



THE CITY OF SAN DIEGO

Report to the Hearing Officer

REPORT NO. HO-24-045

DATE ISSUED: October 30, 2024
HEARING DATE: November 20, 2024
SUBJECT: Hermanny House, Process Three Decision
PROJECT NUMBER: PRJ-1099348
OWNER/APPLICANT: Paula Hermanny

SUMMARY

Issue:

Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit for the construction of a new two-story, single dwelling unit with a basement, a garage, pool, and associated site improvements on an empty lot addressed as 2538 Ruelle Nicole, in the La Jolla Shores Planned District – Single-Family (LJSPD-SF) zone, Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan area?

Proposed Actions:

1. Approve Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483.

Fiscal Considerations: None. The applicant funds a deposit account that recovers all costs associated with processing the application.

Community Planning Group Recommendation: On November 15, 2023, the La Jolla Shores Planned District Advisory Board voted 5-0 to recommend approval of the project without conditions (Attachment 6). On January 4, 2024, the La Jolla Community Planning Group Voted 16-0 to recommend approval of the proposed project without conditions (Attachment 7).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303, New Construction or Conversion of Small Structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 9, 2024, and the opportunity to appeal that determination ended August 23, 2024 (Attachment 8).

BACKGROUND

The 0.4-acre site is an undeveloped lot within a fully developed residential neighborhood and approximately 0.4 miles east of the Pacific Ocean. The project site is an irregular-shaped lot at the end of a cul-de-sac in a gated community, bordered by residential development to the west, east, and south, and an undeveloped canyon to the north. The site is located at the end of Ruelle Nicole. Ruelle Nicole is a private drive in the Montoro Homeowner's Association (HOA). The project site is located in the LJSPD-SF Base Zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable), and the Parking Impact within the La Jolla Community Planning area.

DISCUSSION

Project Description:

The project proposes a Coastal Development Permit (CDP) and Site Development Permit (SDP) for the construction of a new two-story 8,797 square-foot single-dwelling unit with a 3,672 square-foot basement with a garage and associated site improvements (i.e. hardscape and landscaping).

Permits Required:

Site Development Permit: A Process 3 SDP is required for the development of a new single-family residence in the La Jolla Shores Planned District pursuant to San Diego Municipal Code (SDMC) Section 1510.0201(a).

Coastal Development Permit: A Process 2 CDP is required for the development within the Coastal Overlay Zone (Non-Appealable).

These permits are consolidated for a decision by the Hearing Officer per SDMC Section 112.0103, with appeal rights to the Planning Commission.

Community Plan Analysis:

The proposed development is consistent with the prescribed land use and meets the density allowance established by the La Jolla Community Plan of Very Low Residential (0-5 DU/acre) by proposing a single dwelling unit within a 0.4-acre project site.

The subject property is not identified as a public access way within the City's adopted La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP). There is no physical access way legally used by the public on this property, nor any proposed public access way as identified in the

LJCP. The proposed project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast. This project does not contain any view corridors identified within the La Jolla Community Plan.

The project site is located on an undeveloped lot within an established residential area in the La Jolla Community Plan. The proposed project is to construct a new two-story 8,797 square-foot single-dwelling unit with a 3,672 square-foot basement with a garage. applicable development regulations of the San Diego Municipal Code, including the La Jolla Shores Planned District Ordinance – Single Family Zone and the Coastal Height Limit Overlay Zone. The project conforms to the maximum 30-foot height limit at 28 feet 2 ¼ inches, and a maximum 60 percent lot coverage requirement at 50.1 percent coverage.

The La Jolla Shores Planned District Ordinance requires all buildings and structure setbacks to be in general conformity with those in the vicinity. City staff has reviewed and accepted a survey (Attachment 11) from the Applicant that contains lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey shows a front yard setback range between 0 and 40 feet, a side yard setback range between 0 and 51 feet, a rear yard setback range between 2 and 115 feet, and a floor area ratio range between 0.08 and 0.71. The floor area ratio for the proposed project is 0.50.

The project proposes a west side yard setback of 17 feet 2 ½ inches. The proposed development observes a front yard setback of 4 feet 2 inches along the south property line and a rear yard setback of 12 feet along the east property line which are consistent with the survey. No deviations or variances are necessary or requested.

As required by the La Jolla Shores Planned District Ordinance, a neighborhood survey (Attachment 11) of the existing development pattern and bulk and scale was submitted for the analysis of the project.

Conclusion:

City staff has determined that the project is consistent with the Community Plan and regulations of the Land Development Code, as described above. Staff has provided draft findings and conditions to support approval of the project (Attachments 4 and 5) and recommends that the Hearing Officer approve the Coastal Development Permit and Site Development Permit as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483, with modifications.
2. Deny Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



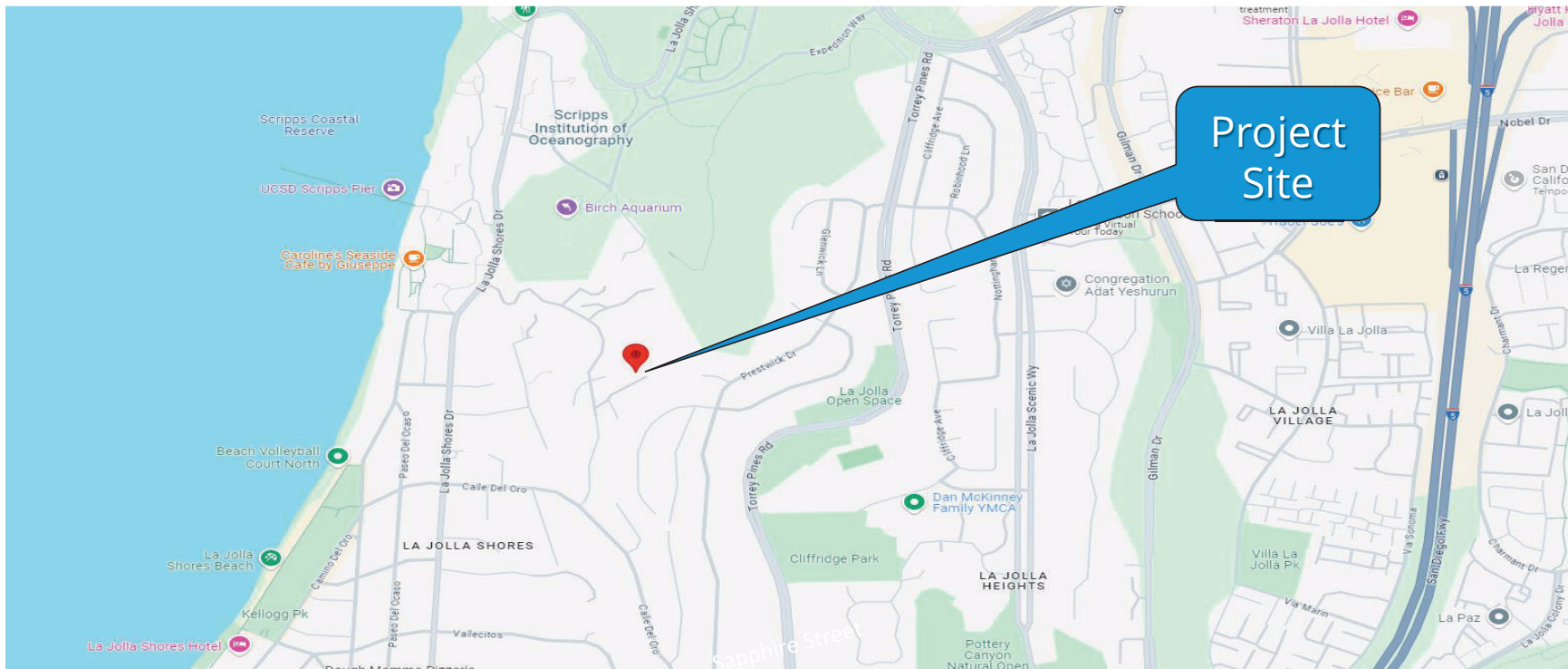
Andrew Murillo
Development Project Manager
Development Services Department

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. La Jolla Shores Planned District Advisory Board, minutes, 11/15/2023
7. La Jolla Community Planning Group Recommendation
8. Environmental Exemption
9. Ownership Disclosure
10. Project Plans
11. Neighborhood Survey



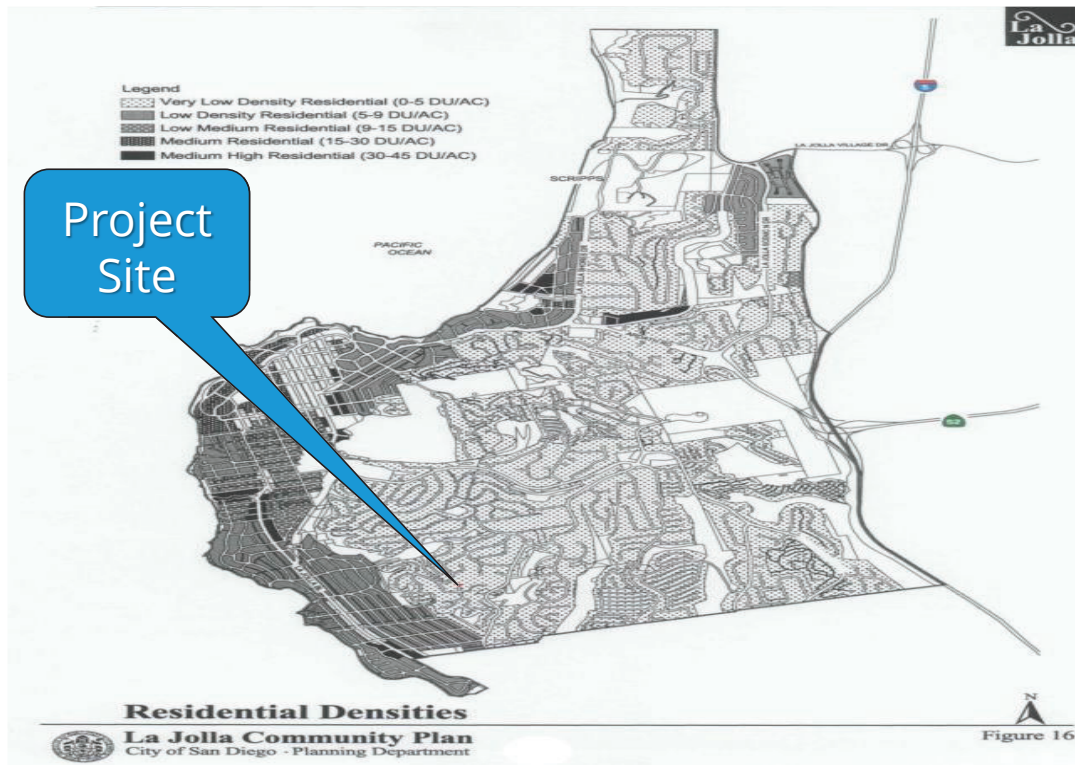
Project Location Map





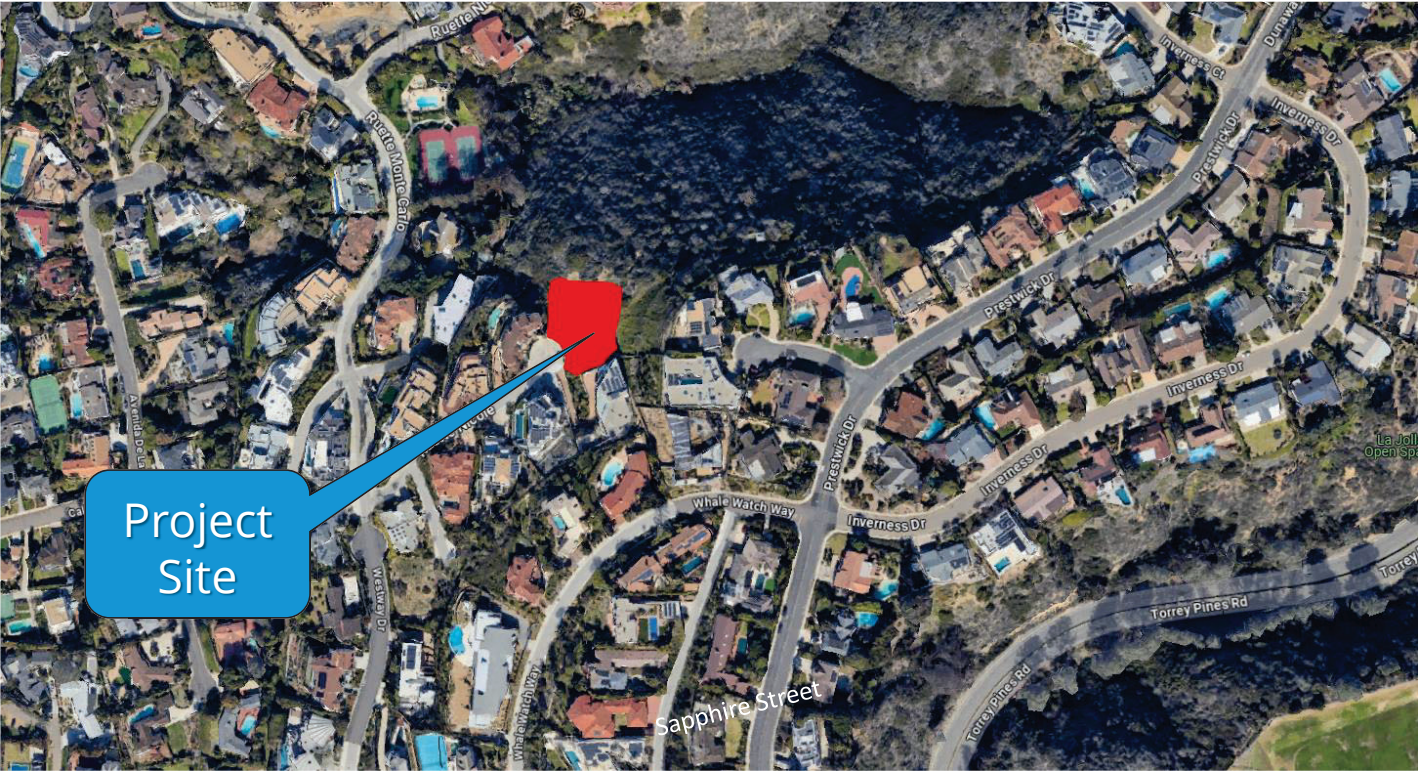
Community Plan Use Map

Attachment 2





Aerial Photograph



HEARING OFFICER
RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. PMT-3242482
SITE DEVELOPMENT PERMIT NO. PMT-3242483
HERMANNY HOUSE - PROJECT NO. PRJ-1099348

WHEREAS, Paula Hermanny, Trustee of the Hermanny Trust dated December 12, 2012, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a new two-story, 8,797 square-foot, single dwelling unit with a 3,672 square-foot basement with a garage and associated site improvements (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval) for the associated Permit Nos. PMT-3242482 and PMT-3242483, on portions of a 0.4-acre lot;

WHEREAS, the project site is located at 2538 Ruelle Nicole (a vacant site) in the La Jolla Shores Planned District (LJSPD-SF) zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable), and the Parking Impact Zone within the La Jolla Community Plan;

WHEREAS, the project site is legally described as 2538 Ruelle Nicole Parcel No. 3 Sub: Parcel Map No. 12357;

WHEREAS, on August 9, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on November 20, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483:

A. SITE DEVELOPMENT PERMIT [SDMC SECTION 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed development is consistent with the prescribed land use and meets the density allowance established by the La Jolla Community Plan of Very Low Residential (0-5 DU/acre) by proposing a single dwelling unit within a 0.4-acre project site.

The subject property is not identified as a public access way within the City's adopted La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP). There is no physical access way legally used by the public on this property, nor any proposed public access way as identified in the LJCP. The proposed project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast. This project does not contain any view corridors identified within the La Jolla Community Plan.

The project site is located on an undeveloped lot within an established residential area in the La Jolla Community Plan. The proposed project is to construct a new two-story 8,797 square-foot single-dwelling unit with a 3,672 square-foot basement with a garage. applicable development regulations of the San Diego Municipal Code, including the La Jolla Shores Planned District Ordinance – Single Family Zone and the Coastal Height Limit Overlay Zone. The project conforms to the maximum 30-foot height limit at 28 feet 2 ¼ inches, and a maximum 60 percent lot coverage requirement at 50.1 percent coverage.

The La Jolla Shores Planned District Ordinance requires all buildings and structure setbacks to be in general conformity with those in the vicinity. City staff has reviewed and accepted a survey (Sebastian Mariscal Neighborhood Survey) from the Applicant that contains lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey shows a front yard setback range between 0 and 40 feet, a side yard setback range between 0 and 51 feet, a rear yard setback range between 2 and 115 feet, and a floor area ratio range between 0.08 and 0.71. The floor area ratio for the proposed project is 0.50.

The project proposes a west side yard setback of 17 feet 2 ½ inches. The proposed development observes a front yard setback of 4 feet 2 inches along the south property line and a rear yard setback of 12 feet along the east property line which are consistent with the survey. No deviations or variances are necessary or requested.

As required by the La Jolla Shores Planned District Ordinance, a neighborhood survey of the existing development pattern and bulk and scale was submitted for the analysis of the project. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to public health, safety, and welfare.

The project site is approximately one-half mile east of the Pacific Ocean; it sits within an established residential area and is undeveloped. The proposed project is to construct a new two-story 8,797 square-foot single-dwelling unit with a 3,672 square-foot basement with a garage. The proposed development is situated within previously disturbed areas of the site, and the Permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect public health, safety, and welfare. Permit requirements include submitting a water pollution control plan; implementing construction best management practices; and complying with all stormwater construction requirements of the current version of the City of San Diego's Stormwater Standards Manual. Environmental review staff determined that the project would not have a significant environmental effect and found it to be categorically exempt under the State of California Environmental Quality Act (CEQA), pursuant to CEQA State Guidelines, Section 15303, New Construction or Conversion of Small Structures. In addition, the project site does not contain any sensitive biological resources or environmentally sensitive lands, it is not located within a coastal bluff, beach, or special flood area, and drainage for the project complies with the City's drainage regulations and standards. Therefore, the Project will not be detrimental to public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations to the Land Development Code.

The project site is located on an undeveloped lot within an established residential area in the La Jolla Community Plan. The proposed project is to construct a new two-story 8,797 square-foot single-dwelling unit with a 3,672 square-foot basement with a garage. The proposed development is consistent with the prescribed land use and meets the density allowance established by the La Jolla Community Plan of Very Low Residential (0-5 DU/acre) by proposing a single dwelling unit within an approximately 0.4-acre project site. The project has been designed in conformance with all applicable development regulations of the San Diego Municipal Code, including the

La Jolla Shores Planned District Ordinance – Single Family Zone and the Coastal Height Limit Overlay Zone. The project conforms to the maximum 30-foot height limit at 28 feet 2 ¼ inches, and a maximum 60 percent lot coverage requirement at 50.1 percent coverage.

The La Jolla Shores Planned District Ordinance requires all buildings and structure setbacks to be in general conformity with those in the vicinity. City staff has reviewed and accepted a survey (Sebastian Mariscal Neighborhood Survey) from the Applicant that contains lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey shows a Front yard setback range between 0 and 40 feet, a side yard setback range between 0 and 51 feet, a rear yard setback range between 2 and 115 feet, and a floor area ratio range between 0.08 and 0.71. The floor area ratio for the proposed project is 0.50.

No deviations or variances are necessary or requested. The project proposes a west side yard setback of 17 feet 2 ½ inches. The proposed development observes a front yard setback of 4 feet 2 inches along the south property line and a rear yard setback of 12 feet along the east property line. Therefore, the proposed development will comply with the regulations of the Land Development Code and no deviations are required.

B. COASTAL DEVELOPMENT PERMIT [SDMC SECTION 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the construction of a new two-story 8,797 square-foot single dwelling unit with a 3,672 square foot basement with a garage, and associated site improvements (i.e. hardscape and landscaping) on a vacant site located at 2538 Ruelle Nicole. The 0.4-acre site is in the LJSPD-SF Zone, Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan area.

The project site is an irregular-shaped lot at the end of a cul-de-sac in a gated community, bordered by residential development to the west, east, and south, and an undeveloped canyon to the north and is approximately 0.4 miles east of the Pacific Ocean. The neighborhood surrounding the proposed project is fully developed. The subject property is not identified in the City's adopted La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP) as a public access way.

There is no physical access way legally used by the public on this property, nor any proposed public access way as identified in the LJCP. The nearest public accessway identified by the community plan is Kellogg Park – La Jolla Shores Beach, which is approximately 0.54 miles southwest of the project site (community plan, figure 6). The proposed project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast, legally used by the public or any proposed public access way identified in a LJCP.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan as none exist within or around the project site.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site does not contain environmentally sensitive lands. The site is not within or adjacent to the City's Multi-Habitat Planning Area (MHPA). Although the site is vacant, it is disturbed with previous grading and the construction of retaining walls.

The project site is in an urbanized area of the La Jolla community. The site is not located on a sensitive coastal bluff or special flood areas. No natural slopes, sensitive coastal or marine resources or other environmentally sensitive areas would be adversely affected.

The project enhances health and safety and conservation of natural resources by preserving the open space as well as integrating vegetation in accordance with applicable safety codes and meeting brush management and setbacks providing fire safety.

Since CEQA Section 15303 allows for the construction of a single-family residence in urbanized areas, utility extensions, of reasonable lengths to serve such construction, and accessory (appurtenant) structures, this exemption was deemed appropriate. Therefore, the proposed coastal development does not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program, conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located on an undeveloped lot within an established residential area in the La Jolla Community Plan. The proposed project is to construct a new two-story 8,797 square-foot single-dwelling unit with a 3,672 square-foot basement with a garage. The proposed development is consistent with the prescribed land use and meets the density allowance established by the La Jolla Community Plan of Very Low

Residential (0-5 DU/acre) by proposing a single dwelling unit within an approximately 0.4-acre project site. The project has been designed in conformance with all applicable development regulations of the San Diego Municipal Code, including the La Jolla Shores Planned District Ordinance – Single Family Zone and the Coastal Height Limit Overlay Zone. The project conforms to the maximum 30-foot height limit at 28 feet 2 ¼ inches, and a maximum 60 percent lot coverage requirement at 50.1 percent coverage.

The La Jolla Shores Planned District Ordinance requires all buildings and structure setbacks to be in general conformity with those in the vicinity. City staff has reviewed and accepted a survey (Sebastian Mariscal Neighborhood Survey) from the Applicant that contains lot sizes, gross floor areas, and setback dimensions for building structures within a 300-foot radius of the project site. The survey shows a Front yard setback range between 0 and 40 feet, a side yard setback range between 0 and 51 feet, a rear yard setback range between 2 and 115 feet, and a floor area ratio range between 0.08 and 0.71. The floor area ratio for the proposed project is 0.50.

The project proposes a west side yard setback of 17 feet 2 ½ inches. The proposed development observes a front yard setback of 4 feet 2 inches along the south property line and a rear yard setback of 12 feet along the east property line. No deviations or variances are necessary or requested. Therefore, the proposed development will comply with the regulations of the Land Development Code without deviations. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program, conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The 0.4-acre site is in the LJSPD-SF Zone and the Coastal (Non-Appealable) overlay zone within the La Jolla Community Plan area. The project site is an irregular-shaped lot at the end of a cul-de-sac in a gated community, bordered by residential development to the west, east, and south, and an undeveloped canyon to the north and is approximately 0.4 miles east of the Pacific Ocean. The proposed project is not between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone, therefore, this finding does not apply.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT-3242482 and Site Development Permit No. PMT-3242483, a copy of which is attached hereto and made a part hereof.

Andrew Murillo
Development Project Manager
Development Services

Adopted on: November 20, 2024

IO#: 24009634

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009634

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3242482
SITE DEVELOPMENT PERMIT NO. PMT-3242483
HERMANNY HOUSE - PROJECT NO. PRJ-1099348
HEARING OFFICER

This Coastal Development Permit (CDP) and Site Development Permit (SDP) is granted by the Hearing Officer of the City of San Diego to Paula Hermanny, Trustee of the Hermanny Trust dated December 20, 2012, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0505 (SDP) and 126.0708 (CDP). The 0.4-acre site is located on a vacant site (2538 Ruelle Nicole) in Base Zone LJSPD-SF (La Jolla Shores Planned District Single Family), Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable), and the Parking Impact within the La Jolla Community Plan. The project site is legally described as: 2538 Ruelle Nicole, Parcel No. 3 Sub: Parcel Map No. 12357.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the construction of a new two-story single dwelling unit with a basement/garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 20, 2024, on file in the Development Services Department.

The project shall include:

- a. Construction of a new two-story 8,797 square-foot single dwelling unit with a 3,672 square foot basement with a garage and associated site improvements;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 21, 2027.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2 of Chapter 4.2, and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

13. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

14. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

15. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

16. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).

17. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area'.

18. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection for Single-Family development.

20. La Jolla Shores Planned District Ordinance – Landscape: Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District

Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

21. For the subject site, Brush Management Zone One shall be a minimum of 10-feet.
22. Prior to issuance of any construction permit for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A".
23. Prior to issuance of any construction permit for building, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.
24. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

25. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

28. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
29. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
30. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private Backflow Prevention Device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer.
31. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
32. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 20, 2024, and [Approved Resolution Number].

ATTACHMENT 5

Coastal Development Permit No. PMT-3242482
Site Development Permit No. PMT-3242483
Date of Approval: November 20, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Andrew Murillo
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Hermann Trust
Owner/Permittee

By _____
Paula Hermann
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD

MEETING MINUTES FROM:

WEDNESDAY, November 15, 2023

Item 1: CALL TO ORDER

Chair Jane Potter called the meeting to order at 10:01 a.m.

Item 2: ROLL CALL

Members Present: Jane Potter – Chair, Herbert Lazerow, Suzanne Weissman, Kathleen Neil, Philip Wise, and Sherri Lightner.

Staff Liaison: Melissa Garcia, Senior Planner, City Planning Department; Angela Dang, Junior Planner, City Planning Department.

Item 3: APPROVAL OF THE AGENDA

Chair Jane Potter recommended moving Item 12 before Item 7 to provide the public sufficient time for public comment. Item 8 was not heard due to the applicant requesting to move the presentation to January's meeting. Motion to approve agenda with recommended changes by Chair Jane Potter. Agenda approved 6-0-0.

Item 4: APPROVAL OF THE MINUTES from October 25, 2023. Minutes were approved with changes from Board Member Lazerow, 6-0-0.

Item 5: BOARD MEMBER COMMENT

Board Member Weissman emailed the project manager for the project at 8330 Prestwick Dr and noted that the project had not been reviewed by the Advisory Board. The project applicant indicated that he may come to present before the Board in January.

Item 6: STAFF LIAISON COMMENT AND NON-AGENDA PUBLIC COMMENT

No staff or liaison comment.

Item 12: **Presentation of the La Jolla Shores Business Association proposed parking plan (ACTION ITEM).**

Proposal for parking stall replacement for the La Jolla Shores Promenade. Darren Moore and Board Member Phillip Wise presented the proposal.

Public Comment:

- Public members opposing the parking proposal plan stated:
 - Concerns about safety
 - Concerns about the potential impact on traffic due to the ingress and egress of the proposed parking plan
 - Concerns about the parking plan's inconsistencies with low-density residential zoning
 - Lack of communication between the proposal's applicants with the community
 - Suggestion to move the proposed parking spaces to the west side of La Jolla Shores where commercial enterprises are
 - Concerns about what material will be used for the proposed parking
- Public members supporting the parking proposal plan stated:
 - Belief that public parking has not been disruptive
 - Support for the La Jolla Shores Promenade
 - Support for the community to work together to find a resolution
 - Belief that the Promenade would make the community safer
 - Belief that the Promenade would support the growth of the La Jolla Shores community

Board Comment included:

- Suggestion to make provided parking off-street
- Concern about the project scope drawing which makes it appear as if the project extends past the blocks that are currently closed
- Suggestion to address whether an EMRA permit has been obtained
- Suggestion that gravel be used for proposed parking instead of asphalt
- Suggestion to clarify that signage will not be required.
- Suggestion to create joint committee between residents and proponents of the proposal
- Suggestion to contact the City and Coastal Commission
- Suggestion that the proposal should be a major project and that the community should be notified
- Suggestion to clarify with DSD if a Process 3 is needed
- Parking lot is not a permitted use in the single-family, multi-family, or V zones, but is a permitted use in the Commercial Community zone
- Proponents of the project are proposing to create a parking lot in the single-family zone to satisfy the Promenade's required 26 spaces of replacement off-street parking
- The provision of replacement parking is not a Coastal Commission requirement; it is codified in the SDMC

Board Member Phillip Wise recused himself from the vote.

Board Motion: The LJSPDAB voted to continue the item until February's meeting due to complex issues, to allow the proponents to clarify with DSD if a Process 3 is needed, and to clarify with DSD if an encroachment agreement application is in conflict with the permit referenced by the proponents. Motion made by Board Member Neil. Motion approved 4-1-1.

Item 7: **PRJ 1080716 – 3001 Cranbrook Ct – 3001 Cranbrook Ct – (ACTION ITEM).**

Proposal to add 383 square feet to the 1st floor of the residence, 1200 square feet to the 2nd floor of the residence, and 362 square feet to the garage. The applicant is seeking a recommendation for approval of a Site Development Permit SDP from the Advisory Board. Matt Haine presented the project.

Public Comment:

There was no testimony provided by the public on this project.

Board Comment included:

- Acknowledgement that setbacks at the end of cul-de-sacs are difficult
- Concern regarding inconsistencies with measurements of the setbacks
- Concern that this will be the only two-story home in the neighborhood
- Concerns with the articulation of the second story

Board Motion: The LJSPDAB voted to recommend the project as presented. Motion made by Board Member Lightner and seconded by Board Member Neil. Motion approved 5-1-0.

Item 9: **PTS-0705977 (PRJ 1099348)– 2538 Ruelle Nicole - (ACTION ITEM).**

Proposal to construct a new 7,509 square foot single family residence with two stories and a 3,034 square foot basement with garage, 2,634 square feet of green roof, at-grade landscaping, and pool. Lot size is 17,545 square feet. Sebastian Mariscal presented the project.

Public Comment:

There was no testimony provided by the public on this project.

Board Comment:

There was no board comment provided on this project.

Board Motion: The LJSPDAB voted to recommend the project as presented. Motion made by Board Member Lightner and seconded by Chair Jane Potter. Board Member Lazerow was absent for the vote. Motion approved 5-0-0.

Item 10: **Land Development Code Update - (ACTION ITEM).**

Discussion and possible action related to the proposed 2023 Land Development Code Update, if the proposed language is released prior to the meeting

Public Comment:

There was no testimony provided by the public on this item.

Staff Comment:

Senior Planner Melissa Garcia notified the Board that there was no update regarding the LDC Update.

Board Comment:

No board comments were provided on this item.

Board Motion: No board motion was made on this item.

Item 11: **Position statement regarding the role of the La Jolla Shores Planned District Advisory Board (ACTION ITEM).**

Public Comment:

There was no testimony provided by the public on this item.

Board Comment:

There was no board comment provided on this item.

Board Motion:

Motion to approve the position statement as presented. Motion made by Board Member Wise and seconded by Board Member Lightner. Board Member Lazerow was absent for the vote. Motion approved 5-0-0.

Item 13: ADJOURNMENT

Next meeting: Wednesday, January 17, 2023. The meeting concluded at 12:30 p.m.



