

LEGEND

DAYLIGHT LINE: - - - - -

CUT / FILL LINE: - - - - -

PROPOSED FILL AREA: [Blue cross-hatch pattern]

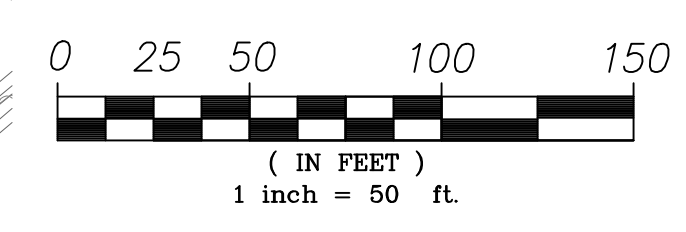
PROPOSED CUT AREA: [Red diagonal hatch pattern]

REMEDIAL GRADING AREA: [Green cross-hatch pattern]

GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 21.19 ACRES
(INCLUDING OFFSITE GRADING)
- PERCENTAGE OF TOTAL SITE GRADED: 84.6% (21.19 AC / 25.04 AC)
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 4.06 ACRES
- PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 11.0% (2.76 AC / 25.04 AC)
NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
- PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 16.2% (4.06 AC / 25.04 AC)
- AMOUNT OF CUT: 110,400 CUBIC YARDS
- AMOUNT OF FILL: 133,000 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL(SLOPE(S)): 21 FEET
MAX. 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT(SLOPE(S)): 19 FEET
MAX. 2:1 SLOPE RATIO
- AMOUNT OF IMPORT SOIL: 22,600 CUBIC YARDS
- RETAINING WALLS
QUANTITY: 8
MAX. LENGTH: 419 FEET
MAX. HEIGHT: 24 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.



NAME: LEPPERT ENGINEERING CORPORATION
 ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205, SAN DIEGO, CA 92122
 PHONE: 858-597-2001

PROJECT ADDRESS:
 NORTHSIDE OF DENNERY RD BETWEEN
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
 NAKANO

REVISION 12: _____
 REVISION 11: _____
 REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: 12/14/2023
 REVISION 3: 10/2/2023
 REVISION 2: 5/12/2023
 REVISION 1: _____

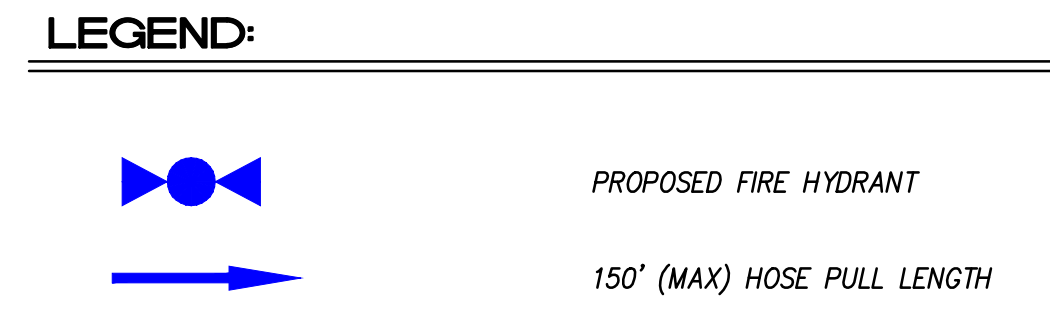
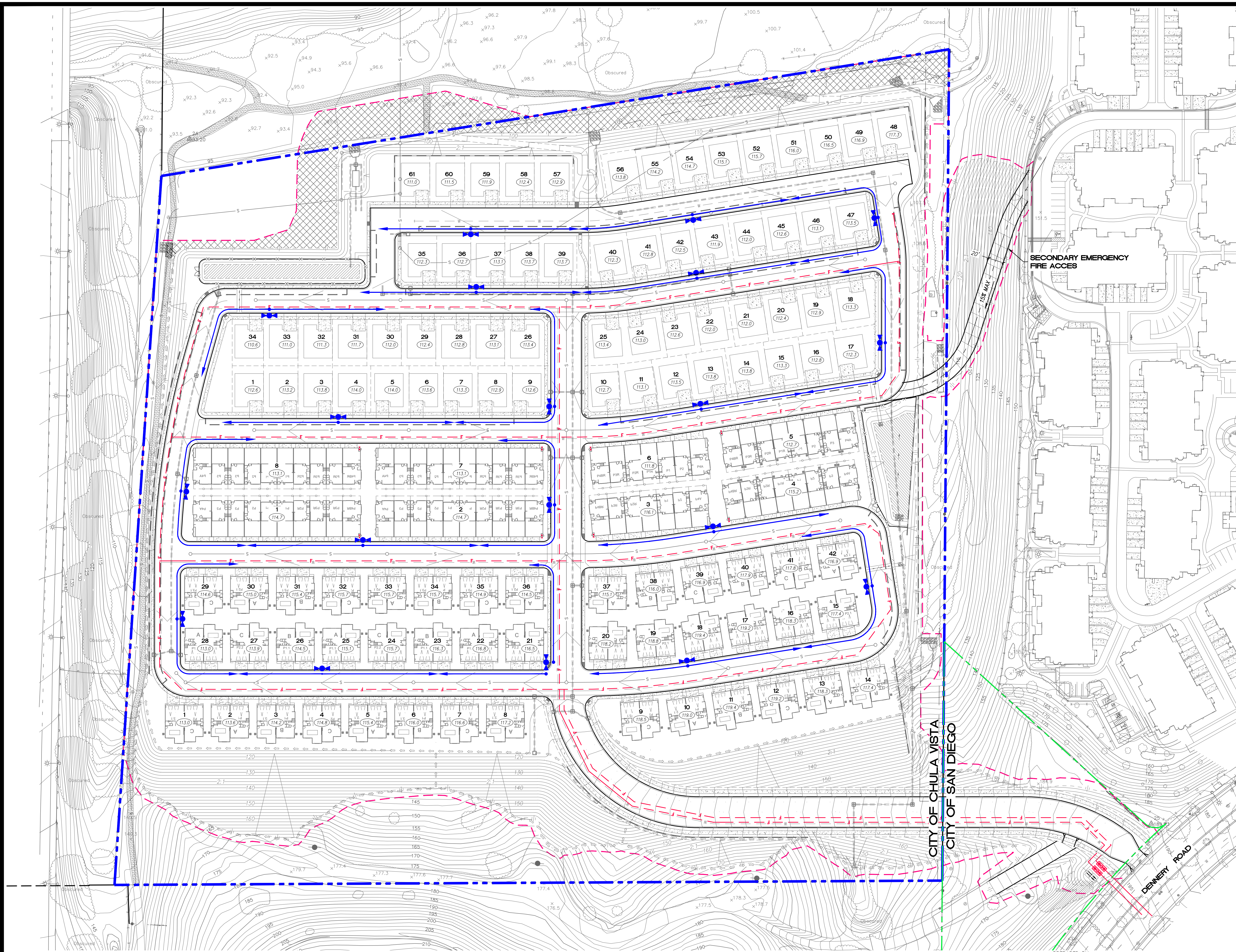


JOHN D. LEPPERT DATE
 R.C.E. 26283

ORIGINAL DATE: 11/4/2022

SHEET TITLE: EARTHWORK SHEET 9 OF 21

DEP # _____



- FIRE NOTES:**
1. COMPLY WITH CVFD CONSTRUCTION SITE POLICY FOR THE COMPLIANCE WITH SAFETY PROVISIONS AS SHOWN ON DETAIL SHEET 11B.
 2. PROVIDE CLEAR SPACE AROUND HYDRANTS AS SPECIFIED ON CVFD FIRE HYDRANT DETAIL PROVIDED ON SHEET 11B.
 3. COMPLY CVFD UG FIRE SERVICE UTILITY REQUIREMENTS PER NOTES PROVIDED ON SHEET 11C.
 4. PHYSICAL PROTECTION OF FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND POST INDICATOR VALVES PER WATER SUPPLY BOLLARDS DETAIL PROVIDED ON SHEET 11B.
 5. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OR ALARM BELLS, HORNS OR STROBES.
 6. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
 7. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
 8. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3.
 9. NO ON STREET PARKING ALLOWED ON ALL PRIVATE DRIVEWAYS AND PRIVATE ALLEYS.
 10. COMPLY WITH CVFD FIRE LANE IDENTIFICATION DETAIL PROVIDED ON SHEET 11B.
 11. PROVIDE AN ILLUMINATED DIRECTORY PER CVFD ILLUMINATED DIRECTORY DETAIL PROVIDED ON SHEET 11B.
 12. SITE PLAN, AS SHOWN, MEETS FIRE ACCESS AND SETBACK REQUIREMENTS FOR BUILDINGS LESS THAN 30' IN HEIGHT. SETBACK AND ACCESS REQUIREMENTS TO BE REVIEWED AGAIN DURING BUILDING PERMIT PROCESS TO ENSURE THAT REQUIREMENTS CONTINUE TO BE MET FOR BOTH RESIDENTIAL AND COMMERCIAL SITES.

