

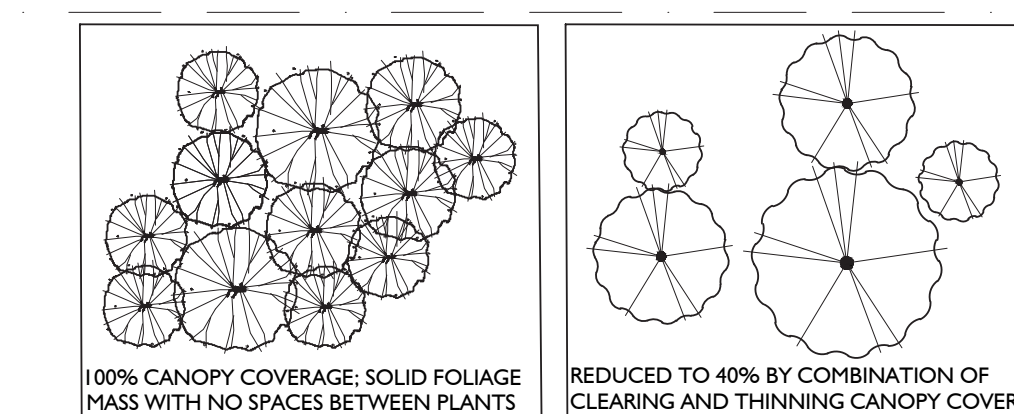
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS (TABLE 142.010)

CRITERIA	ZONE WIDTH RANGE
ZONE ONE	35 FEET FROM BUILDING
MHPA AREA	65 FEET

COASTAL SAGE SCRUB NOTE
BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S HSCP SUBAREA PLAN.
MEET ALL CITY-WIDE LANDSCAPE REGULATIONS.
BRUSH MANAGEMENT ZONE PLANTING SHALL:

COMBUSTIBILITY NOTE
WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE-HOUR FIRE-RATED, OR TYPE IV HEAVY TIMBER CONSTRUCTION.

FIRE APPARATUS NOTE
NO TREES SHALL OBSTRUCT DEMARCATED FIRE ACCESS LANES.



BRUSH MANAGEMENT NOTES

- BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES WHEN A PUBLIC OR PRIVATELY OWNED STRUCTURE IS WITHIN 100' OF NATIVE OR NATURALIZED VEGETATION.
- WHEN BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING AN EFFECTIVE FIRE BREAK BETWEEN ALL STRUCTURES AND CONTIGUOUS AREAS OF NATIVE OR NATURALIZED VEGETATION.
- TYPICAL BRUSH MANAGEMENT ZONES CONSISTS OF A 35 FT ZONE ONE. THE WIDTH OF ZONE ONE SHALL NOT EXCEED 100 FT. IN ADDITION, FOR PROJECT AT HAND, WITHIN THE COASTAL OVERLAY ZONE, A MAXIMUM REDUCTION OF 50 FT OF ZONE TWO WIDTH IS PERMITTED.
- ZONE 1 BRUSH MANAGEMENT AREAS MUST BE INCLUDED WITHIN THE DEVELOPMENT FOOTPRINT AND OUTSIDE THE MHPA, ADDITIONAL MITIGATION MEASURES IN THE WAY OF THE DUAL HANE DUAL TYPED WINDOWS AND AN ADDITIONAL LAYER OF THE EXTERIOR 1/2" FIRE RATED TYPE X GYPSUM DRYWALL.

ZONE ONE REQUIREMENTS:

ZONE ONE REQUIREMENTS

- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- ZONE ONE SHALL BE FROM THE EDGES OF THE PROPOSED BUILDING TO THE NORTH PROPERTY LINE, SOUTH PROPERTY LINE, WEST PROPERTY LINE, AND EAST UP TO THE MHPA BOUNDARY SHALL BE ZONE ONE.
- ZONE ONE SHALL CONTAIN THE HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE-HOUR FIRE RATED, OR HEAVY TIMBER CONSTRUCTION.
- PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURE TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- PLANTING REGULATIONS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT FOLIOW ZONE
- WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT OR 24 INCHES.
- ZONE ONE IRRIGATION OVERWAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.
- ZONE ONE PLANT MATERIAL SHALL BE SELECTED TO VISUALLY BLEND WITH THE EXISTING HILLSIDE VEGETATION. NO INVASIVE PLANT MATERIAL SHALL BE PERMITTED AS DETERMINED BY THE DEVELOPMENT SERVICES DEPARTMENT.