La Jolla Community Planning Association Trustee Meeting Agenda

LJCPA
P.O. Box 889, La Jolla CA
92038
<https://lajollacpa.org>
info@lajollacpa.org

January 4th, 2024
(Meeting Immediately Follows
"6pm Special Meeting")
The Bishop's School
Manchester Board Room
7607 La Jolla Blvd.
[Campus Map](#)

President: Harry Bubbins
1st VP: Diane Kane
2nd VP: Jodi Rudick
Secretary: Suzanne Baracchini
Treasurer: Larry Davidson

Regular monthly meetings: 1st Thursday each month.
Meeting will be recorded (audio only) for the purpose of taking minutes.
For attendance to count, sign-in must be in the member's name. Refer to projects or issues, not to applicants or opponents. For **Action** Items, Chair calls on the public, then Trustees, closes discussion upon consensus, and calls for motions. Trustees vote by acclamation, roll call, or show of hands. **The public is encouraged to participate in Committee/Board meetings before LJCPA discussion:**
PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm
DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm
PRC – La Jolla Shores Permit Review Committee, Chair Andy Fotsch, 3rd Thursday, 4:00 pm
T&T – Traffic & Transportation Board, Chair Brian Earley, 3rd Tuesday 4:00 pm
Join LJCPA, become a member, sign up here: <https://lajollacpa.org/membership-application/>
Follow LJCPA on Instagram https://www.instagram.com/la_jolla_community_planning/

Please note: Anyone making a comment or asking a question please state your name and use the microphone provided, otherwise your comments will not be recorded in the meeting minutes. Thank you for your cooperation.

Procedural

1. Call To Order (President)
2. Roll Call (Secretary)

LJCPA Trustees,[18]: Ahern, Baracchini, Brady, Bubbins, Courtney, Davidson, Fremdling, Hostomska, Kane, Kriedeman, Rasmussen, Rudick, Steck, Terry, Weiss, Weissman, Will, Williams

3. Approve Agenda **Action**
4. Approve [December 2023 Minutes](#) **Action**

Non-Agenda Public Comment

[Each speaker is allowed to speak up to two minutes about items not on the agenda. The Presiding Officer shall exercise discretion to determine whether such period of time should be reduced or extended based upon such factors as the length of the agenda or substance of the agenda items, the number of public commenters, the need for the Board to conclude its business as expeditiously as is practicable, among other factors.]

Consent Agenda

5. Consolidate, Accept, & Adopt Committee Judgments **Action**

Committee/Board recommendations to which no Trustee objects. Consent items are voted together, without presentation or debate. Upon approval the Committee/Board recommendations become LJCPA's. Anyone attending tonight's meeting may "pull" Consent items for full discussion and vote at a subsequent meeting. Please state your name and reason for pulling the item.

5.1. Street Closure La Jolla Open Aire Market

Request for street closure on Girard Ave in front of La Jolla Elementary School on Sundays. This is to extend the previous request through 2024 due to the LJES construction project

LJT&T 12/19/23:

MOTION: to Approve Request for Street Closure Extension for the La Jolla Open Aire Market on Girard Ave in front of La Jolla Elementary School on Sundays through the end of 2024 (Abrams/Podway).

PASSED Unanimously: 9-0-0

5.2. La Jolla Concours d'Élégance 2024

Request for Street Closure and No Parking on Portions of Coast Blvd between Cave St and Girard for the Annual Event scheduled for April 17-21 2024 (Laurel McFarlane, McFarlane Productions)

LJT&T 12/19/23:

MOTION: to Approve: La Jolla Concours d'Elegance 2024- Request for Street Closure and No Parking on Portions of Coast Blvd between Cave St and Girard for the 18th Annual Event scheduled for April 19-21 2024 (Abrams/Brady)

PASSED Unanimously 8-0-0

5.3. Hermanny House Project (1099348/Claudia Ubiarco)

Single Family Residence, 2538 Ruelle Nicole, La Jolla, CA 92037
Project Description: construction of a new 7,509 sq ft single-family residence of 2 stories and a 3,034 sq ft basement with a garage, 2,634 sq ft green roofs, 5,663 sq ft at grade landscaping, and a pool and reflecting pool on a 17,545 sq ft lot

LJPRC 12/21/23:

MOTION: Findings **CAN** be made (Edwards/Courtney)

PASSED [5-0-1](#)

5.4. Coppel Residence – Remodel & Addition + ADU (705977/Morton)

Single Family Residence + Junior ADU. 7856 La Jolla Vista Drive, La Jolla, CA 9203. Renovation of existing single-story single-family residence of 3,659 Square Feet (Main House) Addition and remodel to existing single-story single-family residence with 1,765 square feet to be demolished with an addition of 2,439 square feet. New detached ADU of 514 square feet. With a total addition and remodel area of 1,118 square feet. The proposed remodeled home to total 4,874 square feet. The existing lot is 65,034 Square Feet or 1.49 Acres

LJPRC 12/21/23:

MOTION: Findings **CAN** be made (Pierce/Shannon)

PASSED [5-0-1](#)

5.5. Herschel Ave EOT (Extension of Time) (1104075/David Smith, Andy Fotsch)

Extension of Time for approved CDP (Approval #2273248)

Coastal Development Permit and Tentative Map for the construction of four (4) residential unit condominium building for a total of 13,384 square feet of construction on a vacant lot located at 7760 Herschel Avenue. The 0.16-acre site is located in the LJP2-2 base zone of the Coastal (Non-Appealable) overlay zone of the La Jolla Community Planning Area. Council District 1. DPR Chair, Brian Will, recused himself for this item.

[DPR 12/12/23](#)

MOTION: to make Greg Jackson chair, (unanimous vote)

MOTION: to make final (Rasmussen/Shannon) - unanimous vote

MOTION: to approve EOT (Rasmussen/Shannon) - unanimous vote

Comments from Elected Officials, Agencies & Other Entities (Action Item)

- Council 1 (LaCava): Emily Lynch, erlynch@sanidiego.gov
- SD Mayor's Office (Gloria): Emily Piatanesi, 619-964-6637, epiatanesi@sanidiego.gov
- County 3 (Lawson-Remer): Celsey Taylor, 858-289-9195, Celsey.Taylor@sdcounty.ca.gov
- Assembly 77 (Boerner): Mariah Kallhoff, 760-434-7605, Mariah.Kallhoff@asm.ca.gov
- Senate 38 (Blakespear): Aurora Livingston 760-642-0809, aurora.livingston@sen.ca.gov
- SD International Airport, Ivonne Velazquez, 619-400-2453, ivelazqu@san.org
- SD Planning: Melissa Garcia, 619-236-6173, magarcia@sanidiego.gov
- UCSD Planning: Anu Delouri, 858-610-0376, adelouri@ucsd.edu

Local Project Reviews (Action as noted)

City/State/UCSD Project Reviews (Action as noted)

Policy Discussion, Reviews & Recommendations (Action as noted)

Officer Reports (Action as noted)

Presidents Report: [Harry Bubbins]:

6. Establish the LJCPA Trustee Election Committee 2024: ACTION ITEM

(current elections committee members - Janie Emerson (Chair), Donna Aprea, John Fremdling, Zuzana Hostomska, Suzanne Weissman)

As per the LJCPA Bylaws, Article V, Section 2:

The LJCPA Election Committee shall be established no later than the first week of January. The Elections committee shall solicit Members to become candidates. A candidate forum shall be advertised and held at the LJCPA February 1st, 2024 meeting. The Election Committee shall present to the Board of Trustees a complete list of interested candidates collected up to that point in time including verification that each interested individual is qualified to be a candidate. Click [HERE](#) to learn more about the LJCPA Trustee Election Process

Secretaries Report: [Suzanne Baracchini]

Committee Meeting Minutes:

Open Seats on DPR:

Voting Members:

Training Compliance:

Treasurer's Report: [Larry Davidson]

Beginning Balance, Dec 1st, 2023	\$1548.40
Total Income: (Donations)	72.00
Total Expenses:	(00.00)
Net Income-Expenditure:	(7200)
Ending Balance, Dec 31st, 2023:	\$1620.40

Reports from Standing, Ad Hoc and other Committees (information only)**Non-Agenda Trustee Comment (information only)**

Opportunity for Trustees to comment on matters not on the agenda, 2 minutes or less. No votes or action unless properly noticed at least 72 hours in advance.

Adjourn to next LJCPA meeting

Next Regular LJCPA Meeting - Thursday, February 1st , 2024, 6pm, The Bishops School.



[Visit the LJCPA Website](#)

[Sign Up for our Email Updates](#)

[Become a Member \(its Free!\)](#)

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Title / Number: Hermanny House / PRJ-1099348

State Clearinghouse No.: N/A

Project Location-Specific: East of the intersection of Ruelle Nicole and Ruelle Monte Carlo, San Diego, CA 92037 (APN: 346-831-4400)

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Coastal Development Permit (CDP) and Site Development Permit (SDP) for the construction of a new two-story 9,493 square-foot (sf) single-family residence with a 3,347 (sf) basement with a garage, pool, and associated site improvements (i.e. hardscape and landscaping) on a vacant, previously graded site with retaining walls, east of the intersection of Ruelle Nicole and Ruelle Monte Carlo. The 0.17 acre site is zoned LJSPD-SF, is located within the following overlays: Coastal (Non-appealable), Coastal Height Limitation, and Parking Impact; Beach and Coastal, and is designated Open Space Park within the La Jolla Community Plan area. LEGAL DESCRIPTION: Lot 20 Map 5831 La Jolla Shores Hts. Map No. 14620.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Claudia Ubiarco, 1060 Broadway C101A, Somerville, MA 02144, (617) 710-9373

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15303, New Construction or Conversion of Small Structures
- Statutory Exemptions:
- Other:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303, New Construction or Conversion of Small Structures. The project meets the criteria set forth in CEQA Section 15303, which consists of construction and location of limited numbers of new small facilities or structures. Although the site

is vacant, it is disturbed with previous grading and the construction of retaining walls. As such, the project would not result in significant environmental impacts. Since CEQA Section 15303 allows for the construction of a single-family residence in urbanized areas, utility extensions, of reasonable lengths to serve such construction, and accessory (appurtenant) structures, this exemption was deemed appropriate. In addition, the exceptions listed in CEQA Section 15300.2 would not apply. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.


Lead Agency Contact Person: Marlene Watanabe

Telephone: (619) 446-5129

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.



Signature/Title

9/10/24

Date

Check One:

- Signed by Lead Agency
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	FORM DS-318 October 2017
---	---	---

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: HERMANNY HOUSE **Project No. For City Use Only:** _____

Project Address: 2538 RUETTE NICOLE, LA JOLLA, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

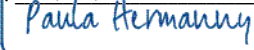
Property Owner

Name of Individual: PAULA HERMANNY Owner Tenant/Lessee Successor Agency

Street Address: 5660 LA JOLLA HERMOSA AVENUE

City: SAN DIEGO State: CA Zip: 92037

Phone No.: +1 (619) 518-8197 Fax No.: _____ Email: PAULA@VIXSWIMWEAR.COM

Signature:  Date: 4/25/2023

Additional pages Attached: Yes No

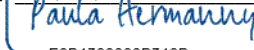
Applicant

Name of Individual: PAULA HERMANNY Owner Tenant/Lessee Successor Agency

Street Address: 5660 LA JOLLA HERMOSA AVENUE

City: SAN DIEGO State: CA Zip: 92037

Phone No.: +1 (619) 518-8197 Fax No.: _____ Email: PAULA@VIXSWIMWEAR.COM

Signature:  Date: 4/25/2023

Additional pages Attached: Yes No


Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

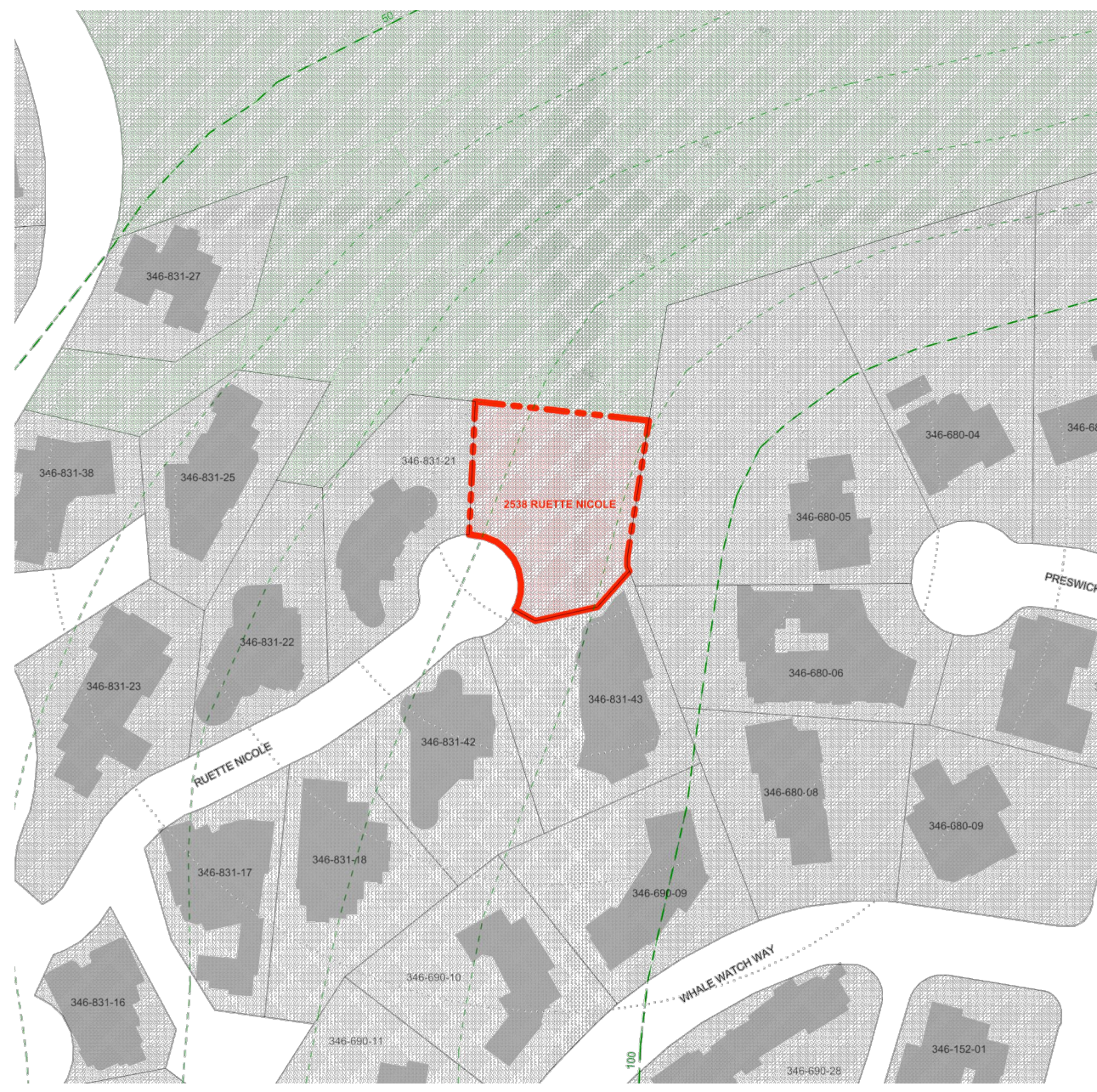
City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature:  Date: _____

Additional pages Attached: Yes No

VICINITY MAP



CONTACTS

OWNER:
PAULA HERMANNY
5660 LA JOLLA HERMOSA AVE
LA JOLLA, CA 92037

DESIGNER AND PREPARED BY:
SEBASTIAN MARISCAL STUDIO
T: 617.710.9373
E: CLAU@SEBASTIANMARISCAL.COM

STRUCTURAL:
MOBAYED CONSULTING GROUP
T: 858.586.7855

MEP:
H+W ENGINEERING INC.
T: 619.659.8234

CIVIL:
K&S ENGINEERING INC.
T: 619.296.5565

LANDSCAPE:
CLARKE ENVIRONMENTAL DESIGN INC.
T: 760.716.3100

GEOTECH:
CHRISTIAN WHEELER ENGINEERING
T: 619.550.1700

ARCHAEOLOGY & BIOLOGY:
BFS&A ENVIRONMENTAL SERVICES
T: 858.484.0915

GC:
RGB GROUP INC.
T: 619.293.3377

AREA CHART

	HABITABLE	GARAGE	GREEN ROOF	AT GRADE LANDSCAPE
BASEMENT (SQ FT)	0	3,672	0	3,569
GROUND LEVEL (SQ FT)	3,522	0	1,944	3,249
SECOND LEVEL (SQ FT)	2,771	0	1,302	1,930
TOTAL (SQ FT)	6,293 SF	3,672 SF	3,246 SF	8,748 SF

LANDSCAPE LOT COVERAGE AREA, 30% REQUIREMENT (SEE SHEET L5): 8,748 SQ FT, 49.9%

	INCLUDED IN FAR	NOT INCLUDED IN FAR
BASEMENT (SQ FT)	1,998	1,674
GROUND LEVEL (SQ FT)	3,522	0
SECOND LEVEL (SQ FT)	2,771	0
DECKS - PORTICOS	506	1,500
TOTAL (SQ FT)	8,797 SF	3,174 SF
LOT AREA FAR	17,545 SQ FT	0.50

SCOPE OF WORK

PORTION OF EXISTING RETAINING WALLS TO REMAIN ABANDONED AND BURIED (SEE D1.00 DEMO PLAN)

PORTION OF EXISTING RETAINING WALLS (SINCE 1992) TO BE DEMOLISHED (SEE D1.00 DEMO PLAN)

CONSTRUCTION OF A NEW 8,797 SQ FT SINGLE-FAMILY RESIDENCE OF 2 STORIES AND A BASEMENT WITH A GARAGE, GREEN ROOFS AND LANDSCAPING.

RUETTE NICOLE IS A PRIVATE DRIVE IN THE MONTORO HOA GATED COMMUNITY.

PROPOSED STREET IMPROVEMENTS INCLUDE A DRIVEWAY AND CURB CUT, STEPS WITH RAMPED PEDESTRIAN ENTRANCE PATH, LANDSCAPING AROUND EXISTING CURB FRONTING THE LOT.

PROVIDE ACOUSTIC INSULATION AT ABS WASTE AND STORM WATER PIPES TO AVOID NOISE IN THE INTERIOR OF THE HOUSE

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

SEBASTIAN MARISCAL STUDIO
T: 617.710.9373
clau@sebastianmariscal.com

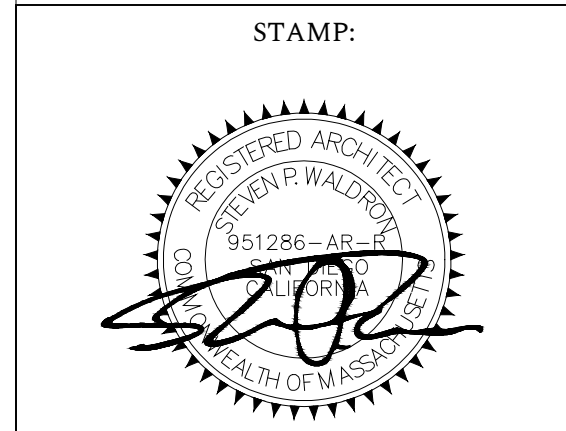
STRUCTURAL ENGINEER
MOBAYED CONSULTING GROUP
7940 SILVERTON AVE #201
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SAN DIEGO, CA 92108
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LANDSCAPE ARCHITECT
S.R. CLARKE LANDSCAPE
110 COPPERWOOD WAY #P
OCEANSIDE, CA 92058
T: 7607163100

NOTE:



REVISION		
REV	DATE	DESCRIPTION

TITLE SHEET

PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/09/24 SCALE: NTS

SHEET:
T1.00

SYMBOLS AND LEGEND

PLAN SYMBOL LEGEND

- # ROOM NUMBER
- D DOOR
- G GLAZING SYSTEM
- W WALL ASSEMBLY
- F# FLOOR ASSEMBLY
- C# CEILING ASSEMBLY
- R# ROOF ASSEMBLY
- CAB FULL HEIGHT CABINET
- CTR COUNTER HEIGHT CABINET
- STEP MARKER

ABBREVIATIONS

- A.C. ASBESTOS CONCRETE
- B.O. BOTTOM OF
- B.O.W. BOTTOM OF WALL
- CAB CABINET
- CL CENTERLINE
- CONC CONCRETE
- CTR COUNTER
- (E) EXISTING
- EM ELECTRIC METER
- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- FH FIRE HYDRANT
- FL FLOW LINE
- FT FEET
- GM GAS METER
- LF LINEAR FEET
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- (N) NEW
- PL PROPERTY LINE
- PROW PUBLIC RIGHT OF WAY
- PV PHOTOVOLTAIC
- RM ROOM
- ROW RIGHT OF WAY
- S SEWER
- SDGE SAN DIEGO GAS AND ELECTRIC
- SF SQUARE FEET
- SMH SEWER MANHOLE
- SQ FT SQUARE FEET
- T.O. TOP OF
- T.O.R. TOP OF ROOF
- T.O.S. TOP OF SLAB
- T.O.W. TOP OF WALL
- TC TOP OF CURB
- V.C. VITRIFIED CLAY
- W WATER MAIN
- WM WATER METER

SHEET INDEX

- T1.00 TITLE SHEET
- C1.00 LAND SURVEY
- C2.00 NEIGHBORHOOD SURVEY
- C2.10 NEIGHBORHOOD MATERIALS SURVEY

- ARCHITECTURAL**
- A0.00 SITE PLAN / BRUSH MANAGEMENT
 - A1.00 BASEMENT FLOOR PLAN
 - A1.10 FIRST FLOOR PLAN
 - A1.20 SECOND FLOOR PLAN
 - A1.30 ROOF PLAN
 - A2.10 BUILDING ELEVATIONS
 - A2.20 BUILDING ELEVATIONS
 - A3.00 BUILDING SECTIONS
 - A3.10 BUILDING SECTIONS
 - A3.20 BUILDING SECTIONS
 - A3.30 BUILDING SECTIONS

- LANDSCAPE**
- L1 COVER SHEET
 - L2 IRRIGATION SPECIFICATIONS
 - L3 PLANTING SPECIFICATIONS
 - L4 PRELIM LANDSCAPE PLAN - BASEMENT
 - L5 PRELIM LANDSCAPE PLAN - MAIN FLOOR
 - L6 PRELIM LANDSCAPE PLAN - SECOND FLOOR
 - L7 PLANT IMAGE REFERENCE
 - L8 PLANT IMAGE REFERENCE

- CIVIL**
- C1 BASEMENT AND STREET ELEVATION PLAN
 - C2 FIRST FLOOR ELEVATION PLAN
 - C3 EROSION CONTROL PLAN
 - C4 EROSION CONTROL NOTES AND DETAILS
 - C5 SLOPE ANALYSIS
 - C6 CIVIL REPORT
 - C7 CIVIL REPORT
 - C8 CIVIL REPORT
 - D1 EXISTING HYDROLOGY MAP
 - D2 PROPOSED HYDROLOGY MAP

PROJECT DATA

LOT AREA:	17,545 SQ FT
GROSS FLOOR AREA:	8,797 SQ FT
COVERAGE DATA:	LOT COVERAGE ALLOWED: MAX 60%, 10,527 SQ FT LOT COVERAGE PROPOSED: 50.1%, 8,797 SQ FT
DENSITY & FAR:	SINGLE FAMILY DWELLING FAR ALLOWED: NOT SPECIFIED PER LJSFD FAR NEIGHBOR RANGE: 0.08 - 0.71 FAR PROPOSED: 0.50
YARD/SETBACK:	REQUIRED: NOT SPECIFIED PER LJSFD MIN. 4 FT FOR OPENINGS FRONT NEIGHBOR RANGE: 0 - 40 FT SIDE NEIGHBOR RANGE: 0 - 51 FT REAR NEIGHBOR RANGE: 2 - 115 FT FRONT PROPOSED: 4'-2" SIDE PROPOSED: 17' - 2 1/2" REAR PROPOSED: 12'-0" (EXIST. DRAINAGE EASEMENT)
PARKING REQUIRED:	MIN. OFF-STREET: 2 SPACES / 4 BEDROOMS 1 SPACE / BEDROOM FOR 5+ BEDROOMS 2 SPACES FOR < 20' DRIVEWAY LENGTH 4 SPACES MIN. ON-STREET TOTAL MIN. REQUIRED
PARKING PROPOSED:	BEDROOMS: 4 OFF-STREET PARKING: 3 ON-STREET PARKING: 2 TOTAL PROPOSED PARKING: 5 SPACES
BUILDING HEIGHT:	BLDG HT ALLOWED: 30' MAX BLDG HT PROPOSED: 29' - 11 1/4" PER 30' ENVELOPE FROM (E) GRADE (SEE SECTION 4/A3.10)
BUILDING HEIGHT:	(E) GRADE LOWEST ELEV. POINT: 256.20' (E) GRADE HIGHEST ELEV. POINT: 289.20' OVERALL BLDG HT PROPOSED: 28' - 2 1/4" PER BLDG 5-4 BULLETIN OVERALL HEIGHT ALLOWED: 256.20' + 10' + 30' BLDG HT + 286.20' OVERALL HEIGHT PROPOSED: 256.20' + 10' + 28.18' BLDG HT + 294.38' (SEE NORTH SIDE ELEVATION 4/A2.10 & SECTION 4/A3.10)
STORIES:	TWO STORIES + BASEMENT

*NOTE: NEIGHBORHOOD SURVEY TAKEN WITHIN 500' RADIUS INFORMATION TAKEN FROM SCOUTREED SETBACK MEASUREMENTS APPROXIMATED FROM SAN DIEGO COUNTY SRS (SEE NEIGHBORHOOD SURVEY)

BRUSH MANAGEMENT ALTERNATE COMPLIANCE

WALLS ON NORTH, EAST, & WEST SIDE OF BUILDING ABUTTING VEGETATION AREAS WILL BE 1-HOUR FIRE-RATED WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE/DUAL TEMPERED FIRE RATED LAMINATED GLASS.

DEVELOPMENT SUMMARY

PROJECT NAME:	HERMANNY HOUSE
STREET ADDRESS:	2538 RUETTE NICOLE LA JOLLA, CA 92037
ASSESSORS PARCEL NUMBER:	346-831-44-00
LEGAL DESCRIPTION:	MAP 8447 PM 12357 PAR 3
TYPE OF CONSTRUCTION:	V NON RATED
SPRINKLERED:	YES
CBC OCCUPANCY:	R-3 SINGLE-FAMILY RESIDENCE
ZONING DESIGNATION:	LJSPD-SF COASTAL OVERLAY ZONE COASTAL HEIGHT LIMIT OVERLAY ZONE PARKING IMPACT OVERLAY ZONE: COASTAL CAMPUS
PLANNED DISTRICT:	LA JOLLA
EXISTING USE:	EMPTY LOT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
YEAR BUILT (WALLS):	RETAINING WALLS BUILT IN 1978
EXISTING UNITS:	NONE
GEOLOGIC HAZARD CATEGORY:	26
REQUIRED PERMITS / APPROVALS:	MONTORO LA JOLLA HOA APPROVAL SITE DEVELOPMENT PERMIT COASTAL DEVELOPMENT PERMIT LA JOLLA SHORES PLANNED DISTRICT PERMIT
PROJECT NUMBER:	PTS-0700973
PRELIM REVIEW:	

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

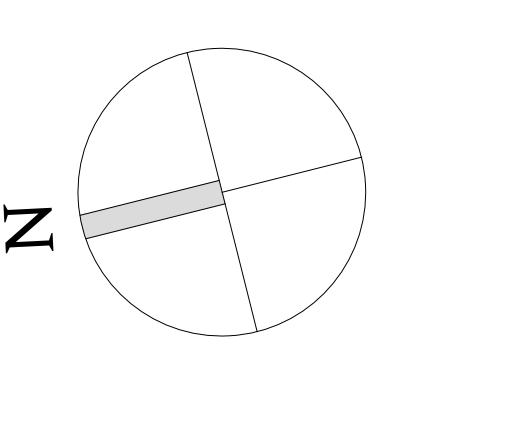
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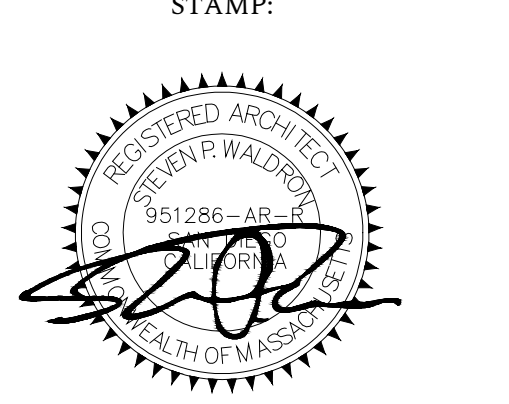
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NOTE:

- RM ROOM TAG
- SM STEP MARKER
- AM ACCESS MARKER
- EL ELEVATION
- TR TAG
- RA RETURN / AIR SUPPLY
- FA FLOOR - AIR SUPPLY
- CA CEILING RETURN / AIR SUPPLY
- EA EXHAUST FAN

- WALLS - SEE ARCH WALL ASSEMBLIES
- W1 CLIP EXPOSED COLOR CONCRETE WALL
- W2 CLIP EXPOSED CONCRETE WALL WITH TRAVERTINE
- W3 ROUGH TRAVERTINE
- W4 CLIP EXPOSED CONCRETE WALL WITH TRAVERTINE
- W5 CONCRETE RETAINING WALL WITH TRAVERTINE
- W6 CONCRETE RETAINING WALL WITH TRAVERTINE
- W7 TRAVERTINE BOTH SIDES
- W8 TRAVERTINE BOTH SIDES
- W9 FLYWOOD BOTH SIDES BRACKING
- FLOORING - SEE ARCH FLOOR ASSEMBLIES
- F1 POLISHED CONCRETE FLOOR
- F2 TRAVERTINE
- F3 TRAVERTINE RAISED FLOOR
- F4 TRAVERTINE UNDER FLOOR HEATING
- F5 WOOD FLOOR ISLAND ON GRADE
- F6 WOOD FLOOR
- F7 BASEBOARD
- F8 WOOD FLOOR
- F9 FLOOR TRD
- F10 PLASTER POOL ISLAND ON GRADE
- F11 PLASTER REFLECTING POOL
- CEILING - SEE ARCH CEILING ASSEMBLIES
- C1 HDU FORMWORK
- C2 SOFFIT CYPRESS BOARD
- C3 WOOD TRD
- ROOFS - SEE ARCH ROOF ASSEMBLIES
- R1 EXPOSED CONCRETE ROOF
- R2 INSULATED ROOF PV PANELS
- R3 GREEN ROOF
- R4 TRAVERTINE ON GREEN ROOF
- WINDOWS - SEE ARCH WINDOW ASSEMBLIES
- W1 WINDOW
- W2 SLIDER GLAZING SYSTEM
- W3 DOOR AND FIXED GLAZING SYSTEM
- W4 SWING DOORS MIXED
- W5 FIXED GLASS
- W6 INTERIOR FIXED GLASS
- W7 SKYLIGHT
- DOORS - SEE ARCH DOOR SCHEDULE
- D1 INT. SWING DOOR
- D2 INT. SLIDING DOORS
- D3 CUSTOM SLIDING DOORS
- D4 GARAGE FOLDING DOORS
- D5 METAL DOORS
- D6 FIXED WOOD SCREEN
- D7 SLIDING WOOD SCREEN
- APPL - SEE ARCH APPLIANCES SCHEDULE
- COMP - SEE ARCH MECHANICAL SCHEDULE



REVISION		
REV	DATE	DESCRIPTION

SITE PLAN/ BRUSH MANAGEMENT

PROJECT NUMBER:
DRAWING DATE: 05/28/24 SCALE: 3/16" = 1'-0"
SHEET: A0.00



BRUSH MANAGEMENT COMPLIANCE
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BRUSH MANAGEMENT LEGEND
BRUSH MANAGEMENT ZONE 1 ALL PLANTS SELECTED FOR THIS AREA CONFORM TO ZONE 1 REQUIREMENTS PER SDMG 142412 SEE BRUSH MANAGEMENT NOTES BELOW AND SEE L1 FOR PLANTING LEGEND
BRUSH MANAGEMENT ZONE 2: DUE TO SITE LIMITATIONS THIS PROJECT DOES NOT HAVE A BRUSH MANAGEMENT ZONE 2, SEE ALTERNATE COMPLIANCE NOTE THIS SHEET.

