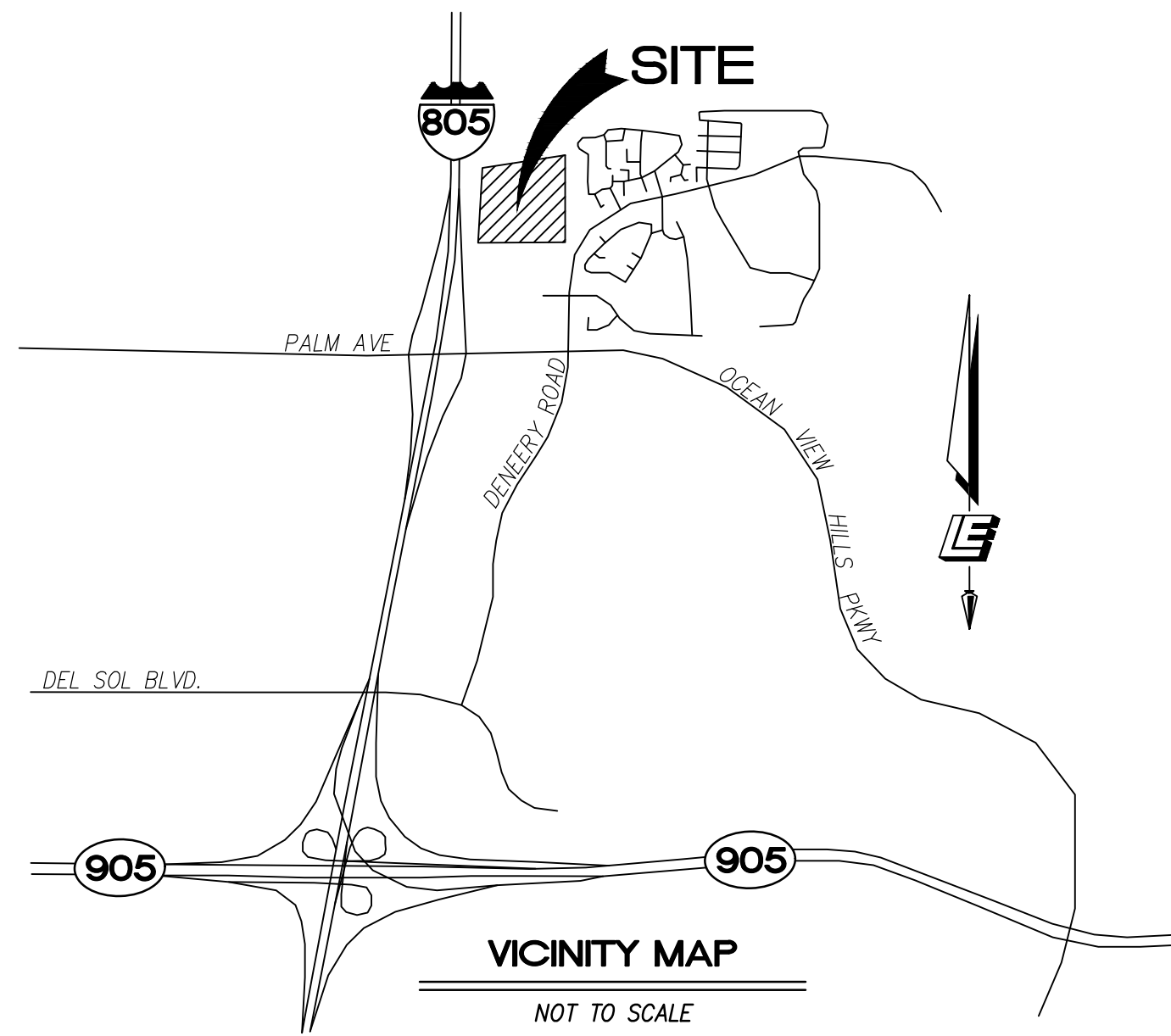


NAKANO ANNEXATION AGREEMENT/UNCODIFIED ORDINANCE SITE DEVELOPMENT PERMIT PMT-3198048 REZONE PMT-3198047 EASEMENT VACATION PMT-3203537 COMMUNITY PLAN AMENDMENT PMT-3198046 CITY OF SAN DIEGO



OWNER / DEVELOPER

TRI POINTE HOMES 13520 EVENING CREEK DRIVE NORTH, SUITE 300 SAN DIEGO, CA 92128 PHONE (858) 794-2500 FAX (858) 794-2599

CIVIL ENGINEER

LEPPERT ENGINEERING CORPORATION 5190 GOVERNOR DRIVE, SUITE 205 SAN DIEGO, CA 92122 PHONE: (858) 597-2001

LANDSCAPE ARCHITECT

PROJECT DESIGN CONSULTANTS 701 B STREET SAN DIEGO, CA 92101 PHONE: (619) 235-6471

PUBLIC AFFAIRS

SOUTHWEST STRATEGIES, LLC 401 B STREET, SUITE 150 SAN DIEGO, CA 92101 PHONE (858) 541-7800 FAX (858) 541-7863

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CHULA VISTA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG THE SOUTH LINE THEREOF SOUTH 89°42'04" WEST, 1069.30 FEET TO THE EASTERLY LINE OF FREEWAY DESCRIBED IN FINAL ORDER OF CONDEMATION RECORDED JULY 22, 1968 AS FILE NO. 123488 OFFICIAL RECORDS; THENCE ALONG SAID EASTERLY LINE NORTH 3°47'10" EAST, 918.10 FEET; THENCE NORTH 80°52'26" EAST, 1030.62 FEET TO THE EAST LINE OF SAID SECTION; THENCE ALONG SAID EAST LINE SOUTH 0°28'33" WEST, 1074.02 FEET TO THE POINT OF BEGINNING.

PARCEL 2: LOT 'C' OF DENNEY RANCH VILLAGE 2/3 ACCORDING TO MAP THEREOF NO. 15592, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, AUGUST 15, 2007.

GENERAL NOTES

- 1. RESIDENTIAL UNITS: 215 (UP TO 221 MAX)
2. TOTAL AREA: 25.04 ACRES GROSS (23.77 AC LOT 1 & 1.27 AC PORTIONS OF LOT 'A' AND 'C' MAP 15592)
3. GAS AND ELECTRIC: SAN DIEGO GAS AND ELECTRIC
4. TELEPHONE: AT&T
5. CABLE TELEVISION: COX
6. SEWER AND WATER: PRIVATE
7. DRAINAGE SYSTEM: PRIVATE
8. FIRE: PRIVATE
9. SCHOOL DISTRICT: SWEETWATER UNION HIGH SCHOOL DISTRICT CHULA VISTA ELEMENTARY SCHOOL DISTRICT
12. ALL PROPOSED FILL SLOPES ARE 2:1 MAX AND CUT SLOPES ARE 2:1 MAX
13. GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION ON FINAL DESIGN.

ASSESSOR'S PARCEL NUMBER

624-071-02 AND 645-400-05

BENCHMARK

FOR HORIZONTAL CONTROL: FOR VERTICAL CONTROL: STATION NAME: 1389 GAS 1389 GAS CALIFORNIA COORDINATE INDEX (NAD83), N: 1790280.53, E: 6325646.40 ELEVATION: 533.47 FT. DATUM (MSL) REFERENCE: CITY OF SAN DIEGO GPS CONTROL MONUMENT DATED: AUGUST 1992

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, 1983, ZONE 6, EPOCH 1995, GRID BEARING BETWEEN GPS STATION 210 AND GPS STATION 1465 PER RECORD OF SURVEY MAP NO. 14492.

I.E.: SOUTH 57°37'24" EAST

DISTANCES SHOWN HEREON ARE GRID DISTANCES TO OBTAIN GROUND LEVEL DISTANCES, MULTIPLY DISTANCE BY 1/1.0000252. QUOTED BEARINGS FROM REFERENCE MAPS/DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS DEVELOPMENT PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISION OF SECTION 66473.1 OF THE STATE SUBDIVISION MAP ACT.

DEVELOPMENT SUMMARY

- 1. SUMMARY OF REQUEST: ANNEXATION AGREEMENT/UNCODIFIED ORDINANCE FOR AREAS OUTSIDE CITY OF SAN DIEGO, GENERAL PLAN AMENDMENT, COMMUNITY PLAN AMENDMENT (PMT-3198046), MSCP SUBAREA PLAN AMENDMENT, PREZONE (PMT-3198047), EASEMENT VACATION (PMT-3203537) AND SITE DEVELOPMENT PERMIT (PMT-3198048) FOR ACCESS ROADS FOR A 215 MULTI-FAMILY DWELLING UNIT CONDOMINIUM PROJECT (UP TO 221 MAX) THAT WILL BE ANNEXED INTO THE CITY OF SAN DIEGO.
2. STREET ADDRESS: NORTH-SIDE OF DENNEY RANCH ROAD BETWEEN REGATTA LANE AND SAND STAR WAY
3. SITE AREA: TOTAL SITE AREA (GROSS): 25.04 ACRES (1,090,742 SF) 23.77 ACRES (LOT 1) & 1.27 ACRES (PORTIONS OF LOTS 'A' AND 'C' MAP 15592) NET SITE AREA: 21.19 ACRES (923,242 SF)
4. ZONING: EXISTING: N/A (LOT 1) AND RM-2-4 (LOT 'C' MAP 15592) PROPOSED: RM-1-1 (LOT 1) AND RM-2-4 (LOT 'C' MAP 15592)
5. COMMUNITY PLANNING AREA: OTAY MESA
6. COVERAGE DATA: TOTAL LANDSCAPE / OPEN SPACE AREA: 502,496 SF TOTAL HARDSCAPE / PAVED AREA: 283,501 SF FLOOR AREA RATIO PER ZONE (FAR): 1.25 GROSS FLOOR AREA (GFA): 473,000 SF MAXIMUM PERMITTED BUILDING COVERAGE: 60 PERCENT
7. DENSITY: MAXIMUM DWELLING UNITS ALLOWED PER ZONE: 1 DU/3,000 S.F. OF LOT AREA OR 345 DU MAX NUMBER OF EXISTING UNITS TO REMAIN ONSITE: 0 NUMBER OF PROPOSED DWELLING UNITS ONSITE: 215 DU (UP TO 221 MAX)
8. YARD / SETBACK: REQUIRED: MIN. FRONT SETBACK 15 FEET STANDARD FRONT SETBACK 20 FEET MIN. SIDE SETBACK 5 FEET OR 10% OF PREMISES WIDTH (100 FEET) MIN. SIDE SETBACK 10 FEET STANDARD SIDE SETBACK 10 FEET MIN. STREET SIDE SETBACK N/A MIN. REAR SETBACK 15 FEET PROPOSED: MIN. FRONT SETBACK 15 FEET STANDARD FRONT SETBACK 20 FEET MIN. SIDE SETBACK 10 FEET STANDARD SIDE SETBACK 10 FEET MIN. STREET SIDE SETBACK N/A MIN. REAR SETBACK 15 FEET
9. MAXIMUM STRUCTURE HEIGHT: REQUIRED: 30 FEET PROPOSED: 30 FEET

SHEET INDEX

Table with 2 columns: SHEET NO. and DESCRIPTION. Lists sheets 1 through 21 including Cover Sheet, Existing Topo and Easements, Slope Analysis, Biology Map, Grading and Storm Drain, Utilities Plan, Site Plan, Site Cross Sections, Earthwork Exhibit, Fire - Hydrant Plan and Notes, Fire - Apparatus Access Paths and Notes, Fire - Notes, Private Exterior and Common Open Space, Emergency Fire Access Road - Plan and Profile, Landscape Concept Plan and Notes, Landscape Concept Plan Enlargements and Plant Legend, Landscape Concept Sections, Elevations and Legend, Fuel Modification Plan, Landscape Concept Irrigation Plan, Landscape Concept Images, and Landscape Concept Plan: Park Connections Covenant of Easement.

