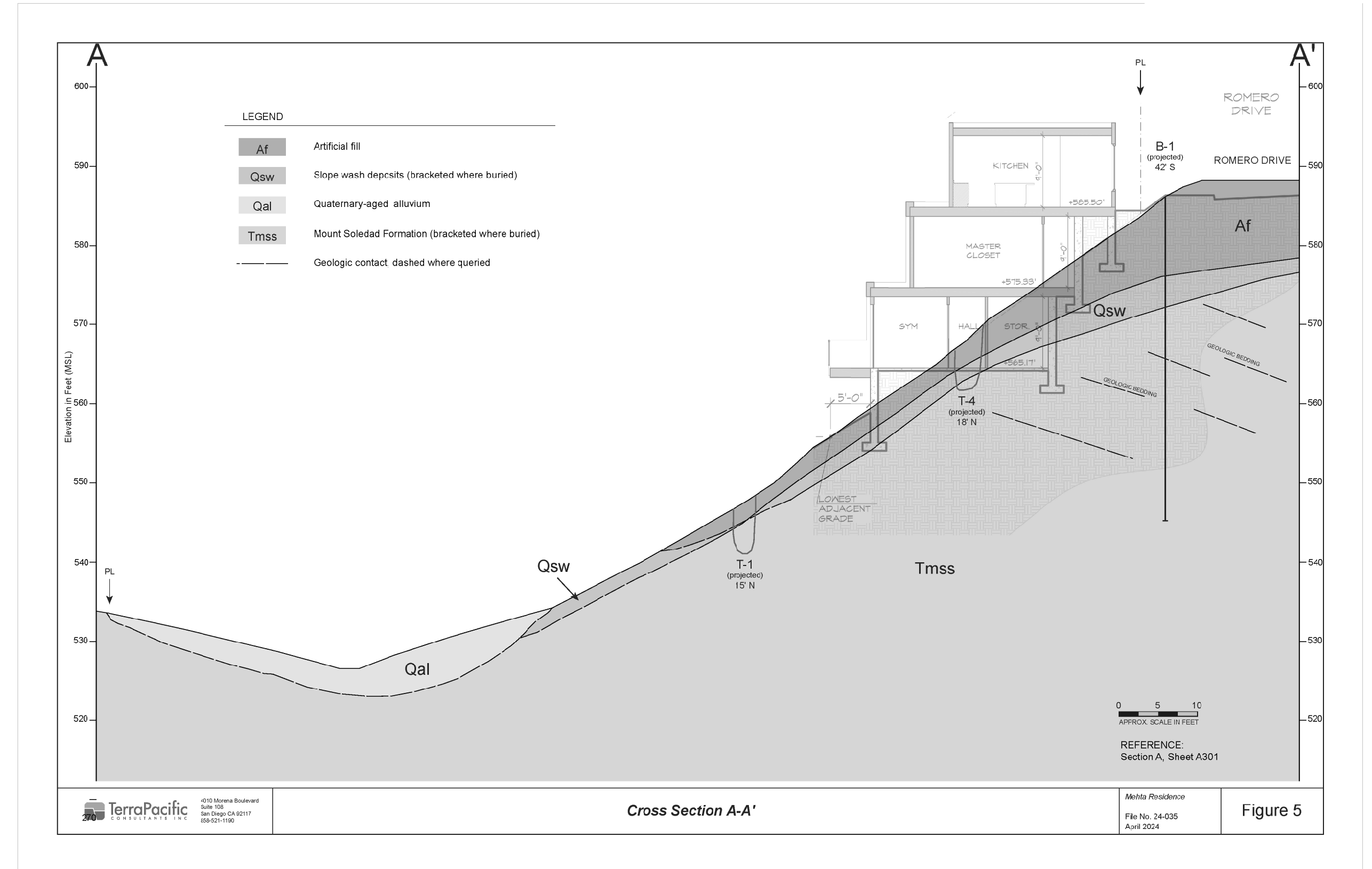
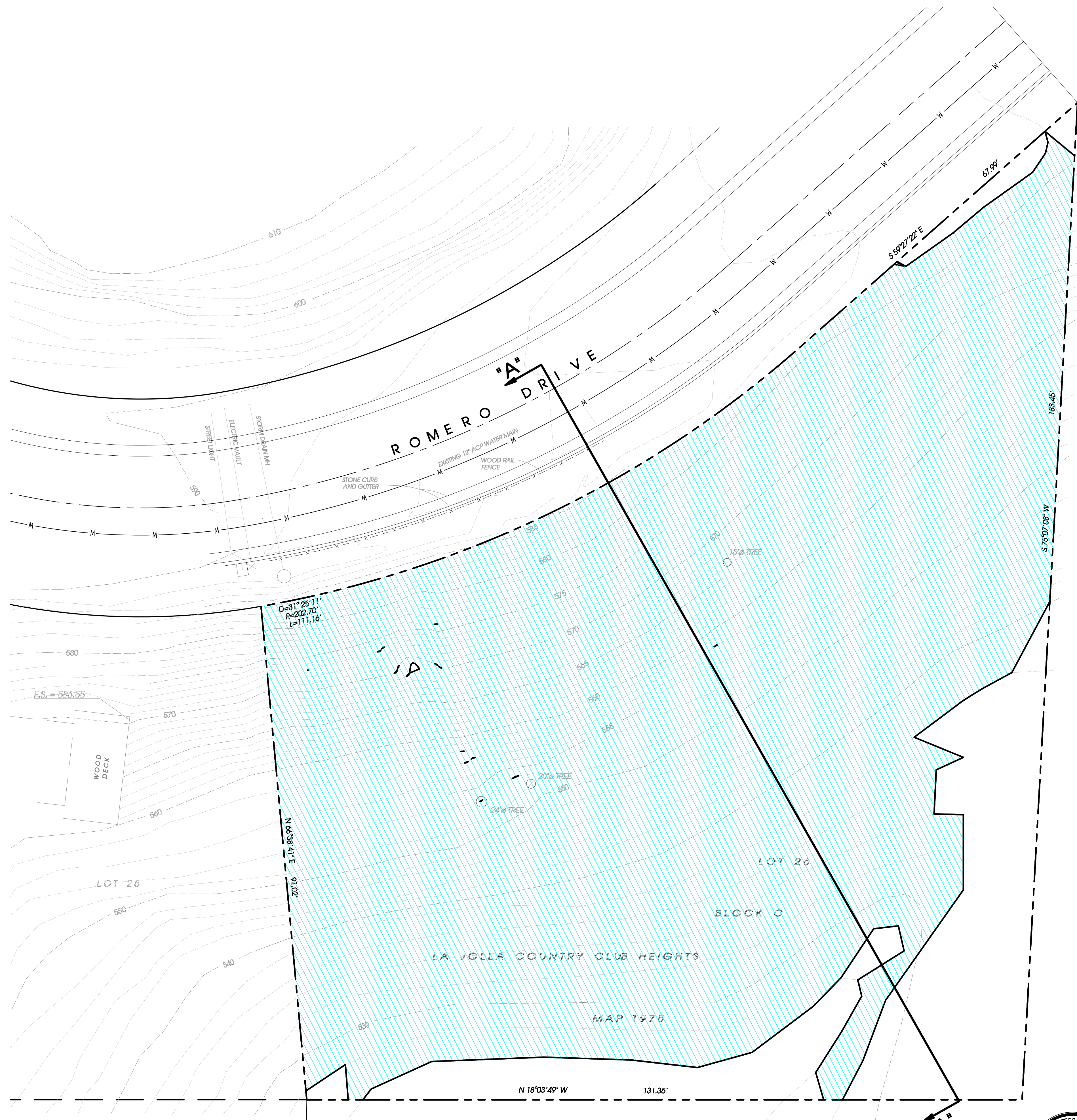
# COASTAL DEVELOPMENT PERMIT

## LEGEND

 AREA OF SITE WITH 25% SLOPES OR GREATER: AREA - 15,104 SF (86.5%)

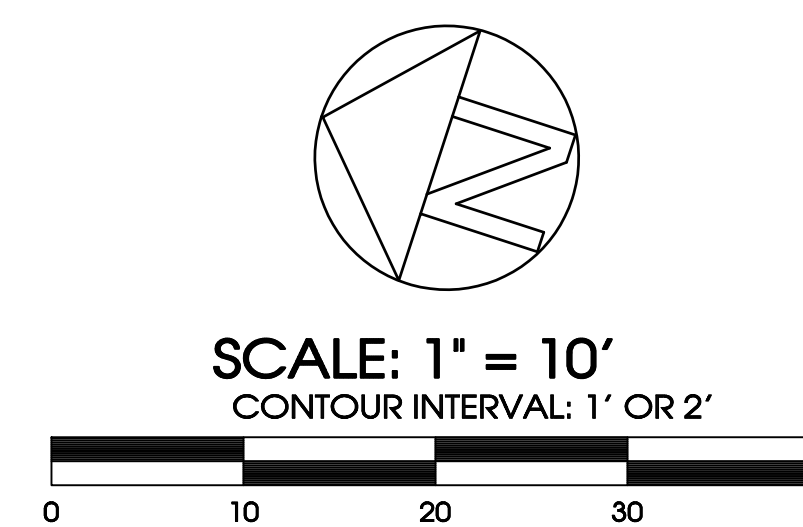
NOTE:

NO ELS, STEEP HILLSIDES OCCUR ONSITE. SEE GEOTECHNICAL SECTION BELOW. THE SITE IS COVERLAIN BY ARTIFICIAL FILL AND NO NATURAL STEEP SLOPES EXIST ONSITE.



**CE & S** CHRISTENSEN ENGINEERING & SURVEYING  
 CIVIL ENGINEERS LAND SURVEYORS  
 7888 SILVERTON AVENUE, SUITE 'J', SAN DIEGO, CALIFORNIA 92126  
 TELEPHONE: (858) 271-9901 EMAIL: ceands@aol.com

*Antony K. Christensen*  
 ANTONY K. CHRISTENSEN, RCE 54021  
 Date: MAY 21, 2024



Prepared By:  
 CHRISTENSEN ENGINEERING & SURVEYING  
 7888 SILVERTON AVENUE, SUITE 'J'  
 SAN DIEGO, CA 92126  
 PHONE: (858)271-9901 EMAIL: ceands@aol.com

Project Address:  
 7202 ROMERO DRIVE  
 LA JOLLA, CA 92037

Project Name:  
 7202 ROMERO DRIVE RESIDENCE

Sheet Title:

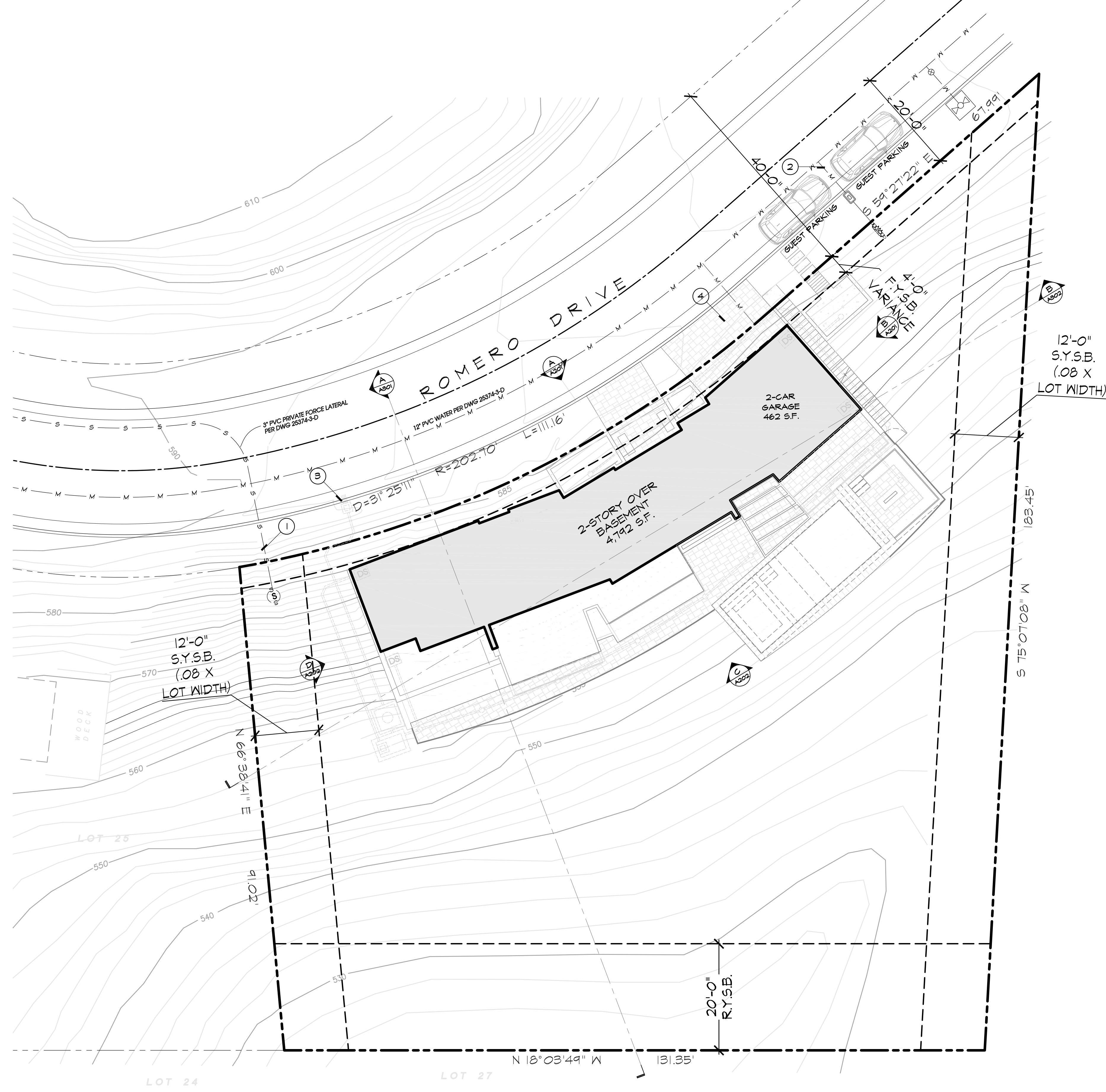
**SLOPE ANALYSIS**

Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2:  
 Revision 1: 05-21-24 ADDRESS CITY COMMENTS