PRELIMINARY BRUSH MANAGEMENT PLANT LEGEND

ZONE ONE TREES SUCH AS:

- CHAMPAEDIPS HUMILIS var. CERIFERA / BLUE MEDITERRANEAN FAN PALM
- CLIPRUSUS SERPENTINUS / ITALIAN CYPRESS
- PHOENIX DACTYLOFERA MEDICIS / DATE PALM
- GEUKIA PARVIFLORA / AUSTRALIAN WILLOW
- METRODENDROS EXCELSA / NEW ZEALAND CHRISTMAS TREE
- ARBUZIA / TAMARISK / HYBRID STRAWBERRY TREE
- CITRUSUS THORNLESS / CITRUS TREE
- CLIPRUSUS SERPENTINUS / ITALIAN CYPRESS
- DRACAEINA DRACO / DRAGON TREE
- LAURUS NOBILIS / SWEET BAY LAUREL
- OLEA SWAN HILL / FRUITLESS OLIVE
- ALICE ARABIANE / TREE ALICE
- CALLISTEMON VERNALIS / WEERING BOTTLEBRUSH
- LYONCHAMPUS / AILENPOULS / FERNLEAF CATALINA IRONWOOD

ZONE ONE SHRUBS SUCH AS:

(ALL SHRUBS SHALL BE MAINTAINED AT 4 FT HEIGHT OR LESS)

- ECHVEVERIA GLAUCA / HENS & CHICKS
- ECHVEVERIA FRACOSA / FRENCH'S ECHVEVERIA
- AENOLM ABROBREMUM SCHWARZKOPF / AENOLM
- AGAVE AMERICANA / CENTURY PLANT
- ALOE STRATA / CORAL ALOE
- DAPHNE WINTERLII / ENGLISH SPOON
- HEPERALDIE PARVIFLORA / RED YUCCA
- HEPERALDIE ARBITUOSA / TYPICAL
- KALANCHOE BIPINNATUS / FELT PLANT
- MILBERBERGIA CARLISLEI / FINE LINE
- SENECIO HANDBALSCAL / SENECIO
- WESTRINGIA FLOREBUNDA / COAST ROSEMARY
- AENOLM UNBICLUP / SALAD BOWL / AENOLM
- ALICE ARABIANE / TREE ALICE
- ARBUZIA / COPRACTA / DWARF STRAWBERRY
- BOGARDIA ROSERA / DWARF BOGARDIA
- CALLISTEMON LITTLE JOHN / DWARF CALLISTEMON
- CAREX DONNELLII / BERRYBERRY
- CHONDROPETALUM TECTORIUM / SMALL CAPE RUSH
- DANIELA PINOIA / LITTLE
- DRACAEINA DRACO / DRAGON TREE
- FEUTICIA PARVIFLORA / ATLAS FESCUE
- FEUTICIA OVINA GLAUCA / BLUE FESCUE
- LOPANDIA CONVOLVULI / BROWN HEADED FAT RUSH
- ROSMARINUS PROSTRATUS / DWARF ROSEMARY
- SALICIA BLANCA / ICE PLANT
- TEUCRIUM CHAMPAEDIPS / GERMANDER
- AGAVE ATTENUATA / MEXICAN AGAVE
- ALYOCYNE HUJUELI / BLUE HIBISCUS
- CAREX M. MONTONII / NATURAL PLANT
- CRASSULA OVATA / JADE PLANT
- FURCRAEA TORTIVA / MEXICAN CHERRY
- FRUNUS LILIPOLIA SPP. LYONII / CATALINA CHERRY

VILLAS AT STALLIONS CROSSING

FOR ADDITIONAL NOTES + TREE SPACING
SEE BRUSH MANAGEMENT PLAN ; FIGURE
3-6 PREPARED BY DUDEK

BRUSH MANAGEMENT WETLAND NOTE

BRUSH MANAGEMENT IN WETLANDS MAY BE REQUESTED WITH A DEVELOPMENT PERMIT IN ACCORDANCE WITH SECTION 143.0110 WHERE THE FIRE CHIEF DEEMS BRUSH MANAGEMENT NECESSARY IN ACCORDANCE WITH SECTION 143.0410(3), WHERE BRUSH MANAGEMENT IN WETLANDS IS DEEMED NECESSARY BY THE FIRE CHIEF. THAT BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDSCAPE REGULATIONS, SECTION 143.0110(C)(7).