GRADING

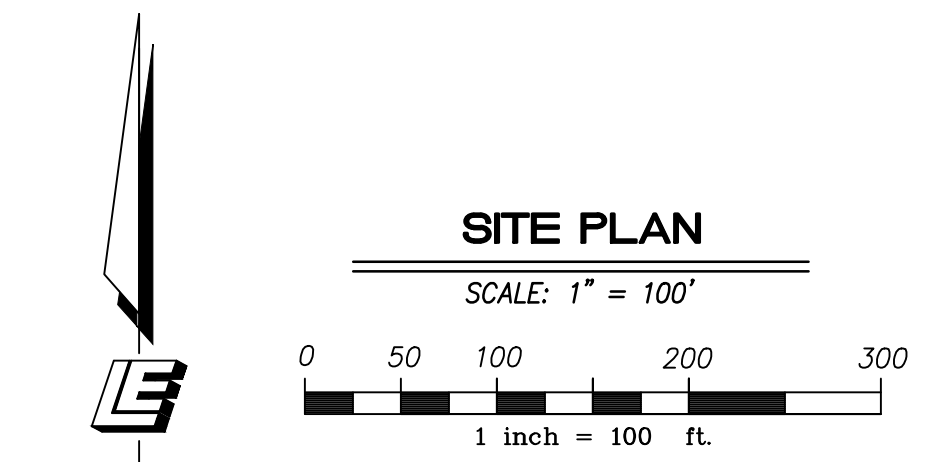
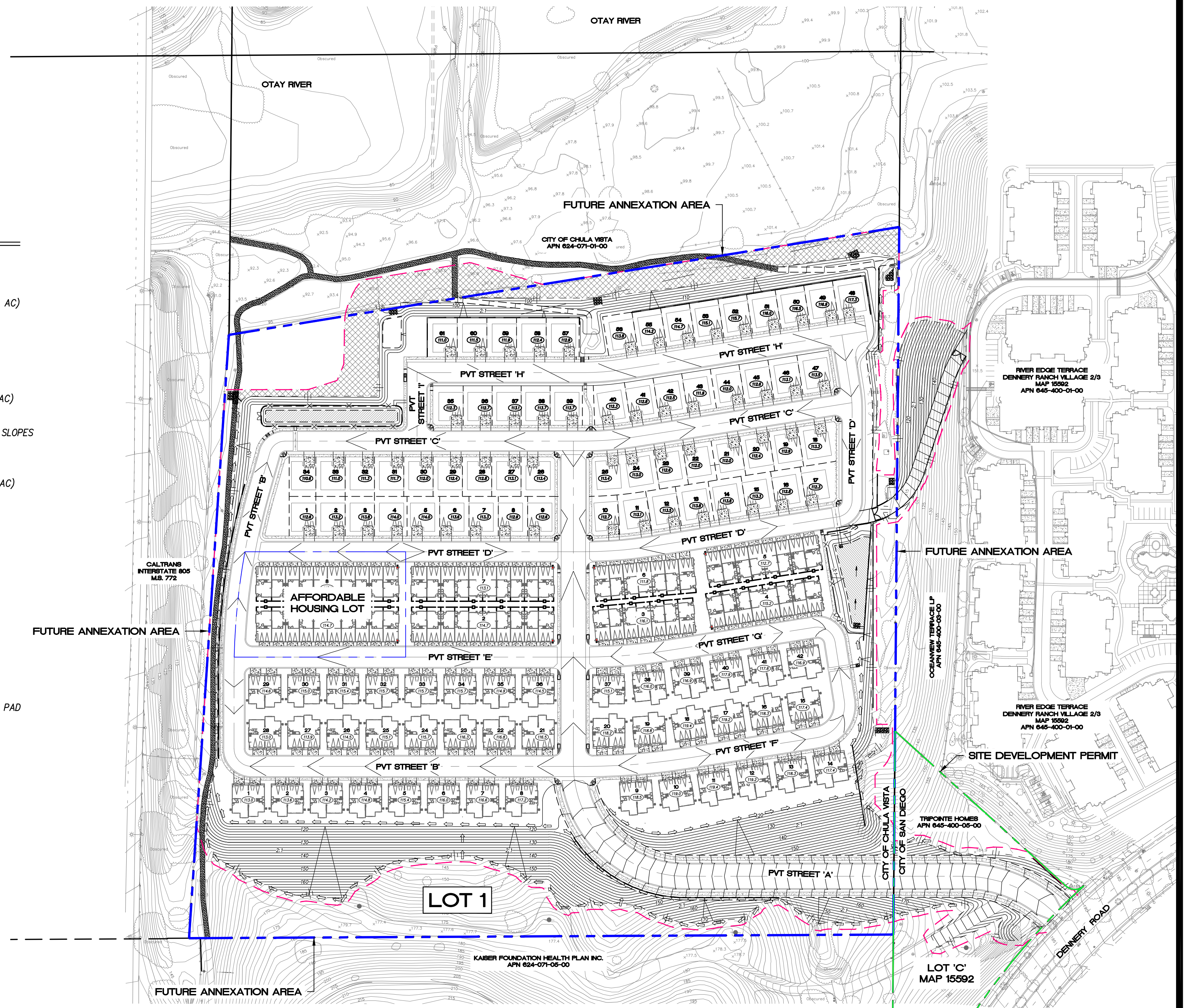
- 1. TOTAL AMOUNT OF SITE TO BE GRADED: 21.19 ACRES (INCLUDING OFFSITE GRADING)
2. PERCENTAGE OF TOTAL SITE GRADED: 84.6% (21.19 AC / 25.04 AC)
3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 4.06 ACRES
4. PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 11.0% (2.76 AC / 25.04 AC) NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
5. PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 16.2% (4.06 AC / 25.04 AC)
6. AMOUNT OF CUT: 110,400 CUBIC YARDS
7. AMOUNT OF FILL: 133,000 CUBIC YARDS
8. MAXIMUM HEIGHT OF FILL SLOPE(S): 21 FEET MAX. 2:1 SLOPE RATIO
9. MAXIMUM HEIGHT OF CUT SLOPE(S): 19 FEET MAX. 2:1 SLOPE RATIO
10. AMOUNT OF IMPORT SOIL: 22,600 CUBIC YARDS
11. RETAINING WALLS: QUANTITY: 8 MAX. LENGTH: 419 FEET MAX. HEIGHT: 24 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.

REQUESTED DEVIATIONS

Table with 5 columns: MUNICIPAL CODE REGULATION, SDMC LANGUAGE, REQUIRED, PROPOSED DEVIATION, REQUESTED PERMIT. Shows deviations for sideyard setbacks and retaining wall height.

Table with 3 columns: LOCATION, REQUIRED, PROPOSED DEVIATION. Shows deviations for retaining walls 1 and 2.



SITE DEVELOPMENT PERMIT

Table with 2 columns: NAME, ADDRESS, PHONE, PROJECT ADDRESS, PROJECT NAME. Includes contact information for Leppert Engineering Corporation and project details for NAKANO.

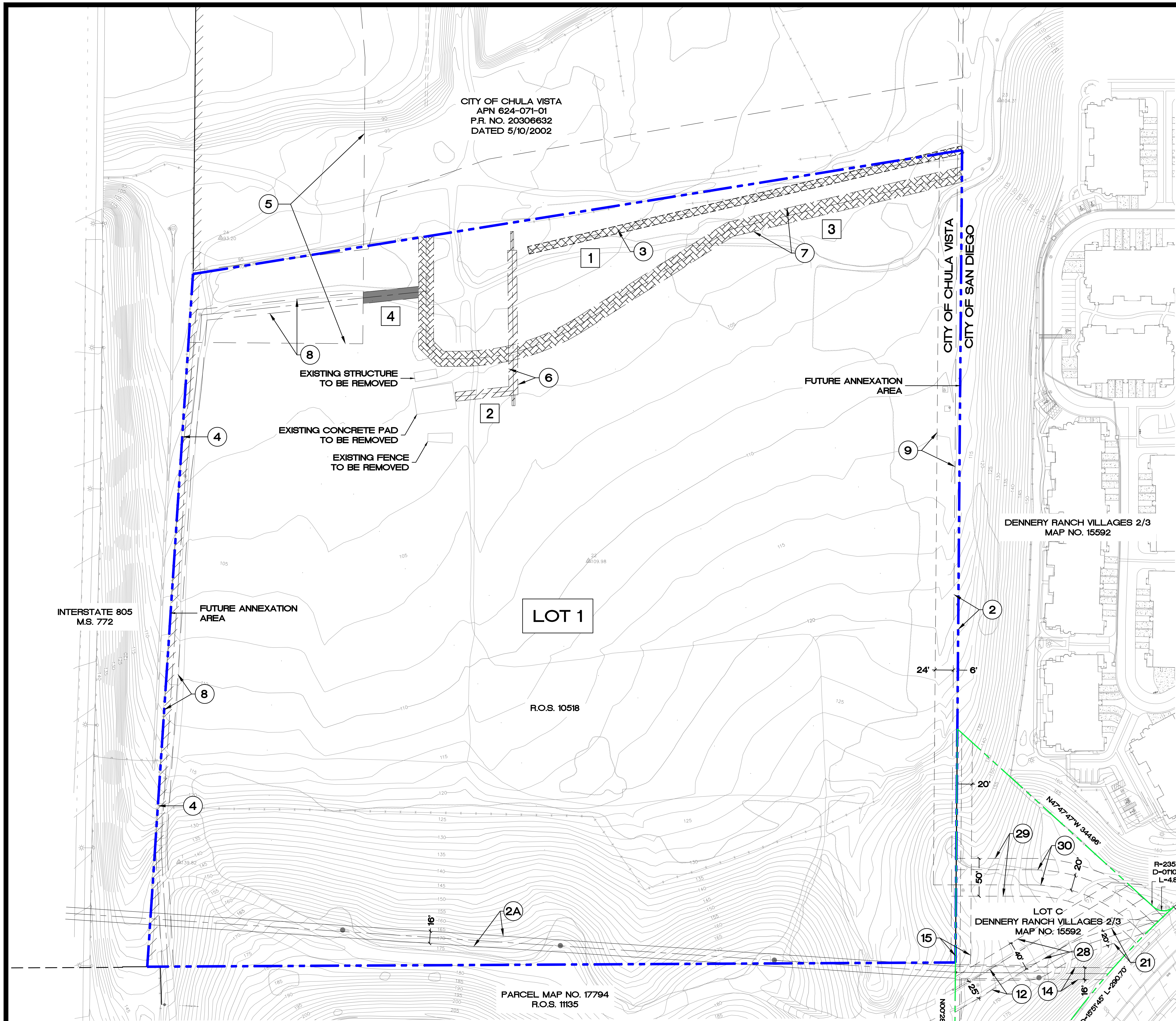
Table with 2 columns: ORIGINAL DATE, SHEET, DEP #. Shows original date as 11/4/2022, sheet 1 of 21, and DEP #.

OWNER / DEVELOPER: tri pointe HOMES 13520 EVENING CREEK DRIVE NORTH, SUITE 300 SAN DIEGO, CA 92128 TEL: (858) 794-2500 FAX: (858) 794-2599

PREPARED BY: Leppert Engineering CORPORATION 5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848 Phone: (858) 597-2001 Fax: (858) 597-2009

MICHAEL C. TAYLOR DIVISION PRESIDENT

JOHN D. LEPPERT R.C.E. 26283



**EASEMENT INFORMATION (CONT):**

- 11 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS  
 RECORDED: NOVEMBER 20, 1928 IN BOOK 1561, PAGE 8 DEEDS  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: CALIFORNIA WATER AND TELEPHONE COMPANY  
 PURPOSE: WATERLINES  
 RECORDED: SEPTEMBER 22, 1952 IN BOOK 4600, PAGE 341 O.R.  
 AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.  
 PORTION OF SAID EASEMENT ELIMINATED BY A RESOLUTION, RECORDED NOVEMBER 5, 2007 AS INSTRUMENT NO. 0702502 O.R.
- 13 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: WATERLINES  
 RECORDED: MARCH 10, 1953 IN BOOK 4778, PAGE 308, MARCH 11, 1982 AS INSTRUMENT NO. 82-66756 AND JULY 16, 1982 AS INSTRUMENT NO. 82-218218, ALL OF O.R.  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 14 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS  
 RECORDED: SEPTEMBER 24, 1954 AS INSTRUMENT NO. 127523 IN BOOK 5374, PAGE 490 OFFICIAL RECORDS  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 15 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: OTAY MUNICIPAL WATER DISTRICT  
 PURPOSE: WATER PIPELINES AND/OR MAINS  
 RECORDED: FEBRUARY 20, 1975 AS INSTRUMENT NO. 75-38986 O.R.  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 21 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS  
 RECORDED DATE: NOVEMBER 10, 1998 AS INSTRUMENT NO. 1998-0733300 O.R.  
 AFFECTS: THE ROUTE THEREOF AFFECT A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.  
 A JOINT USE AGREEMENT RECORDED AUGUST 19, 2009 AS FILE NO. 2009-0465103.
- 23 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: PACIFIC BELL  
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS  
 RECORDED DATE: OCTOBER 26, 1999 AS INSTRUMENT NO. 1999-0714876 O.R.  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 26 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION  
 PURPOSE: WATER FACILITIES  
 RECORDED: SEPTEMBER 1, 2005 AS INSTRUMENT NO. 2005-0758568 O.R.  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 29 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: OTAY WATER DISTRICT  
 PURPOSE: TEMPORARY CONSTRUCTION EASEMENT  
 RECORDED: SEPTEMBER 22, 2005 AS INSTRUMENT NO. 2005-0820903 O.R.  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 30 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: OTAY WATER DISTRICT  
 PURPOSE: WATER  
 RECORDED: SEPTEMBER 22, 2005 AS INSTRUMENT NO. 2005-0820904 O.R.  
 AFFECTS: LOT C AS SHOWN ON MAP 15592
- 33 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID MAP NO. 15592.  
 PURPOSE: OPEN SPACE  
 AFFECTS: LOT C AS SHOWN ON MAP 15592

**LEGEND**

- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY/PROPERTY LINE
- EASEMENT LINE
- EASEMENT NOTE NUMBER
- EASEMENT VACATION NUMBER
- INDICATES ADJUTER'S RIGHT OF ACCESS RELINQUISHED PER DOCUMENT RECORDED JULY 22, 1968 AS DOC. NO. 123488, O.R.
- DIRECTION OF WATER FLOW

**TOPOGRAPHY SOURCE**

PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 01/17/2018  
 DESCRIPTION: SOUTHEAST BRASS PLUG  
 LOCATION: INTERSECTION OF OCEANVIEW HILLS PARKWAY AND SEA FIRE POINT  
 REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1487 17636  
 ELEVATION: 522.389 FT MSL NGVD-29

**BENCHMARK**

DESCRIPTION: CENTERLINE CONTROL MONUMENT  
 LOCATION: INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD  
 REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1489 17701  
 ELEVATION: 504.569 FT. MSL  
 DATUM: NGVD-29

**CONDOMINIUM NOTE**

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS IS 221.