FIRE ACCESS
SEE SHEETS 11 AND 11A FOR FIRE APPARATUS ACCESS PATHS

CITY OF CHULA VISTA
CITY OF SAN DIEGO

DENNERLY ROAD

NAME: CIVIL SENSE, INC.
ADDRESS: 13475 DANIELSON STREET, SUITE 150
POMAY, CA 92128
PHONE: 858-843-4253

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REVISION 1:	

PROJECT ADDRESS:
NORTHSIDE OF DENNERLY RD BETWEEN
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
NAKANO

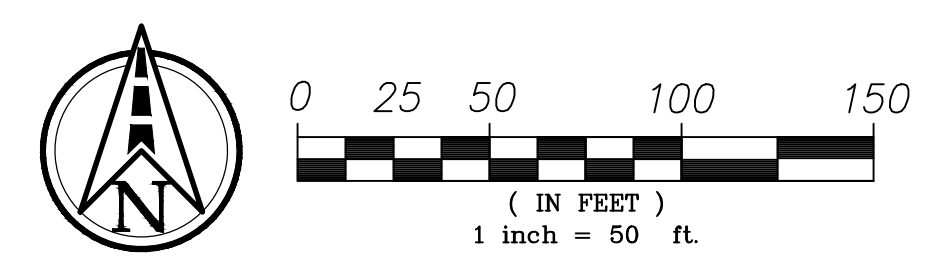
ORIGINAL DATE: 11/4/2022

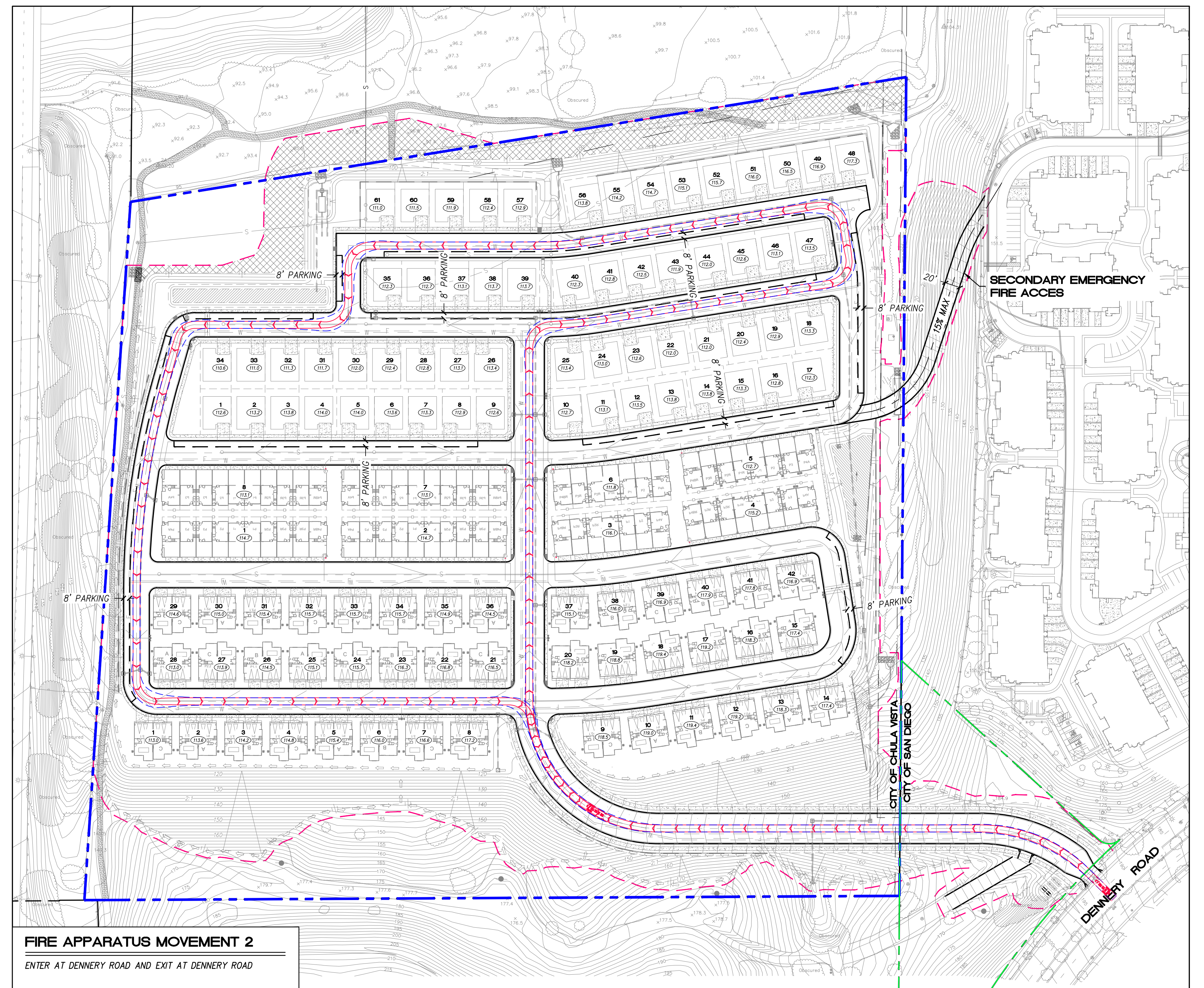
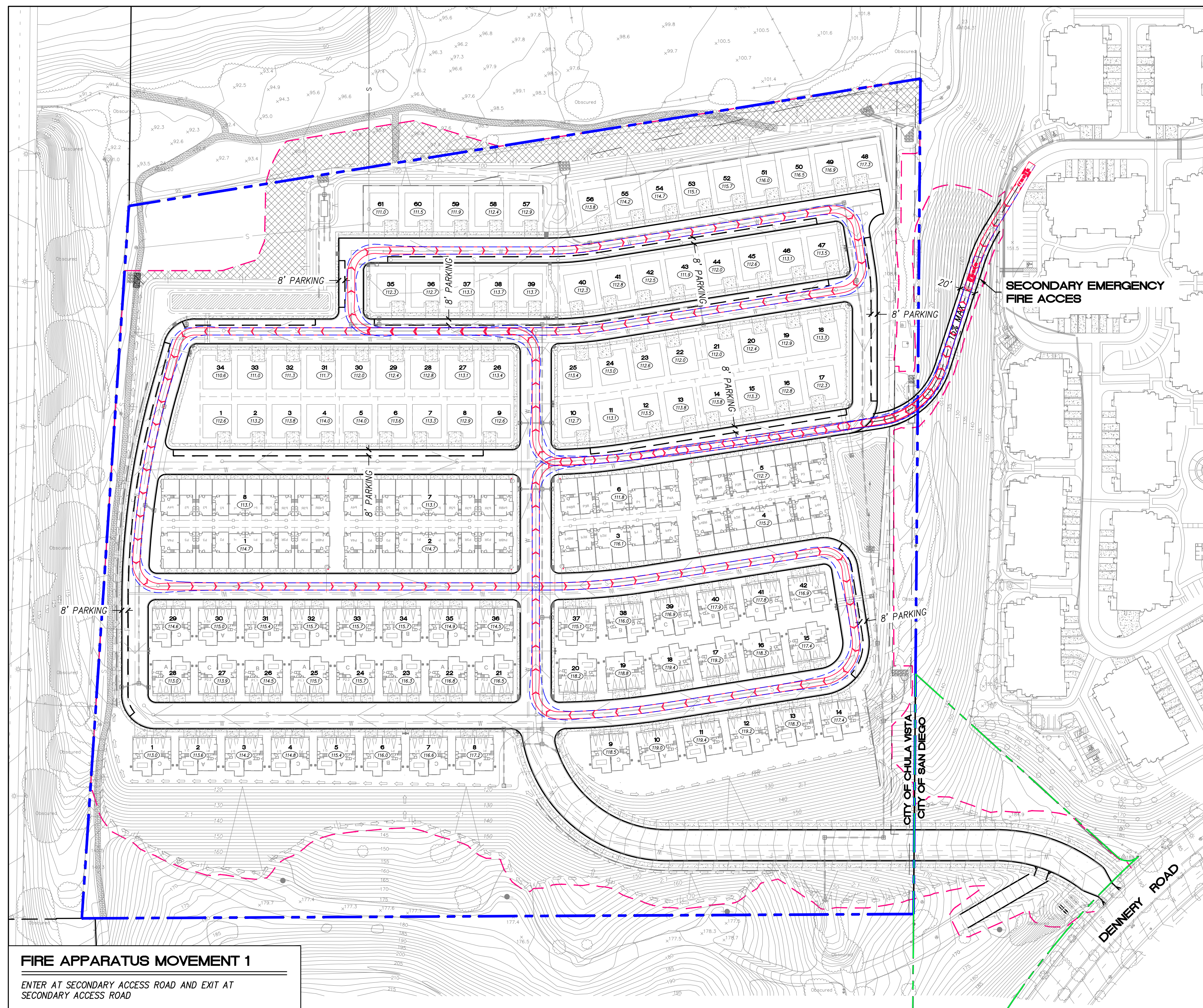
SHEET TITLE:
FIRE - HYDRANT PLAN
AND NOTES

SHEET 10 OF 21
DEP #



PREPARED BY:
HENRY H. PENG
R.C.E. 63686





LEGEND:



FIRE NOTES:
SEE SHEET 10 FOR FIRE NOTES.