Original Date: FEBRUARY 16, 2024

Sheet of Sheets

DEP#



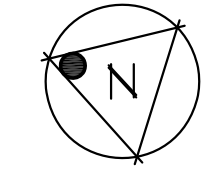
### SITE LEGEND:

- AREA OF PROPOSED UPPER/STREET LEVEL FOOTPRINT
- PROPOSED IMPERVIOUS AREA
- PROPOSED PERVIOUS LANDSCAPE
- INDICATES PROPERTY LINE
- INDICATES SETBACK LINE
- x  
/ SPOT ELEVATION
- WM WATER METER

- ### SITE NOTES
1. THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMC SECTION 113.0270.
  2. THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS
  3. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFG 901.4.4).
  4. METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
  5. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
  6. THERE ARE NO EXISTING OR PROPOSED EASEMENTS.
  7. ALL PROPOSED PRIVATE SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
  8. ALL REQUIRED EMRAS ASSOCIATED WITH WORK TO BE DONE WITHIN A PUBLIC ROW OR OTHER PUBLIC EASEMENT MUST BE APPROVED BY THE CITY AND RECORDED BY THE COUNTY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT AUTHORIZING THAT WORK.
  9. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.
  10. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409(b)(2). PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURING FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
  11. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH.
  12. ALL PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

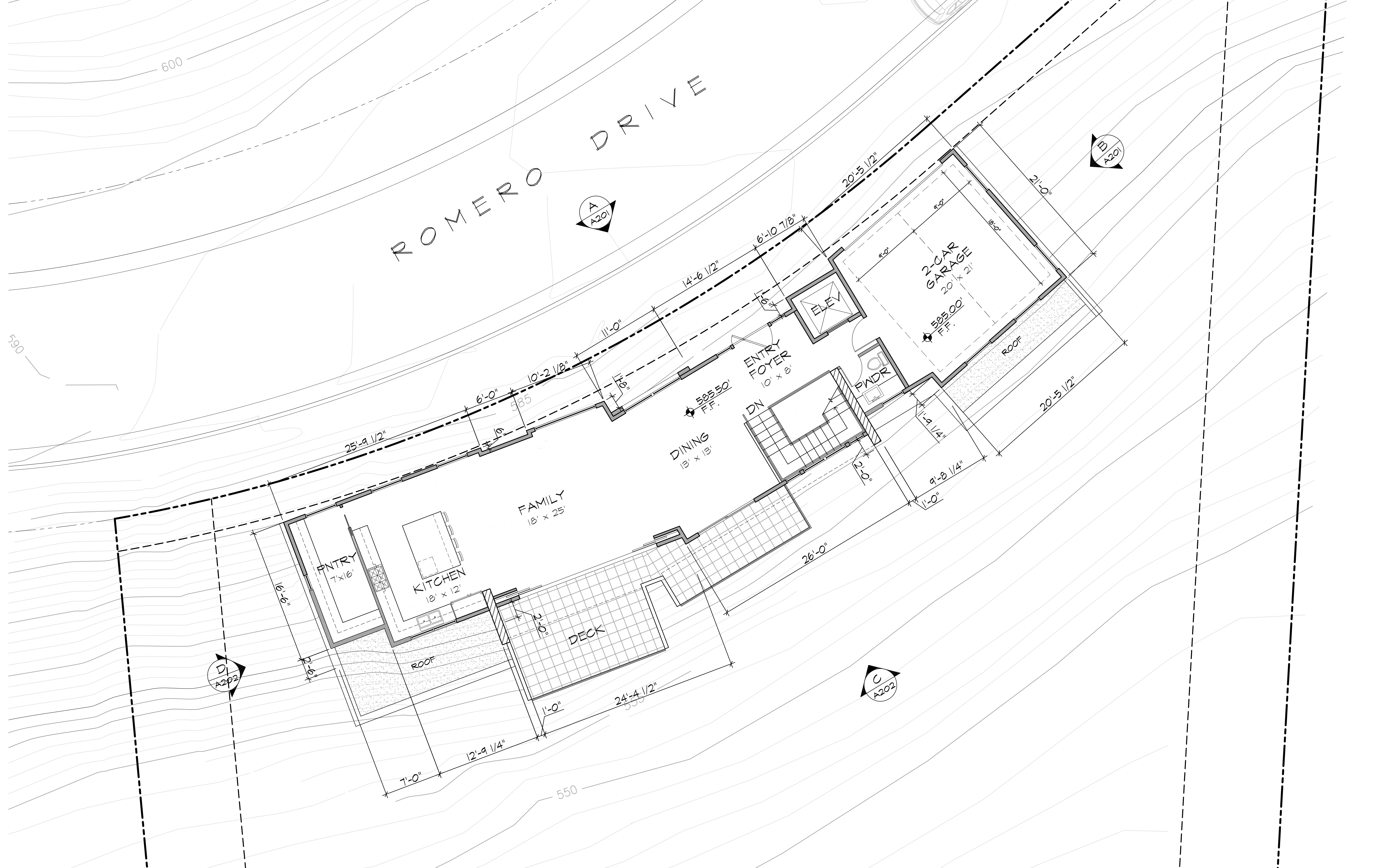
- ### SITE PLAN KEYNOTES
- ① PROPOSED PVT 3" SEWER LATERAL. PER CIVIL DRAWINGS.
  - ② PROPOSED 1" WATER SERVICE, WATER METER BOX AND BACKFLOW PREVENTER.
  - ③ PROPOSED TWO PVT SIDEWALK UNDERDRAINS. PER CIVIL DRAWINGS.
  - ④ PROPOSED 20' PRIVATE DRIVEWAY PER CURRENT CITY STD
  - ⑤ PROPOSED LANDSCAPE AREA PER LANDSCAPE DRAWINGS

**SITE PLAN**  
SCALE: 3/32"=1'-0"

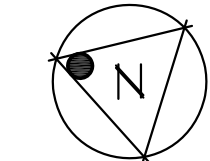




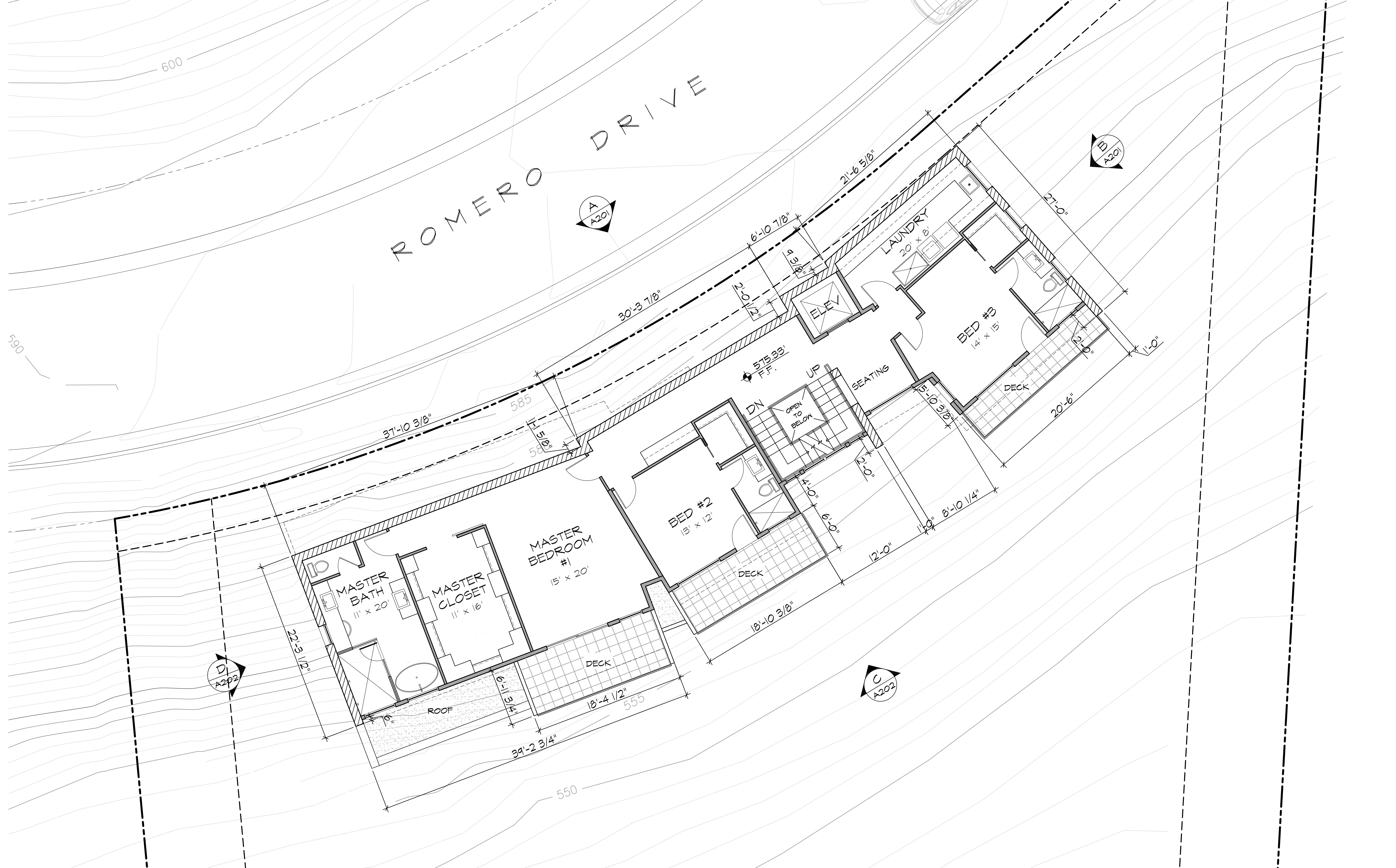
PROPRIETARY DESIGN: THE DRAWING, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.



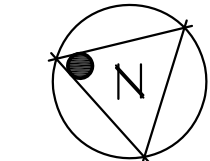
2ND FLOOR PLAN - UPPER/STREET LEVEL  
SCALE: 3/16"=1'-0"



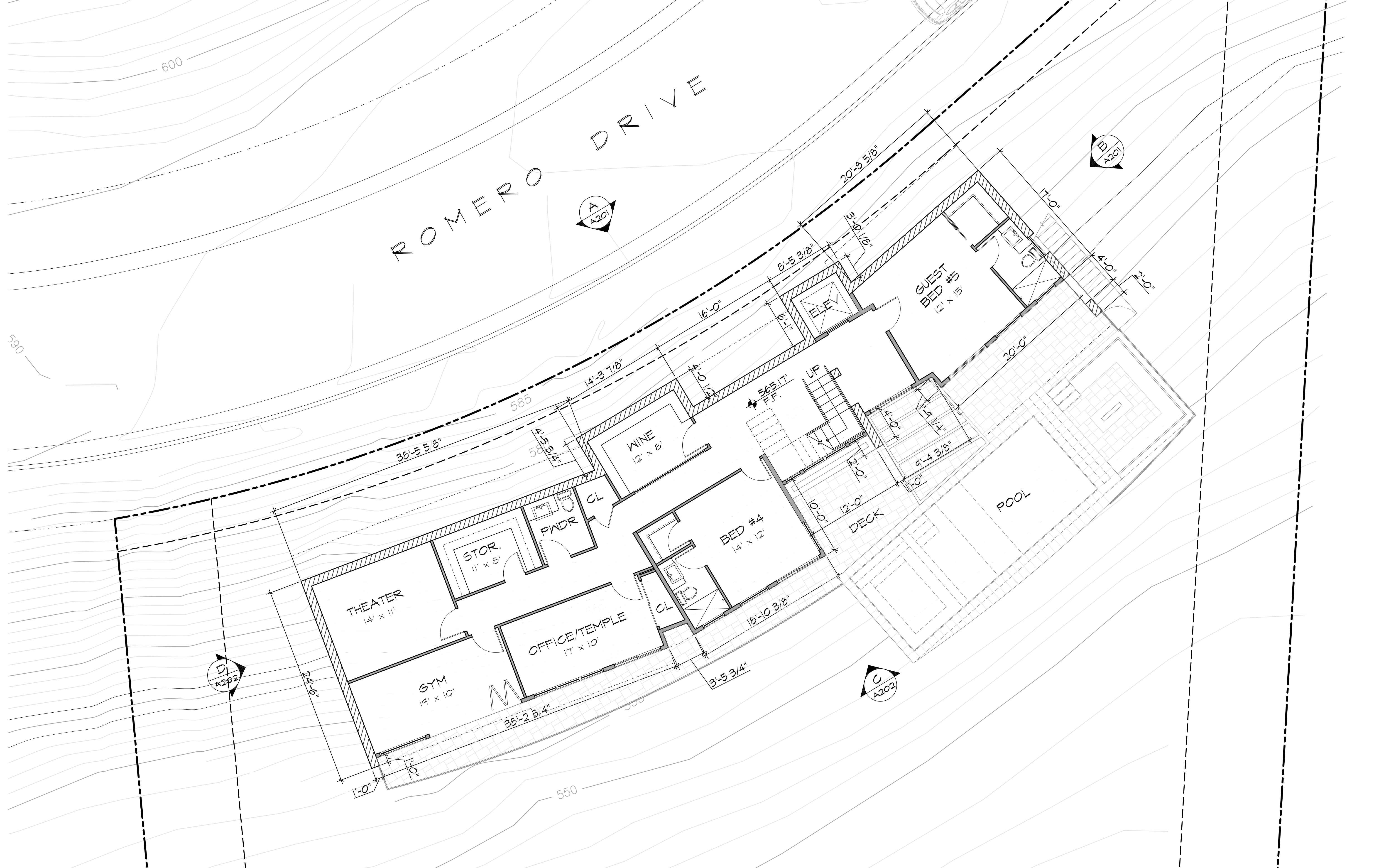
PROPRIETARY DESIGN: THE DRAWING, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.



