



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 22, 2025 REPORT NO. HO-25-005
HEARING DATE: January 29, 2025
SUBJECT: 5616 Abalone, Process Three Decision
PROJECT NUMBER: [PRJ-1104245](#)
OWNER/APPLICANT: *David L. Dunlavy and Jill L. Fleming / Chandra Slaven*

SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit to demolish an existing 1,422 square-foot single dwelling unit and construct a new 2,888 square-foot two-story single-dwelling unit with retaining walls located at [5616 Abalone Place](#) within the [La Jolla Community Planning Area](#).

Proposed Actions:

1. APPROVE Coastal Development Permit No. [PMT-3259311](#)

Fiscal Considerations: None. The applicant funds a deposit account that recovers all costs associated with processing the application.

Code Enforcement Impact: There are no open code enforcement actions on this site.

Housing Impact Statement: The project will demolish the existing single-dwelling unit and construct a new two-story single-dwelling unit. Relocation assistance is not required since the project site has one occupant.

Community Planning Group Recommendation: On April 4, 2024 the La Jolla Community Planning Association voted 14-0 to recommend approval of the proposed project without conditions (Attachment 6).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental determination for this project was made on November 14, 2024, and the opportunity to appeal that determination ended on November 29, 2024 (Attachment 7).

BACKGROUND

The 0.11-acre site contains an existing dwelling unit to be demolished. It is located at 5616 Abalone Place, north of Dolphin Place, west of Chelsea Avenue and east of the Pacific Ocean (Attachment 1) in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Coastal Parking Impact Overlay Zone, Beach Impact Overlay Zone, Transit Priority Area, within the La Jolla Community Plan area. The project site is a rectangular lot bordered by residential development to the north, east, and south and the Pacific Ocean to the west, located within a fully developed residential neighborhood.

DISCUSSION

Project Description:

The project proposes to demolish the existing 1,422-square-foot single-dwelling unit and construct a new 2,888-square-foot two-story single-dwelling unit with retaining walls approximately 3 feet in height and terraced with landscape planters in between. The retaining walls will add strength and reinforcement to the structure.

Permits Required

- A Coastal Development Permit (CDP) per San Diego Municipal Code (SDMC) Section [126.0702\(a\)](#) and Section [126.0707\(b\)](#) is required for development within the Coastal Overlay Zone. A decision on an application for a City-issued CDP in the appealable area of the Coastal Overlay Zone shall be made in accordance with Process Three, with the Hearing Officer as the decision maker, and findings per SDMC section [126.0708\(a\)](#).

The proposed single-dwelling unit is in an area identified as Low-Density Residential (5-9 dwelling units/acre) within the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP). The property's residential use is consistent with the land use designation and density range of the LJCP. The project proposes to demolish the existing single-dwelling unit and construct new single-dwelling unit on a 0.11-acre lot. The proposed project is not located on or near any environmentally sensitive lands, but it is situated close to the Pacific Ocean. As a result, any runoff from the site may potentially reach the ocean. To ensure the preservation of public health, safety, and welfare, the development will comply with all applicable standards related to emissions, drainage, water quality, stormwater, refuse and recycling. Additionally, the proposed development will require the preparation of a Water Pollution Control Plan (WPCP) before the issuance of a building permit. The proposed construction's maximum structure height is 27 feet, below the 30-foot height limit of the Coastal Height Limit Overlay Zone.

The project site is located between the first public roadway (Chelsea Avenue) and the Pacific Ocean. The project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast. The LJCP does not identify public views across the site. Therefore, the proposed coastal development will not encroach upon any existing physical accessway legally used by the public or any proposed public accessway identified in the LJCP.

The site does not contain sensitive biological resources, and it is not within or adjacent to the City's Multi-Habitat Planning Area (MHPA). The project is categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302, Replacement or Reconstruction, which demonstrates that it would not have a significant effect on the environment.

The existing dwelling unit is a one-story 1,422 square foot single-family residence. The proposed construction involves multiple plane changes, including two porches, all positioned behind the front yard setback. The building will feature one 2-story vertical element at both facades that will be 24' high and will be located 32' behind the property line at Abalone and 43' at Dolphin. The design of both front facades incorporates an exceptional amount of building articulation and blends well with the surrounding buildings. Moreover, it is important to note that two-story buildings featuring facades in vertical flat planes are present in the immediate neighborhood and in La Jolla. The "wedding cake" stepped facade is a technique of building articulation and not a requirement.

Conclusion:

City staff has determined that the project is consistent with the Community Plan and Local Coastal Program, and the regulations of the Land Development Code, as described above. Staff has provided draft findings and conditions to support approval of the project (Attachments 4 and 5) and recommends that the Hearing Officer approve the Coastal Development Permit as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3259311, with modifications.
2. Deny Coastal Development Permit No. PMT-3259311, if the findings required to approve the project cannot be affirmed.

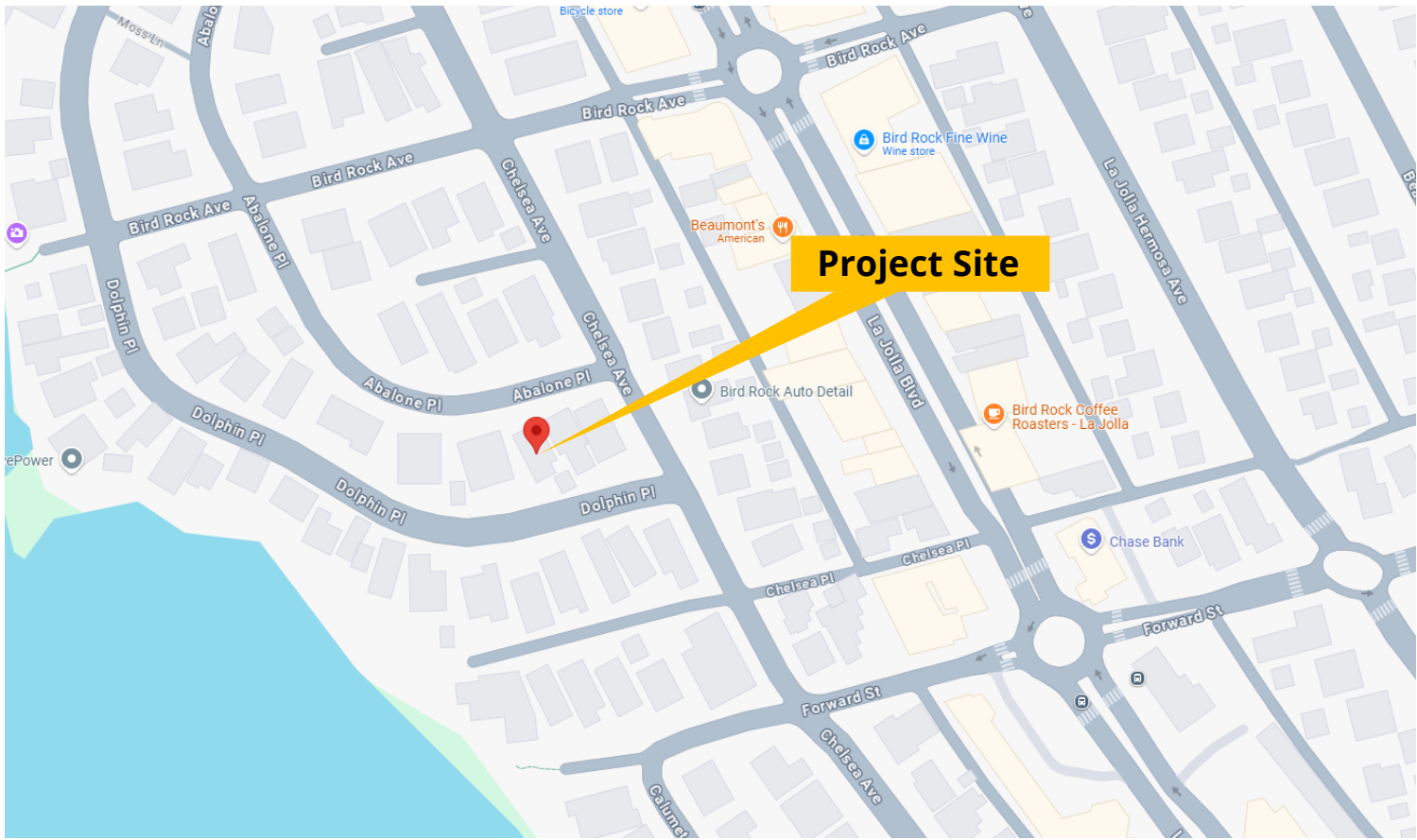
Respectfully submitted,

Hector Rios

Hector Rios
Development Project Manager
Development Services Department

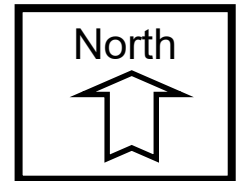
Attachments:

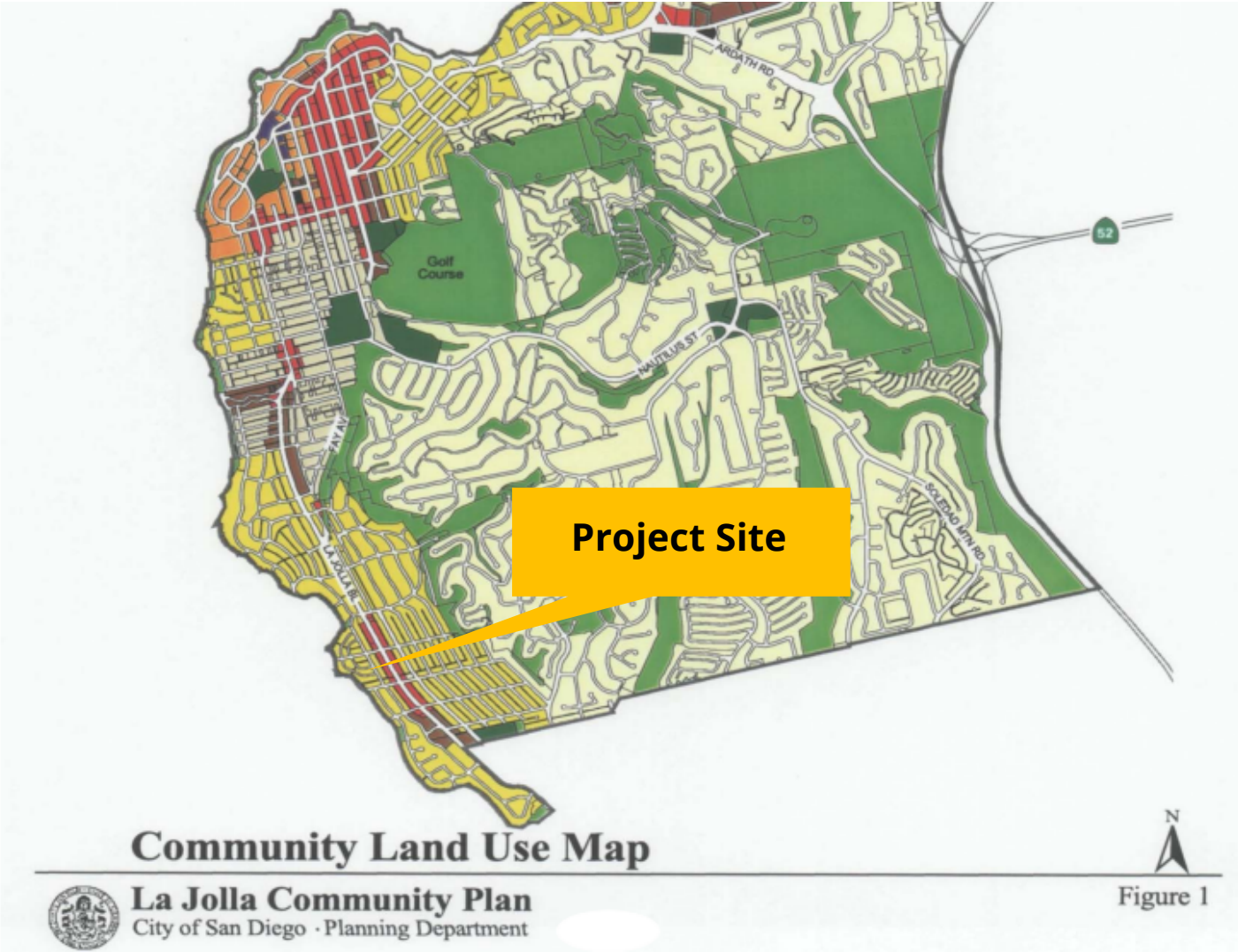
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

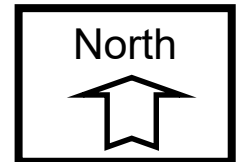
5616 Abalone Place
Project No. PRJ-1104245





Land Use Map

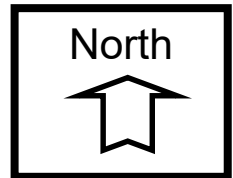
5616 Abalone Place
Project No. PRJ-1104245





Aerial Photograph

5616 Abalone Place
Project No. PRJ-1104245



HEARING OFFICER RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. PMT-3259311
5616 ABALONE PLACE - PROJECT NO. PRJ-1104245

WHEREAS, David L. Dunlavy and Jill L. Fleming, Trustees of Fleming-Dunlavy Revocable Trust Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing 1,422 square-foot single dwelling unit and construct a new 2,888 square-foot two-story single-dwelling unit with retaining walls (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT-3259311 on portions of a 0.11-acre site;

WHEREAS, the project site is located at 5616 Abalone Place in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Coastal Parking Impact Overlay Zone, Beach Impact Overlay Zone, Transit Priority Area within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Parcel 1: LOT 7 IN BLOCK "C" OF THE RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, ACCORDING TO MAP THEREOF NO. 1138, FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908. Parcel 2: AN EASEMENT FOR LIGHT AND AIR OVER THE NORTHERLY 22 FEET OF LOT 6 IN BLOCK "C" A RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, ACCORDING TO MAP THEREOF NO.1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908. APN: 357-424-0400;

WHEREAS, on November 14, 2024 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction) and

there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 29, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3259311 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3259311:

A. Coastal Development Permit [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project involves demolishing an existing 1,422-square-foot one-story single dwelling unit to construct a new 2,888-square-foot two-story single dwelling unit with retaining walls at 5616 Abalone Place. The 0.11-acre project site is in the RS-1-7 Zone and Coastal (appealable) Overlay Zone within the La Jolla community planning area.

The project site is situated about 300 feet east of the Pacific Ocean, and there are no public coastal access or dedicated physical access points listed on page 24 of the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP) within the site. The proposed construction's maximum height is 27 feet, which is below the 30-foot height limit of the Coastal Height Limit Overlay Zone.

The site is located within a scenic overlook, meaning a view over private properties from a public ROW. This site is located in Subarea H: Bird Rock - Visual Access. The proposed coastal development's maximum height is 27 feet, below the 30-foot height limit of the coastal height limit. This will help ensure the development does not limit public views across the site. Additionally, the project preserves public views through conformance with the 15-foot front yard setback along Abalone Place and incorporates design principles that feature a 2-story vertical element at both facades that will be 24 feet high and will be located 32 feet behind the property line at Abalone Place and 43 feet behind at Dolphin Place which will blend in with the existing landscape. The two new concrete block retaining walls are located at the rear of the property on Dolphin Place. The retaining walls are approximately 3 feet in height and will be terraced with landscape planters in between. The "wedding cake"

stepped facade is a technique of building articulation and not a requirement of the community plan. The La Jolla Community Plan does not identify public access to the site.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan. Furthermore, as specified in the Local Coastal Program land use plan, it will not impact public views of and along the ocean and other scenic coastal areas.

b. The coastal development will not adversely affect environmentally sensitive lands.

The proposed project is not located on or near any environmentally sensitive lands, but it is situated close to the Pacific Ocean. As a result, any runoff from the site may potentially reach the ocean. To ensure the preservation of public health, safety, and welfare, the development will comply with all applicable emissions, drainage, water quality, stormwater, refuse and recycling standards. The project will not discharge any increase in stormwater run-off onto the adjacent properties. The drainage shall discharge to La Jolla Mesa Drive. Additionally, the proposed development will require the preparation of a Water Pollution Control Plan (WPCP) before issuing a building permit.

Therefore, the proposed development will not adversely affect environmentally sensitive lands as none are present on the site.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation program.

The La Jolla Community plan designates the site and surrounding area as Low-Density Residential (5-9 dwelling units/acre). The project proposes the construction of a new single-dwelling unit on a 0.11-acre lot which is consistent with the prescribed land use and density.

The LJCP recommends development promote community character through addressing transitions between the bulk and scale of new and older development in residential areas. This can be achieved by maintaining the existing 30-foot height limit of the single dwelling unit zones and Proposition D. Furthermore, structures with front and side yard facades that exceed one story are encouraged to slope or step back additional stories to allow flexibility in project design while maintaining the integrity of the streetscape and providing adequate amounts of light and air (LJCP, page 76). The LJCP allows for flexibility in design to implement plan policies. The proposed project adheres to the 30-foot height limit and incorporates step backs in the building that will contribute to the visual consistency and character of the neighborhood, promoting a sense of continuity and cohesion among neighboring properties.

Furthermore, the project adheres to the LJCP's recommendations for promoting visual relief and maintaining the character of residential areas. Specifically, the LJCP suggests utilizing various architectural techniques such as diagonal or off-setting planes, building articulation, roofline treatment, and variations within front-yard setback requirements to facilitate transitions in scale between new and older structures. These recommendations aim to ensure new development will blend harmoniously with the existing built environment, contributing to a visually cohesive neighborhood landscape. The proposed project incorporates multiple plane changes, including a "wedding cake" style step back to break up the bulk and scale of the building. The project also includes two porches, both positioned behind the front yard setback. The building will feature one two-story vertical element at both facades that will be 24 feet high and will be located 32 feet behind the property line at Abalone Place and 43 feet behind the property line at Dolphin Place. The design of both front facades incorporates an exceptional amount of building articulation that will blend well with the surrounding buildings. This design will be consistent with the immediate surrounding neighborhood which features a variety of two-story buildings that contain facades in vertical flat planes.

Additionally, the La Jolla Development Permit Review Committee has approved this project, specifically recognizing that it meets its intended community character. The partial intermittent or partial vista on Dolphin Place is to the south, whereas the project site is located on the north side of the Street, which means that any view is inland.

As described in finding A.1., incorporated here by reference, the proposed development will observe setbacks to all property lines consistent with other properties in the existing established residential neighborhood. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located between the first public roadway (Chelsea Avenue) and the Pacific Ocean. It is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast. The LJCP does not identify public views across the site. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, COASTAL DEVELOPMENT PERMIT NO. PMT-3259311 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. APPROVAL NO., a copy of which is attached hereto and made a part hereof.

Hector Rios
Development Project Manager
Development Services

Adopted on: January 29, 2025

IO#: 24009727

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009727

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3259311
5616 ABALONE PLACE - PROJECT NO. PRJ-1104245
HEARING OFFICER

This Coastal Development Permit No. PMT-3259311 is granted by the Hearing Officer of the City of San Diego to David L. Dunlavy and Jill L. Fleming, husband and wife, Trustees of the Fleming-Dunlavy Revocable Trust Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.11-acre site is located at 5616 Abalone Place in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Coastal Parking Impact Overlay Zone, Beach Impact Overlay Zone, Transit Priority Area within the La Jolla community planning area. The project site is legally described as: Parcel 1: LOT 7 IN BLOCK "C" OF THE RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, ACCORDING TO MAP THEREOF NO. 1138, FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908. Parcel 2: AN EASEMENT FOR LIGHT AND AIR OVER THE NORTHERLY 22 FEET OF LOT 6 IN BLOCK "C" A RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, ACCORDING TO MAP THEREOF NO.1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908. APN: 357-424-0400

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing 1,422 square-foot single dwelling unit and construct a new 2,888 square-foot two-story single-dwelling unit with retaining walls described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 29, 2025, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-dwelling unit;
- b. Construction of a new 2,888 square-foot, two-story single-dwelling unit;
- c. Landscaping (planting, irrigation and landscape-related) improvements;
- d. Off-street parking;

- e. Retaining walls; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by February 12, 2028
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall grant to the City a 7-foot wide Irrevocable Offer of Dedication adjacent to the site on Dolphin Place and Abalone Place,

satisfactory to the City Engineer. The property owner shall also enter into an agreement with the City waiving the right to oppose special assessment proceedings initiated for public improvements.

13. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the existing non-standard driveway, garage, railing, steps, walls, planters, sidewalk underdrains, landscape and irrigation within the City's right-of-way, satisfactory to the City Engineer. Removal of these items will be coordinated when necessary to accommodate a comprehensive street improvement project for the northerly side of Dolphin Street between Chelsea Avenue and Bird Rock Avenue or other public improvement project which necessitates removal.

14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond (as applicable) the replacement of the existing curb with City Standard curb & gutter, adjacent to the site on Abalone Place, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond (as applicable), the construction of a 12-foot-wide City Standard concrete driveway adjacent to the site on Abalone Place, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 of Construction BMP Standards Chapter 4 of the City's Stormwater Standards.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

19. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

21. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the

Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).

23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents KV1 is damaged or removed, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of the damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

25. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this

discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 29, 2025, and [Approved Resolution Number].

DRAFT

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Hector Rios
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
David L. Dunlavy
Trustee of Fleming-Dunlavy Revocable Trust

Owner/Permittee

By _____
Jill L. Fleming
Trustee of Fleming-Dunlavy Revocable Trust

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



THE CITY OF SAN DIEGO

DATE OF NOTICE: November 14, 2024

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009727

PROJECT NAME / NUMBER: 5616 Abalone / PRJ-1104245

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 5616 Abalone Pl, San Diego, CA 92037

PROJECT DESCRIPTION: The project proposes a Coastal Development Permit (CDP) and Site Development Permit (SDP) to demolish the existing 1,731 square foot (sf) one-story single-family residence to construct a new 2,888 sf two-story single-family residence and associated site improvements (i.e. hardscaping, landscaping, and retaining walls) at 5616 Abalone Pl. The 0.11-acre lot is located in the RS-1-7 base zone and is designated Low-Density Residential (5-9 dwelling units per acre) within the La Jolla Community Plan Area. The project site is also within the Parking Impact Overlay Zone (Coastal, Beach), and the Coastal Zone (Appealable). **LEGAL DESCRIPTION:** Lot 7 Block C, Resubdivision of a Portion of Bird Rock City by the Sea, Map 1138 Filed in the Office of County Recorder, San Diego County, June 10, 1908.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302, Replacement or Reconstruction.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). The exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Since the project proposes the replacement of an existing single-family residence and associated site improvements with a new single-family residence and associated site improvements, this exemption was deemed appropriate. In addition, the exceptions listed in CEQA

Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

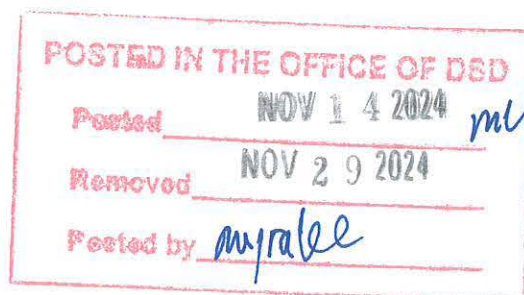
DEVELOPMENT PROJECT MANAGER: Hector Rios
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 533-6733 / hrrios@sandiego.gov


On November 14, 2024 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (November 29, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) **Appeals filed via E-mail:** The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) **Appeals filed in person:** Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	Community Planning Committee Distribution Form
	Project Name: 5616 ABALONE STREET	Project Number: 1104245
Community: La Jolla		
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: April 04, 2024
# of Members Yes 14	# of Members No 0	# of Members Abstain 0
Conditions or Recommendations: APPROVED WITHOUT CONDITIONS		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: ADRIAN FERAL		
TITLE: SECRETARY	DATE: May 29, 2024	

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Fleming Dunlavy Residence Project No. For City Use Only: PRJ-1104245

Project Address: 5616 Abalone Place, La Jolla, Ca 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
The Property Owner and Applicant is a Trust organized in Houston, TX.
 Partnership Individual David L. Dunlavy and Jill L. Fleming are the sole Trustees

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: David L. Dunlavy, Trustee, Fleming Dunlavy Revocable Trust Owner Tenant/Lessee Successor Agency

Street Address: 5616 Abalone Place

City: La Jolla State: Ca Zip: 92037

Phone No.: 781-632-8988 Fax No.: _____ Email: daviddunlavy@hotmail.com

Signature: [Signature] Date: JULY 25, 2023

Additional pages Attached: Yes No

Applicant

Name of Individual: David L. Dunlavy, Trustee, Fleming Dunlavy Revocable Trust Owner Tenant/Lessee Successor Agency

Street Address: 5616 Abalone Place

City: La Jolla State: Ca Zip: 92037

Phone No.: 781-632-8988 Fax No.: _____ Email: daviddunlavy@hotmail.com

Signature: [Signature] Date: JULY 25, 2023

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

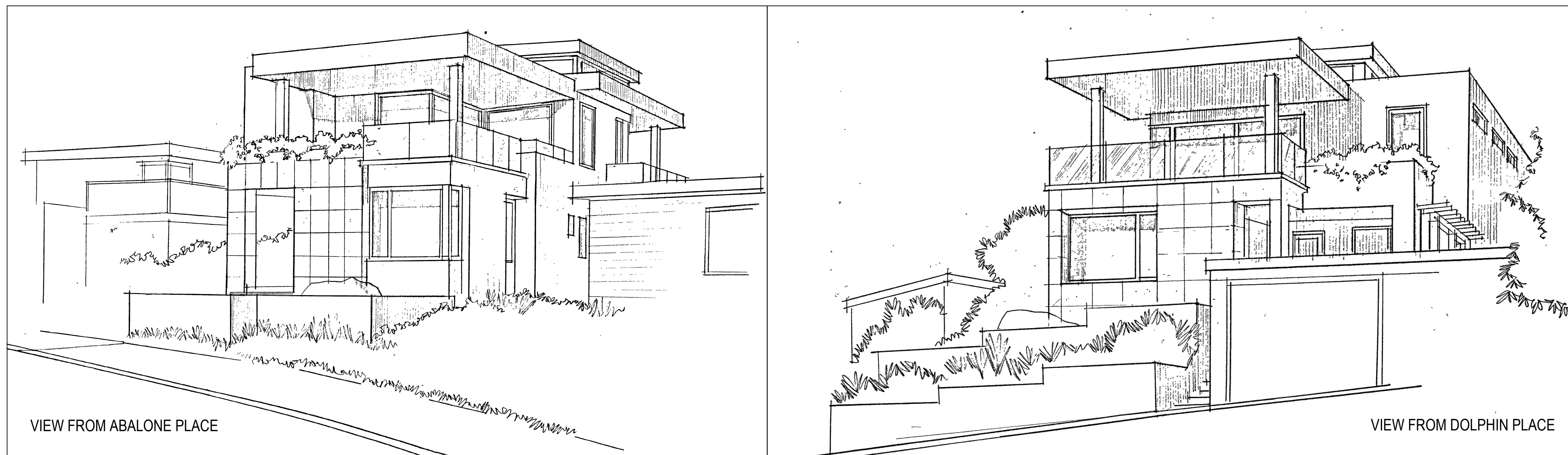
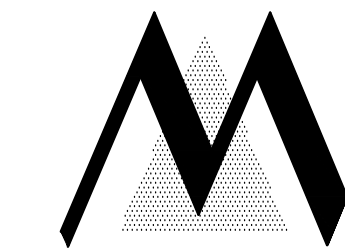
Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No



PROJECT TEAM

ARCHITECT: MARTIN ARCHITECTURE
2333 STATE STREET STE. 100
CARLSBAD, CA 92008
CONTACT: TIM MARTIN AIA
760-729-3470 (O)
760-729-3473 (F)

CIVIL ENGINEER: CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE J
SAN DIEGO, CA 92126
858-271-9901 (O)

SURVEYOR: CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE J
SAN DIEGO, CA 92126
858-271-9901 (O)

GEOTECHNICAL ENGINEER: GEOTECHNICAL EXPLORATION INC.
7420 TRADE STREET
SAN DIEGO, CA 92121
858-549-7222 (O)

LANDSCAPE ARCHITECT: GRAIN LANDSCAPE ARCHITECTURE
BRET BELYEA
858-504-2738
GRAINLANDARCH.com

STORMWATER REQUIREMENTS

- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/ DESIGNER TO ENSURE THAT THE CURRENT STORMWATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THIS PROJECT
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES THE DRAINAGE SHALL DISCHARGE TO LA JOLLA MESA DRIVE
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER /PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14 ARTICLE2 DIVISION 1 (GRADING REGULATIONS) OF THE SDMC INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER /PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP) THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS

GENERAL NOTES

- FOR FINISH GRADE ELEVATIONS SEE GRADING PLAN SHEET C-2
- FOR SITE HARDSCAPE AND LANDSCAPED AREA SEE LANDSCAPE PLANTING AND HARDSCAPE PLANS SHEETS L1.0 , L1.1
- FOR RETAINING WALL ELEVATIONS SEE GRADING PLAN SHEET C-2
- SEE SITE SECTIONS SHEET A102 FOR SITE SECTIONS INDICATED BY SECTION SYMBOL
- FOR SITE DRAINAGE SEE GRADING PLAN SHEET C-2
- SEE NEIGHBORHOOD SITE PLAN SHEET A106 FOR FIRE HYDRANT LOCATIONS AND ADJACENT LOT INFORMATION
- NO STRUCTURES OR LANDSCAPING OVER 3 FT HT. TO BE PLACED IN VISIBILITY AREAS
- PROVISION FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION PROVIDE RESERVE SPACE AT ELECTRICAL PANEL WITH RACEWAY TO JUNCTION BOX AT GARAGE FOR FUTURE ELEC. VEHICLE CHARGING
- SOLAR PHOTOVOLTAIC PANELS SHALL BE INSTALLED . PROVIDE RESERVE SPACE AT MAIN ELECTRICAL SERVICE PANEL
- EXTERIOR LIGHTING REQUIREMENTS ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHADED & ADJUSTED TO FALL ON SAME PREMISES ON WHICH LIGHTS ARE LOCATED
- A PRELIMINARY DRAINAGE STUDY BY CHRISTENSEN ENGINEERING DATED FEBRUARY 18TH 2022 HAS BEEN PREPARED FOR THIS PROJECT
- A LIMITED GEOTECHNICAL INVESTIGATION HAS BEEN PREPARED FOR THIS PROJECT . SEE JOB NO.23-14240 DATED MAY 24th 2023 PREPARED BY GEOTECHNICAL EXPLORATION INC.
- PROJECT LOCATED WITHIN THE ASBS AREA, OWNERS WILL BE RESPONSIBLE TO COMPLY WITH ALL RULES AND REGULATIONS ACCORDINGLY

EXISTING BUILDING

EXISTING BUILDING (TO BE DEMOLISHED):
DATE OF CONSTRUCTION: 1952
EXISTING USE: SINGLE FAMILY RESIDENCE w/ DETACHED 1 CAR GARAGE
OCCUPANCY: R-3 & U
DESCRIPTION: 3 BEDROOMS, 2-1/2 BATH SINGLE STORY
EXISTING MAIN FLOOR AREA =1,422 SF
EXISTING SHARED GARAGE = 309 SF
EXISTING GROSS FLOOR AREA = 1,731 SF

PROPOSED NEW RESIDENCE AREA CALCULATION

BUILDING AREA:
MAIN LEVEL HABITABLE: 1,664 SF
UPPER LEVEL HABITABLE: 1,109 SF
TOTAL HABITABLE AREA: 2,773 SF
EXISTING GARAGE (NOT EXEMPT) : 48 SF
TOTAL FLOOR AREA : 2,821 SF

AREAS INCLUDED FOR FAR CALC.

