

IRRIGATION:

ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE-VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.

- ### NOTES:
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO & CHULA VISTA LANDSCAPE REGULATIONS AND CITY OF SAN DIEGO & CHULA VISTA LANDSCAPE MANUAL AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
 - NO IMPROVEMENTS, INCLUDING ENHANCED PAVING, IRRIGATION AND LANDSCAPING, SHALL BE INSTALLED IN OR OVER ANY EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
 - PERMANENT MONUMENT SIGNAGE MAYBE PROPOSED BY THE DEVELOPER.
 - MINIMUM 24-INCH BOX SIZE STREET TREES SHALL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY. TREE PLANTING AREAS SHALL HAVE A MINIMUM 40 SQUARE FEET OF AIR-AND-WATER, PERMEABLE AREA.
 - INSTALL ALL APPROVED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTION FORMS. COPIES OF THESE APPROVED DOCUMENTS MUST BE SUBMITTED TO THE CITY.
 - IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER/SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE CITY.
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WHICH WRAP AROUND THE ROOT BALL ARE NOT PERMITTED.
 - MULCH-ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
 - NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY MAY BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES.
 - C.A.P. COMPLIANCE: THE TOTAL LOT AREA FOR NAKANO IS 23,76 ACRES OR 1,035,418 SF. THE RESILIENT INFRASTRUCTURE AND HEALTHY ECOSYSTEMS REGULATIONS REQUIRES TWO TREES TO BE PROVIDED ON THE PREMISES FOR EVERY 5,000 SQUARE FEET OF LOT AREA. A TOTAL OF 414 TREES ARE REQUIRED TO MEET THE MINIMUM. A TOTAL OF 447 TREES HAVE BEEN PROVIDED TO MEET THE MINIMUM REQUIREMENTS.
 - ALL LANDSCAPING IMPACTED BY THE NEW DRIVE WAY SHALL BE REPAIRED OR REPLACED IN KIND FOR BOTH PLANTING AND IRRIGATION.

DEVELOPER INSTALLED LANDSCAPE AREAS

RE-VEGETATED SLOPES	141,406 SF
FRONT YARDS / PARKWAYS	82,250 SF
RECREATION AREA	22,482 SF
WATER QUALITY BASIN	14,645 SF

PERCENTAGE OF LANDSCAPED AREA TO TOTAL SITE

NON-LANDSCAPE AREA	532,921 SF
LANDSCAPE AREA	502,496 SF (48.5%)
TOTAL PROJECT AREA	1,035,417 SF

STREET TREES:

STREET TREES SHALL HAVE A 40 S.F. ROOT ZONE AREA(10' FROM UNDERGROUND SEWER & 5' FROM UNDERGROUND WATER UTILITIES) OR IF CONFLICTS ARISE THE TREES SHALL BE LOCATED ON THE RESIDENTIAL LOT.

DESIGN STATEMENT:

THE PRIMARY GOAL OF THE LANDSCAPE DESIGN IS TO BLEND AND COMPLIMENT THE EXISTING NATIVE PLANTING IN THE AREA. NATIVE LOW FUEL VOLUME SPECIES WILL BE USED TO RE-VEGETATE THE GRADED SLOPES. THE TREATMENT FOR THE INTERIOR SHALL PRIMARILY BE PARKWAY STREET TREES AND GROUND COVER, ORNAMENTAL IN NATURE, FIRE-RESISTENT, AND COMPLIMENT THE BUILDING ARCHITECTURE. THE RECREATION AREA WILL BE MIX OF ORNAMENTAL AND NATURALIZED MATERIAL AND LOW MAINTENANCE.

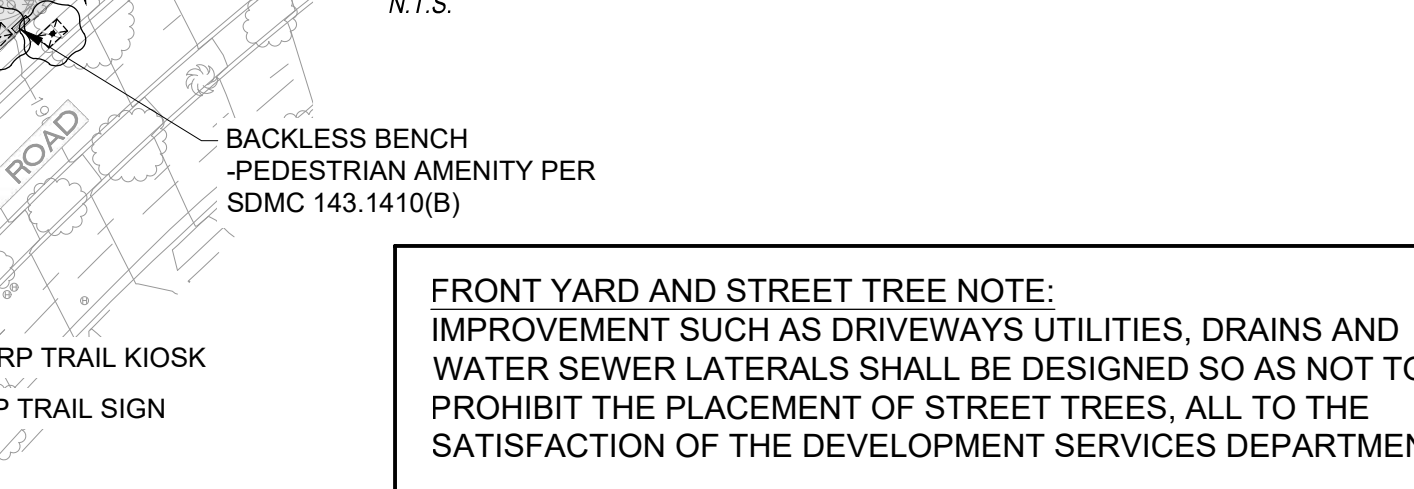
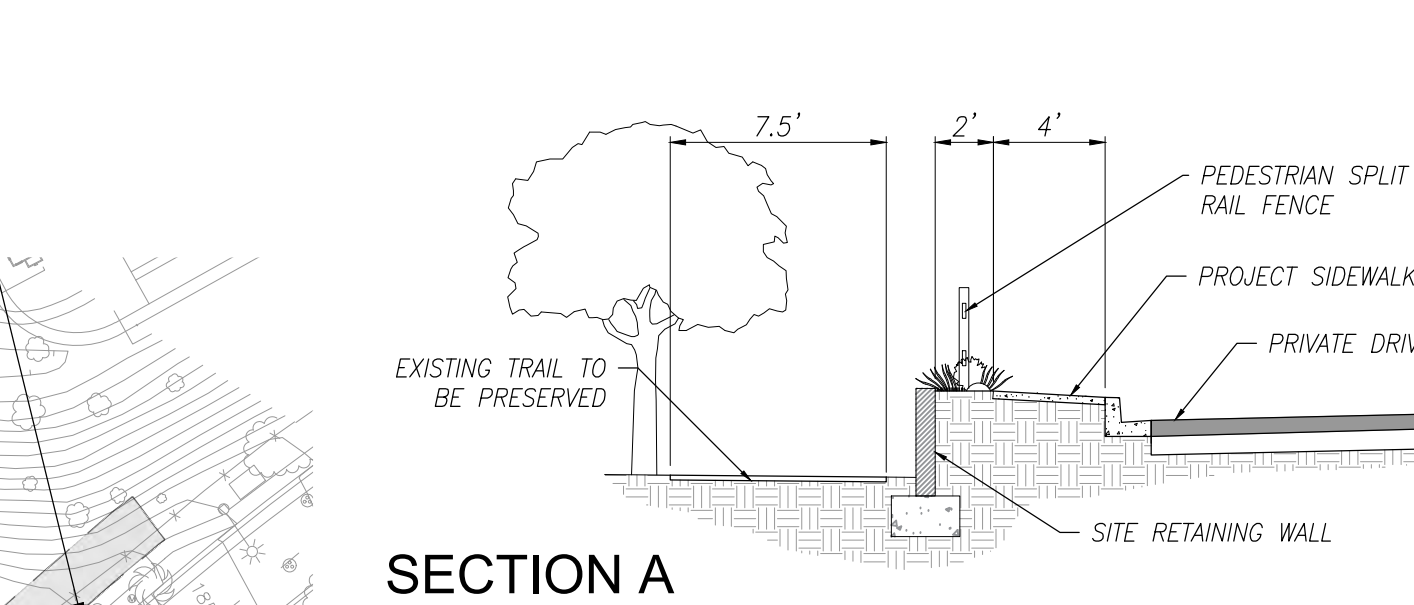
- ### LANDSCAPE DESIGN OBJECTIVES:
- PLANT MATERIALS SPECIFIED FOR USE ON THIS PROJECT WILL BE FROM THE PALETTE OF PLANTS KNOWN TO PERFORM WELL IN THIS CLIMATIC ZONE AND AMENDED SOIL TYPE.
 - THE PALETTE OF LANDSCAPE PLANT MATERIALS WILL PROVIDE VARIATIONS OF FOLIAGE, BARK, AND FLOWER FORM, TEXTURE, AND COLOR. THESE VARIATIONS WILL BE USED TO BLEND IN WITH EXISTING SURROUNDING LANDSCAPE TREATMENTS ESPECIALLY AT PERIMETER SLOPES.
 - LANDSCAPE PLANTING AREAS WILL BE GRADED TO ASSURE POSITIVE SURFACE DRAINAGE.
 - ONSITE SOILS WILL BE AMENDED TO COMPLY WITH THE RECOMMENDATION OF A CERTIFIED SOILS TESTING LABORATORY.
 - ALL SLOPE ASPECTS 2:1 OR STEEPER SHALL RECEIVE JUTE MATTING (OR PER THE RECOMMENDATION BY THE GEO-TECHNICAL ENGINEER).

- ### GRADING NOTES:
- PERMANENT REVEGETATION - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED IN ACCORDANCE WITH THE STANDARDS IN THE CITY OF CHULA VISTA LANDSCAPE MANUAL.
 - TEMPORARY REVEGETATION - GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. TEMPORARY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH THE VEGETATION.
 - ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
 - INTERIM BINDER NOTE: GRADED, DISTURBED OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX AND INTERIM BINDER / TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND SEPTEMBER 30 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.

- ### MAINTENANCE NOTE:
- ALL REQUIRED COMMON LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.
 - ALL PLANTING WILL HAVE A MINIMUM 25-MONTH MAINTENANCE AND MONITORING PERIOD THAT INCLUDES A SUCCESS CRITERIA, PRIOR TO ACCEPTANCE BY THE CITY OF SAN DIEGO PARKS & RECREATION DEPT.
 - ONCE THE PROJECT IS ANNEXED INTO THE CITY OF SAN DIEGO, THIS PROJECT WOULD BE ELIGIBLE FOR INCLUSION IN THE OCEAN VIEW HILLS MAINTENANCE ASSESSMENT DISTRICT (MAD) MANAGED BY THE CITY OF SAN DIEGO PARKS AND RECREATION DEPARTMENT. PLEASE NOTE THE SMALLER PARCEL ASSOCIATED WITH THIS PROJECT ADJACENT TO DENNERY ROAD IS ALREADY WITHIN THE MAD.