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

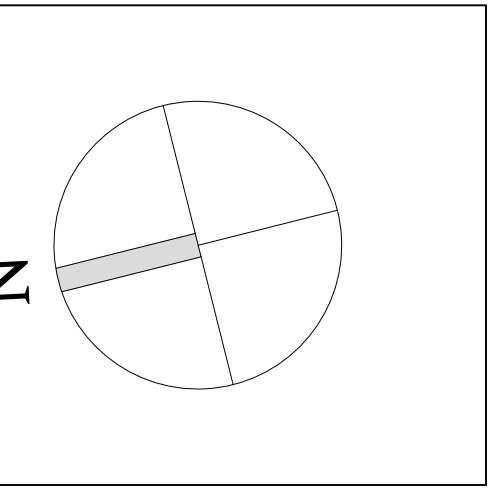
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NOTE:

RM	ROOM TAG	R.A.	RETURN / AIR SUPPLY
SM	STEP MARKER	F.A.	FLOOR-AIR SUPPLY
AM	ACCESS MARKER	SA	CEILING RETURN / AIR SUPPLY
EM	ELEVATION TAG	EA	EXHAUST FAN

W1	WALLS SEE ARCH WALL ASSEMBLIES	F1	FOLDED CONCRETE FLOOR
W2	C.I.P. EXPOSED COLOR CONCRETE WALL	F2	TRAVERTINE
W3	ROUGH TRAVERTINE	F3	TRAVERTINE UNDER FLOOR HEATING
W4	ROUGH TRAVERTINE	F4	WOOD FLOOR ISLAB ON GRADE
W5	CONCRETE RETAINING WALL - TRAVERTINE	F5	WOOD FLOOR
W6	CONCRETE RETAINING WALL - TRAVERTINE	F6	PLASTER POOL ISLAB ON GRADE
W7	PLYWOOD BOTH SIDES BRACKING	F7	PLASTER REFLECTING POOL
W8	PLYWOOD BOTH SIDES BRACKING	F8	GREEN ROOF
W9	PLYWOOD BOTH SIDES BRACKING	F9	GREEN ROOF
W10	PLYWOOD BOTH SIDES BRACKING	F10	GREEN ROOF
W11	PLYWOOD BOTH SIDES BRACKING	F11	GREEN ROOF

REGISTERED ARCHITECT
SEBASTIAN MARISCAL
NO. 951266 - AR
STATE OF CALIFORNIA

REVISION

REV	DATE	DESCRIPTION

BASEMENT PLAN

PROJECT NUMBER: HERMANNY

DRAWING DATE: 05/2024 SCALE: 3/16" = 1'-0"

SHEET: **A1.00**



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WALLS ON NORTH, EAST & WEST SIDE OF BUILDING ABUTTING VEGETATION AREAS WILL BE BUILT OF CONCRETE WALLS OR 1 HOUR FIRE RATED WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZED DUAL FIRE RATED TEMPERED OR LAMINATED GLASS.

CONSTRUCTION TYPE

[Pattern]	EXISTING RETAINING WALL TO REMAIN
[Pattern]	CONCRETE WALL (WATERPROOFING AT RETAINING WALLS)
[Pattern]	WOOD FRAMING WALL
[Pattern]	SOIL
[Pattern]	EASEMENT
[Pattern]	LOT COVERAGE

WALLS ON NORTH, EAST, & WEST SIDE OF BUILDING ABUTTING VEGETATION AREAS WILL BE 1-HOUR FIRE-RATED WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZED DUAL FIRE RATED LAMINATED GLASS.

PROGRAM KEY

001	CAR LOBBY
002	SURF SHOP
003	POOL BATH
004	UTILITY
005	TRASH

HERMANNY HOUSE

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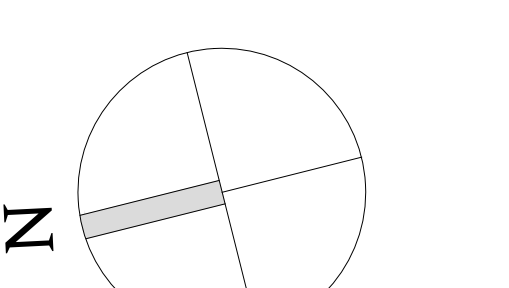
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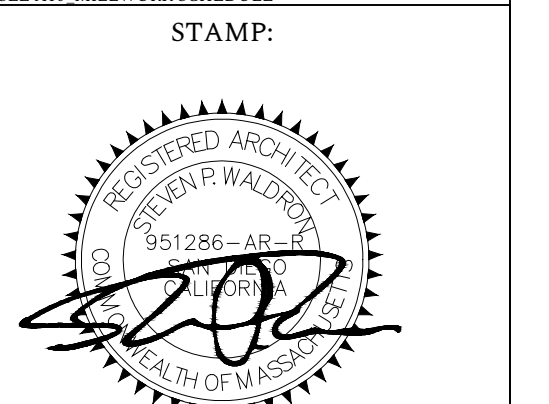
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NOTE:
RM ROOM TAG RA RETURN / AIR SUPPLY
SM STEP MARKER SA FLOOR-AIR SUPPLY
AM ACCESS MARKER SA CEILING RETURN / AIR SUPPLY
+0'-0" TOP ELEVATION RA CEILING RETURN / AIR SUPPLY
-0'-0" TOP ELEVATION RA EXHAUST FAN

WALLS SEE ARCH WALL ASSEMBLIES
W1 CLIP EXPOSED COLOR CONCRETE WALL
W2 EXPOSED CONCRETE WALL TRAVERTINE
W3 ROUGH TRAVERTINE
W4 CLIP EXPOSED CONCRETE RETAINING WALL
W5 CONCRETE RETAINING WALL TRAVERTINE
W6 CONCRETE RETAINING WALL WOOD
W7 EXPOSED CONCRETE BOARD
W8 EXPOSED CONCRETE BOARD TRAVERTINE
W9 TRAVERTINE BOTH SIDES
W10 FLYWOOD BOTH SIDES BRACKING
ROOFERS SEE ARCH ROOF ASSEMBLIES
R1 POLISHED CONCRETE FLOOR
R2 TRAVERTINE SLAB ON GRADE
R3 TRAVERTINE
R4 TRAVERTINE RAISED FLOOR
R5 TRAVERTINE UNDER FLOOR HEATING
R6 WOOD FLOOR SLAB ON GRADE
R7 WOOD FLOOR
R8 BASKET WOOD FLOOR
R9 FLOOR TRD
R10 PLASTER REFLECTING POOL
CEILING SEE ARCH ROOF ASSEMBLIES
C1 HDU FORMWORK
C2 SOFFIT COPOLYM BOARD
C3 WOOD TRD
WINDOWS SEE ARCH ROOF ASSEMBLIES
W1 EXPOSED CONCRETE ROOF
W2 INSULATED ROOF BY PANELS
W3 GREEN ROOF
W4 TRAVERTINE ON GREEN ROOF
DOORS SEE ARCH DOOR SCHEDULE
D1 INT. SWING DOOR
D2 INT. SLIDING DOORS
D3 CUSTOM SLIDING DOORS
D4 GARAGE FOLDING DOORS
D5 METAL DOORS
S1 FIXED WOOD SCREEN
S2 SLIDING WOOD SCREEN
APPLS SEE ARCH APPLIANCES SCHEDULE
COMP SEE ARCH MECHANICAL SCHEDULE



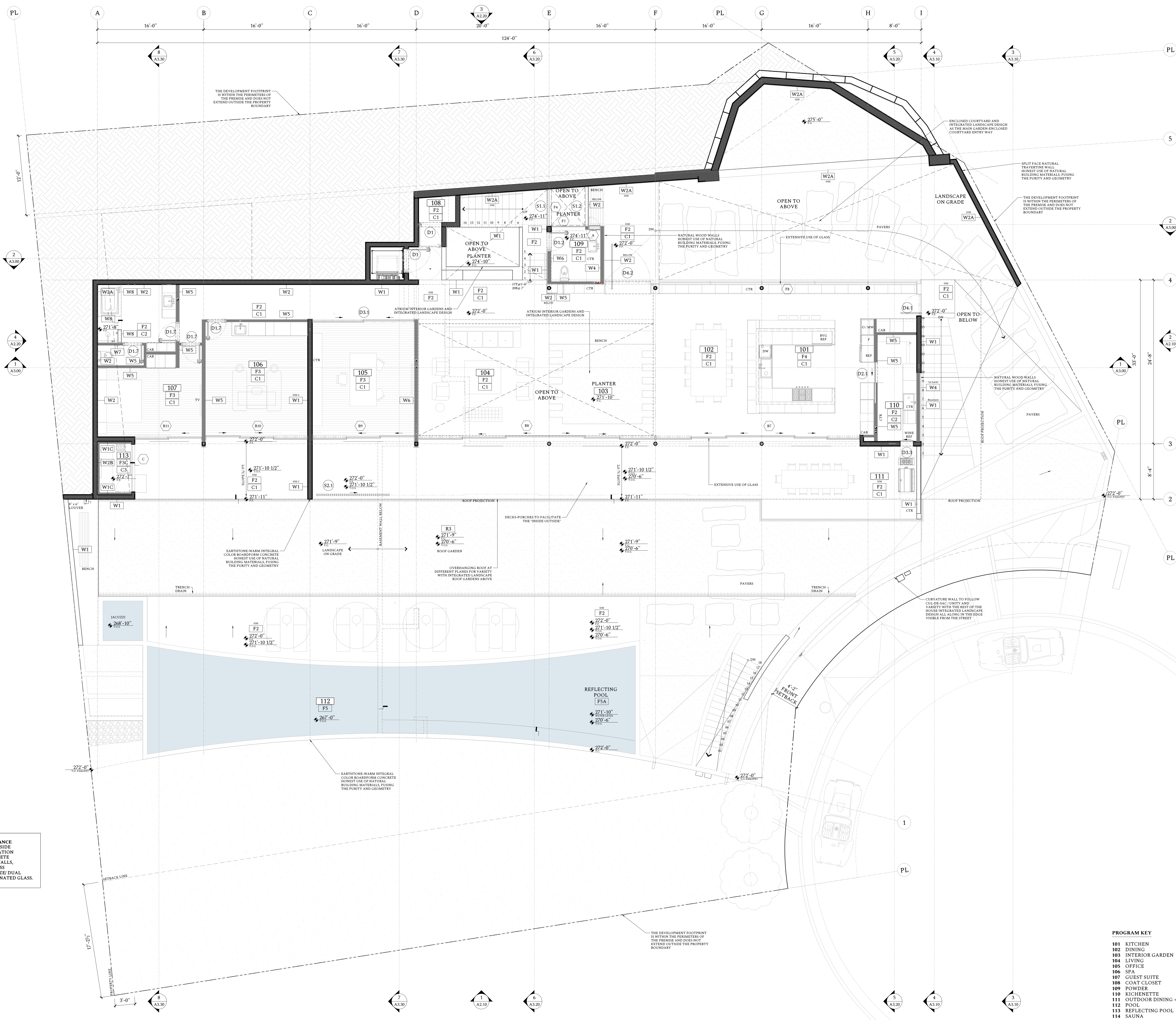
REVISION		
REV	DATE	DESCRIPTION

FIRST FLOOR PLAN

PROJECT NUMBER:
HERMANNY

DRAWING DATE: 05/28/24 SCALE: 3/16" = 1'-0"

SHEET:
A1.10



BRUSH MANAGEMENT COMPLIANCE
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PROGRAM KEY
101 KITCHEN
102 DINING
103 INTERIOR GARDEN
104 LIVING
105 OFFICE
106 SPA
107 GUEST SUITE
108 COAT CLOSET
109 POWDER
110 KITCHENETTE
111 OUTDOOR DINING + BBQ
112 POOL
113 REFLECTING POOL
114 SAUNA

HERMANNY HOUSE

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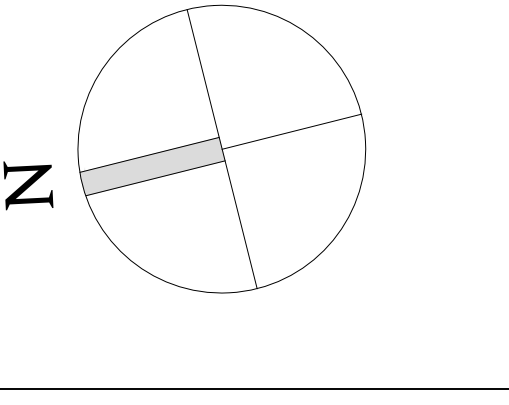
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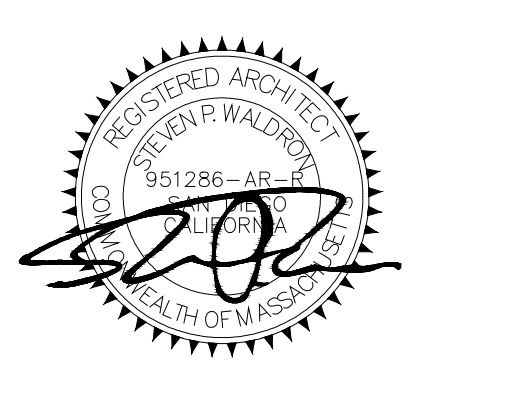


NOTE:

- RM ROOM TAG
- SM STEP MARKER
- AM ACCESS MARKER
- EA ELEVATION
- TR TOPOGRAPHY
- RA RETURN / AIR SUPPLY
- FA FLOOR - AIR SUPPLY
- CA CEILING RETURN / AIR SUPPLY
- EA EXHAUST FAN

WALLS: SEE AS-BUILT ASSEMBLIES
W1 C.I.P. EXPOSED COLOR CONCRETE WALL
W2 EXPOSED COLOR CONCRETE WALL
W3 ROUGH TRAVERTINE
W4 C.I.P. EXPOSED CONCRETE RETAINING WALL
W5 CONCRETE RETAINING WALL - TRAVERTINE
W6 CONCRETE RETAINING WALL - WOOD
W7 EXPOSED CONCRETE
W8 TRAVERTINE BOTH SIDES
W9 FLYWOOD BOTH SIDES BRACKING
ROOFING: SEE AS-BUILT ROOF ASSEMBLIES
F1 POLISHED CONCRETE FLOOR
F2 TRAVERTINE SLAB ON GRADE
F3 TRAVERTINE
F4 TRAVERTINE RAISED FLOOR
F5 TRAVERTINE UNDER FLOOR HEATING
F6 WOOD FLOOR SLAB ON GRADE
F7 WOOD FLOOR
F8 BASED WOOD FLOOR
F9 FLOOR TRD
F10 PLASTER POOL SLAB ON GRADE
F11 PLASTER REFLECTING POOL
GLAZING: SEE AS-BUILT ROOF ASSEMBLIES
G1 INSULATED ROOF BY PANELS
G2 GREEN ROOF
G3 TRAVERTINE ON GREEN ROOF
WINDOWS: SEE AS-BUILT GLAZING SCHEDULE
WINDOOR: SEE AS-BUILT GLAZING SCHEDULE
A SLIDER GLAZING SYSTEM
B DOOR AND FIXED GLAZING SYSTEM
C SWING DOORS MIXED
D FIXED GLASS
E INTERIOR FIXED GLASS
F SHELTER
DOORS: SEE AS-BUILT DOOR SCHEDULE
D1 INT. SWING DOOR
D2 INT. SLIDING DOORS
D3 CUSTOM SLIDING DOORS
D4 GARAGE FOLDING DOORS
D5 METAL DOORS
S1 FIXED WOOD SCREEN
S2 SLIDING WOOD SCREEN
APPL: SEE AS-BUILT APPLIANCES SCHEDULE
CAMP: SEE AS-BUILT CAMP SCHEDULE

STAMP:



REVISION

REV	DATE	DESCRIPTION

SECOND FLOOR PLAN

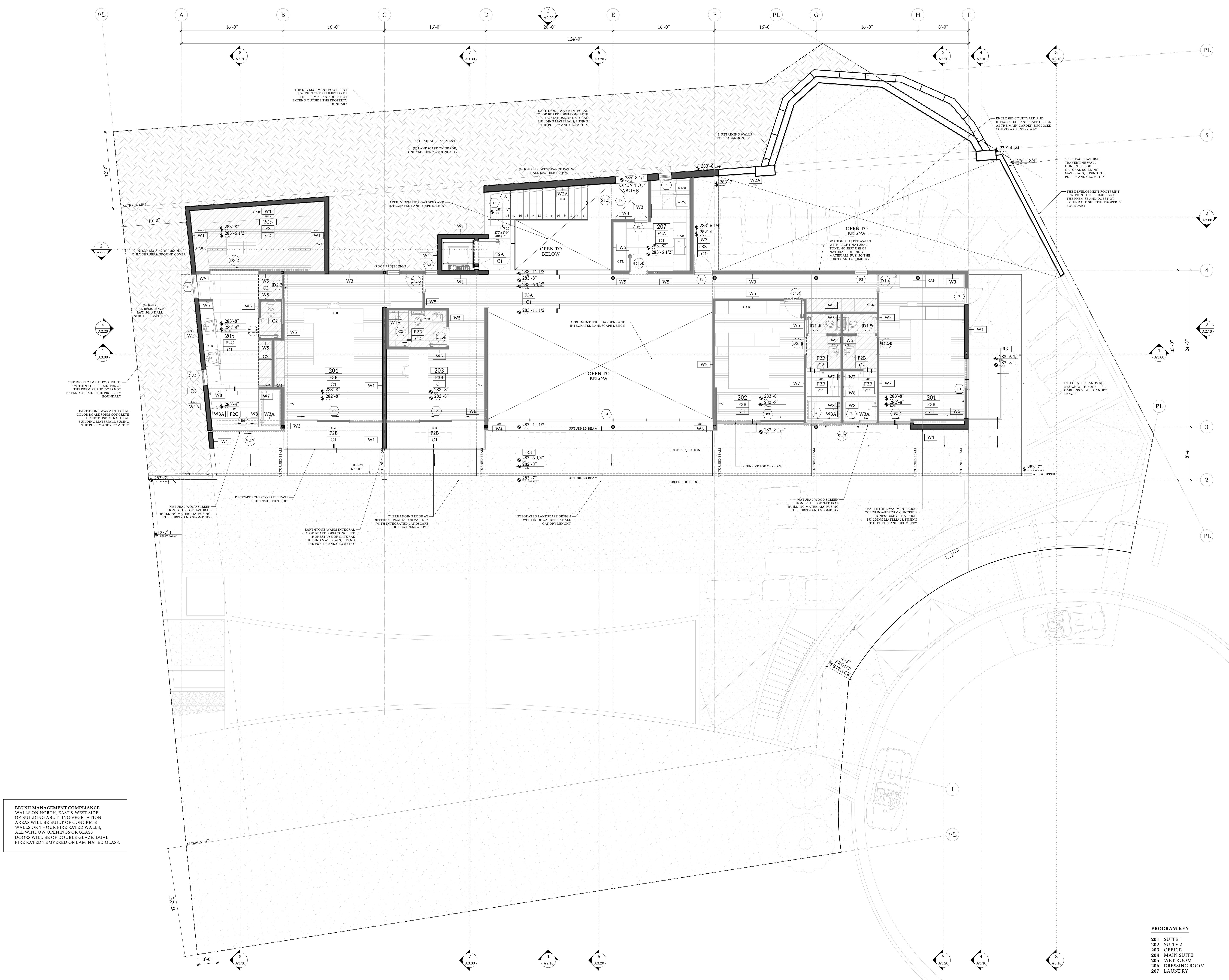
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 05/28/24 SCALE: 3/16" = 1'-0"

SHEET:
A1.20

PROGRAM KEY

- 201 SUITE 1
- 202 SUITE 2
- 203 OFFICE
- 204 MAIN SUITE
- 205 WET ROOM
- 206 DRESSING ROOM
- 207 LAUNDRY



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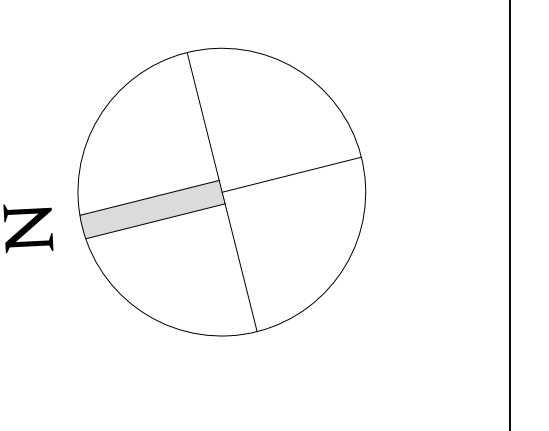
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T: 760.716.3100



NOTE:

- RM ROOM TAG
- SM STEP MARKER
- AM ACCESS MARKER
- EL ELEVATION
- TRM TRIM
- RA RETURN / AIR SUPPLY
- FA FLOOR - AIR SUPPLY
- CA CEILING RETURN / AIR SUPPLY
- EA EXHAUST FAN

WALLS - SEE ALSO WALL ASSEMBLIES

- W1 CLIP EXPOSED COLOR CONCRETE WALL
- W2 CLIP EXPOSED CONCRETE WALL TRAVERTINE
- W3 ROUGH TRAVERTINE
- W4 CLIP EXPOSED CONCRETE RETAINING WALL
- W5 CONCRETE RETAINING WALL TRAVERTINE
- W6 CONCRETE RETAINING WALL WOOD
- W7 EXH. TRAVERTINE / TRAVERTINE
- W8 EXH. TRAVERTINE / TRAVERTINE
- W9 EXH. TRAVERTINE / TRAVERTINE
- W10 EXH. TRAVERTINE / TRAVERTINE
- W11 EXH. TRAVERTINE / TRAVERTINE
- W12 EXH. TRAVERTINE / TRAVERTINE
- W13 EXH. TRAVERTINE / TRAVERTINE
- W14 EXH. TRAVERTINE / TRAVERTINE
- W15 EXH. TRAVERTINE / TRAVERTINE
- W16 EXH. TRAVERTINE / TRAVERTINE
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- W92 EXH. TRAVERTINE / TRAVERTINE
- W93 EXH. TRAVERTINE / TRAVERTINE
- W94 EXH. TRAVERTINE / TRAVERTINE
- W95 EXH. TRAVERTINE / TRAVERTINE
- W96 EXH. TRAVERTINE / TRAVERTINE
- W97 EXH. TRAVERTINE / TRAVERTINE
- W98 EXH. TRAVERTINE / TRAVERTINE
- W99 EXH. TRAVERTINE / TRAVERTINE
- W100 EXH. TRAVERTINE / TRAVERTINE

ROOF PLAN

PROJECT NUMBER:
HERMANNY

DRAWING DATE: 05/28/24 SCALE: 3/16" = 1'-0"

SHEET:
A1.30

REV	DATE	DESCRIPTION

BRUSH MANAGEMENT COMPLIANCE

WALLS ON NORTH, EAST & WEST SIDE OF BUILDING ABUTTING VEGETATION AREAS WILL BE BUILT OF CONCRETE WALLS OR 1 HOUR FIRE RATED WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE/ DUAL FIRE RATED TEMPERED OR LAMINATED GLASS.

BRUSH MANAGEMENT LEGEND

BRUSH MANAGEMENT ZONE 1
ALL PLANTS SELECTED FOR THIS AREA CONFORM TO ZONE 1 REQUIREMENTS PER SDMG 142412 SEE BRUSH MANAGEMENT NOTES BELOW AND SEE L1 FOR PLANTING LEGEND

BRUSH MANAGEMENT ZONE 2:
DUE TO SITE LIMITATIONS THIS PROJECT DOES NOT HAVE A BRUSH MANAGEMENT ZONE 2, SEE ALTERNATE COMPLIANCE NOTE THIS SHEET.



HERMANNY HOUSE

2538 RUETTE NICOLE
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LANDSCAPE ARCHITECT
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NOTE:
RM ROOM TAG RA RETURN / AIR SUPPLY
SM STEP MARKER EA FLOOR - AIR SUPPLY
AM ACCESS MARKER CA CEILING RETURN / AIR SUPPLY
EL ELEVATION TAG EA AIR SUPPLY
EM EXHAUST FAN
W WALLS SEE A6.20 WALL ASSEMBLIES
W1 1/2" EXPOSED COLOR CONCRETE WALL
W1A EXPOSED CONCRETE WALL / TRAVERTINE
W1B ROUGH TRAVERTINE
W1S EXPOSED COLOR CONCRETE WALL/WOOD
W2 1/2" EXPOSED CONCRETE RETAINING WALL
W2A CONCRETE RETAINING WALL / TRAVERTINE
W2S CONCRETE RETAINING WALL/WOOD
W3 EXT PLASTER / GYPSUM BOARD
W3A EXT PLASTER / TRAVERTINE
W4 EXT WOOD / GYPSUM BOARD
W4A GYPSUM BOARD / TRAVERTINE
W5 GYPSUM BOARD / WOOD
W6 TRAVERTINE BOTH SIDES
W7 TRAVERTINE BOTH SIDES
W8 TRAVERTINE BOTH SIDES
W9 PLYWOOD BOTH SIDES BACKING
F FLOORS SEE A6.20 FLOOR ASSEMBLIES
F1 POLISHED CONCRETE FLOOR
F2 TRAVERTINE SLAB ON GRADE
F3 TRAVERTINE
F4 TRAVERTINE BASED FLOOR
F5 TRAVERTINE UNDER FLOOR HEATING
F6 WOOD FLOOR SLAB ON GRADE
F7 WOOD FLOOR
F8 BASED WOOD FLOOR
F9 FLOOR T&D
F10 PLASTER POOL SLAB ON GRADE
F11 PLASTER REFLECTING POOL
F12 TRAVERTINE
R ROOFS SEE A6.20 ROOF ASSEMBLIES
R1 EXPOSED CONCRETE ROOF
R2 INSULATED ROOF S/PV PANELS
R3 GREEN ROOF
R4 TRAVERTINE ON GREEN ROOF
W WINDOWS SEE A6.20 GLAZING SCHEDULE
A WINDOW
A SLIP CLAZING SYSTEM
C DOOR AND FIXED GLAZING SYSTEM
D SWING DOORS MCM/DI
F FIXED GLASS
G INTERIOR FIXED GLASS
S SKYLIGHT
DO DOORS SEE A7.10 DOOR SCHEDULE
D1 INT SWING DOOR
D2 INT SLIDING DOORS
D3 CUSTOM SLIDING DOORS
D4 GARAGE FOLDING DOORS
D5 METAL DOORS
D6 FIXED WOOD SCREEN
D7 SLIDING WOOD SCREEN
APP SEE A6.20 APPLIANCES SCHEDULE
CABR SEE A10 MILL WORK SCHEDULE

PROGRAM KEY
001 CAR LOBBY 201 SUITE 1
002 SURF SHOP 202 SUITE 2
003 POOL BATH 203 OFFICE
004 UTILITY 204 MAIN SUITE
005 TRASH 205 WET ROOM
006 206 DRESSING ROOM
101 KITCHEN
102 DINING
103 INTERIOR GARDEN
104 LIVING
105 OFFICE
106 SPA
107 GUEST SUITE
108 COAT CLOSET
109 POWDER
110 BIGHORNETTE
111 OUTDOOR DINING - BBQ
112 REFLECTING POOL
114 MAINA

STAMP:
REGISTERED ARCHITECT
SEBASTIAN MARISCAL
951266-AR-2
STATE OF CALIFORNIA

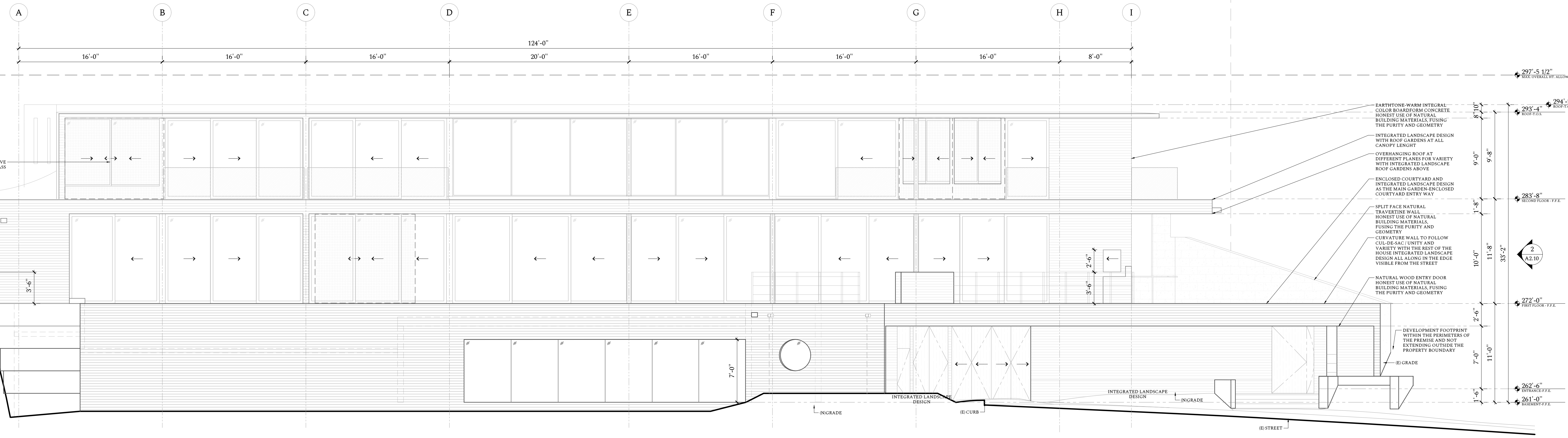
REV	DATE	DESCRIPTION

BUILDING ELEVATIONS

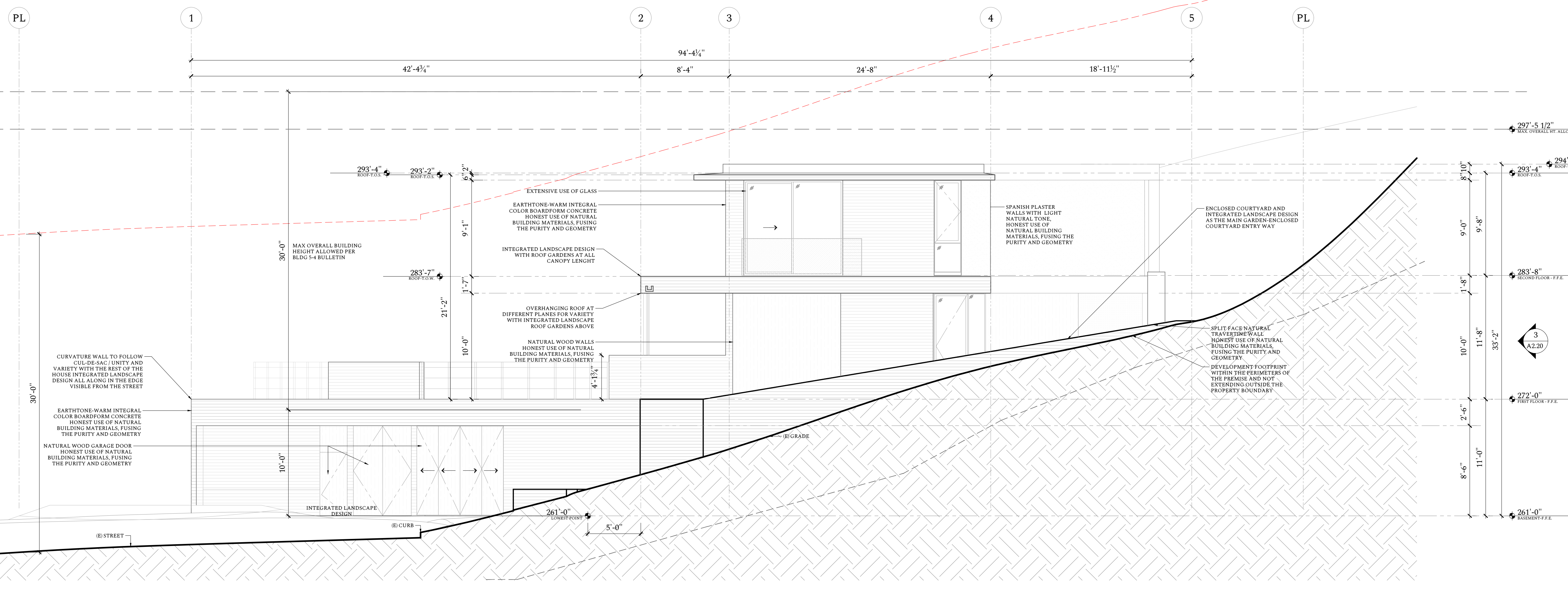
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/23/24 SCALE: 3/16" = 1'-0"

