

ORDINANCE NUMBER O-_____ (NEW SERIES)

DATE OF FINAL PASSAGE _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO APPROVING AN ANNEXATION AGREEMENT BETWEEN THE CITY OF SAN DIEGO, CITY OF CHULA VISTA, AND TRI POINTE HOMES IE-SD, INC. RELATING TO THE NAKANO PROJECT- PROJECT NO. PRJ-1076302

WHEREAS, Tri Pointe Homes IE-SD, Inc. filed an application to obtain approvals from the City of San Diego for a residential development known as the Nakano project, located in the City of Chula Vista with San Diego's Ocean View Hills residential development to the east, Interstate 805 to the west, Kaiser Medical Center to the south and the Otay Valley River Park to the north, and legally described as:

THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER; THENCE ALONG THE SOUTH LINE THEREOF SOUTH 89°42'04" WEST, 1069.30 FEET TO THE EASTERLY LINE OF FREEWAY DESCRIBED IN FINAL ORDER OF CONDEMNATION RECORDED JULY 22, 1968 AS FILE NO. 123488 OFFICIAL RECORDS; THENCE ALONG SAID EASTERLY LINE NORTH 3°47'10" EAST, 918.10 FEET; THENCE NORTH 80°52'26" EAST, 1030.62 FEET TO THE EAST LINE OF SAID SECTION; THENCE ALONG SAID EAST LINE SOUTH 0°28'33" WEST, 1074.02 FEET TO THE POINT OF BEGINNING.

WHEREAS, representatives of the City of San Diego, City of Chula Vista, and Tri Pointe Homes IE-SD, Inc. have negotiated an agreement for the detachment of the Nakano Project site from the City of Chula Vista and annexation into the City of San Diego, for the independent review and approval of public agency decision-makers, identifying the rights and duties of said parties that would facilitate orderly development of the Nakano project described herein (Annexation Agreement); and

WHEREAS, the City of San Diego, a charter city, is authorized pursuant to *Morrison Homes Corporation v. City of Pleasanton* (1974) 58 Cal. App. 3d 724, 733, to enter into binding annexation-related agreements for the development of property with persons having legal or "equitable interests in real property in order to establish certainty in the development process." The City of San Diego further enters into this Annexation Agreement pursuant to its Charter and self-rule powers; and

WHEREAS, Tri Pointe Homes IE-SD, Inc. proposes the subdivision of a 23.8-acre site into the development of a multifamily residential project, with up to 221 units, including 22 affordable units, private open space amenity areas, connecting pedestrian trails to the Otay Valley Regional Park (OVRP), and primary access from Dennery Road (Nakano Project); and

WHEREAS, the City of Chula Vista proposes to detach the Nakano Project site from the City of Chula Vista's territory and Otay Water District service district sphere of influence, and annex it into the City of San Diego's territory. The process by which these jurisdictional changes will occur are collectively referred to as the "Reorganization." The City of San Diego is responsible for leading the LAFCO application process after approval of the Nakano Project and agrees to file an application for reorganization. In the event the San Diego Local Area Formation Commission (LAFCO) does not approve the Reorganization or the Reorganization is terminated by either a failure of the City of San Diego to approve the Annexation Agreement within 60 calendar days (or such date as extended by mutual written consent of the City of San Diego, City of Chula Vista, and Tri Pointe Homes IE-SD, Inc.) of the City of San Diego's introduction of this Ordinance, the Reorganization shall terminate; and

WHEREAS, the City of Chula Vista has approved the attached entitlements for the development of the Nakano project site (Attachment 1); and

WHEREAS, the City Council of the City of San Diego has reviewed and accepts the Chula Vista Entitlements, except as specifically indicated or supplemented herein; and

WHEREAS, Resolution No. _____, which was considered along with this Ordinance, proposes a General Plan Amendment and Otay Mesa Community Plan Amendment; and

WHEREAS, the City Council of the City of San Diego finds that the Annexation Agreement is consistent with the City of San Diego General Plan, Otay Mesa Community Plan, as amended concurrently with this Ordinance, as well as other applicable City policies and regulations as described in the Environmental Impact Report, the Resolution of Support for Application to LAFCO to Take Proceedings, and elsewhere in the Administrative Record; and

WHEREAS, the City Council of the City of San Diego has reviewed and considered California Environmental Quality Act (CEQA) Guidelines Section 15162 consistency evaluation with the City of Chula Vista certified Environmental Impact Report (EIR22-001; SCH #2022060260) and determined no subsequent environmental document shall be prepared; and

WHEREAS, the City Council of the City of San Diego adopts the Mitigation, Monitoring, and Reporting Program (MMRP) and Project Design Features consistent with the Environmental Impact Report; and

WHEREAS, the City Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; and

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor of the City of San Diego because this matter requires the City Council of the City of San Diego to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the City Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented; NOW, THEREFORE,

BE IT ORDAINED, by the City Council of the City of San Diego, as follows:

Section 1. That the City Council of the City of San Diego hereby approves the Annexation Agreement and authorizes and directs the Mayor, or their designee to (a) execute the Annexation Agreement binding the City of San Diego to its terms, and (b) serve as or designate a representative(s) to serve as the City of San Diego's authorized representative in implementing the Annexation Agreement, filed in the office of the City Clerk as Document No. OO-_____.

Section 2. The City of San Diego's Multiple Species Conservation Plan (MSCP) Subarea Plan also requires approval of a minor amendment pursuant to MSCP Implementing agreement Section 9.20 Annexation of Lands. Upon an annexation of lands, the City of San Diego shall amend its Subarea Plan to ensure that any development of the Nakano Project site proceeds in accordance with the conservation goals of the MSCP and Subarea Plan. The approval of a MSCP minor amendment for annexation land has been included in the Annexation Agreement, this uncodified ordinance, and resolution where appropriate.

Section 3. The City Council of the City of San Diego has reviewed and accepts the Chula Vista Entitlements, except as specifically indicated or supplemented herein.

Section 4. That no more than 221 dwelling units shall be developed on the Nakano Project site.

Section 5. That the City Council of the City of San Diego hereby incorporates by reference the conditions below, which shall be covenants running with the subject property upon annexation to the City of San Diego and shall be binding upon Tri Pointe Homes IE-SD, Inc. and any successor(s) in interest:

DEVELOPMENT SERVICE DEPARTMENT (DSD): LDR-PLANNING

- a. That, notwithstanding San Diego Municipal Code "SDMC" Section 131.0443(d)(2)(A) which requires that up to 50 percent of the length of the building envelope on one side of the premises may observe the minimum 5-foot side setback, provided the remaining percentage of the building envelope length observes at least the standard side setback of feet 8 feet or 10 percent of the lot width, whichever is greater, development of the Nakano Project may incorporate a 10-foot side setback.
- b. That, notwithstanding SDMC Section 142.0340(e) which limits the height of retaining walls outside required setbacks to 12 feet, the Nakano Project may construct two retaining walls as shown on the Tentative Map Exhibit (Attachment 2), with heights up to 24 feet outside the required setbacks.

DSD: LDR-LANDSCAPE

- c. Prior to issuance of any construction permit for grading, Tri Pointe Homes IE-SD, Inc. shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and the Tentative Map Exhibit (Attachment 2), on file in the Development Services Department.

- d. Prior to issuance of any construction permit for public improvements, Tri Pointe Homes IE-SD, Inc. shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
- e. Prior to issuance of any construction permit for building (including shell), Tri Pointe Homes IE-SD, Inc. shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with the Tentative Map Exhibit (Attachment 2), Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).
- f. In the event that a foundation only permit is requested by Tri Pointe Homes IE-SD, Inc., a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with the Tentative Map Exhibit (Attachment 2), Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
- g. Tri Pointe Homes IE-SD, Inc. shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- h. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, Tri Pointe Homes IE-SD, Inc. shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.
- i. Tri Pointe Homes IE-SD, Inc. shall implement the following requirements in accordance with the Brush Management Program shown on the Tentative Map Exhibit (Attachment 2).

The Brush Management Program shall be based on a standard Zone One of 35-feet in width and Zone Two of 65-feet in width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under SDMC Sections 142.0412(f), 142.0412(i), and 142.0412(j). The brush management zones apply on Nakano Project site as demonstrated on the Tentative Map Exhibit (Attachment 2).

Alternative compliance measures apply to duplex structures No. 1,14,15, 28, 29, and 42; multifamily structures No. 1,4,5, and 8; single family structures No. 17,18, and 47-61, as indicated on the Tentative Map Exhibit (Attachment 2). A "Radiant Heat Wall" shall be six feet high, one-hour fire-rated, located along the outer edge of Zone One. Upgraded openings shall be dual-glazed, dual-tempered panes, brush side of the structure, plus a 10-foot perpendicular return along adjacent wall faces.

- j. Prior to issuance of any construction permit for grading, landscape construction documents required for the engineering permit shall be submitted by Tri Pointe Homes IE-SD, Inc. showing the brush management zones on the property in substantial conformance with the Tentative Map Exhibit (Attachment 2).
- k. Prior to issuance of any construction permit for building, a complete Brush Management Program shall be submitted by Tri Pointe Homes IE-SD, Inc. for approval to the Development Services Department and shall be in substantial conformance with the Tentative Map Exhibit (Attachment 2) on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

- l. The Brush Management Program shall be maintained by Tri Pointe Homes IE-SD, Inc. at all times in accordance with the City of San Diego's Landscape Standards.
- m. Prior to recordation of the Final Map, Tri Pointe Homes IE-SD, Inc. shall identify on a separate sheet titled "Non-Title Sheet" the brush management areas in substantial conformance with the Tentative Map Exhibit (Attachment 2). These brush management areas shall be identified with a hatch symbol with no specific dimensions or zones called out. The following note shall be provided on the Non-Title Sheet to identify the hatched areas: "Indicates fire hazard zone(s) per SDMC Section 142.0412."

DSD: ENVIRONMENTAL

- n. Tri Pointe Homes IE-SD, Inc. shall adhere to the Nakano Project Mitigation Monitoring and Reporting Program identified in the Environmental Impact Report (EIR22-001; SCH#2022060260) Chapter 10, Mitigation Monitoring and Reporting Program.
- o. Tri Pointe Homes IE-SD, Inc. shall adhere to the Nakano Project Design Features identified in the Environmental Impact Report (EIR22-001; SCH #2022060260) Section 3.6, Project Design Features.

DSD: MAP CHECK

- p. Prior to the expiration of the Tentative Map (approved by the City of Chula Vista), a Final Map shall be processed with the City of San Diego to consolidate and subdivide the 23.8-acre property into 215 (up to 221 maximum) residential condominium units and shall be recorded in the San Diego County Recorder's Office.
- q. Prior to the recordation of the Final Map, taxes must be paid or bonded for the Nakano Project site pursuant to Section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the Office of the San Diego County Recorder, must be provided to the City of San Diego to satisfy this condition. Please note if tax bond is required as indicated on the tax certificate, please make sure that it is paid or posted, and submit evidence (e.g., filed bond letter or receipt from Clerk of the Board of Supervisors) indicating the required tax bond amount has been paid or bonded.
- r. The Final Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to SDMC Section 144.0311(d) and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Final Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the Nakano Project, in which case, delayed monumentation may be applied on the Final Map in accordance with SDMC Section 144.0130.
- s. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to Sections 8801 through 8819 of the California Public Resources Code. The Final Map shall:
 - i. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing "Horizontal Control" stations or astronomic observations.
 - ii. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of "First Order" accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.
- t. Sewer easements granted to the City of San Diego proposed for vacation shall be vacated upon recordation of the Final Map pursuant to Section 66434(g) of the Subdivision Map Act as shown on approved the Tentative Map Exhibit (Attachment 2).
- u. All proposed easements and right-of-way dedications within the boundary of the Tentative Map shall be granted on the proposed Final Map with the exception of any required "Covenant of Easement" which shall be granted by deed.

- v. Prior to recordation of the Final Map, any proposed easements required for the subdivision outside of the Tentative Map boundary over Lots A and C of Map 15592 as shown on approved the Tentative Map Exhibit (Attachment 2) shall be recorded at the San Diego County Recorder's Office.
- w. Prior to recordation of the Final Map, Private Street A traversing Lot C of Map 15592 to the subject subdivision as shown on approved Tentative Map Exhibit (Attachment 2) shall obtain street name approval from City of San Diego Development Services Department - through submittal of a stand-alone Street Name (Tentative Map Exhibit (Attachment 2) with the Development Services Department.
- x. Prior to the recordation of the Final Map, all private streets and drives within the Tentative Map boundary shall be shown with bearings and distances along the centerline and width of the streets shown on the Final Map. The street names shall be approved by City of San Diego Development Services Department and published on the Final Map.

DSD: ENGINEERING

- y. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City of San Diego City Engineer.
- z. Prior to the issuance of any construction permit, Tri Pointe Homes IE-SD, Inc. shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- aa. Prior to the issuance of any construction permit, Tri Pointe Homes IE-SD, Inc. shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City of San Diego City Engineer.
- bb. Prior to the issuance of any construction permit, Tri Pointe Homes IE-SD, Inc. shall submit a technical report that will be subject to final review and approval by the City of San Diego City Engineer, based on the City of San Diego Storm Water Standards in effect at the time of the construction permit issuance.

DSD: WATER & SEWER

- cc. Tri Pointe Homes IE-SD, Inc. shall grant water easement for the proposed above ground water meters as shown on the approved the Tentative Map Exhibit (Attachment 2), in a manner satisfactory to the City of San Diego Public Utilities Director and the City Engineer.
- dd. Tri Pointe Homes IE-SD, Inc. shall grant sewer access easements as shown on the approved the Tentative Map Exhibit (Attachment 2), satisfactory to the City of San Diego Public Utilities Department and the City Engineer.

- ee. Prior to the recordation of the easement vacation, Tri Pointe Homes IE-SD, Inc. shall assure, by permit, bond and completion the abandonment of the existing sewer main, in a manner satisfactory to the City of San Diego Public Utilities Director and the City Engineer.

DSD: GEOLOGY

- ff. Tri Pointe Homes IE-SD, Inc. shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. Given the proximity of landslides to the subject site, cut slopes must be mapped during grading. The as-graded report should verify that cut slopes were observed and mapped during grading by an engineering geologist to verify that the soil and geologic conditions do not differ significantly from those anticipated. The as-graded geotechnical report shall be reviewed for adequacy by the City of San Diego Development Services Department, Geology Section prior to the recordation of the Final Map, exoneration of the bond, and grading permit close-out.

DSD: TRANSPORTATION

- gg. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the SDMC and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City of San Diego decision maker in accordance with the SDMC.
- hh. Prior to the issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall assure by permit and bond the removal and replacement of the existing driveway on Dennery Road with full height curb, gutter, and non-contiguous sidewalk and construct a new 25-foot-wide driveway as shown on the Tentative Map Exhibit (Attachment 2) per current City of San Diego standards, satisfactory to the City of San Diego City Engineer. All improvements shall be completed and operational prior to first occupancy.
- ii. Prior to the issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall pay a fair share contribution of 2.5 percent to the City of San Diego towards the bridge widening as part of the Palm Ave-Interstate 805 Interchange / S00869 Project within the City of San Diego, satisfactory to the City Engineer.
- jj. At the intersection of Palm Avenue/Dennery Road, prior to the issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall assure by permit and bond the following: (i) Installation of pedestrian countdown signal heads and the installation of traffic signal heads with retroreflective backplates on all approaches via a traffic signal modification plan; (ii) extension of the exclusive eastbound dual left turn lanes with 280 feet of storage per lane by an additional 85 feet of storage per lane with appropriate taper to provide a total storage length of 365 feet per lane via improvement plans and signing and striping plans; (iii) extension of the exclusive southbound right turn lane with 95 feet of storage by an additional 50 feet of storage with appropriate taper to provide a total

- storage length of 145 feet via improvement plans and signing and striping plans; and (iv) installation of audible countdown pedestrian heads for each pedestrian phase and upgrading the traffic controller to a 2070 controller including software update and communications equipment per current City of San Diego standards, satisfactory to the City of San Diego City Engineer. All improvements shall be completed and operational prior to first occupancy satisfactory to the City of San Diego City Engineer.
- kk. At the intersection of Dennery Road/Red Fin Lane, prior to the issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall assure by permit and bond the following: (i) extension of the exclusive eastbound left turn lane with 190 feet of storage by an additional 50 feet to provide a total storage length of 240 feet via improvement plans and signing and striping plans; and (ii) upgrade the existing bicycle loop detectors along Dennery Road and install Type E Modified front loops on all approaches per current City of San Diego standards, satisfactory to the City of San Diego City Engineer. All improvements shall be completed and operational prior to first occupancy.
- ll. Prior to the issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall record an access easement in favor of all affected parcels within the Nakano Project site, satisfactory to the City of San Diego City Engineer.
- mm. Prior to first occupancy, Tri Pointe Homes IE-SD, Inc. shall implement a transit subsidy program. The subsidy value will be limited to the equivalent value of 25 percent of the cost of a San Diego Metropolitan Transit System "Regional Adult Monthly/30-Day Pass" (currently \$72, which equates to a subsidy value of \$18 per month). Subsidies shall be available on a per unit basis to residential tenants for a period of five years during the first five years after issuance of the first occupancy permit. Tri Pointe Homes IE-SD, Inc. shall provide an annual report to the City Engineer in each of the first five years demonstrating how the offer was publicized to residents and documenting the results of the program each year, including number of participants and driveway traffic counts.
- nn. Prior to first occupancy, Tri Pointe Homes IE-SD, Inc. shall provide one bicycle (up to a \$400 value) per unit to the first buyer of each unit.
- oo. Prior to first occupancy, Tri Pointe Homes IE-SD, Inc. shall develop and implement a commute trip reduction program that requires each homeowner and tenant to be provided with a one-page flyer every year that provides information regarding available transit, designated bicycle routes, local bicycle groups and programs, local walking routes and programs, and rideshare programs.
- pp. Prior to the issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall pay the "Active Transportation In Lieu" fee to the City of San Diego.
- qq. Prior to issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall provide and maintain publicly accessible pedestrian amenities for every 250 linear feet of street

frontage for the Nakano Project including a backless bench and trash and recycle receptacle, to the satisfaction of the City of San Diego Development Services Department. All improvements shall be completed and operational prior to first occupancy.

