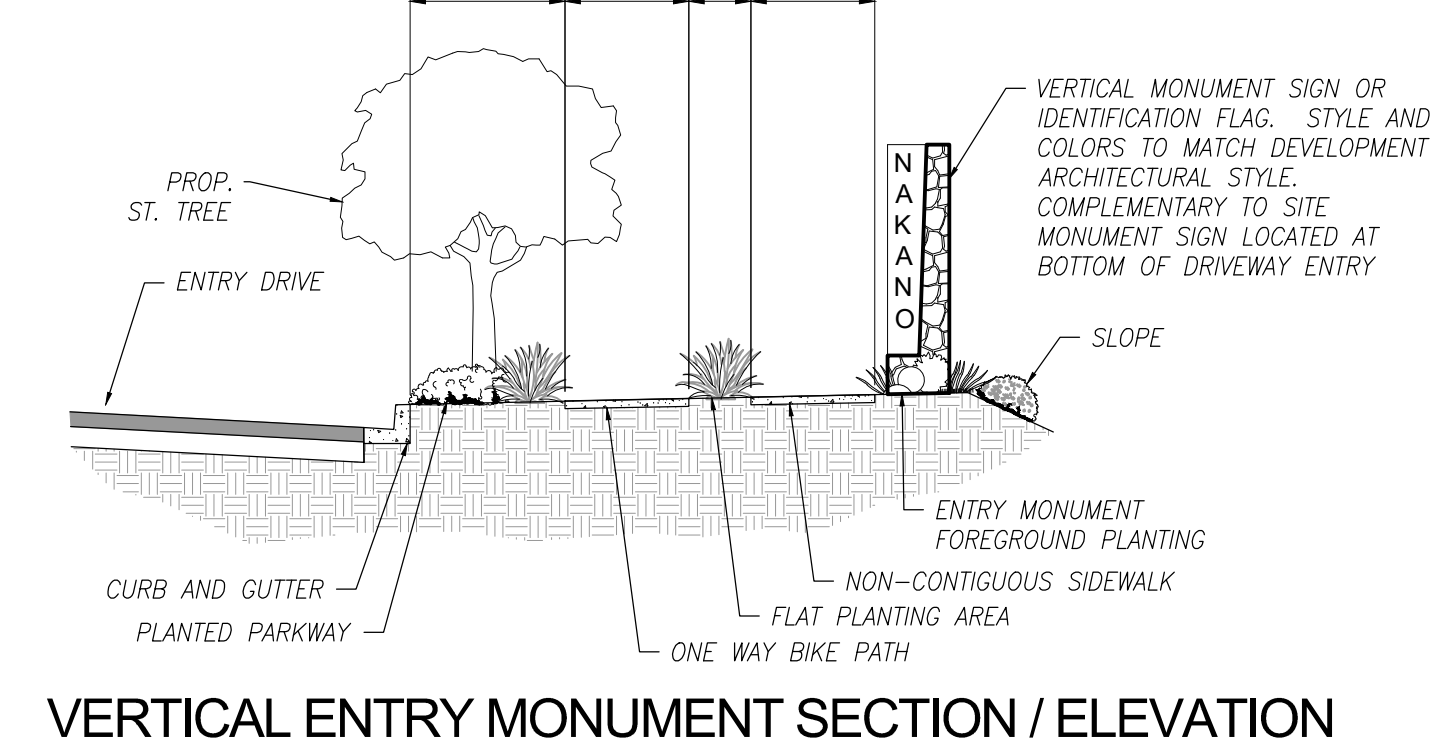
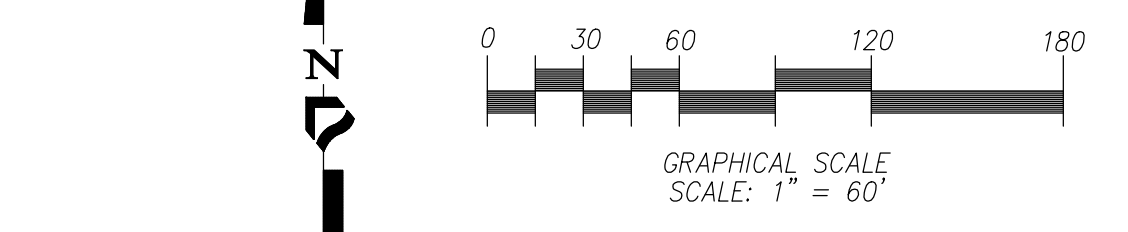


CONCEPTUAL LANDSCAPE PLAN



VERTICAL ENTRY MONUMENT SECTION / ELEVATION

DESIGN STATEMENT:

THE PRIMARY GOAL OF THE LANDSCAPE DESIGN IS TO BLEND AND COMPLIMENT THE EXISTING NATIVE PLANTING IN THE AREA. NATIVE LOW FUEL VOLUME SPECIES WILL BE USED TO RE-VEGETATE THE GRADED SLOPES. THE TREATMENT FOR THE INTERIOR SHALL PRIMARILY BE PARKWAY STREET TREES AND GROUND COVER. ORNAMENTAL IN NATURE, FIRE-RESISTENT, AND COMPLIMENT THE BUILDING ARCHITECTURE. THE RECREATION AREA WILL BE MIX OF ORNAMENTAL AND NATURALIZED MATERIAL AND LOW MAINTENANCE.

LANDSCAPE DESIGN OBJECTIVES:

1. PLANT MATERIALS SPECIFIED FOR USE ON THIS PROJECT WILL BE FROM THE PALETTE OF PLANTS KNOWN TO PERFORM WELL IN THIS CLIMATIC ZONE AND AMENDED SOIL TYPE.
2. THE PALETTE OF LANDSCAPE PLANT MATERIALS WILL PROVIDE VARIATIONS OF FOLIAGE, BARK, AND FLOWER FORM, TEXTURE, AND COLOR. THESE VARIATIONS WILL BE USED TO BLEND IN WITH EXISTING SURROUNDING LANDSCAPE TREATMENTS ESPECIALLY AT PERIMETER SLOPES.
3. LANDSCAPE PLANTING AREAS WILL BE GRADED TO ASSURE POSITIVE SURFACE DRAINAGE.
4. ONSITE SOILS WILL BE AMENDED TO COMPLY WITH THE RECOMMENDATION OF A CERTIFIED SOILS TESTING LABORATORY.
5. ALL SLOPE ASPECTS 2:1 OR STEEPER SHALL RECEIVE JUTE MATTING (OR PER THE RECOMMENDATION BY THE GEO-TECHNICAL ENGINEER).

GRADING NOTES:

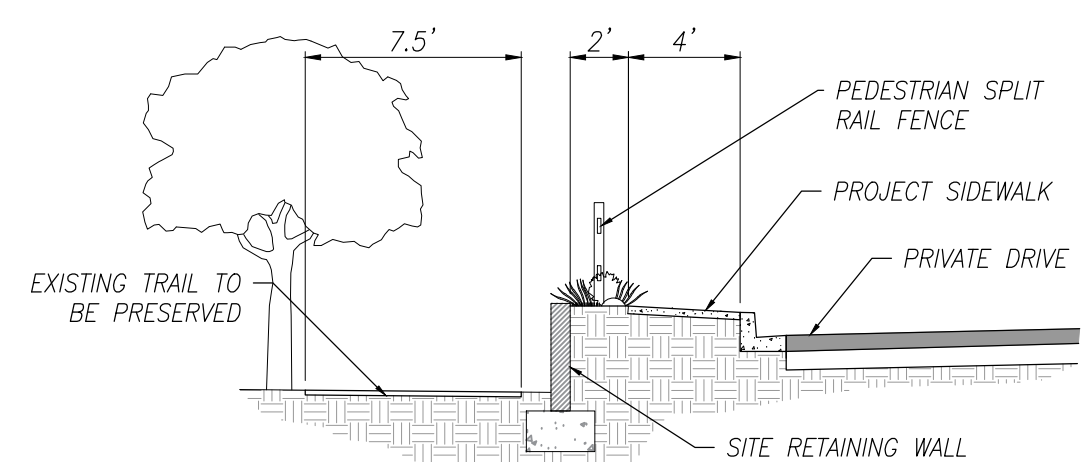
1. PERMANENT REVEGETATION - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED IN ACCORDANCE WITH THE STANDARDS IN THE CITY OF CHULA VISTA LANDSCAPE MANUAL.
2. TEMPORARY REVEGETATION - GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. TEMPORARY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH THE VEGETATION.
3. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
4. INTERIM BINDER NOTE: GRADED, DISTURBED OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX AND INTERIM BINDER / TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND SEPTEMBER 30 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.

MAINTENANCE NOTE:

1. ALL REQUIRED COMMON LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
2. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.
3. ALL PLANTING WILL HAVE A MINIMUM 25-MONTH MAINTENANCE AND MONITORING PERIOD THAT INCLUDES A SUCCESS CRITERIA, PRIOR TO ACCEPTANCE BY THE CITY OF SAN DIEGO PARKS & RECREATION DEPT.
4. ONCE THE PROJECT IS ANNEXED INTO THE CITY OF SAN DIEGO, THIS PROJECT WOULD BE ELIGIBLE FOR INCLUSION IN THE OCEAN VIEW HILLS MAINTENANCE ASSESSMENT DISTRICT (MAD) MANAGED BY THE CITY OF SAN DIEGO PARKS AND RECREATION DEPARTMENT. PLEASE NOTE THE SMALLER PARCEL ASSOCIATED WITH THIS PROJECT ADJACENT TO DENNERY ROAD IS ALREADY WITHIN THE MAD.

MINIMUM TREE SEPARATION DISTANCE:

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS	25 FEET
SEWERS	10 FEET



SECTION A

IRRIGATION:

ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.

NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO & CHULA VISTA LANDSCAPE REGULATIONS AND CITY OF SAN DIEGO & CHULA VISTA LANDSCAPE MANUAL AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. NO IMPROVEMENTS, INCLUDING ENHANCED PAVING, IRRIGATION AND LANDSCAPING, SHALL BE INSTALLED IN OR OVER ANY EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
3. PERMANENT MONUMENT SIGNAGE MAYBE PROPOSED BY THE DEVELOPER.
4. MINIMUM 24-INCH BOX SIZE STREET TREES SHALL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY. TREE PLANTING AREAS SHALL HAVE A MINIMUM 40 SQUARE FEET OF AIR-AND-WATER, PERMEABLE AREA.
5. INSTALL ALL APPROVED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTION FORMS. COPIES OF THESE APPROVED DOCUMENTS MUST BE SUBMITTED TO THE CITY.
6. IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER/SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE CITY.
7. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WHICH WRAP AROUND THE ROOT BALL ARE NOT PERMITTED.
8. MULCH- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
9. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY MAY BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES.
10. C.A.P. COMPLIANCE: THE TOTAL LOT AREA FOR NAKANO IS 23,76 ACRES OR 1,035,418 SF. THE RESILIENT INFRASTRUCTURE AND HEALTHY ECOSYSTEMS REGULATIONS REQUIRES TWO TREES TO BE PROVIDED ON THE PREMISES FOR EVERY 5,000 SQUARE FEET OF LOT AREA. A TOTAL OF 414 TREES ARE REQUIRED TO MEET THE MINIMUM. A TOTAL OF 447 TREES HAVE BEEN PROVIDED TO MEET THE MINIMUM REQUIREMENTS.
11. ALL LANDSCAPING IMPACTED BY THE NEW DRIVE WAY SHALL BE REPAIRED OR REPLACED IN KIND FOR BOTH PLANTING AND IRRIGATION.

DEVELOPER INSTALLED LANDSCAPE AREAS

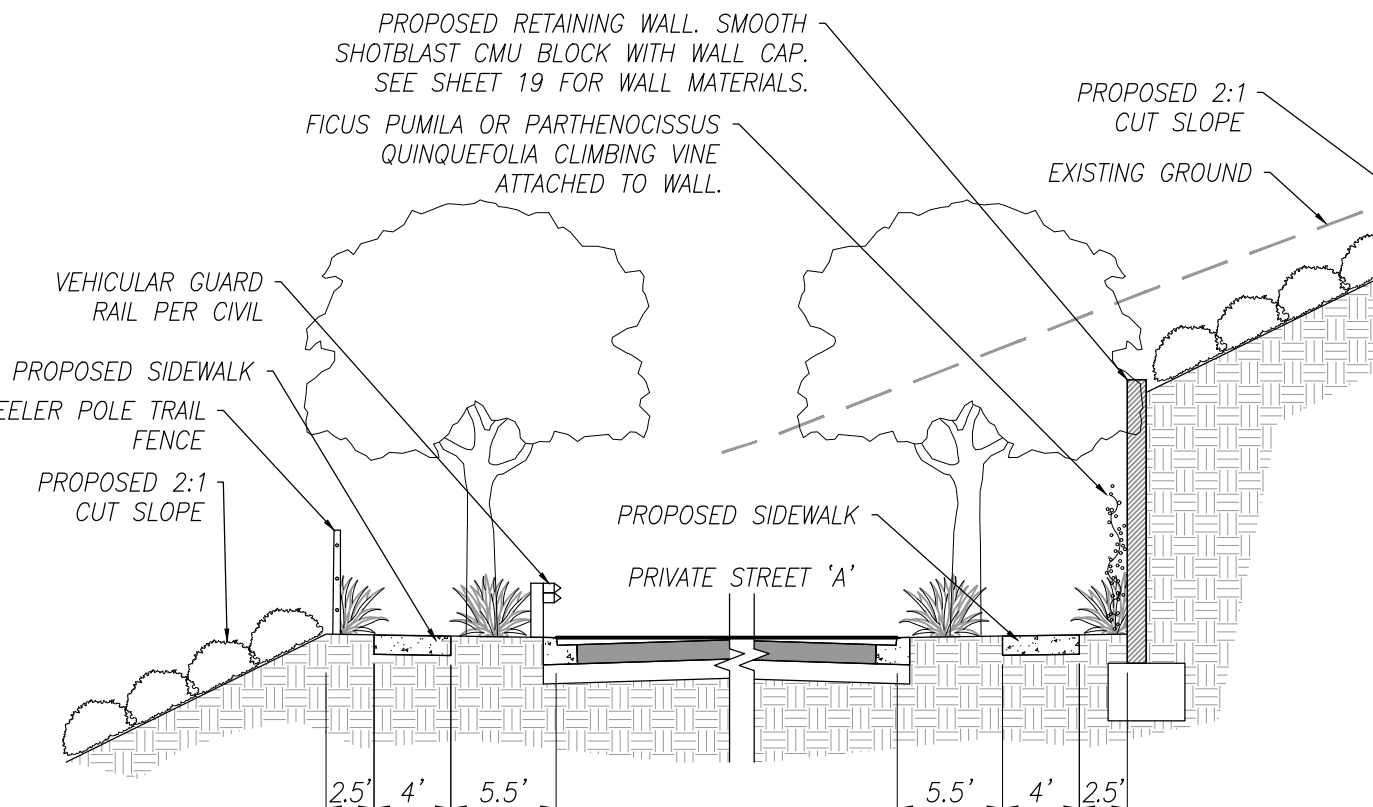
RE-VEGETATED SLOPES	141,406 SF
FRONT YARDS / PARKWAYS	82,250 SF
RECREATION AREA	22,482 SF
WATER QUALITY BASIN	14,645 SF

PERCENTAGE OF LANDSCAPED AREA TO TOTAL SITE

NON-LANDSCAPE AREA	532,921 SF
LANDSCAPE AREA	502,496 SF (48.5%)
TOTAL PROJECT AREA	1,035,417 SF

STREET TREES:

STREET TREES SHALL HAVE A 40 S.F. ROOT ZONE AREA(10' FROM UNDERGROUND SEWER & 5' FROM UNDERGROUND WATER UTILITIES) OR IF CONFLICTS ARISE THE TREES SHALL BE LOCATED ON THE RESIDENTIAL LOT.