MINIMUM TREE SEPARATION DISTANCE:

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS	25 FEET
SEWERS	10 FEET



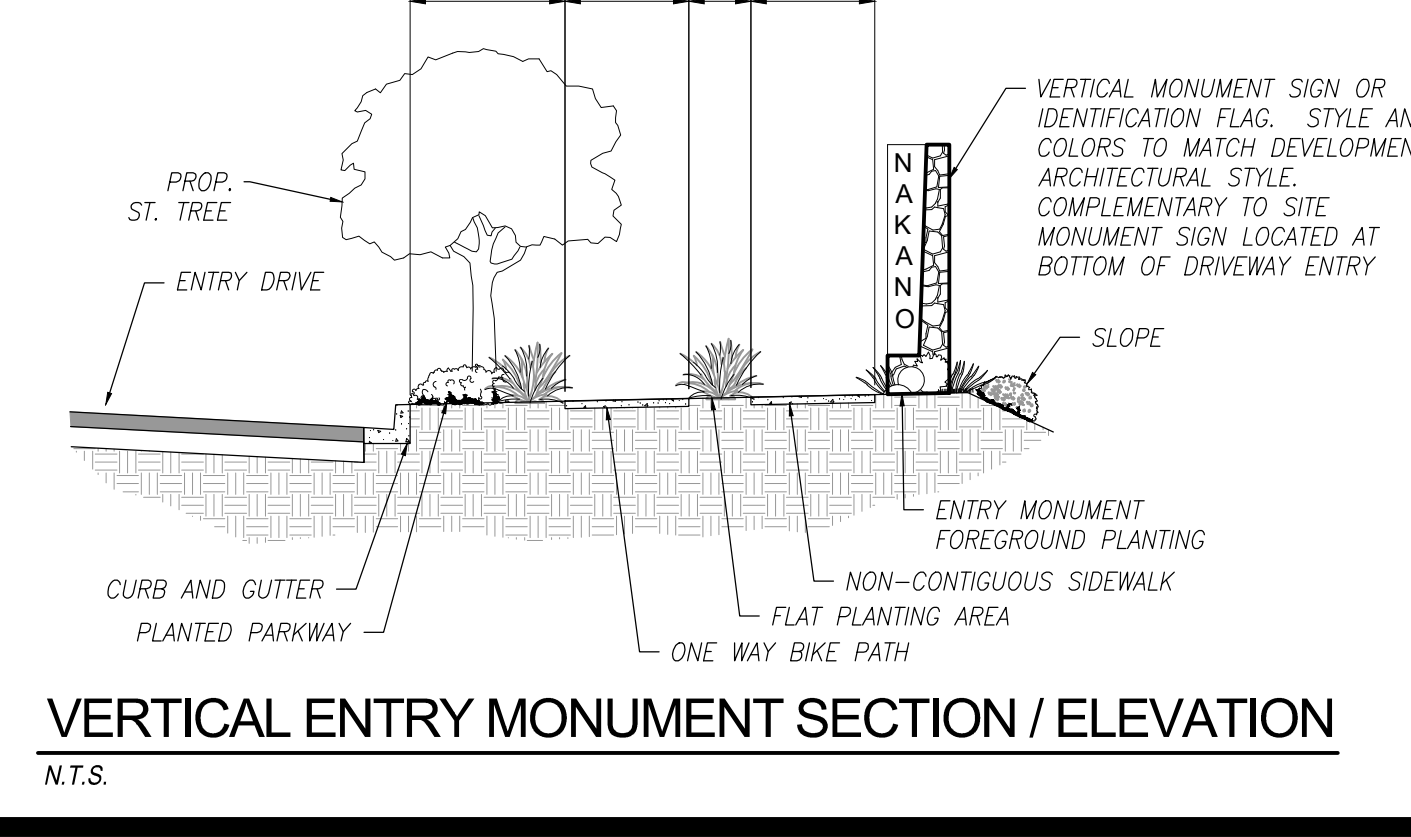
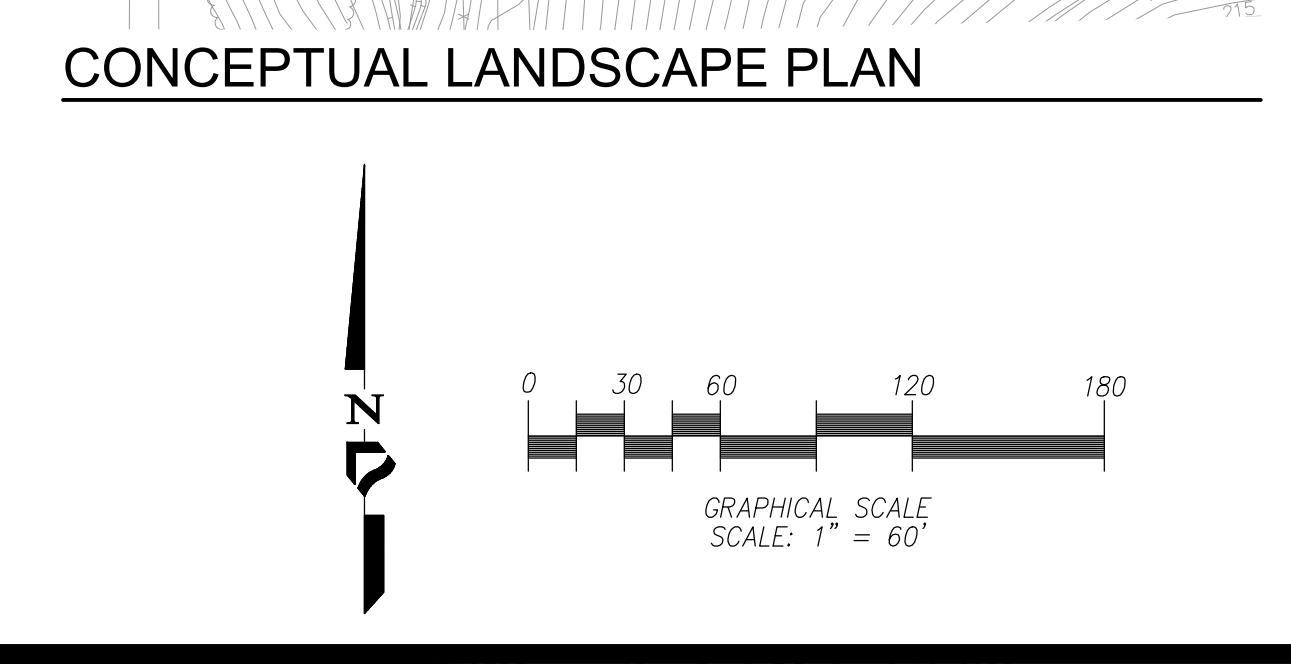
FRONT YARD AND STREET TREE NOTE:

IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

PREPARED BY:
ARCHITECT OF WORK
PROJECT DESIGN CONSULTANTS
701 B STREET, SUITE 800
SAN DIEGO, CA 92101
TELEPHONE: (619) 235-6471

JON JAY BECKER, LIC. NO. 2542
REGISTRATION EXPIRES 7/31/23

PROJECT DESIGN CONSULTANTS
701 B Street, Suite 800
San Diego, CA 92101
(619) 235-6471
619-234-0349 Fax



SECTION B

N.T.S.

"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE. PER MUNICIPAL CODE CHAPTER 20.12, I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

SIGNATURE _____ DATE _____

NAME: _____	REVISION 12: _____
ADDRESS: _____	REVISION 11: _____
PHONE: _____	REVISION 10: _____
PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	REVISION 9: _____
PROJECT NAME: NAKANO	REVISION 8: _____
	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: _____
	REVISION 4: _____
	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: 05/12/2023
SHEET TITLE: LANDSCAPE CONCEPT PLAN AND NOTES	ORIGINAL DATE: 11/04/2022
DEP # _____	SHEET 14 OF 20

EXTERIOR SLOPE PLANTING LEGEND

SLOPE LANDSCAPE TREATMENT (PERIMETER AND INTERIOR SLOPE EROSION CONTROL) THESE SLOPES WILL BE PLANTED TO CONTROL EROSION, PROVIDE PRIVACY (SCREENING), AND BLEND IN WITH THE EXISTING PLANTING ALONG ADJACENT PARKWAY. THE COMBINATION OF SMALL TO MEDIUM TEXTURALLY RICH TREES WILL BE COUPLED WITH FREE-FLOWING DRIFTS OF FLOWERING SHRUBS. GROUND COVER WILL BE ADDED TO PROVIDE A THIRD LEVEL OF VISUAL INTEREST. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

Table with columns: EXTERIOR SLOPES, FORM/FUNCTION, and Mature Height & Spread. Lists various tree and shrub species with their characteristics.

Table with columns: SMALL TREES AND SHRUBS - 3'-5' EVERGREEN, SCREENING & GROUND COVER, FORM/FUNCTION, and Mature Height & Spread. Lists various small tree and shrub species.

Table with columns: SCREENING SLOPE TREES, FORM/FUNCTION, and Mature Height & Spread. Lists various screening slope tree species.

SLOPES (TEMPORARY IRRIGATION) HYDROSEED MIX

THE SLOPE AREAS TO BE HYDROSEED WITH A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS 24" OR LESS TO MEET BRUSH MANAGEMENT GUIDELINES.

Table with columns: PLANT MATERIAL, COMMON NAME, LB/AC, and % PURITY / GERMINATION RECOMMENDED. Lists various hydroseed mix species.

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER 100 S.F. OF DISTURBED AREA.

PLANTING LEGEND (URBAN PLANTING PER OVRP)

THE INTERIOR SITE AREAS ARE TO BE PLANTED WITH COLORFUL, CONTAINER MATERIAL WITH DEEP ROOTING CHARACTERISTICS IN CONFORMANCE WITH THE GRADING ORDINANCE. DROUGHT TOLERANT NATIVE AND NATURALIZED SPECIES ARE PLANTED IN AN INFORMAL PATTERN. SEASONAL MAINTENANCE WILL BE NEEDED ONCE ESTABLISHED. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

Table with columns: STREET TREES BETWEEN HOUSE AND DRIVE AISLES WITH 4' OR GREATER PLANTABLE AREA, ACCENT TREES ALONG DRIVE AISLES WITH 3' OR GREATER PLANTABLE AREA, and INTERIOR PARKWAY PLANTING & FRONT YARD. Lists various urban planting species.

RECREATIONAL AREA PLANTING LEGEND

RECREATIONAL AREA LANDSCAPE TREATMENT RECREATIONAL AREAS WILL BE PLANTED WITH DROUGHT TOLERANT PLANTS THAT ARE ALSO SAFE FOR CHILDREN AND PETS. PLANTING SELECTION WILL PROVIDE PRIVACY (SCREENING), ALTERNATIVE LAWN AREA, AND BLEND IN WITH THE ADJACENT BASIN AND EXTERIOR SLOPES PLANTING.

Table with columns: RECREATIONAL AREA TREES, SHRUBS, GROUNDCOVERS, and TURF. Lists various recreational area planting species.

WATER EFFICIENT LANDSCAPE WORKSHEET

Worksheet for water efficient landscaping including tables for irrigation points, MAWA formula, ETWU formula, and estimated total water use.

MAINTENANCE REQUIREMENTS:

- List of 4 maintenance requirements: 120 DAY PEP, 120 DAY PEP EXTENDED, FINAL APPROVAL, and WEEDING AND/OR HERBICIDE APPLICATION.

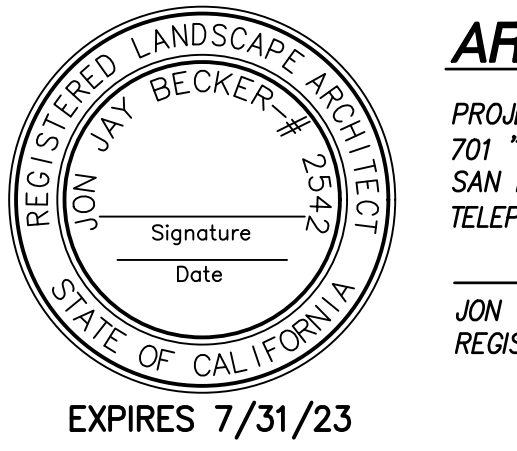
STREET TREE NOTE: IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES.

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Table with columns: Revegetation, Minimum Percent Cover Vegetation, Annual, and Perennial. Shows performance standards for different vegetation types.

Note: Areas with this success criteria are composed of ornamental, disturbed or native areas with high non-native cover. Native and weed cover should be combined to calculate percent cover.