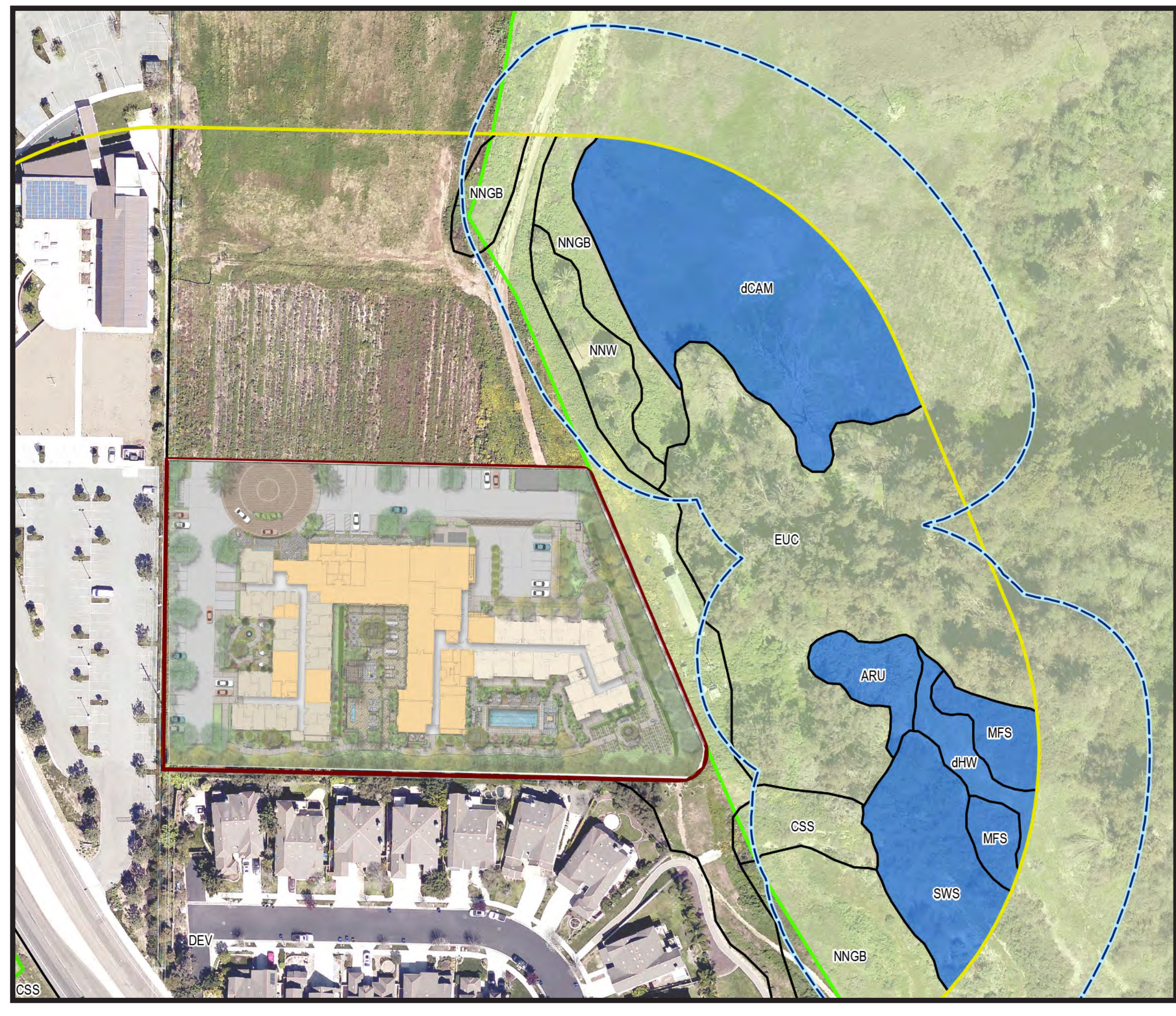
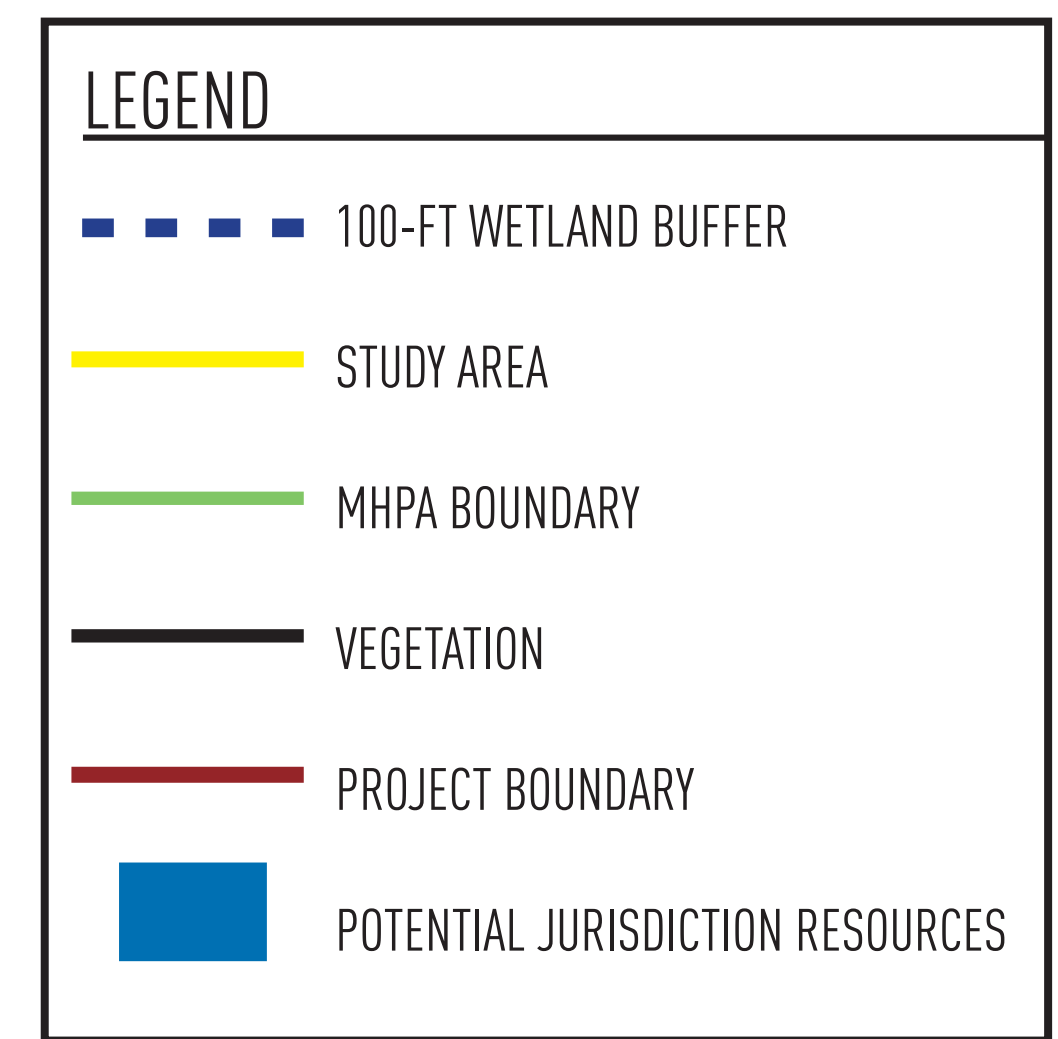
