



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 31, 2024 REPORT NO. HO-25-001

HEARING DATE: January 15, 2025

SUBJECT: 5381 Calumet Avenue, Process Three Decision

PROJECT NUMBER: [1115264](#)

OWNER/APPLICANT: LOAH LLC, Owner / Golba Architecture, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve demolishing a one-story, single dwelling unit and constructing a two-story, 3,700 square-foot single dwelling unit with an attached 497 square-foot garage and detached two story 798 square foot accessory dwelling unit at 5381 Calumet Avenue within the La Jolla Community Plan area?

Proposed Actions: Approve Coastal Development Permit No. PMT-3288166.

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The Project proposes the replacement of an existing single dwelling unit with a new single dwelling unit and accessory dwelling unit.

Community Planning Group Recommendation: The applicant elected not to present the project to the La Jolla Community Planning Association.

Environmental Review: The project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15332 (In-Fill Development Project). The environmental determination for the project was made on August 29, 2024, and the opportunity to appeal the determination ended on September 13, 2024 (Attachment 6). There were no appeals of the environmental determination.

BACKGROUND

The project site is developed with a one-story single dwelling unit at 5381 Calumet Avenue. The 0.17-acre site is not located between the sea and the first public roadway, and there is no public view or coastal access from the project site, as identified in the La Jolla Community Plan (Community Plan).

The project site is in the RS -1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone - (Beach Impact), Transit Area Overlay Zone, Transit Priority Area, and includes Environmentally Sensitive Lands (Sensitive Coastal Bluff) within the La Jolla Community Plan Area (Attachments 1-3). The existing structure is more than 45 years old, requiring staff to evaluate the proposal for historic significance per San Diego Municipal Code (SDMC) Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Pursuant to San Diego Municipal Code Section 126.0707(b), a Process Three Coastal Development Permit is required for development within the appealable area of the Coastal Overlay Zone, which is not exempt by San Diego Municipal Code Section [126.0704](#). A Site Development Permit is not required because the project is not within the Sensitive Coastal bluff. Therefore, the decision to approve, conditionally approve, or deny the project shall be made by the Hearing Officer, and the decision is appealable to the Planning Commission. For decisions involving coastal development within the appealable area, the final City decision is appealable to the Coastal Commission.

DISCUSSION

The Project (Attachment 8 – Project Plans) includes demolishing an existing one-story, 1841 square feet single dwelling unit and constructing a new two-story, 3,700 square-foot single dwelling unit with 497 square foot attached garage and a new two-story, 798 square-foot accessory dwelling unit and balcony and decks. The project complies with the RS -1-7 Zone development regulations for building height (26 feet 6 inches for the main house and 23 feet 7 inches for the accessory dwelling unit), which does not exceed the 30-foot height limit, density, and floor area ratio (.55), which is below the maximum (.57) allowed. Staff has determined that the project conforms to the Local Coastal Program land use plan regulations and does not adversely impact the community character or the bulk and scale of the surrounding neighborhood.

The Community Plan designates the site as low-density residential (5 to 9 dwelling units/acre), and the Project is consistent with the prescribed density. The Project includes developing a single dwelling unit and accessory dwelling unit which is consistent with the Community Plan goal of promoting the development of a variety of housing types and styles in La Jolla. The Project is also consistent with the Community Plan goal of maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The Project complies with this Community goal since the structures have been designed to include low-lying roofs, and the second floor is set back from the first floor along the street frontages, which addresses bulk and scale and is complimentary to the surrounding neighborhood.

The Project site does not contain any sensitive biological resources, sensitive riparian habitat, or any other identified habitat community. Additionally, it is not located within a special flood hazard area or an area of future sea level rise. The project was determined to be exempt from the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15332 (In-Fill Development). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include the following:

- Constructing a new city-standard driveway, curb, and gutter. venue to provide a 12-foot curb-to-property-line distance;
- Entering into an Encroachment Maintenance Removal Agreement for private improvements.
- Obtaining a bonded grading permit;
- Implementing stormwater construction best management practices;
- Maintenance of all landscape improvements;
- Constructing all proposed public water and sewer facilities, per the City's Water and Sewer Facility design guidelines and regulations; and
- Installing appropriate private backflow prevention devices.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3288166, with modifications.
2. Deny Coastal Development Permit No. PMT-3288166, if the findings required to approve the project cannot be affirmed.

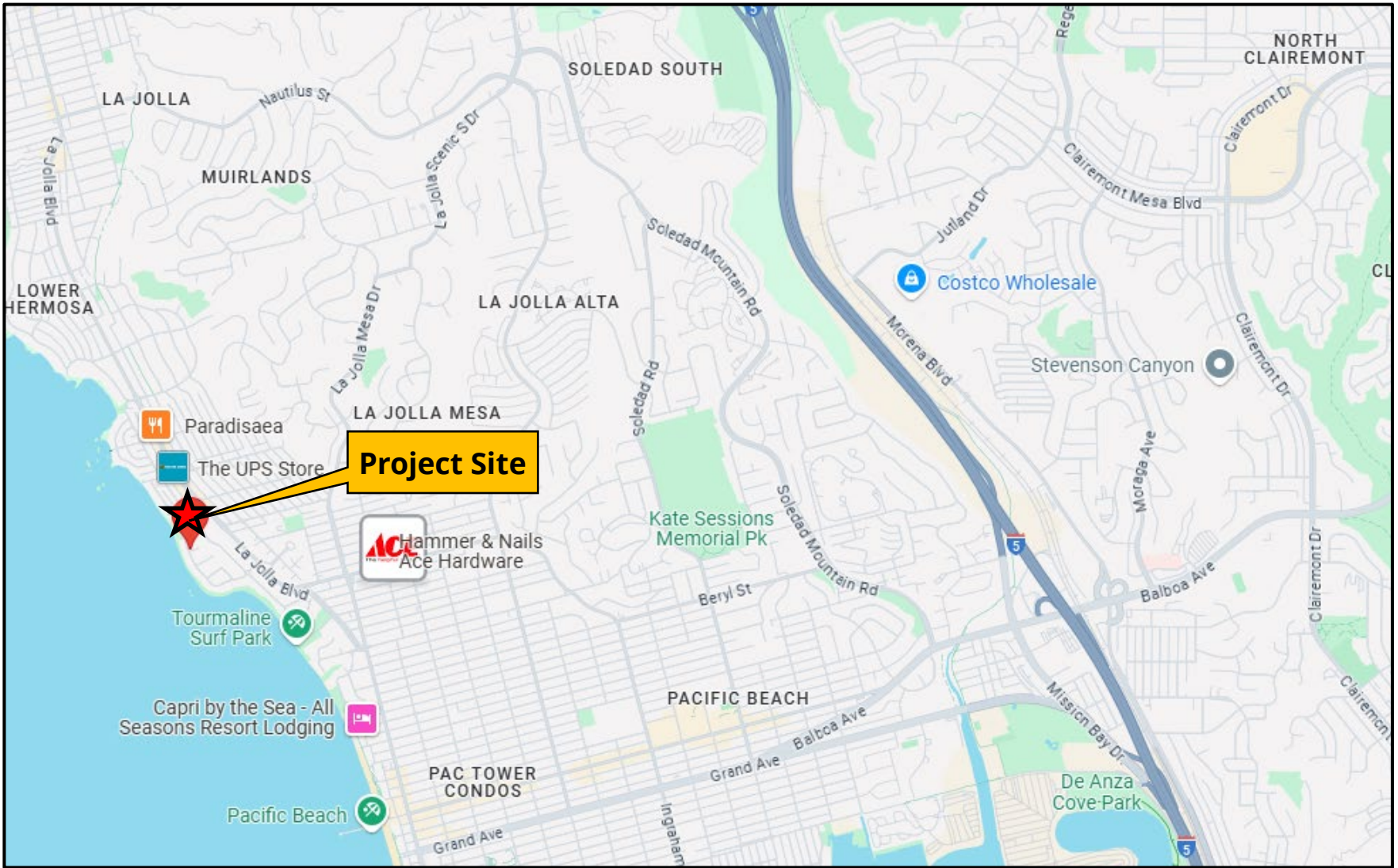
Respectfully submitted,



Blake Sonuga, Development Project Manager

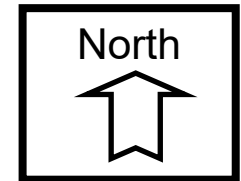
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Right to Appeal (NORA)
7. Ownership Disclosure Statement
8. Project Plans

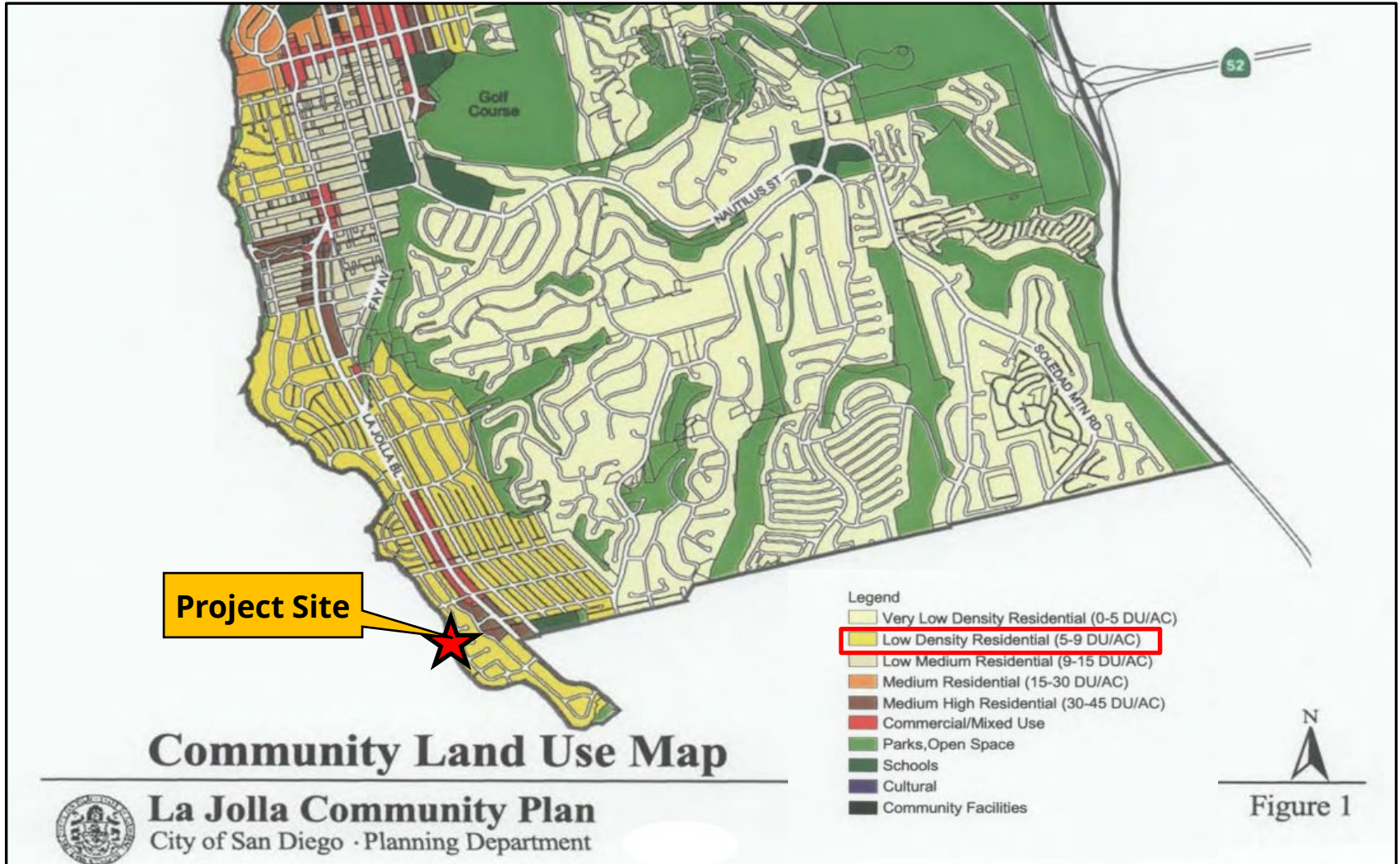


Project Location Map

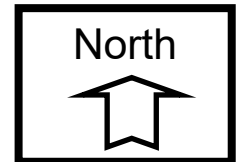
5381 Calumet Avenue
PRJ-1115264: 5381 Calumet Avenue



