

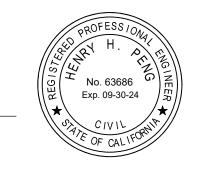
FIRE NOTES:

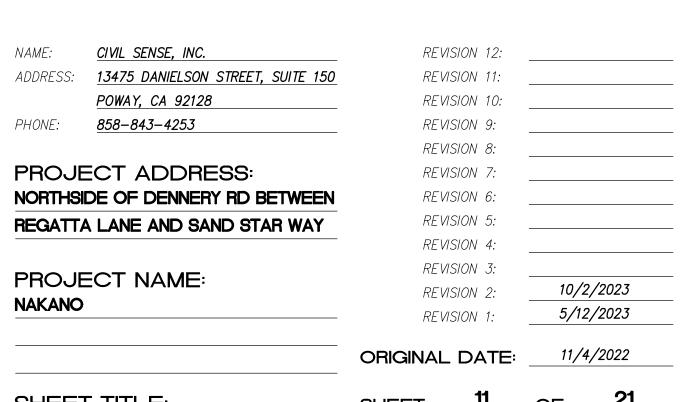
SEE SHEET 10 FOR FIRE NOTES.





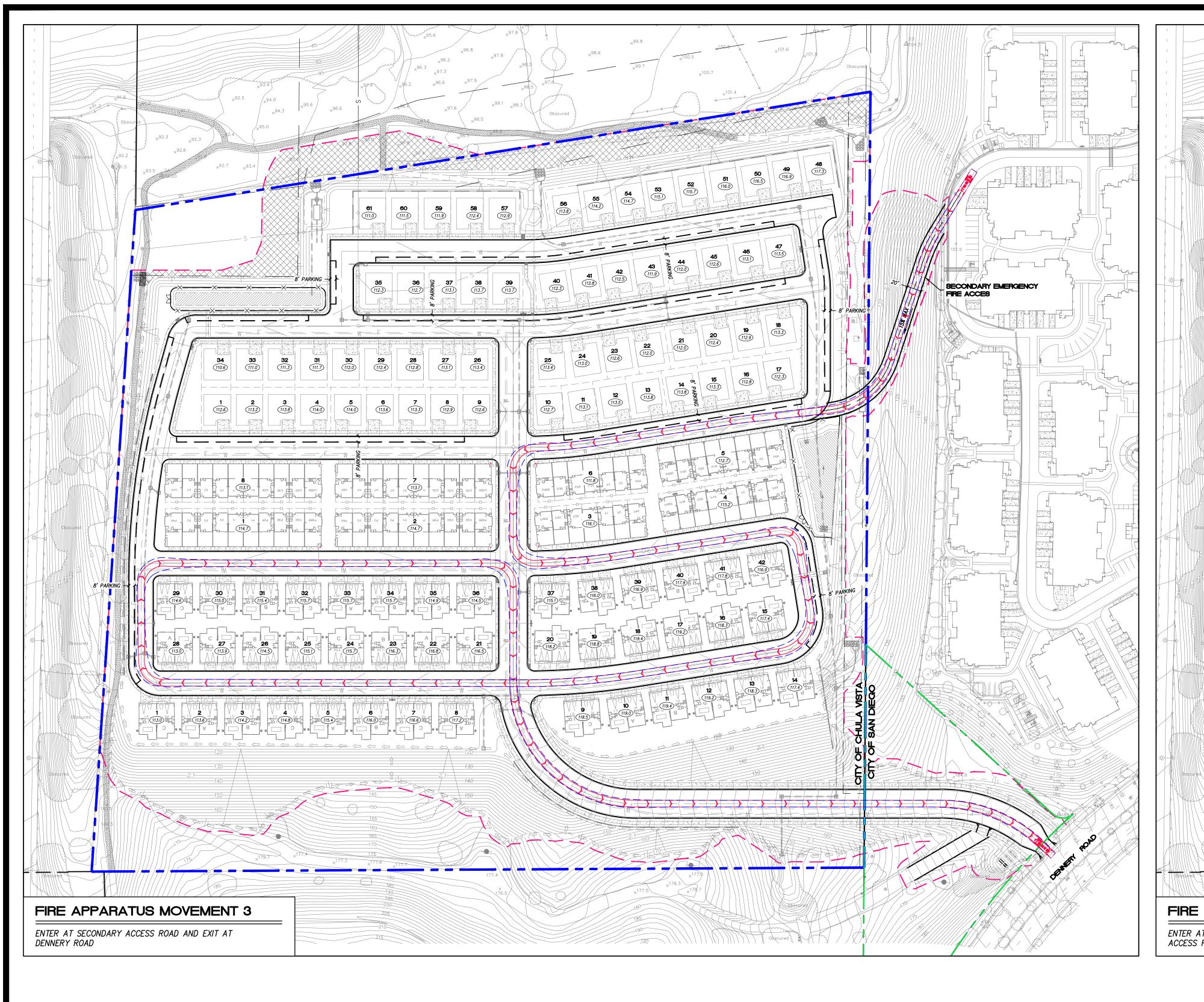
HENRY H. PENG R.C.E. 63686

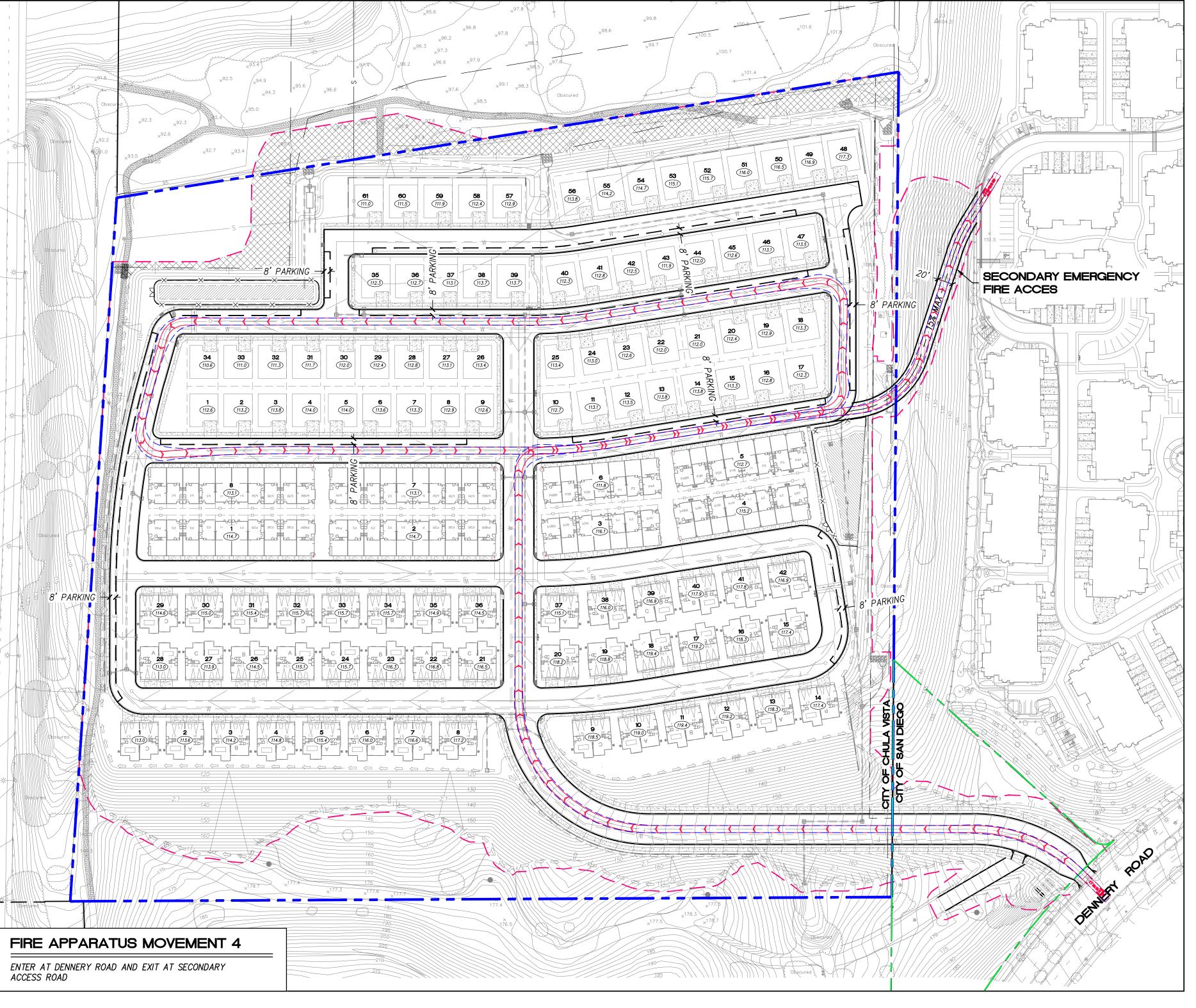




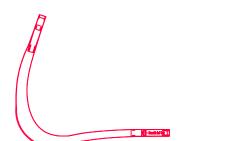


FIRE - APPARATUS ACCESS PATHS AND NOTES DEP #





LEGEND:



FIRE APPARATUS ACCESS PATH

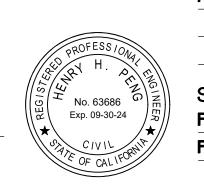
FIRE NOTES:

SEE SHEET 10 FOR FIRE NOTES.



HENRY H. PENG R.C.E. 63686





		ORIGINAL DATE: _	11/4/2022
		REVISION 1: _	5/12/2023
	JECT NAME:	REVISION 2:	10/2/2023
). IE	ECT NAME:	REVISION 3:	
		REVISION 4:	
TT	A LANE AND SAND STAR WAY	REVISION 5:	
HS	DE OF DENNERY RD BETWEEN	REVISION 6:	
JE	ECT ADDRESS:	REVISION 7:	
		REVISION 8:	
:	<u>858–843–4253</u>	REVISION 9:	
	POWAY, CA 92128	REVISION 10:	
SS:	13475 DANIELSON STREET, SUITE 150	REVISION 11:	
	CIVIL SENSE, INC.	REVISION 12:	

	ORIGINAL	_ DATE:	11/4	/2022
ET TITLE: - APPARATUS ACCESS	SHEET _	11A	_OF _	2
IS AND NOTES	DED "			

CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

Page 1 of 2

Construction Site Policy for Compliance with Fire Safety Provisions

California has adopted a statewide building code, codified in title 24 of the California Code of Regulations. The code imposes a mandatory duty on local jurisdictions to adopt rules and regulations which include the same building code requirements as those contained in the statewide building codes. Pursuant to that requirement, the City of Chula Vista Municipal Code section 15.36 adopts and incorporates by reference the California Fire Code, 2019 Edition.

California Fire Code chapters 5 and 33 establishes fire safety standards for sites during the construction phase. Section 3310 requires that access roads sufficient to accommodate fire department apparatus be established and maintained. Section 3312 requires the installation of operational water supplies. Temporary access roads and water supplies may be permitted during the construction