- rr. Prior to issuance of any building permit, Tri Pointe Homes IE-SD, Inc. shall construct a secondary emergency only access, as shown on the Tentative Map Exhibit (Attachment 2), to the satisfaction of the City of San Diego City Engineer and City of San Diego Fire Marshal. All improvements shall be completed and operational prior to first occupancy.

HOUSING COMMISSION

- ss. Prior to issuance of any building permit associated with this Nakano Project, Tri Pointe Homes IE-SD, Inc. shall demonstrate compliance with the provisions of the Inclusionary Affordable Housing Regulations of San Diego Municipal Code Chapter 14, Article 2, Division 13 and the Inclusionary Housing Procedures Manual.
- tt. Tri Pointe Homes IE-SD, Inc. shall enter into a written agreement with the San Diego Housing Commission, which shall be drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust, which incorporates applicable affordability conditions consistent with the San Diego Municipal Code. This agreement will specify that in exchange for the City of San Diego's approval of the Nakano Project, Tri Pointe Homes IE-SD, Inc. shall provide 22 affordable units with prices of no more than 30% of 100 percent average median income ("AMI"). The 22 affordable dwelling units must be provided in a comparable mix to the total development.

PARK & RECREATION DEPARTMENT

- uu. Prior to recordation of the Final Map, Tri Pointe Homes IE-SD, Inc. shall place a "Recreation Easement" over all public trails on private property. All Recreation Easements shall be maintained by Tri Pointe Homes IE-SD, Inc.
- vv. Tri Pointe Homes IE-SD, Inc. shall ensure the City of San Diego Parks and Recreation Department review and approval of the Final Map prior to recordation.
- ww. Tri Pointe Homes IE-SD, Inc. shall ensure that no project brush management responsibilities are located on the adjacent OVRP parkland.
- xx. Tri Pointe Homes IE-SD, Inc. shall ensure that there are no temporary or permanent construction impacts to the adjacent OVRP parkland other than the off-site improvements identified on the approved the Tentative Map Exhibit (Attachment 2) plans.
- yy. Tri Pointe Homes IE-SD, Inc. shall ensure that all privately owned and maintained infrastructure is located on private property.

- zz. Tri Pointe Homes IE-SD, Inc. shall ensure that native plants are planted adjacent to OVRP parkland.
- aaa. Tri Pointe Homes IE-SD, Inc. shall ensure that there is no overspray or irrigation runoff on adjacent OVRP parkland.
- bbb. Tri Pointe Homes IE-SD, Inc. shall ensure that the public trails identified on Tentative Map Exhibit (Attachment 2), both on- and off-site, are constructed as part of this Nakano Project and follow the approved "OVRP Trail Guidelines".
- ccc. Tri Pointe Homes IE-SD, Inc. shall ensure that underdrain structures are installed at all proposed public trail locations as shown on Tentative Map Exhibit (Attachment 2) to protect the trails from erosional impacts from concentrated drainage flows to the satisfaction of the City of San Diego Parks and Recreation Department.
- ddd. Tri Pointe Homes IE-SD, Inc. shall ensure that all off-site impacts to adjacent OVRP parkland as a result of this Nakano Project receive revegetation and include a minimum 25-month maintenance and monitoring period that provides success criteria metrics stipulating minimum percent vegetation cover, maximum invasive plant cover, inspection reporting, remedial measures if success criteria is not met, and final sign off requirements. Revegetation shall be completed to the satisfaction of the City of San Diego Parks and Recreation Department, Open Space Division Deputy Director.
- eee. Tri Pointe Homes IE-SD, Inc. shall ensure that a temporary off-site irrigation system is provided during the required off-site revegetation maintenance and monitoring period and that the above grade temporary irrigation system is removed in its entirety prior to final sign off by the City of San Diego.
- fff. Prior to issuance of any construction permits for grading, Tri Pointe Homes IE-SD, Inc. shall submit complete landscape construction documents for review and approval by the City of San Diego Parks and Recreation Department. All plans shall be substantial conformance to this permit and Tentative Map Exhibit (Attachment 2).
- ggg. Tri Pointe Homes IE-SD, Inc. shall ensure City of San Diego Parks and Recreation Department review and approval of grading plans and public improvement plans prior to permit issuance.
- hhh. Prior to final inspection of the 10th residential building unit, Tri Pointe Homes IE-SD, Inc. shall ensure that evidence is provided to Parks and Recreation that shows pedestrians shall be permitted access to the private sidewalks within the private development from Dennery Road to the Proposed Overlook Park and Trailhead identified on the plans as the "Pedestrian connection to Dennery Road". Such evidence will be in the form of the approved covenants, conditions and restrictions ("CC&Rs") for the development, satisfactory to Parks and Recreation Director or designee.

- iii. Prior to final inspection of the 10th residential building unit, Tri Pointe Homes IE-SD, Inc. shall ensure that the project has been annexed into the Ocean View Hills Maintenance Assessment District (MAD) managed by the City of San Diego Parks and Recreation Department (note the annexation process is estimated to take one year to complete).

- jjj. All modifications to the existing landscaping and irrigation within the MAD along Dennergy Road shall be in accordance with the City of San Diego's "Consultant's Guide to Park Design and Construction" and shall include a 2-year maintenance period prior to acceptance by Parks and Recreation.

- kkk. Any Nakano Project off-site mitigation that occurs on land that will be conveyed to the City of San Diego in fee title shall meet all of the following requirements:
 - 1) Long Term Management Plan and Estimate, and Property Analysis Record ("PAR") are executed to the satisfaction of the City of San Diego Parks and Recreation Director or designated appointee.
 - 2) Lot(s) are free and clear of all private easements, private encroachments, private agreements and/or liens.
 - 3) All trash, illegal use and associated structures on the lot(s) are removed to the satisfaction of the City of San Diego Parks and Recreation Director or designated appointee prior to the City acceptance.
 - 4) For the duration of the maintenance and monitoring period, submit quarterly inspection reports to the City of San Diego Parks and Recreation Open Space Division.
 - 5) Continue to provide plant establishment and maintenance periods until all success criteria requirements are met to the satisfaction of the City of San Diego Parks and Recreation Director or designated appointee.
 - 6) Lot(s) to be deeded to the City are inspected by the City of San Diego Parks & Recreation Department, Open Space Division.

Section 5. That the City Council of the City of San Diego hereby incorporates by reference the recitals above finding them to be true and accurate.

Section 6. That a full reading of this Ordinance is dispensed with prior to its passage, a written or printed copy having been made available to the City Council of the City of San Diego and the public prior to the day of its passage.

Section 7. This Ordinance shall take effect and be in force on the thirtieth day from and after its passage or the date that R-_____ adopting the amendments to the General Plan and Otay Mesa Community Plan becomes effective, whichever date occurs later.

Attachments

- A. City of Chula Vista Entitlements
- B. Tentative Map Exhibit

APPROVED:



Office of the City Clerk

RECORD OF ACTION TAKEN AT THE REGULAR MEETING OF THE
CITY COUNCIL OF THE CITY OF CHULA VISTA
ON DECEMBER 3, 2024

The following action was taken by the City Council of the City of Chula Vista on Item 7.1A:

A motion was made by Mayor McCann, seconded by Councilmember Preciado, to adopt Resolution No. 2024-228. The motion was carried by the following vote:

Yes:	5 – Chavez, Gonzalez, Morineau, Preciado, and McCann
No:	0
Abstain:	0

Item 7.1A heading:

RESOLUTION NO. 2024-228 OF THE CITY COUNCIL OF THE CITY OF CHULA VISTA MAKING CERTAIN FINDINGS OF FACT, ADOPTING A STATEMENT OF OVERRIDING CONSIDERATIONS, AND CERTIFYING ENVIRONMENTAL IMPACT REPORT EIR22-0001 FOR THE NAKANO PROJECT; APPROVING AMENDMENTS TO THE CHULA VISTA GENERAL PLAN FOR THE NAKANO PROJECT (MPA21-0016); ADOPTING THE NAKANO SPECIFIC PLAN (MPA21-0017); APPROVING A TENTATIVE MAP FOR THE NAKANO PROJECT (PCS21-0001); APPROVING A PROPERTY TAX EXCHANGE AGREEMENT AND ANNEXATION AGREEMENT FOR THE NAKANO PROJECT; AND SUPPORTING THE PROPOSED REORGANIZATION OF THE NAKANO PROJECT SITE FROM THE CITY OF CHULA VISTA'S JURISDICTION INTO THE JURISDICTION OF THE CITY OF SAN DIEGO AND AUTHORIZING CERTAIN ACTIONS RELATED THERETO

Kerry K. Bigelow, MMC
City Clerk



Office of the City Clerk

RECORD OF ACTION TAKEN AT THE REGULAR MEETING OF THE
CITY COUNCIL OF THE CITY OF CHULA VISTA
ON DECEMBER 3, 2024

The following action was taken by the City Council of the City of Chula Vista on Item 7.1B:

A motion was made by Mayor McCann, seconded by Councilmember Preciado, to place the below ordinance on first reading. The motion was carried by the following vote:

Yes:	5 – Chavez, Gonzalez, Morineau, Preciado, and McCann
No:	0
Abstain:	0

Item 7.1B heading:

ORDINANCE OF THE CITY OF CHULA VISTA CHANGING THE ZONING FOR THE
NAKANO PROPERTY (**FIRST READING**)

Kerry K. Bigelow, MMC
City Clerk

NAKANO PROJECT TENTATIVE MAP EXHIBIT

ANNEXATION AGREEMENT/UNCODIFIED ORDINANCE

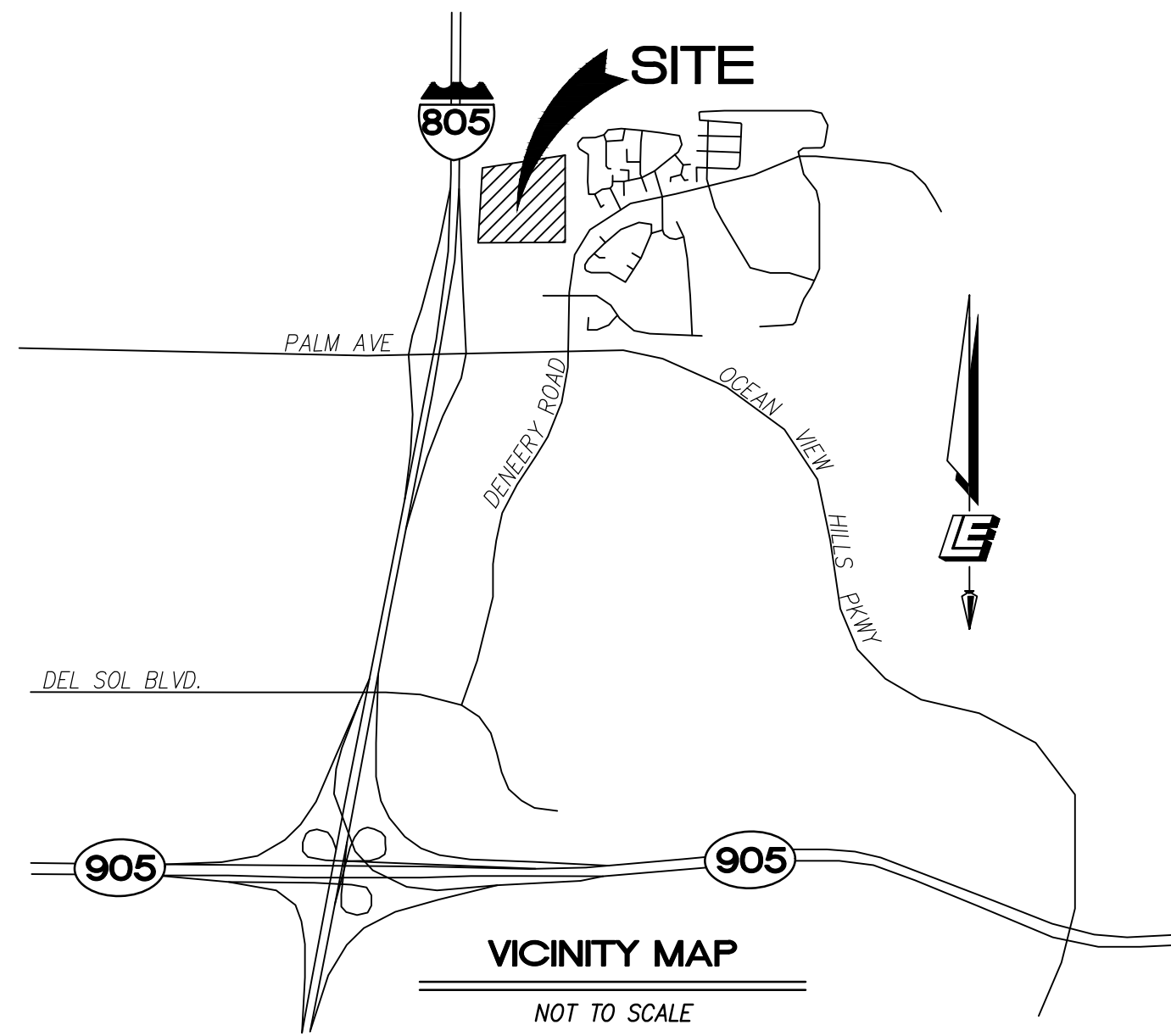
SITE DEVELOPMENT PERMIT PMT-3198048

REZONE PMT-3198047

EASEMENT VACATION PMT-3203537

COMMUNITY PLAN AMENDMENT PMT-3198046

CITY OF SAN DIEGO



OWNER / DEVELOPER

TRI POINTE HOMES
13520 EVENING CREEK DRIVE NORTH, SUITE 300
SAN DIEGO, CA 92128
PHONE (858) 794-2500 FAX (858) 794-2599

CIVIL ENGINEER

LEPPERT ENGINEERING CORPORATION
5190 GOVERNOR DRIVE, SUITE 205
SAN DIEGO, CA 92122
PHONE: (858) 597-2001

LANDSCAPE ARCHITECT

PROJECT DESIGN CONSULTANTS
701 B STREET
SAN DIEGO, CA 92101
PHONE: (619) 235-6471

PUBLIC AFFAIRS

SOUTHWEST STRATEGIES, LLC
401 B STREET, SUITE 150
SAN DIEGO, CA 92101
PHONE (858) 541-7800
FAX (858) 541-7863

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CHULA VISTA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG THE SOUTH LINE THEREOF SOUTH 89°42'04" WEST, 1069.30 FEET TO THE EASTERLY LINE OF FREEWAY DESCRIBED IN FINAL ORDER OF CONDEMNATION RECORDED JULY 22, 1968 AS FILE NO. 123488 OFFICIAL RECORDS; THENCE ALONG SAID EASTERLY LINE NORTH 3°47'10" EAST, 918.10 FEET; THENCE NORTH 80°52'26" EAST, 1030.62 FEET TO THE EAST LINE OF SAID SECTION; THENCE ALONG SAID EAST LINE SOUTH 0°28'33" WEST, 1074.02 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
LOT 'C' OF DENNEY RANCH VILLAGE 2/3 ACCORDING TO MAP THEREOF NO. 15592, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, AUGUST 15, 2007.