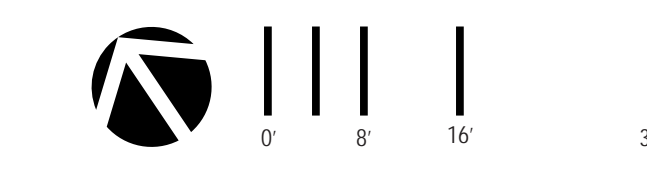
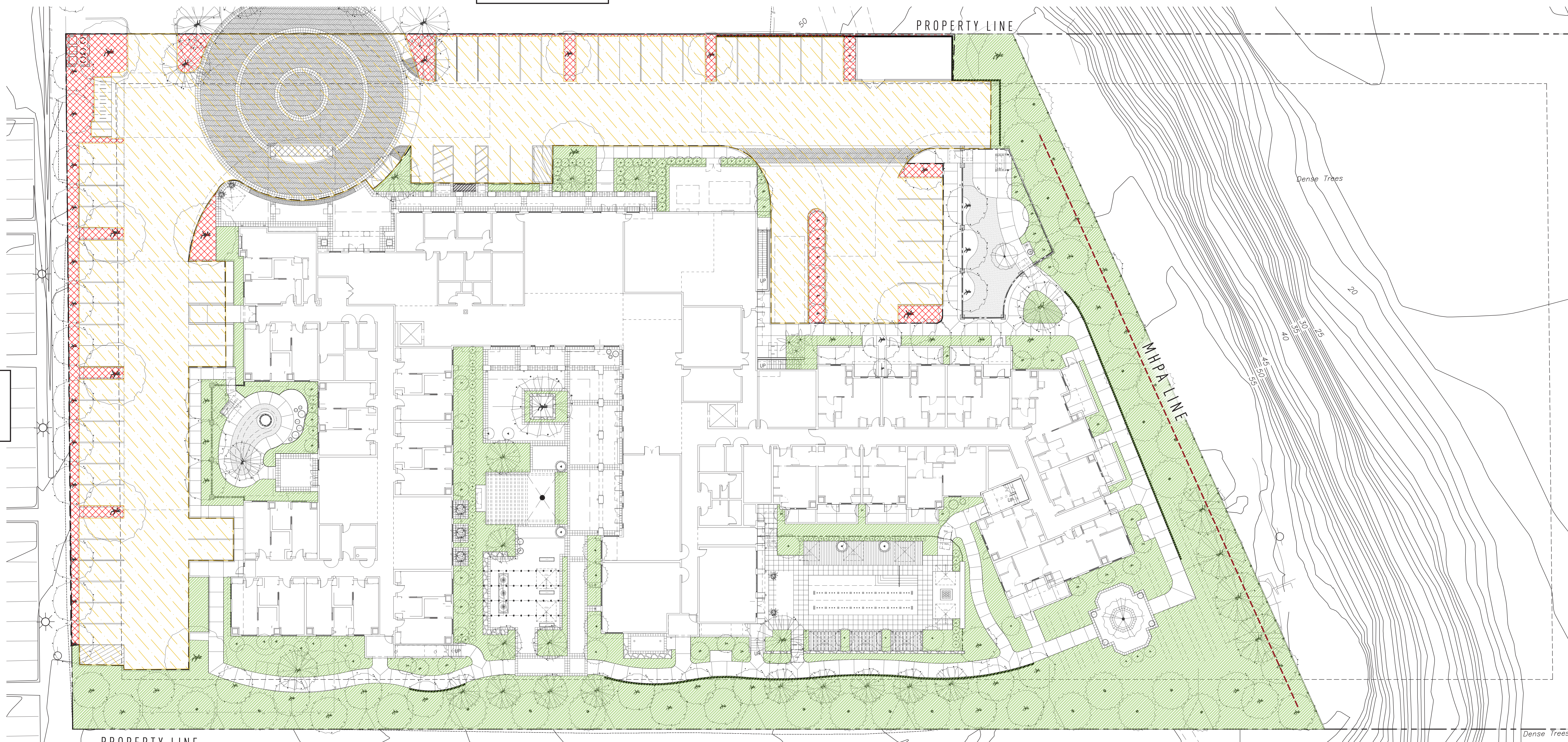