NAME: CIVIL SENSE, INC.	REVISION 12: _____
ADDRESS: 13475 DANIELSON STREET, SUITE 150	REVISION 11: _____
POWAY, CA 92128	REVISION 10: _____
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NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
FIRE - APPARATUS ACCESS
PATHS AND NOTES

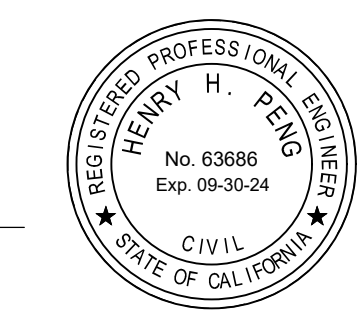
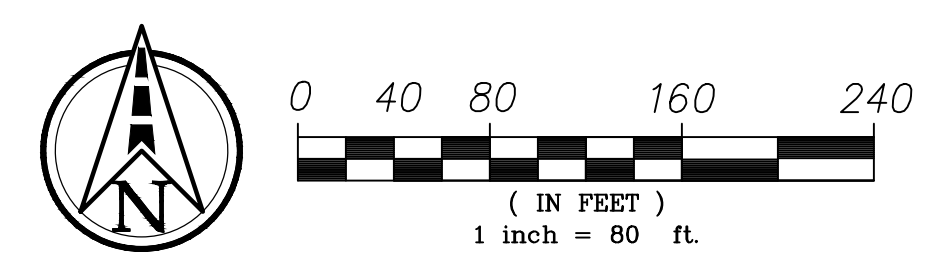
SHEET 11 OF 21

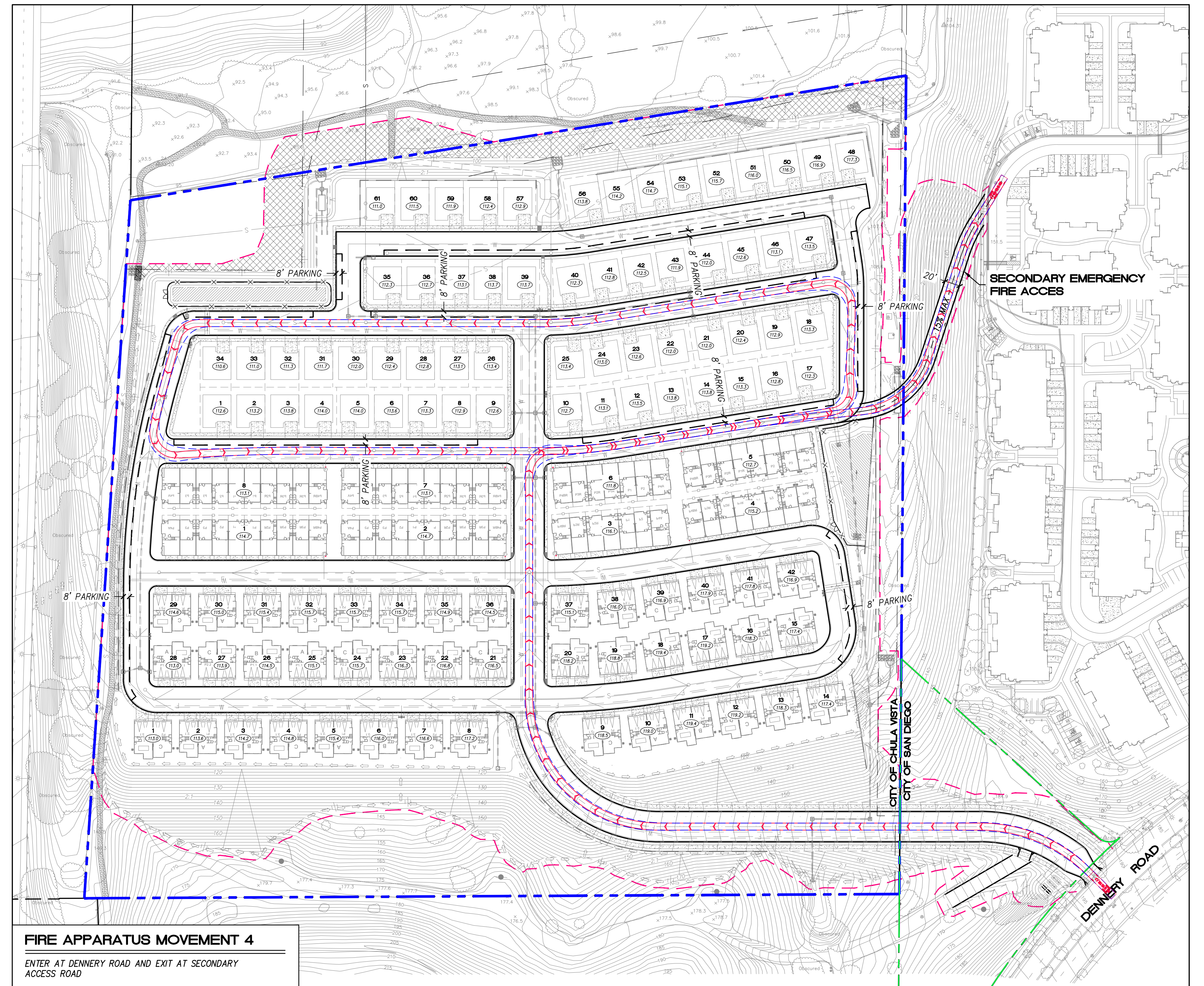
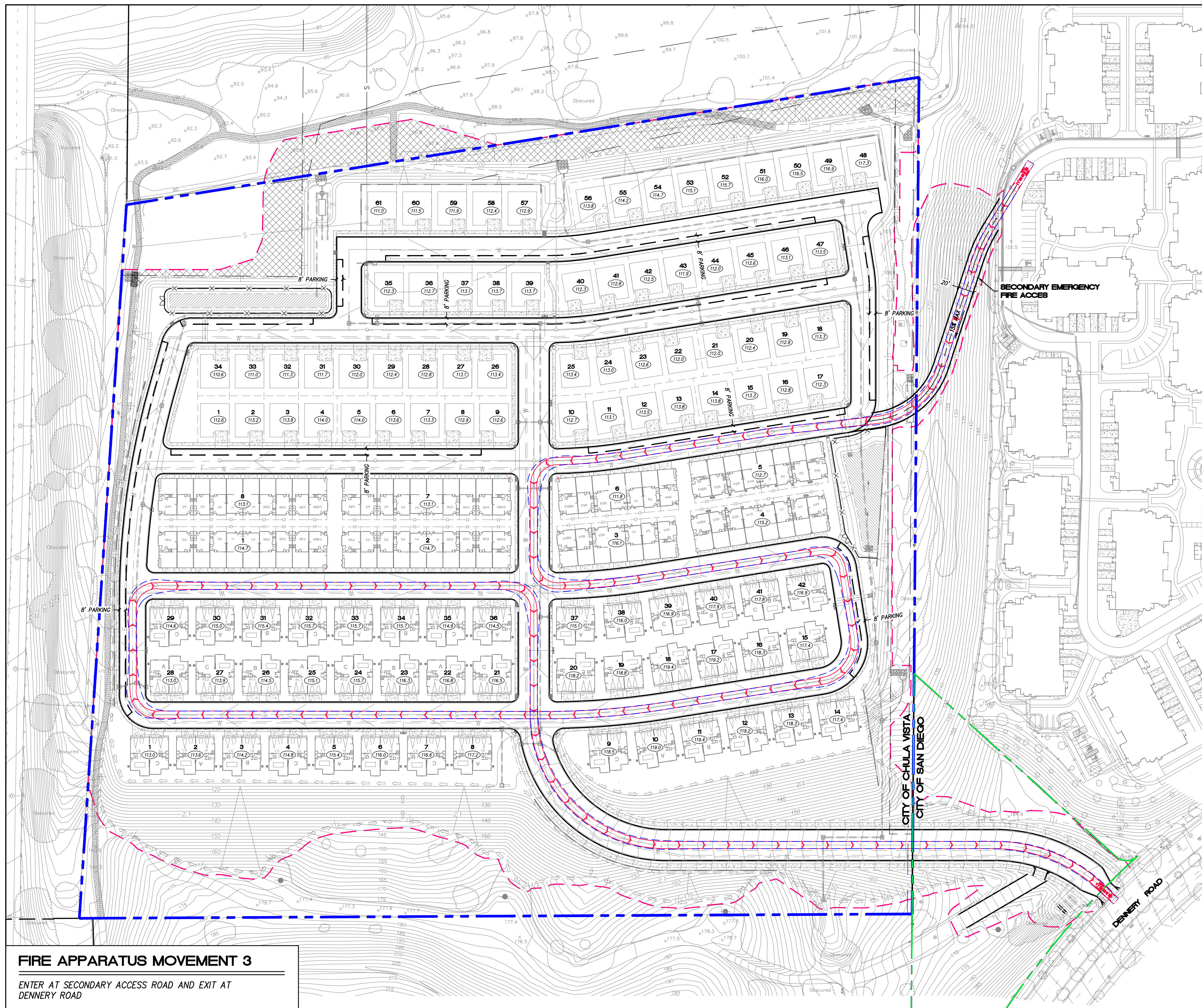
SEP # _____