GENERAL NOTES

- RESIDENTIAL UNITS: 215 (UP TO 221 MAX)
- TOTAL AREA: 25.04 ACRES GROSS (23.77 AC LOT 1 & 1.27 AC PORTIONS OF LOT 'A' AND 'C' MAP 15592)
- GAS AND ELECTRIC: SAN DIEGO GAS AND ELECTRIC
- TELEPHONE: AT&T
- CABLE TELEVISION: COX
- SEWER AND WATER: PRIVATE
- DRAINAGE SYSTEM: PRIVATE
- FIRE: PRIVATE
- SCHOOL DISTRICT: SWEETWATER UNION HIGH SCHOOL DISTRICT
CHULA VISTA ELEMENTARY SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND
- EXISTING TOPOGRAPHY CONTOUR INTERVAL: 1 FEET
PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 12/02/2019
- DESCRIPTION: CENTERLINE CONTROL MONUMENT
LOCATION: INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD
REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1469 17701
ELEVATION: 504.568 FT MSL
DATUM: NGVD-29
- ALL PROPOSED FILL SLOPES ARE 2:1 MAX AND CUT SLOPES ARE 2:1 MAX
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION ON FINAL DESIGN.
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION ON FINAL DESIGN.
- ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE REMOVED.
- ALL RESIDENTIAL LOCAL AND PRIVATE STREETS WITH A GRADE BREAK OF 1% OR GREATER, SHALL HAVE VERTICAL CURVES IN ACCORDANCE WITH THE CITY STREET DESIGN MANUAL.
- ALL PRIVATE ENCROACHMENTS IN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT WILL REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
- ALL PRIVATE ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT WILL REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
- ALL PUBLIC WATER FACILITIES AND ASSOCIATED EASEMENTS WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN DIEGO GUIDELINES AND REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO.
- THE PROJECT IS SUBJECT TO THE INCLUSIONARY HOUSING REGULATION OF SAN DIEGO MUNICIPAL CODE CHAPTER 14, ARTICLE 2, DIVISION 13. AFFORDABLE UNITS WILL BE PROVIDED ON-SITE. THE OWNER/APPLICANT WILL PROVIDE 10 PERCENT OF THE PROPOSED PROJECT AS AFFORDABLE FOR SALE TO MEDIAN INCOME HOUSEHOLDS AT 30 PERCENT OF 100 PERCENT OF AREA MEDIAN INCOME OR FOR RENT BY VERY LOW INCOME HOUSEHOLDS OR LOW INCOME HOUSEHOLDS AT A COST, INCLUDING AN ALLOWANCE FOR UTILITIES, THAT DOES NOT EXCEED 30 PERCENT OF 60 PERCENT OF MEDIAN INCOME.

ASSESSOR'S PARCEL NUMBER

624-071-02 AND 645-400-05

BENCHMARK

FOR HORIZONTAL CONTROL: FOR VERTICAL CONTROL:
STATION NAME: 1399 GAS 1399 GAS
CALIFORNIA COORDINATE INDEX (NAD83), N: 1790280.53, E: 6325646.40
ELEVATION: 533.47 FT DATUM (MSL)
REFERENCE: CITY OF SAN DIEGO GPS CONTROL MONUMENT DATED: AUGUST 1992

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, 1983, ZONE 6, EPOCH 1993.5, GRID BEARING BETWEEN GPS STATION 210 AND GPS STATION 1465 PER RECORD OF SURVEY MAP NO. 14492.

I.E.: SOUTH 57°37'24" EAST

DISTANCES SHOWN HEREON ARE GRID DISTANCES TO OBTAIN GROUND LEVEL DISTANCES, MULTIPLY DISTANCE BY 1/1.0000252. QUOTED BEARINGS FROM REFERENCE MAPS/DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS DEVELOPMENT PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISION OF SECTION 66473.1 OF THE STATE SUBDIVISION MAP ACT.

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:
ANNEXATION AGREEMENT/UNCODIFIED ORDINANCE FOR AREAS OUTSIDE CITY OF SAN DIEGO, GENERAL PLAN AMENDMENT, COMMUNITY PLAN AMENDMENT (PMT-3198046), MSCP SUBAREA PLAN AMENDMENT, PREZONE (PMT-3198047), EASEMENT VACATION (PMT-3203537) AND SITE DEVELOPMENT PERMIT (PMT-3198048) FOR ACCESS ROADS FOR A 215 MULTI-FAMILY DWELLING UNIT CONDOMINIUM PROJECT (UP TO 221 MAX) THAT WILL BE ANNEXED INTO THE CITY OF SAN DIEGO.
- STREET ADDRESS:
NORTHSIDE OF DENNEY RANCH ROAD BETWEEN REGATTA LANE AND SAND STAR WAY
- SITE AREA
TOTAL SITE AREA (GROSS): 25.04 ACRES (1,090,742 SF)
23.77 ACRES (LOT 1) & 1.27 ACRES (PORTIONS OF LOTS 'A' AND 'C' MAP 15592)
NET SITE AREA: 21.19 ACRES (923,242 SF)
- ZONING
EXISTING: N/A (LOT 1) AND RM-2-4 (LOT 'C' MAP 15592)
PROPOSED: RM-1-1 (LOT 1) AND RM-2-4 (LOT 'C' MAP 15592)
- COMMUNITY PLANNING AREA: OTAY MESA
- COVERAGE DATA
TOTAL LANDSCAPE / OPEN SPACE AREA: 502,496 SF
TOTAL HARDSCAPE / PAVED AREA: 283,501 SF
FLOOR AREA RATIO PER ZONE (FAR): 1.25
GROSS FLOOR AREA (GFA): 473,000 SF
MAXIMUM PERMITTED BUILDING COVERAGE: 60 PERCENT
- DENSITY
MAXIMUM DWELLING UNITS ALLOWED PER ZONE: 1 DU/3,000 S.F. OF LOT AREA OR 345 DU MAX
NUMBER OF EXISTING UNITS TO REMAIN ON-SITE: 0
NUMBER OF PROPOSED DWELLING UNITS ON-SITE: 215 DU (UP TO 221 MAX)
- YARD / SETBACK
REQUIRED:
MIN. FRONT SETBACK: 15 FEET
STANDARD FRONT SETBACK: 20 FEET
MIN. SIDE SETBACK: 5 FEET OR 10% OF PREMISES WIDTH (100 FEET)
STANDARD SIDE SETBACK: 8 FEET OR 10% OF PREMISES WIDTH (100 FEET)
MIN. STREET SIDE SETBACK: 10 FEET
MIN. REAR SETBACK: 15 FEET
PROPOSED:
MIN. FRONT SETBACK: 15 FEET
STANDARD FRONT SETBACK: 20 FEET
MIN. SIDE SETBACK: 10 FEET
STANDARD SIDE SETBACK: 10 FEET
MIN. STREET SIDE SETBACK: N/A
MIN. REAR SETBACK: 15 FEET
- MAXIMUM STRUCTURE HEIGHT:
REQUIRED: 30 FEET
PROPOSED: 30 FEET

REQUESTED DEVIATIONS

MUNICIPAL CODE REGULATION	SDMC LANGUAGE	REQUIRED	PROPOSED DEVIATION	REQUESTED PERMIT
SECTION 131.0443, TABLE 131-046	MIN. SIDEYARD SETBACK STD. SIDEYARD SETBACK	5 FEET OR 10% OF PREMISES WIDTH (100 FEET) 8 FEET OR 10% OF PREMISES WIDTH (100 FEET)	10 FEET 10 FEET	UNCODIFIED ORDINANCE
SECTION 142.0340(e)	RETAINING WALL HEIGHT	12 FEET MAX. OUTSIDE RECD YARD	24 FEET	UNCODIFIED ORDINANCE

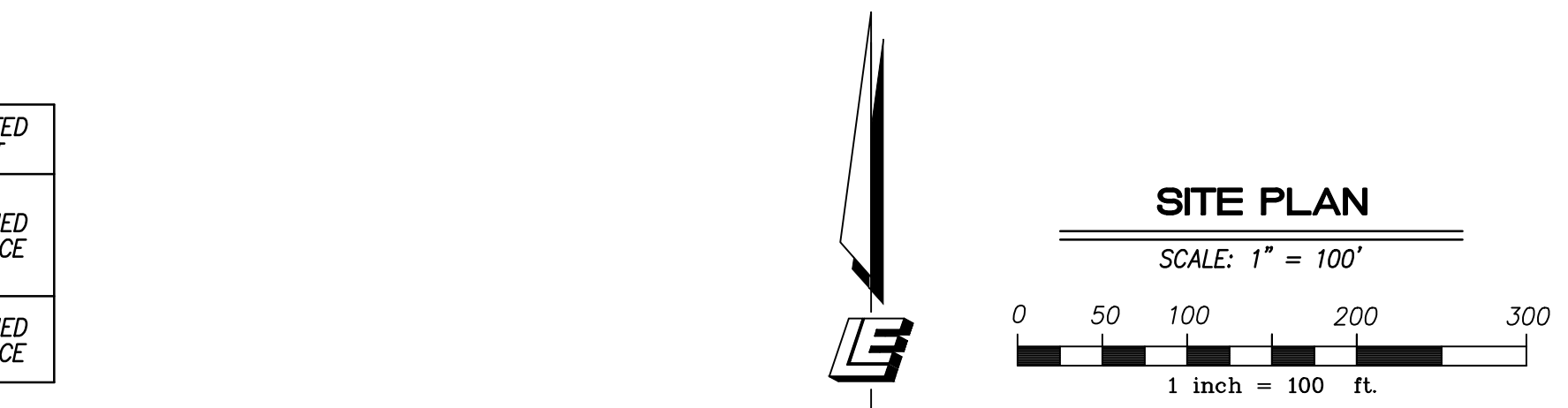
SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING TOPO AND EASEMENTS
3	SLOPE ANALYSIS
4	BIOLOGY MAP
5	GRADING AND STORM DRAIN
6	UTILITIES PLAN
7	SITE PLAN
8	SITE CROSS SECTIONS
9	EARTHWORK EXHIBIT
10	FIRE - HYDRANT PLAN AND NOTES
11	FIRE - APPARATUS ACCESS PATHS AND NOTES
11A	FIRE - APPARATUS ACCESS PATHS AND NOTES
11B	FIRE - NOTES
11C	FIRE - NOTES
12	PRIVATE EXTERIOR AND COMMON OPEN SPACE
13	EMERGENCY FIRE ACCESS ROAD - PLAN AND PROFILE
14	LANDSCAPE CONCEPT PLAN AND NOTES
15	LANDSCAPE CONCEPT PLAN ENLARGEMENTS AND PLANT LEGEND
16	LANDSCAPE CONCEPT SECTIONS, ELEVATIONS AND LEGEND
17	FUEL MODIFICATION PLAN
18	LANDSCAPE CONCEPT IRRIGATION PLAN
19	LANDSCAPE CONCEPT IMAGES
20	LANDSCAPE CONCEPT PLAN: PARK CONNECTIONS
21	COVENANT OF EASEMENT

GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 21.19 ACRES (INCLUDING OFFSITE GRADING)
- PERCENTAGE OF TOTAL SITE GRADED: 84.6% (21.19 AC / 25.04 AC)
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 4.06 ACRES
- PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 11.0% (2.76 AC / 25.04 AC)
NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
- PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 16.2% (4.06 AC / 25.04 AC)
- AMOUNT OF CUT: 110,400 CUBIC YARDS
- AMOUNT OF FILL: 133,000 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 21 FEET
MAX. 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 19 FEET
MAX. 2:1 SLOPE RATIO
- AMOUNT OF IMPORT SOIL: 22,600 CUBIC YARDS
- RETAINING WALLS
QUANTITY: 8
MAX. LENGTH: 419 FEET
MAX. HEIGHT: 24 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.



OWNER / DEVELOPER:
tri pointe HOMES
13520 EVENING CREEK DRIVE NORTH, SUITE 300
SAN DIEGO, CA 92128
TEL (858) 794-2500
FAX (858) 794-2599

PREPARED BY:
Leppert Engineering CORPORATION
5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848
Phone: (858) 597-2001 Fax: (858) 597-2009

NAME: LEPPERT ENGINEERING CORPORATION	REVISION 12:	
ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205	REVISION 11:	
SAN DIEGO, CA 92122	REVISION 10:	
PHONE: 858-597-2001	REVISION 9:	
	REVISION 8:	
	REVISION 7:	
	REVISION 6:	
	REVISION 5:	
	REVISION 4:	12/14/2023
	REVISION 3:	10/2/2023
	REVISION 2:	5/12/2023
	REVISION 1:	

PROJECT ADDRESS:
NORTHSIDE OF DENNEY RD BETWEEN
REGATTA LANE AND SAND STAR WAY

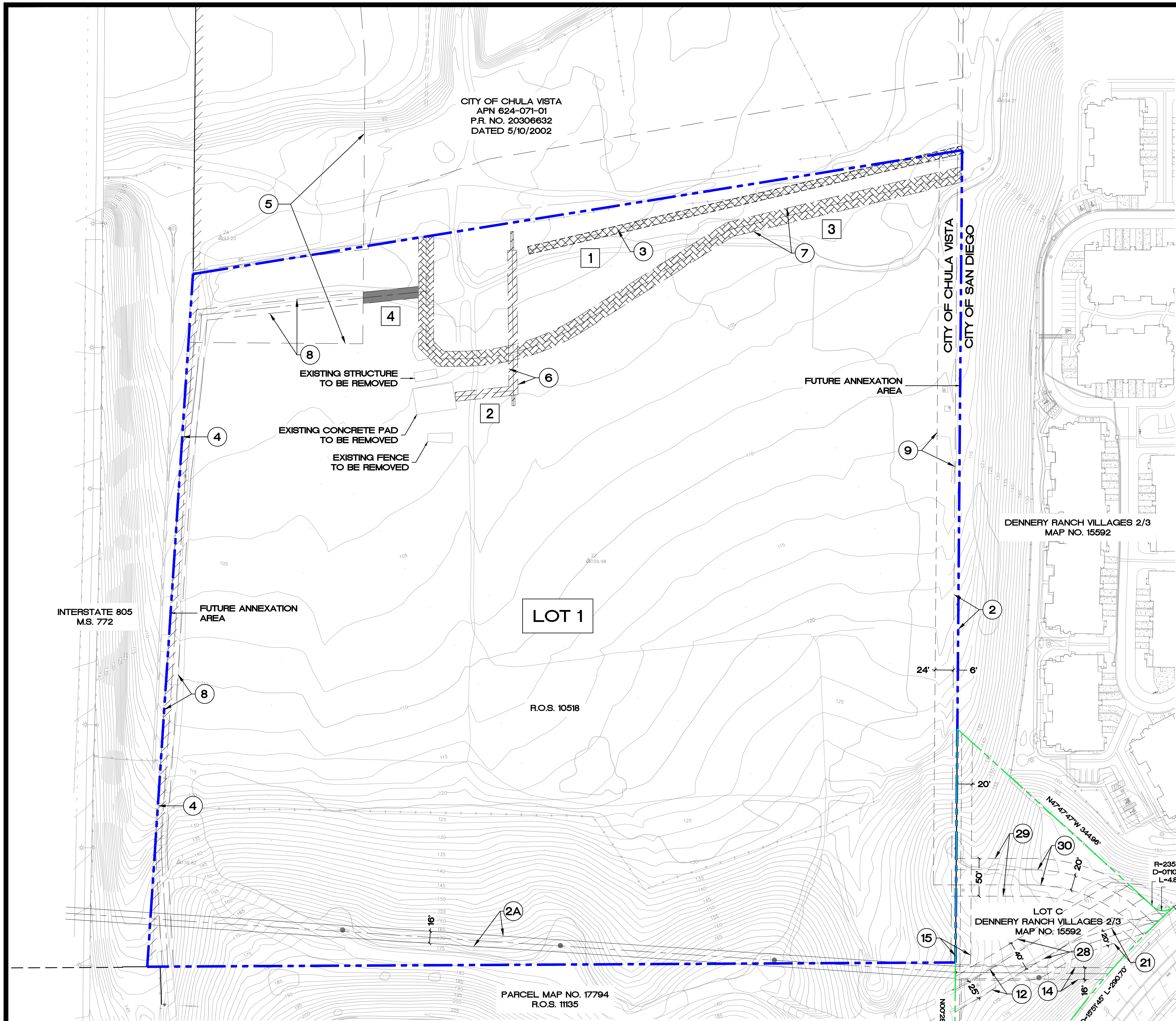
PROJECT NAME:
NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
COVER SHEET

SHEET 1 OF 21

DEP #



EASEMENT INFORMATION (CONT):

- 11 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDED: NOVEMBER 20, 1928 IN BOOK 1561, PAGE 8 DEEDS
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: CALIFORNIA WATER AND TELEPHONE COMPANY
PURPOSE: WATERLINES
RECORDED: SEPTEMBER 22, 1952 IN BOOK 4600, PAGE 341 O.R.
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
PORTION OF SAID EASEMENT ELIMINATED BY A RESOLUTION, RECORDED NOVEMBER 5, 2007 AS INSTRUMENT NO. 0702502 O.R.
- 13 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
PURPOSE: WATERLINES
RECORDED: MARCH 10, 1953 IN BOOK 4778, PAGE 308, MARCH 11, 1982 AS INSTRUMENT NO. 82-66756 AND JULY 16, 1982 AS INSTRUMENT NO. 82-218218, ALL OF O.R.
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 14 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDED: SEPTEMBER 24, 1954 AS INSTRUMENT NO. 127523 IN BOOK 5374, PAGE 490 OFFICIAL RECORDS
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 15 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: OTAY MUNICIPAL WATER DISTRICT
PURPOSE: WATER PIPELINES AND/OR MAINS
RECORDED: FEBRUARY 20, 1975 AS INSTRUMENT NO. 75-38986 O.R.
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 21 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDING DATE: NOVEMBER 10, 1998 AS INSTRUMENT NO. 1998-0733300 O.R.
AFFECTS: THE ROUTE THEREOF AFFECT A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
A JOINT USE AGREEMENT RECORDED AUGUST 19, 2009 AS FILE NO. 2009-0465103.
- 23 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: PACIFIC BELL
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDING DATE: OCTOBER 26, 1999 AS INSTRUMENT NO. 1999-0714876 O.R.
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 26 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION
PURPOSE: WATER FACILITIES
RECORDED: SEPTEMBER 1, 2005 AS INSTRUMENT NO. 2005-0758568 O.R.
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 29 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: OTAY WATER DISTRICT
PURPOSE: TEMPORARY CONSTRUCTION EASEMENT
RECORDED: SEPTEMBER 22, 2005 AS INSTRUMENT NO. 2005-0820903 O.R.
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 30 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: OTAY WATER DISTRICT
PURPOSE: WATER
RECORDED: SEPTEMBER 22, 2005 AS INSTRUMENT NO. 2005-0820904 O.R.
AFFECTS: LOT C AS SHOWN ON MAP 15592
- 33 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID MAP NO. 15592.
PURPOSE: OPEN SPACE
AFFECTS: LOT C AS SHOWN ON MAP 15592

LEGEND

- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY/PROPERTY LINE
- EASEMENT LINE
- EASEMENT NOTE NUMBER
- EASEMENT VACATION NUMBER
- INDICATES ADJUTER'S RIGHT OF ACCESS RELINQUISHED PER DOCUMENT RECORDED JULY 22, 1968 AS DOC. NO. 123488, O.R.
- DIRECTION OF WATER FLOW

TOPOGRAPHY SOURCE

PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 01/17/2018
 DESCRIPTION: SOUTHEAST BRASS PLUG
 LOCATION: INTERSECTION OF OCEANVIEW HILLS PARKWAY AND SEA FIRE POINT
 REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1487 17636
 ELEVATION: 522.389 FT MSL NGVD-29

BENCHMARK

DESCRIPTION: CENTERLINE CONTROL MONUMENT
 LOCATION: INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD
 REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1489 17701
 ELEVATION: 504.569 FT. MSL
 DATUM: NGVD-29

CONDOMINIUM NOTE

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS IS 221.

