

REVISED Mira Mesa Community Planning Group Draft Agenda & Public Notice

Date/Time: Thursday, January 23, 2025, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Action/Information: All items noted as (Action) items may be moved/seconded as a Question for discussion and vote. All items not so noted will be information items.

Order of Consideration: Items on this agenda may be discussed in an order different than shown here for the convenience of elected officials, representatives of government agencies or other participants.

Call to Order/Confirm quorum:

1. Modifications to the Agenda
2. Adopt Previous Meeting Minutes (Action).
 - a. Minutes of November 18, 2024 meeting
3. Non-Agenda Public Comments: 3 Minutes per speaker.
4. Planning Group Member Comments
5. Reports
 - a. Report of the Chair
 - b. Community Planners Committee
 - c. Los Peñasquitos Canyon Preserve Citizens Advisory Committee
6. Old Business
 - a. None
7. New Business
 - a. Coastal Commission Modification to Mira Mesa Community Plan (Informational)
 - b. Appointment of Election Committee (Action)
 - c. Measure B Cost of Service Study Results (Informational)
 - d. Wireless Facility – 7598 1/3 Calle Cristobal (Action)
 - e. Mira Mesa Mall Street Vacation – (Action)
8. Elected Officials/Government Agencies
 - a. United States Congress – California 51st District for Sara Jacobs
 - b. California Senate – District 40 Marc Schaefer for Brian Jones
 - c. California Assembly – District 78 Michael Bravo for Chris Ward
 - d. San Diego County – Board of Supervisors District 3 Becca Smith for Terra Lawson-Remer
 - e. San Diego – Mayor’s Office Michaela Valk for Todd Gloria
 - f. San Diego – City Council District 6 Ana Serrano for Kent Lee
 - g. MCAS Miramar
9. Adjourn

Mira Mesa Community Planning Group Draft Meeting Minutes

Date/Time: Monday, November 18, 2024, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Attendees (17 Members): Bo Gibbons, Andrew Miklusicak, Lillith Nover, Chris Cate, ~~Ria Otero~~, Joe Frichtel, Bari Vaz, Sean Tompkins, Dorothy Lorenz, ~~Keith Flitner~~, Julia Schriber, Tiffany English, ~~David Mandelbaum~~, Mike Linton, Phillip Linssen, Jacob Ricketts, Tracee Denby.

(2 Open Seats) – One landowner and one business seat

Call to Order/Confirm quorum: 7:03p, Quorum 14 of 19 (*Minimum of 8 required for Quorum*)

1. Modifications to the Agenda
 - a. New property owner seat – defer to January
2. Adopt Previous Meeting Minutes (Action) - Approved
 - a. Minutes of October 21, 2024, meeting
 - b. 12 approved, 2 abstain, 0 opposed
3. Non-Agenda Public Comments: 3 Minutes per speaker.
 - a. Jeffery Stevens | Stone Creek implementation – may want to review and recommend it again
4. Planning Group Member Comments
 - a. Joe Frichtel – Lazy Dog restaurant, what is the status
 - Lazy Dog Restaurant – what is the status
 - RSVP – Need more volunteers
 - Parking agreement review
 - Mission Bay Southshore survey that is still going on. On city website, participate
5. Reports
 - a. Report of the Chair
 - Meeting dates for 2025 will be sent out before the holidays
 - No December meeting: January meeting is the next meeting
 - Measure B updates will be in January meeting
 - Extension of cannabis facility has been granted
 - b. Community Planners Committee – Bo Gibbons
 - Vote about virtual and/or hybrid meetings; trying to encourage more engagement
 - c. Los Peñasquitos Canyon Preserve Citizens Advisory Committee
 - Canceled November meeting due to holidays
 - Will have January meeting
 - Alternate - Jacob Ricketts
6. Old Business
 - a. Appointment of Property Owner Seat (Action) – Approved
 - Deferred to January
7. New Business
 - a. PRJ-1116638 – 9486 Babauta Road (Action) – Approved (14-0-0)
 - See presentation provided
 - b. Easement Vacation – 4930 Directors Place (Action) – Approved (14-0-0)

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- c. Appointment of Alternate Representative for Los Peñasquitos Canyon Preserve Citizens Advisory Committee (Action) – Approved (14-0-0)
 - Jacob Ricketts is approved to be alternate
 - d. Pedestrian crossing between Mira Mesa High School and Mira Mesa Senior Center (Action) – Approved (14-0-0)
 - Need crosswalk for safety; MMCPG is requesting that the City Transportation department due a study and research/cost out options for pedestrian crosswalk. Intersection at Camino Ruiz and Mira Mesa Blvd.
 - Public comment – Jane Glassen, noted hazard between pedestrians and vehicle traffic
 - MMCPG comments - Would like the MMCPG to City to start the process to review and provide a safe solution for the community
8. Elected Officials/Government Agencies
- a. United States Congress – California 51st District for Sara Jacobs – No representative
 - b. California Senate – District 40 Marc Schaefer for Brian Jones – No representative
 - c. California Assembly – District 78 Michael Bravo for Chris Ward – No representative
 - d. San Diego County – Board of Supervisors District 3 Becca Smith for Terra Lawson-Remer – No representative
 - e. San Diego – Mayor’s Office Michaela Valk for Todd Gloria – No representative | Updates emailed from Michaela Valk on November 18, 2024, at 9:24pm
 - **Mill and Pave Road Repair**
 - In a couple of meetings, I've shared with residents and board members about the new type of in-house road treatment that the Transportation Department completes. Some may have saw the news coverage from a few weeks ago with the Mayor and Councilmember Lee on Aqua Mansa which had a failed score of 6.3 and one of the worst roads in San Diego.
 - I'm also highlighting recent permanent repairs at 7600 Carroll Road from Miramar Road to Kenamar Drive have been completed by our in-house mill and pave teams. This .70 lane-mile area had PCIs as low as 31.0.
- Photos of our completed work are below: Before & After Photos





- Mira Mesa Park Updates
 - **Mira Mesa Community Park Phase II Improvements:**
 - Construction Progress Update: Rough grading, compaction, and storm drain work on the Senior Center parking lot are underway; site utilities work, and DSD inspections are ongoing, along with coordination with SDG&E, AT&T, and the Public Art Element.
 - **Salk Neighborhood Park Joint Use Development:**
 - Construction is approximately 79% complete, with ongoing work to include biological surveying of noise levels and continuing work on the Maddox Park: upper CMU retaining walls, Parking Lot: subbase for pavers. Oval Park: irrigation main. Comfort Station: structural steel, third CMU lift.
 - *Several challenges are delaying the construction at Salk Park, and the site has been inactive since Oct. 17. Our team is currently working to resolve these challenges.*
 - *The contractor's procurement of the shade structure has been legally challenged by a third party due to alleged copyright violations that need to be cleared.*
 - *The contractor is seeking to substitute a non-performing subcontractor.*
 - *A design change related to surface drainage at Oval Field is being worked on.*
 - *Permit approvals. Because this is a Division of the State Architect (DSA)-permitted, joint-use project, all designs need DSA approval. Our team was waiting for the DSA to approve a wall at Maddox Park, and they recently received approval. Work on the wall is expected to resume soon.*
 - The plant establishment period/park opening is scheduled for late spring 2025.
 - **Wangenheim Neighborhood Park Joint Use Facility:**
 - Sports Fields: substantially completed on July 2nd. Comfort Station: Substantially completed on September 4th. Walker Neighborhood Park: construction continues at the site and will be completed in early 2025. All shade fabric sails are installed. Ongoing work to include walker park irrigation and hydroseeding for grass.
 - the Plant Establishment Period/Walker Park Opening scheduled in late spring of 2025.
- f. San Diego – City Council District 6 Ana Serrano for Kent Lee

PARKS

Mira Mesa Community Park Phase II Improvements

- Construction Progress Update: Rough grading, compaction, and storm drain work on the Senior Center parking lot are underway; site utilities work, and DSD inspections are ongoing, along with coordination with SDG&E, AT&T, and the Public Art Element. For more details, please see the project's [website](#) for a report covering work completed from September 20 to October 20.
- [Salk Neighborhood Park Joint Use Development](#)

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- Site had been inactive since October 17th, reasons:
 - The contractor's procurement of the shade structure has been legally challenged by a third party due to alleged copyright violations that need to be cleared.
 - The contractor is seeking to substitute a non-performing subcontractor.
 - A design change related to surface drainage at Oval Field is being worked on.
 - Permit approvals. Because this is a Division of the State Architect (DSA)-permitted, joint-use project, all designs need DSA approval. Our team was waiting for the DSA to approve a wall at Maddox Park, and they recently received approval. Work on the wall is expected to resume soon.
- **Ongoing work:** biological surveying of noise levels, CMU retaining walls, parking lot paving and the subbase for fire lane pavers on Maddox Park, irrigation on the Oval Park, and the comfort station.
- **Expected Project Completion:** Plant Establishment Period/Park Opening still scheduled for late spring of 2025.

Wangenheim Neighborhood Park Joint Use Facility

- **Ongoing work** at Walker Neighborhood Park with an estimated substantial completion in early 2025.
- All shade fabric sails are installed. Ongoing work to include walker park irrigation and hydroseeding for grass.
- **Expected Project Completion:** Plant Establishment Period/Park Opening scheduled for late spring of 2025.

Hourglass

- According to the Parks and Recreation Department, their recent annual playground inspection determined that some equipment is old and needs repair. They're currently in the process of replacing the broken playground equipment.

EVENTS

Turkey Giveaway

- Thanksgiving Turkey Distribution on Saturday, November 23, 2024.
- **Already full** but link has other Turkey distributions in San Diego
- District 6 residents and families in need are invited to pre-register for a no-cost Thanksgiving turkey (12-14 lbs.)!
- Sign up at bit.ly/D6Turkeys. Confirmed registrants will receive pick-up instructions by email.

Trees for Troops

- Trees for Troops on Saturday, December 7, 2024, from 10 a.m. - 12 p.m.
- District 6 service members and veterans are invited to receive a complimentary holiday tree (5-6 ft. Douglas fir)!

OTHER

Statewide Daylighting Law

- What it does: Prohibits vehicle parking within 20 feet of any marked or unmarked crosswalk to improve the range of vision of approaching drivers, so they are more likely to see pedestrians, skateboarders, and others in the intersection.

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- The California state legislature passed this law (AB413) in September 2023, and it will be enforceable beginning Jan. 1, 2025.
- **For the first 60 days after Jan. 1, 2025, San Diego Police will issue warning notices to vehicles parked in violation of the new law, and ticketing will commence after the warning period concludes.**
- Work has already begun at intersections in the City with high pedestrian and vehicular traffic, in the form of red curb paint and signage prohibiting parking. However, as a practical matter, not all City curbs will be able to be marked.

Get It Done Research Panel

- All residents of the City of San Diego are eligible to participate
- Have a direct impact on improving Get It Done and, if selected, get a \$50 USD gift card
- Requirements:
 - a. Fill in an interest form
 - i. [Get It Done Research Panel Interest Form \(English\)](#)
 - ii. [Get It Done Research Panel Interest Form \(Spanish\)](#)
 - b. Must be available for an hour-long (in-person or virtual) interview between December 9th, 2024 and December 20th, 2024
 - c. Engage with future inquiries about your experience using Get It Done
- If you have any questions or need further assistance, contact syfang@sandiego.gov

g. MCAS Miramar – No representative

9. Adjourn 7:51pm; Next Meeting January 2025 – Final date to be provided

EXISTING



PROPOSED



VICINITY MAP



LOOKING NORTHWEST AT SUBJECT SITE

Site ID:
SD07290A

Facility Type:
LIGHT POLE

Description of Proposed Work:
Add New Equipment On Existing Light Pole

Site Address:
7594 Calle Cristobal
San Diego, CA 92126

PHOTO SIMULATION BY:



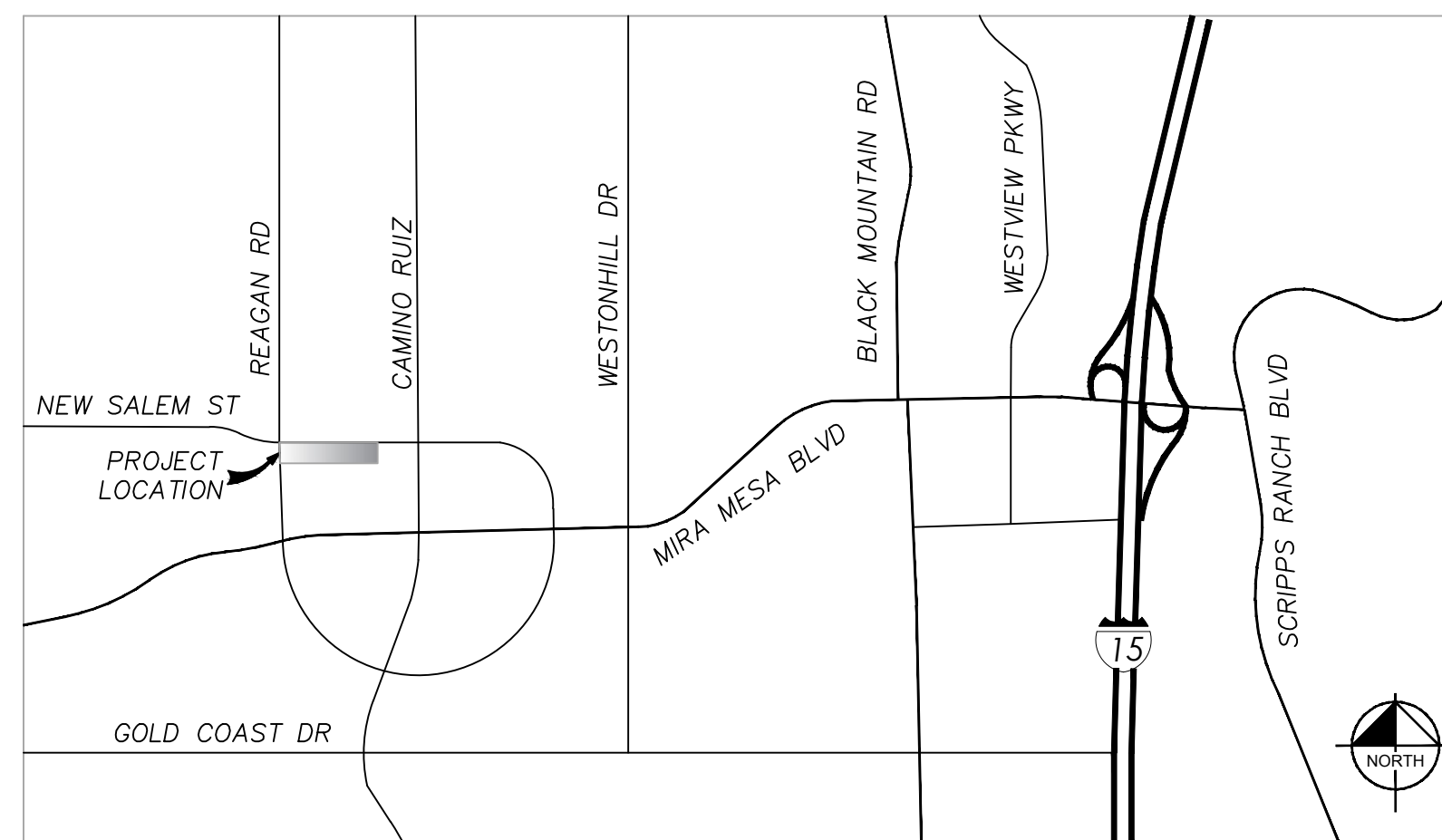
PRECEPT
WIRELESS CONSULTANTS

619.379.3473

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
- CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
- PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO'S RIGHT-OF-WAY FIELD INSPECTION TEAM (FIT), (619) 446-5242, FIT_DSD@SANDIEGO.GOV AT 8525 GIBBS DR. SUITE 200-201 SAN DIEGO, CA 92123
- CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
- CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
- MANHOLES, VAULTS AND PULL BOX COVERS SHALL BE LABELED WITH THE "NAME OF COMPANY" AND HAVE A SLIP RESISTANT LID WITH A MINIMUM STATIC COEFFICIENT OF FRICTION OF 0.5.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
- CONTRACTOR SHALL INSTALL CITY APPROVED TEMPORARY VIDEO OR RADAR DETECTION WHEN EXISTING TRAFFIC SIGNAL DETECTION SYSTEMS ARE DAMAGED, DISABLED, OR BECOME INEFFECTIVE DUE TO CONSTRUCTION ACTIVITIES FOR A PERIOD OF GIVE (5) OR MORE DAYS, SATISFACTORY TO THE CITY ENGINEER. THE CONTRACTOR SHALL COMPLETELY REMOVE ALL TEMPORARY TRAFFIC SIGNAL DETECTION EQUIPMENT AND RESTORE/INSTALL A CITY APPROVED PERMANENT VEHICLE DETECTION SYSTEM UPON COMPLETION OF CONSTRUCTION, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
- UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

GRADING AND PUBLIC IMPROVEMENT PLANS FOR: BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION



VICINITY MAP

NO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED:

SUPPLEMENTAL GEOTECHNICAL CONSULTING, GRADING AND GEOTECHNICAL SPECIFICATION
BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION, 8110-8140 MIRA MESA BOULEVARD
PREPARED BY EEI ENGINEERING SOLUTIONS
DATED NOVEMBER 25, 2024, PROJECT NO. BRI-72519.7

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(S) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

(SIGNATURE) _____
ENGINEER'S NAME _____ P.E. OR G.E. _____ DATE _____

(SIGNATURE) _____
GEOLOGIST'S NAME _____ P.G. OR C.E.G. _____ DATE _____

COMPANY NAME* _____
ADDRESS _____
TELEPHONE NUMBER _____

OWNER/APPLICANT

THOMAS RUBIO
CALIFORNIA PROPERTY OWNER I, LLC
1525 FARADAY AVE, SUITE 350
CARLSBAD, CA 92008
(858) 202-1131

REFERENCE DRAWINGS

PARCEL MAP.....P.M. NO. 19151
CITY OF SAN DIEGO DWG.....14948-D
CITY OF SAN DIEGO DWG.....16119-D
CITY OF SAN DIEGO DWG.....40079-D
CITY OF SAN DIEGO DWG.....40580-D
CITY OF SAN DIEGO DWG.....31888-D
EASEMENT DRAWING.....INSTRUMENT NO. 74-295586
EASEMENT DRAWING.....INSTRUMENT NO. 2002-102734
EASEMENT DRAWING.....INSTRUMENT NO. 77-321687
SEWER AND WATER EASEMENT VACATION DRAWING.....101844-B

SITE ADDRESS

8210 MIRA MESA BOULEVARD
SAN DIEGO, CA 92126

TOPOGRAPHY SOURCE

PHOTO GEODETIC CORPORATION
1161 EAST MAIN ST., SUITE 102, EL CAJON, CA 92021
PHOTOGRAMMETRY
06/26/2023

BENCHMARK

CITY OF SAN DIEGO N.E. STANDARD BRASS PLUG ON THE NORTH EAST CORNER OF MIRA MESA BLVD AND CAMINO RUIZ INTERSECTION. ELEV 430.039 M.S.L.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP NO. 19151, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 4, 2003, AS FILE NO. 03-0126920, OF OFFICIAL RECORDS.

PARCEL 2 OF PARCEL MAP NO. 19151, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 4, 2003, AS FILE NO. 03-0126920, OF OFFICIAL RECORDS.

ASSESSORS PARCEL NUMBER

APN: 311-320-66, 311-320-67, 311-320-68

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 2017.50. TRAVERSE MEASUREMENTS TO POINTS "A" AND "B" ARE SHOWN HEREON. THE CCS83 COORDINATES OF POINTS "A" AND "B" ARE ESTABLISHED FROM G.P.S. STATION 105 AND G.P.S. STATION 00SD PER CALIFORNIA SPATIAL REFERENCE SYSTEM (CSRS) PUBLISHED BY SCRIPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC). THE BEARING FROM POINT "A" TO POINT "B" IS N88°46'14"E. QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM. THE COMBINED GRID FACTOR AT POINT "A" IS 0.9999806. GRID DISTANCE = GROUND DISTANCE X COMBINED GRID. ELEVATION AT POINT "A" IS 423.44' MSL.

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DISCIPLINE CODE (DC)

GENERAL G
CIVIL C
LANDSCAPE L
TRAFFIC T

WORK TO BE DONE

THE PUBLIC IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
ECPI010122-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2021 EDITION
ECPI010122-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2021 EDITION
PWPI010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION
ECPD032324-07	CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES REVISION 8 (CA MUTCD REV 8) 2014 EDITION
ECPD092023-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2023 EDITION

STANDARD DRAWINGS:

DOCUMENT NO.	DESCRIPTION
ECPI010122-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2021 EDITION
ECPD092023-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2023 EDITION

GRADING QUANTITIES

GRADED AREA:	0.011	ACRES
DISTURBED AREA:	0.506	ACRES
CUT QUANTITIES:	0.15	CUBIC YARDS
FILL QUANTITIES:	1.50	CUBIC YARDS
CUT DEPTH/SLOPE RATIO:	0.48	FEET / 2:1
FILL DEPTH/SLOPE RATIO:	0.13	FEET / 2:1
IMPORT:	1.35	CUBIC YARDS

NOTE: THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS NOT AUTHORIZED TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. NO REPRESENTATIONS OF SUCH QUANTITIES OR A BALANCED SITE CONDITION ARE MADE BY THE ENGINEER OF RECORD.

UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE ABOVE QUANTITIES ARE APPROXIMATE, IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S) AS FINISHED GROUND, FINISHED SURFACE, AND FINISHED FLOOR ELEVATIONS.

UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE ABOVE GRADING QUANTITIES HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION AND RE-COMPACTON, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, STORMWATER QUALITY MEDIA SECTIONS, UTILITY PIPES, TRENCHING AND BEDDING MATERIALS, BUILDING OR WALL FOOTINGS, BUILDING SLAB THICKNESSES AND UNDERLYING BASE OR SAND LAYERS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC.

ANY OVEREXCAVATION AND RECOMPACTON DEPTHS AND VOLUMES, SHRINKAGE FACTORS, PAVEMENT SECTIONS, BUILDING PAD SECTIONS, AND BULKING FACTORS ARE BASED ON A SEPARATE GEOTECHNICAL REPORT. ANY BUILDING SLAB THICKNESSES ARE BASED ON THE SEPARATE BUILDING STRUCTURAL ENGINEERING PLANS. ANY UTILITY, STORMWATER MITIGATION, AND FOOTING SPOILS ARE BASED ON ESTIMATES PROVIDED BY THE OWNER OR CONTRACTOR.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

Kyle Krangel

KYLE KRAGEL R.C.E. NO. 94072 EXP. 12-31-2024

1/6/2025
DATE



Kimley»Horn

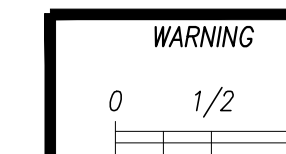
401 B Street - Suite 600
San Diego, Ca. - 92101-4218
Tel: (619) 234-9411

CONSTRUCTION CHANGE

CHANGE	BY	AFFECTED OR ADDED SHEET NUMBERS	APPROVED	DATE	PMT NO.	PRJ NO.

The City of
SAN DIEGO
FOR CITY APPROVAL

PRIVATE CONTRACT



IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

RETAINING WALL PROJECT NO: N/A ENGINEERING PERMIT NO: N/A
DISCRETIONARY PERMIT NO: PRJ-1120521

TITLE SHEET FOR:

BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
PARCEL 1 AND 2 OF PM 19151

DEVELOPMENT SERVICES DEPARTMENT
SHEET 01 OF 09 SHEETS

PMT NO. 3291551

APPROVED:

FOR CITY ENGINEER _____ DATE _____

PRJ NO. 1116504

DESCRIPTION	BY	APPROVED	DATE
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ORIGINAL	KH		
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1912-6283

NAD83 COORDINATES

272-1723

LAMBERT COORDINATES

AS BUILTS

DRAWING NO.

CONTRACTOR _____ DATE STARTED _____

101541-1 -D

INSPECTOR _____ DATE COMPLETED _____

G01

CONSTRUCTION BMP GENERAL NOTES

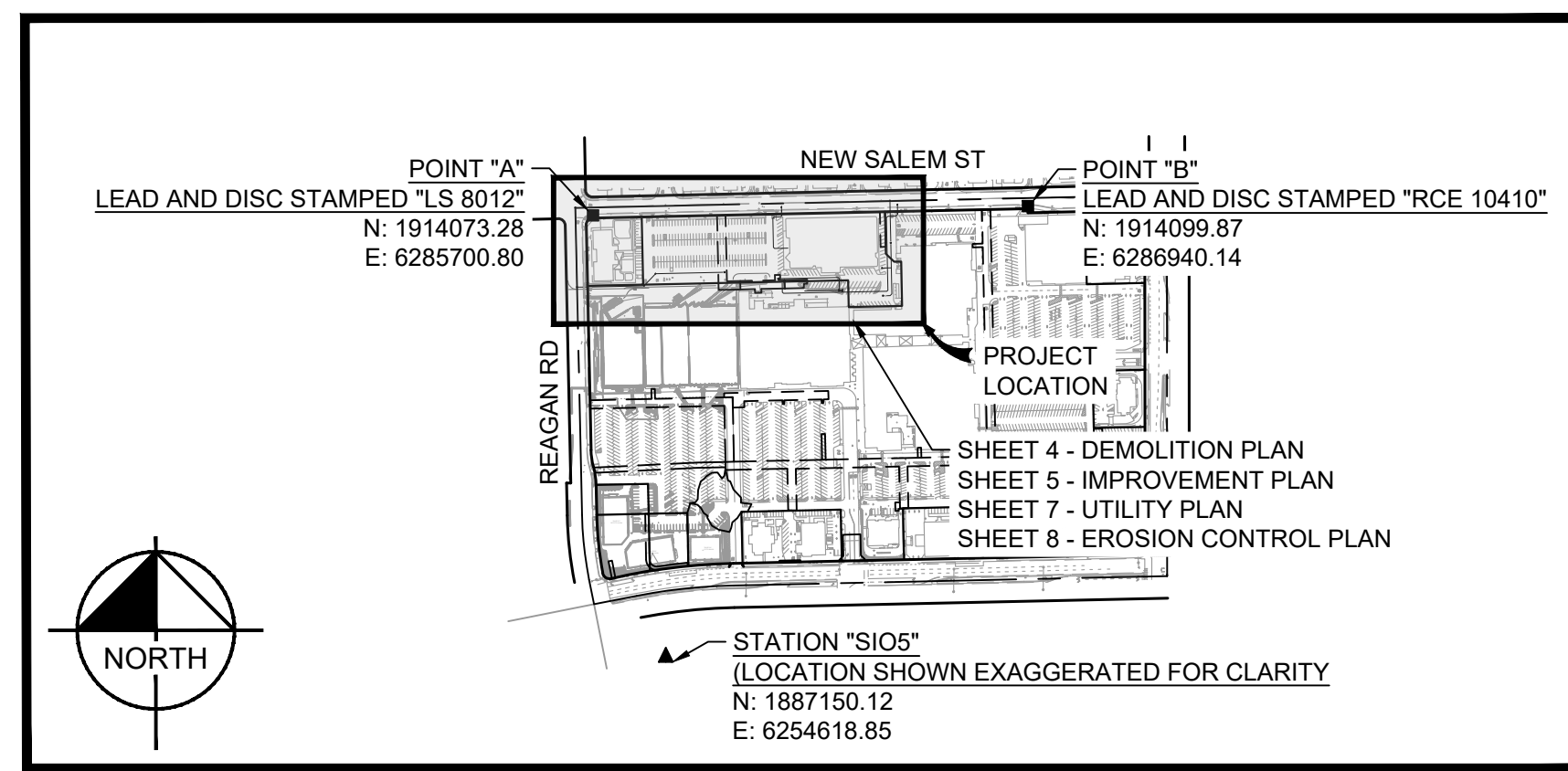
PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
- NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

TRAFFIC CONTROL NOTE

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-446-5150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

KEY MAP



NOT TO SCALE
Kimley»Horn
 401 B Street - Suite 600
 San Diego, Ca. - 92101-428
 Tel: (619) 234-9411
 KYLE KRAGEL R.C.E. NO. 94072 EXP. 12-31-2024
 12/19/2024 DATE



MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILLED.
- STRUCTURAL PRACTICES:** DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING:** POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

STREET SEGMENT	STREET NAME	STREET CLASSIFICATION (ARTERIAL, MAJOR, COLLECTOR, RESIDENTIAL)	UTILITY TYPE (WET OR DRY)	LATERAL OR MAIN	LAST STREET OVERLAY DATE	INFLUENCE AREA WIDTH (FT) PER SDMC 62.1208-10	TRENCH WIDTH (FT)	TRENCH LENGTH (FT)	STREET MORATORIUM (Y/N)
SS-019811	NEW SALEM ST	RESIDENTIAL	WET	LATERAL	7/8/1998	6.17	5	23	N
SS-019811	NEW SALEM ST	RESIDENTIAL	WET	LATERAL	7/8/1998	6.17	5	33	N
SS-019813	NEW SALEM ST	RESIDENTIAL	WET	LATERAL	7/8/1998	6.17	5	23	N
SS-022791	REAGAN RD	RESIDENTIAL	DRY	LATERAL	6/14/2001	3.83	1	70	N
SS-022791	REAGAN RD	RESIDENTIAL	WET	MAIN	6/14/2001	6.17	5	257	N
SS-019812	NEW SALEM ST	RESIDENTIAL	WET	LATERAL	7/8/1998	6.17	5	23	N
SS-022791	REAGAN RD	RESIDENTIAL	DRY	LATERAL	6/14/2001	3.83	1	54	N

LOT NO.	IE AT MAIN	DROP TO MAIN (RISE)	LENGTH IN FEET	IE AT P.L.	SLOPE (%)	FINISHED SURFACE (F.S.)	DEPTH BELOW F.S. AT P.L.	STA #	SURVEY LOCATION OF CLEANOUT	REMARKS
2	416.89'	0.10'	30'	417.59'	2.00%	424.83'	6.57'	61.58.22		
2	423.89'	0.10'	31'	424.17'	0.57%	432.34'	7.50'	10+14.58		

CURB RAMP NOTE

THE REQUIRED DETECTABLE WARNING (TRUNCATED DOMES) ON CURB RAMPS ARE TO COMPLY WITH THE CITY STANDARDS (SDG-130) AND SPECIFICATIONS. A 12" X 12" (MIN.) SAMPLE OF THE DETECTABLE WARNING, THE PRODUCTS' TEST REPORT AND A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTION MUST BE SUBMITTED TO THE DESIGNATED CITY RESIDENT ENGINEER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THE STANDARDS, SPECIFICATIONS AND SAMPLE SUBMITTAL REVIEW PROCESS WILL RESULT IN THE REMOVAL OR REPLACEMENT OF THE DETECTABLE WARNING AND/OR CURB RAMP(S) AT CONTRACTOR AND/OR OWNER'S EXPENSE.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET C05 FOR MIX AND SPECIFICATIONS.

APPROVAL TYPE	DESCRIPTION	APPROVAL NO.	DOCUMENT NO.	SEE SHEET NUMBER(S)
EMRA	DRIVEWAY, WATER LATERALS, SEWER LATERALS	3718		5

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)
REAGAN RD	LOCAL RESIDENTIAL	32	8,687	60
NEW SALEM ST	LOCAL RESIDENTIAL	33	5,707	60

1. LOCATE WATER SERVICE (METER BOX) AND SEWER HOUSE CONNECTION (SEWER CLEANOUT) OUT OF DRIVEWAYS AND WALKWAYS (UNLESS OTHERWISE APPROVED BY THE R.E.). SEWER HOUSE CONNECTIONS SHALL BE LOCATED NO LESS THAN 5 FEET AWAY FROM DRIVEWAYS. THE SEWER LATERAL AND THE WATER SERVICE LINE SHALL BE SEPARATED BY 1 FOOT (WITH THE WATER SERVICE AT THE HIGHER ELEVATION). THE SEWER LATERAL AND THE WATER SERVICE LINE SHALL BE INSTALLED IN A RELATIVE LOCATION SO THAT THE SEWER LATERAL IS IN THE DOWNSTREAM DIRECTION OF THE STREET. IF THE ABOVE CRITERIA CANNOT BE MET, THE SEWER LATERAL AND THE WATER SERVICE LINE SHALL BE SEPARATED BY 10 FEET.

2. ALL CONNECTIONS TO EXISTING WATER MAINS ARE TO BE PERFORMED BY THE PUBLIC UTILITIES DEPARTMENT. IF THE CONNECTIONS ARE NOT READY TO BE MADE AND FEES PAID BEFORE ---, THE CITY RESERVES THE RIGHT TO ADJUST THE FEES ACCORDING TO THE FEE SCHEDULE IN EFFECT AT THE TIME THE CONNECTIONS ARE MADE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXPOSE THE EXISTING MAIN AT THE CONNECTION POINT AND TO INSTALL THE NEW MAIN AT THE ALIGNMENT AND GRADE WHICH WILL PERMIT THE CITY TO MAKE A "STRAIGHT IN" CONNECTION WITHOUT USING MORE THAN 10 LINEAR FEET OF PIPE.

	COST	TYPE OF CONNECTION	SHEET
ITEM #1		REMOVE 8"x12" TEE AND 8" GV	C01
ITEM #2	\$318.00	8" WET TAP ONLY	C04
ITEM #3	\$254.00	2" WET TAP ONLY	C04
ITEM #4		TRIAL SHUTDOWN	N/A

CONTRACTOR TO SET SADDLE/TAPPING SLEEVE AND CORPORATION STOP/TAPPING VALVE FOR ALL WET TAPS. APPROVAL BY THE SHUTDOWN COMMITTEE IS REQUIRED FOR ALL MAJOR PIPELINES 16" AND LARGER. SHUTDOWN WINDOW PERIOD IS BETWEEN NOVEMBER 1ST TILL APRIL 1ST OF THE FOLLOWING YEAR, WHEN WATER DEMAND IS LOWER.

ONCE THIS ROW PERMIT IS ISSUED, IT IS THE RESPONSIBILITY OF THE CUSTOMER TO CONTACT THE DSD WATER & SEWER DEVELOPMENT REVIEWER TO REQUEST A SALES ORDER FOR THE PROPOSED WATER CONNECTION ITEMS (WET TAP, KILL SERVICE INSPECTION, ETC.) PROPOSED ON THESE PLANS. CITY FORCES WILL NOT PERFORM THE WATER CONNECTION(S) WITHOUT A PAID SALES ORDER.

3. ALL BURIED DUCTILE IRON PIPE AND FITTINGS SHALL BE COATED AND HOLIDAY FREE AS SPECIFIED IN THE WHITEBOOK. IF USING WAX TAPE, OVERLAP EXISTING METALLIC PIPING BY 12 INCHES ON EACH SIDE. IF ANY BURIED PIPE MATERIALS ARE CHANGED FROM NON-METALLIC TO METALLIC DURING THE CONSTRUCTION PHASE, THIS CHANGE MUST BE SUBMITTED FOR REVIEW AND APPROVAL OF THE CITY'S CORROSION ENGINEER.

4. ALL HORIZONTAL SEPARATION DIMENSIONS SHOWN BETWEEN WATER AND SEWER MAINS SHALL BE MEASURED FROM THE NEAREST EDGE OF EACH PIPELINE PER STATE OF CALIFORNIA, DEPARTMENT OF PUBLIC HEALTH, BASIC SEPARATION STANDARDS. MINIMUM SEPARATION BETWEEN WATER AND SEWER MAINS SHALL BE 10 FEET HORIZONTAL AND 1 FOOT VERTICAL.

5. NO SHRUBS MORE THAN 3 FEET IN HEIGHT AT MATURITY OR TREES SHALL BE ALLOWED WITHIN 10 FEET OF ANY SEWER MAIN OR LATERAL AND 5 FEET OF ANY WATER MAIN OR WATER SERVICE. NO TREES OR ANY KIND OF LANDSCAPING SHALL BE INSTALLED WITHIN WATER/SEWER ACCESS EASEMENT.

6. ALL PROPOSED WATER AND SEWER SHOWN ON THE PLANS SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE CITY OF SAN DIEGO WATER AND SEWER DESIGN GUIDES.

7. SHOP DRAWING SUBMITTALS: PRIOR TO FABRICATION, SHOP DRAWINGS SHALL BE PREPARED AND APPROVED BY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL CERTIFY THAT THE SHOP DRAWINGS MEET THE INTENT OF THE SIGNED DESIGN PLANS AND SPECIFICATIONS. THE APPROVED SHOP DRAWINGS SHALL THEN BE SUBMITTED TO THE RESIDENT ENGINEER FOR A SIX WEEK REVIEW PERIOD. ONCE THE SHOP DRAWINGS HAVE BEEN ACCEPTED BY THE RESIDENT ENGINEER, THE MATERIALS MAY BE MANUFACTURED AT THE PLANT. REQUESTS FOR PLANT INSPECTION MUST BE MADE A MINIMUM OF TWO (TWO) WORKING DAYS PRIOR TO MANUFACTURING IF THE PLANT IS IN THE SOUTHERN CALIFORNIA AREA. ALL PLANTS LOCATED OUTSIDE OF SOUTHERN CALIFORNIA MUST SCHEDULE INSPECTION A MINIMUM OF 7 (SEVEN) WORKING DAYS PRIOR TO MANUFACTURING. REFER TO 2018 EDITION OF THE GREENBOOK AND WHITEBOOK, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 4-3, "INSPECTION".

8. ALL PROPOSED PUBLIC SEWER FACILITY INSTALLATION SHALL BE CONSTRUCTED WITH MATERIALS CURRENTLY LISTED IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER AND MUNICIPAL SEWER APPROVED MATERIALS LIST AS REFERENCED IN THE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION.

9. FOR ALL SEWER PLANS: THE CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, CODES, ORDERS, AND REGULATIONS WHICH IN ANY MANNER AFFECT THE CONDUCT OF WORK, SPECIFICALLY AS IT RELATES TO SEWAGE SPILLS. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PREVENTING SEWAGE SPILLS, FOR CONTAINING SEWAGE SPILLS, AND FOR RECOVERY AND LEGAL DISPOSAL OF ANY SPILLED SEWAGE AND FOR ANY FINES, PENALTIES, CLAIMS AND LIABILITY ARISING FROM CAUSING A SEWAGE SPILL, AND FOR ANY VIOLATION OF ANY LAW, ORDINANCE, CODE, ORDER OR REGULATION BECAUSE OF THE SPILL(S).

10. FOR WORK INVOLVING LIVE SEWER FACILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING AND SUBMITTING A SEWAGE BYPASS AND PUMPING PLAN THAT WILL ENSURE THE CITY'S POLICY OF "ZERO SPILLS". THE PLAN SHALL INCLUDE A SPILL PREVENTION AND EMERGENCY RESPONSE PLAN INDICATING THE PROCEDURES, EQUIPMENT, AND ACTIVITIES THAT WILL BE IMPLEMENTED IN THE EVENT OF AN EMERGENCY SHUTDOWN OR FAILURE OF THE FLOW DIVERSION EQUIPMENT. REFER TO 2018 EDITION OF THE GREENBOOK AND WHITEBOOK, STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION, SECTION 3-12.5 SANITARY SEWERS.

11. PRIVATE SEWAGE SYSTEM DESIGN CERTIFICATION: I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THE PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PRIVATE WATER AND SEWAGE SYSTEM WHICH IS LOCATED WITHIN THE PUBLIC RIGHT OF WAY, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AS REQUIRED "ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT" FORMS, EXHIBITS AND NOTARY HAVE BEEN SUBMITTED FOR RECORDATION. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, MY RESPONSIBILITIES FOR PROJECT DESIGN.

