

# La Jolla Shores Planned District Advisory Board (LJSPDAB)

## APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

### For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):  
**SDP Permit PRJ-1123371 - Private Residence Remodel & Addition**
- Address and APN(s):
- **7856 La Jolla Vista Drive, La Jolla, CA 92037 / APN#: 346-742-11-00**
- Project contact name, phone, e-mail: **Michael R. Morton AIA, (619) 857-8144, [michael@m2a.io](mailto:michael@m2a.io)**  
Project description: **Remodel & Addition of existing SFR of 4,764 S.F.(Main House). Remodel 1,780 S.F. Addition to existing SFR addition of 2,443 S.F. New total Main House of 5,427 S.F. New detached ADU of 732 S.F. New total SFR & ADU addition of 6,159 S.F. New detached garage of 818 S.F. & new tennis pavilion 64 S.F. Total of new non-habitable structures is 882 S.F. The New total FAR area of this project site is 7,041 S.F. Site work includes a new site retaining wall and hardscape, and a new swimming pool, ponds, reflecting pools & other site improvements. Other site improvement to remain, existing fenced tennis court remain undisturbed.**
- Please indicate the action you are seeking from the Advisory Board:
  - Recommendation that the Project is minor in scope (Process 1)
  - Recommendation of approval of a Site Development Permit (SDP)**
  - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
  - Other: \_\_\_\_\_
- In addition, provide the following:
  - lot size: **66,255 SF or 1.52 acres**
  - existing structure square footage and FAR (if applicable): **4,764 SF**
  - proposed square footage and **FAR: Lot Coverage :9,923 SF – FAR Area: 7,041 SF – 15.3% Coverage (allowed)**
  - existing and proposed setbacks on all sides:
 

<b>Setbacks:</b>	<b>Existing</b>	<b>Average</b>	<b>Proposed</b>
Front Yard-	193'-6"	41'-3 1/2"	<b>191'-3.5"</b>
Side Yard (North) –	32'-11"	15'-5"	<b>49'-8"</b>
Side Yard (South) –	61'-11 1/2"	15'-5"	<b>13'-8"</b>
Rear Yard	17'-1 1/2"	41'-3 1/2"	<b>43'-0"</b>
ADU (Rear)	N/A	N/A	<b>11'-3.5"</b>
  - height if greater than 1-story (above ground): **N/A (One Story Structure – 14'-5.5")**

### For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): \_\_\_\_\_
- Address and APN(s): \_\_\_\_\_
- Project contact name, phone, e-mail: \_\_\_\_\_
- Project description: \_\_\_\_\_
- In addition to the project description, please provide the following:
  - lot size: \_\_\_\_\_
  - existing structure square footage and FAR (if applicable): \_\_\_\_\_
  - proposed square footage and FAR: \_\_\_\_\_
  - existing and proposed setbacks on all sides: \_\_\_\_\_
  - height if greater than 1-story (above ground): \_\_\_\_\_

- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): \_\_\_\_\_

**Exhibits and other materials to provide:**

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website: <https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
  - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building; **(Attached)**
  - B. Elevations for all sides;
  - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
  - D. If the proposal is for a building with more than one story, show:
    - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
    - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
    - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood **(Attached)**
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department **(Attached)**
- Neighborhood Survey Tabulation of Front, side, and rear setbacks. **(Attached)**

**PLEASE DO NOT PROVIDE THE FOLLOWING:**

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

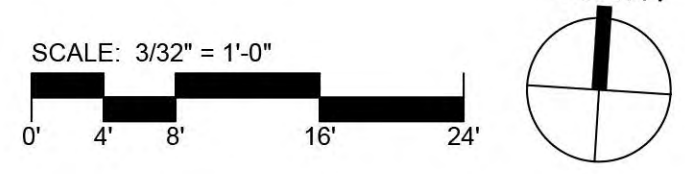
Please return the information requested to no later than a week before the scheduled meeting date:

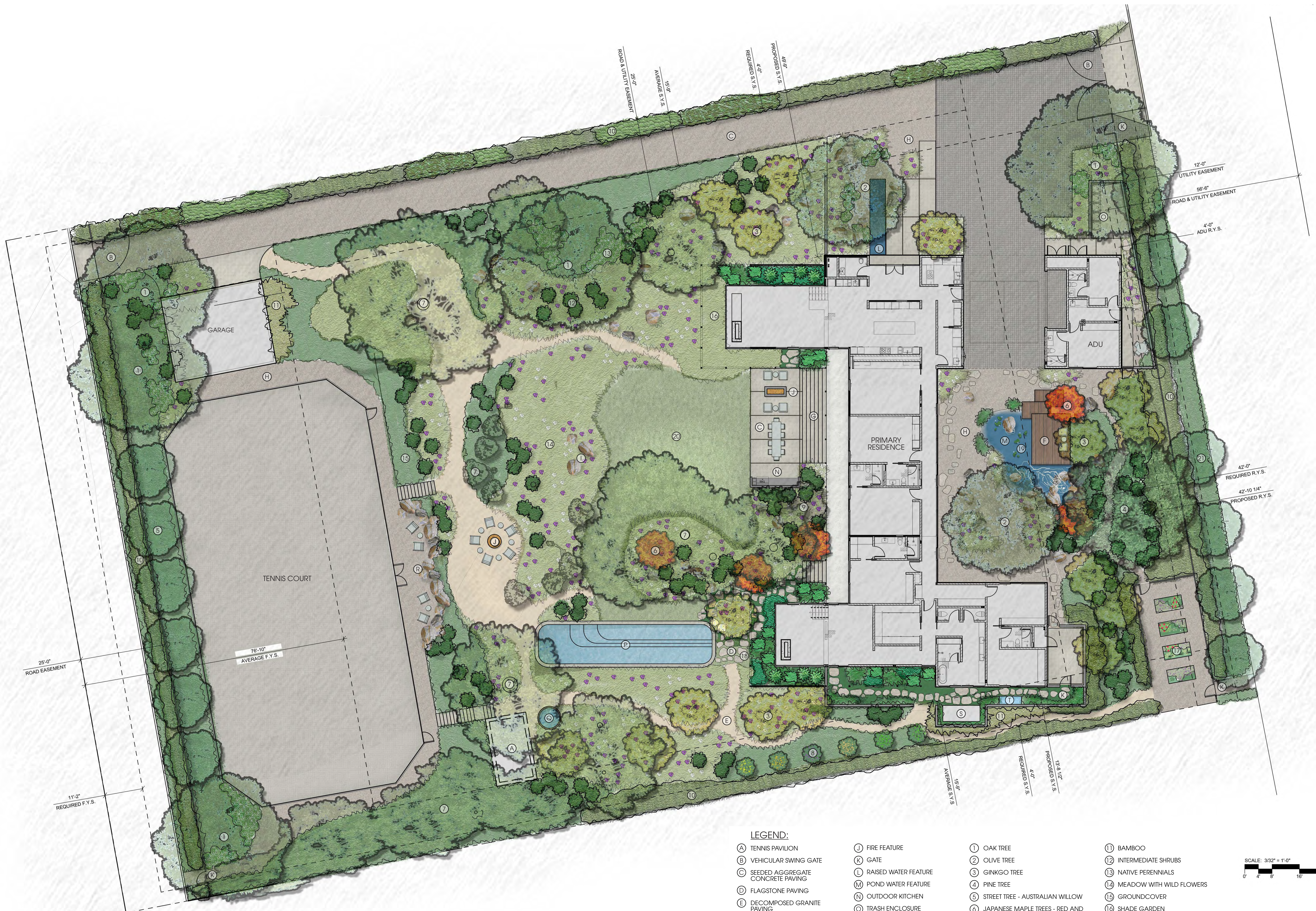
Melissa Garcia, Senior Planner  
[magarcia@sandiego.gov](mailto:magarcia@sandiego.gov)  
City Planning Department  
619-236-6173



