La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items SECOND PRESENTATION

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items): PRJ- 1117322
- Address and APN(s): 8383 LA JOLLA SCENIC DR. N. 346 761 07 00
- Project contact name, phone, e-mail: COLIN HERNSTAD 619 921 0114 COLINHERNSTAD@GMAIL.COM.
- Project description: SDP TO DEMOLISH EXIST 3300 SQ FT SINGLE STORY HOME AND CONSTRUCT NEW 6519 NEW SINGLE STORY HOME PLUS ADU
- Please indicate the action you are seeking from the Advisory Board:
  - ☐ Recommendation that the Project is minor in scope (Process 1)
  - ☒ Recommendation of approval of a Site Development Permit (SDP)
  - ☐ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
  - ☐ Other: _____
- In addition, provide the following:
  - lot size: 251640 SQ FT
  - existing structure square footage and FAR (if applicable): ____
  - proposed square footage and FAR: 6519 SQ FT 0.31
  - existing and proposed setbacks on all sides: S = 10' N = 8' E = 72' W = 40'
  - height if greater than 1-story (above ground): /

For Information Items (*For projects seeking input and direction. No action at this time*)

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): 8383 LA JOLLA SCENIC DR. N. AS ABOVE
- Project contact name, phone, e-mail: COLIN HERNSTAD AS ABOVE
- Project description: AS ABOVE
- In addition to the project description, please provide the following:
  - lot size: ____
  - existing structure square footage and FAR (if applicable): ____ AS ABOVE
  - proposed square footage and FAR: ____
  - existing and proposed setbacks on all sides: ____
  - height if greater than 1-story (above ground): ____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:
Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website: https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
  A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
  B. Elevations for all sides;
  C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
  D. If the proposal is for a building with more than one story, show:
    - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
    - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
    - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

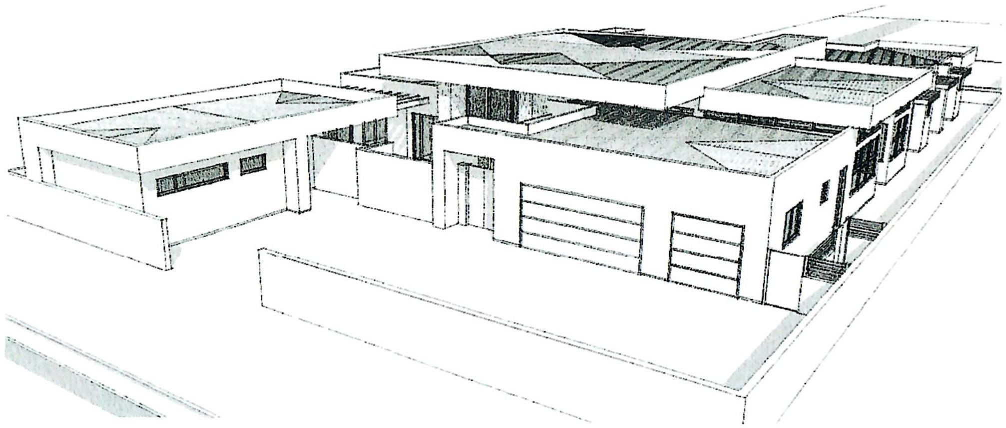
PLEASE DO NOT PROVIDE THE FOLLOWING:
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173



NEW SINGLE FMILY DWELLING & ADU FRO:

Mauser Residence

8383 La Jolla Scenic Dr. N.
La Jolla, CA 92037

SITE DEVELOPMENT PERMIT
1ST SUBMITTAL

GENERAL NOTES

1. ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES.
2. DO NOT SCALE DRAWINGS. ALL DRAWINGS ARE TO FACE OF STUD, CONCRETE OR MASONRY, UNLESS OTHERWISE NOTED ON DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY IN CASE OF CONFLICTS. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS FOR WORK TO BE FITTED TO WORK IN PLACE.
3. ALL CONTRACTORS SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. PRIOR TO BIDDING, CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS. DURING CONSTRUCTION, CONTRACTORS SHALL NOTIFY THE ARCHITECT AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS CONTINUED AFTER A DISCREPANCY IS IDENTIFIED.
4. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO THE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES
5. CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
6. NEW/EXISTING FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNER'S DECISION) BY THE CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES. CONTRACTOR SHALL MAKE AND MAINTAIN A PHOTOGRAPHIC RECORD NOTEBOOK WITH DATED INDEXED PHOTOGRAPHS.
7. CONSTRUCTION SITE SHALL BE ENCLOSED BY A 6'-0" OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
8. TRASH AND RECYCLING CONTAINERS SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINERS. CONTACT CITY FOR RECYCLING CENTER LOCATION.
9. THE PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: M THRU F 7:30AM - 6PM, SATURDAYS 9AM - 5PM.
10. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
11. MANUFACTURED WINDOWS SHALL HAVE LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCS
12. CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS.
13. PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3
14. EXTERIOR BATHROOM VENTS TO BE PROTECTED W/ CORROSION-RESISTANT SCREENS LOUVERS OR GRILLES WITH OPENINGS 1/4" TO 1/2" IN SIZE. CMC 504.1, 504.5, CRC R303.5.
15. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2
16. WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
17. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON- OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3
18. OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED Y THE CITY OD SAN DIEGO AND CFC 308
19. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.
20. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1
21. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

SYMBOLS LEGEND

Symbol	Description	Symbol	Description
X/XXX	SECTION NO. DWG. NO.	ELEVATION	LEVEL LINE CONTROL POINT ON DATUM
X/XXX	ROOM ELEVATION DWG. NO.	0'-0"	DIMENSIONS TO FACE OF STUD OR WALL
X/XXX	DETAIL NO. DWG. NO.	0'-0" ℄	DIMENSION TO CENTERLINE
A	DOOR NO.	△	REVISION
◇	WINDOW TYPE		

PROJECT NOTES

PROJECT MEMBERS

OWNER:	TITLE 24:	STRUCTURAL ENGINEER:	GEN. CONTRACTOR:
DAVID & ELANA MAUSER	AUSTIN MURDOCK ABC ENERGY CONSULTING	LOVELACE ENGINEERING ATTN: CHRIS KERN	MERN ORE INC. ATTN: COLIN HERNSTAD
8383 LA JOLLA SCENIC DR. N SAN DIEGO, CA 92037	8602 DONZEE ST. SAN DIEGO, CA 92123	10603 VISTA SORRENTO PKW. STE. 100 SAN DIEGO, CA 92121	8353 LA JOLLA SCENIC DR. N LA JOLLA, CA 92037
PH ()	(858) 431-6230	(858) 535-9111 x 100	PH: (619) 921-3114
EMAIL:	EMAIL : austin@title24energycalcs.com	EMAIL: ckern@lovelaceeng.com	EMAIL: colinhernstad@gmail.com

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

1. NO DEFERRED SUBMITTALS

PROJECT DATA

SCOPE OF WORK :

SDP PROCESS 3 - COMPLETE REMOVAL OF AN EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE. NEW SINGLE-STORY, SINGLE-FAMILY RESIDENCE TO INCLUDE RESIDENCE, 2-CAR GARAGE, MAID QTRS., & ADU, WITH STRUCTURAL, ELECTRICAL, MECHANICAL & PLUMBING.

EXISTING RESIDENCE TO BE REMOVED:		PROPOSED SCOPE OF WORK:	
(E) SINGLE-STORY RESIDENCE :	2,740 s.f.	SINGLE-STORY RESIDENCE	6,251 s.f.
(E) 2-CAR GARAGE :	550 s.f.	2-CAR GARAGE	535 s.f.
		MAID QUARTERS	268 s.f.
		ADU	813 s.f.
TOTAL:	3,300 s.f.	TOTAL :	7,867 s.f.

ALLOWABLE FAR :	0.45 x 25,646 (lot) = 11,541 s.f.	
PROPOSED FAR :	7,867 s.f. (res.) / 25,646 s.f. (lot)	0.31

LEGAL DESCRIPTION :

LOT 4, IN THE DEACON HILL SUB-DIVISION, CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4724 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE; 2022 CALIFORNIA ELECTRICAL CODE;
2022 CALIFORNIA RESIDENTIAL CODE; 2022 CALIFORNIA FIRE CODE;
2022 CALIFORNIA MECHANICAL CODE; 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA PLUMBING CODE; 2022 CALIFORNIA ENERGY CODE

TECHNICAL DATA:

EXISTING PARKING SPACES :	—	APN :	340-761-07-00
NUMBER OF STORIES :	1	YEAR CONSTRUCTED	CIRCA 1990
BUILDING HEIGHT	—	OCCUPANCY	R-3/U
FIRE SPRINKLER SYSTEM	NO	ZONING	LJSPD-SF
TYPE OF CONSTRUCTION	TYPE VB	LOT AREA	25,646 s.f. / 0.59 ac
TRANSIT STOPS :	NONE	LOT COVERAGE (E)	—%
GEOLOGIC HAZARD CATEGORY :	YES / 52	LOT COVERAGE (N)	—%
LANDSCAPE AREA s.f.	7,841 s.f. / 30.79 %		

TITLE 24 INFO

DRAWING INDEX

GENERAL

- T1 TITLE SHEET
- SP1 MINIMUM CONSTRUCTION SPECIFICATIONS
- SP2 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- SP3 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ARCHITECTURAL

- A10 TOPOGRAPHIC SURVEY PLAN
- A11 SITE PLAN / STORMWATER NOTES
- A20 FLOOR PLAN - AREA 'A'
- A21 FLOOR PLAN - AREAS 'B' & 'C'
- A22 ADU FLOOR & ROOF PLANS - AREA 'D'
- A23 ROOF PLAN - AREA 'A'
- A24 ROOF PLAN - AREAS 'B' & 'C'
- A30 EXTERIOR ELEVATIONS
- A31 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A33 EXTERIOR ELEVATIONS
- A40 BUILDING SECTIONS
- A41 BUILDING SECTIONS
- A50 REFLECTED CEILING PLAN - AREA 'A'
- A51 REFLECTED CEILING PLAN - AREAS 'B' & 'C'
- A60 DOOR SCHEDULE
- A61 WINDOW SCHEDULE

ELECTRICAL, MECHANICAL & ENERGY

- EM1 TITLE 24
- EM2 TITLE 24
- EM3 ELECTRICAL - MECHANICAL FLOOR PLAN / NOTES - AREA 'A'
- EM4 ELECTRICAL - MECHANICAL FLOOR PLAN - AREAS 'B' & 'C'
- EM5 ELECTRICAL - MECHANICAL FLOOR PLAN - AREA 'D'

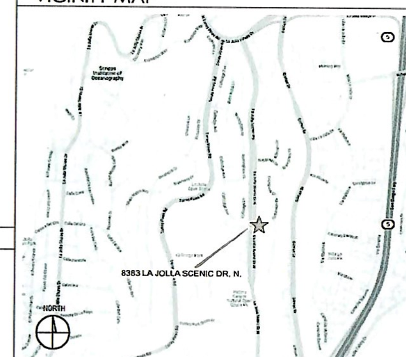
STRUCTURAL

- S1 STRUCTURAL GENERAL NOTES
- S2 FOUNDATION / FRAMING NOTES & SCHEDULES
- S3 FOUNDATION PLAN NORTH-EAST (1/3)
- S4 FOUNDATION PLAN NORTH-WEST & SOUTH-WEST (2/3)
- S5 FOUNDATION PLAN SOUTH-EAST (3/3)
- S6 LOWER ROOF FRAMING PLAN NORTH-EAST (1/3)
- S7 LOWER ROOF FRAMING PLAN NORTH-WEST & SOUTH-WEST (2/3)
- S8 LOWER ROOF FRAMING SOUTH-EAST (3/3)
- S9 SUPPER ROOF FRAMING PLAN
- S10 STRUCTURAL DETAILS
- S11 STRUCTURAL DETAILS
- S12 STRUCTURAL DETAILS
- S13 STRUCTURAL DETAILS
- S14 STRUCTURAL DETAILS
- S15 STRUCTURAL DETAILS
- SD1 STANDARD STRUCTURAL DETAILS
- SD2 STANDARD STRUCTURAL DETAILS
- WSW1 SIMPSON STRONG-WALL DETAILS
- WSW2 SIMPSON STRONG-WALL DETAILS

LANDSCAPING

- L1 SITE PLAN
- L2 DIMENSION PLAN
- L3 3D IMAGES

VICINITY MAP



DRAFTsense
done.
619.618.1115 pn
www.thedraftsense.com
5252 waring rd
san diego, ca 92120

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PROJECT

Remodel & Addition for :

Mauser Residence

8383 La Jolla Scenic Dr. N.
La Jolla, CA, 92037

SHEET TITLE

TITLE SHEET

REVISIONS

No.	Date	Notes

BUILDING DEPT. PROJECT #:	1117322
PROJECT #:	22217
DATE:	17 July 2024
SHEET #:	TS

A. General

1. **Applicable codes.** All projects shall comply with the 2019 California Building Code (CBC) and/or California Residential Code (CRC), 2019 California Green Building Standards Code (CalGreen), 2019 California Electrical Code (CEC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Fire Code (CFC), 2019 California Building Energy Efficiency Standards (CBECS), and all County of San Diego amendments.

B. Electrical, Plumbing, and Mechanical

1. **Exterior lighting.** All projects shall comply with the County of San Diego lighting ordinance.
2. **GFCI outlets.** Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen countertops, at laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. (CRC 210.8)
3. **AFCI outlets.** Electrical circuits in bedrooms, living rooms, dining rooms, dens, closets, hallways, or similar rooms must be protected by Arc Fault Circuit Interrupters (AFCI). (CEC 210.12)
4. **Luminaire requirements.** Installed luminaires shall meet the efficacy and fixture requirements of CBECS 150.0(k).
5. **Smoke detectors in building remodels.** Smoke detectors are required in each sleeping room, outside each separate sleeping area in the immediate vicinity of sleeping rooms, and on each story of the dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via attic, crawl space, or basement. (CRC R315.3)
6. **Carbon monoxide detectors in building remodels.** Carbon monoxide detectors are required outside each separate sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via attic, crawl space, or basement. (CRC R315.3)
7. **Water heater seismic strapping.** Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 3/4-inch-by-3-inch lag bolts attached directly to framing. Straps shall be at points within upper third and lower third of water heater vertical dimension. Lower connection shall occur minimum 4 inches above controls. (CRC 507.2)
8. **Gas appliances in garages.** Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch high platform unless listing report number provides for showing ignition-free safe appliance. (CRC 307.3 and CMC 305.1)
9. **Impact protection of appliances.** Water heaters and heating/cooling equipment subject to vehicle impact shall be protected by bollards or an equivalent measure. (CRC 507.13.1 and CMC 305.11)
10. **Water closet clearance.** Minimum 30-inch-wide by 24-inch-deep clearance required at front of water closets. (CRC 402.5)
11. **Shower size.** Shower compartments shall have minimum area of 1024 square inches and be able to encompass a 30-inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. (CPC 408.5 and CPC 408.6)
12. **Fireplace appliances.** Fireplaces with gas appliances are required to have the flue damper permanently held in the open position and fireplaces with EPA appliances are to have no pilot or same configurations. (CMC 337.1.1)
13. **Chimney clearance.** Minimum 2-foot chimney clearance required above building within 10-foot horizontally of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC R1003.9)

C. Mechanical Ventilation and Indoor Air Quality (ASHRAE 62.2- 2010)

1. **Transfer air.** Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unventilated crawlspaces, or unventilated attics. (CBEES 150.0(o))
2. **Instructions and labeling.** Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to operate the system. (CBESS 150.0(o))
3. **Combustion and solid-fuel burning appliances.** Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting. (CBEES 150.0(o))
4. **Garages.** The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of no more than 6% of total fan flow when measured at 0.1 in. wc, using California Title 24 or equivalents. (CBEES 150.0(o))
5. **Minimum filtration.** Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or better. (CBEES 150.0(o))
6. **Air inlets.** Air inlets (not exhaust) shall be located away from known contaminants. (CBEES 150.0(o))
7. **Air moving equipment.** Air moving equipment used to meet the whole-building ventilation requirement or the local ventilation exhaust requirement shall be rated in terms of airflow and sound. (CBEES 150.0(o))
   a. At continually operating fans shall be rated at a maximum of 1.0 sone.
   b. Intermittently operated whole-building ventilation fans shall be rated at a minimum of 1.0 sone.
   c. Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone, unless their maximum rated airflow exceeds 400 cfm.
   d. Remotely located air-moving equipment installed outside of habitable spaces need not meet sound requirements if located 4 feet of ductwork between fan and interior grill.