	PRIVATE CONTRACT WARNING 0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.	GENERAL NOTES FOR: BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION PARCEL 1 AND 2 OF PM 19151	
	DEVELOPMENT SERVICES DEPARTMENT SHEET 02 OF 09 SHEETS	PMT NO. 3291551 PRJ NO. 1116504 1912-6283 NAD83 COORDINATES 272-1723 LAMBERT COORDINATES DRAWING NO.	G02
FOR CITY APPROVAL	APPROVED: FOR CITY ENGINEER _____ DATE _____ DESCRIPTION BY APPROVED DATE ORIGINAL KH _____ AS BUILTS CONTRACTOR _____ DATE STARTED _____ INSPECTOR _____ DATE COMPLETED _____	101541-2 -D	

LEGEND

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
8" PVC PRIVATE SEWER LATERAL W/CLEANOUT.....	SDM-105, SDS-103, SDS-105, SDS-110(C)	
8" PVC SANITARY SEWER MAIN.....	SDM-105, SDS-101, SDS-110(C)	
SEWER MANHOLE.....	SDS-107, SDS-108, SDS-120, M-3	
SEWER CLEANOUT.....	SC-101	
8" PVC FIRE SERVICE.....	SDM-105, SDW-105, SDW-118, SDW-152, SDW-153	
2" COPPER WATER SERVICE W/ 1.5" METER.....	SDM-105, SDW-107, SDW-135, SDW-136, SDW-149, WS-03	
DCDA BACKFLOW PREVENTER.....	SDW-105, SDW-155	
TRENCH RESURFACING.....	SDG-107, SDG-117	
GRIND OVERLAY.....	SDG-106	
DRIVEWAY.....	SDG-159, SDG-163	
CURB AND GUTTER.....	SDG-151, SDG-156	
SIDEWALK.....	SDG-155, SDG-156	

EXISTING IMPROVEMENTS

ITEM	SYMBOL
RIGHT-OF-WAY/PROPERTY LINE.....	
DRIVEWAY.....	
CURB RAMP.....	
FIRE HYDRANT.....	
CONTOUR.....	
WATER LINE.....	
SANITARY SEWER LINE.....	
STREETLIGHT.....	
TREE.....	
MONUMENT (LEAD AND DISCS).....	
MONUMENT (PIPES).....	

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS WITHIN THE AREAS OF DEMOLITION (INCLUDING MATTRESSES, BOATS, TIRES, ETC.)
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT BUILDINGS AND PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON PROVIDED AS-BUILTS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF DISCREPANCIES EXIST.
- CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- EROSION AND SEDIMENT CONTROL BMP'S SHALL BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- PROTECT ALL VAULTS AND UTILITY LINES AND APPURTENANCES IN PAVEMENT UNLESS OTHERWISE NOTED.
- STRUCTURES TO BE REMOVED SHALL BE BACKFILLED AND COMPACTED ACCORDING TO SPECIFICATIONS.
- SIGNS AND TRAFFIC RELATED DEVICES TO REMAIN OR TO BE RELOCATED WITHIN THE WORK SITE, SHALL BE PROTECTED.
- STATUS AND EXACT LOCATION COULD NOT BE DETERMINED FOR ALL UTILITIES IN AREA. CONTRACTORS SHALL EXERCISE CARE IN FIELD LOCATING AND DETERMINING STATUS OF ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOR RESOLUTION PRIOR TO COMMENCING WORK.
- WHERE ELECTRICAL OR COMMUNICATION DEMOLITION IS NEEDED, ENSURE ALL CONDUCTORS OR WIRING IN THE AFFECTED CONDUIT OR DUCTBANK ARE REMOVED COMPLETELY.
- CONTRACTOR TO VERIFY LOCATION AND FL OF EXISTING ROOF DRAINS. IF NECESSARY CONTRACTOR TO REROUTE AND REPLACE ROOF DRAINS IN KIND TO OUTLET AT CURB.
- ALL DISPOSAL PERMITS AND REGULATIONS REQUIREMENTS SHALL BE ACQUIRED.
- CONTRACTOR SHALL OBTAIN TRAFFIC CONTROL PERMIT WHEN DEMOLITION WITHIN THE PUBLIC RIGHT OF WAY

MONUMENT PRESERVATION CERTIFICATION

THE PERMITEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO DEMOLITION/CONSTRUCTION.

THE TYPE OF CONSTRUCTION WILL NOT AFFECT ANY SURVEY MONUMENTS (THIS LINE IS FOR PROJECTS THAT ARE PROPOSING NO DEMOLITION, TRENCHING, ASSOCIATED WITH A CIP, ETC)

NAME _____ DATE _____

PRIOR TO PERMIT ISSUANCE, THE PERMITEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, IF APPLICABLE. (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)

I HAVE INSPECTED THE SITE AND DETERMINED THAT:

- NO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK
- SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE
- SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED (NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
- OTHER AGENCY SURVEY MONUMENT (CORNER RECORD OR RECORD OF SURVEY MAY NOT BE REQUIRED). AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY
- A PRE-CONSTRUCTION CORNER RECORD (OR RECORD OF SURVEY) FOR SURVEY MONUMENTS FOUND WITHIN THE LIMITS OF WORK HAS BEEN FILED.

CORNER RECORD # _____ OR RECORD OF SURVEY # _____

NAME _____ P.L.S. / R.C.E. NO. XXXX EXP. XX-XX-XX DATE _____

POST CONSTRUCTION CORNER RECORD (AS-BUILT ITEM)

- POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION AND REPLACED AFTER CONSTRUCTION.

CORNER RECORD # _____ OR RECORD OF SURVEY # _____

NAME _____ P.L.S. / R.C.E. NO. XXXX EXP. XX-XX-XX DATE _____

GROUND WATER DISCHARGE NOTES

1. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES CAG919003.

2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.

3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES NO. CAG919003.

CONSTRUCTION STORM WATER PROTECTION NOTES

1. TOTAL SITE DISTURBANCE AREA (ACRES) 0.26
WATERSHED: PENASQUITOS
HYDRAULIC SUB AREA NAME AND NUMBER: MIRAMAR RESERVOIR 906.10

2. THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
 WPCP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS..

SWPPP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ

TRADITIONAL: RISK LEVEL 1 2 3
LUP RISK LEVEL 1 2 3
WDID NO: N/A

3. CONSTRUCTION SITE PRIORITY
 ASBS HIGH MEDIUM LOW

DESIGN ENGINEER'S NOTES

- THE TERM "DESIGN ENGINEER" USED HEREIN SHALL MEAN THE ENGINEER WHO HAS SIGNED AND SEALED HIS/HER RESPECTIVE PLAN SHEETS AND IS IN RESPONSIBLE CHARGE OF THE ENGINEERING DESIGN ON THOSE SHEETS. THE TERM "CONTRACTOR" USED HEREIN SHALL MEAN ANY GENERAL CONTRACTOR OR SUBCONTRACTOR USING THESE PLANS.
- THE DESIGN ENGINEER SHALL NOT PROVIDE, OBSERVE, COMMENT ON NOR ENFORCE ANY SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, IMPLEMENT, AND MAINTAIN ALL SAFETY MEASURES AND SHALL BE SOLELY RESPONSIBLE FOR ALL REQUIRED SAFETY MEASURES, PROCEDURES AND PROGRAMS AND COMPLYING WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CONTRACTOR AGREES THAT SHE/HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, TECHNIQUES, EQUIPMENT CHOICE AND USAGE, SEQUENCE, SCHEDULE, SAFETY PROGRAMS, OR SAFETY PRACTICES, NOR SHALL THE DESIGN ENGINEER HAVE ANY AUTHORITY OR RESPONSIBILITY TO DIRECT OR STOP THE WORK OF ANY CONTRACTOR.
- ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE OWNER, IS THE SOLE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
- THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST IN WRITING FROM THE DESIGN ENGINEER AND THE OWNER, AN INTERPRETATION BEFORE PERFORMING ANY RELATED OR IMPACTED WORK. ANY ELECTRONIC FILES ARE PROVIDED ONLY FOR THE CONVENIENCE OF THE RECEIVING PARTY AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED. IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS MAY BE RELIED UPON.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID, IN WHOLE AND IN PART, BASED UPON THE DESIGN SHOWN ON THESE PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUITABILITY OF ANY INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.
- ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
- THE EXISTENCE, LOCATION, TYPE, CONDITION AND SIZE OF UNDERGROUND UTILITIES, FACILITIES OR STRUCTURES ("FACILITIES") SHOWN ON THESE PLANS WAS OBTAINED FROM A SEARCH OF READILY AVAILABLE RECORDS, OR AS PROVIDED BY OTHERS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. THE CONTRACTOR SHALL CONFIRM SAID INFORMATION BY FIELD MEASUREMENTS, OBSERVATIONS AND WHATEVER MEANS NECESSARY, PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL IMMEDIATELY INFORM THE DESIGN ENGINEER IN WRITING IF ANY DISCREPANCIES OR CONFLICTING INFORMATION IS FOUND. THE CONTRACTOR SHALL PROTECT THE FACILITIES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS, AS NEEDED. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES AS NEEDED, SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO THE ACTUAL LOCATION, SIZE, TYPE, OR CONDITION OF EXISTING FACILITIES DIFFERING FROM WHAT IS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL SUCH FACILITIES WHETHER NOTED ON THESE PLANS OR NOT. THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE OWNER AND/OR AUTHORITY HAVING JURISDICTION AS NEEDED.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK ADJACENT TO, ABOVE OR BELOW THEIR FACILITIES AND SHALL COORDINATE ALL WORK WITH UTILITY COMPANY REPRESENTATIVES.
- THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT THE PROJECT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM CONTRACTOR OPERATIONS, BY APPROPRIATE MEANS, OR BY SPECIFIC MEANS DESCRIBED IN THE PROJECT'S PLANS, SPECIFICATIONS OR STORM WATER POLLUTION PREVENTION REPORT, UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHOMEVER IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND THE AGENCY HAVING JURISDICTION. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY TO DIRECT THE CONTRACTOR REGARDING THE MEANS AND METHODS OF STORMWATER POLLUTION PREVENTION, SEQUENCE, OR SCHEDULE.
- ALL SHOP DRAWINGS, RFIS AND ANY OTHER DOCUMENTS THAT REQUIRE DESIGN ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, TO ALLOW ADEQUATE REVIEW, COORDINATION AND RESPONSE. SAID DOCUMENTS ARE NOT A DIRECTION FROM THE DESIGN ENGINEER TO MODIFY THE CONTRACTORS SCOPE, SCHEDULE OR PRICE, AND THE CONTRACTOR WARRANTS NOT TO USE THEM AS SUCH.
- THE CONTRACTOR SHALL ENSURE APPROPRIATE LICENSED PROFESSIONALS HAVE BEEN RETAINED BY THE CONTRACTOR TO PROVIDE ANY/ALL REQUIRED PROJECT CERTIFICATIONS AS MAY BE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION. THE DESIGN ENGINEER WILL NOT PROVIDE ANY PROJECT CERTIFICATIONS UNLESS SPECIFICALLY RETAINED BY THE OWNER TO PROVIDE LIMITED SERVICES.
- CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO DOCUMENT ALL CHANGES TO THE APPROVED CONSTRUCTION DOCUMENTS DURING CONSTRUCTION. THE LICENSED SURVEYOR SHALL PREPARE A SIGNED AND SEALED "AS-BUILT" DRAWING UPON COMPLETION OF CONSTRUCTION. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE PREPARATION IN WHOLE OR IN PART OF THE "AS-BUILT" DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND BENCHMARKS WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE MOST CURRENT VERSION OF THE LAND SURVEYORS ACT.

PRIVATE CONTRACT

WARNING



IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

GENERAL NOTES FOR:

BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
PARCEL 1 AND 2 OF PM 19151



DEVELOPMENT SERVICES DEPARTMENT
SHEET 03 OF 09 SHEETS

PMT No. 3291551

FOR CITY APPROVAL

APPROVED:

FOR CITY ENGINEER _____ DATE _____

PRJ NO. 1116504

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	KH		

1912-6283
NAD83 COORDINATES

272-1723
LAMBERT COORDINATES

AS BUILTS

DRAWING NO.

CONTRACTOR _____ DATE STARTED _____

101541-3 -D

INSPECTOR _____ DATE COMPLETED _____

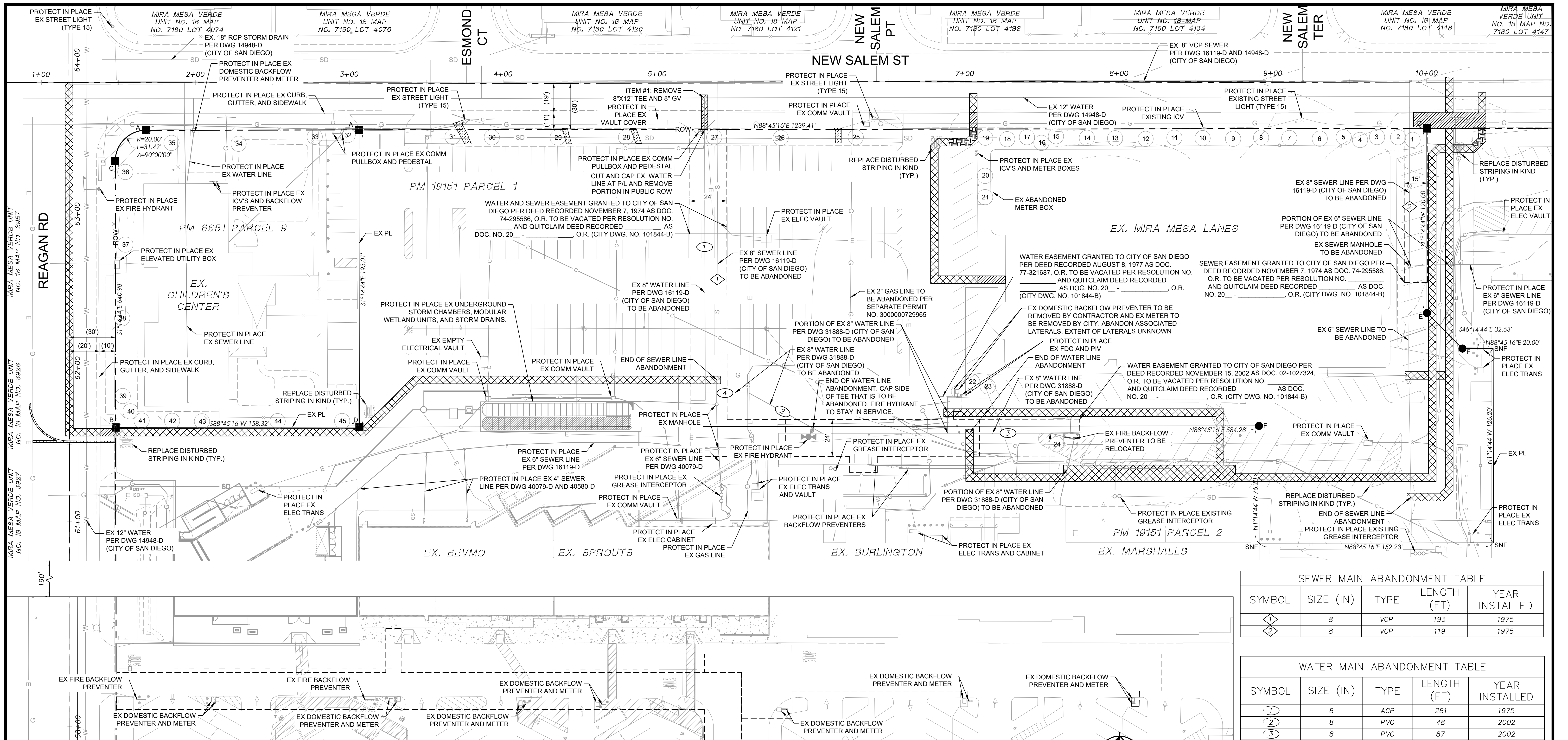
G03

Kimley»Horn
401 B Street - Suite 600
San Diego, Ca - 92101-4218
Tel: (619) 234-9411

KYLE KRAGEL R.C.E. NO. 94072 EXP. 12-31-2024

12/19/2024
DATE





SEWER MAIN ABANDONMENT TABLE

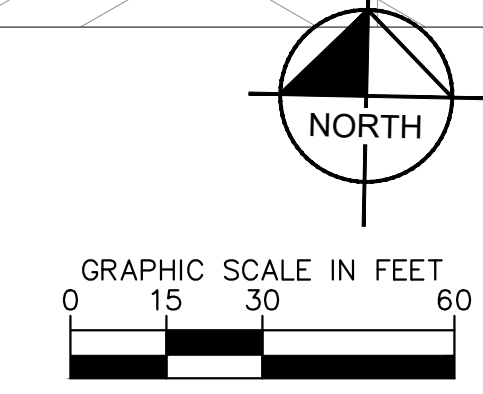
SYMBOL	SIZE (IN)	TYPE	LENGTH (FT)	YEAR INSTALLED
1	8	VCP	193	1975
2	8	VCP	119	1975

WATER MAIN ABANDONMENT TABLE

SYMBOL	SIZE (IN)	TYPE	LENGTH (FT)	YEAR INSTALLED
1	8	ACP	281	1975
2	8	PVC	48	2002
3	8	PVC	87	2002
4	8	PVC	28	2002

- SURVEY MONUMENT LEGEND AND NOTES**
- A FD LEAD AND DISC STAMPED "LS 8012" PER CR 47763. PROTECT IN PLACE.
 - B FD LEAD AND DISC STAMPED "LS 8012" PER CR 47763. TO BE DESTROYED AND REPLACED.
 - C FD LEAD AND HOLE. CR 47763 INDICATES DISC STAMPED "RCE 10410". PROTECT IN PLACE.
 - D FD LEAD AND HOLE. P. 19151 INDICATES DISC STAMPED "LS 7443". PROTECT IN PLACE.
 - E FD 3/4" PIPE WITH PLASTIC CAP. ILLEGIBLE. PM 19151 INDICATES CAP STAMPED "LS 7443". TO BE DESTROYED AND REPLACED
 - F FD 3/4" PIPE WITH PLASTIC CAP. ILLEGIBLE. PM 19151 INDICATES CAP STAMPED "LS 7443". PROTECT IN PLACE.
- SNF SEARCHED FOR, NOTHING FOUND.

- LEGEND**
- EXISTING AC PAVEMENT TO BE REMOVED AND REPLACED IN KIND. SEE SHEET C02. SEE CITY OF SAN DIEGO STD. DWG. SDG-107 AND SDG-117.
 - EXISTING CONCRETE PAVEMENT TO BE REMOVED AND REPLACED IN KIND. SEE SHEET C02. SEE CITY OF SAN DIEGO STD. DWG. SDG-151, SDG-155, SDG-156, SDG-159, AND SDG-163.
 - EXISTING CONCRETE PAVEMENT TO BE DEMOLISHED AND REPLACED WITH LANDSCAPING. LANDSCAPING TO BE REPLACED IN KIND TO MATCH EXISTING ADJACENT LANDSCAPING.
 - EXISTING LANDSCAPING TO BE REMOVED AND REPLACED IN KIND
 - ① EXISTING TREE TO BE PROTECTED IN PLACE. SEE TREE INVENTORY TABLE AND PROTECTION NOTES/DETAILS ON SHEET C06



PRIVATE CONTRACT
WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

DEMOLITION PLAN FOR:
BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
PARCEL 1 AND 2 OF PM 19151

The City of **SAN DIEGO**
FOR CITY APPROVAL

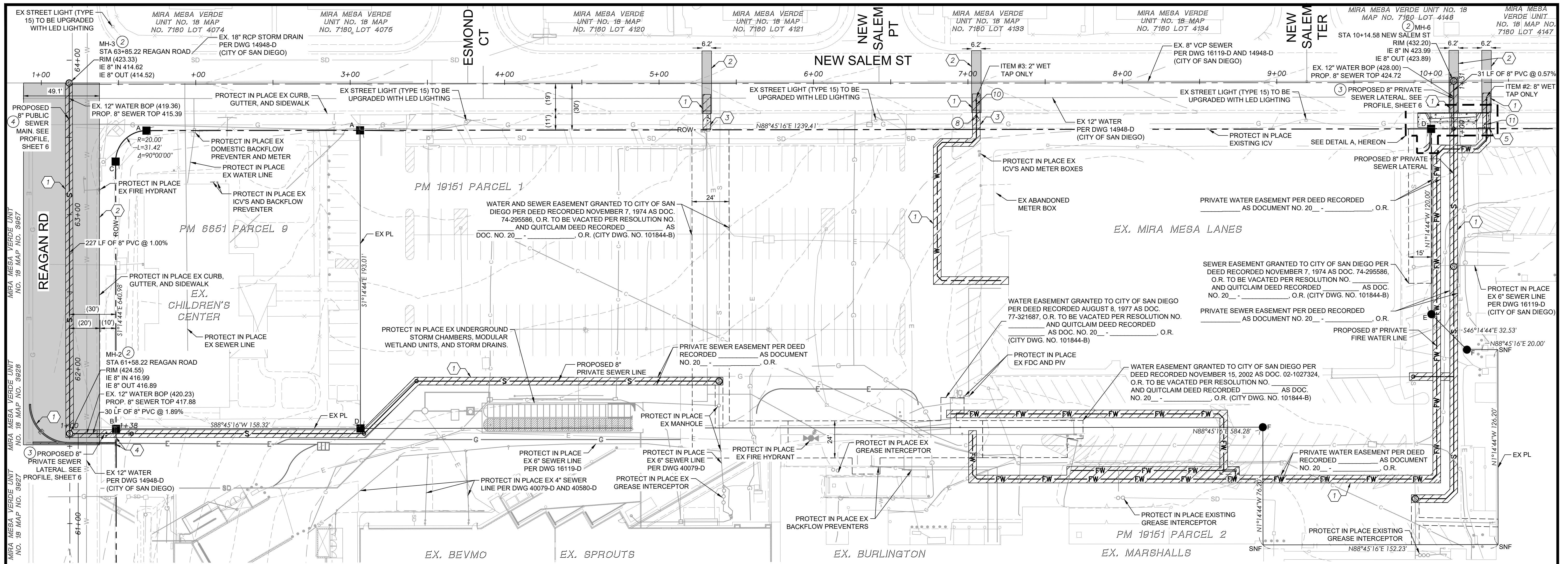
DEVELOPMENT SERVICES DEPARTMENT SHEET 04 OF 09 SHEETS		PMT NO. 3291551
APPROVED:		PRJ NO 1116504
FOR CITY ENGINEER _____ DATE _____		1912-6283 NAD83 COORDINATES
DESCRIPTION BY APPROVED DATE		272-1723 LAMBERT COORDINATES
ORIGINAL KH		DRAWING NO.
AS BUILTS		101541-4 -D
CONTRACTOR _____	DATE STARTED _____	C01
INSPECTOR _____	DATE COMPLETED _____	

Kimley»Horn
401 B Street - Suite 600
San Diego, Ca 92101-4218
Tel: (619) 234-9411

Kyle Krangel
KYLE KRAGEL R.C.E. NO. 94072 EXP. 12-31-2024

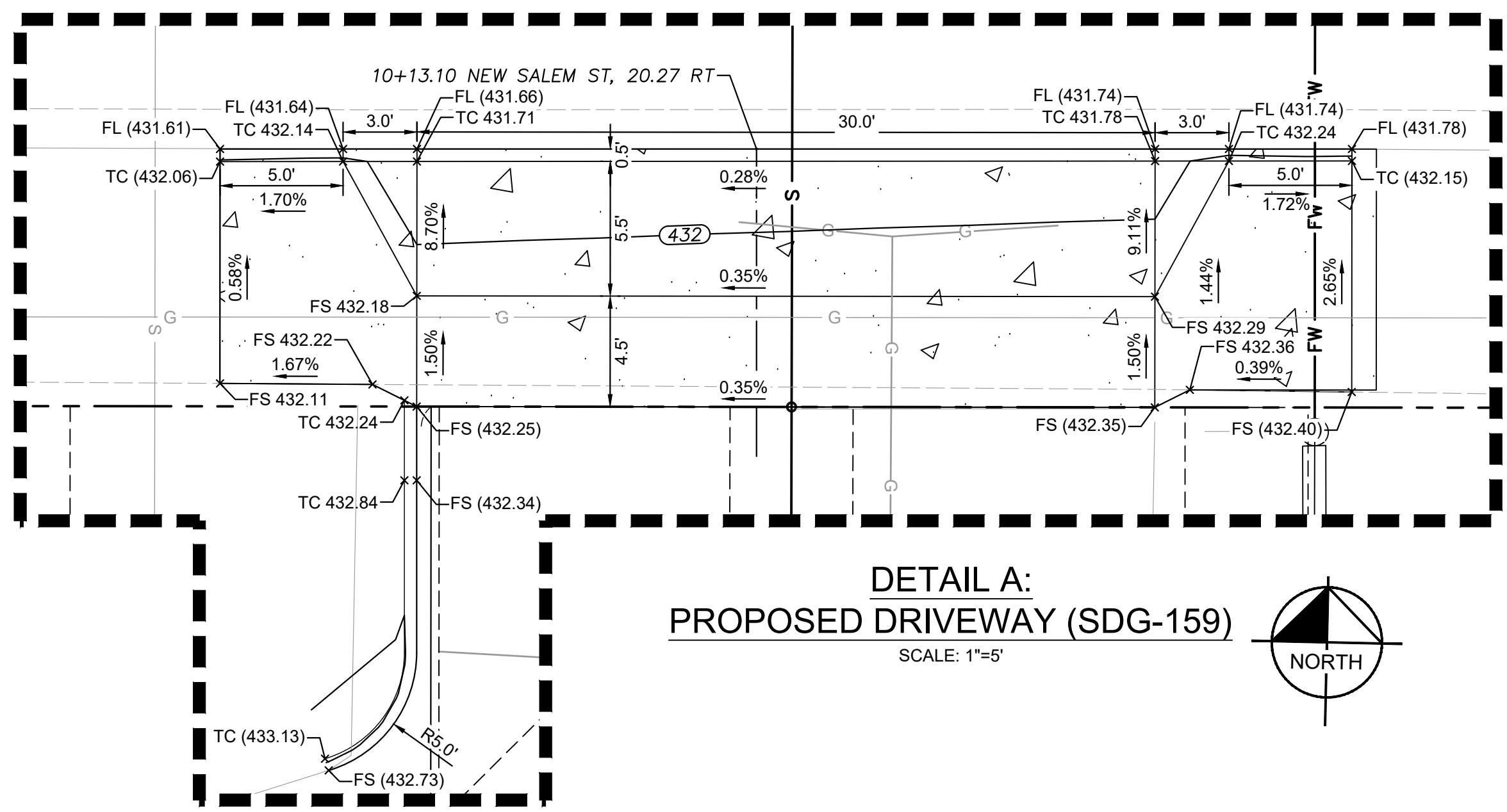
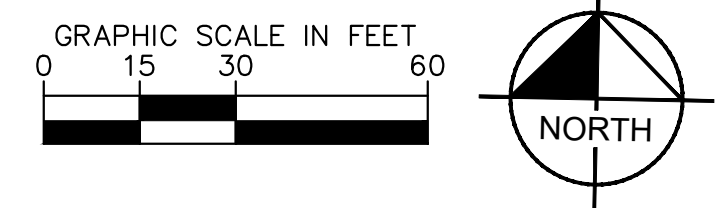


12/19/2024
DATE



- UTILITY NOTES:**
- ② INSTALL SEWER MANHOLE. SEE CITY OF SAN DIEGO STD. NO. SDS-107.
 - ③ INSTALL 8" PVC PRIVATE SEWER LINE.
 - ④ INSTALL 8" PVC PUBLIC SEWER MAIN.
 - ⑧ INSTALL 1.5" PUBLIC DOMESTIC METER.
 - ⑩ INSTALL 2" COPPER PUBLIC DOMESTIC WATER LATERAL.
 - ⑪ INSTALL 8" PVC PUBLIC FIREWATER LATERAL.

- PAVEMENT NOTES:**
- ① PROP. TRENCH RESURFACING. SEE CITY OF SAN DIEGO STD. DWG. SDG-107 AND SDG-117.
 - ② PROP. GRIND OVERLAY LIMITS. SEE CITY OF SAN DIEGO STD. DWG. SDG-106.
 - ③ REPLACE CURB, GUTTER, AND SIDEWALK WITHIN LIMITS OF DISTURBANCE. SEE CITY OF SAN DIEGO STD. DWG. SDG-151, SDG-155, AND SDG-156.
 - ④ REPLACE PORTION OF EXISTING DRIVEWAY WITHIN LIMITS OF DISTURBANCE. DRIVEWAY REPLACEMENT TO MATCH EXISTING IN KIND. SEE CITY OF SAN DIEGO STD. DWG. SDG-163.
 - ⑤ REPLACE EXISTING DRIVEWAY. SEE CITY OF SAN DIEGO STD. DWG. SDG-159.



PRIVATE CONTRACT		IMPROVEMENT PLAN FOR:	
WARNING		BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION	
0 1/2 1		NEW SALEM ST BETWEEN REAGAN RD AND DEERING ST REAGAN RD BETWEEN NEW SALEM ST AND ALAVA CIR	
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.		DEVELOPMENT SERVICES DEPARTMENT SHEET 05 OF 09 SHEETS	
APPROVED:		PMT NO. 3291551	
FOR CITY ENGINEER		PRJ NO 1116504	
DATE	DATE	1912-6283 NAD83 COORDINATES	
DESCRIPTION	BY	272-1723 LAMBERT COORDINATES	
ORIGINAL	KH	DRAWING NO.	
		101541-5 -D	
AS BUILTS		C02	
CONTRACTOR	DATE STARTED	DATE COMPLETED	
INSPECTOR			

Kimley»Horn
 401 B Street - Suite 600
 San Diego, Ca - 92101-4218
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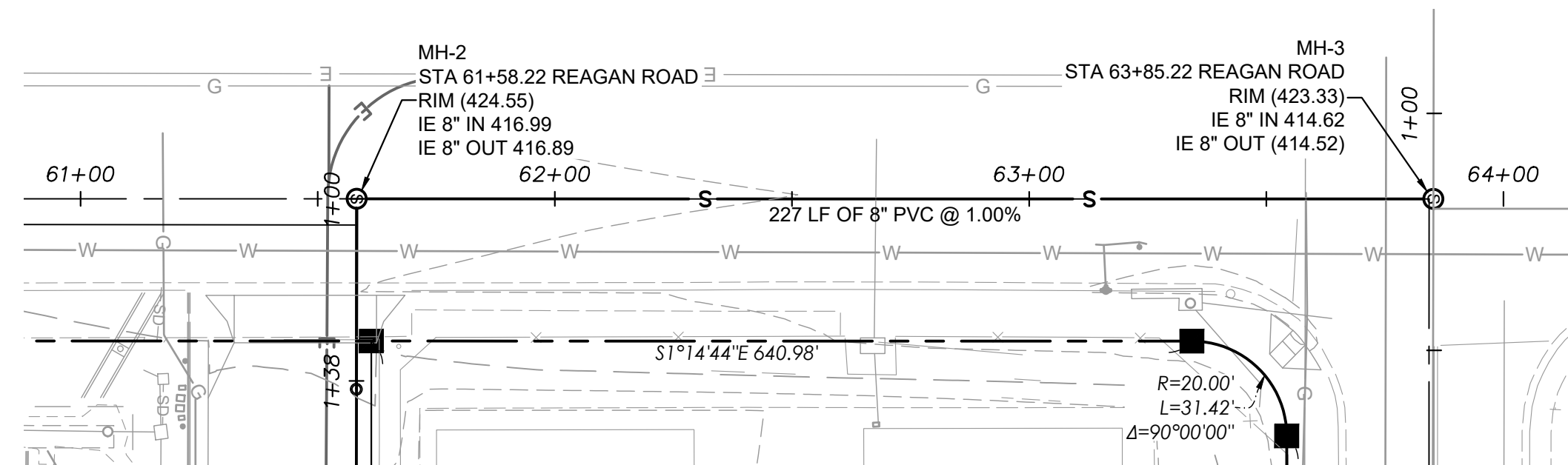
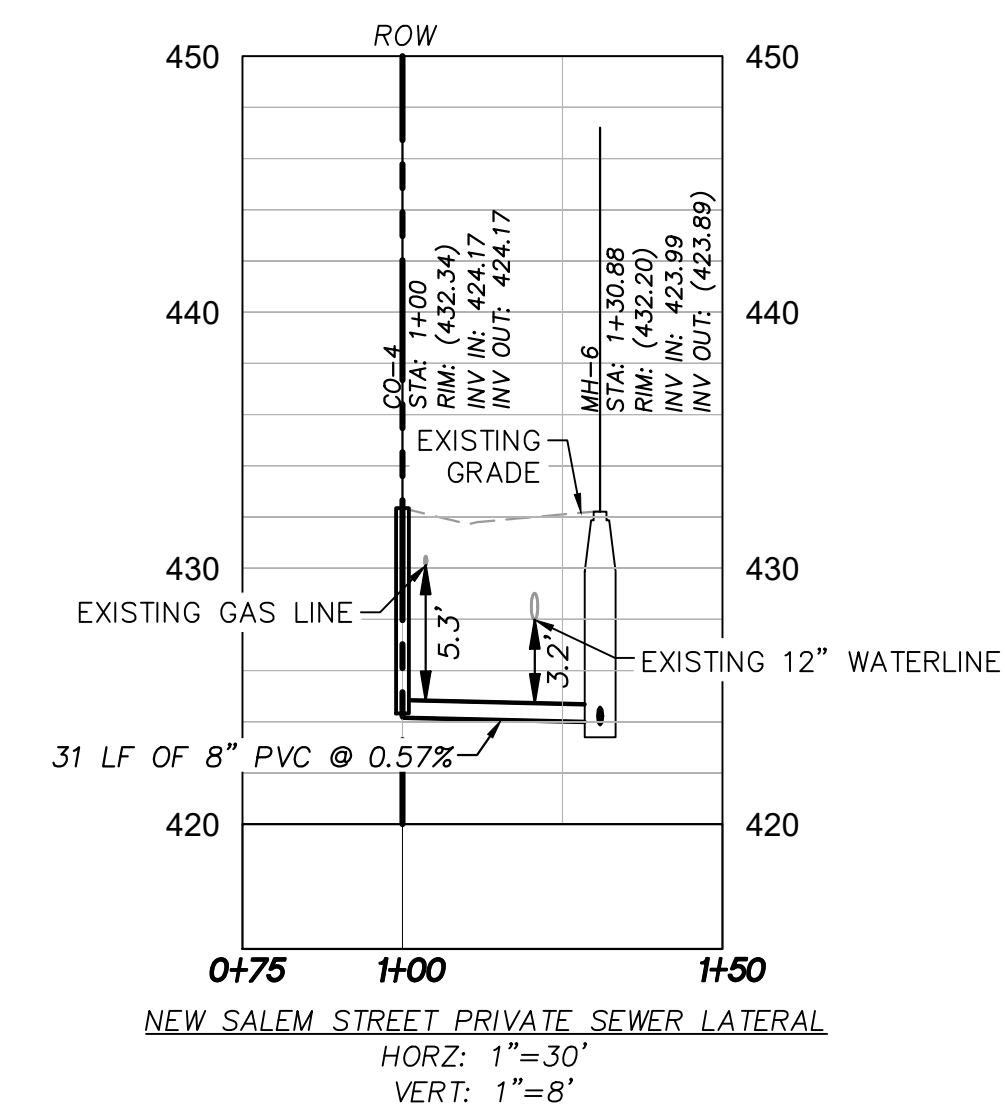
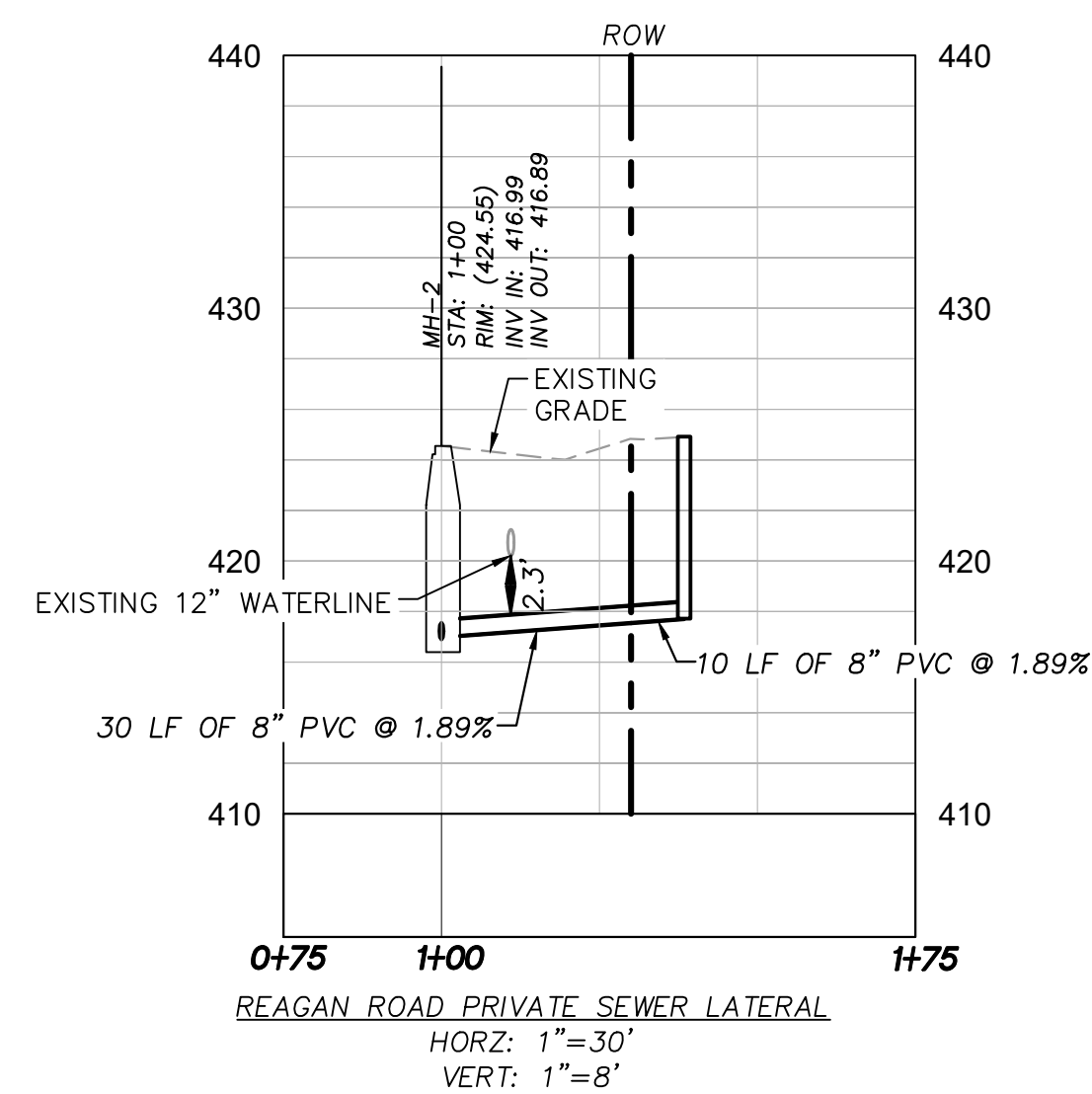
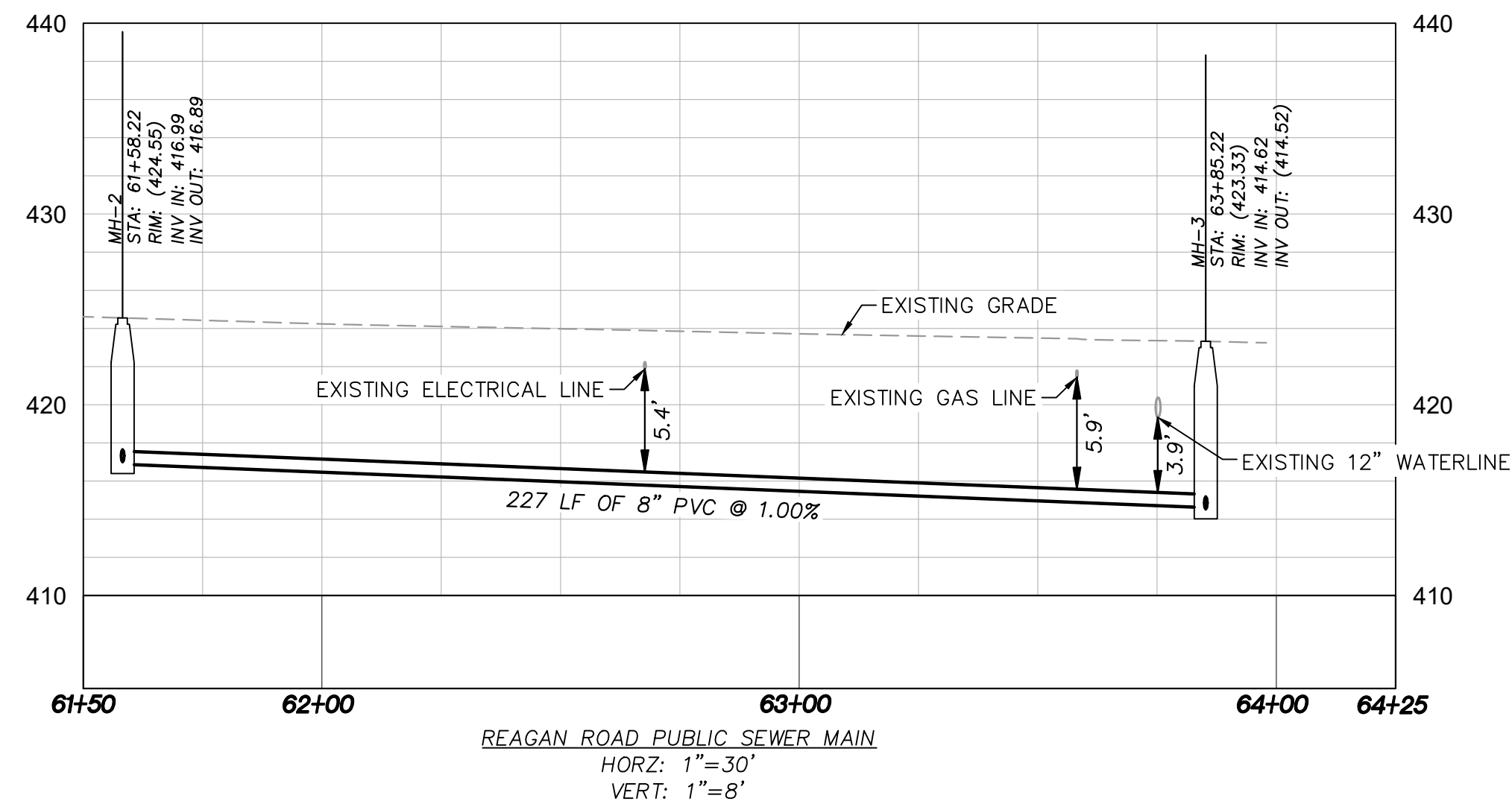
Kyle Krugel