MAPPING NOTES

1. A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.
2. PRIOR TO THE RECORDATION OF THE FINAL MAP, TAXES MUST BE PAID ON THIS PROPERTY PURSUANT TO SUBDIVISION MAP ACT SECTION 66492, TO SATISFY THIS CONDITION, A TAX CERTIFICATE STATING THAT THERE ARE NO UNPAID LIEN CONDITIONS AGAINST THE SUBDIVISION MUST BE RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER.
IF A TAX BOND IS REQUIRED AS INDICATED IN THE TAX CERTIFICATE, ENSURE THAT IT IS PAID OR POSTED AT THE COUNTY CLERK OF THE BOARD OF SUPERVISORS OFFICE ALONG WITH THE ASSOCIATED \$34.00 COMPLIANCE FEE TO AVOID DELAYING THE RECORDATION OF THE FINAL MAP.
3. ALL SUBDIVISION MAPS IN THE CITY OF SAN DIEGO ARE REQUIRED TO BE TIED TO THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 6 PURSUANT TO SECTION 8801 THROUGH 8819 OF THE CALIFORNIA PUBLIC RESOURCES CODE.
4. THE FINAL MAP SHALL:
 - a. USE THE CALIFORNIA COORDINATE SYSTEM FOR ITS "BASIS OF BEARINGS" AND EXPRESS ALL MEASURED AND CALCULATED BEARING VALUES IN TERMS OF SAID SYSTEM. THE ANGLE OF GRID DIVERGENCE FROM A TRUE MERIDIAN (THETA OR MAPPING ANGLE) AND THE NORTH POINT OF SAID MAP SHALL APPEAR ON EACH SHEET THEREOF. ESTABLISHMENT OF SAID BASIS OF BEARINGS MAY BE BY USE OF EXISTING HORIZONTAL CONTROL STATIONS OR ASTRONOMIC OBSERVATIONS.
 - b. SHOW TWO MEASURED TIES FROM THE BOUNDARY OF THE MAP TO EXISTING HORIZONTAL CONTROL STATIONS HAVING CALIFORNIA COORDINATE VALUES OF FIRST ORDER ACCURACY. THESE TIE LINES TO THE EXISTING CONTROL SHALL BE SHOWN IN RELATION TO THE CALIFORNIA COORDINATE SYSTEM (I.E., GRID BEARINGS AND GRID DISTANCES). ALL OTHER DISTANCES SHOWN ON THE MAP ARE TO BE SHOWN AS GROUND DISTANCES. A COMBINED FACTOR FOR CONVERSION OF GRID-TO-GROUND SHALL BE SHOWN ON THE MAP.
5. THE FINAL MAP SHALL BE BASED ON FIELD SURVEY AND ALL LOT CORNERS MUST BE MARKED WITH DURABLE SURVEY MONUMENTS PURSUANT TO SECTION 144.031(D) OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES AND SUBDIVISION MAP ACT SECTION 66495.
ALL SURVEY MONUMENTS SHALL BE SET PRIOR TO THE RECORDATION OF THE FINAL MAP, UNLESS THE SETTING OF MONUMENTS IS DEEMED IMPRACTICAL DUE TO THE PROPOSED IMPROVEMENTS AND/OR GRADING ASSOCIATED WITH THE PROJECT, IN WHICH CASE, DELAYED MONUMENTATION MAY BE APPLIED ON THE FINAL MAP IN ACCORDANCE WITH SECTION 144.0130 OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES.

EASEMENTS (TO BE VACATED):

- 1 EASEMENT TO THE SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES. RECORDED OCTOBER 19, 1948 IN BOOK 2985 PAGE 325, O.R.
- 2 EASEMENT TO THE SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES. RECORDED APRIL 1, 1974 AS INSTRUMENT NO. 74-080792, O.R.
- 3 EASEMENT TO THE CITY OF SAN DIEGO FOR SEWER. RECORDED APRIL 10, 1985 AS INSTRUMENT NO. 85-121724, O.R.
- 4 PORTION OF EASEMENT TO THE CITY OF SAN DIEGO FOR SEWER, RECORDED ON MAY 18, 1995 AS INSTRUMENT NO. 1995-0209876, O.R.

VACATION STATEMENT

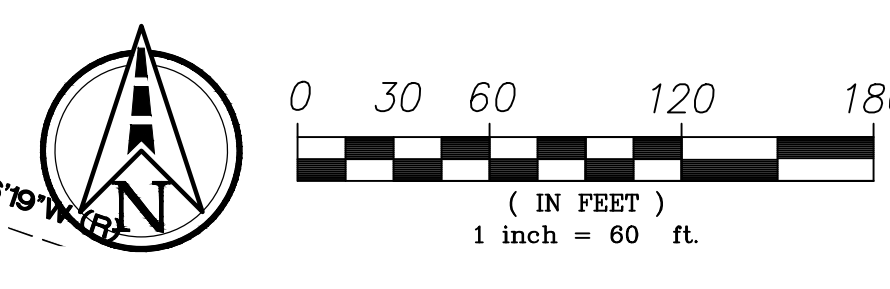
THE EASEMENTS SHOWN ON THE TENTATIVE MAP EXHIBIT WILL BE VACATED PURSUANT TO SECTION 66434(G) OF THE SUBDIVISION MAP ACT.

EASEMENT INFORMATION:

- TITLE REPORT BY: CHICAGO TITLE COMPANY
 ORDER NO.: 00065109-996-S01-R14
- 2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: NOVEMBER 20, 1928
RECORDING NO.: BOOK 1553, PAGE 238 DEEDS
AFFECTS: THE EAST 6 FEET ON SAID LAND
 - 2A EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: SEPTEMBER 24, 1954
RECORDING NO.: BOOK 5374, PAGE 492 OFFICIAL RECORDS
AFFECTS: THE EAST 6 FEET ON SAID LAND.
 - 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: OCTOBER 19, 1948
RECORDING NO.: BOOK 2985 PAGE 325 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
 - 4 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET HIGHWAY, OR FREEWAY LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT.
RECORD DATE: JULY 22, 1968
RECORDING NO.: INSTRUMENT NO. 123488 OFFICIAL RECORDS
AFFECTS: INTERSTATE 805 ADJACENT THERETO.
 - 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: STATE OF CALIFORNIA
PURPOSE: DRAINAGE
RECORDING DATE: JULY 22, 1968
RECORDING NO.: INSTRUMENT NO. 123488 OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
 - 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: APRIL 1, 1974
RECORDING NO.: INSTRUMENT NO. 74-080792 OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
 - 7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: CITY OF SAN DIEGO
PURPOSE: SEWER
RECORDING DATE: APRIL 10, 1985
RECORDING NO.: INSTRUMENT NO. 85-121724 OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
 - 8 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: CITY OF SAN DIEGO
PURPOSE: SEWER
RECORDING DATE: MAY 18, 1995
RECORDING NO.: INSTRUMENT NO. 1995-0208876 O.R.
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.
 - 9 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.
GRANTED TO: OTAY WATER DISTRICT
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDING DATE: SEPTEMBER 22, 2005
RECORDING NO.: INSTRUMENT NO. 2005-0820907 O.R.
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

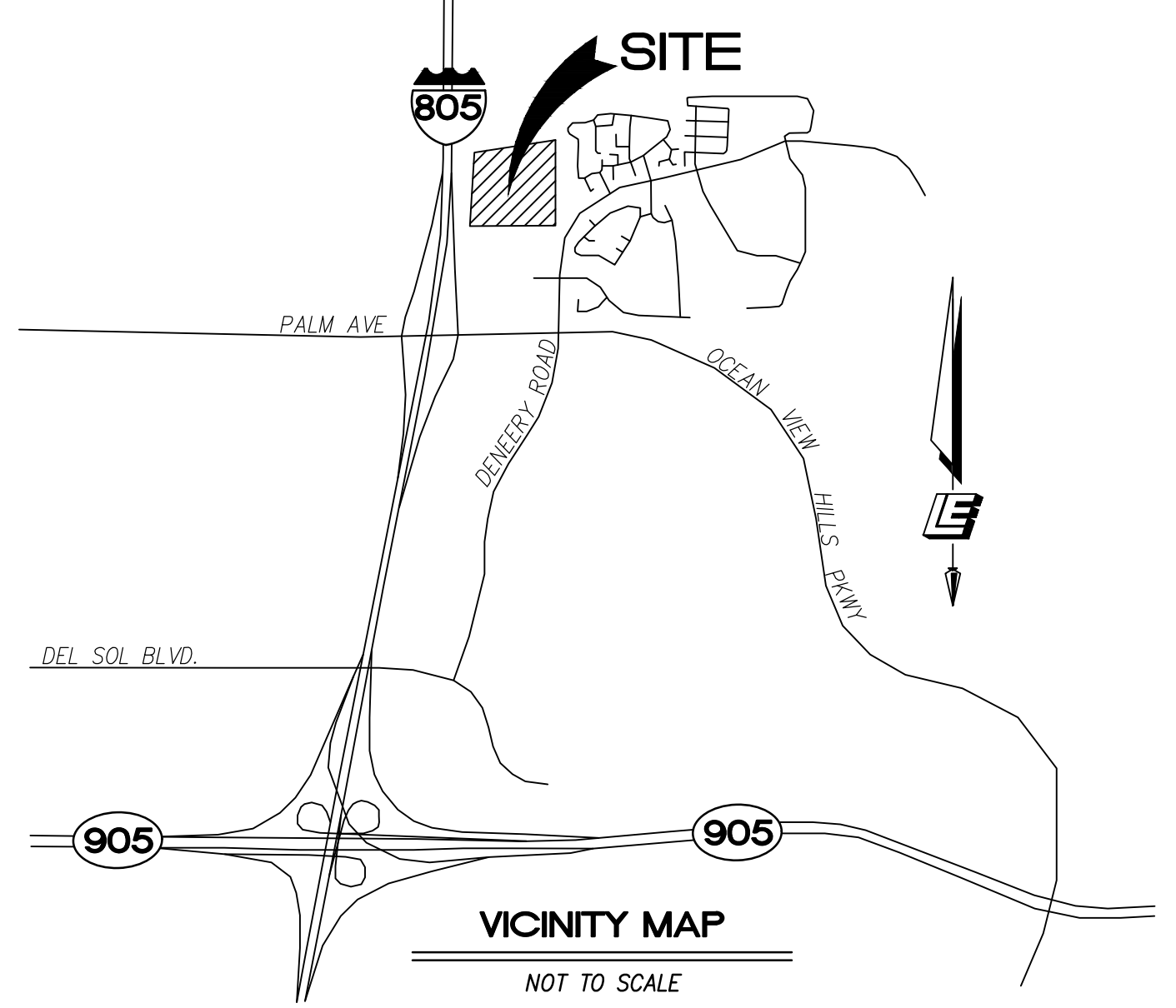
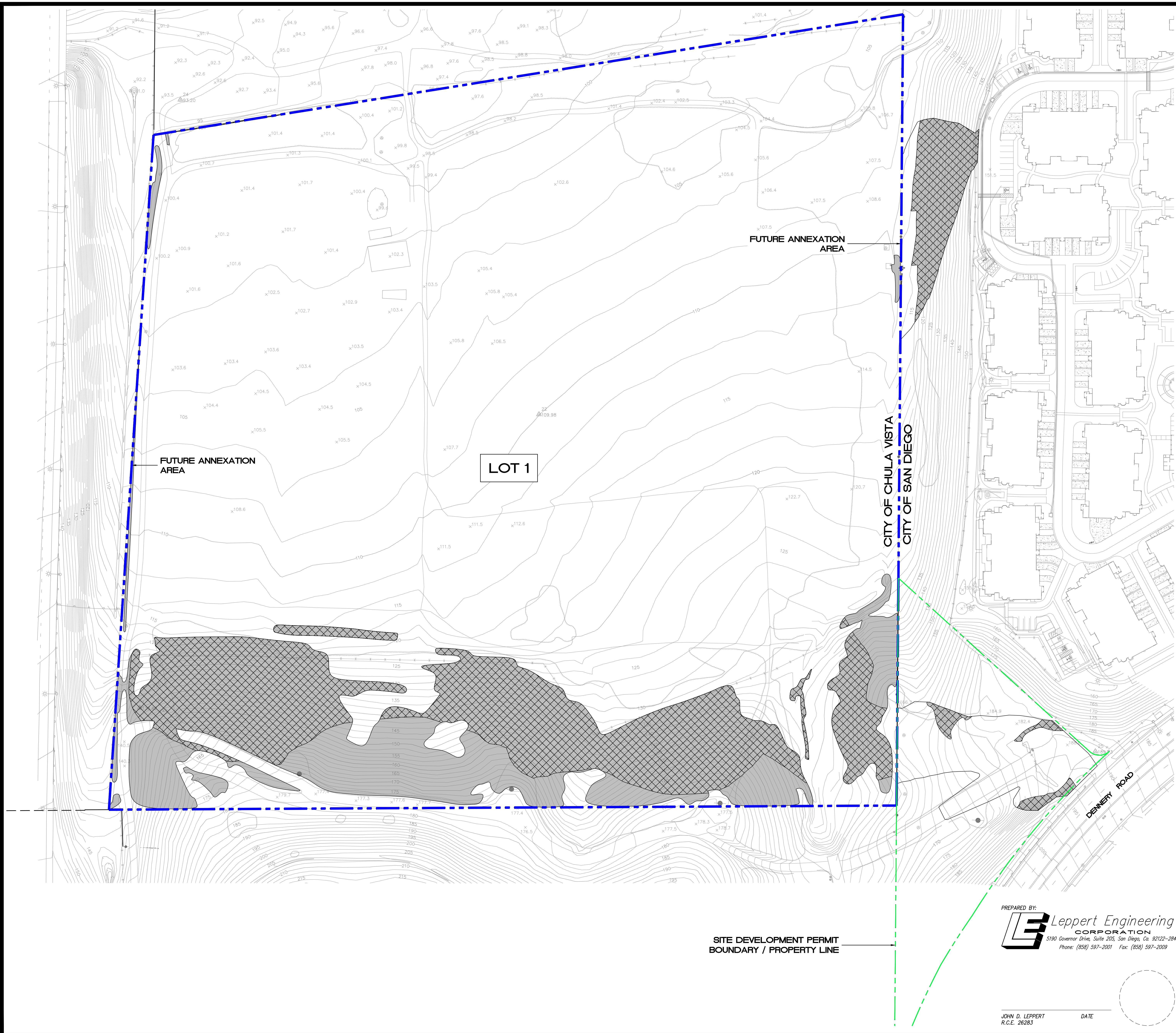
PREPARED BY:

CIVIL SENSE INC.
 13475 Danielson Street, Suite 150 | Poway, CA 92064
 Office: 619-842-4353
 HENRY H. PENG
 R.C.E. 63686



NAME: CIVIL SENSE, INC.	REVISION 12:	
ADDRESS: 13475 DANIELSON STREET, SUITE 150	REVISION 11:	
POMAY, CA 92128	REVISION 10:	
PHONE: 619-842-4253	REVISION 9:	
	REVISION 8:	
	REVISION 7:	
	REVISION 6:	
	REVISION 5:	
	REVISION 4:	12/14/2023
	REVISION 3:	10/2/2023
	REVISION 2:	5/12/2023
	REVISION 1:	
PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	ORIGINAL DATE:	11/4/2022
PROJECT NAME: NAKANO	SHEET	2 OF 21
	DEP #	