SECTION B

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.*

SIGNATURE _____ DATE _____

FRONT YARD AND STREET TREE NOTE:
IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

PREPARED BY:
ARCHITECT OF WORK
PROJECT DESIGN CONSULTANTS
701 B STREET, SUITE 800
SAN DIEGO, CA 92101
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JON JAY BECKER, LIC. NO. 2542
REGISTRATION EXPIRES 7/31/23

EXPIRES 7/31/23

PROJECT DESIGN CONSULTANTS
Planning | Landscape Architecture | Engineering | Survey

NAME:	REVISION 12:	
ADDRESS:	REVISION 11:	
PHONE:	REVISION 10:	
	REVISION 9:	
	REVISION 8:	
	REVISION 7:	
	REVISION 6:	
	REVISION 5:	
	REVISION 4:	
	REVISION 3:	
	REVISION 2:	
	REVISION 1:	05/12/2023
PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	ORIGINAL DATE:	11/04/2022
PROJECT NAME: NAKANO	SHEET 14 OF 20	
SHEET TITLE: LANDSCAPE CONCEPT PLAN AND NOTES	DEP #	

EXTERIOR SLOPE PLANTING LEGEND

SLOPE LANDSCAPE TREATMENT (PERIMETER AND INTERIOR SLOPE EROSION CONTROL) THESE SLOPES WILL BE PLANTED TO CONTROL EROSION, PROVIDE PRIVACY (SCREENING), AND BLEND IN WITH THE EXISTING PLANTING ALONG ADJACENT PARKWAY. THE COMBINATION OF SMALL TO MEDIUM TEXTURALLY RICH TREES WILL BE COUPLED WITH FREE-FLOWING DRIFTS OF FLOWERING SHRUBS. GROUNDCOVER WILL BE ADDED TO PROVIDE A THIRD LEVEL OF VISUAL INTEREST. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

EXTERIOR SLOPES		MATURE HEIGHT & SPREAD
EXTERIOR SLOPE TREES 25% 1 GAL, 50% 5 GALLON, 25% 15 GAL FORM/FUNCTION: LARGE, BROAD, ROUND HEADED CANOPY TREE		
GEJERA PARVIFLORA	AUSTRALIAN WILLOW	25'x40'
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	40'x40'
PLATANUS RACEMOSA	SYCAMORE	40'x60'
POPULUS FREMONTII	BLACK COTTONWOOD	40'x60'
QUERCUS AGRIFOLIA	COAST LIVE OAK	30'x60'
QUERCUS BERBERIDIFOLIA	SCRUB OAK	15'x20'
QUERCUS DUMOSA	SOUTHERN OAK	15'x20'
QUERCUS ENGELMANNII	ENGLEMAN OAK	40'x60'

TRANSITION AREA TREES 100% 15 GAL		
FORM/FUNCTION: SHADE, SEASONAL COLOR, MEDIUM TO LARGE CANOPY		
AGONIS FLEXUOSA	PEPPERMINT TREE	30'x30'
PLANTANUS RACEMOSA	CALIFORNIA SYCAMORE	25'x25'
QUERCUS AGRIFOLIA	COAST LIVE OAK	20'x20'
QUERCUS ENGELMANNII	ENGLISMAN OAK	45'x25'
MALOSMA LAURINA	LAUREL SUMAC	20'x20'
SAMBUCUS MEXICANA	ELDERBERRY	40'x60'
UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	30'x40'

SMALL TREES AND SHRUBS - 3" - 5" EVERGREEN, SCREENING & GROUNDCOVER 65% 1-GALLON, 35% 5 GAL.
(GROUND COVER PLANT SPACING SHALL BE 10" ON CENTER)
FORM/FUNCTION: EVERGREEN, SCREENING, NATIVE SAGE SCRUB SHRUBS

ADOLPHIA CALIFORNICA	SPRINESHRUB	4'x5'
COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	10'x20'
ENCELIA CALIFORNICA	SAN DIEGO SUNFLOWER	3'x4'
ELAEAGNUS PUNGENS	SILVERBERRY	12'x12'
ERIODICTYON TRICHOCALYX	SMOOTH YERBA SANTA	4'x6'
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN-YARROW	2'x3'
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	2'x2'
GNAPHALIIUM CALIFORNICUM	CA. PEARLY EVERLASTING	2'x2'
HAZARDIA SQUARROSA	COMMON HAZARDIA	8'x8'
HETEROMELES ARBUTIFOLIA	TOYON	10'x10'
LOTUS SCOPARIUS	DEERWEED	2'x3'
MALOSMA LAURINA	LAUREL SUMAC	15'x15'
MIMULUS AURANTIACUS	RED MONKEY FLOWER	5'x5'
NEMOPHILA MENZIESI	BABY BLUE EYES	6'x6'
RHUS INTEGRIFOLIA	LEMONADE BERRY	5'x6'
SALVIA APIANA	WHITE SAGE	5'x5'
SALVIA CLEVELANDII	CLEVELAND SAGE	4'x4'

SCREENING SLOPE TREES 25% 24" BOX, 75% 16 GALLON (100% 24" BOX IN STREET YARD)
FORM/FUNCTION: MEDIUM ROUND HEADED EVERGREEN TREES

ACACIA FARNESIANA	SWEET ACACIA	15'x15'
HETEROMELES ARBUTIFOLIA	TOYON	15'x15'
MALOSMA LAURINA	LAUREL SUMAC	15'x20'
RHUS INTEGRIFOLIA	LEMONADE BERRY	20'x20'

SLOPES (TEMPORARY IRRIGATION) HYDROSEED MIX

THE SLOPE AREAS TO BE HYDROSEED WITH A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS 24" OR LESS TO MEET BRUSH MANAGEMENT GUIDELINES.

PLANT MATERIAL	COMMON NAME	LB/AC	% PURITY / GERMINATION RECOMMENDED	
			Annual	Perennial
ACMISPON GLABER	DEERWEED	6	90 / 80	
ARTEMESIA CALIFORNICA	CALIFORNIA SAGEBRUSH	2	15 / 50	
DIAPLACUS AUR. 'PUNICEUS'	REDMONKEY FLOWER	2	2 / 55	
ENCELIA CALIFORNICA	BUSH SUNFLOWER	4	40 / 60	
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	6	10 / 65	
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	3	30 / 60	
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1	98 / 75	
LUPINUS BICOLOR	MINIATURE LUPINE	4	98 / 80	
LUPINUS NANUS	SKY LUPINE	4	98 / 85	
SALVIA MELLIFERA	BLACK SAGE	1	70 / 50	
STIPA FULCHRA	PURPLE NEEDLE GRASS	8	90 / 60	

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER 100 S.F. OF DISTURBED AREA.

PLANTING LEGEND (URBAN PLANTING PER OVRP)

THE INTERIOR SITE AREAS ARE TO BE PLANTED WITH COLORFUL CONTAINER MATERIAL WITH DEEP ROOTING CHARACTERISTICS IN CONFORMANCE WITH THE GRADING ORDINANCE. DROUGHT TOLERANT NATIVE AND NATURALIZED SPECIES ARE PLANTED IN AN INFORMAL PATTERN. SEASONAL MAINTENANCE WILL BE NEEDED ONCE ESTABLISHED. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

STREET TREES BETWEEN HOUSE AND DRIVE AISLES WITH 4' OR GREATER PLANTABLE AREA		
STREET TREES 100% 24-INCH BOX OR LARGER FORM/FUNCTION: MEDIUM TO LARGE DECIDUOUS, ROUND HEAD, SHADE, STREET TREES		
ARBUSUTUS MARINA	MARINA STRAWBERRY TREE	25' x 25'
CALLISTEMON VIMINALIS	WEeping BOTTLEBRUSH	20' x 25'
CERCIS CANADENSIS	EASTERN REDBUD	25' x 25'
CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	20' x 20'
GINKGO BILOBA	MAIDENHAIR	50' x 25'
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	20' x 20'

ACCENT TREES ALONG DRIVE AISLES WITH 3' OR GREATER PLANTABLE AREA

ACCENT TREES DECIDUOUS ROUND HEAD 100% 24-INCH BOX FORM/FUNCTION: ORNAMENTAL FLOWERING ACCENT TREES		
CERCIS OCCIDENTALIS	WESTERN REDBUD	20' x 20'
ERIOBOTRYA DEFLEKA	BRONZE LQUAT	25' x 25'
LANTANA MONTEVIDENSIS	CRAPE MYRTLE	20' x 25'
LIRIODENDRON TULIPIFERA 'ARNOLD'	ARNOLD TULIP TREE	25' x 8'
PODOCARPUS HENKELII	LONG LEAFED YELLOW-WOOD	15' x 8'
STENOCARPUS SINUATUS	FIRE WHEEL TREE	25' x 10'
TABEBUIA IMPETIGINOSA	PINK TRUMPET TREE	25' x 25'

INTERIOR PARKWAY PLANTING & FRONT YARD

SHRUBS 36" O.C. FORM/FUNCTION: LOW ORNAMENTAL SHRUBS		
ANIGOZANTHOS 'BUSH SUNSET'	BUSH SUNSET KANGAROO PAW	3'x4'
CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	4'x4'
CISTUS SPP	PURPLE ROCKROSE	3'x3'
DIETES GRANDIFLORA	FORTNIGHT LILLY	3'x4'
LANTANA MONTEVIDENSIS	PURPLE LANTANA	2'x5'
LEPTOSPERMUM SCOPARIUM	RUBY RED TEA TREE	4'x4'
NANDINA 'GULF STREAM'	GULF STREAM NANDINA	3'x2'
PHORMIUM TENAX 'MAORI QUEEN'	VARIEGATED FLAX	4'x4'
RAPHIOLEPSIS INDICA 'BALLERINA'	INDIAN HAWTHORNE	3'x4'
STRELITZIA REGINIA	BIRD OF PARADISE	4'x5'
WESTRINGIA FRUTICOSA	COAST ROSEMARY	5'x10'

GROUNDCOVER & ACCENTS (GROUND COVER PLANT SPACING SHALL BE 10" ON CENTER) FORM/FUNCTION: LOW ORNAMENTAL GROUNDCOVER		
CEANOTHUS GRISEUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	2'x8'
ROSMARINUS O. 'HUNTINGTON CARPET'	H. CARPET ROSEMARY	2'x6'
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	2'x5'
TULBAGHIA VIOLACEA	VARIEGATED SOCIETY GARLIC	1'x5'
SENECIO SERPENS	BLUE CHALKSTICKS	1'x2'

NON-INVASIVE GRASSES FORM/FUNCTION: ACCENT GRASSES		
CAREX SPISSA	SAN DIEGO SEDGE	5'x4'
FESTUCA GLAUCA 'ELIJAH BLUE	ELIJAH BLUE FESCUE	1'x1'
MUHLENBERGIA RIGENS	DEER GRASS	4'x4'

VINES FORM/FUNCTION: UPRIGHT VINES		
BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	4'x5'
DISTICTIS 'RIVERS'	ROYAL TRUMPET VINE	5'x5'
JASMINUM POLYANTHUM	PINK JASMINE	5'x4'
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5'x5'
TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	4'x8'

VINES FORM/FUNCTION: CLIMBERS FOR RETAINING WALL		
FICUS PUMILA	CREeping FIG	5'x15'
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	4'x25'

RECREATIONAL AREA PLANTING LEGEND

RECREATIONAL AREA LANDSCAPE TREATMENT RECREATIONAL AREAS WILL BE PLANTED WITH DROUGHT TOLERANT PLANTS THAT ARE ALSO SAFE FOR CHILDREN AND PETS. PLANTING SELECTION WILL PROVIDE PRIVACY (SCREENING), ALTERNATIVE LAWN AREA, AND BLEND IN WITH THE ADJACENT BASIN AND EXTERIOR SLOPES PLANTING. THE COMBINATION OF SMALL TO MEDIUM TEXTURALLY RICH TREES WILL BE COUPLED WITH GROUPINGS OF FLOWERING SHRUBS. GROUNDCOVER WILL BE ADDED TO PROVIDE A THIRD LEVEL OF VISUAL INTEREST. A LAWN ALTERNATIVE WILL BE INCLUDED TO PROVIDE A PLAY SPACE FOR CHILDREN AND PETS. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

RECREATIONAL AREA TREES 100% 15 GAL FORM/FUNCTION: SHADE, SEASONAL COLOR, MEDIUM TO LARGE CANOPY		
AGONIS FLEXUOSA	PEPPERMINT WILLOW	
CASSIA LEPTOPHYLLA	GOLDEN MEDALLION	
CERCIS OCCIDENTALIS	WESTERN REDBUD	
LOPHOSTEMON CONFERTUS	BRISBANE BOX	
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	
QUERCUS AGRIFOLIA	COAST LIVE OAK	
QUERCUS SUBER	CORK OAK	

RECREATIONAL AREA SHRUBS AND GROUNDCOVERS 65% 1-GALLON, 35% 5 GAL.
FORM/FUNCTION: EVERGREEN, SCREENING, ACCENT COLOR, DROUGHT TOLERANT

SHRUBS		
ARBUSUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	
CISTUS x PURPEUS	ORCHID ROCKROSE	
EURPHORBIA CHARACIAS 'WULFENII'	MEDITERRANEAN SPURGE	
OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	
SALVIA CLEVELANDII	CLEVELAND SAGE	
TEUCRIUM FRUTICANS	BUSH GERMANDER	

GROUNDCOVERS		
BACCHARIS PILULARIS 'PIGEON POINT'	PIGEON POINT COYOTE BRUSH	
CEANOTHUS THYRSIFOLIA 'YANKEE POINT'	YANKEE POINT WILD LILAC	
DIYMONDIA MARGARETAE	SILVER CARPET	
IVA HAYESIANA	POVERTY WEED	
LIPPIA NODIFLORA	KURAPIA	
VERBENA RIGIDA	SANDBIPER VERBENA	

TURF		
UC VERDE BUFFALO GRASS		
KURAPIA		
ARTIFICIAL TURF		

DETENTION BASIN (TEMPORARILY IRRIGATED)

BASINS TO BE LINED WITH 18" MEDIUM DEPTH.