**MAPPING NOTES**

1. A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.
2. PRIOR TO THE RECORDATION OF THE FINAL MAP, TAXES MUST BE PAID ON THIS PROPERTY PURSUANT TO SUBDIVISION MAP ACT SECTION 66492, TO SATISFY THIS CONDITION, A TAX CERTIFICATE STATING THAT THERE ARE NO UNPAID LIEN CONDITIONS AGAINST THE SUBDIVISION MUST BE RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER.  
 IF A TAX BOND IS REQUIRED AS INDICATED IN THE TAX CERTIFICATE, ENSURE THAT IT IS PAID OR POSTED AT THE COUNTY CLERK OF THE BOARD OF SUPERVISORS OFFICE ALONG WITH THE ASSOCIATED \$34.00 COMPLIANCE FEE TO AVOID DELAYING THE RECORDATION OF THE FINAL MAP.
3. ALL SUBDIVISION MAPS IN THE CITY OF SAN DIEGO ARE REQUIRED TO BE TIED TO THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 6 PURSUANT TO SECTION 8801 THROUGH 8819 OF THE CALIFORNIA PUBLIC RESOURCES CODE.
4. THE FINAL MAP SHALL:
  - a. USE THE CALIFORNIA COORDINATE SYSTEM FOR ITS "BASIS OF BEARINGS" AND EXPRESS ALL MEASURED AND CALCULATED BEARING VALUES IN TERMS OF SAID SYSTEM. THE ANGLE OF GRID DIVERGENCE FROM A TRUE MERIDIAN (THETA OR MAPPING ANGLE) AND THE NORTH POINT OF SAID MAP SHALL APPEAR ON EACH SHEET THEREOF. ESTABLISHMENT OF SAID BASIS OF BEARINGS MAY BE BY USE OF EXISTING HORIZONTAL CONTROL STATIONS OR ASTRONOMIC OBSERVATIONS.
  - b. SHOW TWO MEASURED TIES FROM THE BOUNDARY OF THE MAP TO EXISTING HORIZONTAL CONTROL STATIONS HAVING CALIFORNIA COORDINATE VALUES OF FIRST ORDER ACCURACY. THESE TIE LINES TO THE EXISTING CONTROL SHALL BE SHOWN IN RELATION TO THE CALIFORNIA COORDINATE SYSTEM (I.E., GRID BEARINGS AND GRID DISTANCES). ALL OTHER DISTANCES SHOWN ON THE MAP ARE TO BE SHOWN AS GROUND DISTANCES. A COMBINED FACTOR FOR CONVERSION OF GRID-TO-GROUND SHALL BE SHOWN ON THE MAP.
5. THE FINAL MAP SHALL BE BASED ON FIELD SURVEY AND ALL LOT CORNERS MUST BE MARKED WITH DURABLE SURVEY MONUMENTS PURSUANT TO SECTION 144.031(D) OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES AND SUBDIVISION MAP ACT SECTION 66495.  
 ALL SURVEY MONUMENTS SHALL BE SET PRIOR TO THE RECORDATION OF THE FINAL MAP, UNLESS THE SETTING OF MONUMENTS IS DEEMED IMPRACTICAL DUE TO THE PROPOSED IMPROVEMENTS AND/OR GRADING ASSOCIATED WITH THE PROJECT, IN WHICH CASE, DELAYED MONUMENTATION MAY BE APPLIED ON THE FINAL MAP IN ACCORDANCE WITH SECTION 144.0130 OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES.

**EASEMENTS (TO BE VACATED):**

- 1 EASEMENT TO THE SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES. RECORDED OCTOBER 19, 1948 IN BOOK 2985 PAGE 325, O.R.
- 2 EASEMENT TO THE SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES. RECORDED APRIL 1, 1974 AS INSTRUMENT NO. 74-080792, O.R.
- 3 EASEMENT TO THE CITY OF SAN DIEGO FOR SEWER. RECORDED APRIL 10, 1985 AS INSTRUMENT NO. 85-121724, O.R.
- 4 PORTION OF EASEMENT TO THE CITY OF SAN DIEGO FOR SEWER, RECORDED ON MAY 18, 1995 AS INSTRUMENT NO. 1995-0209876, O.R.

**VACATION STATEMENT**

THE EASEMENTS SHOWN ON THE TENTATIVE MAP EXHIBIT WILL BE VACATED PURSUANT TO SECTION 66434(G) OF THE SUBDIVISION MAP ACT.

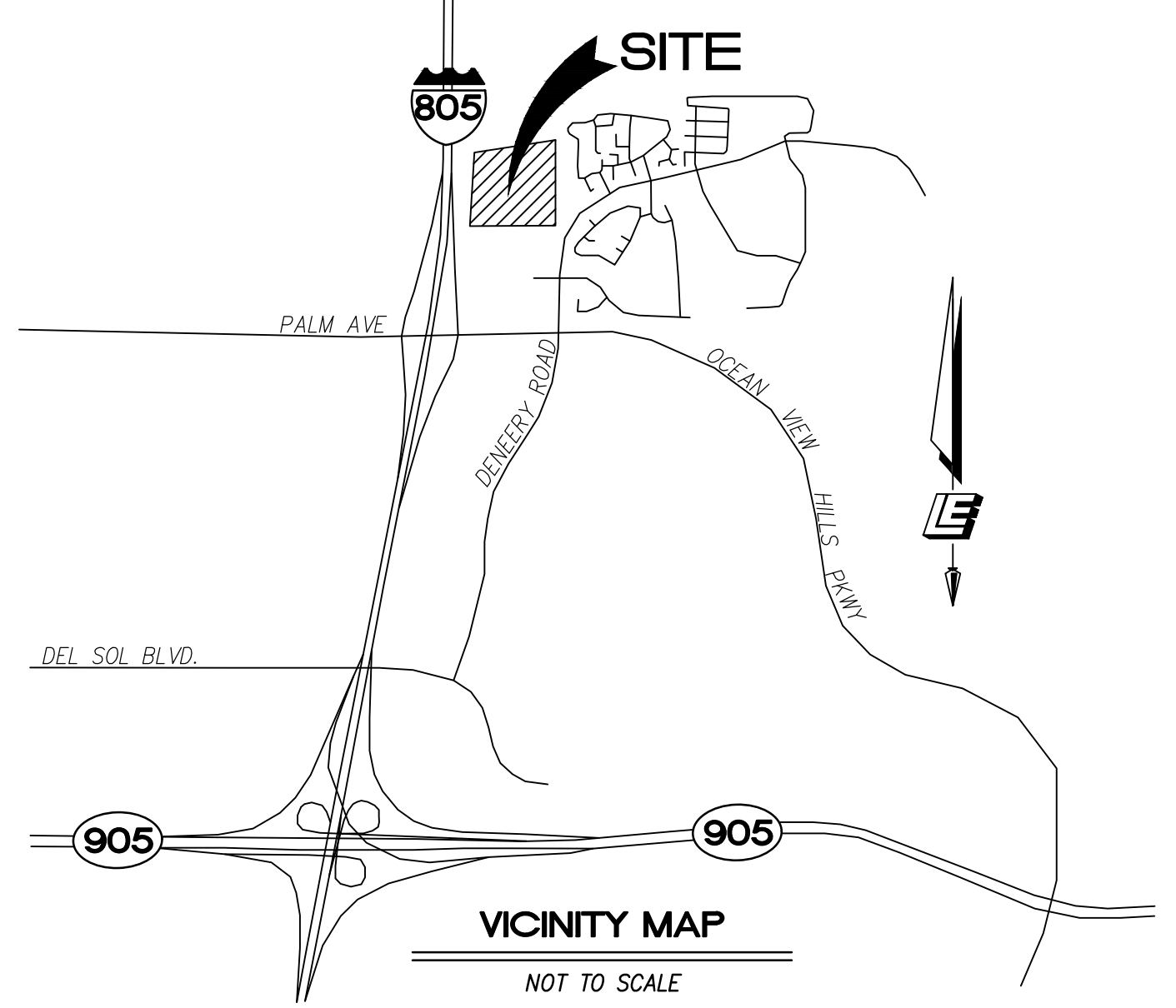
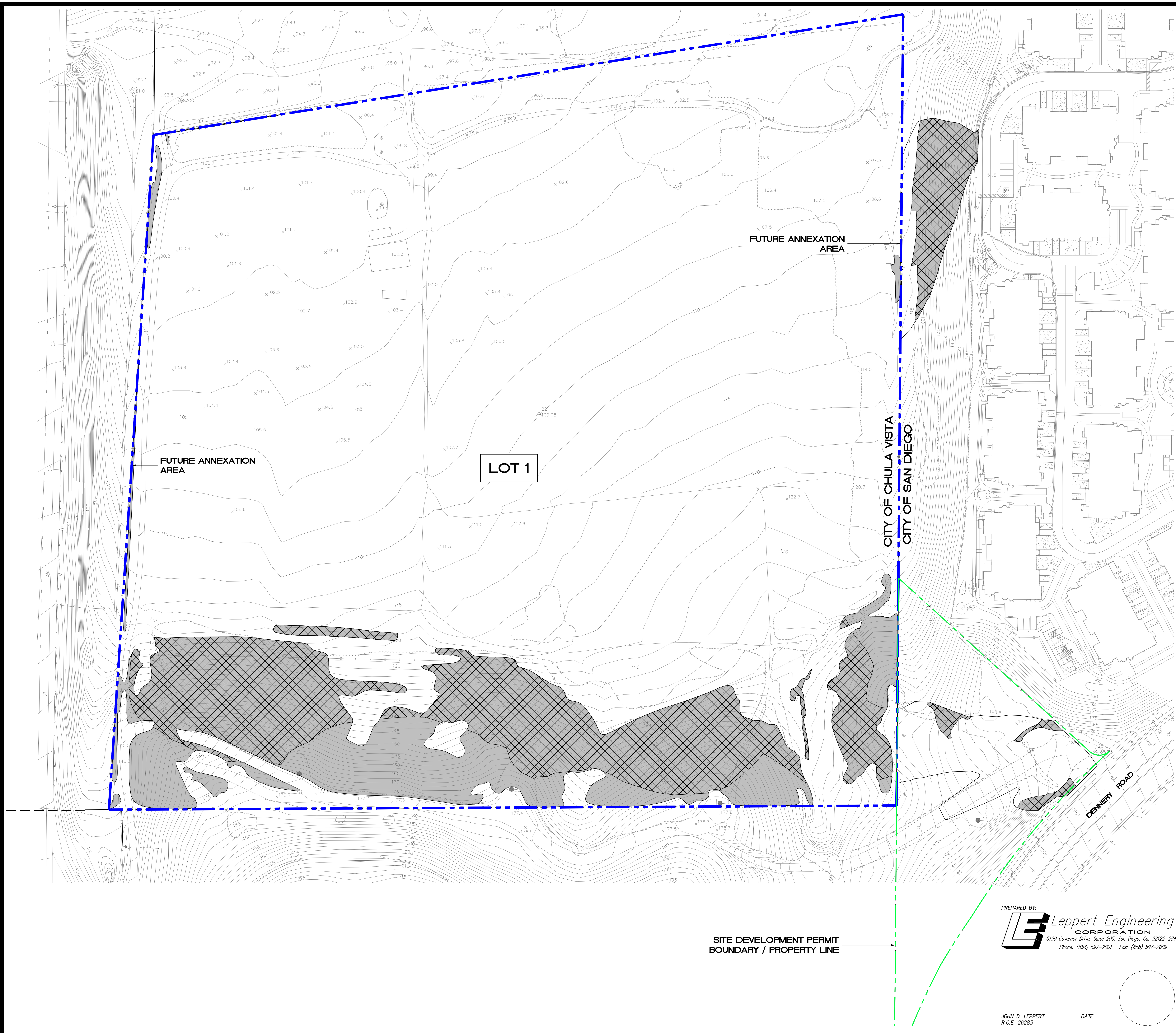
**EASEMENT INFORMATION:**

- TITLE REPORT BY: CHICAGO TITLE COMPANY  
 ORDER NO.: 00065109-996-SD1-R14
- 2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDED DATE: NOVEMBER 20, 1928  
 RECORDED NO.: BOOK 1553, PAGE 238 DEEDS  
 AFFECTS: THE EAST 6 FEET ON SAID LAND
  - 2A EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDED DATE: SEPTEMBER 24, 1954  
 RECORDED NO.: BOOK 5374, PAGE 492 OFFICIAL RECORDS  
 AFFECTS: THE EAST 6 FEET ON SAID LAND.
  - 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDED DATE: OCTOBER 19, 1948  
 RECORDED NO.: BOOK 2985 PAGE 325 OF OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
  - 4 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET HIGHWAY, OR FREEWAY LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT.  
 RECORD DATE: JULY 22, 1968  
 RECORDED NO.: INSTRUMENT NO. 123488 OFFICIAL RECORDS  
 AFFECTS: INTERSTATE 805 ADJACENT THERETO.
  - 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: STATE OF CALIFORNIA  
 PURPOSE: DRAINAGE  
 RECORDED DATE: JULY 22, 1968  
 RECORDED NO.: INSTRUMENT NO. 123488 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
  - 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDED DATE: APRIL 1, 1974  
 RECORDED NO.: INSTRUMENT NO. 74-080792 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
  - 7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: CITY OF SAN DIEGO  
 PURPOSE: SEWER  
 RECORDED DATE: APRIL 10, 1985  
 RECORDED NO.: INSTRUMENT NO. 85-121724 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
  - 8 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: CITY OF SAN DIEGO  
 PURPOSE: SEWER  
 RECORDED DATE: MAY 18, 1995  
 RECORDED NO.: INSTRUMENT NO. 1995-0208876 O.R.  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
  - 9 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.  
 GRANTED TO: OTAY WATER DISTRICT  
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS  
 RECORDED DATE: SEPTEMBER 22, 2005  
 RECORDED NO.: INSTRUMENT NO. 2005-0820907 O.R.  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

PREPARED BY:  
  
**CIVIL SENSE INC.**  
 13475 Danielson Street, Suite 150 | Poway, CA 92064  
 Office: 619-842-4353  
 HENRY H. PENG  
 R.C.E. 63686