SHEET TITLE:
 EXISTING TOPOGRAPHY
 AND EASEMENTS



GRADING

1. TOTAL AMOUNT OF SITE TO BE GRADED: (INCLUDING OFFSITE GRADING)	21.19 ACRES
2. PERCENTAGE OF TOTAL SITE GRADED:	84.6% (21.19 AC / 25.04 AC)
3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER:	4.06 ACRES
4. PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED:	11.0% (2.76 AC / 25.04 AC) NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
5. PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER:	16.2% (4.06 AC / 25.04 AC)
6. AMOUNT OF CUT:	110,400 CUBIC YARDS
7. AMOUNT OF FILL:	133,000 CUBIC YARDS
8. MAXIMUM HEIGHT OF FILL SLOPE(S): MAX. 2:1 SLOPE RATIO	21 FEET
9. MAXIMUM HEIGHT OF CUT SLOPE(S): MAX. 2:1 SLOPE RATIO	19 FEET
10. AMOUNT OF IMPORT SOIL:	22,600 CUBIC YARDS
11. RETAINING WALLS	
QUANTITY:	8
MAX. LENGTH:	419 FEET
MAX. HEIGHT:	24 FEET

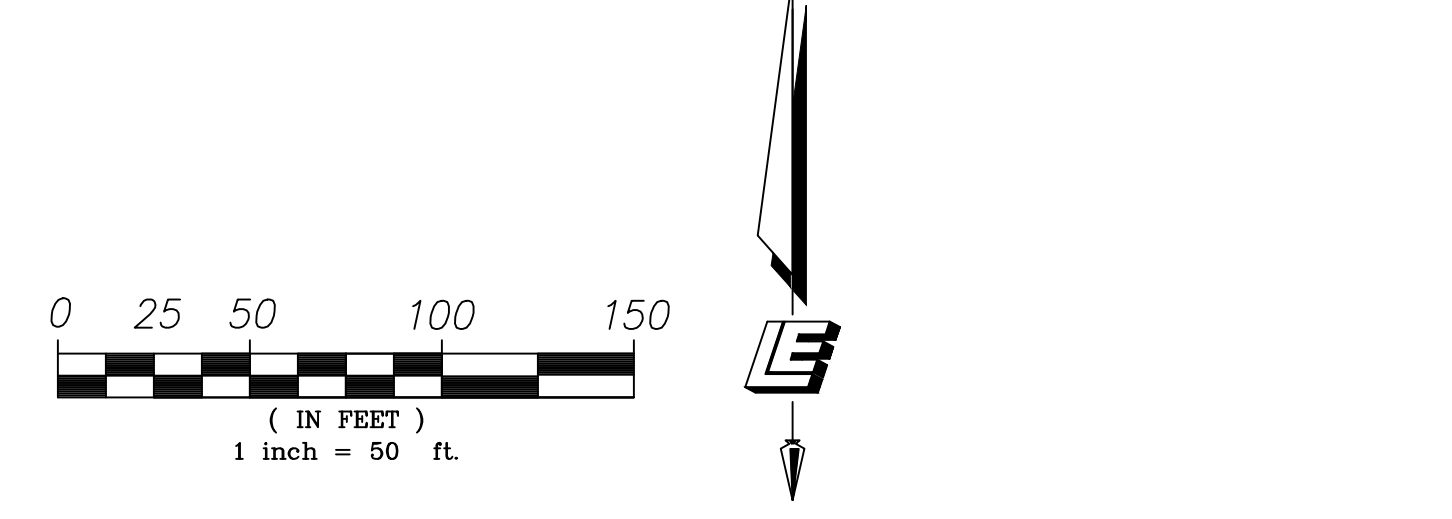
NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.

LEGEND

EXISTING SLOPES 0 % TO 25 % (20.98 ACRES)	
EXISTING SLOPES 25 % AND GREATER (4.06 ACRES)	
IMPACTS TO EXISTING SLOPES 25% OR GREATER (2.76 ACRES)	

AREA SUMMARY

	ACREAGE	PERCENTAGE
0 % TO 25 % SLOPES	20.98 ACRES	83.8%
25 % AND GREATER SLOPES	4.06 ACRES	16.2%
TOTAL	25.04 ACRES	100%



NAME: LEPPERT ENGINEERING CORPORATION
 ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205, SAN DIEGO, CA 92122
 PHONE: 858-597-2001

PROJECT ADDRESS:
 NORTHSIDE OF DENNERY RD BETWEEN
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
 NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
 SLOPE ANALYSIS

SHEET 3 OF 21

DEP #

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 REVISION 4: 12/14/2023
 REVISION 3: 10/2/2023
 REVISION 2: 5/12/2023
 REVISION 1: _____

PREPARED BY:

Leppert Engineering
 CORPORATION
 5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848
 Phone: (858) 597-2001 Fax: (858) 597-2009

JOHN D. LEPPERT DATE
 R.C.E. 26283

SITE DEVELOPMENT PERMIT
 BOUNDARY / PROPERTY LINE

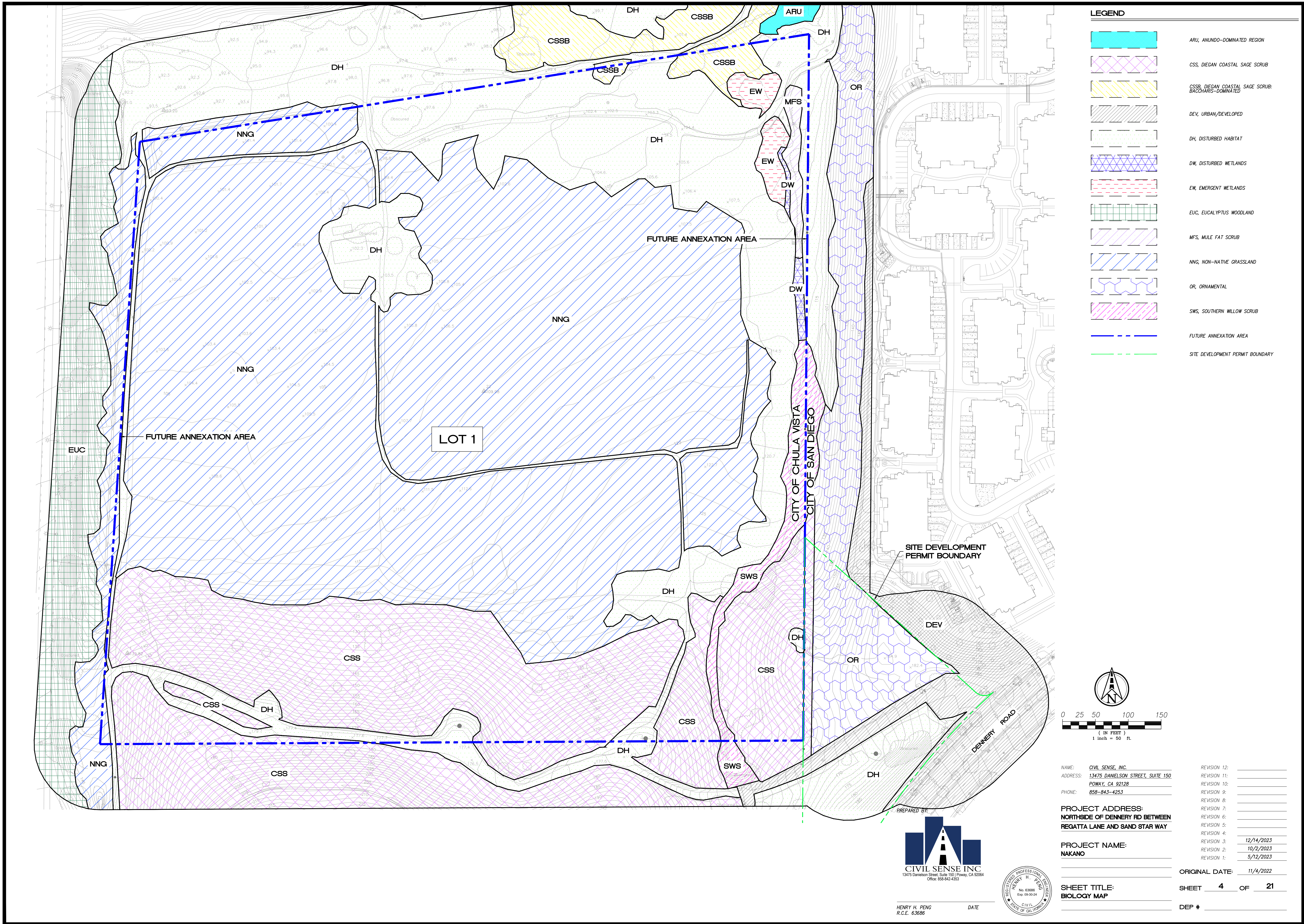
LOT 1

FUTURE ANNEXATION
 AREA

FUTURE ANNEXATION
 AREA

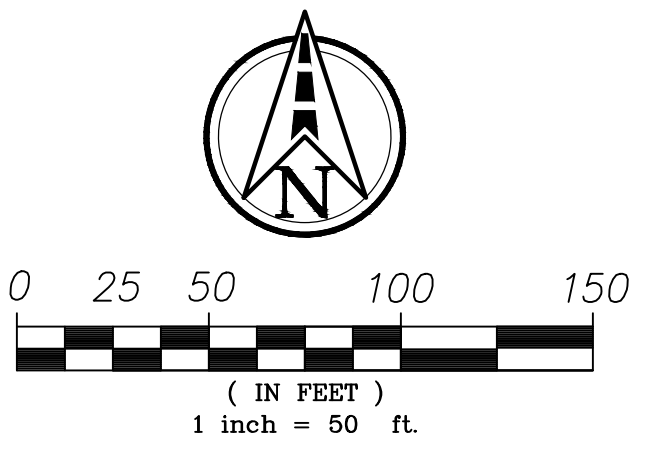
CITY OF CHULA VISTA
 CITY OF SAN DIEGO

DENNERY ROAD



LEGEND

	ARU, ANUNDO-DOMINATED REGION
	CSS, DIEGAN COASTAL SAGE SCRUB
	CSSB, DIEGAN COASTAL SAGE SCRUB: BACCHARIS-DOMINATED
	DEV, URBAN/DEVELOPED
	DH, DISTURBED HABITAT
	DW, DISTURBED WETLANDS
	EW, EMERGENT WETLANDS
	EUC, EUCALYPTUS WOODLAND
	MFS, MULE FAT SCRUB
	NNG, NON-NATIVE GRASSLAND
	OR, ORNAMENTAL
	SWS, SOUTHERN WILLOW SCRUB
	FUTURE ANNEXATION AREA
	SITE DEVELOPMENT PERMIT BOUNDARY



NAME: CIVIL SENSE, INC.	REVISION 12: _____
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PROJECT ADDRESS:
NORTHSIDE OF DENNERY RD BETWEEN
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
BIOLOGY MAP