HENRY H. PENG
R.C.E. 63686

DATE _____





LEGEND:



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PROJECT NAME:
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 FIRE - APPARATUS ACCESS
 PATHS AND NOTES

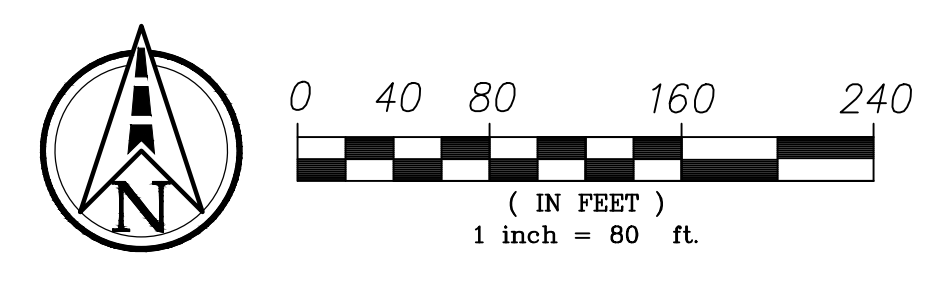
SHEET 11A OF 21

REP # _____



PREPARED BY:
 HENRY H. PENG
 R.C.E. 63686

DATE _____





Construction Site Policy for Compliance with Fire Safety Provisions

California has adopted a statewide building code, codified in title 24 of the California Code of Regulations. The code imposes a mandatory duty on local jurisdictions to adopt rules and regulations which include the same building code requirements as those contained in the statewide building codes.

California Fire Code chapters 5 and 33 establishes fire safety standards for sites during the construction phase. Section 3310 requires that access roads sufficient to accommodate fire department apparatus be established and maintained.

- Water Supply means a fully operational and tested fire service utility system serving the permanent hydrant system.
Access means a fully improved street section (private or public); a first layer of asphalt is also acceptable to allow for access to within 150 feet of all combustibles.
When approved by the Fire Marshal, temporary access roadways and temporary water services may be substituted for permanent road and water supplies.

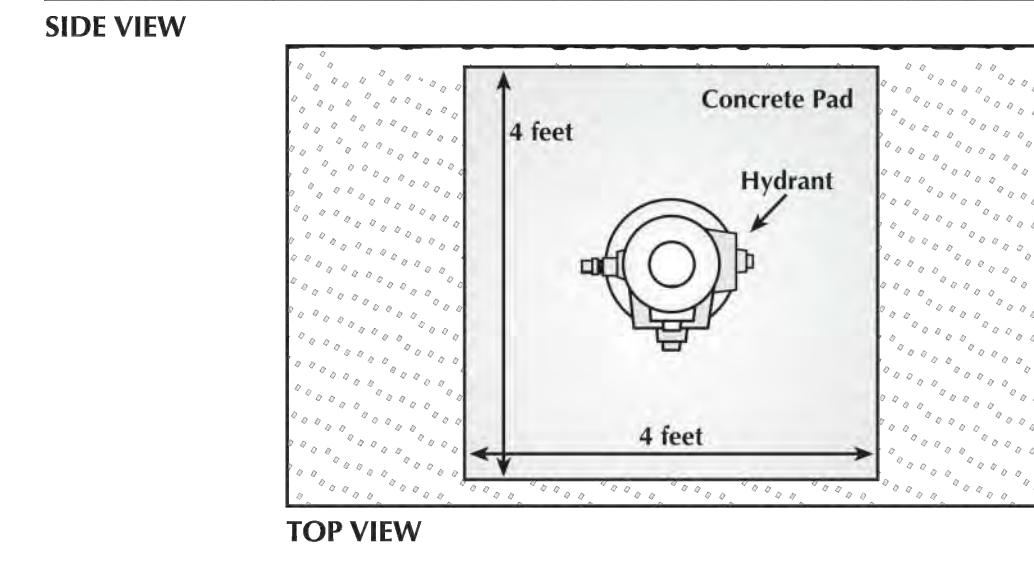
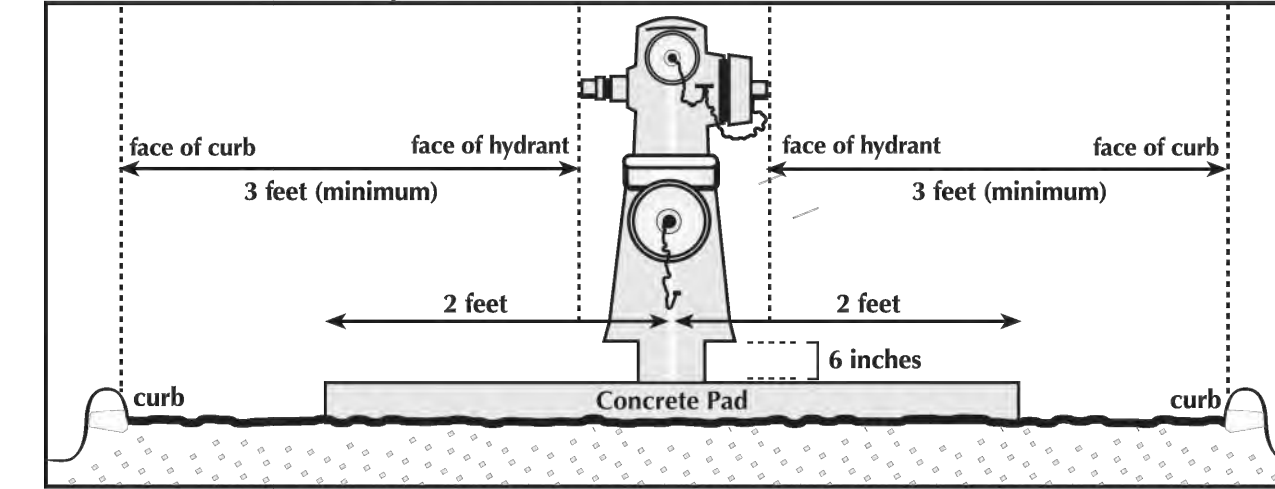
Requests for temporary roadways must be submitted in writing for review and approval by the Fire Marshal. Requests must include a site plan, geotechnical information, and a time frame indicating how long the temporary roadways will be in place.

Requests to install temporary water services must be submitted in writing for review and approval by the Fire Marshal. Requests must include a site plan, and a time frame indicating how long the temporary water services will be in place.

Street Signs - California Fire Code section 505.2 requires street signs at all construction sites. Street signs may be permanent signs as approved for installation by City staff or temporary signs approved by the Fire Marshal.