NAME: CIVIL SENSE, INC.	REVISION 12:	
ADDRESS: 13475 DANIELSON STREET, SUITE 150	REVISION 11:	
POMAY, CA 92128	REVISION 10:	
PHONE: 619-842-4253	REVISION 9:	
	REVISION 8:	
	REVISION 7:	
	REVISION 6:	
	REVISION 5:	
	REVISION 4:	12/14/2023
	REVISION 3:	10/2/2023
	REVISION 2:	5/12/2023
	REVISION 1:	
<b>PROJECT ADDRESS:</b> NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	<b>ORIGINAL DATE:</b>	11/4/2022
<b>PROJECT NAME:</b> NAKANO	<b>SHEET</b>	<b>2</b> OF <b>21</b>
<b>SHEET TITLE:</b> EXISTING TOPOGRAPHY AND EASEMENTS	<b>DEP #</b>	



**GRADING**

1. TOTAL AMOUNT OF SITE TO BE GRADED: (INCLUDING OFFSITE GRADING)	21.19 ACRES
2. PERCENTAGE OF TOTAL SITE GRADED:	84.6% (21.19 AC / 25.04 AC)
3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER:	4.06 ACRES
4. PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED:	11.0% (2.76 AC / 25.04 AC) NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
5. PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER:	16.2% (4.06 AC / 25.04 AC)
6. AMOUNT OF CUT:	110,400 CUBIC YARDS
7. AMOUNT OF FILL:	133,000 CUBIC YARDS
8. MAXIMUM HEIGHT OF FILL SLOPE(S): MAX. 2:1 SLOPE RATIO	21 FEET
9. MAXIMUM HEIGHT OF CUT SLOPE(S): MAX. 2:1 SLOPE RATIO	19 FEET
10. AMOUNT OF IMPORT SOIL:	22,600 CUBIC YARDS
11. RETAINING WALLS	
QUANTITY:	8
MAX. LENGTH:	419 FEET
MAX. HEIGHT:	24 FEET

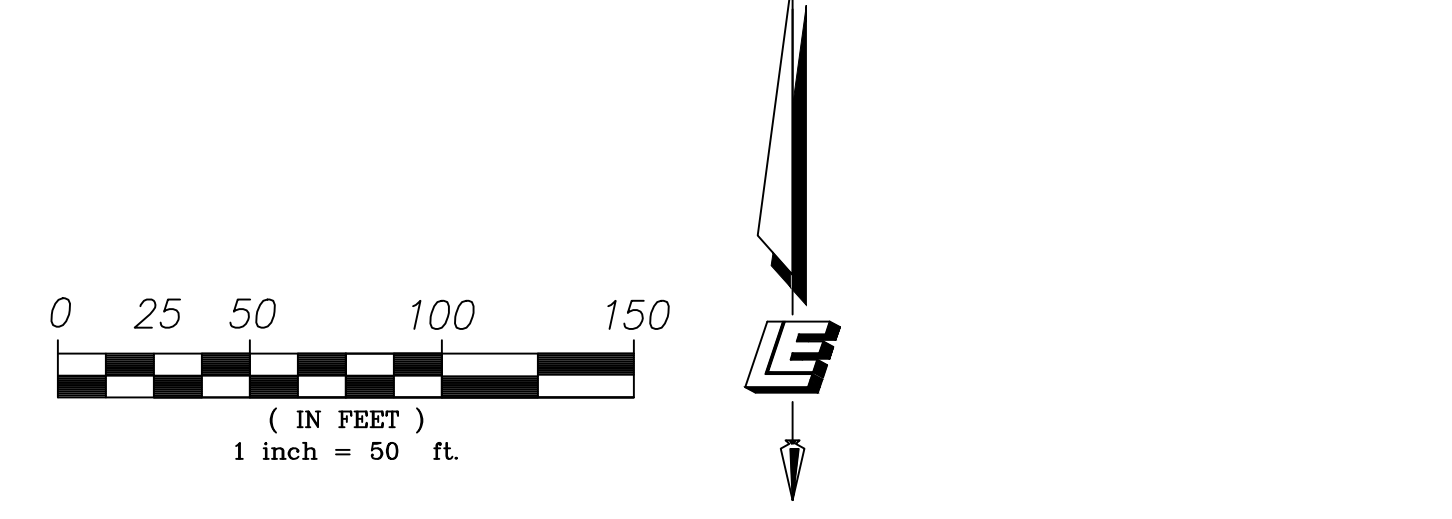
NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.

**LEGEND**

EXISTING SLOPES 0 % TO 25 % (20.98 ACRES)	
EXISTING SLOPES 25 % AND GREATER (4.06 ACRES)	
IMPACTS TO EXISTING SLOPES 25% OR GREATER (2.76 ACRES)	

**AREA SUMMARY**

	ACREAGE	PERCENTAGE
0 % TO 25 % SLOPES	20.98 ACRES	83.8%
25 % AND GREATER SLOPES	4.06 ACRES	16.2%
<b>TOTAL</b>	<b>25.04 ACRES</b>	<b>100%</b>



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PROJECT ADDRESS:  
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 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
 NAKANO

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 REVISION 7: \_\_\_\_\_  
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 REVISION 5: \_\_\_\_\_  
 REVISION 4: 12/14/2023  
 REVISION 3: 10/2/2023  
 REVISION 2: 5/12/2023  
 REVISION 1: \_\_\_\_\_

ORIGINAL DATE: 11/4/2022

SHEET TITLE:  
 SLOPE ANALYSIS

SHEET 3 OF 21

DEP # \_\_\_\_\_

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JOHN D. LEPPERT DATE  
 R.C.E. 26283