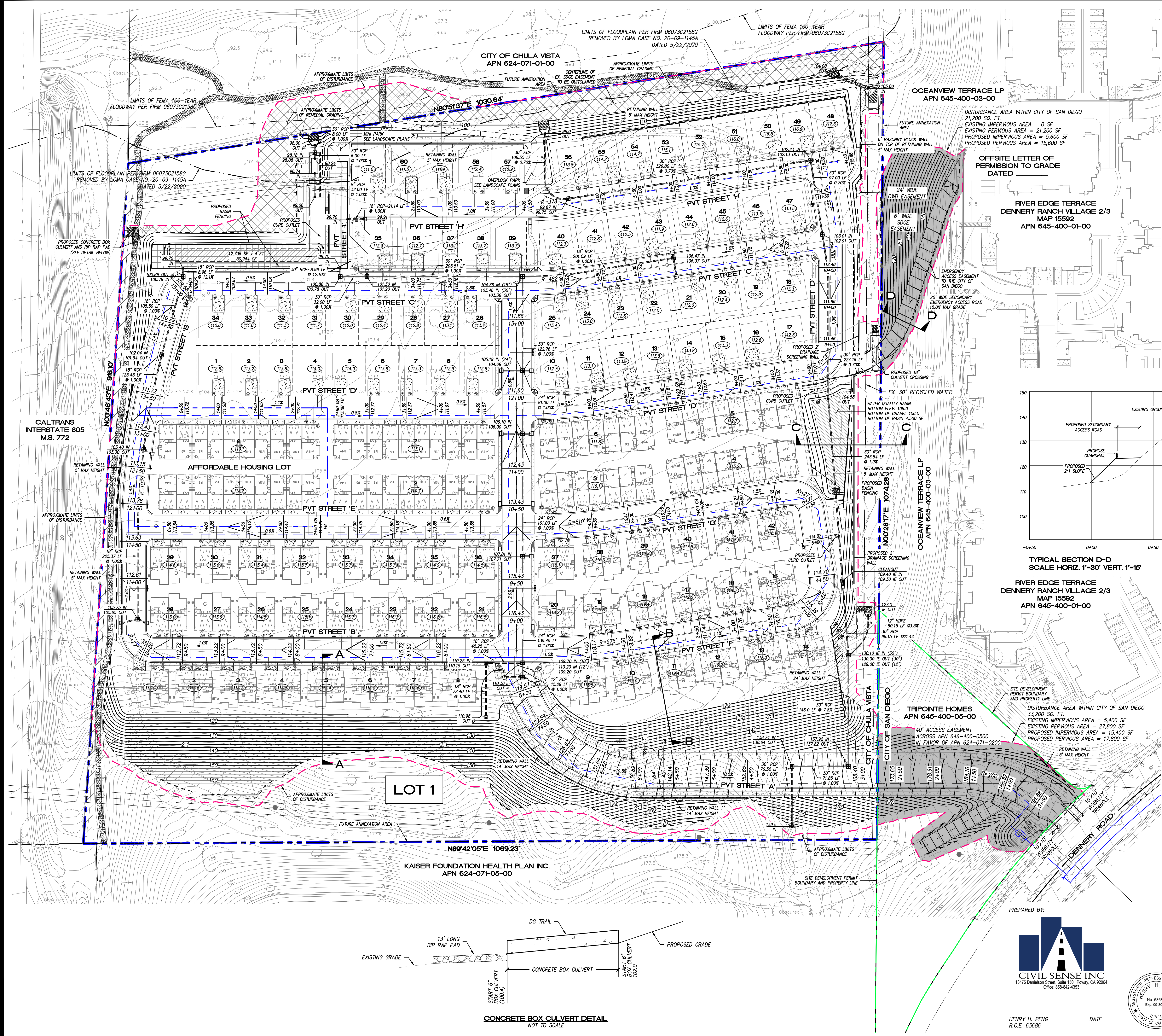
SHEET **4** OF **21**

DEP # _____



PREPARED BY: HENRY H. PENG
R.C.E. 63686 DATE _____



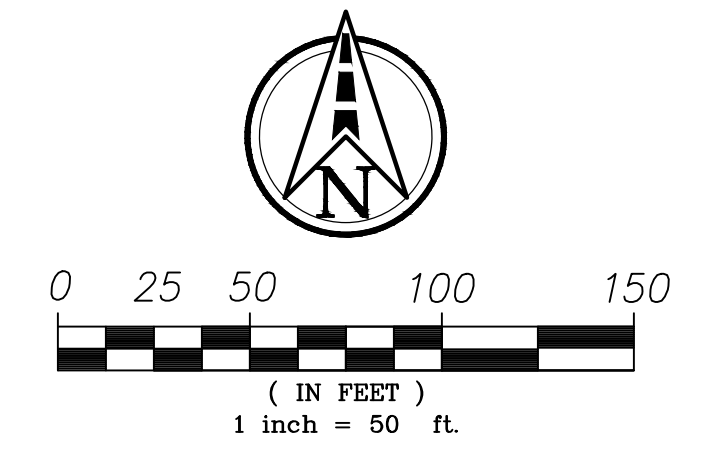
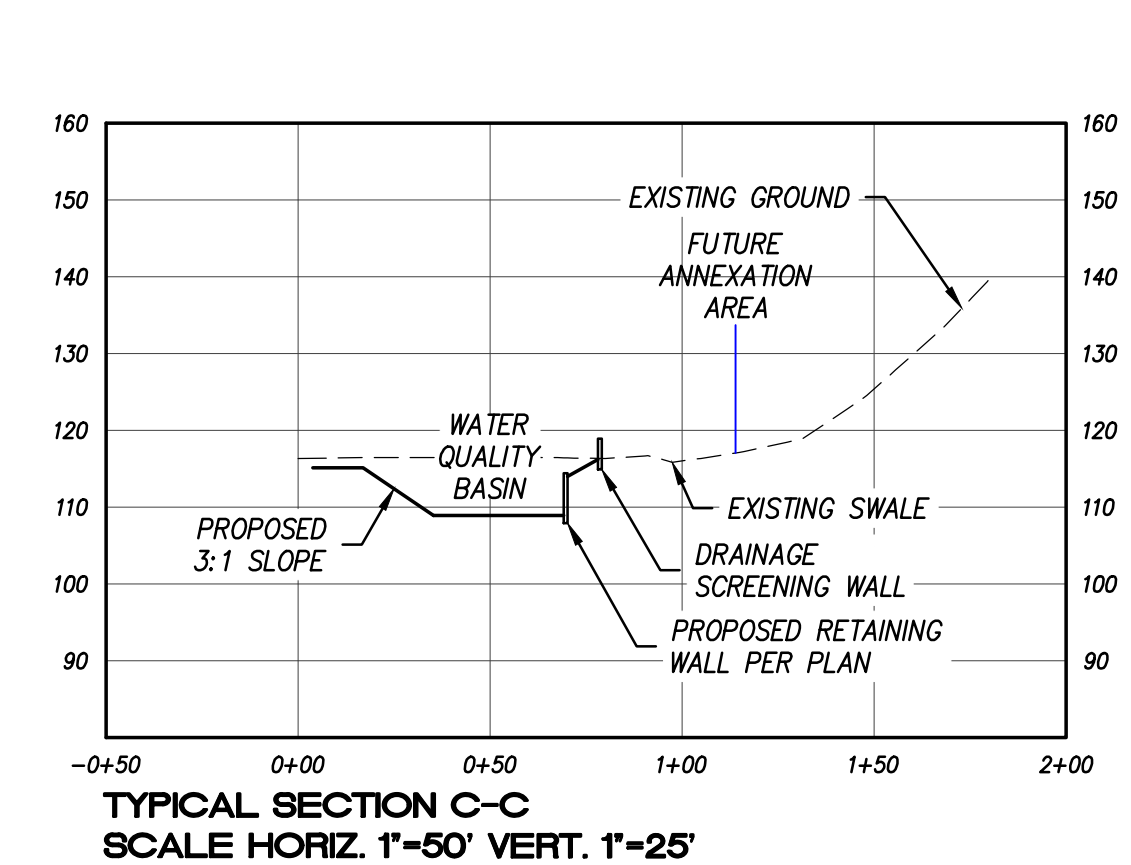
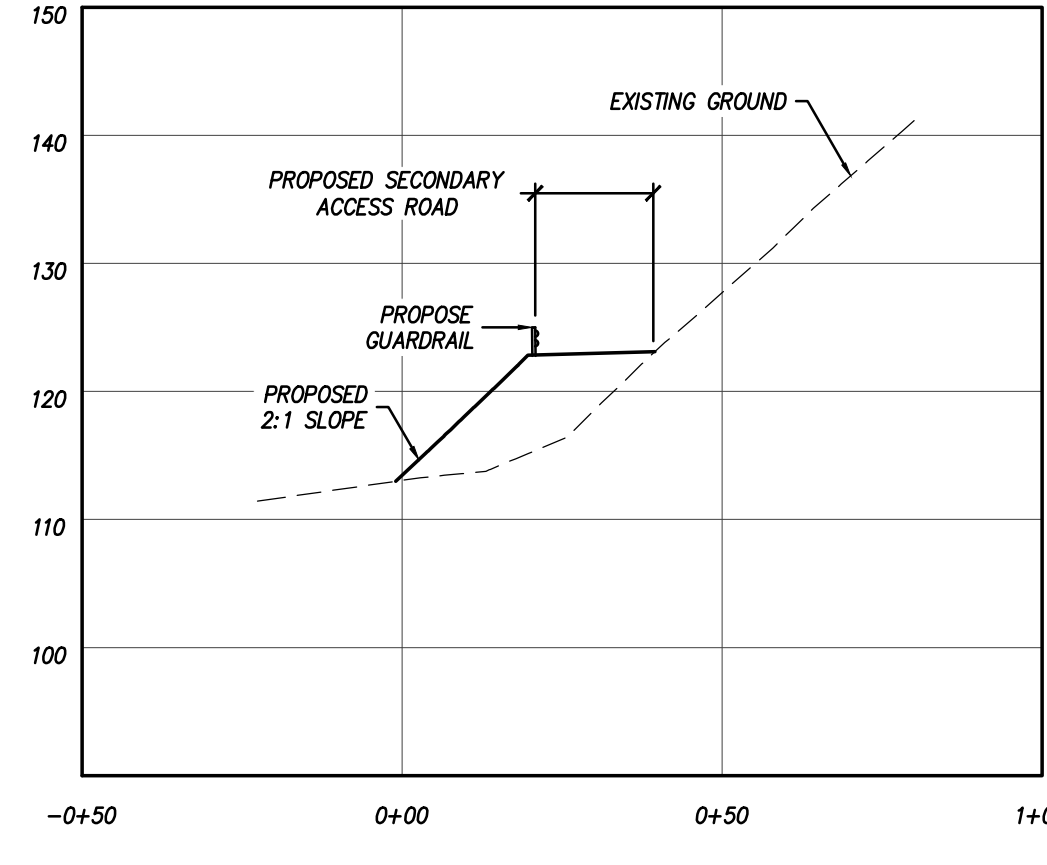
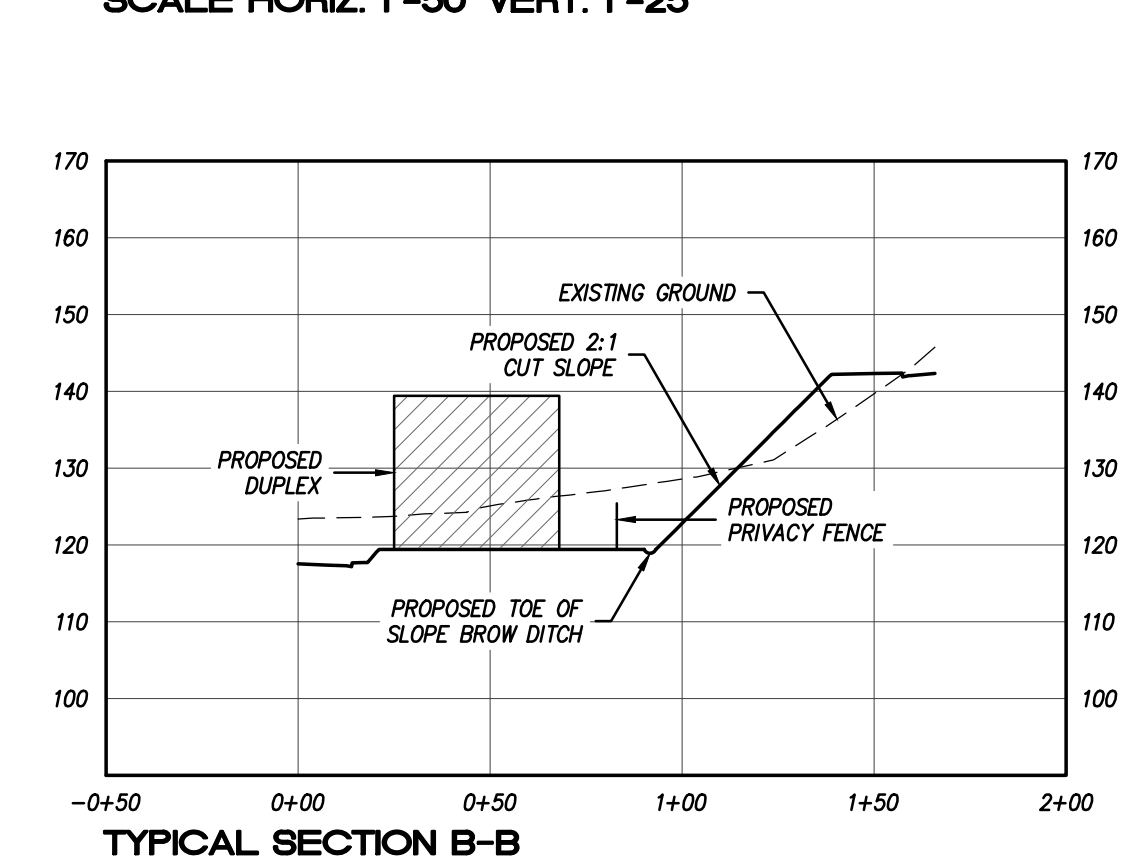
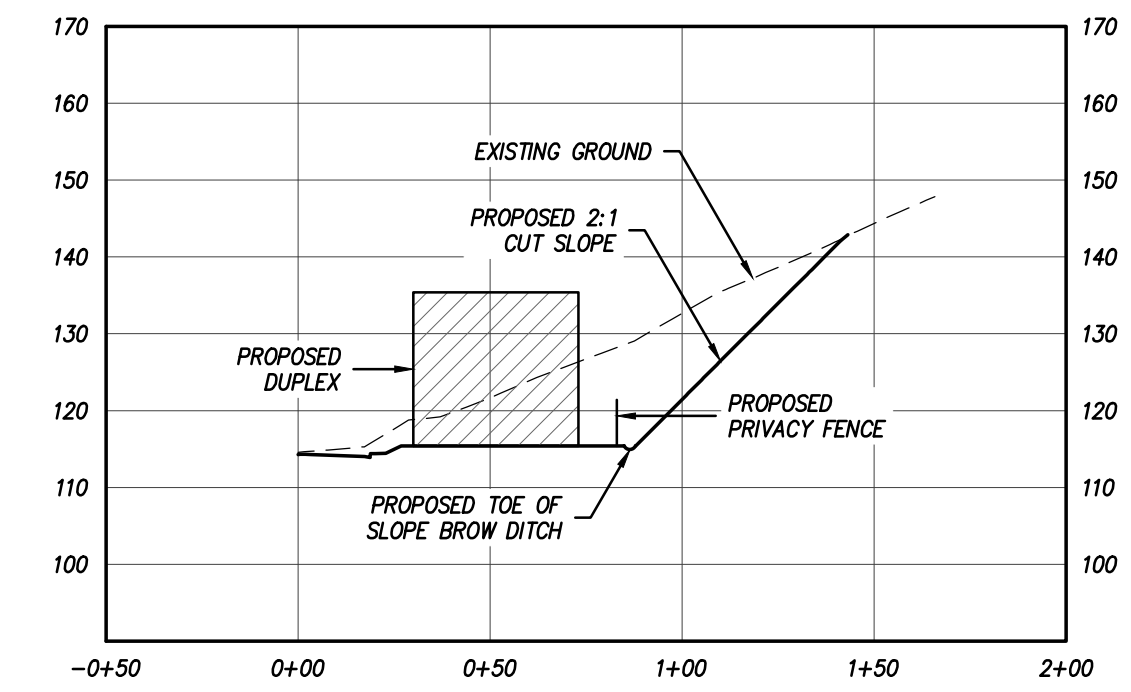


LEGEND

- SLOPES 2:1 MAX
- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY AND PROPERTY LINE
- PROPOSED AFFORDABLE HOUSING LOT LINE
- PROPOSED DAYLIGHT LINE
- PROPOSED 6" CURB AND GUTTER
- PROPOSED 6" CURB
- PROPOSED RETAINING WALL

GRADING NOTES / BMP NOTES

- BMP MAINTENANCE - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- CONSTRUCTION BMP - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OR SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.



PROJECT ADDRESS:
NORTHSIDE OF DENNERY RD BETWEEN
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
NAKANO

PREPARED BY:
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PHONE: 858-843-4253

REVISIONS:

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ORIGINAL DATE: 11/4/2022

SHEET TITLE: GRADING AND STORM DRAIN

SHEET 5 OF 21

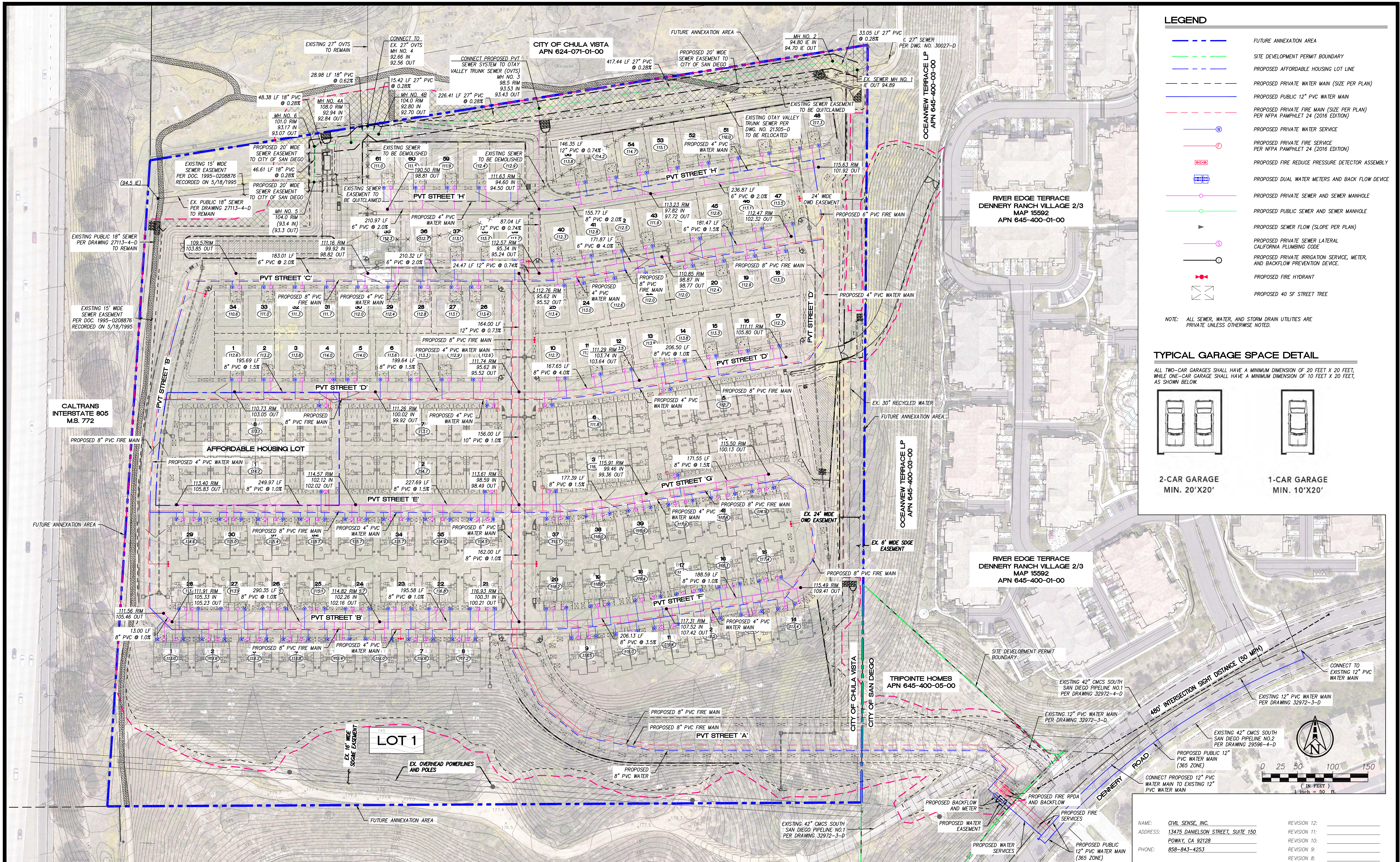
DEP #

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PHONE: 858-843-4253

HENRY H. PENG
R.C.E. 63686

DATE





LEGEND

- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY
- PROPOSED AFFORDABLE HOUSING LOT LINE
- PROPOSED PRIVATE WATER MAIN (SIZE PER PLAN)
- PROPOSED PUBLIC 12" PVC WATER MAIN
- PROPOSED PRIVATE FIRE MAIN (SIZE PER PLAN) PER NFPA PAMPHLET 24 (2016 EDITION)
- PROPOSED PRIVATE WATER SERVICE
- PROPOSED PRIVATE FIRE SERVICE PER NFPA PAMPHLET 24 (2016 EDITION)
- PROPOSED FIRE REDUCE PRESSURE DETECTOR ASSEMBLY
- PROPOSED DUAL WATER METERS AND BACK FLOW DEVICE
- PROPOSED PRIVATE SEWER AND SEWER MANHOLE
- PROPOSED PUBLIC SEWER AND SEWER MANHOLE
- PROPOSED SEWER FLOW (SLOPE PER PLAN)
- PROPOSED PRIVATE SEWER LATERAL CALIFORNIA PLUMBING CODE
- PROPOSED PRIVATE IRRIGATION SERVICE, METER, AND BACKFLOW PREVENTION DEVICE
- PROPOSED FIRE HYDRANT
- PROPOSED 40 SF STREET TREE

NOTE: ALL SEWER, WATER, AND STORM DRAIN UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.

TYPICAL GARAGE SPACE DETAIL

ALL TWO-CAR GARAGES SHALL HAVE A MINIMUM DIMENSION OF 20 FEET X 20 FEET, WHILE ONE-CAR GARAGE SHALL HAVE A MINIMUM DIMENSION OF 10 FEET X 20 FEET, AS SHOWN BELOW.

2-CAR GARAGE
MIN. 20'X20'

1-CAR GARAGE
MIN. 10'X20'

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET *
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

* 5 FEET ON RESIDENTIAL LOCAL STREETS WITH A DESIGN SPEED OF 25MPH OR SLOWER

UTILITY TABLE

UTILITY	OVERHEAD/UNDERGROUND
GAS	UNDERGROUND
ELECTRIC	UNDERGROUND
TELEPHONE (AT&T)	UNDERGROUND
CABLE TELEVISION (COX)	UNDERGROUND
SEWER	UNDERGROUND
STORM DRAIN	UNDERGROUND
FIRE	UNDERGROUND
WATER	UNDERGROUND

NOTE: THE SUBDIVIDER SHALL ENSURE THAT ALL ONSITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUNDED WITH ALL OF THE APPROPRIATE PERMITS.

- #### UTILITY NOTES
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
 - MINIMUM 10 FOOT SEPARATION FROM SEWER MAINS TO WATER MAINS. 10 FOOT SEPARATION TO BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
 - ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES (BFPDS). BFPDS ARE TYPICALLY LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
 - IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PRIVATE SEWER LATERAL IN THE STREET A RIGHT-OF-WAY.