SHEET:
A2.10



1 WEST (FRONT) ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH (STREET) ELEVATION
SCALE: 3/16" = 1'-0"

HERMANNY HOUSE

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NOTE:
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 SM STEP MARKER FL FLOOR - AIR SUPPLY
 AM ACCESS MARKER CE CEILING RETURN /
 AL ELEVATION AS AIR SUPPLY
 TAV TAV EM EXHAUST FAN

WALLS SEE A6.20 WALL ASSEMBLIES
 W1 1/2" EXPOSED COLOR CONCRETE WALL
 W1A EXPOSED CONCRETE WALL / TRAVERTINE
 W1B ROUGH TRAVERTINE
 W1S EXPOSED COLOR CONCRETE WALL/WOOD
 W2 1/2" EXPOSED CONCRETE RETAINING WALL
 W2A CONCRETE RETAINING WALL / TRAVERTINE
 W2S CONCRETE RETAINING WALL/WOOD
 W3 EXTERIOR PLASTER / TRAVERTINE
 W4 EXTERIOR WOOD / GYPSUM BOARD
 W5 GYPSUM BOARD / TRAVERTINE
 W6 GYPSUM BOARD / WOOD
 W7 GYPSUM BOARD / TRAVERTINE
 W8 TRAVERTINE BOTH SIDES
 W9 FLYWOOD BOTH SIDES BACKING

FLOORS SEE A6.20 FLOOR ASSEMBLIES
 F1 POLISHED CONCRETE FLOOR
 F2 TRAVERTINE SLAB ON GRADE
 F3 TRAVERTINE
 F3B TRAVERTINE BASED FLOOR
 F3C TRAVERTINE UNDER FLOOR HEATING
 F4 WOOD FLOOR
 F4B RAISED WOOD FLOOR
 F4C FLOOR TID
 F5 PLASTER POOL SLAB ON GRADE
 F5A PLASTER REFLECTING POOL
 F5B RAISED WOOD FLOOR
 F5C FLOOR TID

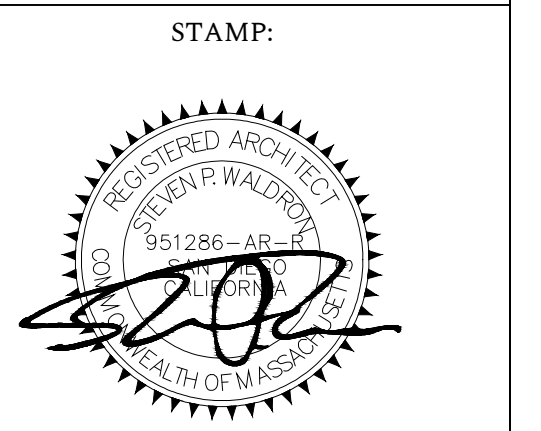
CEILING SEE A6.20 ROOF ASSEMBLIES
 C1 1/2" FLYWOOD
 C2 SOFFIT (GYPSUM BOARD)
 C3 WOOD TID

ROOFS SEE A6.20 ROOF ASSEMBLIES
 R1 EXPOSED CONCRETE ROOF
 R2 INSULATED ROOF PV PANELS
 R3 GREEN ROOF
 R4 TRAVERTINE ON GREEN ROOF

WINDOWS SEE A10.1 GLAZING SCHEDULE
 A WINDOW
 B SLIDER GLAZING SYSTEM
 C DOOR AND FIXED GLAZING SYSTEM
 D SWING DOORS MCMED
 E FIXED GLASS
 F INTERIOR FIXED GLASS
 G SKYLIGHT
 DOORS SEE A7.11 DOOR SCHEDULE
 D1 INT SWING DOOR
 D2 INT SLIDING DOORS
 D3 CUSTOM SLIDING DOORS
 D4 GARAGE FOLDING DOORS
 D5 METAL DOORS
 D6 FIXED WOOD SCREEN
 D7 SLIDING WOOD SCREEN
 APF SEE A10.11 APPLIANCES SCHEDULE
 CABF SEE A10.11 MILL WORK SCHEDULE

PROGRAM KEY

001 CAR LOBBY	201 SUITE 1
002 SUIT SHOP	202 SUITE 2
003 POOL BATH	203 OFFICE
004 UTILITY	204 MAIN SUITE
005 TRASH	205 WET ROOM
101 KITCHEN	206 DRESSING ROOM
102 DINING	207 LAUNDRY
103 INTERIOR GARDEN	
104 LIVING	
105 OFFICE	
106 SPA	
107 GUEST SUITE	
108 COAT CLOSET	
109 POWDER	
110 RICHIELETTE	
111 OUTDOOR DINING - BBQ	
112 REFLECTING POOL	
114 SAUNA	



REVISION

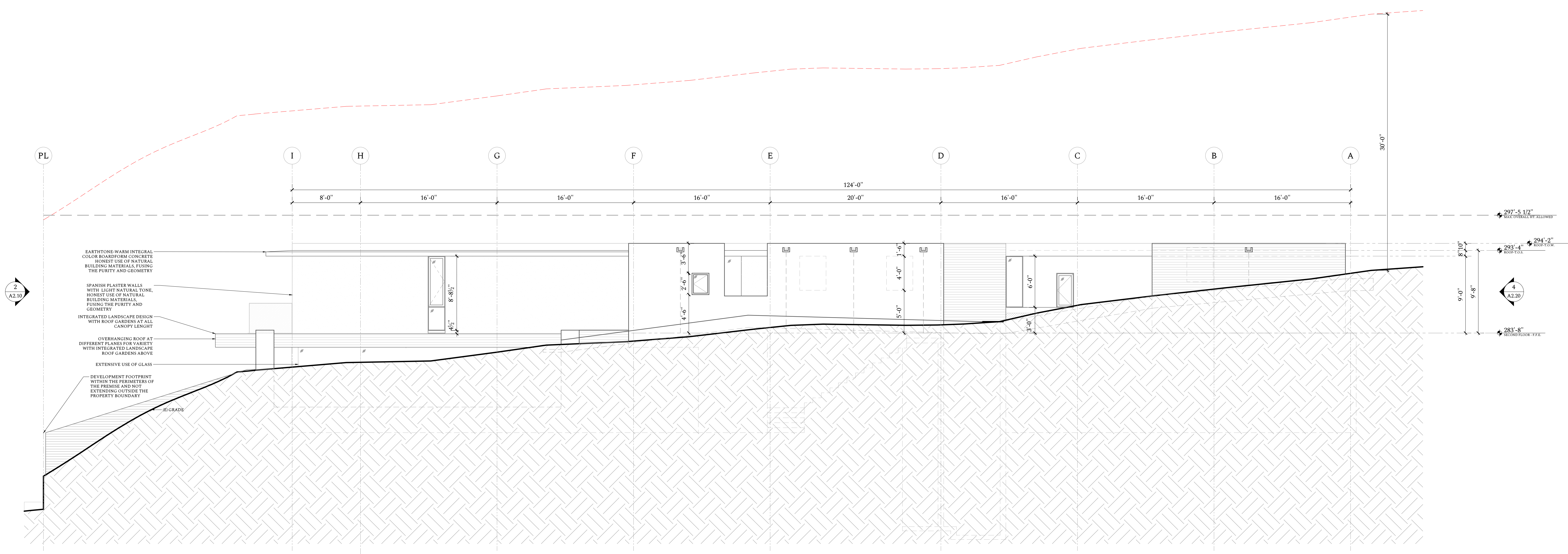
REV	DATE	DESCRIPTION

BUILDING ELEVATIONS

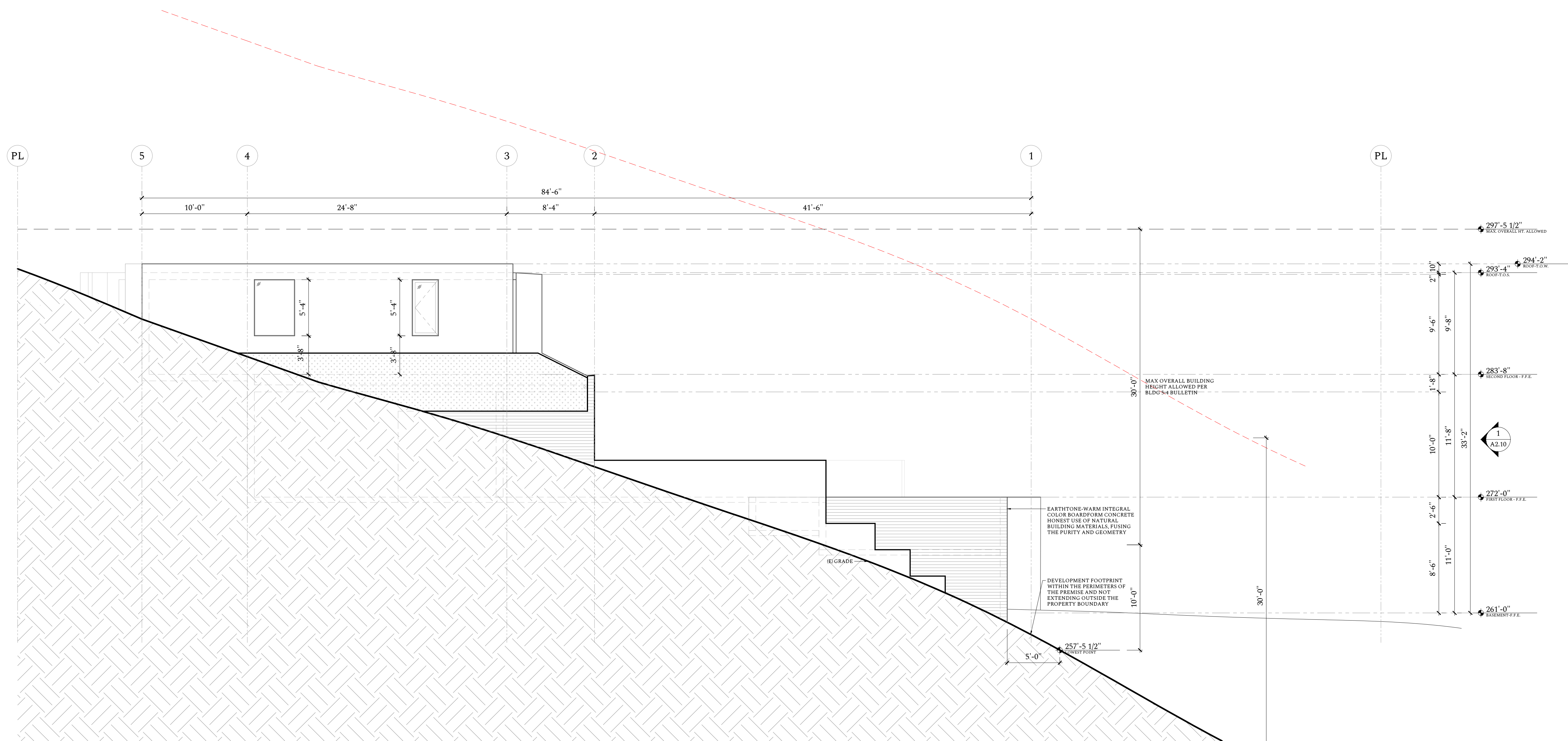
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/23/24 SCALE: 3/16" = 1'-0"

SHEET:
A2.20



3 EAST (BACK) ELEVATION
SCALE: 3/16" = 1'-0"



4 NORTH (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"

HERMANNY HOUSE

2538 RUETTE NICOLE
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NOTE:

RM	ROOM TAG	RA	RETURN / AIR SUPPLY
SM	STEP MARKER	EA	FLOOR - AIR SUPPLY
AM	ACCESS MARKER	CA	CEILING RETURN / AIR SUPPLY
EL	ELEVATION TAG	EA	EXHAUST FAN
TA	TAV	EA	EXHAUST FAN

WALLS SEE A-30 WALL ASSEMBLIES
 W1 EXPOSED COLOR CONCRETE WALL
 W1A EXPOSED CONCRETE WALL / TRAVERTINE
 W1B BRUSH TRAVERTINE
 W1S EXPOSED COLOR CONCRETE WALL/WOOD
 W2 EXPOSED CONCRETE RETAINING WALL
 W2A CONCRETE RETAINING WALL / TRAVERTINE
 W2B CONCRETE RETAINING WALL/WOOD
 W3 EXT. PLASTER / GYPSUM BOARD
 W3A EXT. PLASTER / TRAVERTINE
 W4 EXT. WOOD / GYPSUM BOARD
 W4A EXT. WOOD / TRAVERTINE
 W5 GYPSUM BOARD / WOOD
 W6 GYPSUM BOARD / TRAVERTINE
 W7 TRAVERTINE BOTH SIDES
 W8 TRAVERTINE BOTH SIDES
 W9 FLYWOOD BOTH SIDES BACKING

FLOORS SEE A-30 FLOOR ASSEMBLIES
 F1 POLISHED CONCRETE FLOOR
 F2 TRAVERTINE SLAB ON GRADE
 F3 TRAVERTINE
 F3A TRAVERTINE BASED FLOOR
 F3B TRAVERTINE UNDERFLOOR HEATING
 F3C TRAVERTINE UNDERFLOOR HEATING
 F4 WOOD FLOOR ISLUB ON GRADE
 F4A WOOD FLOOR
 F4B RAISED WOOD FLOOR
 F4C PLASTER POOL ISLUB ON GRADE
 F4D PLASTER REFLECTING POOL
 F5 FLOOR TID
 F6 WOOD TID

Ceilings SEE A-30 ROOF ASSEMBLIES
 C1 100% FIBERGLASS
 C2 SOFFIT (GYPSUM BOARD)
 C3 WOOD TID

ROOFS SEE A-30 ROOF ASSEMBLIES
 R1 EXPOSED CONCRETE ROOF
 R2 INSULATED ROOF / PV PANELS
 R3 GREEN ROOF
 R4 TRAVERTINE ON GREEN ROOF

WINDOWS SEE A-30 GLAZING SCHEDULE
 A WINDOW
 B SLIDER GLAZING SYSTEM
 C DOOR AND FIXED GLAZING SYSTEM
 D SWING DOORS MCM/DI
 E FIXED GLASS
 F INTERIOR FIXED GLASS
 G SKYLIGHT

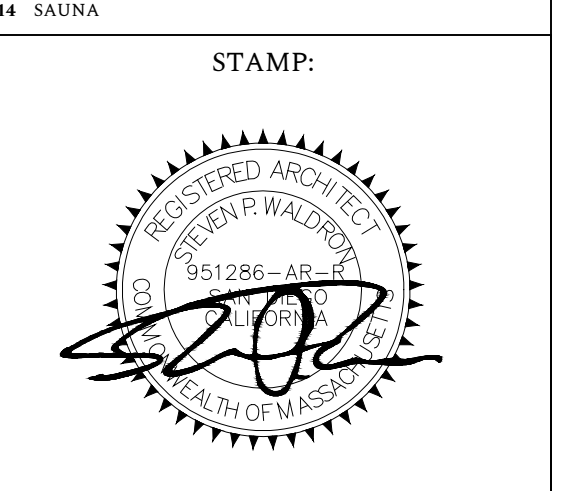
DOORS SEE A-30 DOOR SCHEDULE
 D1 INT. SWING DOOR
 D2 INT. SLIDING DOORS
 D3 CUSTOM SLIDING DOORS
 D4 GARAGE FOLDING DOORS
 D5 METAL DOORS
 D6 FIXED WOOD SCREEN
 D7 SLIDING WOOD SCREEN
 AWP SEE A-30 APPLIANCE SCHEDULE
 CABR SEE A-30 MILL WORK SCHEDULE

PROGRAM KEY

001	CAR LOBBY	201	SUITE 1
002	SURF SHOP	202	SUITE 2
003	POOL BATH	203	OFFICE
004	UTILITY	204	MAIN SUITE
005	TRASH	205	WET ROOM
101	KITCHEN	206	DRESSING ROOM
102	DINING		LAUNDRY
103	INTERIOR GARDEN		
104	LIVING		
105	OFFICE		
106	SEA		
107	GUEST SUITE		
108	COAT CLOSET		
109	POWDER		
110	RICHENETTE		
111	OUTDOOR DINING - BBQ		
112	REFLECTING POOL		
114	SAUNA		

REVISION

REV	DATE	DESCRIPTION

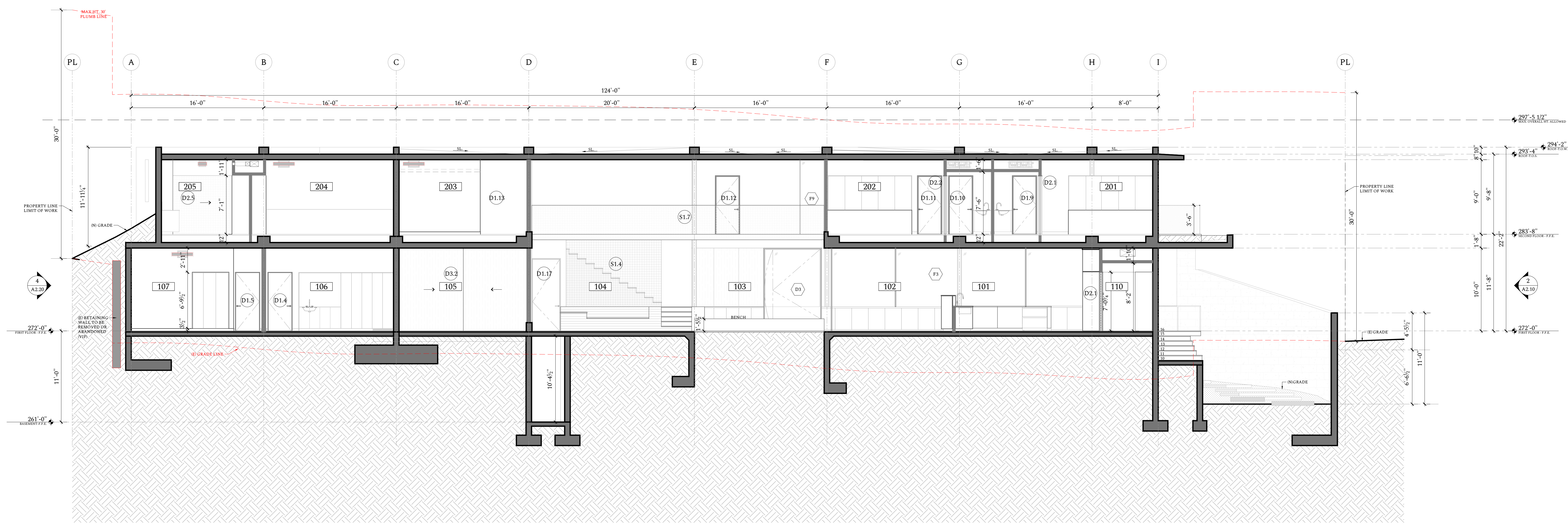


BUILDING SECTIONS 1 & 2

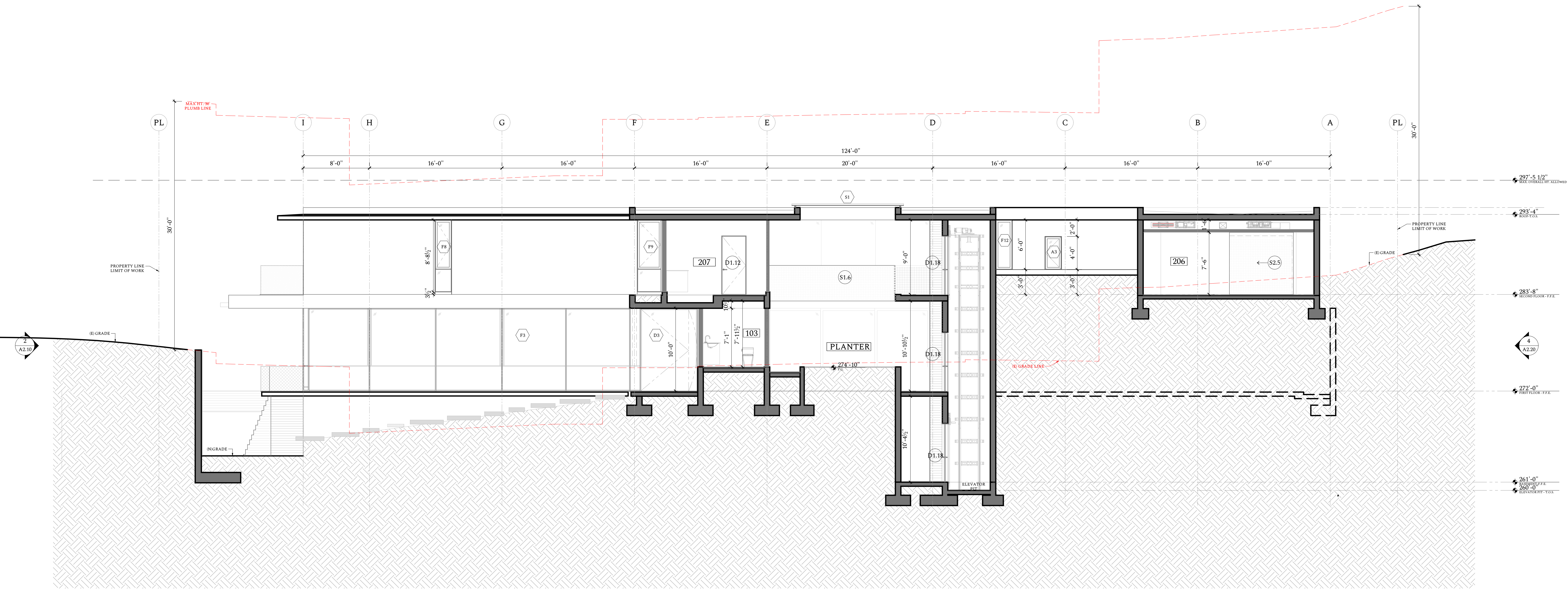
PROJECT NUMBER: HERMANNY

DRAWING DATE: 07/23/24 SCALE: 3/16" = 1'-0"

SHEET: A3.00



1 SECTION 1
A3.00 SCALE: 3/16" = 1'-0"



2 SECTION 2
A3.00 SCALE: 3/16" = 1'-0"

HERMANNY HOUSE

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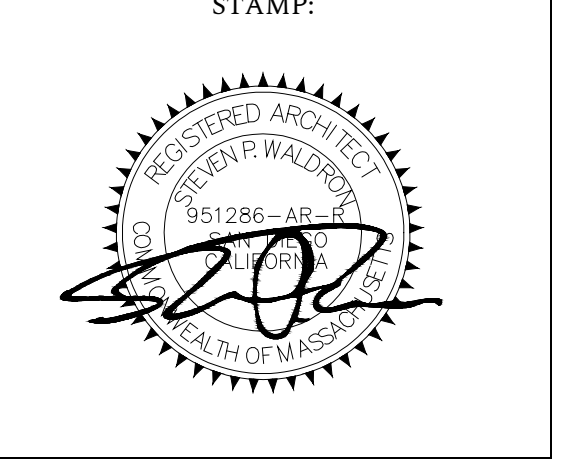
LANDSCAPE ARCHITECT
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NOTE:
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SM STEP MARKER FL FLOOR - AIR SUPPLY
AM ACCESS MARKER CEILING RETURN /
EL ELEVATION RA AIR SUPPLY
TAG TAG EXHAUST FAN

- [] WALLS SEE A6.20 WALL ASSEMBLIES
- W1 1/2" EXPOSED COLOR CONCRETE WALL
- W1A EXPOSED CONCRETE WALL / TRAVERTINE
- W1B BRUSH TRAVERTINE
- W1S EXPOSED COLOR CONCRETE WALL/WOOD
- W2 1/2" EXPOSED CONCRETE RETAINING WALL
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- W2B CONCRETE RETAINING WALL/WOOD
- W3 EXTERIOR PLASTER / GYPSUM BOARD
- W3A EXTERIOR PLASTER / TRAVERTINE
- W4 EXTERIOR WOOD / GYPSUM BOARD
- W4A EXTERIOR WOOD / TRAVERTINE
- W5 GYPSUM BOARD / WOOD
- W5A GYPSUM BOARD / TRAVERTINE
- W6 TRAVERTINE BOTH SIDES
- W6A FLYWOOD BOTH SIDES BACKING
- [] FLOORS SEE A6.20 FLOOR ASSEMBLIES
- F1 POLISHED CONCRETE FLOOR
- F2 TRAVERTINE SLAB ON GRADE
- F3A TRAVERTINE
- F3B TRAVERTINE BASED FLOOR
- F3C TRAVERTINE UNDER FLOOR HEATING
- F3D WOOD FLOOR SLAB ON GRADE
- F3E WOOD FLOOR
- F3F BASHBOARDS
- F4 FLOOR TID
- F4A BASHBOARD
- F4B BASHBOARD FLOOR
- F4C TRAVERTINE
- F4D TRAVERTINE
- F4E WOOD
- [] CEILING SEE A6.20 ROOF ASSEMBLIES
- C1 100% FIBERGLASS
- C2 SOFFIT (GYPSUM BOARD)
- C3 WOOD TID
- [] ROOFS SEE A6.20 ROOF ASSEMBLIES
- R1 EXPOSED CONCRETE ROOF
- R2 INSULATED ROOF / PV PANELS
- R3 GREEN ROOF
- RA TRAVERTINE ON GREEN ROOF
- [] WINDOWS SEE A10.1 GLAZING SCHEDULE
- A WINDOW
- B SLIDER GLAZING SYSTEM
- C DOOR AND FIXED GLAZING SYSTEM
- D SWING DOORS MCM/DI
- E FIXED GLASS
- F INTERIOR FIXED GLASS
- S SKYLIGHT
- [] DOORS SEE A11.1 DOOR SCHEDULE
- D1 INT SWING DOOR
- D2 INT SLIDING DOORS
- D3 CUSTOM SLIDING DOORS
- D4 GARAGE FOLDING DOORS
- D5 METAL DOORS
- D6 FIXED WOOD SCREEN
- D7 SLIDING WOOD SCREEN
- APF SEE A12.10 APPLIANCE SCHEDULE
- CABF SEE A13.1 MILL WORK SCHEDULE

PROGRAM KEY

001 CAR LOBBY	201 SUITE 1
002 SUITE SHOP	202 SUITE 2
003 POOL BATH	203 OFFICE
004 UTILITY	204 MAIN SUITE
005 TRASH	205 WET ROOM
006	206 DRESSING ROOM
007	207 LAUNDRY



REVISION

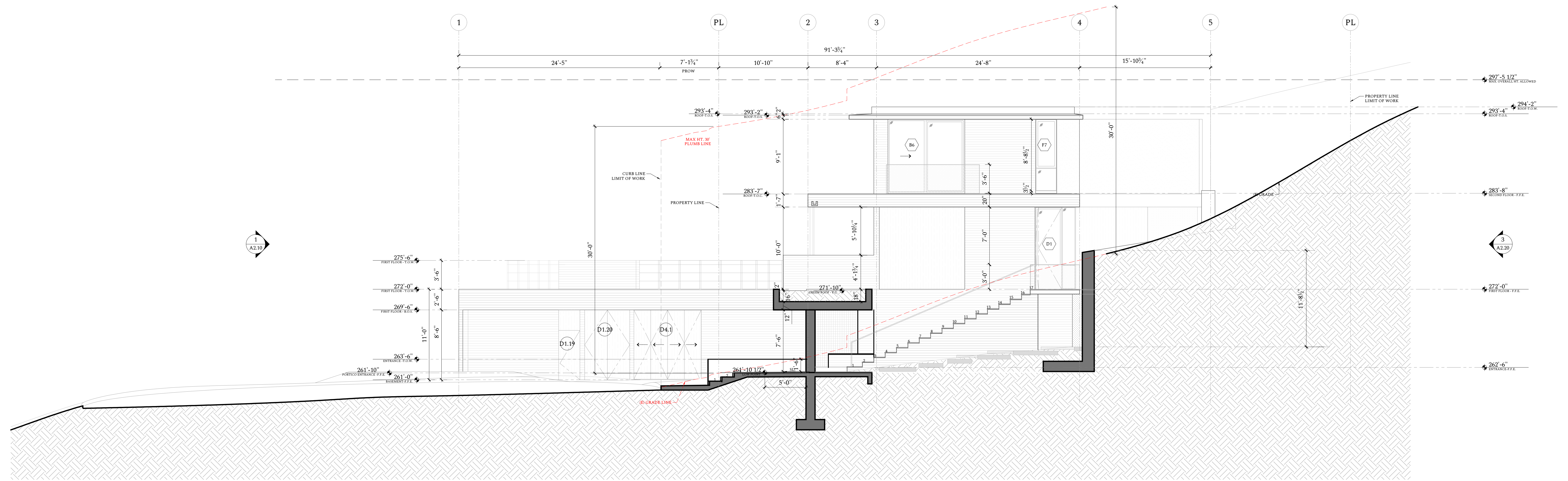
REV	DATE	DESCRIPTION

BUILDING SECTIONS 3 & 4

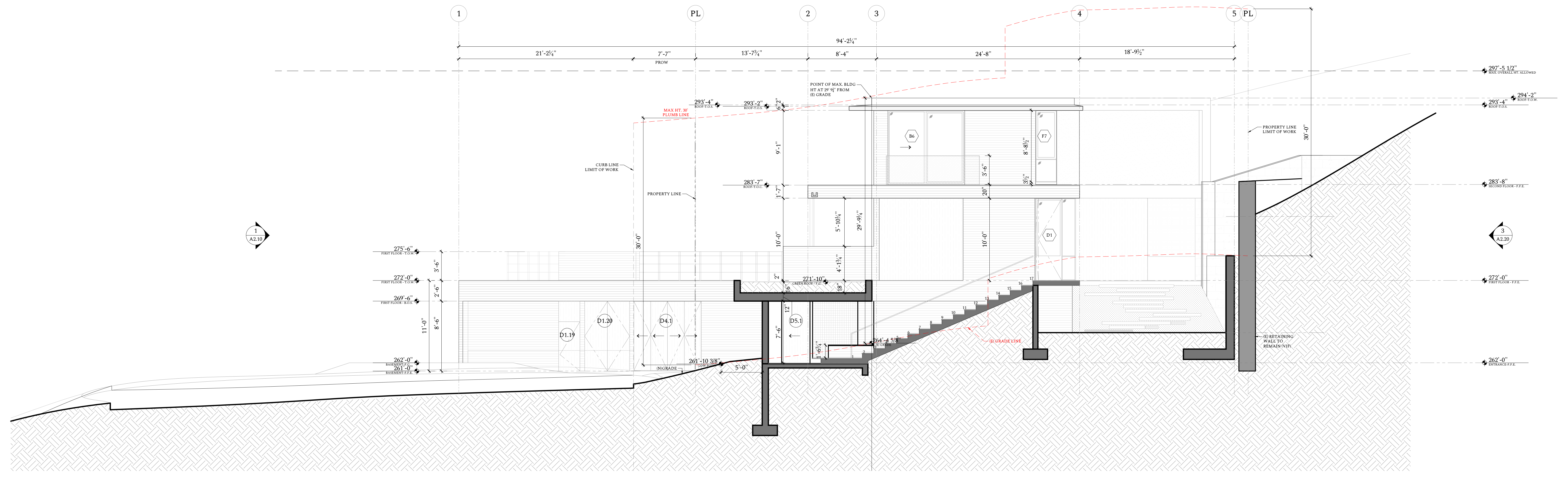
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/23/24 SCALE: 3/16" = 1'-0"