Fire Hydrant Detail

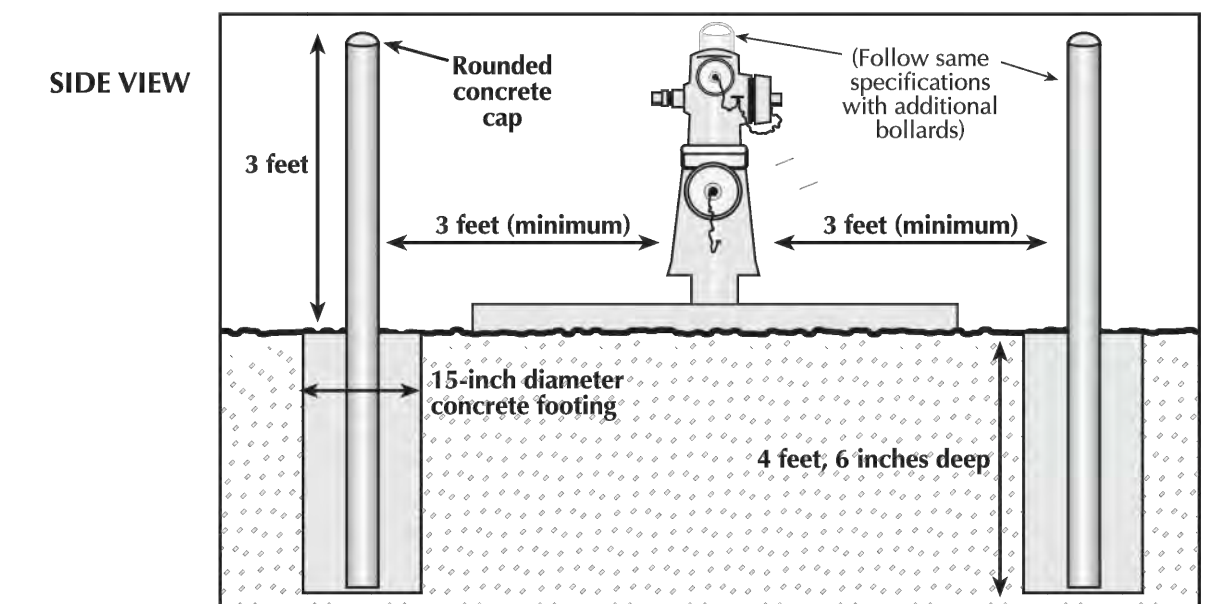
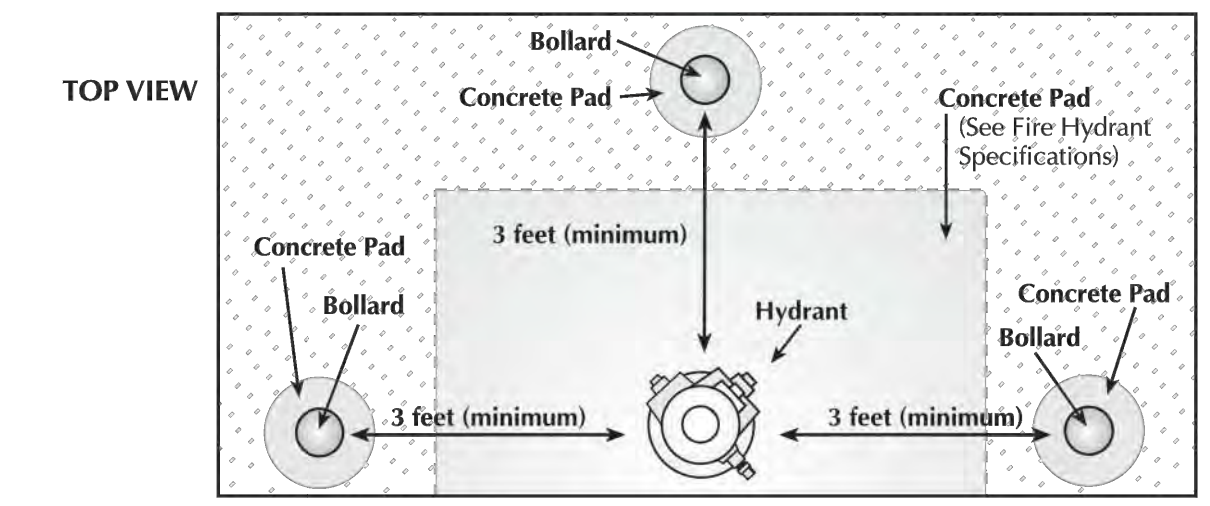


Hydrant Specifications

- 1. Measurements MUST be exact and will be subject to a field inspection
2. Residential and commercial hydrants must have one 4 inch port and two 2 1/2 inch ports with national standard threads (NST)
3. Industrial fire hydrants must have two 4 inch port and one 2 1/2 inch port with NST
4. Painted (OSHA) yellow
5. Must have concrete pad adhering to the above specifications
6. A blue reflective marker must be in place to identify fire hydrant location
7. Concrete pad must be a minimum of 4 inches thick
8. Base of hydrant must be 6 inches from concrete pad
9. Provide 3-feet (minimum) from the face of the hydrant to the face of the curb (bollards are required if distance is not met)



Water Supply - Bollards
Fire Hydrants / Fire Dept. Connections / Post Indicating Valves



Bollard Specifications

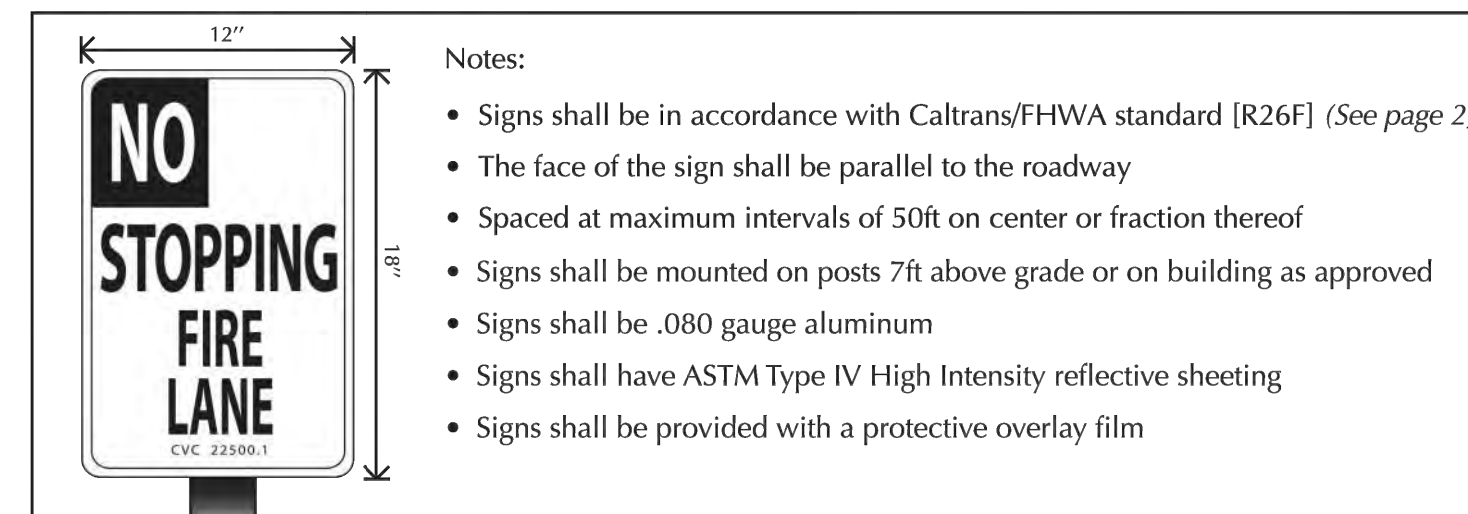
- 1. Measurements MUST be exact and will be subject to a field inspection
2. Bollards must be 4-inch diameter galvanized steel post (1/4" wall) filled with concrete
3. A blue reflective marker must be in place to identify fire hydrant location
4. Bollards must be coated using safety yellow paint.



FIRE LANE IDENTIFICATION

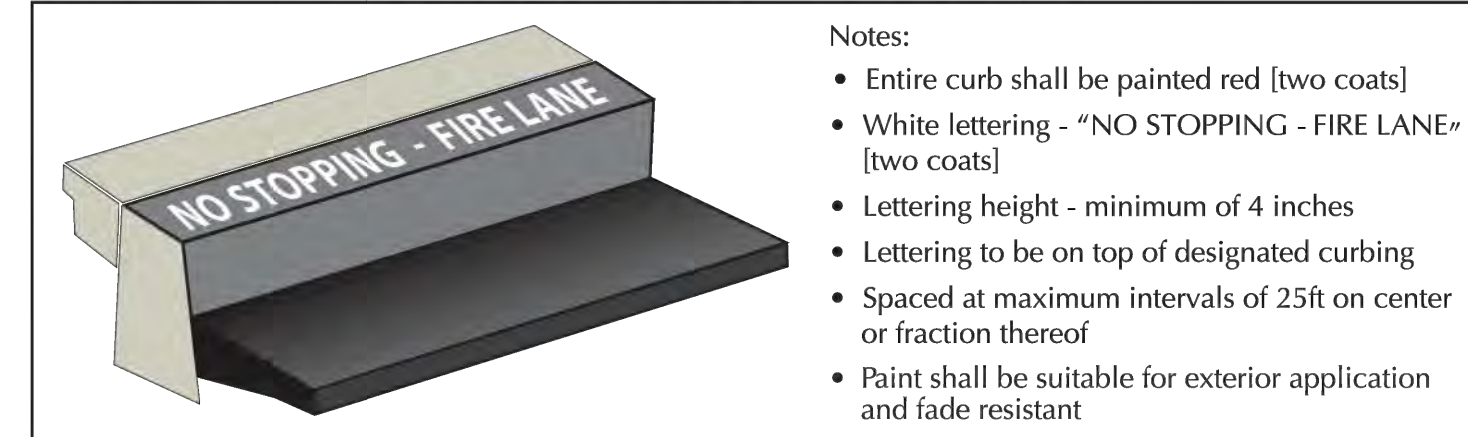
Fire Lanes shall be identified in accordance with one of the details below:

Detail A - No Stopping Sign



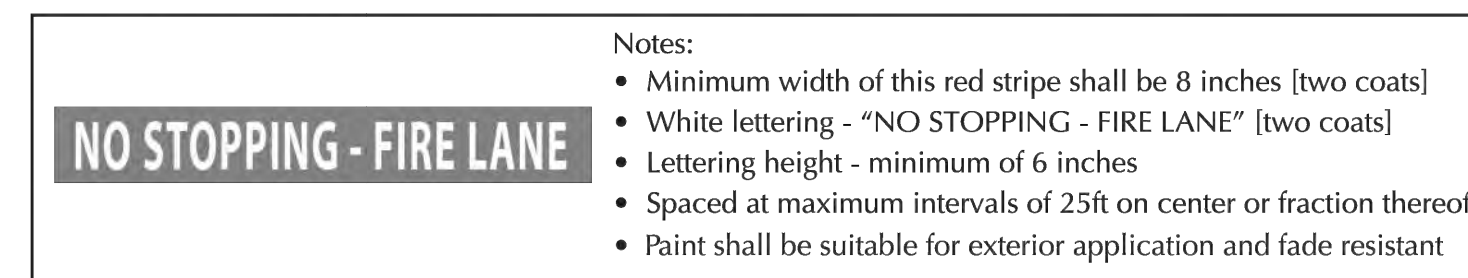
- Notes:
• Signs shall be in accordance with Caltrans/FHWA standard [R26F] (See page 2)
• The face of the sign shall be parallel to the roadway
• Spaced at maximum intervals of 50ft on center or fraction thereof
• Signs shall be mounted on posts 7ft above grade or on building as approved
• Signs shall be .080 gauge aluminum
• Signs shall have ASTM Type IV High Intensity reflective sheeting
• Signs shall be provided with a protective overlay film