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Office: 619-843-4253

HENRY H. PENG
R.C.E. 63686

DATE: _____

PROJECT ADDRESS:
NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
NAKANO

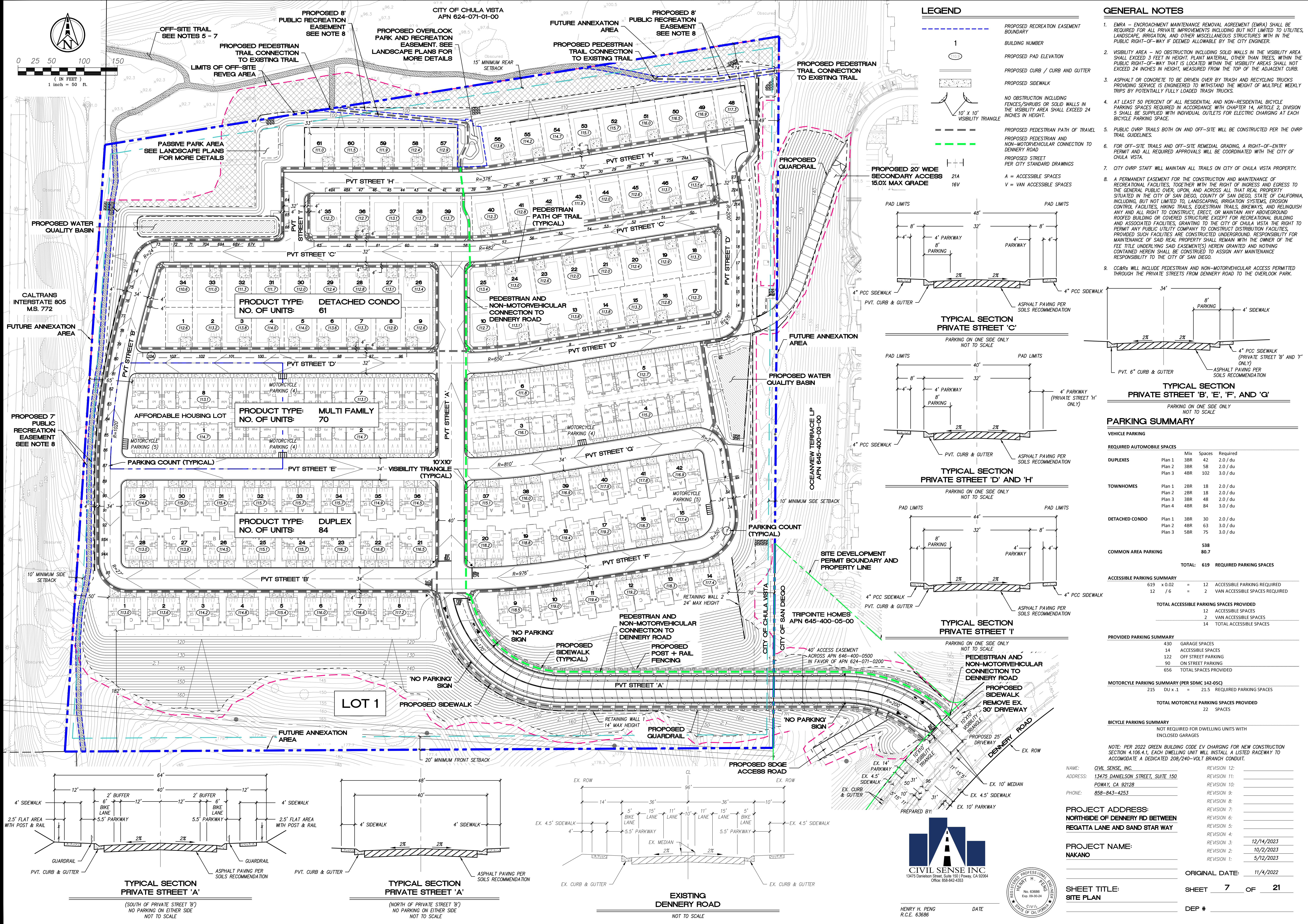
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UTILITY PLAN

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SHEET **6** OF **21**

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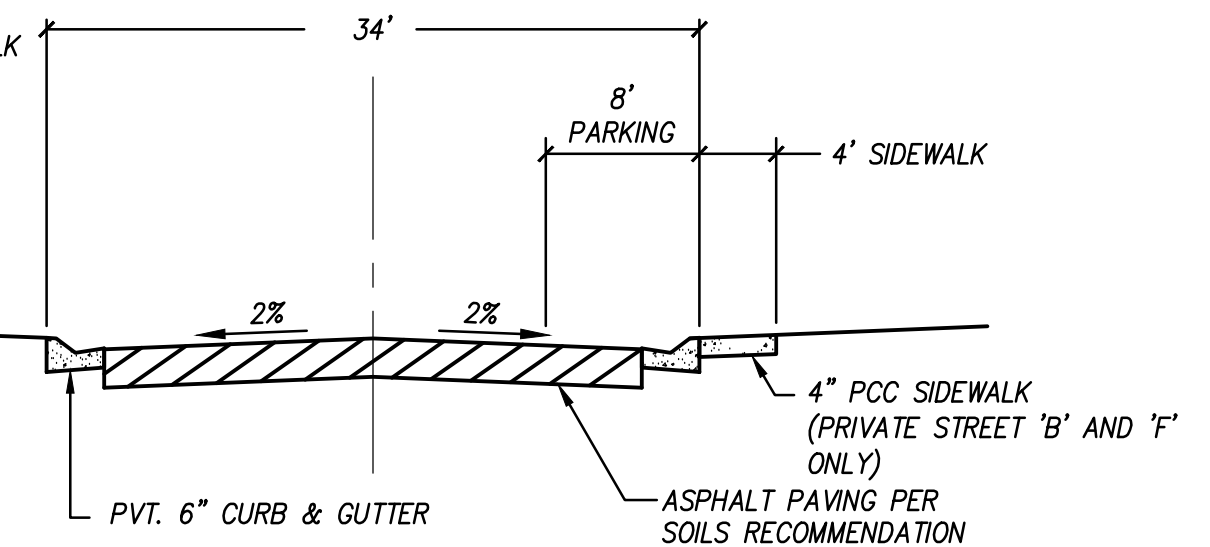
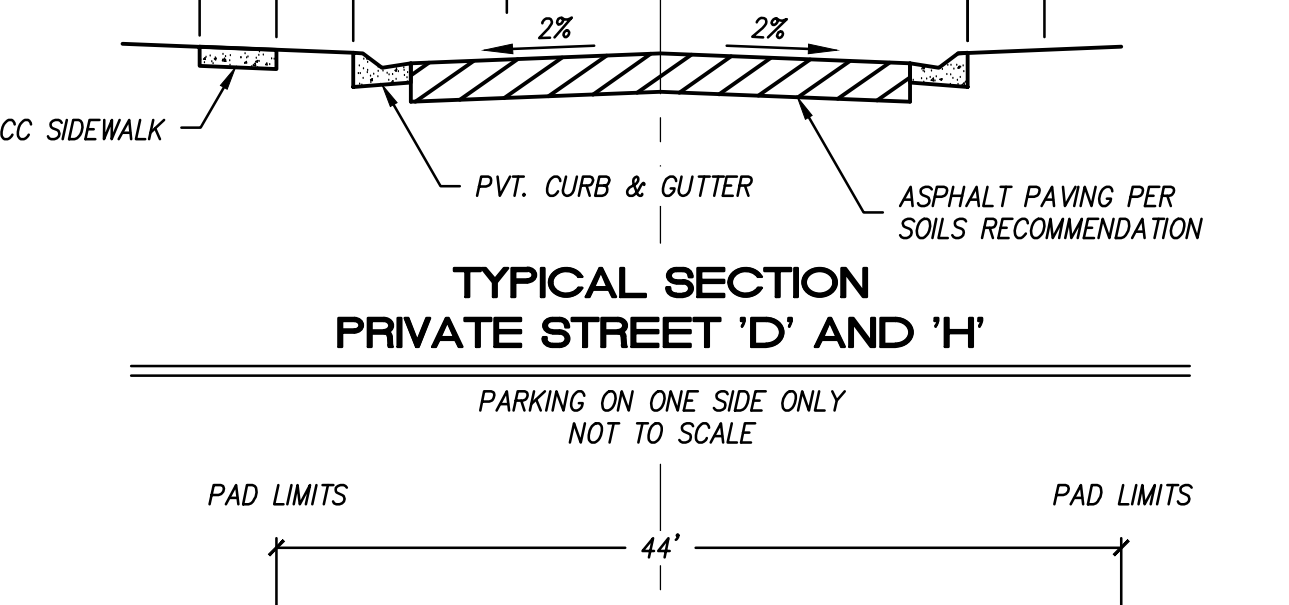
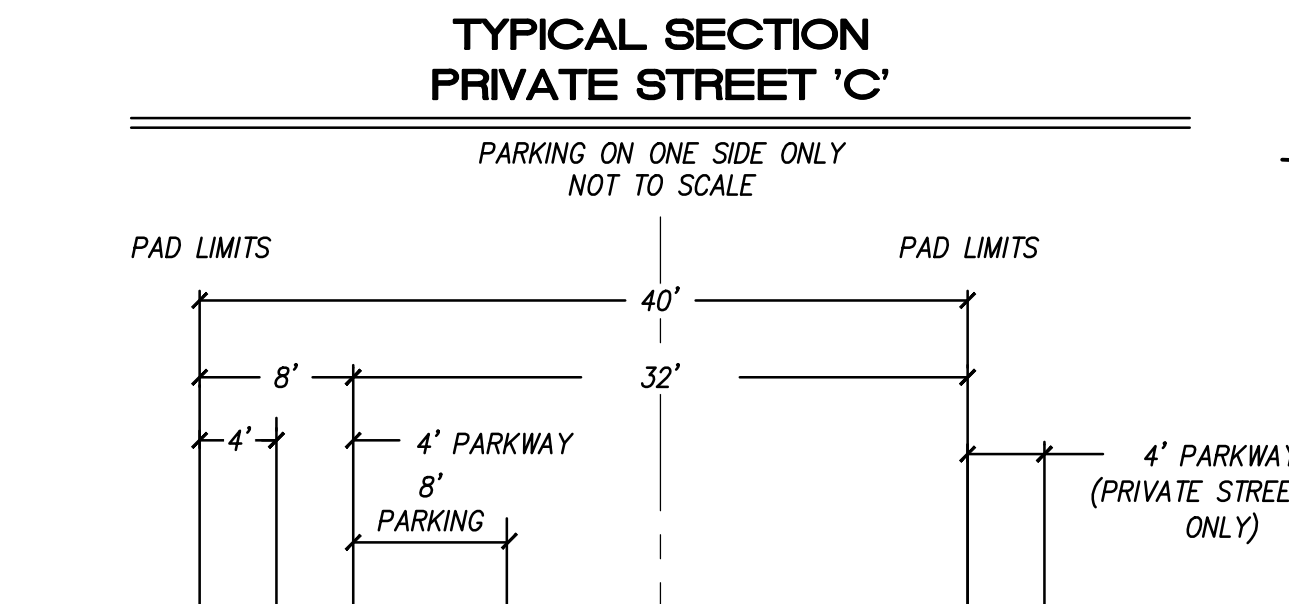
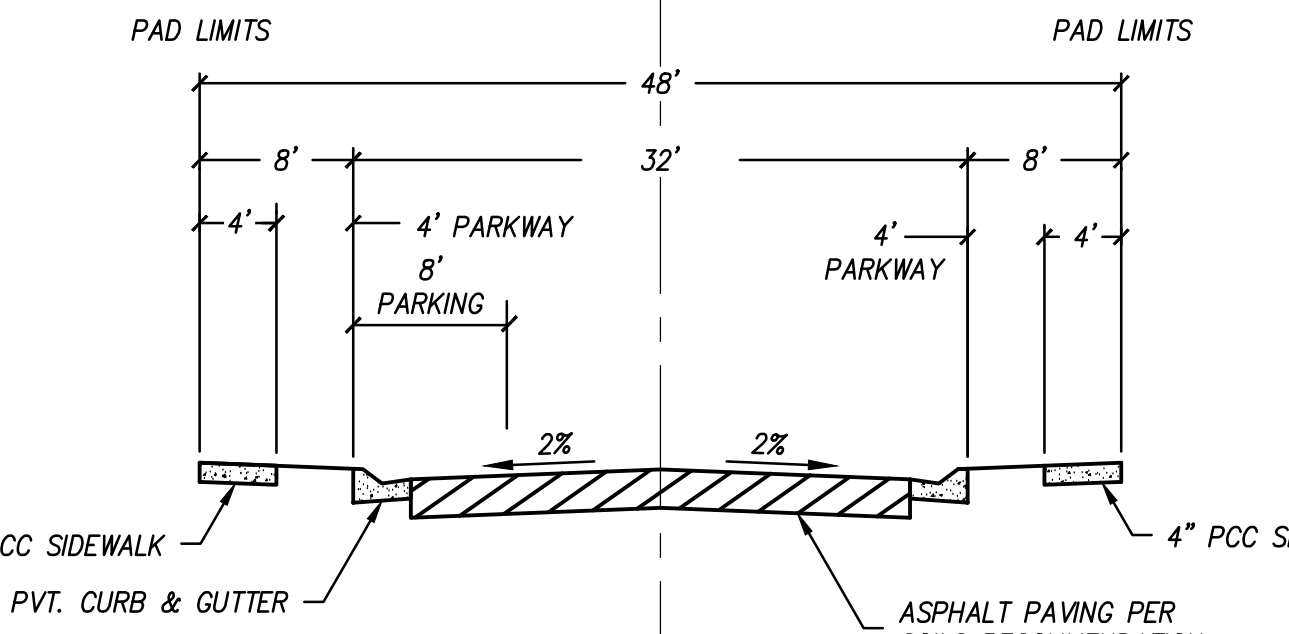


LEGEND

- PROPOSED RECREATION EASEMENT BOUNDARY
- BUILDING NUMBER
- PROPOSED PAD ELEVATION
- PROPOSED CURB / CURB AND GUTTER
- PROPOSED SIDEWALK
- NO OBSTRUCTION INCLUDING FENCES, SHRUBS OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 24 INCHES IN HEIGHT.
- PROPOSED PEDESTRIAN PATH OF TRAVEL
- PROPOSED PEDESTRIAN AND NON-MOTORVEHICULAR CONNECTION TO DENNERLY ROAD
- PROPOSED STREET PER CITY STANDARD DRAWINGS

GENERAL NOTES

1. EMRA - ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA) SHALL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO UTILITIES, LANDSCAPE, IRRIGATION, AND OTHER MISCELLANEOUS STRUCTURES WITH IN THE PUBLIC RIGHT-OF-WAY IF DEEMED ALLOWABLE BY THE CITY ENGINEER.
2. VISIBILITY AREA - NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN THE VISIBILITY AREA SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
3. ASPHALT OR CONCRETE TO BE DRIVEN OVER BY TRASH AND RECYCLING TRUCKS PROVIDING SERVICE IS ENGINEERED TO WITHSTAND THE HEIGHT OF MULTIPLE WEEKLY TRIPS BY POTENTIALLY FULLY LOADED TRASH TRUCKS.
4. AT LEAST 50 PERCENT OF ALL RESIDENTIAL AND NON-RESIDENTIAL BICYCLE PARKING SPACES REQUIRED IN ACCORDANCE WITH CHAPTER 14, ARTICLE 2, DIVISION 5 SHALL BE SUPPLIED WITH INDIVIDUAL OUTLETS FOR ELECTRIC CHARGING AT EACH BICYCLE PARKING SPACE.
5. PUBLIC OVRP TRAILS BOTH ON AND OFF-SITE WILL BE CONSTRUCTED PER THE OVRP TRAIL GUIDELINES.
6. FOR OFF-SITE TRAILS AND OFF-SITE REMEDIAL GRADING, A RIGHT-OF-ENTRY PERMIT AND ALL REQUIRED APPROVALS WILL BE COORDINATED WITH THE CITY OF CHULA VISTA.
7. CITY OVRP STAFF WILL MAINTAIN ALL TRAILS ON CITY OF CHULA VISTA PROPERTY.
8. A PERMANENT EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF RECREATIONAL FACILITIES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO THE GENERAL PUBLIC OVER, UPON, AND ACROSS ALL THAT REAL PROPERTY SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, IRRIGATION SYSTEMS, EROSION CONTROL FACILITIES, HIKING TRAILS, EQUESTRIAN TRAILS, BIKEWAYS, AND RELINQUISH ANY AND ALL RIGHT TO CONSTRUCT, ERECT, OR MAINTAIN ANY ABOVEGROUND ROOFED BUILDING OR COVERED STRUCTURE EXCEPT FOR RECREATIONAL BUILDING AND ASSOCIATED FACILITIES, GRANTING TO THE CITY OF CHULA VISTA THE RIGHT TO PERMIT ANY PUBLIC UTILITY COMPANY TO CONSTRUCT DISTRIBUTION FACILITIES. PROVIDED SUCH FACILITIES ARE CONSTRUCTED UNDERGROUND. RESPONSIBILITY FOR MAINTENANCE OF SAID REAL PROPERTY SHALL REMAIN WITH THE OWNER OF THE FEE TITLE UNDERLYING SAID EASEMENT(S) HEREIN GRANTED AND NOTHING CONTAINED HEREIN SHALL BE CONSTRUED TO ASSIGN ANY MAINTENANCE RESPONSIBILITY TO THE CITY OF SAN DIEGO.
9. CO&R WILL INCLUDE PEDESTRIAN AND NON-MOTORVEHICULAR ACCESS PERMITTED THROUGH THE PRIVATE STREETS FROM DENNERLY ROAD TO THE OVERLOOK PARK.