IMAGE PROVIDED BY DUDEK ENVIRONMENTAL



CHURCH YOUTH CENTER

PROPERTY LINE



VILLAS AT STALLIONS CROSSING


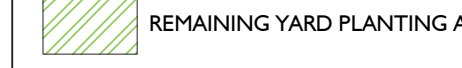


LANDSCAPE CALCULATIONS

LIMIT OF WORK:	104,313 SF
TOTAL PLANTING AREA:	29,767 SF
STREET YARD: NO STREET YARD EXISTS ON SITE	
REMAINING YARD:	
TOTAL AREA:	89,041 SF
PLANTING AREA REQUIRED (10% OF TOTAL AREA):	8,904 SF
PLANTING AREA PROVIDED:	28,761 SF
EXCESS PLANTING AREA PROVIDED:	28,761 SF
REQUIRED PLANTING POINTS (16' O.C.):	2,188 POINTS
PLANT POINTS PROVIDED (14' O.C.):	4,446 POINTS
POINTS PROVIDED AS TREES:	12,399 POINTS
TOTAL PLANTING POINT PROVIDED:	2,271 POINTS
EXCESS POINTS PROVIDED:	14,819 POINTS
EXCESS POINTS PROVIDED:	10,418 POINTS

VEHICULAR USE AREA (VUA) CALCULATIONS

VIA INSIDE STREET YARD: NO STREET YARD EXISTS ON SITE	
REMAINING YARD:	
TOTAL AREA:	34,867 SF
PLANTING AREA REQUIRED (0.03 OF TOTAL AREA):	1,046 SF
PLANTING AREA PROVIDED:	3,206 SF
EXCESS PLANTING AREA PROVIDED:	2,160 SF
REQUIRED PLANTING POINTS (16' O.C.):	1,046 POINTS
PLANT POINTS PROVIDED (14' O.C.):	1,451 POINTS
POINTS PROVIDED AS TREES:	423 POINTS
TOTAL PLANTING POINT PROVIDED:	2,073 POINTS
EXCESS POINTS PROVIDED:	1,027 POINTS
VEHICULAR USE AREA TOTAL: (EXCLUDING PLANTING):	30,931 SF

LEGEND

-  VEHICULAR USE PLANT AREA
-  REMAINING YARD PLANTING AREA
-  VEHICULAR USE AREA
-  VEHICULAR APPROACH BOUNDARY

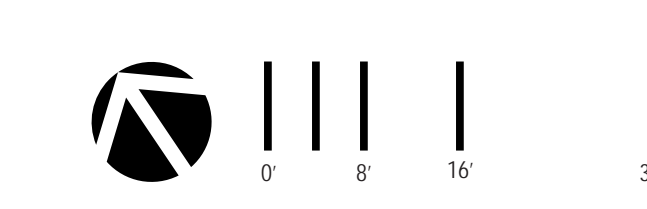
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 03-31-2021 PLANNING RESUBMITTAL
 01-20-2021 PLANNING RESUBMITTAL
 09-14-2020 PLANNING SUBMISSION