SHEET:
A3.10



3 SECTION 3
A3.10 SCALE: 3/16" = 1'-0"



4 SECTION 4
A3.10 SCALE: 3/16" = 1'-0"

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

SEBASTIAN MARISCAL STUDIO
T: 617.710.9373
clau@sebastianmariscal.com

STRUCTURAL ENGINEER
MOBAYED CONSULTING GROUP
7940 SILVERTON AVE #201
SAN DIEGO, CA 92126
T: 858.586.7855

MEP ENGINEER
H+W ENGINEERING, INC.
1810 GILLESPIE WAY, SUITE 207
EL CAJON, CA 92020
T: 702.203.8699

CIVIL ENGINEER
K&S ENGINEERING
7801 MISSION CENTER CT #100
SAN DIEGO, CA 92108
T: 619.339.5560

LANDSCAPE ARCHITECT
S.R. CLARKE LANDSCAPE
110 COPPERWOOD WAY #P
OCEANSIDE, CA 92058
T: 760.716.3100

NOTE:

RM	ROOM TAG	→	RETURN / AIR SUPPLY
SM	STEP MARKER	→	FLOOR - AIR SUPPLY
AM	ACCESS MARKER	→	CEILING RETURN / AIR SUPPLY
EL	ELEVATION TAG	→	EXHAUST FAN
W	WALL	→	WALL ASSEMBLY
F	FLOOR	→	FLOOR ASSEMBLY
R	ROOF	→	ROOF ASSEMBLY
D	DOOR	→	DOOR SCHEDULE
W	WINDOW	→	WINDOW SCHEDULE
GL	GLAZING	→	GLAZING SCHEDULE
AP	APPLIANCE	→	APPLIANCE SCHEDULE
CA	CABINETS	→	CABINETS SCHEDULE

PROGRAM KEY

001	CAR LOBBY	201	SUITE 1
002	SURF SHOP	202	SUITE 2
003	POOL BATH	300	OFFICE
004	UTILITY	204	MAIN SUITE
005	TRASH	306	WET ROOM
101	KITCHEN	307	DRESSING ROOM
102	DINING	308	LAUNDRY
103	INTERIOR GARDEN		
104	OFFICE		
105	LIVING		
106	SPA		
107	GUEST SUITE		
108	COAT CLOSET		
109	POWDER		
110	RICHMONDETE		
111	OUTDOOR DINING - BBQ		
112	REFLECTING POOL		
114	SAUNA		

STAMP:

REVISION

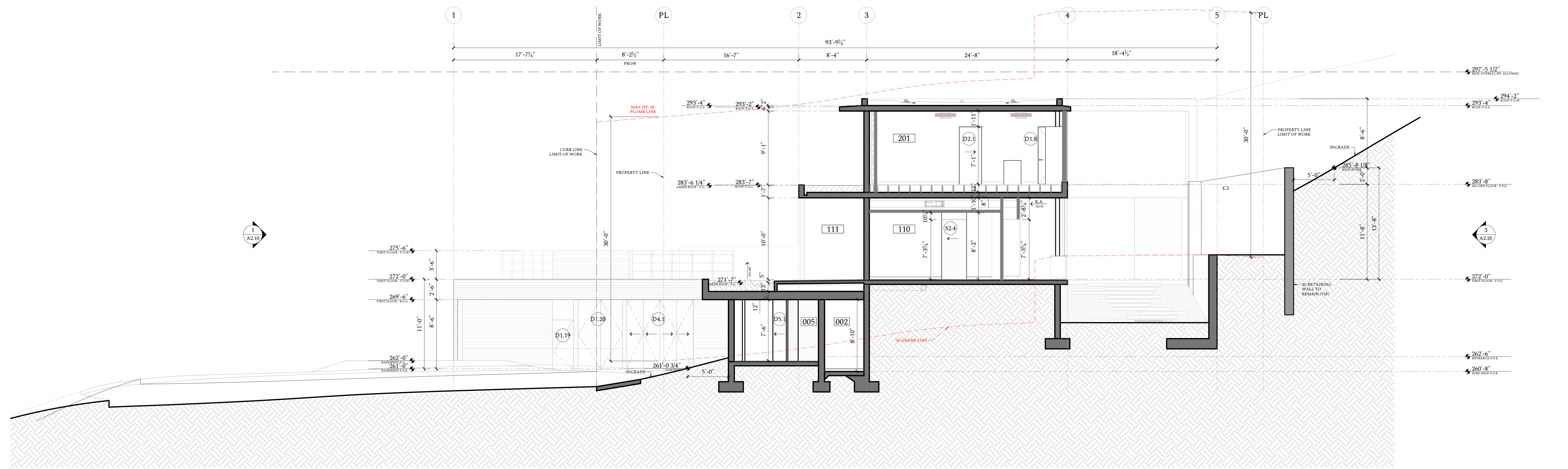
REV	DATE	DESCRIPTION

BUILDING SECTIONS 5 & 6

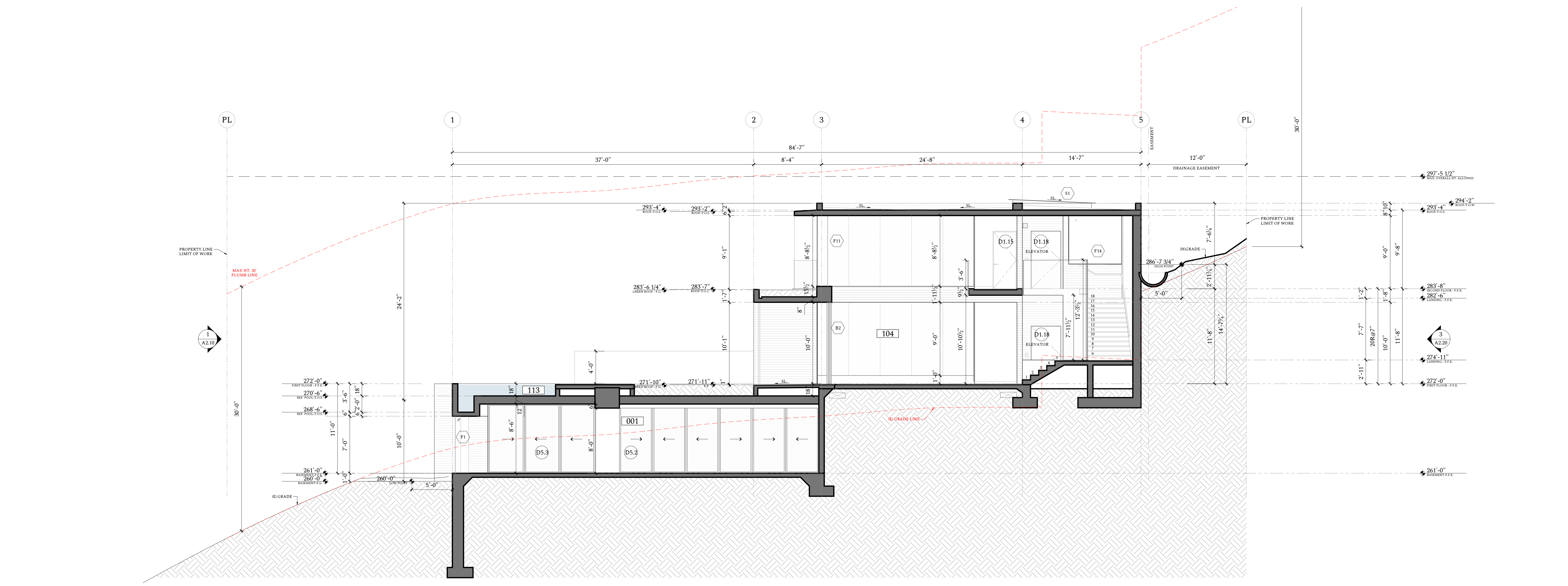
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/23/24 SCALE: 3/16" = 1'-0"

SHEET:
A3.20



5 SECTION 5
A3.20 SCALE: 3/16" = 1'-0"



6 SECTION 6
A3.20 SCALE: 3/16" = 1'-0"

HERMANNY HOUSE

2538 RUETTE NICOLE
LA JOLLA, CA 92037

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LANDSCAPE ARCHITECT
S.R. CLARKE LANDSCAPE
110 COPPERWOOD WAY #P
OCEANSIDE, CA 92058
T: 760.716.3100

NOTE:
[RM] ROOM TAG [R.A.] RETURN / AIR SUPPLY
[SM] STEP MARKER [S.A.] FLOOR - AIR SUPPLY
[AM] ACCESS MARKER [S.C.] CEILING RETURN /
[ELEVATION TAG] ELEVATION TAG [R.A.] AIR SUPPLY
[ELEVATION TAG] ELEVATION TAG [E] EXHAUST FAN

[W] WALLS SEE A6.30 WALL ASSEMBLIES
W1 I.F. EXPOSED COLOR CONCRETE WALL
W1A EXPOSED CONCRETE WALL / TRAVERTINE
W1B ROUGH TRAVERTINE
W1S EXPOSED COLOR CONCRETE WALL / WOOD
W2 I.F. EXPOSED CONCRETE RETAINING WALL
W2A CONCRETE RETAINING WALL / TRAVERTINE
W2B CONCRETE RETAINING WALL / WOOD
W3 EXT. PLASTER / TRAVERTINE
W4 EXT. WOOD / GYPSUM BOARD
W5 GYPSUM BOARD / TRAVERTINE
W6 GYPSUM BOARD / WOOD
W7 GYPSUM BOARD / TRAVERTINE
W8 TRAVERTINE BOTH SIDES
W9 PLYWOOD BOTH SIDES / BACKING [SEE SPEC. AT A12.10 FINISH SCHEDULE]

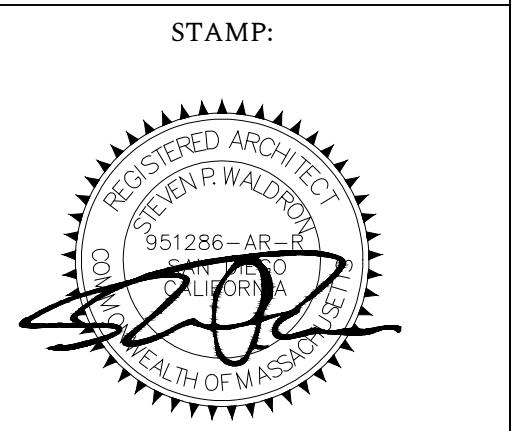
[F] FLOORS SEE A6.30 FLOOR ASSEMBLIES
F1 POLISHED CONCRETE FLOOR
F2 TRAVERTINE SLAB ON GRADE
F3 TRAVERTINE
F4 TRAVERTINE BASED FLOOR
F5 TRAVERTINE UNDER FLOOR HEATING
F6 WOOD FLOOR SLAB ON GRADE [SEE BASEBOARDS]
F7 WOOD FLOOR
F8 RAISED WOOD FLOOR [SEE TRAVERTINE]
F9 PLASTER POOL SLAB ON GRADE
F10 PLASTER REFLECTING POOL
F11 RAISED WOOD FLOOR
F12 WOOD TRD
F13 WOOD TRD
F14 WOOD TRD

[R] ROOFS SEE A6.30 ROOF ASSEMBLIES
R1 EXPOSED CONCRETE ROOF
R2 INSULATED ROOF / PV PANELS
R3 GREEN ROOF
R4 TRAVERTINE ON GREEN ROOF
[W] WINDOWS SEE A10.10 GLAZING SCHEDULE
A WINDOW
B SLIDER GLAZING SYSTEM
C DOOR AND FIXED GLAZING SYSTEM
D SWING DOOR / MCM / D
E FIXED GLASS
F EXTERIOR FIXED GLASS
S SKYLIGHT
[D] DOORS SEE A11.10 DOOR SCHEDULE
D1 INT. SWING DOOR
D2 INT. SLIDING DOORS
D3 CUSTOM SLIDING DOORS
D4 GARAGE FOLDING DOORS
D5 METAL DOORS
D6 FIXED WOOD SCREEN
D7 SLIDING WOOD SCREEN
AWF SEE A12.10 APPLIANCES SCHEDULE
CABF SEE A13.10 MILL WORK SCHEDULE

PROGRAM KEY
001 CAR LOBBY
002 SURF SHOP
003 POOL BATH
004 UTILITY
005 TRASH
101 KITCHEN
102 DINING
103 INTERIOR GARDEN
104 OFFICE
105 OFFICE
106 SPA
107 GUEST SUITE
108 COAT CLOSET
109 POWDER
110 BICHENNETTE
111 OUTDOOR DINING - BBQ
112 REFLECTING POOL
114 SAUNA

201 SUITE 1
202 SUITE 2
203 OFFICE
204 MAIN SUITE
205 WET ROOM
206 DRESSING ROOM
207 LAUNDRY

101 KITCHEN
102 DINING
103 INTERIOR GARDEN
104 OFFICE
105 OFFICE
106 SPA
107 GUEST SUITE
108 COAT CLOSET
109 POWDER
110 BICHENNETTE
111 OUTDOOR DINING - BBQ
112 REFLECTING POOL
114 SAUNA



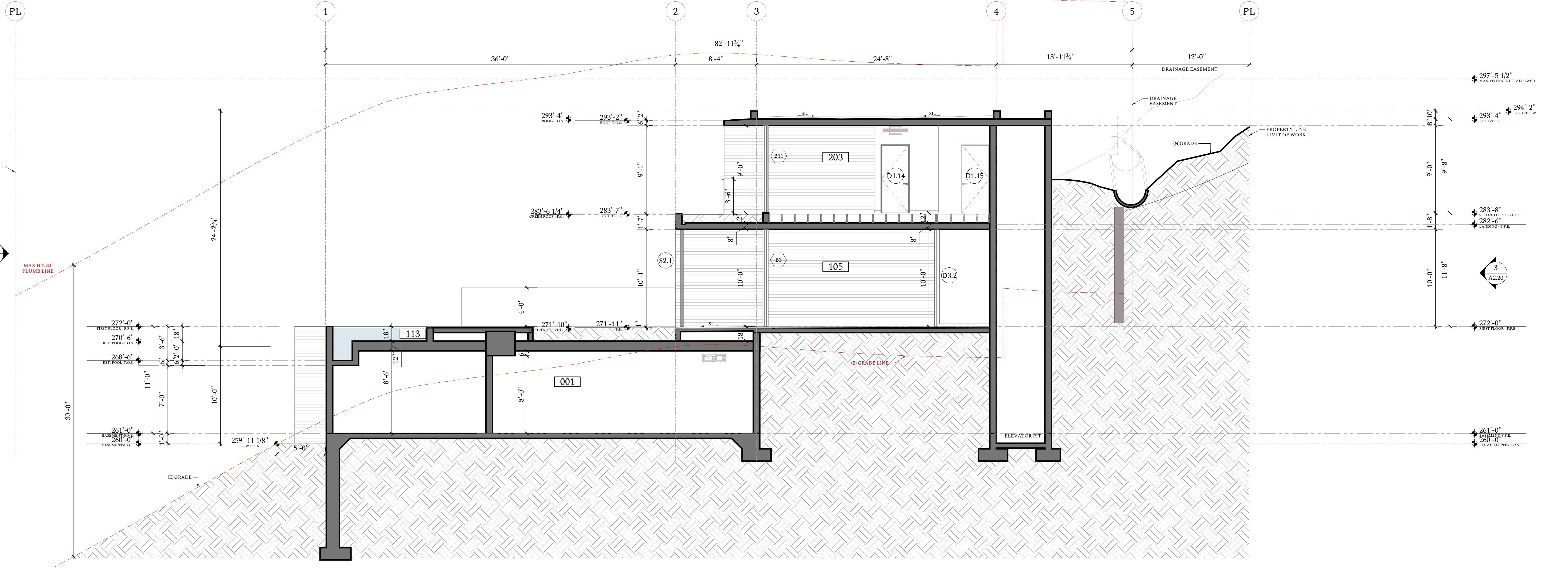
REVISION		
REV	DATE	DESCRIPTION

BUILDING SECTIONS 7 & 8

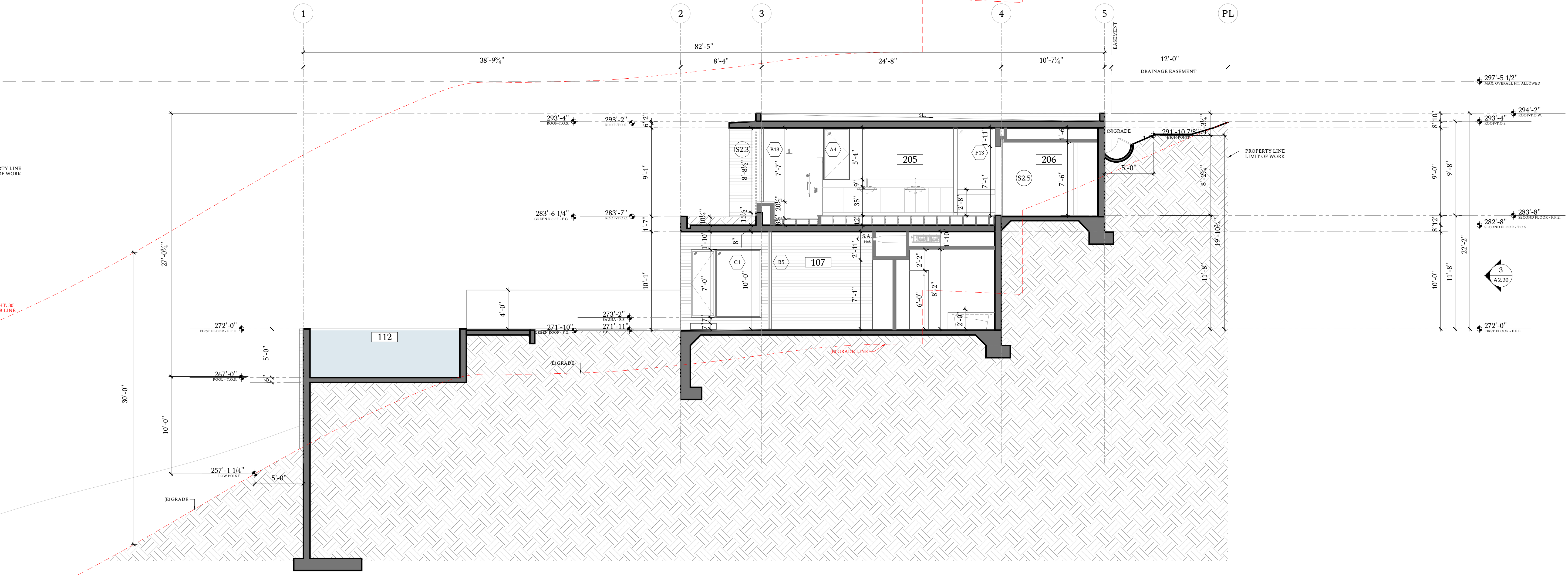
PROJECT NUMBER:
HERMANNY

DRAWING DATE: 07/23/24 SCALE: 3/16" = 1'-0"

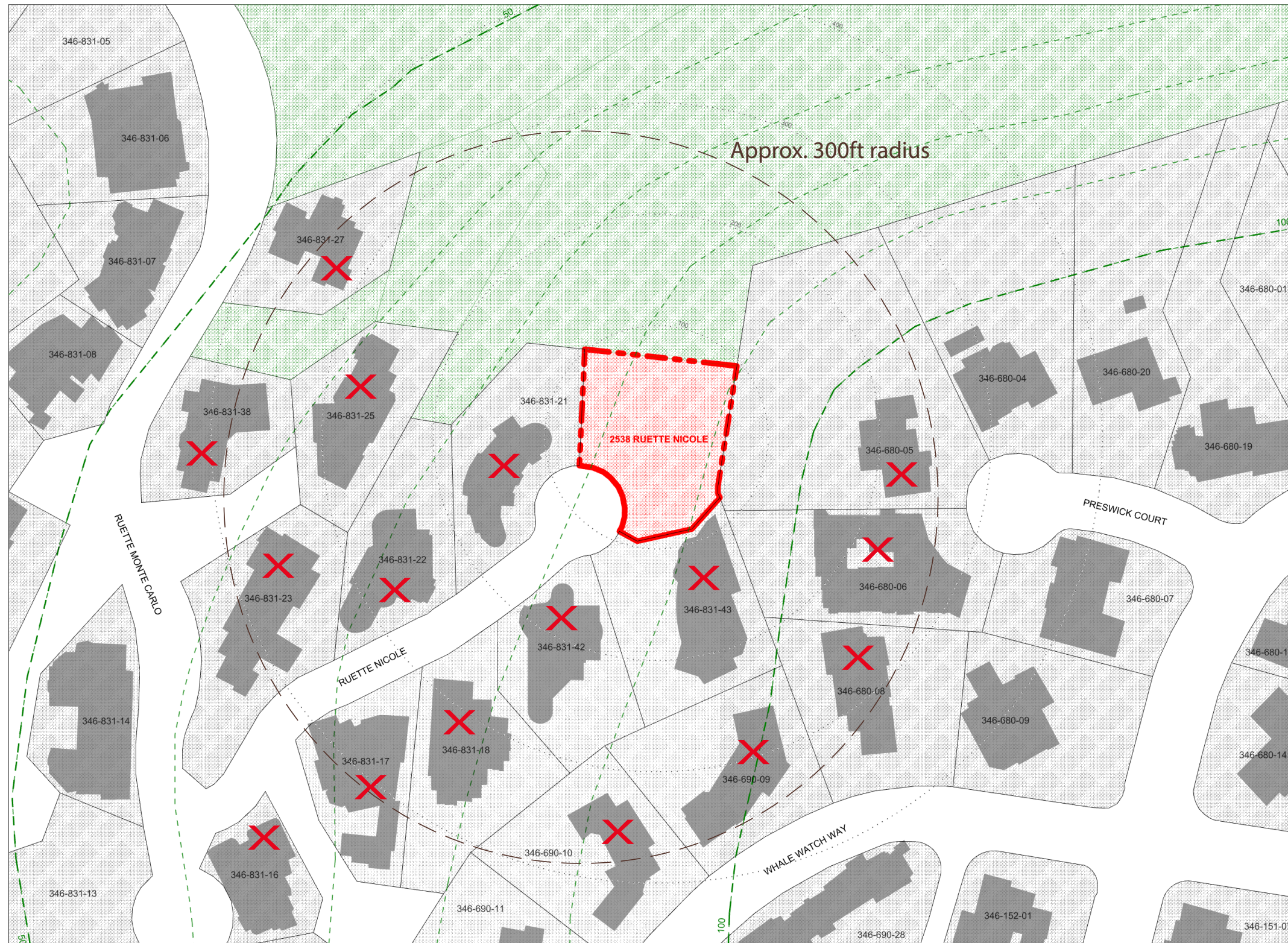
SHEET:
A3.30



7 SECTION 7
A3.30 SCALE: 3/16" = 1'-0"



8 SECTION 8
A3.30 SCALE: 3/16" = 1'-0"



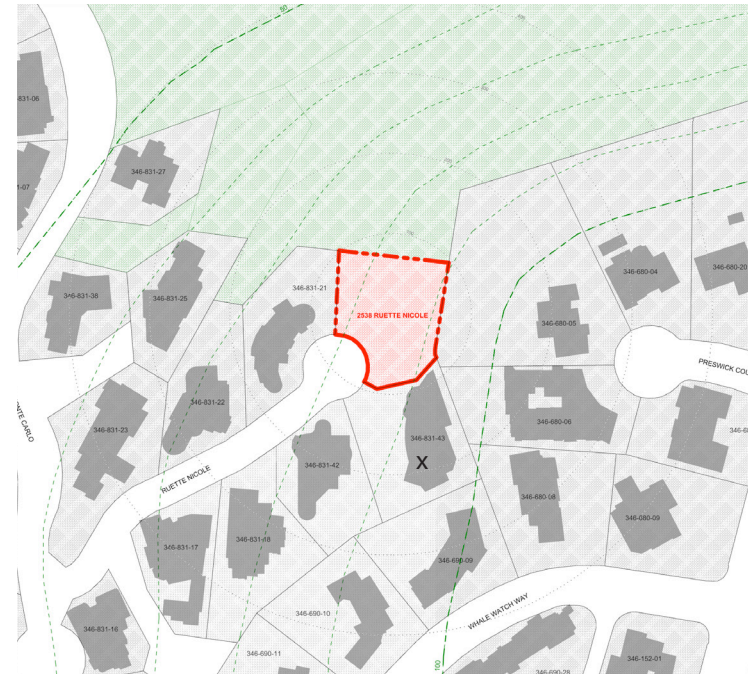
PARCELS SURVEYED IN 300ft RADIUS NEIGHBOR SURVEY

[2533 Ruelle Nicole, San Diego, CA 92037](#)

(south of site)



[Photo taken from Google Earth](#)

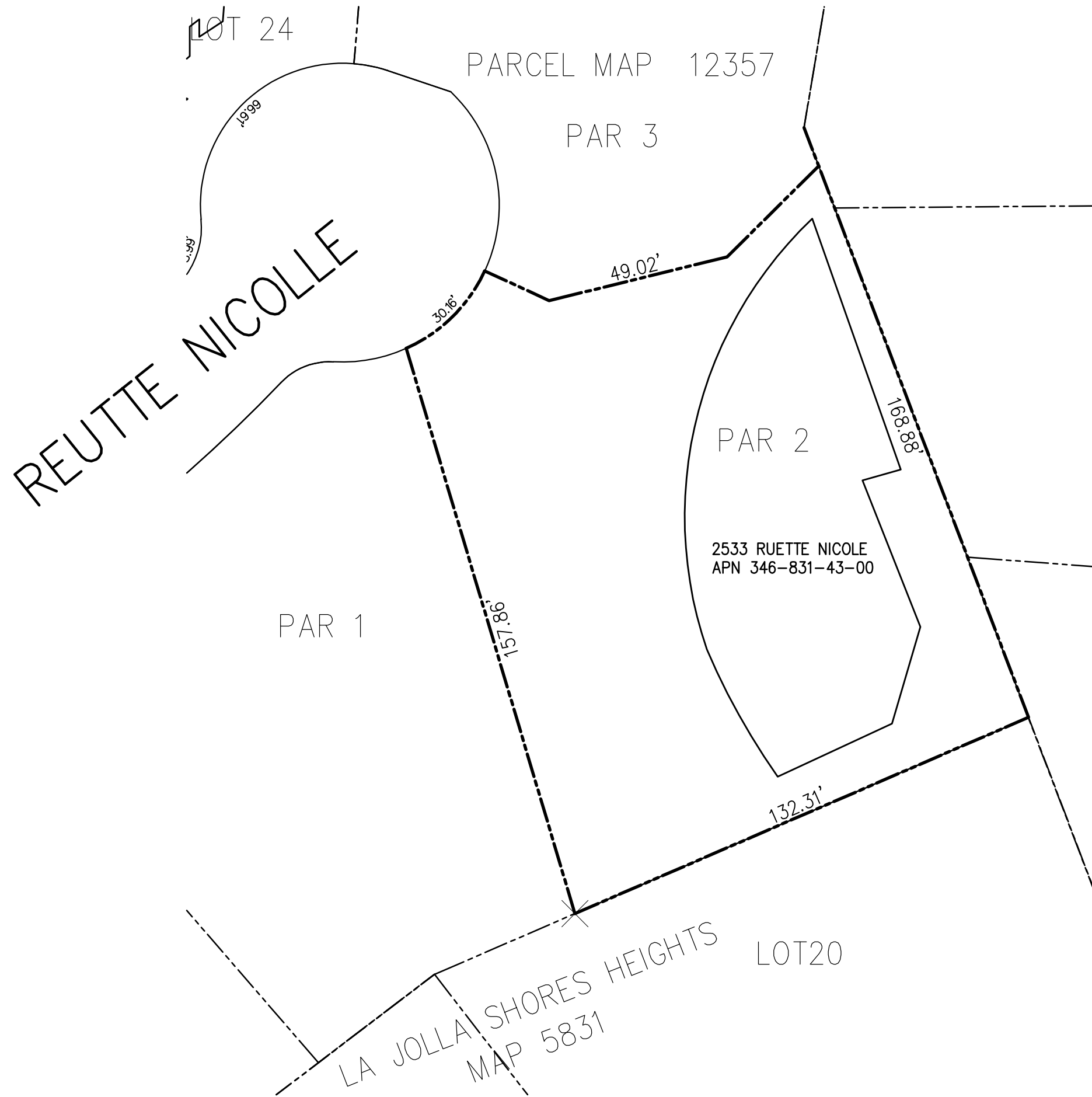


Zoning:	LJSPD-SF	Living SF	9,762
Transportation :	Campus Parking Impact Overlay Zone	Usable SF	19,500
Regulatory:	Coastal Height Limit Overlay Zone	FAR :	0.50
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	35 feet
Ecological:	Steep Hillsides	Side Setback	8- feet
APN:	346-831-43-00	Rear Setback	6 feet
Lot Size SF	19,709	Stories:	3 stories

*For PV system on roof: Electrical-Photovoltaic Permit issued 2014 (applied 2014)

*Information taken from ScoutRed; setback measurements approximated from Google Maps