La Jolla Community Plan Community Land Use Plan



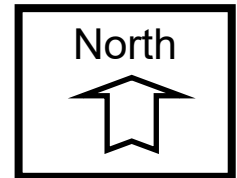
5381 Calumet Avenue
PRJ-1115264: 5381 Calumet Avenue





Aerial Photograph

5381 Calumet Avenue
PRJ-1115264: 5381 Calumet Avenue



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT
5381 CALUMET AVENUE: PRJ- 1115264

WHEREAS, LOAH LLC, a California Limited Liability Company, Owner/ Permittee, filed an application with the City of San Diego for a permit to demolish a one-story, single dwelling unit and construct a two-story, 3,700 square-foot single dwelling unit with an attached 497 square-foot garage and a detached two-story, 798 square-foot accessory dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT-3288166), on portions of a 0.17-acre site;

WHEREAS, the project site is located at 5381 Calumet Avenue in the Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Beach Impact), Transit Area Overlay Zone, Transit Priority Area within the La Jolla Community Plan Area;

WHEREAS, the project site is legally described as Lot 6 of Sun Gold Point, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3216, filed in the Office of the County Recorder of San Diego County, April 14, 1955;

WHEREAS, on September 13, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 15, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3288166 pursuant to the Land Development Code of the City of San Diego;

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is developed with a one story, 1841 square feet single dwelling unit, and located approximately 175 feet east of the Pacific Ocean and adjacent to the San Colla Street scenic overlook. The Project site is not within the first public roadway, and there are no public views or access from the project site, as identified in the Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The Project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with the development regulations of the underlying RS-1-7 Zone, including building height (26 feet 6 inches for the main house and 23 feet 7 inches for accessory dwelling unit) that is below the 30-foot height limit, density, building setbacks, and floor area ratio (.55) that is below the maximum requirement (.57). No deviations or variances are required. Therefore, the proposed project will not impact existing physical accessways legally used by the public or any proposed accessways in the Local Coastal Program land use plan. Instead, the proposed development will enhance and protect public views of and along the ocean and other scenic coastal areas, as specified in the Local Coastal Program land use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The Project site is developed and surrounded by residential development. The Project site does not contain any sensitive biological resources, sensitive riparian habitat, or any other identified habitat community. Additionally, the Project site is not located within a special flood hazard area or an area of future sea level rise. The project was determined to be exempt from the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15332 (In-Fill Development). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program**

The project was designed to comply with the development regulations of the underlying RS -1-7 Zone, including building height (26 feet 6 inches for the main house and 23 feet 2 inches for the accessory dwelling unit) that is below the 30-foot

height limit, density, building setbacks, and floor area ratio (.55) that is below the maximum requirement (.57). No deviations or variances are required.

The Community Plan designates the site as low-density residential (5 to 9 dwelling units/acre), and the Project is consistent with the prescribed density. The Project includes developing a single dwelling unit and accessory dwelling unit which is consistent with the Community Plan goal of promoting the development of a variety of housing types and styles in La Jolla. The Project is also consistent with the Community Plan goal of maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The Project complies with this Community goal since the structures have been designed to include low-lying roofs, and the second floor is set back from the first floor along the street frontages, which addresses bulk and scale and is complimentary to the surrounding neighborhood.

The project site is located 175 feet east of the Pacific Ocean. The Project site is not within the first public roadway, and there is no public access or views from the project site, as identified in the Community Plan. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act**

The project site is located on a developed site approximately 175 feet east of the Pacific Ocean. As identified in the community plan, there is no public access from the project site. The Project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. PMT-3288166 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT-3288166, a copy of which is attached hereto and made a part hereof.

Blake Sonuga
Development Project Manager
Development Services

Adopted on: January 15, 2025

IO#: 24009901

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009901

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT
5381 CALUMET AVENUE: PRJ- 1115264
HEARING OFFICER

This Coastal Development Permit No. PMT-3288166 is granted by the HEARING OFFICER of the City of San Diego to LOAH LLC, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.17-acre site is located at 5381 Calumet Avenue in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone - (Beach Impact), Transit Area Overlay Zone, Transit Priority Area, within the La Jolla Community Plan Area. The project site is legally described as: Lot 6 of Sun Gold Point, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3216, filed in the Office of the County Recorder of San Diego County, April 14, 1955.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a one-story, single dwelling unit and construct a two-story, single dwelling unit with attached garage and two-story, accessory dwelling unit as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 15, 2025, on file in the Development Services Department.

The project shall include:

- a. Demolishing a one-story, 1841 square feet single dwelling unit and constructing a two-story, 3,700 square-foot single dwelling unit with an attached 497 square-foot garage and detached two-story, 798 square-foot accessory dwelling unit; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by January 30, 2028.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations, or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate and improve an additional five feet of public right-of-way on Calumet Avenue to provide a 12-foot curb-to-property-line distance, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate and improve an additional two feet of public right-of-way on San Colla Street to provide a 12-foot curb-to-property-line distance, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the private walkway, landscaping, and irrigation within the City's public right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb ramp with a City Standard directional/dual curb

ramps at the north corner of Calumet Avenue and San Colla Street adjacent to the site, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the closure of non-utilized driveway with a City standard curb and gutter and sidewalk adjacent to the site on San Colla Street, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a new 12-foot City standard driveway adjacent to the site on San Colla Street, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 of Construction BMP Standards Chapter 4 of the City's Stormwater Standards.

21. Development shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001 or subsequent order, and the current version of the City's Stormwater Standards Manual.

22. Development shall comply with all stormwater construction requirements of the current version of the City's Stormwater Standards Manual.

PLANNING/DESIGN REQUIREMENTS:

23. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose unless otherwise authorized in writing authorized by the appropriate City decision-maker in accordance with the SDMC.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. Prior to the issuance of the construction permits, the Owners/Permittee shall record a Deed Restriction preserving the visual corridor along San Colla Street, per SDMC Section 132.0403(b).

26. Open fencing and landscaping may be permitted within the view corridors, and visual accessways provided such improvements do not significantly obstruct public views of the ocean. Landscaping shall be planted and maintained to preserve public views, per SDMC Section 132.0403(e).

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 15, 2025, and (Hearing Resolution Number).

ATTACHMENT 5

Coastal Development Permit | No.PMT-3288166
Date of Approval January 15, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

BLAKE SONUGA
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

LOAH LLC
Owner/Permittee

By _____
Vincent Busschaert
Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

DATE OF NOTICE: August 29, 2024

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009901

PROJECT NAME / NUMBER: 5381 Calumet Av / PRJ-1115264

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 5381 Calumet Av, San Diego, CA 92037

PROJECT DESCRIPTION: Coastal Development Permit for the demolition of a one-story single dwelling unit and construction of a two-story, 3,700 square-foot single dwelling unit with attached 541 square-foot garage and detached two-story, 829 square-foot accessory dwelling unit. The 0.17-acre site is in the RS-1-7 Base Zone and Coastal Overlay Zone (Appealable Area) within the La Jolla Community Plan Area. The project site is in geology hazard category 53 in a high paleontological sensitivity area. The project is adjacent to San Colla Street, which is designated as a Scenic Overlook in the La Jolla Community Plan. **LEGAL DESCRIPTION:** TR 3216 LOT 6*

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332, In-Fill Development.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15332, In-Fill Development; and where the exceptions listed in Section 15300.2 would not apply. The project site is less than five acres in size and is surrounded by urban uses, is of no value as habitat for endangered species, would not result in significant effects to traffic, noise, air quality, or water quality, and can be adequately served by all required utilities and public services. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

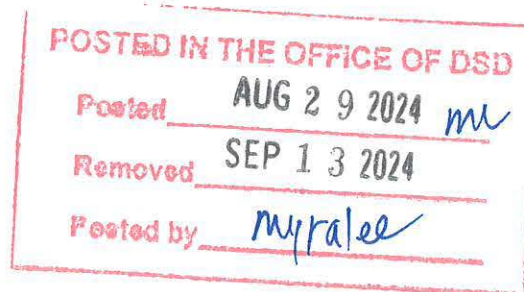
DEVELOPMENT PROJECT MANAGER: Blake Sonuga
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: 619-687-5928 / msonuga@sandiego.gov

On August 29, 2024 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (September 13, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.





City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318
October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Busschaert Residence **Project No. For City Use Only:** _____

Project Address: 5381 Calumet Ave., La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? CAL Corporate Identification No. 201812010027
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: LOAH LLC Owner Tenant/Lessee Successor Agency

Street Address: 4475 MISSION BLVD STE 233

City: SAN DIEGO State: CAL Zip: 92109

Phone No.: +32 474 96 2049 Fax No.: _____ Email: v.busschaert@outlook.com

Signature: _____ Date: 05/04/2024

Additional pages Attached: Yes No

Applicant

Name of Individual: SYLVIA GILIS Owner Tenant/Lessee Successor Agency

Street Address: KNAPZAK 11 MANAGER

City: LINDEN (LUBBECK) State: _____ Zip: 3210

Phone No.: +32 474 44503 Fax No.: _____ Email: gilis@sylva.be

Signature: _____ Date: 4/4/24

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: VINCENT BUSSCHAERT Owner Tenant/Lessee Successor Agency

Street Address: KNAPZAK 11 MANAGER

City: LUBBECK BELGIUM State: _____ Zip: 3210

Phone No.: +32 474 96 2049 Fax No.: _____ Email: v.busschaert@outlook.com

Signature: _____ Date: 05/04/2024

Additional pages Attached: Yes No

PROPRIETARY DESIGN: THE DRAWINGS, DESIGNS, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE AND ARE DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