SITE DEVELOPMENT PERMIT  
 BOUNDARY / PROPERTY LINE

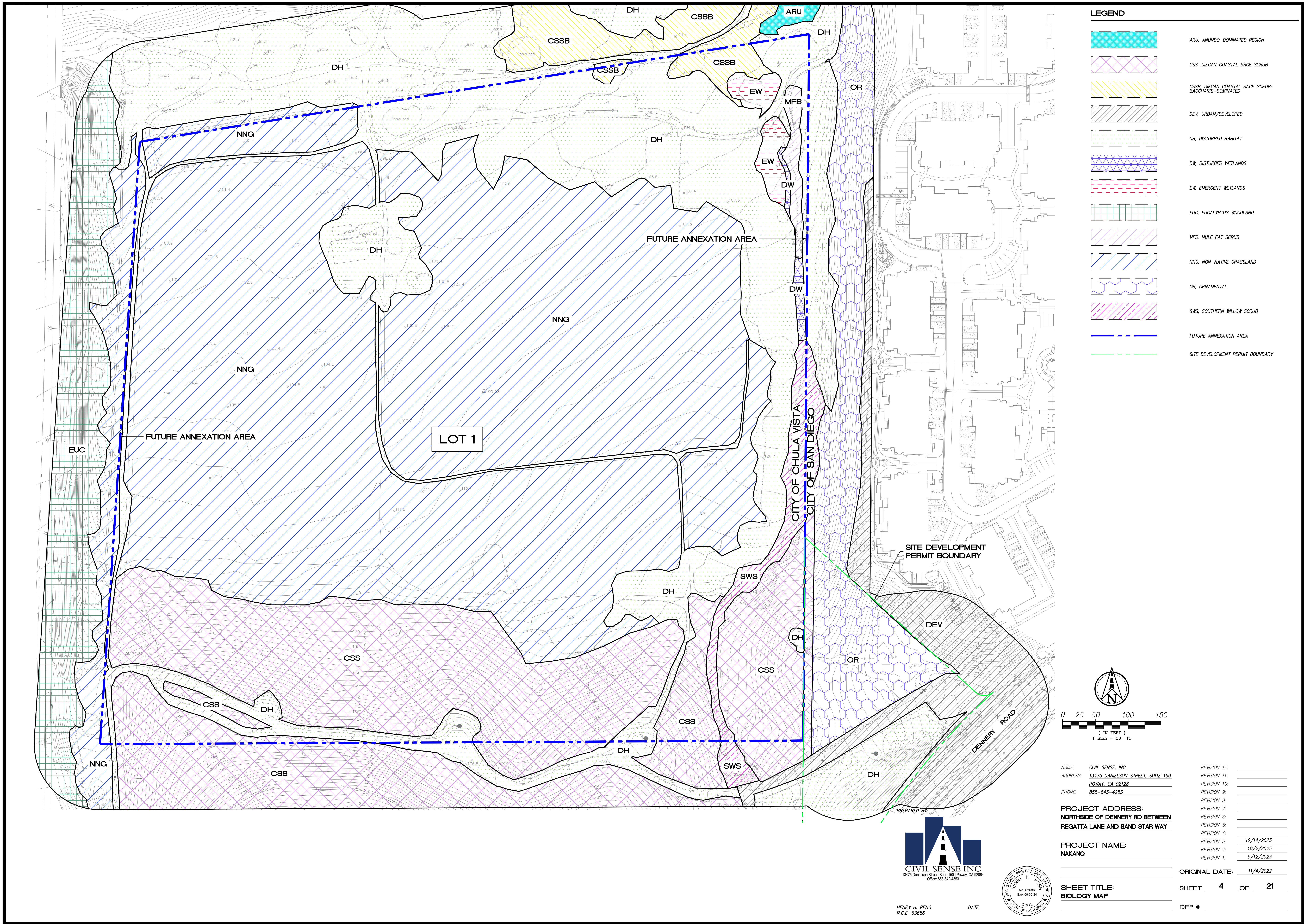
LOT 1

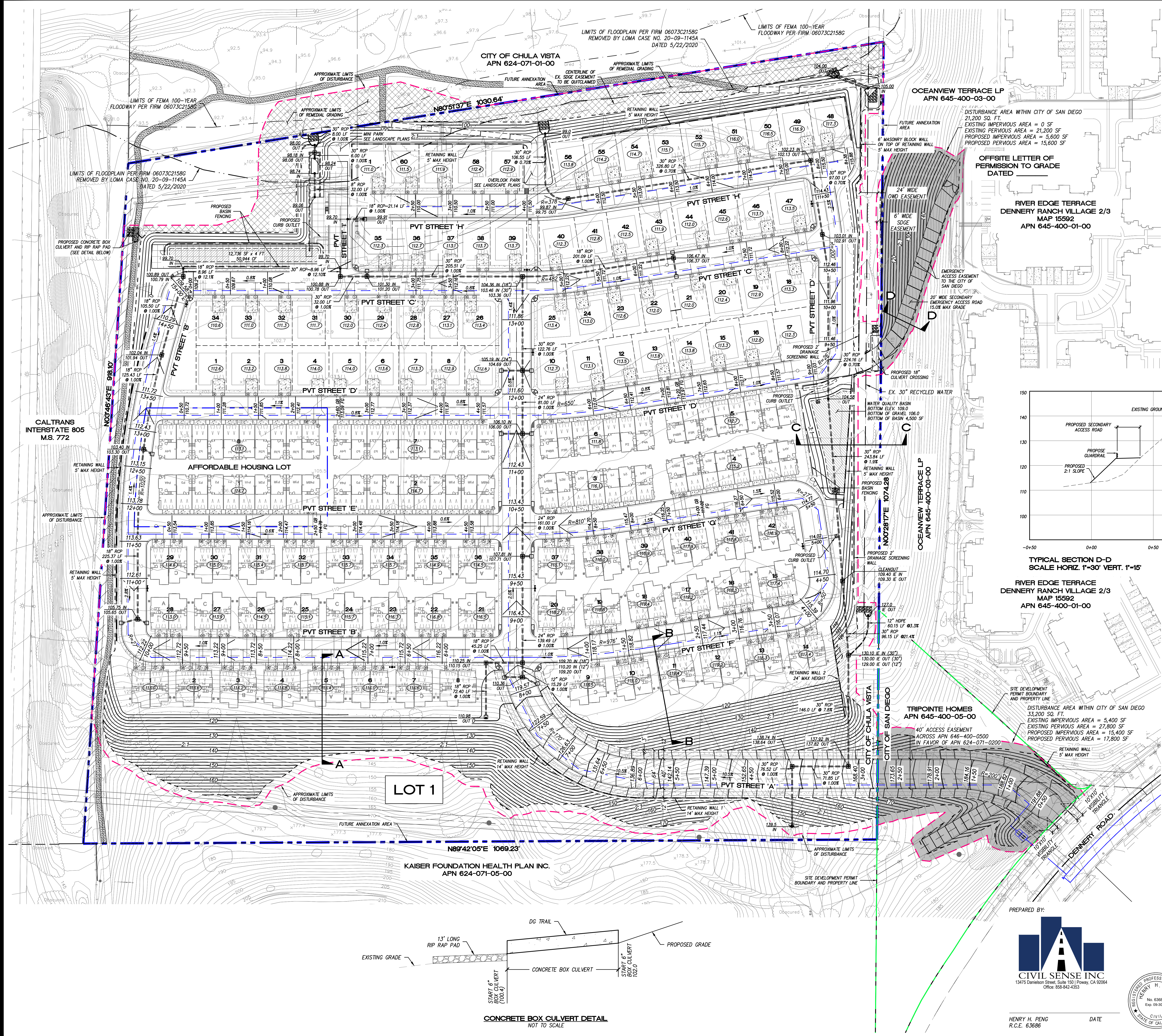
FUTURE ANNEXATION  
 AREA

FUTURE ANNEXATION  
 AREA

CITY OF CHULA VISTA  
 CITY OF SAN DIEGO

DENNERY ROAD



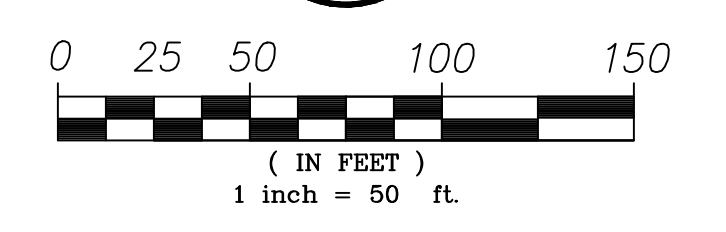
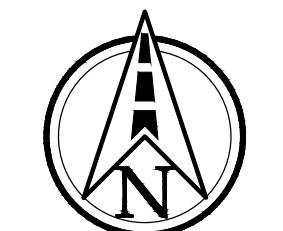
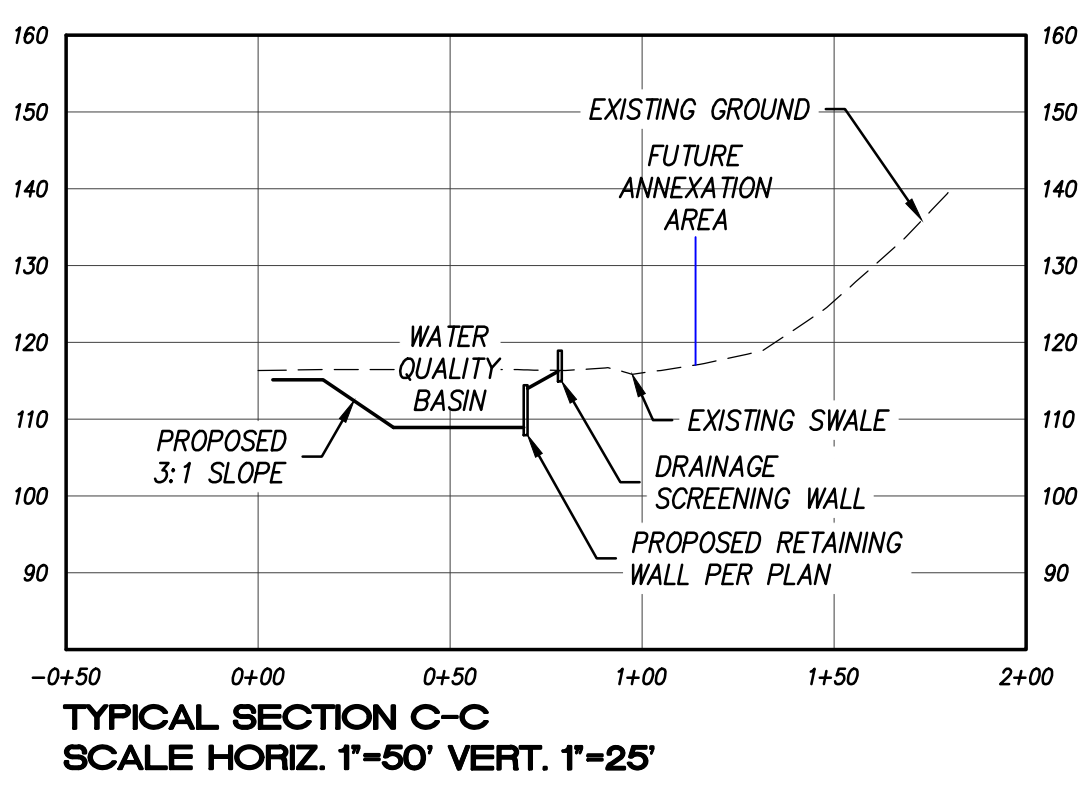
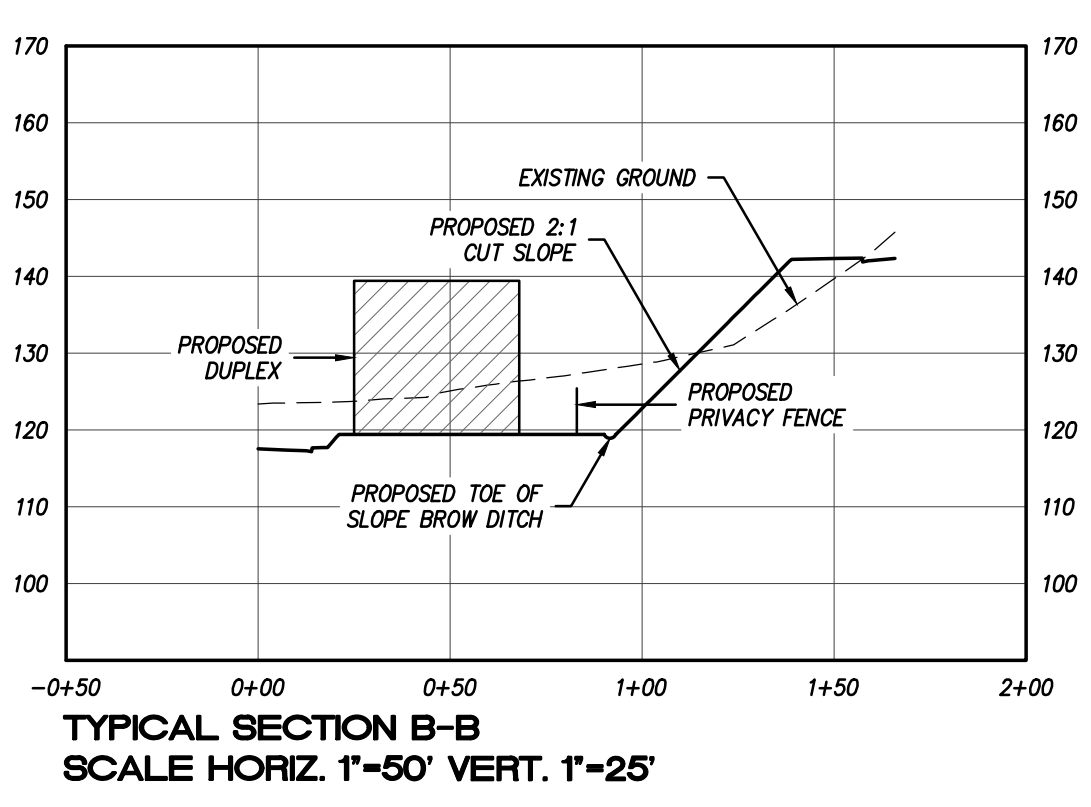
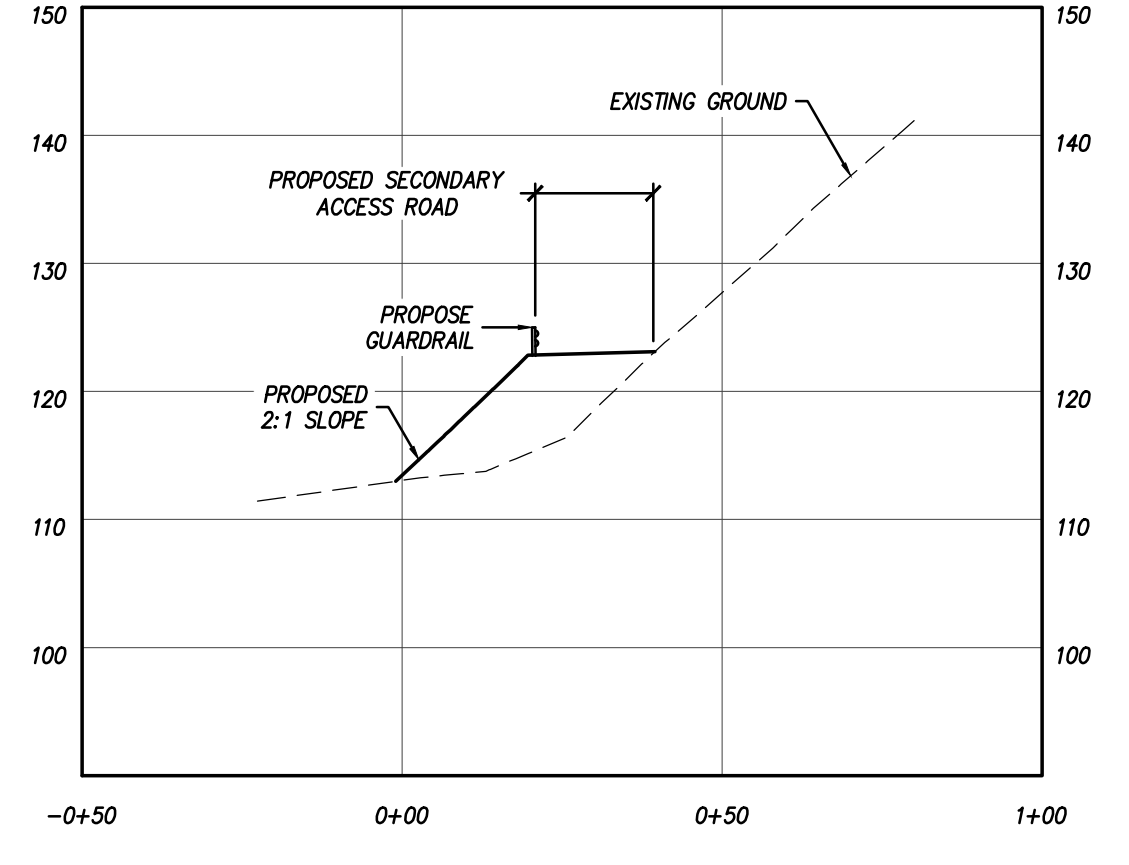
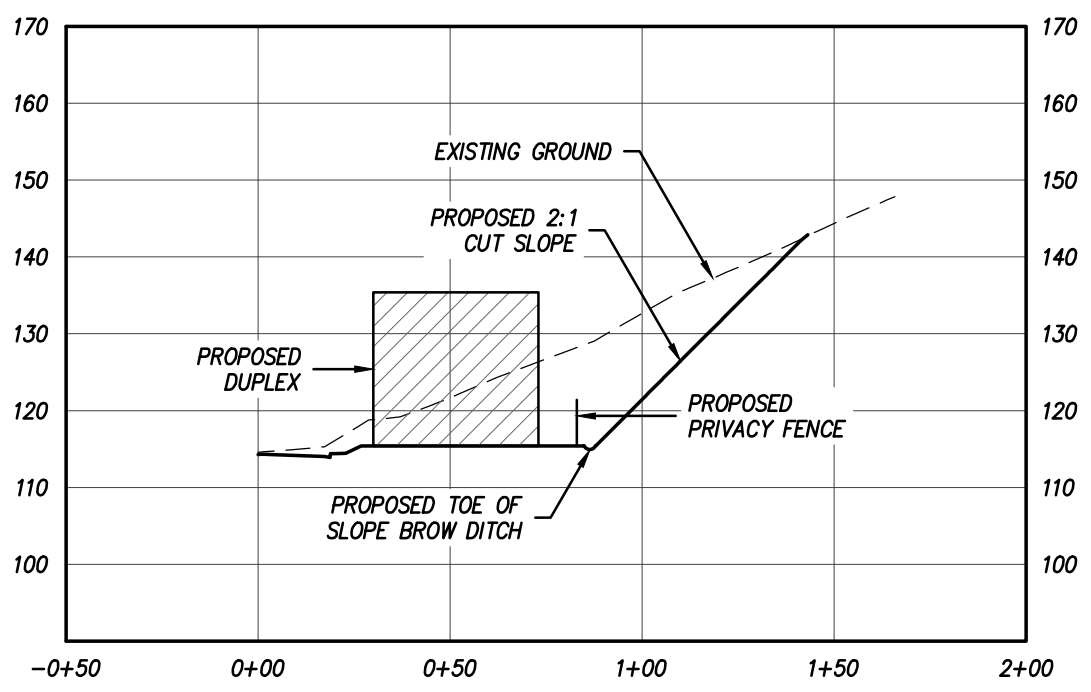


**LEGEND**

- SLOPES 2:1 MAX
- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY AND PROPERTY LINE
- PROPOSED AFFORDABLE HOUSING LOT LINE
- PROPOSED DAYLIGHT LINE
- PROPOSED 6" CURB AND GUTTER
- PROPOSED 6" CURB
- PROPOSED RETAINING WALL

**GRADING NOTES / BMP NOTES**

- BMP MAINTENANCE - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- CONSTRUCTION BMP - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OR SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.