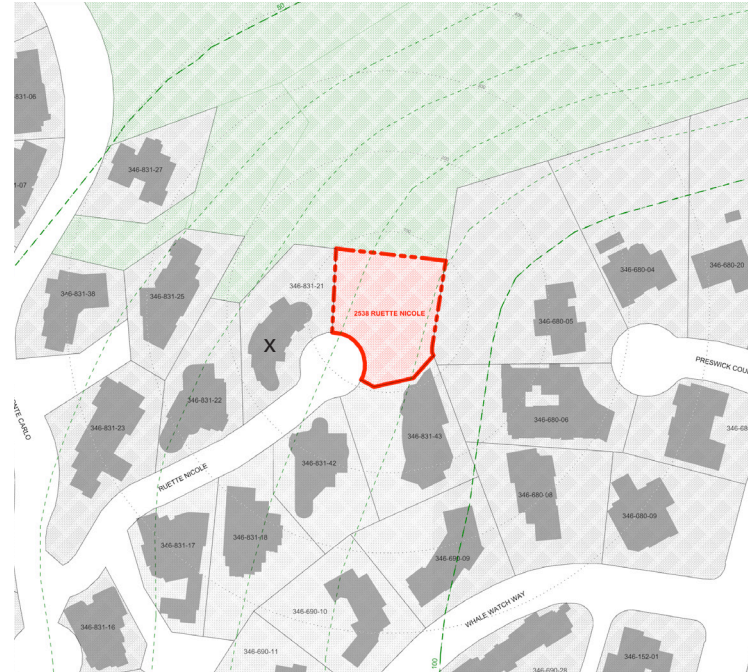
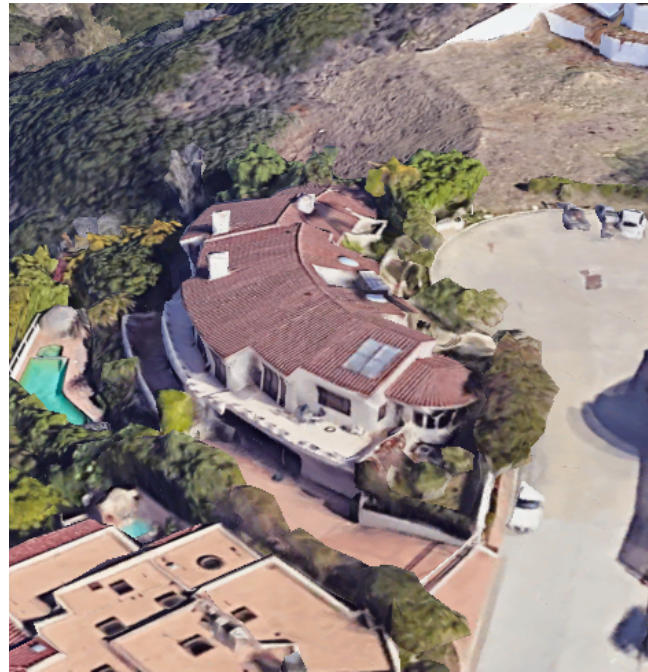
IMMEDIATE NEIGHBOR



SCALE: 1" = 30'

[2526 Ruelle Nicole, San Diego, CA 92037](#)

(west of site)



[Photo taken from Google Earth](#)

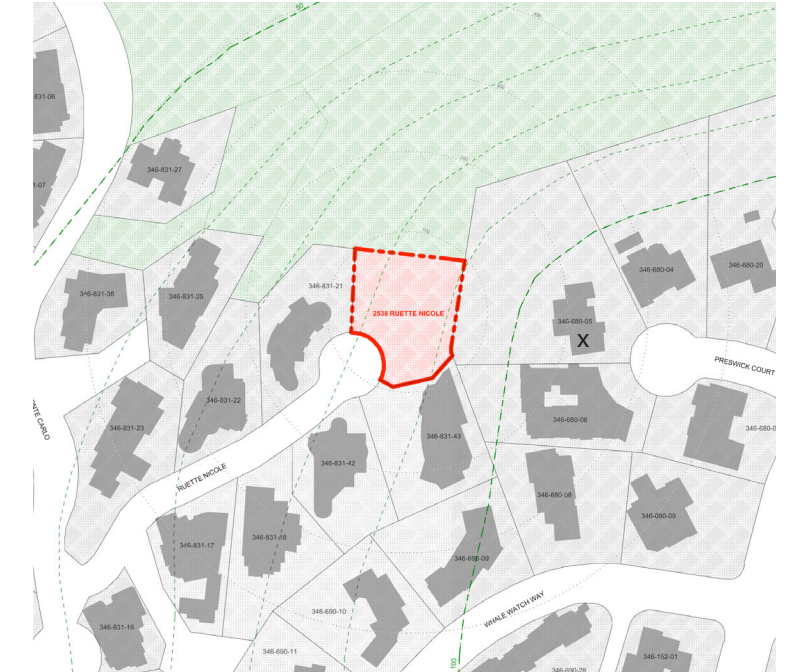
Zoning:	LJSPD-SF	Living SF (approx):	5,100
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	18,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.31
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	10 feet
Ecological:	Steep Hillside	Side Setback	15 feet
APN:	346-831-21-00	Rear Setback	35 feet
Lot Size SF (approx):	16,680	Stories:	2 stories

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[2638 Prestwick Ct, La Jolla Shores Heights, San Diego, CA 92037](#)

(east of site)



[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	3,279
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	20,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.08
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	26 feet
Ecological:	Steep Hillside	Side Setback	10 feet
APN:	346-680-05-00	Rear Setback	20 feet
Lot Size SF (approx):	41,817	Stories:	1 story

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

IMMEDIATE NEIGHBORS

MAP NO 8447

LOT 4

LOT 24

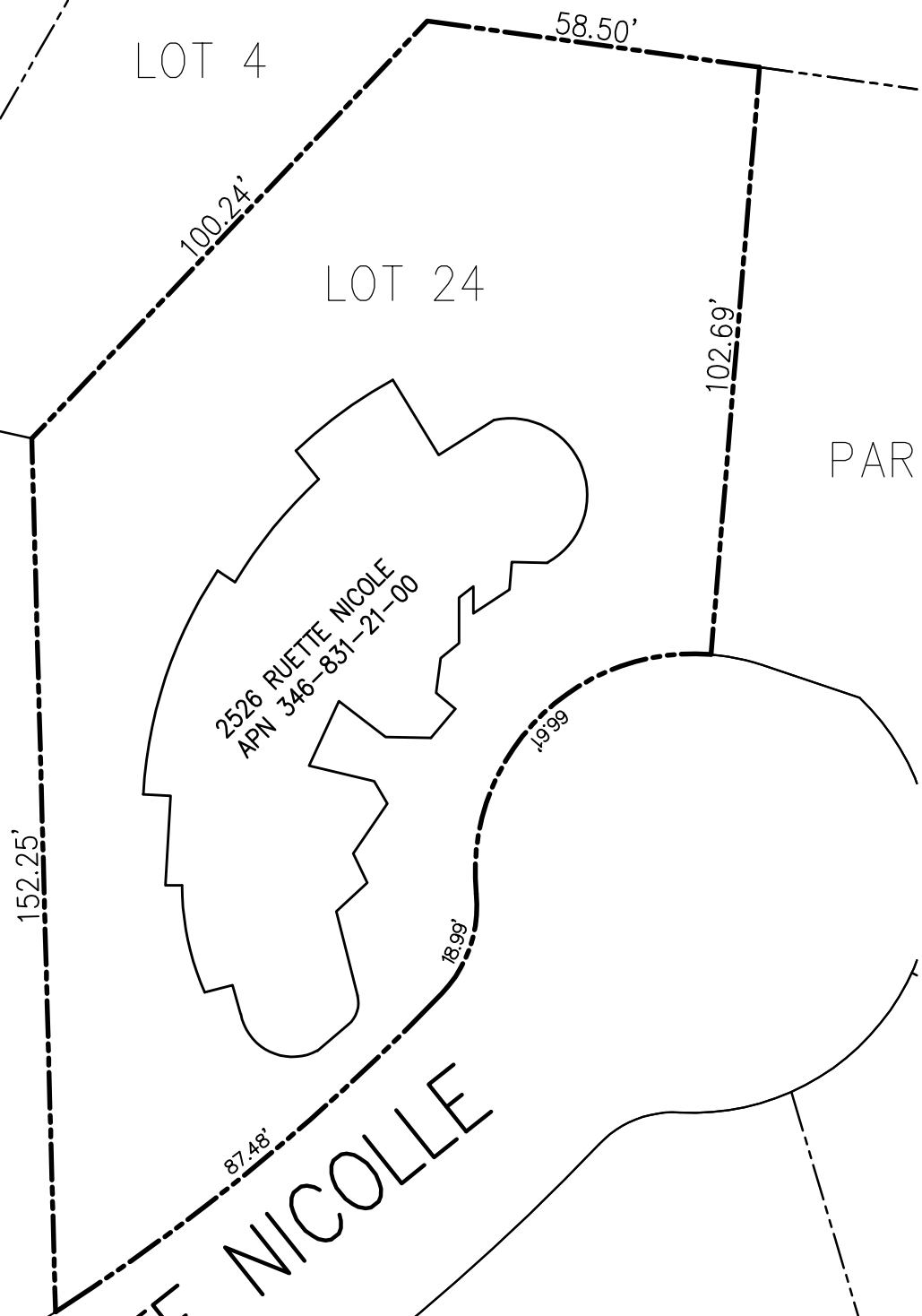
PAR 3

LOT 25

2526 RUETTE NICOLE
APN 346-831-21-00

REUTTE NICOLLE

LOT 21



SCALE: 1" = 30'

LA JOLLA SHORES HEIGHTS
MAP NO 5831

LOT 20

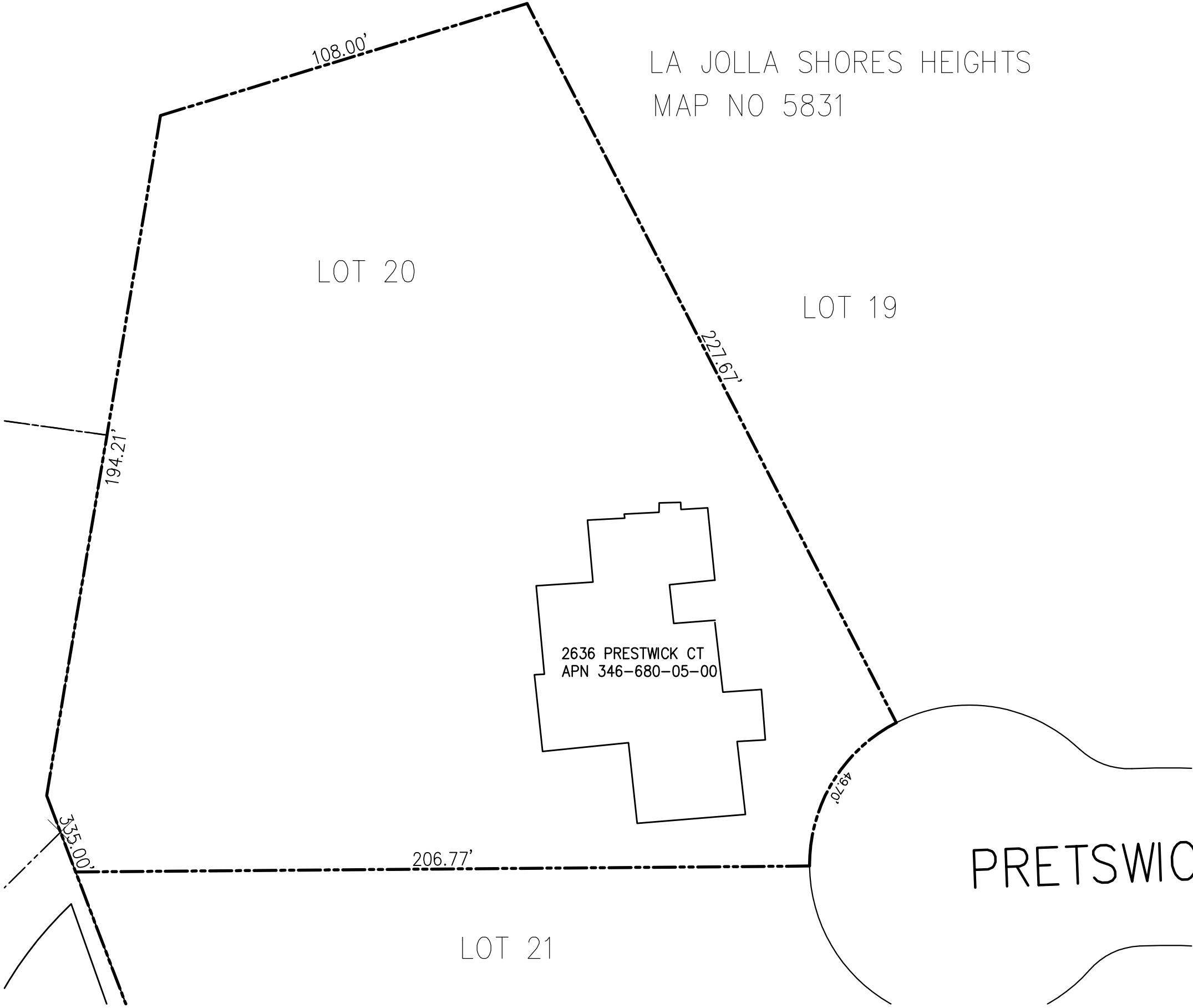
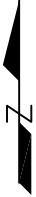
LOT 19

2636 PRESTWICK CT
APN 346-680-05-00

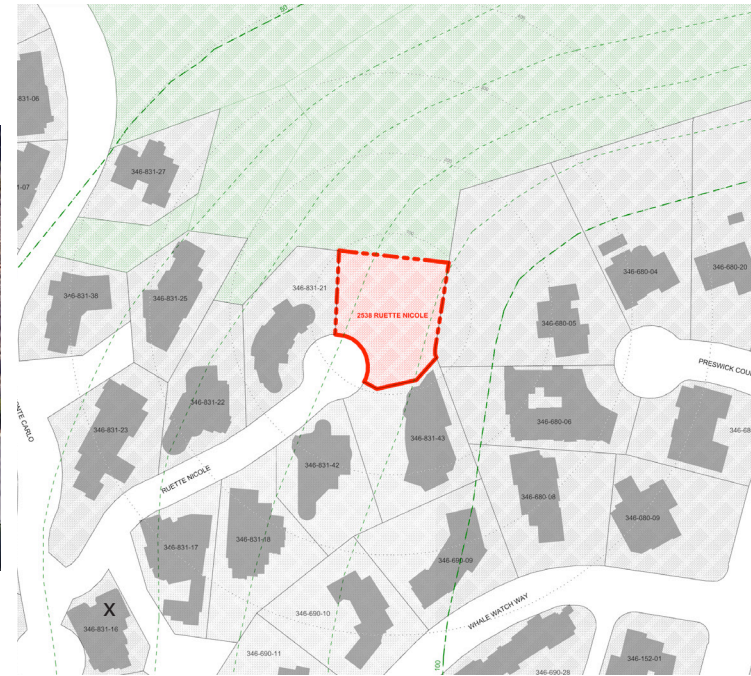
LOT 21

PRETSWICK CT

SCALE: 1" = 30'



[2501 Ruelle Nicole, San Diego, CA 92037](#)



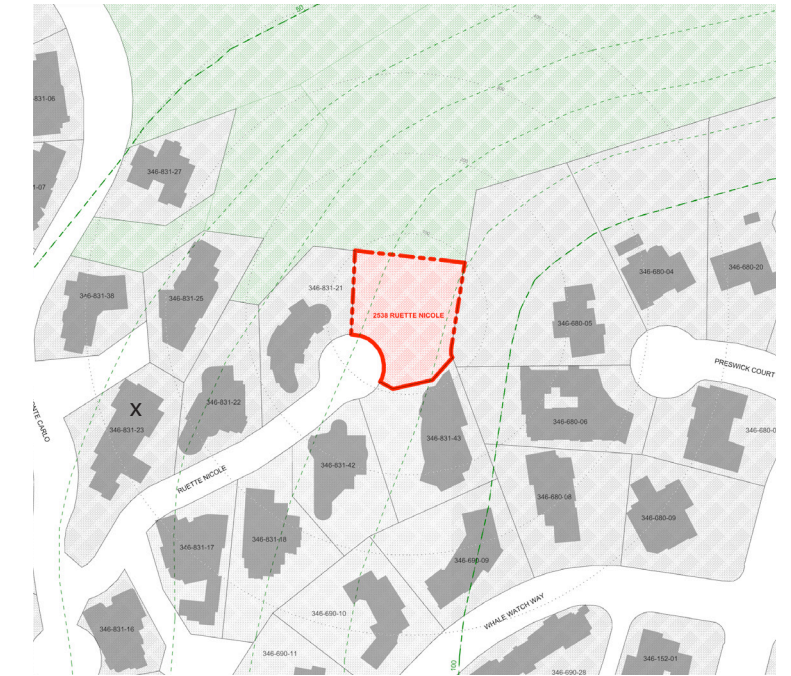
[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	6,011
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	9,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.71
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	20 feet
Ecological:	Steep Hillsides	Side Setback	10 feet
APN:	346-831-16-00	Rear Setback	5 feet
Lot Size SF (approx):	8,499	Stories:	2 stories

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[2506 Ruelle Nicole, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)

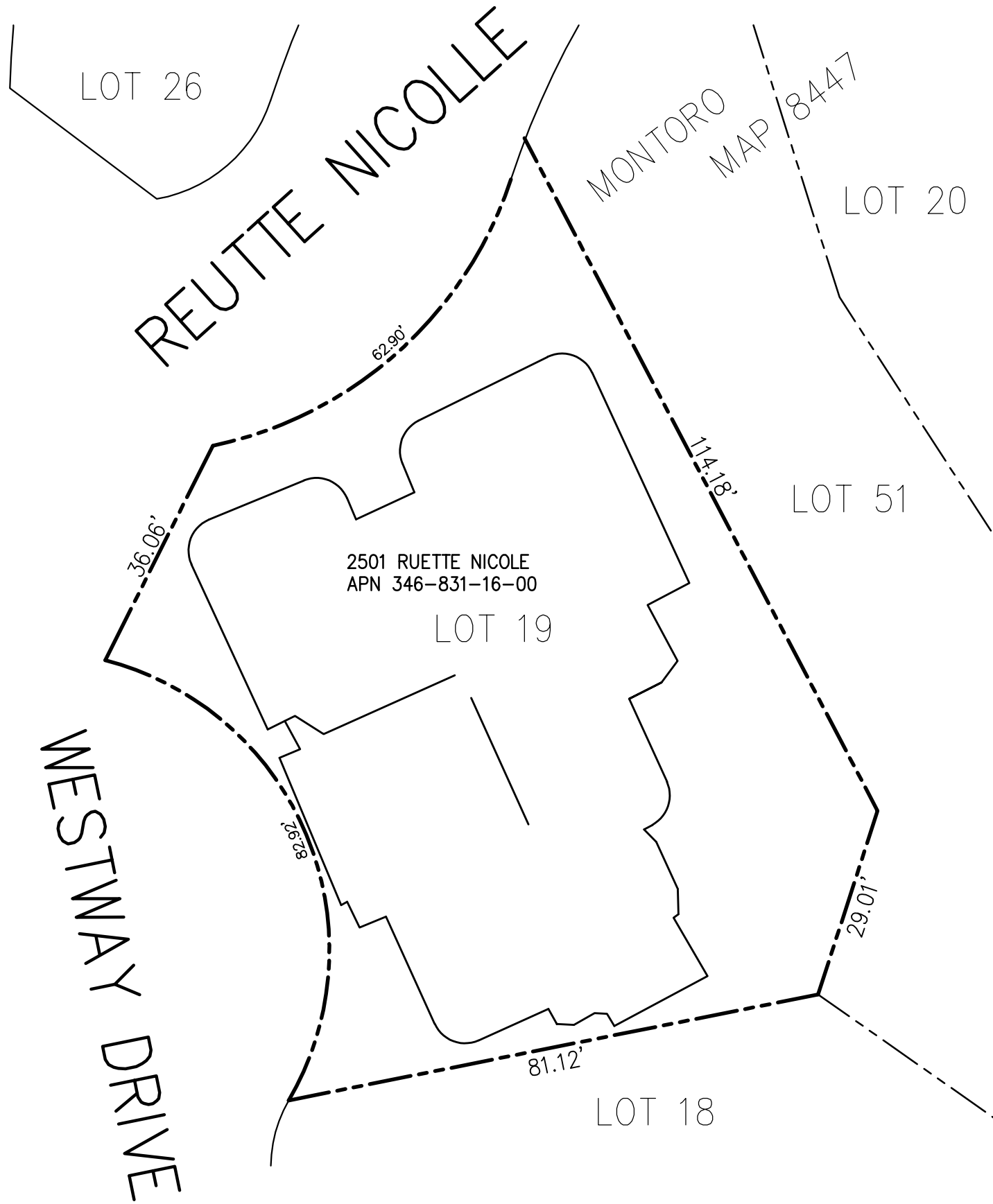
Zoning:	LJSPD-SF	Living SF (approx):	8,927
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	20,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.42
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	7 feet
Ecological:	Steep Hillsides	Side Setback	10 feet
APN:	346-831-23-00	Rear Setback	13 feet
Lot Size SF (approx):	21,261	Stories:	3 stories with subterranean garage

*For subterranean garage: Issued SDP 2006 (applied 2003), CDP 2006 (applied 2003), Combination Building Permit 2005 (applied 2004), Grading Permit 2005 (applied 2004), completed 2009

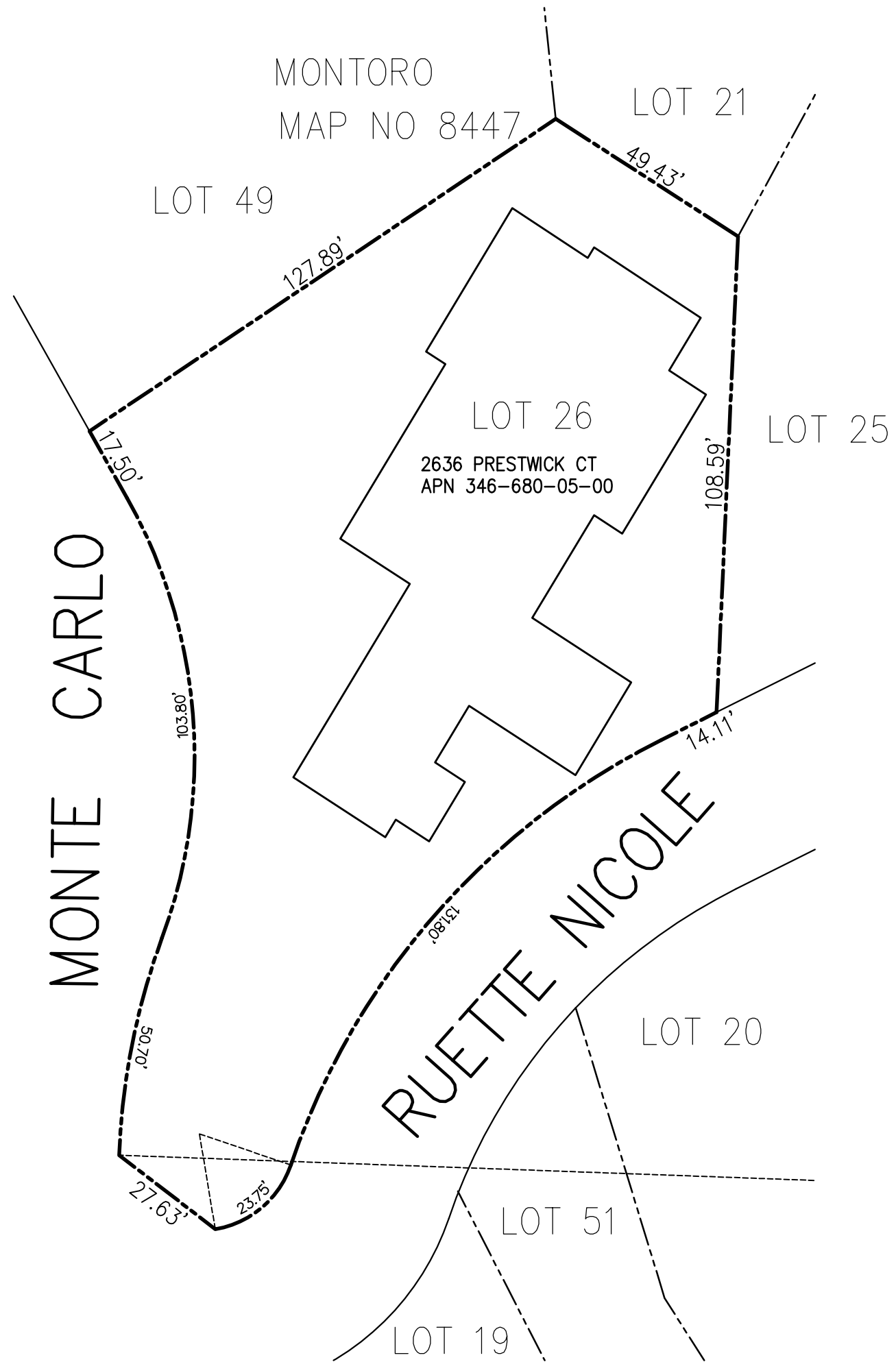
*Information taken from ScoutRed; setback measurements approximated from Google Maps

NEIGHBORS ON SOUTH WEST

MONTE CCARLO

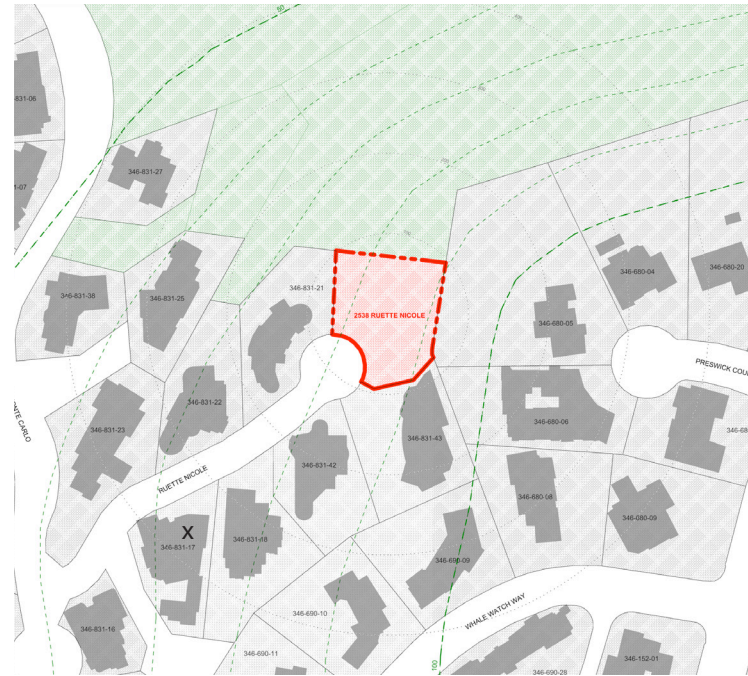


SCALE: 1" = 20'



SCALE: 1" = 30'

[2507 Ruelle Nicole, San Diego, CA 92037](#)



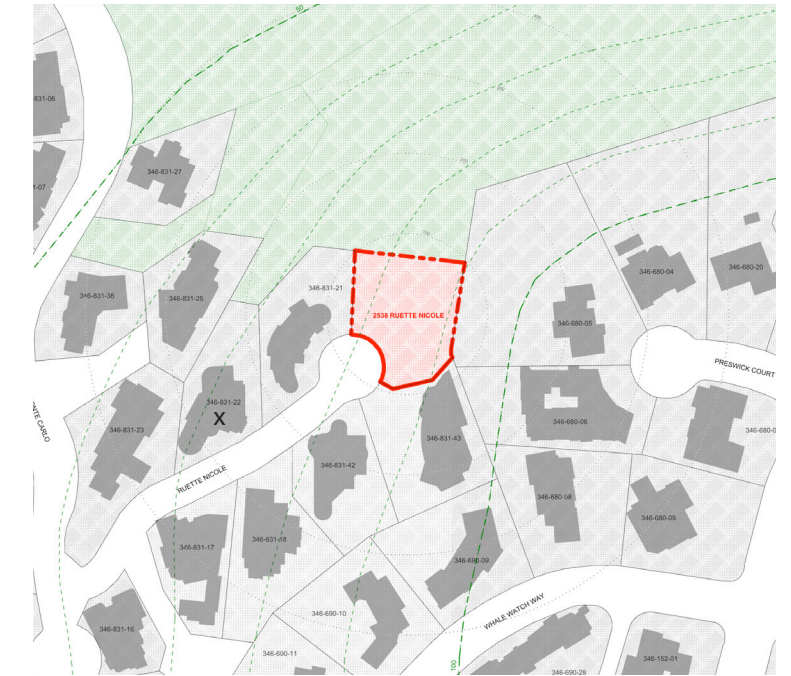
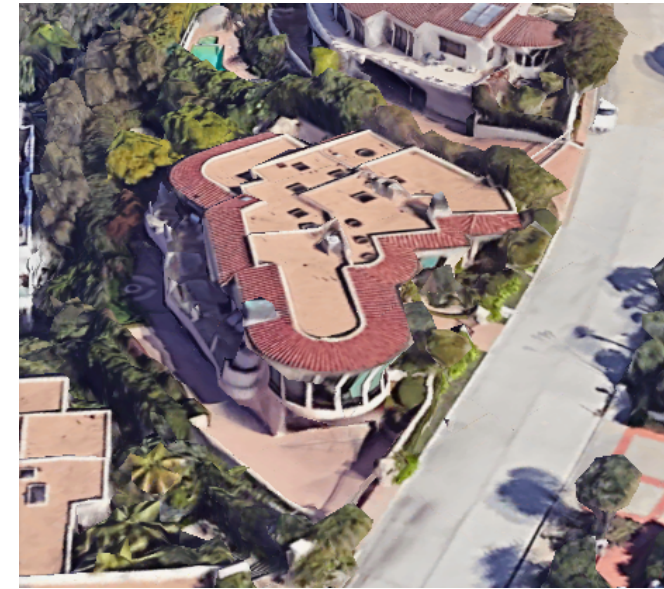
[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	4,215
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	15,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.31
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	10 feet
Ecological:	Steep Hillides	Side Setback	4 feet
APN:	346-831-17-00	Rear Setback	14 feet
Lot Size SF (approx):	13,544	Stories:	2 stories

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[2516 Ruelle Nicole, San Diego, CA 92037](#)