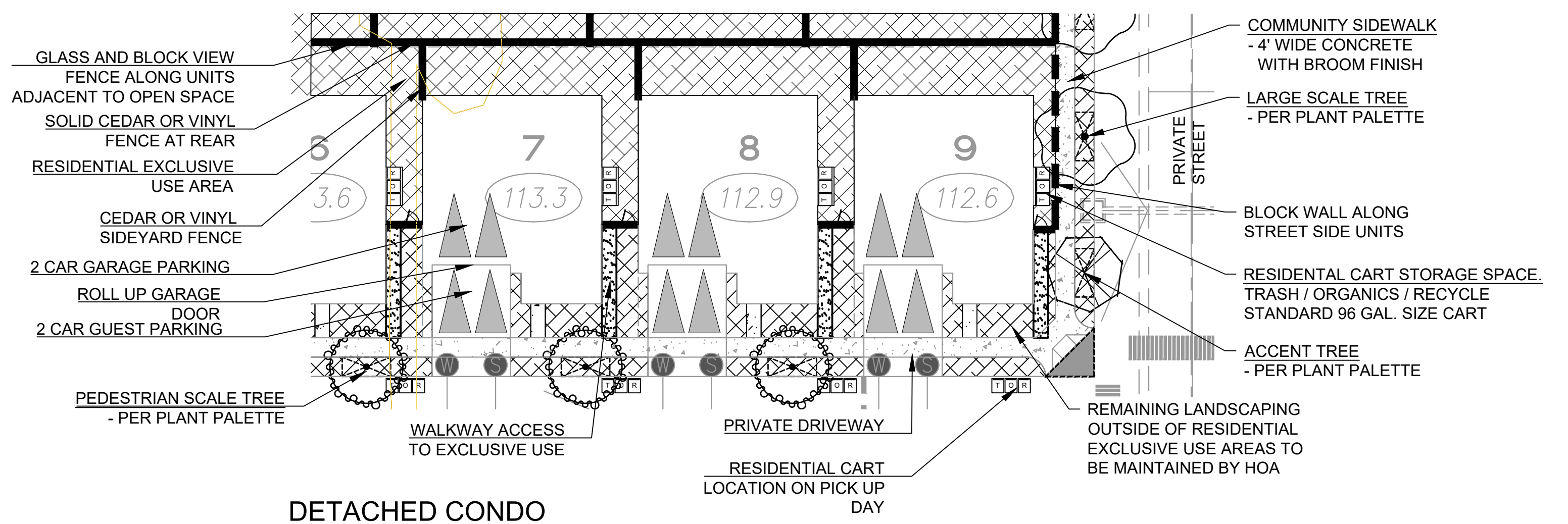
Summary and Schedule for Maintenance, Monitoring, and Reporting for Project. Table with columns: Period, Contractor Responsibilities, Project Biologist Responsibilities, and Reporting and Submittals.



PREPARED BY: ARCHITECT OF WORK. PROJECT DESIGN CONSULTANTS, 701 B STREET, SUITE 800, SAN DIEGO, CA 92101.

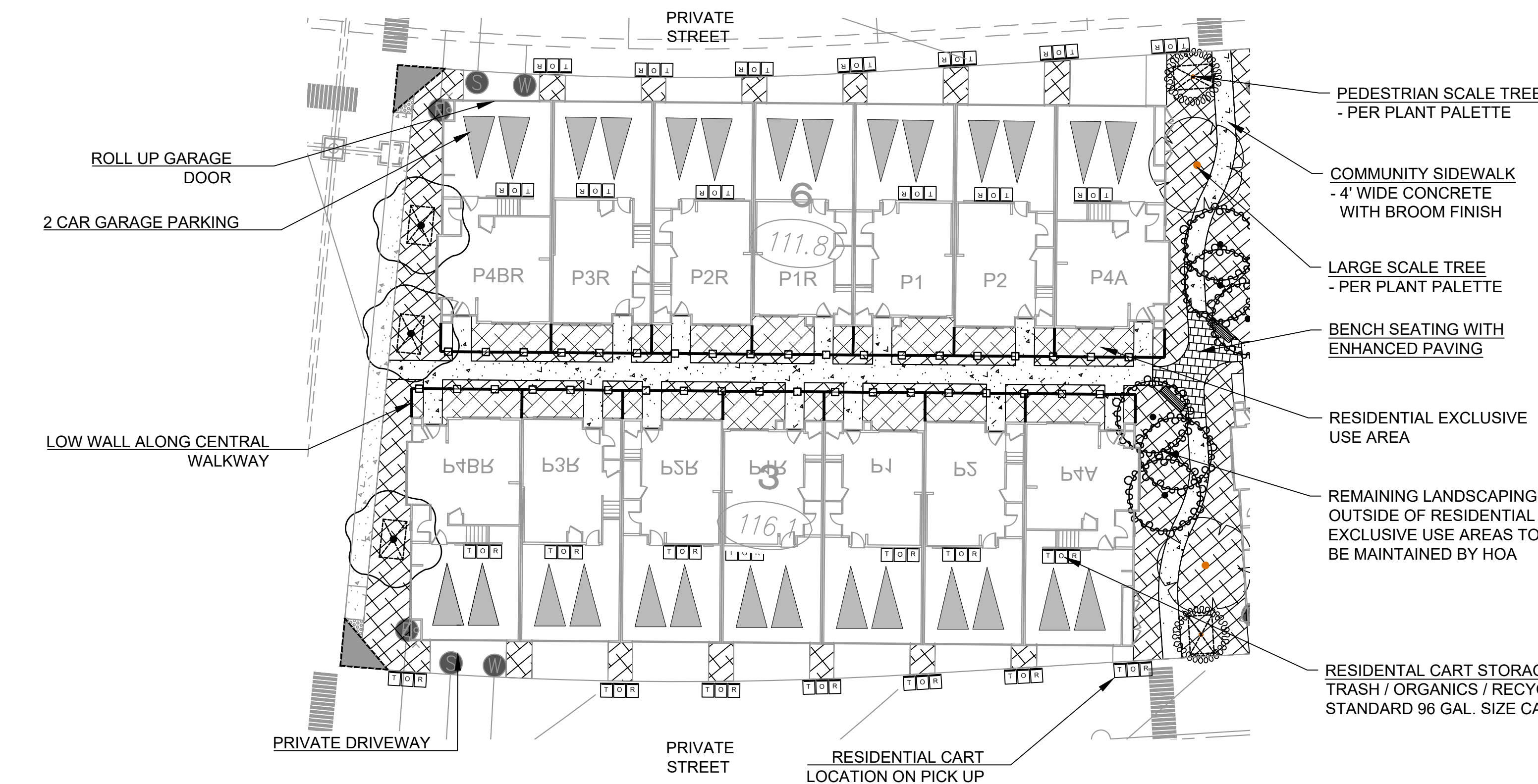
PROJECT DESIGN CONSULTANTS. Planning | Landscape Architecture | Engineering | Survey.

Form for project address, name, date, and sheet information. Includes fields for Name, Address, Phone, Project Address, Project Name, Date, and Sheet Number.



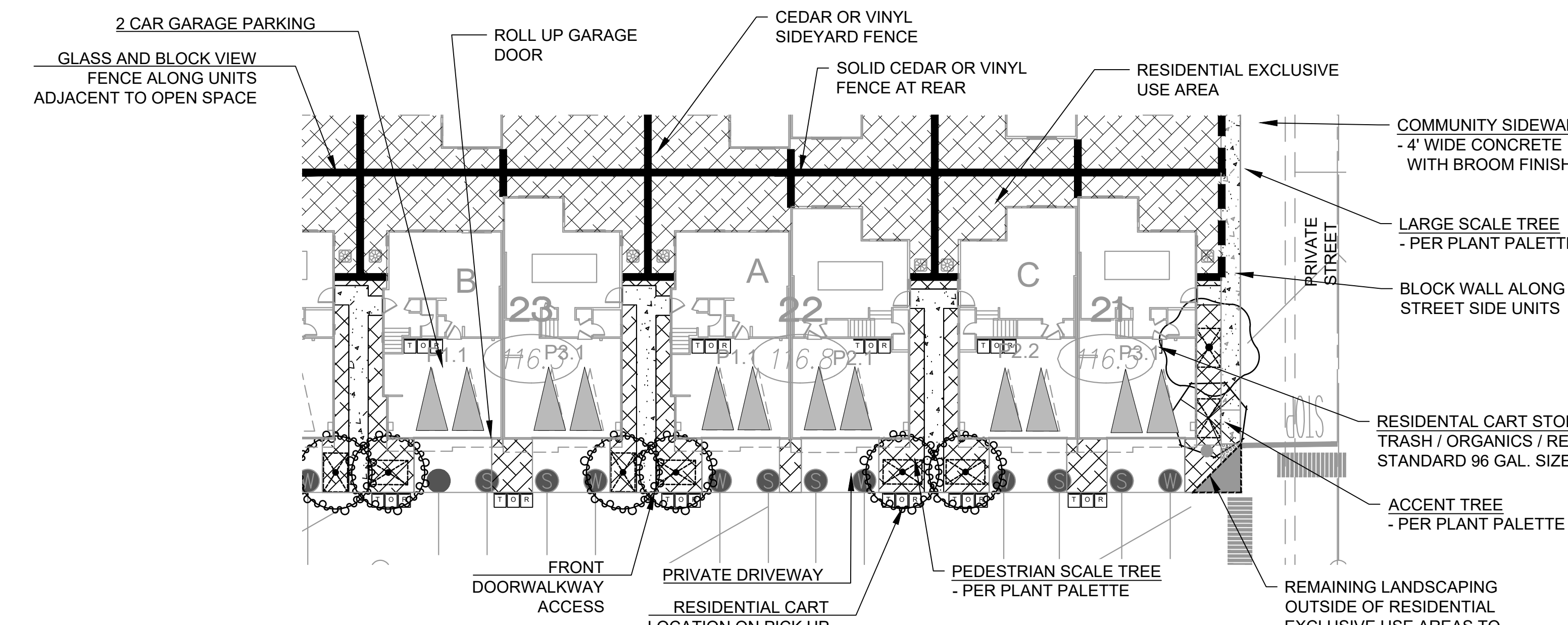
DETACHED CONDO
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA

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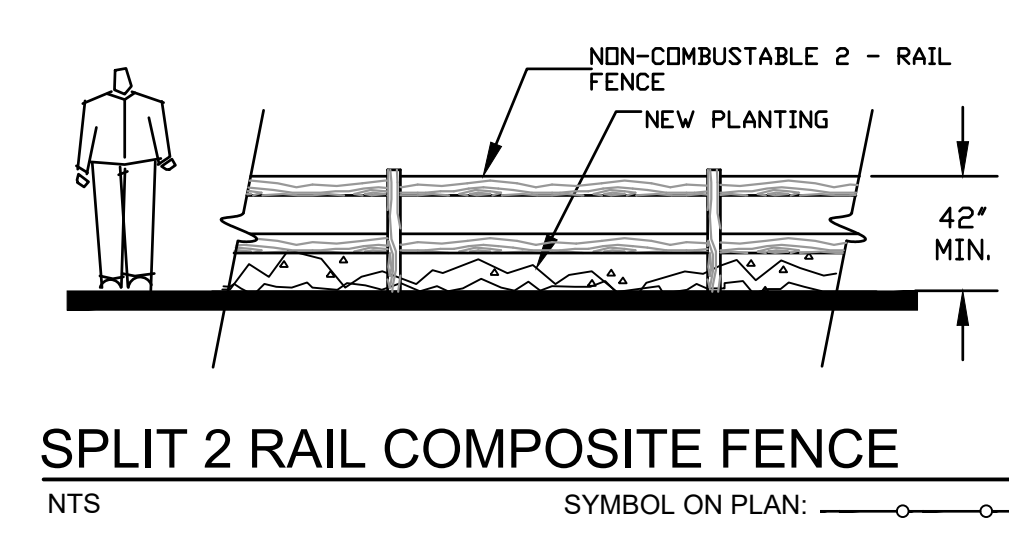
MULTI-FAMILY
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA

NTS



DUPLEX
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA

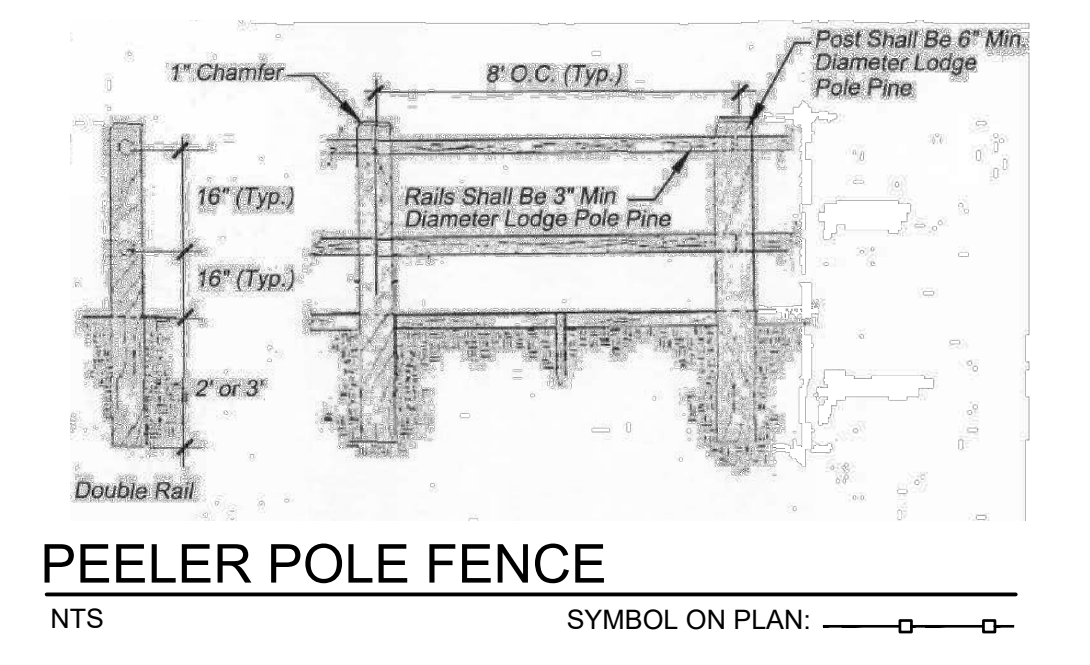
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SPLIT 2 RAIL COMPOSITE FENCE