period upon approval by the Fire Department. These provisions are incorporated in Chula Vista Fire Department policies 2916.00 and 2916.01. The policies apply to residential and commercial construction projects and mandate that approved water supplies and access roads be in place prior to the delivery of combustible materials on any construction site. For purposes of compliance with the policies the following definitions apply:

- Water Supply means a fully operational and tested fire service utility system serving the permanent hydrant system.
- Access means a fully improved street section (private or public); a first layer of asphalt is also acceptable to allow for access to within 150 feet of all combustibles.
- When approved by the Fire Marshal, temporary access roadways and temporary water services may be substituted for permanent road and water supplies.

Requests for temporary roadways must be submitted in writing for review and approval by the Fire Marshal. Requests must include a site plan, geotechnical information, and a time frame indicating how long the temporary roadways will be in place (for the specific requirements, please see CVFD Policy 2916.03). The phasing of improvements and/or the point at which the temporary road extends is at the discretion of the Fire Marshal. Temporary access roads are to be constructed of an asphalt concrete pavement (of a suitable thickness), on top of an appropriate native soil or base as approved.

Requests to install temporary water services must be submitted in writing for review and approval by the Fire Marshal. Requests must include a site plan, and a time frame indicating how long the temporary water services will be in place.

Street Signs – California Fire Code section 505.2 requires street signs at all construction sites. Street signs may be permanent signs as approved for installation by City staff or temporary signs approved by the Fire Marshal. Street signs must indicate the street name and the hundred block.