**LEGEND:**

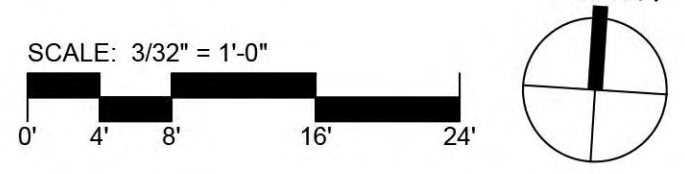
- |                                      |                          |  |                                  |
|--------------------------------------|--------------------------|--|----------------------------------|
| (A) TENNIS PAVILION                  | (J) FIRE FEATURE         | (1) OAK TREE                             | (11) BAMBOO                      |
| (B) VEHICULAR SWING GATE             | (K) GATE                 | (2) OLIVE TREE                           | (12) INTERMEDIATE SHRUBS         |
| (C) SEEDED AGGREGATE CONCRETE PAVING | (L) RAISED WATER FEATURE | (3) GINKGO TREE                          | (13) NATIVE PERENNIALS           |
| (D) FLAGSTONE PAVING                 | (M) POND WATER FEATURE   | (4) PINE TREE                            | (14) MEADOW WITH WILD FLOWERS    |
| (E) DECOMPOSED GRANITE PAVING        | (N) OUTDOOR KITCHEN      | (5) STREET TREE - AUSTRALIAN WILLOW      | (15) GROUNDCOVER                 |
| (F) WOOD DECK                        | (O) TRASH ENCLOSURE      | (6) JAPANESE MAPLE TREES - RED AND GREEN | (16) SHADE GARDEN                |
| (G) CONCRETE STEPS                   | (P) LAP POOL             | (7) EXISTING TREES                       | (17) RAISED VEGETABLE BEDS       |
| (H) GRAVEL                           | (Q) CEDAR SPA            | (8) EXISTING FRUIT TREES                 | (18) PLANTED JOINTS              |
| (I) BOULDER                          | (R) SITTING AREA         | (9) SAUCER MAGNOLIA TREE                 | (19) LILY PADS                   |
|                                      | (S) SAUNA                | (10) HEDGE                               | (20) LAWN                        |
|                                      | (T) COLD PLUNGE          |  | (21) STREET TREE - AFRICAN SUMAC |





**LEGEND:**

- |                                      |                          |  |                                  |
|--------------------------------------|--------------------------|--|----------------------------------|
| (A) TENNIS PAVILION                  | (J) FIRE FEATURE         | (1) OAK TREE                             | (11) BAMBOO                      |
| (B) VEHICULAR SWING GATE             | (K) GATE                 | (2) OLIVE TREE                           | (12) INTERMEDIATE SHRUBS         |
| (C) SEEDED AGGREGATE CONCRETE PAVING | (L) RAISED WATER FEATURE | (3) GINKGO TREE                          | (13) NATIVE PERENNIALS           |
| (D) FLAGSTONE PAVING                 | (M) POND WATER FEATURE   | (4) PINE TREE                            | (14) MEADOW WITH WILD FLOWERS    |
| (E) DECOMPOSED GRANITE PAVING        | (N) OUTDOOR KITCHEN      | (5) STREET TREE - AUSTRALIAN WILLOW      | (15) GROUNDCOVER                 |
| (F) WOOD DECK                        | (O) TRASH ENCLOSURE      | (6) JAPANESE MAPLE TREES - RED AND GREEN | (16) SHADE GARDEN                |
| (G) CONCRETE STEPS                   | (P) LAP POOL             | (7) EXISTING TREES                       | (17) RAISED VEGETABLE BEDS       |
| (H) GRAVEL                           | (Q) CEDAR SPA            | (8) EXISTING FRUIT TREES                 | (18) PLANTED JOINTS              |
| (I) BOULDER                          | (R) SITTING AREA         | (9) SAUCER MAGNOLIA TREE                 | (19) LILY PADS                   |
|                                      | (S) SAUNA                | (10) HEDGE                               | (20) LAWN                        |
|                                      | (T) COLD PLUNGE          |  | (21) STREET TREE - AFRICAN SUMAC |