D. Foundation and Underfloor

1. **Foundation reinforcement.** Continuous footings and stem walls shall be provided with a minimum two horizontal bars, 4 bars, one at the top and one at the bottom of the footing. (CRC R403.1.3.3)
2. **Shear wall foundation support.** Shear walls shall be supported by continuous foundations. (CRC 403.1.2)
3. **Concrete slab-on-grade.** Slabs-on-grade shall be minimum 3- 1/2-inches thick. (CRC R506.1)
4. **Vapor retarder.** A 6-mil polyethylene or approved vapor retarder with joints lapped minimum 6 inches shall be placed between a concrete slab-on-grade and the base course or subgrade. (CRC 506.2.3)
5. **Anchor bolts and sills.** Foundation plates or sills shall be bolted or anchored to the foundation or foundation wall per the following (CRC R403.1.6 and CRC R602.11.1):
   a. Minimum 1/2-inch-diameter steel bolts
   b. Bolts embedded at least 7 inches into concrete or masonry
   c. Bolts spaced maximum 6 feet on center
   d. Minimum two bolts per plate sill plate with one bolt located minimum 12 inches and maximum 7 bolt diameters from each end of each sill plate/piece
   e. Minimum 3-inch-by-3-inch-by-0.229-inch steel plate washer between sill and nut on each bolt
6. **Hold-downs.** All hold-downs must be bed in place prior to foundation inspection.
7. **Protection of wood against decay.** Naturally durable or preservative-treated wood shall be provided in the following locations (CRC R317.1):
   a. All wood in contact with ground, embedded in concrete in direct contact with ground, or embedded in concrete exposed to weather.
   b. Wood posts within 18 inches and wood girders within 12 inches of the exposed ground in crawlspaces shall be of naturally durable or preservative-treated wood
   c. Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or preservative-treated wood
   d. Wood framing, sheathing, and siding on the exterior of the building and having clearance less than 6 inches from the exposed ground unless than 2 inches vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surface exposed to weather
   e. Sills and sleepers on concrete or masonry slab in direct contact with ground unless separated from such slab by impervious moisture barrier
   f. Ends of wood girders entering masonry or concrete walls with clearances less than 1/2 inch on top, sides, and ends
   g. Wood structural members supporting moisture-permeable floors or roofs exposed to weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier
   h. Wood framing steps or other wood framing members attached directly to interior of exterior concrete or masonry walls below grade except where vapor retarder applied between wall and furring strips or framing members
8. **Underfloor ventilation.** Underfloor areas shall have ventilation openings through foundation walls or exterior walls with minimum net area of ventilation openings of 1 square foot for each 150 square feet of underfloor area. On each ventilating opening shall be within 3 feet of each corner of the building. (CRC R408.1)
9. **Underfloor access.** Underfloor areas shall be provided with a minimum 18-inch by 24-inch access opening. (CRC R408.4)

E. Wood Framing

1. **Fastener requirements.** The number, size, and spacing of fasteners connecting wood members shall not be less than that set forth in CRC table R602.3(1). (CRC R502.6, CRC R602.3, and CRC R802.2)
2. **Stud size, height, and spacing.** The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). (CRC R602.3.1)
3. **Sill plate.** Studs shall have full bearing on nominal 2-inch-thick or larger sill plate with width at least equal to stud width. (CRC R602.3.4)
4. **Bearing studs.** Where joists, trusses, or rafters are spaced more than 16 inches on center and the bearing studs below are spaced 24 inches on center, such members shall bear within 5 inches of the studs beneath. (CRC R602.3.3)
5. **Drilling and notching of studs.** Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Stud in non bearing partition may be notched to a depth not to exceed 40% of a single stud width. Any stud may be bored or drilled, provided the diameter of the resulting hole is no more than 40% of the stud width, the edge of the hole is no more than 5/8 inch to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior wall or bearing partitions drilled over 40% and up to 60% shall be doubled with no more than two successive studs bored. (CRC R602.6)
6. **Top plate.** Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and intersections with other partitions. End joints in double top plates shall be offset at least 24 inches. Joints in plates need not occur over studs. Plates shall be at least as wide as the nominal 2 inches thick and have width at least equal to width of studs. (CRC R602.3.2)
7. **Top plate splices.** Top plate lap splices shall be face-nailed with minimum 8 16d nails on each side of splice. (CRC R602.10.8.1)
8. **Drilling and notching of top plate.** When piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling, or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 1/50 inch thick and 1-1/2 inches wide shall be fastened across and over the plate at least 6 in of the opening with nailers that meet 602 nails having a minimum length of 1-1/2 inches in each end to provide a tie capable of the metal tie must extend minimum 6 inches past the opening. (CRC R602.6.1)
9. **Cripple walls.** Foundation cripple walls shall be framed of studs not less in size than the studding above. Cripple walls more than 4 feet in height shall have studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and sill plates in accordance with R602.3(3). (CRC R602.9) or the cripple walls shall be constructed of solid blocking. Cripple walls shall be supported on continuous foundations. (CRC R602.9)
10. **Wall bracing.** Buildings shall be braced in accordance with the methods allowed per CRC R602.10, (CRC R602.10.4 and or CRC R602.10.5).
11. **Braced wall line spacing.** Spacing between braced wall lines shall not exceed 20 feet or otherwise prescribed (CRC R602.10.1.3).
12. **Shear wall cumulative length.** The cumulative length of shear walls within each braced wall line shall meet the provisions of CRC table R602.10.3.(1) for wind loads and CRC Table R602.10.1.3(2) for seismic loads. (CRC R602.10.1.1)
13. **Shear wall spacing.** Shear walls shall be located not more than 25 feet on center. (CRC R602.10.1.2)
14. **Shear wall offset.** Shear walls may be offset out of plan not more than 4 feet from the designated braced wall line and not more than 8 feet from any other offset wall considered part of the same braced wall line. (CRC R602.10.1.2)
15. **Shear wall location.** Shear walls shall be located at the ends of each braced wall line or meet the alternate provisions of CRC R602.10.2.2.
16. **Individual shear wall length.** Shear walls shall meet minimum length requirements of CRC R602.10.6.5.1.
17. **Cripple wall bracing.** Cripple walls shall be braced per CRC R602.10.11.
18. **Shear wall and diaphragm nailing.** All shear walls, roof diaphragms, and floor diaphragms shall be nailed to supporting construction per CRC Table R602.3(1). (CRC R604.3)
19. **Shear wall joists.** All vertical joists in shear wall sheathing shall occur over, and be fastened to, common studs. Horizontal joists in shear walls shall occur over and be fastened to, minimum 1- 1-2-inch-thick blocking. (CRC R602.10.10)
20. **Framing over openings.** Headers, double joists, or trusses of adequate size to transfer loads to vertical members shall be provided over window and door openings in load-bearing walls and partitions. (CRC 2304.3.2)
21. **Joists under bearing partitions.** Joists under parallel bearing partitions shall be of adequate size to support the load. Double joists, sized to adequately support the load, that are separated to permit the installation of piping or vents shall be full depth bolt-blocked with minimum 24-inch nominal lumber spaced at maximum 4 feet on center. Bearing partitions perpendicular to joists shall be offset from supporting girders, walls, or partitions more than the joist depth unless such joists are of sufficient size to carry the additional load. (CRC R502.4)
22. **Joists above or below shear walls.** Where joists are perpendicular to a shear wall above or below, a rim joist, band joist, or blocking shall be provided along the entire length of the shear wall. Where joists are parallel to a shear wall above or below, a rim joist, band joist, or other parallel member shall be provided directly above and/or below the shear wall. Where a parallel framing member cannot be located directly above or below the shear wall, full-depth blocking at 16-inch spacing shall be provided between the parallel framing members to each side of the shear wall. (CRC R602.10.9)
23. **Floor member bearing.** The ends of each floor joist, beam, or girder shall have minimum 1-1/2 inches of bearing on wood or metal and minimum 3 inches of bearing on masonry or concrete except as supported on a ledger by a 2-inch-by-2-inch ribbon strip and nailed to the adjoining stud or by the use of approved joist hangers. (CRC R502.6)
24. **Floor joist lap.** Floor joists framing opposite sides over a bearing support shall lap minimum 3 inches and shall be nailed together with minimum 3 10d face nails. A wood or metal splice with strength equal to or greater than that provided by the lap is permitted. (CRC R502.6.1)
25. **Floor joist-to-girder support.** Floor joists framing into the side of a wood girder shall be supported by approved framing anchors or on ledger strips minimum nominal 2 inches by 2 inches. (CRC R502.6.2)
26. **Floor joist lateral restraint.** Floor joists shall be supported laterally at ends and each intermediate support by minimum 2-inch full-depth blocking, by attachment to full-depth header, band, joist, or rim joist, to an adjoining joist, or shall be otherwise provided with lateral support to prevent rotation. (CRC R502.7)
27. **Floor joist bridging.** Floor joists exceeding nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-4-inch stock nailed across the bottom of joists perpendicular to joists at maximum 8-foot intervals. (CRC R502.7.1)
28. **Framing of floor openings.** Openings in floor framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafter framing or ceiling joists framing into the header. (CRC R502.6.1)
29. **Ceiling joists.** Ceiling joists and rafters shall be nailed to each other per CRC Table R602.3(1). Ceiling joists shall be continuous or securely joined per CRC Table R602.3(1)(6) where they meet over interior partitions and are nailed to adjacent rafters to provide a continuous tie across the building when such joists are parallel to rafters. Where ceiling joists are not connected to the rafters at the wall top plate, joists connected higher in the attic shall be installed as rafter ties, or rafter ties shall be installed to provide a continuous tie. Where ceiling joists are not parallel to rafters, rafter ties shall be installed. Rafter ties shall be minimum 1 inch by 4 inches nominal, spaced maximum 4 feet on center. (CRC Table R602.3.1(9)) or connections of equivalent capacities shall be provided. Where ceiling joists or rafter ties are not provided, the edge formed by these rafters shall be supported by a wall or engineered designed girder. (CRC R602.3.1)
30. **Ceiling joists lapped.** Ends of ceiling joists shall be lapped minimum 3 inches or butted over bearing partitions or beams and tenailed to the bearing element. Where ceiling joists provide resistance to rafter thrust, lapped joists shall be nailed together per CRC Table R602.3(1) and butted joists shall be tied together in a manner to resist such thrust. (CRC R502.3.2)
31. **Collar ties.** Collar ties or straps to resist wind uplift shall be connected in the upper third of the attic space. Collar ties shall be a minimum 1 inch by 4 inches nominal and spaced at maximum 4 feet on center. (CRC R802.3.1)
32. **Purlins.** Purlins installed to reduce the span of rafters shall be sized not less than the required size of the rafters they support. Purlins shall be continuous and shall be supported by 2-inch-by-4-inch nominal braces installed to bearing walls at a minimum 45-degree slope from horizontal. The braces shall be spaced maximum 4 feet on center with a maximum 8-foot unbraced length. (CRC R802.5.1)
33. **Roofceiling member bearing.** The ends of each rafter or ceiling joist shall have not less than 1-1/2 inches of bearing on wood or metal and not less than 3 inches of bearing on masonry or concrete. (CRC R602.6)
34. **Roofceiling member lateral support.** Roof framing members and ceiling joists with a nominal depth-to-thickness ratio exceeding 5:1 shall be provided with lateral support at points of bearing to prevent rotation. (CRC R802.8)
35. **Roofceiling bridging.** Rafters and ceiling joists with a nominal depth-to-thickness ratio exceeding 5:1 shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-2-inch wood strip nailed across the rafters or ceiling joists at maximum 8-foot intervals. (CRC R802.8.1)
36. **Framing of roofceiling openings.** Openings in roof and ceiling framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the floor joist. Single trimmer joists may be used to carry a single header adjacent to the trimmer joist location. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafter framing or ceiling joists framing into the header. Approved hangers shall be used for the header-joist-to-trimmer-joist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10)
37. **Roof framing above shear walls.** Rafters or roof trusses shall be connected to top plates of shear walls with blocking between the rafters or trusses. (CRC R602.10.8)
38. **Roof diaphragm under sill framing.** Roof plywood shall be continuous under California sill framing
39. **Roof diaphragm at ridges.** Minimum 2-inch nominal blocking required for roof diaphragm nailing at ridges.
40. **Blocking of roof trusses.** Minimum 2-inch nominal blocking required between trusses at ridge lines and at points of bearing at exterior walls.
41. **Truss clearance.** Maximum 1/2-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses.
42. **Drilling, cutting, and notching of rooffloor framing.** Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth. Shall be not longer than one-third the member depth, and shall not be located in the middle one-third of the span. Notches at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into members shall not exceed one-third the member depth. Holes shall be closer than 2 inches to the top or bottom of the member or to any other hole located in the member. Where the member is also notched, the hole shall be closer than 2 inches to the notch. (CRC R702.7)
43. **Exterior landings, decks, balconies, and stairs.** Such elements shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toe nails or nails subject to withdrawal. (CRCR313.3)
44. **Firebloocking.** Firebloocking shall be provided in the following locations (CRC R302.11 and CRC R1003.19):
   a. In concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs, as follows
      1. Vertically at the ceiling and floor levels
      2. Horizontally at intervals not exceeding 10 feet
   b. At all interconnections between concealed vertical and horizontal spaces such as soffits, drop ceilings, and cove ceilings
   c. In concealed spaces between stair stringers at the top and bottom of the run
   d. Allopenings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion
   e. At chimneys and fireplaces per sem 1.4
   f. Connors of a two-family dwelling at the line of dwelling-unit separation
47. **Firebloocking materials.** Except as otherwise specified in items C.48 and C.49, firebloocking shall consist of the following materials with the integrity maintained (CRC R302.11.1):
   a. Two-inch nominal lumber
   b. Two thickness of one-inch nominal lumber with broken lap joints
   c. One thickness of 23-32-inch wood structural panel with joists backed by 23/32-inch wood structural panel
   d. One thickness of 3/4-inch particleboard with joists backed by 3/4-inch particleboard
   e. 1/2-inch gypsum board
   f. 1/4-inch cement-bonded millboard
   g. Bolts or blankets of mineral or glass fiber or other approved nonrigid materials installed in such a manner as to be securely retained in place. Bolts or blankets of mineral or glass fiber or other approved nonrigid materials shall be permitted for compliance with the 10-foot horizontal firebloocking in walls constructed using parallel rows of studs or staggered studs. Unfaced fiberglass batt insulation used as firebloocking shall fill the entire cross-section of the wall cavity to a minimum height of 16 inches measured vertically. When piping, conduit, or similar obstructions are encountered, the insulation shall be packed tightly around the obstruction. Loose-fill insulation material shall not be used as a firebloock unless specifically tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread of fire and hot gases.
48. **Firebloocking at openings around vents, pipes, ducts, cables, and wires at ceiling and floor level.** Such openings shall be firebloocked with an approved material to resist the free passage of flame and products of combustion. (CRC R302.11)
49. **Firebloocking of chimneys and fireplaces.** All spaces between chimneys and floors and ceilings through which chimneys pass shall be firebloocked with noncombustible material securely fastened in place. The firebloocking of spaces between chimneys and wood joists, beams, or rafters shall be so supporting or be placed on strips of metal or metal lath laid across the spaces between combustible material and the chimney. (CRC R1003.19)
50. **Draftstopping.** In concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs, as follows shall be installed so that the area of the concealed space does not exceed 1000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor-ceiling assemblies under the following circumstances (CRC R302.12):
   a. Ceiling is suspended under the floor framing
   b. Floor framing is constructed of truss-type open-web or perforated members
51. **Draftstopping materials.** Draftstopping shall not be less than 1/2-inch gypsum board, 3/8-inch wood structural panels, or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of draftstops shall be maintained. (CRC R302.12.1)
52. **Combustible insulation clearance.** Combustible insulation shall be separated minimum 3 inches from flue/vent terminations, fan motors, and other heat-producing devices. (CRC R302.14)