1ST FLOOR PLAN - MIDDLE LEVEL  
SCALE: 3/16"=1'-0"



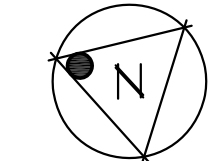
PROPRIETARY DESIGN: THE DRAWING, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.



ROMERO DRIVE

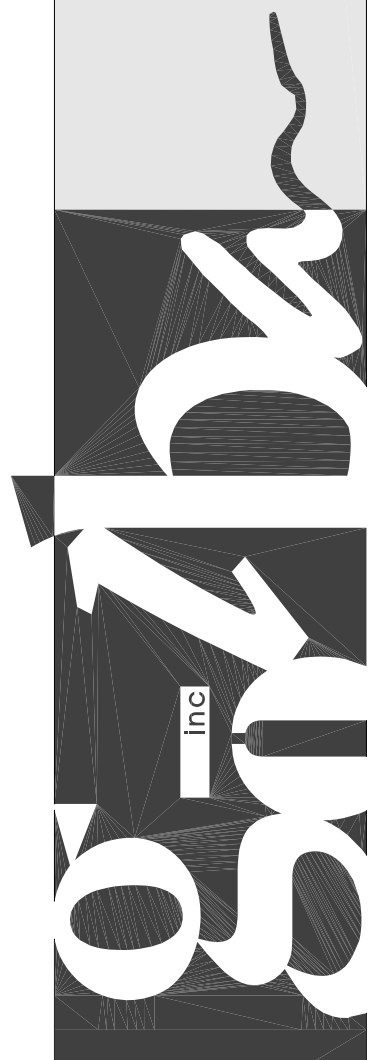
BASEMENT FLOOR PLAN - LOWER LEVEL

SCALE: 3/16"=1'-0"



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Architecture ■ Space Planning ■ Interior Design  
4455 Lamont St. #101 San Diego California 92109  
Phone: (619) 231-9905

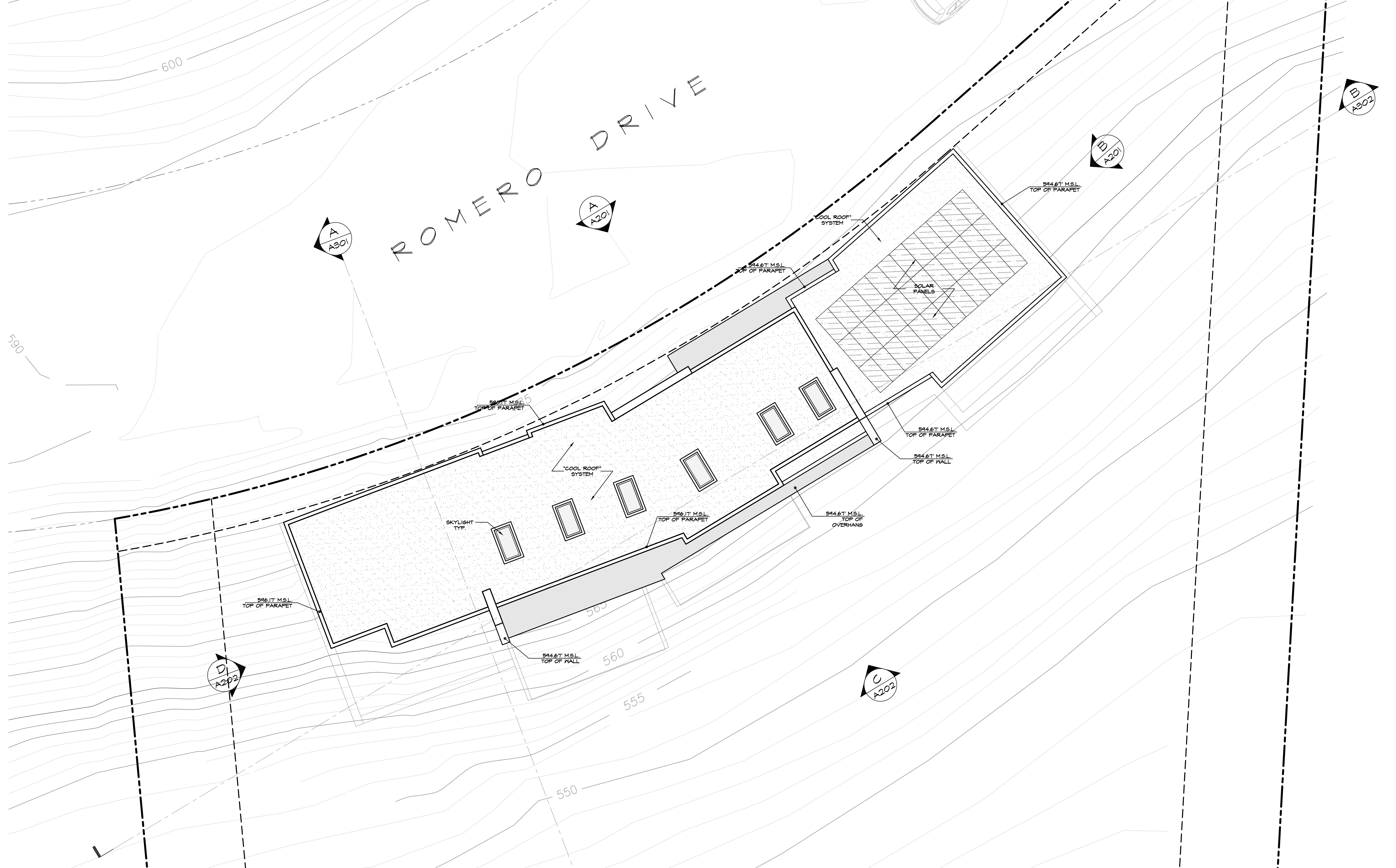
**MEHTA RESIDENCE**  
7202 Romero Drive  
LA JOLLA, CA



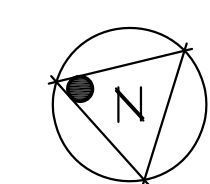
**A102**

DATE: 10-14-24

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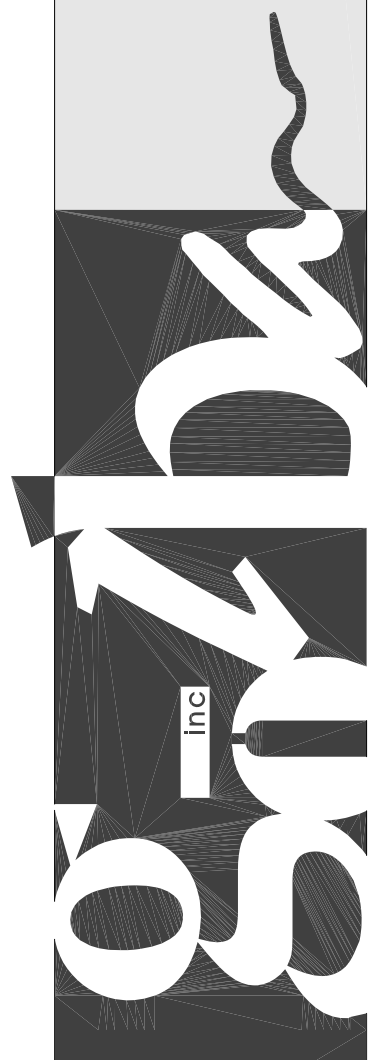


ROOF PLAN  
SCALE: 3/16"=1'-0"



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Architecture ■ Space Planning ■ Interior Design  
4455 Lamont St. #101 San Diego California 92109  
Phone: (619) 231-9905

**MEHTA RESIDENCE**  
7202 Romero Drive  
LA JOLLA, CA



**A103**

DATE: 10-14-24

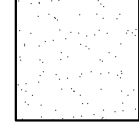
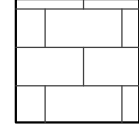
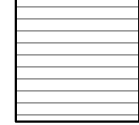
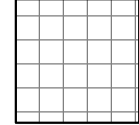
**PROP "D" NOTE**

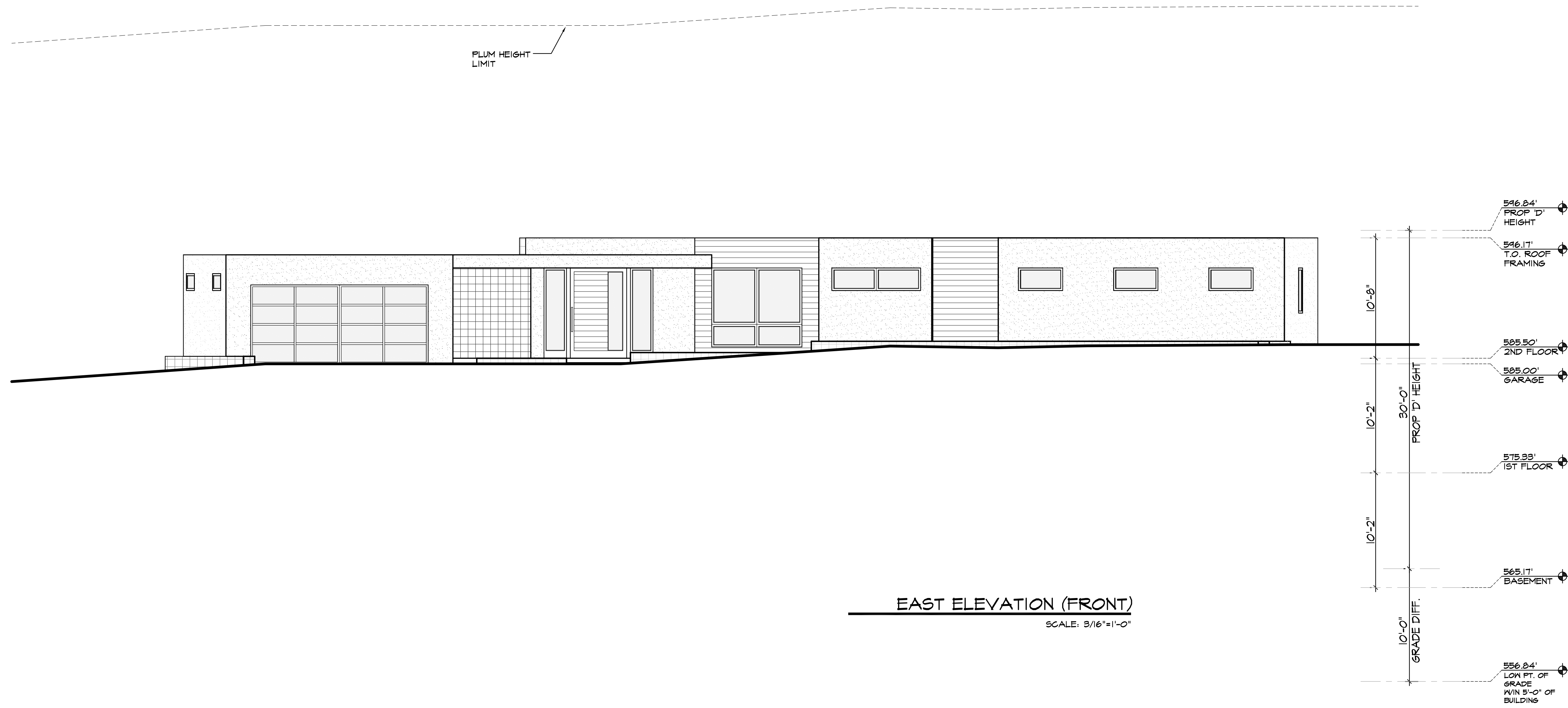
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**ELEVATION NOTES**

- 1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.
- 2) NO DECK PARAPET, GUARDRAIL, WALL OR FENCE TO EXCEED AN AVERAGE OF 42" IN HEIGHT FROM THE FINISHED FLOOR OF THAT DECK, NOR SHALL THEY EXCEED 54" IN HEIGHT AT ANY POINT.
- 3) PER SDMC TABLE 191-04D, MAX. STRUCTURE HEIGHT IN THE RS-1-4 ZONE SHALL BE 30'-0"

**MATERIAL LEGEND**

-  1/8" EXT. CEMENT STUCCO W/ENERGY ACRYLIC FINISH COATING. COLOR PER OWNER/ARCHITECT APPROVAL, (TYP.)
-  CORRUGATED METAL SIDING. COLOR & PATTERN PER OWNER/ARCHITECT APPROVAL, (TYP.)
-  LAP SIDING. JAMESHARDIE HARDIEPLANK LAP SIDING SELECT CEDARMILL. PRIMED FOR PAINT. COLOR/FINISH: PER OWNER/ARCHITECT APPROVAL, (TYP.)
-  BLOCK WALL. COLOR & PATTERN PER OWNER/ARCHITECT APPROVAL, (TYP.)