STORM WATER BASIN (BOTTOM)		
PLANT MATERIAL	COMMON NAME	SIZE
BACCAHRIS SALICIFOLIA	MULE FAT	LINERS
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	LINERS
CAREX SPISSA	SAN DIEGO SEDGE	LINERS
ELYMUS CONDENSATUS	GIANT WILD RYE	1G / LINERS
JUNCUS DUBIUS	DUBIUS RUSH	LINERS
JUNCUS MEXICANUS	MEXICAN RUSH	LINERS
MUHLENBERGIA RIGENS	DEERGRASS	LINERS

STORM WATER BASIN (SLOPES)		
PLANT MATERIAL	COMMON NAME	SIZE
ACHILLEA MILLEFOLIUM	YARROW	LINERS
ANEMOPSIS CALIFORNICA	YERBA MENZA	LINERS
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	LINERS
CAREX SPISSA	SAN DIEGO SEDGE	LINERS
ELYMUS CONDENSATUS	GIANT WILD RYE	LINERS
IVA HAYESIANA	POVERTY WEED	1G
JUNCUS DUBIUS	DUBIUS RUSH	1G / LINERS
JUNCUS MEXICANUS	MEXICAN RUSH	LINERS
MAHONIA NEVINI	NEVINS BARBERRY	LINERS
MIMULUS CARDINALIS	SCARLET MONKEY FLOWER	1G
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	LINERS

WATER EFFICIENT LANDSCAPE WORKSHEET

NAKANO - MAWA / ETWU									
Irrigation Point of Connection (P.O.C.) # 1									
A	B	C	D	E	F	G	H	I	J
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydrozone Area (sq) (HA)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	1 (REC AREAS)	1	DRIP	0.4	22,482	8.6%	8,992.8	0.9	9,992.0
	3 (EXT SLOPES)	2	MP	0.3	141,406	54.2%	42,421.8	0.75	56,562.4
	4 (FRONT YARDS & PARKWAYS)	3	DRIP	0.3	82,250	31.5%	24,675.0	0.9	27,416.7
	5 (BASIN)	3	MP	0.4	14,645	5.6%	5,858.0	0.75	7,810.7
			SLA	0	0	0.0%	0.0	0.0	0.0
	TOTAL				260,783	100.0%			101,781.7

Maximum Applied Water Allowance (MAWA)	
MAWA Formula: (Eto)(0.62)[(0.42 x LA) + (0.42x SLA)]	Eto = 51.1
	LA = 260,783.0
	SLA = 0.0
Maximum Applied Water Allowance =	3,470,093.3 gallons per year
Percentage Allowance Used: 92.93%	
MAWA - ETWU = (gallons) 245,444.5	
Efficiency = 0.81	

Estimated Total Water Use (ETWU)	
ETWU Formula: (Eto)(0.62)[(PF)(HA)/IE+SLA]	ETWU Formula: (Eto)(0.62)(Total of Column J)
Estimated total Water Use =	3,224,648.9 gallons per year

MAINTENANCE REQUIREMENTS:

- THE 120 DAY PEP WILL BE BEGIN FOLLOWING SUCCESSFUL COMPLETION OF REVEGETATION INSTALLATION AND ACCEPTANCE BY THE CITY REPRESENTATIVE.
- THE MAINTENANCE PERIOD BEGINS FOLLOWING COMPLETION AND ACCEPTANCE OF THE 120 DAY PEP AND MAY BE EXTENDED AT THE DETERMINATION OF THE CITY REPRESENTATIVE. REVEGETATION AREA SHALL BE MAINTAINED FOR A PERIOD OF NOT LESS THAN 25 MONTHS (TABLE 2). ALL REVEGETATED AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL APPROVAL BY THE CITY.
- PRIOR TO FINAL APPROVAL, THE CITY REPRESENTATIVE MAY REQUIRE CORRECTIVE ACTION INCLUDING BUT NOT LIMITED TO RESEEDING AND THE REPAIR OF ANY SOIL EROSION OR SLOPE SLIPPAGE, IN CONSULTATION WITH THE PROJECT BIOLOGIST.
- WEEDING AND/OR HERBICIDE APPLICATION SHALL BE DONE REGULARLY BY THE CONTRACTOR. WEEDING SHALL BE DONE AT A MINIMUM OF BIWEEKLY UNTIL THE END OF THE 120 DAY PEP, AND MONTHLY THROUGHOUT THE 25 MONTHS OF MAINTENANCE.

STREET TREE NOTE: IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

SIGNATURE _____ DATE _____

NAME: _____ ADDRESS: _____ PHONE: _____ REVISION 12: _____ REVISION 11: _____ REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: _____ REVISION 3: _____ REVISION 2: _____ REVISION 1: 5/12/2023

PROJECT ADDRESS: NORTHSIDE OF DENNEY RD BETWEEN REGATTA LANE AND SAND STAR WAY

PROJECT NAME: NAKANO

ORIGINAL DATE: 11/4/2022

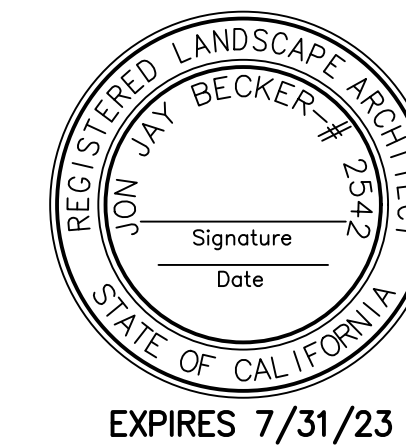
SHEET TITLE: LANDSCAPE CONCEPT PLAN ENLARGEMENTS AND PLANT LEGEND SHEET 15 OF 21

DEP # _____

PREPARED BY: ARCHITECT OF WORK

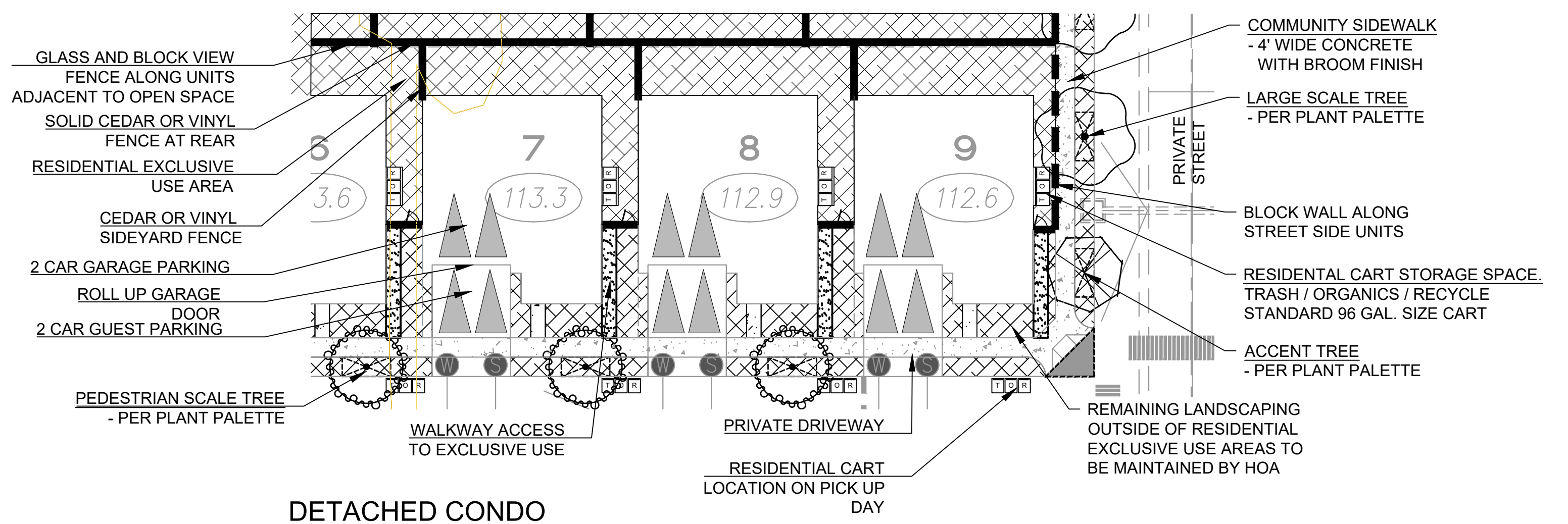
PROJECT DESIGN CONSULTANTS
701 "B" STREET, SUITE 800
SAN DIEGO, CA 92101
TELEPHONE: (619) 235-6471

JON JAY BECKER, LIC. NO. 2542
REGISTRATION EXPIRES 7/31/23



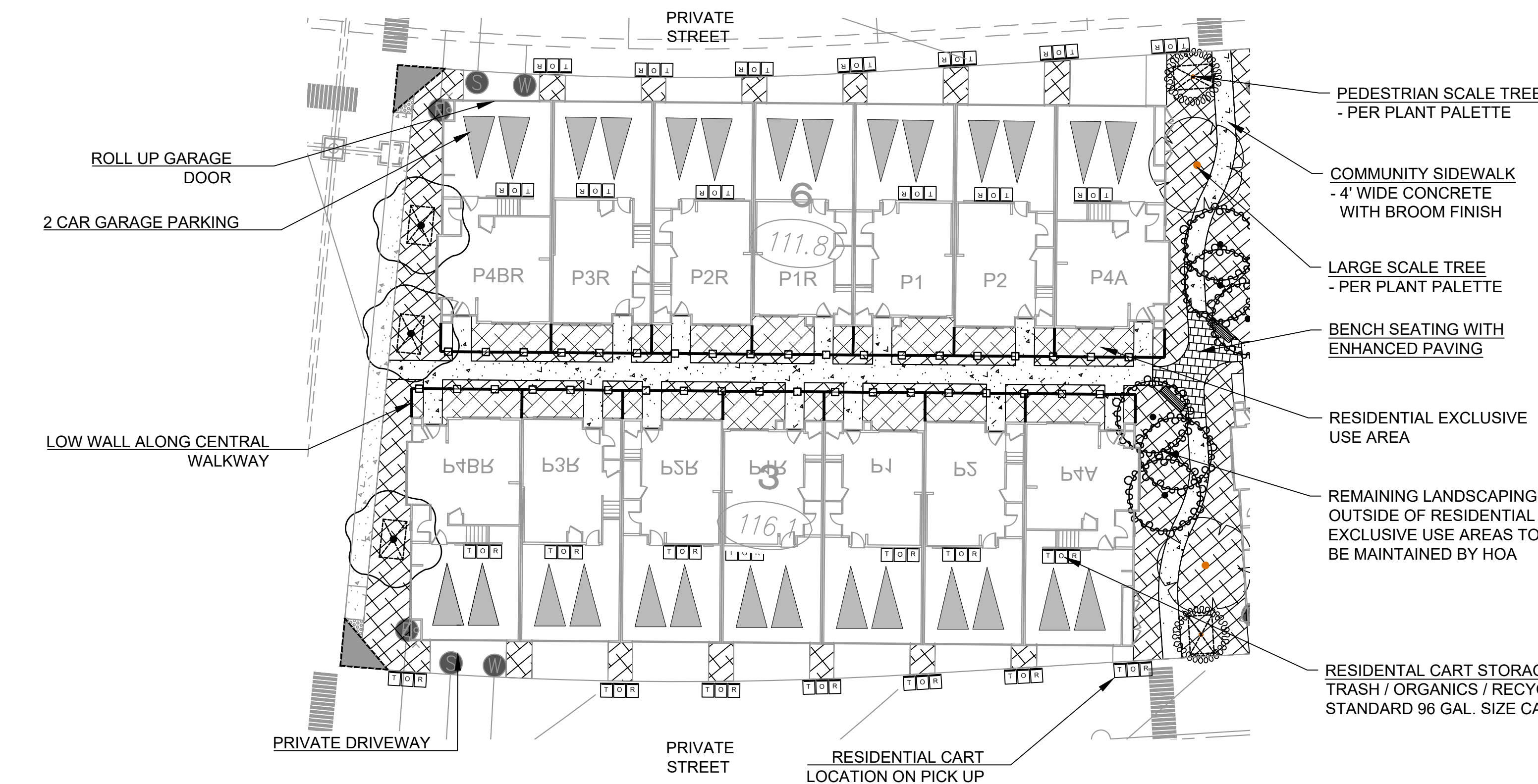
PROJECT DESIGN CONSULTANTS
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701 B Street, Suite 800
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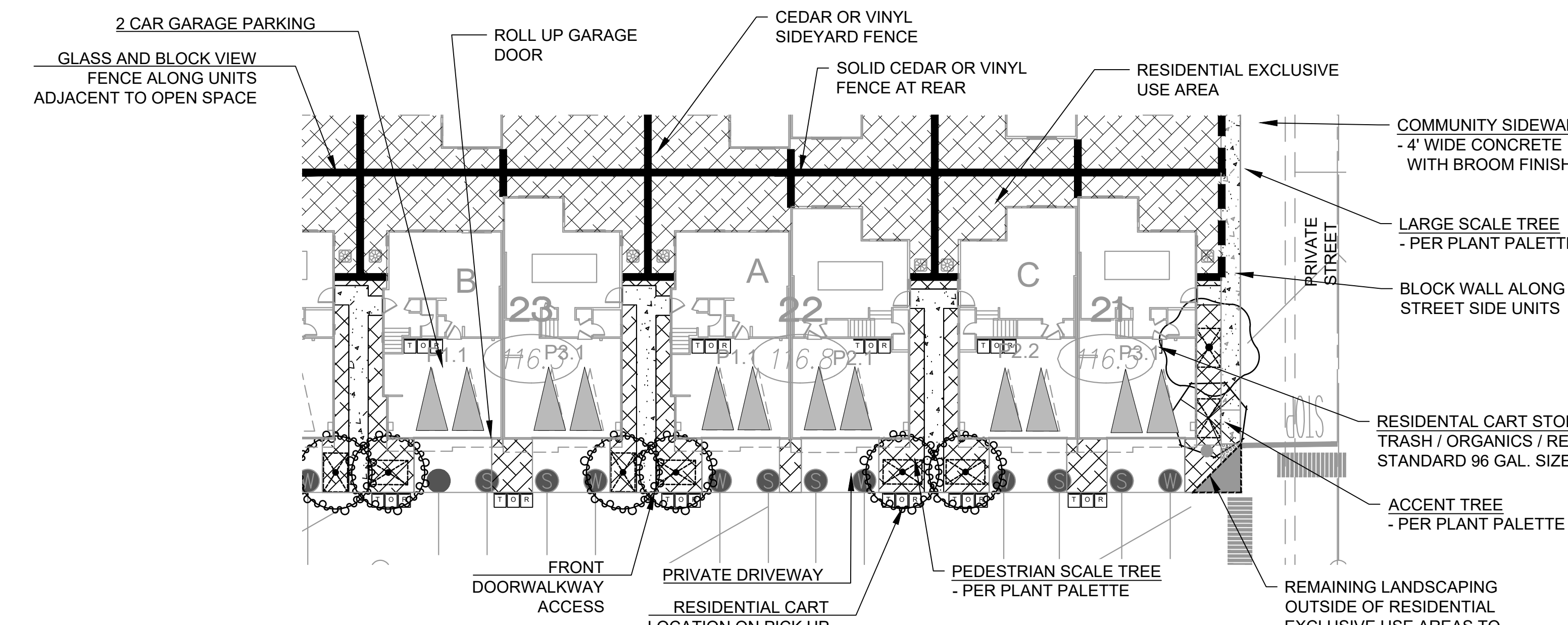
DETACHED CONDO
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA

NTS



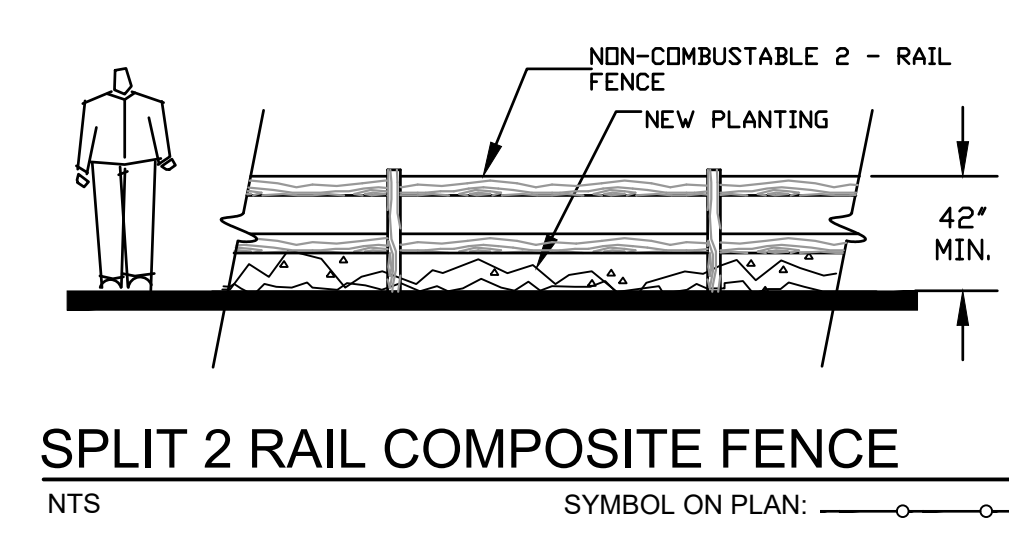
MULTI-FAMILY
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA

NTS



DUPLEX
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA

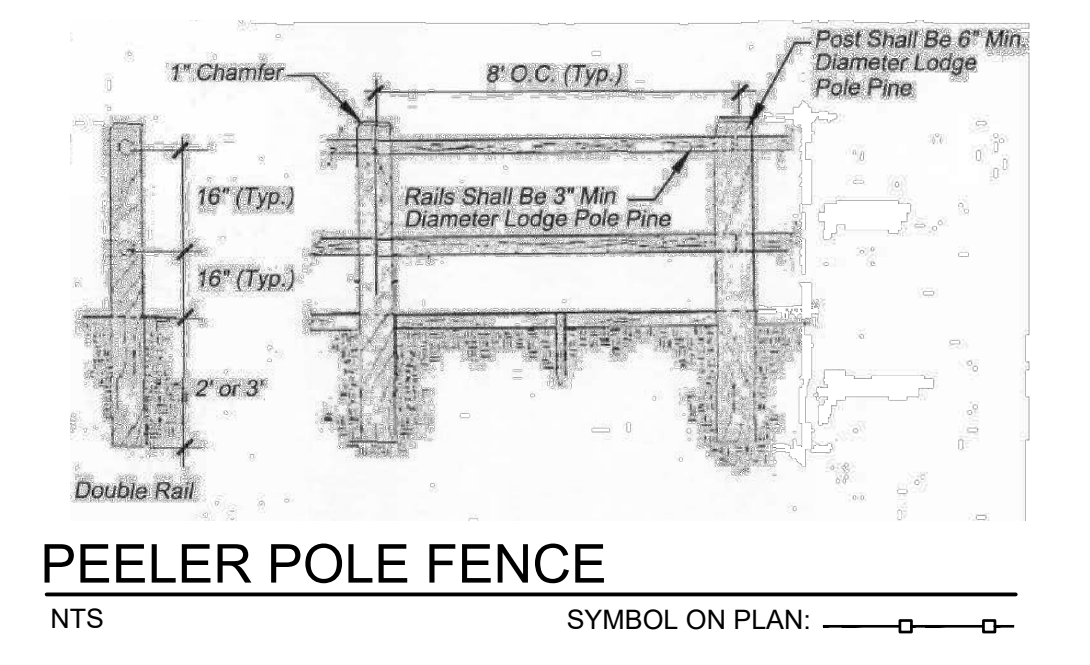
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SPLIT 2 RAIL COMPOSITE FENCE

NTS

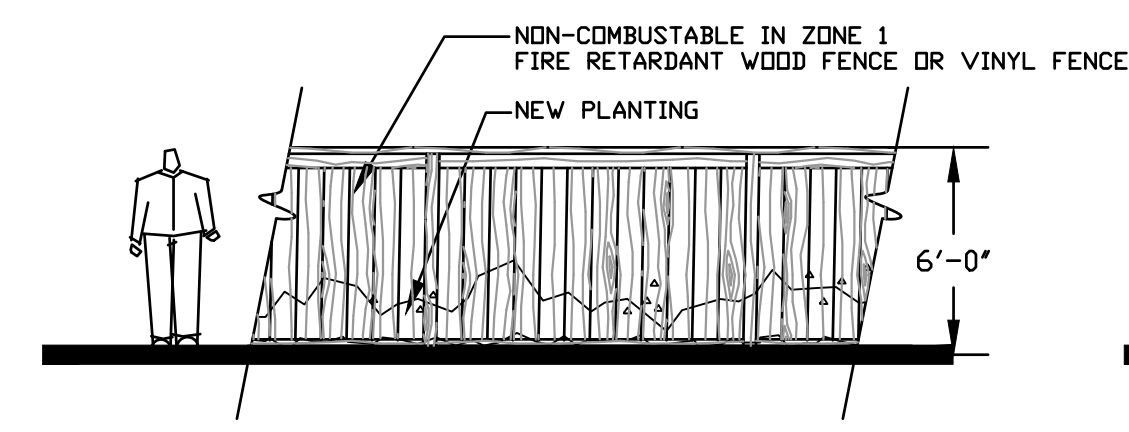
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PEELER POLE FENCE

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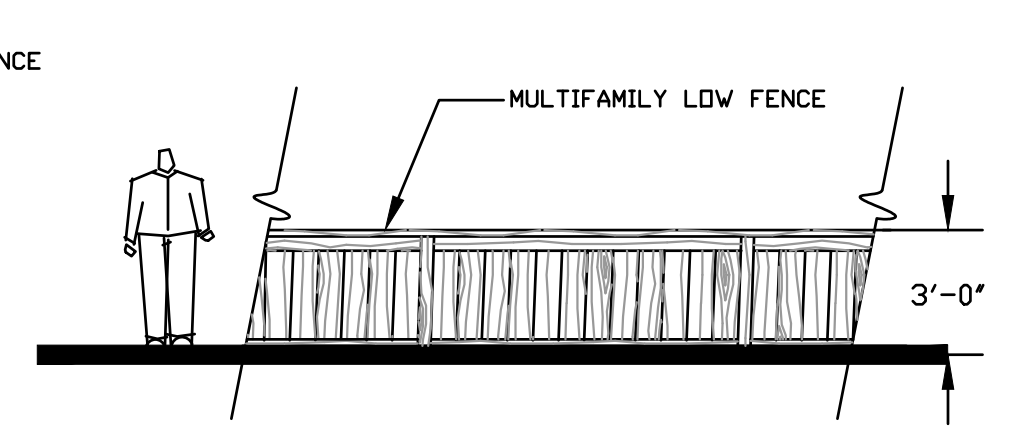
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6' SOLID FENCE

NTS

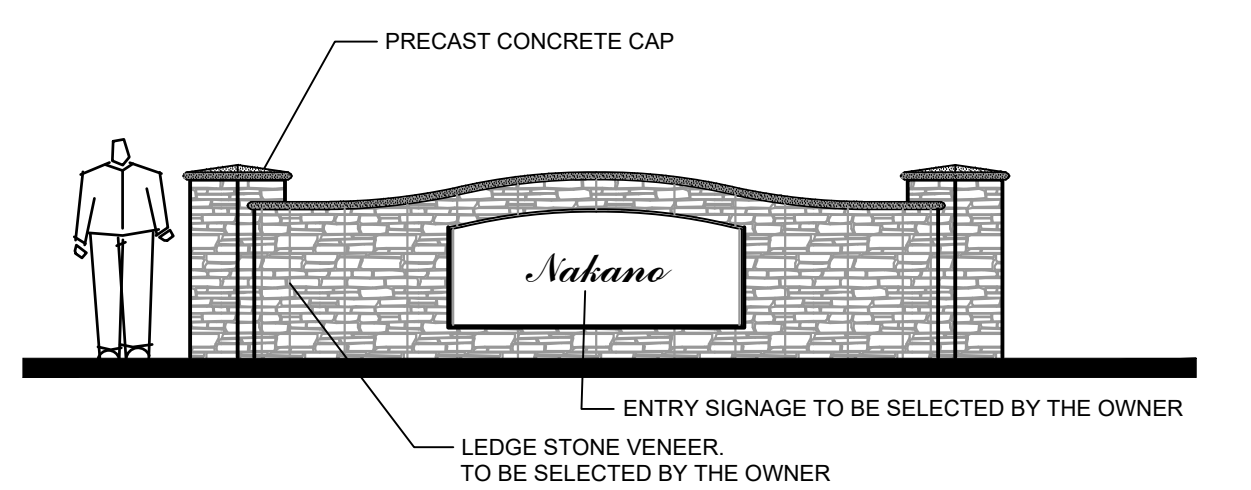
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3' LOW FENCE

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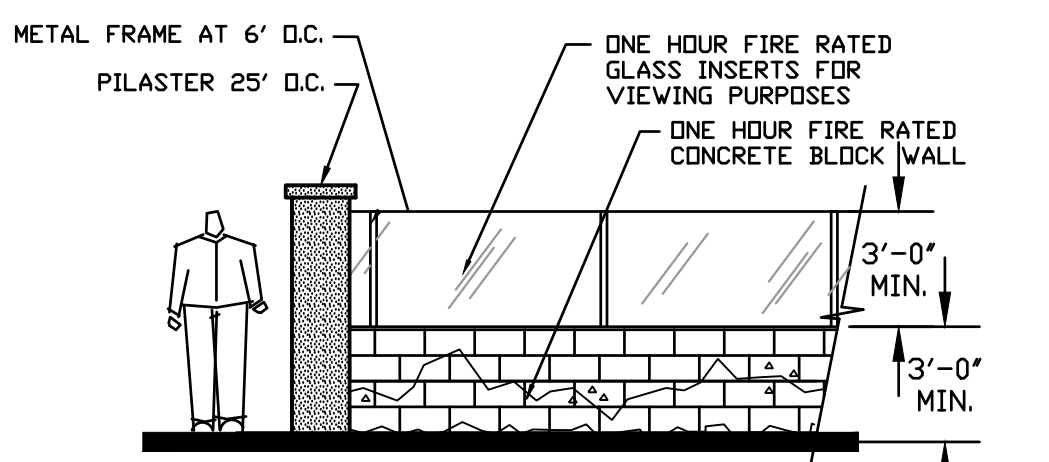
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MONUMENT WALL DETAIL