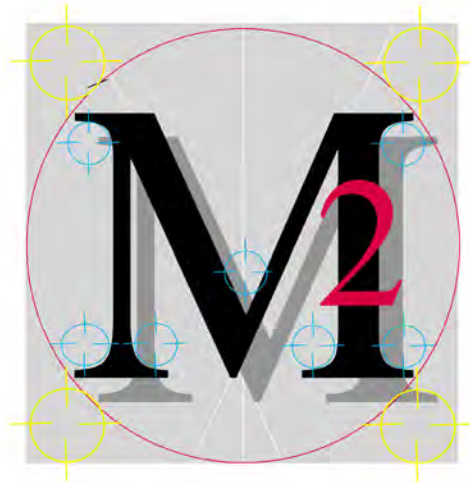


# Photo Survey for 300' Radius 7856 La Jolla Vista Drive

7856 La Jolla Vista Drive  
La Jolla, CA 92037  
APN # 346-742-11-00

Project No. 2023-28

Date: 12-21-2023



Marengo Morton Architects  
7724 Girard Avenue, Suite 200  
La Jolla, CA 92037  
Phone: 858-459-3769  
Fax: 858-459-3768



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



## **AERIAL VIEW WITHIN 300 FEET**

The existing homes in this area are an eclectic mix of ranch style, Mediterranean, contemporary, and midcentury modern. There is no prevailing style in the immediate vicinity. Therefore, the eclectic mix of architectural styles in the area allows for a wide variety of conforming designs. In conclusion, this remodel and addition to the midcentury home conforms to the architectural style in the vicinity.



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	FRONT YARD SETBACK
7	7855 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 15*	20,202 SF	4326 SF	9' - 0"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 1290*WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	11' - 2" (required) 191' - 3 1/2" (proposed) 193' - 4 1/2" (existing)
1	7866 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 17*	21,452 SF	5529 SF	17' - 0"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 16*	20,378 SF	3590 SF	28' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 14*	19,966 SF	4093 SF	26' - 0"
11	7856 REVELLE DR LA JOLLA, CA. 92037-3537	LOT 1*	20,753 SF	4636 SF	30' - 6"
4	7849 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	64' - 0"
5	7851 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	94' - 0"
4	7849 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	118' - 0"
5	7851 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	138' - 0"

\* Reviewed by CSD Planning.

Average = 76.82

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	REAR YARD SETBACK
1	7855 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 17*	21,452 SF	5529 SF	42' - 0"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 1290*WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	42' - 0" (required) 43' - 0" (proposed) 16' - 1 1/2" (existing)
2	7866 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 16*	20,378 SF	3590 SF	50' - 0"
11	7856 REVELLE DR LA JOLLA, CA. 92037-3537	LOT 1*	20,753 SF	4636 SF	65' - 0"
7	7855 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 15*	20,202 SF	4326 SF	76' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 14*	19,966 SF	4093 SF	94' - 6"
4	7849 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	64' - 0"
5	7851 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	94' - 0"

Average = 62.81





# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	SIDE YARD SETBACK
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	0'
9	7835 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 500 FT*	19,721 SF	3517 SF	0'
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	2'-0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	3'-0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	3'-0"
7	7855 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 15*	20,202 SF	4326 SF	9'-0"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	9'-6"
9	7835 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 500 FT*	19,721 SF	3517 SF	11'-0"
1	7855 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 17*	21,452 SF	5529 SF	11'-0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	12'-0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	12'-0"
8	7845 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT*	20,800 SF	3200 SF	12'-6"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 1290°WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	4'-0" (required)* 48'-8" (north proposed) 13'-8" (south proposed) 32'-6" (north existing) 61'-10" (south existing)
10	7819 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT*	39,062 SF	5498 SF	13'-0"
1	7855 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 17*	21,452 SF	5529 SF	13'-6"
8	7845 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT*	20,800 SF	3200 SF	15'-6"
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	20'-6"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	26'-0"
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	28'-0"
10	7819 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT*	39,062 SF	5498 SF	35'-6"