**EAST ELEVATION (FRONT)**  
SCALE: 3/16"=1'-0"

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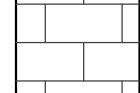


**PROP "D" NOTE**

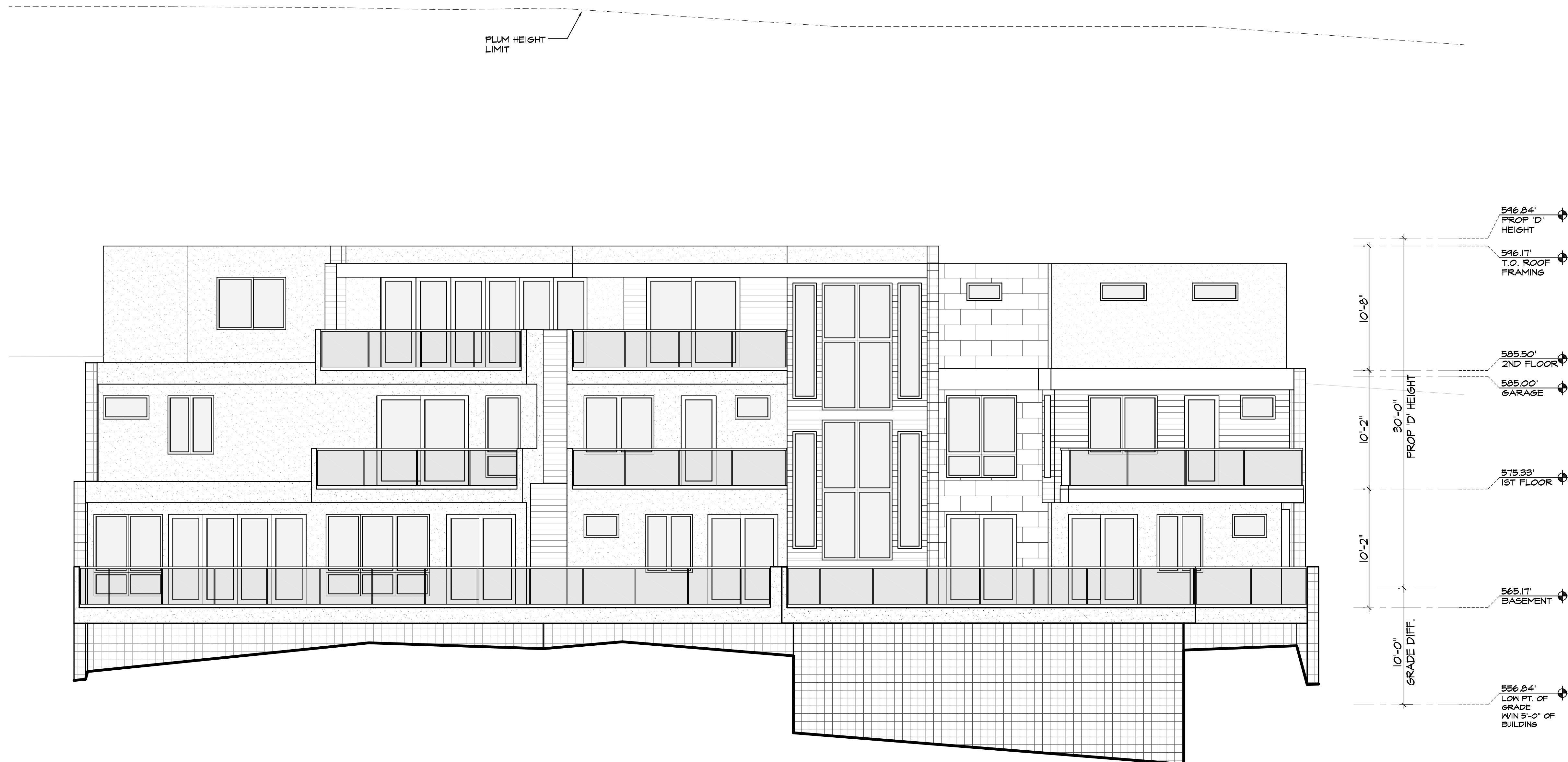
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**ELEVATION NOTES**

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**MATERIAL LEGEND**

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**WEST ELEVATION (REAR)**

SCALE: 3/16"=1'-0"

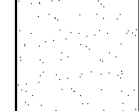
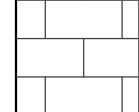
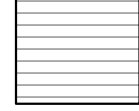
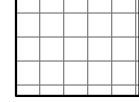
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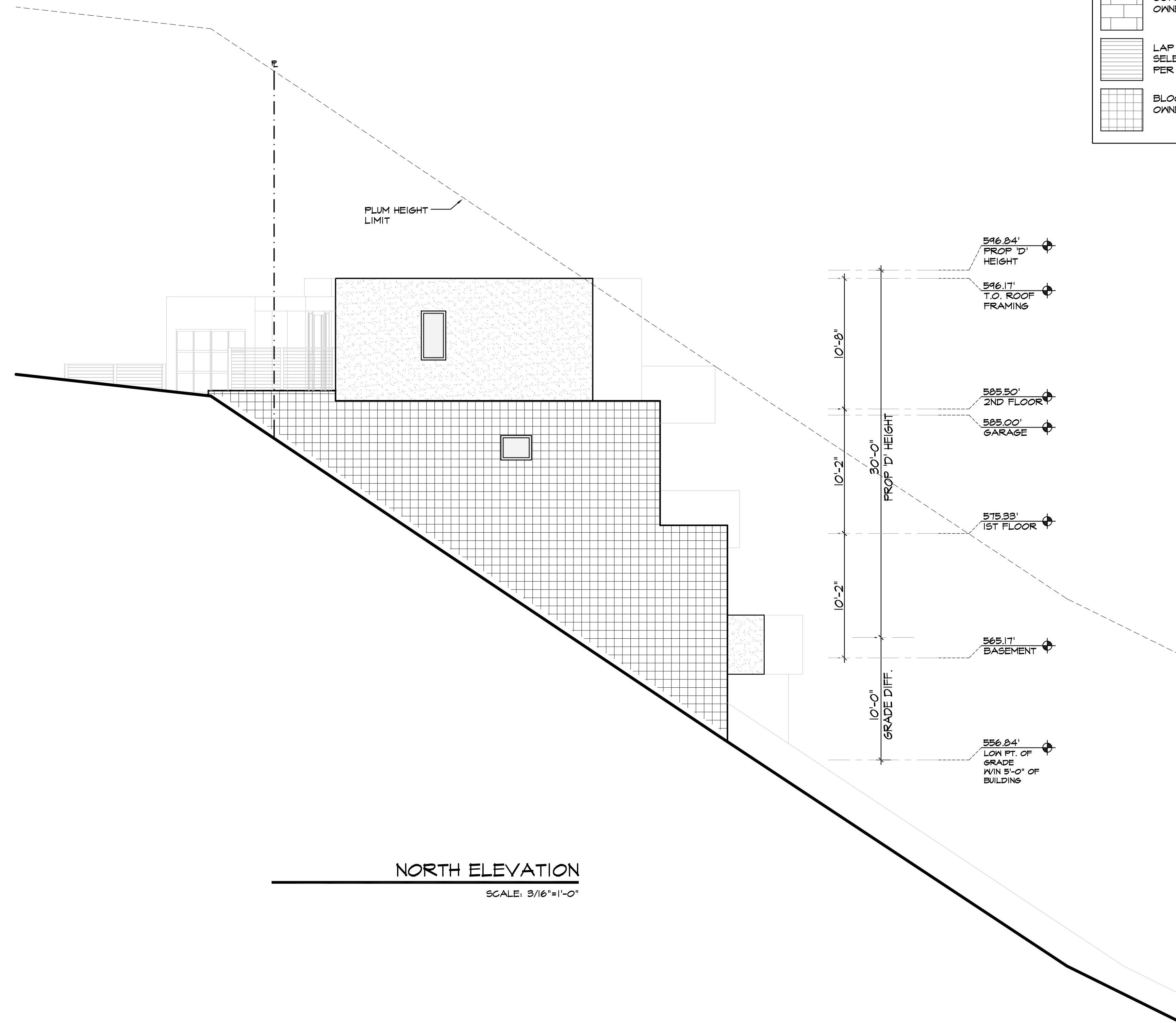
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**MATERIAL LEGEND**

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**NORTH ELEVATION**

SCALE: 3/16"=1'-0"

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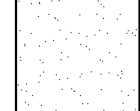
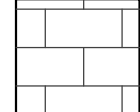

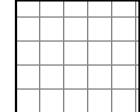
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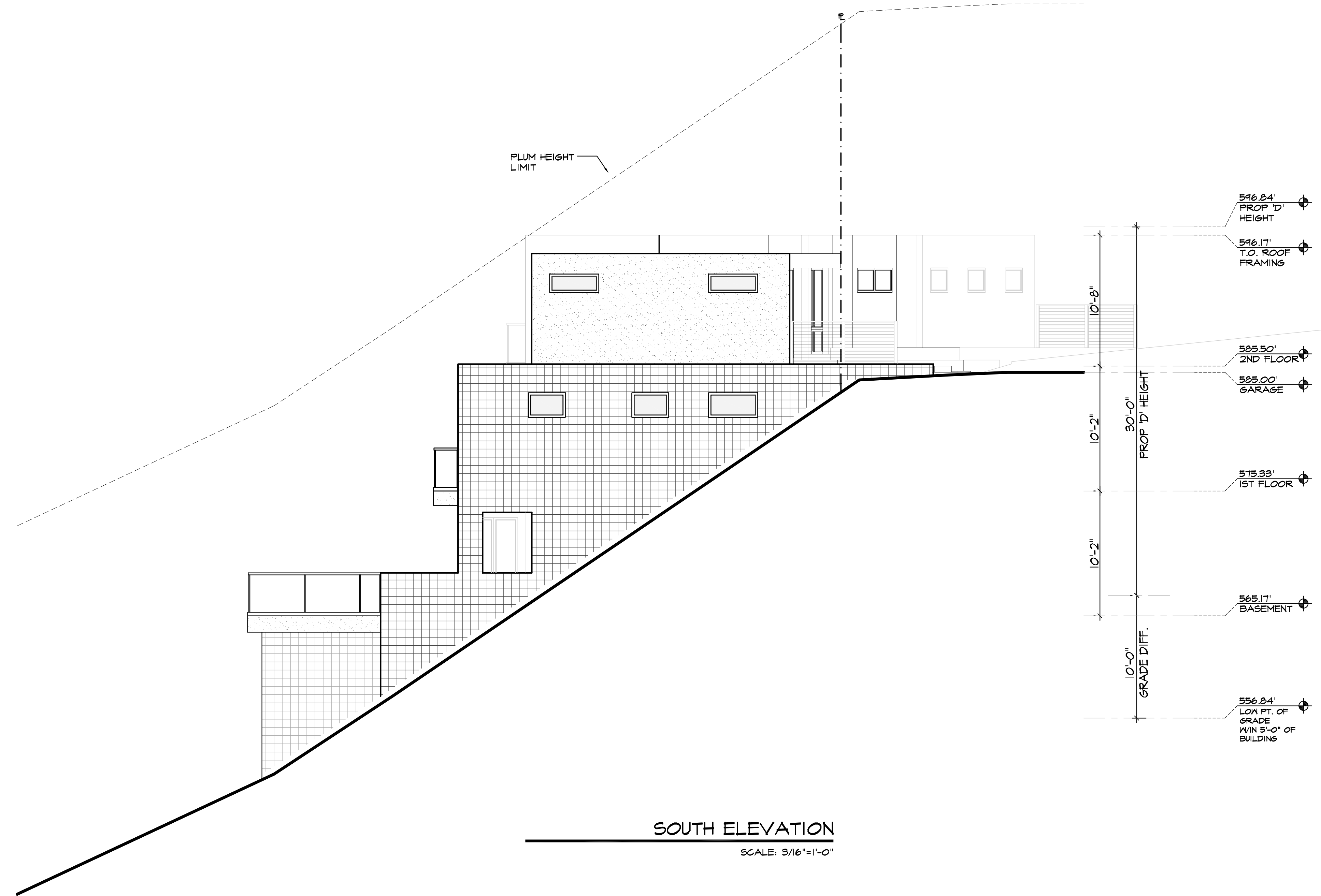
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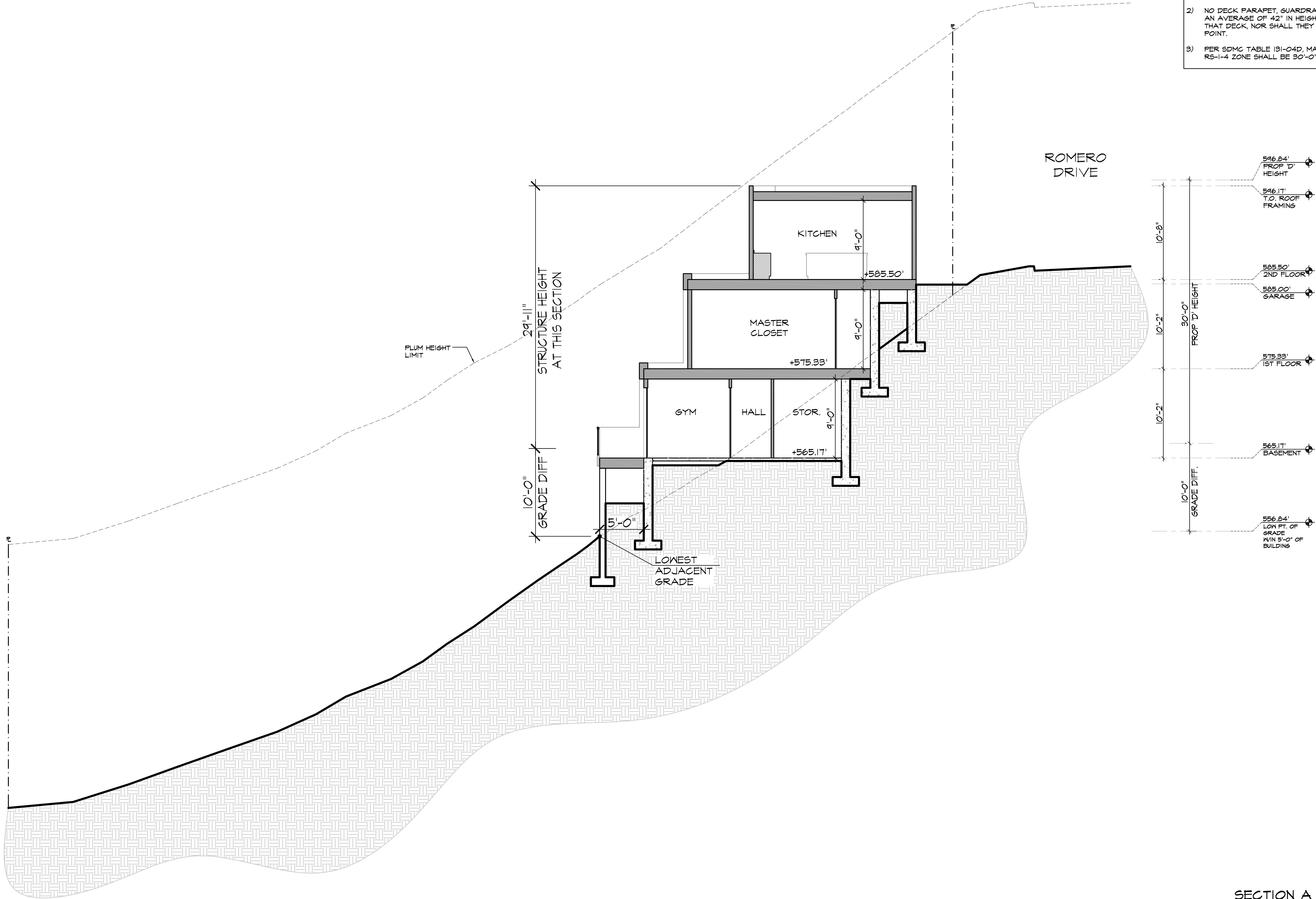
**SOUTH ELEVATION**