GILIS-BUSSCHAERT RESIDENCE

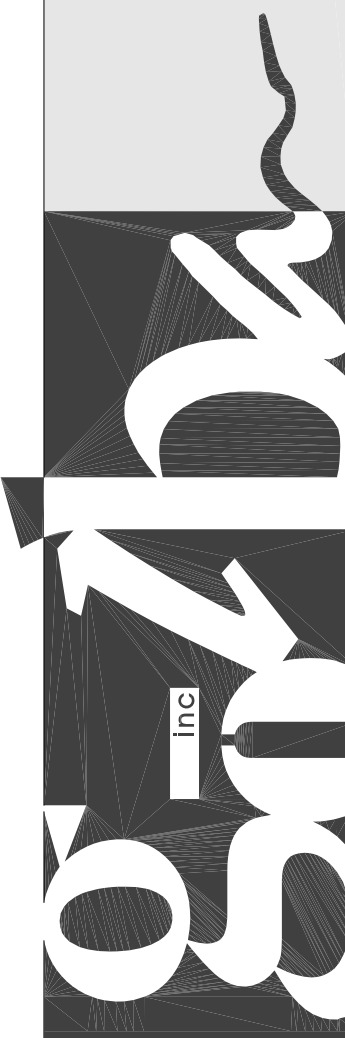
5381 CALUMET AVE.
LA JOLLA, CA 92037

COASTAL DEVELOPMENT PERMIT SET

11-01-24

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LA JOLLA, CA 92037

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TS1

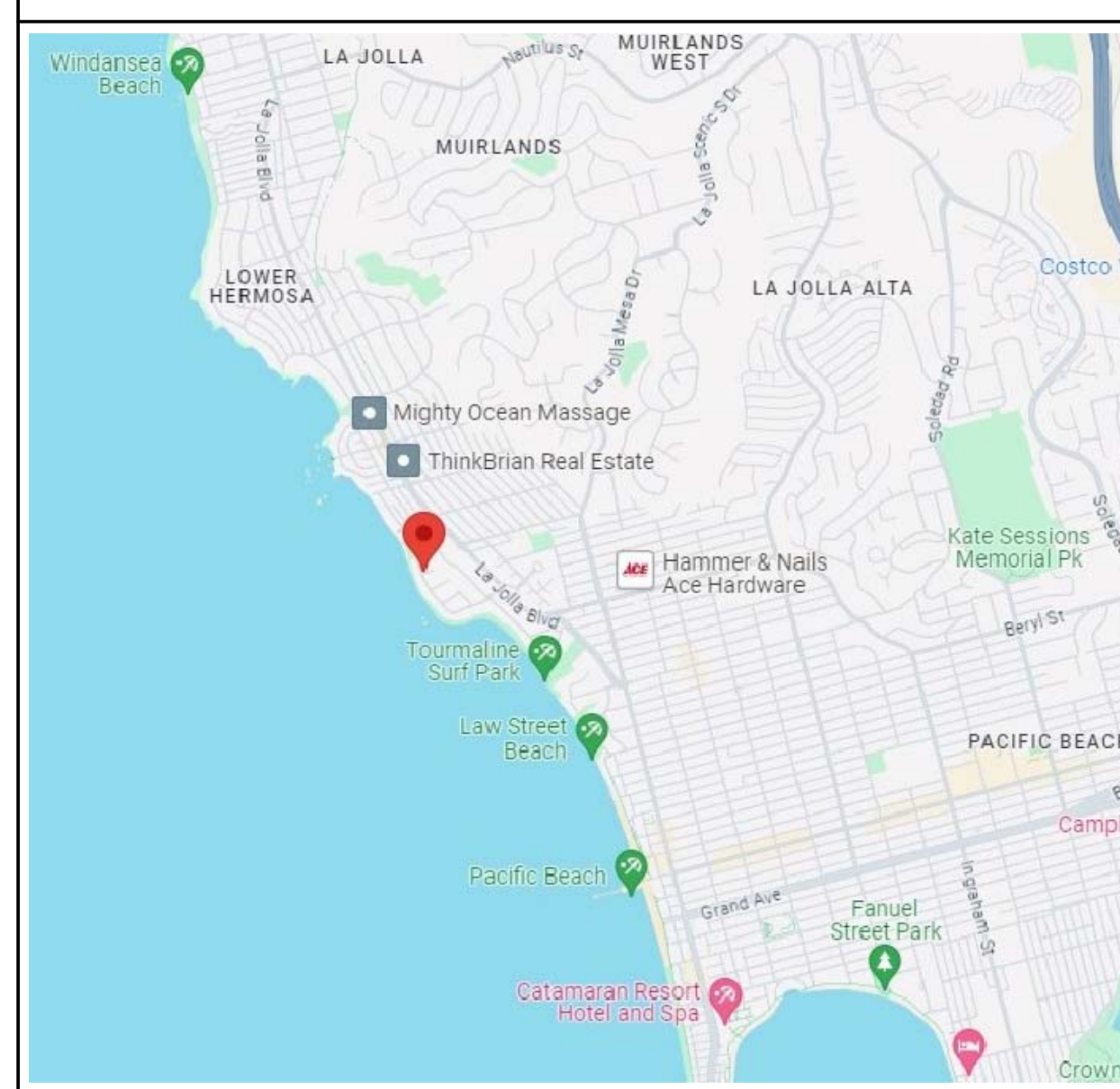
SYMBOLS

SYMBOLS section containing SHEET NUMBER (A1.5), NORTH ARROW, ELEVATION MARKS, DOOR SYMBOL, WINDOW SYMBOL, BUILDING SECTION MARKS, WALL SECTION MARKS, DETAIL TARGETS, PLAN BLOW-UP DETAILS, and INTERIOR ELEVATION TARGETS.

ABBREVIATIONS

ABBREVIATIONS table listing various construction terms and their abbreviations, such as ACOUS. for Acoustical, BLDG. for Building, and YD. for Yard.

VICINITY MAP



HYDRANT MAP



GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED PROJECT RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN. IN AN EFFORT TO REACH THESE GOALS, THE PROJECT WILL EMPLOY THE FOLLOWING: - SOLAR PHOTOVOLTAIC SYSTEM FOR GENERATING POWER ON SITE...

PROJECT DATA

PROJECT DESCRIPTION: PROFESSIONAL CERTIFICATION SUBMITTAL FOR A COASTAL DEVELOPMENT PERMIT FOR THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE AND THE CONSTRUCTION OF A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH ROOF DECK AND ATTACHED GARAGE. PROJECT ALSO INCLUDES THE CONSTRUCTION OF A 2-STORY ACCESSORY DWELLING UNIT.

AREA CALCULATIONS

AREA CALCULATIONS table showing MAX. ALLOWABLE F.A.R., AREA OF SITE, MAIN HOUSE HABITABLE, ACCESSORY DWELLING UNIT HABITABLE, ATTACHED GARAGE, TOTAL PROPOSED G.F.A. WITHOUT ADU, TOTAL PROPOSED F.A.R. WITHOUT ADU, TOTAL PROPOSED G.F.A. WITH ADU, TOTAL PROPOSED F.A.R. WITH ADU, and AREA OF DECKS & COVERED PORCHES.

SHEET INDEX

SHEET INDEX listing GENERAL (TS1 COVER SHEET, TS2 LEGEND AND PROJECT DATA, TS3 STORM WATER RQMENTS APP. CHECKLIST), ARCHITECTURAL (A00 SITE PLAN, A10 GROUND FLOOR PLANS, A11 UPPER FLOOR PLANS, A12 ROOF PLANS), and ASO (A20 EXTERIOR ELEVATIONS, A21 EXTERIOR ELEVATIONS, A30 SITE SECTIONS).

PROJECT DIRECTORY

PROJECT DIRECTORY listing OWNER (VINCENT BUSSCHAERT & SYLVIA GILIS), ARCHITECT (GOLBA ARCHITECTURE, INC.), and SURVEYOR (SAN DIEGO LAND SURVEYING & ENGINEERING, INC.).

PROFESSIONAL CERTIFICATION PROCESS CERTIFICATION STATEMENT

HEREBY ACKNOWLEDGE AND CERTIFY THAT: 1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT; 2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT...

RESPONSIBLE CERTIFIED PROFESSIONAL NAME: SARAH HORTON. SIGNATURE: [Signature] DATE: 04-18-24

Vertical sidebar containing GOLBA ARCHITECTURE inc logo, GILIS - BUSSCHAERT RESIDENCE project name, and contact information for Space Planning, Interior Design, and Architecture in San Diego, California.

PROPRIETARY DESIGN. THE DRAWINGS, DESIGNS, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PRODUCE, CONTRACT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

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PART D – PDP Exempt Requirements
 PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
- If "no" is checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual? Yes, PDP exempt requirements apply No, proceed to next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?
 Yes, PDP exempt requirements apply No, proceed to next question


PART E – Determine if Project is a Priority Development Project (PDP)
 Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
- If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5813), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

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 THE CITY OF SAN DIEGO

FORM DS-560 September 2021 **Stormwater Requirements Applicability Checklist**

Project Address: 5381 Calumet Ave., La Jolla, CA 92037 Project Number: PRJ-1115264

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements
 All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual. Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the California State Water Resources Control Board.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A – Determine Construction Phase Stormwater Requirements

- Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes, SWPPP is required; skip questions 2-4. No; proceed to the next question.
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
 Yes, WPCP is required; skip questions 3-4. No; proceed to the next question.
- Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes, WPCP is required; skip question 4. No; proceed to the next question.
- Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit,
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments. Yes, no document is required.

Check one of the boxes below and continue to Part B

If you checked "Yes" for question 1, an SWPPP is REQUIRED – continue to Part B

If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B

If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

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City of San Diego • Form DS-560 • September 2021 Page 4

- New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e., not commingled with flows from adjacent lands). Yes No
- New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
- New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 8013, 9014, 9541, 7532-7534 or 7536-7539. Yes No
- Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas. Yes No

PART F – Select the appropriate category based on the outcomes of Part C through Part E

- The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS Yes No
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance. Yes No
- The project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance. Yes No
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management. Yes No

Sarah Horton Project Architect at Golba Architecture
 Name of Owner or Agent Title
 Sarah Horton 04/16/2024
 Signature Date

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City of San Diego • Form DS-560 • September 2021 Page 2

PART B – Determine Construction Site Priority
 This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete Part B and continue to Section 2

1. ASBS

A. Projects located in the ASBS watershed.

2. High Priority

A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.

B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.

3. Medium Priority

A. Projects that are not located in an ASBS watershed or designated as a High priority site.

B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.

C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.

4. Low Priority

A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements
 Additional Information for determining the requirements is found in the Stormwater Standards Manual.

PART C – Determine if Not Subject to Permanent Stormwater Requirements
 Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
- If "no" is checked for all the numbers in Part C: Continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
 Yes No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
 Yes No
- Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint and routine replacement of damaged pavement (grinding, overlay and pothole repair).
 Yes No

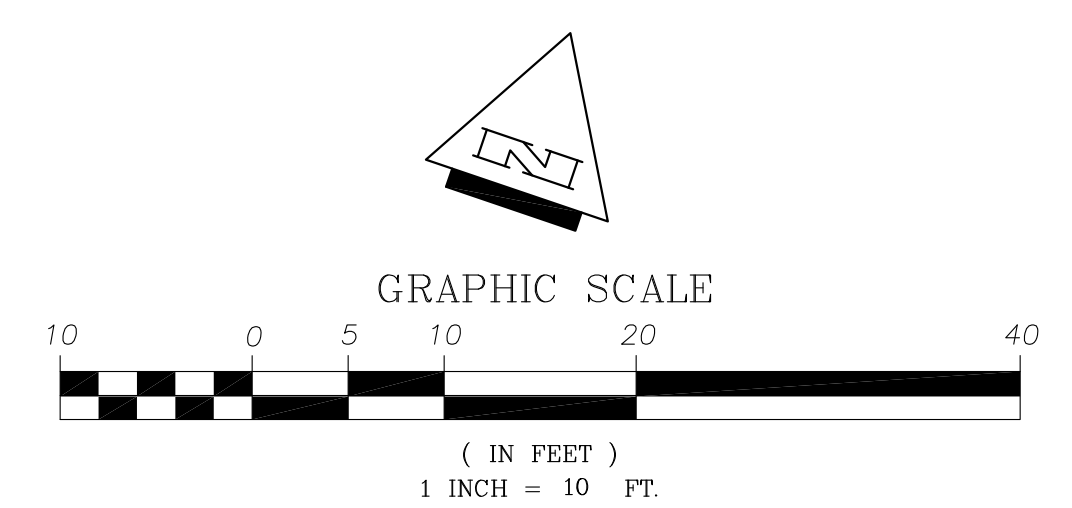
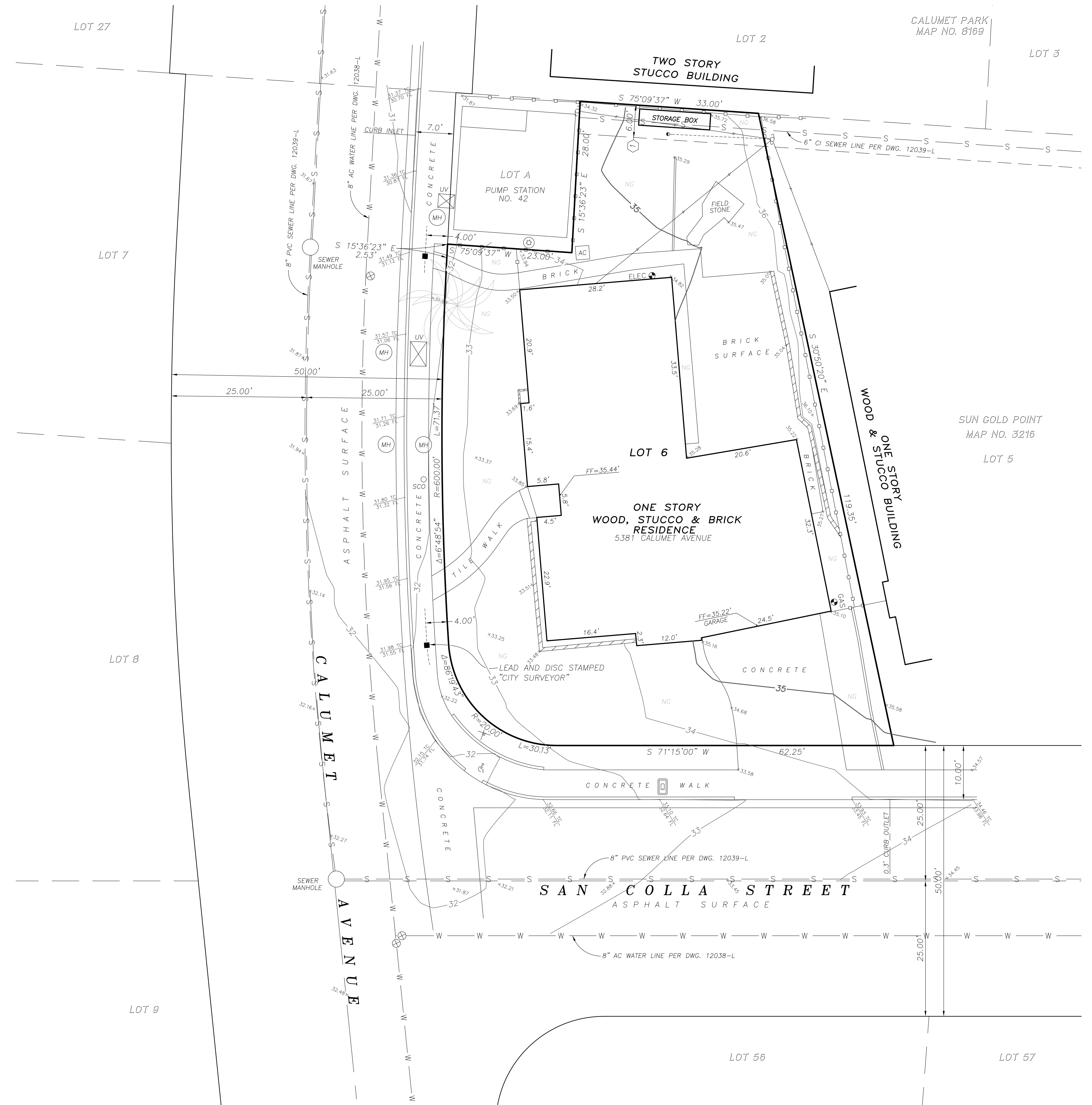
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 5381 CALUMET AVE.
 LA JOLLA, CA 92037