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	REVISION 3:	10/2/2023
	REVISION 2:	5/12/2023
	REVISION 1:	

PROJECT ADDRESS:  
NORTHSIDE OF DENNERY RD BETWEEN  
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:  
GRADING AND STORM DRAIN

SHEET 5 OF 21

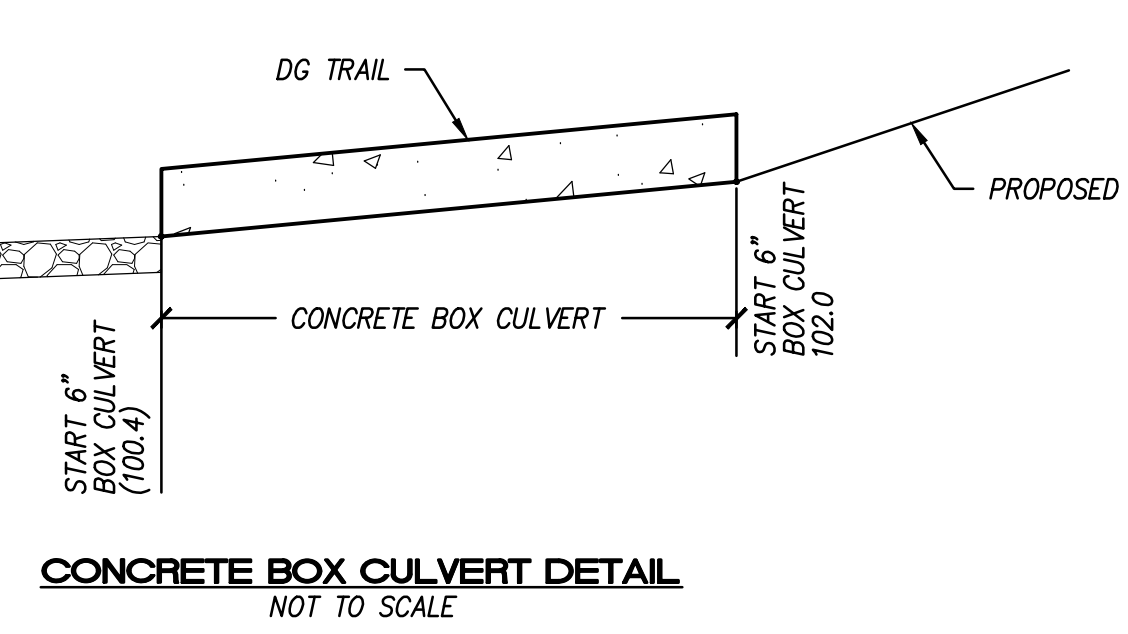
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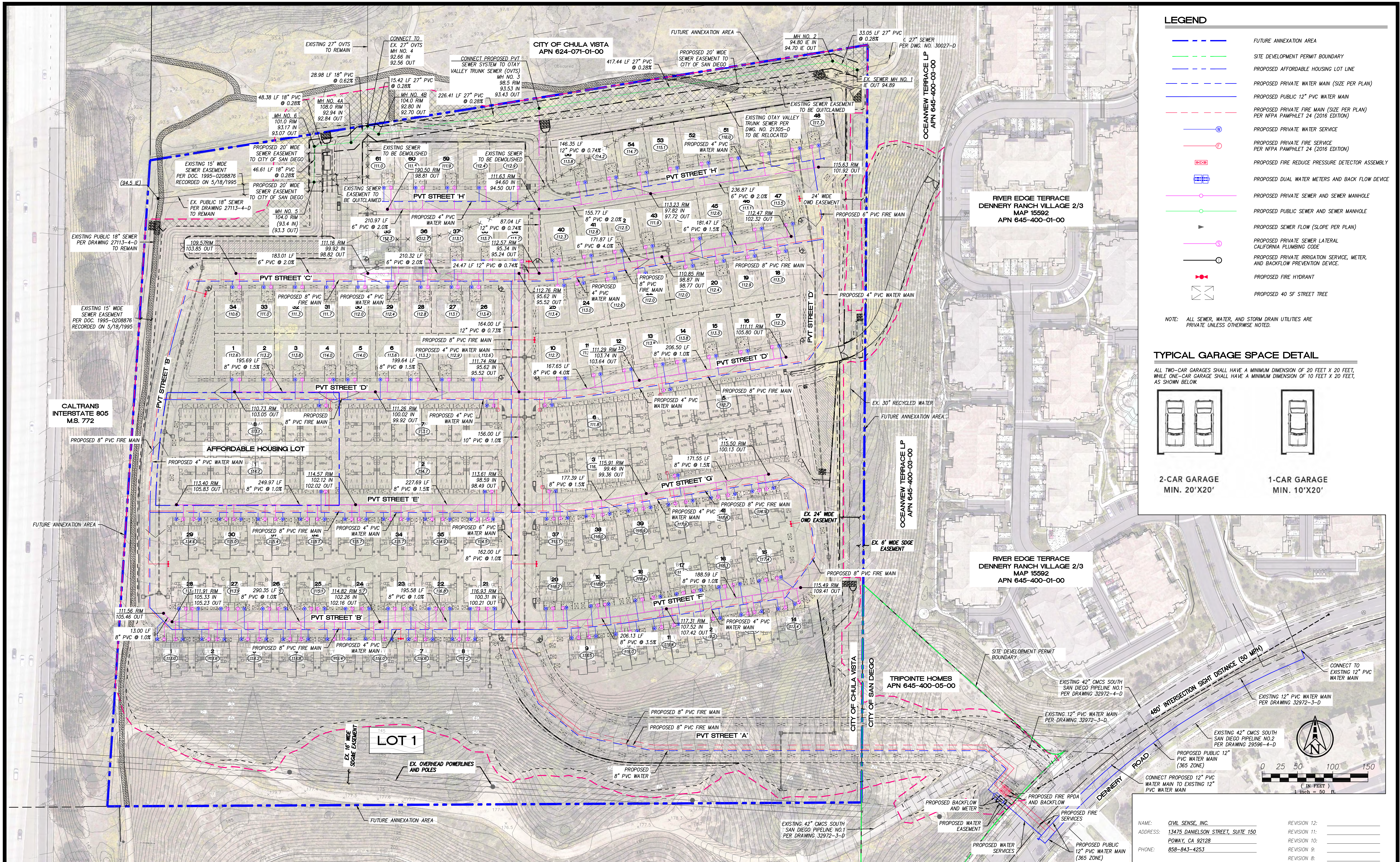
PREPARED BY:

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13475 Danielson Street, Suite 150, Pomay, CA 92128  
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HENRY H. PENG  
R.C.E. 63686

DATE





### LEGEND

- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY
- PROPOSED AFFORDABLE HOUSING LOT LINE
- PROPOSED PRIVATE WATER MAIN (SIZE PER PLAN)
- PROPOSED PUBLIC 12" PVC WATER MAIN
- PROPOSED PRIVATE FIRE MAIN (SIZE PER PLAN) PER NFPA PAMPHLET 24 (2016 EDITION)
- PROPOSED PRIVATE WATER SERVICE
- PROPOSED PRIVATE FIRE SERVICE PER NFPA PAMPHLET 24 (2016 EDITION)
- PROPOSED FIRE REDUCE PRESSURE DETECTOR ASSEMBLY
- PROPOSED DUAL WATER METERS AND BACK FLOW DEVICE
- PROPOSED PRIVATE SEWER AND SEWER MANHOLE
- PROPOSED PUBLIC SEWER AND SEWER MANHOLE
- PROPOSED SEWER FLOW (SLOPE PER PLAN)
- PROPOSED PRIVATE SEWER LATERAL CALIFORNIA PLUMBING CODE
- PROPOSED PRIVATE IRRIGATION SERVICE, METER, AND BACKFLOW PREVENTION DEVICE
- PROPOSED FIRE HYDRANT
- PROPOSED 40 SF STREET TREE

NOTE: ALL SEWER, WATER, AND STORM DRAIN UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.

### TYPICAL GARAGE SPACE DETAIL

ALL TWO-CAR GARAGES SHALL HAVE A MINIMUM DIMENSION OF 20 FEET X 20 FEET, WHILE ONE-CAR GARAGE SHALL HAVE A MINIMUM DIMENSION OF 10 FEET X 20 FEET, AS SHOWN BELOW.

**2-CAR GARAGE**  
MIN. 20'X20'

**1-CAR GARAGE**  
MIN. 10'X20'

#### MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET *
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

\* 5 FEET ON RESIDENTIAL LOCAL STREETS WITH A DESIGN SPEED OF 25MPH OR SLOWER

#### UTILITY TABLE

UTILITY	OVERHEAD/UNDERGROUND
GAS	UNDERGROUND
ELECTRIC	UNDERGROUND
TELEPHONE (AT&T)	UNDERGROUND
CABLE TELEVISION (COX)	UNDERGROUND
SEWER	UNDERGROUND
STORM DRAIN	UNDERGROUND
FIRE	UNDERGROUND
WATER	UNDERGROUND

NOTE: THE SUBDIVIDER SHALL ENSURE THAT ALL ONSITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUNDED WITH ALL OF THE APPROPRIATE PERMITS.

- #### UTILITY NOTES
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
  - MINIMUM 10 FOOT SEPARATION FROM SEWER MAINS TO WATER MAINS. 10 FOOT SEPARATION TO BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
  - ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES (BFPDS). BFPDS ARE TYPICALLY LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
  - IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
  - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PRIVATE SEWER LATERAL IN THE STREET A RIGHT-OF-WAY.

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DATE: \_\_\_\_\_

PROJECT ADDRESS:  
**NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY**

PROJECT NAME:  
**NAKANO**

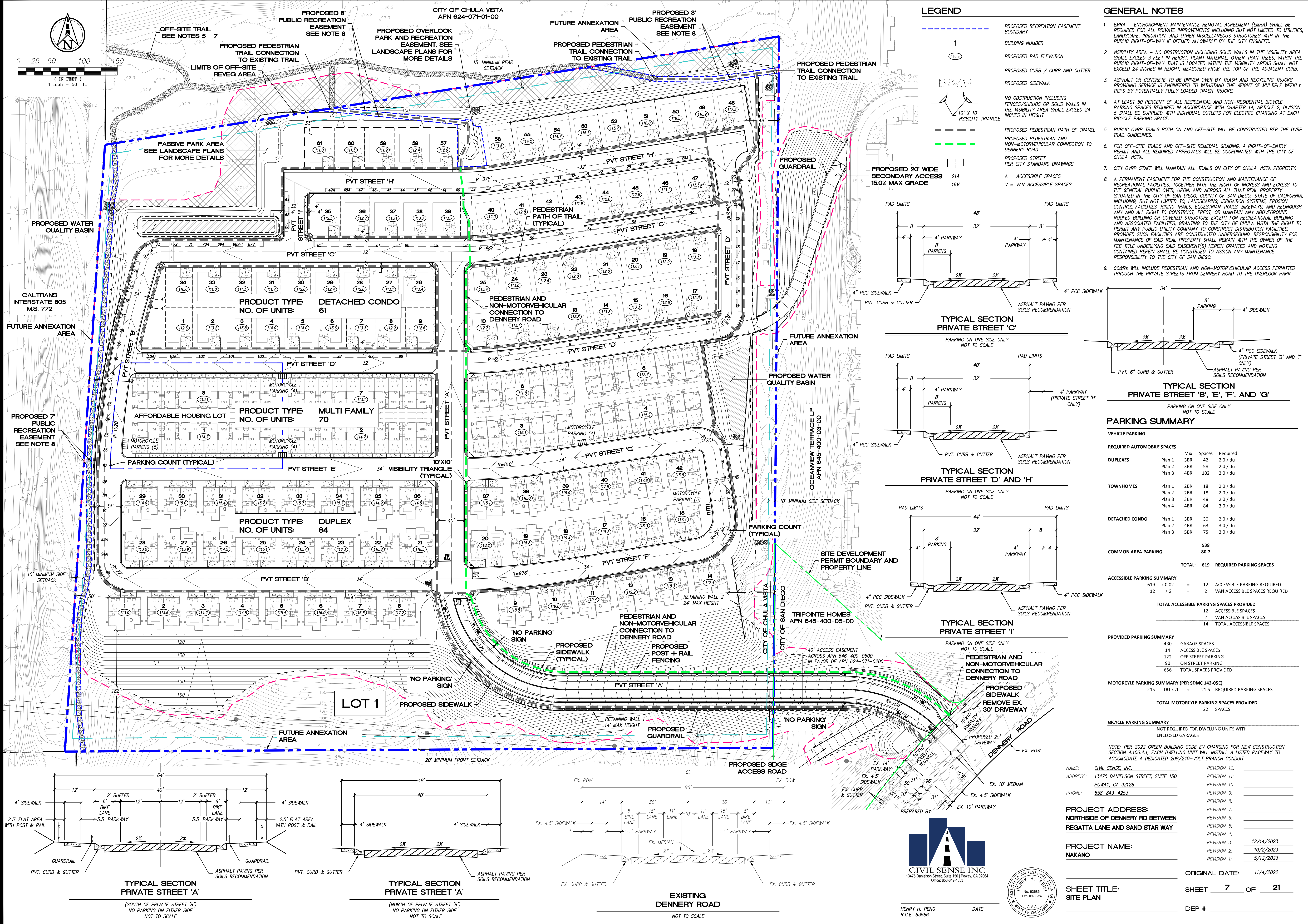
SHEET TITLE:  
**UTILITY PLAN**

REVISION 12: \_\_\_\_\_  
REVISION 11: \_\_\_\_\_  
REVISION 10: \_\_\_\_\_  
REVISION 9: \_\_\_\_\_  
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REVISION 1: 5/12/2023