POWDER ROOM OVERHANG 67 SF
PER UMC 113.0234(a)(2)(B)

GROSS FLOOR AREA:

TOTAL AREA : 2,888 SF

FLOOR AREA RATIO

ALLOWABLE F.A.R. 0.6 x 4,816 = 2,889.6 SF
EXISTING F.A.R. 0.31
PROPOSED F.A.R. 2,888 / 4,816=0.6

COVERED TERRACE & DECK AREAS

BEDROOM 3 TERRACE 157 SF
ENTRY PORCH 133 SF
LANAI 468 SF
VIEW DECK 511 SF

FIRE DEPARTMENT REQUIREMENTS

- SEE NEIGHBORHOOD SITE PLAN SHEET A106 FOR FIRE HYDRANT LOCATIONS WITHIN 600 FT
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE & LEGIBLE FROM THE STREET PER FHPS POLICY P-00-6.9 (UFC 901.4.4)
- NEW CONSTRUCTION REQUIRES FULL SPRINKLER SYSTEM (RESIDENTIAL)

EASEMENTS

THERE ARE NO EXISTING EASEMENTS ON THE PROPERTY
NO NEW EASEMENTS ARE PROPOSED

HYDROLOGY

PENASQUITOS WATERSHED
SCRIPPS WATERSHED SUBAREA
PARKING

NO.SPACES EXISTING: 1 GARAGE

NO.SPACES PROPOSED: 1 GARAGE & 1 DRIVEWAY

PALEONTOLOGY

HIGH PALEONTOLOGICAL SENSITIVITY

TRANSIT STOPS

MTS STOPS ROUTE 30 @ LA JOLLA BLVD
780 FT

PROJECT DATA

A.P.N. 357-424-04-00
LOT SIZE: 4,816 SF (0.11 ACRES)
SITE ADDRESS: 5616 ABALONE PLACE
LA JOLLA CA 92037
BUILDING CODES: 2021 C.B.C,CRC,CPC,CEC,CMC

LEGAL DESCRIPTION:

PARCEL 1:
LOT 7 BLOCK C, RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, MAP 1138 FILED IN OFFICE OF COUNTY RECORDER, SAN DIEGO COUNTY, JUNE 10TH 1908

PARCEL 2:

EASEMENT FOR LIGHT & AIR OVER NORTHEAST 22 FT OF LOT 6 BLOCK C, RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, MAP 1138 FILED IN OFFICE OF COUNTY RECORDER, SAN DIEGO COUNTY, JUNE 10TH 1908

PARTY GARAGE AGREEMENT:

5616 & 5608 ABALONE PLACE HAVE SHARED GARAGE PER PARTY GARAGE AGREEMENT DOC. NO. 42987 RECORDED IN THE COUNTY OF SAN DIEGO MARCH 14TH 1962

OWNERS

DAVID DUNLAVY & JILL FLEMING
5616 ABALONE PLACE
LA JOLLA CA 92037

PROPOSED BUILDING

EXISTING USE SINGLE FAMILY RESIDENCE
PROPOSED USE SINGLE FAMILY RESIDENCE
OCCUPANCY: R-3
NO STORIES: 2 STORY
CONSTRUCTION : TYPE V B
BUILDING HEIGHT: MAX ALLOWABLE: 24FT/30 FT
ACTUAL MAX. HT: 27'-0"

SCOPE OF WORK

- EXISTING 1 STORY SINGLE FAMILY RESIDENCE TO BE DEMOLISHED
- EXISTING ONE CAR GARAGE PARKING SPACE IN EXISTING GARAGE SHARED W/ NEIGHBOR @ 5608 ABALONE PLACE TO REMAIN
- EXISTING CURB CUT @DOLPHIN PLACE TO REMAIN
- EXISTING EXTERIOR HARDSCAPE AND LANDSCAPING TO BE REMOVED
- NEW 2- STORY RESIDENCE TO BE CONSTRUCTED
- NEW DRIVEWAY & CURB CUT ON ABALONE PLACE W/ NEW OFF STREET PARKING SPACE
- NEW LANDSCAPING TO BE INSTALLED AT FRONT & REAR YARDS W/ NEW SITE DRAINAGE SYSTEM & SITE RETAINING WALLS
- NEW ELECTRICAL SERVICE/UPGRADE

REQUIRED PERMITS

- COASTAL DEVELOPMENT PERMIT PERMIT HISTORY
- COASTAL DEVELOPMENT PERMIT NO 1397564 PROJECT NO. 400039 DATED 2016 EXPIRED WITHOUT UTILIZATION 2019
- HISTORIC REVIEW DATED 2016 EXPIRED

ZONING CLASSIFICATION

- ZONE: R-S-1-7 LA JOLLA COMMUNITY PLAN
- OVERLAY ZONES - COASTAL HEIGHT LIMIT OVERLAY ZONE
COASTAL OVERLAY ZONE
CST-APP
- PARKING ZONES - COASTAL PARKING IMPACT OVERLAY ZONE
BEACH IMPACT OVERLAY ZONE
- TRANSPORTATION - TRANSIT PRIORITY AREA
HIGH AFFORDABLE HOUSING PARKING DEMAND
- OFF STREET PARKING - EXISTING 1 CAR GARAGE SPACE
1 SPACE TO BE ADDED FOR PROPOSED TOTAL OF 2 CAR SPACES

- HISTORIC DISTRICT: NONE
- HISTORIC REVIEW : EXISTING RESIDENCE BUILT 1952

SETBACKS

FRONT YARD (DOLPHIN) 15FT / 6FT
REAR YARD (ABALONE) 15 FT
SIDE YARD 3'-4"

GEOLOGICAL INVESTIGATION

GEOLOGICAL HAZARD CATEGORY 53

ENVIRONMENTALLY SENSITIVE LANDS:

SITE IS NOT LOCATED WITHIN MHPA OR ADJACENT TO NATURAL AREA . SITE DOES NOT CONTAIN ANY SENSITIVE HABITAT. EXISTING VEGETATION IS NON NATIVE

SHEET INDEX

CS1	COVER SHEET / PROJECT INFO.
A101	SITE PLAN
A102	SITE SECTIONS
A103	SITE SECTIONS
A104	BUILDING HEIGHT PLAN
A105	EXISTING SITE PLAN
A106	NEIGHBORHOOD SITE PLAN
C001	TOPOGRAPHIC SURVEY
C002	PRELIMINARY GRADING PLAN
LC1	LANDSCAPE PLANTING PLAN
LC2	LANDSCAPE HYDROZONE PLAN
A201	MAIN FLOOR PLAN
A202	UPPER FLOOR PLAN
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A401	BUILDING SECTIONS
A402	BUILDING SECTIONS
A501	ROOF PLAN
A601	MAIN LEVEL REFLECTED CEILING PLAN
A602	UPPER LEVEL REFLECTED CEILING PLAN
A701	ARCHITECTURAL DETAILS

PROJECT NAME

DUNLAVY RESIDENCE

PROJECT ADDRESS

5616 ABALONE PLACE
LA JOLLA CA 92037

SHEET TITLE

COVER SHEET &
PROJECT INFO.

DRAWING SCALE

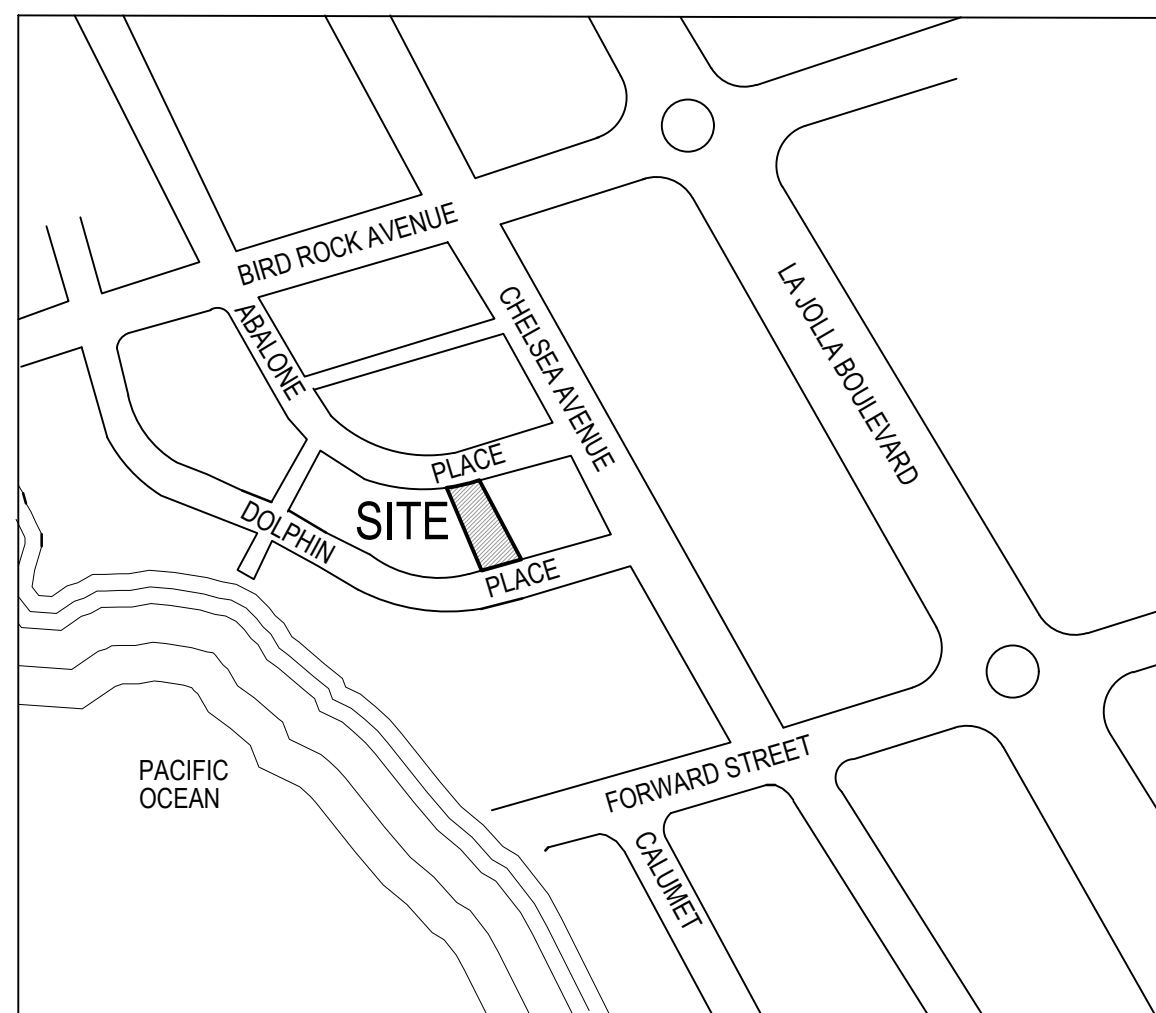
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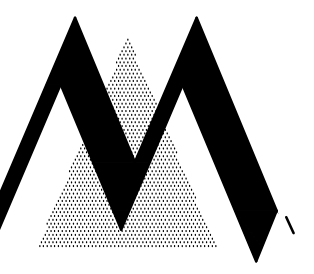
ORIGINAL DATE: 10-12-23

REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	

COASTAL DEVELOPMENT PERMIT
PROJECT NO. _PRJ-1104245

VICINITY MAP





FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

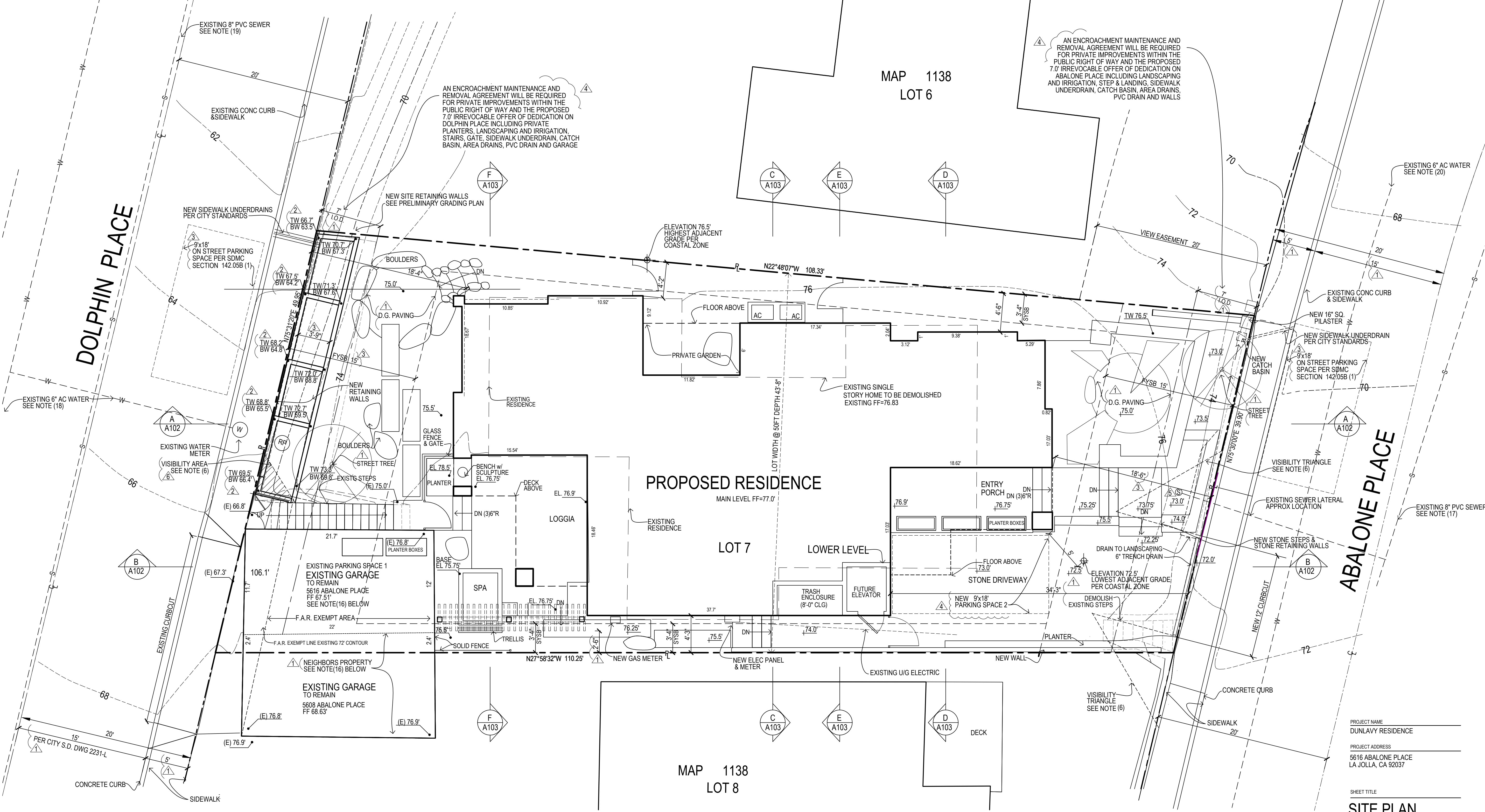
A101

MAP 1138
LOT 6

MAP 1138
LOT 8

AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY AND THE PROPOSED 7.0' IRREVOCABLE OFFER OF DEDICATION ON ABALONE PLACE INCLUDING LANDSCAPING AND IRRIGATION, STEP & LANDING, SIDEWALK UNDERDRAIN, CATCH BASIN, AREA DRAINS, PVC DRAIN AND WALLS

AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY AND THE PROPOSED 7.0' IRREVOCABLE OFFER OF DEDICATION ON DOLPHIN PLACE INCLUDING PRIVATE PLANTERS, LANDSCAPING AND IRRIGATION, STAIRS, GATE, SIDEWALK UNDERDRAIN, CATCH BASIN, AREA DRAINS, PVC DRAIN AND GARAGE



PROJECT NAME
DUNLAVY RESIDENCE

PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

SHEET TITLE
SITE PLAN

ORIGINAL DATE: 09/07/2023

REVISION 1	04/01/2024	1
REVISION 2	05/25/2024	2
REVISION 3	06/12/24	3
REVISION 4	07/11/24	4
REVISION 5	09/30/2024	5
REVISION 6	11/06/2024	6
REVISION 7		
REVISION 8		

COASTAL DEVELOPMENT PERMIT
PROJECT NO. PRJ-1104245

NOTES

- SEE SHEET A106 FOR EXISTING SITE PLAN
- SEE SHEETS A102 & A103 FOR SITE SECTIONS
- SEE SHEET A104 FOR BUILDING HEIGHT PLAN
- SEE SHEET A106 FOR NEIGHBORHOOD SITE PLAN AND FIRE HYDRANT LOCATIONS
- MAX 6FT HIGH NEW SOLID CEDAR FENCE TYPICAL
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3FT IN HEIGHT. PER SDMC SECTION 142.0409(D)(2) PLANT MATERIAL OTHER THAN TREES LOCATED IN VISIBILITY AREAS OR THE ADJACENT RIGHT OF WAY SHALL NOT EXCEED 36" IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL
- SEE GRADING PLAN SHEET C-2 FOR PROPOSED GRADES & SITE DRAINAGE
- EXISTING STREET UTILITIES LOCATED PER CITY SAN DIEGO DWG NOS. FOR DOLPHIN PLACE ABALONE PLACE
- SEE LANDSCAPE CONCEPT PLANS SHEETS L-1 & L-2 FOR NEW PLANTING, IRRIGATION AND WATER USAGE
- NEW 8" CONC BLOCK RETAINING WALL SEE GRADING PLAN SHEET C-2
- SETBACKS CALCULATED PER FOOTNOTE (2) OF SDMC TABLE 131-04D
- ROOF AND DECK DRAINS TO DRAIN TO EXTERIOR AT GRADE. (DS= DOWNSPOUT LOCATION)
- NEW CURB AND GUTTER AND DRIVEWAY SHALL BE CONSTRUCTED PER CURRENT CITY OF SAN DIEGO STANDARDS
- MAX AREA OF HARDSCAPE SHALL NOT EXCEED 60% FRONT YARD (ABALONE PLACE) PER SDMC 131.0447(a)
AREA OF FRONT YARD = 1102 SF
AREA OF DRIVEWAY = 385 SF
ENTRY WALKWAY = 212 SF
TOTAL HARDSCAPE = 657 SF = 59.6% OF FRONT YARD
- 5616 & 5608 ABALONE PLACE HAVE SHARED GARAGE PER PARTY GARAGE AGREEMENT DOC. NO. 42987 RECORDED IN THE COUNTY OF SAN DIEGO MARCH 14TH 1962
- EXISTING SEWER PER DWG. 31824-6-D
- EXISTING WATER MAIN PER DWG. 17247-14-D EXISTING LATERAL & EXISTING METER LOCATION TO REMAIN IN PLACE
- EXISTING SEWER PER DWG. 16139-11-D
- EXISTING WATER MAIN PER DWG. 11679-13-D

21) AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT WILL BE CONDITION OF BUILDING PERMIT APPROVAL FOR PRIVATE IMPROVEMENTS IN THE ABALONE PLACE AND DOLPHIN PLACE RIGHT OF WAY SUBJECT TO THE CITY ENGINEER'S APPROVAL

IMPERVIOUS AREAS (SEE ALSO GRADING PLAN SHEET C002)

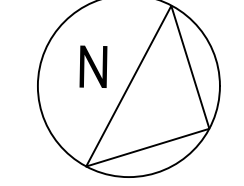
EXISTING IMPERVIOUS AREA	3,155 S.F. (0.072 ACRES)	65.5%
PROPOSED NEW AND REPLACED IMPERVIOUS AREA (INCLUDING SPA)	3,015 S.F. (0.069 ACRES)	62.6%
PERVIOUS AREA	1,801 S.F. (0.11 ACRES)	
DISTURBANCES AREA	4,816 S.F. (0.11 ACRES)	

SIDE YARD SETBACK

SIDEYARD SETBACK CALCULATION PER SDMC 113.0243
LOT WIDTH @ FRONT PROPERTY LINE = 39'-2"
LOT WIDTH @ 50 FT LOT DEPTH = 43'-8"
AVERAGE LOT WIDTH FOR FIRST 50 FT LOT DEPTH = 41'-5"
SIDE YARD SETBACK 41'-5" x 0.08 = 3'-4"

HARDSCAPE AREAS

ABALONE PLACE FRONT YARD AREA:	612.5 SF
FRONT YARD HARDSCAPE AREA:	361 SF (59%)
DOLPHIN PLACE FRONT YARD AREA:	296.7 SF
FRONT YARD HARDSCAPE AREA:	145.3 SF (49%)

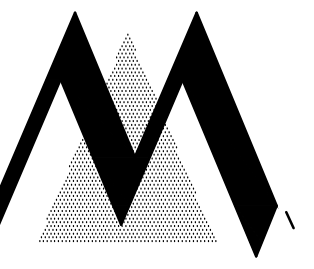


SITE PLAN

SCALE: 3/16" = 1FT

LEGEND

- INDICATES SITE SECTION LOCATION SEE SHEET A102, A103
- INDICATES NEW CONTOUR LINE SEE SHEET G-2
- INDICATES TOP OF WALL ELEVATION
- INDICATES BOTTOM OF WALL ELEVATION
- EXISTING SPOT ELEVATION PER SURVEY
- PROPOSED SPOT ELEVATION
- PROPOSED FINISH ELEVATION



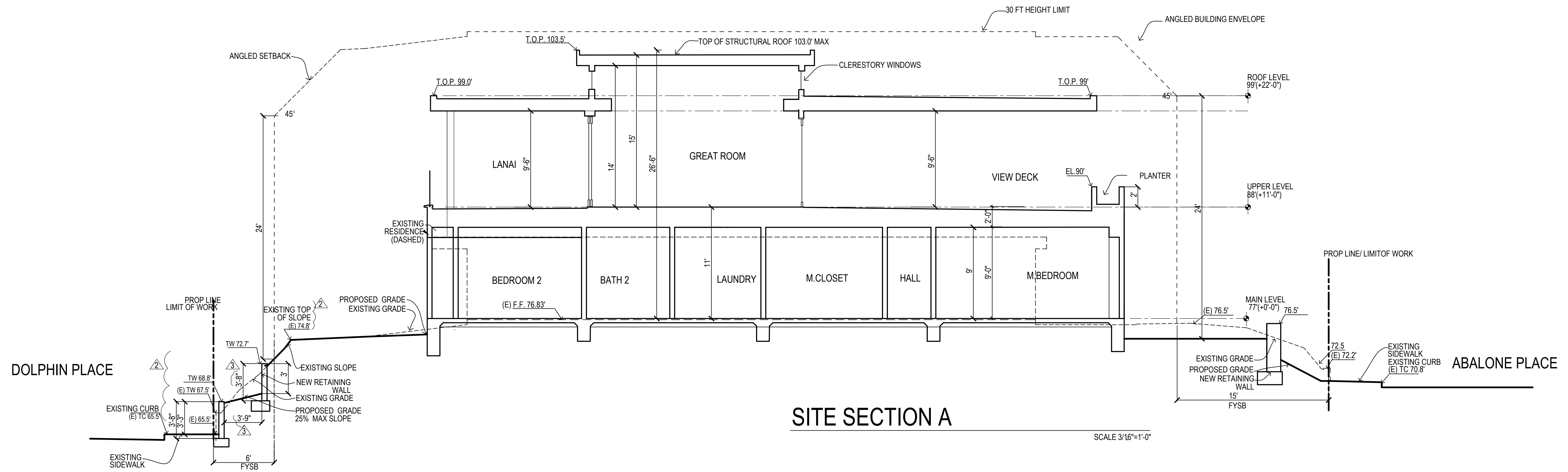
FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.