KYLE C. KRUGEL
 REGISTERED PROFESSIONAL ENGINEER
 No. 94072
 CIVIL
 STATE OF CALIFORNIA

12/19/2024
DATE

KYLE KRAGEL R.C.E. NO. 94072 EXP. 12-31-2024

EMRA NOTE:
 1. SEE EMRA APPROVAL #3718 FOR DRIVEWAY, WATER LATERALS, AND SEWER LATERALS



Kyle Krangel
 KYLE KRAGEL
 R.C.E. NO. 94072

12/19/2024
 DATE



PRIVATE CONTRACT

WARNING
 0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

8 INCH PVC SEWER MAIN FOR:
BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
 PARCEL 1 AND 2 OF PM 19151

The City of
SAN DIEGO
 FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT
 SHEET 06 OF 09 SHEETS

PMT NO. 3291551

APPROVED: _____
 FOR CITY ENGINEER DATE

PRJ NO 1116504

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	KH		

1912-6283
 NAD83 COORDINATES

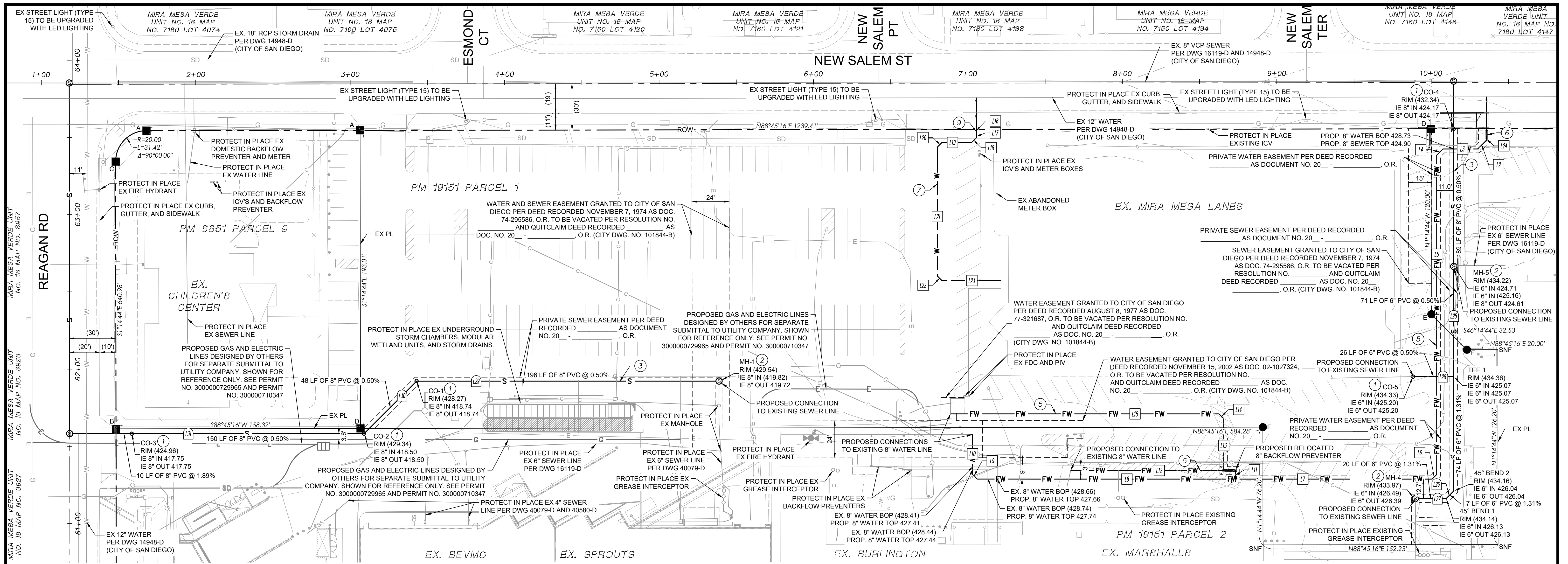
272-1723
 LAMBERT COORDINATES

AS BUILTS
 CONTRACTOR _____ DATE STARTED _____
 INSPECTOR _____ DATE COMPLETED _____

DRAWING NO.

101541-6 -D

C03



- NOTES:**
- OFFSITE WATER AND SEWER IS SHOWN FOR REFERENCE ONLY TO SHOW CONNECTIONS TO PUBLIC LATERALS OR MAINS.
 - THE PRIVATE WATER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY." A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.
 - THE PRIVATE ON-SITE SEWER SYSTEM WITH WELDED JOINTS AND CLEANOUTS SHALL BE DESIGNED TO MEET THE STANDARDS OF THE CALIFORNIA PLUMBING CODE. PRIVATE MAINS WITH MANHOLES AND PUSH-ON JOINTS SHALL BE DESIGNED PER THE SEWER DESIGN GUIDE AND WILL MEET STATE SEPARATION REQUIREMENT.
 - 10' MINIMUM HORIZONTAL SEPARATION BETWEEN PROPOSED DOMESTIC WATER AND SANITARY SEWER LINES.
 - ALL WATER CROSSINGS SHOULD HAVE A MINIMUM CLEARANCE OF 12" FROM ANY SEWER OR STORMDRAIN CROSSING.
 - WATER AND FIRE MAINS SHALL BE INSTALLED WITH A MINIMUM 3' VERTICAL CLEARANCE FROM THE TOP OF FINISHED GRADE TO THE TOP OF THE PIPE.
 - PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL, IT SHALL BE CLOSED CIRCUIT TELEVISION INSPECTED BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS.
 - ON-SITE ELECTRIC AND COMMUNICATION LINES SERVING THE SITE TO BE PROPOSED BY ELECTRICAL. STUB POINT OF CONNECTION 5' FROM BUILDING. REFER TO MEP PLANS FOR INVERT ELEVATION AND CONTINUATION TO BUILDING.
 - EXCAVATION FOR UTILITY TRENCHES TO BE 2' BELOW DEEPEST UTILITY FLOW LINE/INVERT ELEVATION PER GEOTECHNICAL RECOMMENDATIONS. CONTRACTOR/DEVELOPER TO DETERMINE APPROPRIATE DEPTH OF TRENCH FOR SHALLOW UTILITIES ADJACENT TO DEEP UTILITIES.
 - ALL EXISTING UTILITIES SHOWN BASED ON AS-BUILT INFORMATION.
 - ALL PLANS FOR PRIVATE FIRE SERVICE MAINS AND PRIVATE FIRE HYDRANTS ARE SHOWN FOR REFERENCE ONLY AND MUST BE SUBMITTED SEPARATELY TO FIRE PLAN CHECK FOR APPROVAL PRIOR TO INSTALLATION. ALL PRIVATE FIRE SYSTEMS WILL BE DEFINED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE; CALIFORNIA FIRE CODE; AND NFPA 24. PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES, PLANS SHALL BE SINGLE FIRE LINE DRAWINGS SHOWING ALL OF THE APPLICABLE REQUIREMENTS OF THE CODES SPECIFIED ABOVE.
 - ALL DRY UTILITIES SHOWN FOR REFERENCE ONLY AND MUST BE SUBMITTED SEPARATELY FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL RIM ELEVATIONS SHOWN ON PLANS TO MATCH EXISTING PAVEMENT ELEVATIONS. CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER OF RECORD IF THERE ARE ANY DISCREPANCIES.
 - SEE EMRA APPROVAL #3718 FOR SEWER LATERALS, WATER LATERALS, AND DRIVEWAY

FIRE SERVICE DATA
(PRIVATE)

PIPE TABLE	SIZE & MATERIAL	LENGTH	BEARING
L2	8.0" PVC	8.15	S43°50'05.98"W
L3	8.0" PVC	22.51	S88°50'05.98"W
L4	8.0" PVC	5.66	S43°50'05.98"W
L5	8.0" PVC	206.69	S1°09'49.81"E
L6	8.0" PVC	4.24	S43°45'15.74"W
L7	8.0" PVC	127.37	S88°50'12.81"W
L8	8.0" PVC	167.21	S88°50'11.18"W
L9	8.0" PVC	4.24	N46°14'44.26"W
L10	8.0" PVC	25.84	N1°09'20.32"W
L11	8.0" PVC	5.53	N1°09'54.02"W
L12	8.0" PVC	99.09	S88°50'05.98"W
L13	8.0" PVC	33.60	N1°09'28.11"W
L14	8.0" PVC	4.24	N46°14'44.26"W
L15	8.0" PVC	173.97	S88°50'10.98"W
L24	8.0" PVC	1.34	S1°36'07.42"E

DOMESTIC WATER DATA
(PRIVATE)

PIPE TABLE	SIZE & MATERIAL	LENGTH	BEARING
L16	2.0" COPPER	1.50	S1°14'44.26"E
L17	2.0" COPPER	1.88	S1°05'50.73"E
L18	2.0" COPPER	4.24	S43°50'05.98"W
L19	2.0" COPPER	19.30	S88°42'58.71"W
L20	2.0" COPPER	4.24	S43°50'05.98"W
L21	2.0" COPPER	83.37	S1°09'43.58"E
L22	2.0" COPPER	4.24	S46°14'44.26"E
L23	2.0" COPPER	38.12	N88°50'28.82"E

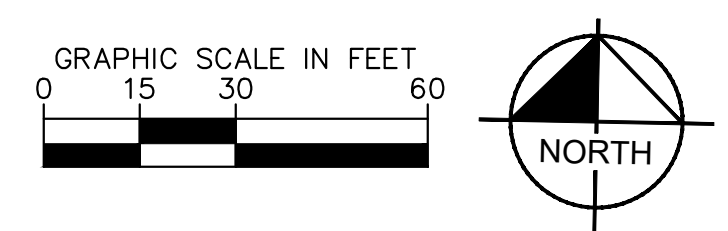
- UTILITY NOTES:**
- INSTALL SEWER CLEANOUT. SEE CITY OF SAN DIEGO STD. NO. SDS-102.
 - INSTALL SEWER MANHOLE. SEE CITY OF SAN DIEGO STD. NO. SDS-107.
 - INSTALL 8" PVC PRIVATE SEWER LINE.
 - INSTALL 8" PVC PRIVATE FIREWATER LINE.
 - INSTALL 8" PRIVATE RPDA FIRE BACKFLOW PREVENTER. ZURN MODEL 375DA OR APPROVED EQUAL.
 - INSTALL 2" COPPER PRIVATE DOMESTIC WATER LINE.
 - INSTALL 1.5" PRIVATE RPDA DOMESTIC BACKFLOW PREVENTER. ZURN MODEL 975XL2 OR APPROVED EQUAL.

SEWER DATA
(PRIVATE)

PIPE TABLE	SIZE & MATERIAL	LENGTH	BEARING
L25	8.0" PVC	265.34	S1°09'54.02"E
L26	8.0" PVC	7.07	S43°50'05.98"W
L27	8.0" PVC	19.94	S88°50'05.98"W
L28	8.0" PVC	26.23	S88°50'05.98"W
L29	8.0" PVC	195.84	S88°49'50.98"W
L30	8.0" PVC	48.07	S43°50'05.98"W
L31	8.0" PVC	190.63	S88°50'02.65"W

CAUTION!!!
EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HORIZONTAL AND VERTICAL LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES.

PRIVATE ONSITE WATER AND SEWER ARE DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND ARE SHOWN ON THE PLANS AS REFERENCE ONLY. A SEPARATE PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.



PRIVATE CONTRACT

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

UTILITY PLAN FOR:
BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
PARCEL 1 AND 2 OF PM 19151

DEVELOPMENT SERVICES DEPARTMENT
SHEET 07 OF 09 SHEETS

APPROVED:

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	KH		

AS BUILTS

CONTRACTOR _____ DATE STARTED _____

INSPECTOR _____ DATE COMPLETED _____

PMT NO. 3291551

PRJ NO 1116504

1912-6283
NAD83 COORDINATES

272-1723
LAMBERT COORDINATES

DRAWING NO. **101541-7 -D**

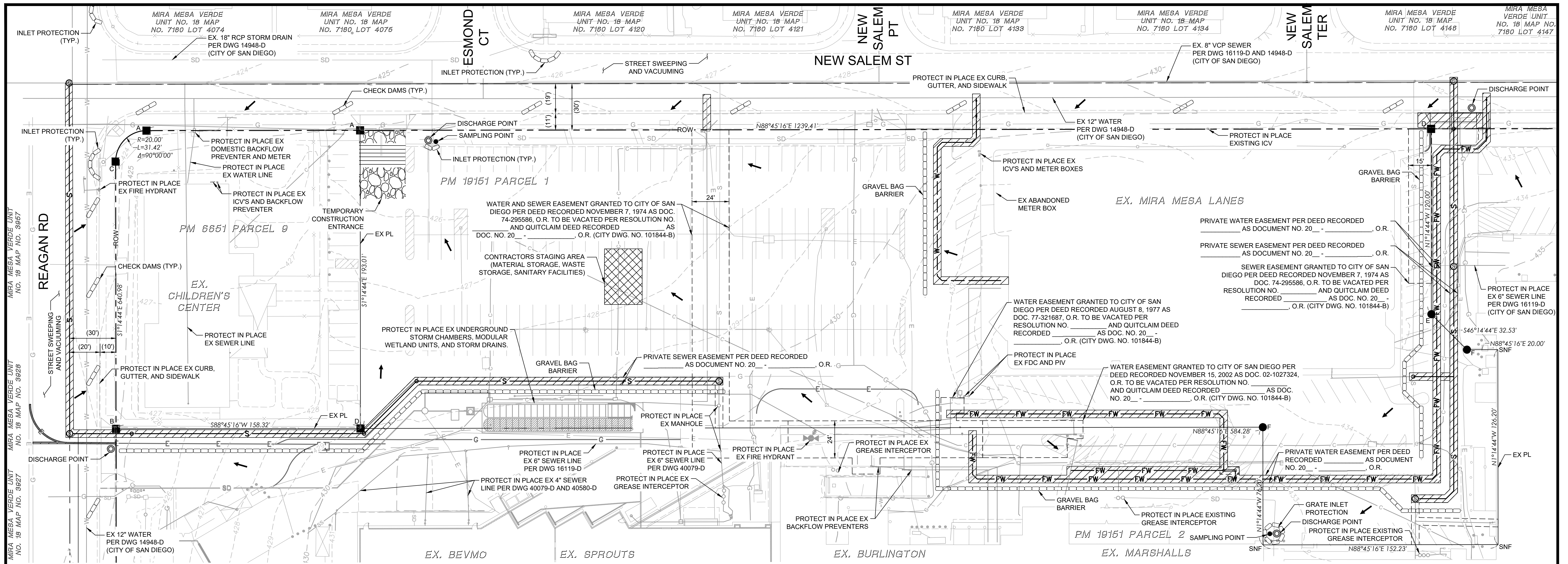
C04

Kimley»Horn
401 B Street - Suite 600
San Diego, Ca. 92101-4218
Tel: (619) 234-9441

Kyle Krangel

KYLE KRANGEL R.C.E. NO. 94072 EXP. 12-31-2024

12/19/2024 DATE



- NOTES:**
- INSTALL CONSTRUCTION ENTRANCE PER CASQA DETAIL TC-1.
 - INSTALL STORM DRAIN INLET PROTECTION PER CASQA DETAIL SE-10.
 - INSTALL ENTRANCE/OUTLET TIRE WASH PER CASQA DETAIL TC-3.
 - CONDUCT STREET SWEEPING AND VACUUMING WITHIN REAGAN ROAD AND NEW SALEM STREET PER CASQA DETAIL SE-7.
 - PLACE SANITARY FACILITIES AWAY FROM STORM DRAIN INLETS
 - KIMLEY-HORN & ASSOCIATES (THE "CONSULTANT") CONFIRMS TO BRIXMOR THAT CONSULTANT HAS PREPARED THESE PLANS IN ACCORDANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES).
 - GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET SEED MIX TABLE BELOW FOR MIX AND SPECIFICATIONS. NON-IRRIGATED HYDROSEED MIX SHALL BE INSTALLED BETWEEN NOVEMBER 1ST AND FEBRUARY 15TH. IF THE MIX IS TO BE INSTALLED OUTSIDE OF THIS TIME FRAME, INSTALLATION OF TEMPORARY ABOVE-GROUND IRRIGATION SYSTEM WILL BE REQUIRED FOR ESTABLISHMENT OF HYDROSEED MIX.
 - HYDROSEEDING PROCEDURES PER SECTION 4.4 OF THE LANDSCAPE STANDARDS SHALL BE AS FOLLOWS:
 - SEED MIXES SHALL BE SPECIFIED BY THE PURE LIVE SEED OF EACH SPECIES.
 - FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 POUNDS PER ACRE EXCEPT WHEN USED IN CONJUNCTION WITH STRAW MULCH, WHEN IT SHALL BE APPLIED AT A MINIMUM RATE OF 400 POUNDS PER ACRE.
 - A WETTING AGENT CONSISTING OF 95 PERCENT ALKYL POLYETHYLENE GLYCOL ETHER SHALL BE APPLIED AS PER MANUFACTURERS' RECOMMENDATIONS.
 - EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT-IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE SLURRY MIX SHALL BE DYED GREEN. THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY.
 - INTERIM BINDER NOTE: GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.
 - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SDMC 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
 - INTERIM BINDER NOTE: GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATION MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.
 - EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING PROJECT CONSTRUCTION. COMPLY WITH EROSION AND SEDIMENTATION CONTROL PLAN. IF GRADING AND DRAINAGE CONSTRUCTION IS NOT COMPLETE PRIOR TO RAINY SEASON, THEN THE CONTRACTOR SHALL:
 - PROVIDE EROSION PROTECTION ON SLOPES THAT ARE 10:1 OR STEEPER AND IN SWALES THAT ARE 2% OR STEEPER.
 - GRADE GUTTER SAG POINTS TO DRAIN.
 - PROVIDE SILT CATCHMENTS TO PREVENT SEDIMENTATION IN EXISTING STORM DRAIN SYSTEMS.
 - CLEAN DOWNSTREAM PIPES AS DIRECTED BY THE CITY ENGINEER.
 - CLEAN AND MAINTAIN ALL STREETS AND SIDEWALKS AS DIRECTED BY THE CITY ENGINEER.

LEGEND:

	PROPERTY LINE/ RIGHT-OF-WAY	
	EXISTING CONTOUR	
	OVERLAND FLOW DIRECTION	
	TEMPORARY CONSTRUCTION ENTRANCE/EXIT	TC-1, TC-3
	STAGING AREA	(WM-1, WM-2, WM-3, WM-5, WM-8, WM-9) (TO BE LOCATED BY CONTRACTOR)
	CHECK DAMS/GRAVEL BAGS/INLET PROTECTION	SE-4, SE-6, SE-10
	SAMPLING POINT	
	DISCHARGE POINT	
	LIMIT OF DISTURBANCE	

HYDROSEED MIX

SPECIES	COMMON NAME	BULK #S/ACRE
BROMUS CARINATUS 'CUCAMONGA'	CUCAMONGA BROME	20.00
FESTUCA MICROSTACHYS	SMALL FESCUE	8.00
TRIFOLIUM CILIATUM	FOOTHILL CLOVER	4.00
		32.00

* MIN % PLS (PURE LIVE SEED) = SEED PURITY X GERMINATION RATE

APPLICABLE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPS AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BMP HANDBOOK DATED JANUARY 2015, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED AS NEEDED:

- EC-1, SCHEDULING
- EC-2, PRESERVATION OF EXISTING VEGETATION
- WE-1, WIND EROSION CONTROL
- NS-3, PAVING AND GRINDING OPERATIONS
- NS-6, ILLICIT CONNECTION/DISCHARGE
- NS-12, CONCRETE CURING
- NS-13, CONCRETE FINISHING
- WM-4, SPILL PREVENTION AND CONTROL
- SE-7, STREET SWEEPING AND VACUUMING

GRAPHIC SCALE IN FEET: 0, 15, 30, 60

NORTH

EROSION CONTROL PLAN FOR:
BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
PARCEL 1 AND 2 OF PM 19151

DEVELOPMENT SERVICES DEPARTMENT
 SHEET 08 OF 09 SHEETS

APPROVED: _____ DATE _____

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	KH		

AS BUILTS _____

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PMT NO. 3291551
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Kimley»Horn
 401 B Street - Suite 600
 San Diego, Ca. 92101-4218
 Tel: (619) 234-9411

Kyle Krugel

KYLE C. KRUGEL
 REGISTERED PROFESSIONAL ENGINEER
 No. 94072
 CIVIL
 STATE OF CALIFORNIA

12/19/2024
 DATE

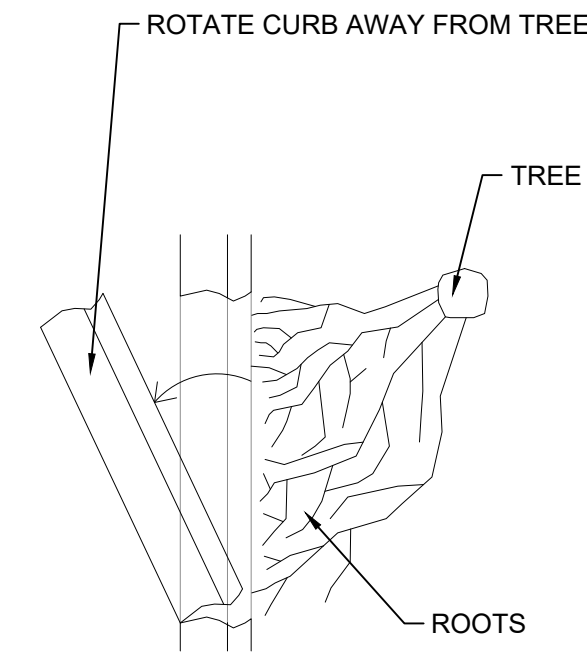
R.C.E. NO. 94072
 EXP. 12-31-2024



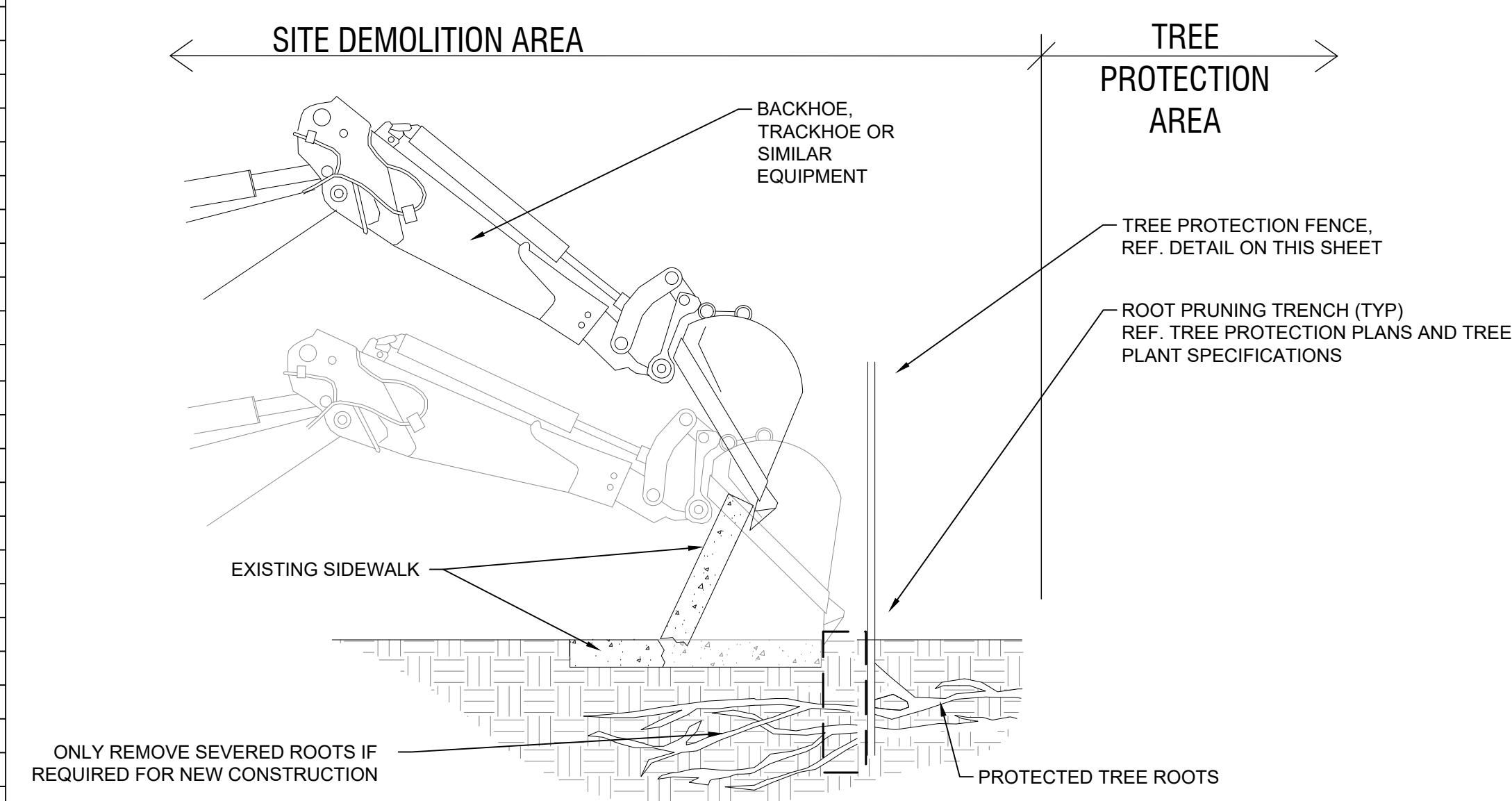
FOR CITY APPROVAL

EXISTING TREE INVENTORY

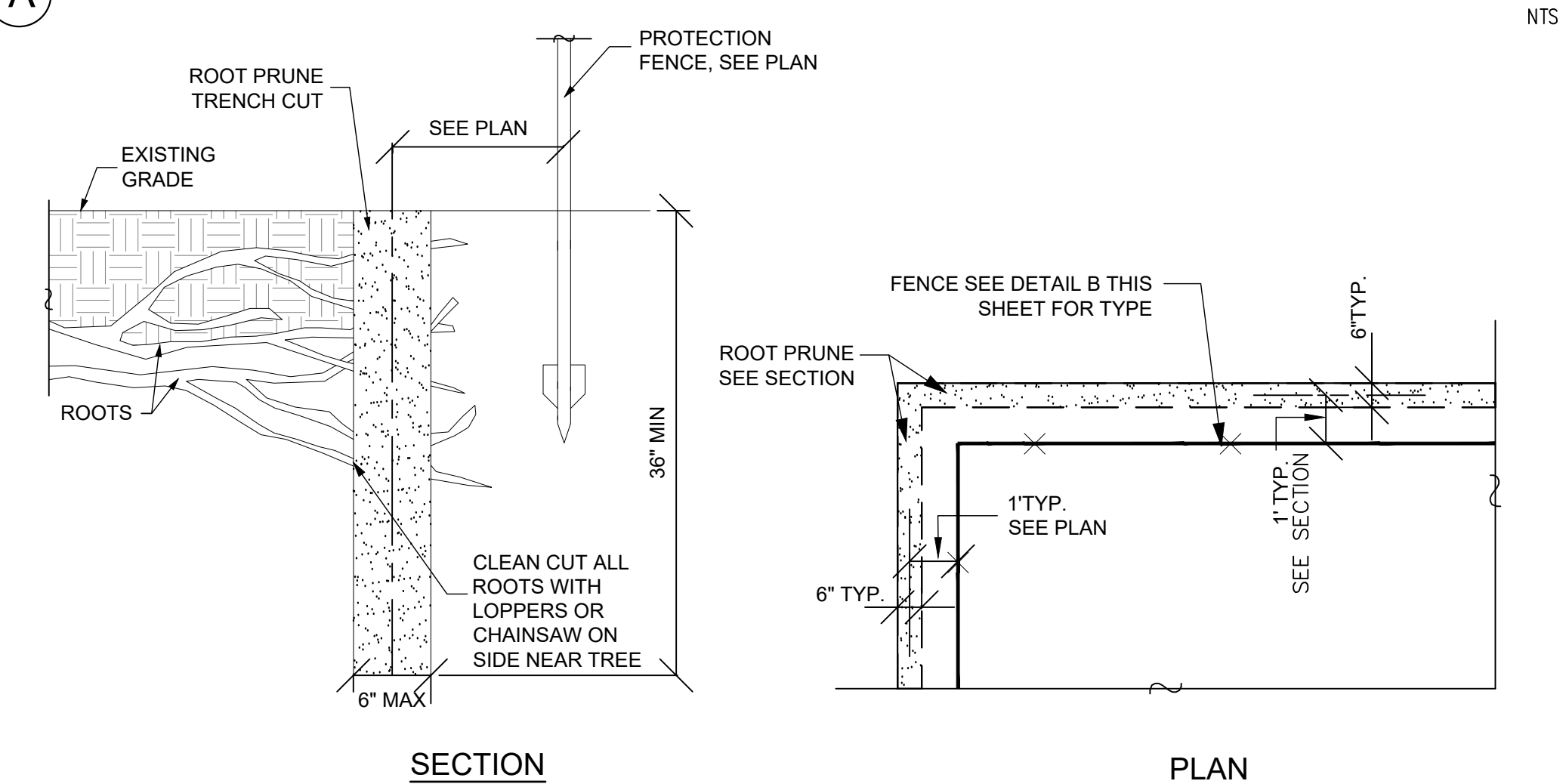
TREE #	BOTANICAL NAME	COMMON NAME	CALIPER (DBH)	PROTECT
1	PINUS CANARIENSIS	CANARY ISLAND PINE	20-26"	PROTECT
2	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
3	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
4	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
5	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
6	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
7	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
8	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
9	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
10	FICUS RUBIGINOSA	RUSTY LEAF FIG	30-36"	PROTECT
11	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
12	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
13	FICUS RUBIGINOSA	RUSTY LEAF FIG	18-24"	PROTECT
14	FICUS RUBIGINOSA	RUSTY LEAF FIG	24-30"	PROTECT
15	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
16	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
17	PINUS CANARIENSIS	CANARY ISLAND PINE	8-12"	PROTECT
18	PINUS CANARIENSIS	CANARY ISLAND PINE	12-18"	PROTECT
19	PINUS CANARIENSIS	CANARY ISLAND PINE	20-26"	PROTECT
20	PINUS CANARIENSIS	CANARY ISLAND PINE	12-18"	PROTECT
21	PINUS CANARIENSIS	CANARY ISLAND PINE	12-18"	PROTECT
22	PINUS CANARIENSIS	CANARY ISLAND PINE	18-24"	PROTECT
23	PINUS CANARIENSIS	CANARY ISLAND PINE	12-18"	PROTECT
24	FICUS RUBIGINOSA	RUSTY LEAF FIG	12-18"	PROTECT
25	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
26	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
27	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	18-24"	PROTECT
28	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
29	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
30	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
31	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	18-24"	PROTECT
32	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	12-18"	PROTECT
33	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
34	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
35	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	18-24"	PROTECT
36	ULMUS PARVIFOLIA	CHINESE ELM	20-26"	PROTECT
37	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	18-24"	PROTECT
38	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	8-12"	PROTECT
39	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	12-18"	PROTECT
40	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	12-18"	PROTECT
41	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	12-18"	PROTECT
42	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	12-18"	PROTECT
43	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	18-24"	PROTECT
44	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	18-24"	PROTECT
45	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	12-18"	PROTECT



PLAN VIEW



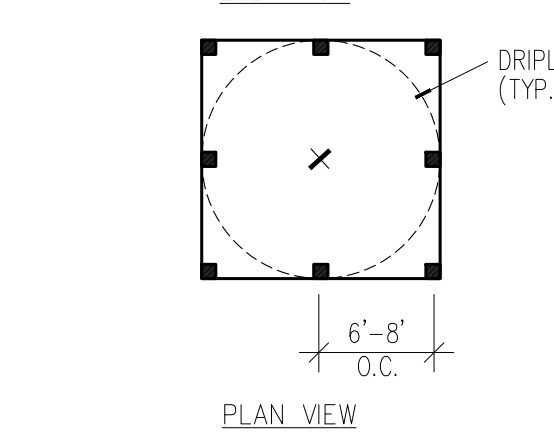
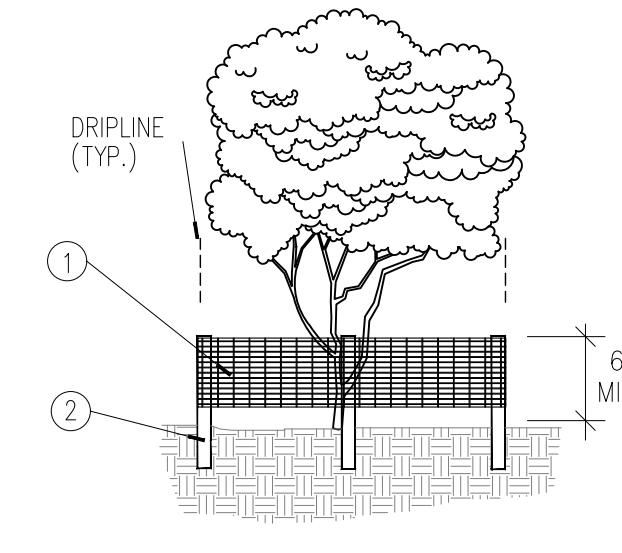
A CURB AND SIDEWALK DEMOLITION W/ LANDSCAPE PROTECTION



C ROOT PRUNING

DEMOLITION SEQUENCE:
 1. PERFORM ANY ROOT PRUNING.
 2. INSTALL TREE PROTECTION FENCING
 3. CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL, COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

NOTES:
 1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION



B TREE PROTECTOR

1 6" "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
 2 8" TALL METAL "T" POSTS OR 2" x 2" x 8" PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

INSTALLATION NOTES:
 A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
 B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/4 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 8" POST SHOULD BE SET AT LEAST 2" INTO THE GROUND.
 C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
 D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE:
 IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

LANDSCAPE NOTES

- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- EXISTING TREES TO REMAIN ON SITE WITHIN 10-FT OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
 - THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
 - ROOTS OF EXISTING TREES WILL BE CUT BACK APPROXIMATELY 6-INCHES FROM THE NEW CONSTRUCTION. A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 4-INCHES OR GREATER IN DIAMETER.
 - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

TREE PROTECTION NOTES

- THE LIMITS OF ALL TREE PROTECTION ZONES SHALL BE STAKED IN THE FIELD. 6" "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL WITH POSTS SUNK INTO THE GROUND SHALL BE ERECTED TO ENCLOSE THE TREE PROTECTION ZONE.
- THE TREE PROTECTION ZONE (TPZ) IS DEFINED AS THE LARGER OF THE DRIP LINE OF THE TREE OR THE DISTANCE FROM THE TRUNK EQUAL TO ONE (1) FOOT FOR EACH INCH OF TRUNK DIAMETER MEASURED AT FOUR AND A HALF (4.5) FEET ABOVE EXISTING GRADE (AKA DBH; DIAMETER AT BREAST HEIGHT).
- FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR MOVED WITHOUT THE WRITTEN PERMISSION OF A LICENSED ARBORIST.
- STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL USE THE SMALLEST EQUIPMENT POSSIBLE, AND OPERATE FROM OUTSIDE THE TREE PROTECTION ZONE.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A ROAD BED OF 6" OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6" DEPTH.
- CONSTRUCTION TRAILERS AND TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS AT ALL TIMES.
- NO MATERIALS, EQUIPMENT, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN THE TREE PROTECTION ZONE. NO DEBRIS OR GARBAGE MAY BE DUMPED OR BURIED WITHIN THE TREE PROTECTION ZONE.
- ANY GRADING, CONSTRUCTION, DEMOLITION OR OTHER WORK THAT IS EXPECTED TO ENCOUNTER TREE ROOTS, MUST BE MONITORED BY A LICENSED ARBORIST.
- ALL UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF REROUTING IS NOT POSSIBLE, TRENCHING WITHIN THE TPZ IS TO BE PERFORMED BY AIRSPACE UNDER THE SUPERVISION AND DIRECTION OF A LICENSED ARBORIST. IF AT ANY TIME, TWENTY-FIVE (25) PERCENT OF THE AREA WITHIN THE ROOT PROTECTION ZONE WOULD BE SEPARATED FROM THE TREE BY A TRENCH, THE LINE SHALL BE LOCATED BY BORING.
- NO ROOTS LARGER THAN ONE INCH (1.5") DIAMETER SHALL BE CUT UNLESS REVIEWED AND APPROVED BY LICENSED ARBORIST. ALL SMALLER ROOTS THAT REQUIRE CUTTING SHALL BE CUT WITH PRUNING SAWS (NO TRENCHES OR BACKHOES). CUTS SHALL BE MADE FLUSH WITH THE SIDE OF THE EXCAVATION.
- MINOR ROOT DAMAGE DURING GRADING OR CONSTRUCTION SHALL BE PRUNED TO SOUND TISSUE AND CUT CLEANLY WITH A SAW. CONTRACTOR SHALL CONTACT LICENSED ARBORIST IMMEDIATELY IN THE EVENT OF EXTENSIVE ROOT DAMAGE.
- ADDITIONAL TREE PRUNING REQUIRED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A LICENSED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
- EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- SPOIL FROM TRENCHES OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
- IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, THE LICENSED ARBORIST TO BE NOTIFIED IMMEDIATELY TO RECOMMEND EVALUATION. PROCUREMENT OF A LICENSED ARBORIST SHALL BE AT NO ADDITIONAL COST TO THE OWNER.