Detail B - Curb Painting - Both sides of fire lane unless otherwise approved



- Notes:
• Entire curb shall be painted red (two coats)
• White lettering - "NO STOPPING - FIRE LANE" (two coats)
• Lettering height - minimum of 4 inches
• Lettering to be on top of designated curbing
• Spaced at maximum intervals of 25ft on center or fraction thereof
• Paint shall be suitable for exterior application and fade resistant

Detail C - Striping (with no curb) - Both sides of fire lane unless otherwise approved



- Notes:
• Minimum width of this red stripe shall be 8 inches (two coats)
• White lettering - "NO STOPPING - FIRE LANE" (two coats)
• Lettering height - minimum of 6 inches
• Spaced at maximum intervals of 25ft on center or fraction thereof
• Paint shall be suitable for exterior application and fade resistant



NO STOPPING SIGN Signs shall be in accordance with Caltrans/FHWA standard [R26F]

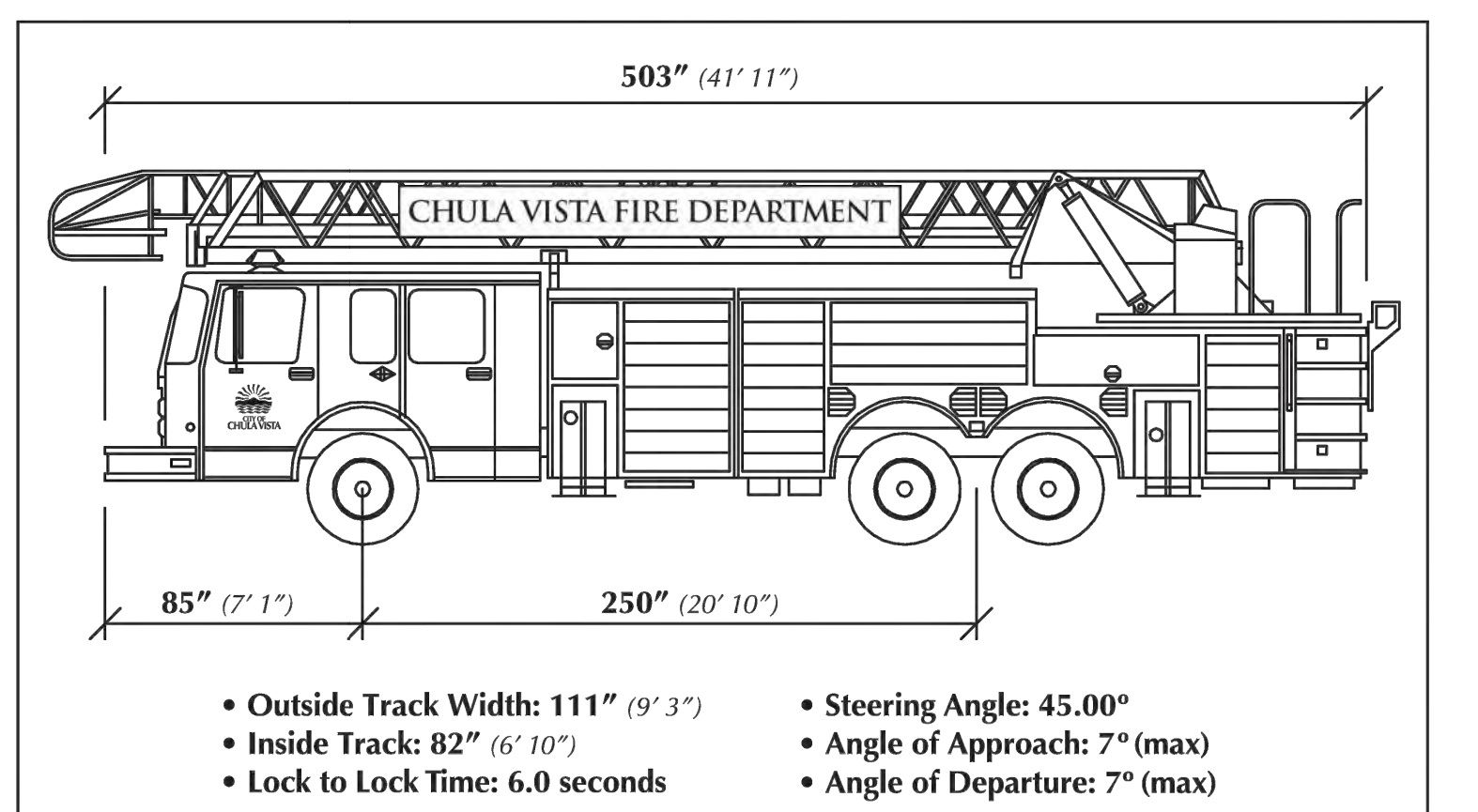


Table with columns: SIGN, DIMENSIONS (INCHES), and rows: STANDARD, SPECIAL.

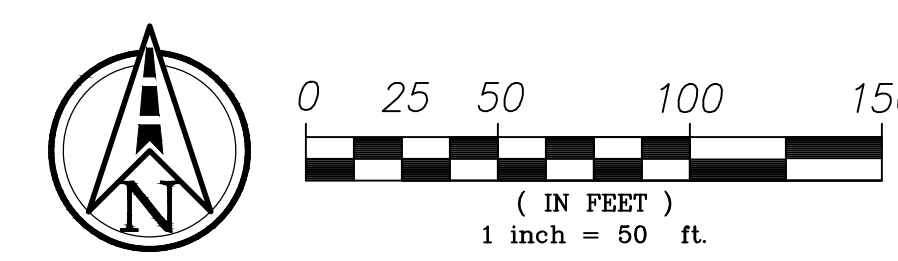


AUTO TURN DATA: Ladder Truck

This design apparatus, along with data points, shall be used as the basis for roadway and parking lot geometrics.



- Notes:
1. A Chula Vista Fire Department Maneuverability Analysis shall be performed by a licensed professional engineer to verify the turning capabilities of this design apparatus.
2. Paths must illustrate the full vehicle swept path (including wheel tracks and wall-to-wall vehicle overhang sweep) and must indicate a clear, unobstructed travel around the site without impact/collisions to buildings, curbs, landscaping, parking spaces, vehicles, etc.
3. Design speed (no less than 5mph); if speed varies indicate points of change by notes/labels.
4. The Chula Vista Fire Department Maneuverability Analysis shall be used to create an exhibit, which shall be submitted for review and approval.
5. Maneuverability Analysis shall also be designed to and confirm that any angle of approach/departure does not exceed 7°.
6. This detail shall be reproduced on the submitted exhibit.