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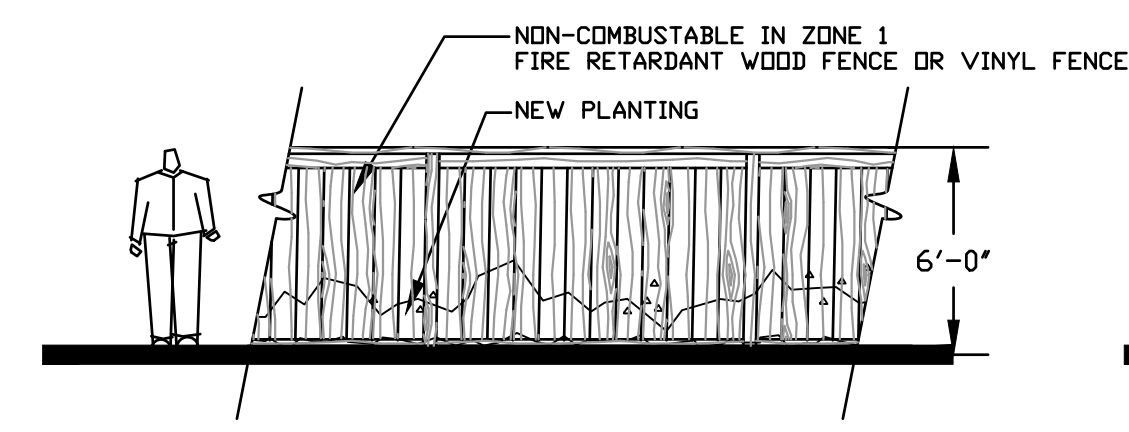
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PEELER POLE FENCE

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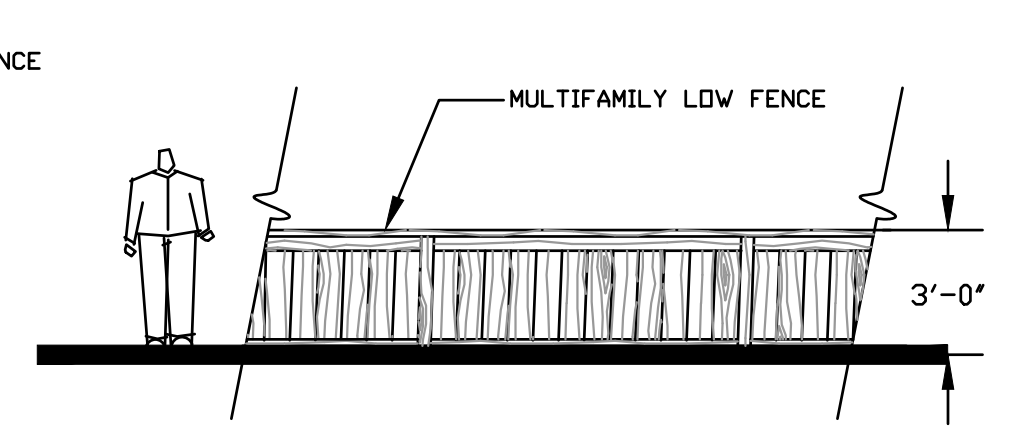
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6' SOLID FENCE

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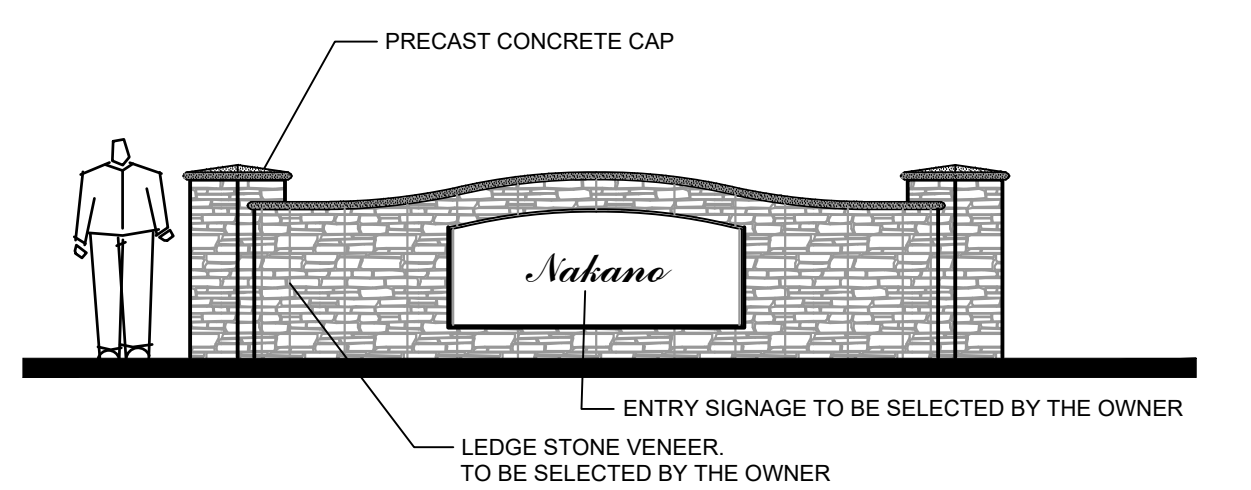
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3' LOW FENCE

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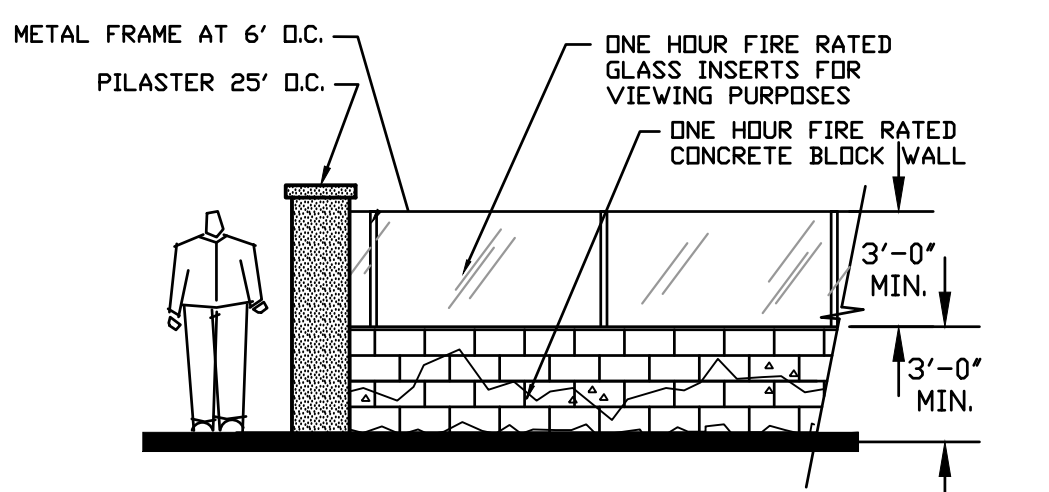
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MONUMENT WALL DETAIL

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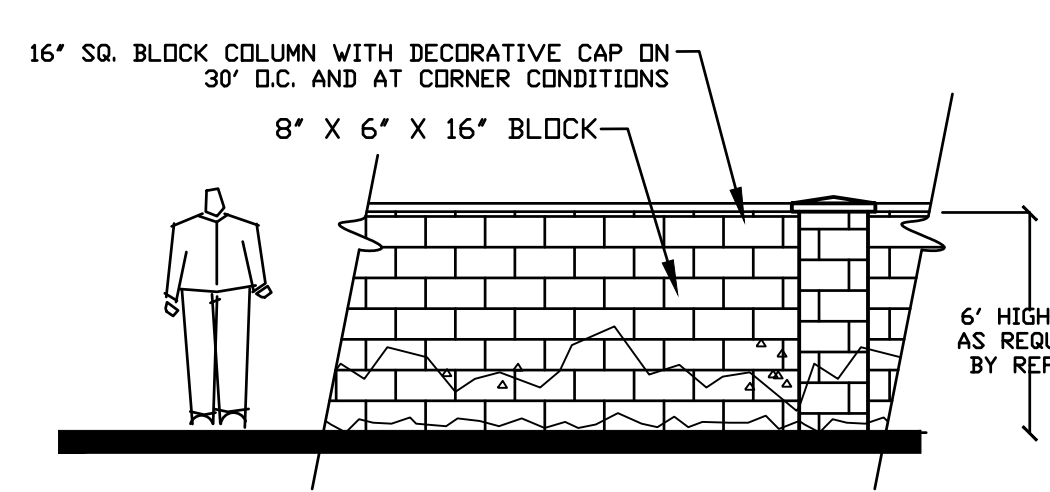
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MASONRY + GLASS VIEW FENCE & RADIANT HEAT WALL

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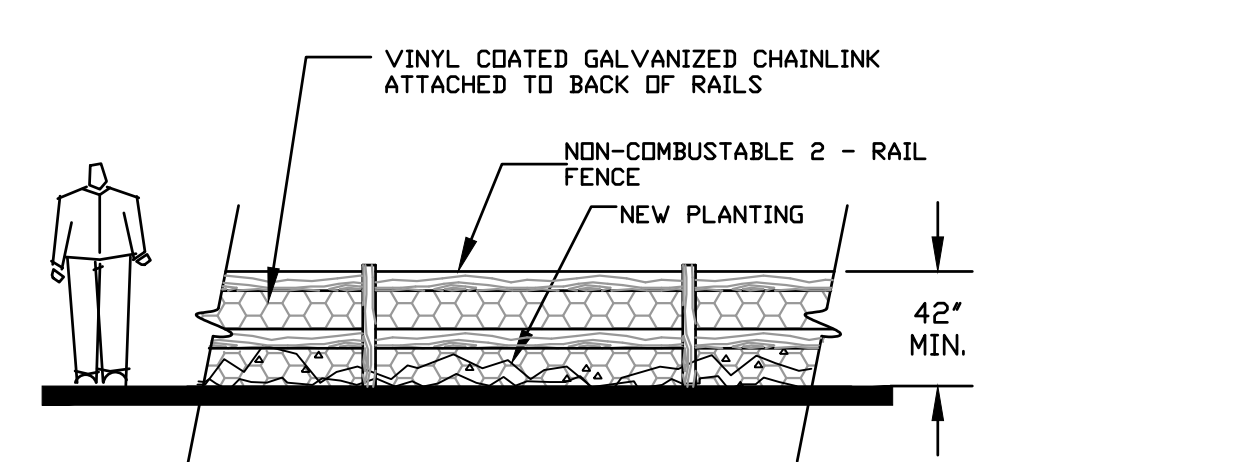
* REQUIRED RADIANT HEAT WALL SEE BRUSH MANAGEMENT PLAN