Average = 15.79



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



## LOT RADIUS WITHIN 300 FEET



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



**Lot Size:** 39,062  
**Gross Area:** 5498  
**Side Setback:** 35'-6"  
**Side Setback:** 13'-0"

**1. 7819 La Jolla Vista**



**Lot Size:** 19,721  
**Gross Area:** 3517  
**Side Setback:** 11'-0"  
**Side Setback:** 0'-0"

**2. 7835 La Jolla Vista**



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



**Lot Size:** 20,800  
**Gross Area:** 3200  
**Side Setback:** 12'-6"  
**Side Setback:** 15'-6"

**3. 7845 La Jolla Vista**



**Lot Size:** 20,202  
**Gross Area:** 4326  
**Front Setback:** 9'-6"  
**Side Setback:** 9'-0"

**4. 7855 La Jolla Vista**



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



**Lot Size:** 19,966  
**Gross Area:** 4093  
**Front Setback:** 26'-0"  
**Side Setback:** 12'-0"  
**Side Setback:** 3'-0"

**5. 7867 La Jolla Vista**



**Lot Size:** 20,378  
**Gross Area:** 3590  
**Front Setback:** 26'-0"  
**Side Setback:** 9'-6"  
**Side Setback:** 26'-0"  
**Rear Setback:** 50'-0"

**6. 7866 La Jolla Vista**



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



**Lot Size:** 21,452  
**Gross Area:** 5529  
**Front Setback:** 17'-0"  
**Side Setback:** 13'-6"  
**Side Setback:** 11'-0"  
**Rear Setback:** 42'-0"

**7. 7855 Revelle Dr**



**Lot Size:** 20,753  
**Gross Area:** 4636  
**Front Setback:** 30'-6"  
**Side Setback:** 2'-0"  
**Side Setback:** 28'-0"  
**Rear Setback:** 65'-0"

**8. 7856 Revelle Dr**



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



**Lot Size:** 43,750  
**Gross Area:** 5515  
**Front Setback:** 119'-0"  
**Side Setback:** 20'-6"  
**Side Setback:** 0'-0"  
**Rear Setback:** 64'-0"

**9. 7849 Revelle**



**Lot Size:** 38,932  
**Gross Area:** 3758  
**Front Setback:** 138'-0"  
**Side Setback:** 12'-0"  
**Side Setback:** 3'-0"  
**Rear Setback:** 94'-0"