F. General Material Specifications

1. **Lumber.** All posts, rafters, beams, and posts 2-inches to 4-inches thick shall be No. 2 grade Douglas Fir-Larch or better. All posts and beams 6 inches and thicker shall be No. 1 grade Douglas Fir-Larch or better. Studs not more than 8 feet long shall be stud-grade Douglas Fir-Larch or better when supporting not more than one floor, roof, and ceiling. Studs longer than 8 feet shall be No. 3 grade Douglas Fir-Larch or better.
2. **Concrete.** Concrete shall have a minimum compressive strength of 2,500 psi at 28 days and shall consist of 1 part cement, 3 parts sand, 4 parts fresh maximum size rock, and not more than 7-1/2 gallons of water per sack of cement. (CRC R402.2)
3. **Mortar.** Mortar used in construction of masonry walls, foundation walls, and retaining walls shall conform to ASTM C 270 and shall consist of 1 part portland cement, 2-1/4 to 3 parts sand, and 1/4 to 1/2 part hydrated lime. (CRC 2102.2)
4. **Grout.** Grout shall conform to ASTM C 476 and shall consist of 1 part portland cement, 1/10 part hydrated lime, 2-1/4 to 3 parts sand, and 1 to 2 parts gravel. Grout shall attain a minimum compressive strength of 2,000 psi at 28 days. (CBC 2103.3)
5. **Masonry.** Masonry units shall comply with ASTM C 90 for load-bearing concrete masonry units. (CBC 2103.1)
6. **Reinforcing steel.** Reinforcing steel used in construction of reinforced masonry or concrete structures shall be delivered and comply with ASTM A615. (CBC 2103.4)
7. **Structural steel.** Steel used as structural shapes such as wide-flange sections, channels, plates, and angles shall comply with ASTM A36. Pipe columns shall comply with ASTM A53. Structural tubes shall comply with ASTM A500, Grade B.
8. **Fasteners for preservative-treated wood.** Fasteners for preservative-treated and fire-retardant-treated wood - including nuts and washers - shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.1)

   Exception: 1/2-inch diameter or greater steel bolts
   Exception: Fasteners other than nuts and washer needs may be of mechanically deposited zinc-coated steel with coating weights in accordance with ASTM B 695, Class 55 minimum
   Exception: Plain carbon steel fasteners acceptable in SBX/DOT and other preservative-treated wood in an interior, dry environment
9. **Fasteners for fire-retardant-treated wood.** Fasteners for fire-retardant-treated wood used in exterior applications or wet or damp locations shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.3)

G. Roofing and Weatherproofing

1. **Roof covering.** All roof covering shall be installed per applicable requirements of CBC 1507. Roof coverings shall be at least Class A rated in accordance with ASTM E 108 and UL 790, which shall include covering over underlayment, slope, underroof flashing, exposed concrete roof deck, ferrous or copper shingles or shields. (County Building Code 92.1.1500.1)
2. **Roof flashing.** Flashing shall be installed at wall and roof intersections, at gutters, wherever there is a change in roof slope or direction, and around roof openings. Where flashing is of metal, the metal shall be corrosion-resistant with a thickness of not less than 0.019 inch (No. 26 galvanized sheet). (CRC R903.2.1)
3. **Crickets and saddles.** A cricket or saddle shall be installed on the ridge side of any chimney or penetration more than 30 inches wide as measured perpendicular to the slope. Cricket or saddle coverings shall be sheet metal or the same material as the roof covering. (CRC R903.2.2)
4. **Waterresistive barrier.** A minimum of one layer of No. 15 asphalt felt shall be attached to studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer minimum 2 inches. Where joints occur, felt shall be lapped minimum 6 inches. The felt shall be continuous to the top of walls and terminated at penetrations and building upper layers in a manner to maintain a weather-resistant exterior wall envelope. (CRC R703.2)
5. **Wall flashing.** Approved corrosion-resistant flashing shall be applied simple fashion at the following locations to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. (CRC R703.8)
   a. Exterior door and window openings, extending to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage
   b. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco coverings
   c. Under and at the ends of masonry, wood, or metal copings and sills
   d. Continuously above all projecting wood trim
   e. Where exterior porches, decks, or stairs attach to a wall or floor assembly of wood-frame construction
   f. At wall and roof intersections
   g. At built-in gutters
6. **Dampproofing.** Dampproofing materials for foundation walls enclosing usable space below grade shall be installed on the exterior surface of the wall, and shall extend from the top of the footing to finished grade. (CRC R406.1)
7. **Weep screed.** A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed with a minimum vertical attachment flange of 3-1/2 inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum 4 inches above the earth or 2 inches above paved areas and shall be of a type allowing trapped water to drain to the exterior of the building. (CRC R703.7.2.1)
13. **Moisture content of building materials.** Building materials with visible signs of water damage shall not be installed. Walls and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following (CalGreen 4.505.3):
   a. Moisture content shall be determined with either a probe-type or contact-type moisture meter.
   b. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.
   c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

   Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers drying recommendations prior to enclosure.
14. Bathrooms with a bathtub or shower shall be mechanically ventilated per the following (CalGreen 4.506.1):
   a. Fans shall be ENERGY STAR compliant and ducted to terminate outside building
   b. Unless functioning as a component of a whole-house ventilation system, fans shall have humidity control.
      i. Humidity controls shall be capable of adjustment to a relative humidity range of < 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment
      ii. A humidity control may be a separate component to the exhaust fan and is not required to be factory-installed.
15. **Heating and air-conditioning system design.** Heating and air-conditioning systems shall be sized, designed, and have their equipment selected using the following methods (CalGreen 4.507.2):
   a. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011, ASHRAE handbooks, or other equivalent design software or methods.
   b. Duct systems are sized according to ANSI/ACCA 1 Manual D 2014, ASHRAE handbooks, or other equivalent design software or methods.
   c. Select heating and cooling equipment according to ACCA 36-S Manual S 2014 or other equivalent design software or methods
16. **Construction waste management plan.** A construction waste management plan shall be prepared and available on site during the construction. Documentation demonstrating compliance with the plan shall be accessible during construction for the enforcing agency. (CalGreen 4.408.2) The plan
   a. Identifies the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale
   b. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk-mixed (single stream)
   c. Identify diversion facilities where the construction and demolition waste materials will be taken
   d. Identify construction methods employed to reduce the amount of construction and demolition waste generated
   e. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not both

17. **Operation and maintenance manual.** Prior to final inspection, a manual, compact disc, web-based reference, or other acceptable media which includes all of the following shall be placed in the building (CalGreen 4.410.1):
   a. Directions to owner or occupant that manual shall remain with the building throughout the life cycle of the structure.
   b. Operation and maintenance instructions for the following:
      1. Equipment and appliances, including water-saving devices and systems, HVAC system, photovoltaic systems, water-heating systems and other major appliances and equipment.
      2. Roof and yard drainage, including gutters and downspouts.
      3. Space conditioning systems, including condensers and air filters.
      4. Landscape irrigation systems.
      5. Water reuse systems.
   c. Information from local utility, water, and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
   d. Public transportation and commuter options available in the area.
   e. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
   f. Information about water-conserving landscape and irrigation design and controllers which conserve water.
   g. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
   h. Information on required routine maintenance measures, including, but not limited to, cleaning air vents, cleaning around the building, etc.
   i. Information about solar energy and incentive programs available.
   j. A copy of all special inspection verifications required by the enforcing agency or code.
8. **Covering of duct openings and protection of mechanical equipment during construction.** At the time of rough installation or during storage on the construction site until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. (CalGreen 4.504.1)
9. **Adhesives, sealants, caulks, paints, and coatings pollutant control.** Adhesives including construction, adhesives, sealants, caulks, and coatings shall comply with VOC limits per CalGreen 4.504.2. Verification of compliance shall be provided at the request of the enforcing agency. (CalGreen 4.504.2.1)
10. **Carpet systems.** All carpet installed in the building interior shall meet the testing and product requirements of one of the following (CalGreen 4.504.3):
   a. Carpet and Rug Institute's Green Label Plus Program (all carpet cushion shall meet the requirements of CRI Green Label)
   b. California Department of Public Health Standard Practice for the Testing of VOCs (Specification 01350).
   c. NSF/ANSI 140 at the Gold level.
   d. Scientific Certifications Systems Indoor Advantage™ Gold.
11. **Resilient flooring systems.** At least 50 percent of the floor area receiving resilient flooring shall comply with one of the following criteria (CalGreen 4.504.4):
   a. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database
   b. Products compliant with CHPS criteria certified under the Greenguard Children & Schools program
   c. Certification under the Resilient Floor Covering Institute (RFCI) Floor Score program
   d. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
12. **Composite wood products.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) by or before the dates specified in those sections, as shown in CalGreen Table 4.504.5. The following limits apply and are based on dry wood (CalGreen 4.504.5)

a. Hardwood plywood veneer core	0.05
b. Hardwood plywood composite core	0.05
c. Particleboard	0.09
d. Medium-density fiberboard (MDF)	0.11
e. Thin MDF (5/16-inch or less)	0.13

13. **Moisture content of building materials.** Building materials with visible signs of water damage shall not be installed. Walls and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following (CalGreen 4.505.3):
   a. Moisture content shall be determined with either a probe-type or contact-type moisture meter.
   b. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.
   c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

   Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers drying recommendations prior to enclosure.
14. Bathrooms with a bathtub or shower shall be mechanically ventilated per the following (CalGreen 4.506.1):
   a. Fans shall be ENERGY STAR compliant and ducted to terminate outside building
   b. Unless functioning as a component of a whole-house ventilation system, fans shall have humidity control.
      i. Humidity controls shall be capable of adjustment to a relative humidity range of < 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment
      ii. A humidity control may be a separate component to the exhaust fan and is not required to be factory-installed.
15. **Heating and air-conditioning system design.** Heating and air-conditioning systems shall be sized, designed, and have their equipment selected using the following methods (CalGreen 4.507.2):
   a. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011, ASHRAE handbooks, or other equivalent design software or methods.
   b. Duct systems are sized according to ANSI/ACCA 1 Manual D 2014, ASHRAE handbooks, or other equivalent design software or methods.
   c. Select heating and cooling equipment according to ACCA 36-S Manual S 2014 or other equivalent design software or methods

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER * **	SPACING OF FASTENERS
	Roof		
1	Blocking between rafters or rafter to top plate, face nail	3-8d (2"×6") or 4-8d (2"×4")	-
2	Ceiling joists to plates, toe nail	3-8d (2"×6") or 4-8d (2"×4")	-
3	Ceiling joists not attached to parallel rafter, lapped over partitions, face nail	3-10d	-
4	Collar tie rafter face nail or 1/4" × 1" Simpson strap ships	3-10d (3" × 0.128")	-
5	Rafter to plate, toe nail	2-8d (2"×6") or 3-8d (2"×4")	-
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3" × 0.135") 3-16d (3" × 0.135")	-
	Wall		
7	Built-up stud-to-stud, face nail	10d (3" × 0.128")	24" o.c.
8	Abutting studs at intersecting wall corners, face nail	16d (3" × 0.135")	12" o.c.
9	Built-up header two pieces with 1/2" spacer	16d (3" × 0.135")	16" o.c. along each edge
10	Continuous header, two pieces	16d (3" × 0.135")	16" o.c. along each edge

AIA California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS. The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions:

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply.
   1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than $400.00 per dwelling unit.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

Notes:

1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the *California Building Code*, Chapter 11A, to allow use of the EV charger from the accessible parking space.
2. The EV space shall be located on an accessible route, as defined in the *California Building Code*, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the *California Building Code*, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.

Note: Electric Vehicle charging stations serving public housing are required to comply with the *California Building Code*, Chapter 11B.

4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be 9 feet (2743 mm).
3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
   a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240- volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the *California Electrical Code*.

4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

Notes:

1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TABLE 4.106.4.3.1	
TOTAL NUMBER OF PARKING SPACES	**NUMBER OF REQUIRED EV SPACES**
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486mm).
2. The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.

4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.

4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/ motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the *California Building Code*, Chapter 11B.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	**FLOW RATE**
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/ bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.

Notes:

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS. The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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PROJECT

Remodel & Addition for :

Mauser Residence

8383 La Jolla Scenic Dr. N.
La Jolla, CA, 92037

SHEET TITLE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

REVISIONS

No.	Date	Notes

BUILDING DEPT. PROJECT #: ——

PROJECT #: 22217

DATE: 20 May 2024

SHEET #: SP2

AIA California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ex. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply.

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17 commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(a)(3) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1, 2]
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[1, 2]
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[3]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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PROJECT

Remodel & Addition for :

Mauser Residence

8383 La Jolla Scenic Dr. N.
La Jolla, CA, 92037

SHEET TITLE

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

REVISIONS

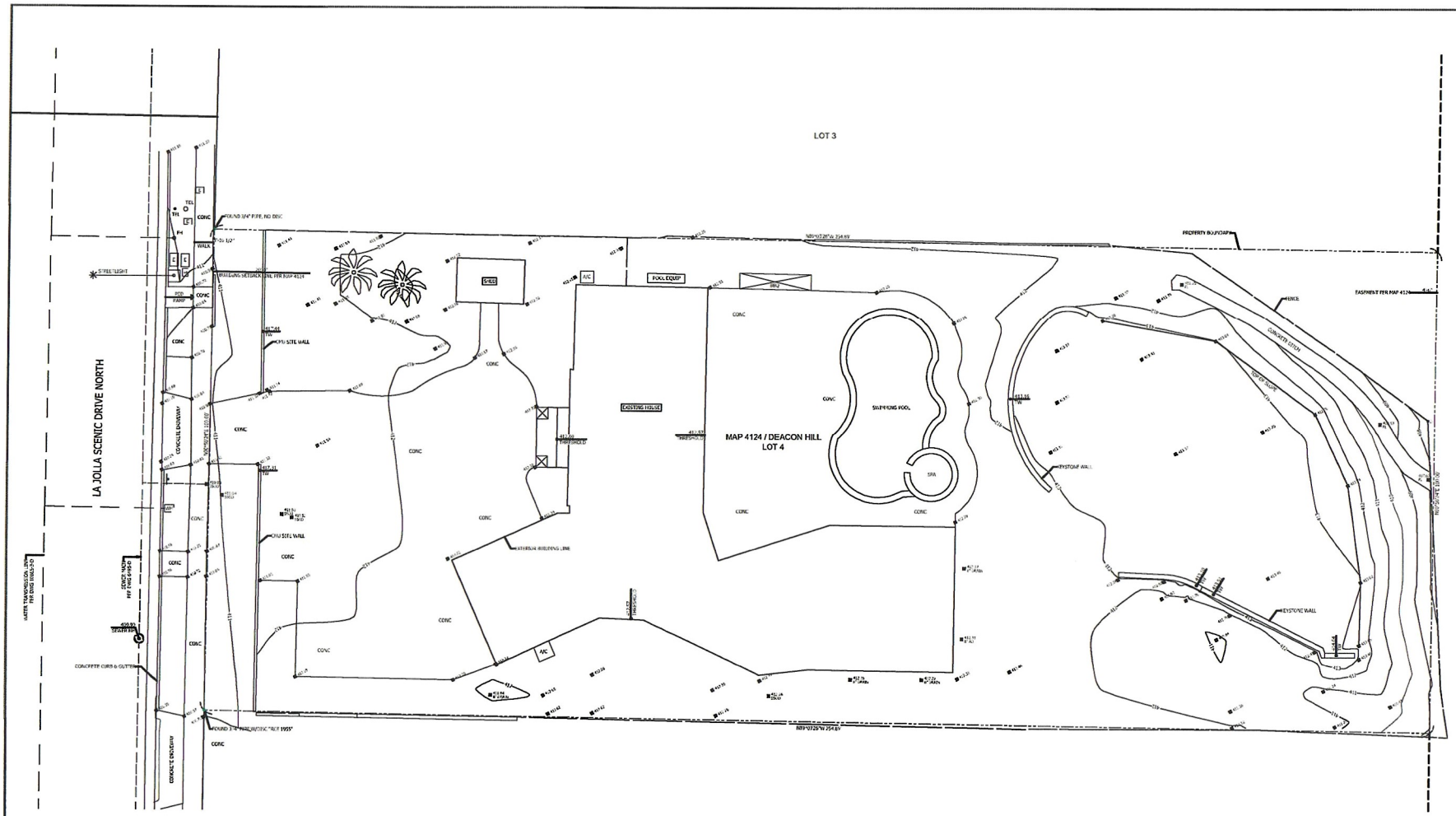
No.	Date	Notes

BUILDING DEPT. PROJECT #: ____

PROJECT #: 22217

DATE: 20 May 2024

SHEET #: SP3



ABBREVIATIONS			
AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
C/P	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	U/G	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER

LEGEND	
PROPERTY LINE	ABOVE GROUND UTILITY BOX
CENTER LINE	UNDERGROUND UTILITY ACCESS LID
LOT LINE	TREE
RIGHT OF WAY	
N55°42'30"E 82.96' — BOUNDARY LINE DATA (BEARING/DISTANCE)	
⊕ FOUND BOUNDARY MONUMENT	
EDGE OF CONCRETE	SPOT ELEVATION
CURB & GUTTER	GROUND CONTOUR (5' INTERVAL)
CMU WALL	GROUND CONTOUR (1' INTERVAL)
CONC — CONCRETE SURFACE	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)
SEWER LINE	
WATER LINE	
FENCE: WOOD	
FENCE: CHAIN-LINK	

N

8' 4' 0 8' 16'
SCALE IN FEET

EASEMENTS

ITEM 6
FOR: SEWER, WATER, DRAINAGE AND PUBLIC UTILITIES
AFFECTS: THE EASTERLY 4 FEET OF SAID LAND
RECORDED: PER MAP 4124

ITEM 7
FOR: ELECTRICITY AND TELEPHONE
AFFECTS: THE LAND
RECORDED: MARCH 7, 1952 AS INSTRUMENT NO. 1952-500119, IN BOOK 4395, PAGE 536, O.R.
LOCATION DETERMINED TO BE OFF-SITE AND WITHIN THE CURRENT RIGHT OF WAY OF LA JOLLA SCENIC DRIVE NORTH.