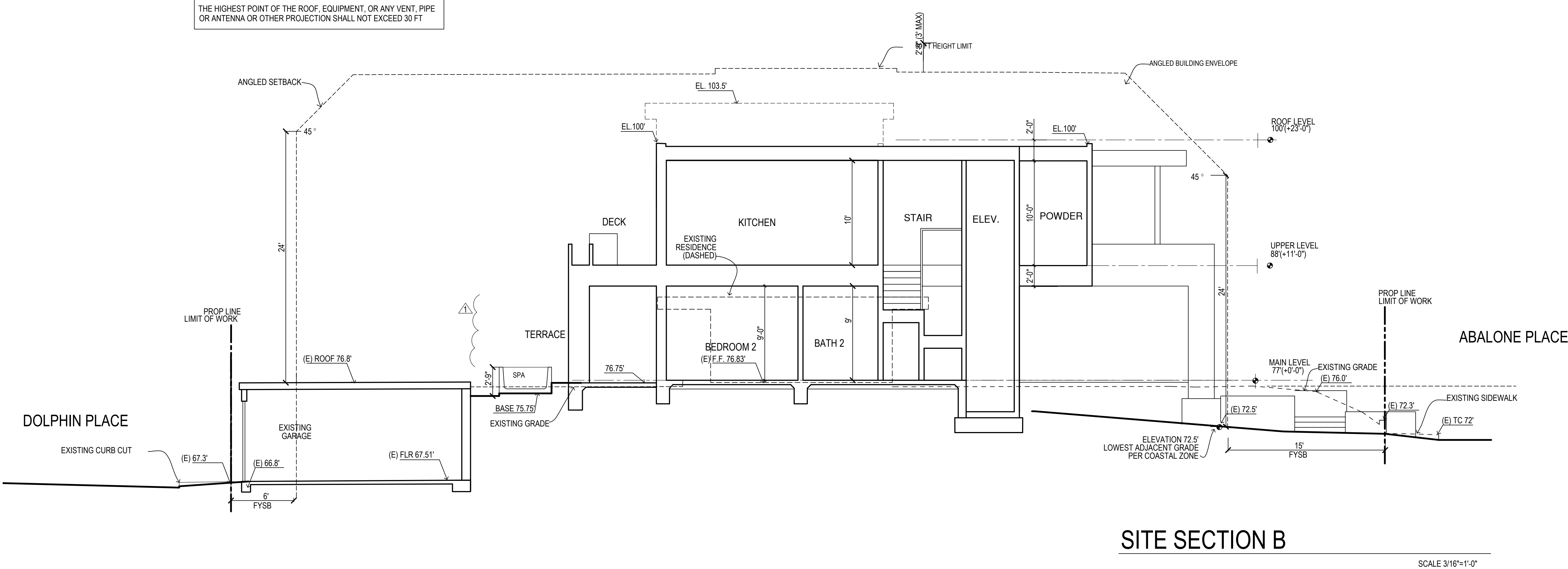
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A102



THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT



PROJECT NAME
DUNLAVY RESIDENCE

PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

SHEET TITLE

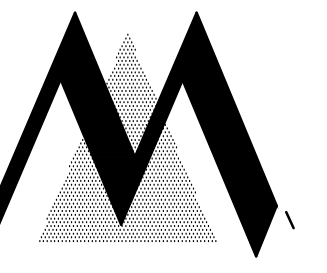
SITE SECTIONS

DRAWING SCALE
SCALE: 3/16"=1 FT

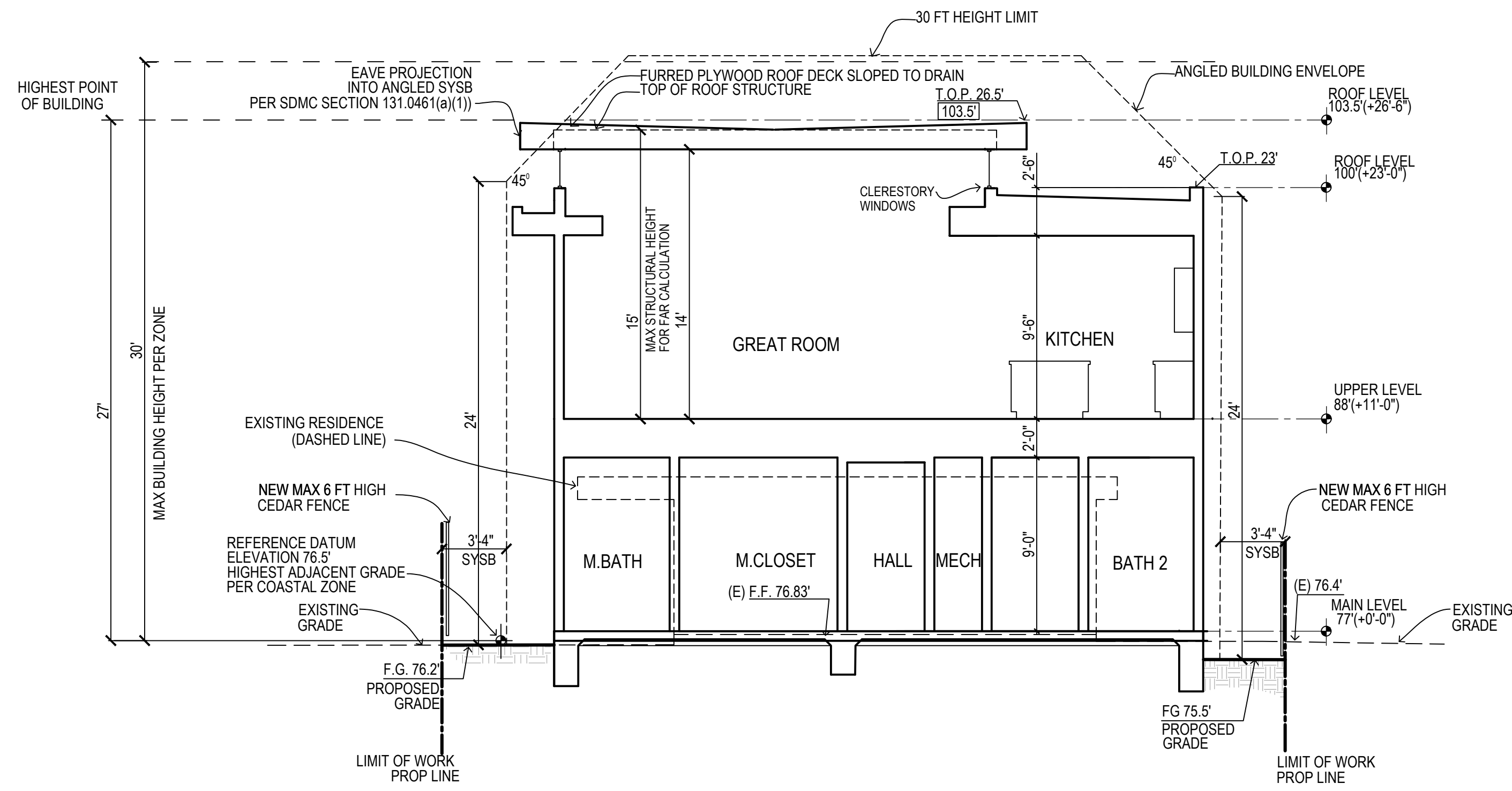
ORIGINAL DATE: 09/07/23

REVISION	DATE	DESCRIPTION
REVISION 1	03/11/24	1
REVISION 2	05/24/24	2
REVISION 3	06/10/24	3
REVISION 4		
REVISION 5		
REVISION 6		
REVISION 7		
REVISION 8		

COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000

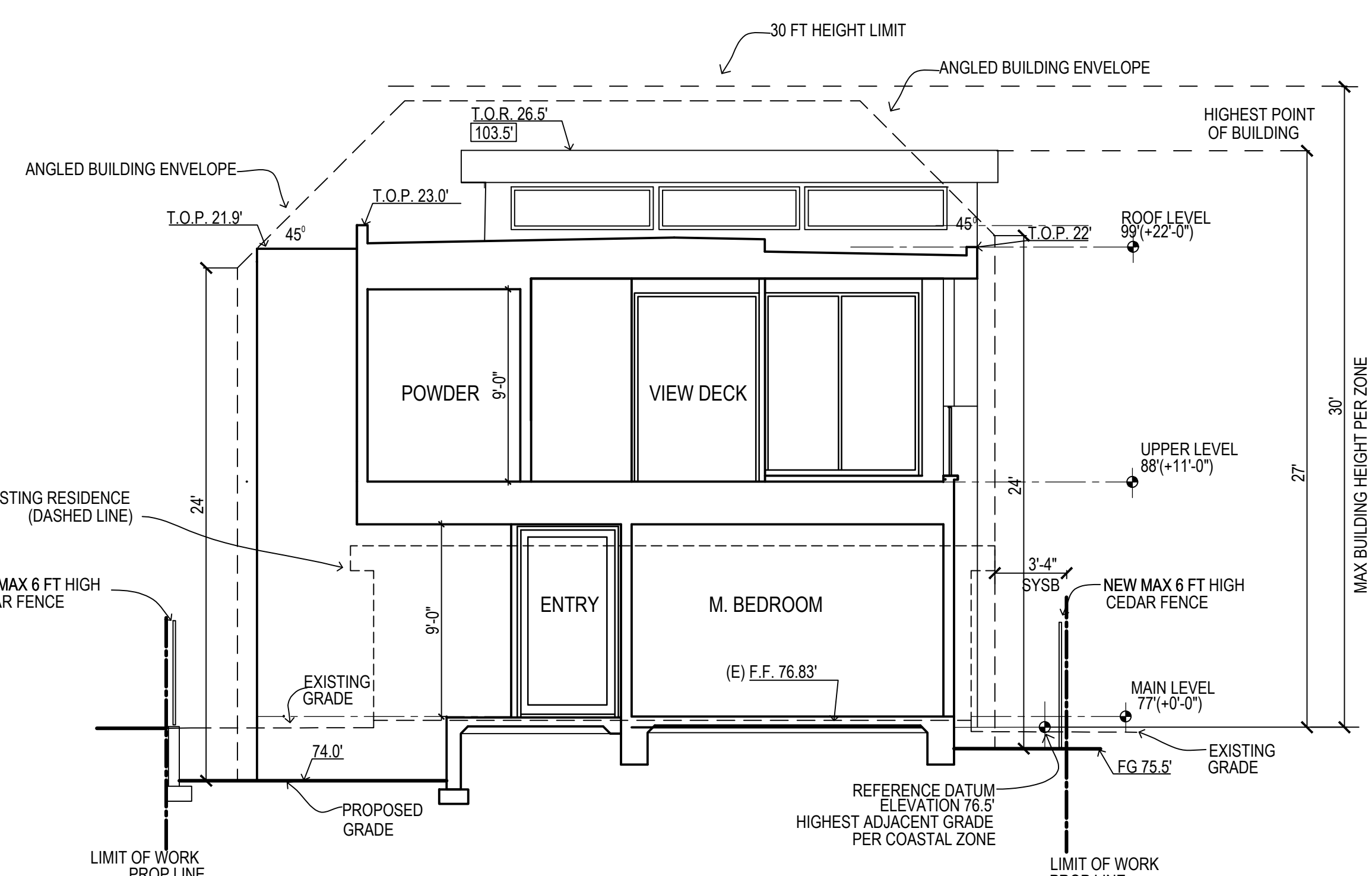


FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA



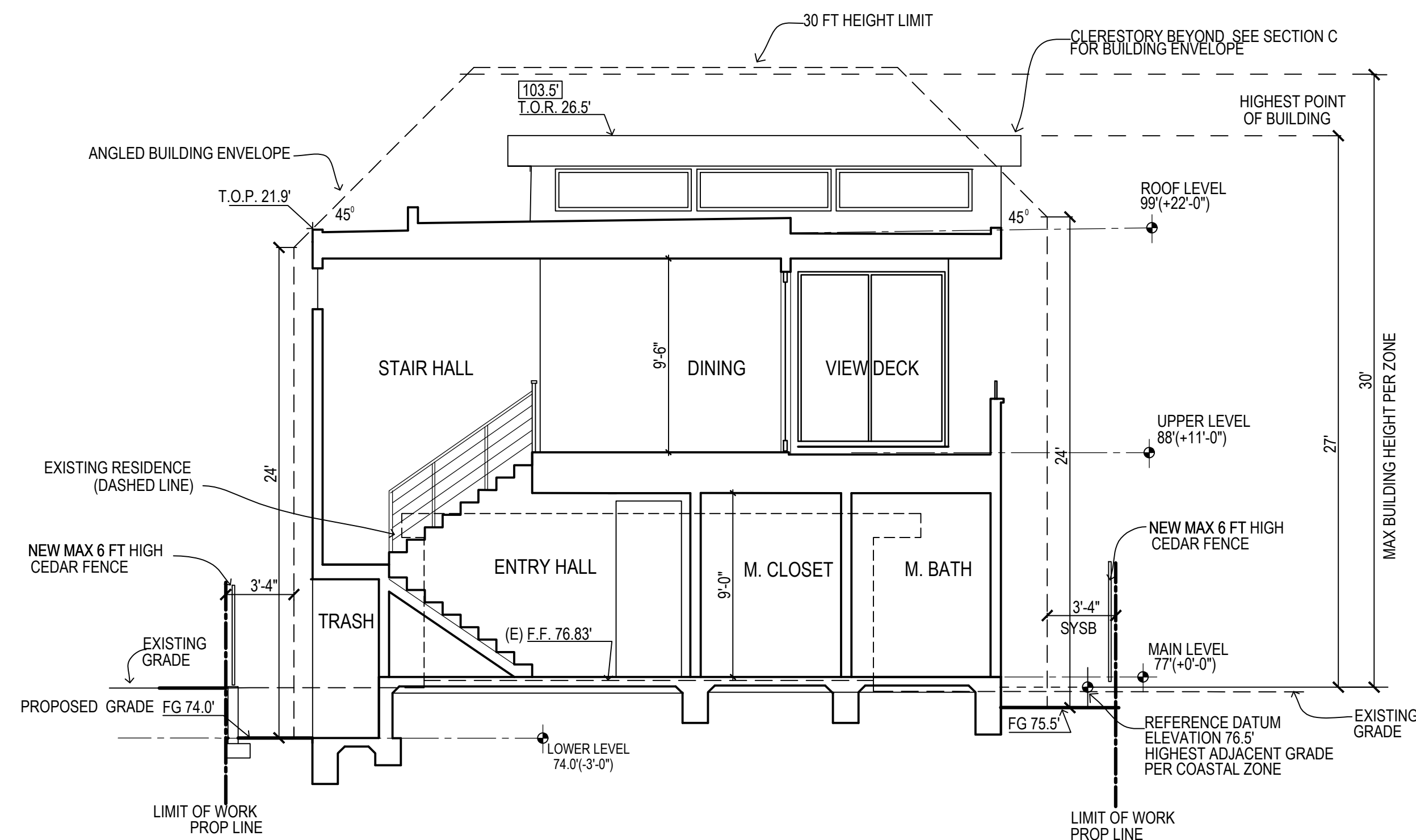
SITE SECTION C

SCALE 3/16"=1'-0"



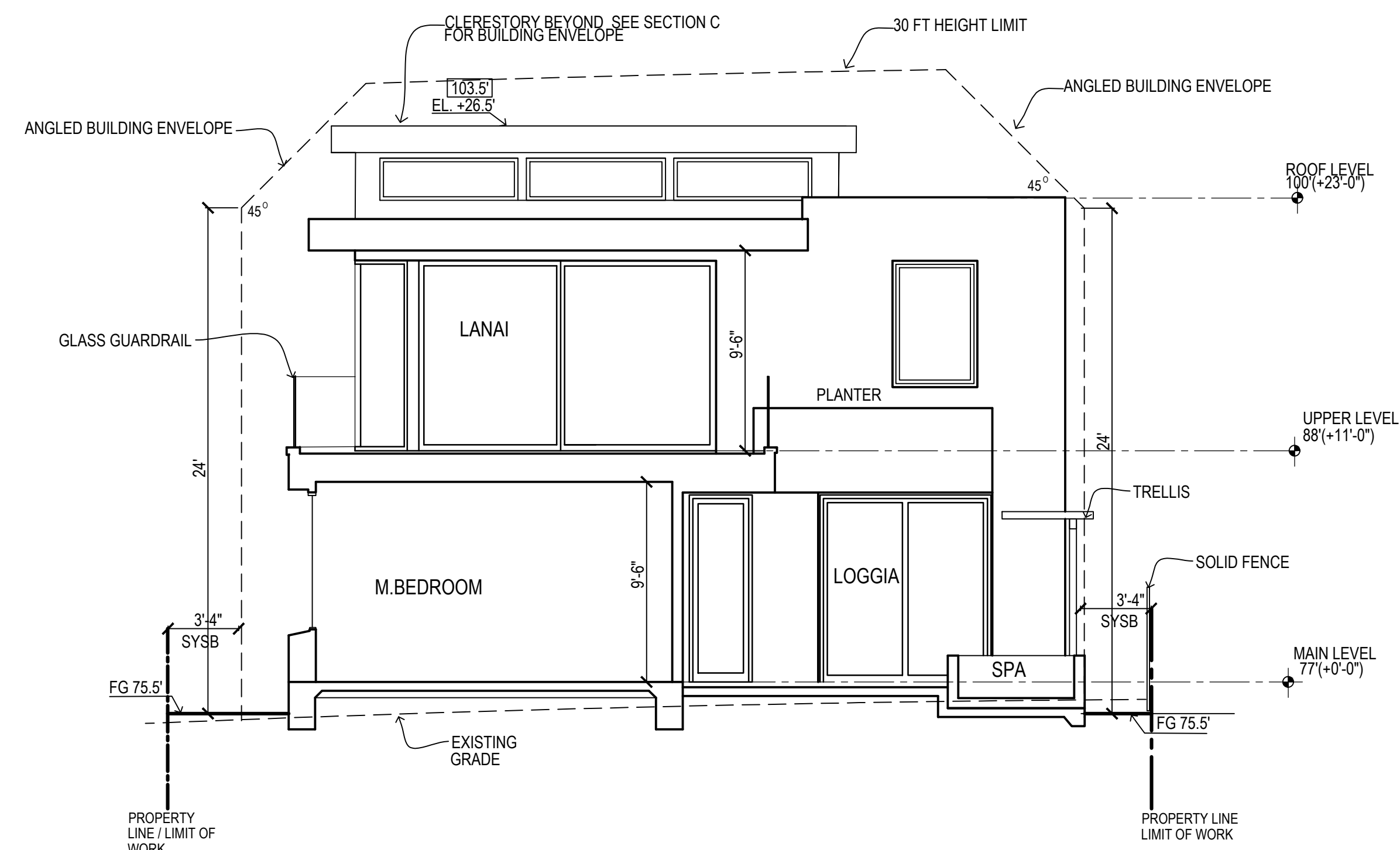
SITE SECTION D

SCALE 3/16"=1'-0"



SITE SECTION E

SCALE 3/16"=1'-0"



SITE SECTION F

SCALE 3/16"=1'-0"

PROJECT NAME
DUNLAVY RESIDENCE
PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037
SHEET TITLE
SITE SECTIONS
DRAWING SCALE
SCALE: 3/16"=1 FT

ORIGINAL DATE: 09-07-23

REVISION 1	_____
REVISION 2	_____
REVISION 3	_____
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____

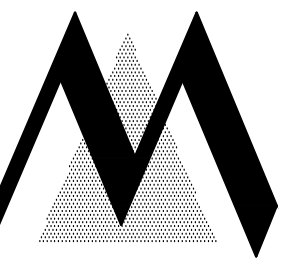
COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000

MARTIN ARCHITECTURE
Tim Martin A.I.A.

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760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A103



FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

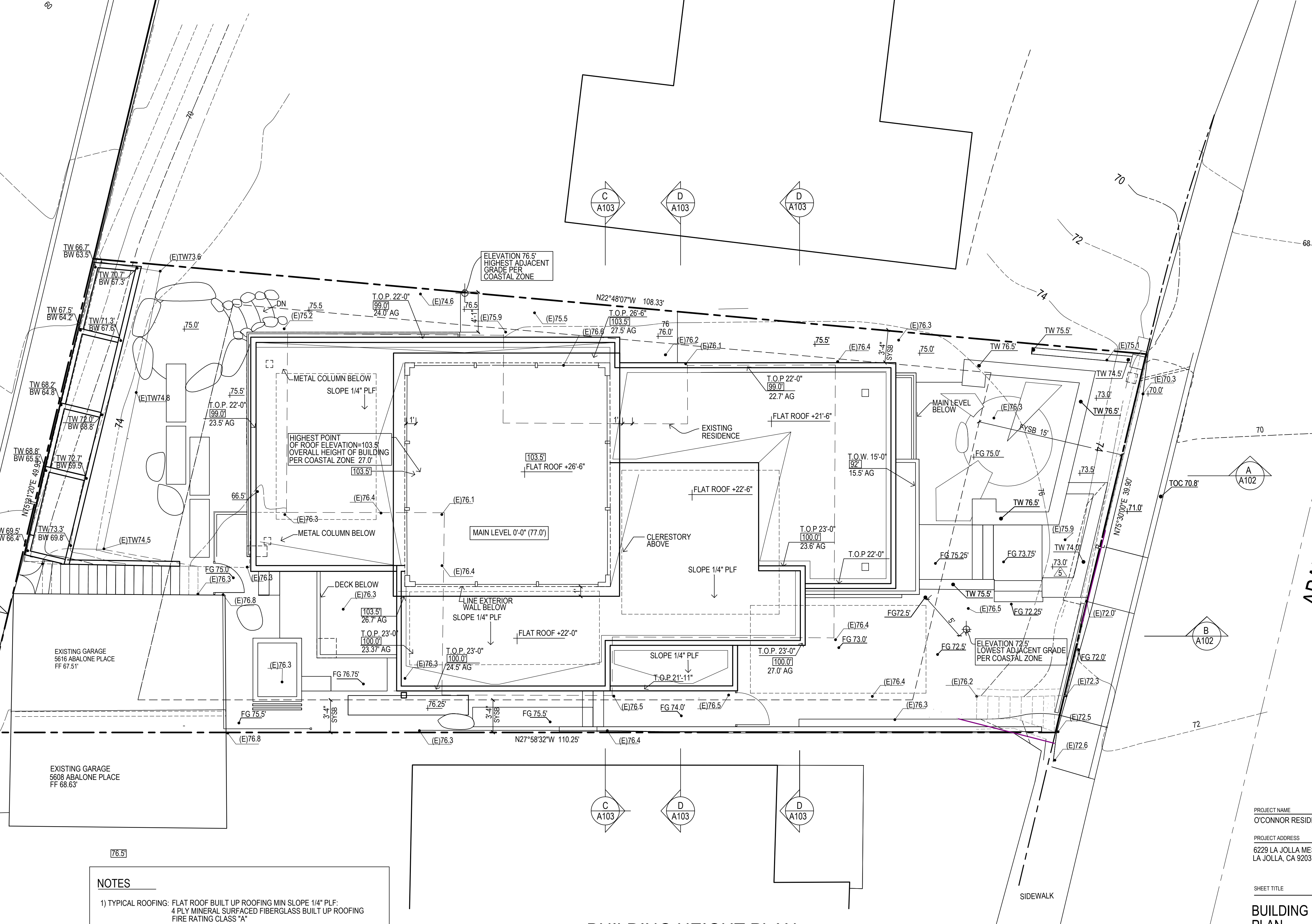
MARTIN M ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A104

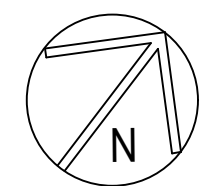
DOLPHIN PLACE

ABALONE PLACE



BUILDING HEIGHT PLAN

SCALE: 3/16" = 1 FT



- NOTES**
- 1) TYPICAL ROOFING: FLAT ROOF BUILT UP ROOFING MIN SLOPE 1/4" PLF: 4 PLY MINERAL SURFACED FIBERGLASS BUILT UP ROOFING FIRE RATING CLASS "A"
 - 2) NOTE: ALL PLATE HEIGHTS MEASURED ABOVE MAIN LEVEL = 0'-0"
- LEGEND**
- 536 PROPOSED CONTOUR LINE
 - FG 76.3' PROPOSED FINISHED GRADE
 - 76.3' PROPOSED SPOT ELEVATION
 - FG 76.3' PROPOSED FINISHED GRADE OR TOP OF SLAB
 - (E)76.3' EXISTING SPOT ELEVATION PER SURVEY
 - (E)TW76.3' EXISTING TOP OF WALL
 - 537 - - - - EXISTING CONTOUR LINE
 - 76.5' SEA ELEVATION
 - 24'-9" AG ELEVATION ABOVE GRADE DIRECTLY BELOW
 - T.O.R. PROPOSED TOP OF ROOF
 - T.O.C. PROPOSED TOP OF CHIMNEY
 - T.O.P. PROPOSED TOP OF PARAPET
 - TW PROPOSED TOP OF WALL
 - ← DIRECTION OF ROOF SLOPE

OVERALL BUILDING HEIGHT
OVERALL BUILDING HT. PER CITY S.D. TECHNICAL BULLETIN BLDG-5-4
HIGHEST ADJACENT GROUND ELEVATION 76.5'
LOWEST ADJACENT GROUND ELEVATION 73.0'
GRADE DIFFERENTIAL IS LESS THAN 10FT
REFERENCE DATUM IS THE HIGHEST ADJACENT GROUND ELEVATION
MAX OVERALL BUILDING HEIGHT 27'-0"

PROJECT NAME: O'CONNOR RESIDENCE

PROJECT ADDRESS: 6229 LA JOLLA MESA, LA JOLLA, CA 92037

SHEET TITLE: BUILDING HEIGHT PLAN

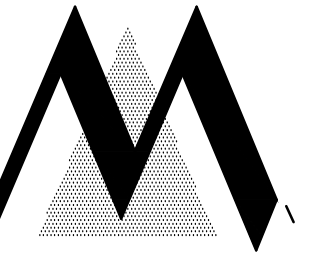
DRAWING SCALE: SCALE: 3/16"=1 FT

ORIGINAL DATE: 09-07-23

REVISION 1	03/11/2024	1
REVISION 2		
REVISION 3	07/11/2024	3
REVISION 4		
REVISION 5	09/30/2024	5
REVISION 6		
REVISION 7		
REVISION 8		

COASTAL DEVELOPMENT PERMIT

PROJECT NO.



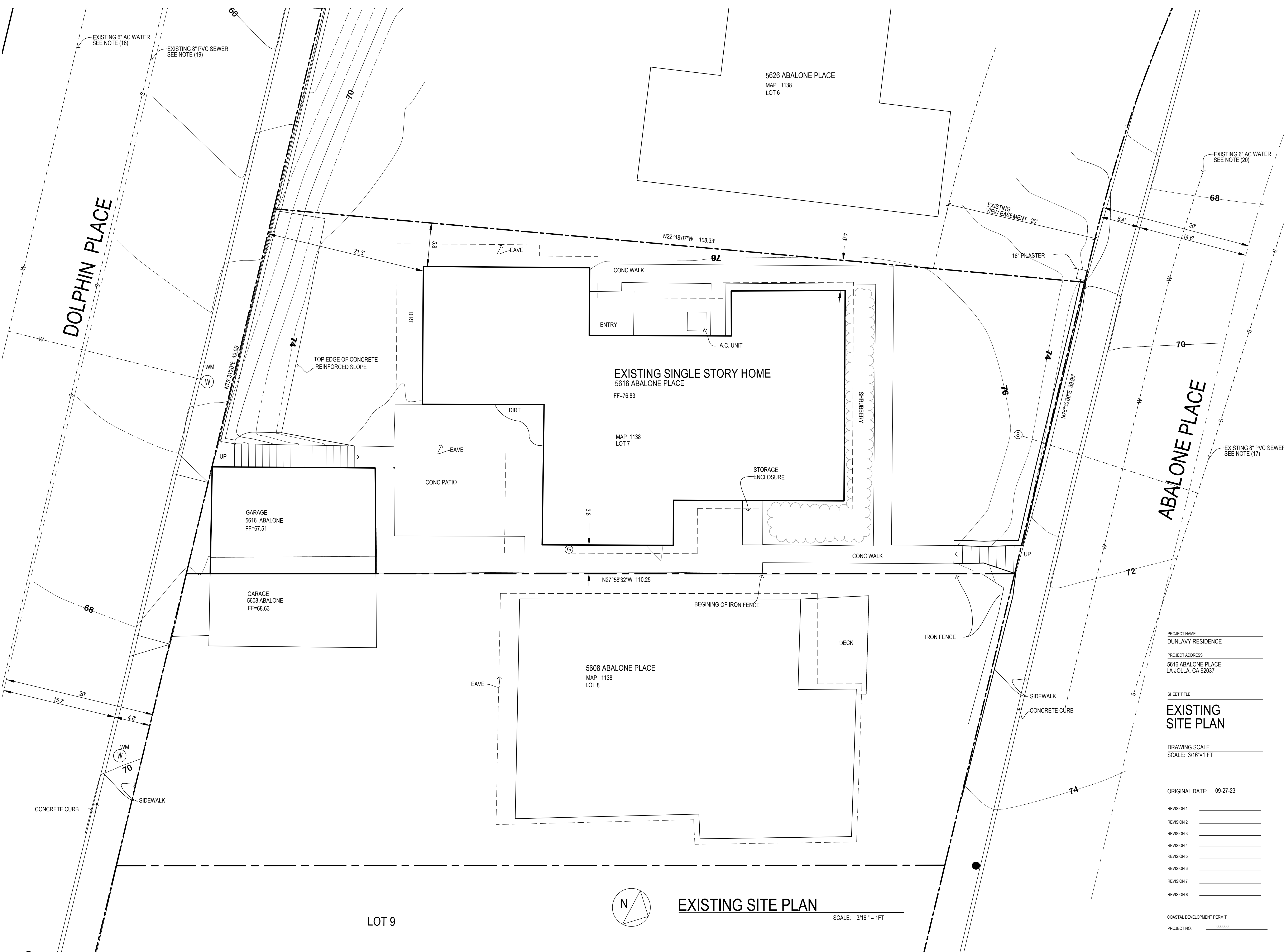
FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.