**10. 7851 Revelle**



# MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



**11. 7856 La Jolla Vista Drive – Existing Property – View from Driveway**



**12. 7856 La Jolla Vista Drive – Existing Property – View from Revelle Drive**



**PROJECT SUMMARY**

City of San Diego Minor Project / Site Development

PRJ-1123371

September 17, 2024

Zoning	Site Requirement	Allowed / Required		Proposed		Percentage/ Conforms
Zone	<b>LJSPD-SF</b>	Single Family		Single Family + ADU		Conforms to SDMC + LJSPDO
Overlay Zone	Airport Influence Area (AIA), Coastal Height Limit Overlay Zone, Coastal City, Impact Parking					
Area of Site		65,034	SF	65,034	SF	Conforms
Number of Units		1		1+1 ADU		Conforms
Number of Story's		1		1		Conforms
Allowable Hardscape Coverage Area:	<b>50%</b>	32,517.00	SF	<b>10,285.0</b>	SF	<b>16%</b>
Allowable FAR - Gross Floor Area-Habitable	<b>45%</b>	29,265.30	SF	<b>6,159.0</b>	SF	<b>21.0%</b>
Allowable Non - Habitable Area	<b>45%</b>	29,265.30	SF	<b>882.0</b>	SF	<b>Total 7,041 SF - Conforms</b>
Allowable FAR - Gross Floor Area- Non-Habitable		-997.00	SF	<b>882.0</b>	SF	<b>Detached Accessory Garage-Conforms</b>
Allowable Site Landscape Coverage Area:	<b>30%</b>	19,510.2	SF	<b>35,914</b>	SF	<b>55.2%</b>
Allowable ADU Area:		1,200.0	SF	<b>732</b>	SF	Conforms for ADU
<b>Parking</b>						
Number of Parking Spaces		2		4		9'-0" x 18'-0" - Conforms
Number of Standard Parking Spaces		2		2		9' x 18'-0" - Conforms
Number of Guest Spaces	In Driveway	0		2		9' x 18'-0" - Conforms
Driveway Length to Sidewalk		20'-0"		42'-0"		Conforms
<b>Unit Size</b>						
First Floor Area - 4 Bedrooms & 4 1/2 Bath		29,265.30	SF	6,159	SF	Conforms for Main House+ accessory structures
New Detached Garage		400	SF	818	SF	Conforms for ADU
New Site Hardscape Coverage Area:	50%	32,517.00	SF	35,914.0	SF	Conforms
Building Height - 1 Story		30'-0"		14'- 4 1/2"		Conforms to Height Max. 30'
<b>Setbacks</b>						
Front Yard (Revelle Drive)		41'-3.5"	Ft.	191'-3 1/2"	Ft.	Conforms
Side Yard - North		15' - 5"	Ft.	49' - 8"	Ft.	Conforms
Side Yard - South		15' - 5"	Ft.	13' - 8"	Ft.	97% Conforms as Home is Angled to PL @ 3%
Rear Yard (La Jolla Vista Drive)		25'-0"	Ft.	43 '-6"	Ft.	Conforms
ADU - Rear Yard (La Jolla Vista Drive)		4'-0"	Ft.	4' - 7.75"	Ft.	Conforms to new ADU City Ordinance
<b>Climate Action Plan</b>						
Roof Mounted Photovoltaic Panels	Recommended			15		Conforms
Energy Efficient Lighting - LED	Recommended			All Fixtures LED		Conforms
Low Water Usage Plumbing Fixtures	Recommended			All Low Water Usage		Conforms
Low Water Usage Landscape & Irrigation	Recommended			All Low Water Usage		Conforms
<b>Program</b>						
Main House -5 Bedrooms & 5-1/2 Bath				5,427.00	SF	Conforms for Main House
ADU - 2 Bedrooms & 1 Bath				732.00	SF	Conforms for ADU
Detached Garage & Tennis Pavilion				882.00	SF	Conforms
Total Proposed FAR	45% Allowed	11% Proposed		7,041.00	SF	Conforms
<b>Climate Action Plan</b>						
ALLOWABLE FAR: (La Jolla Shores -.45% FAR)		29,265.30 S.F.		45.0% 10 % Maximum Allowed w/ Mi	SF	292.65
Total Proposed Additions on Site		29,265.30 S.F.		11.0% Total Additions Requested	SF	4,057 square feet

Permit Requested - Site Development Permit (SDP) for 10% or More addition to the existing residence