Kimley»Horn
 401 B Street - Suite 600
 San Diego, Ca. 92101-4218
 Tel: (619) 234-9411

Kyle Krugel
 KYLE KRUGEL
 R.C.E. NO. 94072
 EXP. 12-31-2024

12/19/2024
 DATE

The City of
SAN DIEGO
 FOR CITY APPROVAL

PRIVATE CONTRACT
 WARNING
 0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

TREE INVENTORY AND PROTECTION NOTES FOR:
BRIXMOR SHOPS MIRA MESA UTILITY RELOCATION
 PARCEL 1 AND 2 OF PM 19151

DEVELOPMENT SERVICES DEPARTMENT SHEET 09 OF 09 SHEETS		PMT NO. 3291551
APPROVED: FOR CITY ENGINEER _____ DATE _____		PRJ NO. 1116504
DESCRIPTION	BY	APPROVED
ORIGINAL	KH	
		1912-6283 NAD83 COORDINATES
		272-1723 LAMBERT COORDINATES
AS BUILTS		DRAWING NO.
CONTRACTOR		DATE STARTED
INSPECTOR		DATE COMPLETED

101541-9 -D
 C06

TEMPORARY TRAFFIC CONTROL PLAN

CITY OF SAN DIEGO

TRAFFIC CONTROL NOTES (5000 ADT OR MORE) *

1. VALIDATION: THE TRAFFIC CONTROL PLAN IS NOT VALID UNTIL WORK DATES AND WORK HOURS ARE APPROVED. THE CONTRACTOR SHALL SUBMIT TWO (2) REDUCED COPIES OF TRAFFIC CONTROL PLANS (11"x17") TO THE TRAFFIC CONTROL PERMIT COUNTER, DEVELOPMENT SERVICE DEPARTMENT, 1222 1ST AVE, SAN DIEGO. THE CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

2. CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT (858) 495-4742 A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO ANY CONSTRUCTION WORK AFFECTING TRAFFIC SIGNALS.

3. STANDARDS: THE TRAFFIC CONTROL PLAN SHALL CONFORM TO THE MOST RECENT ADOPTED EDITION OF EACH OF THE FOLLOWING MANUALS:

DESCRIPTION	EDITION	DOCUMENT NO.
STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION	2018	PWP1010119-01
CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2018 EDITION	2018	PWP1010119-03
CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (REVISION 6), 2014 EDITION	2014	PWP1060121-10

4. NOTIFICATIONS: THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONSTRUCTION, OR TRAFFIC CONTROL AFFECTING THE AGENCIES LISTED BELOW:

FIRE DEPARTMENT DISPATCH	(STREET OR ALLEY CLOSURE)	(858) 573-1300
POLICE DEPARTMENT DISPATCH	(STREET OR ALLEY CLOSURE)	(858) 495-7800
ENVIRONMENTAL SERVICES	(REFUSE COLLECTION)	(858) 492-5060
STREET DIVISION	(TRAFFIC SIGNALS)	(619) 527-7500
METROPOLITAN TRANSIT SYSTEM (MTS)	(BUS STOPS)	(619) 238-0100 EXT. 6451
METROPOLITAN TRANSIT SYSTEM (MTS)	(TAXI ZONES)	(619) 235-2644
METROPOLITAN TRANSIT SYSTEM (MTS)	(TROLLEY LINES)	(619) 595-4930
UNDERGROUND SERVICE ALERT	(ANY EXCAVATION)	(800) 422-4133
U.S. NAVY	(32ND ST NAVAL STATION)	(619) 556-1319
SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY		(619) 400-2880

THE CONTRACTOR SHALL NOTIFY PROPERTY OWNERS AND TENANTS A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO CLOSURE OF DRIVEWAYS. THE CONTRACTOR SHALL POST SIGNS NOTIFYING THE PUBLIC A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO CLOSURE OF STREETS.

THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT (858) 627-3200 AND ARRANGE FOR INSPECTION A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK INVOLVING NIGHTTIME OR WEEKEND HOURS.

5. POSTING PARKING RESTRICTIONS: THE CONTRACTOR SHALL POST TOW-AWAY/NO PARKING SIGNS SEVENTY-TWO (72) HOURS IN ADVANCE OF PARKING REMOVAL. SIGNS SHALL INDICATE SPECIFIC DAYS, DATES AND TIMES OF RESTRICTIONS. PARKING METERS SHALL BE BAGGED WHERE APPLICABLE.

6. EXCAVATIONS: EXCEPT WHEN OTHERWISE SHOWN ON THE PLANS, ALL TRENCHES SHALL BE BACKFILLED OR TRENCH-PLATED AT THE END OF EACH WORKDAY. AN ASPHALT RAMP SHALL BE PLACED AROUND EACH TRENCH PLATE TO PREVENT THE PLATE FROM BEING DISLODGED. CONTRACTOR SHALL MONITOR TRENCH PLATES DURING NON-WORKING HOURS TO ENSURE THAT THEY DO NOT BECOME DISLODGED. UPON COMPLETION OF EXCAVATION BACKFILL, THE CONTRACTOR SHALL PROVIDE A SATISFACTORY SURFACE FOR TRAFFIC. WHEN CONSTRUCTION OPERATIONS ARE NOT ACTIVELY IN PROGRESS, THE CONTRACTOR SHALL MAINTAIN ALL TRAVEL LANES, BIKE LANES, AND PEDESTRIAN WALKWAYS IN THE RIGHT-OF-WAY EXCEPT WHEN OTHERWISE SHOWN ON THE PLANS.

7. COVERED PEDESTRIAN WALKWAY: THE CONTRACTOR SHALL CONTACT CITY RESIDENT ENGINEER AT (619) 627-3200 FOR INSPECTION OF ANY COVERED PEDESTRIAN WALKWAY DURING CONSTRUCTION OF SUCH WALKWAY.

8. RESTORATION OF ROADWAY: THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY NOT DESIGNATED FOR PERMANENT REMOVAL (TRAFFIC SIGNS, STRIPING, PAVEMENT MARKERS, PAVEMENT MARKINGS, LEGENDS, CURB MARKINGS, LOOP DETECTORS, TRAFFIC SIGNAL EQUIPMENT, ETC.) WHICH ARE DAMAGED OR REMOVED AS A RESULT OF OPERATIONS. REPAIRS AND REPLACEMENTS SHALL BE AT LEAST EQUAL TO EXISTING IMPROVEMENT.

9. PROVISION OF TEMPORARY TRAFFIC SIGNAL DETECTION: THE CONTRACTOR SHALL INSTALL CITY APPROVED TEMPORARY VIDEO OR RADAR DETECTION WHEN EXISTING TRAFFIC SIGNAL DETECTION SYSTEMS ARE DAMAGED, DISABLED, OR BECOME INEFFECTIVE DUE TO CONSTRUCTION ACTIVITIES FOR A PERIOD OF FIVE (5) OR MORE DAYS, SATISFACTORY TO THE CITY ENGINEER. THE CONTRACTOR SHALL COMPLETELY REMOVE ALL TEMPORARY TRAFFIC SIGNAL DETECTION EQUIPMENT AND RESTORE/INSTALL A CITY APPROVED PERMANENT VEHICLE DETECTION SYSTEM UPON COMPLETION OF CONSTRUCTION, SATISFACTORY TO THE CITY ENGINEER.

10. CHANGE IN WORK: THE CITY ENGINEER RESERVES THE RIGHT TO OBSERVE THESE TRAFFIC CONTROL PLANS IN OPERATION AND TO MAKE ANY CHANGES AS FIELD CONDITIONS WARRANT. ANY CHANGES SHALL BE DOCUMENTED AND SUPERSEDE THESE PLANS.

TRAFFIC CONTROL NOTE (LESS THAN 5000 ADT)*

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHALL BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, DEVELOPMENT SERVICE DEPARTMENT, 101 ASH STREET, SAN DIEGO. (619) 446-5150. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

STRIPING AND SIGNING GENERAL NOTES *

1. INSTALLATION OF ALL STRIPING, SIGNS AND PAVEMENT MARKERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. ALL STRIPING AND SIGNING SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE FOLLOWING MANUALS:

DESCRIPTION	EDITION	DOCUMENT NO.
STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION	2018	PWP1010119-01
CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2018 EDITION	2018	PWP1010119-03
CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (REVISION 6), 2014 EDITION	2014	PWP1060121-10

3. ALL SIGNING AND STRIPING IS SUBJECT TO THE APPROVAL OF THE CITY ENGINEER PRIOR TO INSTALLATION AND/OR REMOVAL.

4. THE CONTRACTOR SHALL REMOVE ALL CONFLICTING STRIPING, PAVEMENT MARKINGS AND LEGENDS BY SANDBLASTING AND/OR GRINDING WITH THE SEAL. ANY DEBRIS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

5. SIGN POSTS SHALL BE INSTALLED WITH SQUARE PERFORATED STEEL TUBING WITH A BREAKAWAY BASE PER CITY OF SAN DIEGO STANDARD DRAWING SDM-104.

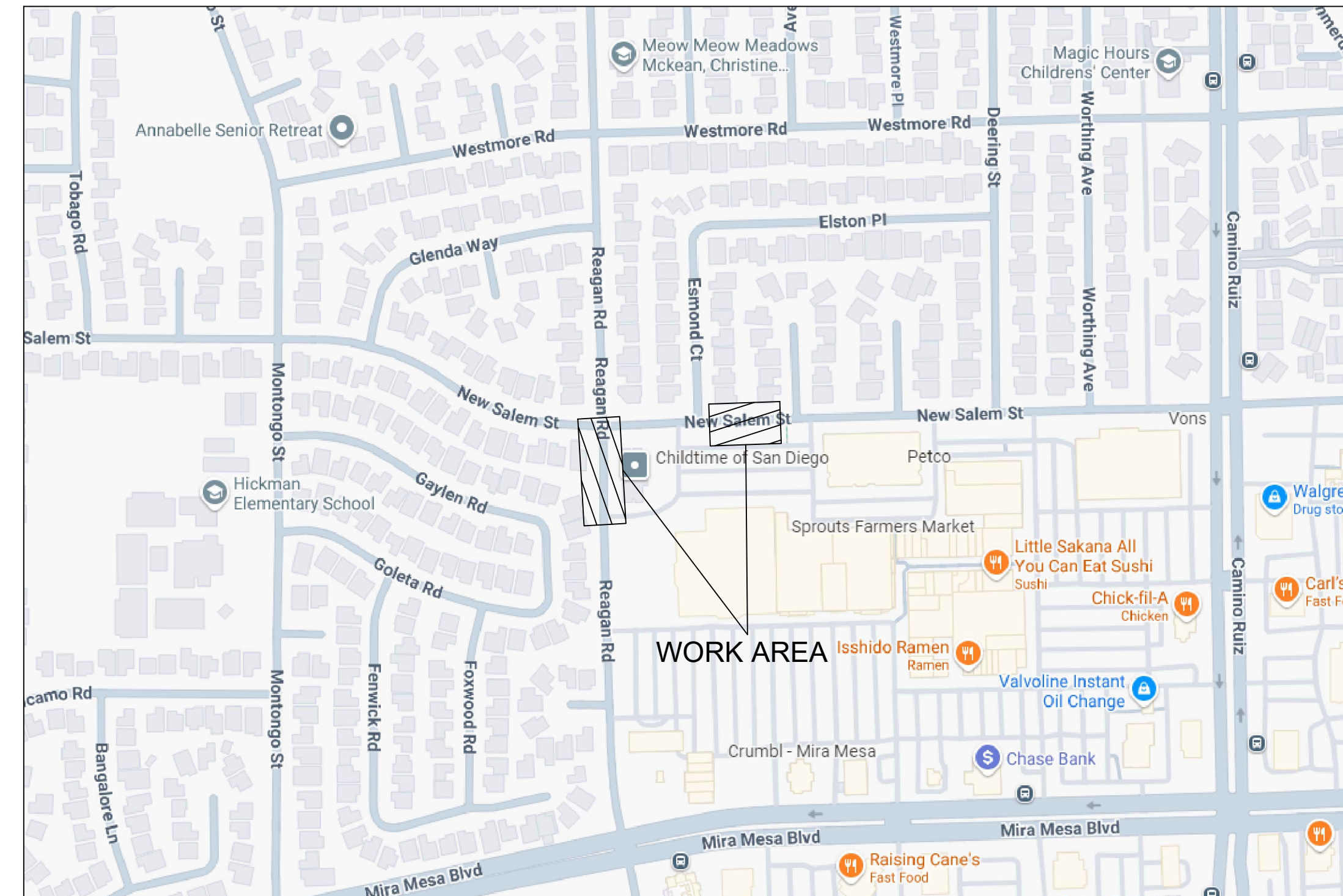
6. ALL RAISED MEDIAN NOSES SHALL BE PAINTED YELLOW.

7. ALL SIGNS SHOWN ON THE STRIPING AND SIGNING PLANS SHALL BE NEW SIGNS PROVIDED AND INSTALLED BY THE CONTRACTOR, EXCEPT FOR EXISTING SIGNS SPECIFICALLY INDICATED TO BE RELOCATED OR TO REMAIN.

8. MARKED CROSSWALKS SHALL HAVE AN INSIDE DIMENSION OF 10 FEET UNLESS INDICATED OTHERWISE.

9. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS (EXCEPT WITHIN BIKE LANES) SHALL BE THERMOPLASTIC.

10. THE CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT (858) 495-4742 A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO AND UPON COMPLETION OF STRIPING AND SIGNING.



VICINITY MAP



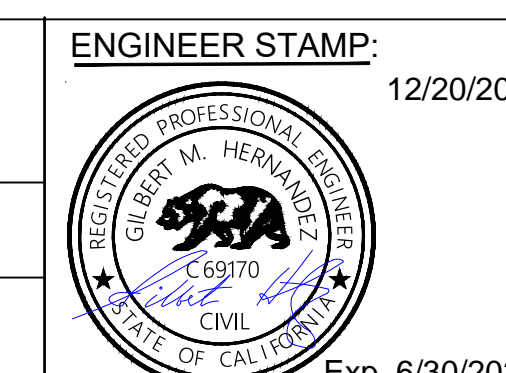
VICINITY MAP (N.T.S)

LEGEND:	
	= TYPE II BARRICADE W/SIGN
	= TRAFFIC CONE
	= HIGH LEVEL WARNING DEVICE
	= PORTABLE SIGN
	= EXISTING SIGN
	= TYPE III BARRICADES
	= TYPE III BARRICADES W/SIGN
	= FLASHING ARROW BOARD
	= FLAGGER
	= DIRECTION OF TRAFFIC FLOW
	= WORK AREA
	= POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS
	= EXISTING DRIVEWAY
	= TYPE II BARRICADE
	= EXISTING RED CURB
	= DOUBLE YELLOW LANE LINES
	= EXISTING STRIPING
	= SIGNALIZED INTERSECTION
	= EXISTING LANE FLOW DIRECTION
	= CHANGEABLE MESSAGE SIGN



PROJECT LOCATION: NEW SALEM ST. SAN DIEGO, CA	PROJECT NAME:
PRIME CONTRACTOR: KDC CONSTRUCTION	CONTACT: PAUL VAN KAMMEN (714) 309-4580

The City of SAN DIEGO	DEPARTMENT OF PUBLIC WORK
Recommended By:	Date:
Accepted By:	Date:



REV	DATE	DESCRIPTION:
FABRIZIO V.	12/16/2024	REVISED CITY COMMENTS

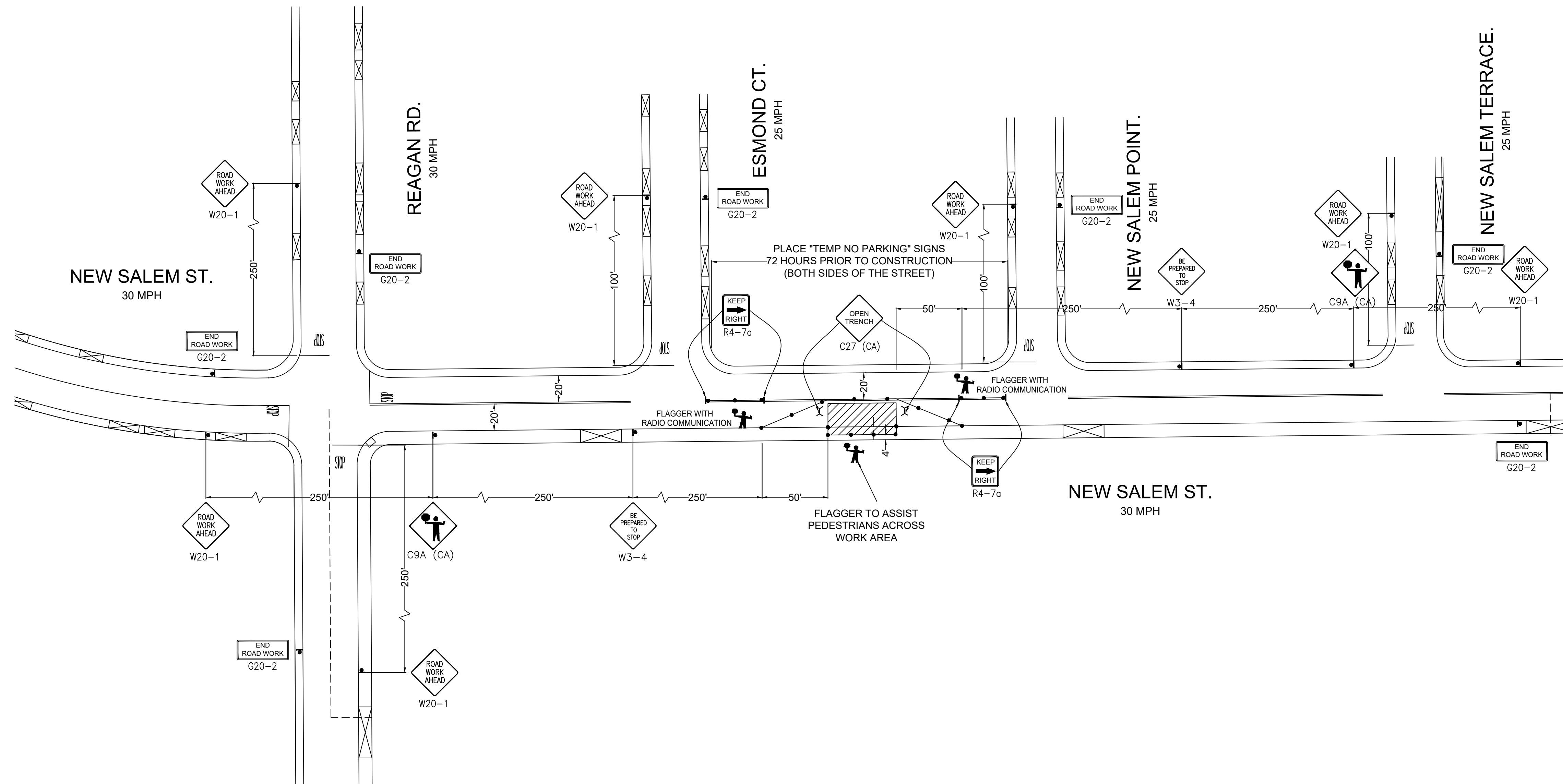
REVIEWED BY/ APPROVED BY:

CITY ENGINEER:

DRAWN BY: FABRIZIO V.	SCALE: N.T.S.
DESIGNED BY: FABRIZIO V.	DATE: 11/19/2024
CHECKED BY:	BRANCH: CA60
LICENSE: 787313 C31/D42	DRAWING NO.: 24-081FV

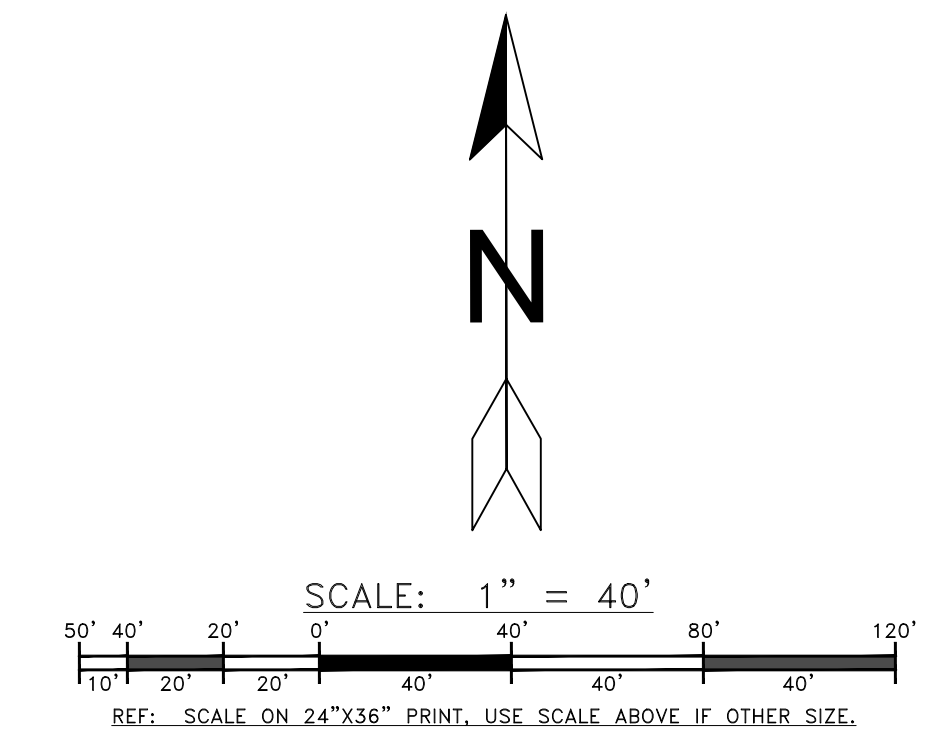
TEMPORARY TRAFFIC CONTROL PLAN CITY OF SAN DIEGO

PHASE 1



LEGEND:

	= TYPE II BARRICADE W/SIGN		= WORK AREA
	= TRAFFIC CONE		= POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS
	= PORTABLE SIGN		= EXISTING DRIVEWAY
	= CONE W/ SIGN		= DOUBLE YELLOW LANE LINES
	= EXISTING SIGN		= EXISTING STRIPING
	= TYPE III BARRICADES W/SIGN		= SIGNALIZED INTERSECTION
	= FLAGGER		= EXISTING LANE FLOW DIRECTION
	= DIRECTION OF TRAFFIC FLOW		= CHANGEABLE MESSAGE SIGN



Under Ground Service Alert of Southern California
Call: TOLL FREE 1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

NTS
TRAFFIC SOLUTIONS

PROJECT LOCATION: NEW SALEM ST. SAN DIEGO, CA	PROJECT :
PRIME CONTRACTOR: KDC CONSTRUCTION	CONTACT: PAUL VAN KAMMEN (714) 309-4580

The City of SAN DIEGO
DEPARTMENT OF PUBLIC WORK

Recommended By: _____ Date: _____

Accepted By: _____ Date: _____

ENGINEER STAMP:
12/20/2024

Exp. 6/30/2026

REV	DATE	DESCRIPTION:
FABRIZIO V.	12/16/2024	REVISED CITY COMMENTS

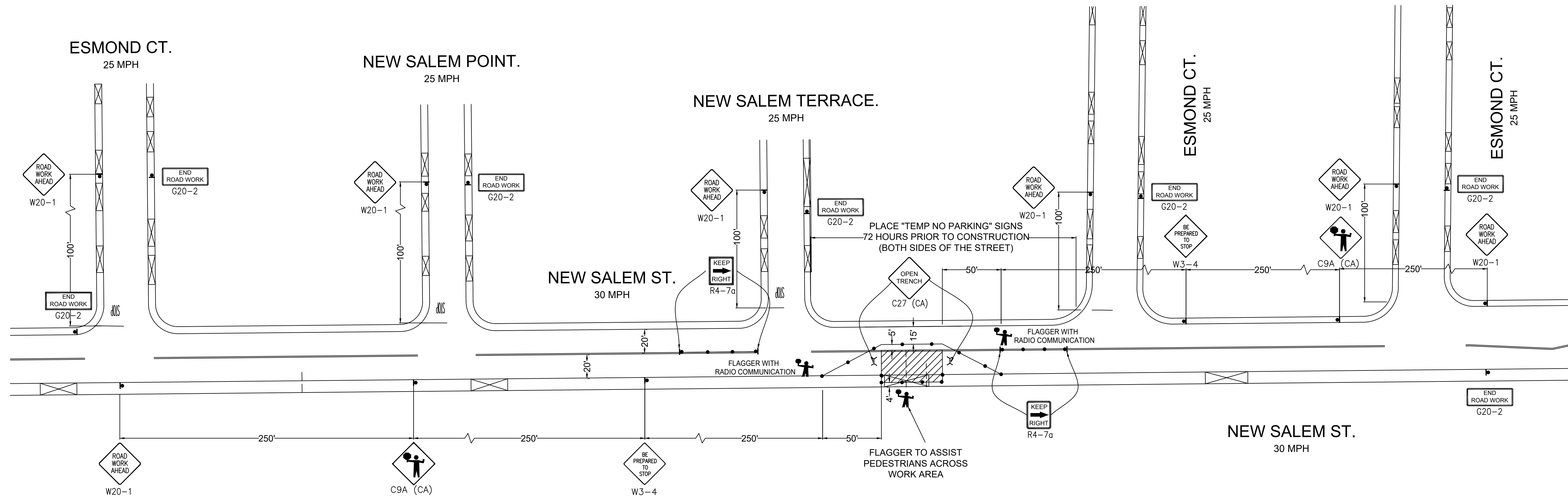
REVIEWED BY/ APPROVED BY: _____

CITY ENGINEER: _____

DRAWN BY: FABRIZIO V.	SCALE: 1"=40'
DESIGNED BY: FABRIZIO V.	DATE: 11/19/2024
CHECKED BY:	BRANCH: CA60
LICENSE: 787313 C31/D42	DRAWING NO.: 24-081FV

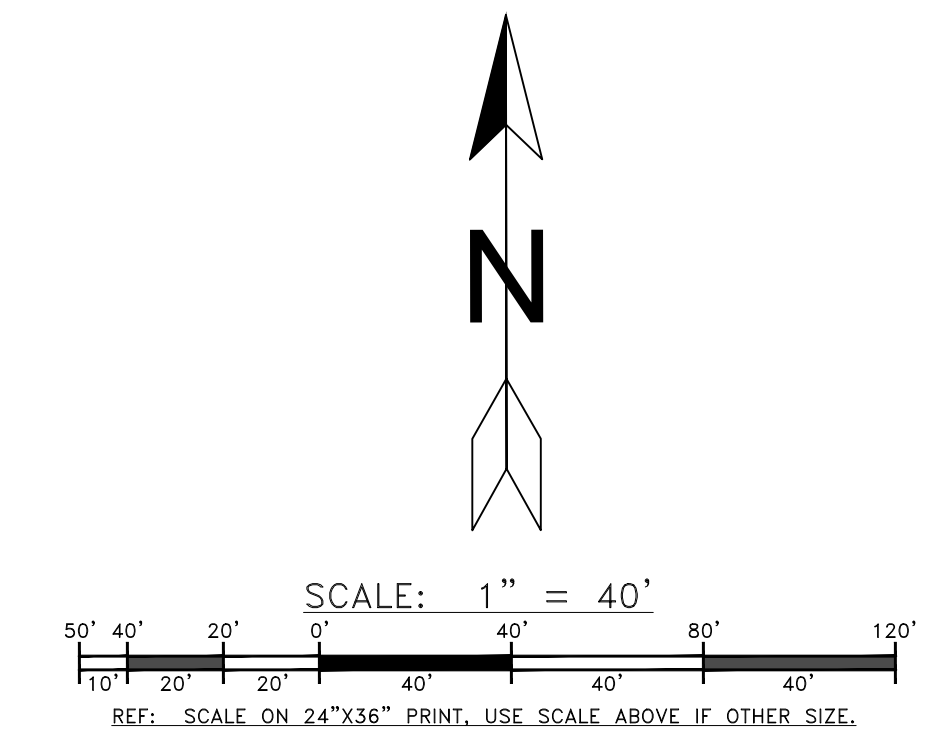
TEMPORARY TRAFFIC CONTROL PLAN CITY OF SAN DIEGO

PHASE 2



LEGEND:

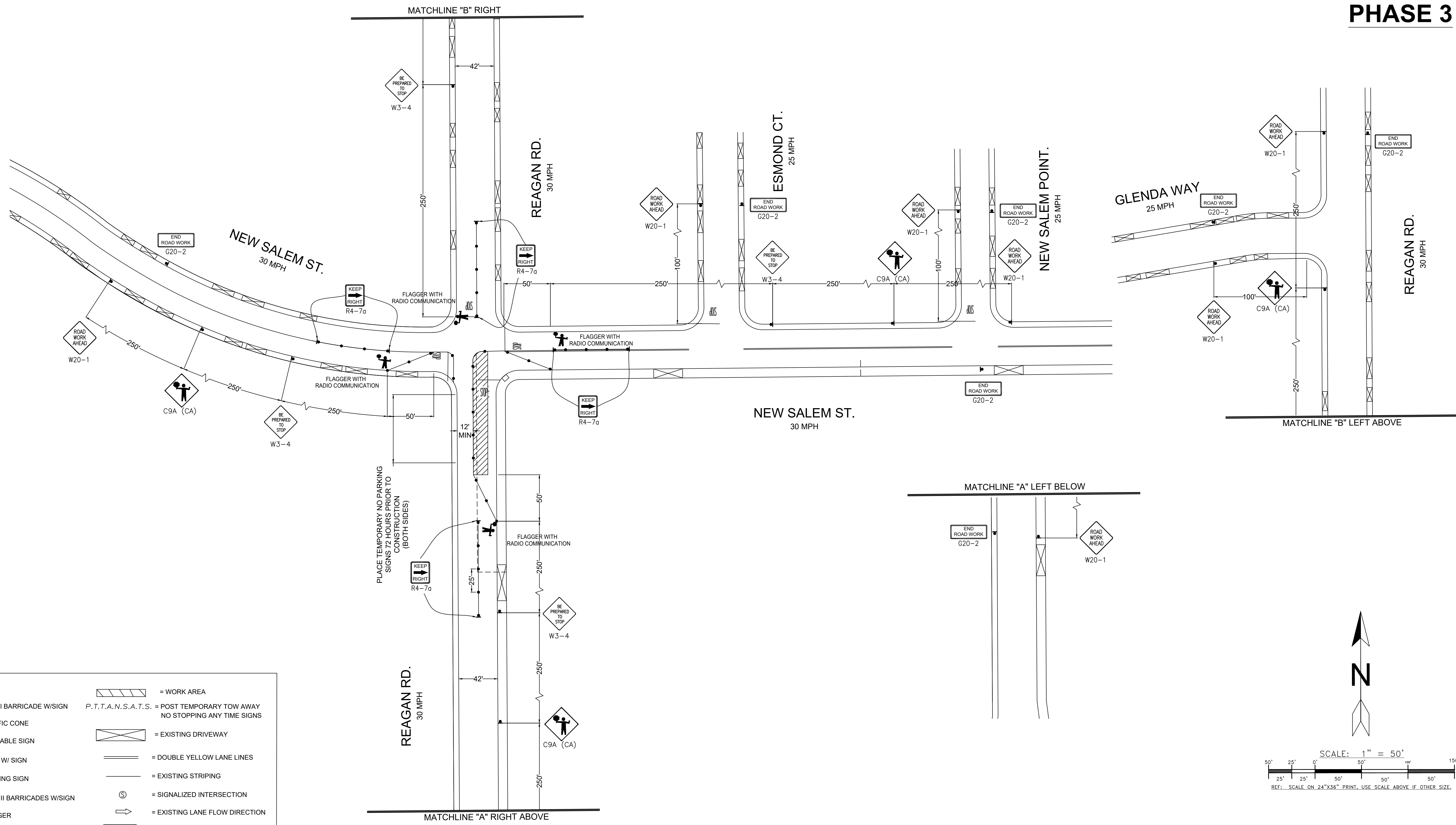
	= TYPE II BARRICADE W/SIGN		= WORK AREA
	= TRAFFIC CONE		= POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS
	= PORTABLE SIGN		= EXISTING DRIVEWAY
	= CONE W/ SIGN		= DOUBLE YELLOW LANE LINES
	= EXISTING SIGN		= EXISTING STRIPING
	= TYPE III BARRICADES W/SIGN		= SIGNALIZED INTERSECTION
	= FLAGGER		= EXISTING LANE FLOW DIRECTION
	= DIRECTION OF TRAFFIC FLOW		= CHANGEABLE MESSAGE SIGN



 Under Ground Service Alert of Southern California Call: TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG		PROJECT LOCATION: NEW SALEM ST. SAN DIEGO, CA	PROJECT : _____	 DEPARTMENT OF PUBLIC WORK	ENGINEER STAMP: 12/20/2024 	REV FABRIZIO V.	DATE 12/16/2024	DESCRIPTION: REVISED CITY COMMENTS	DRAWN BY: FABRIZIO V.	SCALE: 1"=40'
		PRIME CONTRACTOR: KDC CONSTRUCTION	CONTACT: PAUL VAN KAMMEN (714) 309-4580			Recommended By: _____ Date: _____ Accepted By: _____ Date: _____	REVIEWED BY/ APPROVED BY: CITY ENGINEER: _____	DESIGNED BY: FABRIZIO V.	DATE: 11/19/2024	BRANCH: CA60

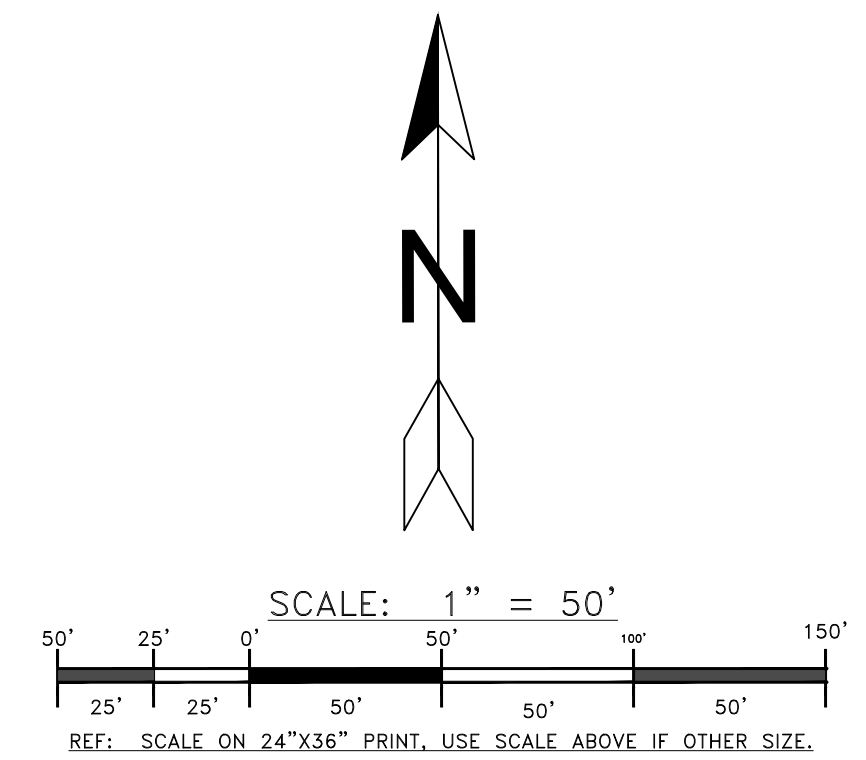
TEMPORARY TRAFFIC CONTROL PLAN CITY OF SAN DIEGO

PHASE 3



LEGEND:

	= TYPE II BARRICADE W/SIGN		= WORK AREA
	= TRAFFIC CONE		= POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS
	= PORTABLE SIGN		= EXISTING DRIVEWAY
	= CONE W/ SIGN		= DOUBLE YELLOW LANE LINES
	= EXISTING SIGN		= EXISTING STRIPING
	= TYPE III BARRICADES W/SIGN		= SIGNALIZED INTERSECTION
	= FLAGGER		= EXISTING LANE FLOW DIRECTION
	= DIRECTION OF TRAFFIC FLOW		= CHANGEABLE MESSAGE SIGN



Under Ground Service Alert of Southern California
Call: TOLL FREE 1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

NTS
TRAFFIC SOLUTIONS

PROJECT LOCATION: NEW SALEM ST. SAN DIEGO, CA	PROJECT :
PRIME CONTRACTOR: KDC CONSTRUCTION	CONTACT: PAUL VAN KAMMEN (714) 309-4580