2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A105



PROJECT NAME
DUNLAVY RESIDENCE

PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

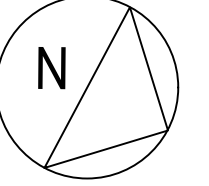
SHEET TITLE
EXISTING SITE PLAN

DRAWING SCALE
SCALE: 3/16" = 1 FT

ORIGINAL DATE: 09-27-23

REVISION 1	_____
REVISION 2	_____
REVISION 3	_____
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____

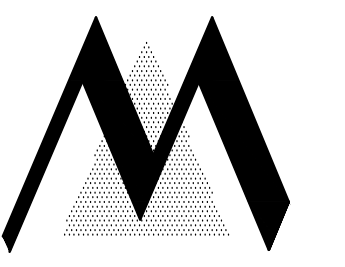
COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000



EXISTING SITE PLAN

SCALE: 3/16" = 1 FT

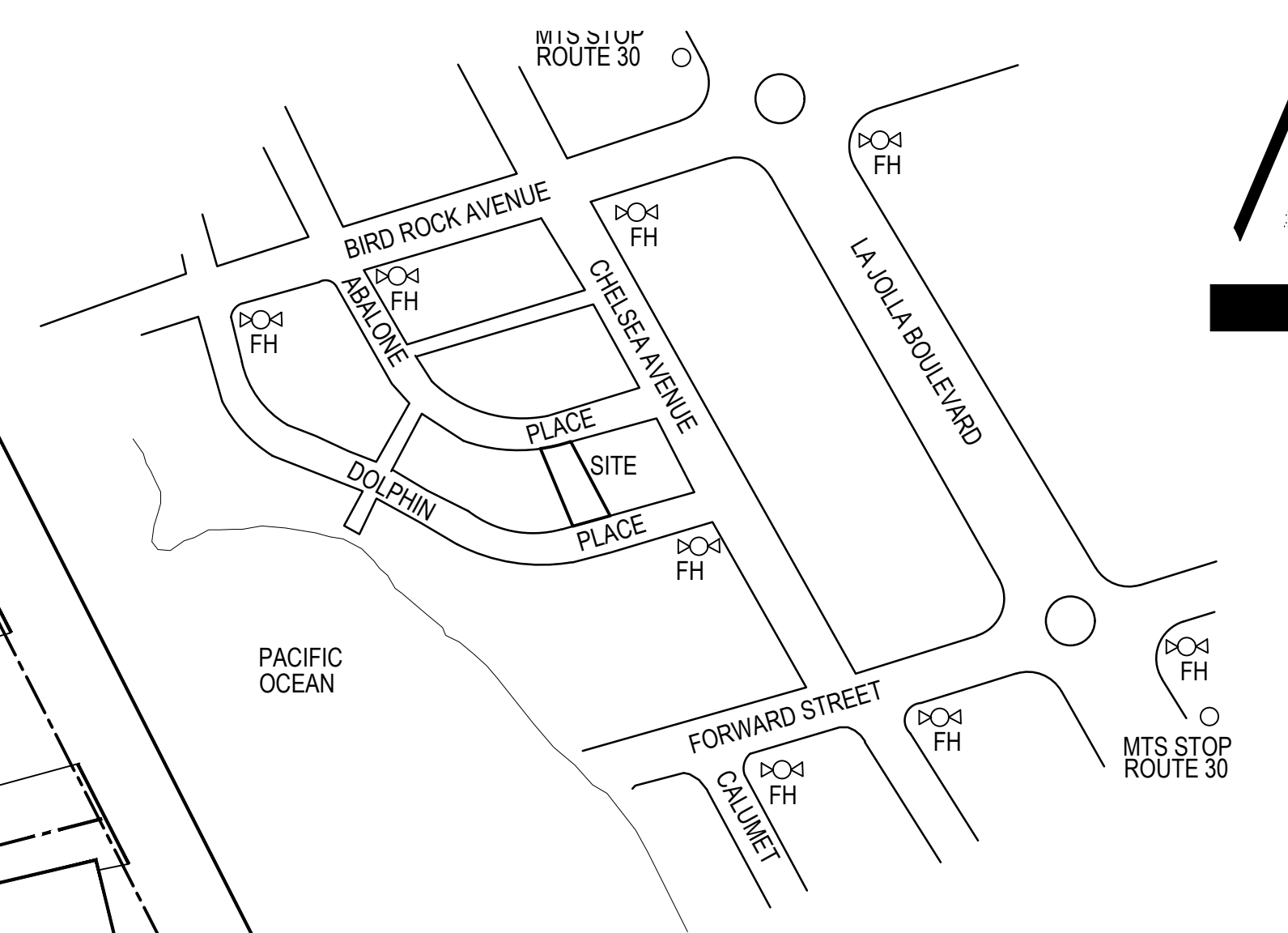
LOT 9



FLEMING DUNLAVY RESIDENCE
 5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
 Tim Martin A.I.A.

2333 State Street Suite 100 Carlsbad, CA 92008
 760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
 tim@martinarchitecture.com



EXISTING HYDRANT LOCATIONS
 SCALE: 1"=200 FT



PROJECT NAME
 DUNLAVY RESIDENCE
 PROJECT ADDRESS
 5616 ABALONE PLACE
 LA JOLLA CA 92037

SHEET TITLE
**NEIGHBORHOOD
 SITE PLAN**

DRAWING SCALE
 SCALE: 1"=20 FT

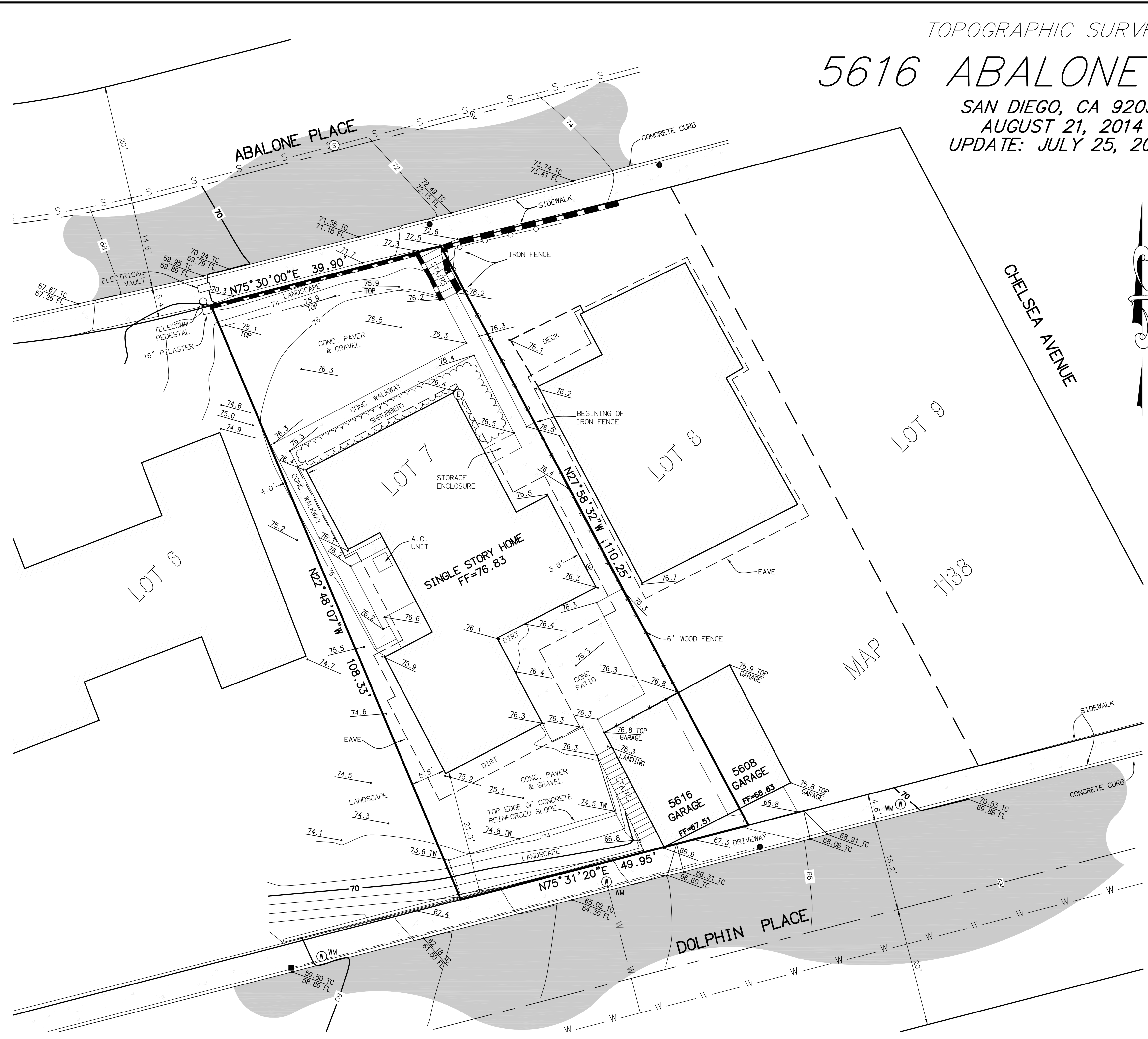
ORIGINAL DATE: 09-07-23

REVISION 1	_____
REVISION 2	_____
REVISION 3	_____
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____

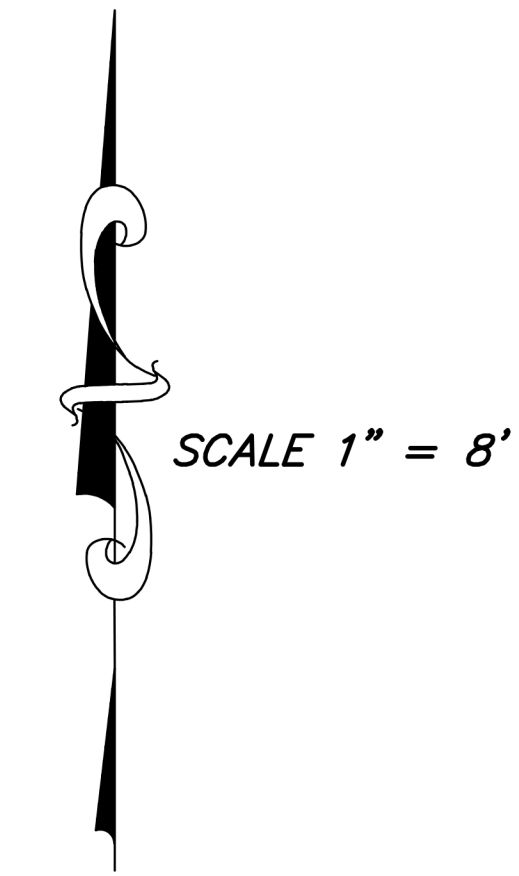
COASTAL DEVELOPMENT PERMIT
 PROJECT NO. _____

TOPOGRAPHIC SURVEY OF 5616 ABALONE PLACE

SAN DIEGO, CA 92037
AUGUST 21, 2014
UPDATE: JULY 25, 2023



LEGEND	
75.2	SPOT ELEVATION
70	CONTOUR ELEVATION
FL	FLOW LINE
[Symbol]	CONCRETE PAVING
[Symbol]	ASPHALT PAVING
TC	TOP OF CURB
Ⓞ	GM — GAS METER
Ⓜ	EM — ELECTRIC METER
Ⓜ	WM — WATER METER
Ⓢ	SMH — SEWER MANHOLE
x-x-x	EXISTING WOOD FENCE
o-o-o	EXISTING IRON FENCE
S	EXISTING IRON FENCE
W	EXISTING IRON FENCE
[Symbol]	EXISTING ROCK FACED WALL
●	FOUND LED AND DISC MARKED "LS 5707"
■	FOUND LED AND DISC MARKED "CITY ENGINEER"



SCALE 1" = 8'

CELEBRATING
1979 - 2019
YEARS **40**

KAPPA SURVEYING & ENGINEERING, INC.
8402 N. MAGNOLIA AVE STE C, SANTEE, CA 91942 (619) 449-2600 FAX: (619) 449-2602

Allen R. A. Turner III
Allen R. A. Turner III PLS DATE: AUGUST 24, 2023



PREPARED FOR:

JILL FLEMING & DAVID DUNLAVY
5616 ABALONE PLACE
SAN DIEGO, CA 92037

BENCH MARK:

BENCH MARK FOR THIS SURVEY IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS PLUG AT THE NORTHWEST CORNER OF CHELSEA AVENUE AND DOLPHIN PLACE.
ELEVATION: 73.79
DATUM: MEAN SEA LEVEL

NOTES:

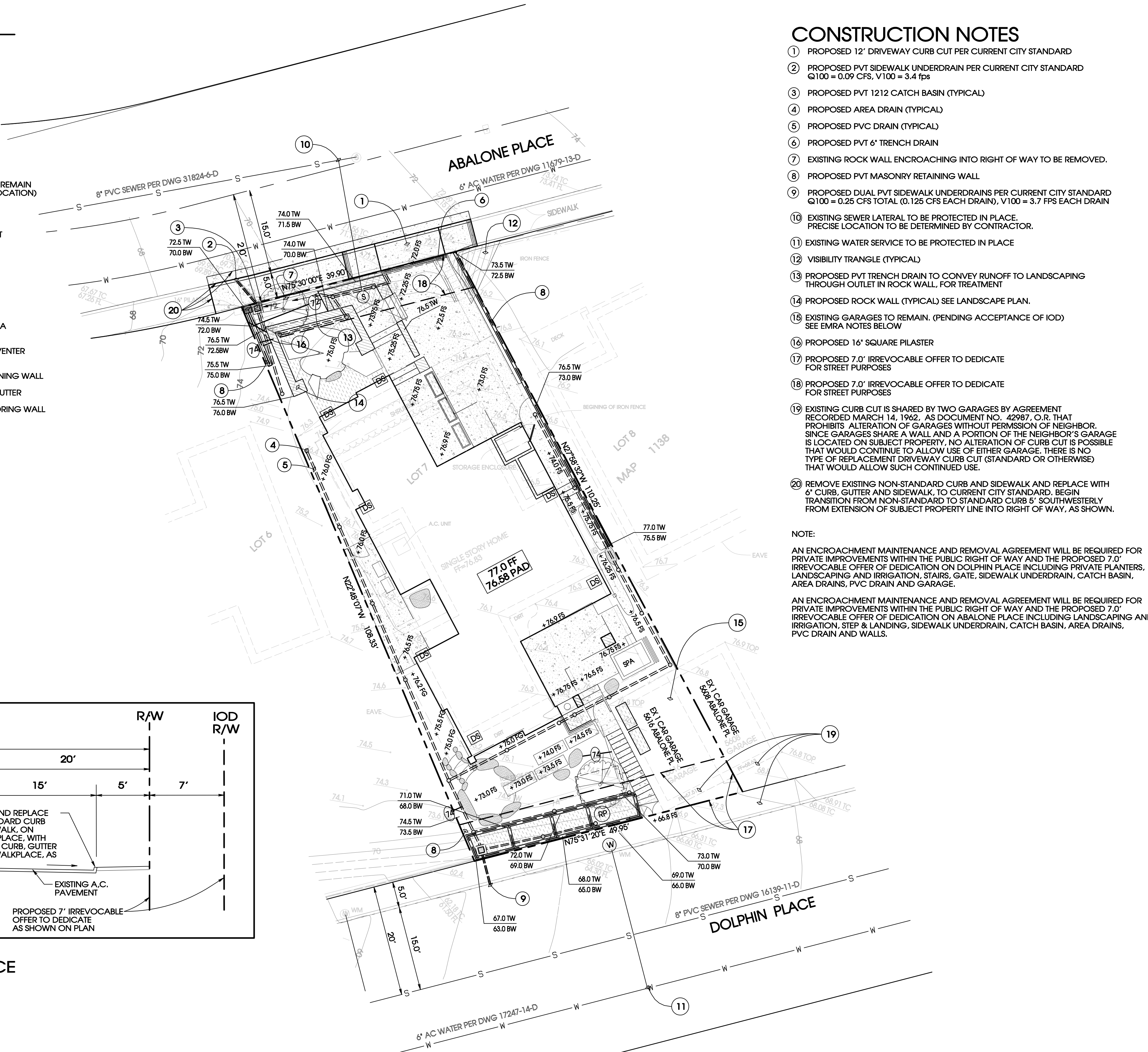
- SITE ADDRESS: 5616 ABALONE PLACE, SAN DIEGO, CA.
- LEGAL DESCRIPTION: LOT 7 OF BLOCK "C" OF THE RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO THE MAP THEREOF NO. 1138, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER JUNE 10, 1908.
- ASSESSOR'S PARCEL NO. 357-424-04
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- THE PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE TAKEN FROM RECORD INFORMATION AND ARE SUBJECT TO VERIFICATION BY A FIELD SURVEY.

C001

JOB NO. 454023-ABALONE PLACE
DWG NO. 454023\TOPOGRAPHY.DWG

LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - EXISTING OVERHEAD LINES
- G G EXISTING GAS LINE
- S S EXISTING SEWER LINE
- W W EXISTING WATER LINE
- ⊕ EXISTING MANHOLE
- S EXISTING SEWER LATERAL TO REMAIN (CONTRACTOR TO VERIFY LOCATION)
- W EXISTING WATER LATERAL TO REMAIN (CONTRACTOR TO VERIFY LOCATION)
- PROPOSED WATER SERVICE
- PROPOSED PVT CURB OUTLET (NO MANHOLE)
- ▭ PROPOSED 12' DRIVEWAY
- ▭ PROPOSED PVC DRAIN
- DS PROPOSED DOWNSPOUT
- ▭ PROPOSED LANDSCAPE AREA
- RP PROPOSED BACKFLOW PREVENTER
- ▭ PROPOSED MASONRY RETAINING WALL
- ▭ PROPOSED PVT 6" CURB & GUTTER
- ▭ PROPOSED PERMANENT SHORING WALL



CONSTRUCTION NOTES

- 1 PROPOSED 12' DRIVEWAY CURB CUT PER CURRENT CITY STANDARD
- 2 PROPOSED PVT SIDEWALK UNDERDRAIN PER CURRENT CITY STANDARD @100 = 0.09 CFS, V100 = 3.4 FPS
- 3 PROPOSED PVT 1212 CATCH BASIN (TYPICAL)
- 4 PROPOSED AREA DRAIN (TYPICAL)
- 5 PROPOSED PVC DRAIN (TYPICAL)
- 6 PROPOSED PVT 6" TRENCH DRAIN
- 7 EXISTING ROCK WALL ENCRANCHING INTO RIGHT OF WAY TO BE REMOVED.
- 8 PROPOSED PVT MASONRY RETAINING WALL
- 9 PROPOSED DUAL PVT SIDEWALK UNDERDRAINS PER CURRENT CITY STANDARD @100 = 0.25 CFS TOTAL (0.125 CFS EACH DRAIN), V100 = 3.7 FPS EACH DRAIN
- 10 EXISTING SEWER LATERAL TO BE PROTECTED IN PLACE. PRECISE LOCATION TO BE DETERMINED BY CONTRACTOR.
- 11 EXISTING WATER SERVICE TO BE PROTECTED IN PLACE
- 12 VISIBILITY TRIANGLE (TYPICAL)
- 13 PROPOSED PVT TRENCH DRAIN TO CONVEY RUNOFF TO LANDSCAPING THROUGH OUTLET IN ROCK WALL, FOR TREATMENT
- 14 PROPOSED ROCK WALL (TYPICAL) SEE LANDSCAPE PLAN.
- 15 EXISTING GARAGES TO REMAIN. (PENDING ACCEPTANCE OF IOD) SEE EMRA NOTES BELOW
- 16 PROPOSED 16' SQUARE PILASTER
- 17 PROPOSED 7.0' IRREVOCABLE OFFER TO DEDICATE FOR STREET PURPOSES
- 18 PROPOSED 7.0' IRREVOCABLE OFFER TO DEDICATE FOR STREET PURPOSES
- 19 EXISTING CURB CUT IS SHARED BY TWO GARAGES BY AGREEMENT RECORDED MARCH 14, 1962, AS DOCUMENT NO. 42987, O.R. THAT PROHIBITS ALTERATION OF GARAGES WITHOUT PERMISSION OF NEIGHBOR. SINCE GARAGES SHARE A WALL AND A PORTION OF THE NEIGHBOR'S GARAGE IS LOCATED ON SUBJECT PROPERTY, NO ALTERATION OF CURB CUT IS POSSIBLE THAT WOULD CONTINUE TO ALLOW USE OF EITHER GARAGE. THERE IS NO TYPE OF REPLACEMENT DRIVEWAY CURB CUT (STANDARD OR OTHERWISE) THAT WOULD ALLOW SUCH CONTINUED USE.
- 20 REMOVE EXISTING NON-STANDARD CURB AND SIDEWALK AND REPLACE WITH 6" CURB, GUTTER AND SIDEWALK, TO CURRENT CITY STANDARD. BEGIN TRANSITION FROM NON-STANDARD TO STANDARD CURB 5' SOUTHWESTERLY FROM EXTENSION OF SUBJECT PROPERTY LINE INTO RIGHT OF WAY, AS SHOWN.

NOTE:

AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY AND THE PROPOSED 7.0' IRREVOCABLE OFFER OF DEDICATION ON DOLPHIN PLACE INCLUDING PRIVATE PLANTERS, LANDSCAPING AND IRRIGATION, STAIRS, GATE, SIDEWALK UNDERDRAIN, CATCH BASIN, AREA DRAINS, PVC DRAIN AND GARAGE.

AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY AND THE PROPOSED 7.0' IRREVOCABLE OFFER OF DEDICATION ON ABALONE PLACE INCLUDING LANDSCAPING AND IRRIGATION, STEP & LANDING, SIDEWALK UNDERDRAIN, CATCH BASIN, AREA DRAINS, PVC DRAIN AND WALLS.

LEGAL DESCRIPTION:

LOT 7 OF BLOCK 'C' OF THE RESUBDIVISION OF A PORTION OF BIRD ROCK BY THE SEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908.

APN: 357-424-04-00

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTH-WEST CORNER OF CHELSEA AVENUE AND DOLPHIN PLACE. ELEVATION 73.79' MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS ON THE GROUND SURVEY BY KAPPA SURVEYING & ENGINEERING, DATED AUGUST 21, 2014 AND RECERTIFIED JULY 25, 2023.
2. THE PROJECT INCLUDES REMOVAL AND CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE.
3. THE SUBJECT PROPERTY IS SERVED BY SANITARY SEWER LATERALS AND WATER SERVICES CONNECTED TO CITY OF SAN DIEGO MAINS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BMP'S NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.
7. NO EASEMENT EXIST ONSITE. A SHARED GARAGE AGREEMENT EXISTS, RECORDED MARCH 14, 1962 AS DOCUMENT NO. 42987 OF OFFICIAL RECORDS.
8. AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE SIDEWALK UNDERDRAINS, WITHIN THE PUBLIC RIGHT OF WAY.
9. ALL IMPERVIOUS AREA SITE RUNOFF WILL BE DIRECTED TO LANDSCAPING FOR TREATMENT BEFORE LEAVING SITE.
10. FOR LANDSCAPE AND HARDSCAPE, SEE LANDSCAPE PLAN.
11. ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AT THE TIME OF THEIR CONSTRUCTION.

GRADING DATA

AREA OF SITE - 4,816 S.F. (0.111 AC)
AREA OF SITE TO BE GRADED - 4,476 SF
PERCENT OF SITE TO BE GRADED - 92.9%

AMOUNT OF CUT - 50 C.Y.
AMOUNT OF FILL - 70 C.Y.
AMOUNT OF IMPORT - 20 C.Y.

MAXIMUM HEIGHT OF FILL SLOPE - NONE
MAXIMUM HEIGHT OF CUT SLOPE - NONE
MAXIMUM HEIGHT OF VERTICAL CUT: 4
MAXIMUM HEIGHT OF VERTICAL FILL: 3 FEET

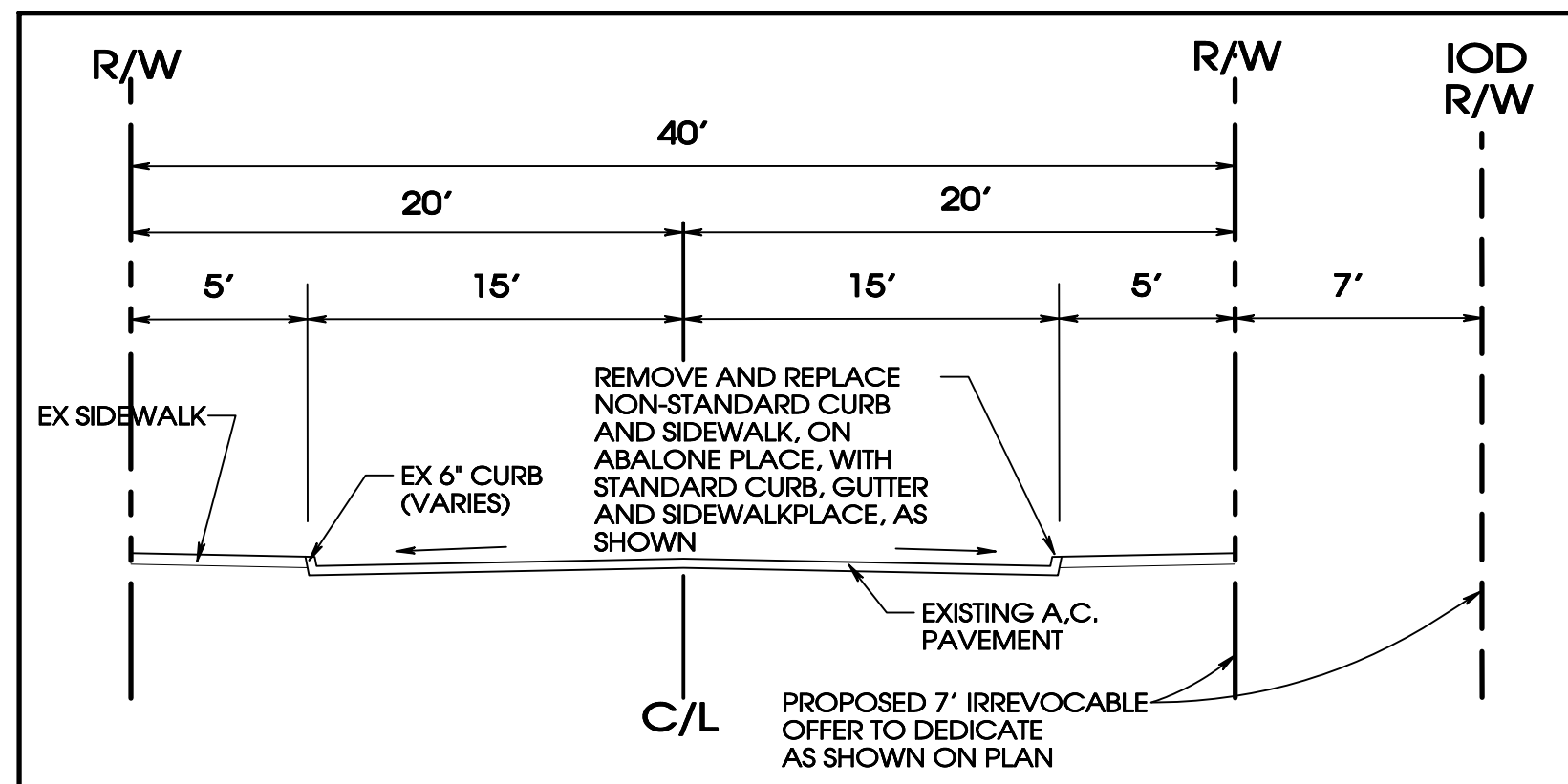
EARTHWORK IS APPROXIMATE TO PAD/FINISH SURFACE

RETAINING WALL: 165'; 3' MAXIMUM RETAINED HEIGHT

EXISTING IMPERVIOUS AREA = 3,155 SF (0.072 AC) (65.5%)
PROPOSED CREATED AND REPLACED IMPERVIOUS AREA = 3,015 SF (0.069 AC) (62.6%) (INCLUDES SPA AREA)

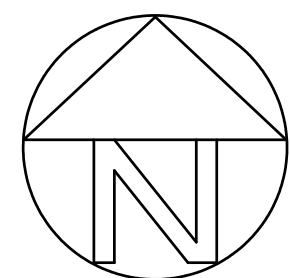
NOTE:

- MINIMUM TREE SEPARATION DISTANCE
- TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- DRIVEWAY (ENTRIES) - 10 FEET
- 65 FEET ON RESIDENTIAL STREETS RATED AT 25 MPH OR LOWER
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

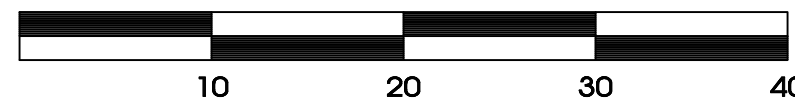


TYPICAL SECTION
DOLPHIN/ABALONE PLACE

NOT TO SCALE

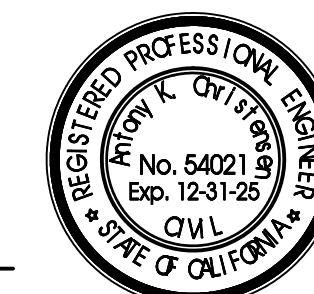


SCALE: 1" = 10'
CONTOUR INTERVAL: 2'



Anthony K. Christensen
ANTHONY K. CHRISTENSEN, RCE 54021

OCTOBER 4, 2024
Date



Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE 'J'
SAN DIEGO, CA 92126
PHONE (858)271-9901

Project Address:
5516 ABALONE PLACE
LA JOLLA, CA 92037

Project Name:
FLEMING-DUNLAVY RESIDENCE CDP

Sheet Title:

PRELIMINARY GRADING PLAN

Revision 5:
Revision 4:
Revision 3: 07-29-24 ADDRESS IOD/EMRA
Revision 2: 03-30-24 ADDRESS CITY COMMENTS
Revision 1: 08-30-23 REVISE GRADES