NTS

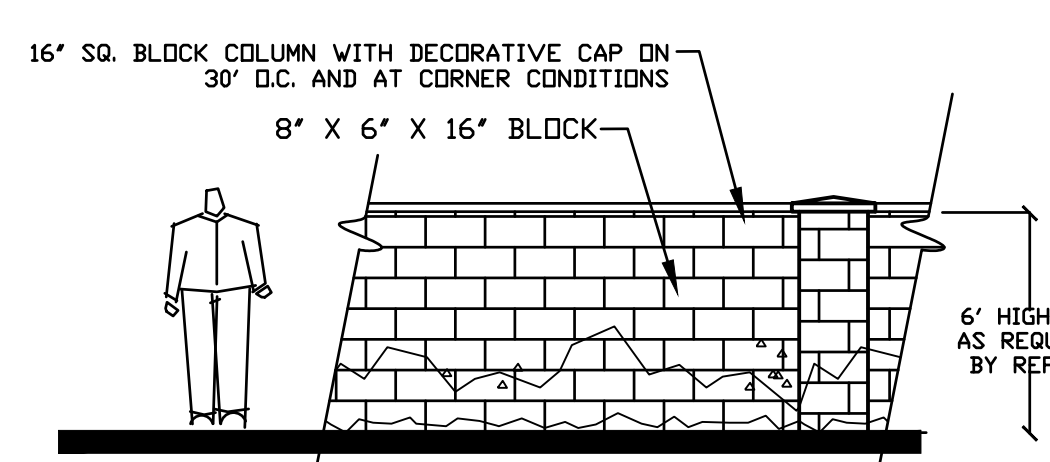
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MASONRY + GLASS VIEW FENCE & RADIANT HEAT WALL

NTS

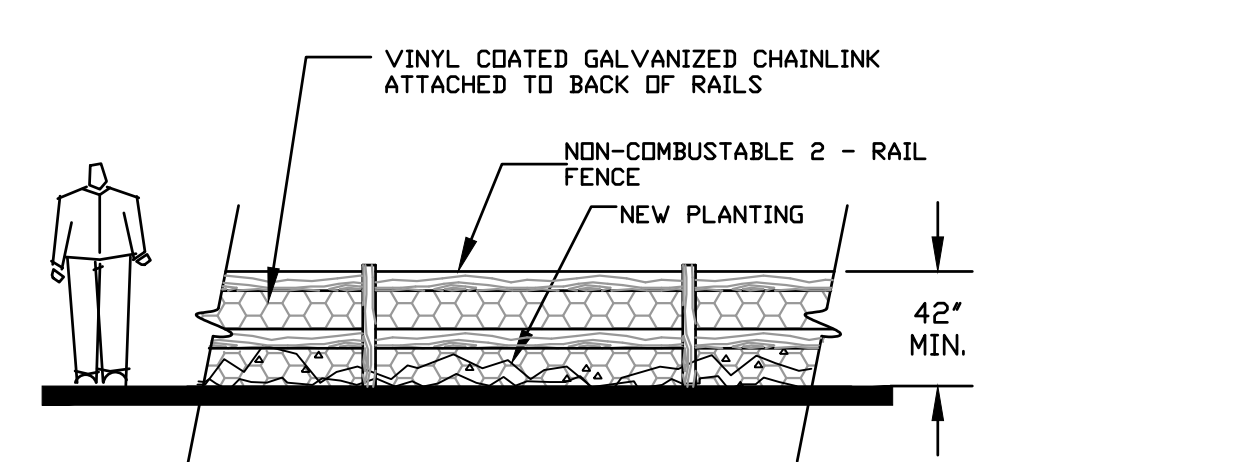
* REQUIRED RADIANT HEAT WALL SEE BRUSH MANAGEMENT PLAN



MASONRY WALL

NTS

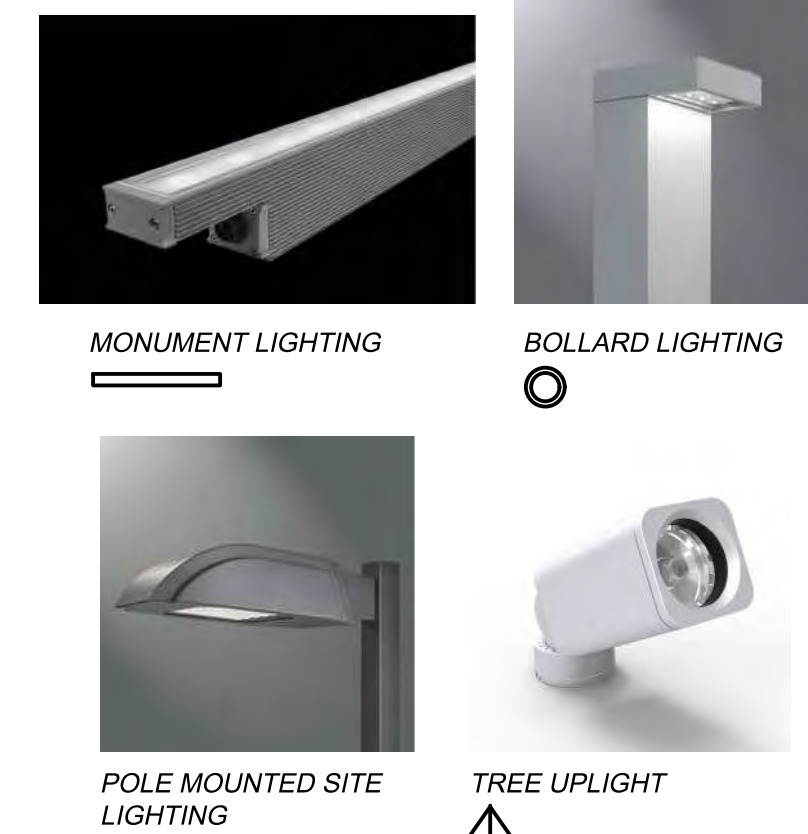
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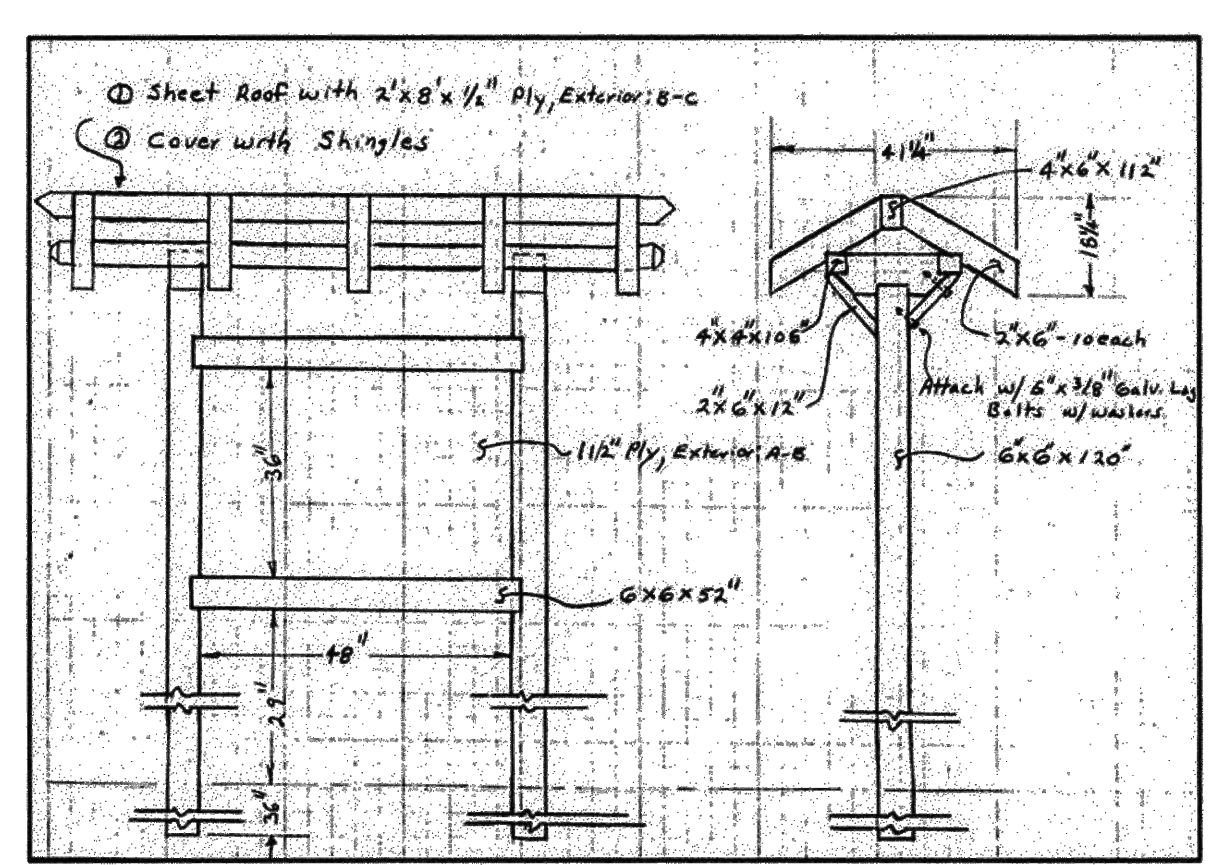
SPLIT 2 RAIL COMPOSITE FENCE W/ CHAINLINK

NTS

SYMBOL ON PLAN: [Symbol]

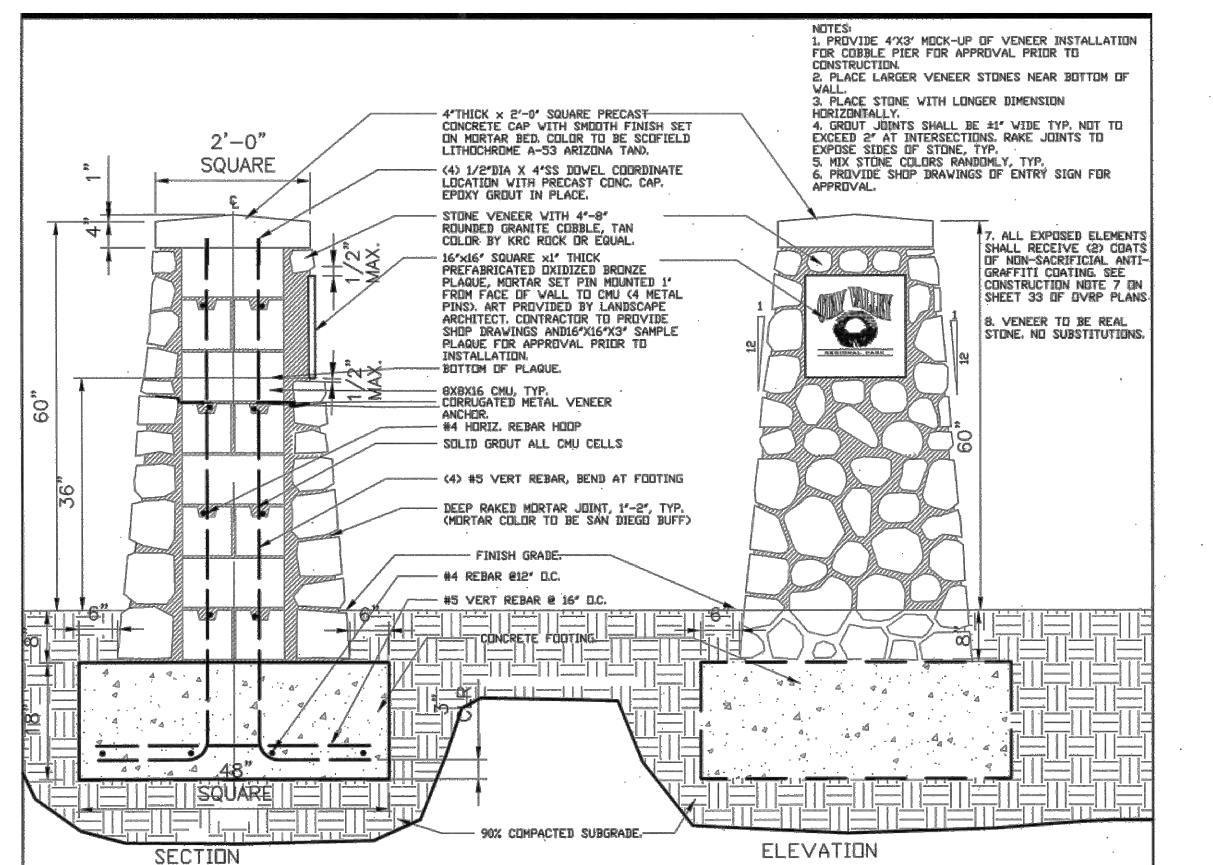


LIGHTING SAMPLES



OVRP KIOSK

NTS



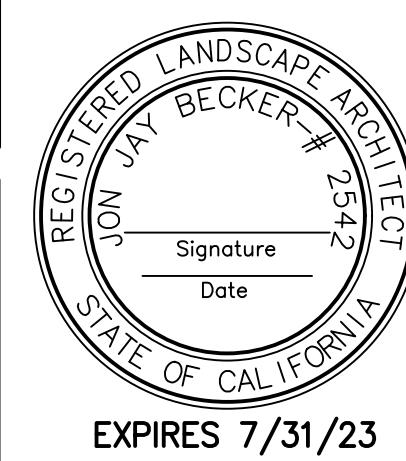
OVRP TRAIL SIGN

NTS

STREET TREE NOTE:
IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

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SIGNATURE _____ DATE _____



PREPARED BY:
ARCHITECT OF WORK
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701 B STREET, SUITE 800
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Planning | Landscape Architecture | Engineering | Survey