PARKING SUMMARY

VEHICLE PARKING

REQUIRED AUTOMOBILE SPACES	Mix	Spaces	Required
DUPLEXES	Plan 1	3BR	42 2.0 / du
	Plan 2	3BR	58 2.0 / du
	Plan 3	4BR	102 3.0 / du
TOWNHOMES	Plan 1	2BR	18 2.0 / du
	Plan 2	2BR	18 2.0 / du
	Plan 3	3BR	48 2.0 / du
	Plan 4	4BR	84 3.0 / du
DETACHED CONDO	Plan 1	3BR	30 2.0 / du
	Plan 2	4BR	63 3.0 / du
	Plan 3	5BR	75 3.0 / du
COMMON AREA PARKING			538
			80.7
TOTAL:			619 REQUIRED PARKING SPACES

ACCESSIBLE PARKING SUMMARY

619 x 0.02	=	12	ACCESSIBLE PARKING REQUIRED
12 / 6	=	2	VAN ACCESSIBLE SPACES REQUIRED
TOTAL ACCESSIBLE PARKING SPACES PROVIDED			12 ACCESSIBLE SPACES
			2 VAN ACCESSIBLE SPACES
			14 TOTAL ACCESSIBLE SPACES

PROVIDED PARKING SUMMARY

430	GARAGE SPACES
14	ACCESSIBLE SPACES
122	OFF STREET PARKING
90	ON STREET PARKING
656	TOTAL SPACES PROVIDED

MOTORCYCLE PARKING SUMMARY (PER SDMC 142-05C)

215	DU x 1	=	21.5	REQUIRED PARKING SPACES
TOTAL MOTORCYCLE PARKING SPACES PROVIDED				22 SPACES

BICYCLE PARKING SUMMARY

NOT REQUIRED FOR DWELLING UNITS WITH ENCLOSED GARAGES

NOTE: PER 2022 BUILDING CODE EV CHARGING FOR NEW CONSTRUCTION SECTION 4.106.4.1, EACH DWELLING UNIT WILL INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CONDUIT.

NAME: CIVIL SENSE, INC. REVISION 12:
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PROJECT ADDRESS:
 NORTHSIDE OF DENNERLY RD BETWEEN
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
 NAKANO

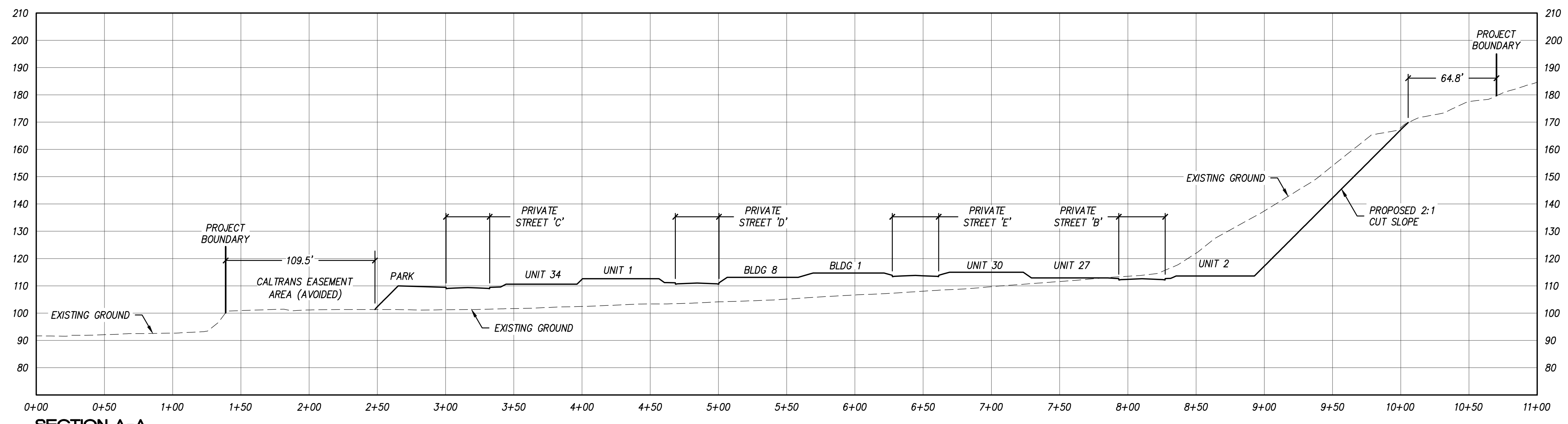
ORIGINAL DATE: 11/4/2022

SHEET TITLE: SHEET 7 OF 21
 SITE PLAN DEP #

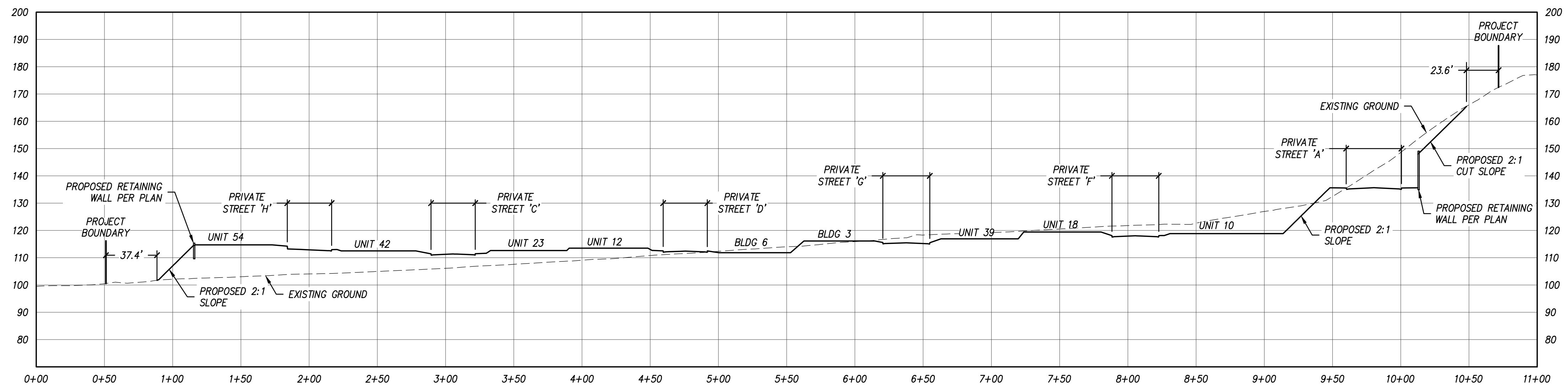


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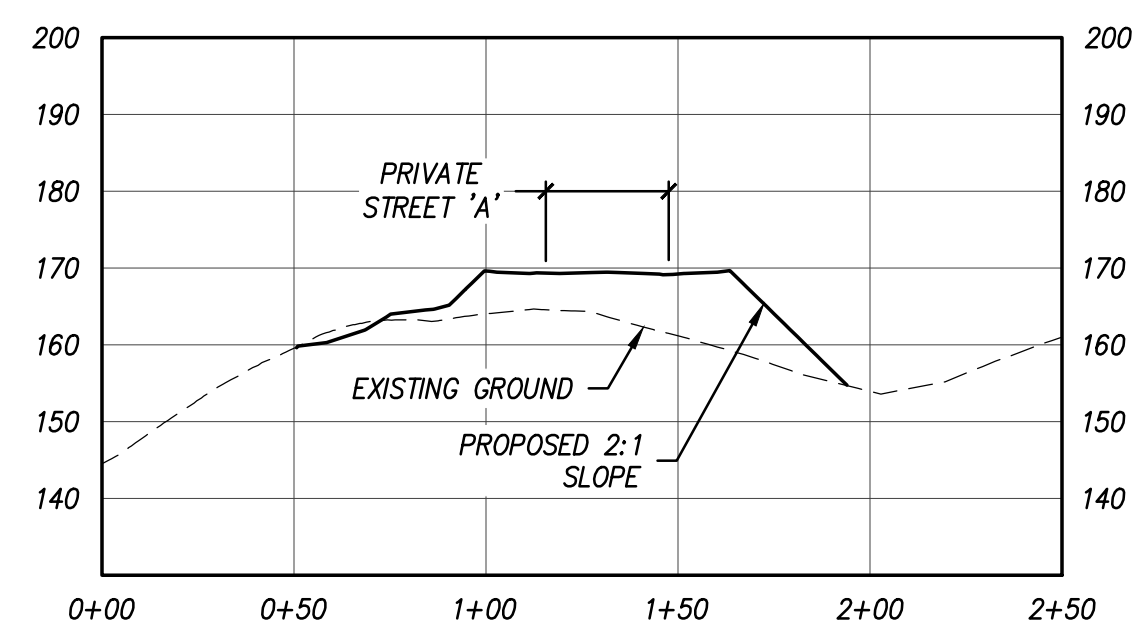




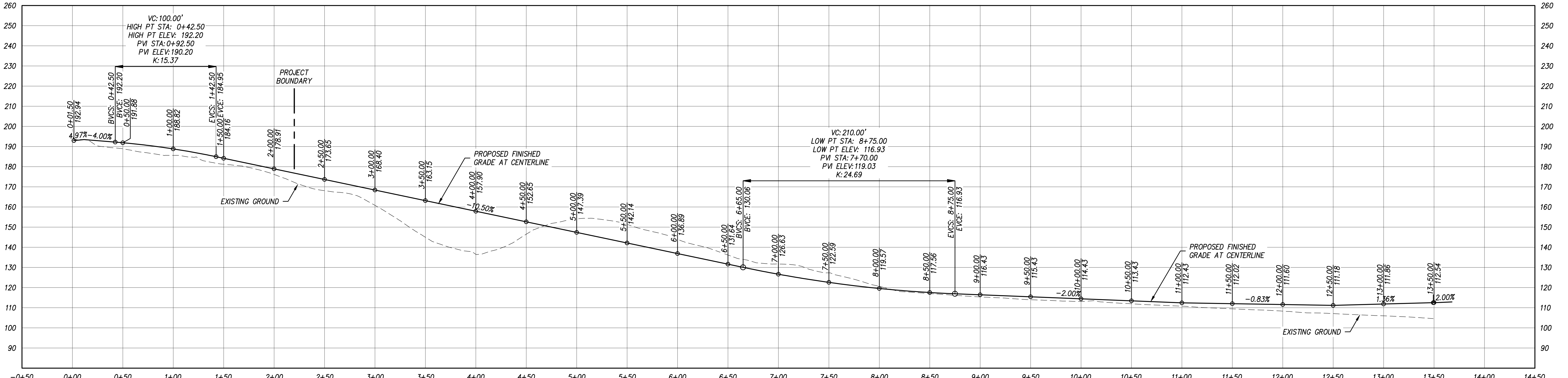
SECTION A-A
SCALE HORIZ. 1"-50' VERT. 1"-25'



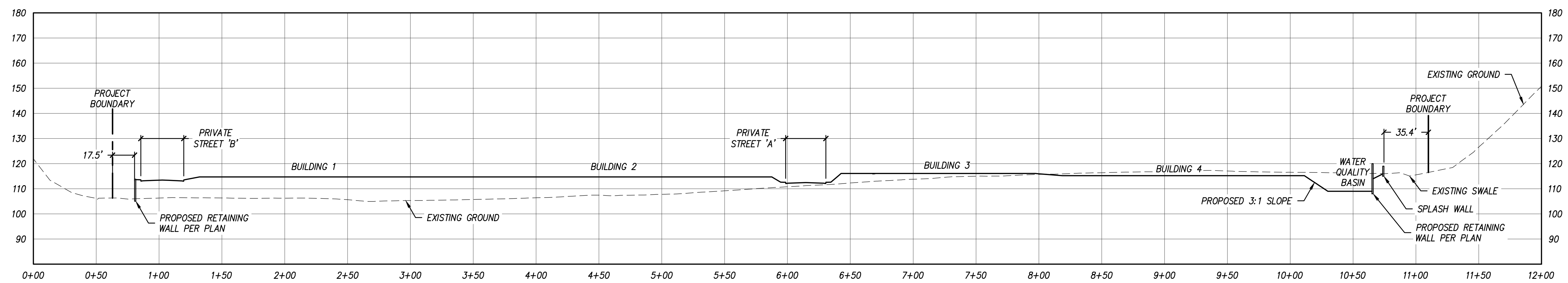
SECTION B-B
SCALE HORIZ. 1"-50' VERT. 1"-25'



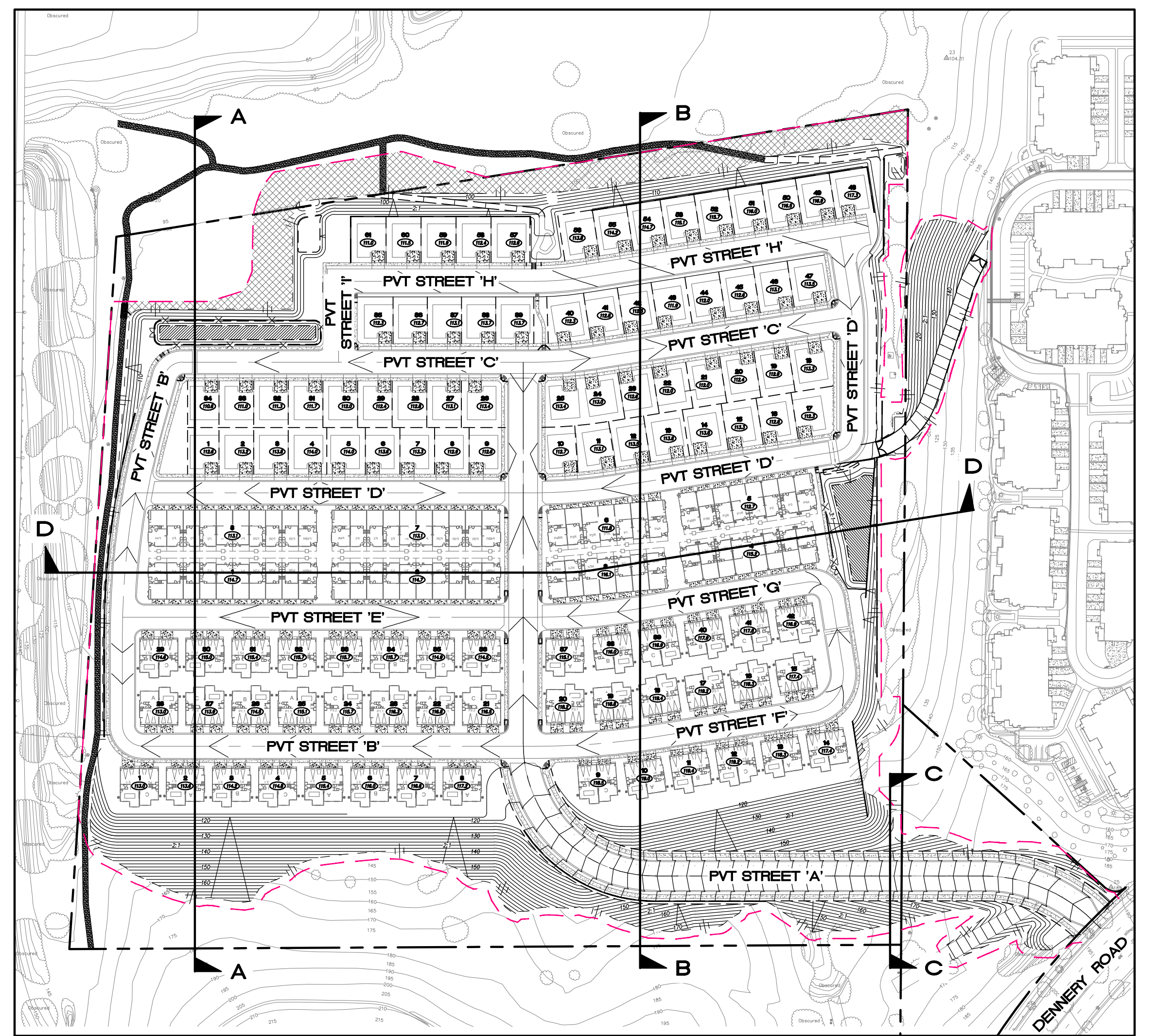
SECTION C-C
SCALE HORIZ. 1"-50' VERT. 1"-25'



STREET A - FINISHED GRADE PROFILE AT CENTERLINE
SCALE HORIZ. 1"-50' VERT. 1"-25'

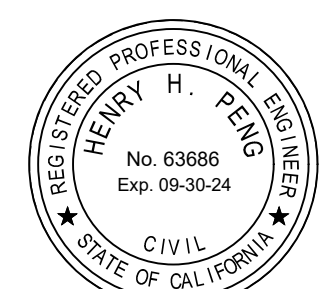


SECTION D-D
SCALE HORIZ. 1"-50' VERT. 1"-25'



PREPARED BY:
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DATE



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PROJECT ADDRESS:
NORTHSIDE OF DENNEY RD BETWEEN
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
NAKANO

SHEET TITLE:
SITE CROSS SECTIONS

REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	
REVISION 3:	
REVISION 2:	10/2/2023
REVISION 1:	5/12/2023

ORIGINAL DATE: 11/4/2022

SHEET 8 OF 21

DEP #