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C, Suite B-143 • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention

The following California Fire Code sections apply to construction site safety provisions covered by this document.

- Section 107 authorizes the Fire Marshal to inspect construction sites, as often as necessary, to ensure compliance with these requirements.
- Section 112 authorizes the Fire Marshal to stop work at any site found to be in violation of these

• Section 110 authorizes the Fire Marshal to issue corrective notices.

- Section 110.3.3 authorizes the Fire Marshal to issue citations to persons who fail to take
- immediate corrective action for violations under this policy.

Chula Vista Municipal Code provides for penalties for violations of the California Fire Code. Administrative penalties of up to \$500.00 per day and civil penalties of up to \$1000.00 per day may be assessed. See also CVMC sections 1.41.100 and 1.41.110. Finally, pursuant to Government Code section 38773, costs and penalties may be recovered for violations of the fire code.

If any of the above requirements are not in place in accordance with Fire Department and state regulations, the construction project will be shut down and all inspections will be temporarily stopped until provisions have been made to provide compliance. The undersigned hereby certifies that he/she has read the terms and conditions of this Policy and acknowledges that he/she understands such terms and conditions. Failure to comply with a cease and desist order is a misdemeanor and may subject the person signing this document to criminal prosecution.

The person signing this document is hereby responsible for ensuring compliance with provisions of this policy and must notify all responsible parties as to these requirements.

Name (Print)	Name (Signature)
Title	Date

Once signed and dated, this form shall be reproduced on the final permitted set of plans.

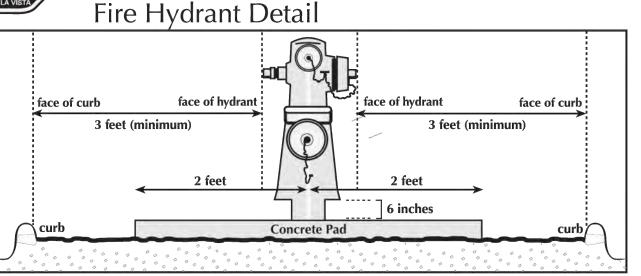
CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C, Suite B-143 • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention

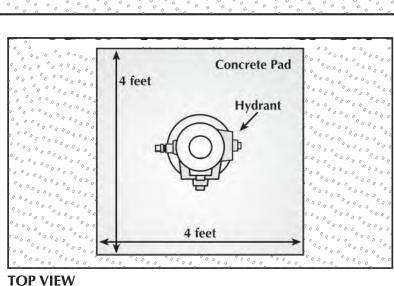
SIDE VIEW

Page 2 of 2

CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION





Hydrant Specifications

- 1. Measurements MUST be exact and will be subject to a field inspection
- 2. Residential and commercial hydrants must have one 4 inch port and two 2 1/2 inch ports with national standard threads (NST)
- 3. Industrial fire hydrants must have two 4 inch port and one 2 1/2 inch port with NST 4. Painted (OSHA) yellow
- 5. Must have concrete pad adhering to the above specifications
- 6. A blue reflective marker must be in place to identify fire hydrant location
- 7. Concrete pad must be a minimum of 4 inches thick 8. Base of hydrant must be 6 inches from concrete pad
- 9. Provide 3-feet (minimum) from the face of the hydrant to the face of the curb (bollards are required if distance is not met)

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building 300, Suite B-143 • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention

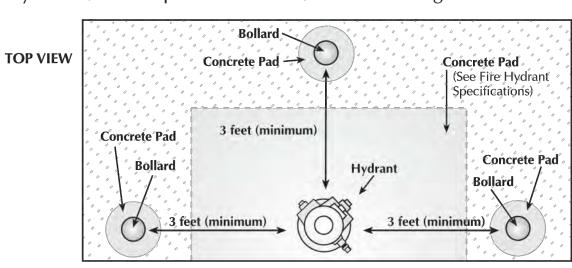


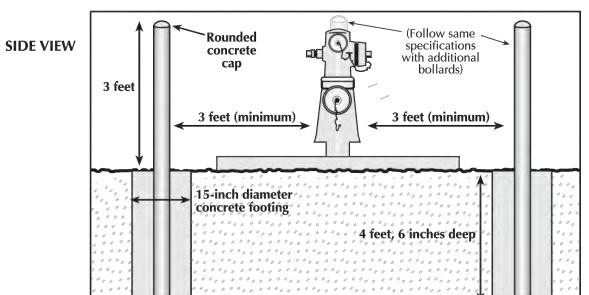
CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

Water Supply - Bollards

Fire Hydrants / Fire Dept. Connections / Post Indicating Valves





Bollard Specifications

- 1. Measurements MUST be exact and will be subject to a field inspection
- 2. Bollards must be 4-inch diameter galvanized steel post (1/4" wall) filled with concrete
- 3. A blue reflective marker must be in place to identify fire hydrant location 4. Bollards must be coated using safety yellow paint.

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building 300, Suite B-143 • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention



Continued »

CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

FIRE LANE IDENTIFICATION Fire Lanes shall be identified in accordance with one of the details below:

Detail A - No Stopping Sign



- Signs shall be in accordance with Caltrans/FHWA standard [R26F] (See page 2)
- The face of the sign shall be parallel to the roadway • Spaced at maximum intervals of 50ft on center or fraction thereof
- Signs shall be mounted on posts 7ft above grade or on building as approved
- Signs shall be .080 gauge aluminum
- Signs shall have ASTM Type IV High Intensity reflective sheeting Signs shall be provided with a protective overlay film

Detail B - Curb Painting - Both sides of fire lane unless otherwise approved



- Entire curb shall be painted red [two coats] White lettering - "NO STOPPING - FIRE LANE"
- Lettering height minimum of 4 inches Lettering to be on top of designated curbing
- Spaced at maximum intervals of 25ft on center or fraction thereof
- Paint shall be suitable for exterior application and fade resistant

Detail C - Striping (with no curb) - Both sides of fire lane unless otherwise approved



- Minimum width of this red stripe shall be 8 inches [two coats] • White lettering - "NO STOPPING - FIRE LANE" [two coats] • Lettering height - minimum of 6 inches • Spaced at maximum intervals of 25ft on center or fraction thereof
- Paint shall be suitable for exterior application and fade resistant

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C, Suite B-143 • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention



CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

NO STOPPING SIGN Signs shall be in accordance with Caltrans/FHWA standard [R26F]



CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C, Suite B-143 • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention

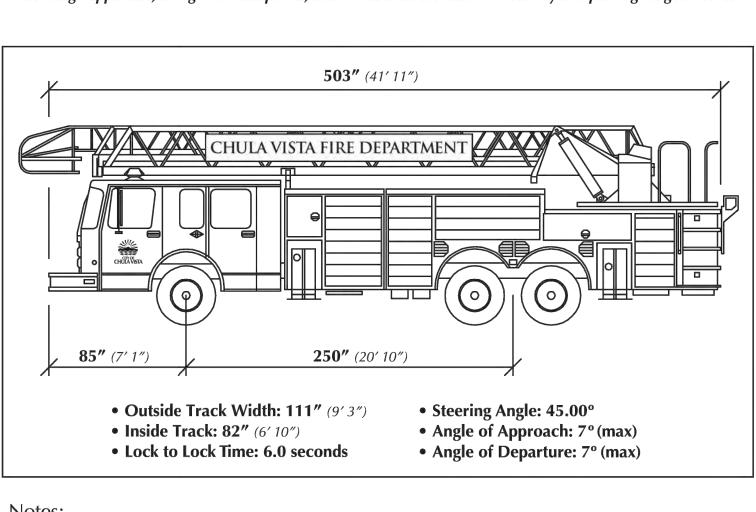
THE POLICY FOR INTENDED USAGE OF THIS SIGN IS SHOWN ON REVERSE SIDE.



CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

AUTO TURN DATA: Ladder Truck This design apparatus, along with data points, shall be used as the basis for roadway and parking lot geometrics.



Notes:

1. A Chula Vista Fire Department Maneuverability Analysis shall be performed by a licensed professional engineer to

verify the turning capabilities of this design apparatus. Travel paths should begin outside the site illustrating the turn onto all entry roads/drives, maneuvering around the site, and completed with an illustration demonstrating exiting from the site.

2. Paths must illustrate the full vehicle swept path (including wheel tracks and wall-to-wall vehicle overhang sweep) and must indicate a clear, unobstructed travel around the site without impact/collisions to buildings, curbs, landscaping, parking spaces, vehicles, etc. Wheel tracks shall not come within 1 foot of curbs. Apparatus bumper overhang shall not extend over curbs and the like.

3. Design speed (no less than 5mph); if speed varies indicate points of change by notes/labels.

4. The Chula Vista Fire Department Maneuverability Analysis shall be used to create an exhibit, which shall be submitted for review and approval. 5. Maneuverability Analysis shall also be designed to and

confirm that any angle of approach/departure does not

6. This detail shall be reproduced on the submitted exhibit.

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C • Chula Vista, CA 91910 (619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention

PREPARED BY:

HENRY H. PENG R.C.E. 63686 1 inch = 50 ft.

Exp. 09-30-24

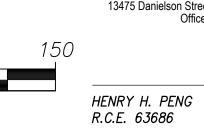
CIVIL SENSE, INC. REVISION 12: ADDRESS: 13475 DANIELSON STREET, SUITE 150 POWAY, CA 92128 REVISION 10: PHONE: <u>858-843-4253</u> REVISION 8: PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY PROJECT NAME: 10/2/2023 REVISION 2: NAKANO REVISION 1:

SHEET TITLE: FIRE NOTES

DEP #

SINCE 1921 DILL	2	3
CHULA VISTA FIRE DEPARTMENT FIRE PREVENTION DIVISION	8. Class A, C-16, C-34, and C-36 contractors can only design underground fire service utility projects if their staff performs the entire installation without subcontracting installation work.	b. Total square footage per building c. CBC construction type per building d. CBC occupancy type per building
	9. All design professionals and installing contractors shall also have and demonstrate proof of a City of Chula Vista Business License.	e. Building heights f. Number of stories
UNDERGROUND FIRE SERVICE UTILITY REQUIREMENTS	PLANS:	g. Type of sprinkler system provided, and if any reductions in fire flow are being used (25% max.) h. Number of hydrants installed
SCOPE:	Plans must include the following information: 10. Legend.	25. Provide a summary pipe length data table for Underground Fire Service Utility piping on the top sheet.
 This standard is applicable to all private underground piping for fire hydrants, fire sprinkler supply lines, and/or other underground fire and life safety appurtenances within the City of Chula Vista. This standard is not applicable to underground piping in the public right-of-way and for utilities serving fire sprinkler systems designed in accordance with NFPA 13D. The codes and standards listed herein provide the minimum requirements for the design, installation, testing, and inspection of Underground Fire 	11. Applicable codes and standards used for the system design.12. Project Name.	26. Complete listings and manufacturers technical data sheets for all system materials shall be included with all Underground Fire Service Utility submittals. All system materials shall be U.L./F.M. listed for fire service and approved by the Fire Prevention Division prior to installation.
Service Utility Systems in the City of Chula Vista: a. City of Chula Vista Fire Prevention Details	13. Owner Name.	HYDRAULIC ANALYSIS:
b. California Fire Code, 2019 Edition c. California Building Code, 2019 Edition	14. Design professional name, telephone number, address, and CA State registered professional engineer number.	27. A hydraulic water flow analysis shall accompany the plans. This analysis shall show the actual flow and pressure for all Fire Hydrants. The Hazen Williams Formula shall be used in the determination of these flows and pressures. The analysis shall show
d. NFPA 13, 2016 Edition e. NFPA 14, 2016 Edition	15. Contractor's name, telephone number, address, and CA State contractor's license number and classification (if	that the required fire flow is available at the Fire Hydrants.
f. NFPA 24, 2016 Edition g. Water District Having Jurisdiction requirements h. San Diego Water Agency Standards (WAS)	known/applicable). 16. Vicinity map indicating major cross streets adjacent to project.	28. The system shall be designed and sized such that the maximum velocity in the pipe shall not exceed the velocity allowed by the pipe type listing.
i. American Water Works Association (AWWA)	17. Legal address of all buildings.	29. Calculations shall extend to the point at which the water supply data was determined.
PERMITS: 2. Underground Fire Service Utilities are required to be included as part of the City of Chula Vista: a. Development Services Department (DSD) Private Improvement Permit Plans, or b. DSD Building Permit Plans.	18. Curb lines, sidewalks, alleys, driveways, walls, fences, property lines, vehicle parking layouts (indicate whether or not parking is covered or uncovered), power poles, adjacent structures, all on site buildings, any other items which are pertinent to Fire Hydrant, Post Indicating Valve (PIV), and Fire Department Connection (FDC) placement.	30. Water supply data is required to accompany hydraulic water flow analysis. An official water flow letter can be obtained from the respective water authority. The water flow requirements shall be based upon the currently adopted California Fire Code. The date of the water flow test shall be no older than twelve (12) months from the time of the plan submittal. Per CVFD Ordinance, the maximum fire flow reduction for an approved automatic fire sprinkler system is 25%.
Exception: Emergency repair of an existing Underground Fire Service Utility System, replacing like for like appurtenances,	19. Point of compass.	RESTRAINT METHOD:
may start immediately. Permit plans are submitted only to the Chula Vista Fire Department (CVFD) within 48 hours from the start of the repair work.	20. Size and location of all water supplies and all public Fire Hydrants within 500 feet of the site.	31. Underground Fire Service Utilities shall be restrained against movement at changes in direction and as required in other locations. The two approved methods are Thrust Blocks or Mechanical Restraint, which shall be designed and installed in accordance
3. Note: Applicants will need to apply for a DSD Private Improvement Permit if: a. Applying for a residential development (e.g., SFDs, Multi-family) where the streets are private,	21. Respective Water Authority Pressure Zones.	with NFPA 24, manufactures recommendations, and product listings. Additional requirements related to Thrust Blocks and Mechanical Restraints are listed below.
b. Multi-building commercial developments, or c. Site improvements are to commence at the time of grading, which is before a building permit.	22. The following items that pertain to private fire service mains: a. Size	THRUST BLOCK RESTRAINT: 32. Calculations shall be submitted, and the resulting dimensions of thrust blocks shall be shown on the plans. Soil bearing
4. Please note that if the applicant submits for a DSD Private Improvement Permit, Underground Fire Service Utilities shall be	b. Length c. Stationing	strength shall be substantiated, via a geotechnical report, and shall be noted within the calculations. The Chula Vista Fire Department's Thrust Block example calculations can be used if the design Engineer substantiates that the example Thrust Blocks are
included as part of this submittal. If the project doesn't submit for a DSD Private Improvement Permit, Underground Fire Service Utilities are then required to be included with a DSD Building Permit.	d. Weight e. Material f. Pressure class	more conservative based upon known soil bearing capacity. 33. Thrust blocks shall be installed on unrestrained pressure pipelines at all tees, wyes, reducers, horizontal bends, ascending
5. In concert with the DSD Permits mentioned above, a Fire Safety Engineering Permit is also required. City staff will create this permit in concert with the above and charge fees in accordance with the City of Chula Vista's Master Fee Schedule. These fees are	g. Point of connection to public main h. Sizes, types, and locations of fittings, valves, valve indicators, regulators, and meters	vertical bends, and dead-ends, and shall bear directly against fittings and firm, wetted, undisturbed soil. Thrust blocks shall be located so that bearing areas on both fittings and soil are centered along the direction of thrust. For tees and wyes, the direction of
required to be paid in addition to the DSD Private Improvement Permit and/or DSD Building Permit fees, at the time of application.	i. Depth at which the top of the pipe is laid below grade j. Sectional view of typical trench	thrust is along a line directly opposite the side outlet. For bends, the direction of thrust is along a line bisecting the outside angle formed by the adjacent pipe segments. For reducers, the direction of thrust is along the pipeline from the large end to the small end
6. Complete plans for underground piping and components shall be submitted for approval in advance of installation. DESIGNER & INSTALLER:	k. Method/type of pipe/appurtenance restraint 23. The plan submittal shall include the manufacturer's installation instructions for any specially listed equipment,	of the reducer. For dead-ends, including in-line valves, the direction of thrust is along the pipeline. 34. Anchor blocks shall be located at all unrestrained descending vertical bends. Thrust blocks are not suited for such
7. Underground fire protection plans shall be designed by a licensed contractor (i.e., A, C-16, C-34 or C-36) or by a registered professional engineer (e.g., Fire Protection Engineer), licensed by the State of California (Board of	including descriptions, applications, and limitations for any devices, piping, or fittings.	applications because excavation necessarily disturbs soil in the direction of thrust. Anchor blocks rely on the weight of the concrete used to restrain thrust. Anchor blocks must include as a minimum two (2) number four (#4) steel reinforcing bars with 2-inch