MASONRY WALL

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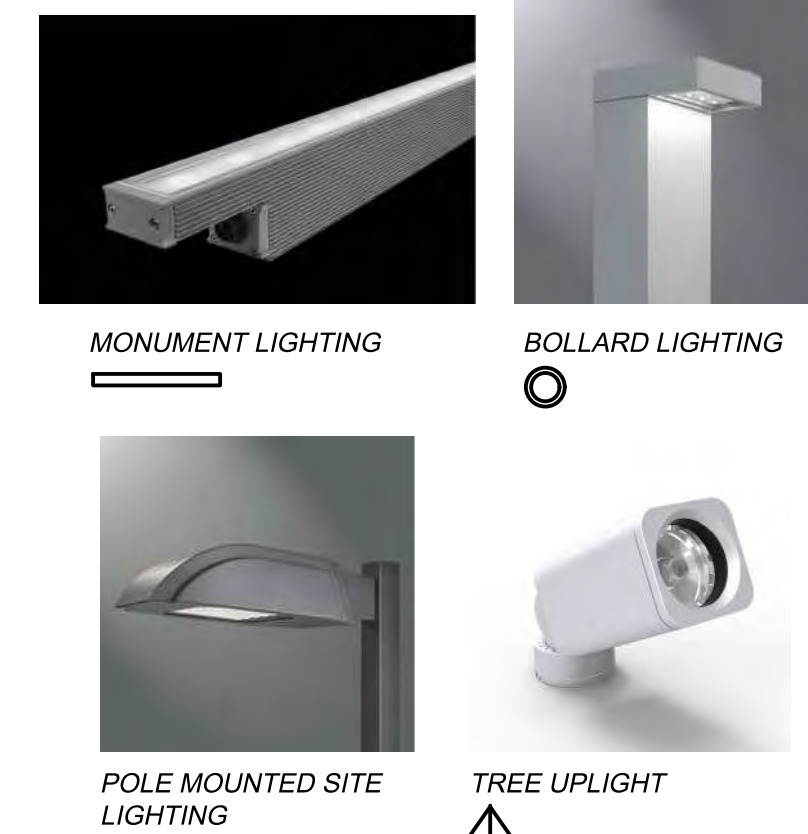
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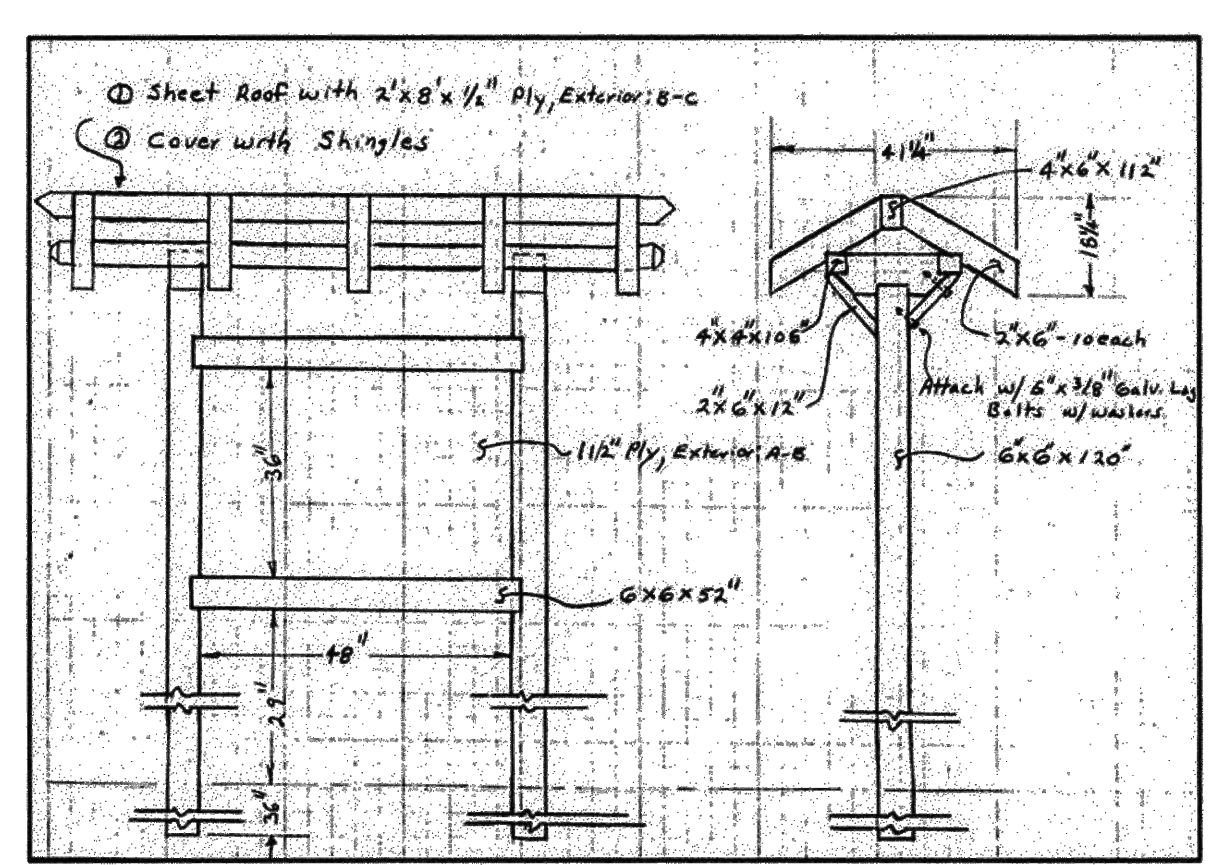
SPLIT 2 RAIL COMPOSITE FENCE W/ CHAINLINK

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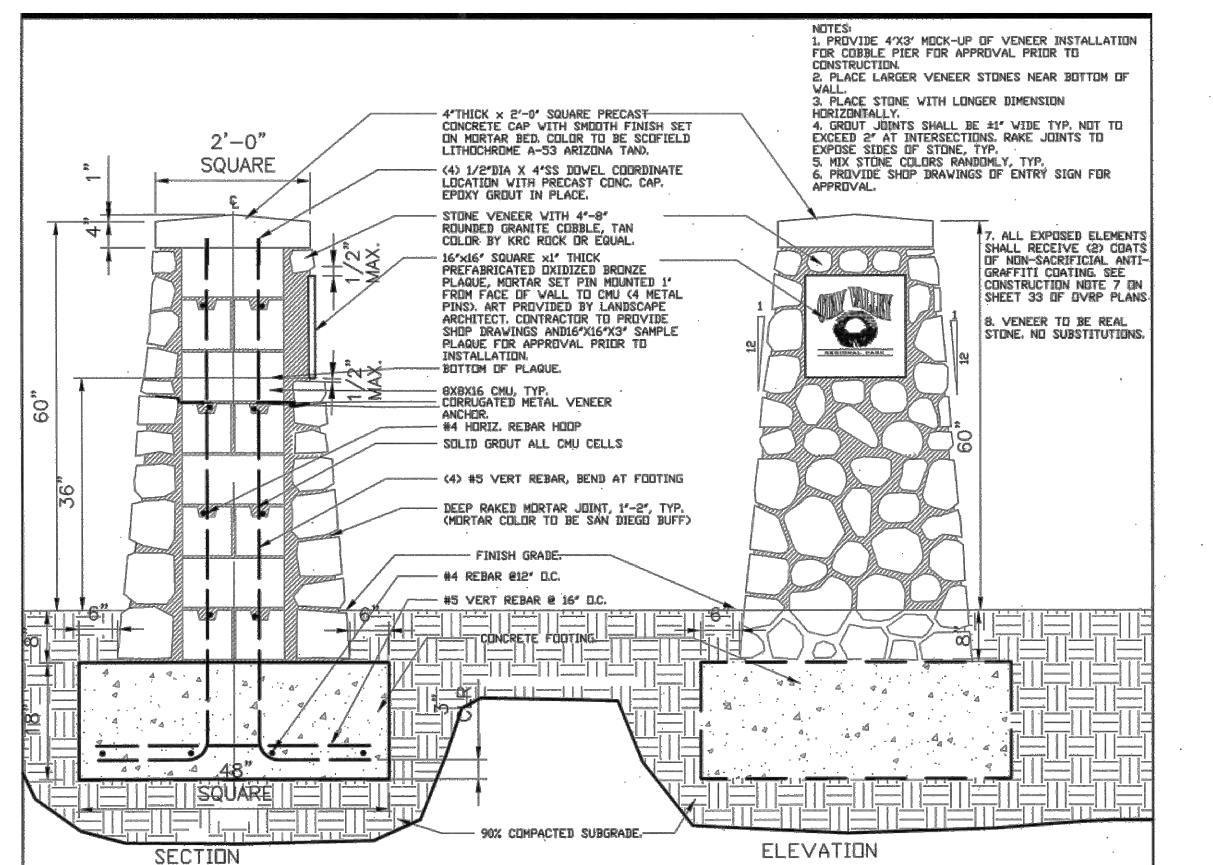


LIGHTING SAMPLES



OVRP KIOSK

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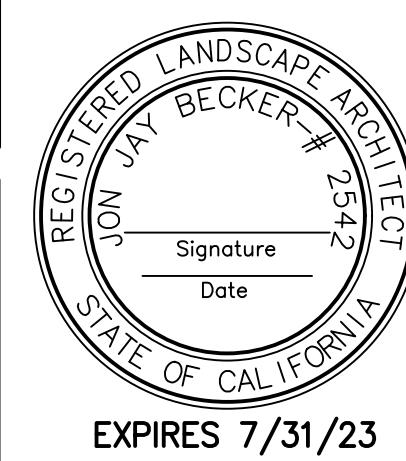
OVRP TRAIL SIGN

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STREET TREE NOTE:
IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

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SIGNATURE _____ DATE _____



PREPARED BY:
ARCHITECT OF WORK
PROJECT DESIGN CONSULTANTS
701 B STREET, SUITE 800
SAN DIEGO, CA 92101
TELEPHONE: (619) 235-6471



PROJECT DESIGN CONSULTANTS
Planning | Landscape Architecture | Engineering | Survey

701 B Street, Suite 800
San Diego, CA 92101
619.235.6471 TW
619.234.0349 FAX

NAME: _____	REVISION 12: _____
ADDRESS: _____	REVISION 11: _____
PHONE: _____	REVISION 10: _____
	REVISION 9: _____
	REVISION 8: _____
	REVISION 7: _____
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	REVISION 4: _____
	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: 5/12/2023

ORIGINAL DATE: 11/4/2022

SHEET TITLE: LANDSCAPE CONCEPT SECTIONS, ELEVATIONS, AND LEGENDS

DEP # _____ SHEET 16 OF 21



- NOTES:**
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND CITY OF CHULA VISTA LANDSCAPE REQUIREMENTS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - AN IRRIGATION SYSTEM (TEMPORARY AND PERMANENT) SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE TEMPORARY IRRIGATION SYSTEM WILL BE DISCONNECTED AFTER 2 GROWING SEASONS.
 - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED TO BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - ALL SLOPE REVEGETATION SHALL BE PLANTED AND TEMPORARY IRRIGATED IN ACCORDANCE TO THE STANDARDS REFERENCED AS SHOWN IN TABLE 142-04-F FOR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. ALL MANUFACTURED SLOPES SHALL BE PLANTED WITH ONE GALLON NATIVE TREES OR SHRUBS AT AN AVERAGE RATE OF ONE PER 900 SQUARE FEET. ALL CONTAINER STOCK SHALL BE PROVIDED WITH A SEPARATE TEMPORARY IRRIGATION SYSTEM. PLANTS USED FOR EROSION CONTROL ON DISTURBED SOIL AND SLOPES SHALL ACHIEVE 100% SOIL COVERAGE WITHIN TWO YEARS OF BEING INSTALLED.
 - THE HOMEOWNERS ASSOCIATION MAINTAINED LANDSCAPED AREAS SHALL HAVE A SEPARATE IRRIGATION SYSTEM WITH ITS OWN METER, CLOCK AND VALVES. ALL IRRIGATION SHALL BE INSTALLED PER CITY STANDARDS.
 - THERE SHALL BE NO IRRIGATION RUNOFF INTO THE ADJACENT NATURAL OPEN SPACE.
 - BRUSH MANAGEMENT SHALL BE IMPLEMENTED ACCORDING TO GUIDELINES SET FORTH IN THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND THE PROJECT-SPECIFIC GUIDELINES CONTAINED IN THE LONG-TERM MANAGEMENT AND MONITORING PLAN FOR THE ON-SITE WETLANDS AT THE NAKANO PROJECT (REC-03 2023).

*** REQUIRED RADIANT HEAT WALL PLUS DUAL GLAZED / DUAL TEMPERED PANES**

ALTERNATIVE COMPLIANCE:
 -Buildings 1, 14-15, 28-29, 42 of the Duplex product, buildings 17-18, 47-61 of the Detached product, and buildings 1, 4-5, 8 of Multi Family product will have alternative compliance per Section 142.0412 Section 1. A radiant heat wall shall be provided as shown on the plans. In addition, the habitable structure shall be fire rated on the side with the Radiant Heat Wall.
 That is, the East side wall of buildings 17, 18, 47, 48 of the Detached product, buildings 4, 5 of the Multi Family product, buildings 14, 15, 42 of the Duplex product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.
 The West side walls of buildings 1, 8 of the Multi Family product, buildings 1, 28, 29 of the Duplex product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.
 The North side walls of buildings 48-61 of the Detached product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.