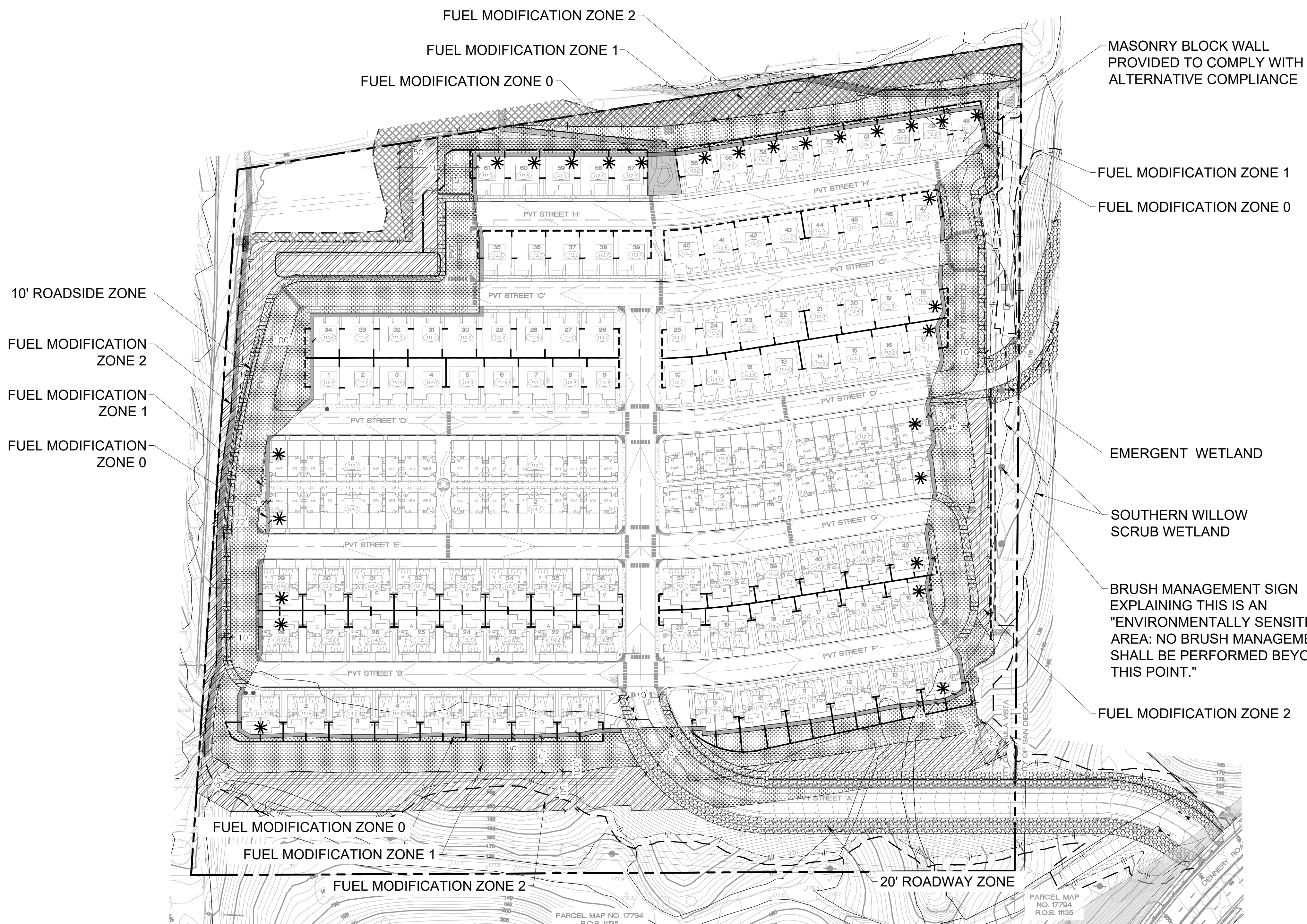
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NAME: _____	REVISION 12: _____
ADDRESS: _____	REVISION 11: _____
PHONE: _____	REVISION 10: _____
	REVISION 9: _____
	REVISION 8: _____
	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: _____
	REVISION 4: _____
	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: 5/12/2023

ORIGINAL DATE: 11/4/2022

SHEET TITLE: LANDSCAPE CONCEPT SECTIONS, ELEVATIONS, AND LEGENDS

DEP # _____ SHEET 16 OF 21

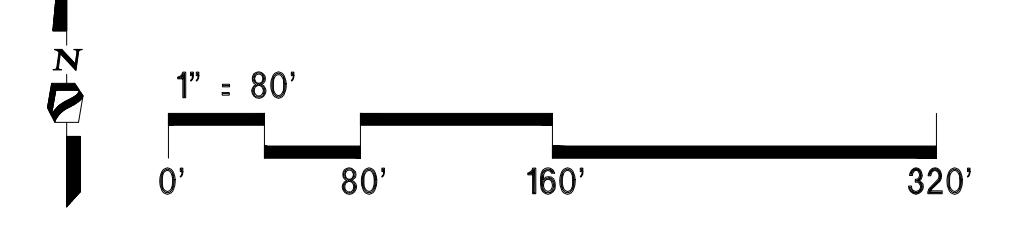


- NOTES:**
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND CITY OF CHULA VISTA LANDSCAPE REQUIREMENTS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - AN IRRIGATION SYSTEM (TEMPORARY AND PERMANENT) SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE TEMPORARY IRRIGATION SYSTEM WILL BE DISCONNECTED AFTER 2 GROWING SEASONS.
 - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED TO BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - ALL SLOPE REVEGETATION SHALL BE PLANTED AND TEMPORARY IRRIGATED IN ACCORDANCE TO THE STANDARDS REFERENCED AS SHOWN IN TABLE 142-04 F FOR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. ALL MANUFACTURED SLOPES SHALL BE PLANTED WITH ONE GALLON NATIVE TREES OR SHRUBS AT AN AVERAGE RATE OF ONE PER 900 SQUARE FEET. ALL CONTAINER STOCK SHALL BE PROVIDED WITH A SEPARATE TEMPORARY IRRIGATION SYSTEM. PLANTS USED FOR EROSION CONTROL ON DISTURBED SOIL AND SLOPES SHALL ACHIEVE 100% SOIL COVERAGE WITHIN TWO YEARS OF BEING INSTALLED.
 - THE HOMEOWNERS ASSOCIATION MAINTAINED LANDSCAPED AREAS SHALL HAVE A SEPARATE IRRIGATION SYSTEM WITH ITS OWN METER, CLOCK AND VALVES. ALL IRRIGATION SHALL BE INSTALLED PER CITY STANDARDS.
 - THERE SHALL BE NO IRRIGATION RUNOFF INTO THE ADJACENT NATURAL OPEN SPACE.
 - BRUSH MANAGEMENT SHALL BE IMPLEMENTED ACCORDING TO GUIDELINES SET FORTH IN THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND THE PROJECT-SPECIFIC GUIDELINES CONTAINED IN THE LONG-TERM MANAGEMENT AND MONITORING PLAN FOR THE ON-SITE WETLANDS AT THE NAKANO PROJECT (RECON 2023).

*** REQUIRED RADIANT HEAT WALL PLUS DUAL GLAZED / DUAL TEMPERED PANES**

ALTERNATIVE COMPLIANCE:
 -Buildings 1, 14-15, 28-29, 42 of the Duplex product, buildings 17-18, 47-61 of the Detached product, and buildings 1, 4-5, 8 of Multi Family product will have alternative compliance per Section 142.0412 Section 1. A radiant heat wall shall be provided as shown on the plans. In addition, the habitable structure shall be fire rated on the side with the Radiant Heat Wall.
 That is, the East side wall of buildings 17, 18, 47, 48 of the Detached product, buildings 4, 5 of the Multi Family product, buildings 14, 15, 42 of the Duplex product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.
 The West side walls of buildings 1, 8 of the Multi Family product, buildings 1, 28, 29 of the Duplex product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.
 The North side walls of buildings 48-61 of the Detached product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.

For all Alternative Compliance buildings, Zone One will be provided between non-combustible radiant heat wall and the habitable structure.

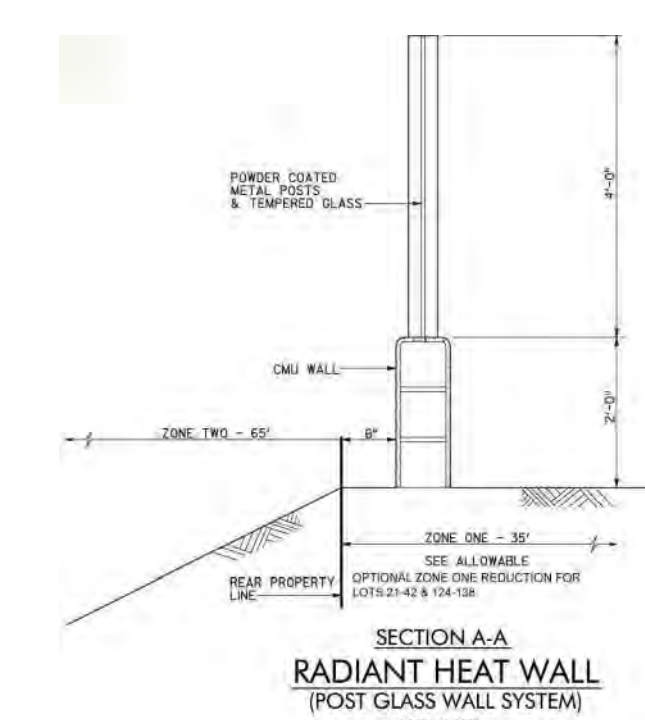


CITY OF CHULA VISTA FUEL MODIFICATION ZONE

FOR ANY ADDITIONAL INFORMATION SEE FIRE PROTECTION PLAN FROM DUDEK

CHULA VISTA FIRE DEPARTMENT (CVFD)
FUEL MODIFICATION WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE 0 WIDTH	5'
ZONE 1 WIDTH	45'
ZONE 2 WIDTH	50'



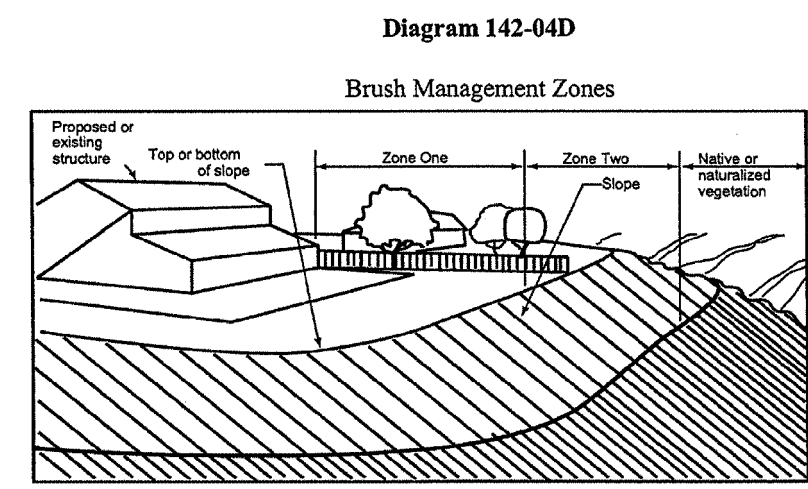
CITY OF SAN DIEGO BRUSH MANAGEMENT ZONE

(A) BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON THE FOLLOWING TYPES OF PREMISES:

- PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION
- EXCEPT FOR WETLANDS, ENVIRONMENTALLY SENSITIVE LANDS THAT ARE WITHIN 100 FEET OF A STRUCTURE, UNLESS THE FIRE CHIEF DEEMS BRUSH MANAGEMENT NECESSARY IN WETLANDS IN ACCORDANCE WITH SECTION 142.0412 (I), WHERE BRUSH MANAGEMENT IN WETLANDS IS DEEMED NECESSARY BY THE FIRE CHIEF, THAT BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS, SECTION 143.0110(C)(7).

(B) BRUSH MANAGEMENT ZONES, WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING TENTATIVE MAP APPROVAL BEFORE ALL STRUCTURES AND CONTIGUOUS AREA OF NATIVE OR NATURALIZED VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED "ZONE ONE" AND "ZONE TWO" AS SHOWN IN DIAGRAM 142-04D.

DIAGRAM 142-04D
BRUSH MANAGEMENT ZONES



- BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (4 HORIZONTAL FEET TO 1 VERTICAL FOOT) UNLESS THE PROPERTY THAT RECEIVED TENTATIVE MAP APPROVAL BEFORE NOVEMBER 15, 1989 OR AS MODIFIED PER THIS PLAN. HOWEVER, WITHIN THE COASTAL OVERLAY ZONE COASTAL DEVELOPMENT SHALL BE SUBJECT TO THE ENCROACHMENT LIMITATIONS SET FORTH IN SECTION 143.0142 (A)(4) OF THE ENVIRONMENTALLY SENSITIVE LANDS REGULATION.
- BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND SHALL CONSIST OF THINNED, NATIVE OR NON-IRRIGATED VEGETATION.

(C) EXCEPT AS PROVIDED IN SECTION 142.0412 (F) OR 142.0412 (I), THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET AND SHALL MEET THAT SHOWN IN TABLE 142-04H. BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASEMENT IS GRANTED BY AN ADJACENT PROPERTY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONE(S) ON THE ADJACENT PROPERTY IN PERPETUITY.