The City of **SAN DIEGO** DEPARTMENT OF PUBLIC WORK

Recommended By: _____ Date: _____

Accepted By: _____ Date: _____

ENGINEER STAMP:
12/20/2024

REV	DATE	DESCRIPTION:
FABRIZIO V.	12/16/2024	REVISED CITY COMMENTS

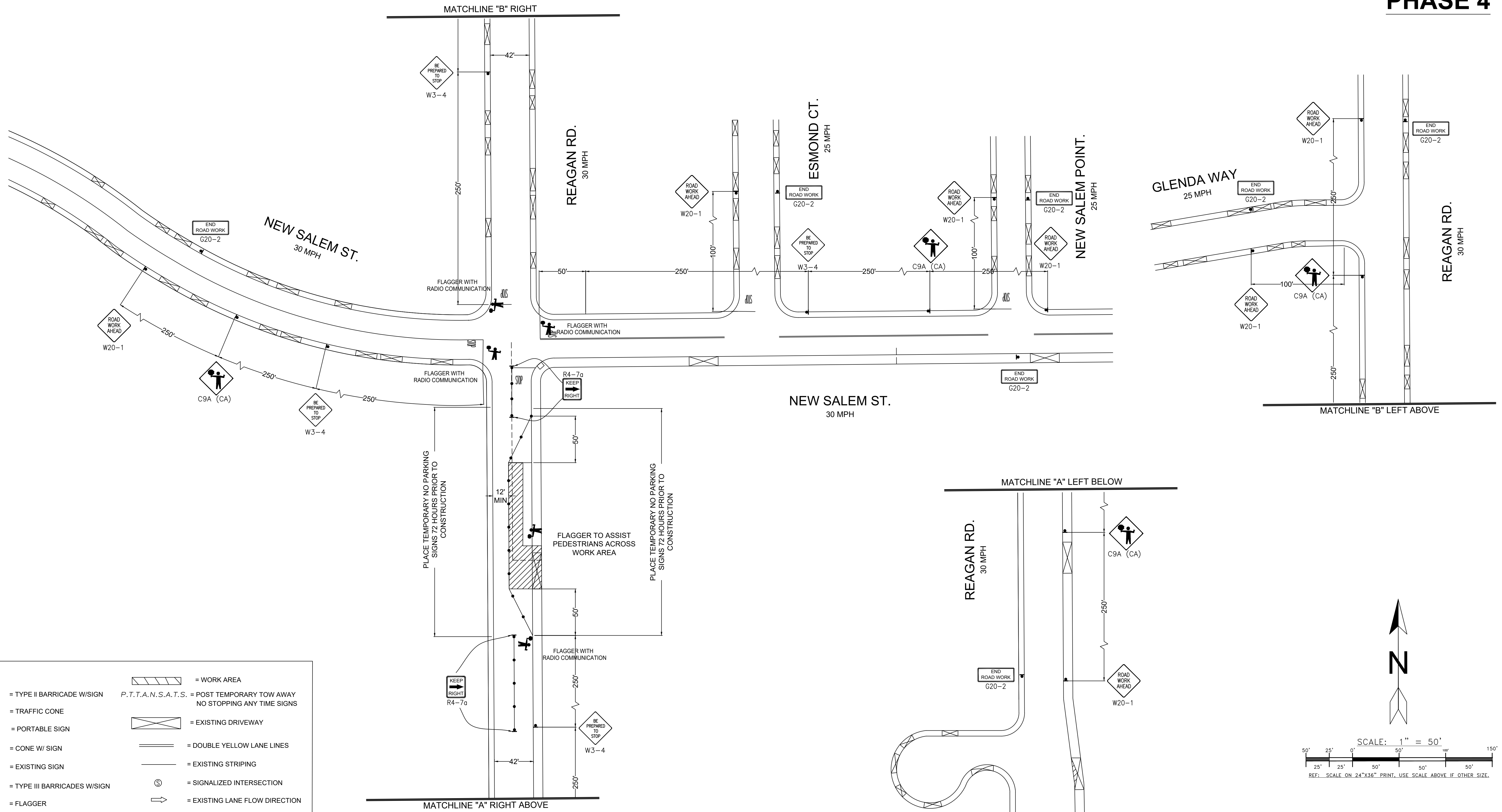
REVIEWED BY/ APPROVED BY: _____

CITY ENGINEER: _____

DRAWN BY: FABRIZIO V.	SCALE: 1"=50'
DESIGNED BY: FABRIZIO V.	DATE: 11/19/2024
CHECKED BY:	BRANCH: CA60
LICENSE: 787313 C31/D42	DRAWING NO.: 24-081FV

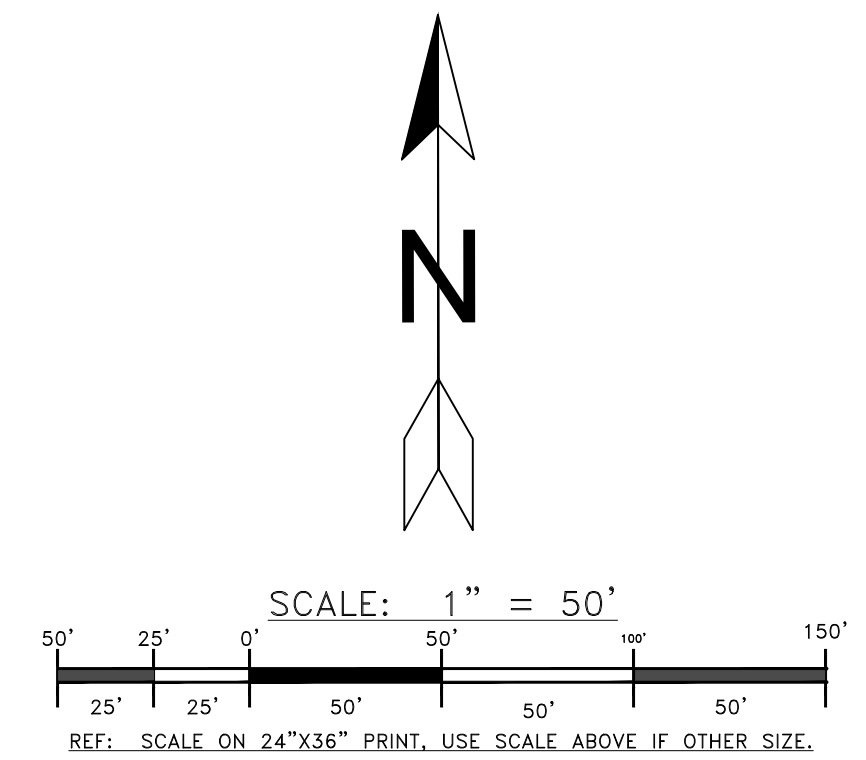
TEMPORARY TRAFFIC CONTROL PLAN CITY OF SAN DIEGO

PHASE 4



LEGEND:

	= TYPE II BARRICADE W/SIGN		= WORK AREA
	= TRAFFIC CONE		= POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS
	= PORTABLE SIGN		= EXISTING DRIVEWAY
	= CONE W/ SIGN		= DOUBLE YELLOW LANE LINES
	= EXISTING SIGN		= EXISTING STRIPING
	= TYPE III BARRICADES W/SIGN		= SIGNALIZED INTERSECTION
	= FLAGGER		= EXISTING LANE FLOW DIRECTION
	= DIRECTION OF TRAFFIC FLOW		= CHANGEABLE MESSAGE SIGN



 Under Ground Service Alert of Southern California Call: TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG		PROJECT LOCATION: NEW SALEM ST. SAN DIEGO, CA	PROJECT :	 DEPARTMENT OF PUBLIC WORK	ENGINEER STAMP: 12/20/2024	REV FABRIZIO V.	DATE 12/16/2024	DESCRIPTION: REVISED CITY COMMENTS	DRAWN BY: FABRIZIO V.	SCALE: 1"=50'
		PRIME CONTRACTOR: KDC CONSTRUCTION	CONTACT: PAUL VAN KAMMEN (714) 309-4580		Recommended By: _____ Date: _____ Accepted By: _____ Date: _____	REVIEWED BY/ APPROVED BY: CITY ENGINEER:	DESIGNED BY: FABRIZIO V.	CHECKED BY: LICENSE: 787313 C31/D42	DATE: 11/19/2024	BRANCH: CA60

Mira Mesa Utility Easement Vacation and Utility Relocation

Easement Vacation

City of San Diego, California

Prepared For: Mira Mesa
Community Planning Group

January 23, 2025

The Team

CONSULTANT TEAM



THE APPLICANT



LAND OWNER

California Property Owner I, LLC

Summary of Request

An easement vacation of four (4) existing water and sewer easements and the privatization and relocation of existing water and sewer mains.

The property owner is looking to undergo a utility infrastructure update to complete a recent reinvestment in the property. This includes the vacation of existing utility easements and the subsequent replacement and privatization of these water and sewer mains. This is consistent with the City of San Diego's desire to eliminate public utility easements running through private property.

There is no additional demand generated from the project, so no upsizing of the utilities will be required.

Recent Reinvestment

- Village at Mira Mesa is a highly trafficked, multi-anchored center, drawing an estimated 24,000 visits per day and 8.8 million visits per year based on Creditell data. Brixmor's recent reinvestment transformed the Village at Mira Mesa to better serve this densely populated San Diego suburb.
- This multi-phase redevelopment included the re-tenanting and expansion of an anchor tenant vacancy with Sprouts Farmers Market, BevMo!, Michaels (new construction with 21,300 square feet) and Five Below, with additional remodeling and façade improvement of the interior "Village Walk."
- Phase II involved demolishing the existing 6,000 square foot Firestone and 16,000 square foot outparcel buildings to make way for three new retail and restaurant outparcels totaling 24,000 square feet. New additions included Buffalo Wild Wings, Mo-MoParadise, Bafang Dumplings, Shawarma Guys, Time Warner, Sunmerry Bakery, and additional small shop space.



Brixmor Company Profile

About Us:

- Brixmor owns and operates approximately **360 retail shopping centers** across the country — centers where retailers and communities connect and thrive.

What We Do:

- We promote environmental stewardship by integrating sustainable practices and initiatives into our business operations, thereby creating long-term value for our stakeholders. We continually evaluate opportunities to **improve the environmental efficiency** of each center with an emphasis on **energy efficiency, water conservation, waste management, and resilience**.

Re/Development:

- Through our value-enhancing reinvestment program, our Re/Development team reinvigorates centers to reflect the surrounding communities, better address their needs, and enhance their connection further. Projects include dividing large anchors into multiple, smaller tenant spaces, developing new outparcels at existing centers, upgrading and re-energizing small shop spaces, adding landscaping and gathering places for customers, and making modern aesthetic improvements to improve the ambiance of our centers.

Who We Serve:

- Our properties **serve an important role in their communities** and, as such, we are deliberate and thoughtful in merchandising our properties with a robust mix of relevant non-discretionary and value-oriented retailers, as well as consumer-oriented service providers. We provide our tenants and their customers with inviting, safe, and attractive retail centers to gather, connect, and engage, both within stores and in public spaces at our centers throughout our portfolio.

Tenants:

- The success of our company is **highly dependent on the success of our tenants**. As one of the largest open-air retail landlords in the United States, we support a broad mix of over 5,000 national and regional tenants and local entrepreneurs across the country, including many vibrant new retailers added to the portfolio over the past several years. Brixmor continually assesses and tailors the resources we provide to tenants in order to provide timely, high-quality content, guidance, and support to our tenants.

Let's focus on what matters to you



Access to Options

Through one of the largest portfolios of open-air shopping centers in the U.S.



Community Focus

Matching businesses and communities that benefit each other so both thrive



Experienced Team

Led by seasoned real estate professionals with deep industry knowledge



Sustainable Practices

Dedicated to environmental best practices for our company and properties

NYSE: BRX



CHANGE

price: \$ (0.03) ↓
percent: (0.11) %



PRICE

\$ 26.32



VOLUME

942



MARKET CAP (\$M)

7,950.31

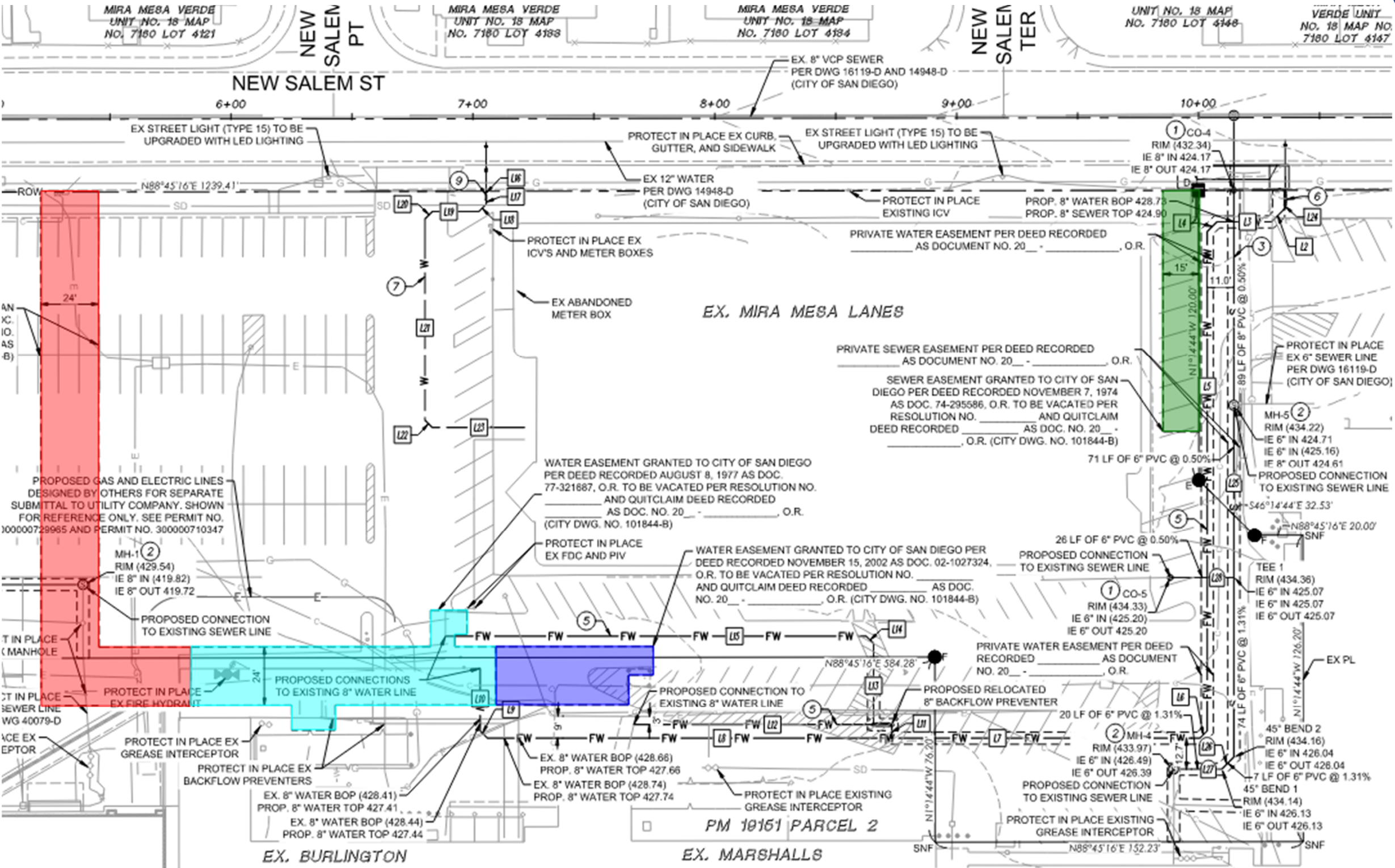
As of January 8, 2025 4:00 PM ET -- Minimum 20 minute delay.

Site Location

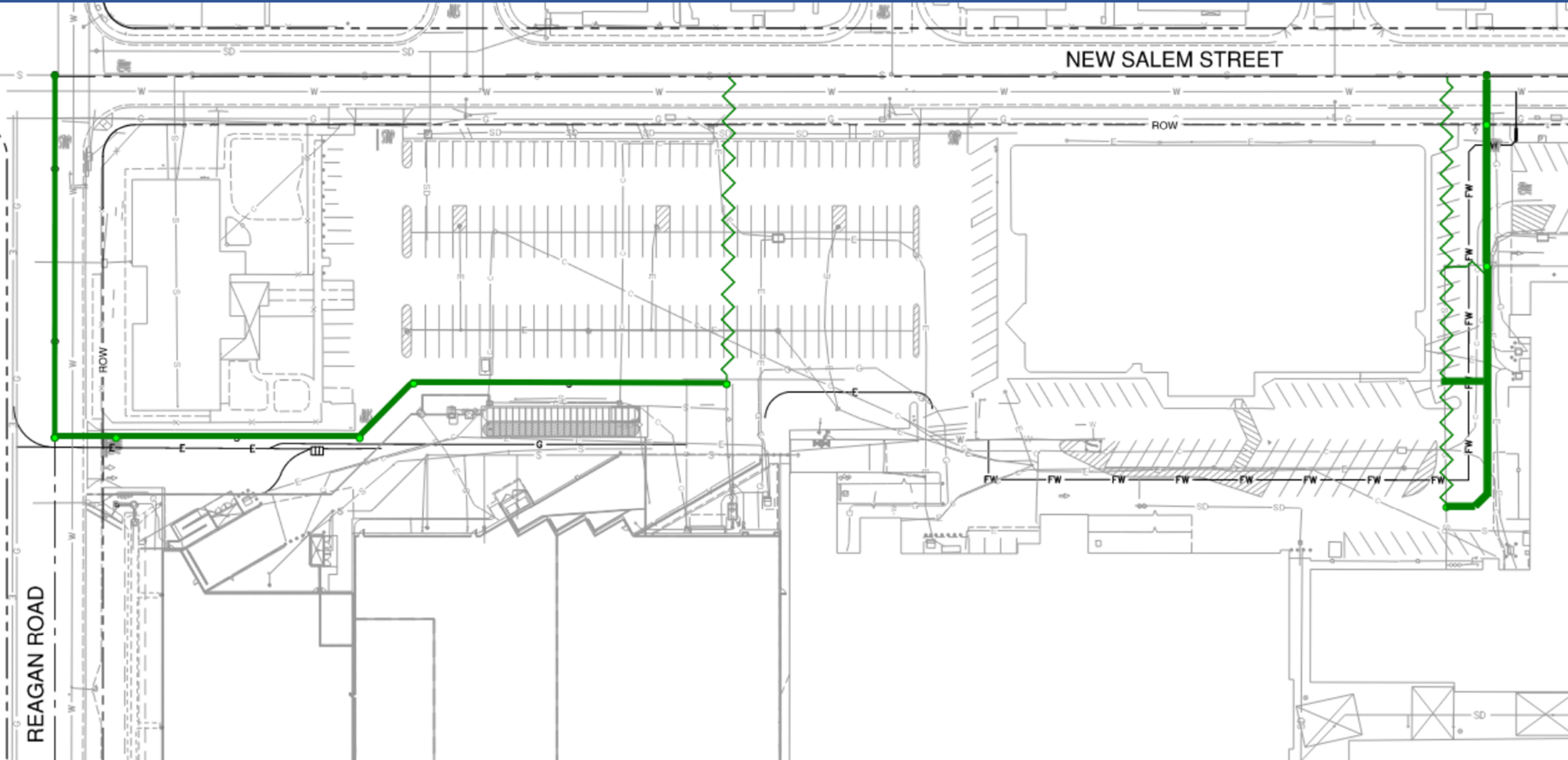
The project site is limited to the NE quadrant of Mira Mesa Mall which is bounded by New Salem St to the north and Raegan Rd to the west.



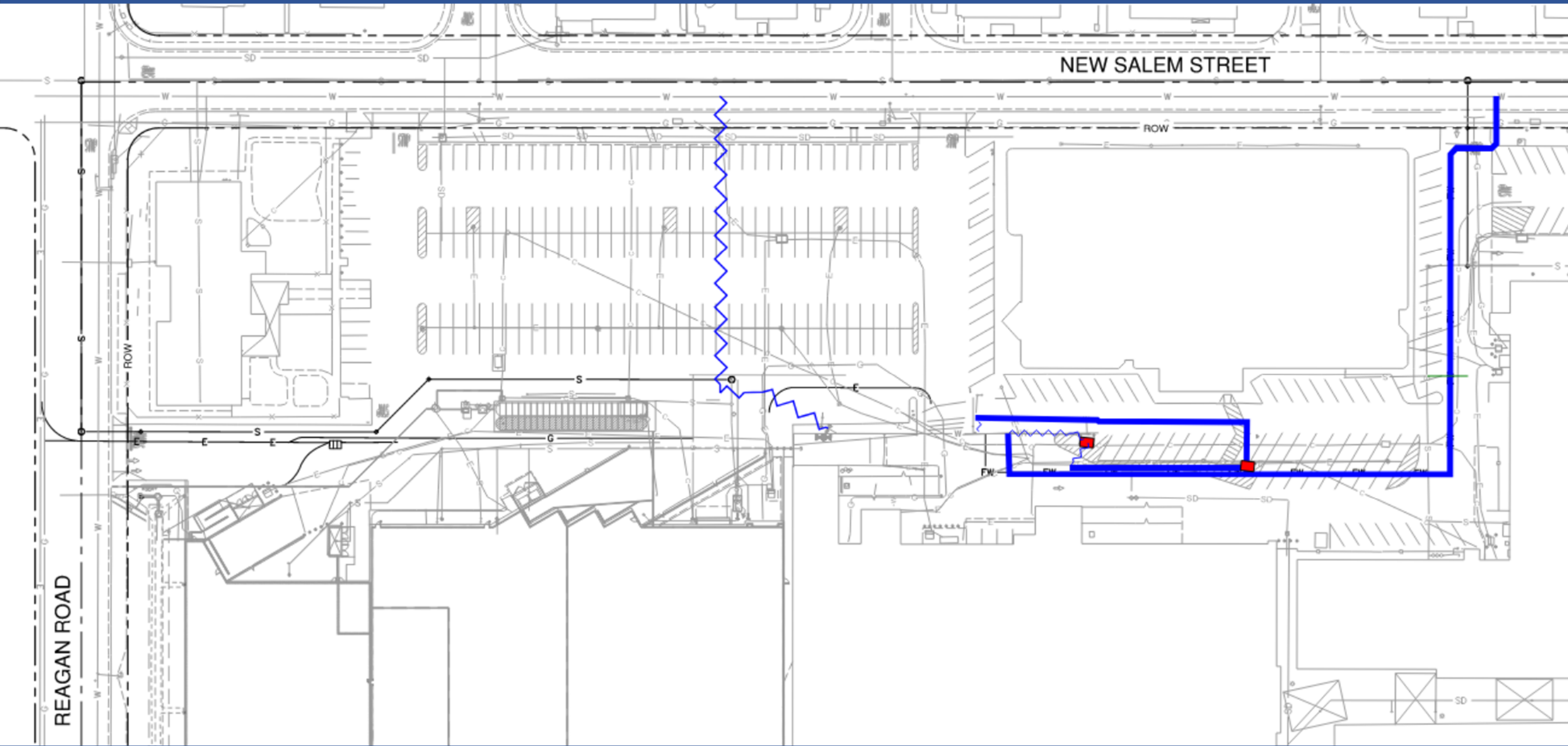
Easement Vacation Exhibit



Proposed Sewer Replacement



Proposed Water Replacement



Contact Us

Project Manager

Kyle Kragel, PE

Kimley-Horn & Associates, Inc.

Kyle.Kragel@Kimley-Horn.com

619.234.9411

QUESTIONS?

THANK YOU FOR YOUR ATTENDANCE

EXHIBIT "A"
LEGAL DESCRIPTION
SEWER AND WATER EASEMENT VACATIONS

BEING PORTIONS OF PARCELS 1 AND 2 OF PARCEL MAP NO. 19151, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY ON FEBRUARY 04, 2003, AS FILE NO. 2003-0126920, OFFICIAL RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

PARCEL A

ALL OF PARCEL 7, BEING A 15.00-FOOT-WIDE EASEMENT FOR A PUBLIC SEWER, AND INCIDENTAL PURPOSES THEREIN, AS PER THAT CERTAIN EASEMENT TO THE CITY OF SAN DIEGO, AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 07, 1974, AS INSTRUMENT NO. 74-295586, OFFICIAL RECORDS OF SAID COUNTY.

CONTAINING AN AREA OF 150 SQUARE FEET (0.034 ACRES), MORE OR LESS.

PARCEL B

ALL OF PARCEL 8, BEING A 24.00-FOOT-WIDE EASEMENT FOR A WATER MAIN OR MAINS, AND INCIDENTAL PURPOSES THEREIN, AS PER THAT CERTAIN EASEMENT TO THE CITY OF SAN DIEGO, AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 07, 1974, AS INSTRUMENT NO. 74-295586, OFFICIAL RECORDS OF SAID COUNTY.

CONTAINING AN AREA OF 6,012 SQUARE FEET (0.138 ACRES), MORE OR LESS.

EXHIBIT "A"
LEGAL DESCRIPTION
SEWER AND WATER EASEMENT VACATIONS

PARCEL C

A VARIABLE WIDTH EASEMENT FOR A WATER MAIN OR MAINS, AND INCIDENTAL PURPOSES THEREOF, AS PER THAT CERTAIN EASEMENT TO THE CITY OF SAN DIEGO, AS SET FORTH IN A DOCUMENT RECORDED AUGUST 08, 1977, AS INSTRUMENT NO, 77-321687 OFFICIAL RECORDS OF SAID COUNTY.

CONTAINING AN AREA OF 3,413 SQUARE FEET (0.078 ACRES), MORE OR LESS.

PARCEL D

PARCEL B, BEING A VARIABLE WIDTH EASEMENT FOR WATER FACILITIES, AND INCIDENTAL PURPOSES THEREIN, AS PER THAT CERTAIN EASEMENT TO THE CITY OF SAN DIEGO, AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 15, 2002, AS INSTRUMENT NO, 02-1027324 OFFICIAL RECORDS OF SAID COUNTY.

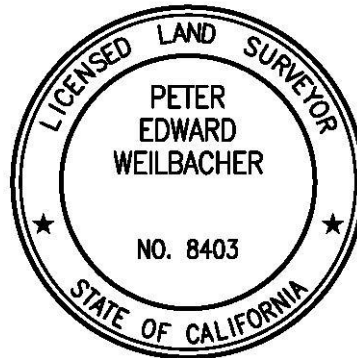
CONTAINING AN AREA OF 1,435 SQUARE FEET (0.033 ACRES), MORE OR LESS.

ATTACHED HERETO IS A DRAWING NO. 101844-B AND BY THIS REFERENCE MADE A PART HEREOF.

THIS DESCRIPTION HAS BEEN PREPARED BY ME,
OR UNDER MY DIRECTION ON JANUARY 06, 2025.

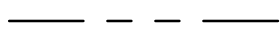
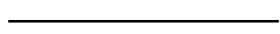
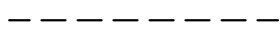

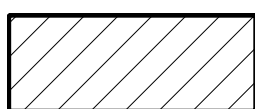
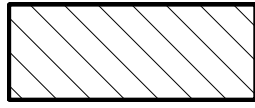
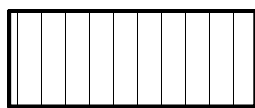
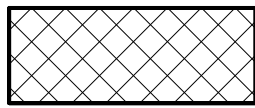
PETER E. WEILBACHER, PLS 8403

PRJ NO.: 1120521
PMT NO.: 3316895
DRAWING NO.: 101844-B



LINE TABLE		
LINE	BEARING	LENGTH
L1	N88°46'25"E	24.00'
L2	N01°13'35"W	24.00'
L3	N88°46'25"E	38.00'
L4	N88°46'25"E	41.50'
L5	N01°13'35"W	10.50'
L6	N88°46'25"E	18.00'
L7	N01°13'35"W	10.50'
L8	N01°13'35"W	24.00'
L9	N88°46'25"E	17.00'
L10	N01°13'35"W	5.00'
L11	N88°46'25"E	5.00'
L12	N01°13'35"W	10.00'
L13	N88°46'25"E	15.00'
L14	N01°13'35"W	15.00'
L15	N01°13'55"W	11.77'
L16	N88°46'05"E	10.21'
L17	N01°13'55"W	12.23'
L18	N88°46'05"E	54.80'
L19	N01°13'35"W	20.00'
L20	N88°46'25"E	15.00'
L21	N88°46'25"E	15.00'

LEGEND

-  RIGHT OF WAY
-  LOT LINE
-  EASEMENT
-  CENTER LINE
-  PARCEL A: PARCEL 7 SEWER EASEMENT
PER DEED RECORDED 11/07/1974
AS FILE/PAGE 74-295586, O.R.
VACATED AREA 0.034 ACRES
-  PARCEL 8: (WATER AND SEWER EASEMENT)
PER DEED RECORDED 11/08/1974
AS FILE/PAGE 1974-295586, O.R.
VACATED AREA 0.138 ACRES
-  PARCEL C: WATER EASEMENT
PER DEED RECORDED 08/08/1977
AS FILE/PAGE 1977-321687, O.R.
VACATED AREA 0.078 ACRES
-  PARCEL D: WATER EASEMENT
PER DEED RECORDED 11/15/2002
AS DOC. NO. 2002-1027324, O.R.
VACATED AREA 0.033 ACRES

BASIS OF BEARINGS

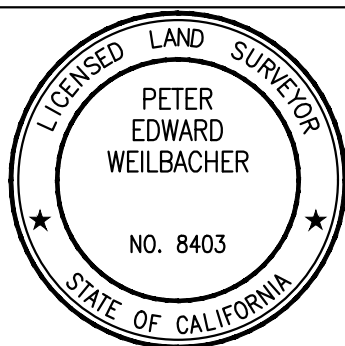
THE BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD PER DEEDS RECORDED:

- NOVEMBER 7, 1974, AS FILE/PAGE 74-295586, O.R.
- AUGUST 8, 1977, AS FILE/PAGE 77-321687, O.R.
- NOVEMBER 15, 2002, AS DOCUMENT NO. 2002-1027324, O.R.

REFERENCES

PARCEL MAP NO. 19151
CITY OF SAN DIEGO DRAWING 19755-2-B
APN 311-320-66 & 311-320-68

PBLA SURVEYING, INC
981 CORPORATE CENTER DRIVE
SUITE 168
POMONA, CA 91768
(888) 714-9642



RESOLUTION No. _____
RECORDED _____
DOCUMENT No. _____
RECORDED _____

PETER E. WEIBACHER P.L.S. 8403 DATE

EXHIBIT "B" - SEWER AND WATER EASEMENT VACATIONS

PARCEL MAP NO. 19151, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 4, 2003, AS FILE NO. 03-0126920, OFFICIAL RECORDS SAID COUNTY.

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA		PRJ 1120521
ORIGINAL					SHEET 2 OF 2 SHEETS		PMT 3316895
					FOR CITY LAND SURVEYOR DATE		1912-6283
							CCS 83 COORDINATES
							272-1723
							NAD 27 COORDINATES
STATUS					101844-B		B002

PROJECT TEAM

CLIENT REPRESENTATIVE:
T-MOBILE
1441 MONTEL RD, STE 141,
ESCONDIDO, CA 92026

RF ENGINEER:
T-MOBILE
1441 MONTEL RD, STE 141,
ESCONDIDO, CA 92026
CONTACT: PEDRO ABE
EMAIL: PEDRO.ABE@T-MOBILE.COM

T-MOBILE PROJECT MANAGER:
T-MOBILE
1441 MONTEL RD, STE 141,
ESCONDIDO, CA 92026
CONTACT: WENDY URQUIZA
PHONE: PENDING
EMAIL: wendyurquiza@T-MOBILE.com

CONSTRUCTION MANAGER:
T-MOBILE
1441 MONTEL RD, STE 141,
ESCONDIDO, CA 92026
CONTACT: MICHAEL SEBESTA
EMAIL: michael.sebesta@T-MOBILE.com

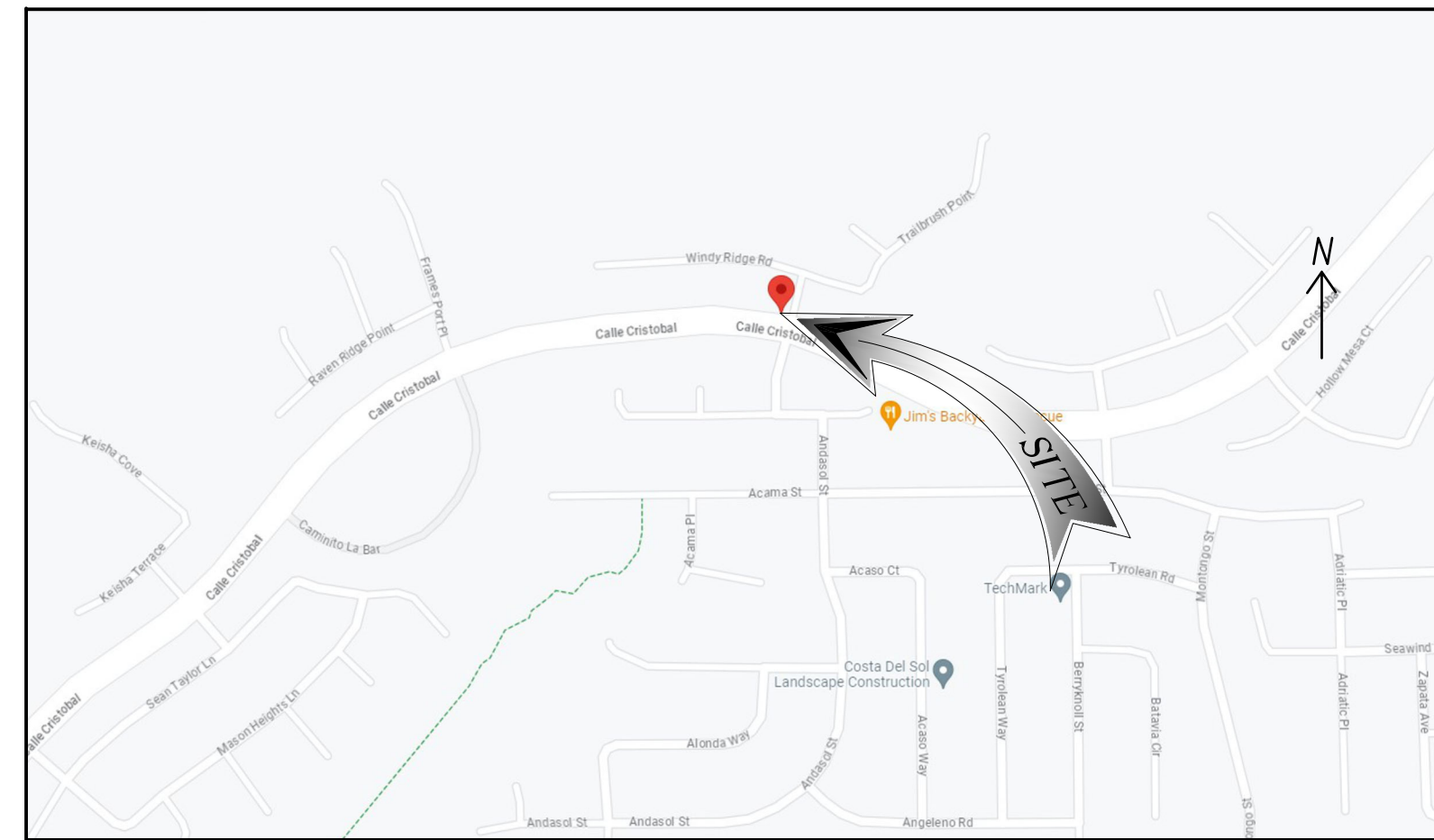
ENGINEER:
M SQUARED WIRELESS
1387 CALLE AVANZADO
SAN CLEMENTE, CA 92673
CONTACT: MICHAEL MONTELLO
PHONE: (949) 391-6824
EMAIL: Michael@msquaredwireless.com

LEASING CONSULTANT:
PWC
CONTACT: FELICIA PHILLIPS
PHONE: (714) 791-6643
EMAIL: fphillips@pwc-ca.com

LAND USE CONSULTANT:
PWC
CONTACT: MARK PHILLIPS
PHONE: (619) 379-3473
EMAIL: mphilips@pwc-ca.com

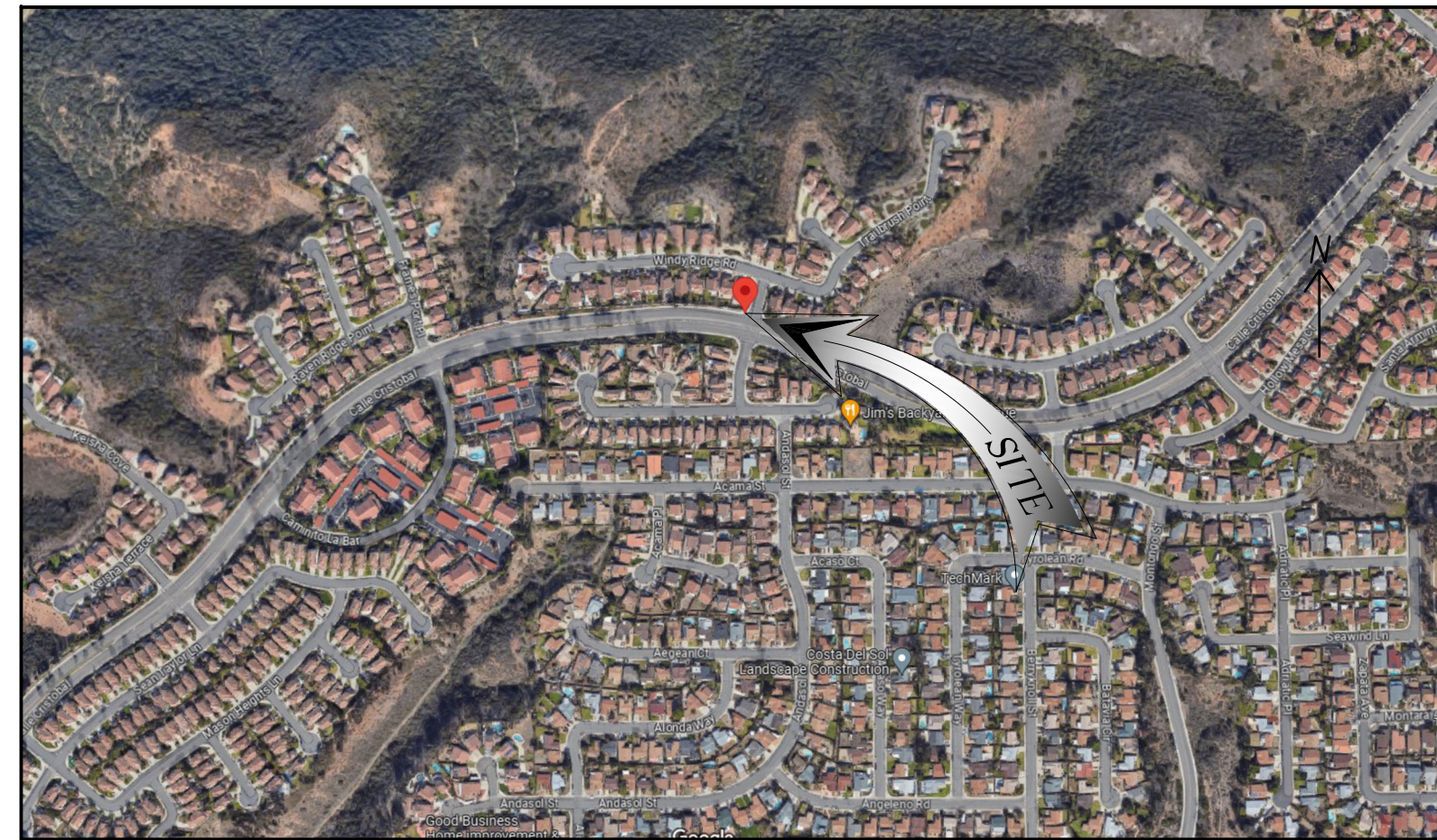
ZONING PLAN FOR:
WINDY RIDGE ROW
PROJECT : ANCHOR + L1900/600

SITE ADDRESS : 7598 1/3 CALLE CRISTOBAL
SAN DIEGO, CA 92126
SITE TYPE : LIGHT POLE ROW
SITE NO. : SD07290A



VICINITY MAP

NOT TO SCALE



SITE IMAGE

NOT TO SCALE

DIRECTIONS TO SITE

DIRECTIONS FROM SD T-MOBILE OFFICE (7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126):

1. HEAD NORTH TOWARD MONTEL RD
2. TURN RIGHT TOWARD MONTEL RD
3. TURN LEFT ONTO MONTEL RD
4. USE THE LEFT 2 LANES TO TURN LEFT ONTO NORDAHL RD
5. USE THE LEFT 2 LANES TO TURN LEFT TO MERGE ONTO CA-78 E/STATE HWY 78 E
6. MERGE ONTO CA-78 E/STATE HWY 78 E
7. USE THE RIGHT 2 LANES TO TAKE EXIT 17A TO MERGE ONTO I-15 S TOWARD SAN DIEGO
8. TAKE EXIT 16 FOR MIRA MESA BLVD.
9. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO MIRA MESA BLVD
10. TURN RIGHT ONTO PROPOSED SALEM ST
11. TURN RIGHT ONTO CAMINO RUIZ
12. USE THE LEFT 2 LANES TO TURN LEFT ONTO CALLE CRISTOBAL
13. DESTINATION WILL BE ON THE RIGHT ON THE CORNER OF CALLE CRISTOBAL AND WINDY RIDGE RD.