INC
TS3



LEGEND:

- INDICATES FOUND LEAD AND DISC STAMPED "CITY ENGINEER", EXCEPT AS NOTED
- ⊕ INDICATES PEDESTRIAN RAMP
- ⊕ INDICATES WATER METER
- ⊕ INDICATES GAS METER/VALVE
- ⊕ INDICATES ELECTRIC METER
- ⊕ INDICATES WATER GATE VALVE
- ⊕ INDICATES UTILITY POLE
- ⊕ INDICATES GUY/SUPPORT
- ⊕ INDICATES LIGHT POLE
- SCO INDICATES SEWER CLEAN OUT
- FF INDICATES FINISH FLOOR
- NG INDICATES NATURAL GROUND
- TC INDICATES TOP OF CURB
- FL INDICATES FLOW LINE
- MH INDICATES MANHOLE
- UV INDICATES UNKNOWN VAULT
- NG INDICATES NATURAL GROUND
- AC INDICATES AIR CONDITIONING UNIT
- INDICATES PROPERTY LINE
- INDICATES WOOD FENCE
- INDICATES OVERHEAD WIRES
- INDICATES WALL
- S — INDICATES SEWER LINE
- W — INDICATES WATER LINE

LEGAL DESCRIPTION:

LOT 6 OF SUN GOLD POINT IN THE CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO 3216 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON APRIL 14, 1955.

BASIS OF ELEVATION:

CITY OF SAN DIEGO BENCHMARK
NORTHEAST BRASS PLUG LOCATED AT THE INTERSECTION OF CALUMET AVENUE AND SAN COLLA AVENUE. ELEVATION = 32.034 M.S.L.

EASEMENT NOTE:

① INDICATES A GENERAL UTILITY EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER MAP NO. 3216 RECORDED APRIL 14, 1955 OF OFFICIAL RECORDS.



Robert J. Bateman
ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHY SURVEY		
For the exclusive use of: LOAH LLC c/o GOLBA ARCHITECTURE INC. 4455 LAMONT STREET, SUITE 101 SAN DIEGO, CALIFORNIA 92109		
San Diego Land Surveying & Engineering, Inc.		
7028 Convoy Court, San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 11-10-2023	Revised:	Revised:
Scale: 1"=10'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Calumet Ave 5381 Topo		A.P.N. 415-022-02

DISTURBANCE/ IMPERVIOUSNESS AREA:

LOT SIZE:	7565 S.F.
TOTAL DISTURBANCE AREA:	5344 S.F.
EXISTING IMPERVIOUS AREAS:	4,215 S.F. (56%)
REMOVED IMPERVIOUS AREAS:	483 S.F.
EXISTING IMPERVIOUS AREA TO REMAIN:	0 S.F.
NEW/REPLACED IMPERVIOUS AREAS:	4,416 S.F.
TOTAL PROPOSED IMPERVIOUS AREA:	4,416 S.F. (58%)

EARTHWORK QUANTITIES:

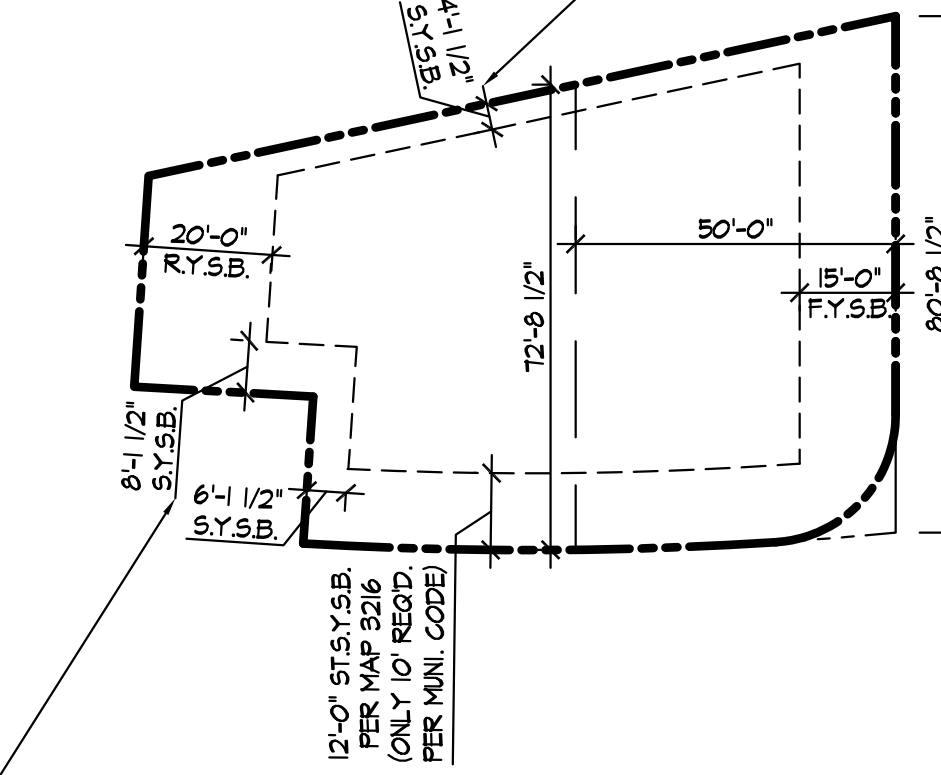
CUT QUANTITIES (FOR FOUNDATION):	4 CYD
FILL QUANTITIES:	4 CYD
IMPORT:	0 CYD
EXPORT:	0 CYD
MAX CUT DEPTH:	2'-0"
MAX FILL DEPTH:	2'-6"

SETBACK DIAGRAM:

SIDE YARD SETBACK CALCULATION:
 (BASED ON AVERAGE LOT WIDTH FOR THE FIRST 50' OF LOT DEPTH)
 LOT WIDTH @ FRONT S.B.: 80'-8 1/2"
 LOT WIDTH @ 50' DEPTH: 72'-8 1/2"
 AVERAGE LOT WIDTH: (80'-8 1/2" + 72'-8 1/2" / 2) = 76'-8 1/2"

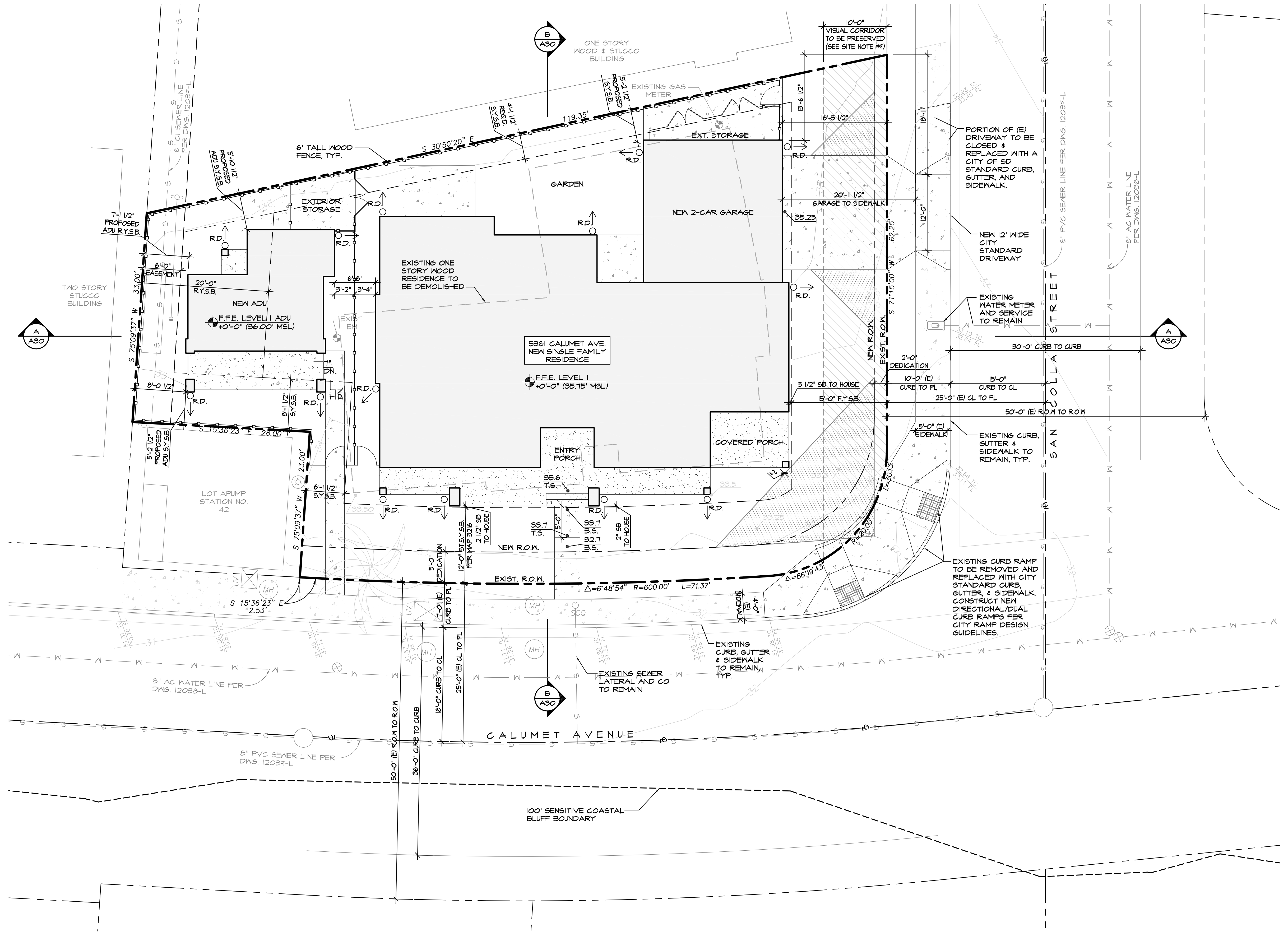
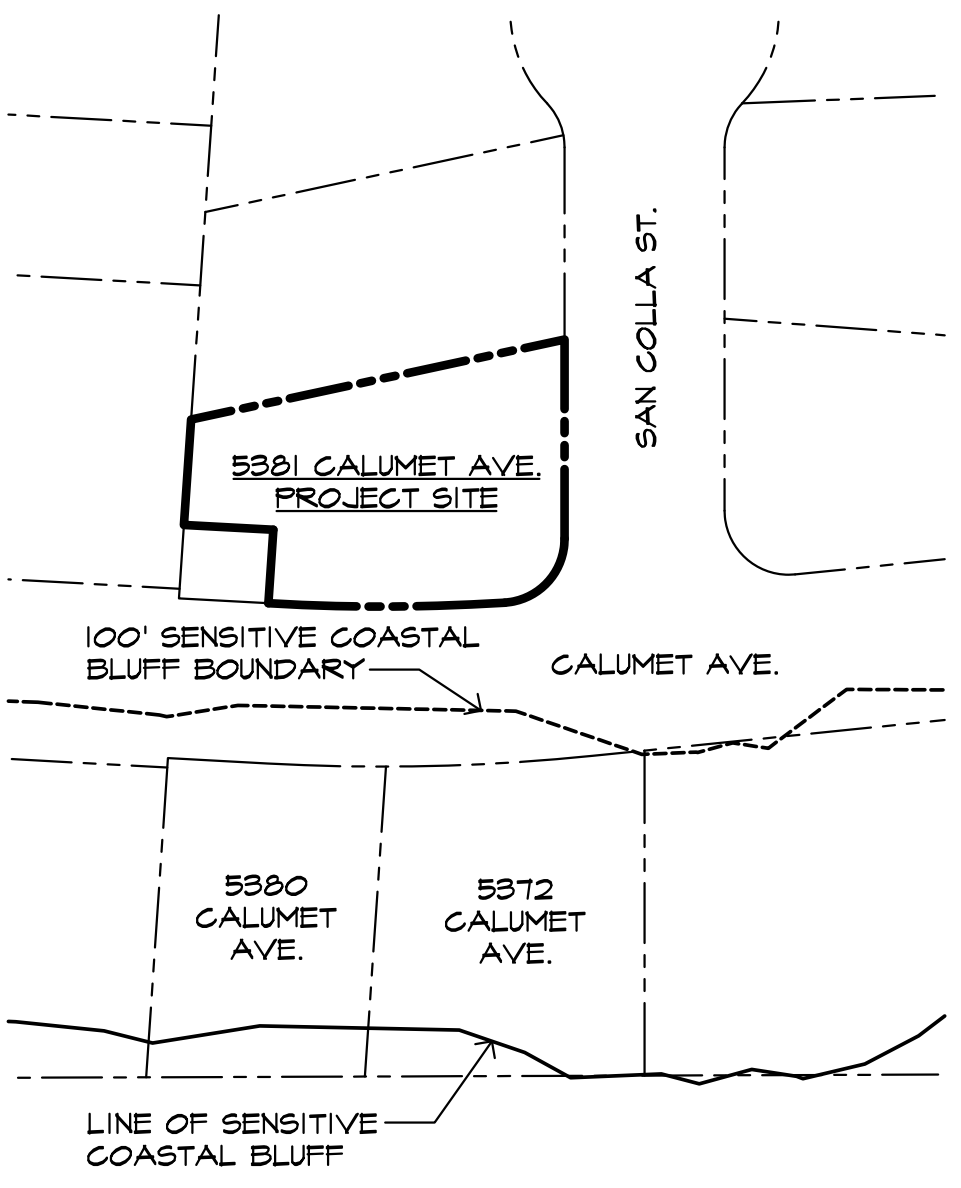
S.Y.S.B.: 76'-8 1/2" X 0.08 = 6'-1 1/2" (4' MIN.)
 STREET S.Y.S.B.: 76'-8 1/2" X 0.10 = 7'-8" (10' MIN.)