TABLE 142-04H
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE ONE WIDTH	35'
ZONE TWO WIDTH	65'

(D) BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

(E) WHERE ZONE ONE WIDTH IS REQUIRED ADJACENT TO THE MHPA OR WITHIN THE COASTAL OVERLAY ZONE, ANY OF THE FOLLOWING MODIFICATIONS TO DEVELOPMENT REGULATIONS OF THE LAND DEVELOPMENT CODE OR STANDARDS IN THE LAND DEVELOPMENT MANUAL ARE PERMITTED TO ACCOMMODATE THE INCREASE IN WIDTH:

- THE REQUIRED FRONT YARD SETBACK OF THE BASE ZONE MAY BE REDUCED BY 5 FEET.
- A SIDEWALK MAY BE ELIMINATED FROM ONE SIDE OF THE PUBLIC RIGHT-OF-WAY AND THE MINIMUM REQUIRED PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED BY 5 FEET.
- THE OVERALL MINIMUM PAVEMENT AND PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED IN ACCORDANCE WITH THE STREET DESIGN STANDARDS OF THE LAND DEVELOPMENT MANUAL.

(F) THE ZONE TWO WIDTHS MAY BE DECREASED BY 1-1/2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH UP TO A MAXIMUM REDUCTION OF 30 FEET OF ZONE TWO WIDTH.

(G) ZONE ONE REQUIREMENTS

- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
- PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

(H) ZONE TWO REQUIREMENTS

- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE REDUCED TO A HEIGHT OF 6 INCHES. NON-NATIVE PLANTS SHALL BE REDUCED IN HEIGHT BEFORE NATIVE PLANTS ARE REDUCED IN HEIGHT.
- WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.

(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

- ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
- NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF NATIVE TREES AND TREE FORM SHRUB MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
- ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
- WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
- ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS AND CONTROLLING WEEDS.
- EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

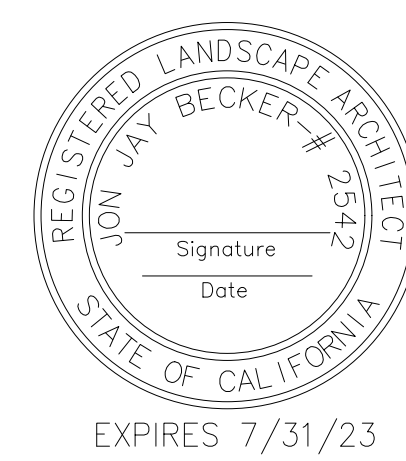
(I) THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:

- IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.0412 FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF LEVELS ONE, TWO, AND THREE;
- THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.0412, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL; AND
- THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.
- IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.
- FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.
- MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.
- ALL AMENITIES LOCATED WITHIN THE BRUSH MANAGEMENT ZONES WILL CONFORM TO THE BRUSH MANAGEMENT PLAN.

FUEL MODIFICATION ZONE

- 10' ROADSIDE ZONE
- 20' ROADSIDE ZONE
- FUEL MODIFICATION ZONE 0 (0' - 5', NON-COMBUSTIBLE)
THESE AREAS SHALL BE REGULARLY MAINTAINED BY THE HOME OWNERS & HOA ADJACENT TO THE STRUCTURE. PLANTING WILL CONSIST OF ORNAMENTAL LANDSCAPING WITH PERMANENT IRRIGATION.
- FUEL MODIFICATION ZONE 1 (5' - 50', PERMANENT IRRIGATION)
THESE AREAS SHALL BE REGULARLY MAINTAINED BY THE HOME OWNERS & HOA ADJACENT TO THE STRUCTURE. PLANTING WILL CONSIST OF ORNAMENTAL LANDSCAPING WITH PERMANENT IRRIGATION. THE NORTHERN SLOPE AREA SHALL PROVIDE PERMANENT BUBBLER IRRIGATION FOR THE PROPOSED NATIVE TREES. THE 10' WIDE PEDESTRIAN TRAIL WILL CONSIST OF DECOMPOSED GRANITE.
- FUEL MODIFICATION ZONE 2 (50' - 100', TEMPORARY IRRIGATION / THINNED VEGETATION)
HYDROSEED PLANTING SHALL BE TEMPORARILY IRRIGATED WITH AN OVERHEAD IRRIGATION SYSTEM UNTIL ESTABLISHED. ONLY NATIVE VEGETATION SHALL BE PLANTED OR HYDROSEEDING.

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 _____ REVISION 3: _____
 _____ REVISION 2: _____
 _____ REVISION 1: _____ 05/12/2023

PROJECT ADDRESS:
NORTHSIDE OF DENNERY RD BETWEEN
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
NAKANO

SHEET TITLE:
FUEL MODIFICATION PLAN

ORIGINAL DATE: 11/04/2022

SHEET 17 OF 20

DEP # _____

IRRIGATION DESIGN:
 ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE, RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY ABOVE GRADE IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES ASSOCIATED WITH PAD GRADING. TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED AUTOMATIC SMART CONTROL WITH RAIN SENSOR SHUTOFF DEVICE.

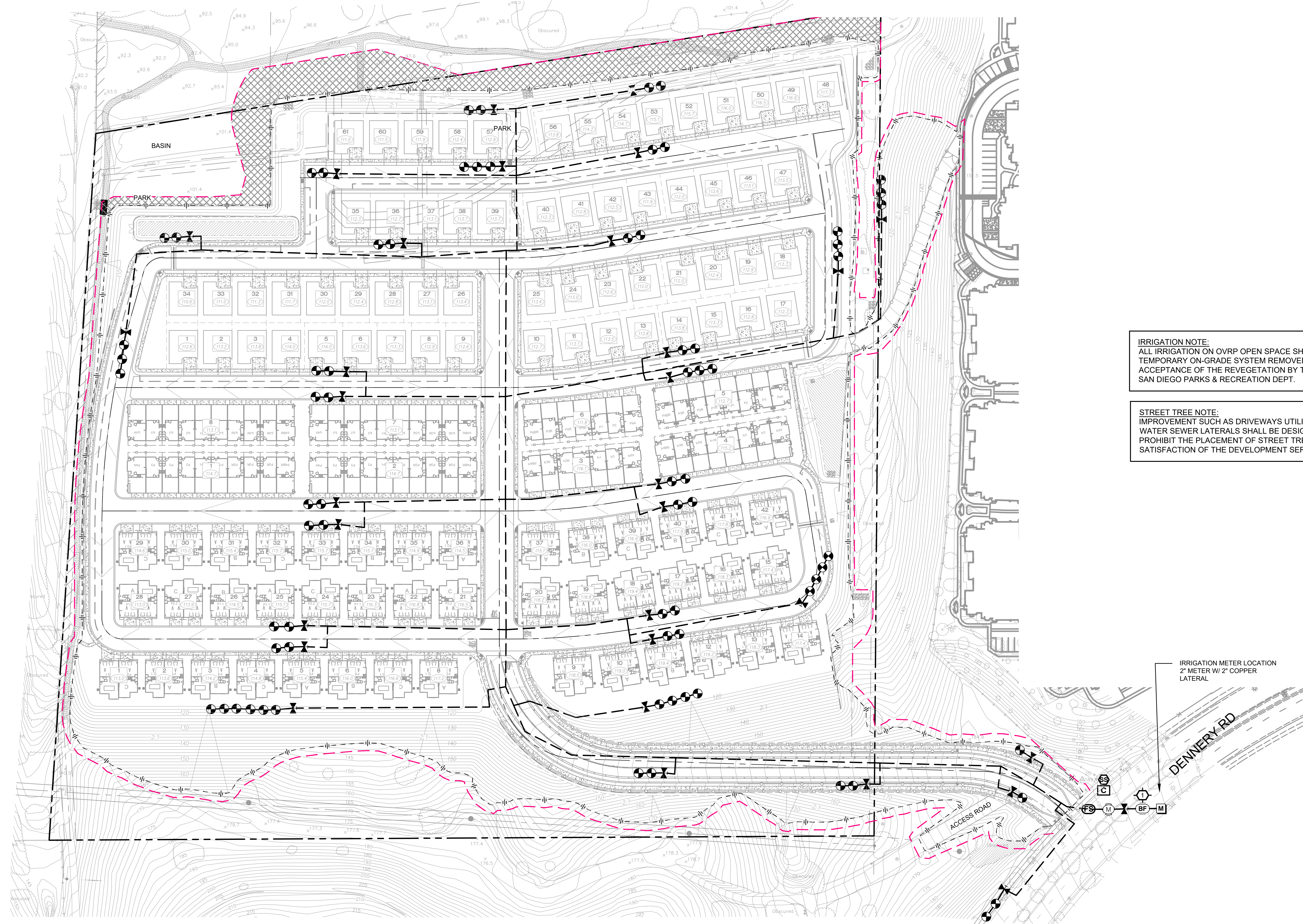
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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICV-G-R 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID, Purple Handle.
	HIT (Rain-Pro) BVS PVC Ball Valve, Slip Socket Connection, 1/2" (1.27cm) - 4" (10.16cm), same size as pipe. Place in a NDS 6" round valve box.
	Hunter ICV-G-R 2" 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID, Purple Handle.
	Fabco 825Y 2" Reduced Pressure Backflow Preventer
	Hunter PED-SS-A2C-225D-SS 225-Station decoder controller with one (3) A2C-D75 module in an outdoor stainless steel pedestal. Contractor to provide all needed decoders and surge suppression as recommended per manufacturer
	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	Badger Model IR-220P
	V.I.T. Products SBBC-225S Low profile, tube and wire construction smooth touch surface, stainless steel backflow enclosure. 23.5"L, 28"H, 17.75"W (59.69cm L, 71.12cm H, 45.08cm W).
	Water Meter 2" Nakano POC
	Irrigation Mainline: PVC Schedule 40

IRRIGATION NOTE:
 ALL IRRIGATION ON OVRP OPEN SPACE SHALL BE A TEMPORARY ON-GRADE SYSTEM REMOVED UPON ACCEPTANCE OF THE REVEGETATION BY THE CITY OF SAN DIEGO PARKS & RECREATION DEPT.

STREET TREE NOTE:
 IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

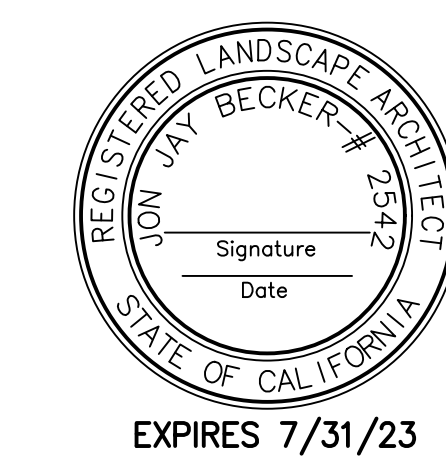


IRRIGATION METER LOCATION
 2" METER W/ 2" COPPER LATERAL

"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

SIGNATURE _____ DATE _____

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PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	REVISION 9: _____
PROJECT NAME: NAKANO	REVISION 8: _____
	REVISION 7: _____
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	REVISION 5: _____
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	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: 5/12/2023
	ORIGINAL DATE: 11/4/2022
SHEET TITLE: LANDSCAPE CONCEPT IRRIGATION PLAN	SHEET 18 OF 21
DEP # _____	

CONCEPTUAL IRRIGATION PLAN



MASONRY BLOCK WALL - SMOOTH SHOTBLAST



COMPOSITE WOOD SPLIT 2-RAIL FENCE



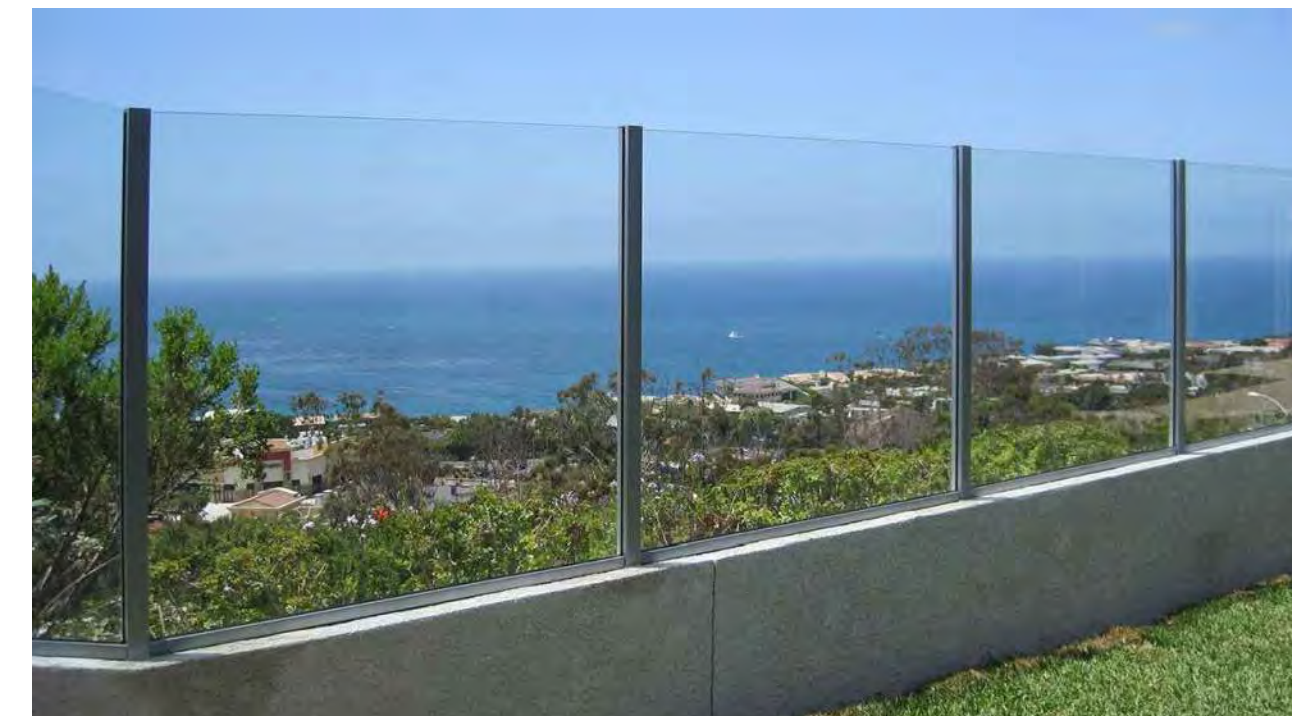
VINYL FENCING - 3' AND 6' TALL / CEDAR WOOD FENCING