SCALE: 3/16"=1'-0"



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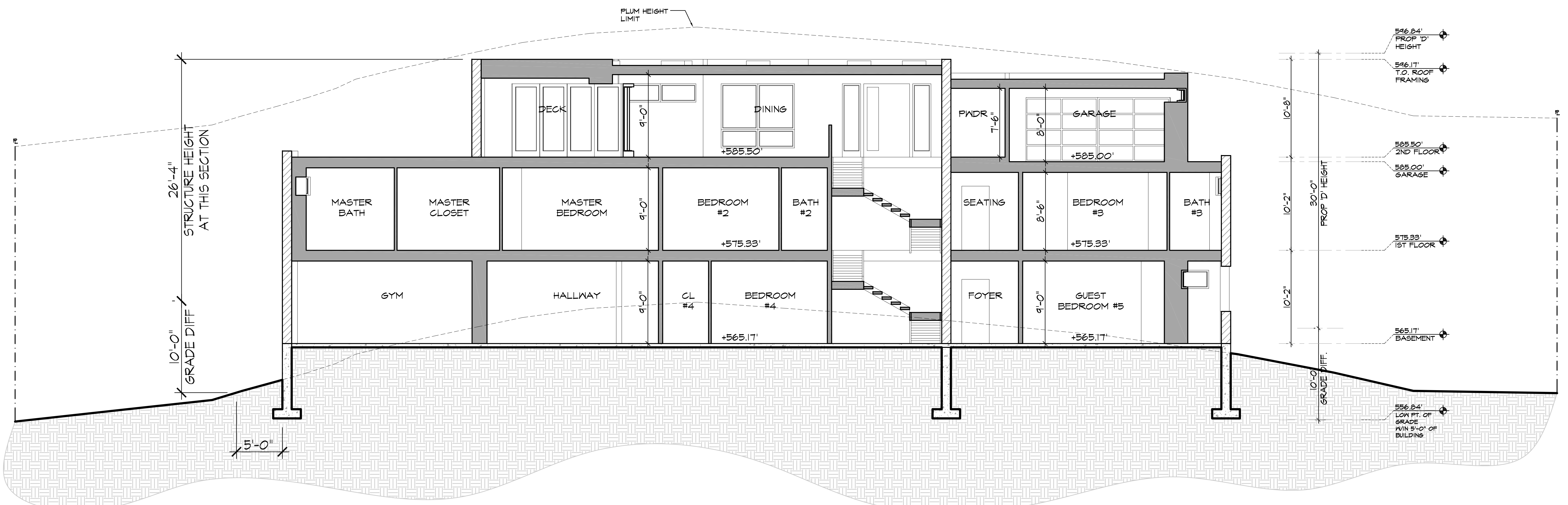


**SECTION A**  
SCALE: 3/16"=1'-0"

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**SECTION B**  
SCALE: 3/16"=1'-0"

# LANDSCAPE DEVELOPMENT PLANS FOR:

## PRIVATE RESIDENCE

7202 Romero Drive

La Jolla, CA 92037

### NOTES:

- The contractor shall obtain all necessary permits and pay all related fees.
- The contractor shall be appropriately licensed in the State of California.
- The contractor shall notify the Owner prior to beginning the work and shall be responsible for coordinating with the Owner, Landscape Architect, Local Agencies, and other trades.
- The Contractor shall notify the Landscape Architect immediately of any errors, omissions or discrepancies in the existing conditions or with the plans prior to starting the work.
- Determination of "or equal" substitutions shall be the responsibility of the Landscape Architect.
- The Landscape Architect shall be notified no less than 24 hours prior to any required site observations and/or meetings.
- Site observations by the Landscape Architect during the installation of this project does not relieve the Contractor of his responsibility to perform all work in accordance with the plans, specifications and governing codes.
- This firm does not practice or consult in the Field of Safety Engineering. This firm does not direct the construction operation and is not responsible for the safety of any persons other than our own on the site. The safety of others is the responsibility of the Contractor. The Contractor shall notify the Owner and the Landscape Architect if any of the recommendations presented herein are considered to be unsafe.

### BUILDING CODE INFORMATION:

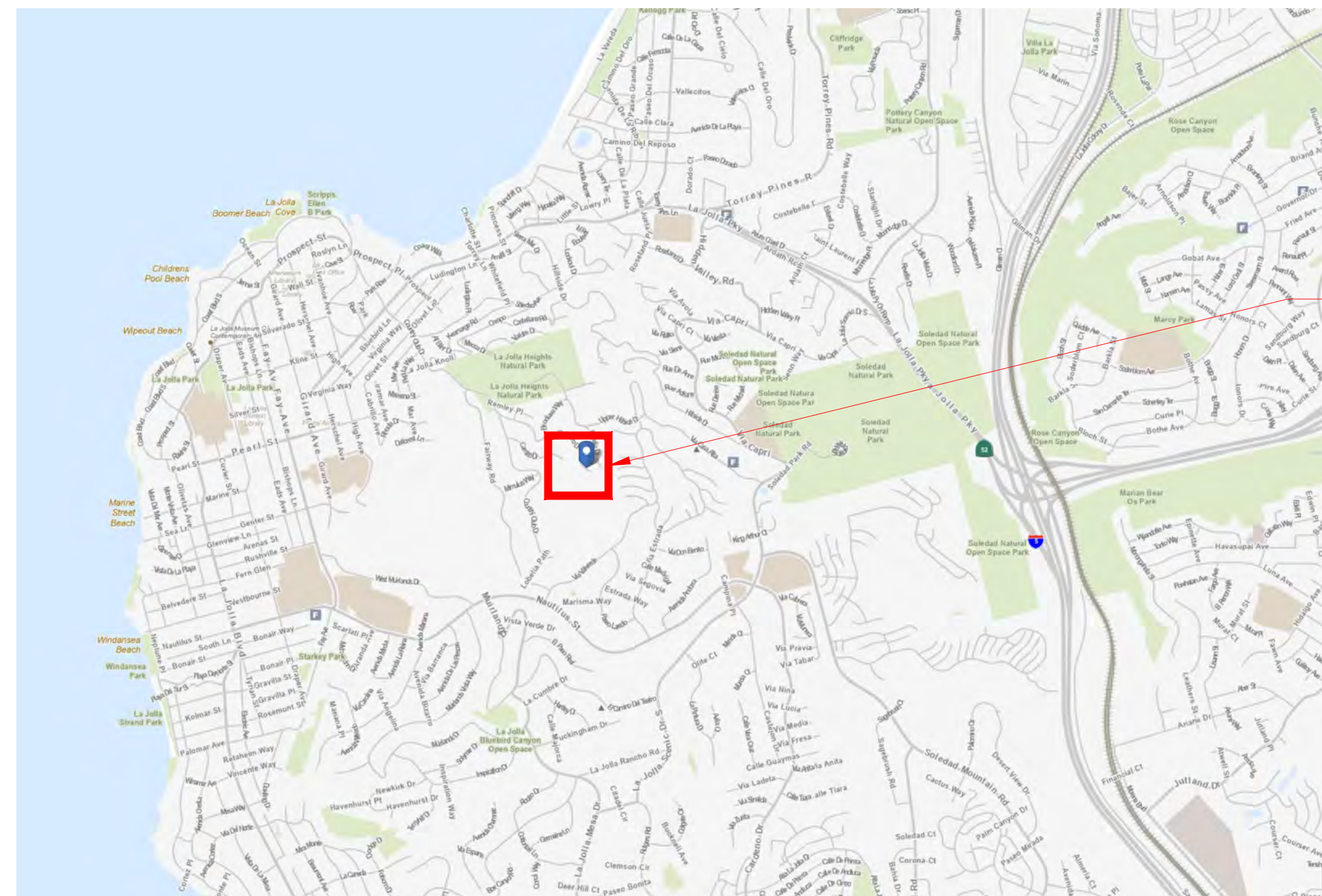
#### APPLICABLE CODES:

- 2022 California Administrative Code
- 2022 California Building Code (CBC), including amendments by the jurisdiction having authority
- 2022 California Mechanical Code
- 2022 California Plumbing Code
- 2022 California Electrical Code
- 2022 California Energy Code
- 2022 California Fire Code
- 2022 California Green Building Standards Code
- 2010 ADA Standards for Accessible Design
- 2023 City of San Diego Municipal Code

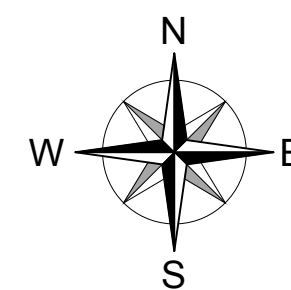


All Work shall conform to State and Federal rules and regulations. Notify the Landscape Architect of any discrepancies in the Documents and do not proceed with that portion of the Work until the discrepancies are resolved.

### VICINITY MAP:



PROJECT SITE



### PROJECT DESCRIPTION:

New walkways, driveway, patios, walls, fencing, pool, as well as irrigation and planting associated with a single family residence.