For all Alternative Compliance buildings, Zone One will be provided between non-combustible radiant heat wall and the habitable structure.

CITY OF CHULA VISTA FUEL MODIFICATION ZONE

FOR ANY ADDITIONAL INFORMATION SEE FIRE PROTECTION PLAN FROM DUDEK

CHULA VISTA FIRE DEPARTMENT (CVFD)
FUEL MODIFICATION WIDTH REQUIREMENTS

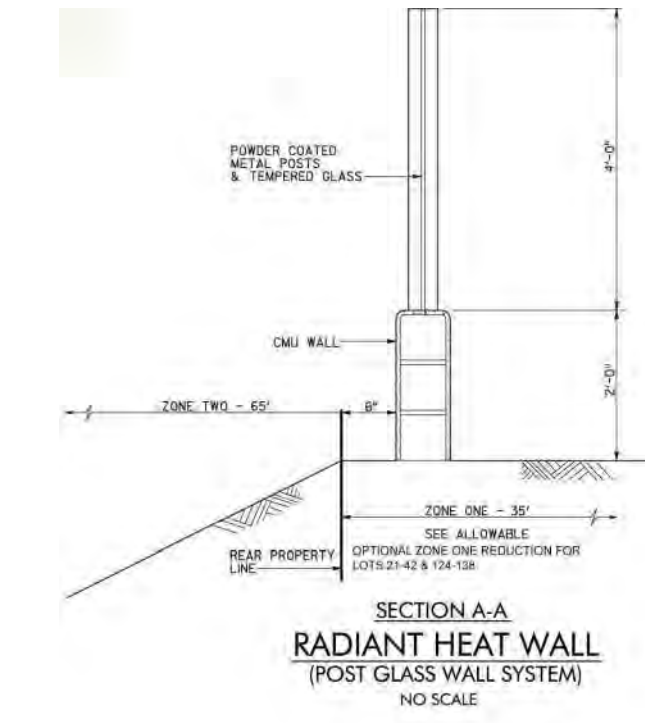
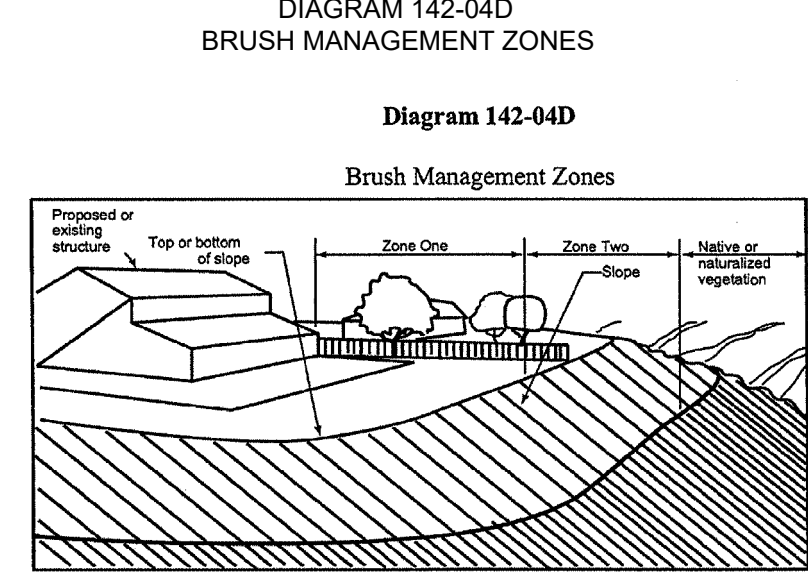
CRITERIA	ZONE WIDTHS
ZONE 0 WIDTH	5'
ZONE 1 WIDTH	45'
ZONE 2 WIDTH	50'

CITY OF SAN DIEGO BRUSH MANAGEMENT ZONE

- (A) BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON THE FOLLOWING TYPES OF PREMISES:
- PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION
 - EXCEPT FOR WETLANDS, ENVIRONMENTALLY SENSITIVE LANDS THAT ARE WITHIN 100 FEET OF A STRUCTURE, UNLESS THE FIRE CHIEF DEEMS BRUSH MANAGEMENT NECESSARY IN WETLANDS IN ACCORDANCE WITH SECTION 142.0412 (I), WHERE BRUSH MANAGEMENT IN WETLANDS IS DEEMED NECESSARY BY THE FIRE CHIEF, THAT BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS, SECTION 143.0110(C)(7).
- (B) BRUSH MANAGEMENT ZONES, WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING TENTATIVE MAP APPROVAL BEFORE ALL STRUCTURES AND CONTIGUOUS AREA OF NATIVE OR NATURALIZED VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED "ZONE ONE" AND "ZONE TWO" AS SHOWN IN DIAGRAM 142-04D.
- (C) EXCEPT AS PROVIDED IN SECTION 142.0412 (F) OR 142.0412 (I), THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET AND SHALL MEET THAT SHOWN IN TABLE 142-04H. BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASEMENT IS GRANTED BY AN ADJACENT PROPERTY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONE(S) ON THE ADJACENT PROPERTY IN PERPETUITY.
- (D) BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.
- (E) WHERE ZONE ONE WIDTH IS REQUIRED ADJACENT TO THE MHPA OR WITHIN THE COASTAL OVERLAY ZONE, ANY OF THE FOLLOWING MODIFICATIONS TO DEVELOPMENT REGULATIONS OF THE LAND DEVELOPMENT CODE OR STANDARDS IN THE LAND DEVELOPMENT MANUAL ARE PERMITTED TO ACCOMMODATE THE INCREASE IN WIDTH:
- THE REQUIRED FRONT YARD SETBACK OF THE BASE ZONE MAY BE REDUCED BY 5 FEET.
 - A SIDEWALK MAY BE ELIMINATED FROM ONE SIDE OF THE PUBLIC RIGHT-OF-WAY AND THE MINIMUM REQUIRED PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED BY 5 FEET. OR
 - THE OVERALL MINIMUM PAVEMENT AND PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED IN ACCORDANCE WITH THE STREET DESIGN STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- (F) THE ZONE TWO WIDTHS MAY BE DECREASED BY 1-1/2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH UP TO A MAXIMUM REDUCTION OF 30 FEET OF ZONE TWO WIDTH.
- (G) ZONE ONE REQUIREMENTS
- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
 - ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES. STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES, SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
 - PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
 - TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
 - PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
 - ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
 - ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.
- (H) ZONE TWO REQUIREMENTS
- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
 - NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
 - WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE REDUCED TO A HEIGHT OF 6 INCHES. NON-NATIVE PLANTS SHALL BE REDUCED IN HEIGHT BEFORE NATIVE PLANTS ARE REDUCED IN HEIGHT.
 - WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- (I) THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:
- IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.0412 FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF ONE, TWO, AND
 - THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.0412, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL; AND
 - THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.
- (J) IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.
- (K) FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.
- (L) MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.
- (M) ALL AMENITIES LOCATED WITHIN THE BRUSH MANAGEMENT ZONES WILL CONFORM TO THE BRUSH MANAGEMENT PLAN.

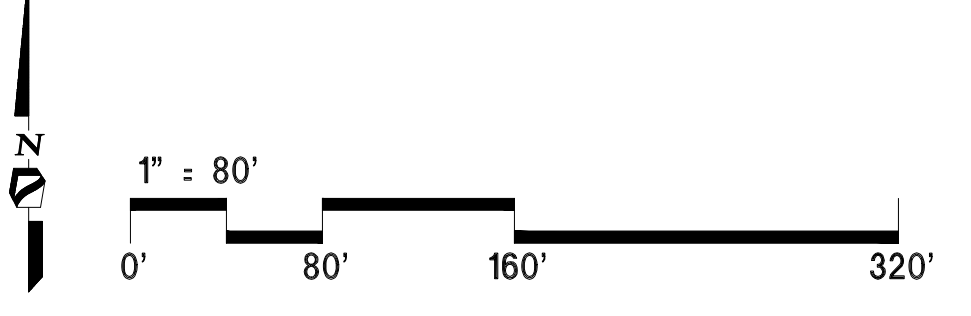
TABLE 142-04H
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE ONE WIDTH	35'
ZONE TWO WIDTH	65'



FUEL MODIFICATION ZONE

- | | |
|--|--|
| | 10' ROADSIDE ZONE |
| | 20' ROADSIDE ZONE |
| | FUEL MODIFICATION ZONE 0
(0' - 5', NON-COMBUSTIBLE)
THESE AREAS SHALL BE REGULARLY MAINTAINED BY THE HOME OWNERS & HOA ADJACENT TO THE STRUCTURE. PLANTING WILL CONSIST OF ORNAMENTAL LANDSCAPING WITH PERMANENT IRRIGATION. |
| | FUEL MODIFICATION ZONE 1
(5' - 50', PERMANENT IRRIGATION)
THESE AREAS SHALL BE REGULARLY MAINTAINED BY THE HOME OWNERS & HOA ADJACENT TO THE STRUCTURE. PLANTING WILL CONSIST OF ORNAMENTAL LANDSCAPING WITH PERMANENT IRRIGATION. THE NORTHERN SLOPE AREA SHALL PROVIDE PERMANENT BUBBLER IRRIGATION FOR THE PROPOSED NATIVE TREES. THE 10' WIDE PEDESTRIAN TRAIL WILL CONSIST OF DECOMPOSED GRANITE. |
| | FUEL MODIFICATION ZONE 2
(50' - 100', TEMPORARY IRRIGATION / THINNED VEGETATION)
HYDROSEED PLANTING SHALL BE TEMPORARILY IRRIGATED WITH AN OVERHEAD IRRIGATION SYSTEM UNTIL ESTABLISHED. ONLY NATIVE VEGETATION SHALL BE PLANTED OR HYDROSEEDING. |



PREPARED BY:
ARCHITECT OF WORK

PROJECT DESIGN CONSULTANTS
 701 B STREET, SUITE 800
 SAN DIEGO, CA 92101
 TELEPHONE: (619) 235-6471

JON JAY BECKER, LIC. NO. 2542
 REGISTRATION EXPIRES 7/31/23



PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Survey

NAME:	REVISION 12:
ADDRESS:	REVISION 11:
PHONE:	REVISION 10:
	REVISION 9:
	REVISION 8:
	REVISION 7:
	REVISION 6:
	REVISION 5:
	REVISION 4:
	REVISION 3:
	REVISION 2:
	REVISION 1: 05/12/2023

PROJECT ADDRESS:
 NORTHSIDE OF DENNEY RD BETWEEN
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
 NAKANO

SHEET TITLE:
 FUEL MODIFICATION PLAN

ORIGINAL DATE: 11/04/2022

SHEET 17 OF 20

DEP #

IRRIGATION DESIGN:
 ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY ABOVE GRADE IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES ASSOCIATED WITH PAD GRADING. TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED AUTOMATIC SMART CONTROL WITH RAIN SENSOR SHUTOFF DEVICE.