EASEMENTS PER PRELIMINARY TITLE REPORT PREPARED BY CALIFORNIA TITLE COMPANY, DATED JUNE 11, 2024. FILE NO. 406-2407136-37

PROPERTY LEGAL DESCRIPTION

LOT 4, MAP 4124 (DEACON HILL)

ASSESSORS PARCEL NUMBER
340-761-07

BASIS OF ELEVATIONS

CITY OF SAN DIEGO VERTICAL CONTROL BENCH MARK
MONUMENT DESCRIPTION: BRASS FLUSH TOP OF CURB
LOCATION: NORTHWEST CORNER OF LA JOLLA SCENIC DRIVE NORTH AND SCENIC PLACE
DATUM: NGVD 29
ELEVATION: 95.82 FEET

NOTE

THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE REPLACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

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PROJECT

Remodel & Addition for :

Mauser Residence

8383 La Jolla Scenic Dr. N.
La Jolla, CA, 92037

SHEET TITLE

TOPOGRAPHIC SURVEY

REVISIONS

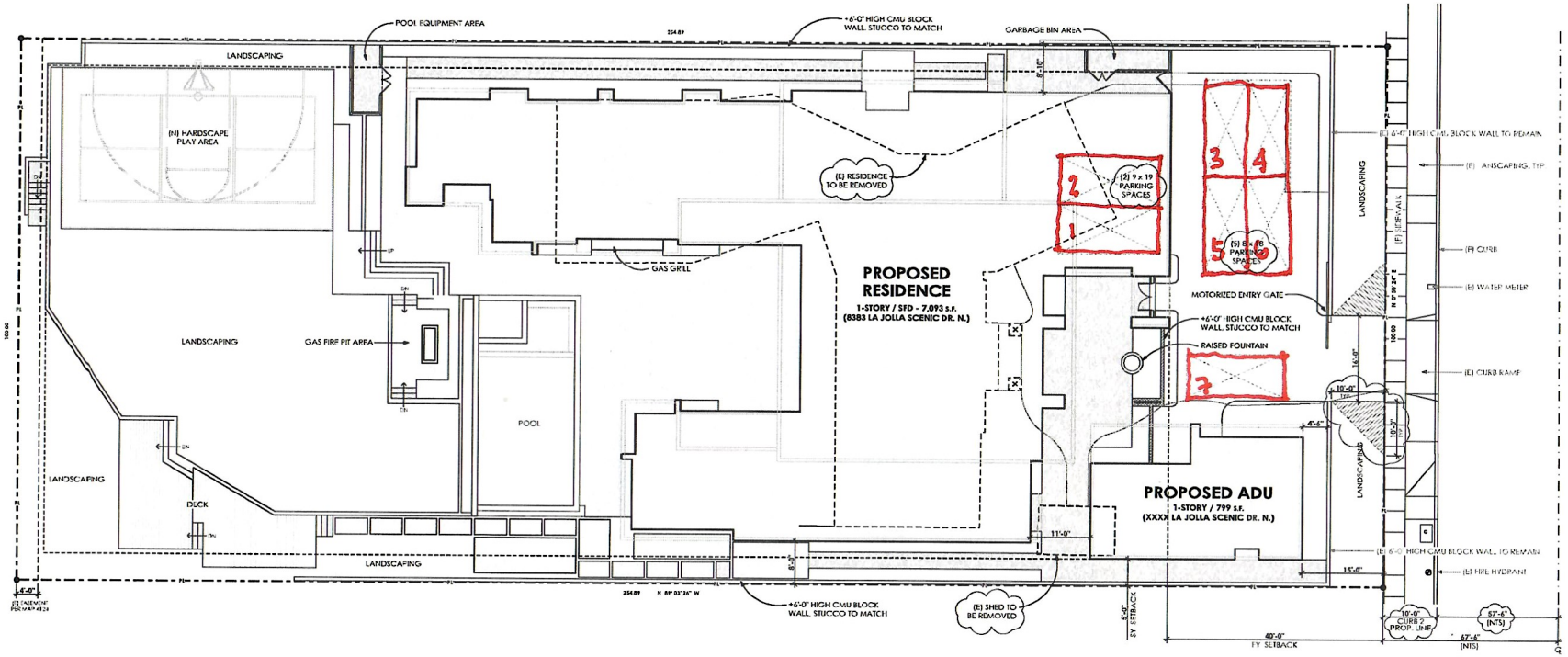
No.	Date	Notes

BUILDING DEPT. PROJECT #: ——

PROJECT #: 22217

DATE: 15 July 2024

SHEET #: A10

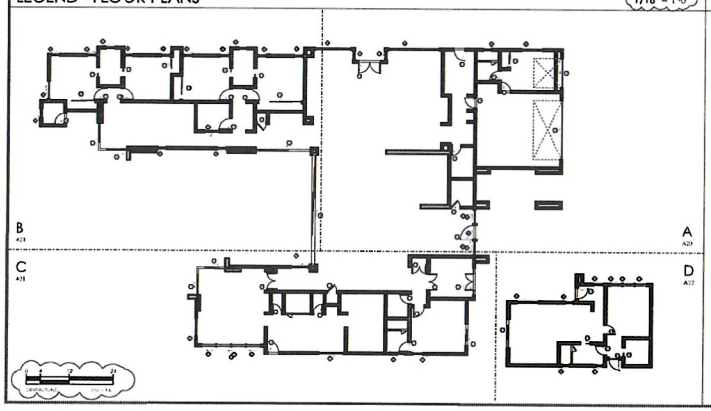


SITE PLAN

1" = 10'

LEGEND - FLOOR PLANS

1/16" = 1'-0"



CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) - SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON (S) AS INDICATED BELOW.

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING / IMPROVEMENTS CONSISTENT W/ THE APPROVED STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") AND / OR WATER POLLUTION CONTROL PLAN ("WPCP") FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN ("SWQMP") FOR POST - CONSTRUCTION BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION IN THE PUBLIC RIGHT - OF - WAY JUST BE TEMOPORARILY REMOVED PRIOR TO RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB - CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY W/ THE APPROVED SWPPP / WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND / OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS (S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES / EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION - RELATED DEBRIS AND DISCHARGES. W/ THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP / WPCP.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICH EVER IS SOONER.
9. IF A NON - STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OR THE DISCHARGER PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON - STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED OR KEPT AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEVELOPMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR - ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON - STORM WATER AND SEDIMENT - LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPP / WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER / DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY SLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA - TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE W/ CASQA FACT SHEET TC - 1 OR CALTRANS FACT SHEET TC - 01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMODATE VEHICLES AND EQUIPMENT WITHOUT BY - PASSING THE ENTRANCE. (01) NON - STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL"

LEGEND

- SWM — WM - 5 - SOLID WASTE MANAGEMENT
- WASH — WM - 8 - TEMPORARY CONCRETE WASHOUT
- SC - 5 - FIBER ROLLS (STRAW WATTLES)
- (S) DIRECTION OF SOIL DRAINAGE (SUPERSEDES THE DRAINAGE)
- VISIBILITY TRIANGLE

PLAN NOTES

1. NO WORK WILL BE PERFORMED IN THE RIGHT OF WAY.
2. NO GRADING PROPOSED.
3. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDER GROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION OR DEMOLITION.
4. [illegible]
5. ALL PUBLIC IMPROVEMENTS (INCLUDING CURB, GUTTER, SIDEWALK, CURB RAMPS, ETC.) AND DEDICATIONS MUST BE UP TO CURRENT CITY STANDARD PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AS REQUIRED PER SDMC 142.0610 (A)
6. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT PER SDMC SECTION 142.0409 (B)(2). PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

0 5 15 30
GRAPHIC SCALE 1" = 10'

DRAFTsense
done.
619.618.3712 ph
www.draftsense.com
5252 waring rd
san diego, ca 92120

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PROJECT

Remodel & Addition for :

Mauser Residence

8383 La Jolla Scenic Dr. N.
La Jolla, CA, 92037

SHEET TITLE

PROPOSED SITE PLAN / STORMWATER NOTES

REVISIONS

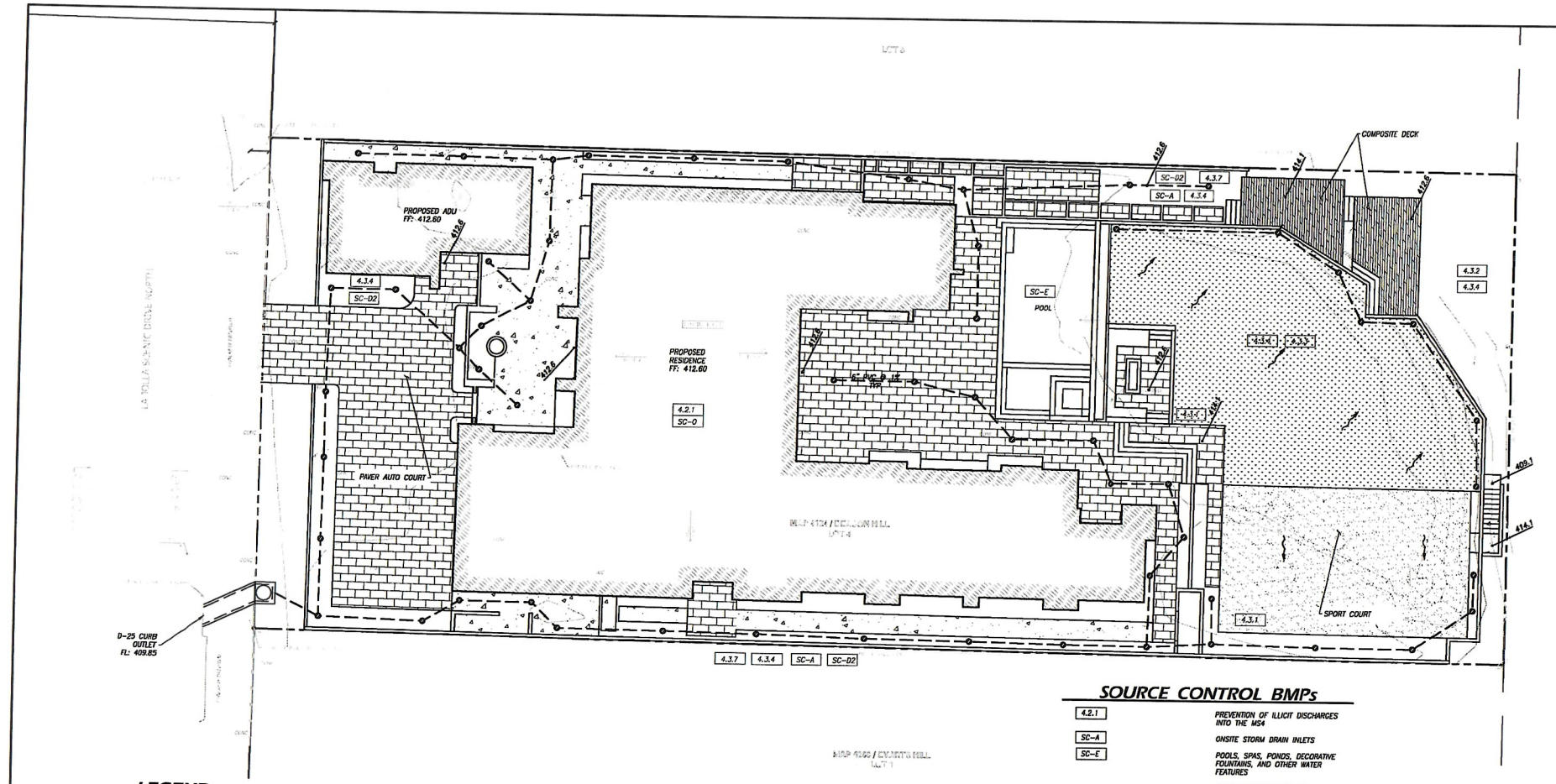
No.	Date	Notes

BUILDING DEPT. PROJECT #: 1117322

PROJECT #: 22217

DATE: 28 October 2024

SHEET #: A11



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
ROW CENTERLINE		℄
(E) CONTOUR		80
(P) CONTOUR		90
(E) SPOT ELEVATION		+222.22
(P) SPOT ELEVATION		100.00
DRAINAGE SWALE OR DIRECTION OF FLOW		
(E) WATER MAIN		W
(E) SEWER-MAIN		S
(E) GAS LINE		G
(E) WATER LINE		W
(E) ELECTRICAL LINE		E
(E) SEWER SERVICE		S
(E) WATER SERVICE		W
(P) RETAINING WALL	(SEPARATE PERMIT)	RW
(P) BUILDING FOOTPRINT		
(P) 12x12 CATCH BASIN	(BROOKS OR EQUAL)	
(P) STORM DRAIN CLEANOUT		CO
(P) 6" LANDSCAPE DRAIN		
(P) DOWNSPOUT/ROOFDRAIN DISCHARGE		

LEGEND

DESCRIPTION	STD DWG	SYMBOL
(P) TRENCH DRAIN		
(P) PVC DRAIN LINE		
(P) PVT P.C.C. DRIVEWAY	NON-STD	
P.C.C. SIDEWALK	SDG-155	
(P) PVT STREET TREE		
(P) SEWER SERVICE	SDS-103, -105, -110(C)	S
10'X10' SIGHT VISIBILITY TRIANGLE		

QUANTITIES

MAX CUT DEPTH UNDER BUILDING FOOTPRINT	0.7	FT
MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT	0.5	FT
MAX FILL DEPTH UNDER BUILDING FOOTPRINT	N/A	FT
MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT	5	FT
REMEDIAL CUT UNDER BUILDING FOOTPRINT	1-5	FT
REMEDIAL CUT OUTSIDE BUILDING FOOTPRINT	2	FT
ESTIMATED TOTAL FILL	400	CUYD
ESTIMATED TOTAL CUT	520	CUYD
EXISTING IMPERVIOUS AREA:	9,390 SQFT	
NEW IMPERVIOUS AREA:	3,743 SQFT	
REPLACED IMPERVIOUS AREA:	5,779 SQFT	
TOTAL NEW & REPLACED:	9,522 SQFT	

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FLD BK	FIELD BOOK
A.C.	ASBESTOS CEMENT	H	HIGH
BLK	BLOCK	ICV	IRRIGATION CONTROL VALVE
BRK	BRICK	L.P.	LOW PRESSURE
BW	GRADE AT BOTTOM OF WALL	PLTR	PLANTER
℄	CENTER LINE	PVMT	PAVEMENT
C. CONC	CONCRETE	SCO	SEWER CLEANOUT
C.O.	CLEANOUT	SMH	SEWER MANHOLE
EL	ELECTRIC	TEL	TELEPHONE
ELEV	ELEVATION	TW	GRADE AT TOP OF WALL
E: FLFLOW	LINE	TYP	TYPICAL
		WM	WATER METER

DRAINAGE NOTES

1. ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
2. ALL CATCH BASIN LEADS TO BE 6" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
3. HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
4. SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
5. SOIL COVER ABOVE DRAIN LINES SHALL BE 18" UNLESS OTHERWISE NOTED.
6. NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.
7. ALL PRIVATE STORM WATER RUNOFF WILL BE ROUTED TO LANDSCAPE OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAINAGE SYSTEM.