### SITE DATA:

**BUILDING ADDRESS**  
7202 Romero Drive, La Jolla, CA 92037

**ASSESSORS PARCEL NUMBER**  
352-261-04-00

**LEGAL DESCRIPTION**  
Block C, Lot 26

### ZONING

RS-1-4 Base Zone  
Coastal Overlay Zone (Non-Appealable Area 1\_  
Coastal Height Limitation Overlay Zone  
La Jolla Community Planning Area

### PROJECT DIRECTORY:

**OWNER:**  
Mr. Raj Mehta  
La Jolla, CA 92037

**ARCHITECT:**  
Golba Architecture  
4455 Lamont Street, Suite 101  
San Diego, CA 92109  
Tel: (619) 231-9905

**CIVIL ENGINEER:**  
Christensen Engineering & Surveying, Inc.  
7888 Silverton Avenue, Suite J  
San Diego, CA 92126  
Tel: (858) 271-9901

**LANDSCAPE ARCHITECT:**  
TOPIA  
2030 Galveston Street  
San Diego, CA 92110  
Tel: (858) 458-0555  
Contact: Frank Marczynski  
frank@topialand.com

### SHEET INDEX:

#### SHEET: DESCRIPTION:

#### LANDSCAPE ARCHITECTURAL

- L00 COVER
- L10 LANDSCAPE DEVELOPMENT PLAN LEGEND & NOTES
- L11 LANDSCAPE DEVELOPMENT PLAN
- L21 BRUSH MANAGEMENT PLAN
- L31 LANDSCAPE AREA DIAGRAM
- L41 WATER CONSERVATION PLAN
- L42 WATER CONSERVATION CALCULATIONS
- L51 EXISTING TREE DISPOSITION PLAN

#	DATE	ISSUES & REVISIONS	BY
1	02.20.2024	1ST SUBMITTAL	FM
2	05.22.2024	2ND SUBMITTAL	FM
3	07.25.2024	3RD SUBMITTAL	FM



<b>Private Residence</b> 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER <h1>L00</h1>
The City of <b>SAN DIEGO</b> DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 8 SHEETS	PROJECT NUMBER: 24.001.00 SHEET TITLE: COVER

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

**PLANTING LEGEND:**

TREES							
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT / SPREAD	FORM / FUNCTION	WUCOLS	Water Conservation Zone
	24" BOX	EUCALYPTUS CITRIODORA EUCALYPTUS NICHOLII	Lemon Scented Gum Nichol's Willowleaved Peppermint	60' High / 25' Spread 50' High / 30' Spread	Slope Tree / Canopy Tree	Low Low	Zone 3
	24" BOX	ARBUTUS UNEDO OLEA EUROPAEA 'WILSONII'	Strawberry Tree Fruitless Olive Tree	20' High / 20' Spread 20' High / 20' Spread	Street Tree	Low Low	Zones 1 & 2
	Existing	Eucalyptus - Mixed Species - Existing to Remain	Eucalyptus	50' High / 40' Spread	Slope Tree	Low	Zone 3
SCREENING SHRUB							
	15 GAL.	FRANGULA CALIFORNICA OLEA EUROPAEA 'LITTLE OLLIE' PRUNUS ILICIFOLIA LYONII RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	Coffeeferry Little Ollie Olive Holly Leaf Cherry Coffeeferry	6' High / 6' Spread 8' High / 6' Spread 15' High / 15' Spread 6' High / 6' Spread	Large Shrub	Very Low Low Very Low Very Low	Zone 3
MEDIUM HEIGHT SHRUB / HEDGE							
	5 GAL.	BUXUS MICROPHYLLA JAPONICA LEUCADENDRON 'SAFARI GOLDSTRIKE' RHAPHIOLEPIS INDICA WESTRINGIA FRUTICOSA 'GREY BOX' WESTRINGIA FRUTICOSA 'MORNING LIGHT'	Japanese Boxwood Yellow Conebush India Hawthorn Coast Rosemary Coast Rosemary	3' High / 2' Spread 4' High / 4' Spread 4' High / 4' Spread 3' High / 4' Spread 3' High / 4' Spread	Shrub	Moderate Low Low Low Low	Zones 2 & 3
	5 GAL.	ARCTOSTAPHYLOS 'BIG SUR' BUXUS MICROPHYLLA JAPONICA RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	Big Sur Manzanita Japanese Boxwood Coffeeferry	3-4' High / 4-6' Spread 3' High / 2' Spread 6' High / 6' Spread	Shrub / Hedge	Low Moderate Low	Zone 2
ACCENT SHRUBS							
	15 GAL.	PHORMIUM TENAX PINUS MUGHO	New Zealand Flax Mugo Mugo Pine	5' High / 5' Spread 4' High / 6' Spread	Accent	Low Low	Zones 2 & 3
ACCENT PLANTS							
	15 GAL.	AGAVE SPECIES AGAVE 'BLUE GLOW'	Agave Blue Glow Agave	4' High / 4' Spread 18" High / 2' Spread	Succulent Succulent	Low Low	Zone 2 Zone 2 - in Visibility Areas
LOW SHRUB							
	5 GAL.	ACACIA REDOLENS ARCTOSTAPHYLOS 'PACIFIC MIST' BACCHARIS PILULARIS 'PIGEON POINT' MYOPORUM X 'PACIFICA' ROSMARINUS OFFICINALIS 'PROSTRATA'	Prostrate Acacia Pacific Mist Manzanita Coyote Brush Pacifica Saltbush Prostrate Rosemary	2' High / 6' Spread 2' High / 6' Spread 2' High / 9' Spread 2' High / 30' Spread 2' High / 8' Spread	Low Shrub / Groundcover	Low Low Low Low Low	Zones 1 & 2
LOW GROUNDCOVER							
	5 GAL.	ACACIA REDOLENS ARCTOSTAPHYLOS 'CARMEL SUR' ARCTOSTAPHYLOS 'PACIFIC MIST' BACCHARIS PILULARIS 'PIGEON POINT' MYOPORUM X 'PACIFICA' ROSMARINUS OFFICINALIS 'PROSTRATA'	Prostrate Acacia Carmel Sur Manzanita Pacific Mist Manzanita Coyote Brush Pacifica Saltbush Prostrate Rosemary	2' High / 6' Spread 1-2' High / 6' Spread 2' High / 6' Spread 2' High / 9' Spread 2' High / 30' Spread 2' High / 8' Spread	Low Groundcover	Low Low Low Low Low Low	Zones 1, 2 & 3
ORNAMENTAL GRASSES							
	5 GAL.	CAREX TUMULICOLA DIETES BICOLOR FESTUCA GLAUCA 'ELIJAH BLUE' MUHLENBERGIA RIGENS	Foothill Sedge Fortnight Lily Elijah Blue Fescue Deer Grass	1' High / 2' Spread 3' High / 3' Spread 18" High / 18" Spread 2' High / 2' Spread	Ornamental Grass	Low Low Low Low	Zones 1, 2, & 3
GRASSY ACCENT SHRUB							
	5 GAL.	CHONDROPETALUM TECTORUM 'EL CAMPO'	Cape Rush	3' High / 3' Spread	Grassy Accent	Low	Zone 3

**DESIGN STATEMENT:**

THE LANDSCAPE DESIGN IS INTENDED TO COMPLIMENT THE CONTEMPORARY SINGLE FAMILY RESIDENCE SITUATED ON THIS EUCALYPTUS FORESTED HILLSIDE LOT.

- THE PLANT PALETTE IS COMPOSED OF DURABLE AND LOW WATER USE/DROUGHT TOLERANT PLANTS WHICH ARE EASILY MAINTAINED. PLANT SPECIES ARE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AD WATER USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS IV.
- THERE IS NO TURF OR LAWN ON THIS SLOPING SITE.
- NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC OR IN THE SAN DIEGO LANDSCAPE STANDARDS WILL BE USED.
- THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE, ELIMINATING THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
- PLANTS ARE GROUPED IN HYDROZONES BASED ON WATER USE AND EXPOSURE.

**PLANTING NOTES:**

**BRUSH MANAGEMENT:**  
THE PROJECT SITE IS SITUATED IN A DEVELOPED AREA, BUT DUE TO THE SLOPING LOT AND ADJACENT NATURAL VEGETATION, A BRUSH MANAGEMENT PLAN IS INCLUDED.

**IRRIGATION:**  
ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC, PERMANENT DRIP IRRIGATION SYSTEM.

AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

- INSTALLATION AND MAINTENANCE:**
- ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE. PER SDMC 1510.0304(h)(2).
  - ALL LANDSCAPED MATERIAL SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL. PER SDMC 1510.0304(h)(3).
  - LANDSCAPE AND IRRIGATION AREAS IN PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER.
  - LANDSCAPE AND IRRIGATION AREAS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.
  - THE LANDSCAPED AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
  - ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

- STREET TREES:**
- STREET TREES SHALL BE PROVIDED PER CITY OF SAN DIEGO MUNICIPAL CODE 142.04.09.
  - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE §142.0403(B)(10).
  - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. INSTALLATION OF ROOT BARRIERS IN THESE LOCATIONS SHALL BE SUBJECT TO THESE CONDITIONS PER 142.0403(B).

- MINIMUM TREE SEPARATION:**
- TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
  - UNDERGROUND UTILITY LINES - 5 FEET\*
  - SEWER LINES - 10 FEET
  - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
  - DRIVEWAY (ENTRIES) - 10 FEET
  - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

- OTHER NOTES:**
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
  - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED RELATED CITY AND REGIONAL STANDARDS.
  - A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)5.
  - EXISTING TREES TO REMAIN ON SITE WITHIN 10-FT OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:  
... A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.  
... STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.  
... A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.  
... ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE."
  - IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
  - PER SDMC SECTION 142.0409(b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT RIGHT-OF-WAY SHALL NOT EXCEED 36" IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
  - ALL EXPOSED SOIL SURFACES OF PLANTING AREAS SHALL BE COVERED WITH A MINIMUM 3-INCH LAYER OF MULCH, EXCEPT IN TURF AREAS, CREEPING OR ROOTED GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

**REVEGETATION PROGRAM:**

- AREAS TO BE DISTURBED ARE DIRECTLY ADJACENT TO THE BUILDING STRUCTURE AS SHOWN ON THE GRADING PLAN.
- REVEGETATION OF DISTURBED AREAS AND SLOPES WILL CONSIST OF PLANTS FROM THE PROPOSED PLANT LIST ON THIS SHEET, AND SHALL BE COMPLETED WITHIN 90 DAYS OF THE COMPLETION OF THE GRADING OR DISTURBANCE.
- AREAS WITHIN 100 FEET OF NATIVE/NATURALIZED VEGETATION SHALL BE IRRIGATED WITH AN AUTOMATIC, ABOVE GRADE, TEMPORARY DRIP IRRIGATION SYSTEM.

#	DATE	ISSUES & REVISIONS	BY
1	02.20.2024	1ST SUBMITTAL	FM
2	05.22.2024	2ND SUBMITTAL	FM
3	07.25.2024	3RD SUBMITTAL	FM

<b>Private Residence</b> 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER <h1>L10</h1>
The City of <b>SAN DIEGO</b> DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 8 SHEETS	PROJECT NUMBER: 24.001.00 SHEET TITLE: LANDSCAPE DEVELOPMENT PLANTING LEGEND & NOTES
<small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.</small>	

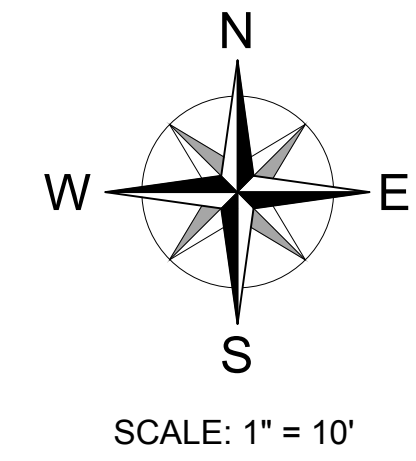
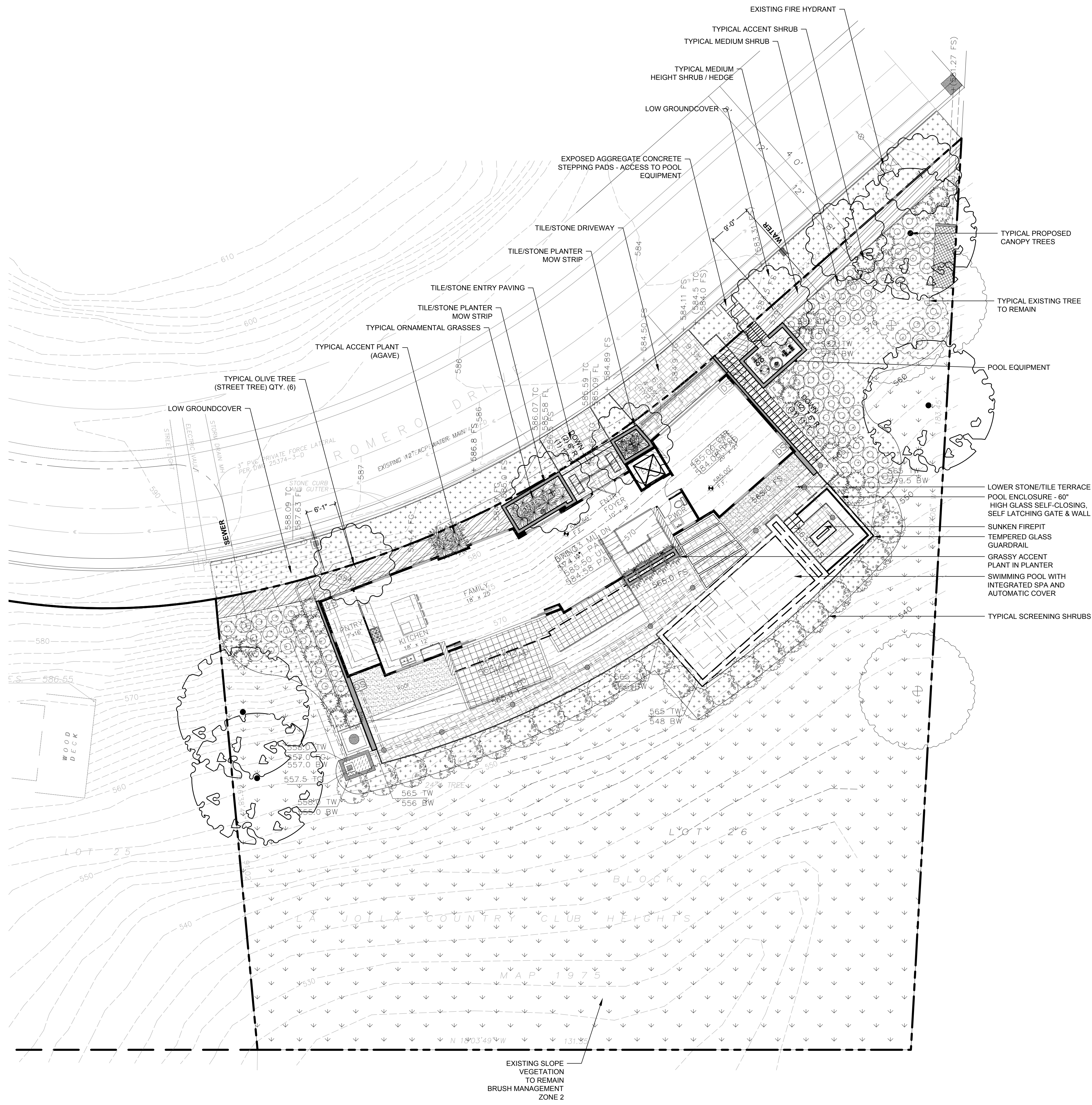