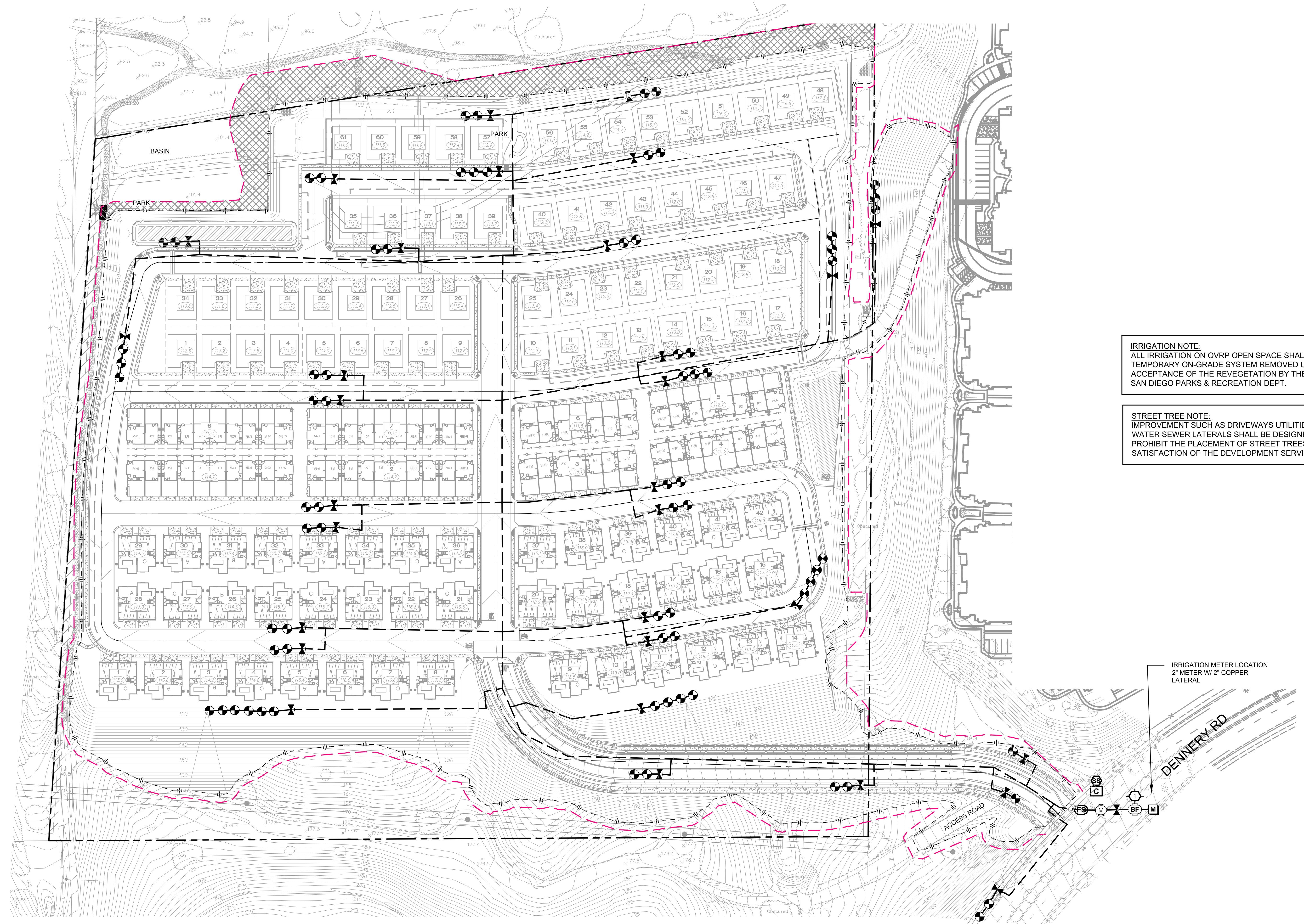
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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICV-G-R 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID, Purple Handle.
	HIT (Rain-Pro) BVS PVC Ball Valve, Slip Socket Connection, 1/2" (1.27cm) - 4" (10.16cm), same size as pipe. Place in a NDS 6" round valve box.
	Hunter ICV-G-R 2" 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID, Purple Handle.
	Fabco 825Y 2" Reduced Pressure Backflow Preventer
	Hunter PED-SS-A2C-225D-SS 225-Station decoder controller with one (3) A2C-D75 module in an outdoor stainless steel pedestal. Contractor to provide all needed decoders and surge suppression as recommended per manufacturer
	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	Badger Model IR-220P
	V.I.T. Products SBBC-22SS Low profile, tube and wire construction smooth touch surface, stainless steel backflow enclosure. 23.5"L, 28"H, 17.75"W (59.69cm L, 71.12cm H, 45.08cm W).
	Water Meter 2" Nakano POC
	Irrigation Mainline: PVC Schedule 40

IRRIGATION NOTE:
 ALL IRRIGATION ON OVRP OPEN SPACE SHALL BE A TEMPORARY ON-GRADE SYSTEM REMOVED UPON ACCEPTANCE OF THE REVEGETATION BY THE CITY OF SAN DIEGO PARKS & RECREATION DEPT.

STREET TREE NOTE:
 IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.



IRRIGATION METER LOCATION
 2" METER W/ 2" COPPER
 LATERAL

"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

SIGNATURE _____ DATE _____

PREPARED BY:
ARCHITECT OF WORK
 PROJECT DESIGN CONSULTANTS
 701 B STREET, SUITE 800
 SAN DIEGO, CA 92101
 TELEPHONE: (619) 235-6471
 JON JAY BECKER, LIC. NO. 2542
 REGISTRATION EXPIRES 7/31/23
 EXPIRES 7/31/23

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Survey

NAME: _____	REVISION 12: _____
ADDRESS: _____	REVISION 11: _____
PHONE: _____	REVISION 10: _____
PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	REVISION 9: _____
PROJECT NAME: NAKANO	REVISION 8: _____
	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: _____
	REVISION 4: _____
	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: 5/12/2023
ORIGINAL DATE: 11/4/2022	
SHEET TITLE: LANDSCAPE CONCEPT IRRIGATION PLAN	SHEET 18 OF 21
DEP # _____	

CONCEPTUAL IRRIGATION PLAN



MASONRY BLOCK WALL - SMOOTH SHOTBLAST



COMPOSITE WOOD SPLIT 2-RAIL FENCE



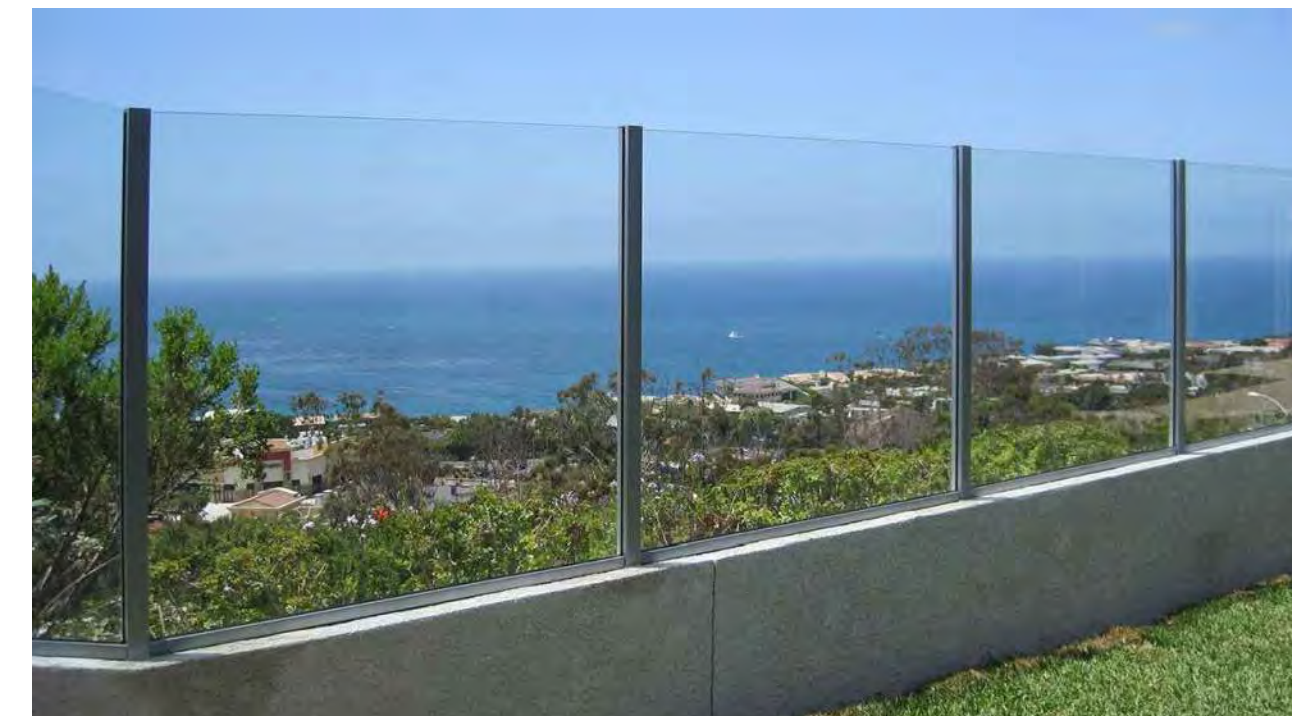
VINYL FENCING - 3' AND 6' TALL / CEDAR WOOD FENCING



POTENTIAL MONUMENT SIGN



SMOOTH CONCRETE WALL CAP



MASONRY AND GLASS VIEW FENCE



ADVENTURE PLAYGROUND (AGES 5-12) WITH BOULDER CLIMBER, LOG STEPPERS, AND LOG BALANCE BEAM



TOPCAST #3 - ACID ETCH CONCRETE FINISH



CONCRETE COLOR WITH TOPCAST FINISH / BROOM FINISH



POTENTIAL OVERHEAD STRUCTURE - SHADE SAIL



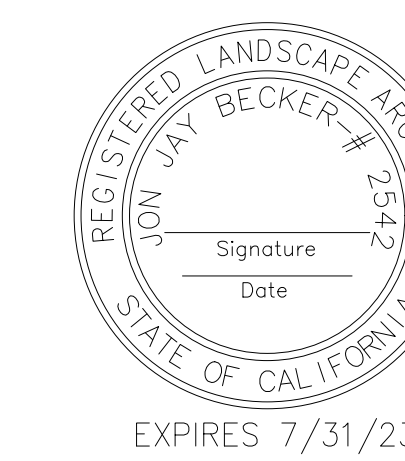
PLAYGROUND EQUIPMENT (AGES 2-5) - SPRING RIDERS



ENHANCED PAVING



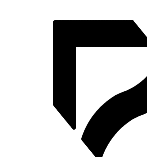
STEEL AND COMPOSITE WOOD BENCHES



PREPARED BY:
ARCHITECT OF WORK

PROJECT DESIGN CONSULTANTS
701 B STREET, SUITE 800
SAN DIEGO, CA 92101
TELEPHONE: (619) 235-6471

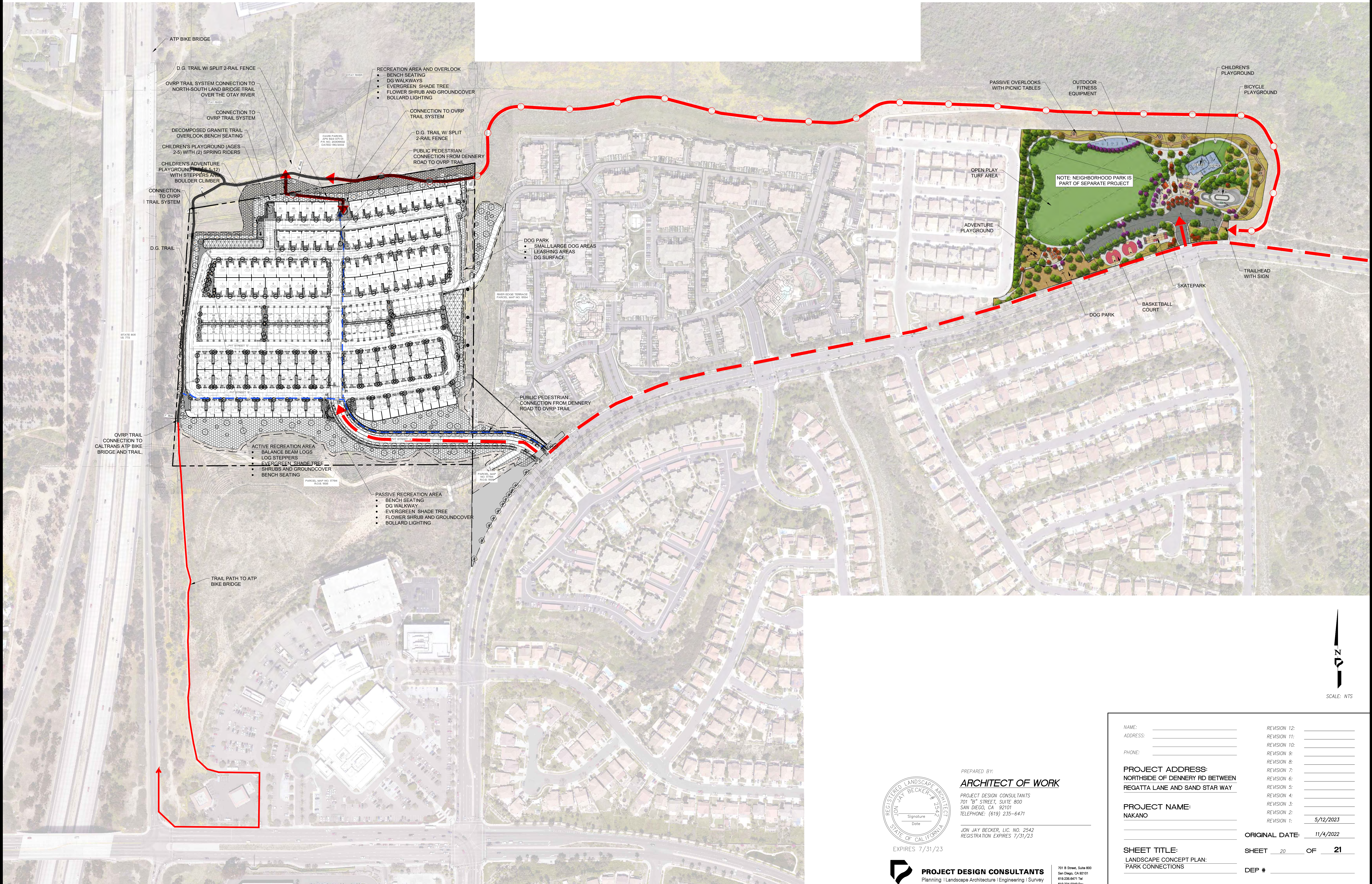
JON JAY BECKER, LIC. NO. 2542
REGISTRATION EXPIRES 7/31/23