Professional Engineers). All copies and sheets of the plans shall be stamped and signed by the licensed individuals.	24. Project Data. Project Date table shall include: a. Required fire flow provided by CVFD	minimum concrete embedment as directed design Engineer.
CHULA VISTA FIRE DEPARTMENT ● Fire Prevention Division ● 276 Fourth Avenue, Building C ● Chula Vista, CA 91910 ● (619) 691-5029	CHULA VISTA FIRE DEPARTMENT ● Fire Prevention Division ● 276 Fourth Avenue, Building C ● Chula Vista, CA 91910 ● (619) 691-5029	CHULA VISTA FIRE DEPARTMENT ● Fire Prevention Division ● 276 Fourth Avenue, Building C ● Chula Vista, CA 91910 ● (619) 691-5029
 https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention 	 https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention 	https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention
35. Results of calculations for all Thrust Blocks and Anchor Blocks shall be individually noted in the plan presented in the form of a clear and complete "Thrust, Anchor Block". Thrust Block and Anchor Block information shall include pipe station, type of block, test pressure, total thrust, assumed or tested soil capacity, and area or volume of block(s) required. 36. All applications shall use a minimum of Class 560-C-3250 concrete (Cast-in-place piles), unless otherwise directed by the design Engineer. 37. When determining thrust at fittings, in the calculation of concrete blocks, a thrust pressure of 200psi shall be used. MECHANICAL RESTRAINT: 38. When utilizing Restrained Joint Systems, one of the following shall be used: (1) Locking mechanical or push-on joints, (2) Mechanical joints utilizing setscrew retainer glans, (3) Bolted flange joints, (4) Pipe clamps and tie rods, or (5) Other approved methods or devices. FIRE DEPARTMENT CONNECTIONS/POST INDICATING VALVES/BACKFLOWS: 39. The Chula Vista Fire Department requires separate free-standing PIVs and FDCs for all structures protected by fire sprinkler systems. Exception: CVFD allows the configurations below, based upon the specific project restrictions. Please consult with your Fire Department inspector. Plan Reviewer for additional details and approvals. a. Multi-building residential projects, protected by residential fire sprinkler systems, where real estate is limited and PIVs and PDCs are considered impractical: i. A separate PIV and PDC is not required. ii. PDC is allowed to be located on the building, the PIV shall be eliminated and replaced by a control and check valve on the sprinkler riser. b. Single-building commercial projects, protected by residential fire sprinkler systems, where there are no on-site Fire Hydrants and/or other appurtenances reved: i. A separate PIV and PDC is not required. ii. PDC may be located as either part of the Backflow Assembly or on the building. iii. When the PDC is located on the Backflow Assembly or buil	49, PIVs and Backflow Devices shall be installed with a supervisory switch, which sounds a supervisory alarm at a U.L. listed central receiving station (central station monitoring for certified system and central station remote service for non-certified monitoring systems). FIRE HYDRANTS: 50. Fire Hydrants shall not be under the control of PIVs controlling Automatic Fire Sprinkler Systems. 51. Fire Hydrants shall not be subject to pressure supplied by way of a FDC. 52. Fire Hydrant sizes: a. Residential and Commercial: One (1) — four inch (4") x Two (2) — two and one half inch (2 1/2") b. Industrial: Two (2) — four-inch (4") x One (3) — two and one half inch (2 1/2") 53. Wet-barrel Fire Hydrants shall generally be used for pressures up to two hundred (200) psi. System pressures up to and including one hundred fifty (150) psi require standard Wet-barrel Fire Hydrants, and pressures up to two hundred (200) psi require high-pressure Wet-barrel Fire Hydrants. 54. Fire Hydrants nequire breakaway spools, which shall be set within the concrete pad. Break off grove, maximum of two, shall terminate above the pad. 55. Fire Hydrants require breakaway spools, which shall be set within the concrete pad. Break off grove, maximum of two, shall terminate above the pad. 56. Fire Hydrant gate valves shall be provided on the lateral in a road box at ten (10) feet from the Fire Hydrant. 57. Blue reflective markers shall be installed to identify location of Fire Hydrants. These markers shall be visible from both directions of vehicle travel. On undivided roads, markers will be placed one foot from centerline in the direction of the fire appliance. ADDITIONAL REQUIREMENTS: 58. Regardless of Hydralic calculations, two points of connections to the public main are required when the system serves three (3) or more Fire Hydrants, Distribution must be configured to provide at least 50 percent of the required fire flow in case of a single break. 59. Underground lateral supplies for Fire Sprinkler Systems shall be a minimum of 4 inches.	63. All underground piping shall be per AWWA C900-16; in addition, piping shall be a minimum of DR18/Pressure Class 235 or have a dimension ratio/higher pressure class per the design Engineer. 64. When public water supply pressure exceeds 150psi (static), a pressure reducing device shall be added to the backflow prevention device and set/adjusted to 150psi. Check with Water Authority Having Jurisdiction for specific requirements. 65. Tracer Wire is required for all Underground Fire Service Utilities. a. Wire shall be #14 AWG solid copper UF B type wire with cross-linked polyethylene insulation. b. The insulation shall be white or yellow in color. c. Wire spilese shall be accombined using a direct bury silicone-filled capsule tube with standard wire nut or silicone-filled wire nut connectors of the appropriate size. d. Tracer Wire shall care access port shall be provided with the concrete splash pad of all Fire Hydrants and at the Fire Sprinkler System Riser. f. Wire shall extend into the access port and shall terminate with a colled 24" length of wire. 66. Warning/Identification Tape is required for all Underground Fire Service Utilities. a. Tape's printed message shall be, Caution: Waterline Buried Below (in black ink). b. Tape color shall be Blue. c. Tape shall be inert, non-metallic plastic film that is non degrading and puncture resistant. e. Tape shall be placed 12" inches above the pipe with the printed side up. 67. On site Fire Hydrants, PIVs, and FDCs shall be located no less than 3 feet behind the face of a compliant curb and no further than 5 feet behind the face of curb. When no curb is provided, Bollards shall be provided. 68. The design Engineer shall confirm piping wall thickness where there are unusual external/internal conditions. If applicable, trench loads shall consider both prism and live loads. 69. Chula Vista Fire Department maintains up-to-date policles, construction details, and fee schedules. Use the link below to a access additional relevant Underground Fire Service Util
47. PIVs and FDCs shall have a sign to indicate what buildings they serve.	61. Automatic Fire Sprinkler System lateral transition fittings installed under the building shall be a UL listed one-piece solid sweep In-Building Riser.	Underground Fire Service Utility Final Inspection. Underground systems will not pass the Final Inspection until the Fire Prevention Division receives this completed certificate.
48. PIVs and Backflow Devices shall be provided with a breakaway security lock. Keys shall be kept in the Knox Box/Vault.	62. Underground lateral supplies for Fire Hydrants shall be a minimum of 6 inches.	
CHULA VISTA FIRE DEPARTMENT ● Fire Prevention Division ● 276 Fourth Avenue, Building C ● Chula Vista, CA 91910 ● (619) 691-5029 ● https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention	CHULA VISTA FIRE DEPARTMENT ● Fire Prevention Division ● 276 Fourth Avenue, Building C ● Chula Vista, CA 91910 ● (619) 691-5029 ● https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention	CHULA VISTA FIRE DEPARTMENT ● Fire Prevention Division ● 276 Fourth Avenue, Building C ● Chula Vista, CA 91910 ● (619) 691-5029 ● https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention

PREPARED BY:



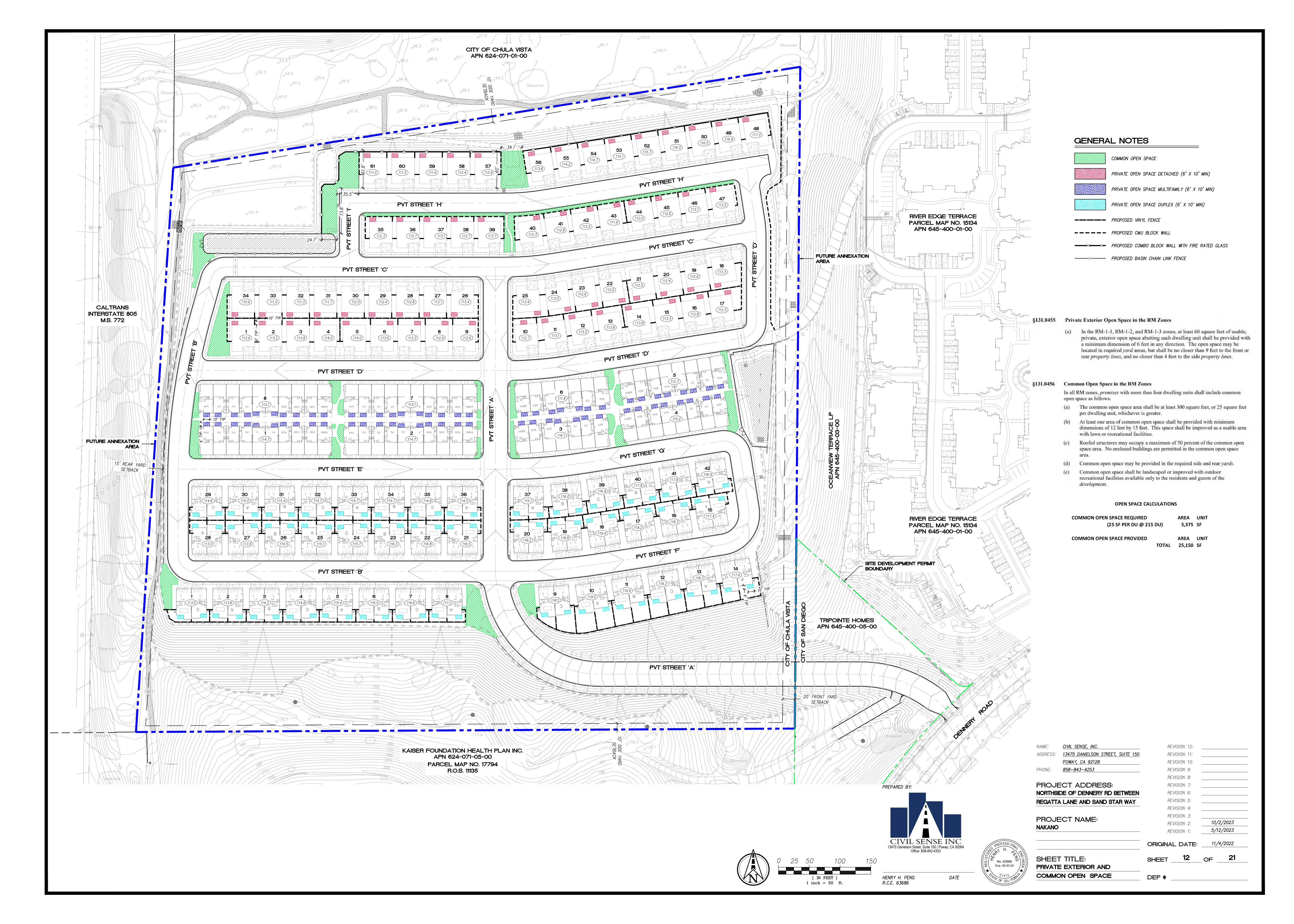
(IN FEET) 1 inch = 50 ft.