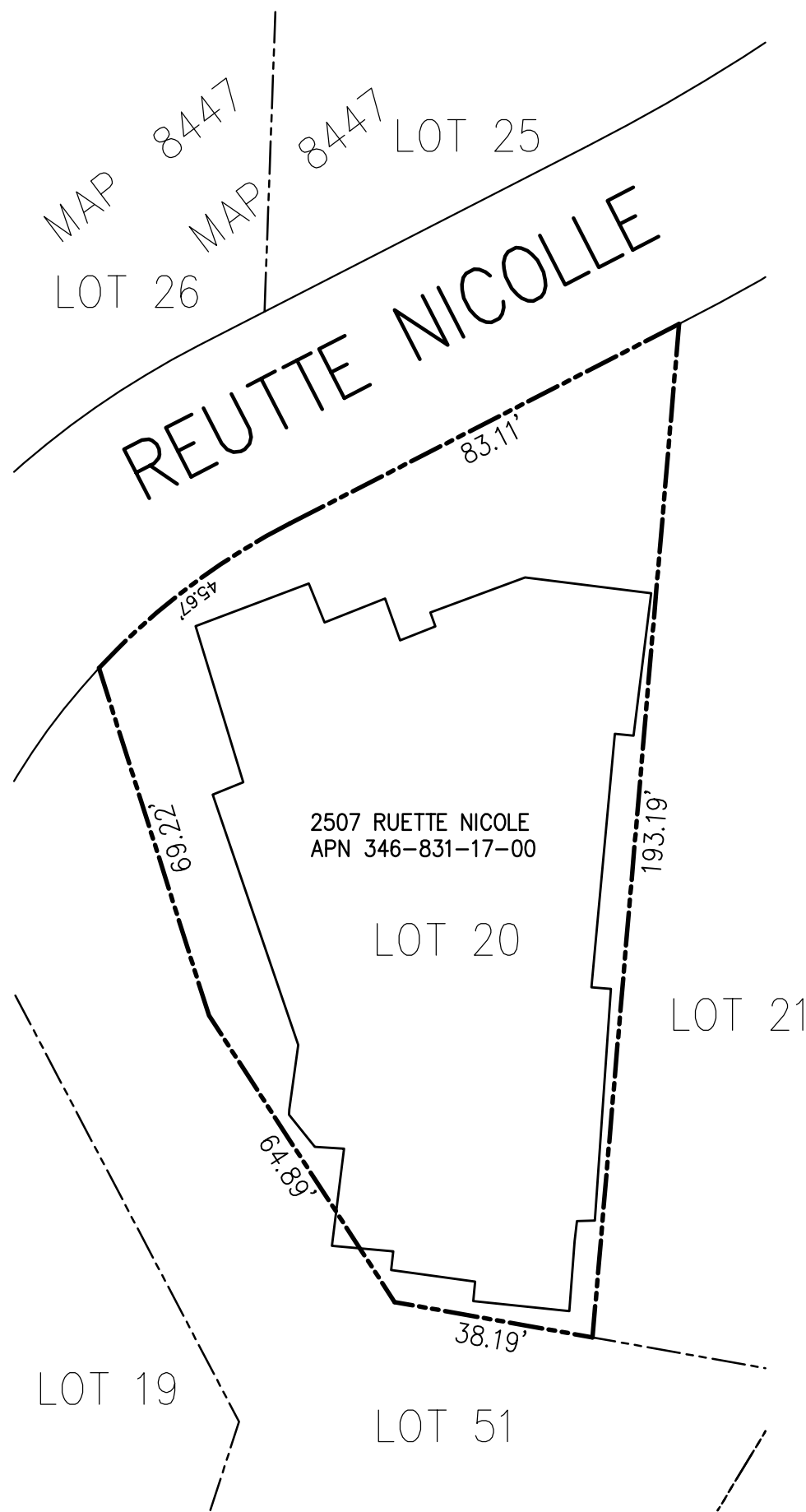
[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	8,216
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	16,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.55
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	6 feet
Ecological:	Steep Hillides	Side Setback	10 feet
APN:	346-831-22-00	Rear Setback	25 feet
Lot Size SF (approx):	15,006	Stories:	2 stories

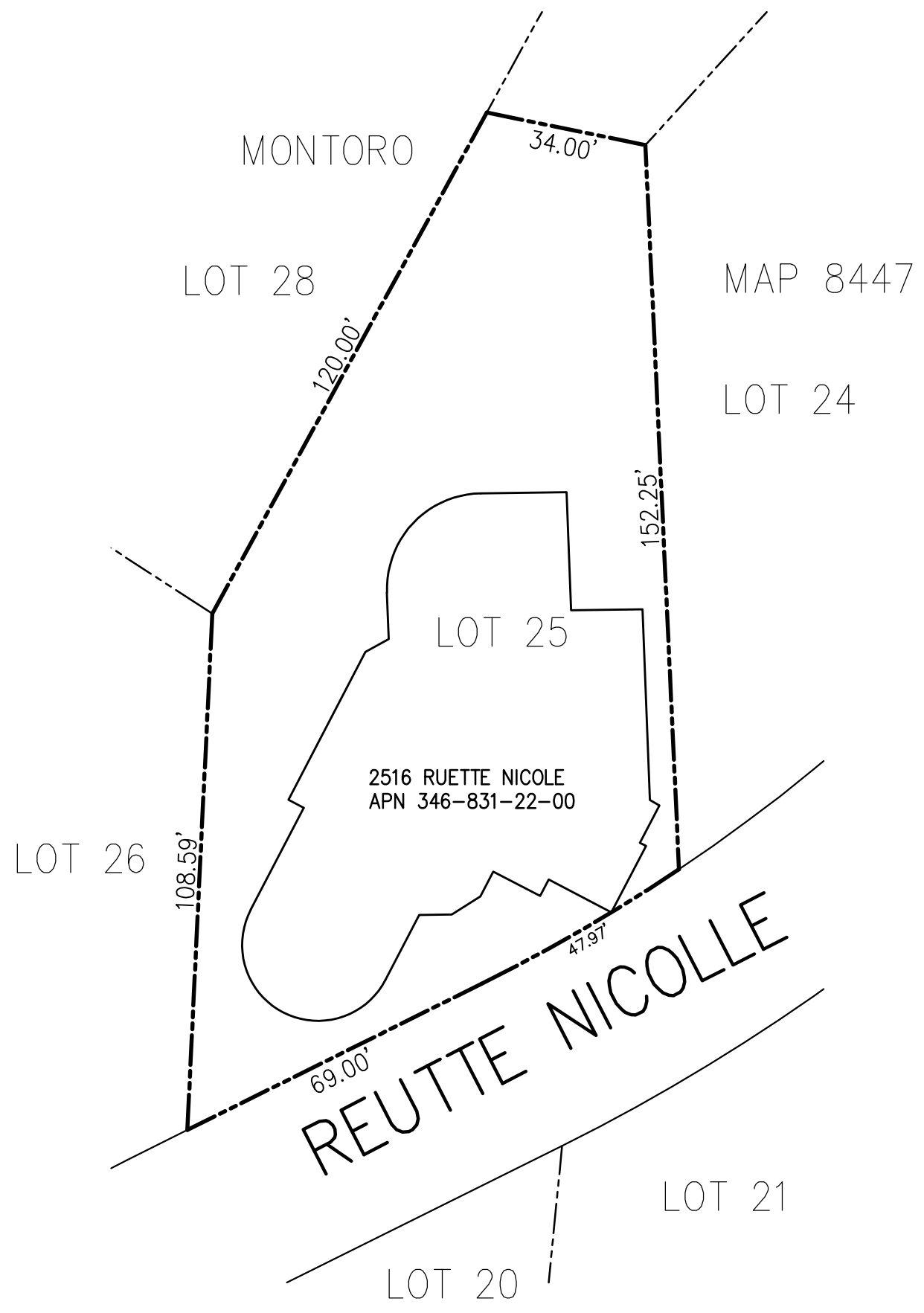
*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

NEIGHBORS ON SOUTH WEST

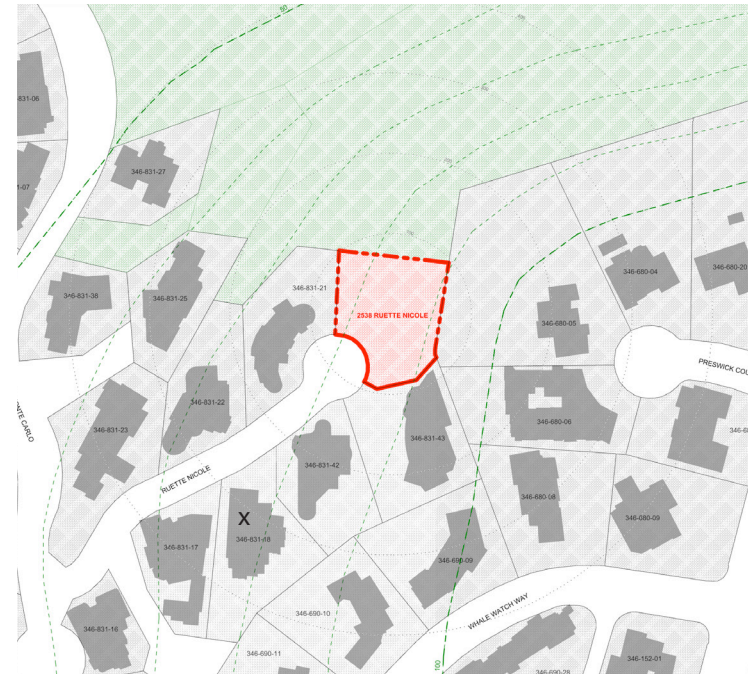


SCALE: 1" = 30'



SCALE: 1" = 30'

[2517 Ruelle Nicole, San Diego, CA 92037](#)



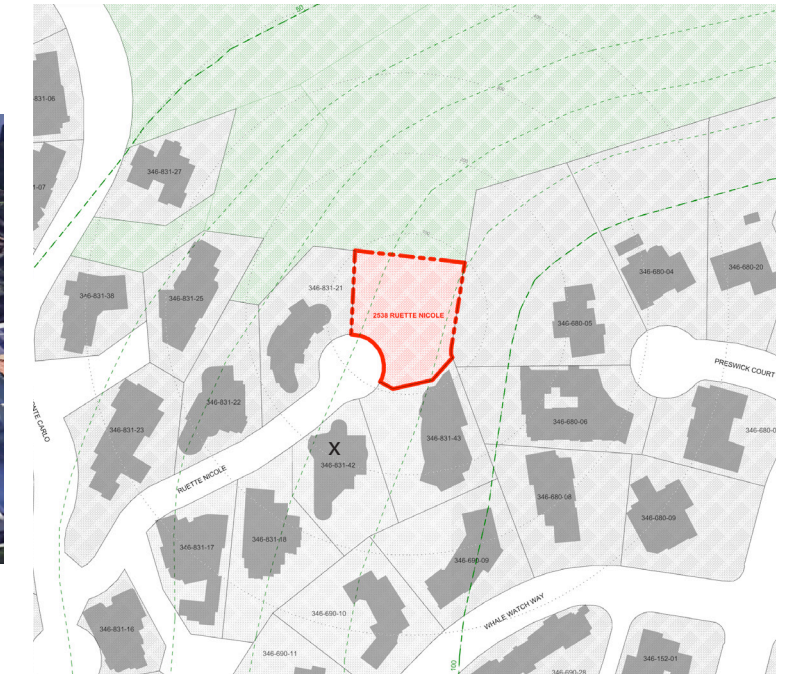
[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	4,443
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	19,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.23
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	27 feet
Ecological:	Steep Hillsides	Side Setback	8 feet
APN:	346-831-18-00	Rear Setback	20 feet
Lot Size SF (approx):	18,908	Stories:	3 stories

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[2527 Ruelle Nicole, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	9,363
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	15,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.61
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	14 feet
Ecological:	Steep Hillsides	Side Setback	7 feet
APN:	346-831-42-00	Rear Setback	37 feet
Lot Size SF (approx):	15,379	Stories:	4 stories

*For demolition of exist. pool & addition of new pool: Demolition Permit issued 2018 (applied 2018), Combination Building Permit issued 2018 (applied 2018), completed 2020

*Information taken from ScoutRed; setback measurements approximated from Google Maps

NEIGHBORS ON SOUTH WEST

REUTTE NICOLLE

PARCEL MAP 12357
PAR 1

2517 RUETTE NICOLE
APN 346-831-18-00

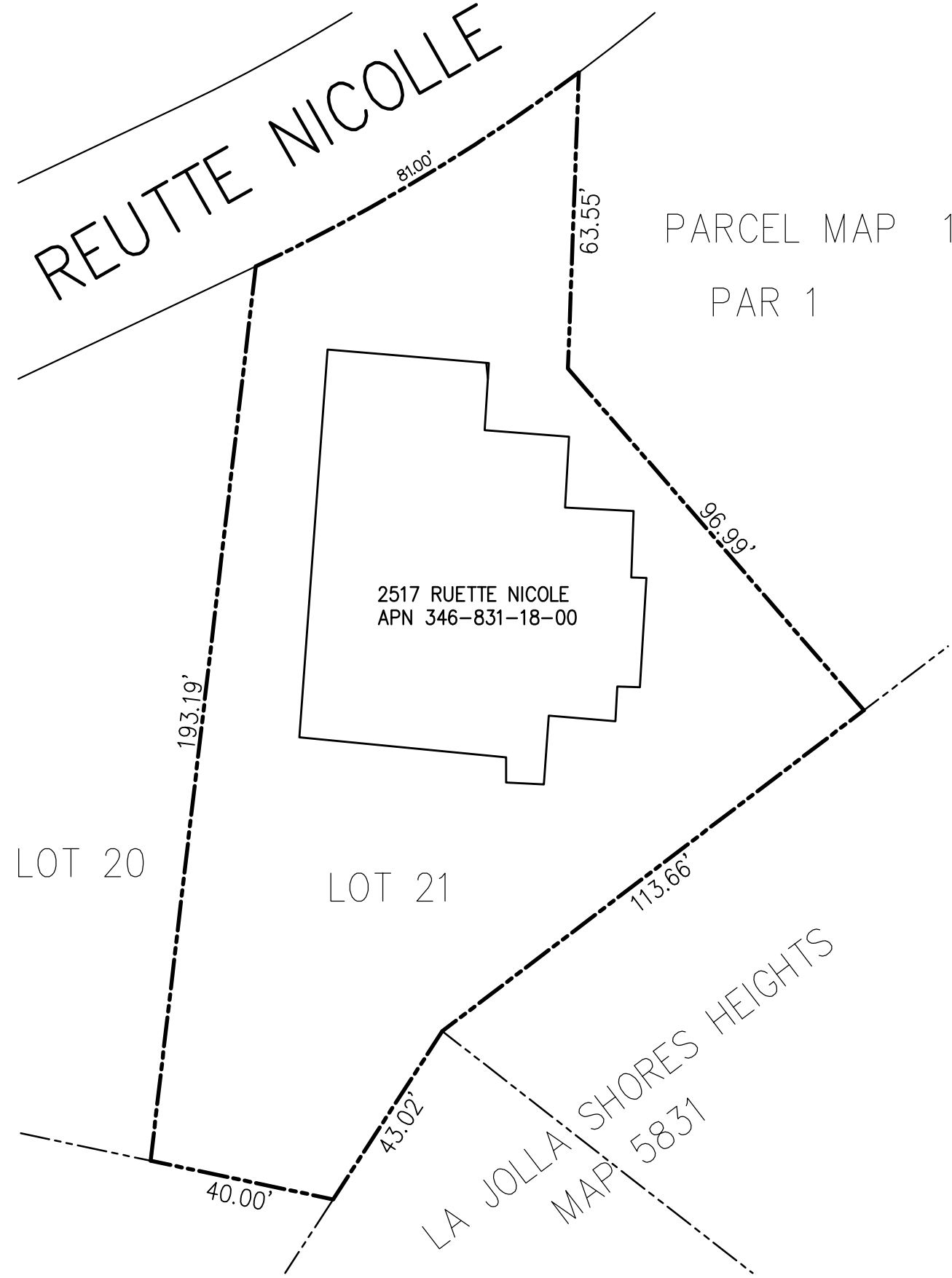
LOT 20

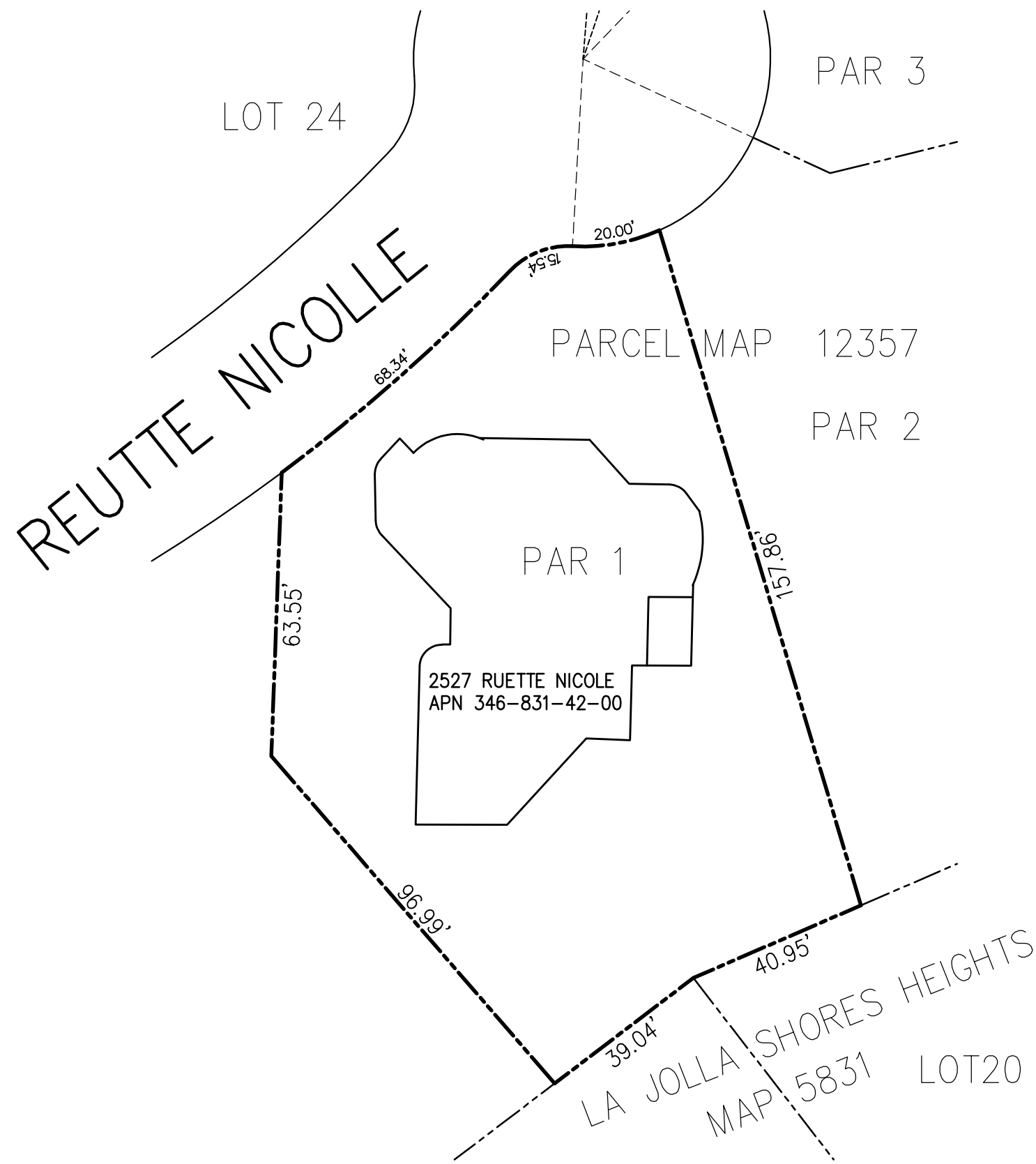
LOT 21

LA JOLLA SHORES HEIGHTS
MAP 5831



SCALE: 1" = 30'



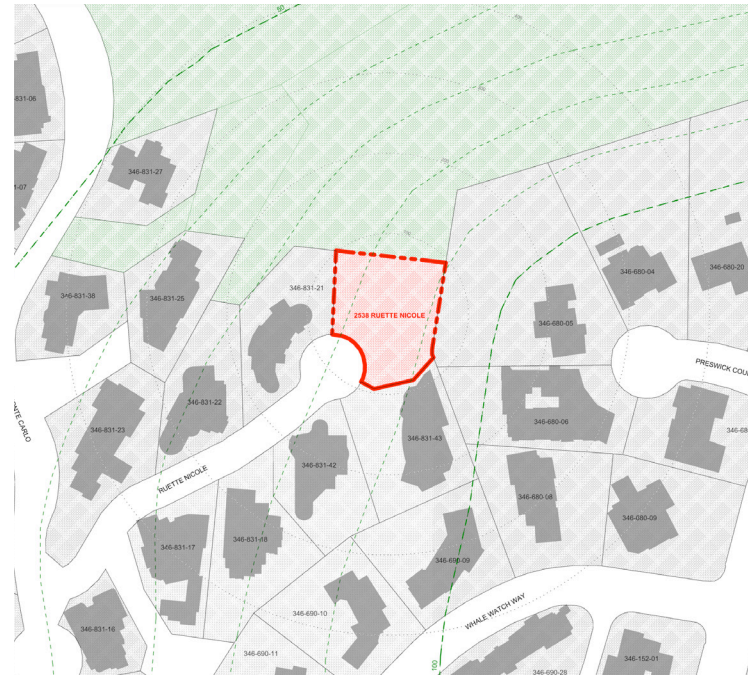


SCALE: 1" = 30'

[8475 Westway Drive, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)



X

Zoning:	LJSPD-SF	Living SF (approx):	5,650
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	21,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.29
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	30 feet
Ecological:	Steep Hillsides	Side Setback	30 feet
APN:	346-690-08-00	Rear Setback	26 feet
Lot Size SF (approx):	19,578	Stories:	3 stories

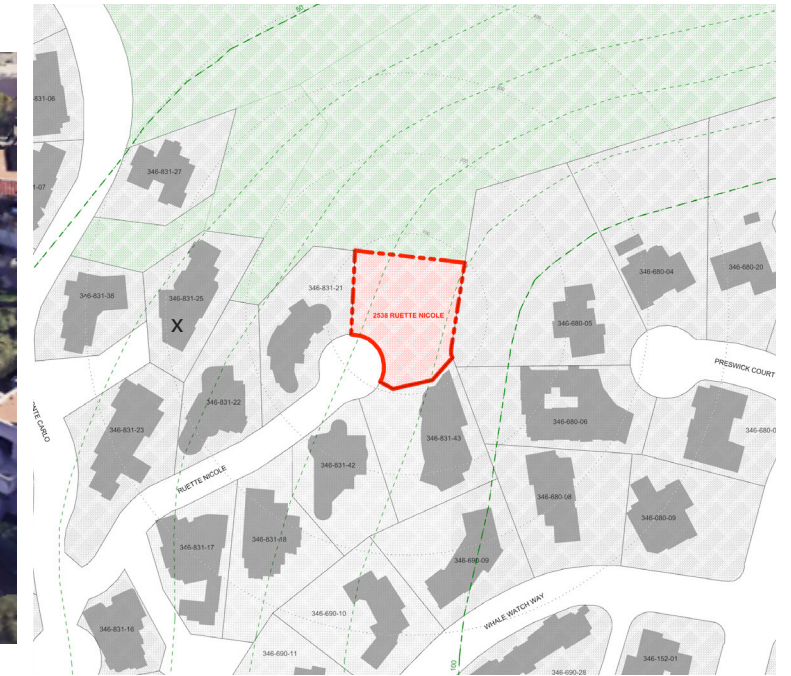
*For 78 SF spa added to SDU, Combination Building Permit issued 2004 (applied 2004), completed 2009

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[8545 Ruelle Monte Carlo, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)

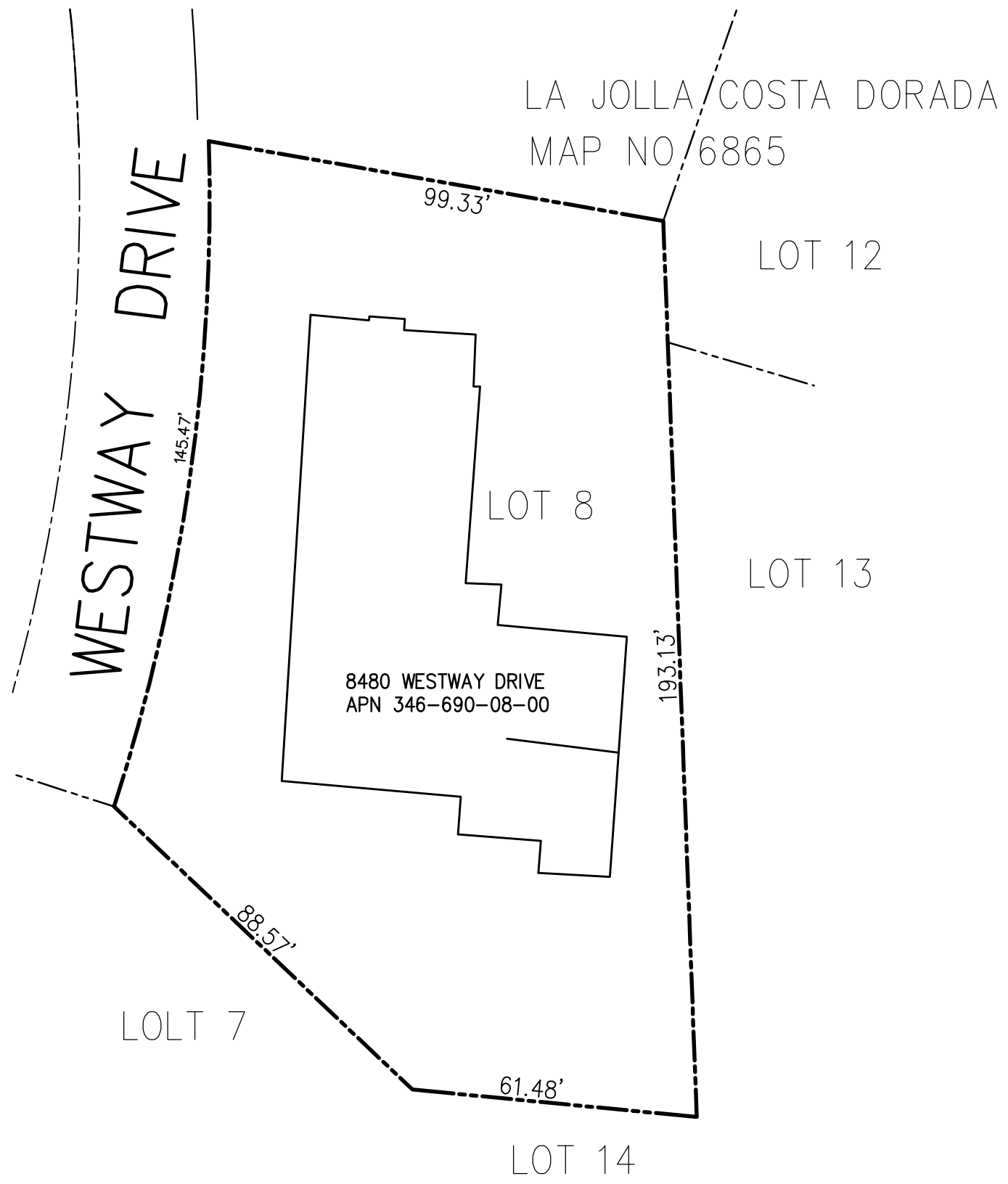


Zoning:	LJSPD-SF	Living SF (approx):	8,523
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	10,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.55
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	None (private road per ScoutRed)
Ecological:	Steep Hillsides	Side Setback	10 feet
APN:	346-831-25-00	Rear Setback	20 feet
Lot Size SF (approx):	15,489	Stories:	3 stories

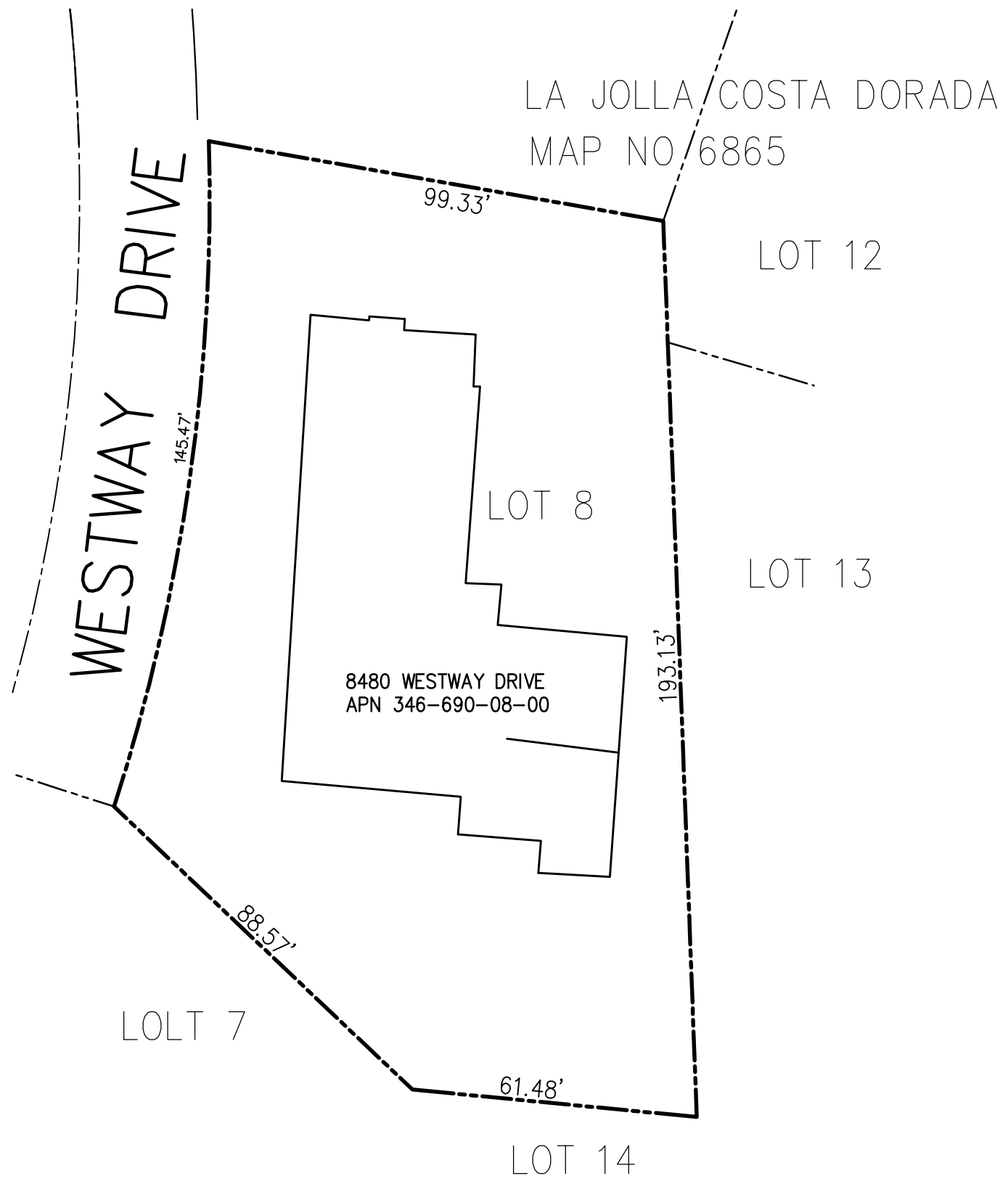
*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

NEIGHBORS ON SOUTH WEST



SCALE: 1" = 30'

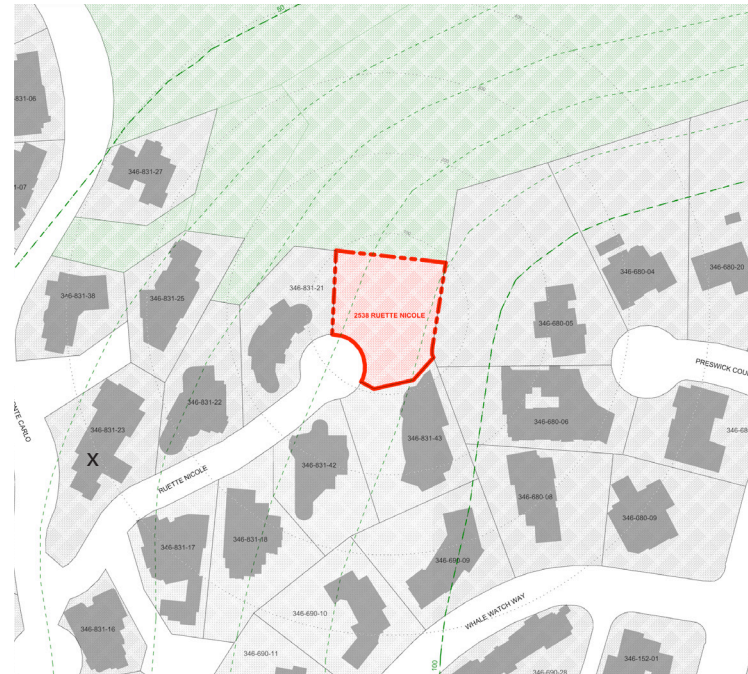


SCALE: 1" = 30'