SOURCE CONTROL BMPs

4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
SC-A	ONSITE STORM DRAIN INLETS
SC-E	POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES
SC-D	MISCELLANEOUS DRAIN OR WASH WATER: FOR ROOFING, GUTTERS, AND TRIM
SC-D2	LANDSCAPE / OUTDOOR PESTICIDE USE

THE SOURCE CONTROL BMP(s) LISTED ABOVE SHALL BE IMPLEMENTED PER THE CRITERIA OUTLINED IN APPENDIX E: BMP DESIGN FACT SHEETS AS DESCRIBED IN THE CITY OF SAN DIEGO STORM WATER STANDARDS BMP DESIGN MANUAL (JANUARY 2018) AND IN ACCORDANCE WITH THE SELECTED SOURCE CONTROL BMPs LISTED IN FORM I-4A FOR A STANDARD DEVELOPMENT PROJECT.

SITE DESIGN BMPs

4.3.1	IMPERVIOUS AREA DISPERSION
4.3.2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
4.3.3	MINIMIZE IMPERVIOUS AREA
4.3.4	MINIMIZE SOIL COMPACTION
4.3.5	IMPERVIOUS AREA DISPERSION
4.3.7	LANDSCAPING WITH NATIVE/DROUGHT TOLERANT SPECIES

THE SOURCE CONTROL BMP(s) LISTED ABOVE SHALL BE IMPLEMENTED PER THE CRITERIA OUTLINED IN APPENDIX E: BMP DESIGN FACT SHEETS AS DESCRIBED IN THE CITY OF SAN DIEGO STORM WATER STANDARDS BMP DESIGN MANUAL (JANUARY 2018) AND IN ACCORDANCE WITH THE SELECTED SOURCE CONTROL BMPs LISTED IN FORM I-5A FOR A STANDARD DEVELOPMENT PROJECT.

N

10 0 10 20 30

SCALE: 1"=10'

COFFEY ENGINEERING, INC.
9466 RUSHSPEAK AVENUE, SUITE 210 SAN DIEGO, CA 92131 PH: (858)831-0111 FAX (858)831-0179

REGISTERED PROFESSIONAL ENGINEER MICHAEL C. KINNAMON C 76785 CIVIL STATE OF CALIFORNIA

MAUSER RESIDENCE

8383 LA JOLLA SCENIC DRIVE NORTH
LA JOLLA, CA 92037

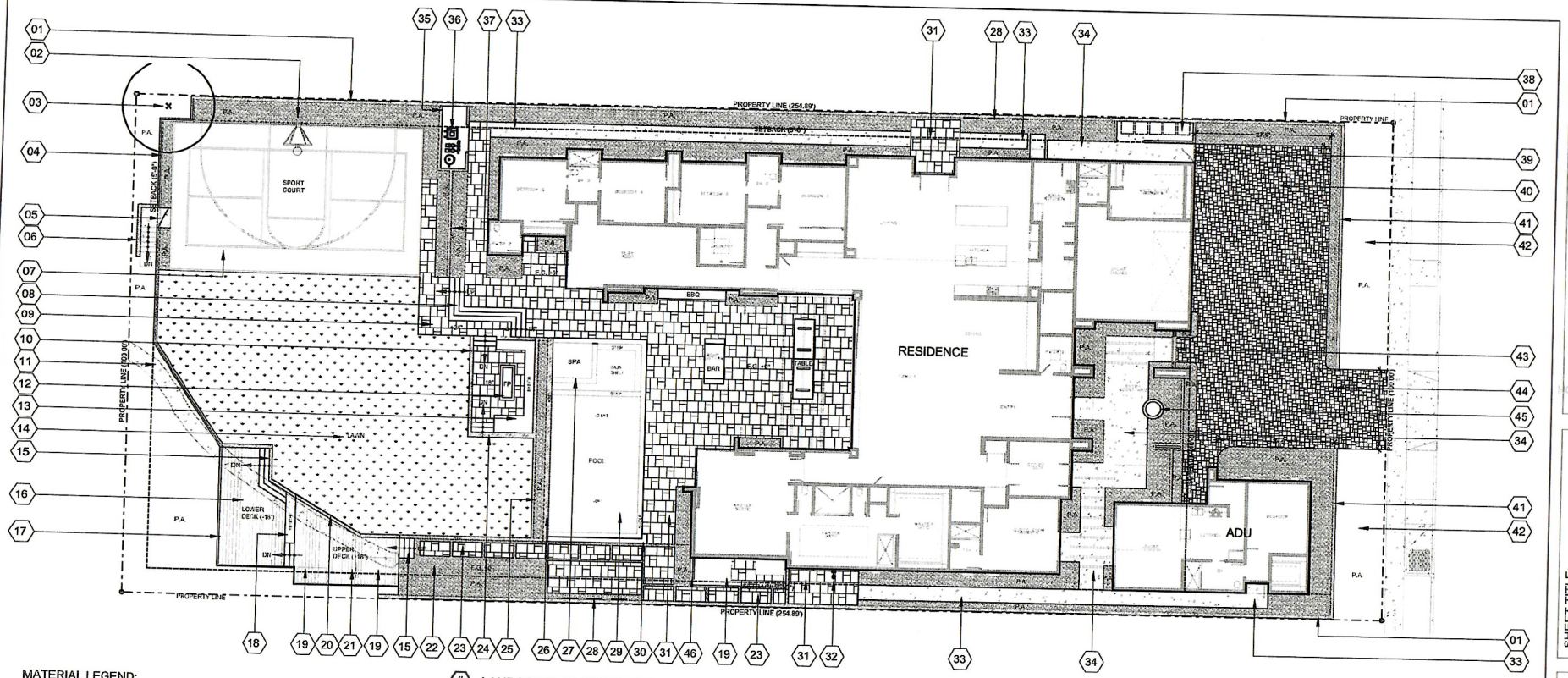
DRAWN BY:	MR
CHECKED BY:	MK
ORIGINAL	05/29/2024
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

GRADING PLAN

SCALE: 1" = 10'

C.1

SHT 1 OF 1 SHTS



MATERIAL LEGEND:

- NATURAL STONE PAVER OR EQUIVALENT
- INTERLOCKING CONCRETE PAVERS
- COMPOSITE WOOD DECKING
- POURED IN PLACE CONCRETE SLAB
- NATURAL GRASS LAWN | TALL FESCUE OR EQUIVALENT
- DECORATIVE ROCK/PEBBLE
- EXISTING WALLS TO REMAIN
- PROPOSED MASONRY WALLS
- PROPOSED HORIZONATAL WOOD FENCING
- PROPOSED GLASS PANEL FENCING/RAILING

DESIGN STATEMENT:
THE LANDSCAPE SEEKS TO PROVIDE AMPLE PLANT COVERAGE UTILIZING MAINLY CALIFORNIA & SAN DIEGO NATIVE, DROUGHT-TOLERANT & FIRE-RESISTANT PLANT MATERIAL. LARGE NATURAL GRASS AREA, SPORT COURT, AND POOL/SPA FOR ACTIVE & OUTDOOR LIFESTYLE. SAUNA/COLD PLUNGE, LUSH ENTRY COURTYARD AND FIRE PIT AREAS FOR RELAXATION. RETAINING WALL AND VIEWING DECK IN THE BACK TO TAKE ADVANTAGE OF VIEWS. DIFFERENT COLORS AND TEXTURES IN THE HARDSCAPE TO DELINEATE MANY USAGE AREAS.

LANDSCAPE PLAN LEGEND

01 PROPOSED FS MASONRY BLOCK WALL | 6FT HT | STUCCO FINISH
02 PROPOSED IN GROUND BASKETBALL HOOP FOR SPORT COURT
03 EXISTING TREE TO REMAIN
04 PROPOSED MASONRY RETAINING WALL | 36" MAX HEIGHT | GLASS FENCING TO BE ATTACHED TO TOP OF WALL (MIN.45" HT)
05 PROPOSED GLASS ACCESS GATE | HEIGHT TO MATCH FENCING
06 PROPOSED MASONRY WALL & CONCRETE STAIRS | ACCESS TO AREA BELOW NEW RETAINING WALL
07 PROPOSED SPORT COURT | CONCRETE SLAB W/ ACRYLIC PAINTED SURFACE | BASKETBALL & PICKELBALL
08 PROPOSED MASONRY STAIRS | ACCESS TO UPPER LAWN AREA | MATERIAL TO MATCH PATIO HARDSCAPE
09 PROPOSED HARDSCAPE WALKWAY/STAIR LANDING
10 PROPOSED MASONRY RETAINING WALL | 18" EXPOSED HT | SUPPORT FOR SUNKEN FIRE PIT PATIO
11 EXISTING CONCRETE DRAINAGE CULVERT TO REMAIN
12 PROPOSED RECTANGULAR NG MASONRY FIRE PIT | 16" HT |
13 PROPOSED MASONRY BENCH | 18" SEAT HEIGHT | CUSTOMER SUPPLIED CUSHIONS
14 PROPOSED NATURAL GRASS LAWN, SEE PLANTING PLAN L-2
15 PROPOSED COMPOSITE WOOD ACCESS STAIRS | ATTACHED TO PROPOSED MASONRY RETAINING WALL | ACCESS TO LOWER DECK
16 PROPOSED COMPOSITE WOOD DECK | BUILT INTO EXISTING SLOPE | 18" STEP DOWN FROM LAWN F.G. & TOP OF RETAINING WALL
17 PROPOSED GLASS FENCING/RAILING ALONG EDGE OF DECKING
18 PROPOSED COMPOSITE WOOD SEAT BENCH
19 PROPOSED SAUNA & COLD PLUNGE LOCATION | OPTION ON UPPER DECK OR PATIO OUTSIDE MASTER BATHROOM | CUSTOMER SUPPLIED
20 PROPOSED MASONRY RETAINING WALL | 18" - 36" HT
21 PROPOSED COMPOSITE WOOD DECK | 18" HT TO MATCH RETAINING WALL & LAWN HEIGHT
22 PROPOSED PLANTING AREA W/ DECORATIVE ROCK TOP COVER
23 PROPOSED HARDSCAPE STEPPERS | 6" ROCK BETWEEN
24 PROPOSED MASONRY RETAINING WALL SURROUND FOR FIRE PIT | MASONRY STAIR ACCESS TO FIRE PIT PATIO
25 PROPOSED CONCRETE CURBING/MOW STRIP EDGING
26 PROPOSED RAISED BOND BEAM | 24" HT | DECORATIVE TILE VENEER
27 PROPOSED SPA LOCATION | AT FINISHED GRADE (+0")
28 PROPOSED OUTDECO ORNAMENTAL PANELS ATTACHED TO WALL
29 PROPOSED POOL | 6FT DEPTH | BAJA SHELF | NATURAL STONE COPING
30 PROPOSED AUTOMATED POOL COVER VAULT
31 PROPOSED HARDSCAPE PATIO | NATURAL STONE PAVERS OR EQUIV.
32 PROPOSED OUTDOOR SHOWER | MOUNTED TO EXTERIOR WALL
33 PROPOSED CONCRETE WALKWAY | #3 TOPCAST FINISH
34 PROPOSED CONCRETE PATIO/FRONT ENTRY | #3 TOPCAST FINISH
35 PROPOSED MASONRY EQUIPMENT ENCLOSURE | 36" HT WALL W/ 24" HT HORIZONTAL WOOD FENCING | GATE TO MATCH FENCING
36 PROPOSED POOL EQUIPMENT ENCLOSURE | CONCRETE PAD
37 PROPOSED MASONRY RETAINING WALL | 24" HT
38 PROPOSED MASONRY TRASH ENCLOSURE | 36" HT W/ 24" HT HORIZ. WOOD FENCING ON WALL | GATE TO MATCH FENCING
39 PROPOSED BACKYARD ACCESS GATE | STYLE TO MATCH FENCING
40 PROPOSED INTERLOCKING CONCRETE PAVER DRIVEWAY | STYLE TBD
41 EXISTING FS MASONRY WALL TO REMAIN
42 EXISTING PLANTING AREAS | SEE PLANTING PLAN L-2
43 PROPOSED FRONT ENTRY GATE BY OTHERS
44 PROPOSED DRIVEWAY GATE | MATCH ARCHITECTURE
45 PROPOSED FRONT COURTYARD FOUNTAIN
46 PROPOSED DECORATIVE SCREEN PANELS | OUTDECO OR SIMILAR | DOUBLE SIDED, ATTACHED TO 4X4 POST

P.A. - PLANTING AREA, TYP.
SEE L-2 PLANTING PLAN

NOTES:

ALL PLANTER AREAS SHALL HAVE MIN. 2-3" DECORATIVE ROCK W/ LANDSCAPE FABRIC UNDERNEATH. NO MULCH WITHIN 5' OF HOUSE OR STRUCTURES.

ALL MATERIALS WILL NEED TO BE SELECTED AND CONFIRMED BY HOMEOWNER PRIOR TO INSTALLATION.

CONTRACTOR TO VERIFY ALL HEIGHTS AND LOCATIONS IN FIELD.

WHERE ANY DISCREPANCIES OCCUR BETWEEN THIS PLAN AND NOTES IN STRUCTURAL ENGINEERING PLANS, THE ENGINEERING NOTES SHALL TAKE PRECEDENCE AND BE USED.

SCALE: 1" = 10'

NORTH

GLA.
GOLDEN LANDSCAPE ARCHITECTURE
33251 Ocean Hill Drive
Dana Point, CA 92629
949.939.5175
goldenlarchitecture@gmail.com

LICENSED LANDSCAPE ARCHITECT
BRYAN BATTAY
Lic. No. 6215
JAN 25
AUG 25
10-18-24
STATE OF CALIFORNIA

NOT FOR CONSTRUCTION

SHEET TITLE: LANDSCAPE SITE PLAN

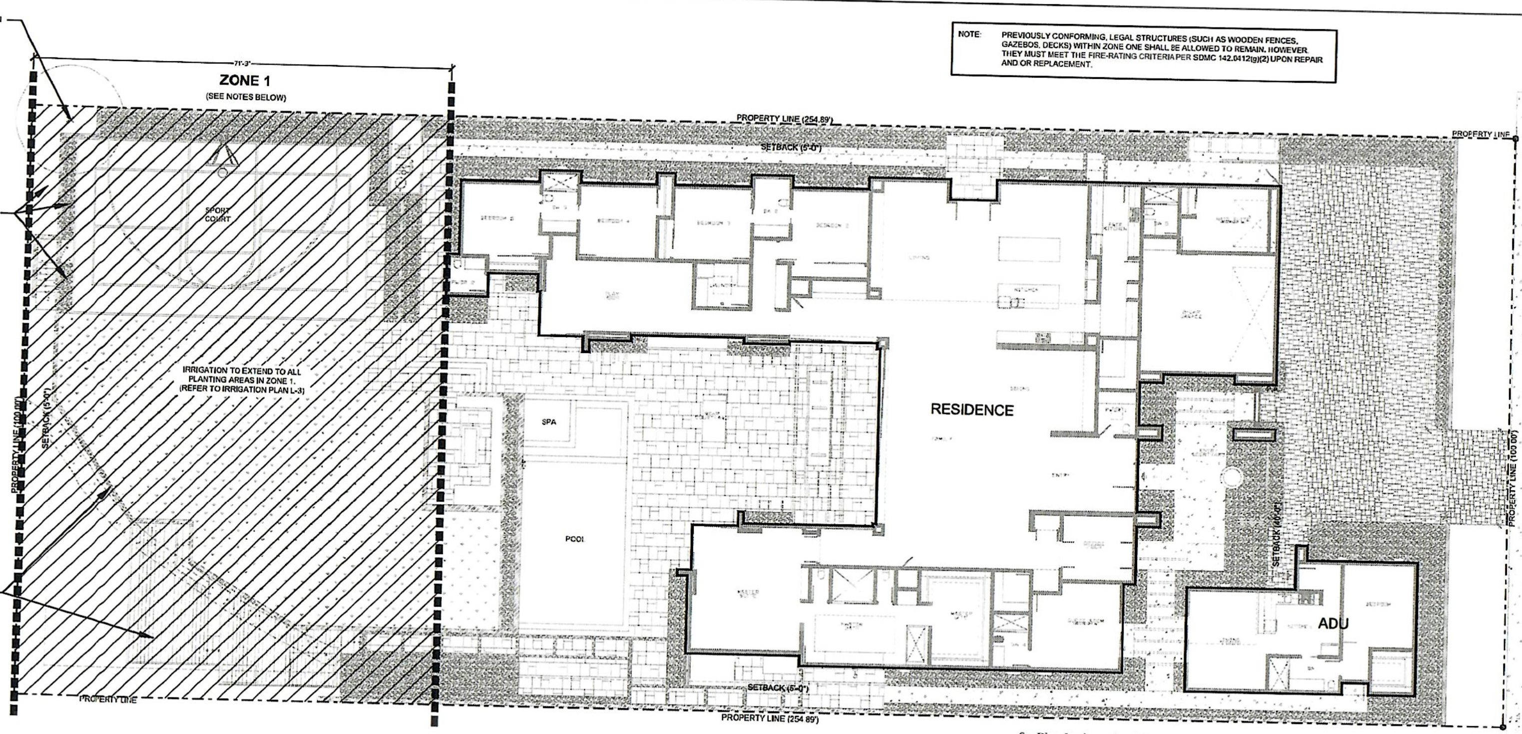
PROJECT:
MAUSER RESIDENCE
8383 LA JOLLA SCENIC DR. N
LA JOLLA, CA 92037

REVISIONS

PREPARED BY:	B.B.
ORIG. DATE	10-30-2024
SCALE	1" = 10' - 0"

L1

SHEET 1 OF 6



NOTE: PREVIOUSLY CONFORMING, LEGAL STRUCTURES (SUCH AS WOODEN FENCES, GAZEBOS, DECKS) WITHIN ZONE ONE SHALL BE ALLOWED TO REMAIN. HOWEVER, THEY MUST MEET THE FIRE-RATING CRITERIA PER SDMC 142.0412(g)(2) UPON REPAIR AND OR REPLACEMENT.