**STREET TREE CALCULATIONS**

**ROMERO DRIVE FRONTAGE = 179'-1.75" FT.**  
**REQUIRED STREET TREES**  
 (1) - 24" BOX PER 30' OF FRONTAGE = (6) TREES  
 REQUIRED

**PROVIDED STREET TREES**  
 (6) - 24" BOX OLEA EUROPAEA 'SWAN HILL' / FRUITLESS  
 OLIVE TREE

LA JOLLA COMMUNITY PLAN STREET TREE DISTRICT 3





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Private Residence 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER
	L11
The City of <b>SAN DIEGO</b> DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 8 SHEETS	PROJECT NUMBER: 24.001.00
	SHEET TITLE: <b>LANDSCAPE DEVELOPMENT PLAN</b>

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**BRUSH MANAGEMENT LEGEND**

SYMBOL	DESCRIPTION
	Brush Management Zone 1
	Brush Management Zone 2

**BRUSH MANAGEMENT REQUIREMENTS:**

CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS - SECTION III - BRUSH MANAGEMENT

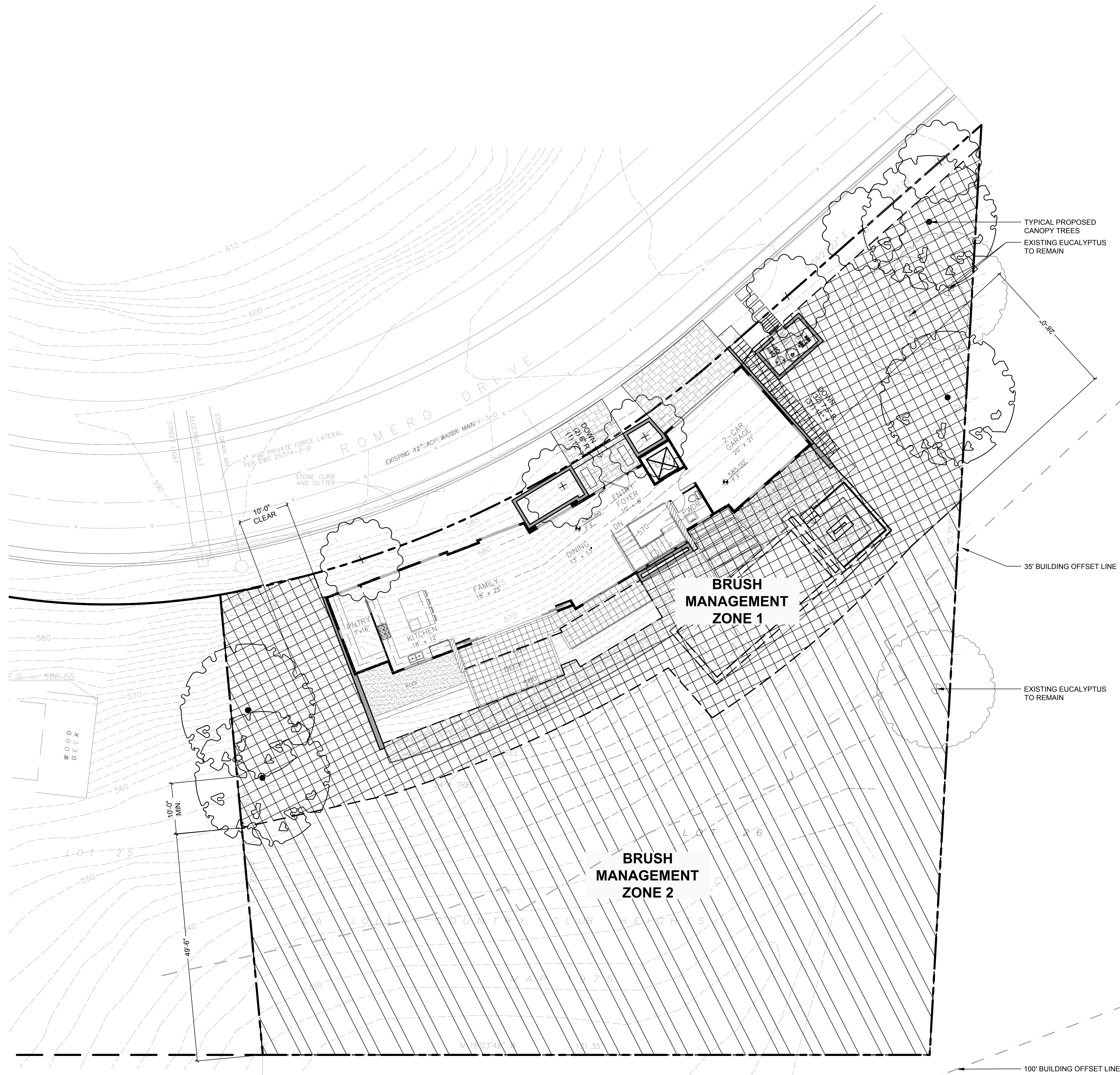
- 3.2-1 BASIC REQUIREMENTS - ALL ZONES
- 3.2-1.01 FOR ZONE TWO, PLANTS SHALL NOT BE CUT BELOW SIX INCHES.
  - 3.2-1.02 DEBRIS AND TRIMMINGS PRODUCED BY THINNING AND PRUNING SHALL BE REMOVED FROM THE SITE, OR IF LEFT, SHALL BE CONVERTED INTO MULCH BY A CHIPPING MACHINE AND EVENLY DISPERSED, NON-IRRIGATED, TO A MAXIMUM DEPTH OF SIX INCHES.
  - 3.2-1.03 TREES AND LARGE TREE FORM SHRUBS (E.G., OAKS, SUMAC, TOYON) WHICH ARE BEING RETAINED SHALL BE PRUNED TO PROVIDE CLEARANCE OF THREE TIMES THE HEIGHT OF THE UNDER-STORY PLANT MATERIAL OR SIX FEET WHICHEVER IS HIGHER. DEAD AND EXCESSIVELY TWIGGY GROWTH SHALL ALSO BE REMOVED.
  - 3.2-1.04 ALL PLANTS OR PLANT GROUPINGS EXCEPT CACTI, SUCCULENTS, TREES, AND TREE-FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE OF THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT PLANTS.
  - 3.2-1.05 MAXIMUM COVERAGE AND AREA LIMITATIONS AS STATED HEREIN SHALL NOT APPLY TO INDIGENOUS NATIVE TREE SPECIES (I.E., PINUS, QUERCUS, PLATANUS, SALIX AND POPULUS).
- 3.2-2 ZONE 1 REQUIREMENTS - ALL STRUCTURES
- 3.2-2.01 DO NOT USE, AND REMOVE IF NECESSARY, HIGHLY FLAMMABLE PLANT MATERIALS.
  - 3.2-2.02 TREES SHOULD NOT BE LOCATED CLOSER TO A STRUCTURE THAN A DISTANCE EQUAL TO THE TREE'S MATURE SPREAD.
  - 3.2-2.03 MAINTAIN ALL PLANTINGS IN A SUCCULENT CONDITION.
  - 3.2-2.04 NON-IRRIGATED PLANT GROUPINGS OVER SIX INCHES IN HEIGHT MAY BE RETAINED, PROVIDED THEY DO NOT EXCEED 100 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 10 PERCENT OF THE TOTAL ZONE 1 AREA.
- 3.2-3 ZONE 2 REQUIREMENTS - ALL STRUCTURES
- 3.2-3.01 INDIVIDUAL NON-IRRIGATED PLANT GROUPINGS OVER 24 INCHES IN HEIGHT MAY BE RETAINED PROVIDED THEY DO NOT EXCEED 400 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 30 PERCENT OF THE TOTAL ZONE 2 AREA.

**BUILDING MITIGATION MEASURES:**

- IN ORDER TO OFFSET THE REDUCED BRUSH MANAGEMENT ZONES, THE FOLLOWING BUILDING MITIGATION MEASURES ARE BEING IMPLEMENTED:
1. THE BUILDING IS FIRE SPRINKLERED
  2. PATIOS ON THE DOWN-SLOPE SIDE INCLUDE TEMPERED GLASS RAILS TO ACT AS A FIRE BREAK.

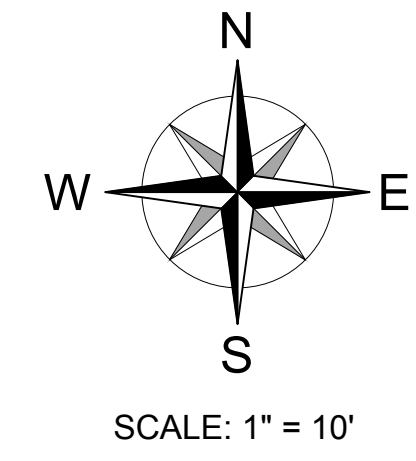
**BRUSH MANAGEMENT NOTES:**

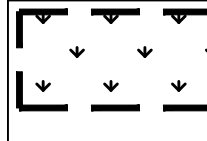
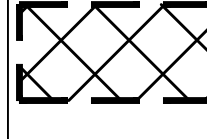

1. THIS PROJECT SHALL ADHERE TO THE REQUIREMENTS OF THE CBC CHAPTER 7A AND CRC R3327.
2. DUAL-GLAZED/DUAL-TEMPERED WINDOWS SHALL BE PROVIDED ON ANY SIDE THAT FACES BRUSH.

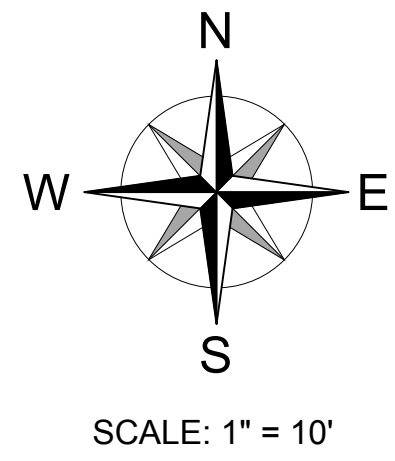
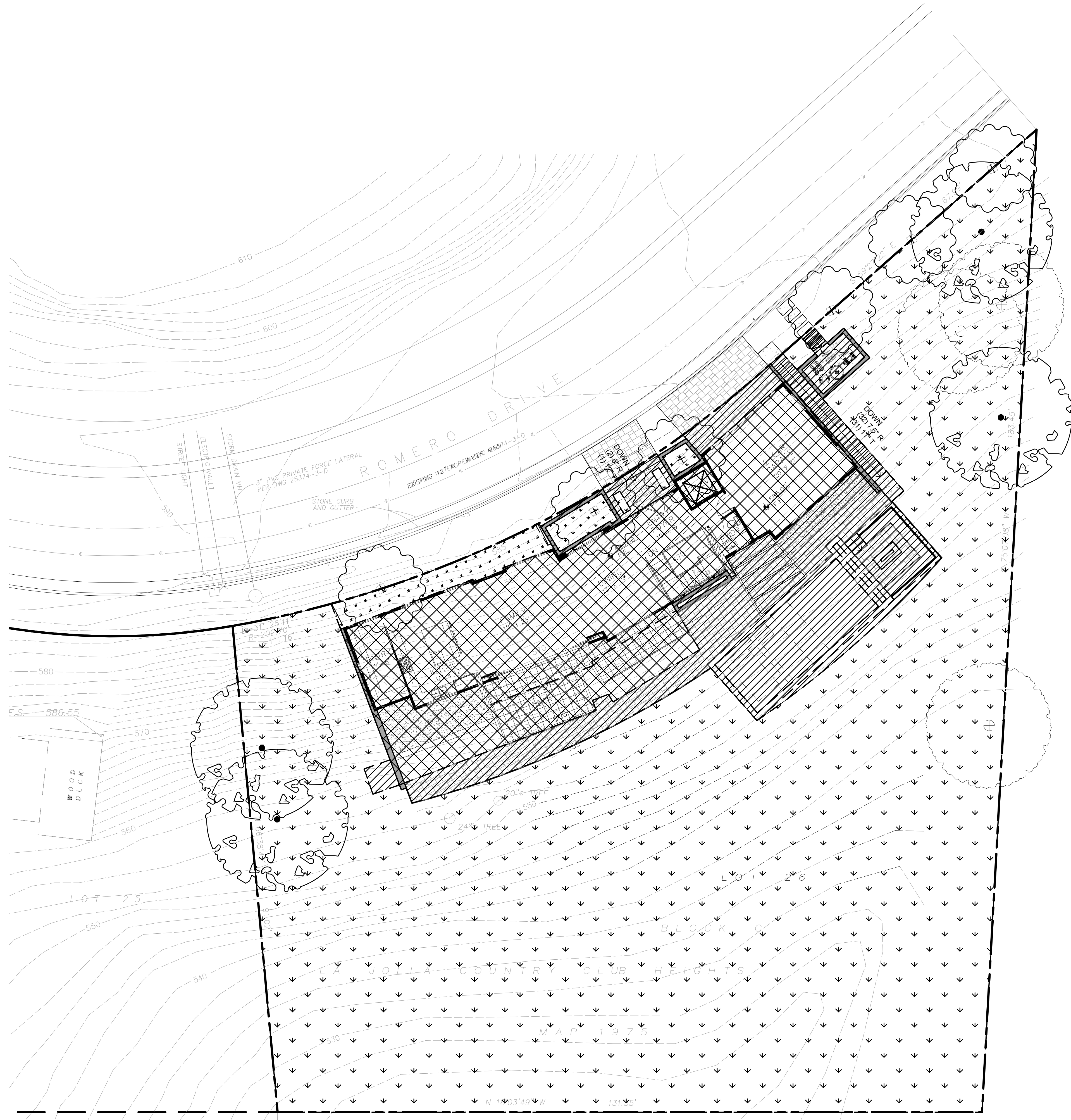