PER MUNI. CODE SEC. 131.0443(a)(4):
 CUMULATIVE SETBACK REQ'D = 10' ST.S.S.B.
 + 6'-1 1/2" S.Y.S.B.
 = 16'-1 1/2"
 16'-1 1/2" - 12' ST.S.S.B. = 4'-1 1/2"



PER MUNI. CODE SEC. 131.0443(a)(4):
 CUMULATIVE SETBACK REQ'D = 6'-1 1/2" S.Y.S.B.
 + 6'-1 1/2" S.Y.S.B.
 = 12'-3"
 12'-3" - 4'-1 1/2" = 8'-1 1/2" S.Y.S.B. THIS SIDE

COASTAL BLUFF DIAGRAM:



- SITE NOTES:**
- THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMC SECTION 113.0270.
 - THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
 - PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UFC 901.4.4).
 - METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
 - SEE ATTACHED TOPOGRAPHIC SURVEY FOR THE SOURCE OF TOPOGRAPHIC INFORMATION.
 - NO GRADING OR CHANGES TO DRAINAGE ARE PROPOSED.
 - SEE HYDRANT MAP ON SHEET TS2 FOR LOCATION OF FIRE HYDRANTS.
 - THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES.
 - LANDSCAPING IN THE VIEW CORRIDOR SHALL BE PLANTED AND MAINTAINED TO PRESERVE PUBLIC VIEWS OF THE OCEAN PER MUNI. CODE SEC. 132.0403(e).

SITE LEGEND:

[Solid Grey Box]	NEW FOOTPRINT	[Hatched Box]	10' VISUAL CORRIDOR TO BE PRESERVED	[Dashed Line]	INDICATES PROPERTY LINE
[Stippled Box]	EXISTING CONCRETE PAVING	[Diagonal Hatched Box]	ROOF DRAIN/DECK DRAIN DOWNSPOUT: DISCHARGE INTO LANDSCAPE AREA	[Dotted Line]	INDICATES SETBACK LINE
[White Box]	NEW CONCRETE PAVING	[Circle with 'E']	ELECTRIC METER	[Circle with 'G']	GAS METER
[Circle with 'R.D.']	ROOF DRAIN/DECK DRAIN DOWNSPOUT: DISCHARGE INTO LANDSCAPE AREA	[Circle with 'W']	WATER METER		

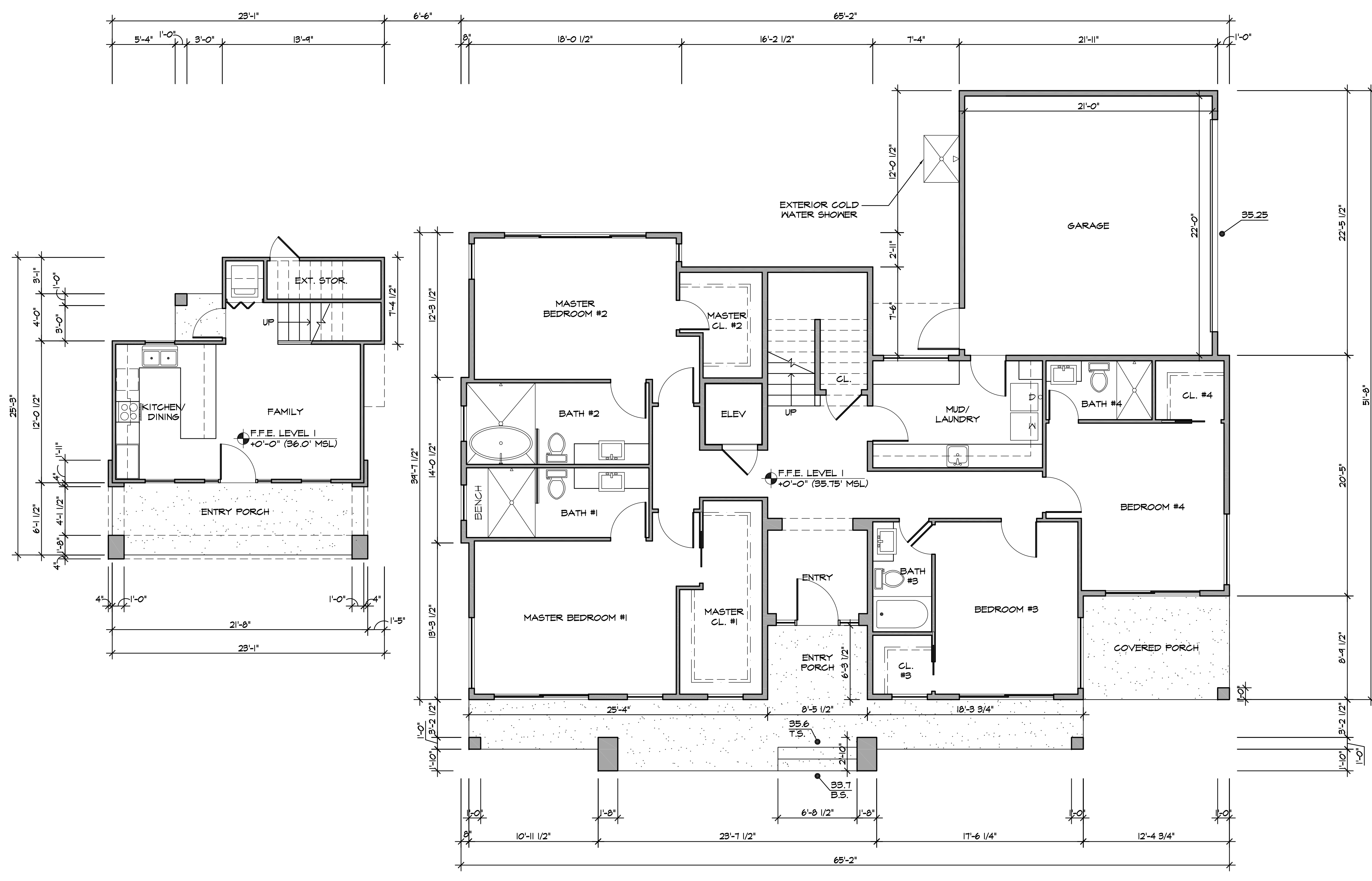
SITE PLAN
 SCALE: 1/8"=1'-0"

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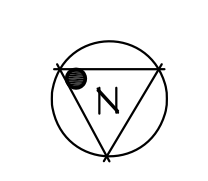
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WALL LEGEND	
	WOOD STUD WALL PER STRUCTURAL DRAWINGS
	LOW WALL, 42" A.F.F., TYP.