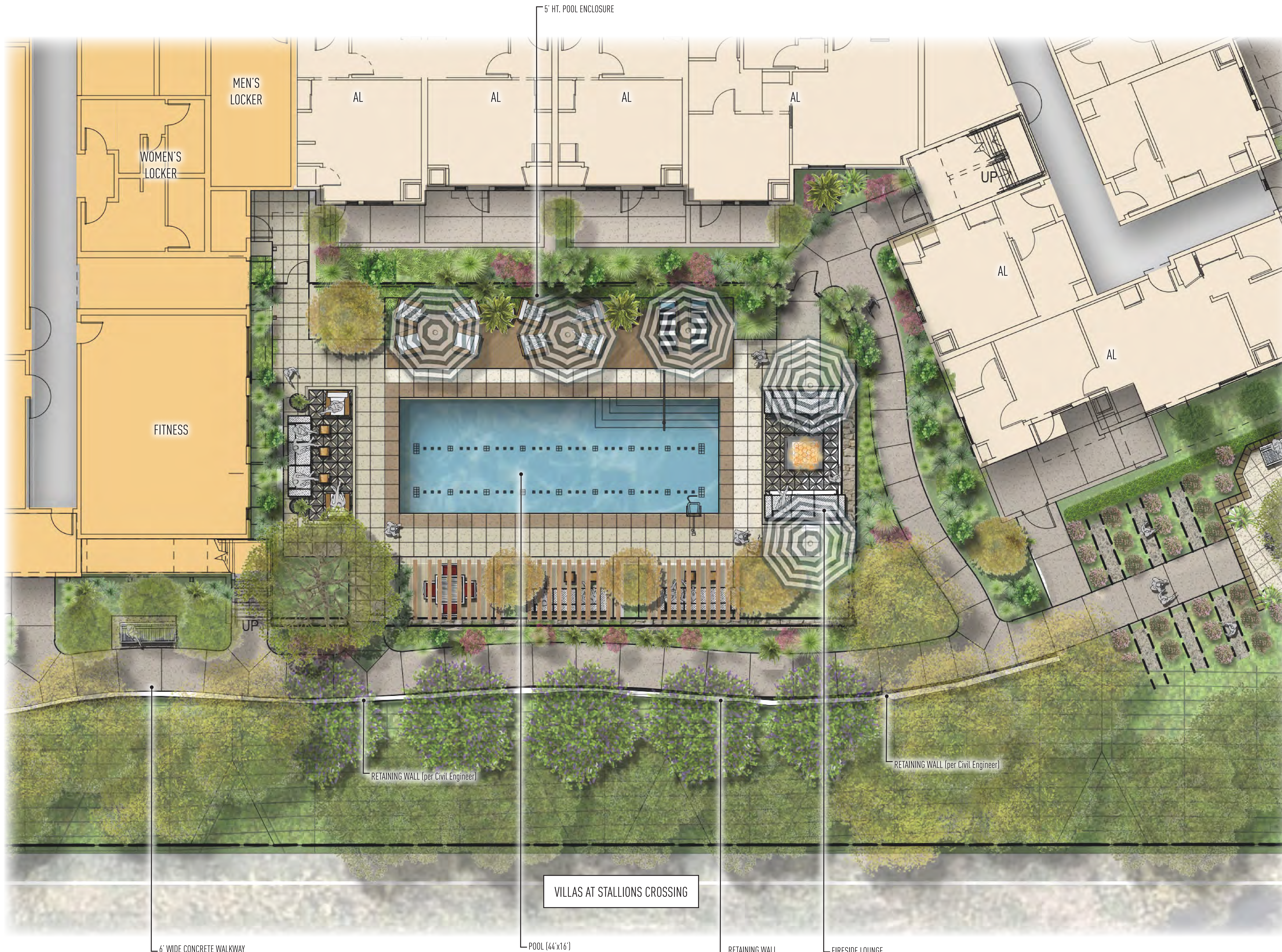
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 issues | revisions

EL CAMINO REAL
 ASSISTED LIVING
 FACILITY

project title
 LANDSCAPE
 CALCULATIONS
 EXHIBIT

sheet title
 project no. 232034 date 06/28/24





5' HT. POOL ENCLOSURE

MEN'S LOCKER

WOMEN'S LOCKER

FITNESS

UP

UP

AL

AL

RETAINING WALL (per Civil Engineer)

RETAINING WALL (per Civil Engineer)

VILLAS AT STALLIONS CROSSING

6' WIDE CONCRETE WALKWAY

POOL (44'x16')

- lap lanes (2)
- seating groups with umbrellas
- cabanas (3)
- wood-look tile paving deck
- 2x2 precast concrete pavers

RETAINING WALL
see Civil Engineer's Plans for
more information

FIRESIDE LOUNGE

- soft seating
- umbrellas
- fire pit
- accent wall



VILLAS AT
STALLIONS
CROSSING



RETAINING WALL (per Civil Engineer)

PRIVACY HEDGE

POTS ON PLINTHS with LAYERED PLANTING

- FIRESIDE LOUNGE
- fireplace
- wood shade trellis
- cement tile carpet
- lounge furniture

MC

MC

MC LIVING

MC

MC

MC

MC

MAIL ROOM

LOUNGE

EXIT

STUDIO

MULTI-PURPOSE

AL LIVING

COOL-DOWN TERRACE

RETAINING WALL (per Civil Engineer)

- TRANQUILITY TERRACE
- seating groups
- pottery
- water feature
- overhead festival lights
- accent wall

- DINING TERRACE
- specimen tree in raised planter
- dining / game tables with umbrellas
- group dining tables
- upgraded paving