ORIGINAL DATE: 11/4/2022

SHEET **6** OF **21**

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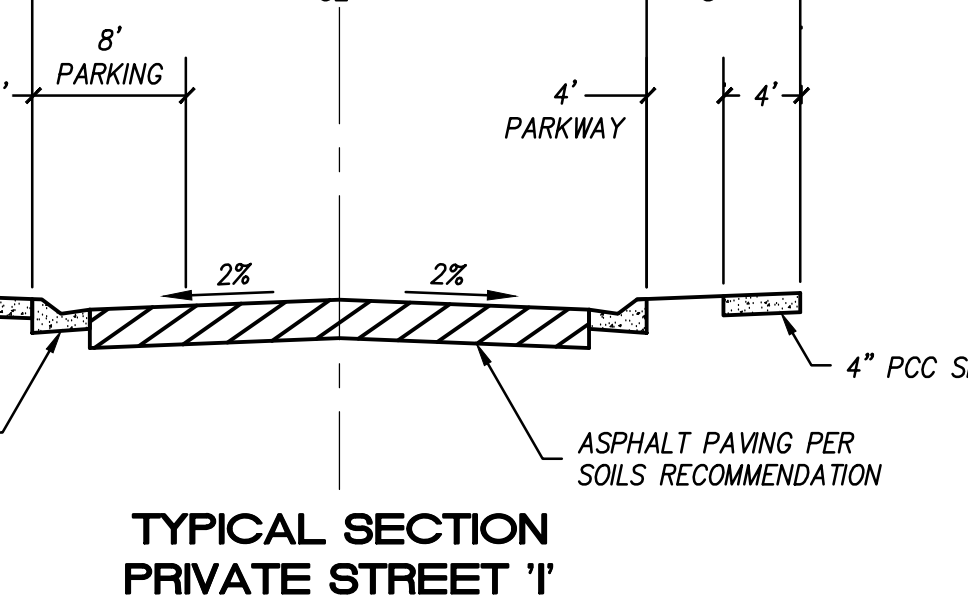
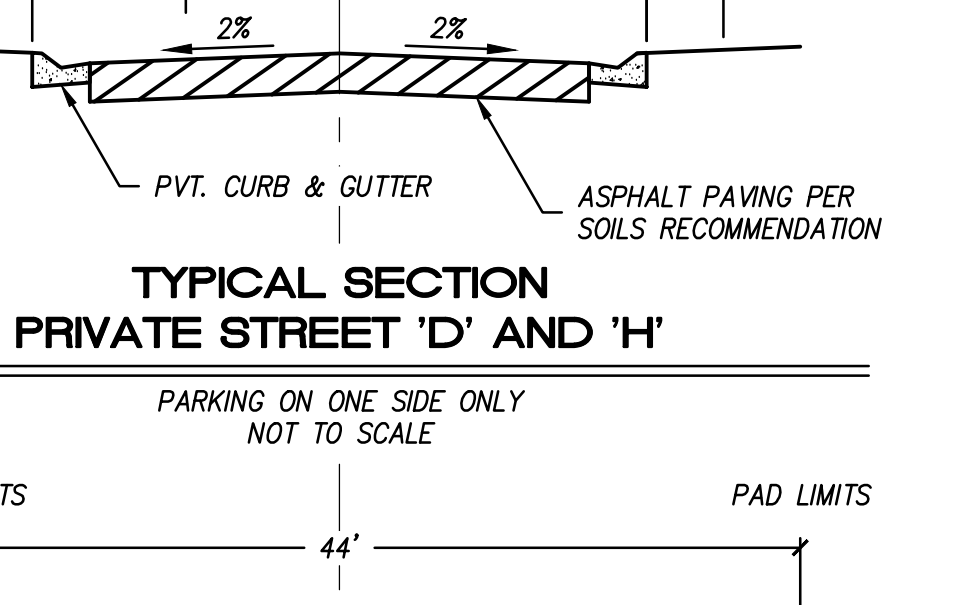
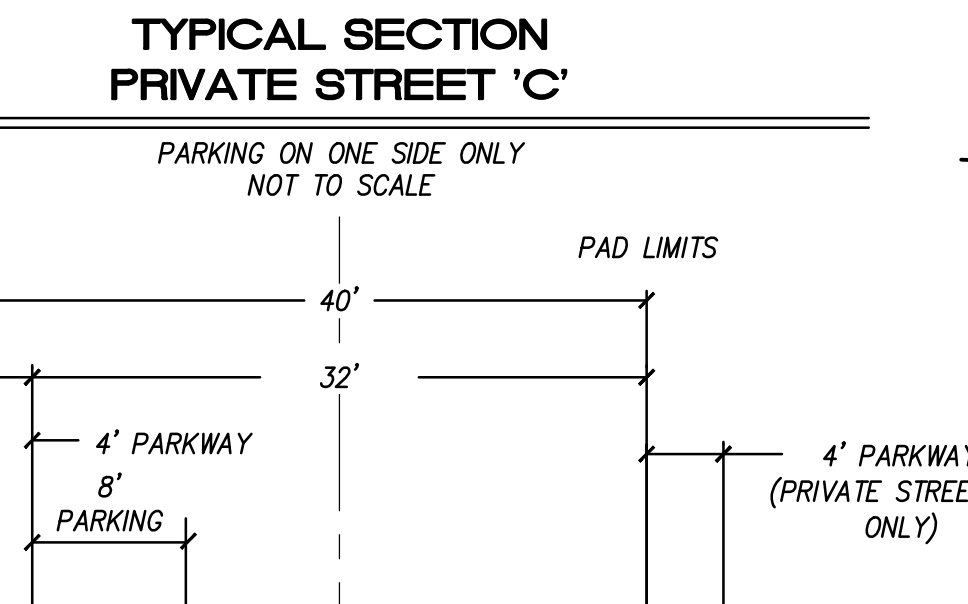
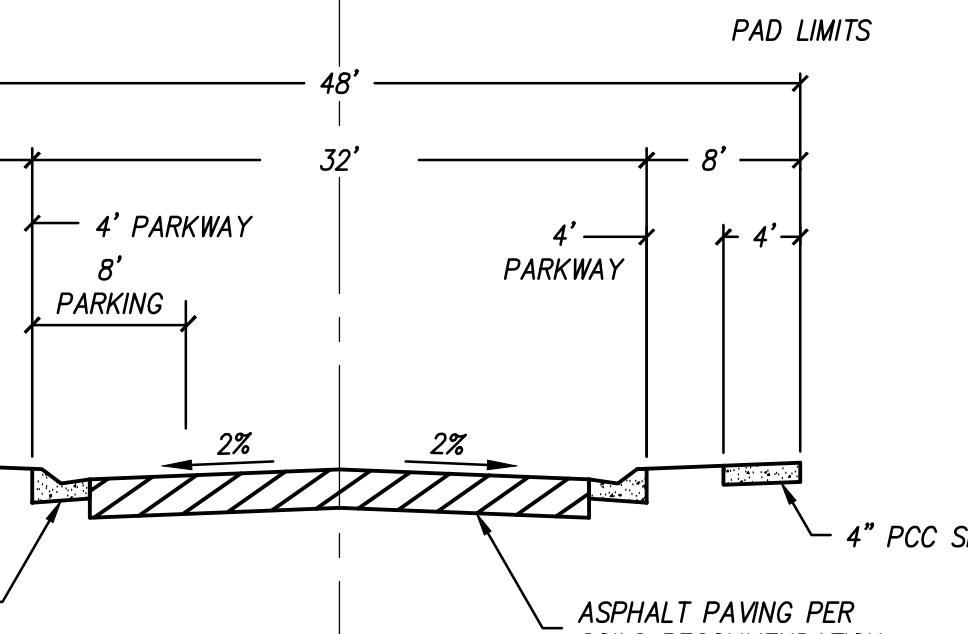


**LEGEND**

- 1 PROPOSED RECREATION EASEMENT BOUNDARY
- BUILDING NUMBER
- PROPOSED PAD ELEVATION
- PROPOSED CURB / CURB AND GUTTER
- PROPOSED SIDEWALK
- NO OBSTRUCTION INCLUDING FENCES, SHRUBS OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 24 INCHES IN HEIGHT.
- PROPOSED PEDESTRIAN PATH OF TRAVEL
- PROPOSED PEDESTRIAN AND NON-MOTORVEHICULAR CONNECTION TO DENNERY ROAD
- PROPOSED STREET PER CITY STANDARD DRAWINGS

**GENERAL NOTES**

1. EMRA - ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA) SHALL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO UTILITIES, LANDSCAPE, IRRIGATION, AND OTHER MISCELLANEOUS STRUCTURES WITH IN THE PUBLIC RIGHT-OF-WAY IF DEEMED ALLOWABLE BY THE CITY ENGINEER.
2. VISIBILITY AREA - NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN THE VISIBILITY AREA SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
3. ASPHALT OR CONCRETE TO BE DRIVEN OVER BY TRASH AND RECYCLING TRUCKS PROVIDING SERVICE IS ENGINEERED TO WITHSTAND THE HEIGHT OF MULTIPLE WEEKLY TRIPS BY POTENTIALLY FULLY LOADED TRASH TRUCKS.
4. AT LEAST 50 PERCENT OF ALL RESIDENTIAL AND NON-RESIDENTIAL BICYCLE PARKING SPACES REQUIRED IN ACCORDANCE WITH CHAPTER 14, ARTICLE 2, DIVISION 5 SHALL BE SUPPLIED WITH INDIVIDUAL OUTLETS FOR ELECTRIC CHARGING AT EACH BICYCLE PARKING SPACE.
5. PUBLIC OVRP TRAILS BOTH ON AND OFF-SITE WILL BE CONSTRUCTED PER THE OVRP TRAIL GUIDELINES.
6. FOR OFF-SITE TRAILS AND OFF-SITE REMEDIAL GRADING, A RIGHT-OF-ENTRY PERMIT AND ALL REQUIRED APPROVALS WILL BE COORDINATED WITH THE CITY OF CHULA VISTA.
7. CITY OVRP STAFF WILL MAINTAIN ALL TRAILS ON CITY OF CHULA VISTA PROPERTY.
8. A PERMANENT EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF RECREATIONAL FACILITIES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO THE GENERAL PUBLIC OVER, UPON, AND ACROSS ALL THAT REAL PROPERTY SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, IRRIGATION SYSTEMS, EROSION CONTROL FACILITIES, HIKING TRAILS, EQUESTRIAN TRAILS, BIKEWAYS, AND RELINQUISH ANY AND ALL RIGHT TO CONSTRUCT, ERECT, OR MAINTAIN ANY ABOVEGROUND ROOFED BUILDING OR COVERED STRUCTURE EXCEPT FOR RECREATIONAL BUILDING AND ASSOCIATED FACILITIES, GRANTING TO THE CITY OF CHULA VISTA THE RIGHT TO PERMIT ANY PUBLIC UTILITY COMPANY TO CONSTRUCT DISTRIBUTION FACILITIES. PROVIDED SUCH FACILITIES ARE CONSTRUCTED UNDERGROUND. RESPONSIBILITY FOR MAINTENANCE OF SAID REAL PROPERTY SHALL REMAIN WITH THE OWNER OF THE FEE TITLE UNDERLYING SAID EASEMENT(S) HEREIN GRANTED AND NOTHING CONTAINED HEREIN SHALL BE CONSTRUED TO ASSIGN ANY MAINTENANCE RESPONSIBILITY TO THE CITY OF SAN DIEGO.
9. CO&R WILL INCLUDE PEDESTRIAN AND NON-MOTORVEHICULAR ACCESS PERMITTED THROUGH THE PRIVATE STREETS FROM DENNERY ROAD TO THE OVERLOOK PARK.



**PARKING SUMMARY**

REQUIRED AUTOMOBILE SPACES			
DUPLEXES	Mix	Spaces	Required
Plan 1	3BR	42	2.0 / du
Plan 2	3BR	58	2.0 / du
Plan 3	4BR	102	3.0 / du
TOWNHOMES	Plan 1	2BR	18 2.0 / du
Plan 2	2BR	18	2.0 / du
Plan 3	3BR	48	2.0 / du
Plan 4	4BR	84	3.0 / du
DETACHED CONDO	Plan 1	3BR	30 2.0 / du
Plan 2	4BR	63	3.0 / du
Plan 3	5BR	75	3.0 / du
COMMON AREA PARKING		538	80.7
<b>TOTAL:</b>		<b>619</b>	<b>REQUIRED PARKING SPACES</b>

**ACCESSIBLE PARKING SUMMARY**

619	x 0.02	=	12	ACCESSIBLE PARKING REQUIRED
12	/ 6	=	2	VAN ACCESSIBLE SPACES REQUIRED
<b>TOTAL ACCESSIBLE PARKING SPACES PROVIDED</b>			12	ACCESSIBLE SPACES
			2	VAN ACCESSIBLE SPACES
			14	TOTAL ACCESSIBLE SPACES

**PROVIDED PARKING SUMMARY**

430	GARAGE SPACES
14	ACCESSIBLE SPACES
122	OFF STREET PARKING
90	ON STREET PARKING
656	TOTAL SPACES PROVIDED

**MOTORCYCLE PARKING SUMMARY (PER SDMC 142-05C)**

215	DU x 1	=	21.5	REQUIRED PARKING SPACES
<b>TOTAL MOTORCYCLE PARKING SPACES PROVIDED</b>			22	SPACES

**BICYCLE PARKING SUMMARY**

NOT REQUIRED FOR DWELLING UNITS WITH ENCLOSED GARAGES

NOTE: PER 2022 BUILDING CODE EV CHARGING FOR NEW CONSTRUCTION SECTION 4.106.4.1, EACH DWELLING UNIT WILL INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CONDUIT.