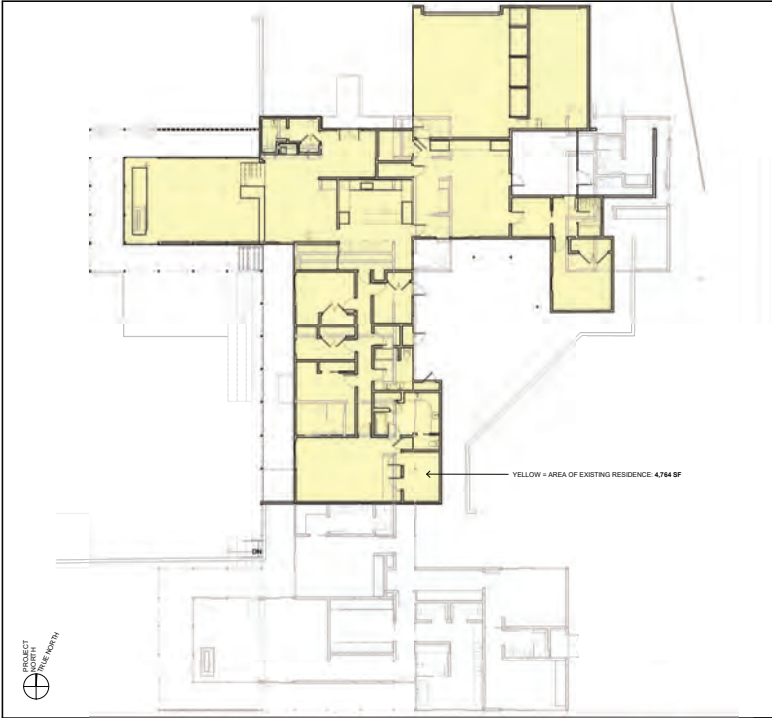




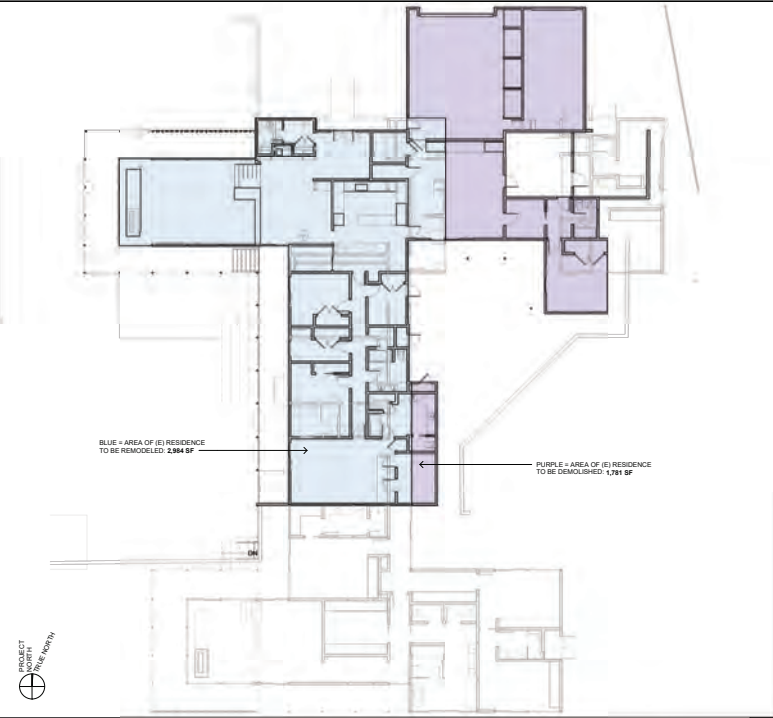
300' RADIUS SETBACK DIAGRAM

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (±)	TOTAL LIVING AREA	FRONT YARD SETBACK	REAR YARD SETBACK	SIDE YARD SETBACK
1	7855 REVELLE DR LA JOLLA, CA 92037-3538	LOT 17'	21,452 SF	5,529 SF	17'-0"	4'-0"	11'-0" & 15'-0"
2	7866 LA JOLLA VISTADR LA JOLLA, CA 92037-3538	LOT 16'	20,378 SF	3,890 SF	20'-0" & 7'-0"	8'-0"	17'-0" & 9'-0"
3	7856 LA JOLLA VISTADR LA JOLLA, CA 92037-3500 (PROJECT SITE)	LOT 1290'WLY 325 FT OF NLY 200 FT OF SLY 802 FT	98,815 SF	3,842 SF	193'-0" & 17'-1 1/2" (existing)	-	33'-11" (north existing) 81'-11 1/2" (south existing)
4	7849 REVELLE DR LA JOLLA, CA 92037-3538	LOT 1290'E 300 FT OF W 325 FT OF N 145 FT OF S 802 FT	43,750 SF	5,515 SF	119'-0" & 64'-0"	-	0' & 20'-0"
5	7851 REVELLE DR LA JOLLA, CA 92037-3538	LOT 1290'E 300 FT OF WLY 325 FT OF NLY 117 FT OF SLY 257 FT OF	36,932 SF	3,788 SF	94'-0" & 138'-0"	-	3'-0" & 12'-0"
6	7867 LA JOLLA VISTADR LA JOLLA, CA 92037-3531	LOT 14'	19,668 SF	4,093 SF	32'-0" & 28'-0"	9'-0"	3'-0" & 12'-0"
7	7855 LA JOLLA VISTADR LA JOLLA, CA 92037-3531	LOT 15'	20,202 SF	4,326 SF	9'-0"	7'-0"	9'-0" & 10'-0"
8	7845 LA JOLLA VISTADR LA JOLLA, CA 92037-3531	LOT 1290'E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT	20,800 SF	3,200 SF	15'-0"	3'-0"	12'-0" & 15'-0"
9	7835 LA JOLLA VISTADR LA JOLLA, CA 92037-3531	LOT 1290'E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT	19,721 SF	3,517 SF	13'-0"	5'-0"	0' & 11'-0"
10	7818 LA JOLLA VISTADR LA JOLLA, CA 92037-3531	LOT 1290'E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT	36,082 SF	2,448 SF	25'-0"	3'-0"	13'-0" & 30'-0"
11	7868 REVELLE DR LA JOLLA, CA 92037-3531	LOT 11'	20,753 SF	4,638 SF	30'-0"	15'-0"	2'-0" & 28'-0"
<b>AVERAGE</b>					<b>41' - 3 1/2"</b>	<b>40' - 6"</b>	<b>15' - 5"</b>