EXISTING WALL



OWNER
PMB LLC
325 SOUTH HIGHWAY 101, SUITE 160,
SOLANA BEACH, CA 92075

client



consultant



stamp | approval

key plan

06-28-2024 PLANNING RESUBMITTAL
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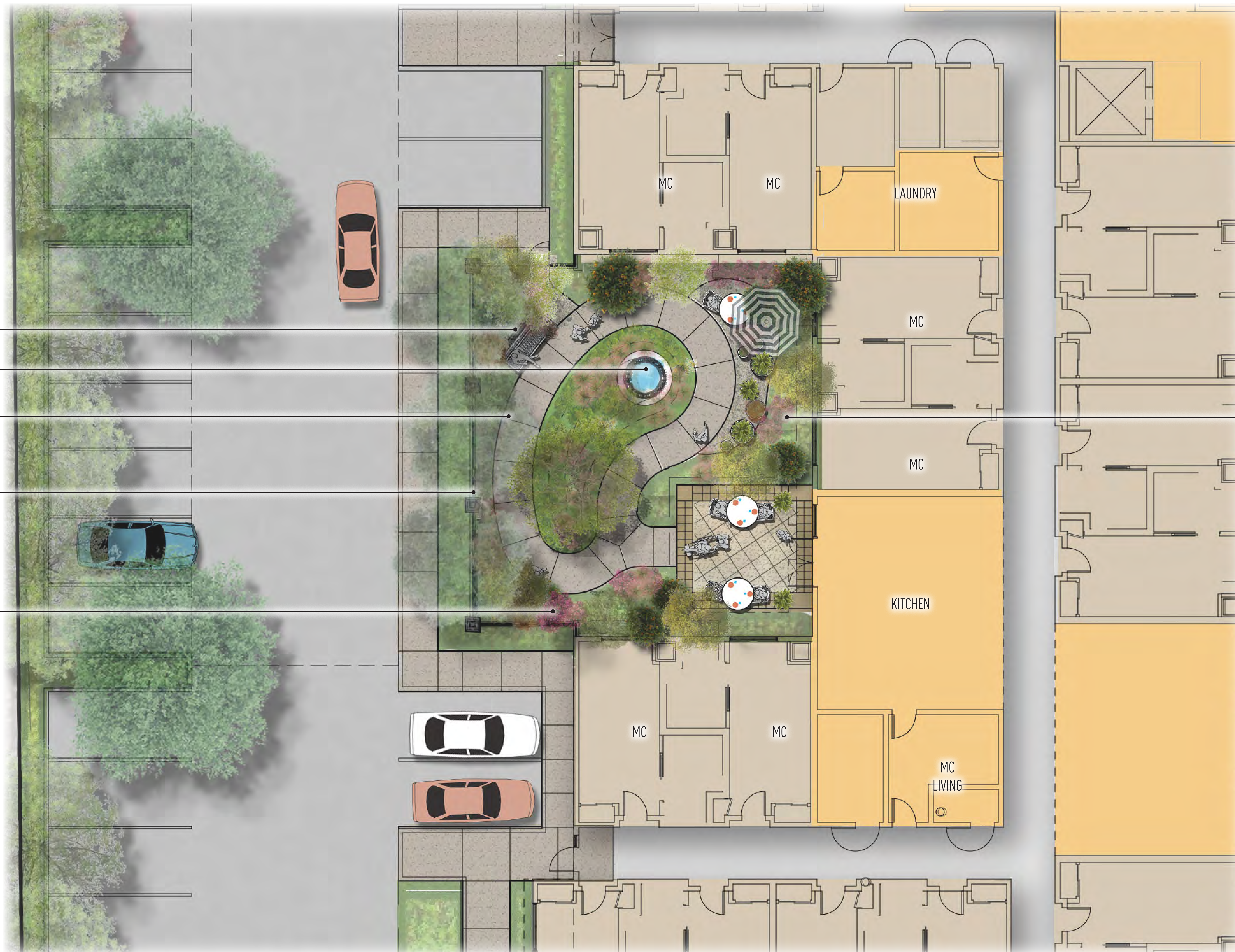
EL CAMINO REAL ASSISTED LIVING FACILITY

project title
MEMORY CARE GARDEN ENLARGEMENT

sheet title

project no. 232034 date 06/28/24

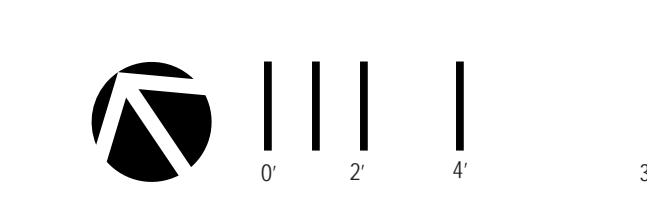
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- BENCH SEATING
- SHALLOW WATER FEATURE in COBBLE BED
- 5' WIDE CONCRETE PATHWAY
- 8' HT. DECORATIVE FENCE with PILASTERS at GARDEN PERIMETER
- LUSH SENSORY PLANTING