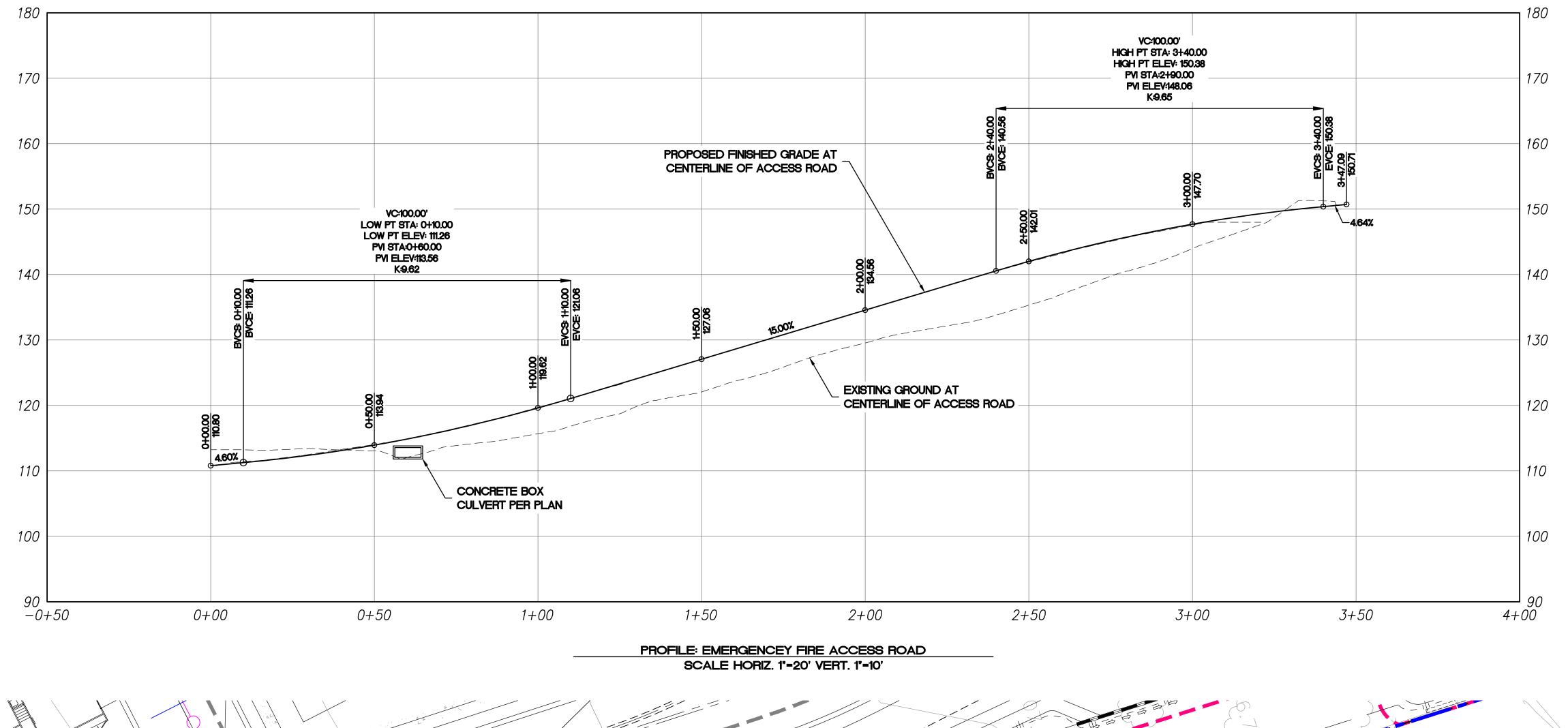


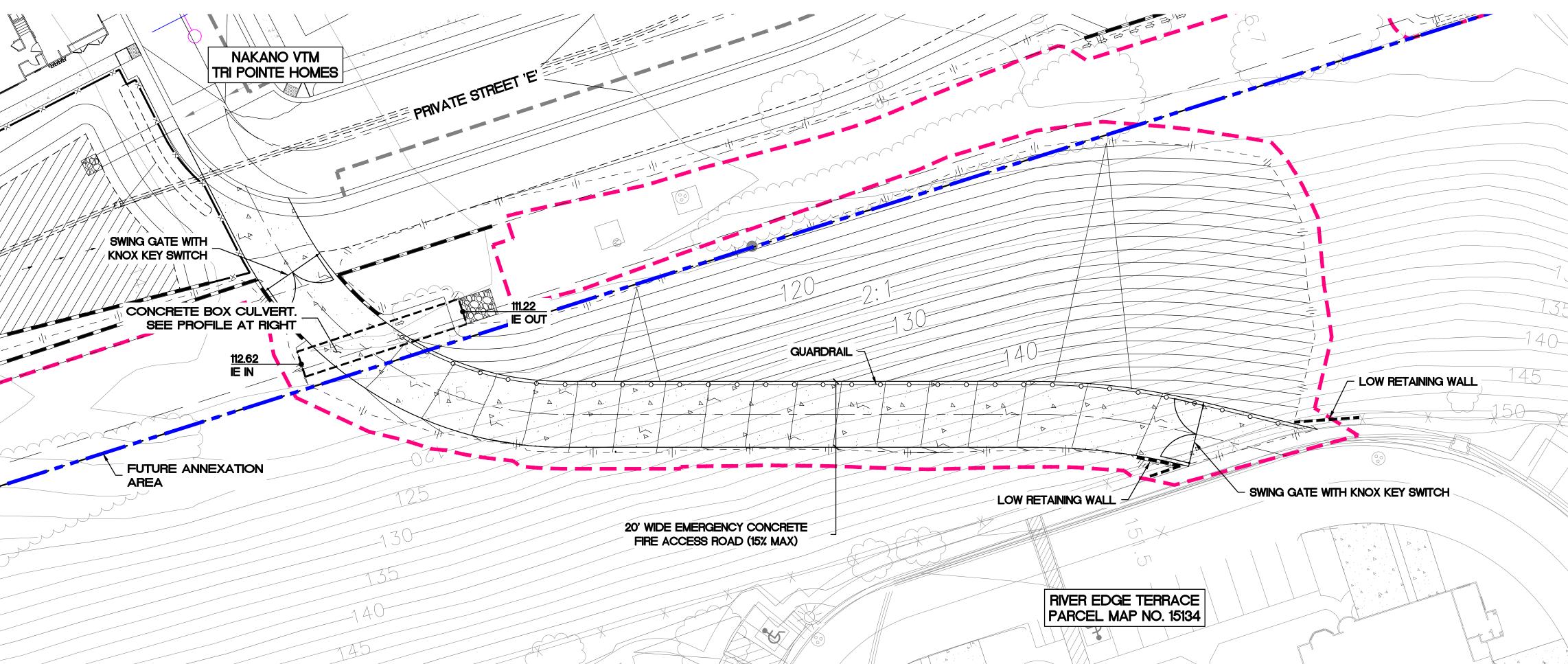
SHEET TITLE: No. 63686 SEXP. 09-30-24 FIRE NOTES

REVISION 12: NAME: <u>CIVIL SENSE, INC.</u> ADDRESS: 13475 DANIELSON STREET, SUITE 150 REVISION 10: POWAY, CA 92128 PHONE: 858-843-4253 REVISION 8: PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY REVISION 4: PROJECT NAME: REVISION 2: 10/2/2023 NAKANO REVISION 1: 5/12/2023

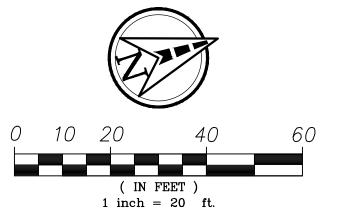
DEP # ___







PLAN: EMERGENCEY FIRE ACCESS ROAD SCALE 1"=20"





HENRY H. PENG R.C.E. 63686



- DAOF	PLAN AND PROFILE	DEP #		
	TITLE: ENCY FIRE ACCESS	SHEET 13	_OF	21
		ORIGINAL DATE:	11/4/2	2022
TARANO		REVISION 1:	5/12/2	2023
PROJECT NAME: NAKANO		REVISION 2:	10/2/2	
		REVISION 3:		
LGATIA	CANE AND GAND STAIT WAT	REVISION 4:		
	A LANE AND SAND STAR WAY	REVISION 5:		
	DE OF DENNERY RD BETWEEN	REVISION 6:		
PROJE	CT ADDRESS:	REVISION 7:		
		REVISION 8:		
PHONE:	858-843-4253	REVISION 9:		
	POWAY, CA 92128	REVISION 10:		
ADDRESS:	13475 DANIELSON STREET, SUITE 150	REVISION 11:		
V <i>AME:</i>	CIVIL SENSE, INC.	REVISION 12:		

FINISHED GRADE AT
CENTERLINE OF CONCRETE
BOX CULVERT

10' LONG RIP RAP PAD

20' WIDE SECONDARY

EMERGENCY

ACCESS ROAD

__CONCRETE BOX CULVERT _ 48.5'L x 18"H x 8'W • 2.9%

PROFILE: CONCRETE BOX CULVERT

SCALE HORIZ. 1"=10" VERT. 1"=5"

50 H 71

EXISTING GROUND AT

CENTERLINE OF —

CONCRETE BOX CULVERT