OWNER/APPLICANT

T-MOBILE
1441 MONTEL RD, STE 141, ESCONDIDO, CA 92026

REFERENCE DRAWINGS

REFERENCE DRAWING DESCRIPTION: XXXXX-D

SITE ADDRESS

7598 1/3 CALLE CRISTOBALSAN DIEGO, CA 92126

SHEET INDEX

SHEET	DC	DESCRIPTION
1	G01	COVER SHEET
2	G02	STORM WATER QUALITY NOTES-CONSTRUCTION BMPs
3	G03	STORM WATER QUALITY NOTES-CONSTRUCTION BMPs
4	LA01	LANDSCAPE PLAN
5	LA02	IRRIGATION NOTES
6	LA03	IRRIGATION PLAN
7	C01	EROSION CONTROL PLAN
8	A01	EXISTING SITE PLAN
9	A01.1	PROPOSED SITE PLAN
10	A02	EQUIPMENT LAYOUT
11	A03	ANTENNA LAYOUT
12	A04	ELEVATION
13	A05	ELEVATION

DISCIPLINE CODE(DC)

GENERAL	G
CIVIL	C
LANDSCAPE	L
TRAFFIC	T
STRUCTURAL	S
ELECTRICAL	E
MECHANICAL	M
ARCHITECTURAL	A
DETAILS	D

SITE INFORMATION

LATITUDE	32.928222
LONGITUDE	-117.158661
ZONING	RS-1-14
JURISDICTION	CITY OF SAN DIEGO
PARCEL NUMBER	ROW
TYPE OF CONSTRUCTION	V-1
OCCUPANCY	U
ADJACENT APN:	3095535400
PROPERTY OWNER	CITY OF SAN DIEGO 1200 3RD AVE, STE 1700, SAN DIEGO, CA 92129 (619) 236-6081

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES: 2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA EXISTING BUILDING CODE

SCOPE OF WORK

T-MOBILE PROPOSES TO MODIFY AN EXISTING UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- ROOFTOP SCOPE OF WORK**
- REMOVE (3) EXISTING T-MOBILE PANEL ANTENNAS, (1) PER SECTOR
 - REMOVE (3) EXISTING T-MOBILE T.MAS, (1) PER SECTOR
 - INSTALL (3) PROPOSED T-MOBILE PANEL ANTENNAS, (1) PER SECTOR
 - INSTALL (3) PROPOSED T-MOBILE COMMSCOPE SMART BIAS TMA
- GROUND SCOPE OF WORK**
- REMOVE (1) EXISTING RBS 6101 CABINET
 - REMOVE (6) EXISTING RUS01 B4 W/N RBS 6101 CABINET
 - INSTALL (1) PROPOSED POWER B160 BATTERY CABINET
 - INSTALL (1) PROPOSED 6160 EQUIPMENT CABINET
 - INSTALL (3) PROPOSED T-MOBILE MICRODATA QUAD DIPLEXER M154844
 - INSTALL (2) PROPOSED T-MOBILE RRHS 8863 B41
 - INSTALL (3) PROPOSED T-MOBILE RRHS 4480 B71 B85
 - INSTALL (3) PROPOSED T-MOBILE RRHS 4480 B25 B66
 - INSTALL (2) PROPOSED T-MOBILE RP 6651 INSIDE PROPOSED 6160 EQUIPMENT CABINET
 - INSATALL (1) PROPOSED T-MOBILE 6601 BASEBAND UNIT INSIDE PROPOSED 6160 CABINET
 - INSTALL (1) PROPOSED T-MOBILE IXR6 ROUTER INSIDE PROPOSED 6160 CABINET
 - INSTALL (1) PROPOSED T-MOBILE DUG20 INSIDE PROPOSED 6160 CABINET
 - INSTALL (2) PROPOSED T-MOBILE 8X24 HCS
 - INSTALL (12) PROPOSED NORTHSTAR NSB 190FT BATTERIES INSIDE B160 CABINET
 - INSTALL (2) PROPOSED SERVICE TECH LIGHTS

PROJECT VALUATION: \$40,000

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PMPI010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
PMPI010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2018 EDITION
PMPI010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION
PMPI060121-10	CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES REVISION 6(CA MUTCD REV6), 2014 EDITION
PMPI092816-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

LEGEND

EXISTING IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPERTY LINE		—●—
STREET LIGHT (SDE-101)		—○—
HANDHOLE		—X—X—
EXISTING ROAD		—X—X—
FENCE LINE		—X—X—
CABLE		—X—X—
U/G WATER UTILITY		—X—X—
U/G ELECTRICAL UTILITY		—X—X—
U/G TELCO UTILITY		—X—X—
U/G GAS UTILITY		—X—X—

PROPOSED IMPROVEMENTS

ITEM	STANDARD DWGS.	SYMBOL
N/A		

GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICES.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (658) 627-3200.
10. CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHESAPEAKE DRIVE, SAN DIEGO, CA 92123.
14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
15. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
16. CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-PROPOSED" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH PROPOSED BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL PROPOSED METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, PROPOSED BOXES AND LIDS SHALL BE INSTALLED.
19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.
22. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

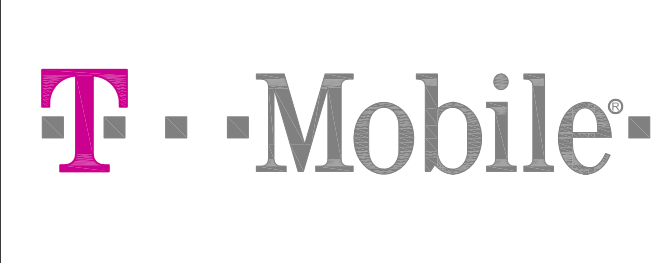
TITLE SHEET FOR:

WINDY RIDGE ROW
7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

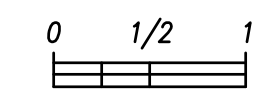
SHEET 1 OF 13 SHEETS

PRJ NO. PRJ-1116638

PMT NO. -----



CONSTRUCTION CHANGE TABLE			CC NO.
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	



IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



G01

STORM WATER QUALITY NOTES=CONSTRUCTION BMPs*

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
 2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
 3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
 6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 7. THE CONTRACTOR SHALL PROTECT PROPOSED AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
 8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
 9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
 11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
 16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
 17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
- (a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

ABBREVIATIONS:

A.B.	ANCHOR BOLT	S.S.	STAINLESS STEEL
ABV.	ABOVE	STD.	STANDARD
ACCA	ANTENNA CABLE COVER ASSEMBLY	STL.	STEEL
ADD'L	ADDITIONAL	STRUC.	STRUCTURAL
A.F.F.	ABOVE FINISHED FLOOR	TEMP.	TEMPORARY
A.F.G.	ABOVE FINISHED GRADE	THK.	THICKNESS
ALUM.	ALUMINUM	T.N.	TOP OF ANTENNA
ALT.	ALTERNATE	T.O.A.	TOP OF ANTENNA
ANT.	ANTENNA	T.O.C.	TOP OF CURB
APPRX.	APPROXIMATE(LY)	T.O.F.	TOP OF FOUNDATION
ARCH.	ARCHITECT(URAL)	T.O.P.	TOP OF PLATE (PARAPET)
AWG.	AMERICAN WIRE GAUGE	T.O.S.	TOP OF STEEL
BLDG.	BUILDING	T.O.W.	TOP OF WALL
BLK.	BLOCK	TYP.	TYPICAL
BLKG.	BLOCKING	U.G.	UNDER GROUND
BM.	BEAM	U.L.	UNDERWRITERS LABORATORY
B.N.	BOUNDARY NAILING	U.N.O.	UNLESS NOTED OTHERWISE
B.TOW.	BARE TINNED COPPER WIRE	V.I.F.	VERIFY IN FIELD
B.O.F.	BOTTOM OF FOOTING	W.	WIDTH
B/U	BACK-UP CABINET	W/W.	WITH WOOD
CAB.	CABINET	WD.	WEATHERPROOF
CANT.	CANTILEVER(ED)	W.P.	WEIGHT
C.I.P.	CAST IN PLACE	WT.	WEIGHT
CLG.	CLEAR	W.	WOOD
CLR.	COLUMN	WT.	WEIGHT
COL.	CONCRETE	W.	WOOD
CONC.	CONCRETE CONNECTION(OR)	WT.	WEIGHT
CONST.	CONSTRUCTION	WT.	WEIGHT
CONT.	CONTINUOUS	WT.	WEIGHT
DBL.	DOUBLE	WT.	WEIGHT
DEPT.	DEPARTMENT	WT.	WEIGHT
D.F.	DIAMETER	WT.	WEIGHT
DIA.	DIAGONAL	WT.	WEIGHT
DIAG.	DIMENSION	WT.	WEIGHT
DM.	DRAWING(S)	WT.	WEIGHT
DWG.	DOWEL(S)	WT.	WEIGHT
DWL.	EACH	WT.	WEIGHT
EA.	ELEVATION	WT.	WEIGHT
EL.	ELECTRICAL	WT.	WEIGHT
ELEC.	ELEVATOR	WT.	WEIGHT
ELEV.	ELECTRICAL METALLIC TUBING	WT.	WEIGHT
EMT.	EDGE NAIL	WT.	WEIGHT
E.N.	ENGINEER	WT.	WEIGHT
ENG.	EQUAL	WT.	WEIGHT
EQ.	EXPANSION	WT.	WEIGHT
EXP.	EXISTING	WT.	WEIGHT
EXST.	EXISTING	WT.	WEIGHT
EXT.	EXTERIOR	WT.	WEIGHT
FAB.	FABRICATION(OR)	WT.	WEIGHT
F.F.	FINISH FLOOR	WT.	WEIGHT
F.F.	FINISH GRADE	WT.	WEIGHT
FIN.	FINISHED	WT.	WEIGHT
FLR.	FLOOR	WT.	WEIGHT
FDN.	FOUNDATION	WT.	WEIGHT
F.O.C.	FACE OF CONCRETE	WT.	WEIGHT
F.O.M.	FACE OF MASONRY	WT.	WEIGHT
F.O.S.	FACE OF STUD	WT.	WEIGHT
F.O.W.	FACE OF WALL	WT.	WEIGHT
FRP.	FIBER REINFORCED POLYMER	WT.	WEIGHT
F.S.	FINISH SURFACE	WT.	WEIGHT
FT.(')	FOOT (FEET)	WT.	WEIGHT
FTG.	FOOTING	WT.	WEIGHT
GA.	GROWTH (CABINET)	WT.	WEIGHT
G.F.I.	GAUGE	WT.	WEIGHT
GLU.	GALVANIZE(D)	WT.	WEIGHT
(GLU-LAM)	GROUND FAULT CIRCUIT INTERRUPTER	WT.	WEIGHT
GPS	GLUE LAMINATED BEAM	WT.	WEIGHT
GRND.	GLOBAL POSITIONING SYSTEM	WT.	WEIGHT
HCS	GROUND	WT.	WEIGHT
HDR.	HYBRID CABLE SYSTEM	WT.	WEIGHT
HGR.	HEADER	WT.	WEIGHT
HT.	HANGER	WT.	WEIGHT
ICGB.	HEIGHT	WT.	WEIGHT
IN.(')	ISOLATED COPPER GROUND BUS	WT.	WEIGHT
INT.	INCH(ES)	WT.	WEIGHT
INT.	INTERIOR	WT.	WEIGHT
LB.(#)	POUND(S)	WT.	WEIGHT
L.B.	LAG BOLTS	WT.	WEIGHT
L.F.	LINEAR FEET (FOOT)	WT.	WEIGHT
MAS.	LONG(TUDINAL)	WT.	WEIGHT
MAX.	MASONRY	WT.	WEIGHT
M.B.	MAXIMUM	WT.	WEIGHT
MECH.	MACHINE BOLT	WT.	WEIGHT
MFR.	MECHANICAL	WT.	WEIGHT
MIN.	MANUFACTURER	WT.	WEIGHT
MISC.	MINIMUM	WT.	WEIGHT
MTL.	MISCELLANEOUS	WT.	WEIGHT
PROPOSED	METAL	WT.	WEIGHT
NO.(#)	PROPOSED	WT.	WEIGHT
N.T.S.	NUMBER	WT.	WEIGHT
O.C.	NOT TO SCALE	WT.	WEIGHT
OPNG.	ON CENTER	WT.	WEIGHT
P/C	OPENING	WT.	WEIGHT
PCS	PRECAST CONCRETE	WT.	WEIGHT
PLY.	PERSONAL COMMUNICATION SERVICES	WT.	WEIGHT
PRC	PLYWOOD	WT.	WEIGHT
PRC	POWER PROTECTION CABINET	WT.	WEIGHT
P.S.F.	PRIMARY RADIO CABINET	WT.	WEIGHT
P.S.I.	POUNDS PER SQUARE FOOT	WT.	WEIGHT
P.T.	POUNDS PER SQUARE INCH	WT.	WEIGHT
PWR.	PRESSURE TREATED	WT.	WEIGHT
QTY.	POWER (CABINET)	WT.	WEIGHT
RAD.(R)	QUANTITY	WT.	WEIGHT
REF.	RADIUS	WT.	WEIGHT
REINF.	REFERENCE	WT.	WEIGHT
REQD.	REINFORCEMENT(ING)	WT.	WEIGHT
RGS.	REQUIRED	WT.	WEIGHT
RRH	RIGID GALVANIZED STEEL	WT.	WEIGHT
SCH.	REMOTE RADIO HEAD	WT.	WEIGHT
SHT.	SCHEDULE	WT.	WEIGHT
SH.	SHEET	WT.	WEIGHT
SIM.	SIMILAR	WT.	WEIGHT
SPEC.	SPECIFICATION(S)	WT.	WEIGHT
SO.	SQUARE	WT.	WEIGHT

SYMBOL LEGEND:

	PROPOSED ANTENNA
	EXISTING ANTENNA
	GROUND ROD
	GROUND BUS BAR
	MECHANICAL GRND. CONN.
	CADWELD
	GROUND ACCESS WELL
	ELECTRIC BOX
	TELEPHONE BOX
	LIGHT POLE
	FND. MONUMENT
	SPOT ELEVATION
	SET POINT
	REVISION
	GRID REFERENCE
	DETAIL REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	GROUT OR PLASTER
	EXISTING BRICK
	EXISTING MASONRY
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	SAND
	WOOD CONT.
	WOOD BLOCKING
	STEEL
	CENTERLINE
	PROPERTY/LEASE LINE
	MATCH LINE
	WORK POINT
	ROAD
	PROPERTY LINE

BUILDING PLAN FOR:
WINDY RIDGE ROW
 7598 1/3 CALLE CRISTOBAL, SAN DIEGO, CA 92126

SHEET 2 OF 13 SHEETS
 PRJ NO. PRJ-1116638
 PMT NO. -----

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

The City of

SAN DIEGO

DEVELOPMENT SERVICES DEPARTMENT

G02

1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-8824

PRECEPT
WIRELESS CONSULTANTS

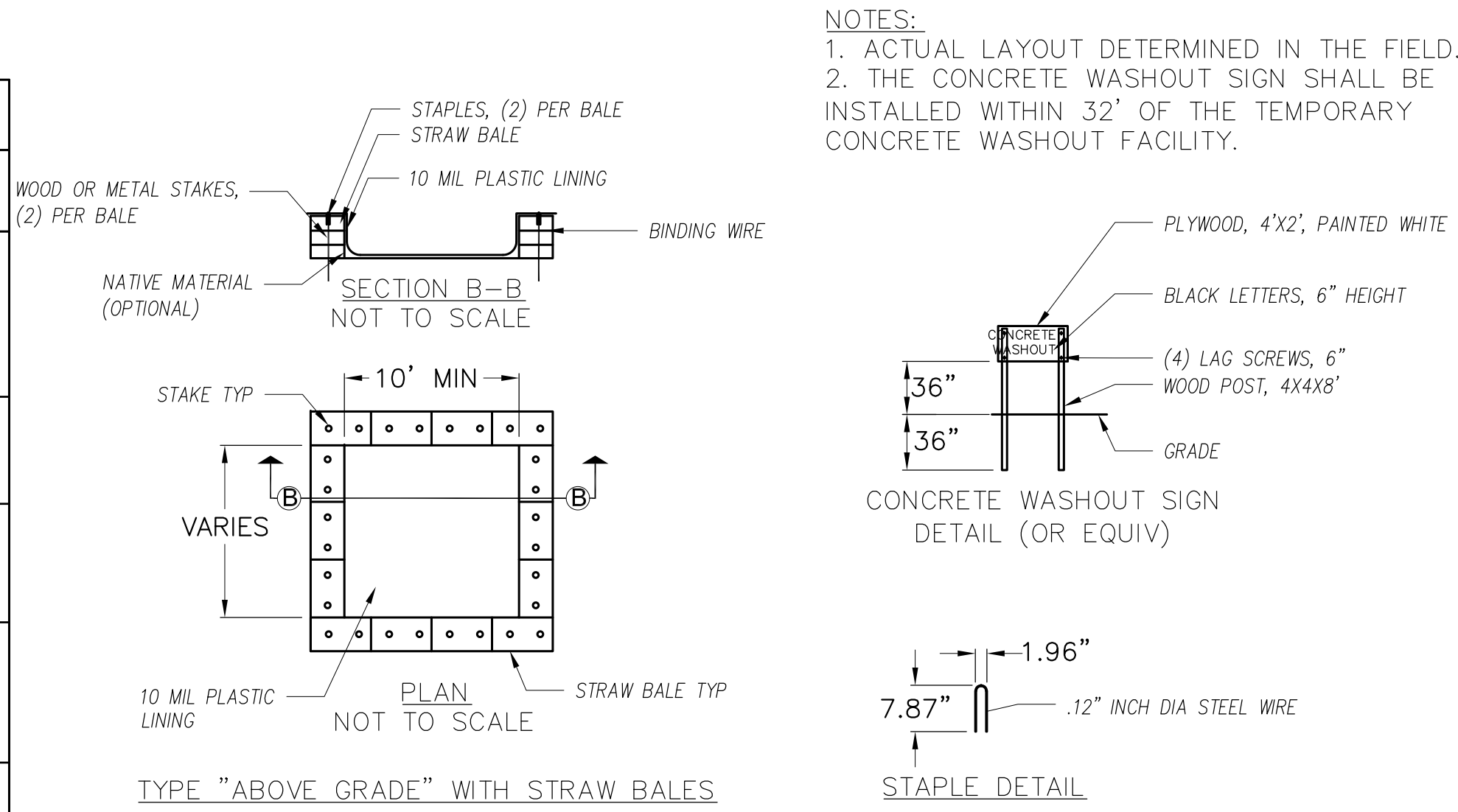
REV. C. 10/11/2024

STORM WATER QUALITY NOTES=CONSTRUCTION BMPs*

BEST MANAGEMENT PRACTICES "BMP" TABLE			
BEST MANAGEMENT PRACTICES	LOCATION	SCHEDULE IMPLEMENTATION	MAINTENANCE SCHEDULE
PRESERVING EXISTING VEGETATION	AROUND PERIMETER OF PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	EDUCATE EMPLOYEES AND SUBCONTRACTORS REGARDING IMPORTANCE OF MAINTAINING EXISTING VEGETATION TO PREVENT EROSION AND FILTER OUT SEDIMENT IN RUNOFF FROM DISTURBED AREAS ON THE CONSTRUCTION SITE. INSPECT SITE PERIMETER MONTHLY TO VERIFY THE OUTSIDE VEGETATION IS NOT DISTURBED.
PROTECT GRADED AREAS AND SLOPES FROM WASHOUT AND EROSION	THROUGHOUT PROJECT SITE	CONTINUOUS	INSPECT GRADED AREAS AND SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. THE GRADE TRIBUTARY AREAS OR INSTALL SAND DIKES AS NECESSARY TO PREVENT EROSION.
GRAVEL FILTER	ALONG FLOW LINES OF UNPAVED ROADWAYS WITHIN SITE	IN PLACE CONTINUOUSLY UNTIL ROADWAYS ARE PAVED	INSPECT AFTER EACH STORM. REMOVE ONSITE SEDIMENT DEPOSITED BEHIND BERM OR BARRIER TO MAINTAIN EFFECTIVENESS.
BAG INLET FILTER	INLETS TO THE STORM DRAINAGE SYSTEM	CONTINUOUS UNTIL LANDSCAPING IS IN PLACE	INSPECT WEEKLY AND AFTER EACH STORM. REMOVE SEDIMENT AND DEBRIS BEFORE ACCUMULATION HAS REACHED ONE THIRD THE DEPTH OF THE BAG. REPAIR OR REPLACE INLET FILTER BAG AS SOON AS DAMAGE OCCURS.
FIBER ROLLS	SEE NOTE 3 OF EROSION & CONTROL NOTES	CONTINUOUS	INSPECT AFTER EACH STORM. REMOVE SEDIMENT DEPOSITED BEHIND FIBER ROLLS WHENEVER NECESSARY TO MAINTAIN EFFECTIVENESS.
HYDROSEEDING	3:1 SLOPES	IN PLACE DURING BY SEPT. 15	INSPECT SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. IF EROSION IS NOTED, SPREAD STRAW MULCH OVER AFFECTED AREAS.
STABILIZED CONSTRUCTION ENTRANCE	ENTRANCES TO SITE FROM PUBLIC ROADWAYS	CONTINUOUS, UNTIL ENTRANCES AND ONSITE ROADWAYS ARE PAVED	INSPECT ON A MONTHLY BASIS AND AFTER EACH RAINFALL. ADD AGGREGATE BASE MATERIAL WHENEVER NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED INTO PUBLIC STREET.
WIND EROSION CONTROL PRACTICES	WHEREVER NECESSARY THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL GRADING IS COMPLETED AND SOILS HAVE STABILIZED	INSPECT SITE DURING WINDY CONDITIONS TO IDENTIFY AREAS WHERE WIND AND EROSION IS OCCURRING AND ABATE EROSION AS NECESSARY.
GOOD HOUSEKEEPING MEASURES	THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A MONTHLY BASIS TO VERIFY GOOD HOUSEKEEPING PRACTICES ARE BEING IMPLEMENTED.
PROPER CONSTRUCTION MATERIAL STORAGE	DESIGNATED AREA	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT CONSTRUCTION MATERIALS ARE STORED IN A MANNER WHICH COULD NOT CAUSE STORM WATER POLLUTION.
PROPER CONSTRUCTION WASTE STORAGE AND DISPOSAL INCLUDING	DESIGNATED COLLECTION AREA AND CONTAINERS	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO ASSURE WASTE IS STORED PROPERLY AND DISPOSED OF AT LEGAL DISPOSAL SITE, DAILY.
CONCRETE SPILL CLEANUP PAINT & PAINTING SUPPLIES	MATERIAL HANDLING AREAS	IMMEDIATELY AT TIME OF SPILL	INSPECT MATERIAL HANDLING AREAS ON AT LEAST A MONTHLY BASIS TO VERIFY PROPER SPILL CLEANUP.
VEHICLE FUELING, MAINTENANCE & CLEANING	DESIGNATED AREA WITH SECONDARY CONTAINMENT	CONTINUOUS	KEEP AMPLE SUPPLIES OF SPILL CLEANUP MATERIALS ON SITE & INSPECT ON REGULAR SCHEDULE.
STREET AND STORM DRAINAGE FACILITY MAINTENANCE DEFINITIONS	STREETS AND STORM DRAINAGE FACILITIES	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	MAINTAIN STORM DRAINAGE FACILITIES AND PAVED STREETS CLEAR OF SEDIMENT AND DEBRIS.

1. WET SEASON: ENTIRE PERIOD BETWEEN OCTOBER 1 THROUGH APRIL 30. CONTRACTOR SHALL ALSO IMPLEMENT WET SEASON MEASURES IF WET WEATHER IS EXPECTED DURING THE DRY SEASON

2. PHASES OF GRADING
 INITIAL: WHEN CLEARING AND GRUBBING ACTIVITIES OCCUR.
 ROUGH: WHEN CUT AND FILL ACTIVITIES OCCUR AND THE SITE IMPROVEMENTS ARE CONSTRUCTED, INCLUDING UNDERGROUND PIPING, STREETS, SIDEWALKS, AND OTHER IMPROVEMENTS.
 WHEN FINAL ELEVATION IS SET, AND SITE IMPROVEMENTS ARE COMPLETED AND READY FOR CITY ACCEPTANCE.



NOTES:
 1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 32' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

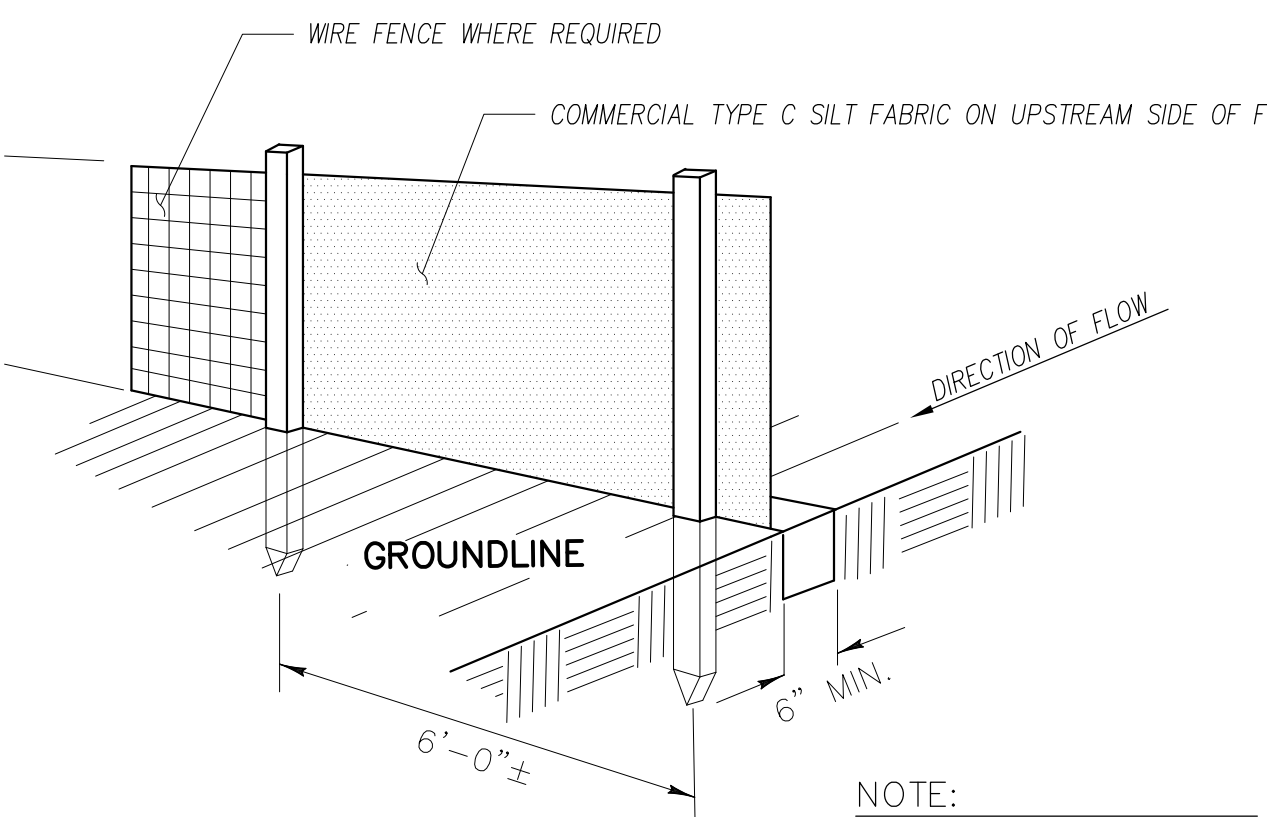
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR UTYPE OR 4" HARDWOOD. MINIMUM LENGTH - 5 FEET
- FENCE: WOVEN WIRE, 14 GA.6" MAX. MESH OPENING.
- FILTER CLOTH: FILTER X, MIRAFI 100X' STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE OR APPROVED ENVIROFENCE OR APPROVED EQUAL.

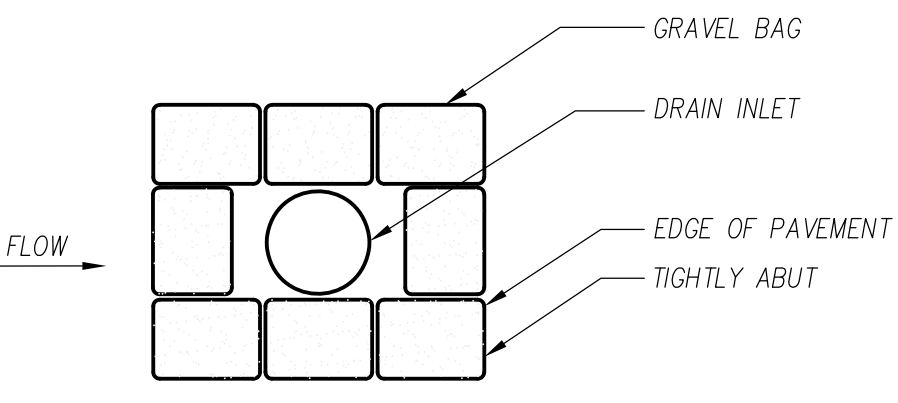
FIBER ROLL NOTES:

- REPAIR OR REPLACE SPLIT, TORN UNRAVELING OR SLUMPING FIBER ROLLS. FIBER ROLLS TO BE STAKED 4' O.C. PARALLEL TO (E) CONTOURS.
- INSPECT FIBER ROLLS WHEN RAIN IS FORECAST, DURING AND FOLLOWING RAIN EVENTS, AT LEAST DAILY DURING PROLONGED RAINFALL. FOR SPECIFIC MONITORING INTERVALS REFER TO THE CURRENT VERSION OF STORM WATER "BMP" MANUAL FOR DURING THE NON-RAINY SEASON.
- SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING MAINTENANCE MAY BE INCORPORATED INTO THE EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.
- FILTER BARRIER SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH AND AS APPROVED BY THE LANDSCAPE INSPECTOR.

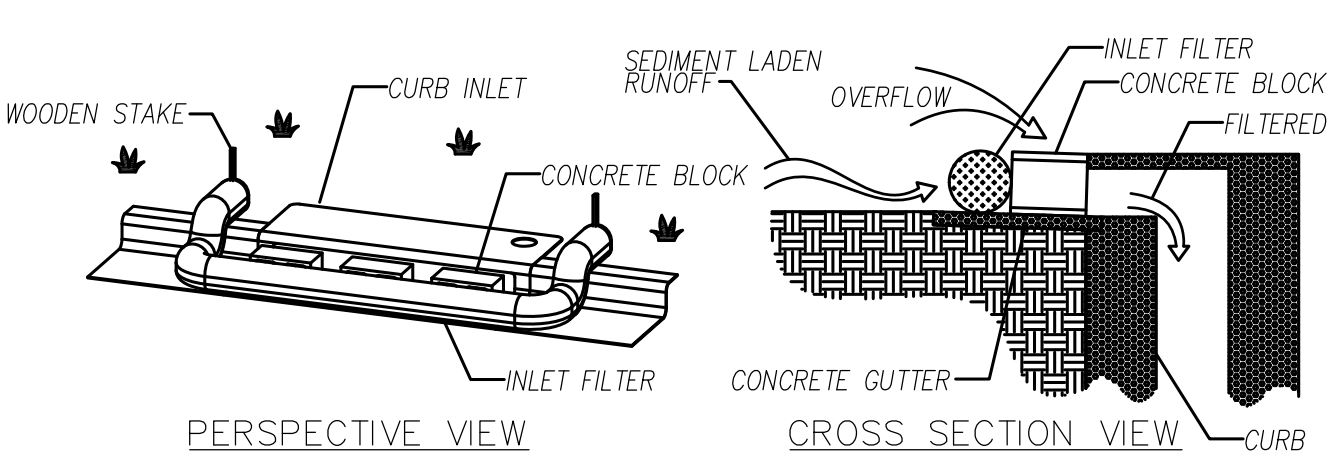
1 CONCRETE WASHOUT DETAIL NOT TO SCALE



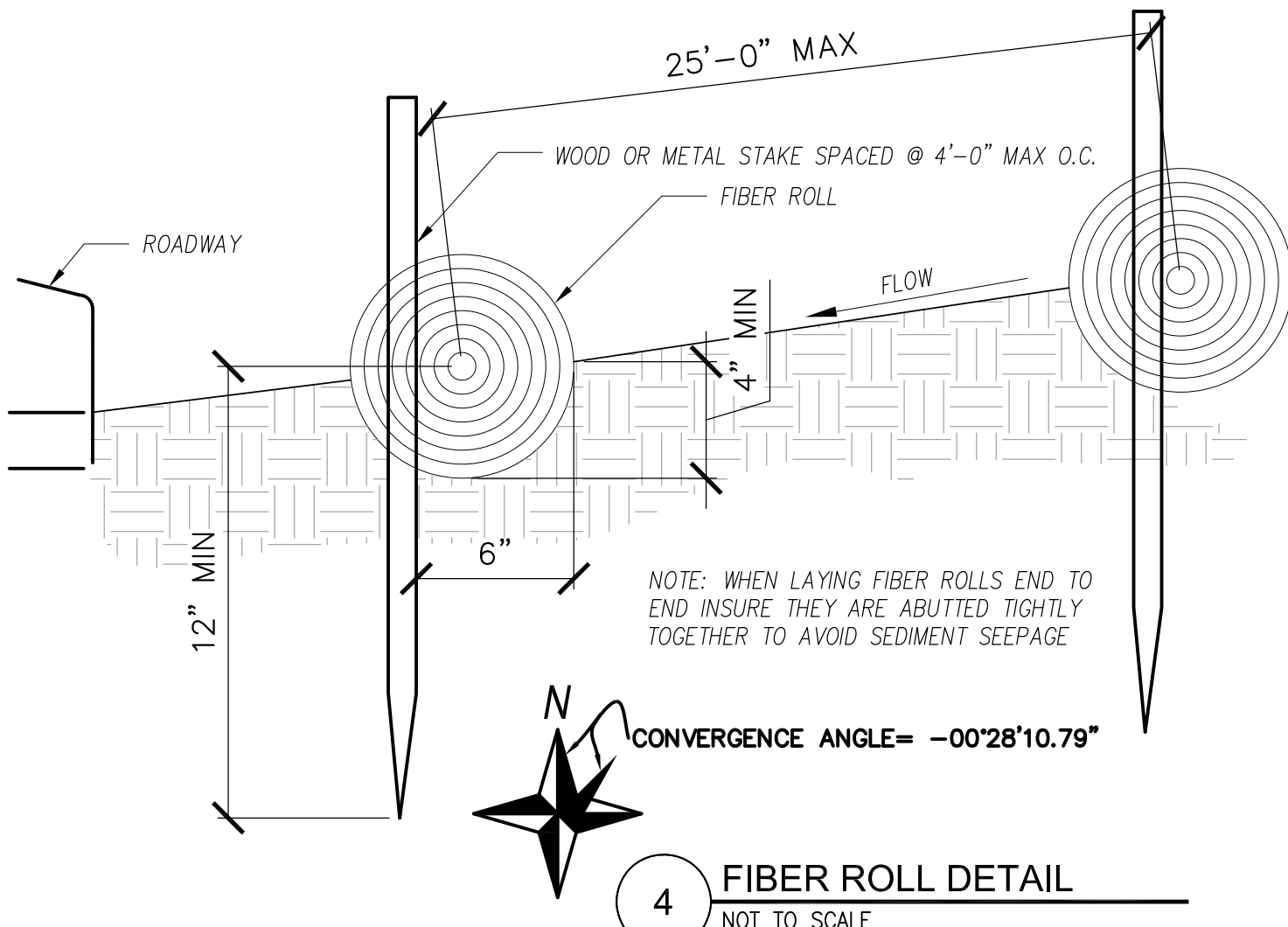
3 TYPE C SILT FENCE DETAIL NOT TO SCALE



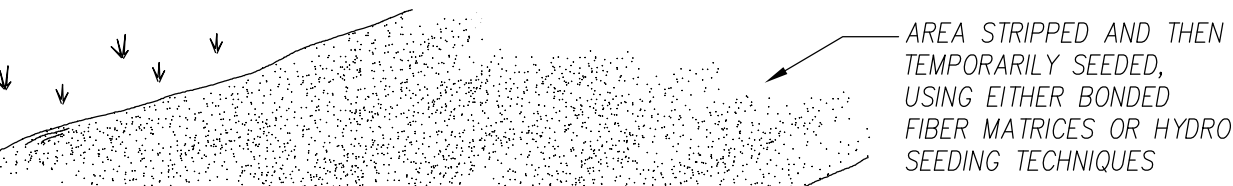
5 DRAIN INLET DETAIL NOT TO SCALE



6 CURB INLET PROTECTION DETAIL NOT TO SCALE



4 FIBER ROLL DETAIL NOT TO SCALE



- STRAW MULCHING:**
- FOR AREAS OF SITE WITH LESS THAN 30% SLOPE; 2-3 BALES OF STRAW EQUALS 2-4 INCHES OF STRAW MULCH OVER 1000 SQUARE FEET
 - RYE & BLANDO BROME 50/50 2LB-5LB SEED AND STRAW MULCH OR EQUIV. SHALL BE WEED FREE.

2 TEMP SEEDING AND MULCHING NOT TO SCALE

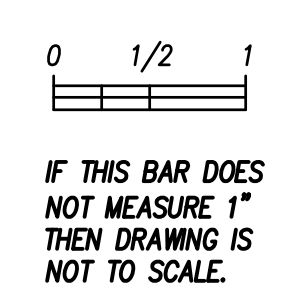
SEEDING MAY BE USED ONLY BETWEEN APRIL 1 AND JUNE 30, AND SEPTEMBER 1 AND OCTOBER 30.

SEEDING MIXTURES			
NAME	PROPORTIONS BY WEIGHT	% PURITY	% GERMINATION
CALIFORNIA BUCKWHEAT (ERIOGONUM FESCICULATUM POLIFOLIUM)	10%	92	90
ANNUAL RYE (LOLIUM MULTIFLORUM)	40%	98	90
CHEWINGS FESCUE (FETUCA RUBRA COMMUTATA)	40%	97	80
WHITE DUTCH CLOVER (TRIFOLIUM PEPENS)	40%	96	90

TO PROVIDE TEMPORARY SOIL STABILIZATION BY PLANTING GRASSES AND LEGUMES TO AREAS THAT WOULD REMAIN BARE FOR MORE THAN 7 DAYS WHERE PERMANENT COVER IS NOT NECESSARY OR APPROPRIATE.

STORM WATER QUALITY NOTES FOR:
WINDY RIDGE ROW
 7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 3 OF 3 SHEETS
 PRJ NO. PRJ-1116638
 PMT NO. -----



G03

REV C - 10/11/2024

IRRIGATION NOTES

GENERAL IRRIGATION NOTES

- ALL CITY AND STATE LAWS, RULES AND REGULATION GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE MAIN LINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORESEEN BELOW GRADE CONDITIONS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS OTHERWISE DIRECTED BY THE OAR (OWNER'S AUTHORIZED REPRESENTATIVE.)
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO EACH CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE USE OF VARIABLE ARC SPRINKLERS AND PRESSURE COMPENSATING SCREENS, SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH REMOTE CONTROL VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- ALL LATERAL LINE PIPING UNDER PAVING WITHOUT A SLEEVE SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING FOR PIPE.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.

EXISTING IRRIGATION SYSTEMS

THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING (E) SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE, BUT IS NOT LIMITED TO: THE PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE) IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THIS FIELD VERIFICATION AND THE DRAWINGS.

WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TIMING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION.