[8555 Ruelle Monte Carlo, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)



Zoning:	LJSPD-SF	Living SF (approx):	7,511
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	14,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.58
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	23 feet
Ecological:	Steep Hillsides	Side Setback	12 feet
APN:	346-831-24-00	Rear Setback	15 feet
Lot Size SF (approx):	12,962	Stories:	2 stories

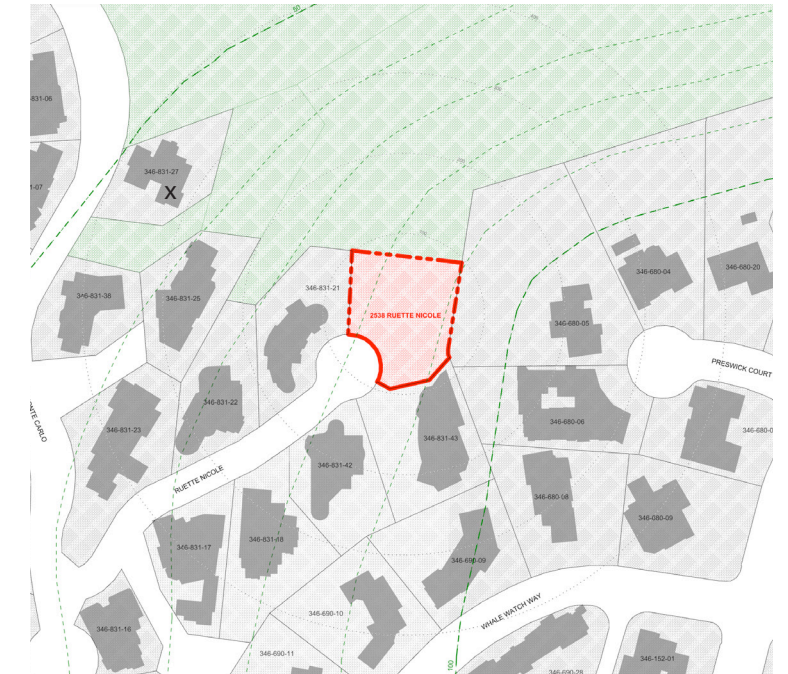
*For new SDU: Combination Building Permit issued 2006, completed 2007

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[8575 Ruelle Monte Carlo, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)



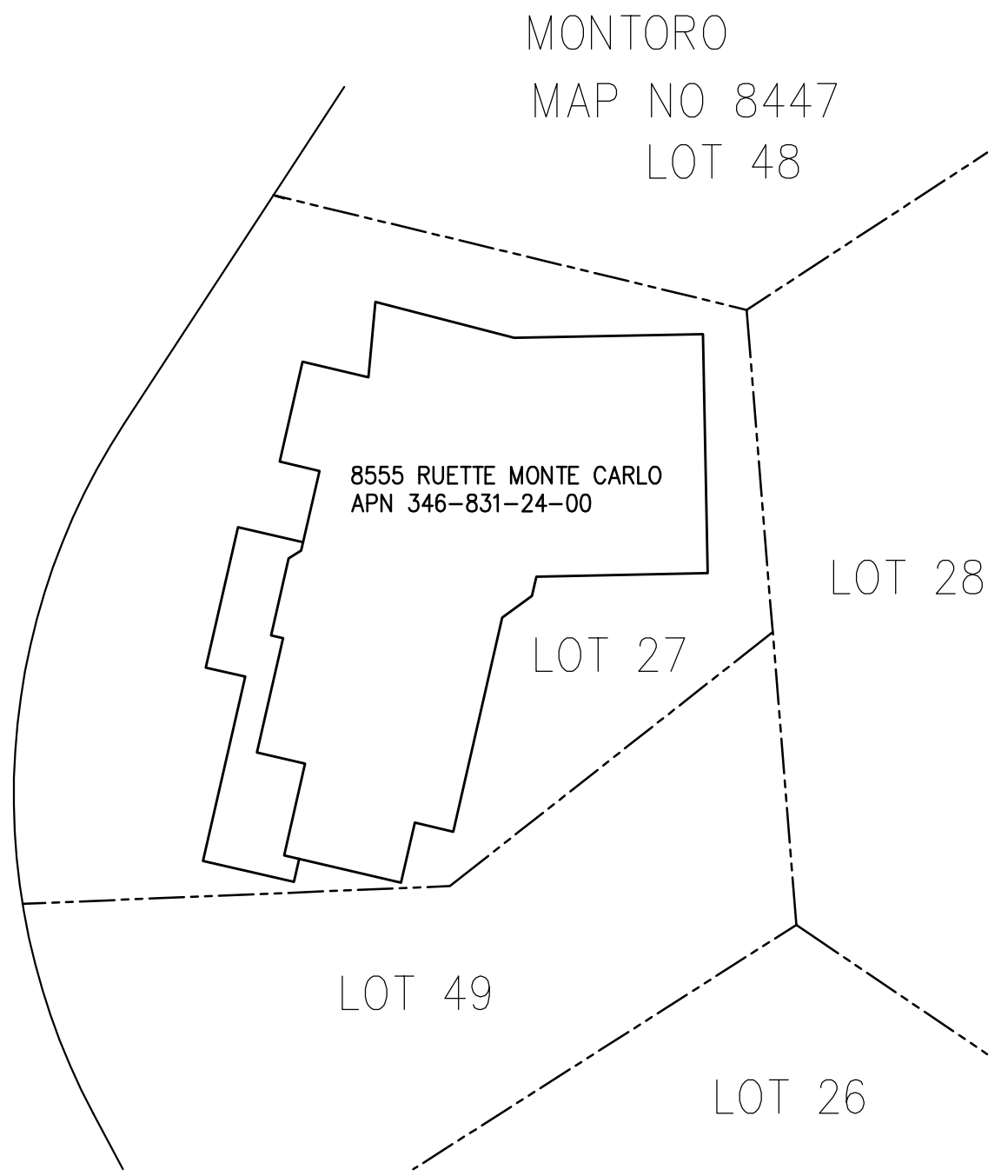
Zoning:	LJSPD-SF	Living SF (approx):	6,752
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	13,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.49
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	24 feet
Ecological:	Steep Hillsides	Side Setback	11 feet
APN:	346-831-27-00	Rear Setback	34 feet
Lot Size SF (approx):	13,821	Stories:	3 stories

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

NEIGHBORS ON SOUTH WEST

MONTE CARLO



MONTORO
MAP NO 8447
LOT 48

8555 RUETTE MONTE CARLO
APN 346-831-24-00

LOT 28

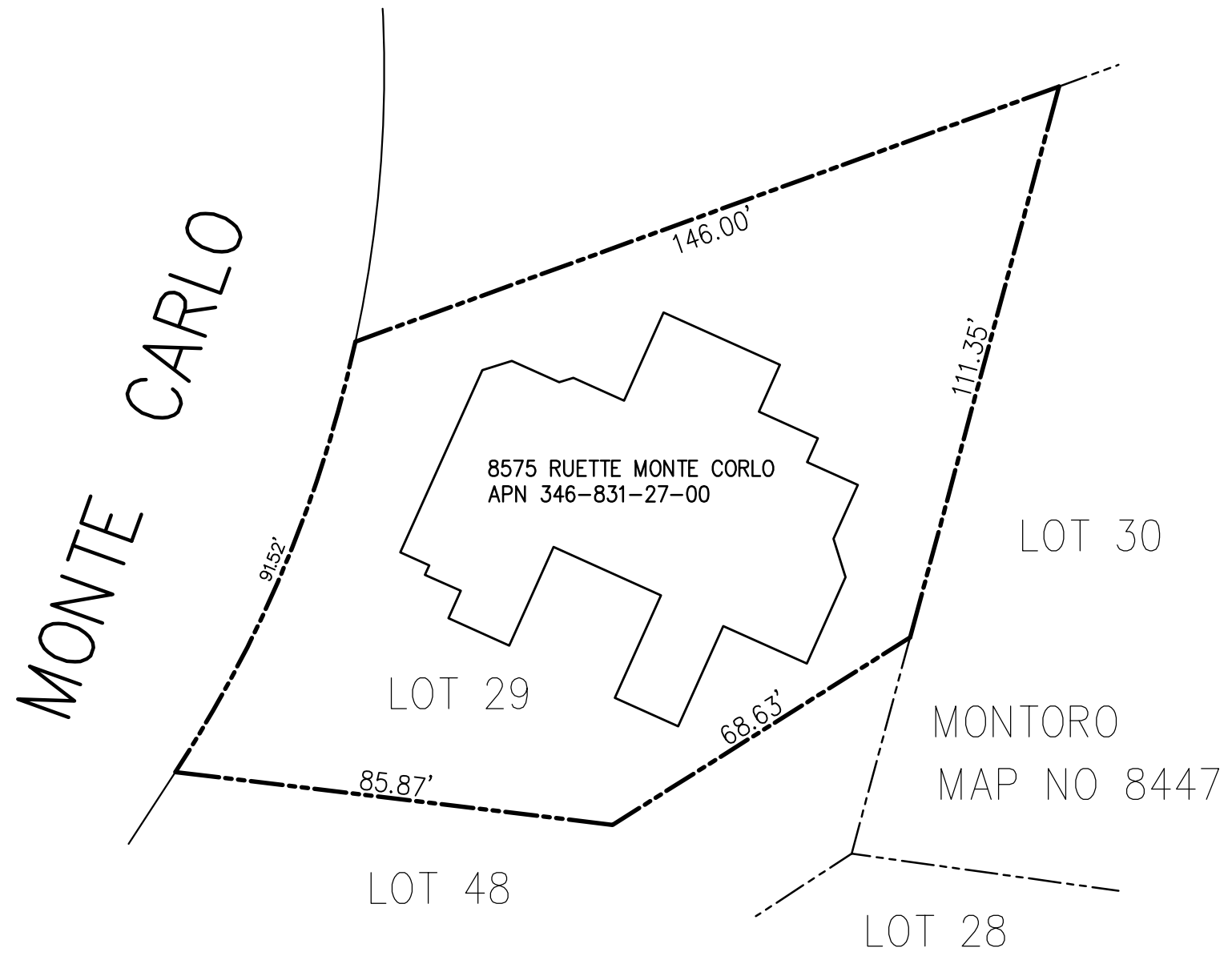
LOT 27

LOT 49

LOT 26

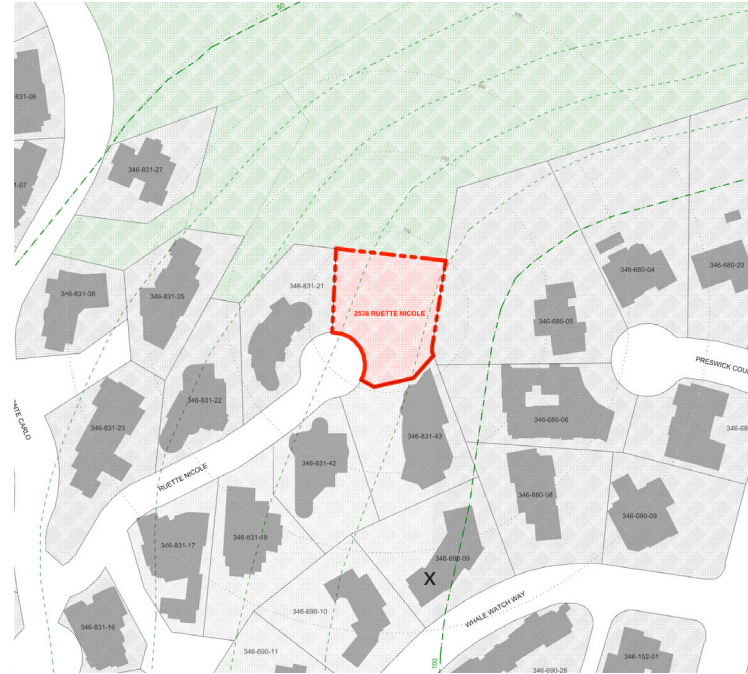


SCALE: 1" = 30'



SCALE: 1" = 30'

[8480 Whale Watch Way, San Diego, CA 92037](#)

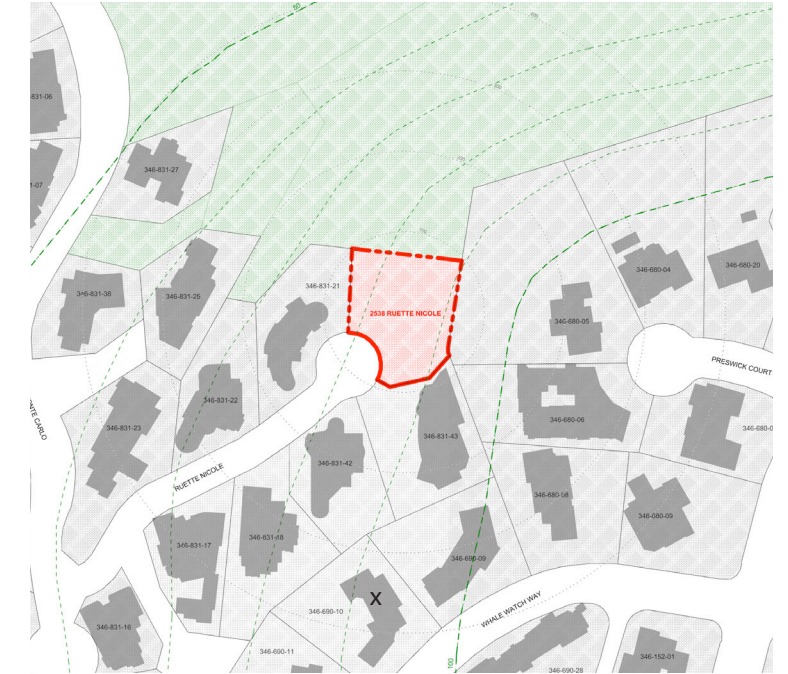


[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	3,688
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	14,600
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.18
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	24
Ecological:	Steep Hillsides	Side Setback	20 ft,
APN:	346-690-09-00	Rear Setback	10 ft
Lot Size SF (approx):	20,044	Stories:	1 stories

*No information on permits

[8470 Whale Watch Way, San Diego, CA 92037](#)



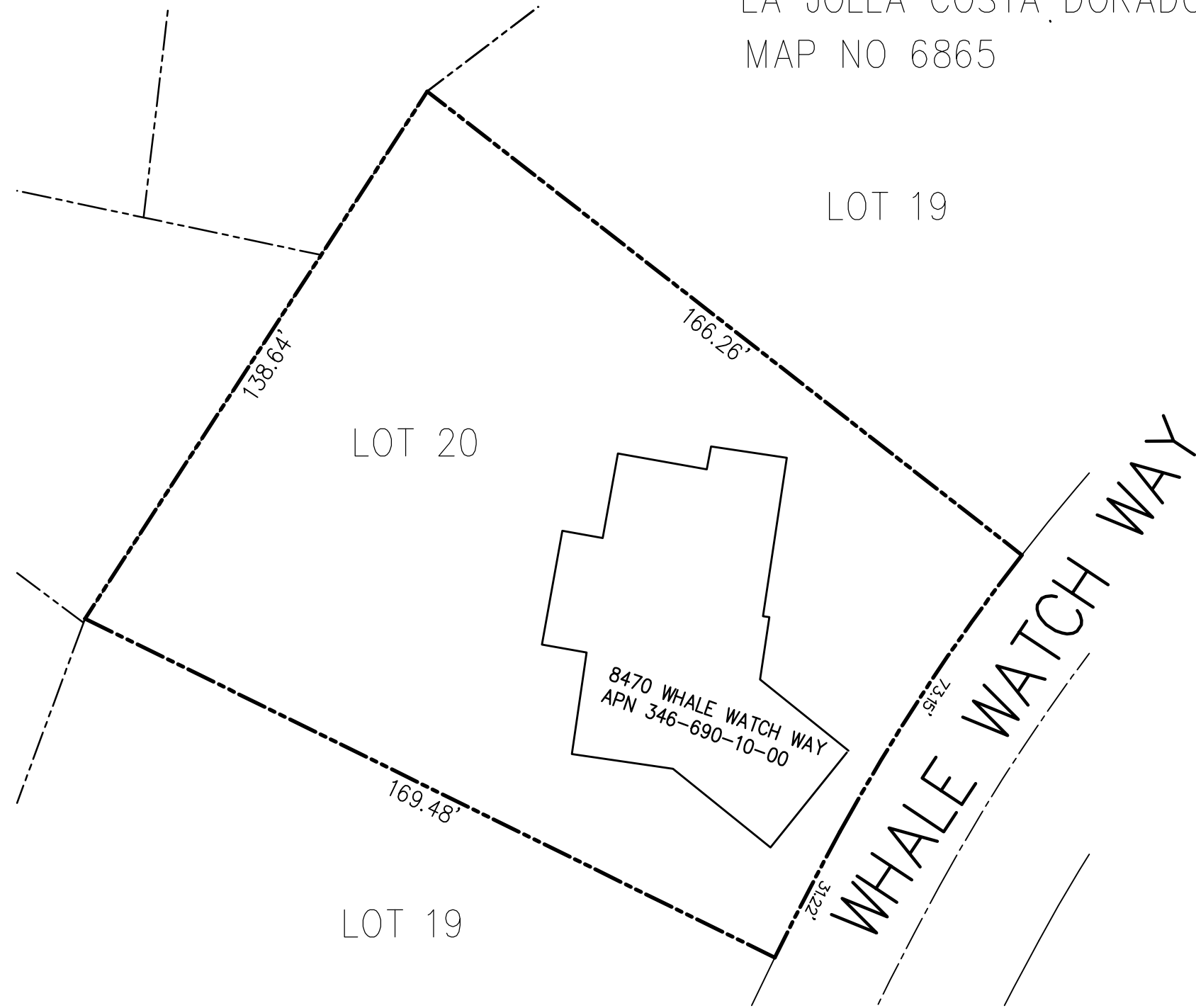
[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	3,271
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	14,430
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.16
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	25
Ecological:	Steep Hillsides	Side Setback	18 ft
APN:	346-690-10-00	Rear Setback	26 ft
Lot Size SF (approx):	20,427	Stories:	1 stories

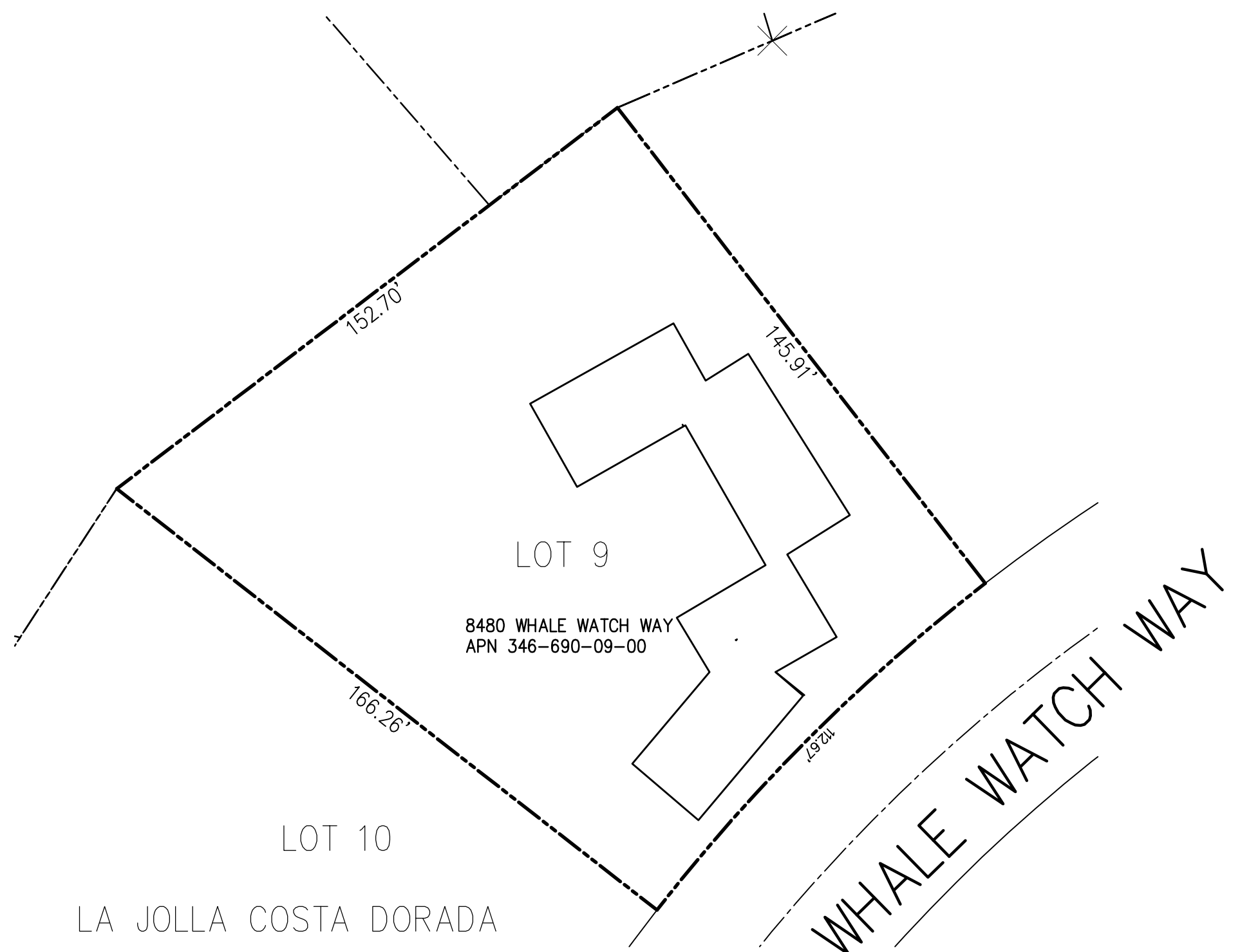
*No information on permits

NEIGHBORS ON SOUTH EAST

LA JOLLA COSTA DORADO
MAP NO 6865



SCALE: 1" = 30'

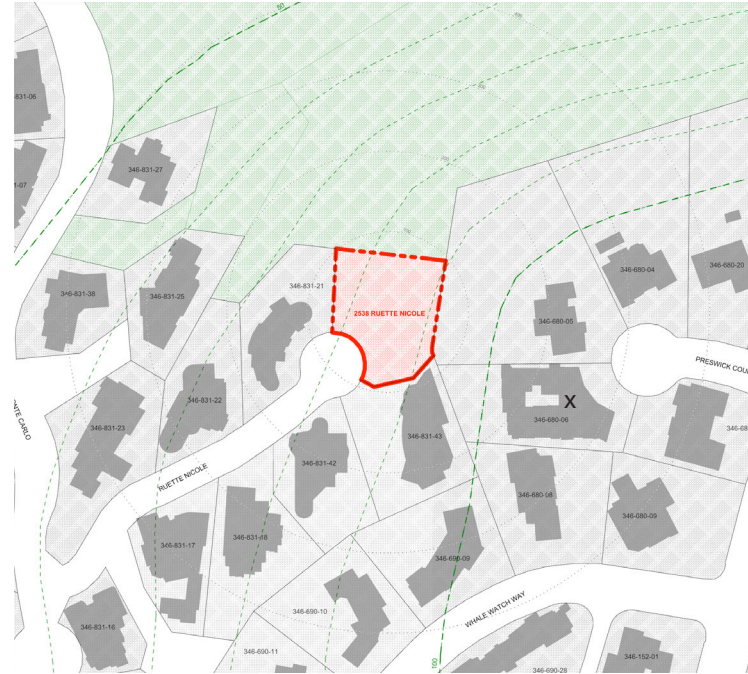


LA JOLLA COSTA DORADA
MAP NO 6865



SCALE: 1" = 30'

[2645 Prestwick Ct, La Jolla Shores Heights, San Diego, CA 92037](#)



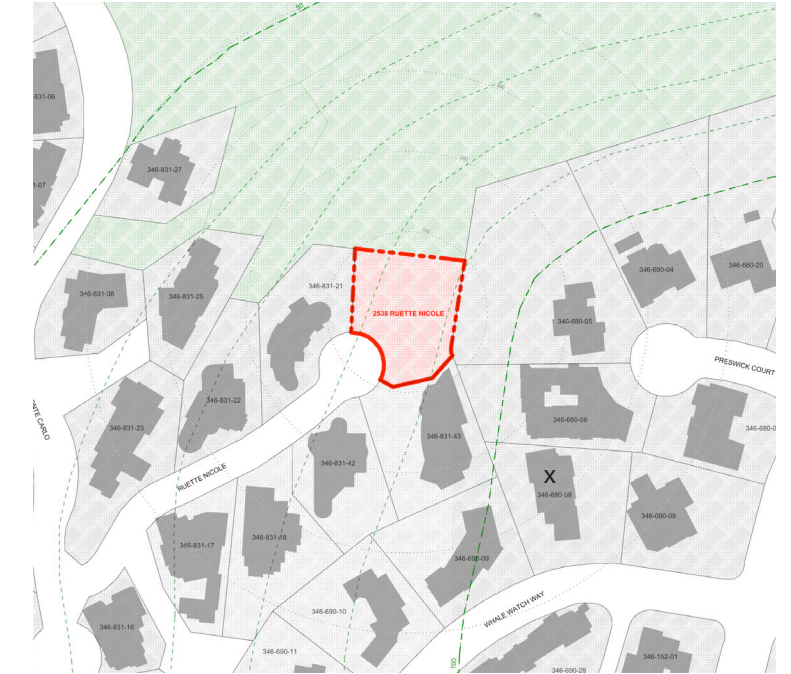
[Photo taken from Google Earth](#)

Zoning:	LJSPD-SF	Living SF (approx):	6,205
Transportation :	Campus Parking Impact Overlay Zone	Usable SF	12,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR	0.28
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback	30 feet
Ecological:	Steep Hillside	Side Setback	14 feet
APN:	346-680-06-00	Rear Setback	55 feet
Lot Size SF (approx):	21,787	Stories:	1 story

*No information on permits

*Information taken from ScoutRed; setback measurements approximated from Google Maps

[8490 Whale Watch Way, La Jolla Shores Heights, San Diego, CA 92037](#)



[Photo taken from Google Earth](#)

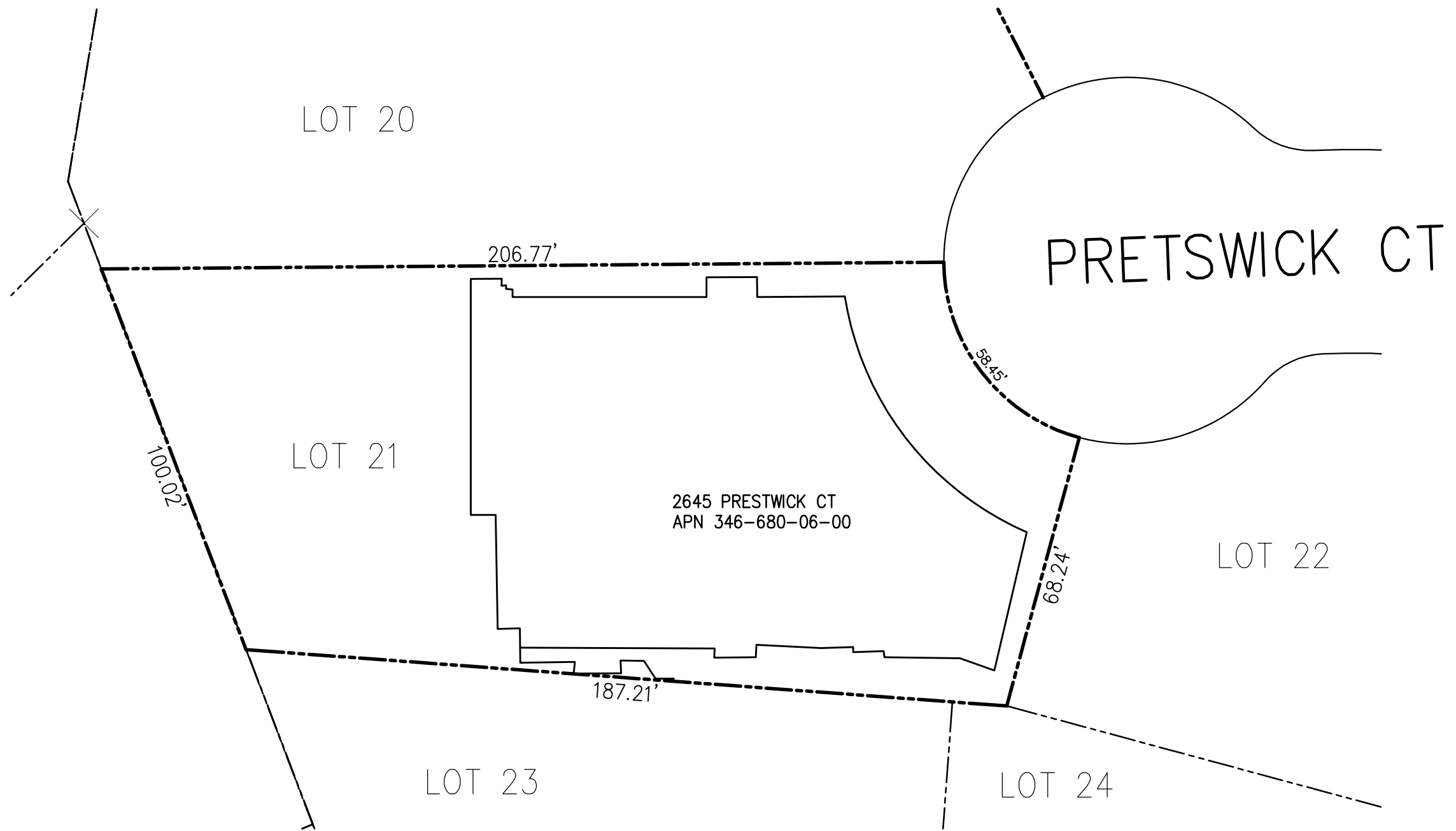
Zoning:	LJSPD-SF	Living SF (approx):	3,314
Transportation :	Campus Parking Impact Overlay Zone	Usable SF (approx):	15,000
Regulatory:	Coastal Height Limit Overlay Zone	FAR (approx):	0.16
Hazard:	Geological Hazard Category 26 - Slide Prone Formations	Front Setback (approx):	N/A
Ecological:	Steep Hillside	Side Setback (approx):	N/A
APN:	346-680-08-00	Rear Setback (approx):	N/A
Lot Size SF (approx):	21,265	Stories:	N/A

*For new SDU, SDP issued 2016 (applied 2013), CDP issued 2016 (applied 2013), Combination Building Permit issued 2019 (applied 2018)

*Information taken from ScoutRed; setback measurements approximated from Google Maps

NEIGHBORS ON SOUTH EAST

LA JOLLA SHORES HEIGHTS
MAP NO 5831



SCALE: 1" = 30'