Original Date: AUGUST 21, 2023

Sheet of Sheets

PLANTING LEGEND

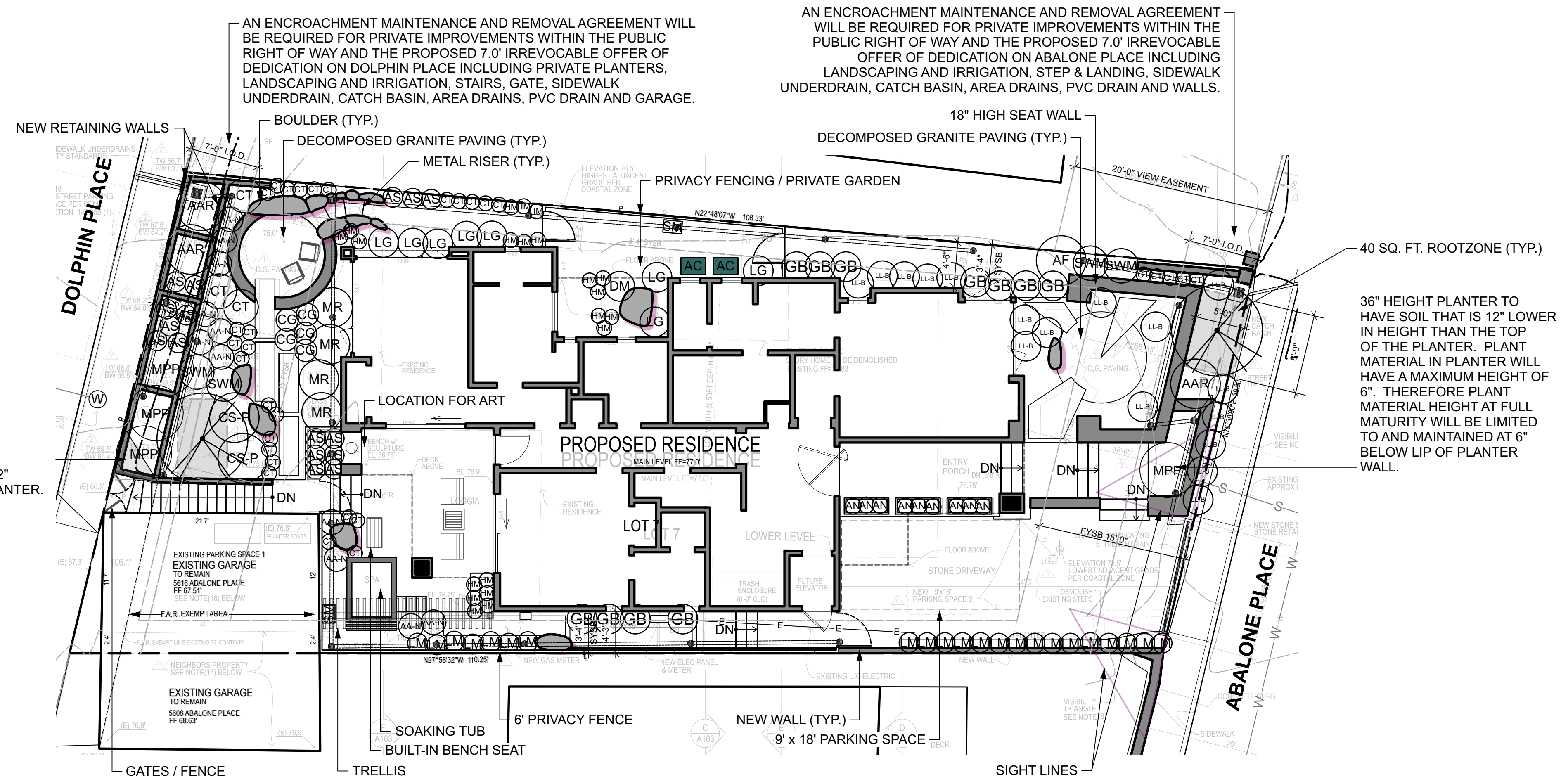
TREES

SYMBOL	SPECIES / COMMON NAME	SIZE	QUANTITY
	CASSIA LEPTOPHYLLA GOLD MEDALLION TREE	24" BOX	2

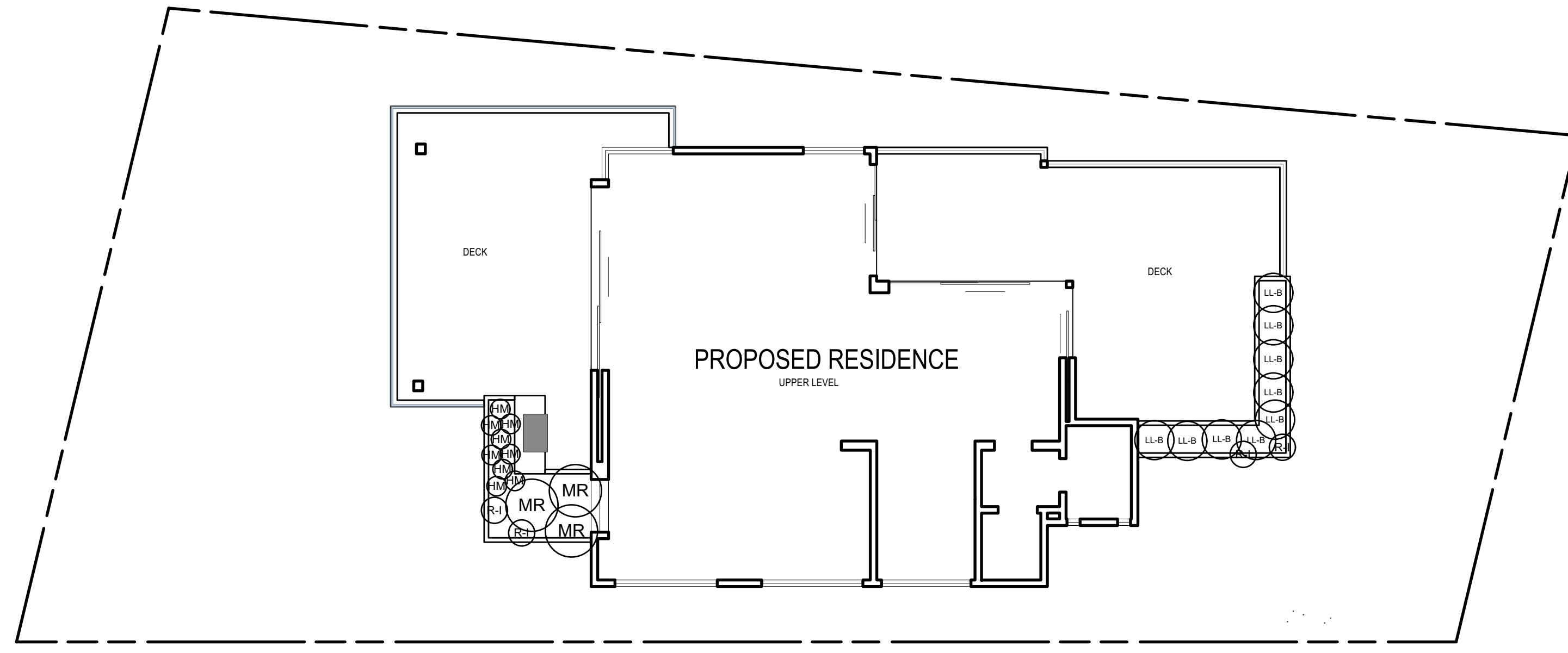
SHRUBS

SYMBOL	SPECIES / COMMON NAME	SIZE	QUANTITY
	AGAVE ATTENUATA 'NOVA' NOVA FOXTAIL AGAVE	1 GAL.	12
	AGAVE OVATIFOLIA WHALE'S TONGUE AGAVE	15 GAL.	0
	ALOE ARBORESCENS TORCH ALOE	15 GAL.	3
	ALOE FEROX CAPE ALOE	15 GAL.	2
	ALOE NOBILIS GOLDEN TOOTHED ALOE	5 GAL.	9
	ALOE STRIATA GHOST ALOE	1 GAL.	16
	ALOE 'SUPER RED' SUPER RED ALOE	1 GAL.	2
	CALANDRINIA GRANDIFLORA ROCK PURSLANE	5 GAL.	5
	CAREX TUMULICOLA BERKELEY SEDGE	5 GAL.	31
	CHONDROPETALUM TECTORUM SMALL CAPE RUSH	1 GAL.	3
	CISTUS SALVIFOLIUS 'PROSTRATUS' SAGELEAF ROCKROSE	5 GAL.	2
	DRACAENA MARGINATA RED EDGED DRACAENA	5 GAL.	1
	HEUCHERA MAXIMA ISLAND ALUMN ROOT	5 GAL.	30
	LIRIOPE 'GIGANTEA' GIANT LILY TURF	1 GAL.	8
	LIRIOPE MUSCARI LILY TURF	1 GAL.	22
	LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	1 GAL.	26
	MUHLENBERGIA RIGENS DEER GRASS	15 GAL.	7
	MYOPORUM PARVIFOLIA 'PROSTRATUM' CREEPING MYOPORUM	5 GAL.	4
	PITTOSPORUM 'GOLF BALL' GOLF BALL PITTOSPORUM	1 GAL.	11
	ROSMARINUS 'IRENE' IRENE TRAINLING ROSEMARY	1 GAL.	7
	SALVIA LEUCANTHA 'WHITE MISCHIEF' WHITE MISCHIEF SAGE	5 GAL.	4
	SOLANDRA MAXIMA CUP OF GOLD VINE	1 GAL.	2

VISIBILITY AREA:
36" HEIGHT PLANTER TO HAVE SOIL THAT IS 12" LOWER IN HEIGHT THAN THE TOP OF THE PLANTER. PLANT MATERIAL IN PLANTER WILL HAVE A MAXIMUM HEIGHT OF 6". THEREFORE PLANT MATERIAL HEIGHT AT FULL MATURITY WILL BE LIMITED TO AND MAINTAINED AT 6" BELOW LIP OF PLANTER WALL.



(A) GROUND LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"



(B) UPPER LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"

MAINTENANCE NOTES:

- ALL PLANTED AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- LONG TERM MAINTENANCE FOR THE PROJECT TO BE THE RESPONSIBILITY OF THE HOMEOWNER. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREA SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS OF A FINAL LANDSCAPE INSPECTION.
- PER CITY CODE SECTION 142.0403 (b)(2), ALL EXISTING, INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE PREMISES WHEN THE COMBINATION OF SPECIES TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE MATERIAL THAT ARE ON OR OFF THE PREMISES.
- TREES: ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

IRRIGATION NOTES:

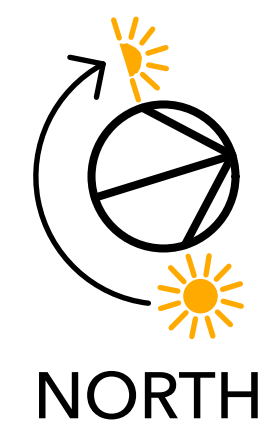
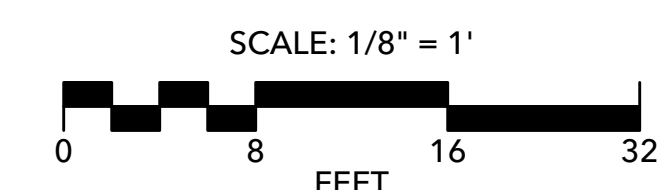
- AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- ALL IRRIGATION EXCEPT WITHIN TURF LAWN SHALL BE DRIP TYPE IN ORDER TO PREVENT OVERSPRAY.
- IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.

PLANTING NOTES:

- ALL LANDSCAPED AREAS SHALL COMPLY WITH THE LANDSCAPE REGULATIONS CONTAINED WITHIN THE SAN DIEGO MUNICIPAL CODE, THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL, AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
- MINIMUM TREE SEPARATION DISTANCE
 - Traffic signals / stop signs - 20 feet
 - Underground utility lines - 5 feet (10' for sewer)
 - Above ground utility structures - 10 feet
 - Driveway (entries) - 10 feet (5 feet for residential streets < 25mph)
 - Intersections (Intersecting curb lines of two streets) - 25 feet
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSIONS FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5).

LANDSCAPE INSPECTIONS SCHEDULE:

- PRECONSTRUCTION MEETING
- INSTALLATION
- 120 DAY
- ANNUAL/FINAL (60 MONTH MAINTENANCE PERIOD)



PLANTING PLAN
PROJECT: FLEMING DUNLAVY RESIDENCE
CLIENT: DAVID DUNLAVY & JILL FLEMING
 5616 ABALONE PLACE
 LA JOLLA, CA 92037

PRINT DATE	PROGRESS
9/8/23	1ST SUBMITTAL
3/27/24	2ND SUBMITTAL
6/20/24	3RD SUBMITTAL
7/31/24	4TH SUBMITTAL
9/29/24	5TH SUBMITTAL
11/7/24	6TH SUBMITTAL

DESIGN	BB
DRAWN	BB, JB
CHECKED	BB
SCALE	
PROJECT	23-03

LC-1

SHEET 1 OF 2

IF PLAN IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

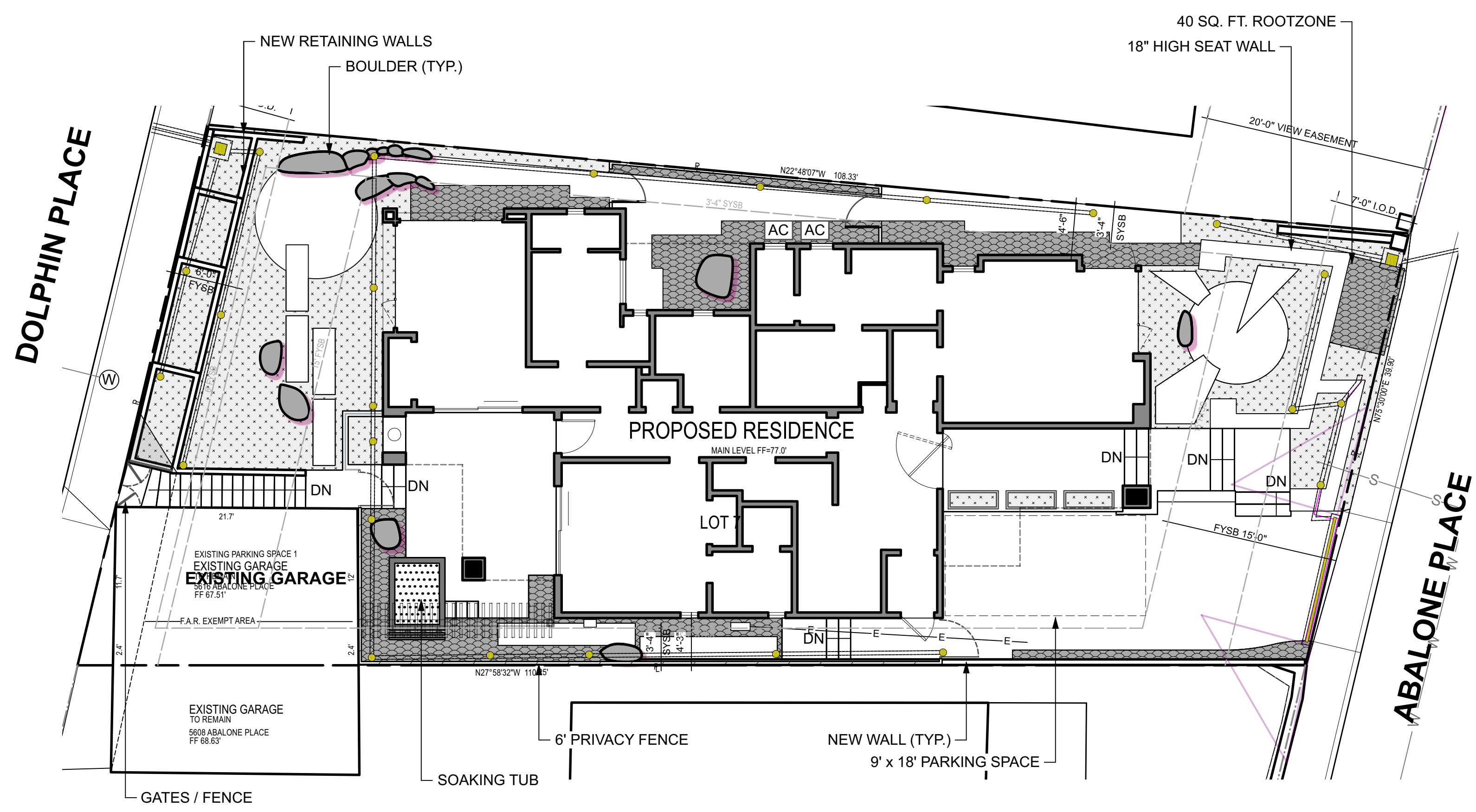
THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THEREO REMAINS IN THE LANDSCAPE ARCHITECT.

9/8/23	1ST SUBMITTAL
3/27/24	2ND SUBMITTAL
6/20/24	3RD SUBMITTAL
7/31/24	4TH SUBMITTAL
9/29/24	5TH SUBMITTAL
11/7/24	6TH SUBMITTAL

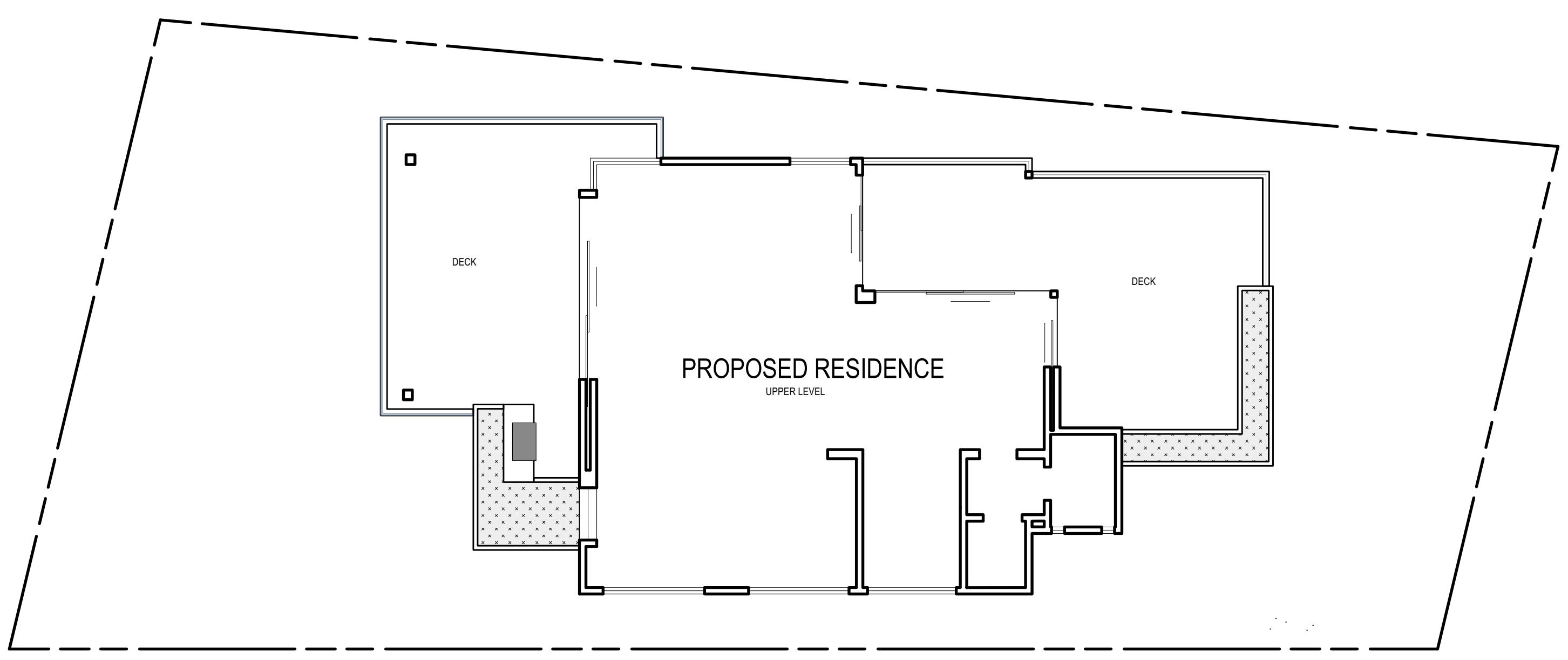
PRINT DATE	PROGRESS
DESIGN	BB
DRAWN	BB, JB
CHECKED	BB
SCALE	
PROJECT	23-03

HYDROZONE LEGEND

SYMBOL	ZONE	PERCENTAGE	SQUARE FEET
	VERY LOW	0%	0
	LOW	65%	740
	MODERATE	33%	378
	HIGH	2%	22
	TOTAL	100%	1,140



(A) GROUND HYDROZONE PLAN
SCALE: 1/8" = 1'-0"



(B) UPPER LEVEL PLANTING PLAN
SCALE: 1/8" = 1'-0"

WATER BUDGET CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAWA = (ET_o)(0.62) [(PF x HA / IE) + SLA]
 = (46.4)(0.62) [(0.55 x 1,116) + (0.45 x 0)]
 = (28.77) (613.80 + 0)
 = 17,658 GALLONS PER YEAR

ESTIMATED TOTAL WATER USE CALCULATIONS

ETWU = (ET_o)(0.62) [(PF x HA / IE) + SLA]
 HA = HYDROZONE AREA

ETWU HA 1 = (46.4)(0.62) [(0.3 x 740 / 0.81) + (28.768)(0.3 x 740 / 0.81)]
 = 7,885 GALLONS PER YEAR

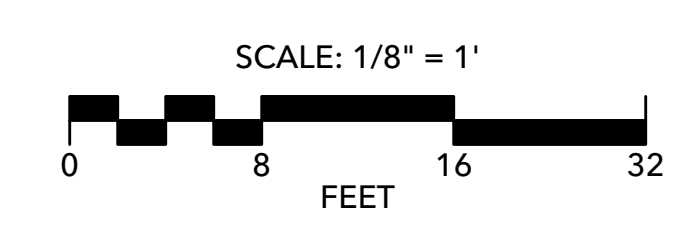
ETWU HA 2 = (46.4)(0.62) [(0.6 x 378 / 0.81) + (28.768)(0.6 x 378 / 0.81)]
 = 8,055 GALLONS PER YEAR

ETWU HA3 = (46.4)(0.62) [(1 x 22 / 1) + (28.768)(1 x 22 / 1)]
 = 633 GALLONS PER YEA

TOTAL ETWU = (46.4)(0.62) [(0.3 x 740 / 0.81) + (0.6 x 378 / 0.81) + (1 x 22 / 1) + 0]
 = (28.77) [274.07 + 280.00 + 22.00 + 0]
 = (28.77) [576.07]
 = 16,572.50

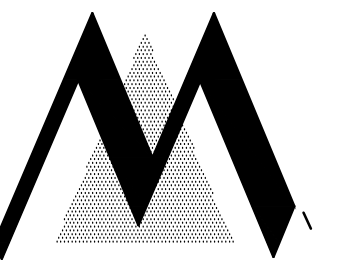
MAWA / ETWU = 18,038.00 / 16,572.50
 MAWA / ETWU = 1.09

- NOTES:**
- IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
 - ALL IRRIGATION EXCEPT WITHIN TURF LAWN (IF APPLICABLE) SHALL BE DRIP TYPE IN ORDER TO PREVENT OVERSPRAY.
 - ALL PLANTED AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
 - LONG TERM MAINTENANCE FOR THE PROJECT TO BE THE RESPONSIBILITY OF THE HOMEOWNER.
 - ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE LANDSCAPE REGULATIONS CONTAINED WITHIN THE SAN DIEGO MUNICIPAL CODE, THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL, AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
 - PER CITY CODE SECTION 142.0403 (b)(2), ALL EXISTING, INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE PREMISES WHEN THE COMBINATION OF SPECIES TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE MATERIAL THAT ARE ON OR OFF THE PREMISES.
- LANDSCAPE INSPECTIONS SCHEDULE:**
- PRECONSTRUCTION MEETING
 - INSTALLATION
 - 120 DAY
 - ANNUAL/FINAL (60 MONTH MAINTENANCE PERIOD)



IF PLAN IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

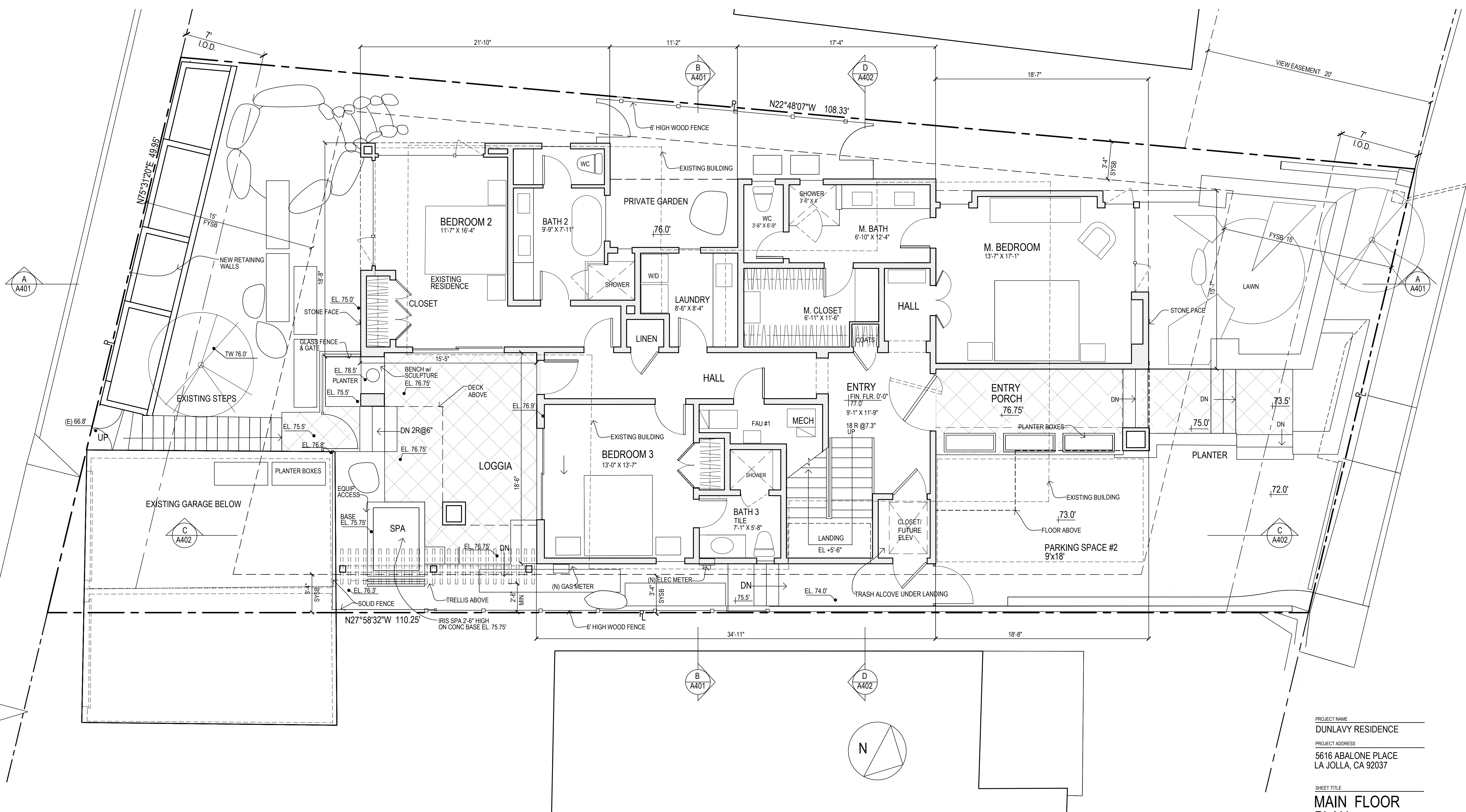
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FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE

Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1 FT

NOTES

- PER CITY OF SAN DIEGO CLIMATE ACTION PLAN PLUMBING FIXTURES AND FITTINGS SHALL BE LOW FLOW AS FOLLOWS:
 - KITCHEN FAUCETS MAX FLOW RATE NOT TO EXCEED 1.5 GPM @ 60 PSI
 - STANDARD DISHWASHERS SHALL USE MAX 4.25 GALS PER CYCLE
 - COMPACT DISHWASHERS SHALL USE MAX 3.5 GALS PER CYCLE
 - CLOTHES WASHERS SHALL HAVE WATER FACTOR OF 6 GALS PCF DRUM CAPACITY
- SEE SHEET A101 FOR SIDE YARD SETBACK CALCULATION

LOT AREA	4816 SF
MAX FAR	0.6
MAX FLOOR AREA	2890 SF
UPPER LEVEL AREA	1109 SF
MAIN LEVEL AREA	1664 SF
TOTAL FLOOR AREA	2773 SF
FAR FLOOR AREA	
EXISTING GARAGE	48 SF
UPPER FLR OVERHANG	67 SF
TOTAL FLOOR AREA	2888 SF

PROJECT NAME
DUNLAVY RESIDENCE

PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

SHEET TITLE
MAIN FLOOR PLAN

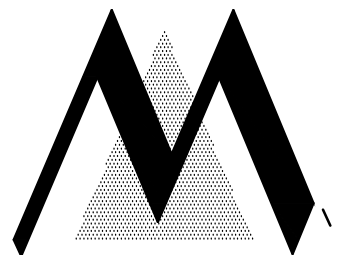
DRAWING SCALE
SCALE: 1/4" = 1 FT

ORIGINAL DATE:	09/07/23
REVISION 1	03/11/24
REVISION 2	
REVISION 3	07/11/24
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	

COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000

SHEET NO.