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		REVISION 3:	12/14/2023
		REVISION 2:	10/2/2023
		REVISION 1:	5/12/2023

PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY

PROJECT NAME: NAKANO

ORIGINAL DATE: 11/4/2022

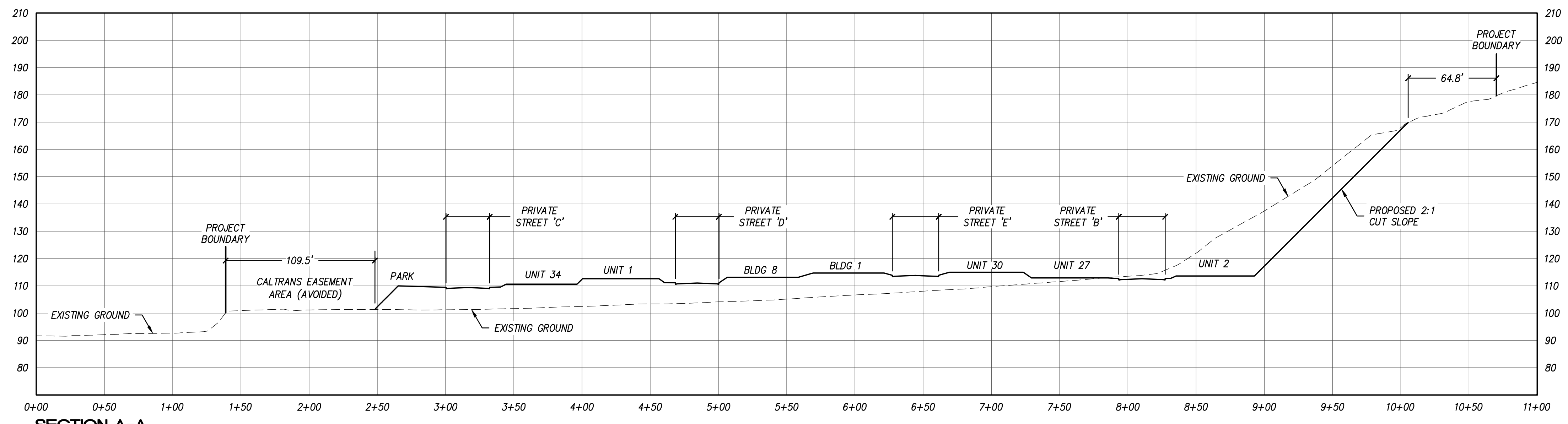
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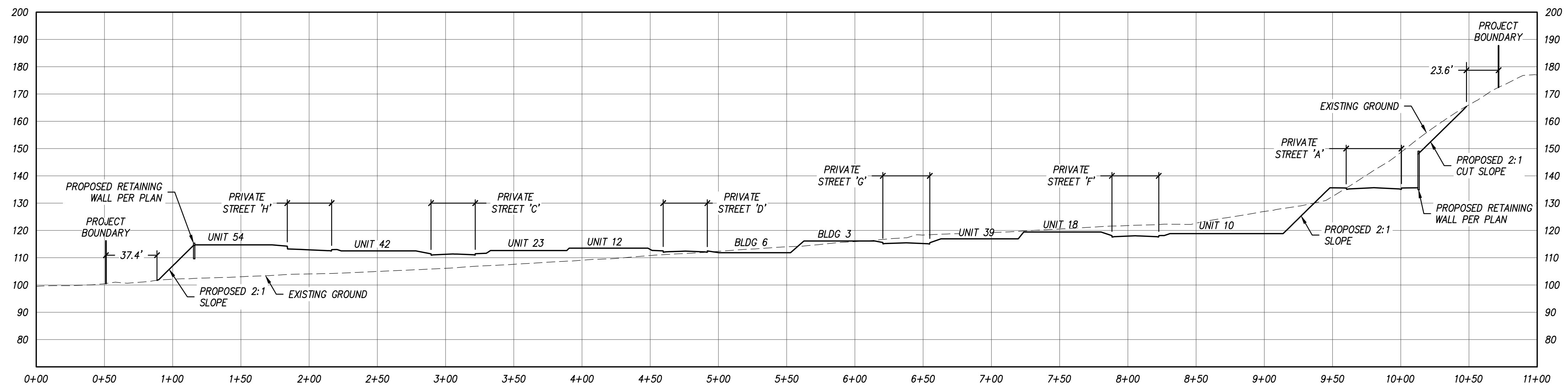


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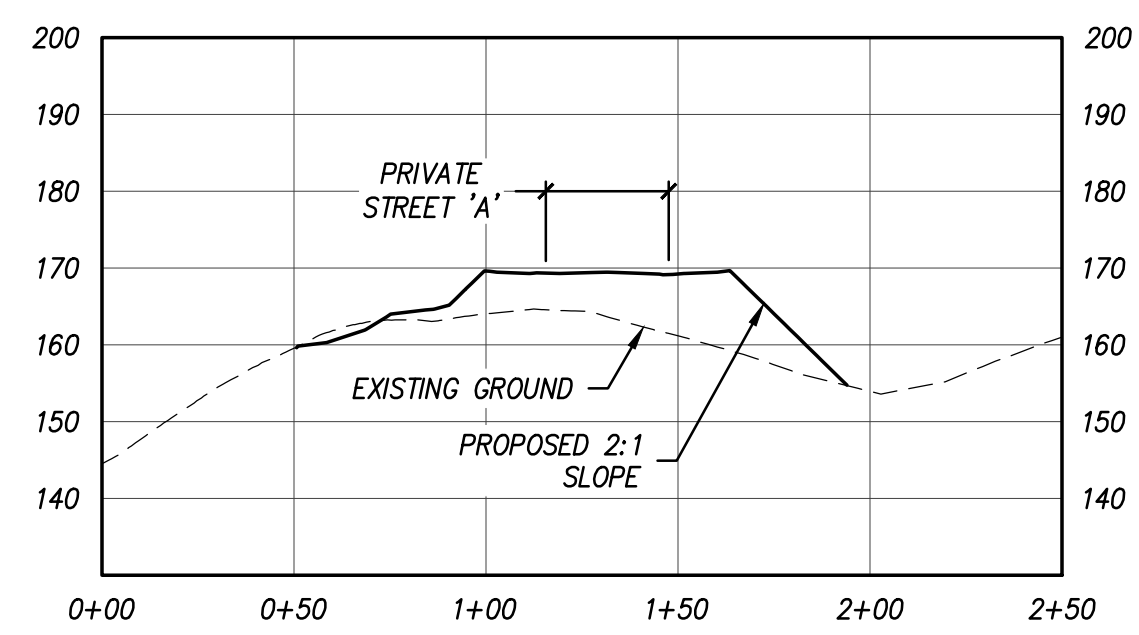
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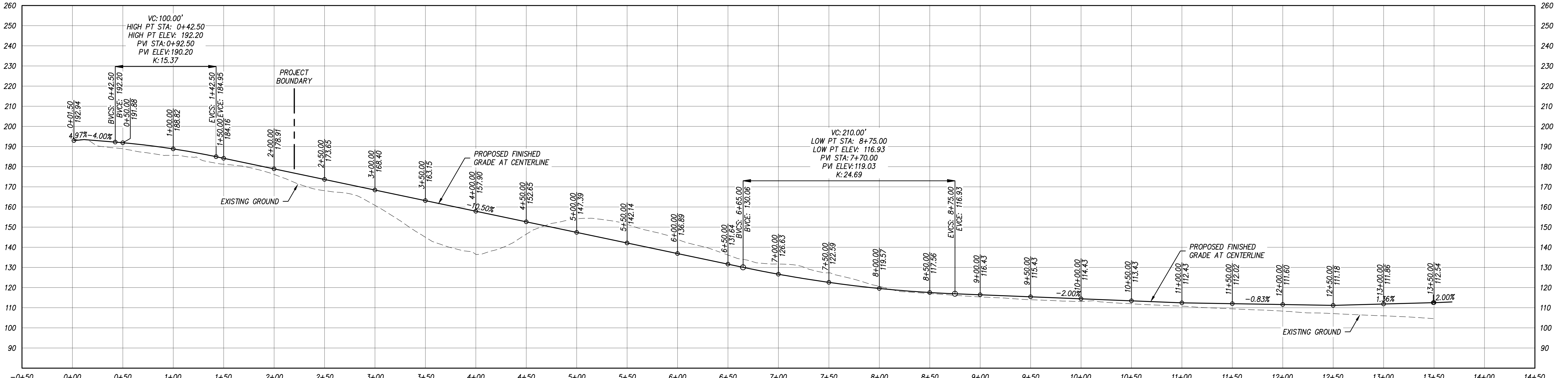
SECTION A-A  
SCALE HORIZ. 1"=50' VERT. 1"=25'



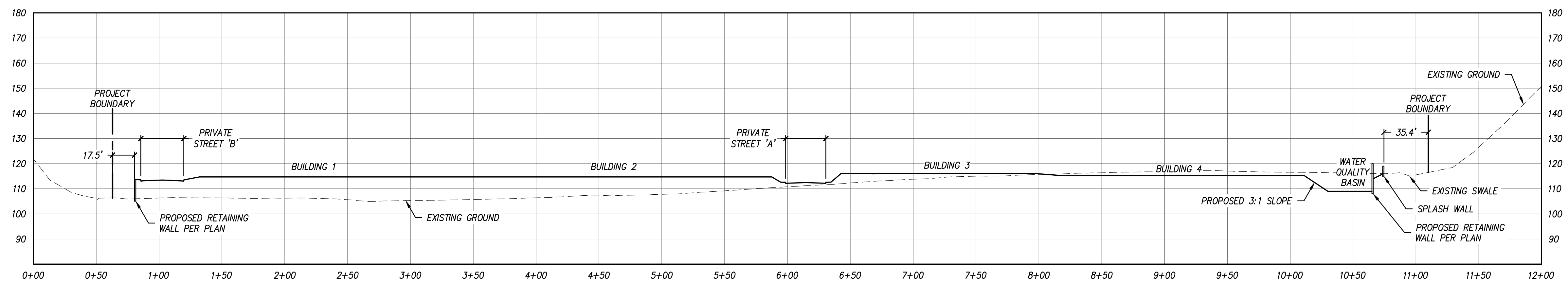
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SCALE HORIZ. 1"=50' VERT. 1"=25'



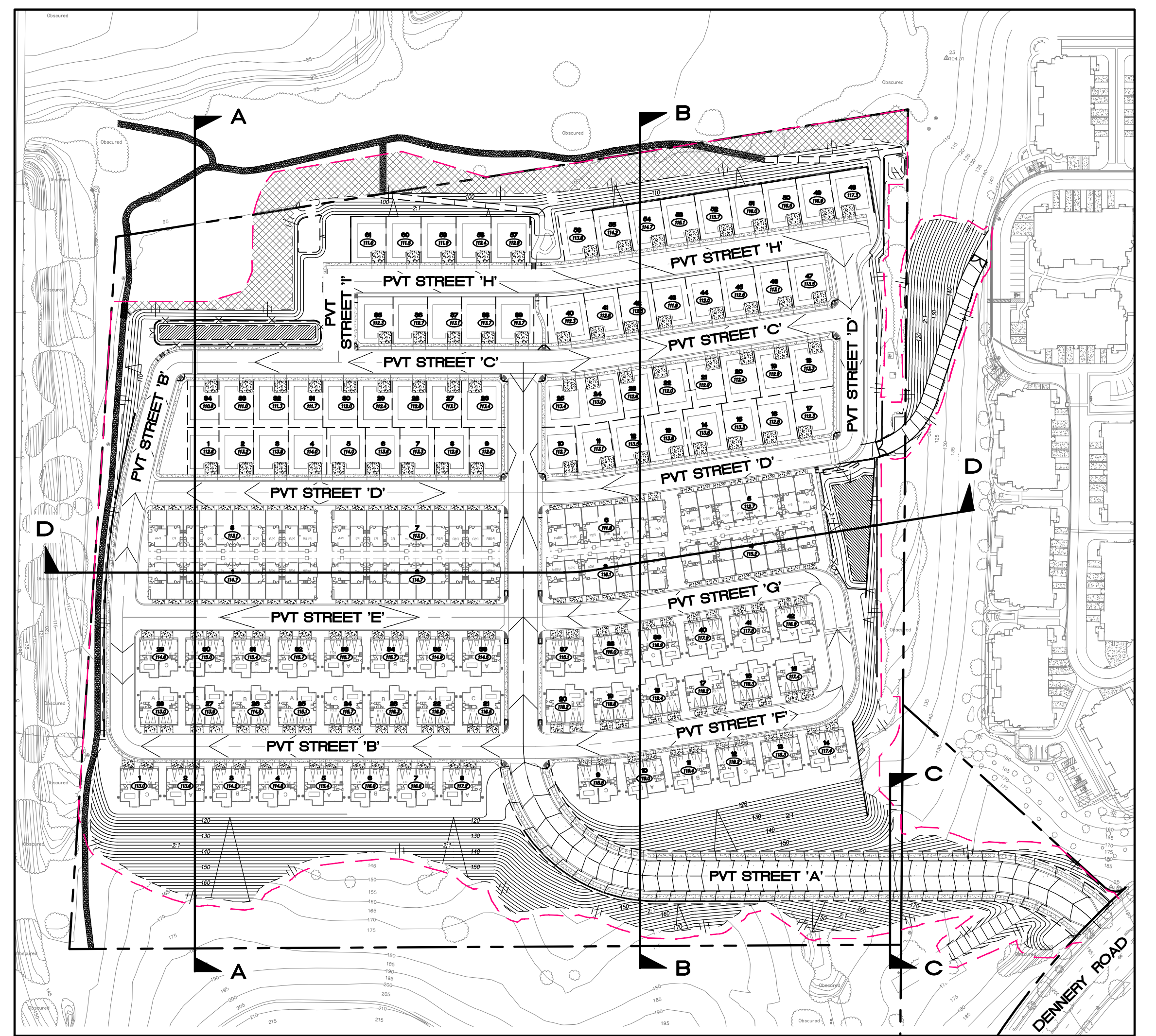
SECTION C-C  
SCALE HORIZ. 1"=50' VERT. 1"=25'



STREET A - FINISHED GRADE PROFILE AT CENTERLINE  
SCALE HORIZ. 1"=50' VERT. 1"=25'

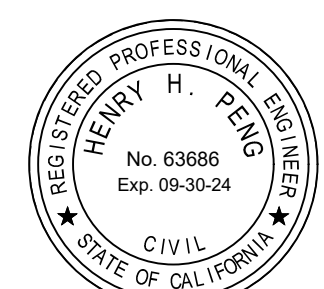


SECTION D-D  
SCALE HORIZ. 1"=50' VERT. 1"=25'



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PROJECT ADDRESS:  
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REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
NAKANO

SHEET TITLE:  
SITE CROSS SECTIONS

REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	
REVISION 3:	10/2/2023
REVISION 2:	5/12/2023
REVISION 1:	

ORIGINAL DATE: 11/4/2022

SHEET 8 OF 21

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