PROJECT DESIGN CONSULTANTS
Planning | Landscape Architecture | Engineering | Survey

701 B Street, Suite 800
San Diego, CA 92101
619.235.6471 Tel
619.234.0349 Fax

NAME: _____	REVISION 12: _____
ADDRESS: _____	REVISION 11: _____
PHONE: _____	REVISION 10: _____
	REVISION 9: _____
	REVISION 8: _____
	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: _____
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	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: <u>5/12/2023</u>
PROJECT ADDRESS: NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	ORIGINAL DATE: <u>11/4/2022</u>
PROJECT NAME: NAKANO	SHEET <u>19</u> OF <u>21</u>
SHEET TITLE: LANDSCAPE CONCEPT IMAGES	DEP # _____



ATP BIKE BRIDGE

D.G. TRAIL W/ SPLIT 2-RAIL FENCE

OVRP TRAIL SYSTEM CONNECTION TO NORTH-SOUTH LAND BRIDGE TRAIL OVER THE OTAY RIVER

CONNECTION TO OVRP TRAIL SYSTEM

DECOMPOSED GRANITE TRAIL OVERLOOK BENCH SEATING

CHILDREN'S PLAYGROUND (AGES 2-5) WITH (2) SPRING RIDERS

CHILDREN'S ADVENTURE PLAYGROUND (AGES 6-12) WITH STEPPERS AND BOULDER CLIMBER

CONNECTION TO OVRP TRAIL SYSTEM

D.G. TRAIL

OVRP TRAIL CONNECTION TO CALTRANS ATP BIKE BRIDGE AND TRAIL

- RECREATION AREA AND OVERLOOK
- BENCH SEATING
 - DG WALKWAYS
 - EVERGREEN SHADE TREE
 - FLOWER SHRUB AND GROUNDCOVER
 - BOLLARD LIGHTING

CONNECTION TO OVRP TRAIL SYSTEM

D.G. TRAIL W/ SPLIT 2-RAIL FENCE

PUBLIC PEDESTRIAN CONNECTION FROM DENNERY ROAD TO OVRP TRAIL

DOG PARK

- SMALL/LARGE DOG AREAS
- LEASHING AREAS
- DG SURFACE

PUBLIC PEDESTRIAN CONNECTION FROM DENNERY ROAD TO OVRP TRAIL

ACTIVE RECREATION AREA

- BALANCE BEAM LOGS
- LOG STEPPERS
- EVERGREEN SHADE TREE
- SHRUBS AND GROUNDCOVER
- BENCH SEATING

PASSIVE RECREATION AREA

- BENCH SEATING
- DG WALKWAY
- EVERGREEN SHADE TREE
- FLOWER SHRUB AND GROUNDCOVER
- BOLLARD LIGHTING

TRAIL PATH TO ATP BIKE BRIDGE

PASSIVE OVERLOOKS WITH PICNIC TABLES

OUTDOOR FITNESS EQUIPMENT

CHILDREN'S PLAYGROUND

BICYCLE PLAYGROUND

OPEN PLAY TURF AREA

ADVENTURE PLAYGROUND

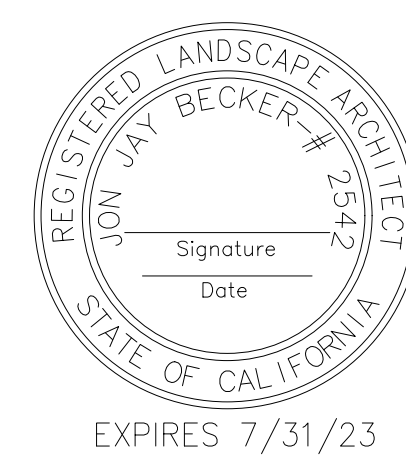
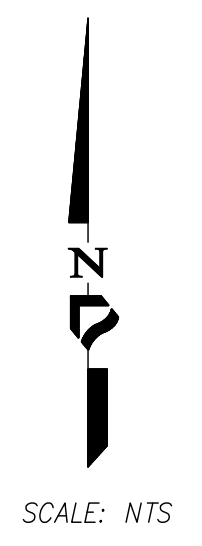
NOTE: NEIGHBORHOOD PARK IS PART OF SEPARATE PROJECT

SKATEPARK

BASKETBALL COURT

DOG PARK

TRAILHEAD WITH SIGN



PREPARED BY:
ARCHITECT OF WORK
 PROJECT DESIGN CONSULTANTS
 701 B STREET, SUITE 800
 SAN DIEGO, CA 92101
 TELEPHONE: (619) 235-6471
 JON JAY BECKER, LIC. NO. 2542
 REGISTRATION EXPIRES 7/31/23

NAME: _____	REVISION 12: _____
ADDRESS: _____	REVISION 11: _____
PHONE: _____	REVISION 10: _____
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	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: <u>5/12/2023</u>

PROJECT ADDRESS:
 NORTHSIDE OF DENNERY RD BETWEEN
 REGATTA LANE AND SAND STAR WAY

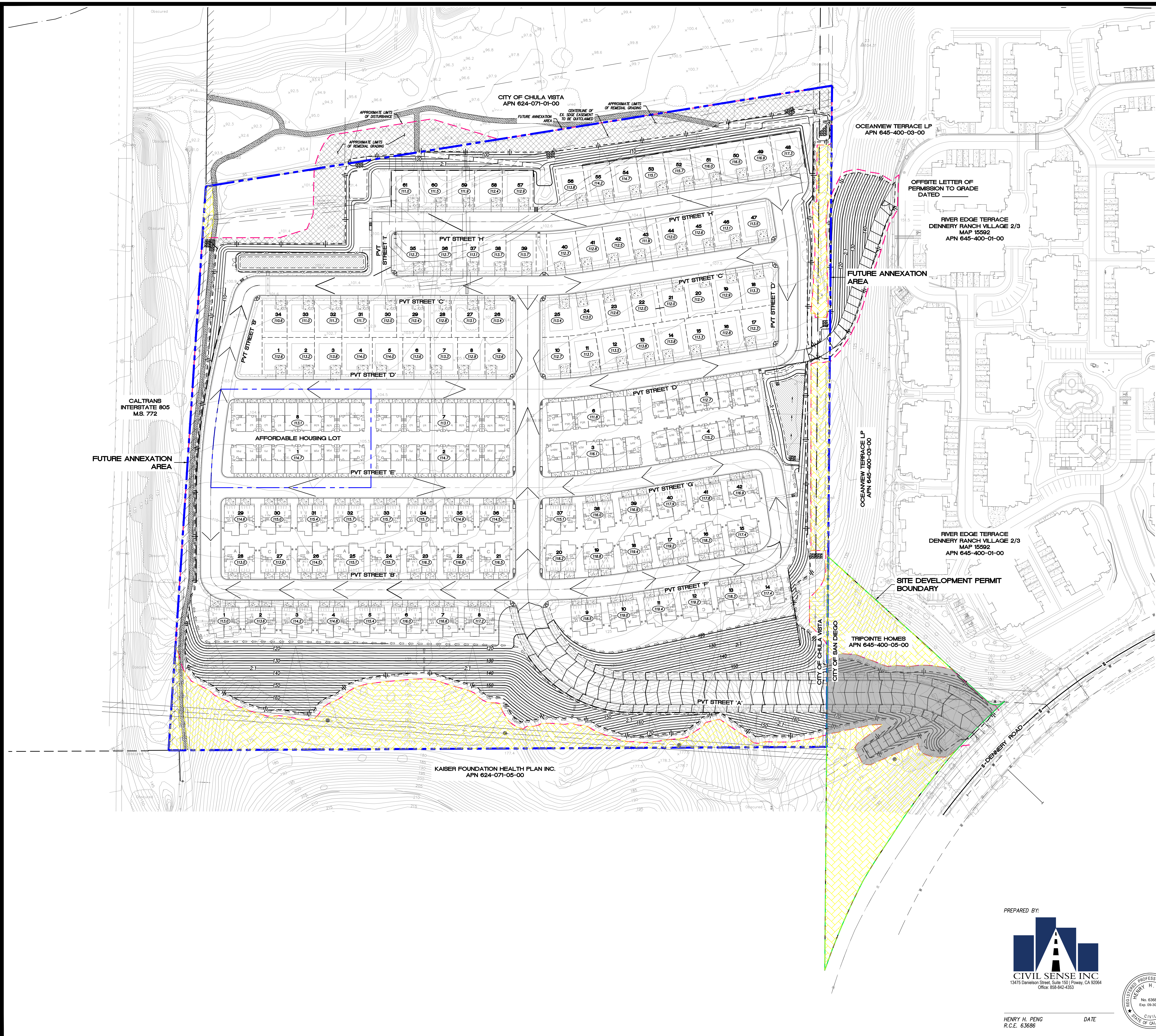
PROJECT NAME:
 NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
 LANDSCAPE CONCEPT PLAN:
 PARK CONNECTIONS

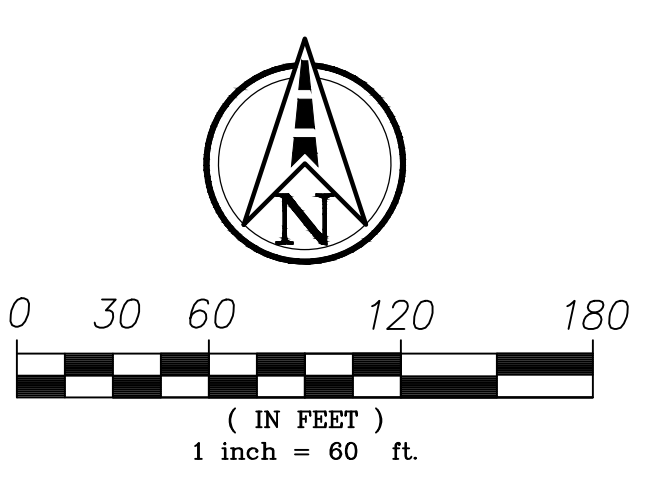
SHEET 20 OF 21

DEP # _____



LEGEND

- FUTURE ANNEXATION AREA
- SITE DEVELOPMENT PERMIT BOUNDARY
- PROPOSED AFFORDABLE HOUSING LOT LINE
- PROPOSED COVENANT OF EASEMENT



NAME: CIVIL SENSE, INC.	REVISION 12: _____
ADDRESS: 13475 DANIELSON STREET, SUITE 150	REVISION 11: _____
POMAY, CA 92128	REVISION 10: _____
PHONE: 858-843-4253	REVISION 9: _____
	REVISION 8: _____
	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: _____
	REVISION 4: _____
	REVISION 3: _____
	REVISION 2: 10/2/2023
	REVISION 1: 5/12/2023

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 NORTHSIDE OF DENNERY RD BETWEEN
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:
 NAKANO

ORIGINAL DATE: 11/4/2022

SHEET TITLE:
 COVENANT OF EASEMENT

SHEET **21** OF **21**

DEP # _____

PREPARED BY:

CIVIL SENSE INC.
 13475 Danielson Street, Suite 150 | Poway, CA 92064
 Office: 858-842-4353

HENRY H. PENG DATE _____
 R.C.E. 63686