San Diego Municipal Code
§142.0412 - Brush Management

Table 142-0411

	Standard Width	Provided Width
Zone One	35 feet	
Zone Two	65 feet	

(f) The Zone Two width may be decreased by 1½ feet for each 1 foot of increase in Zone One width, however, within the Coastal Overlay Zone, a maximum reduction of 30 feet of Zone Two width is permitted.

(g) Zone One Requirements

(1) The required Zone One width shall be provided between native or naturalized vegetation and any *structure* and shall be measured from the exterior of the *structure* to the vegetation.

(2) Zone One shall contain no habitable *structures*, *structures* that are directly attached to habitable *structures*, or other combustible construction that provides a means for transmitting fire to the habitable *structures*. *Structures* such as *fences*, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated Type IV or heavy timber construction as defined in the California Building Code.

(3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.

(4) Trees within Zone One shall be located away from *structures* to a minimum distance of 10 feet as measured from the *structures* to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.

(5) Permanent irrigation is required for all planting areas within Zone One except as follows:

(A) When planting areas contain only species that do not grow taller than 24 inches in height, or

(B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.

(6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.

(7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

(h) Zone Two Requirements

(1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable *structure*, to the edge of undisturbed vegetation.

(2) No *structures* shall be constructed in Zone Two.

(3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.

(4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.

(5) The following standards shall be used where Zone Two is in an area previously *graded* as part of legal *development* activity and is proposed to be planted with new plant material instead of *clearing* existing native or naturalized vegetation:

(A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistive. No non-native plant material may be planted in *Zone* Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing *sensitive biological resources*.

(B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable *structures* and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.

(C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallonage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

(D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.

(6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.

(7) Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-0411 cannot be provided on *premises* with existing *structures*, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.

(i) An *applicant* may request approval of alternative compliance for brush management in accordance with Process One if all of the following conditions exist:

(1) The proposed alternative compliance provides sufficient defensible space between all *structures* on the *premises* and contiguous areas of native or naturalized vegetation as demonstrated to the satisfaction of the Fire Chief based on documentation that addresses the topography of the site, existing and potential fuel load, and other characteristics related to fire protection and the context of the proposed *development*.

(2) The proposed alternative compliance minimizes impacts to undisturbed native or naturalized vegetation where possible while still meeting the purpose and intent of Section 142.0412 to reduce fire hazards around *structures* and provide an effective fire break.

(3) The proposed alternative compliance is not detrimental to the public health, safety, and welfare of persons residing or working in the area.

ALTERNATIVE COMPLIANCE TO BE MET

(j) If the Fire Chief approves alternative compliance in accordance with this section, the modifications shall be recorded with the approved permit conditions if approved as part of a *development permit*, or noted in the permit file if approved as part of a *construction permit*.

(k) For existing *structures*, the Fire Chief may require brush management in compliance with this section for any area, independent of size, location, or condition if it is determined that an imminent fire hazard exists.

(l) Brush management for existing *structures* shall be performed by the owner of the property that contains the native and naturalized vegetation. This requirement is independent of whether the *structure* being protected by brush management is owned by the property owner subject to these requirements or is on neighboring property.

San Diego Landscape Standards
Section III - Brush Management

3-1 BRUSH MANAGEMENT – DESCRIPTION

Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

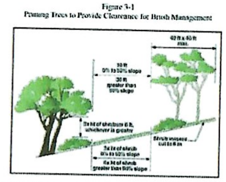
3.2-1 Basic requirements – All Zones

3.2-1.01 For zone two, plants shall not be cut below six inches.

3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.

3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher **(Figure 3-1)**. Dead and excessively twiggy growth shall also be removed.

Figure 3-1
Pruning Trees to Provide Clearance for Brush Management



3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants **(Figure 3-1)**.

3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).

3.2-2 Zone 1 Requirements - All Structures

3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see **Appendix "B"**).

3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.

3.2-2.03 Maintain all plantings in a succulent condition.

3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.

3.2-3 Zone 2 Requirements – All Structures

3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

1 General Maintenance – Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone. Zone 1: Year-round maintenance. Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

2 Brush Management Zone 1 – This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.

3 Brush Management Zone 2 – Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.

4 Long-term Maintenance Responsibility – All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of ________ [please Specify, e.g. Owner, H.O.A.] The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.

SCALE: 1" = 10'

NORTH

GOLDEN LANDSCAPE ARCHITECTURE
33251 Ocean Hill Drive
Dana Point, CA 92629
949.939.5175
goldenlarchitecture@gmail.com

LICENSED LANDSCAPE ARCHITECT – STATE OF CALIFORNIA – Lic. No. 6215 – 2-28-25 – 10-30-24

NOT FOR CONSTRUCTION

SHEET TITLE: BRUSH MANAGEMENT PLAN

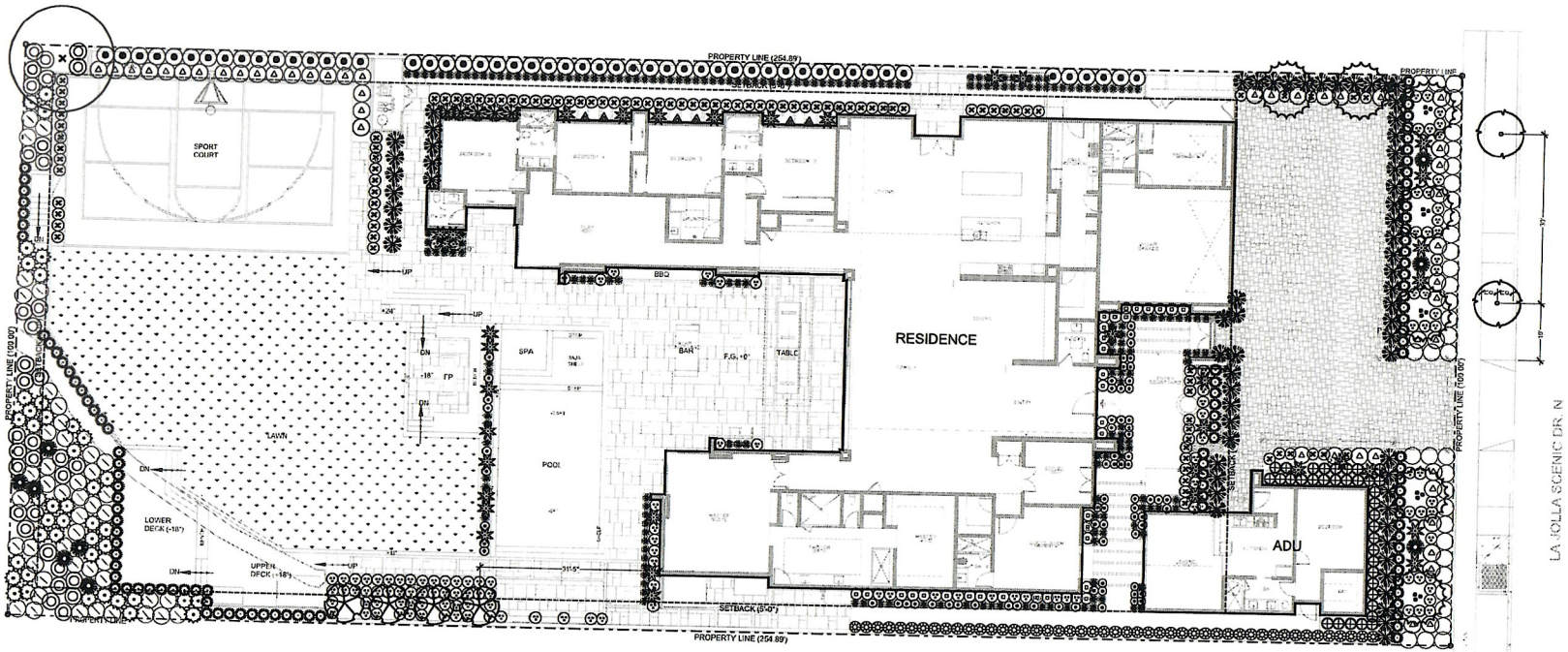
PROJECT: **MAUSER RESIDENCE**
8383 LA JOLLA SCENIC DR. N
LA JOLLA, CA 92037

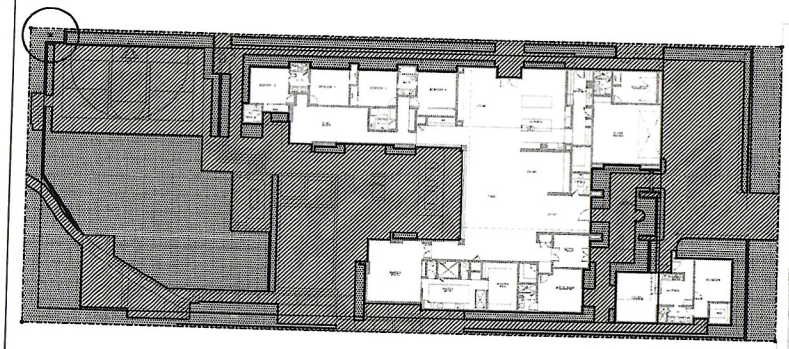
REVISIONS

PREPARED BY:	B.B.
ORIG. DATE	10-30-2024
SCALE	1" = 10'-0"

L1.1

SHEET 2 OF 6





LANDSCAPE AREA DIAGRAM

HARDSCAPE AREA (9,948 S.F.)

PLANTING AREA (7,811 S.F.)

7,811 S.F. (PLANTING AREA) / 25,646 S.F. (PARCEL) = **30% TOTAL PARCEL AREA IS LANDSCAPED**

SCALE: 1" = 20'

NORTH

PLANT LEGEND - SHRUBS, GRASSES, GROUNDCOVERS

BOTANICAL/ COMMON NAME	SIZE	NOTES	QTY	WUCOLS	MATURE HEIGHT/ SPREAD	FORM / FUNCTION
AGAVE ATTENUATA 'NOVA' BLUE FOXTAIL AGAVE	15 GAL	SPACED AS SHOWN	36	LOW	3' 3'	ROSETTE FOCAL
ALOE MACULATA SOAP ALOE	5 GAL	SPACED AS SHOWN	71	LOW	2' 2'	ROSETTE FOCAL FLOWERING
ATRIPLEX BARCLAYANA DWARF SALTBUSH	1 GAL	@ 36" O.C. TRIANGULAR SPACING	43	LOW	1' 4'	LOW, SPREADING GROUNDCOVER
BACCHARIS PILULARIS 'PIGEON POINT' PIGEON POINT COYOTE BUSH	1 GAL	@ 36" O.C. TRIANGULAR SPACING	46	LOW	1' 6'	LOW, SPREADING GROUNDCOVER
BOUGAINVILLEA SPP. CLIMBING BOUGAINVILLEA	15 GAL	STAKE FORM TRAIN TO WALL & TRELLIS	6	LOW	--	CLIMBING FOCAL VINE
CARISSA MACROCARPA 'GREEN CARPET' CREEPING NATAL PLUM	1 GAL	@ 36" O.C. TRIANGULAR SPACING	37	LOW	1' 4'	LOW, SPREADING GROUNDCOVER
CEANOTHUS 'CONCHA' CONCHA LILAC	1 GAL	@ 36" O.C. TRIANGULAR SPACING	34	LOW	3' - 6' 3' - 6'	MOUNDING, ROUNDED SHRUB
DIETES GRANDIFLORA FORTNIGHT LILY	1 GAL	@ 36" O.C. SQUARE SPACING	70	LOW	3' - 4' 2' - 3'	UPRIGHT, FLOWERING PERENNIAL
EPILOBUM CANUM CALIFORNIA FUSCHIA	1 GAL	@ 24" O.C. OR SPACED AS SHOWN	97	LOW	1' - 1.5' 2' - 3'	LOW, SPREADING FLOWERING SHRUB
FEIJOA SELLOWIANA PINEAPPLE GUAVA	5 GAL	@ 24" O.C. KEEP TO SHRUB FORM	47	LOW	3' - 4' 3' - 4'	UPRIGHT FOCAL SHRUB
LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	1 GAL	@ 24" O.C. SQUARE SPACING	36	LOW	2' - 3' 2' - 3'	MOUNDING GRASS
MIMULUS 'PUMPKIN ORANGE MONKEY FLOWER	1 GAL	@ 24" O.C. TRIANGULAR SPACING	128	LOW	2' 2'	MOUNDING, FLOWERING NATIVE SHRUB
NEPHROLEPIS CORDIFOLIA CALIFORNIA SWORD FERN	1 GAL	@ 24" O.C. SQUARE SPACING	32	LOW	3' 3'	MOUNDING SHADE SHRUB
PENNISETUM 'FAIRY TAILS' EVERGREEN FOUNTAIN GRASS	1 GAL	@ 24" O.C. SQUARE SPACING	106	LOW	3' - 4' 3' - 4'	UPRIGHT GRASS BORDER
PRUNUS CAROLINIANA 'BRITE N TITE' COMPACT CAROLINA CHERRY	15 GAL	@ 36" O.C.	52	MED	8' - 10' 4' - 6'	COLUMNAR HEDGE SHRUB
SESLERIA AUTUMNALIS AUTUMN MOOR SEDGE	1 GAL	@ 18" O.C. OR SPACED AS SHOWN	204	LOW	2' 2'	UPRIGHT LOW SHADE GRASS
WESTRINGIA FRUTICOSA 'MUNDI' TRAILING COAST ROSEMARY	1 GAL	@ 24" O.C. SPACED AS SHOWN	46	LOW	2' 3'	LOW, SPREADING FLOWERING SHRUB
YUCCA WHIPPLEI CHAPARRAL YUCCA	15 GAL	SPACED AS SHOWN	9	LOW	3' 3'	ROSETTE FOCAL
NATURAL GRASS TURF (DROUGHT-TOLERANT)	FROM SOD	MANUF WEST COAST TURF OR SITE ONE TYPE WEST COASTER FESCUE	2,772 S.F.	LOW/MED	6" HIGH	GRASS AREA

PLANT LEGEND - TREES

BOTANICAL/ COMMON NAME	SIZE	NOTES	QTY	WUCOLS	MATURE HEIGHT/ SPREAD	FORM / FUNCTION
CITRUS SPP. CITRUS TREES	36" BOX	STANDARD TRUNK VARIETIES PER HOMEOWNER	4	MED	8' 8'	BROAD ROUND EDIBLE
ARBUTUS X 'MARINA' STRAWBERRY TREE	36" BOX	MULTI TRUNK L.A. & OWNER TO SELECT	6	LOW	15' 15'	BROAD ROUND FOCAL
TRISTANIA CONFERTA BRISBANE BOX	24" BOX	STANDARD TRUNK PRUNE CANOPY TO MIN. 6' H. INSTALL PER SDC STD.	2	MED	50' 15'	ROUND PYRAMIDAL STREET TREE
EXISTING TREE TO REMAIN	--	PROTECT IN PLACE TRIM AS NECESSARY	1	--	--	--