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<p><b>Private Residence</b></p> <p>7202 Romero Drive</p> <p>La Jolla, CA 92037</p> <p><b>The City of SAN DIEGO</b></p> <p>DEVELOPMENT SERVICES DEPARTMENT</p> <p>SHEET 4 OF 8 SHEETS</p> <p><small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.</small></p>	<p>SHEET NUMBER</p> <p><b>L21</b></p> <p>PROJECT NUMBER: 24.001.00</p> <p>SHEET TITLE:</p> <p><b>BRUSH MANAGEMENT PLAN</b></p>
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LANDSCAPE AREA		
SYMBOL	YARD AREA	SQUARE FOOTAGE (S.F.)
	Total Lot Area	17,647 S.F.
	Landscape Area	13,198 S.F.
	Building Area	2,596 S.F.
	Hardscape Area	1,853 S.F.
	Landscape Percentage of Total Lot Area	74.8 %



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<b>Private Residence</b> 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER <h1>L31</h1>
 DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 8 SHEETS	PROJECT NUMBER: 24.001.00 SHEET TITLE: <b>LANDSCAPE AREA DIAGRAM</b>

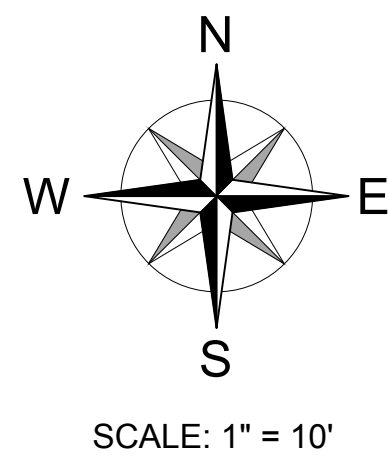
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**HYDROZONE LEGEND**

SYMBOL	DESCRIPTION	AREA	% OF TOTAL
	ZONE 1: RIGHT-OF-WAY PLANTER LOW WATER USE SHRUB PLANTING	1,079 S.F.	20.3%
	ZONE 2: PRIVATE PLANTER LOW WATER USE SHRUB PLANTING	303 S.F.	5.7%
	ZONE 3: PRIVATE SLOPE LOW WATER USE SHRUB PLANTING	3,570 S.F.	67.2%
	ZONE 4: SWIMMING POOL / WATER FEATURE HIGH WATER USE	361 S.F.	6.8%
	TOTAL WATER USE AREA	5,313 S.F.	100%
	PRIVATE SLOPE NO IRRIGATION BRUSH MANAGEMENT		
	ZONE 2 - EXISTING VEGETATION		

NOTE:  
THIS LANDSCAPE PLAN MEETS THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO) IN ACCORDANCE WITH STATE LAW AND LAND DEVELOPMENT CODE SECTION 142.0413. ADHERENCE TO THE MWEO IS REQUIRED INCLUDING COMPLIANCE WITH THE SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.



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Private Residence 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER <b>L41</b>
	PROJECT NUMBER: 24.001.00
DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 8 SHEETS	SHEET TITLE: <b>WATER CONSERVATION PLAN</b>
<small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.</small>	





**WATER BUDGET  
LANDSCAPE WORKSHEET**

**This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).**

Project Name: Private Residence Project #: 24.001.00  
 Project Address: 7202 Romero Drive, La Jolla, CA 92037  
 Individual/Business Completing the Worksheet: Frank Marczyński / Topia  
 Phone Number: (858) 458-0555

**1. DEFINITIONS:**

**Estimated Total Water Use (ETWU):** The total water used for the landscape based on the plants used and irrigation method selected for the landscape design. The ETWU shall not exceed the MAWA.

**Evapotranspiration:** The quantity of water as measured in average inches per year that evaporated from adjacent soil surfaces and transpired by plants during a specific time period. (Evapotranspiration data may be found at [www.cimis.water.ca.gov](http://www.cimis.water.ca.gov). You may obtain a free password from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.)

**Evapotranspiration Adjustment Factor (ETAF):** A factor that when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

**Hydrozone:** A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated. For the purpose of the calculation, the surface area of manmade water features (see LDM Section 1.8) are included in the high water use hydrozone, and the surface area of artificial turf and temporary irrigation is included in the low water use hydrozone.

**Irrigation Audit:** An in-depth evaluation of the performance of an irrigation system conducted by a professional authorized by the State to perform such work. An irrigation audit includes,

**Legend for Estimated Total Water Use (ETWU) Calculation Formula**

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area <sup>2</sup> -(square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
A	1		0.3	1,079	DRIP	0.81	20.3%
A	2		0.3	303	DRIP	0.81	5.7%
A	3		0.3	3,570	SPRAY	0.75	67.2%
A	4		1.0	361	POOL	1.00	6.8%
<b>Total</b>							<b>100%</b>

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. **The total ETWU cannot exceed the total Water Budget-MAWA.**

Controller No.	ETWU [(ETo)(0.62)][(ETAF X HA) + ((1-ETAF) X SLA)]	Result in Gallons per Year
A-ZONE 1	(40)(0.62)[(0.3)(1,079/0.81)] + 0	9,911
A-ZONE 2	(40)(0.62)[(0.3)(303/0.81)] + 0	2,783
A-ZONE 3	(40)(0.62)[(0.3)(3,570/0.75)] + 0	35,414
A-ZONE 4	(40)(0.62)[(1.0)(361/1)] + 0	8,953
<b>Total ETWU gallons per year</b>		<b>57,061</b>

MAWA CALCULATIONS BUILDING 1	
<b>MAWA (RESIDENTIAL) =</b>	[(ETo)(0.62)][(ETAF X LA) + ((1-ETAF) X SLA)] (40)(0.62)[(0.55 x 5,313) + (0.45 x 0)] 24.8[(2,922) + (0)] 24.8[2,922] <b>72,465 Gallons Per Year</b>
<b>MAWA (TOTAL) =</b>	<b>72,465 Gallons Per Year</b>
<b>ETWU FROM TABLES ABOVE = 57,061 Gallons Per Year ETWU DOES NOT EXCEED MAWA.</b>	
NOTE: THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MVELO) IN ACCORDANCE WITH STATE LAW AND LAND DEVELOPMENT CODE SECTION 142.0413(h), AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.	

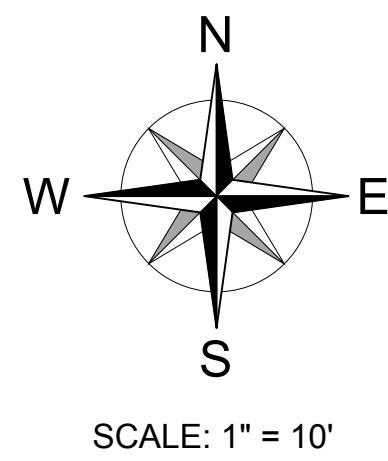
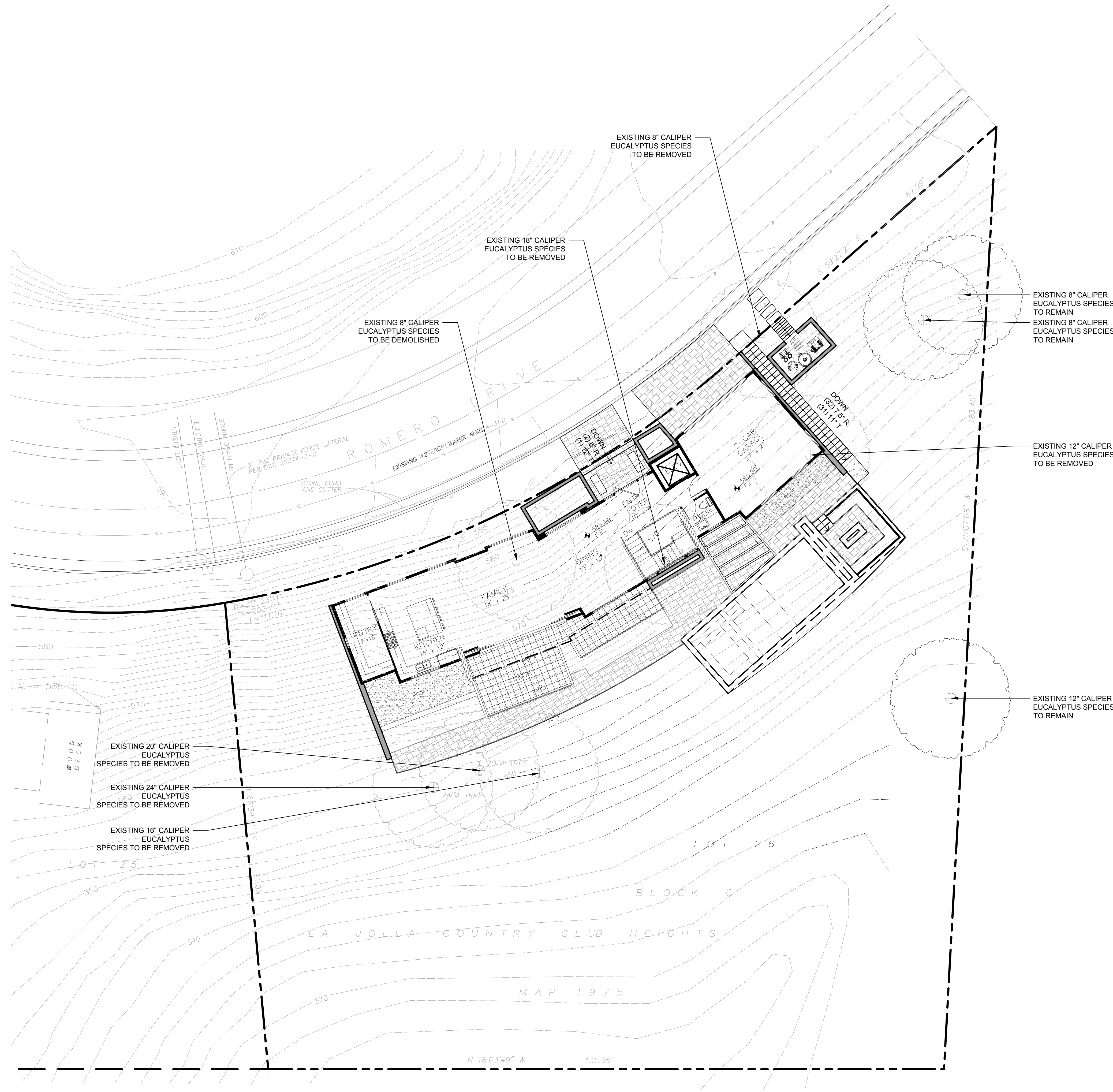
#	DATE	ISSUES & REVISIONS	BY
1	02.20.2024	1ST SUBMITTAL	FM
2	05.22.2024	2ND SUBMITTAL	FM
3	07.25.2024	3RD SUBMITTAL	FM

<b>Private Residence</b> 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER <b>L42</b>
 DEVELOPMENT SERVICES DEPARTMENT SHEET <u>7</u> OF <u>8</u> SHEETS	PROJECT NUMBER: 24.001.00 SHEET TITLE: <b>WATER CALCULATIONS</b>
<small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.</small>	



**EXISTING TREE NOTES:**

1. THE CLIENT ASSUMES ALL RELATED REMOVAL COSTS, INCLUDING THE RESPONSIBILITY OF REPLACING ANY SIDEWALK AND/OR CURB THAT WAS DAMAGED, OR REPAIRING ANY SIDEWAY TRIPPING HAZARDS.
2. ALL MATERIALS SPECIFIED TO THE REMOVED SHALL BE DISPOSED OF OFF-SITE PER LOCAL CODES AND REGULATIONS.
3. PER CALIFORNIA GREEN BUILDING CODE SECTION 5.408.4, 100% OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING FROM LAND CLEANING SHALL BE RE-USED OR RECYCLED.
4. EXISTING TREES: EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
  - 4.1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LIN.
  - 4.2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
  - 4.3. ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
  - 4.4. THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
  - 4.5. ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS WILL BE SEALED WITH WOOD PAINT AS MANUFACTURED BY FLINTKOTE OR APPROVED EQUAL.
  - 4.6. A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 6-IN. OR GREATER IN DIAMETER.
  - 4.7. MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION.
  - 4.8. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.



#	DATE	ISSUES & REVISIONS	BY
1	02.20.2024	1ST SUBMITTAL	FM
2	05.22.2024	2ND SUBMITTAL	FM
3	07.25.2024	3RD SUBMITTAL	FM

Private Residence 7202 Romero Drive La Jolla, CA 92037	SHEET NUMBER <b>L51</b>
	PROJECT NUMBER: 24.001.00 SHEET TITLE: <b>EXISTING TREES DISPOSITION PLAN</b>
The City of <b>SAN DIEGO</b> DEVELOPMENT SERVICES DEPARTMENT SHEET 8 OF 8 SHEETS	
<small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.</small>	