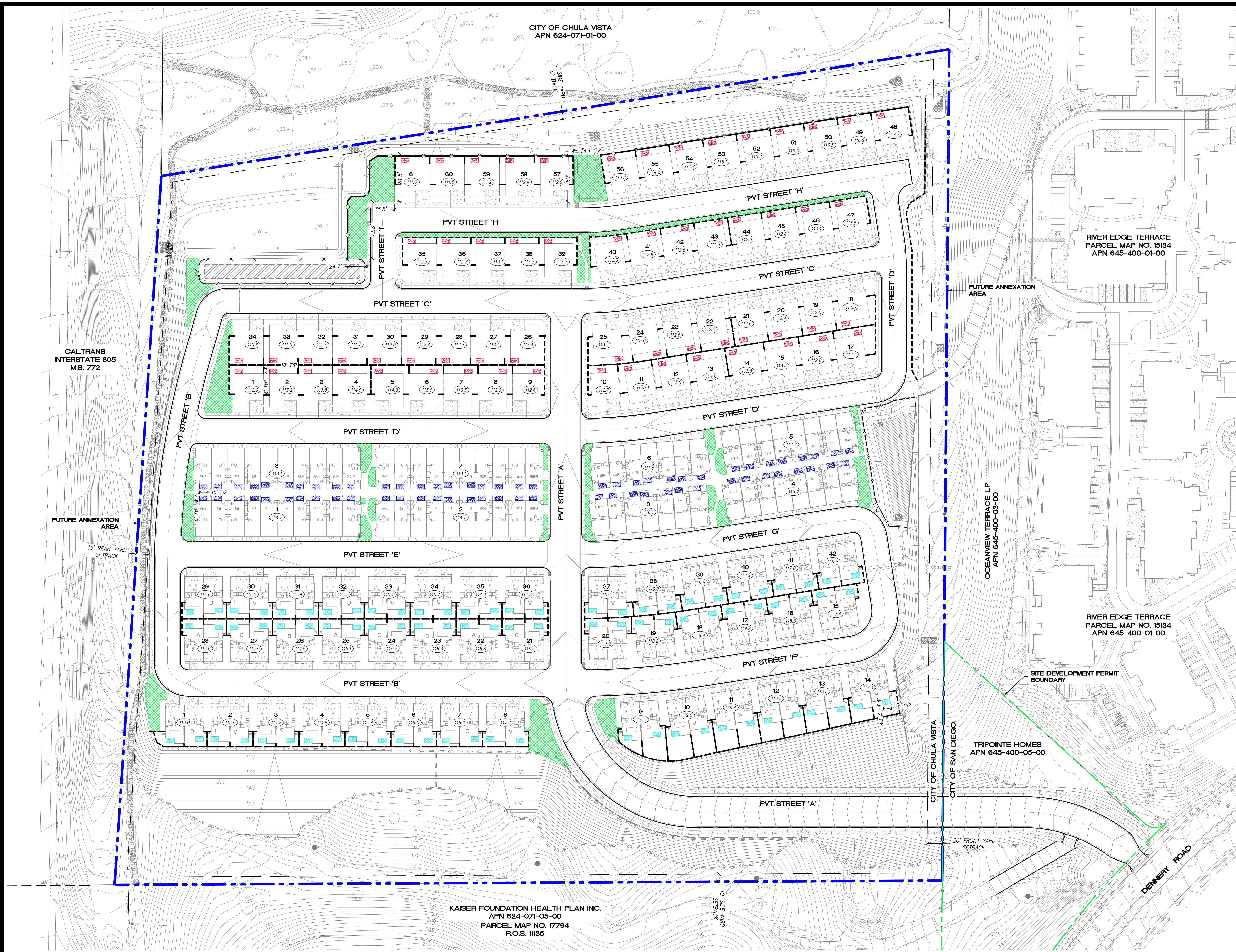


HENRY H. PENG R.C.E. 63686 DATE



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PHONE: 858-843-4253
PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY
PROJECT NAME: NAKANO

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ORIGINAL DATE: 11/4/2022
SHEET TITLE: FIRE NOTES
SHEET 11B OF 21
DEP #



CITY OF CHULA VISTA
APN 624-071-01-00

CALTRANS
INTERSTATE 805
M.S. 772

FUTURE ANNEXATION AREA
15' REAR YARD
SETBACK

KAISER FOUNDATION HEALTH PLAN INC.
APN 624-071-05-00
PARCEL MAP NO. 17794
R.O.S. 11135

RIVER EDGE TERRACE
PARCEL MAP NO. 15134
APN 645-400-01-00

FUTURE ANNEXATION
AREA

OCEAVIEW TERRACE LP
APN 645-400-03-00

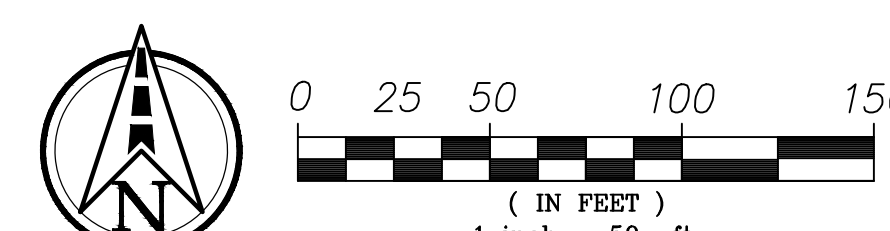
RIVER EDGE TERRACE
PARCEL MAP NO. 15104
APN 645-400-01-00

SITE DEVELOPMENT PERMIT
BOUNDARY

TRIPPOINTE HOMES
APN 645-400-05-00

CITY OF CHULA VISTA
CITY OF SAN DIEGO

20' FRONT YARD
SETBACK



HENRY H. PENG
R.C.E. 63686



GENERAL NOTES

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE DETACHED (6' X 10' MIN)
- PRIVATE OPEN SPACE MULTIFAMILY (6' X 10' MIN)
- PRIVATE OPEN SPACE DUPLEX (6' X 10' MIN)
- PROPOSED VINYL FENCE
- PROPOSED CMU BLOCK WALL
- PROPOSED COMBO BLOCK WALL WITH FIRE RATED GLASS
- PROPOSED BASIN CHAIN LINK FENCE

§131.0455 Private Exterior Open Space in the RM Zones

(a) In the RM-1-1, RM-1-2, and RM-1-3 zones, at least 60 square feet of usable, private, exterior open space abutting each dwelling unit shall be provided with a minimum dimension of 6 feet in any direction. The open space may be located in required yard areas, but shall be no closer than 9 feet to the front or rear property lines, and no closer than 4 feet to the side property lines.

§131.0456 Common Open Space in the RM Zones

In all RM zones, premises with more than four dwelling units shall include common open space as follows:

(a) The common open space area shall be at least 300 square feet, or 25 square feet per dwelling unit, whichever is greater.

(b) At least one area of common open space shall be provided with minimum dimensions of 12 feet by 15 feet. This space shall be improved as a usable area with lawn or recreational facilities.

(c) Roofed structures may occupy a maximum of 50 percent of the common open space area. No enclosed buildings are permitted in the common open space area.

(d) Common open space may be provided in the required side and rear yards.

(e) Common open space shall be landscaped or improved with outdoor recreational facilities available only to the residents and guests of the development.

OPEN SPACE CALCULATIONS

COMMON OPEN SPACE REQUIRED (25 SF PER DU @ 215 DU)	AREA	UNIT
	5,375	SF
COMMON OPEN SPACE PROVIDED	AREA	UNIT
	TOTAL	25,150 SF