PLANTING NOTES

1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN PER SHEET FOR CONVENIENCE ONLY ARE SUBORDINATE TO THE SPACING GIVEN. CHECK AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL FIELD CONDITIONS.
2. ALL PLANT MATERIAL TO BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND CONSTRUCTION DETAILS. SEE DETAILS SHEETS IN THIS PACKAGE.
3. IN SOME CASES, PLANTING SYMBOLS MAY BE SHOWN IN AREAS WHERE ABOVE GRADE UTILITIES INTERFERE OR ALTER THE DESIRED SPACING AND/OR PATTERN. CONTRACTOR TO REVIEW AREAS WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING MATERIAL.
4. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
5. MINIMUM TREE SEPARATION DISTANCE (TABLE 142-04E):

TRAFFIC SIGNALS / STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

SCALE: 1" = 10'

NORTH

GLA.
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LICENSED LANDSCAPE ARCHITECT BRADLEY BEST Lic. No. 6715 STATE OF CALIFORNIA

NOT FOR CONSTRUCTION

SHEET TITLE: PLANTING PLAN

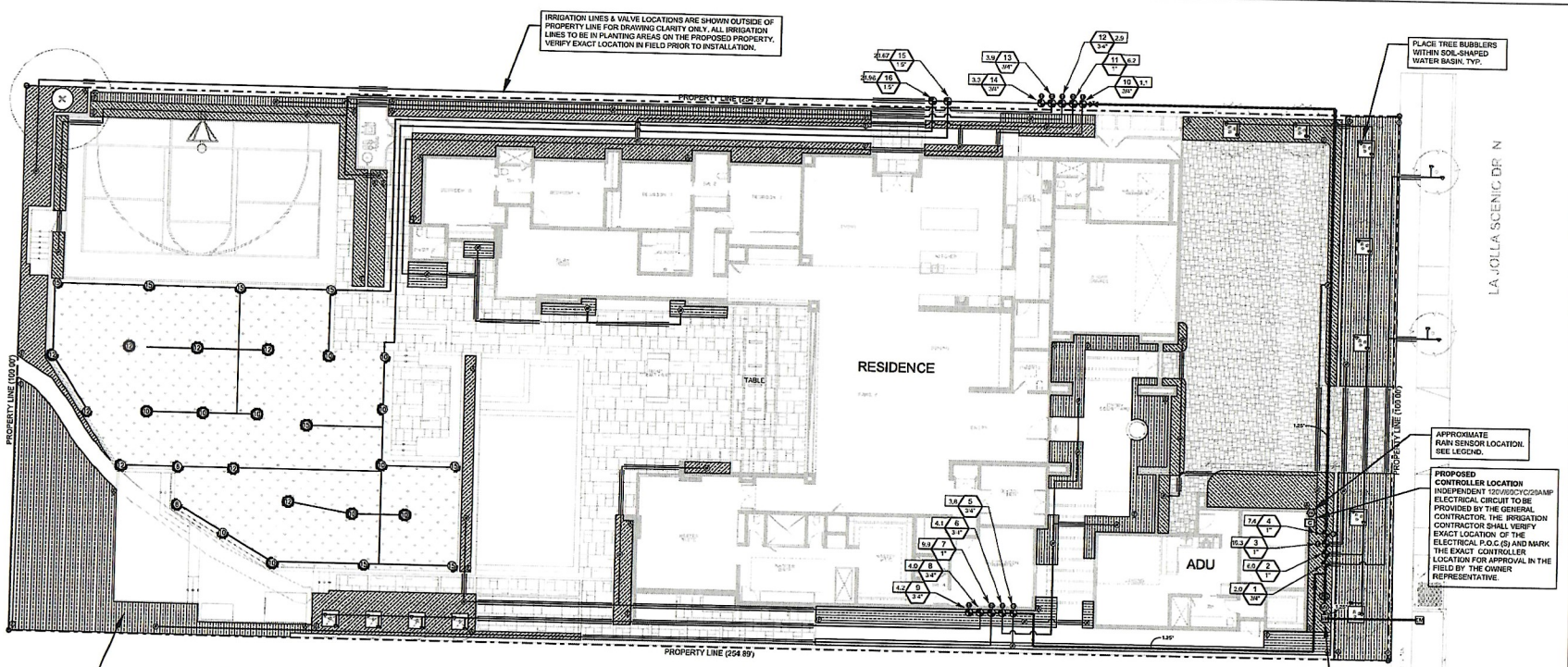
PROJECT: MAUSER RESIDENCE
8383 LA JOLLA SCENIC DR. N
LA JOLLA, CA 92037

REVISIONS

PREPARED BY	B.B.
ORIG. DATE	10-30-2024
SCALE	1" = 10'-0"

L2

SHEET 3 OF 6



IRRIGATION LEGEND

IRRIGATION SCHEDULE	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
U0 U0 U0

IRRIGATION SCHEDULE & WATER MANAGEMENT

1. THE IRRIGATION SCHEDULES WILL BE BASED UPON HISTORICAL ETO DATA AND WILL BE ASSISTED WITH THE USE OF A CERTIFIED SMART IRRIGATION CONTROLLER, SEE LEGEND. THE SCHEDULE WILL SERVE AS A BASE AND THE LANDSCAPE MAINTENANCE CONTRACTOR IN CONTRACT WITH THE PRIVATE OWNER SHALL BE RESPONSIBLE FOR ADJUSTING FOR ABNORMAL CLIMATES, MICRO-CLIMATES, ETC.
2. AFTER INSTALLATION THE CONTRACTOR SHALL BE REQUIRED TO HAVE A CERTIFIED LANDSCAPE IRRIGATION AUDITOR PERFORM AN AUDIT TO DETERMINE THE ACTUAL EFFICIENCY OF THE INSTALLED SYSTEM. THE PER STATION RUN-TIMES WILL BE DIRECTLY PROPORTIONAL TO THE EFFICIENCY OF THE IRRIGATION SYSTEM OF EACH VALVE. THE ACTUAL RUN-TIMES SHALL BE DETEREMINED AFTER THIS AUDIT BUT PRIOR TO TURNING THE PROJECT OVER TO LONG TERM MAINTENANCE. ***RESULTS OF THE IRRIGATION AUDIT SHALL BE DISTRIBUTED TO THE OWNER, ARCHITECT, AND LANDSCAPE ARCHITECT FOR THEIR RECORDS.***
3. THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL STRIVE FOR MAXIMIZING PLANT HEALTH AND AESTHETICS WHILE MINIMIZING WATER USE. IF IT IS APPARENT THAT THE BASE SCHEDULES SUPPLY MORE OR LESS WATER THAN NECESSARY TO SUSTAIN PLANT VIABILITY, THE CONTRACTOR SHALL CONTACT THE MAINTENANCE PERSONNEL HANDLING THIS LANDSCAPED AREA IMMEDIATELY, AND ASK FOR THE VALVE(S) TO BE ADJUSTED ACCORDINGLY.
4. THE RUN TIMES WILL BE CHANGED ACCORDING TO THE MONTH OF THE YEAR. IT WILL BE THE RESPONSIBILITY OF THE PRIVATE OWNER & LANDSCAPE CONTRACTOR TO ADJUST THE RUN-TIMES AS PER THE SCHEDULE, AND SHALL BE RESPONSIBLE OF DETERMINING THE NUMBER OF DAYS BETWEEN CYCLES BASED UPON SOIL CONDITIONS ON SITE.
5. THE CONTRACTOR SHALL NOT ALLOW ANY WATER TO RUN-OFF OR COLLECT ABOVE GRADE DURING AN IRRIGATION CYCLE. THE CONTRACTOR SHALL PROGRAM THE NECESSARY REPEAT CYCLES TO ELIMINATE ANY RUN-OFF OR POOLING OF WATER.
6. ALL IRRIGATION SHALL BE DONE DURING THE HOURS OF 5:00 PM TO 9:00 AM PER THE LOCAL WATER DISTRICT AND/OR THE CITY RULES AND REGULATIONS.
7. THE IRRIGATION SYSTEM WILL UTILIZE POTABLE WATER FOR IRRIGATION AND ALL RULES AND REGULATIONS SET BY THE WATER DISTRICT AND/OR THE CITY FOR IRRIGATION WATER USE SHALL APPLY TO THE WATER MANAGEMENT.

GENERAL NOTES

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, DRAWINGS, AND/OR CODE, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
5. THE MAINLINE AND SLEEVING IS DIAGRAMMATIC. ALL PIPING IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN LIMIT OF WORK BOUNDARIES. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
6. IRRIGATION EQUIPMENT AS SHOWN IS DIAGRAMMATIC. INSTALL ALL THE IRRIGATION REMOTE CONTROL VALVES, QUICK COUPLERS, MASTER VALVES, FLOW SENSORS, BACKFLOWS, AIR/VACUUM DEVICES, BALL VALVES, AND ANCILLARY EQUIPMENT IN SHRUB PLANTING AREAS WHEN FEASIBLE OR AS APPROVED BY OWNER'S REPRESENTATIVE AND THE LANDSCAPE IRRIGATION DESIGNER.
7. DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD REVISIONS DEEMED NECESSARY BY THE OWNER.
8. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY, AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION. ACTUAL LOCATION FOR THE INSTALLATION OF ANCILLARY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, THE BACKFLOW PREVENTER, PUMP STATION (IF APPLICABLE) AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. CONTRACTOR IS TO PROVIDE THREE (3) ADDITIONAL PILOT WIRES AND ONE (1) COMMON WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER. THE ADDITIONAL WIRE SHALL BE EXTENDED 10', MAKING A COIL TO FIT INSIDE A RECTANGULAR PULL BOX. LABEL THE LID OF THE PULL BOX 'SW'.
10. ALL PIPE UNDER PAVED AREAS, HARDSCAPE, OR AS DIRECTED BY OWNERS REPRESENTATIVE TO BE INSTALLED IN SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. ALL 4" AND SMALLER SLEEVING SHALL BE PVC1220 SCH. 40, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-1785-4. ALL 6" AND LARGER SLEEVING SHALL BE PVC1220 CLASS 200 SDR21. TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-2241. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF PAVING.
11. ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE OR AS NOTED ON PLANS.
12. THE IRRIGATION CONTRACTOR SHALL ADJUST THE PRESSURE REGULATOR ON EACH ELECTRIC CONTROL VALVE SO THAT THE SPRINKLER HEAD FARTHEST AND HIGHEST IN ELEVATION FROM ITS RESPECTIVE CONTROL VALVE OPERATES WITHIN THE OPERATING PRESSURE SHOWN ON THE IRRIGATION LEGEND. NOT TO EXCEED FIVE (5) PSI ABOVE THE GIVEN OPERATING PRESSURE FROM THE SPECIFIED PRESSURE LOCATED ON THE IRRIGATION LEGEND.
13. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE BY DIRECT FIELD MEASUREMENT PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ANY REVISIONS.
14. SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE AND CAST IRON PIPE. FLOW THROUGH ANCILLARY EQUIPMENT, STEEL AND COPPER PIPE SHALL NOT EXCEED A VELOCITY OF 7.5 FPS. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
15. ELECTRICAL POWER SOURCE FOR THE IRRIGATION CONTROLLER AND/OR BOOSTER PUMP (IF APPLICABLE) SHALL BE PROVIDED UNDER THE ELECTRICAL SECTION OF THE SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER AND/OR BOOSTER PUMP.
16. LANDSCAPE CONTRACTOR SHALL PROVIDE CLIENT WITH "AS BUILT" IRRIGATION ZONE PLAN CONTAINING ALL IRRIGATION ZONES, VALVE BOXES, MAIN LINES, HOSE BIBS, CONTROLLER, AND MASTER ASSEMBLY.
17. THE IRRIGATION DESIGNER OR LANDSCAPE DESIGNER OR LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE UNDER ANY CIRCUMSTANCES FOR THE QUALITY OR TIMELINESS OF PERFORMANCE OF THE WORK INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF THE BACKFLOW PREVENTION ASSEMBLY MAINLINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS AND SENSORS (if applicable). THE RESPONSIBILITY FOR SAME SHALL REST WITH THE CONTRACTOR PERFORMING THE WORK.

OWNERS RESPONSIBILITY

18. THE OWNER IS RESPONSIBLE FOR THE SCHEDULING OF THE IRRIGATION SYSTEM TO MEET HORTICULTURAL REQUIREMENTS AND TO INSURE THAT EXCESSIVE SOIL SATURATION AND/OR SOIL EROSION DOES NOT OCCUR.
19. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION SYSTEM.
20. IT IS THE OWNER'S RESPONSIBILITY TO INSPECT THE IRRIGATION SYSTEM PERIODICALLY TO INSURE THAT THE SYSTEM IS OPERATING EFFICIENTLY AND THAT ALL NECESSARY REPAIRS ARE MADE TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC.

ETWU (ESTIMATED WATER USAGE)

Hydrozone # / Valve # / Planting Description	Plant Factor (PF)	Irrigation Methods	Irrigation Efficiency (IE)c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)e
8383 La Jolla Scenic Drive N							
HZ #4 - 1 - MED TREES	0.5	drip	0.81	0.62	48	30	852
HZ #2 - 2 - LOW TREES	0.2	drip	0.81	0.25	54	13	384
HZ #1 - 3 - LOW SHRUBS	0.2	drip	0.81	0.25	835	206	5,931
HZ #1 - 4 - LOW SHRUBS	0.2	drip	0.81	0.25	571	141	4,056
HZ #1 - 5 - LOW SHRUBS	0.2	drip	0.81	0.25	324	80	2,301
HZ #1 - 6 - LOW SHRUBS	0.2	drip	0.81	0.25	378	93	2,685
HZ #1 - 7 - LOW SHRUBS	0.2	drip	0.81	0.25	856	211	6,080
HZ #4 - 8 - MED TREES	0.5	drip	0.81	0.62	36	22	639
HZ #1 - 9 - LOW SHRUBS	0.2	drip	0.81	0.25	401	99	2,848
HZ #1 - 10 - LOW SHRUBS	0.2	drip	0.81	0.25	116	29	824
HZ #1 - 11 - LOW SHRUBS	0.2	drip	0.81	0.25	530	131	3,765
HZ #3 - 12 - MED SHRUBS	0.5	drip	0.81	0.62	281	173	4,990
HZ #1 - 13 - LOW SHRUBS	0.2	drip	0.81	0.25	360	89	2,557
HZ #1 - 14 - LOW SHRUBS	0.2	drip	0.81	0.25	249	61	1,769
HZ #5 - 15 - LOW/MED GRASS	0.4	drip	0.75	0.53	1386	739	21,265
HZ #5 - 16 - LOW/MED GRASS	0.4	drip	0.75	0.53	1386	739	21,265
SPECIAL LANDSCAPE AREAS				Totals	7811	2,858	82,213
POOL/SPA	1	drip	1	1.00	447	447	12,859
			OVERALL	Totals	16069	6,163	177,285
						ETWU	177,285
						MAWA	254250.1456

MAWA (MAXIMUM ALLOWED WATER ALLOWANCE)

Plant Factor (PF)	Reference Evapotranspiration (ETo)	Irrigation Efficiency (IE)c	Estimated Total Water Use (ETWU)	Maximum Annual Water Allowance (MAWA) - gallons per year
low=0-0.3	Torrey Pines (ref)	spray=0.75	ETWU = (ETo)(0.62) x Σ(ETAFxArea)	MAWA = (ETo)(0.62) x (ETAFxLA) + [(1-ETAF)x(SLA)]
mod=0.4-0.6	46.4	drip=0.81		LA=Landscape Area
high=0.7-1.0				SLA=Special Landscape Area (veg gardens)
				ETAF=0.45 for non-residential, 0.55 for residential
				254250.1456

HYDROZONES

ENTIRE PROJECT CAN BE BROKEN INTO FIVE DISTINCT HYDROZONES. (BASED ON WUCOLS DATA, SUN EXPOSURE, PLANT TYPE, IRRIGATION TYPE)

1. ZONE #1 - LOW WATER-USE SHRUBS UTILIZING BELOW-GRADE DRIP IRRIGATION.
2. ZONE #2 - LOW WATER-USE TREES UTILIZING STREAM BUBBLER HEAD IRRIGATION.
3. ZONE #3 - MEDIUM WATER-USE SHRUBS UTILIZING BELOW-GRADE DRIP IRRIGATION.
4. ZONE #4 - MEDIUM WATER-USE TREES UTILIZING STREAM BUBBLER HEAD IRRIGATION.
5. ZONE #5 - LOW/MEDIUM WATER-USE TURF GRASS UTILIZING HIGH-EFFICIENCY SPRAY HEADS

I HAVE COMPLIED WITH THE REQUIREMENTS OF THE CALIFORNIA STATE MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

SIGNATURE [signature]   DATE 10.30.2024

MINIMUM DESIGN CRITERIA

WATER SUBMETER SIZE = 1.25"

MINIMUM SYSTEM DESIGN CRITERIA IS BASED ON 75 P.S.I. USING 22 G.P.M.