A201

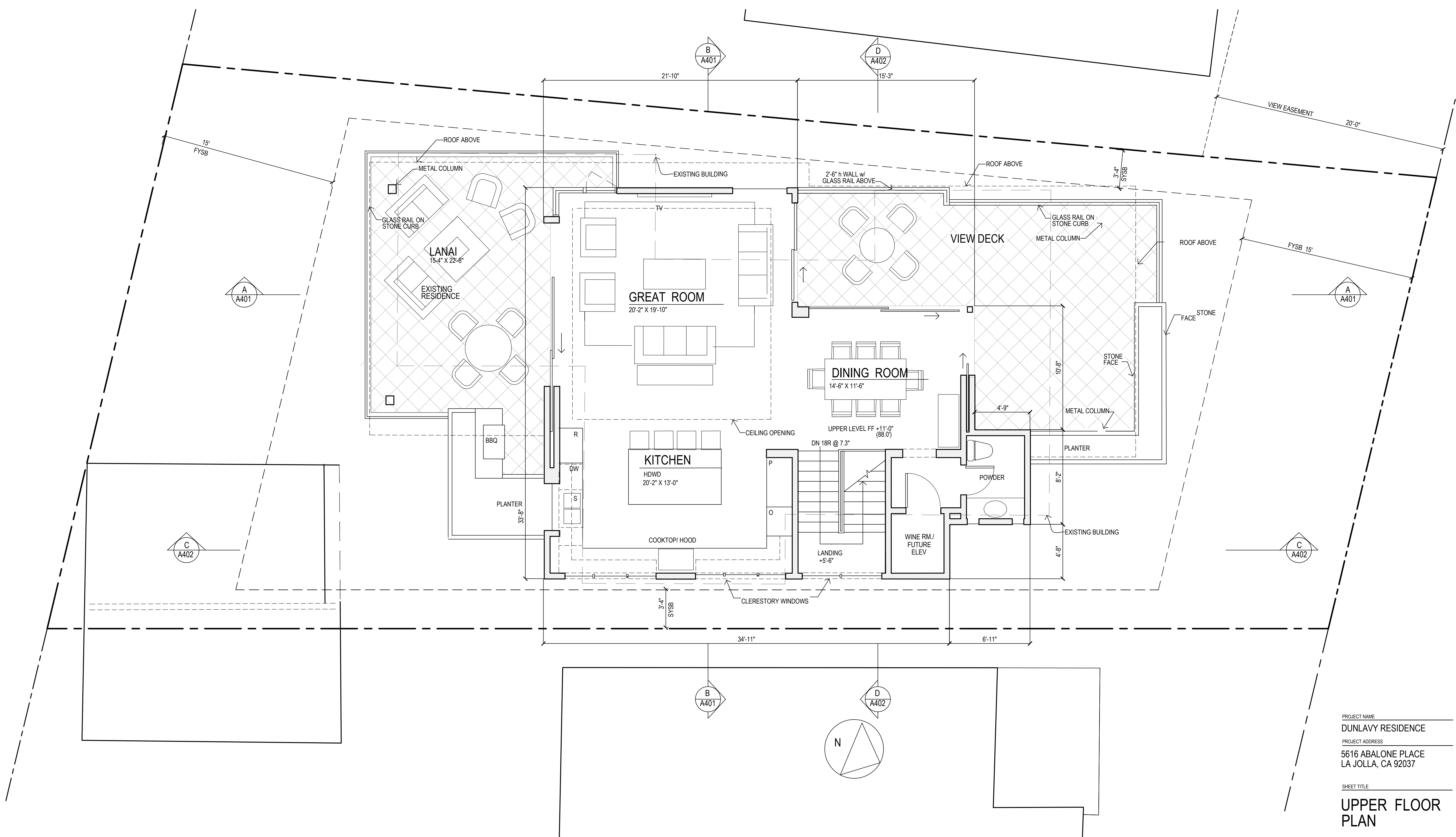


FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN A.I.A. ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A202



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1 FT

NOTES

- 1) PER CITY OF SAN DIEGO CLIMATE ACTION PLAN
PLUMBING FIXTURES AND FITTINGS SHALL BE LOW FLOW AS FOLLOWS:
- KITCHEN FAUCETS MAX FLOW RATE NOT TO EXCEED 1.5 GPM @ 60 PSI
 - STANDARD DISHWASHERS SHALL USE MAX 4.25 GALS PER CYCLE
 - COMPACT DISHWASHERS SHALL USE MAX 3.5 GALS PER CYCLE
 - CLOTHES WASHERS SHALL HAVE WATER FACTOR OF 6 GALS PCF DRUM CAPACITY

LOT AREA	4816 SF
MAX FAR	0.6
MAX FLOOR AREA	2890 SF
UPPER LEVEL AREA	1109 SF
MAIN LEVEL AREA	1664 SF
TOTAL FLOOR AREA	2773 SF
FAR FLOOR AREA	
EXISTING GARAGE	48 SF
UPPER FLR OVERHANG	67 SF
TOTAL FLOOR AREA	2888 SF

PROJECT NAME
DUNLAVY RESIDENCE

PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

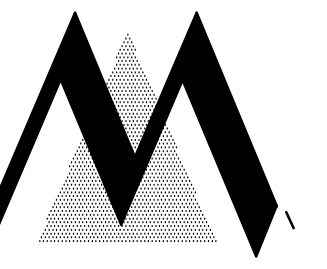
SHEET TITLE
UPPER FLOOR PLAN

DRAWING SCALE
SCALE: 1/4"=1 FT

ORIGINAL DATE: 09-07-23

REVISION 1	
REVISION 2	
REVISION 3	07/11/24 3
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	

COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000



FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.

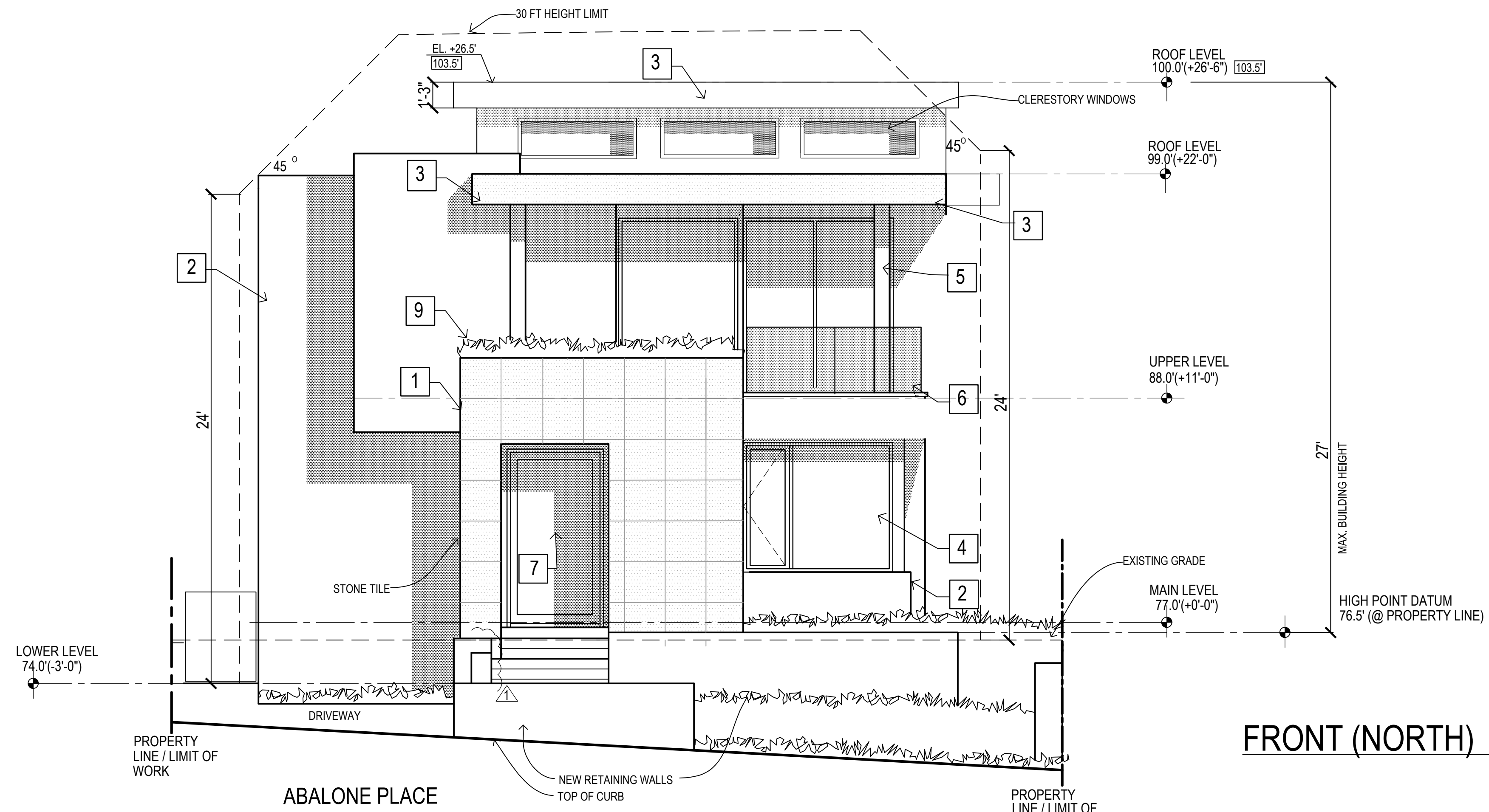
2333 State Street Suite 100 Carlsbad, CA 92008
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SHEET NO.

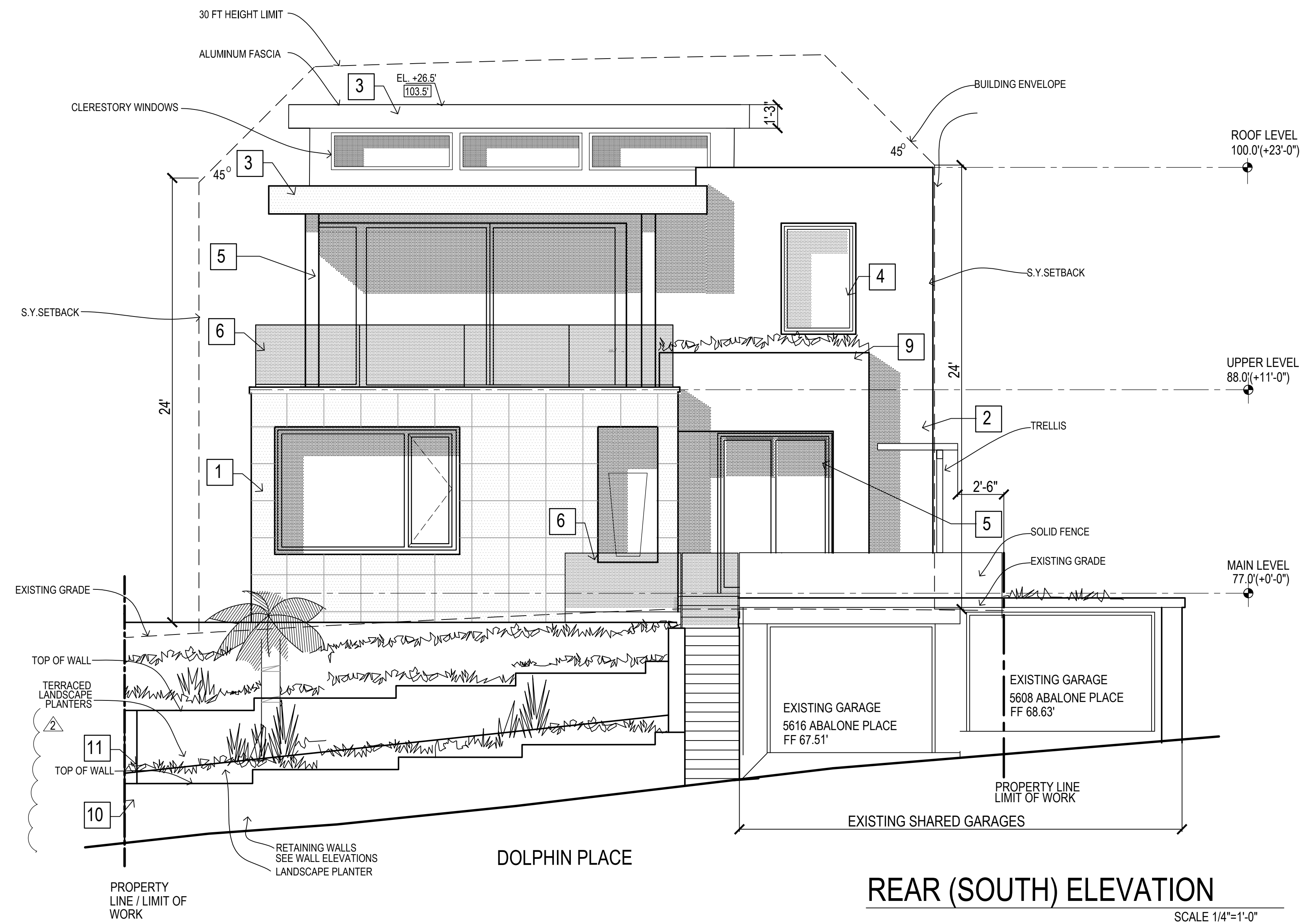
A301

EXTERIOR MATERIALS LEGEND

- 1 STONE VENEER
BLUESTONE TILE TYP.
- 2 STUCCO FINISH ON CEMENT PLASTER
COLOR: WHITE
- 3 PAINTED ALUMINUM FASCIA
- 4 ALUMINUM CLAD WOOD CASEMENT
WINDOWS W/ DIVIDED LIGHTS
COLOR:
- 5 ALUMINUM SLIDING DOORS
COLOR:
- 6 TEMPERED GLASS GUARDRAIL
- 7 PIVOTING GLAZED ENTRY DOOR
- 8 METAL OVERHEAD SECTION GARAGE
DOOR
- 9 BUILT IN PLANTER BOX ON DECK
- 10 CONCRETE BLOCK RETAINING WALLS
W/ STONE FACING
- 11 TERRACED LANDSCAPE PLANTERS

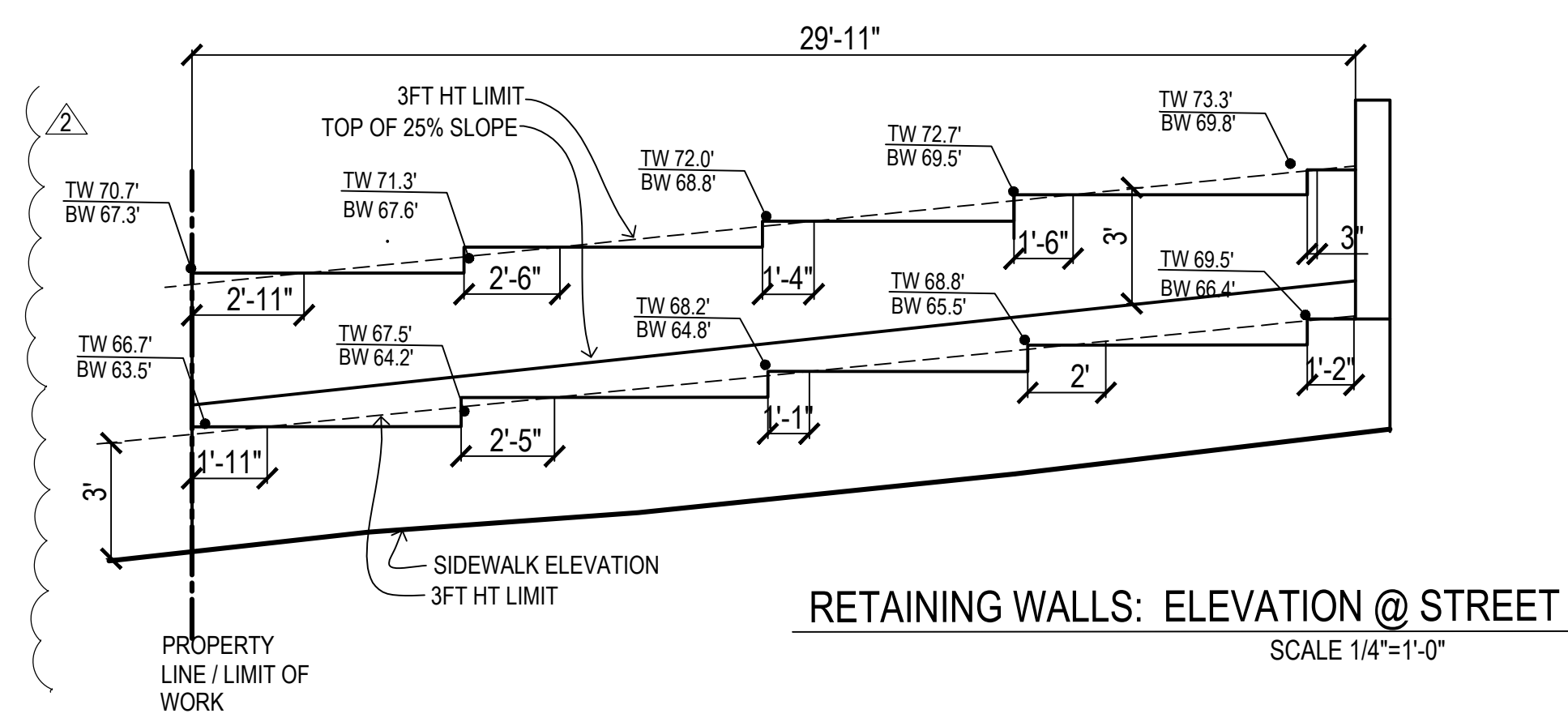


THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT

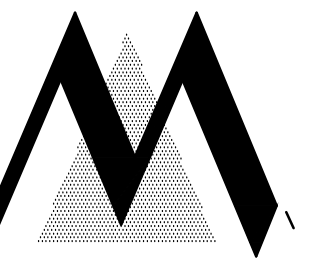


UPPER RETAINING WALL
AREA OF WALL 84 SF
TOTAL LENGTH UPPER WALL OVER 3 FT HIGH = 8'-6"
30% OF WALL ALLOWED UP TO 3'-6" HT. = 9 FT

LOWER RETAINING WALL
AREA OF WALL 87 SF
TOTAL LENGTH UPPER WALL OVER 3 FT HIGH = 8'-7"
30% OF WALL ALLOWED UP TO 3'-6" HT. = LENGTH 9 FT



PROJECT NAME	DUNLAVY ADDITION
PROJECT ADDRESS	5616 ABALONE PLACE LA JOLLA, CA 92037
SHEET TITLE	FRONT & REAR ELEVATIONS
DRAWING SCALE	SCALE: 1/4"=1 FT
ORIGINAL DATE:	09/07/23
REVISION 1	03/11/24
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	
COASTAL DEVELOPMENT PERMIT	
PROJECT NO.	000000



FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

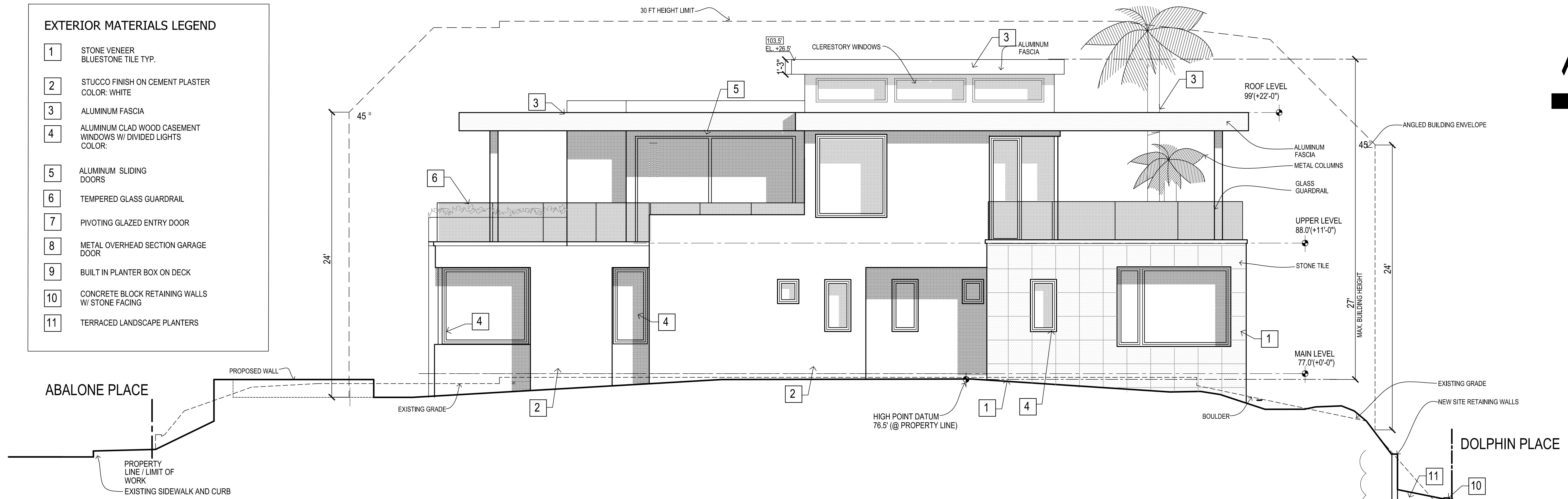
MARTIN ARCHITECTURE
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760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
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SHEET NO.

A302

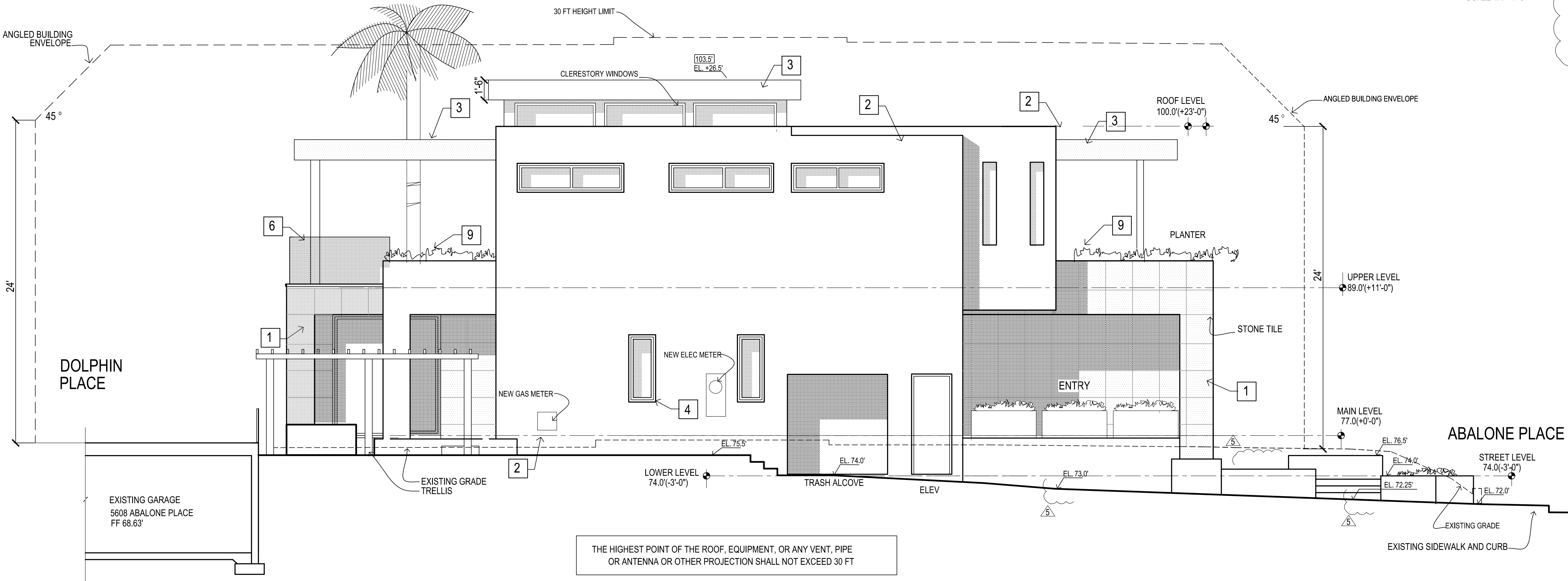
EXTERIOR MATERIALS LEGEND

- 1 STONE VENEER
BLUESTONE TILE TYP.
- 2 STUCCO FINISH ON CEMENT PLASTER
COLOR: WHITE
- 3 ALUMINUM FASCIA
- 4 ALUMINUM CLAD WOOD CASEMENT
WINDOWS W/ DIVIDED LIGHTS
COLOR:
- 5 ALUMINUM SLIDING
DOORS
- 6 TEMPERED GLASS GUARDRAIL
- 7 PIVOTING GLAZED ENTRY DOOR
- 8 METAL OVERHEAD SECTION GARAGE
DOOR
- 9 BUILT IN PLANTER BOX ON DECK
- 10 CONCRETE BLOCK RETAINING WALLS
W/ STONE FACING
- 11 TERRACED LANDSCAPE PLANTERS



WEST SIDE ELEVATION

SCALE 1/4"=1'-0"

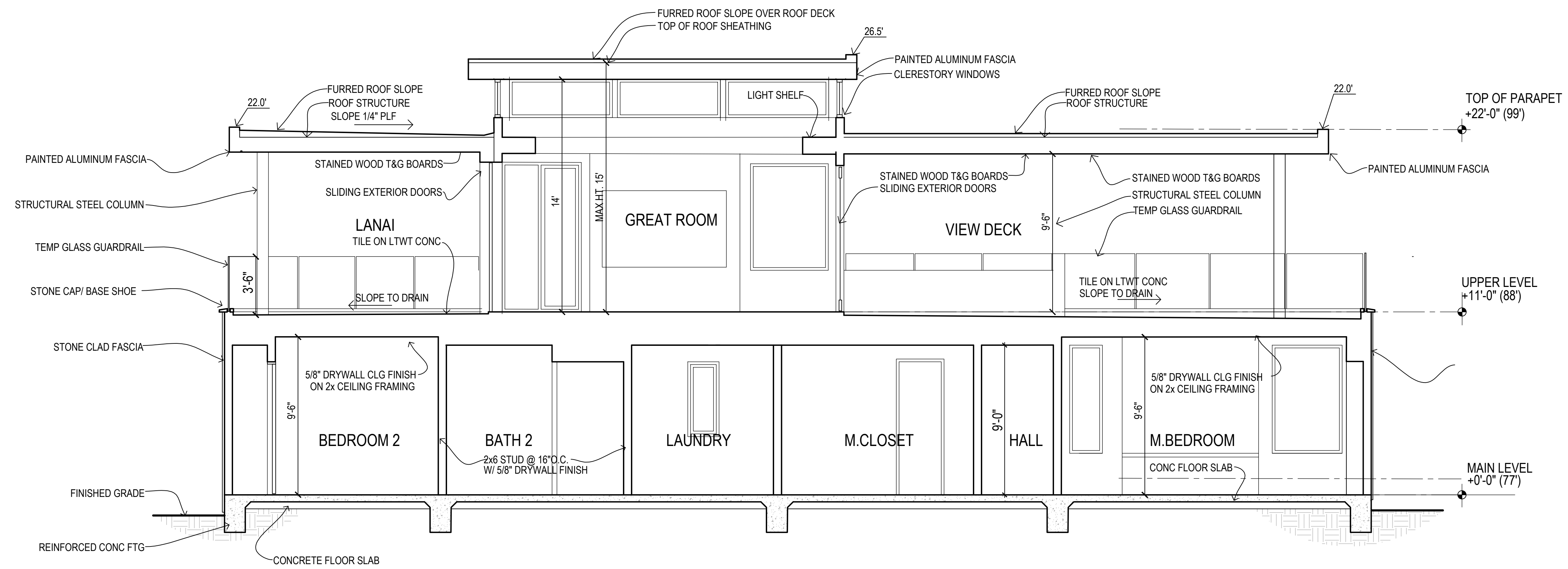
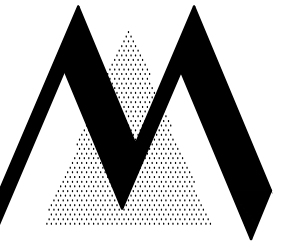


EAST SIDE ELEVATION

SCALE 1/4"=1'-0"