THE CONTRACTOR SHALL CUT, CAP AND/OR DIVERT (E) IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION.

THE CONTRACTOR SHALL ADD NEW SPRINKLER HEADS TO MATCH THE (E) SYSTEM AND ADJUST/ RELOCATE REMAINING HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE (E) AND NEW PLANTINGS. NEW HEADS/ SYSTEMS MAY BE ADDED IN THE FOLLOWING WAYS.

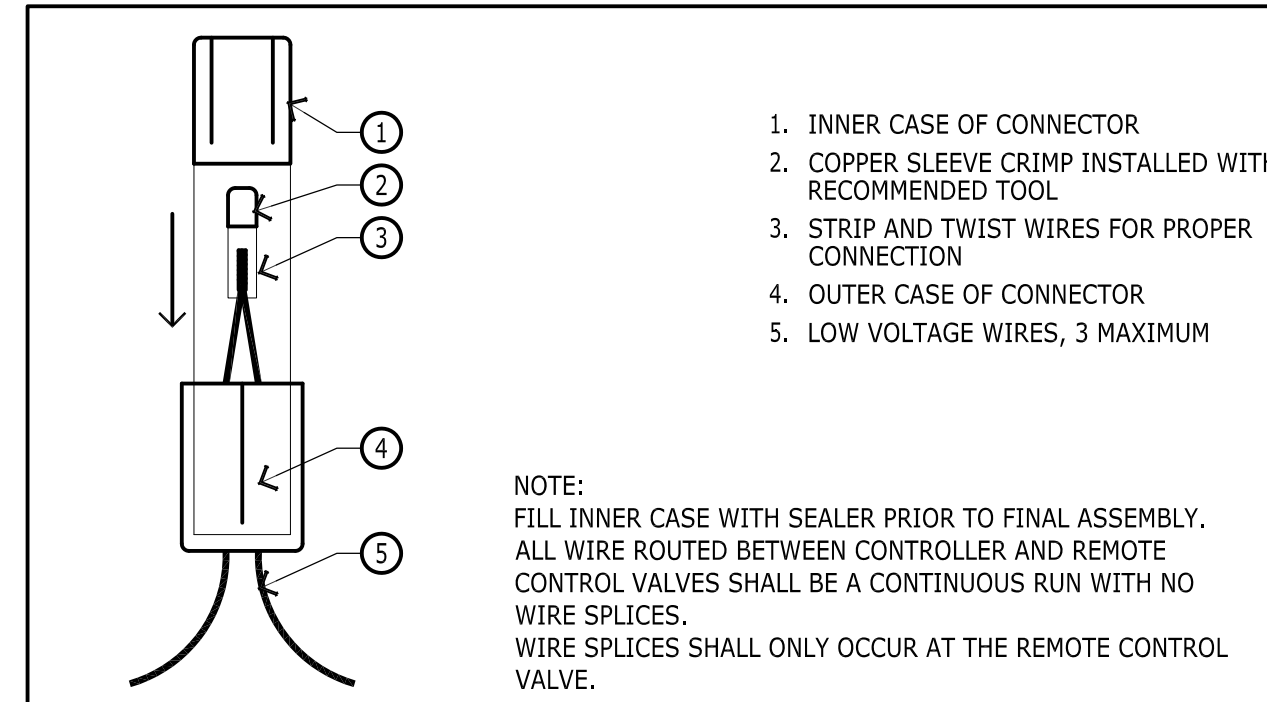
A CONNECT TO AN (E) EXISTING LATERAL LINE* PROVIDING SIMILAR WATERING REQUIREMENTS AS THE PLANT MATERIAL PROPOSED AND ADD NEW HEADS TO MATCH THE EXISTING HEADS, OR THE HEADS THAT HAVE BEEN REMOVED.

B CONNECT TO AN (E) PRESSURE MAINLINE* AFTER THE (E) BACKFLOW DEVICE AND RUN A CONTROL WIRE FROM AN AVAILABLE STATION ON THE (E) CONTROLLER TO THE NEW VALVE(S).

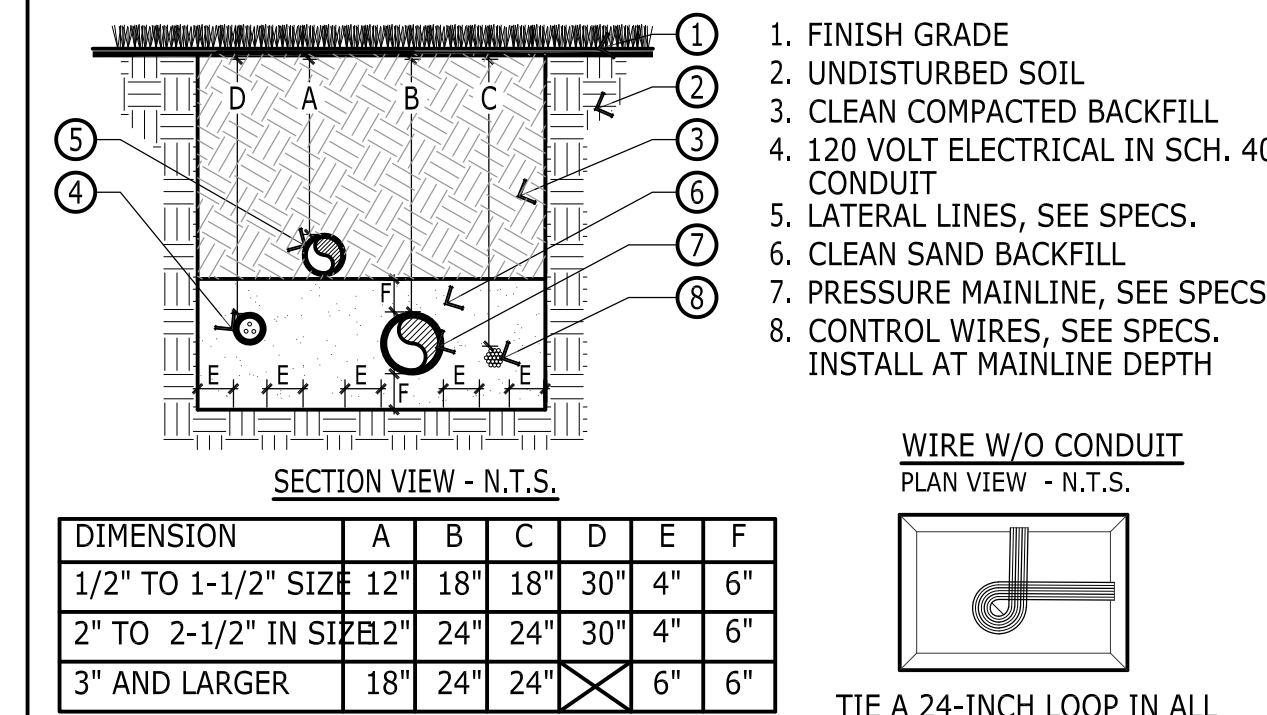
C CONNECT TO THE (E) OR NEW IRRIGATION WATER SOURCE* OR MAINLINE* AND PROVIDE A NEW BACKFLOW DEVICE AND AUTOMATIC CONTROLLER TO CONTROL THE NEW SYSTEM(S).

*DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE (FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND).

THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.



B WATERPROOF WIRE SPLICE



A PIPE AND WIRE TRENCHING

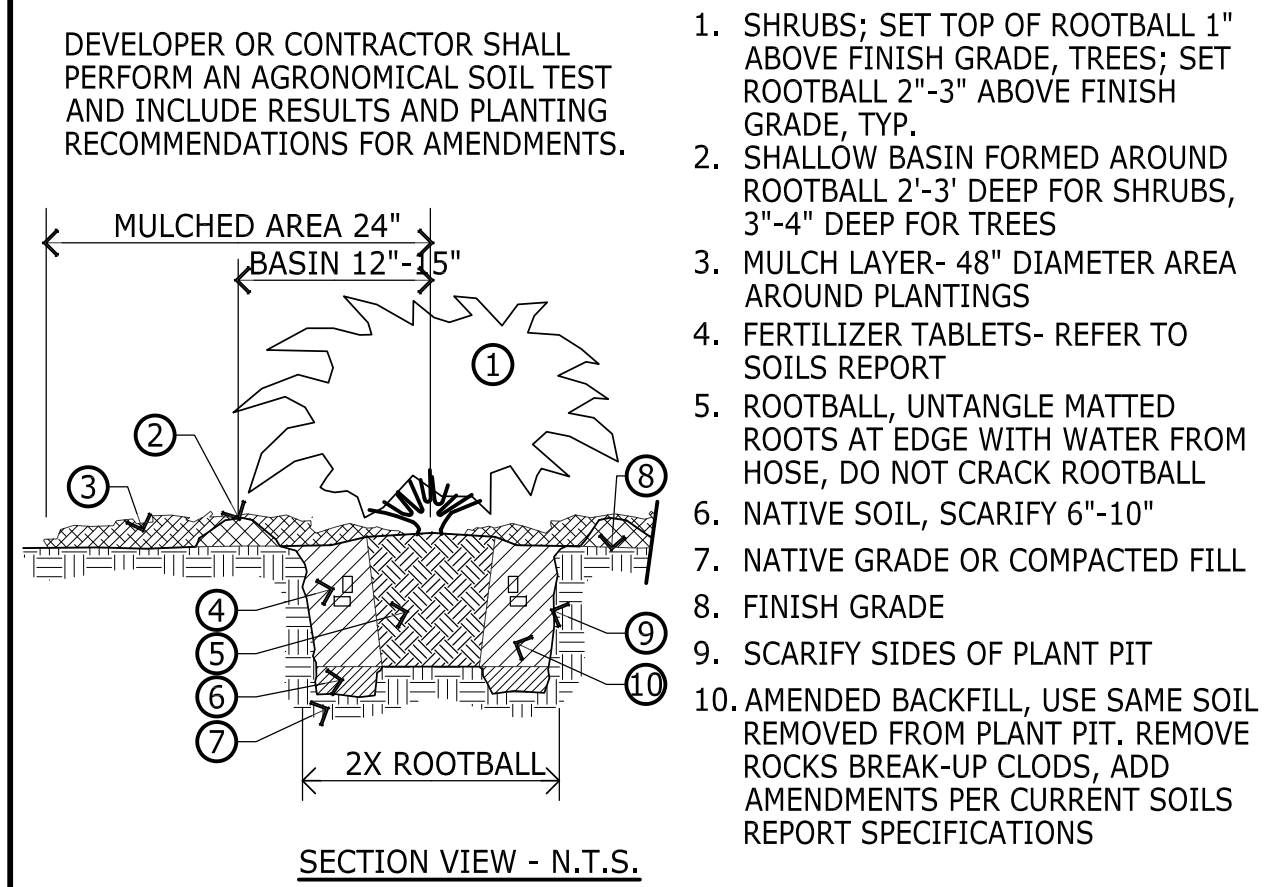
CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION, ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONST. OPERATIONS.

CONTRACTOR SHALL PERFORM AN AGRONOMICAL SOILS TEST TO DETERMINE FERTILITY AND DRAINAGE CAPABILITY. FOLLOW THE LAB SPECIFICATIONS DURING PLANTING. GENERIC AMENDMENTS SHALL BE USED. LAB MUST BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.

CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY (E) EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS, ENOUGH WATER HAS TO BE APPLIED TO (E) PLANTINGS, DURING AND AFTER CONSTRUCTION OPERATIONS, TO INSURE PLANT SURVIVAL.

CONTRACTOR SHALL ADJUST EXISTING IRRIGATION CONTROLLER TO WATER MORE FREQUENTLY DURING PLANT ESTABLISHMENT.

C POP-UP W/ SPRAY OR BUBBLER



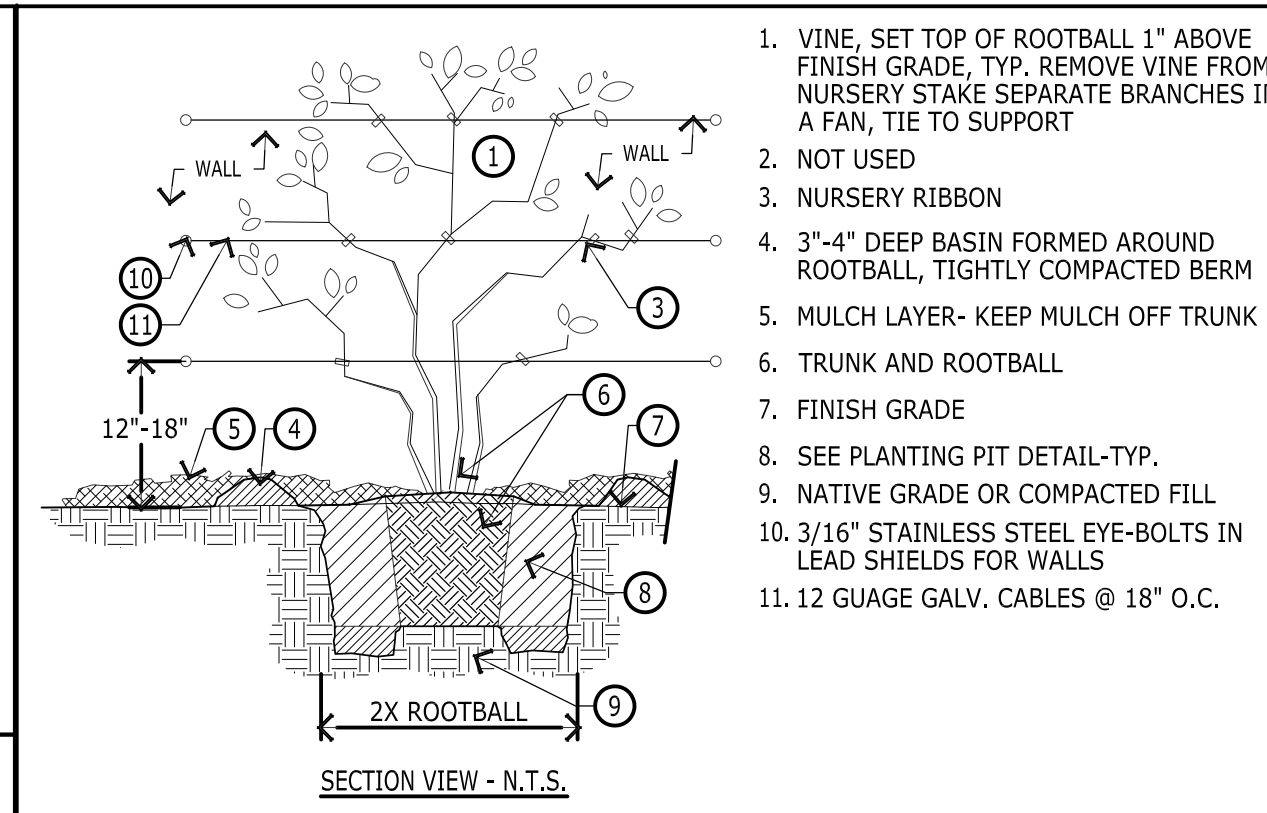
D PLANTING PITS

PRIOR TO PLANTING, 6 YARDS OF COMPOST PER 1000 SQ. FT. OF PLANTING AREA SHALL BE INCORPORATED. COMPACTED SOILS MUST BE TRANSFORMED INTO A FRIABLE CONDITION. SOIL SHALL BE AMENDED AND RIPPED TO A DEPTH OF 18"

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

WATERING GUIDELINE AS FOLLOWS:
WARM WEATHER- FILL BASIN 2X/ WEEK
COOL WEATHER- FILL BASIN 1X/ WEEK

CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOTBALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGH- OUT THE SOIL PROFILE. THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER- EVER. ADJUST WATERING SCHEDULE BASED UPON RESULTS



E VINE PLANTING - CABLED



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Landscape Architecture
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david@dmlaonline.com
pf(949)388-3369

IRRIGATION NOTES FOR:
WINDY RIDGE ROW
7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 5 OF 13 SHEETS

PRJ NO. PRJ-1116638

PMT NO. -----



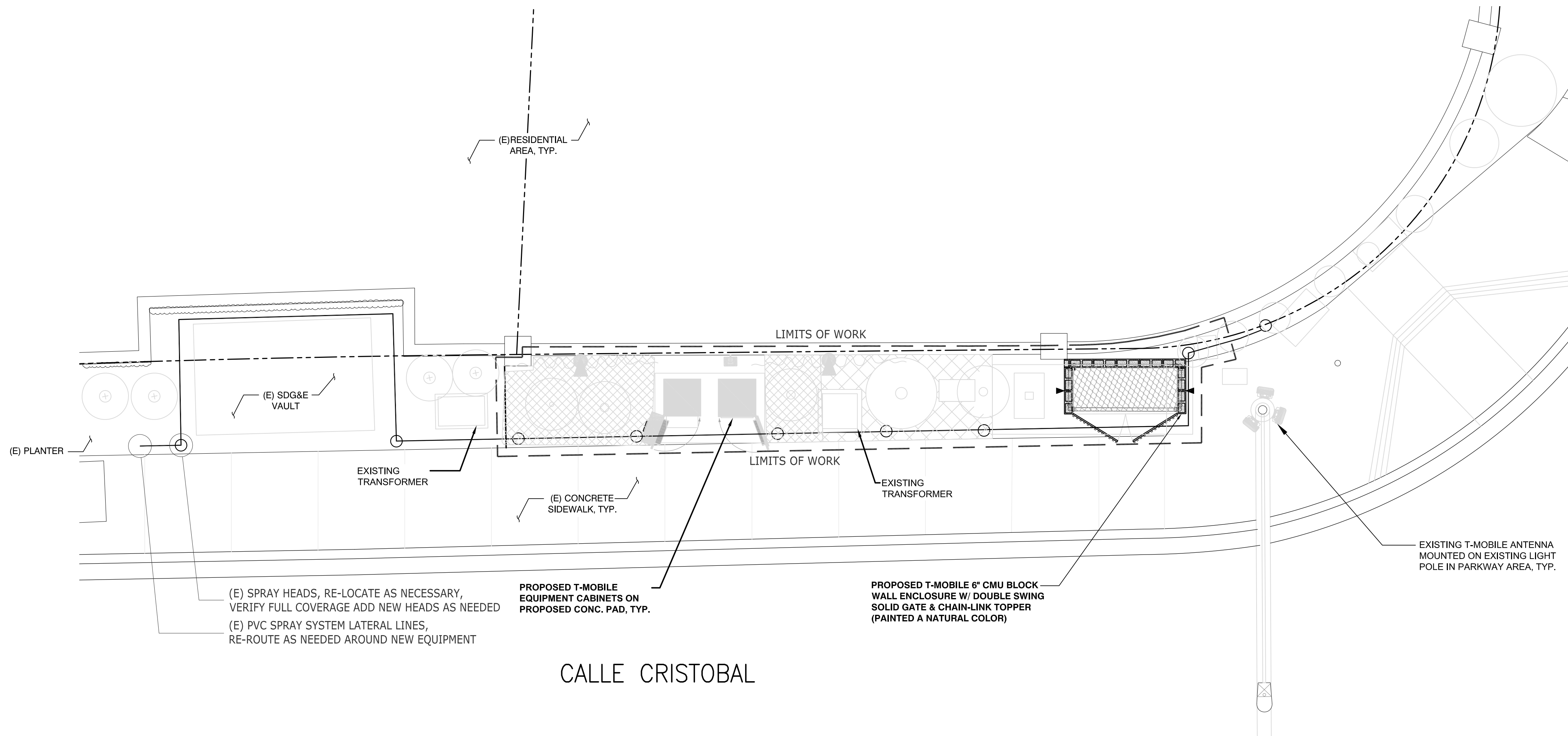
1 IRRIGATION NOTES
24"x36" SCALE: NTS
11"x17" SCALE: NTS

0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

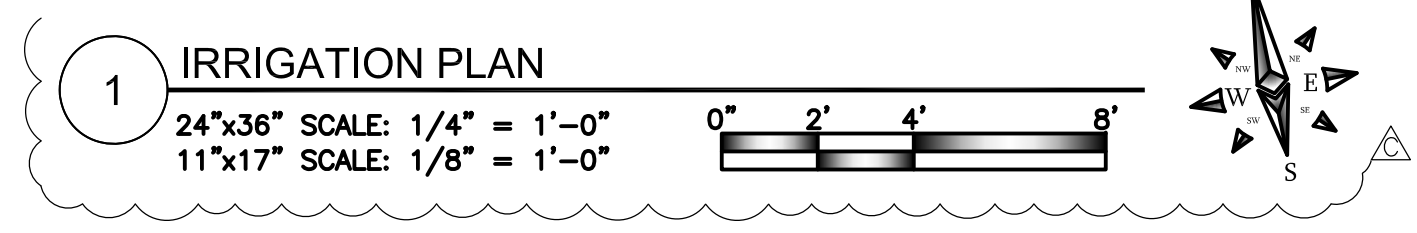
The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

LA02

IRRIGATION PLAN



IRRIGATION LEGEND						
EQUIPMENT						
SYMBOL	DESCRIPTION	REMARKS	DETAIL SH#			
M	(E)EXISTING POTABLE IRRIGATION WATER METER, VERIFY (E)EQUIPMENT IS FUNCTIONAL AND CAN ACCOMMODATE THE ADDITION OF OUR (P) PROPOSED MODIFICATIONS.		---			
Ⓜ	RAINBIRD ESP-4-SMTe 4 STATION CONTROLLER (EXPANDABLE TO 22 STATIONS) IN WALL MOUNT BOX PROVIDE AND INSTALL WEATHER SENSOR PER MANUFACTURER. SENSOR TO HAVE CLEAR 'VIEW' OF SKY		---			
P	WILKENS #500XL PRESSURE REGULATOR (LINESIZE). INSTALL ONLY IF EXISTING STATIC PRESSURE IS GREATER THAN 80PSI		---			
Ⓜ	FEBCO MODEL 710/715 BRASS ATMOSPHERIC BACKFLOW PREVENTER. INSTALL PER CODE ABOVE HIGHEST OUTLET -USE NEW BACKFLOW ONLY IF EXISTING SYSTEM HAS NONE.		---			
Ⓜ	NIBCO T-580A BALL VALVE (LINE SIZE)		---			
Ⓜ	RAIN BIRD PEB SERIES REMOTE CONTROL VALVE - INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX		---			
---	PVC WATER PIPE SCH. 40 (MAINLINE 1-1/2" AND SMALLER)		A LA02			
---	PVC WATER PIPE SCH. 40 3/4"-1-1/2" (LATERALS)		A LA02			
---	(E)PVC IRRIGATION MAINLINE		---			
OUTLETS						
SYMBOL	DESCRIPTION	DISCHARGE-GPM Q T H TT TQ F	PSI Q T H TT TQ F	RADIUS Q T H TT TQ F	PRECIP RATE Q T H TT TQ F	DETAIL SH#
	MATCH EXISTING EQUIPMENT-10' AND 15' SPRAY HEADS POP-UPS NEXT TO SIDEWALK, RISERS ALONG WALL					
○	RAINBIRD 1806 SERIES POP-UPS W/ 8'-10' HEADS .17/ .66 GPM 30 8'-21'.49 IN/HR RAINBIRD PA-8S SERIES RISERS W/ 8'-10' HEADS					
VERIFY SIZES AND FULL FUNCTIONAL OPERATION OF EXISTING IRRIGATION SYSTEM COMPONENTS AT THE SITE, REPLACE NON-FUNCTIONING OR MISSING EQUIPMENT TO MATCH THE EXISTING OR PER THE LEGEND ABOVE, INSTALL PER DETAILS.						



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 david@dmlaonline.com
 pf(949)388-3369

IRRIGATION PLAN FOR:	
WINDY RIDGE ROW	
7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126	
SHEET 6 OF 13 SHEETS	PRJ NO. PRJ-1116638 PMT NO. -----

REV. C 10/11/2024

1387 CALLE AVANZADO
 SAN CLEMENTE CA 92673 (949) 391-6824

PRECEPT
 WIRELESS CONSULTANTS

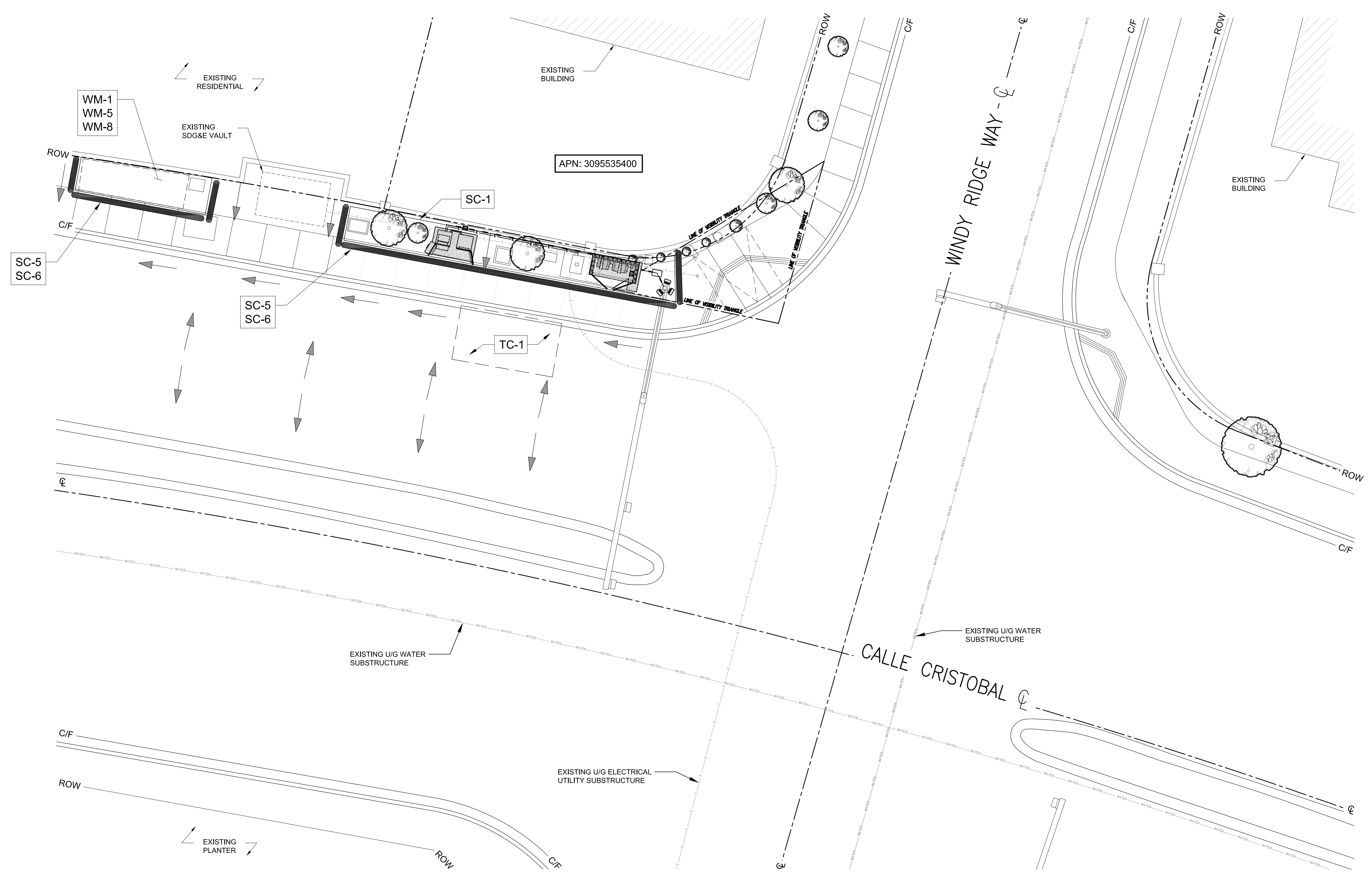
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The City of
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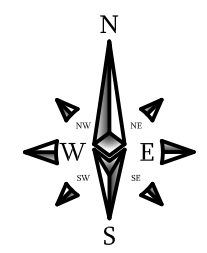
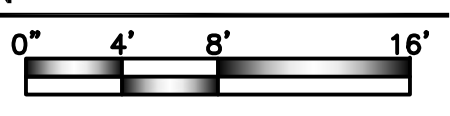
LA03

EROSION CONTROL PLAN

LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	EXISTING SETBACK LINE
	EXISTING FENCE LINE
	EXISTING ROAD
	EXISTING BUILDING
	DIRECTION OF LOT DRAINAGE
CONSTRUCTION BMPs:	
	SANDBAG BARRIER (IF REQUIRED)
	FIBER ROLLS (IF REQUIRED)
	SLIT FENCE (IF REQUIRED)
	GRAVEL BAG (IF REQUIRED)
	HYDRAULIC STABILIZATION HYDROSEEDING (IF REQUIRED)
MATERIALS & WASTE MANAGEMENT BMPs:	
	MATERIAL DELIVERY & STORAGE
	SOLID WASTE MANAGEMENT
	CONCRETE WASTE MANAGEMENT
	STABILIZED CONSTRUCTION ENTRANCE



1 EROSION CONTROL PLAN
 24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"



EROSION CONTROL PLAN FOR:
WINDY RIDGE ROW
 7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 7 OF 13 SHEETS

PRJ NO. PRJ-1116638

PMT NO. _____

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C01

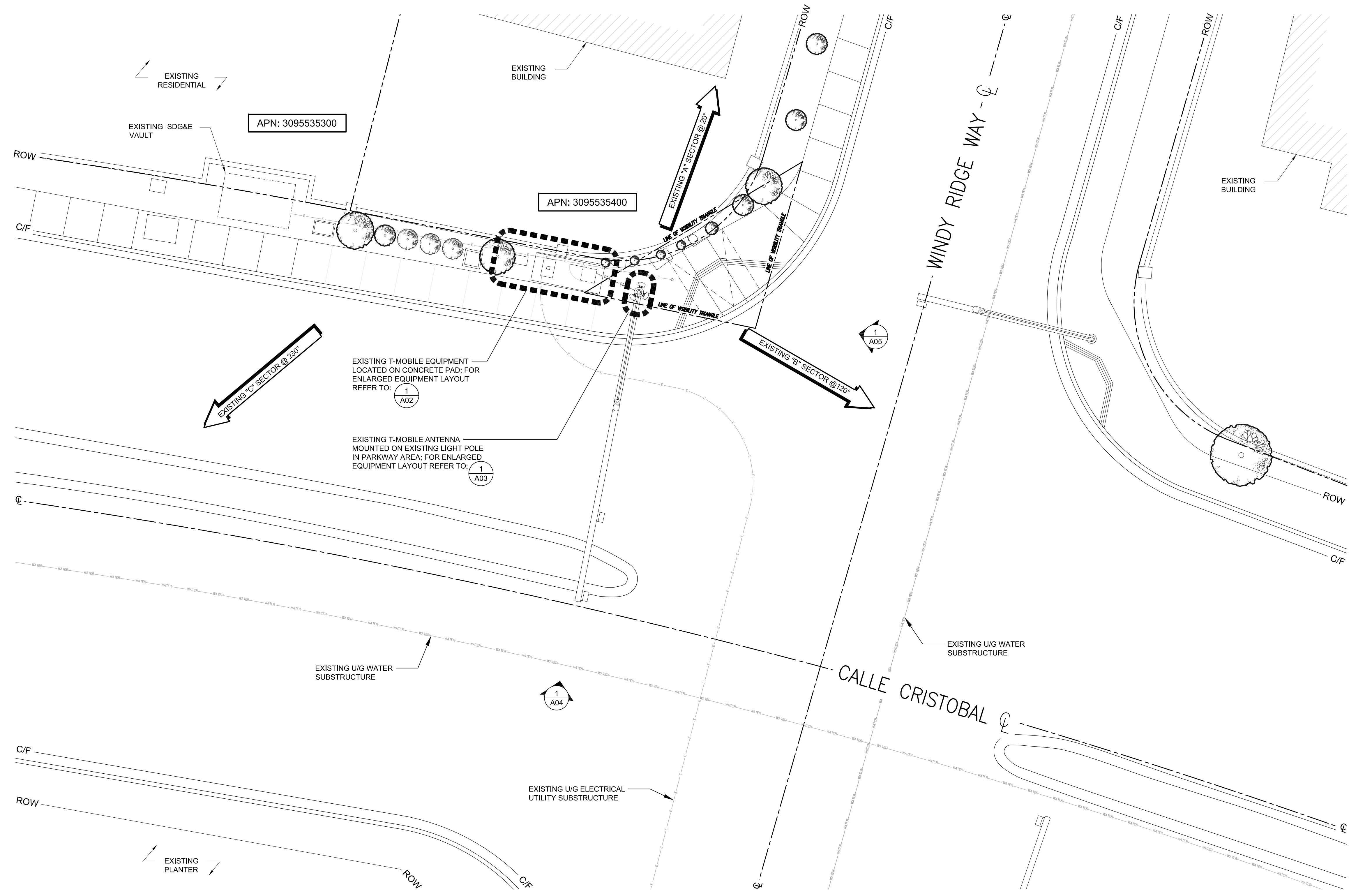
EXISTING SITE PLAN

NOTES:

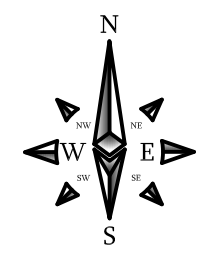
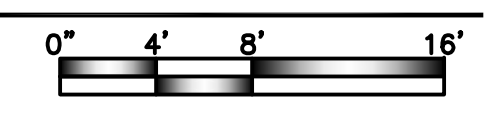
1. THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

DISCLAIMER:

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1 EXISTING SITE PLAN
 24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"



EXISTING SITE PLANS FOR:
WINDY RIDGE ROW
 7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 8 OF 13 SHEETS

PRJ NO. PRJ-1116638
 PMT NO. -----

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A01

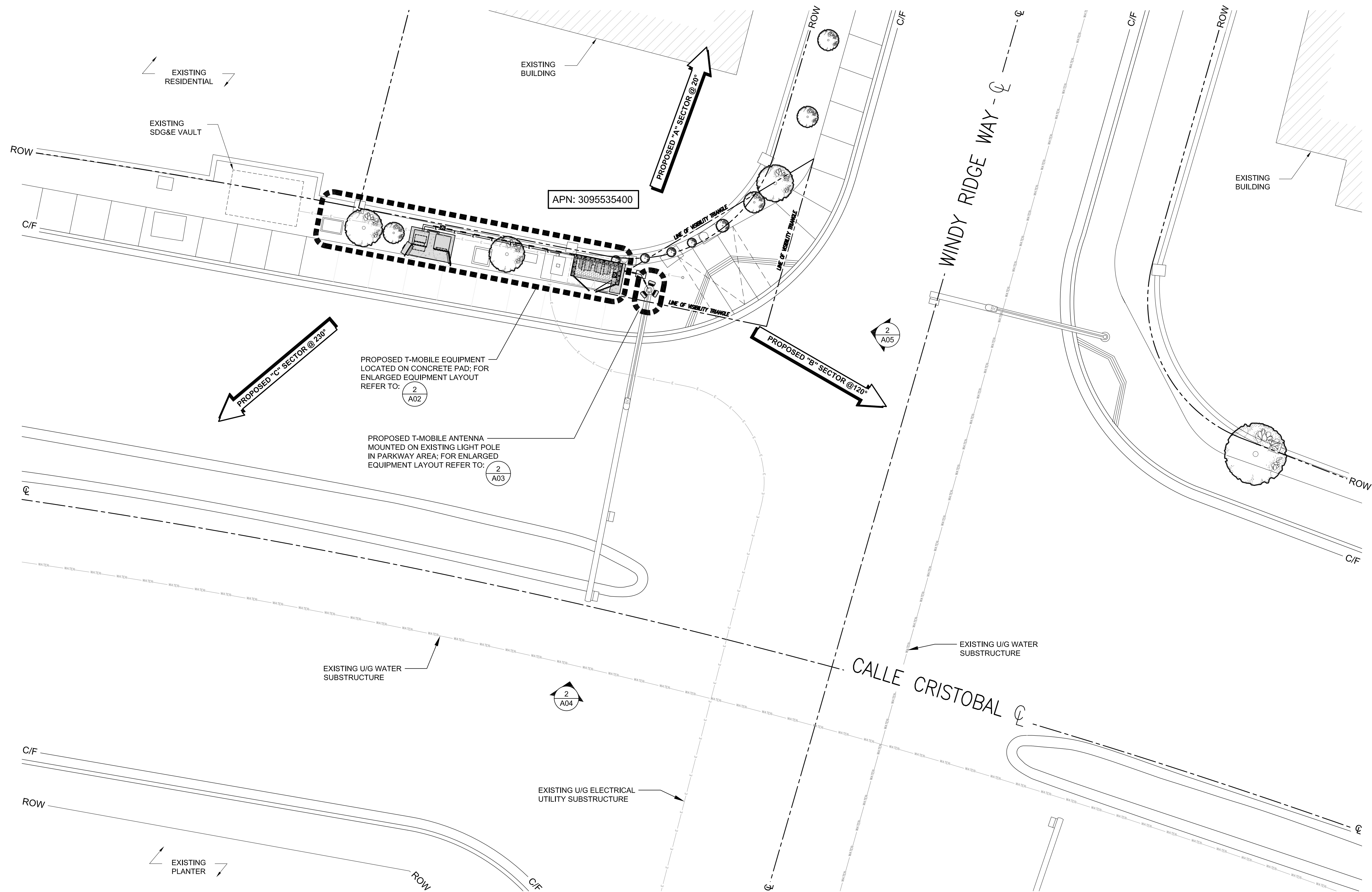
PROPOSED SITE PLAN

NOTES:

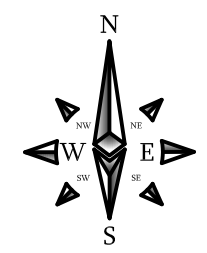
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1 PROPOSED SITE PLAN
 24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"



PROPOSED SITE PLANS FOR:
WINDY RIDGE ROW
 7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 9 OF 13 SHEETS
 PRJ NO. PRJ-1116638
 PMT NO. -----