GROUND FLOOR PLAN
SCALE: 3/16"=1'-0"



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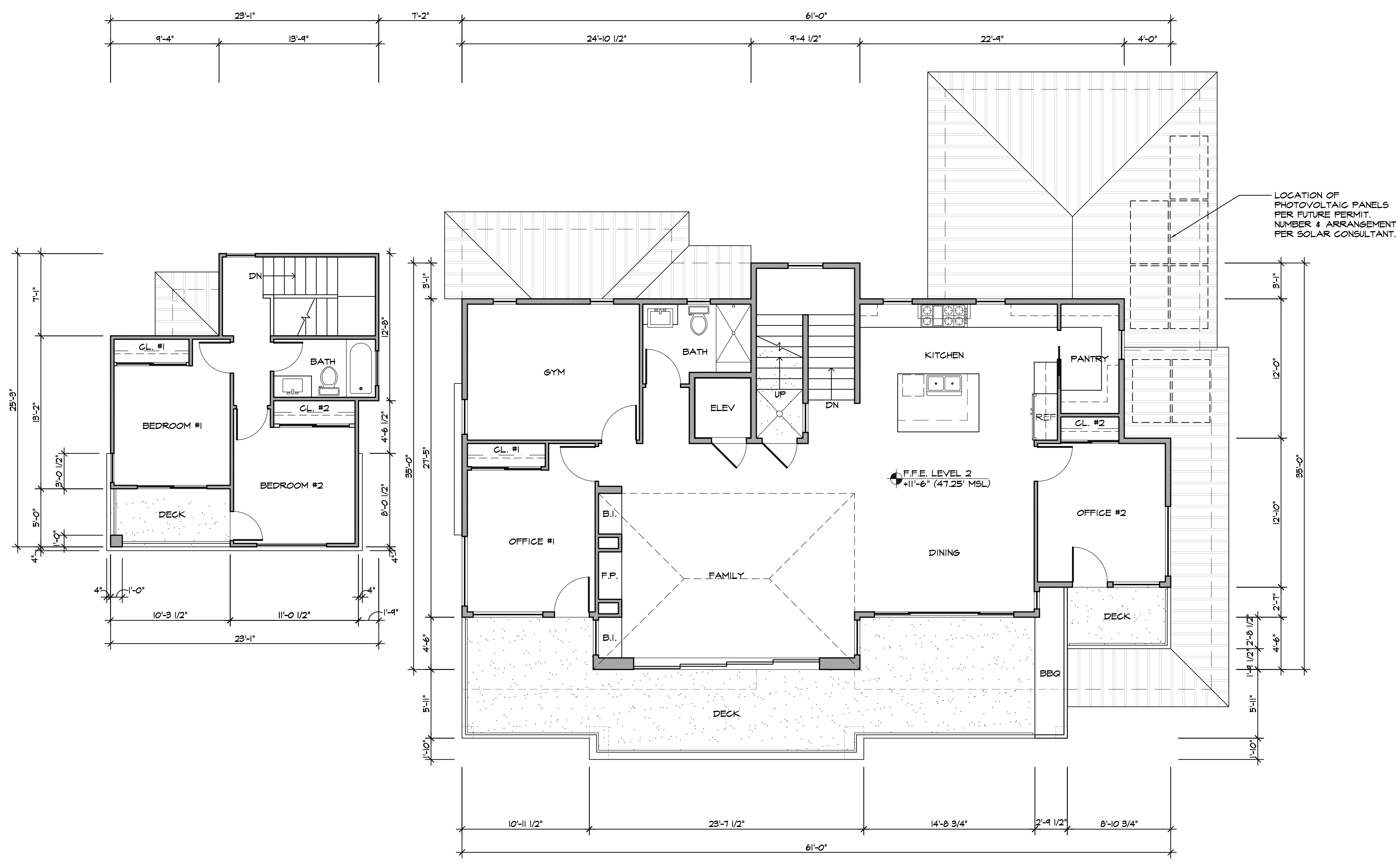
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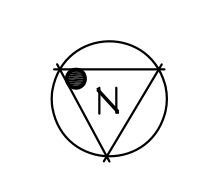
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WALL LEGEND	
	WOOD STUD WALL PER STRUCTURAL DRAWINGS
	LOW WALL, 42" A.F.F., TYP.

UPPER FLOOR PLAN
SCALE: 3/16"=1'-0"



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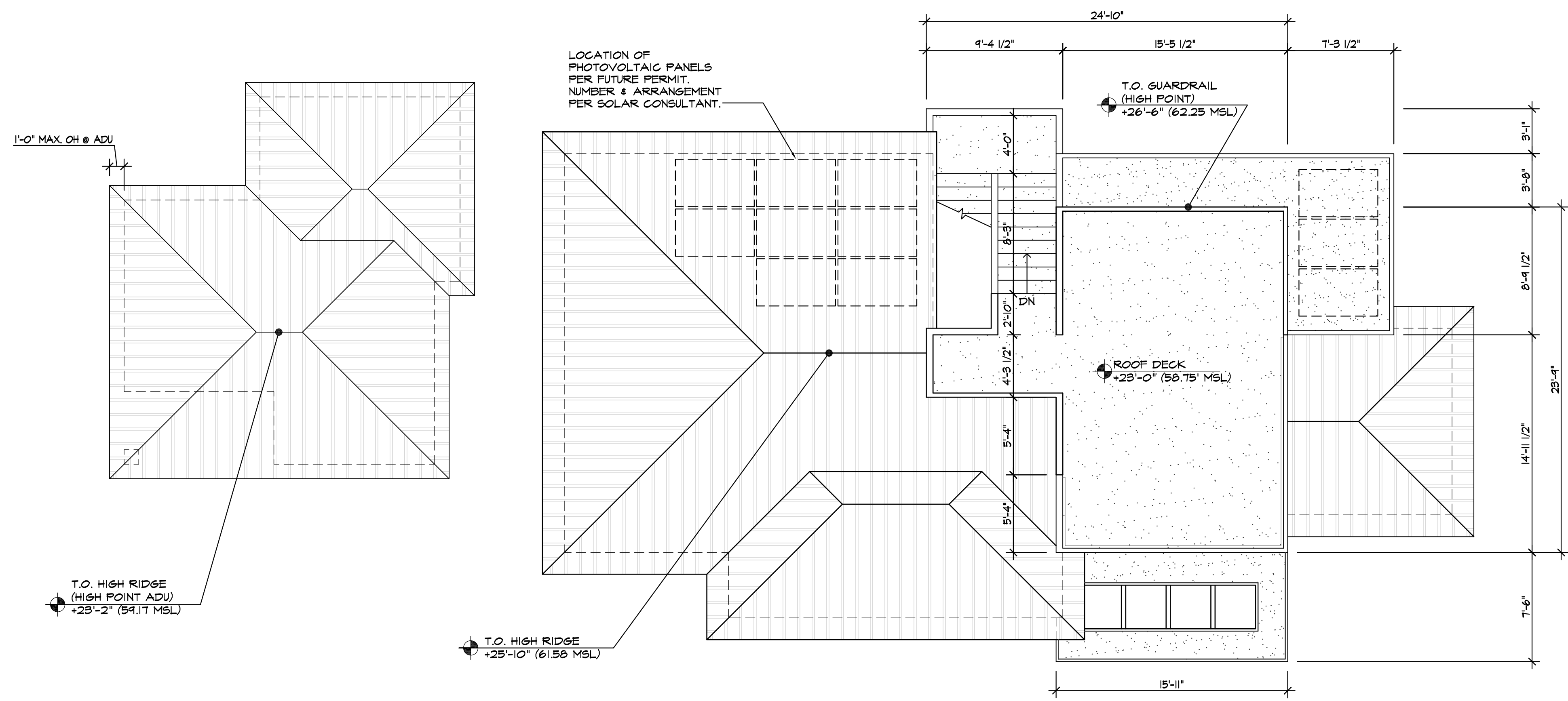
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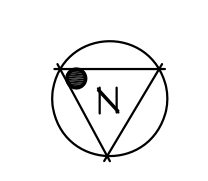
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 ABOVE THE GRADE (SDMC 113.0210)

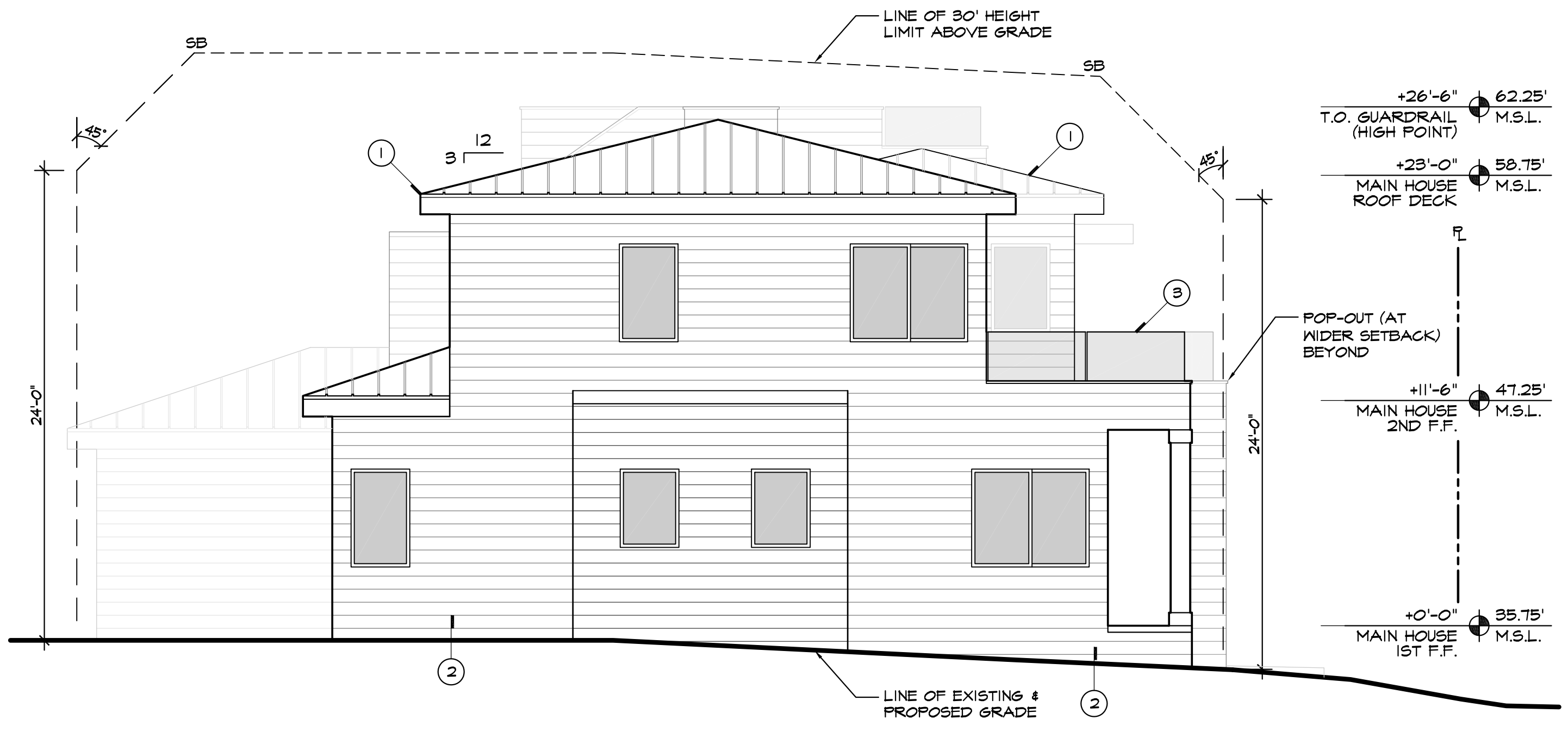
ROOF PLAN
 SCALE: 3/16"=1'-0"



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NORTH ELEVATION - MAIN HOUSE
 SCALE: 3/16"=1'-0"

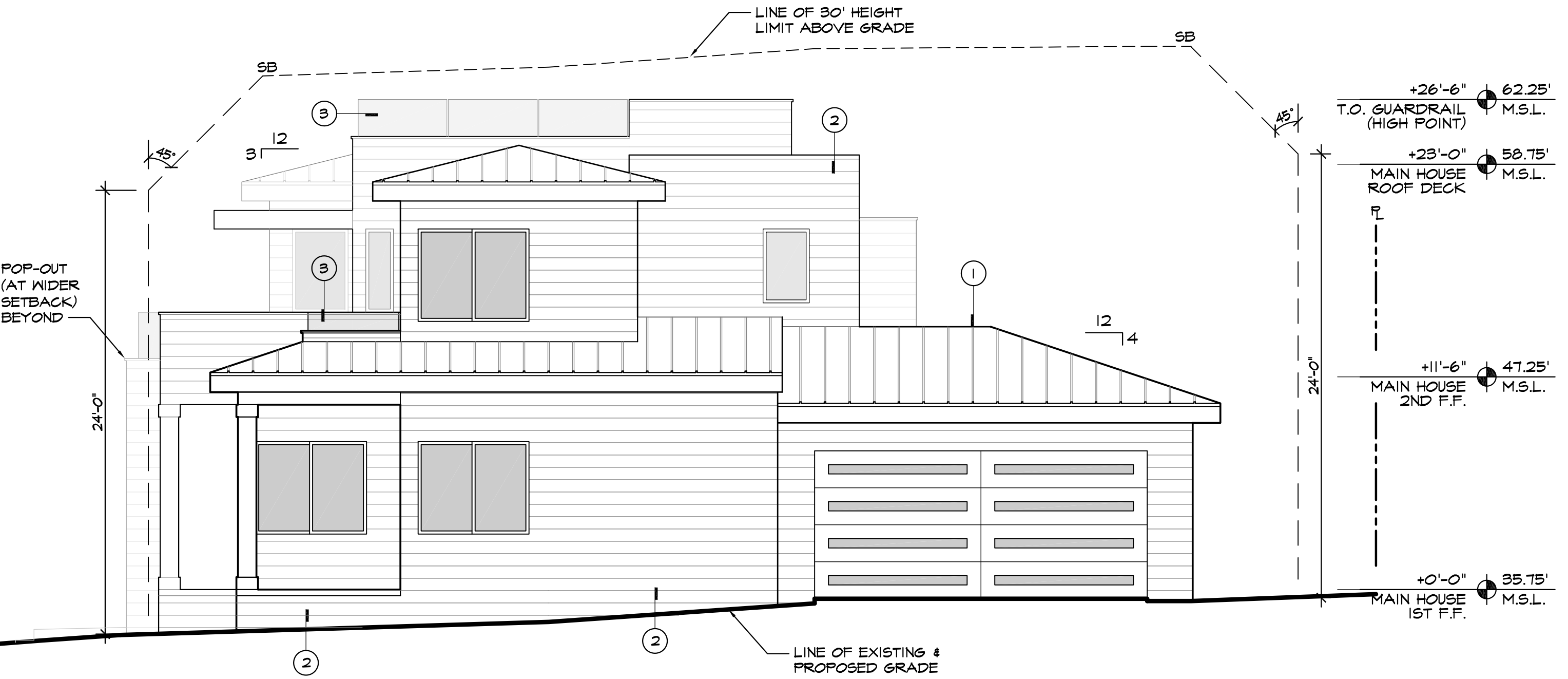


WEST ELEVATION - MAIN HOUSE
 SCALE: 3/16"=1'-0"