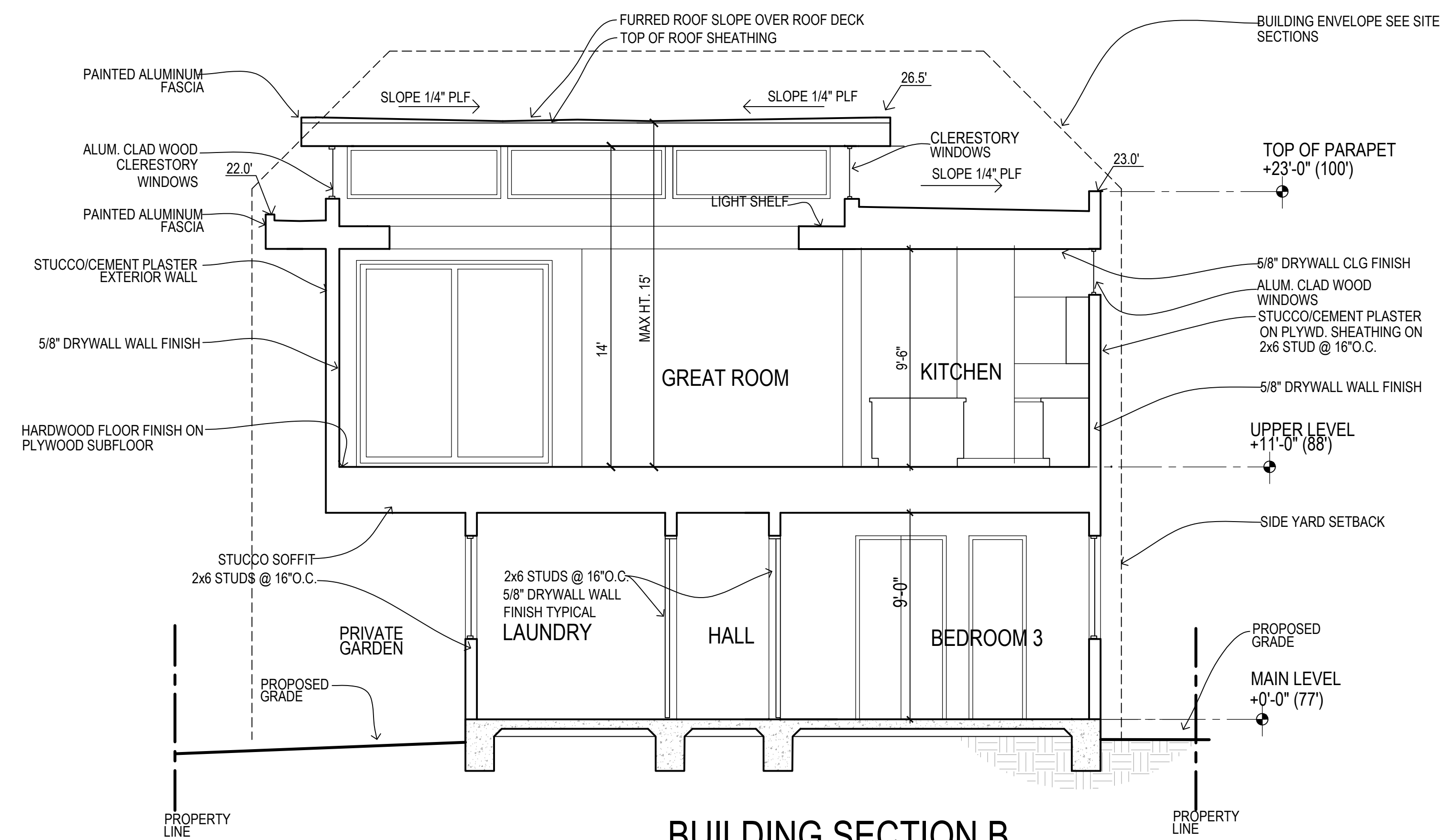
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT

PROJECT NAME	DUNLAVY RESIDENCE
PROJECT ADDRESS	5616 ABALONE PLACE LA JOLLA, CA 92037
SHEET TITLE	SIDE ELEVATIONS
DRAWING SCALE	SCALE: 1/4"=1 FT
ORIGINAL DATE:	09/07/23
REVISION 1	03/11/24 1
REVISION 2	
REVISION 3	07/11/24 3
REVISION 4	
REVISION 5	09/30/24 5
REVISION 6	
REVISION 7	
REVISION 8	
COASTAL DEVELOPMENT PERMIT PROJECT NO.	000000



BUILDING SECTION A

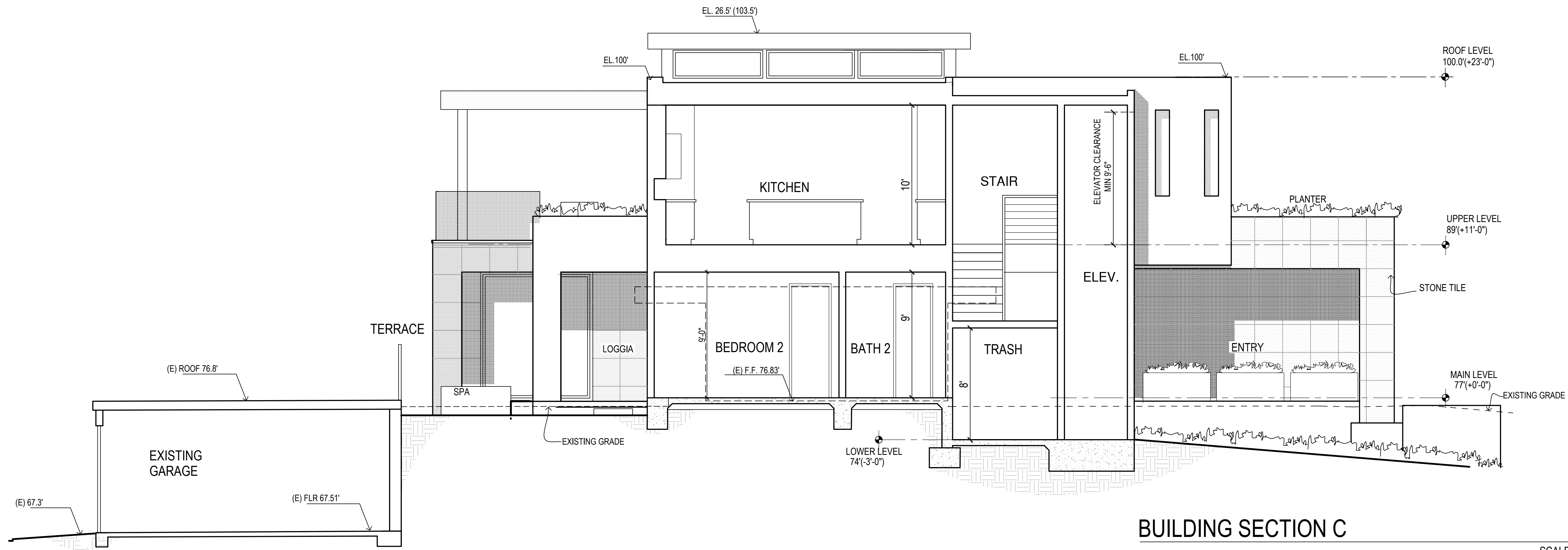
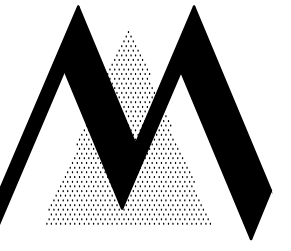
SCALE 1/4"=1'-0"



BUILDING SECTION B

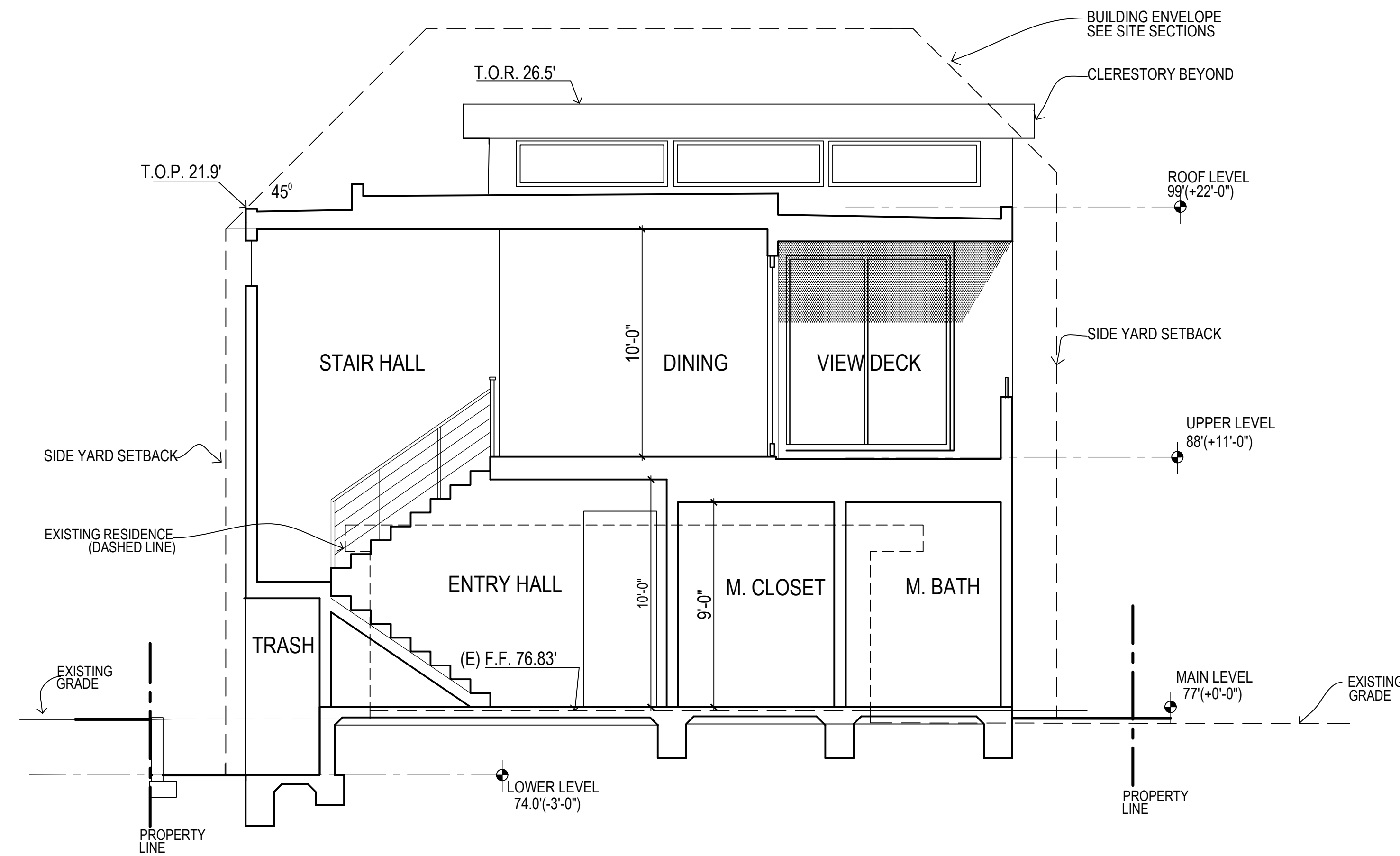
SCALE 1/4"=1'-0"

PROJECT NAME	DUNLAVY RESIDENCE
PROJECT ADDRESS	5616 ABALONE PLACE LA JOLLA, CA 92037
SHEET TITLE	BUILDING SECTIONS
DRAWING SCALE	SCALE: 1/4"=1 FT
ORIGINAL DATE	09-07-23
REVISION 1	_____
REVISION 2	_____
REVISION 3	_____
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____
COASTAL DEVELOPMENT PERMIT	PROJECT NO. 000000



BUILDING SECTION C

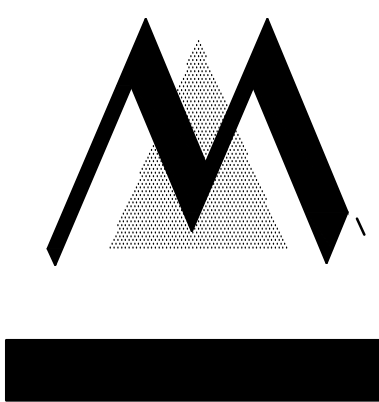
SCALE 1/4"=1'-0"



BUILDING SECTION D

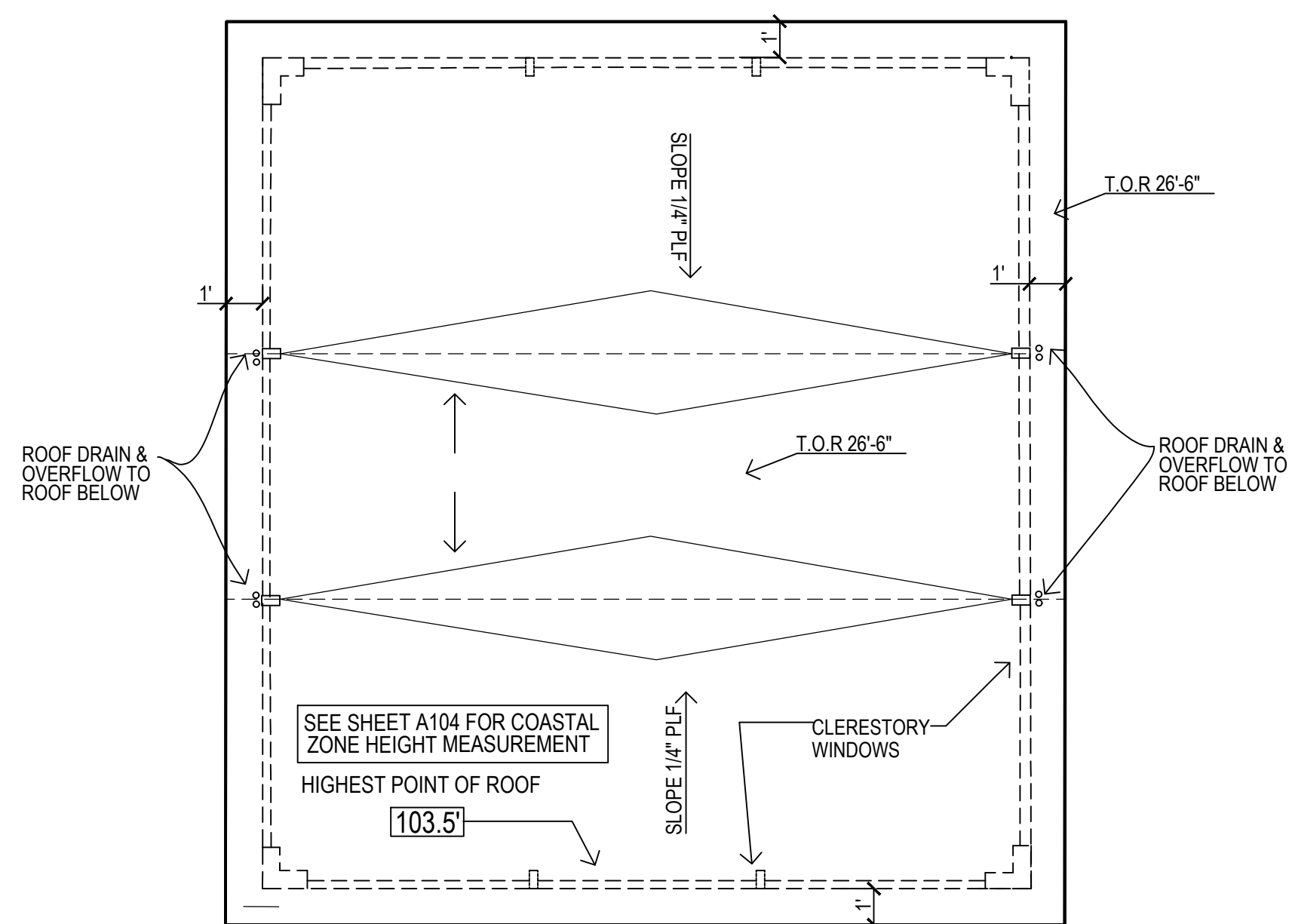
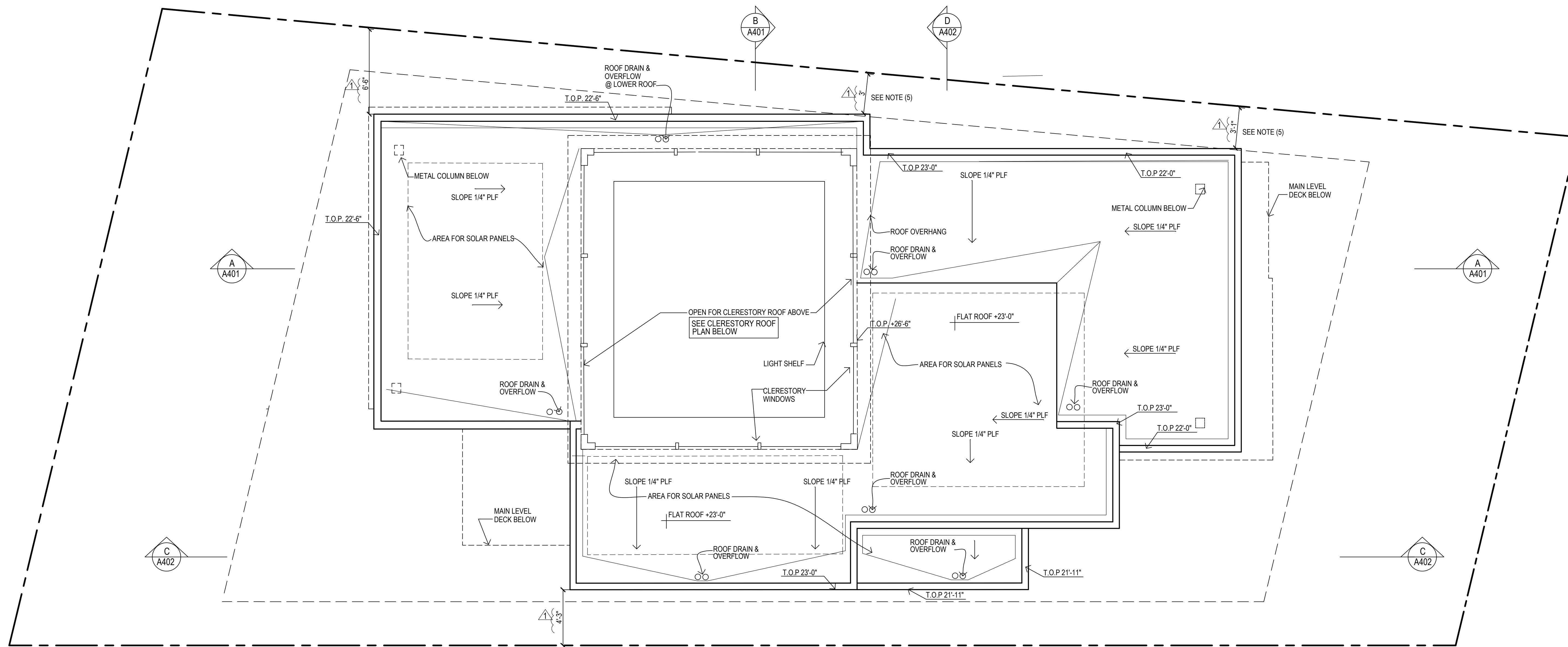
SCALE 1/4"=1'-0"

PROJECT NAME	DUNLAVY RESIDENCE
PROJECT ADDRESS	5616 ABALONE PLACE LA JOLLA, CA 92037
SHEET TITLE	BUILDING SECTIONS
DRAWING SCALE	SCALE: 1/4"=1 FT
ORIGINAL DATE:	09-07-23
REVISION 1	_____
REVISION 2	_____
REVISION 3	07/11/24
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____
COASTAL DEVELOPMENT PERMIT	PROJECT NO. 000000



FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.
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tim@martinarchitecture.com



CLERESTORY ROOF PLAN
SCALE: 1/4" = 1 FT

NOTES

- 1) TYPICAL ROOFING:
FLAT ROOF BUILT UP ROOFING MIN SLOPE 1/4" PLF;
4 PLY MINERAL SURFACED FIBERGLASS BUILT UP ROOFING
FIRE RATING CLASS "A"
- 2) NOTE: ALL PLATE HEIGHTS MEASURED ABOVE MAIN LEVEL = 0'-0"
- 3) TYPICAL ROOF PITCH 1/4" PLF
- 4) SEE BUILDING HEIGHT PLAN SHEET A104 FOR BUILDING HEIGHT
CODE COMPLIANCE
- 5) EAVE PROJECTIONS SHALL NOT BE CLOSER THAN 2'-6" TO THE PROPERTY LINE (SDMC 131.0461(1)(B))

LEGEND

AFF	HEIGHT ABOVE FINISHED FLOOR LEVEL DIRECTLY BELOW
T.O.R.	TOP OF ROOF
T.O.C.	TOP OF CHIMNEY
T.O.P.	TOP OF PARAPET
←	DIRECTION OF ROOF SLOPE
76.5'	SEA ELEVATION
24'-9" AG	ELEVATION ABOVE GRADE DIRECTLY BELOW

ROOF PLAN

SCALE: 1/4" = 1 FT

PROJECT NAME
DUNLAVY RESIDENCE

PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

SHEET TITLE
ROOF PLAN

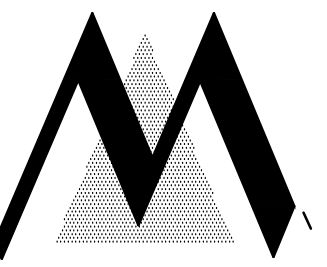
DRAWING SCALE
SCALE: 1/4" = 1 FT

ORIGINAL DATE:	09-07-23
REVISION 1	03/19/24
REVISION 2	
REVISION 3	07/11/24
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	

COASTAL DEVELOPMENT PERMIT
PROJECT NO.

SHEET NO.

A501

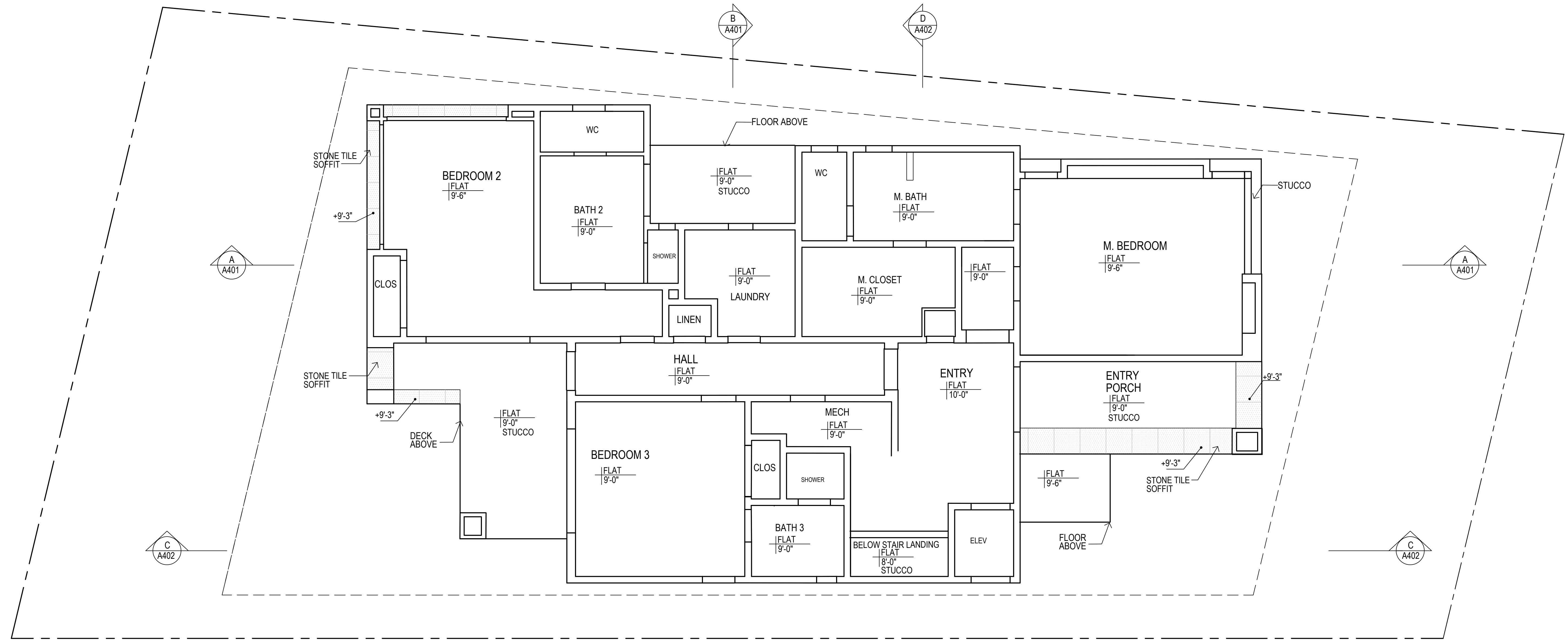


FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE

Tim Martin A.I.A.

2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com



MAIN LEVEL REFLECTED CEILING PLAN

SCALE: 1/4"=1 FT

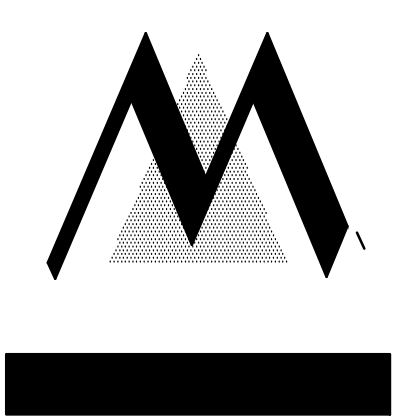
PROJECT NAME
DUNLAVY RESIDENCE
PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037
SHEET TITLE
MAIN LEVEL REFLECTED CEILING PLAN
DRAWING SCALE
SCALE: 1/4"=1 FT

ORIGINAL DATE:	09/07/22
REVISION 1	
REVISION 2	
REVISION 3	07/11/24 3
REVISION 4	
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	

COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000

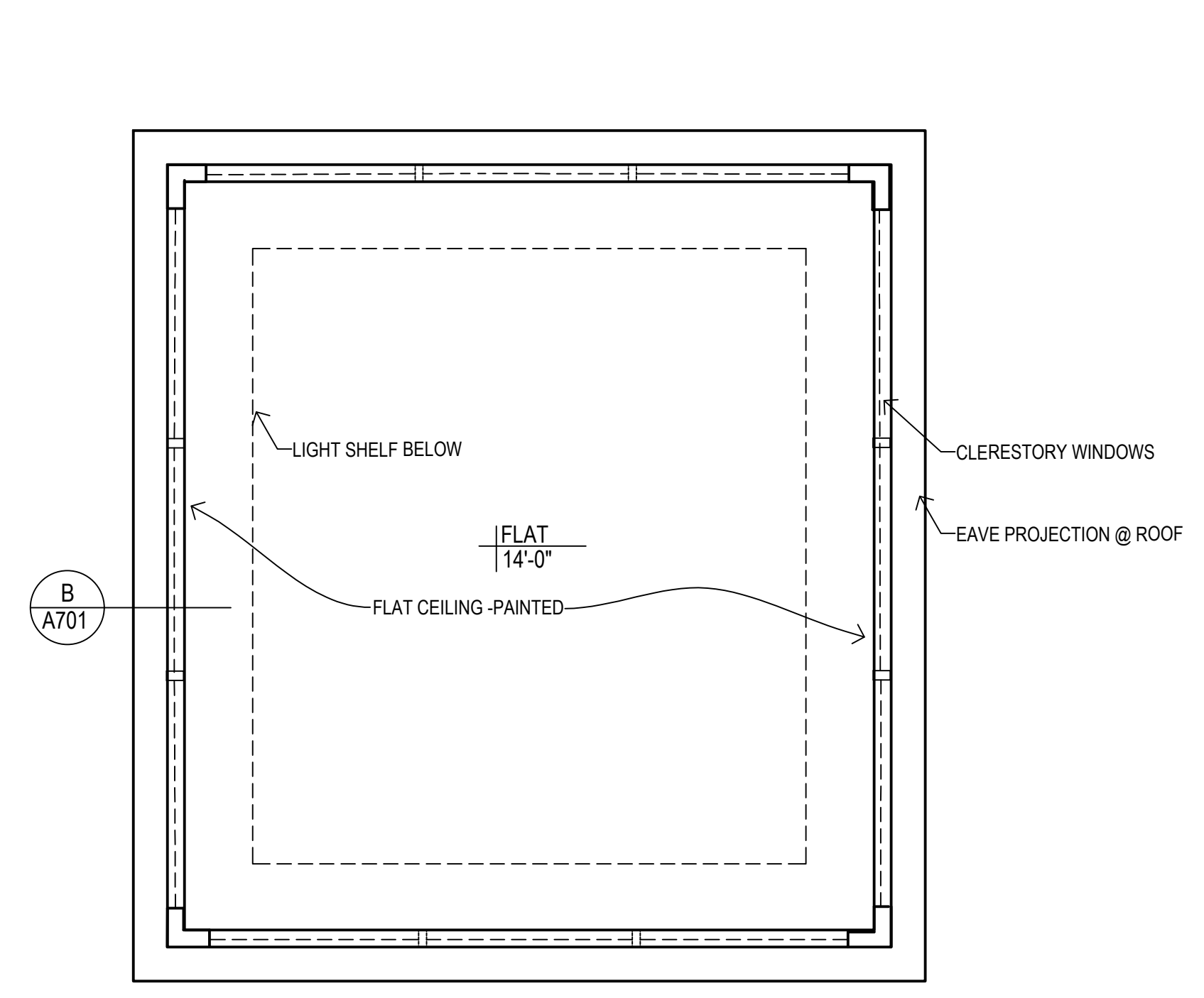
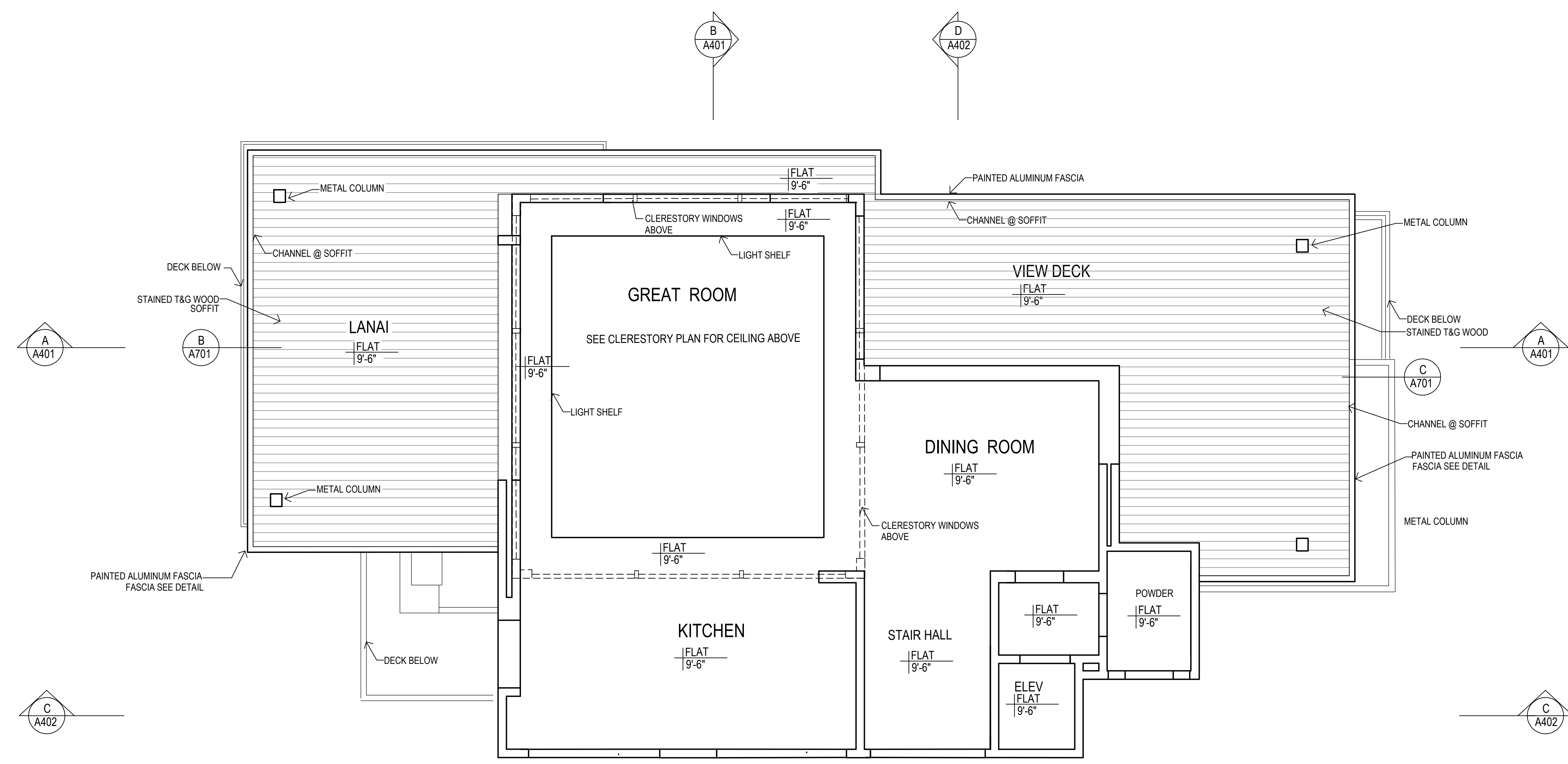
SHEET NO.