POTENTIAL MONUMENT SIGN



SMOOTH CONCRETE WALL CAP



MASONRY AND GLASS VIEW FENCE



ADVENTURE PLAYGROUND (AGES 5-12) WITH BOULDER CLIMBER, LOG STEPPERS, AND LOG BALANCE BEAM



TOPCAST #3 - ACID ETCH CONCRETE FINISH



POTENTIAL OVERHEAD STRUCTURE - SHADE SAIL



PLAYGROUND EQUIPMENT (AGES 2-5) - SPRING RIDERS



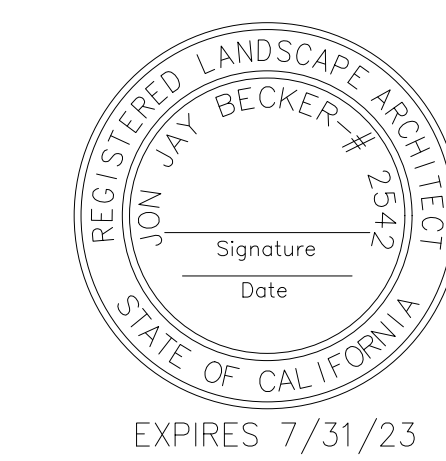
CONCRETE COLOR WITH TOPCAST FINISH / BROOM FINISH



ENHANCED PAVING



STEEL AND COMPOSITE WOOD BENCHES

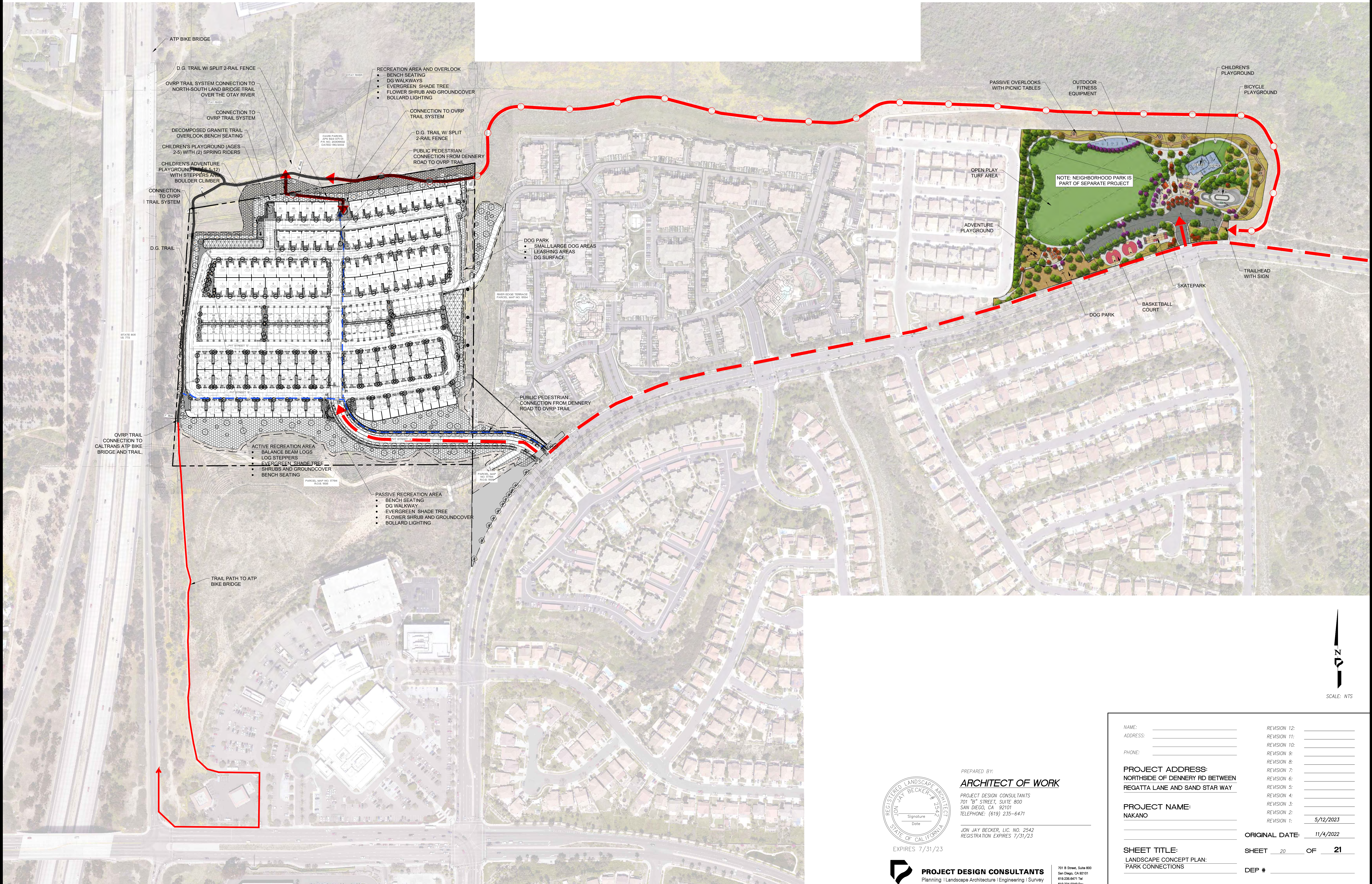


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PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	ORIGINAL DATE: <u>11/4/2022</u>
PROJECT NAME: NAKANO	SHEET <u>19</u> OF <u>21</u>
SHEET TITLE: LANDSCAPE CONCEPT IMAGES	DEP # _____



ATP BIKE BRIDGE

D.G. TRAIL W/ SPLIT 2-RAIL FENCE

OVRP TRAIL SYSTEM CONNECTION TO NORTH-SOUTH LAND BRIDGE TRAIL OVER THE OTAY RIVER

CONNECTION TO OVRP TRAIL SYSTEM

DECOMPOSED GRANITE TRAIL OVERLOOK BENCH SEATING

CHILDREN'S PLAYGROUND (AGES 2-5) WITH (2) SPRING RIDERS

CHILDREN'S ADVENTURE PLAYGROUND (AGES 6-12) WITH STEPPERS AND BOULDER CLIMBER

CONNECTION TO OVRP TRAIL SYSTEM

D.G. TRAIL

OVRP TRAIL CONNECTION TO CALTRANS ATP BIKE BRIDGE AND TRAIL

- RECREATION AREA AND OVERLOOK
- BENCH SEATING
 - DG WALKWAYS
 - EVERGREEN SHADE TREE
 - FLOWER SHRUB AND GROUND COVER
 - BOLLARD LIGHTING

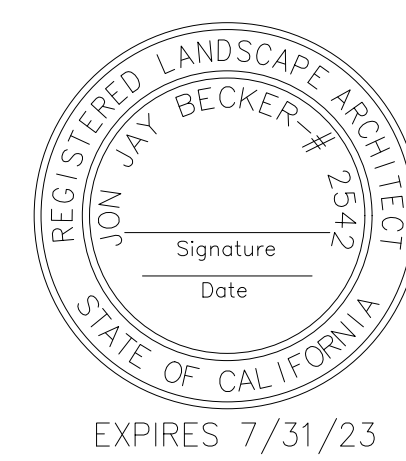
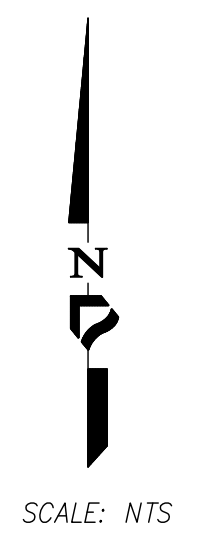
- ACTIVE RECREATION AREA
- BALANCE BEAM LOGS
 - LOG STEPPERS
 - EVERGREEN SHADE TREE
 - SHRUBS AND GROUND COVER
 - BENCH SEATING

- PASSIVE RECREATION AREA
- BENCH SEATING
 - DG WALKWAY
 - EVERGREEN SHADE TREE
 - FLOWER SHRUB AND GROUND COVER
 - BOLLARD LIGHTING

- DOG PARK
- SMALL/LARGE DOG AREAS
 - LEASHING AREAS
 - DG SURFACE

- PASSIVE OVERLOOKS WITH PICNIC TABLES
- OUTDOOR FITNESS EQUIPMENT
- CHILDREN'S PLAYGROUND
- BICYCLE PLAYGROUND

NOTE: NEIGHBORHOOD PARK IS PART OF SEPARATE PROJECT



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PROJECT ADDRESS:
 NORTHSIDE OF DENNERY RD BETWEEN
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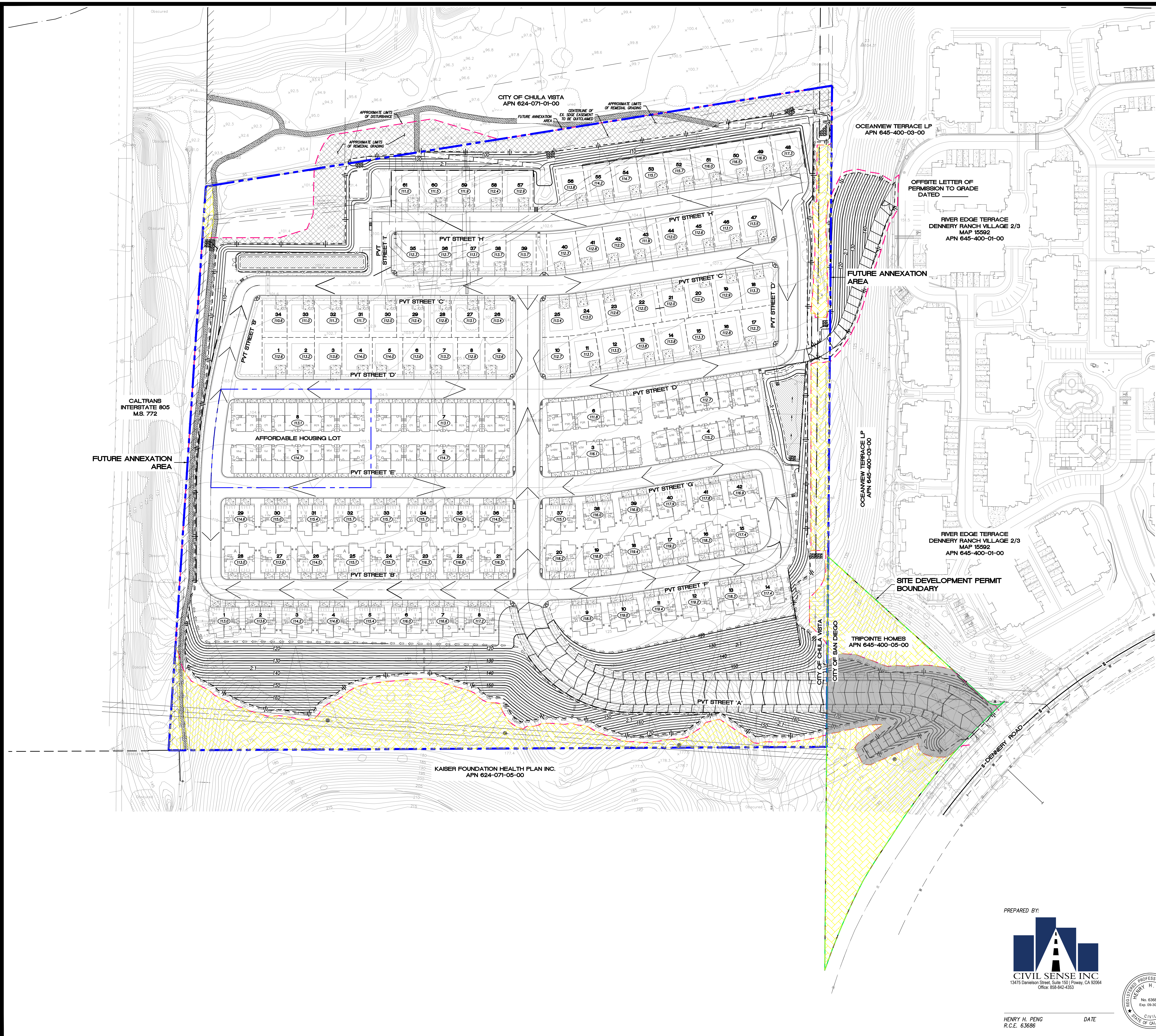
PROJECT NAME:
 NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
 LANDSCAPE CONCEPT PLAN:
 PARK CONNECTIONS

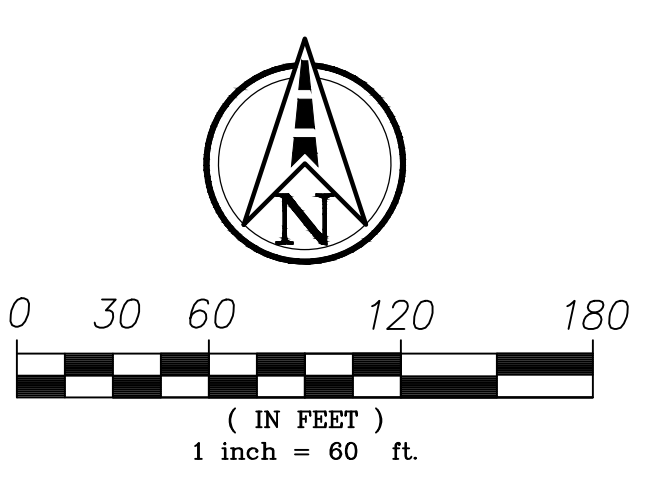
SHEET 20 OF 21

DEP # _____



LEGEND

- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY
- PROPOSED AFFORDABLE HOUSING LOT LINE
- PROPOSED COVENANT OF EASEMENT



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	REVISION 4: _____
	REVISION 3: _____
	REVISION 2: 10/2/2023
	REVISION 1: 5/12/2023

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PROJECT NAME:
NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
COVENANT OF EASEMENT

SHEET **21** OF **21**

DEP # _____

PREPARED BY:

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 13475 Danielson Street, Suite 150 | Poway, CA 92064
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HENRY H. PENG DATE _____
 R.C.E. 63686