ELEVATION KEYNOTES:

- ① PREFINISHED STANDING SEAM METAL ROOF - CLASS "A" MIN. CUSTOM-BILT METALS SB-150, ICG-ESR-2048, INSTALL PER MANUFACTURER'S SPECS. & DETAILS
- ② JAMES HARDI HARDIPLANK® 8" EXPOSURE LAP SIDING, CEDARMILL FINISH. BLIND NAIL, TYP. INSTALL PER MANUF. SPECS. COLOR PER OWNER APPROVAL.
- ③ GLASS GUARDRAIL, 42" ABOVE FINISHED FLOOR

NOTE:
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE. (SDMG 132.0505)

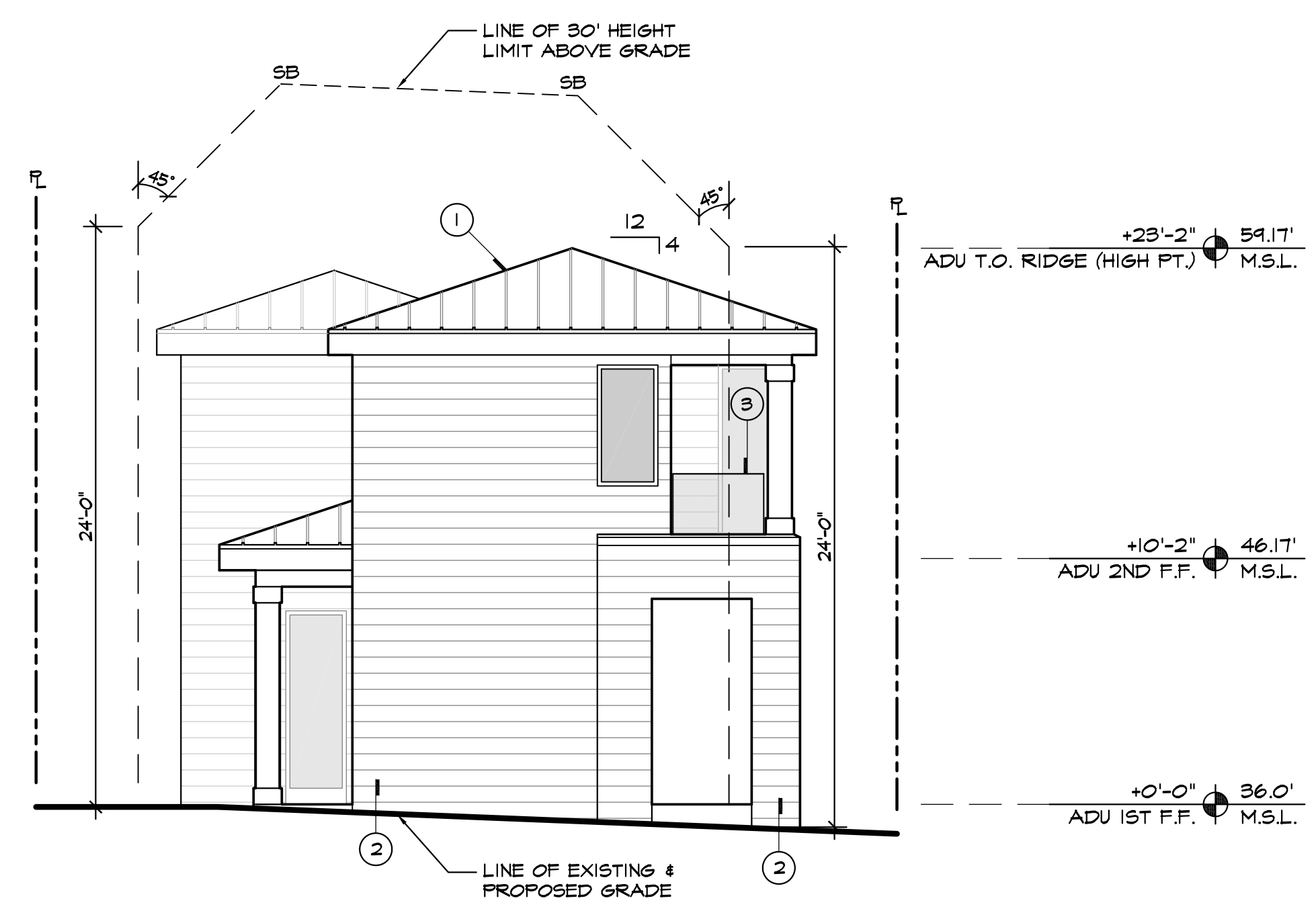


SOUTH ELEVATION - MAIN HOUSE
 SCALE: 3/16"=1'-0"

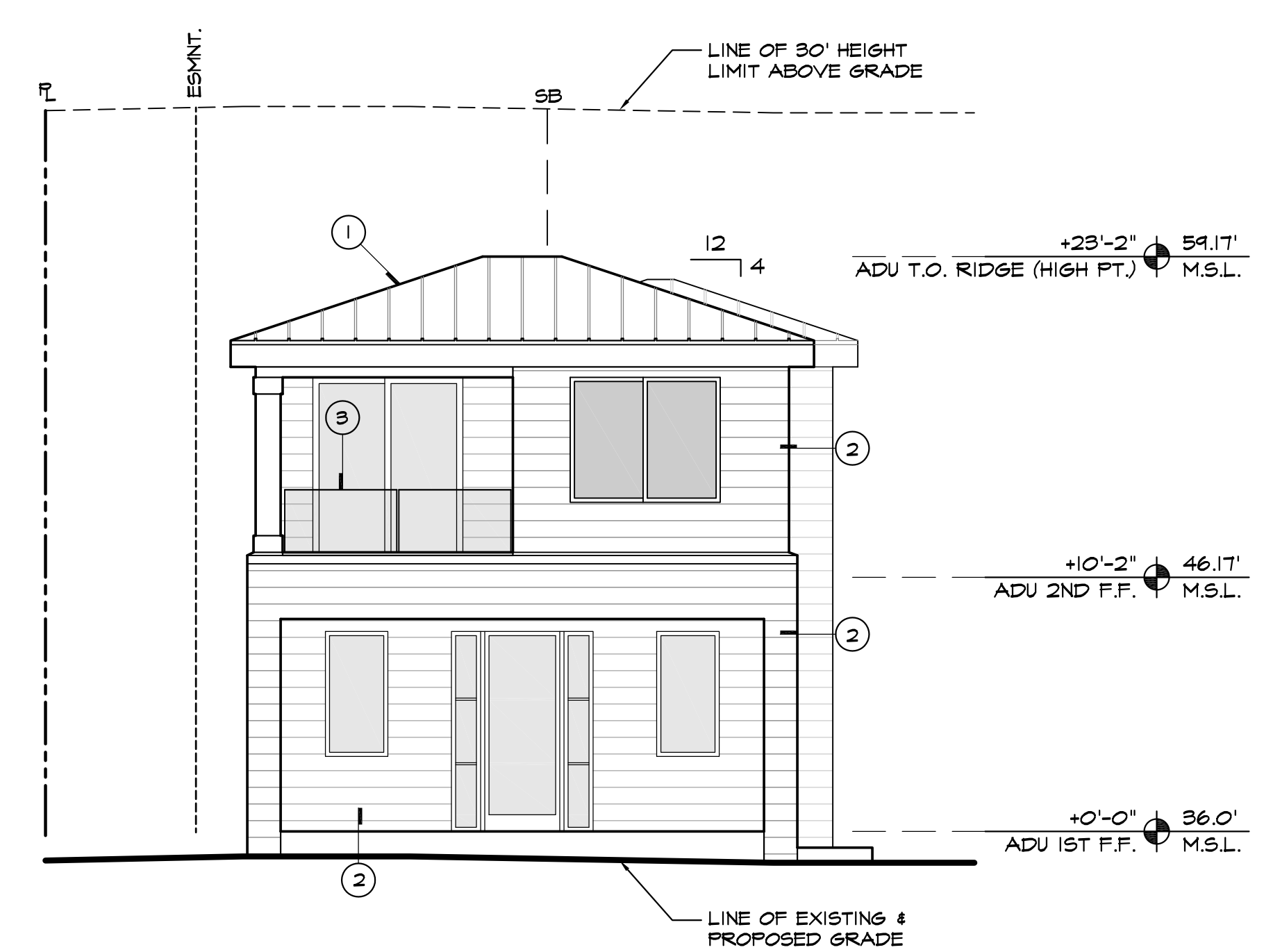


EAST ELEVATION - MAIN HOUSE
 SCALE: 3/16"=1'-0"

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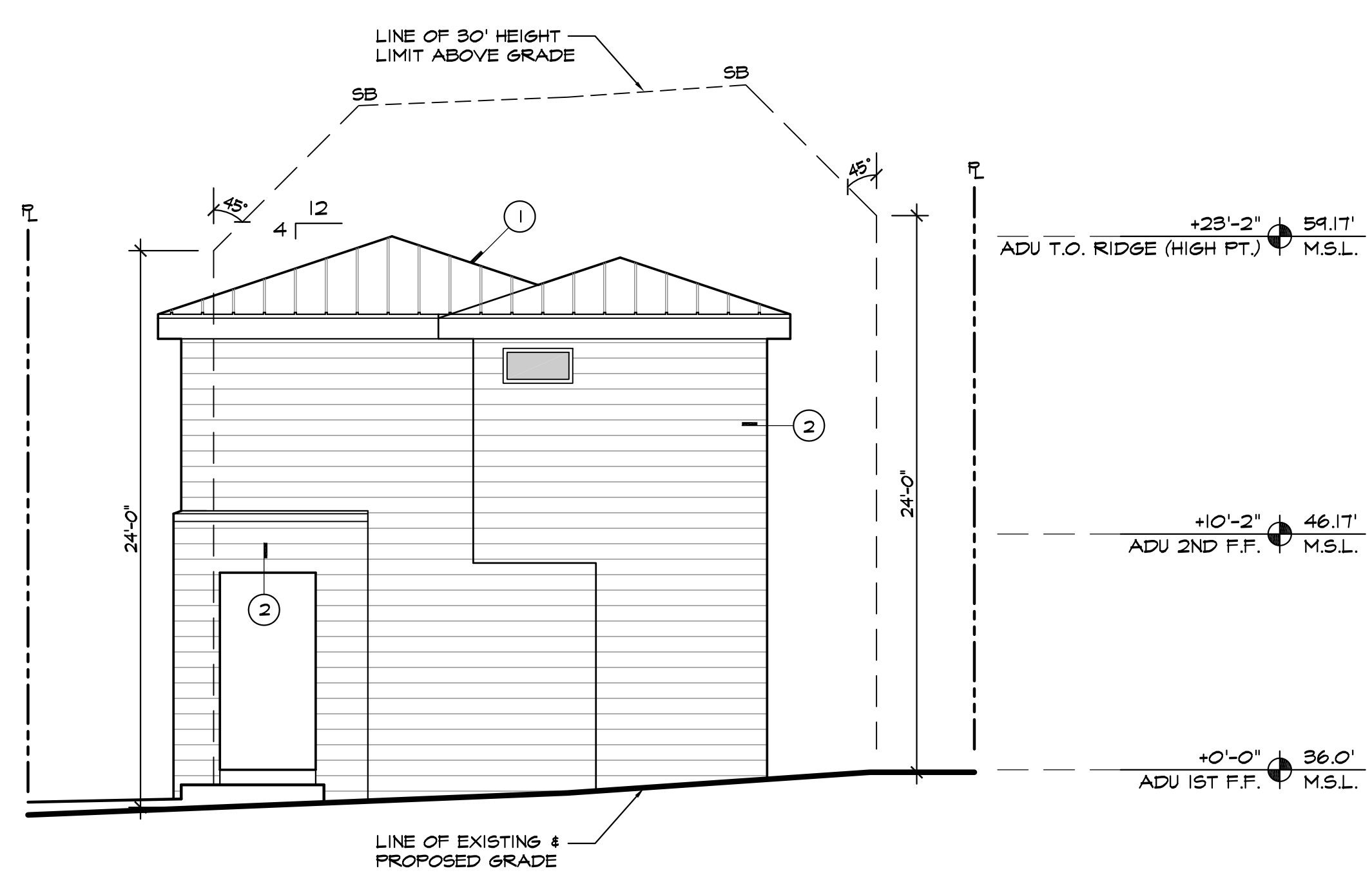
NORTH ELEVATION - RENTAL UNIT
SCALE: 3/16"=1'-0"