CONTRACTOR SHALL VERIFY ALL POC SIZE, PRESSURE AND FLOW BEFORE INSTALLATION. IF INFORMATION CONFLICTS, NOTIFY THE OWNER FOR INFORMATION FAILURE TO DO SO MAY RESULT IN CONTRACTOR BEING RESPONSIBLE FOR ANY CHANGES REQUIRED AS A RESULT.

2024 DEMARIA LANDTECH, INC.

G LA.
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LICENSED LANDSCAPE ARCHITECT, BRENDAN BEFFRY, Lic. No. 6215, 2-28-25, 10-30-24, STATE OF CALIFORNIA

NOT FOR CONSTRUCTION

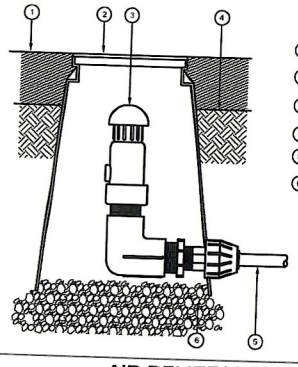
SHEET TITLE: IRRIGATION NOTES & CALCS

PROJECT: MAUSER RESIDENCE
8383 LA JOLLA SCENIC DR. N
LA JOLLA, CA 92037

REVISIONS

PREPARED BY	B.B.
ORIG. DATE	10-30-2024
SCALE	1" = 10'-0"

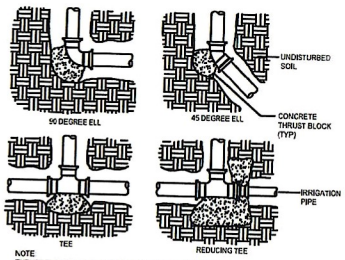
L3.1



1. TOP OF MULCH
2. SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB-6X
3. RAINBIRD AIR RELIEF VALVE KIT
4. FINISH GRADE
5. LANDSCAPE DRIPLINE TUBING
6. 3/4" WASHED GRAVEL

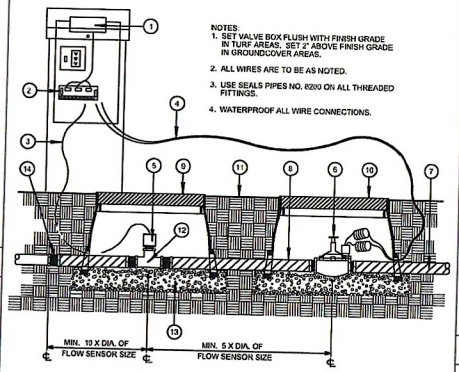
NOTE
AIR RELIEF VALVE TO BE INSTALLED AT HIGHEST POINT OF EACH DRIP VALVE ZONE.

AIR RELIEF VALVE DETAIL — SCALE N.T.S. — 10



NOTE
THRUST BLOCKS TO BE A MINIMUM OF 1 CUBIC FEET CONCRETE.
REFER TO MANUFACTURER RECOMMENDATIONS FOR CONFIGURATIONS NOT SHOWN.
PRIOR TO THRUST BLOCKING, WRAP FITTINGS USING AWWA C200 APPROVED TAPE.

THRUST BLOCKS DETAIL — SCALE N.T.S. — 7

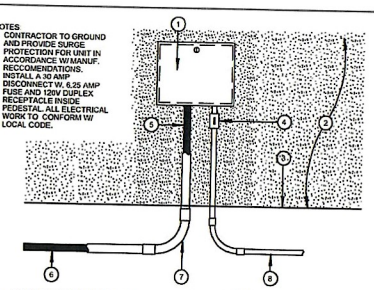


NOTES:
1. SET VALVE BOX FLUSH WITH FINISH GRADE IN TURF AREAS. SET 2" ABOVE FINISH GRADE IN GROUNDCOVER AREAS.
2. ALL WIRES ARE TO BE AS NOTED.
3. USE SEALS PIPES NO. #200 ON ALL THREADED FITTINGS.
4. WATERPROOF ALL WIRE CONNECTIONS.

1. AUTOMATIC CONTROLLER (BEYOND)
2. MASTER VALVE RELAY AND FLOW SENSOR 'LARK' BOX INSIDE CONTROLLER ENCLOSURE.
3. PAIGE ELECTRICAL P7209-D CABLE SHOWN DIAGRAMATICALLY. TO BE LOCATED IN 1" P.V.C. CONDUIT.
4. (2) NO. 14 WIRES SHOWN DIAGRAMATICALLY. TO BE LOCATED IN 1" P.V.C. CONDUIT.
5. FLOW SENSOR SIZED PER PLAN
6. MASTER CONTROL VALVE (NORMALLY SET IN THE OPEN POSITION)
7. PRESSURE SUPPLY LINE (DISCHARGE)
8. PRESSURE SUPPLY LINE TO BE SAME DIAMETER AS FLOW SENSOR
9. 12" X 18" PLASTIC BOX AND COVER W/ LOCK TOP MARKED: F.S. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE.
10. 12" X 18" PLASTIC BOX AND COVER W/ LOCK TOP MARKED: M.C.V.
11. FINISH GRADE
12. PVC TEE
13. 3/4" PEA GRAVEL (MIN. 6" DEPTH)
14. COUPLING

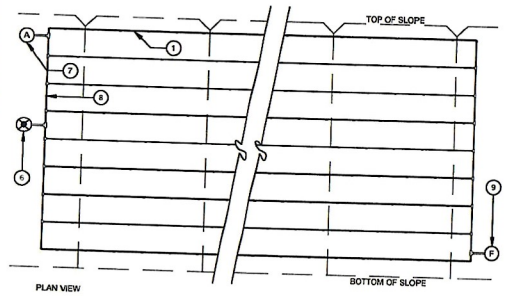
MASTER VALVE & FLOW SENSOR — SCALE N.T.S. — 5

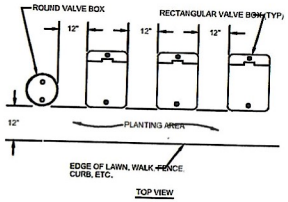
NOTES
1. CONTRACTOR TO GROUND AND PROVIDE SURGE PROTECTION FOR UNIT IN ACCORDANCE W/MANUF. RECCOMENDATIONS. INSTALL A 30 AMP DISCONNECT W. 6.25 AMP FUSE AND 120V DUPLEX RECEPTACLE INSIDE PEDESTAL. ALL ELECTRICAL WORK TO CONFORM W/ LOCAL CODE.



1. AUTOMATIC CONTROLLER UNIT W/ ENCLOSURE ATTACHED TO WALL PER MANUFACTURER'S RECCOMENDATION
2. WALL SURFACE
3. FINISH SURFACE
4. ON/OFF SWITCH TO BE PROVIDED BY CONTRACTOR (IF BREAKER IS NOT LOCATED NEAR CONTROLLER)
5. ALL WIRES TO BE SECURELY TIED INSIDE ENCLOSURE.
6. 1 COMMON WIRE TO ALL R.C.V.'S 1 CONTROL WIRE TO EACH R.C.V.
7. 3" PVC SWEEP ELBOW - CONTROL WIRES.
8. 1" ELECTRICAL CONDUIT TO SOURCE (INDEPENDENT SERVICE PROVIDED UNDER ELECTRICAL DRAWINGS.)

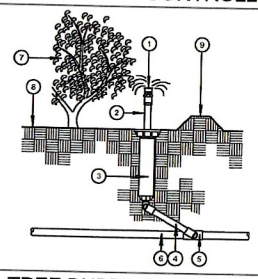
CONTROLLER DETAIL — SCALE N.T.S. — 1





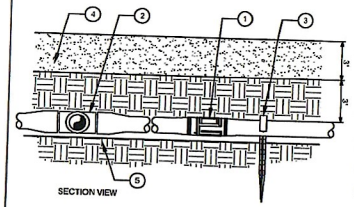
NOTES
1. CENTER BOXES OVER VALVES.
2. SET BOXES IN GROUND COVER/SHRUB AREA WHERE POSSIBLE.
3. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.
4. AVOID HEAVILY COMPACTING SOIL AROUND BOXES TO PREVENT DAMAGING VALVE BOXES.

VALVE SPACING, TYP. — SCALE N.T.S. — 8



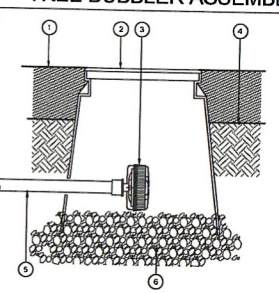
1. RAIN BIRD FULL CIRCLE BUBBLER, SEE SPRINKLER HEAD LEGEND
2. PLASTIC ADAPTER: RAINBIRD MODEL PA-80
3. POP-UP SPRAY SPRINKLER RAINBIRD 1806
4. RAINBIRD TRIPLE SWING JOINT ASSEMBLY
5. PVC SCH 80 TEE OR ELL
6. PVC LATERAL LINE
7. PLANT MATERIAL
8. FINISH GRADE
9. WATERING BASIN

TREE BUBBLER ASSEMBLY DETAIL — SCALE N.T.S. — 2



1. RAINBIRD INLINE EMITTER TUBING WITH ZERI-BUG EMITTER. SEE LEGEND
2. RAINBIRD COMPRESSION FITTING
3. RAINBIRD TIE DOWN STAKE. MODEL NO. LD16-STK. LOCATE 60" ON CENTER.
4. ROCK MULCH
5. NATURAL SUBGRADE
6. AUTOMATIC REMOTE CONTROL VALVE. SEE DETAIL 3 THIS SHEET
7. AIR RELIEF VALVE. SEE DETAILL 10 THIS SHEET.
8. PVC HEADER OR MANIFOLD
9. LANDSCAPE DRIPLINE FLUSH POINT. SEE DETAIL 12 THIS SHEET.

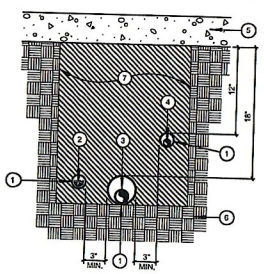
DRIP LINE LAYOUT DETAIL — SCALE N.T.S. — 11



1. TOP OF MULCH
2. ROUND PLASTIC VALVE BOX WITH COVER 6" DIAMETER
3. NETAFIM AUTOMATIC FLUSH VALVE. MODEL # TLFV-1
4. FINISH GRADE
5. LANDSCAPE DRIPLINE TUBING
6. 3/4" WASHED GRAVEL

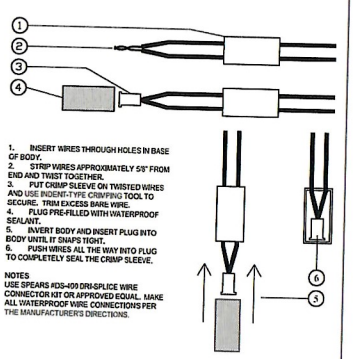
FLUSH VALVE DETAIL — SCALE N.T.S. — 3

SIZE	DESCRIPTION	SLEEVE SIZE
3/4"-1 1/4"	PRESSURE SUPPLY LINE	2" SCHEDULE 40 PVC
1 1/2"-2"	PRESSURE SUPPLY LINE	3" SCHEDULE 40 PVC
2 1/2"-3"	PRESSURE SUPPLY LINE	4" SCHEDULE 40 PVC
1/2"-1"	NON-PRESSURE LINE	2" SCHEDULE 40 PVC
1 1/4"-2"	NON-PRESSURE LINE	3" SCHEDULE 40 PVC
2 1/2"-3"	NON-PRESSURE LINE	4" SCHEDULE 40 PVC
1-30	CONTROL WIRES	2" SCH 40 PVC.



1. SLEEVING. SEE SPECIFICATIONS
2. CONTROL WIRES
3. PRESSURE SUPPLY LINE
4. NON-PRESSURE SUPPLY LINE
5. CONCRETE/A.C. PAVING
6. COMPACTED SUBGRADE
7. CLEAN COMPACTED BACKFILL SEE SPECIFICATIONS.

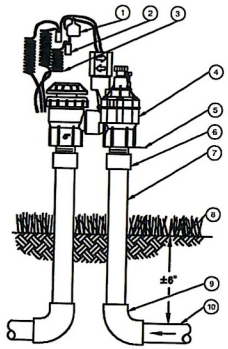
TRENCHING DETAIL — SCALE N.T.S. — 12



1. INSERT WIRES THROUGH HOLES IN BASE OF BODY.
2. STRIP WIRES APPROXIMATELY 5/8" FROM END AND TWIST TOGETHER.
3. PUT CRIMP SLEEVE ON TWISTED WIRES AND USE INDENT-TYPE CRIMPING TOOL TO SECURE. TRIM EXCESS BARE WIRE.
4. PLUG PRE-FILLED WITH WATERPROOF SEALANT.
5. INVERT BODY AND INSERT PLUG INTO BODY UNTIL IT SNAPS TIGHT.
6. PUSH WIRES ALL THE WAY INTO PLUG TO COMPLETELY SEAL THE CRIMP SLEEVE.

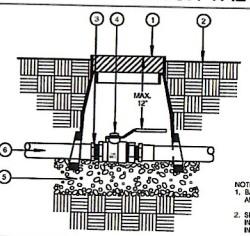
NOTES
USE SPEARS #DS-499 DRIS/PLICE WIRE CONNECTOR KIT OR APPROVED EQUAL. MAKE ALL WATERPROOF WIRE CONNECTIONS PER THE MANUFACTURER'S DIRECTIONS.

WIRE CONNECTION DETAIL — SCALE N.T.S. — 9



1. ID TAG: RAIN BIRD VID SERIES
2. WATERPROOF CONNECTION: RAIN BIRD SPLICE-1 (1 OF 2)
3. 30-INCH LINEAR LENGTH OF WIRE, COILED
4. RAIN BIRD ASVF VALVE SEE PLAN FOR SIZING
5. INSTALL 6-INCH MIN. ABOVE HIGHEST POINT OF DISCHARGE
6. UV RADIATION RESISTANT PVC SCH 40 MALE ADAPTER (1 OF 2)
7. UV RADIATION RESISTANT PVC SCH 40 PIPE (1 OF 2)
8. FINISH GRADE/TOP OF MULCH
9. PVC SCH 40 ELL (1 OF 2)
10. PVC LATERAL PIPE (1 OF 2)

ANTI-SIPHON R.C. VALVE DETAIL — SCALE N.T.S. — 6



1. ROUND PLASTIC BOX W/ STEEL HINGED LOCKABLE COVER, TOP MARKED B.V.
2. FINISH GRADE
3. PVC MALE ADAPTOR
4. BALL VALVE
5. 3/4" PEA GRAVEL (MIN. 6" DEPTH)
6. PVC SUPPLY LINE

NOTES:
1. BALL VALVE SHALL BE INSTALLED IN SHRUB AREAS UNLESS OTHERWISE APPROVED.
2. SET VALVE BOX FLUSH WITH FINISH GRADE IN TURF AREAS. SET 2" ABOVE FINISH GRADE IN GROUNDCOVER AREAS.

ISOLATION VALVE DETAIL — SCALE N.T.S. — 4

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LICENSED LANDSCAPE ARCHITECT — BRADLEY BEHRENS — Lic. No. 6715 — STATE OF CALIFORNIA

NOT FOR CONSTRUCTION

SHEET TITLE: IRRIGATION DETAILS

PROJECT: MAUSER RESIDENCE
8383 LA JOLLA SCENIC DR. N
LA JOLLA, CA 92037

REVISIONS

PREPARED BY:	B.B.
ORIG. DATE	10-30-2024
SCALE	1" = 10' - 0"

L3.2