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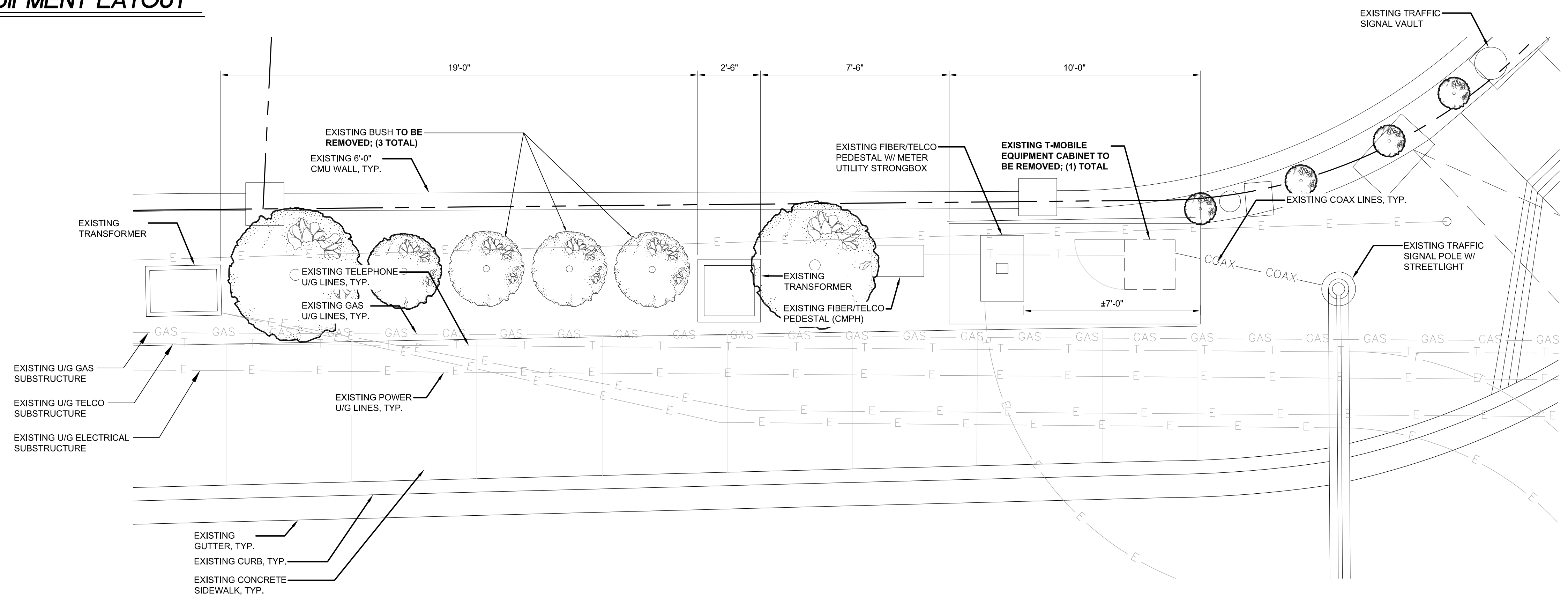
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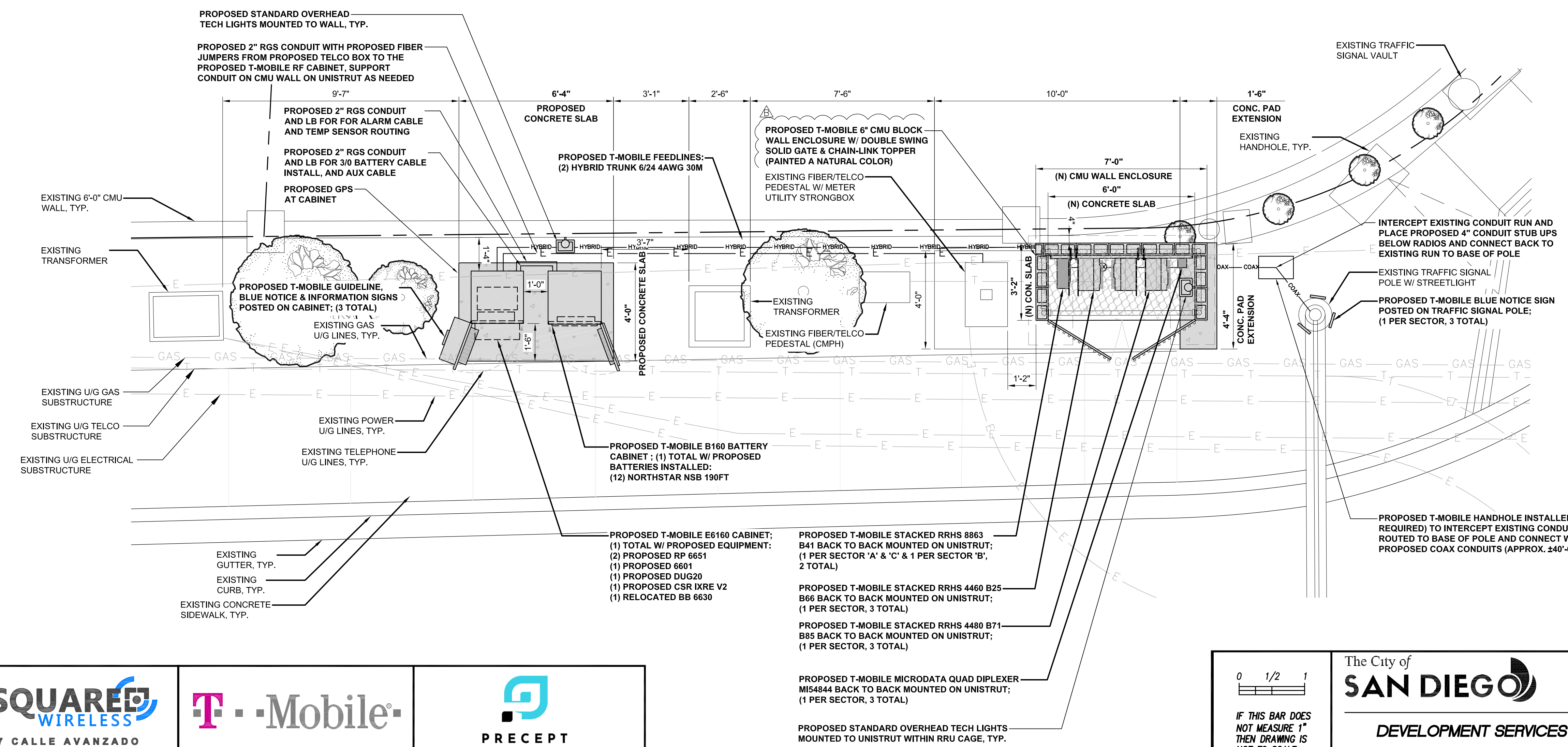
PRECEPT WIRELESS CONSULTANTS

EQUIPMENT LAYOUT



- NOTE:**
- CABLE ROUTING FROM CABINET TO RADIO H-FRAME AND ONTO POLE NEEDS TO BE VERIFIED, ASSUMING UNDERGROUND ROUTE THAT IS PATH OF LEAST OBSTRUCTIONS PER UG SUBSTRUCTURE FINDINGS. NEED VERIFICATION FROM T-MOBILE IF EXISTING UG CONDUITS ARE TO BE REUSED AND HAVE CAPACITY FOR PROPOSED CABLING NEEDS.
 - GC TO FOLLOW THE 6160 & B160 INSTALL GUIDELINES. ALL AC POWER CONDUIT TO BE RIDGE CONDUIT.
 - HAND DIG AROUND ALL EXISTING UTILITIES. MAINTAIN CLEARANCE BETWEEN EXISTING UTILITIES AND PROPOSED CONDUIT PLACEMENT.
 - POST-INSTALLATION FIELD MEASUREMENTS ARE REQUIRED PER THIS REPORT'S RECOMMENDATIONS. SIGNAGE ONLY IS RECOMMENDED TO MITIGATE THE POTENTIAL FOR EXPOSURE. SIGNAGE IS RECORDED TO BE PRESENT/EXISTING BUT THE VENDOR SHOULD PERFORM A SIGNAGE CHECK AND INSTALL OR REPLACE SIGNAGE IF NECESSARY. TO COMPLY WITH FCC REGULATION, THE RECOMMENDED MITIGATION MEASURES ARE PART OF THIS PROJECT'S REQUIREMENTS.
 - STREET LIGHT POLES SHALL MATCH THE HEIGHT, COLOR, DIAMETER AND MATERIAL OF THE ORIGINAL AND/OR ADJACENT POLES.
 - ANTENNAS (AND ASSOCIATED CABLING) SHALL MATCH THE COLOR OF THE SURFACE OF THE POLE ON WHICH THEY ARE ATTACHED.
 - ANTENNA CHIN STRAPS/COVERS ARE REQUIRED. COVERS SHOULD BE NO MORE THAN SIX INCHES LONG AND NO WIDER THAN ANTENNAS. CABLES SHOULD BE ROUTED DIRECTLY FROM CHIN STRAPS INTO THE POLE, MINIMIZING EXPOSED CABLING. CABLES SHOULD NOT LOOP OR BUNCH. 90 DEGREE CONNECTORS SHOULD BE USED.

1 EXISTING EQUIPMENT LAYOUT
 24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"



FINAL BATTERY DATA CHART			
CFC CHAPTER 12 COMPLIANCE			
SUMMARY:			
TOTAL KWH (PROPOSED) = 27.36 KWH (SINCE < 70KWH, CFC CHAPTER 12, SECTION 1206.2 NOT APPLICABLE)			
PROPOSED BATTERY INFORMATION			
BATTERY MODEL	TOTAL # OF BATTERY UNITS	AMP-HOUR RATING PER UNIT	RATED VOLTAGE PER UNIT
NORTHSTAR NSB 190FT RED	12 LEAD ACID	190 AH	12V
KWH PER BATTERY		TOTAL KWH	
AMP-HOUR RATING x RATED VOLTAGE / 1000		KWH PER BATTERY x TOTAL # OF BATTERIES	
190AH x 12V / 1000 = 2.28 KWH		2.28 KWH x 12 = 27.36 KWH	
ELECTROLYTE VOLUME			
15.84 GALLONS			

2 PROPOSED EQUIPMENT LAYOUT
 24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"

EQUIPMENT LAYOUT FOR:
WINDY RIDGE ROW
 7598 1/3 CALLE CRISTOBAL, SAN DIEGO, CA 92126

SHEET 10 OF 13 SHEETS	PRJ NO. PRJ-1116638
	PMT NO. -----
A02	

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DEVELOPMENT SERVICES DEPARTMENT

ANTENNA LAYOUT

ANTENNA POSITION	PROPOSED OPTIMAL ANTENNA & TRANSMISSION CABLES REQUIREMENTS (VERIFY WITH CURRENT RFDS)		ANTENNA MAKE AND MODEL * DENOTES EXISTING ANTENNAS TO BE REMOVED				RAD CENTER		AZIMUTH		REMOTE RADIO UNITS * DENOTES EXISTING RRHS TO BE REMOVED				DIPLEXER/BIAS TEE		TRANSMISSION LINE * CONTRACTOR TO FIELD VERIFY		
	EXISTING	PROPOSED	EXISTING		PROPOSED		EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING RRHS MAKE AND MODEL	RRHS COUNT	PROPOSED RRHS MAKE AND MODEL	RRHS COUNT	EXISTING	PROPOSED	QTY	CABLE LENGTH	FEEDER TYPE
			MODEL	SIZE	MODEL	SIZE													
SECTOR A 1	L2100/U1900	N600/L600/L700/ N1900/N2500/L1900 /L2100/G1900	* ERICSSON AIR21 B2A B4P	56"x12"x8"	COMMSCOPE FVV-65A-R3	55.6"x11.8"x7.1"	27'-2"	27'-6"	20°	20°	-	-	RRH 4460 B25+B66 RRH 4480 B71+B85 RRH 8863 B41 (SHARED)	1 1 1	-	(1) COMMSCOPE SMART BIAS TEE ATSBT-TOP-MF-4G (1) MICRODATA QUAD DIPLEXER (8:4) B66/B25 + B41	10 8 1	* ±35' * ±8' * ±30M	LDF4-50-1/2" Ø FIBER JUMPER 2F SM HYBRID 6/24 4AWG (SHARED)
SECTOR B 2	L2100/U1900	N600/L600/L700/ N1900/N2500/L1900 /L2100/G1900	* ERICSSON AIR21 B2A B4P	56"x12"x8"	COMMSCOPE FVV-65A-R3	55.6"x11.8"x7.1"	27'-2"	27'-6"	120°	120°	-	-	RRH 4460 B25+B66 RRH 4480 B71+B85 RRH 8863 B41	1 1 1	-	(1) COMMSCOPE SMART BIAS TEE ATSBT-TOP-MF-4G (1) MICRODATA QUAD DIPLEXER (8:4) B66/B25 + B41	10 8 1	* ±35' * ±8' * ±30M	LDF4-50-1/2" Ø FIBER JUMPER 2F SM HYBRID 6/24 4AWG (SHARED)
SECTOR C 3	L2100/U1900	N600/L600/L700/ N1900/N2500/L1900 /L2100/G1900	* ERICSSON AIR21 B2A B4P	56"x12"x8"	COMMSCOPE FVV-65A-R3	55.6"x11.8"x7.1"	27'-2"	27'-6"	230°	230°	-	-	RRH 4460 B25+B66 RRH 4480 B71+B85 RRH 8863 B41 (SHARED)	1 1 1	-	(1) COMMSCOPE SMART BIAS TEE ATSBT-TOP-MF-4G (1) MICRODATA QUAD DIPLEXER (8:4) B66/B25 + B41	10 8 1	* ±35' * ±8' * ±30M	LDF4-50-1/2" Ø FIBER JUMPER 2F SM HYBRID 6/24 4AWG (SHARED)
											TOTAL	-	TOTAL	8					

NOTES TO CONTRACTOR:

- CONTRACTOR IS TO REFER TO T-MOBILE'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION
- CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK
- CONTRACTOR TO VERIFY PORTS HAVE SUFFICIENT ROOM

NOTE:

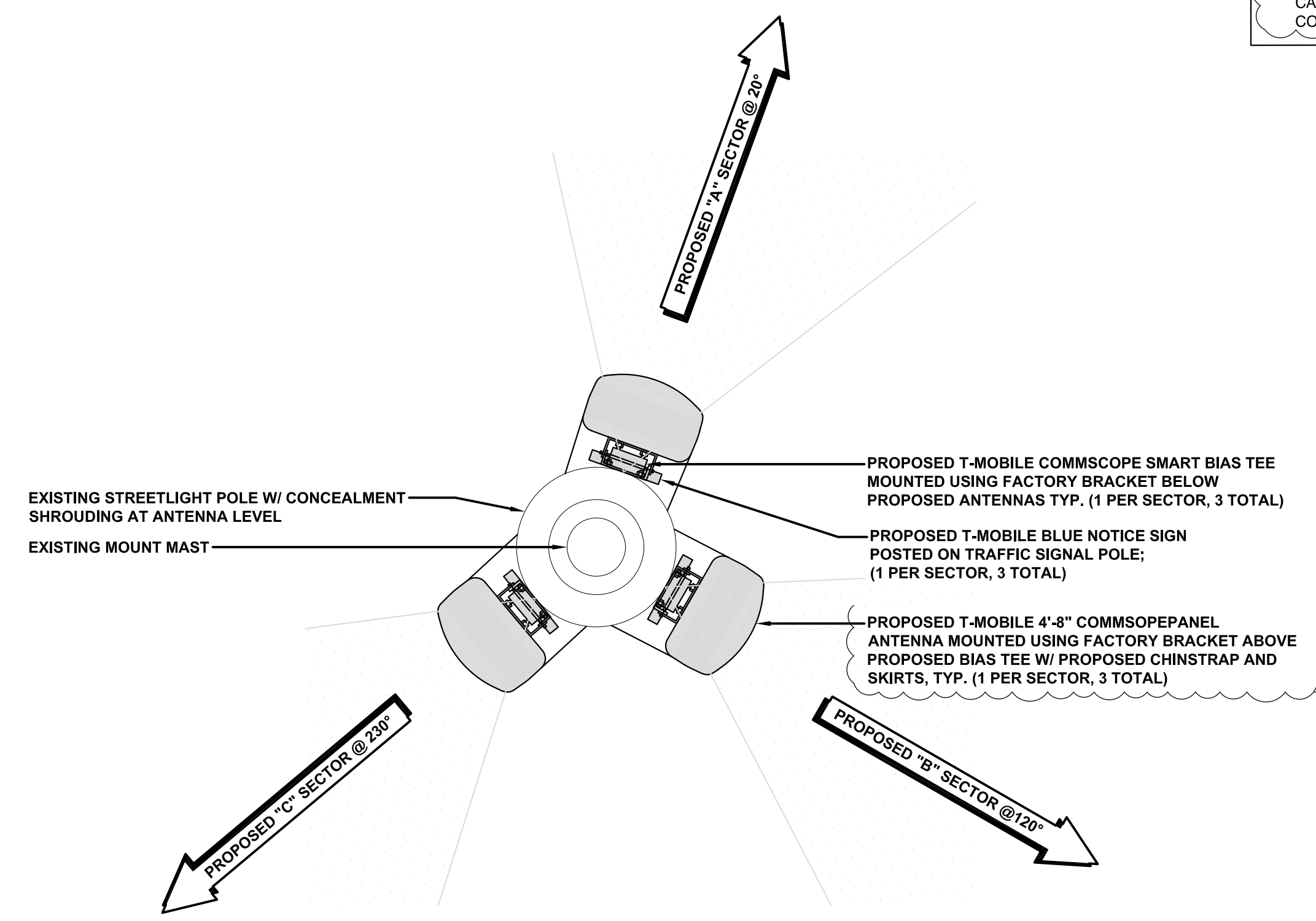
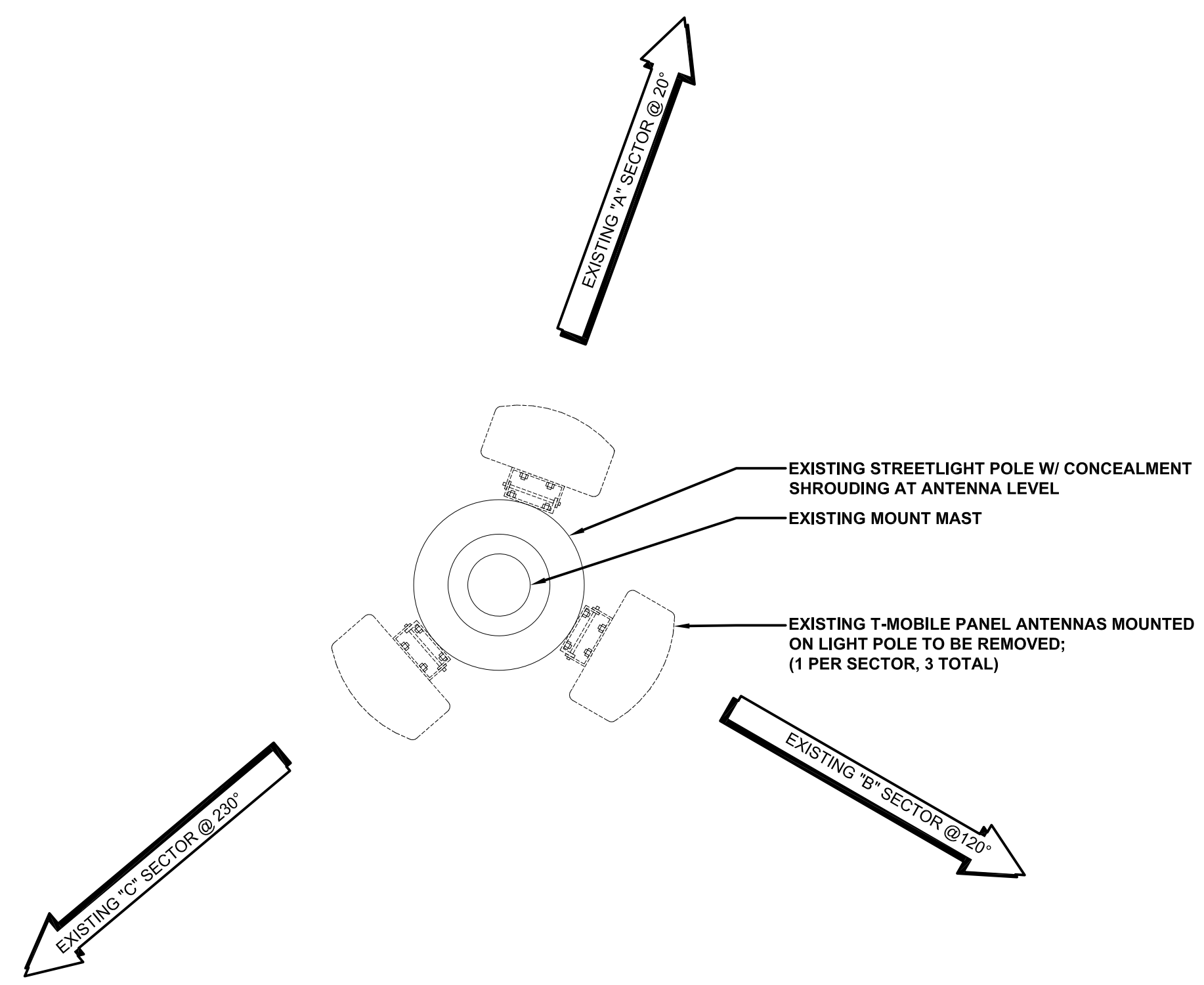
- EXISTING ANTENNA AZIMUTHS ARE ESTIMATED AND ARE TO BE VERIFIED BY RF.

NOTE:

- PROPOSED ANTENNAS AND EQUIPMENT MOUNTED TO THE EXISTING LIGHT POLE SHALL BE PAINTED TO MATCH EXISTING POLE.
- CABLE ROUTING FROM CABINET TO RADIO H-FRAME AND ONTO POLE NEEDS TO BE VERIFIED, ASSUMING UNDERGROUND ROUTE THAT IS PATH OF LEAST OBSTRUCTIONS PER UG SUBSTRUCTURE FINDINGS. NEED VERIFICATION FROM T-MOBILE IF EXISTING UG CONDUITS ARE TO BE REUSED AND HAVE CAPACITY FOR PROPOSED CABLING NEEDS. GO TO USE CONCEAL FAB PIM INTERFERENCE PRODUCT/SUPPORT SYSTEMS FOR CABLE MANAGEMENT.
- STREET LIGHT POLES SHALL MATCH THE HEIGHT, COLOR, DIAMETER AND MATERIAL OF THE ORIGINAL AND/OR ADJACENT POLES.
- ANTENNAS (AND ASSOCIATED CABLING) SHALL MATCH THE COLOR OF THE SURFACE OF THE POLE ON WHICH THEY ARE ATTACHED.
- ANTENNA CHIN STRAPS/COVERS ARE REQUIRED. COVERS SHOULD BE NO MORE THAN SIX INCHES LONG AND NO WIDER THAN ANTENNAS. CABLES SHOULD BE ROUTED DIRECTLY FROM CHIN STRAPS INTO THE POLE, MINIMIZING EXPOSED CABLING. CABLES SHOULD NOT LOOP OR BUNCH. 90 DEGREE CONNECTORS SHOULD BE USED.

3 ANTENNA & EQUIPMENT SCHEDULE

24"x36" SCALE: NTS
11"x17" SCALE: NTS



1 EXISTING ANTENNA LAYOUT
24"x36" SCALE: 1" = 1'-0"
11"x17" SCALE: 1/2" = 1'-0"

2 PROPOSED ANTENNA LAYOUT
24"x36" SCALE: 1" = 1'-0"
11"x17" SCALE: 1/2" = 1'-0"

ANTENNA LAYOUT FOR:
WINDY RIDGE ROW
7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 11 OF 13 SHEETS
PRJ NO. PRJ-1116638
PMT NO. -----

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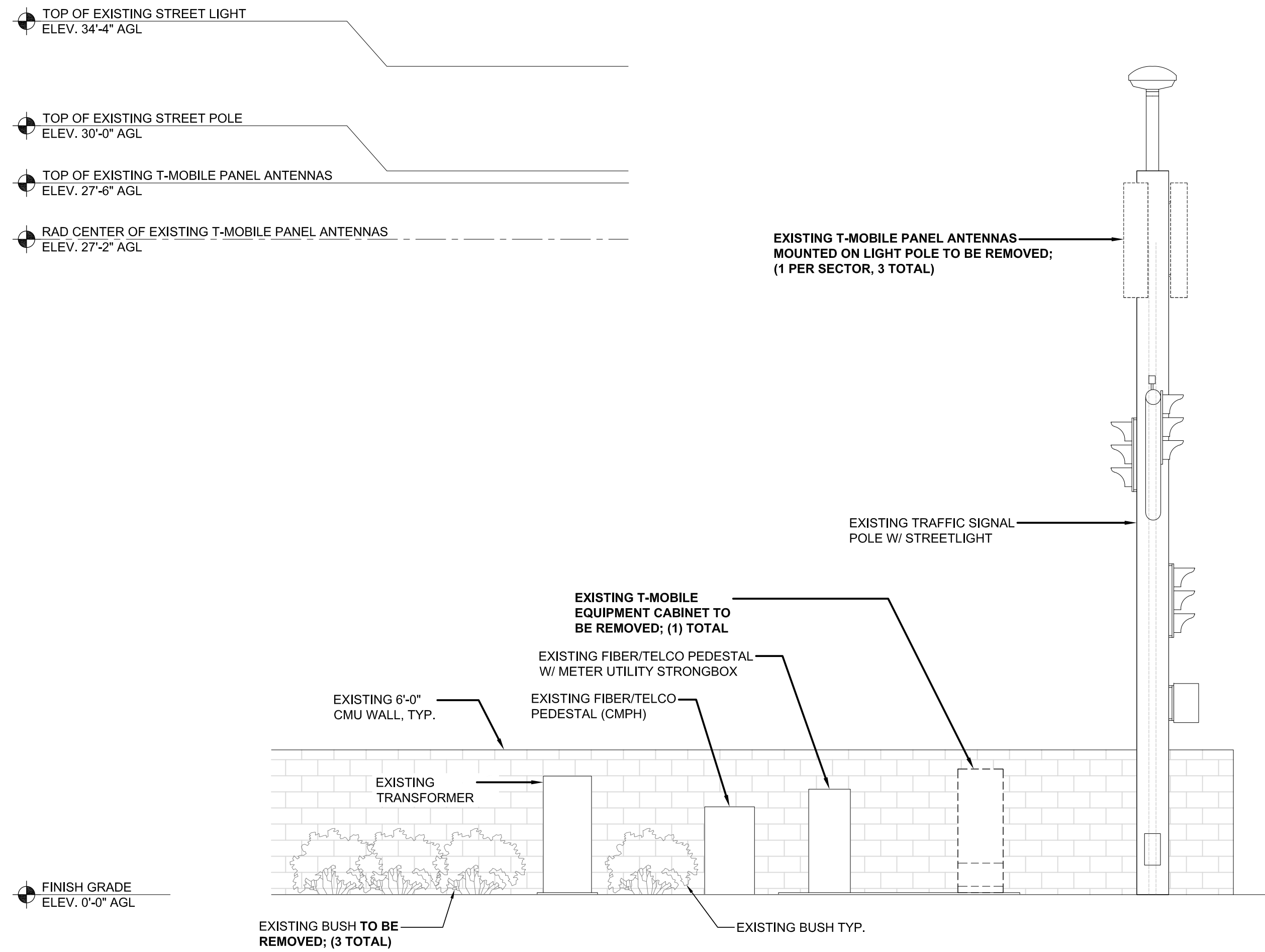
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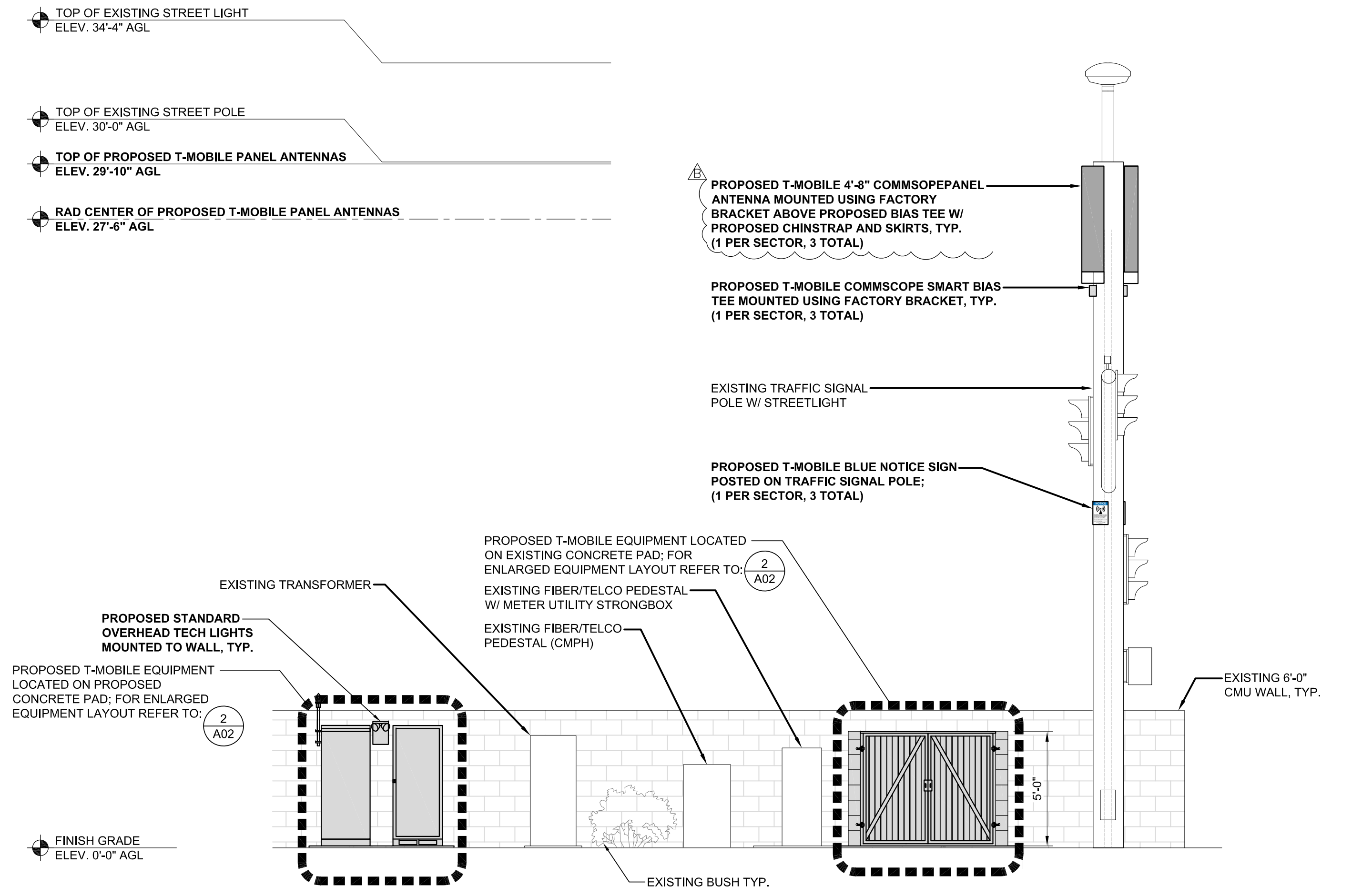
ELEVATIONS

- NOTES:
1. PROPOSED ANTENNAS AND EQUIPMENT MOUNTED TO THE EXISTING LIGHT POLE SHALL BE PAINTED TO MATCH EXISTING POLE.
 2. AREA BENEATH REMOVED BUSHES IS TO BE BACKFILLED IN AND RESURFACED WITH NATIVE SOIL AND LANDSCAPING TO BE RESTORED TO ORIGINAL OR PRE-EXISTING CONDITION WITH EXCEPTION TO REASONABLE WEAR AND TEAR.
 3. CABLE ROUTING FROM CABINET TO RADIO H-FRAME AND ONTO POLE NEEDS TO BE VERIFIED, ASSUMING UNDERGROUND ROUTE THAT IS PATH OF LEAST OBSTRUCTIONS PER UG SUBSTRUCTURE FINDINGS. NEED VERIFICATION FROM T-MOBILE IF EXISTING UG CONDUITS ARE TO BE REUSED AND HAVE CAPACITY FOR PROPOSED CABLING NEEDS.



FINISH GRADE
ELEV. 0'-0" AGL

1 EXISTING SOUTH ELEVATION
24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"



FINISH GRADE
ELEV. 0'-0" AGL

2 PROPOSED SOUTH ELEVATION
24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"

ELEVATION FOR:
WINDY RIDGE ROW
7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126

SHEET 12 OF 13 SHEETS
PRJ NO. PRJ-1116638
PMT NO. -----

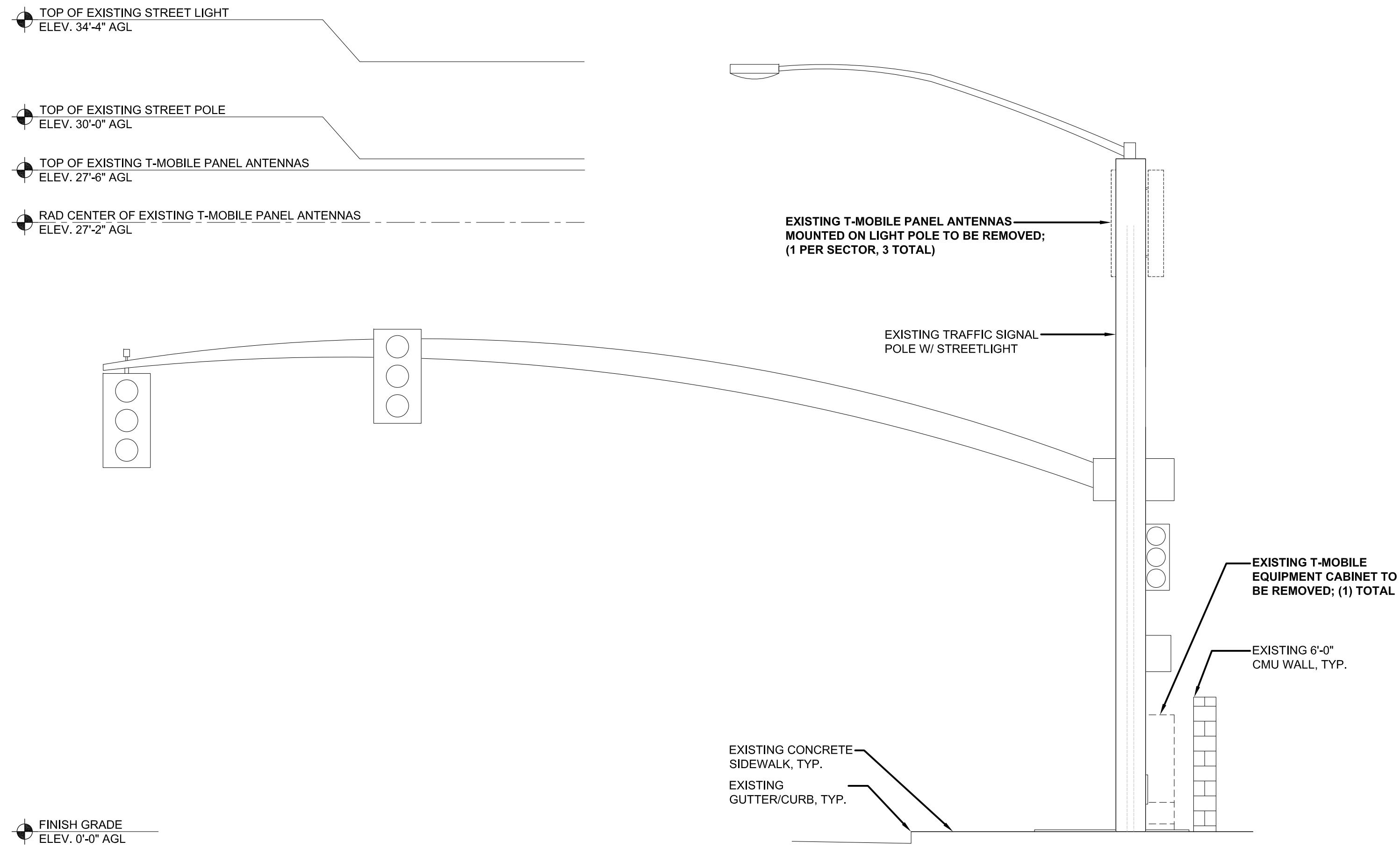
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 M SQUARE WIRELESS 1387 CALLE AVANZADO SAN CLEMENTE CA 92673 (949) 391-8824	 T-Mobile	 PRECEPT WIRELESS CONSULTANTS
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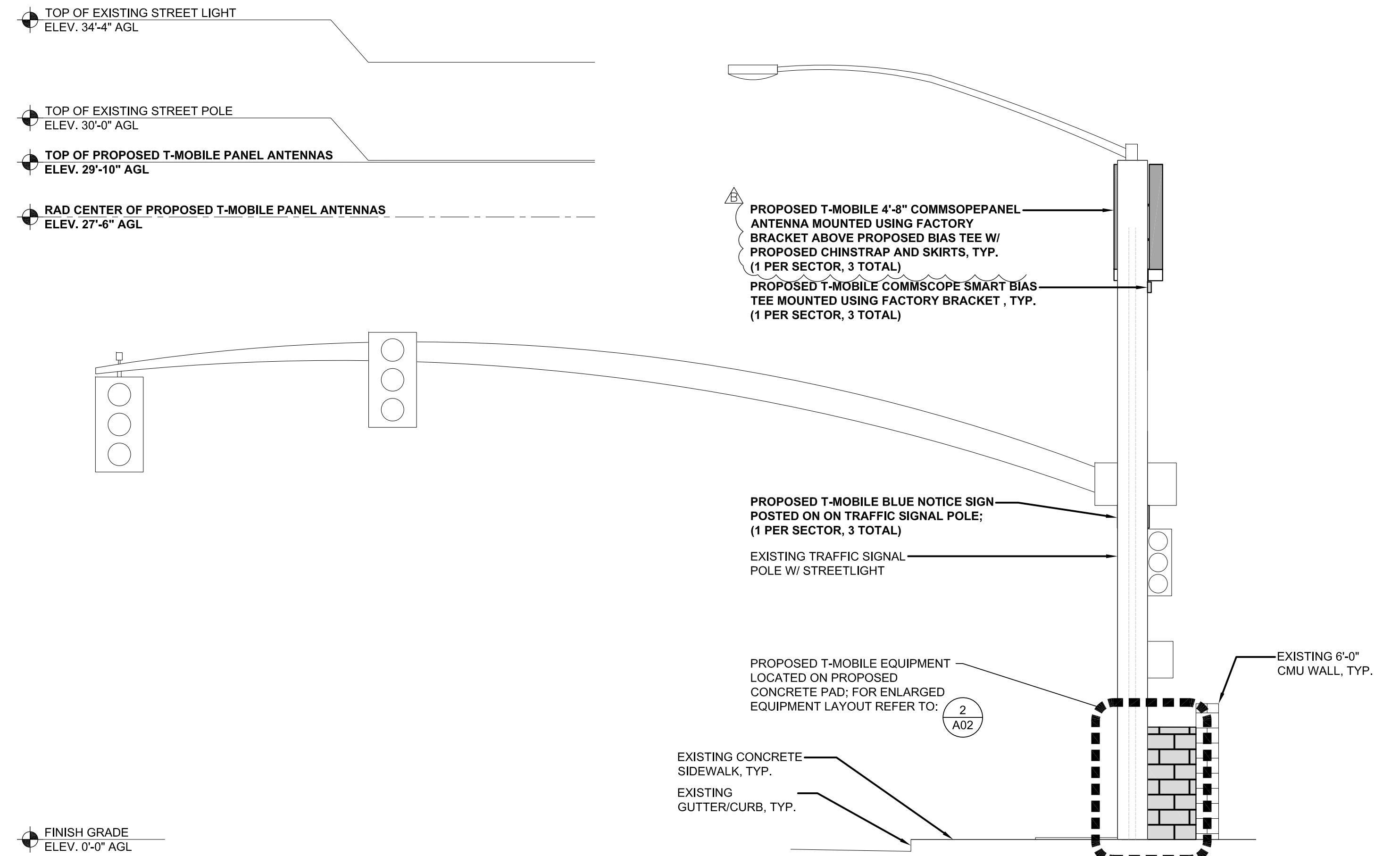
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ELEVATIONS

- NOTES:
1. PROPOSED ANTENNAS AND EQUIPMENT MOUNTED TO THE EXISTING LIGHT POLE SHALL BE PAINTED TO MATCH EXISTING POLE.
 2. AREA BENEATH REMOVED BUSHES IS TO BE BACKFILLED IN AND RESURFACED WITH NATIVE SOIL AND LANDSCAPING TO BE RESTORED TO ORIGINAL OR PRE-EXISTING CONDITION WITH EXCEPTION TO REASONABLE WEAR AND TEAR.
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1 EXISTING EAST ELEVATION
 24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
 24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"

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The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

ELEVATION FOR: WINDY RIDGE ROW 7598 1/3 CALLE CRISTOBAL SAN DIEGO, CA 92126	
SHEET 13 OF 13 SHEETS	PRJ NO. PRJ-1116638
	PMT NO. -----
	A05