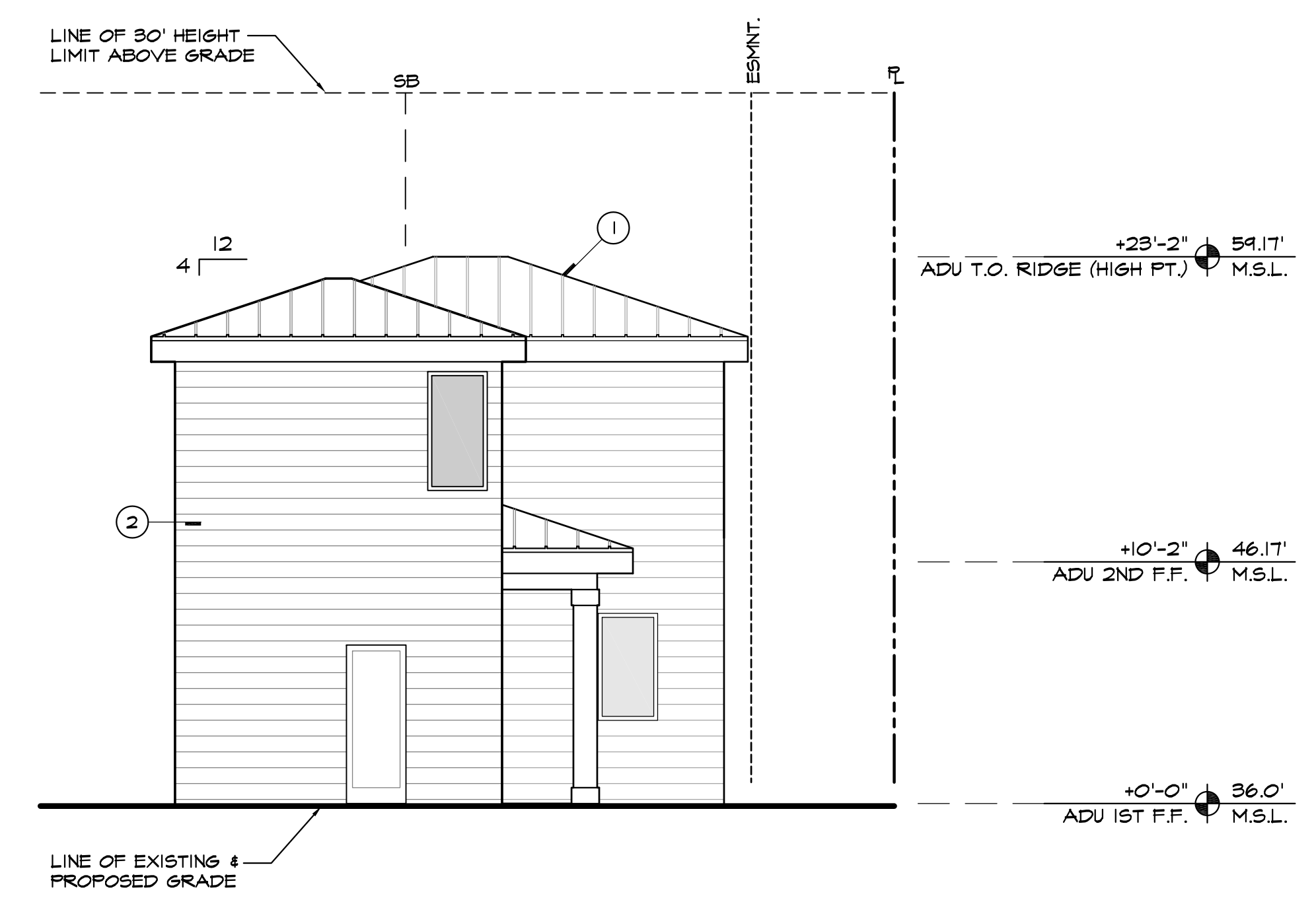
WEST ELEVATION - RENTAL UNIT
SCALE: 3/16"=1'-0"

- ELEVATION KEYNOTES:**
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NOTE:
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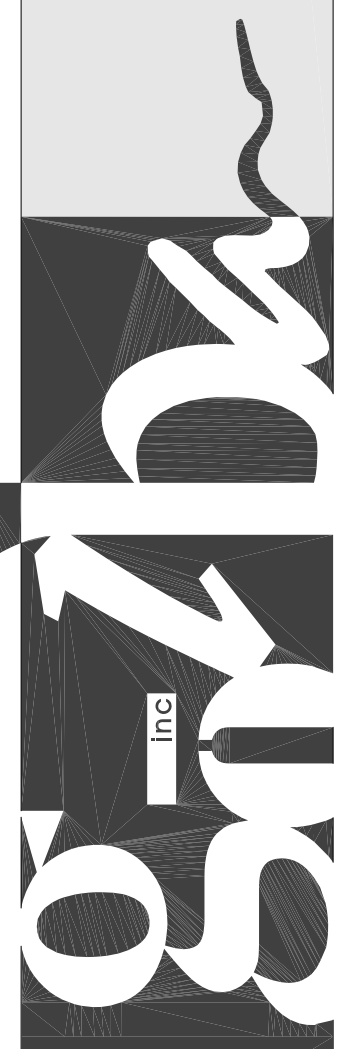
SOUTH ELEVATION - RENTAL UNIT
SCALE: 3/16"=1'-0"



EAST ELEVATION - RENTAL UNIT
SCALE: 3/16"=1'-0"

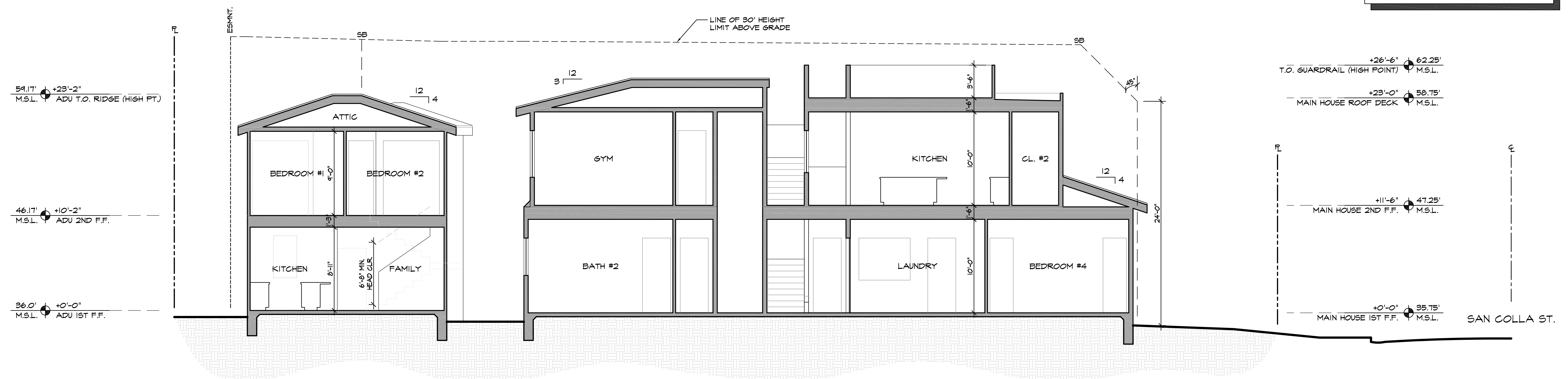
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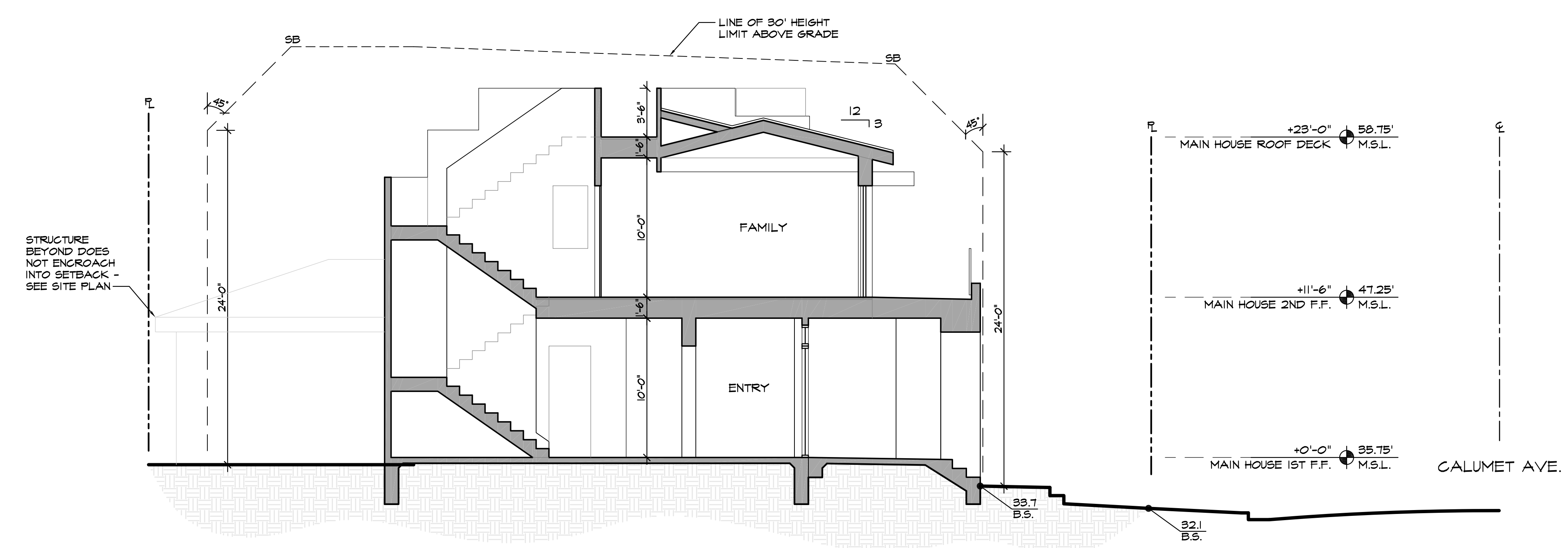


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A SITE SECTION
SCALE: 3/16"=1'-0"



B SITE SECTION - MAIN HOUSE
SCALE: 3/16"=1'-0"

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