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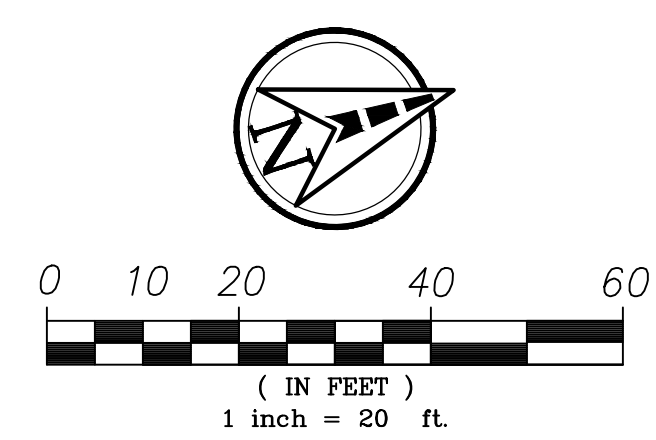
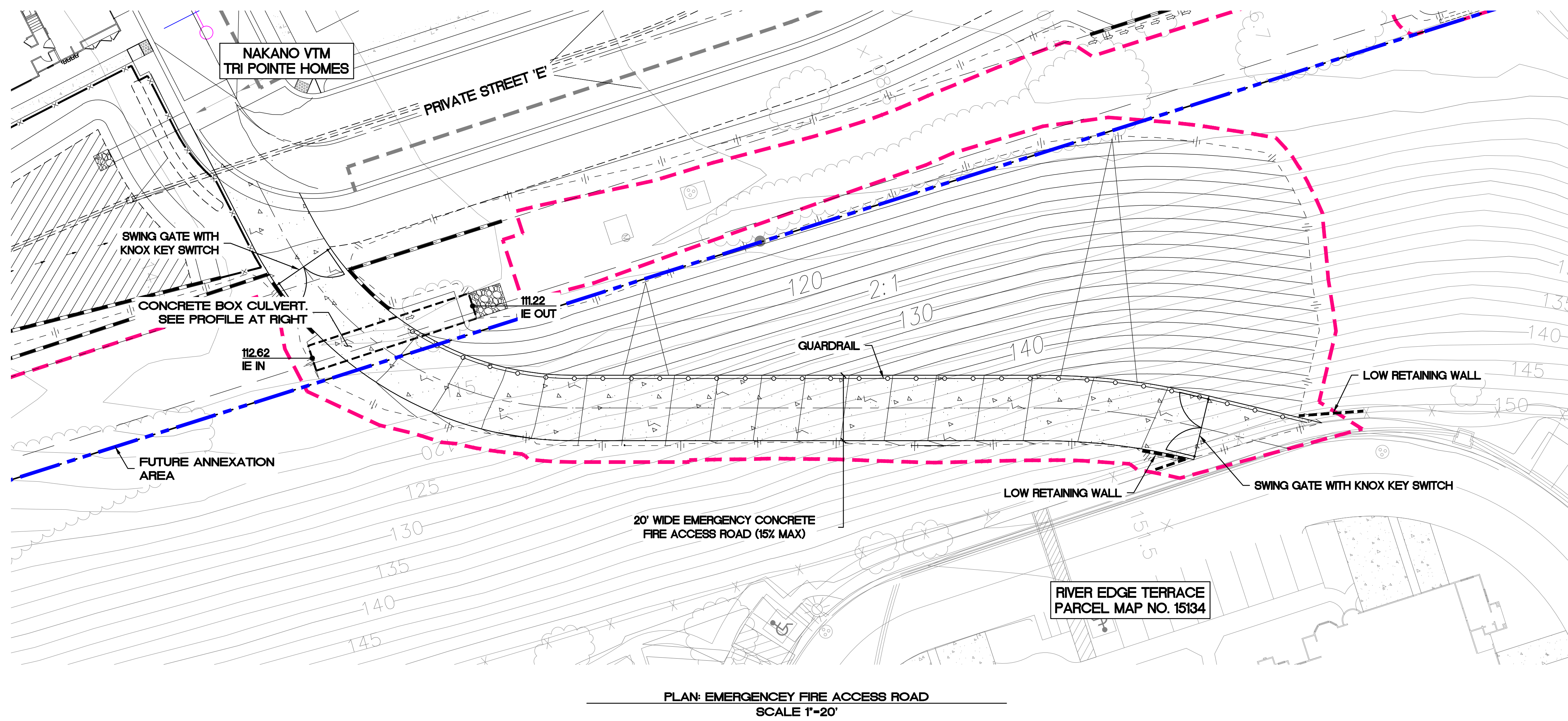
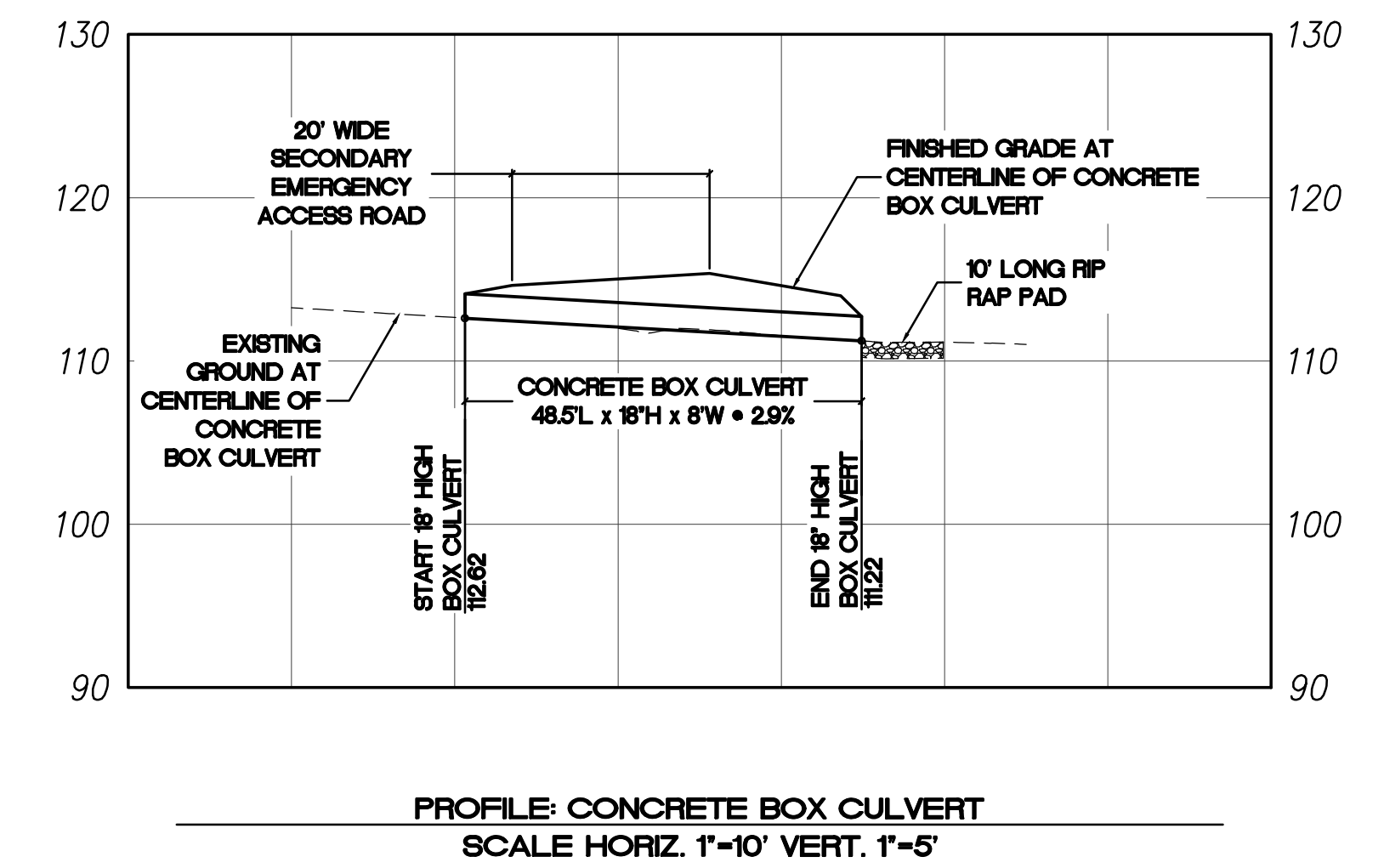
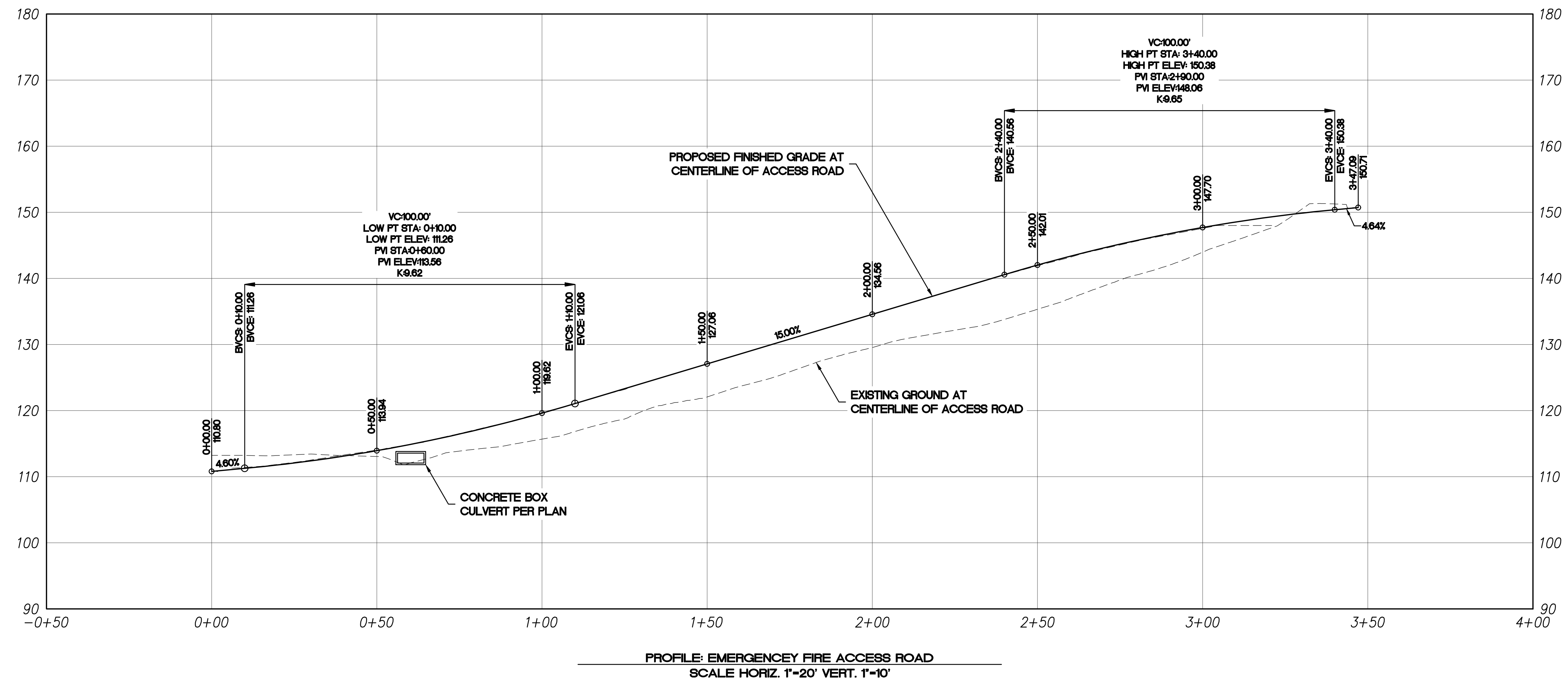
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ORIGINAL DATE: 11/4/2022

SHEET TITLE:
PRIVATE EXTERIOR AND
COMMON OPEN SPACE

SHEET 12 OF 21

DEP # _____



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SHEET TITLE:
EMERGENCY FIRE ACCESS
ROAD - PLAN AND PROFILE

SHEET 13 OF 21

DEP # _____



PREPARED BY: HENRY H. PENG
R.C.E. 63686 DATE _____