A601



FLEMING DUNLAVY RESIDENCE
 5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
 Tim Martin A.I.A.
 2333 State Street Suite 100 Carlsbad, CA 92008
 760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
 tim@martinarchitecture.com



CLERESTORY REFLECTED CEILING PLAN
 SCALE: 1/4" = 1 FT

UPPER LEVEL REFLECTED CEILING PLAN
 SCALE: 1/4" = 1 FT

PROJECT NAME
 DUNLAVY RESIDENCE
 PROJECT ADDRESS
 5616 ABALONE PLACE
 LA JOLLA, CA 92037
 SHEET TITLE
 UPPER LEVEL
 REFLECTED CEILING
 PLAN
 DRAWING SCALE

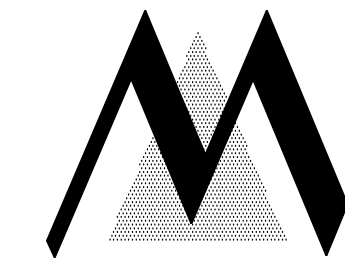
ORIGINAL DATE: 09-07-23

REVISION 1	_____
REVISION 2	_____
REVISION 3	_____
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____

COASTAL DEVELOPMENT PERMIT
 PROJECT NO. 000000

SHEET NO.

A602



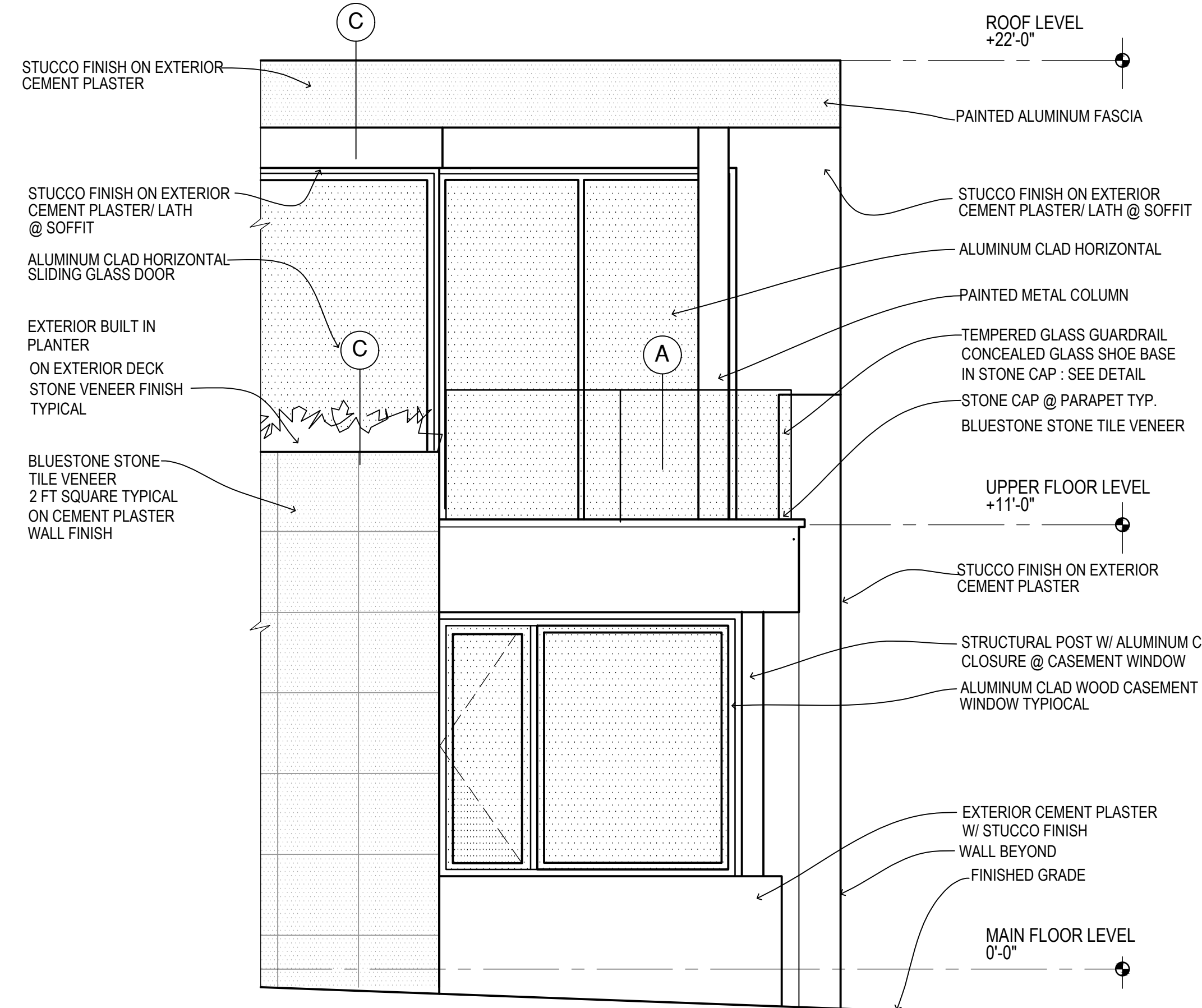
FLEMING DUNLAVY RESIDENCE
5616 ABALONE PLACE, LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

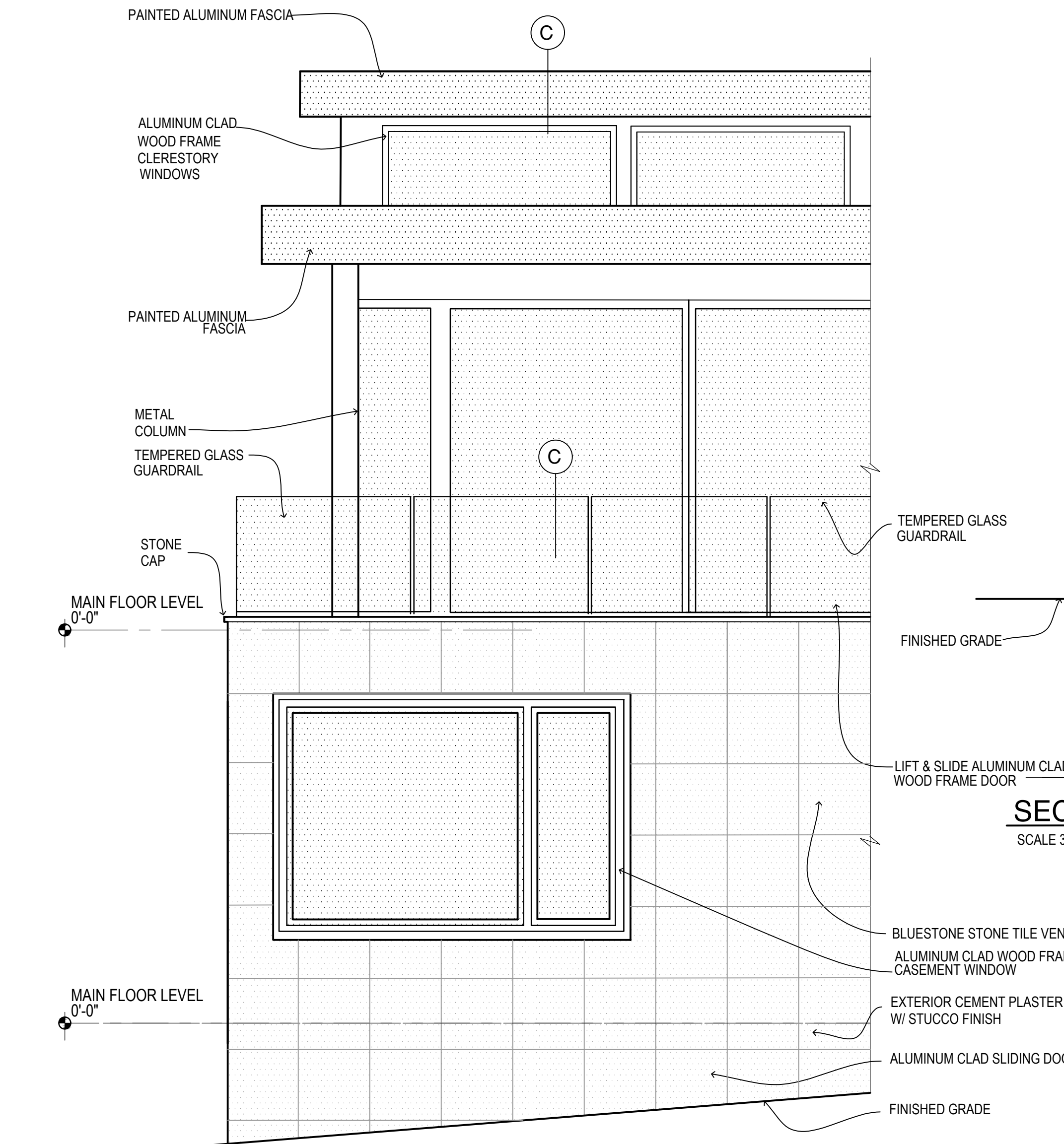
SHEET NO.

A701

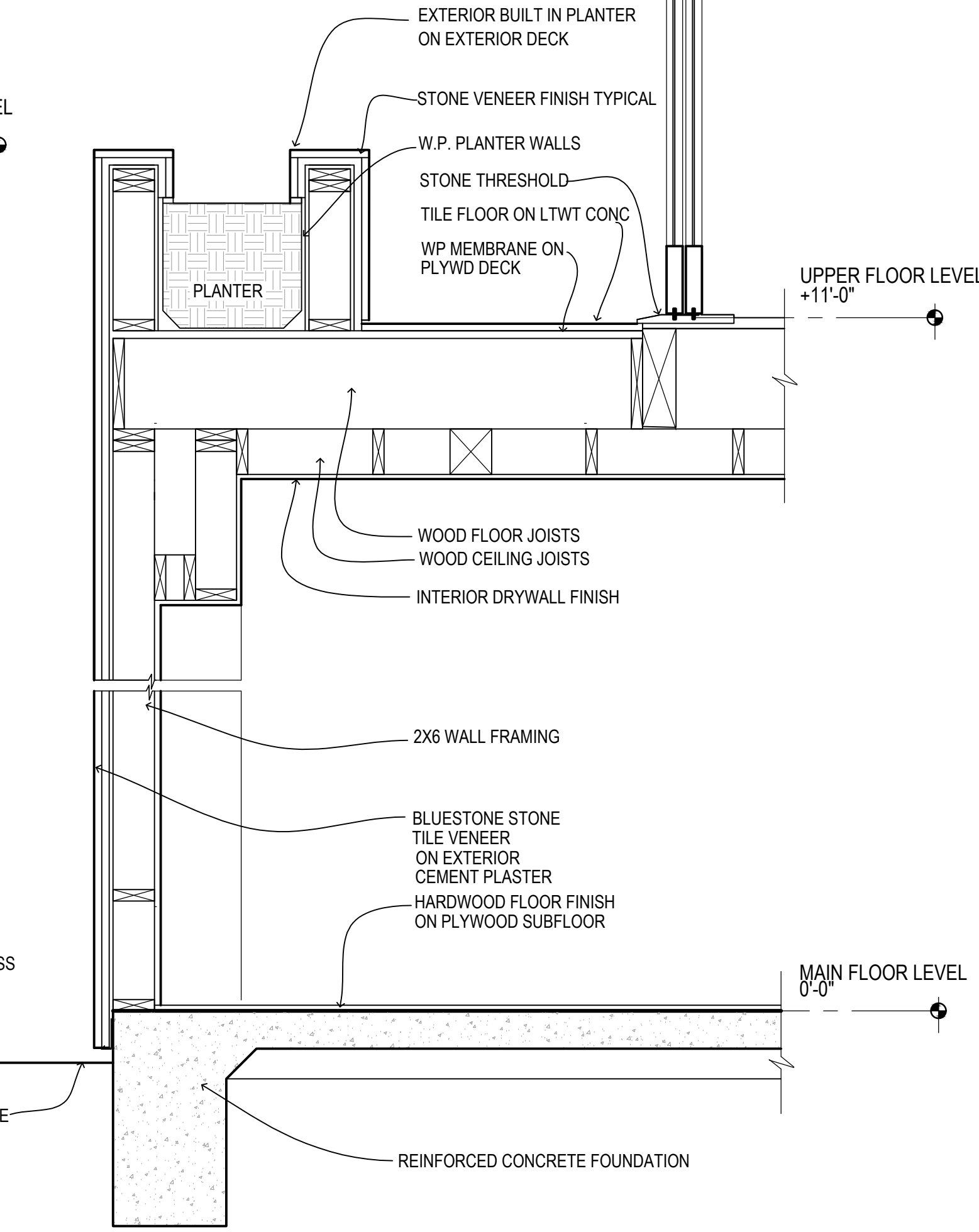
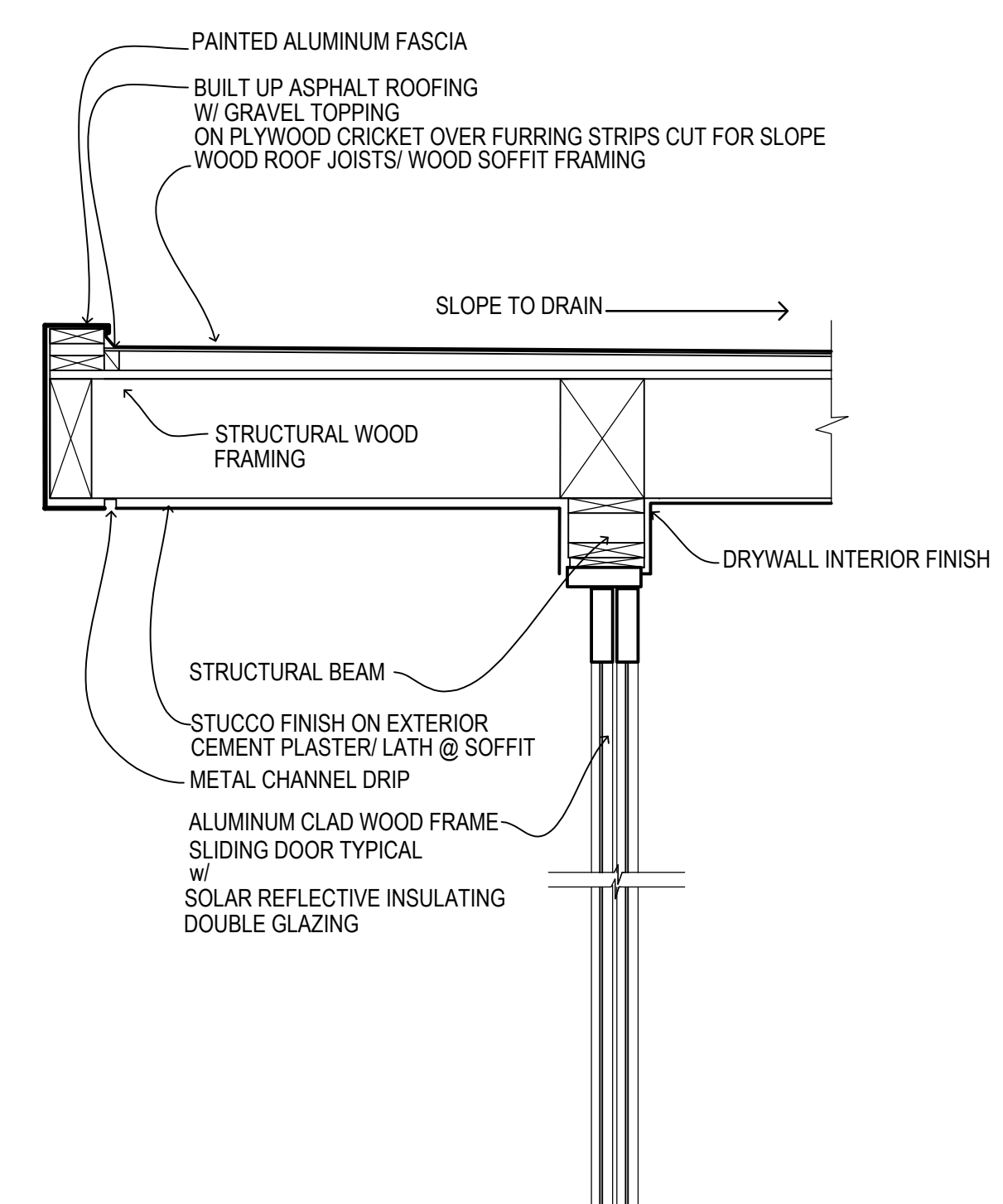
OF SHEETS



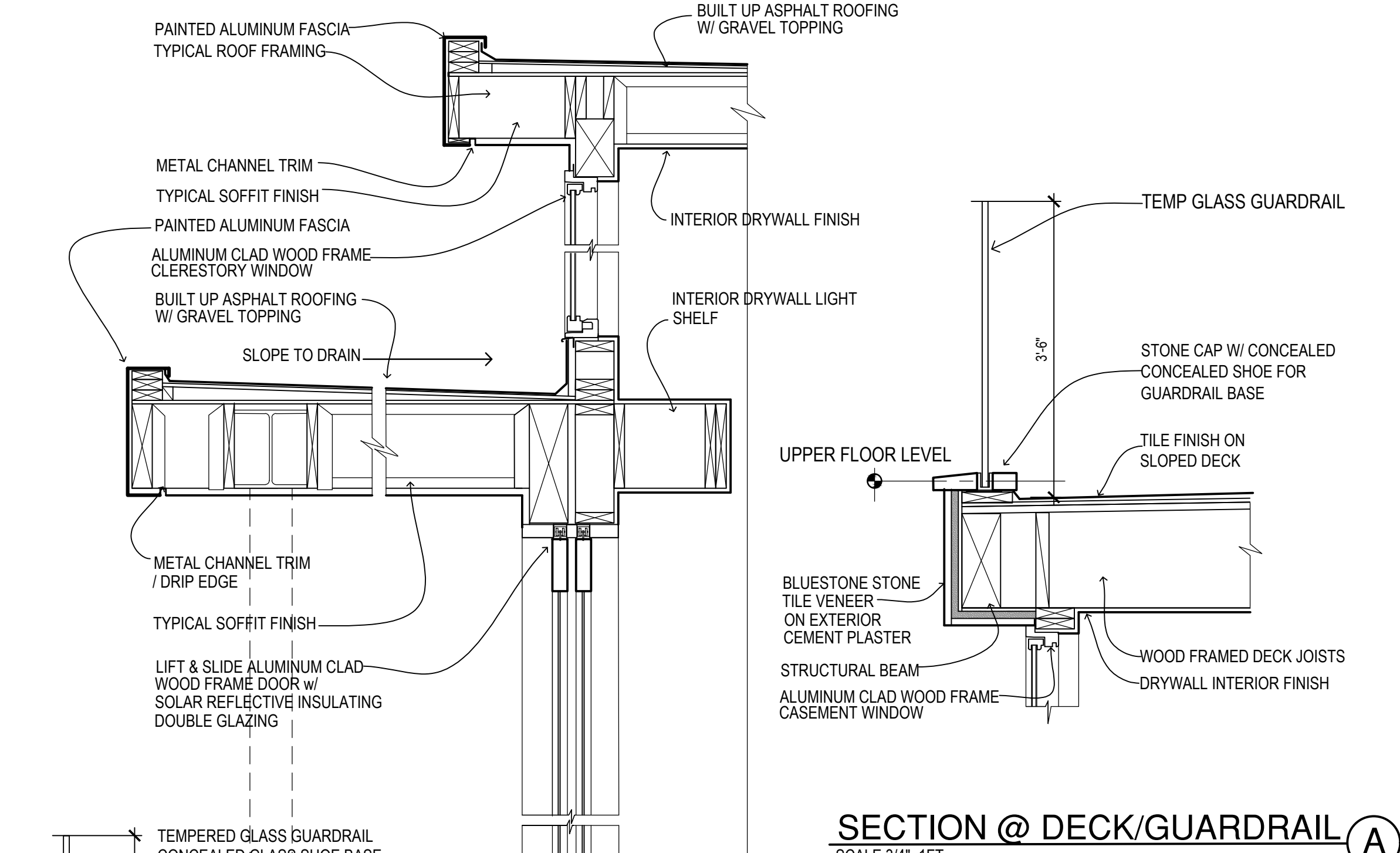
PARTIAL FRONT ELEVATION
SCALE 3/8"=1FT



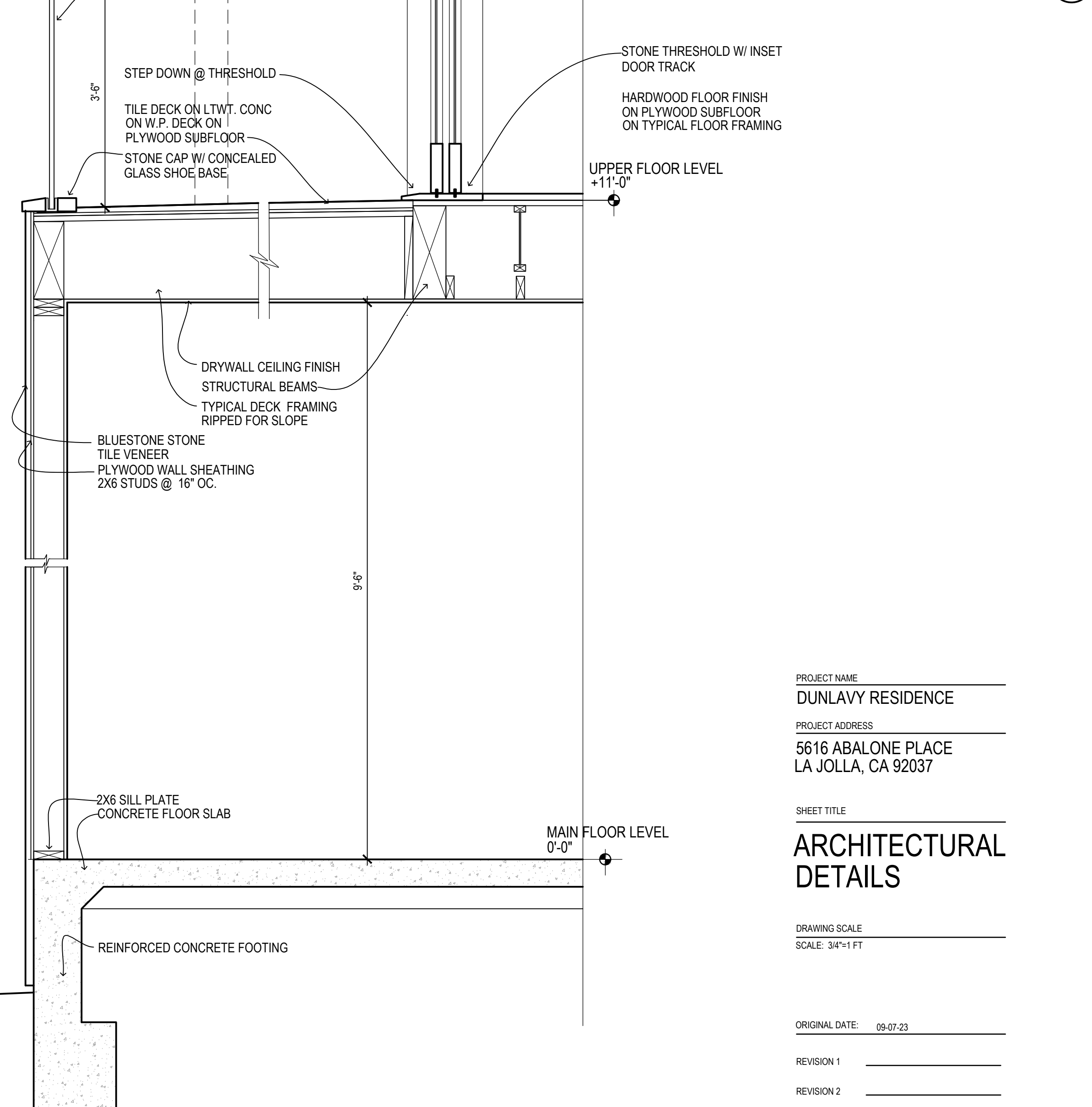
PARTIAL REAR DECK ELEVATION
SCALE 3/8"=1FT



SECTION @ FRONT DECK
SCALE 3/4"=1FT



SECTION @ DECK/GUARDRAIL
SCALE 3/4"=1FT



SECTION @ REAR DECK
SCALE 3/4"=1FT

PROJECT NAME
DUNLAVY RESIDENCE
PROJECT ADDRESS
5616 ABALONE PLACE
LA JOLLA, CA 92037

SHEET TITLE
ARCHITECTURAL DETAILS

DRAWING SCALE
SCALE: 3/4"=1FT

ORIGINAL DATE: 09-07-23

REVISION 1	_____
REVISION 2	_____
REVISION 3	_____
REVISION 4	_____
REVISION 5	_____
REVISION 6	_____
REVISION 7	_____
REVISION 8	_____

COASTAL DEVELOPMENT PERMIT
PROJECT NO. 000000