POTTERY on DECOMPOSED GRANITE PAVING with HERBS and TACTILE PLANTING

EXISTING CHURCH PARKING LOT



OWNER
PMB LLC
329 SOUTH HIGHWAY 101, SUITE 160,
SOLANA BEACH, CA 92075

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EL CAMINO REAL ASSISTED LIVING FACILITY

project title





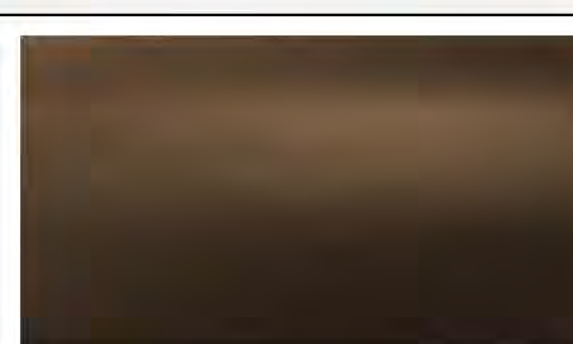

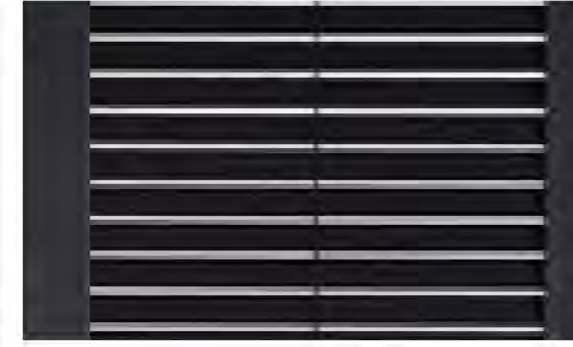





MATERIAL BOARD

sheet title

project no. 232034 date 06/28/24

sheet no.

A-001.

El Camino Real Senior Housing					
June 26, 2024					
CODE	DESCRIPTION	COLOR	LOCATION	NOTES	
GLASS					
GL-01	INSULATED GLASS UNIT Mfr.: Viracon Mfr. Code: VRE1-46	Clear	Typical Vision Panel	Insulated glass unit with Low-E coating on #2 surface Black Primary and Secondary seals See www.viracon.com for more information	
GL-02	INSULATED GLASS UNIT Mfr.: TBD Mfr. Code: TBD	Obscure	Southwest corner exterior		
STUCCO					
PL-01	STUCCO Mfr.: La Habra or Similar	Dove Grey	Typical Exterior Wall finish	Mission Finish (Smooth) See www.lahabrastucco.com for more information.	
PL-02	STUCCO Mfr.: La Habra or Similar	Charleston	Typical Exterior Wall finish	Mission Finish (Smooth) See www.lahabrastucco.com for more information.	
METAL					
MTL-01	METAL Mfr.: PPG Industries, Inc. Mfr. Code: UCS1513XL Mfr. Name: Chocolate Bronze	Metallic Chocolate Bronze	Typical Mullion, Frames, Fascia, Crown Detail and Railings	Fluoropolymer resinous 3 coat system for exterior finish See www.ppgmetalcoatings.com for more information.	
WOOD					
WD-01	WOOD TRELLIS Mfr.: TBD Mfr. Code: TBD	Medium Dark Brown Wood	Balconies, Courtyards, Roof terraces and Covered Walkways	Timber trellis features to shade balconies, seating areas and covered walkways	
WD-02	WOOD SHUTTER Mfr.: TBD Mfr. Code: TBD	Black Painted	Window Shutters		
STONE					
ST-01	LIMESTONE Mfr.: TBD Mfr. Code: TBD	Brown	See Elevations for locations	Honed Finish.	
ROOF TILE					
RT-01	VEREA CLAY ROOF TILE Mfr.: Coma Cast Corp. Mfr. Code: Ohio Red Barrel	Ohio Red	See Elevations for locations	Barrel Tile Profile. See www.comacastcorp.com for more information.	
ARCHITECTURAL VENTS					
AV-01	TERRACOTTA VENT Mfr.: TBD Mfr. Code: TBD	TBD	See Elevations for locations	Terracotta circular vent details size and location TBD (see elevations)	
TILE					
TL-01	SALTILLO TILE Mfr.: TBD Mfr. Code: TBD	TBD	Typical Stair Risers, Accent Walls and Floors		
TL-02	TERRACOTTA TILE Mfr.: TBD Mfr. Code: TBD	TBD	Typical Stair Treads and Accent Floors		
FABRIC AWNING					
FA-01	FIRE RETARDANT FABRIC AWNING Mfr.: TBD Mfr. Code: TBD	TBD	Typical Awning Covers		