SETBACK MATRIX



AREA OF EXISTING RESIDENCE  
3/32" = 1'-0" 14



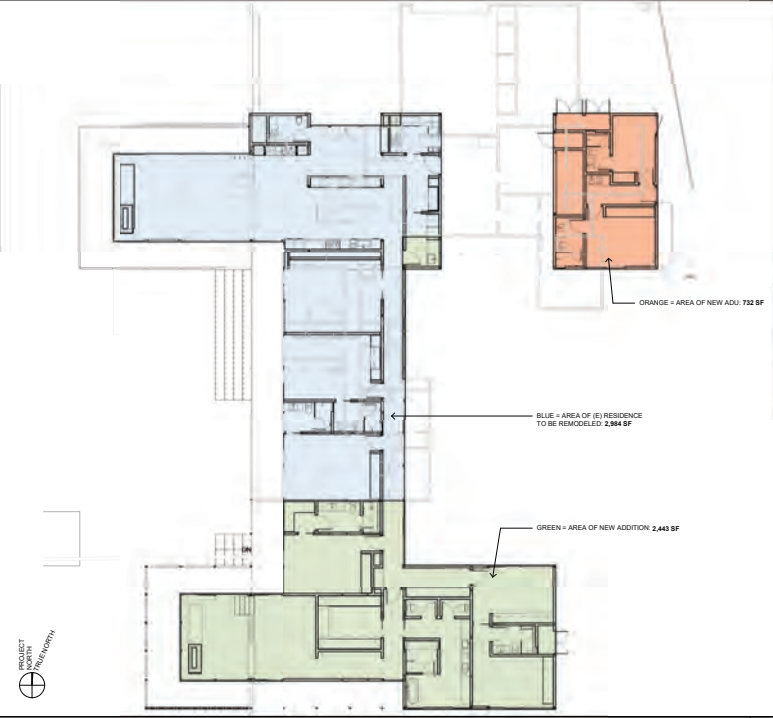
AREA OF (E) RESIDENCE TO BE DEMOLISHED & REMODELED  
3/32" = 1'-0" 6



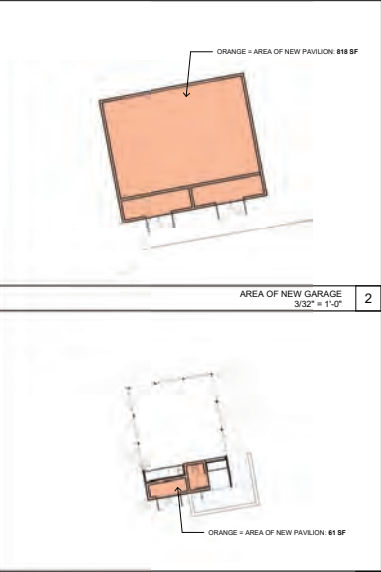
AREA OF NEW GARAGE  
3/32" = 1'-0" 2



AREA OF NEW ADDITION AND NEW ADU  
3/32" = 1'-0" 16



TOTAL AREA OF PROJECT SCOPE  
3/32" = 1'-0" 8



AREA OF NEW PAVILION  
3/32" = 1'-0" 3

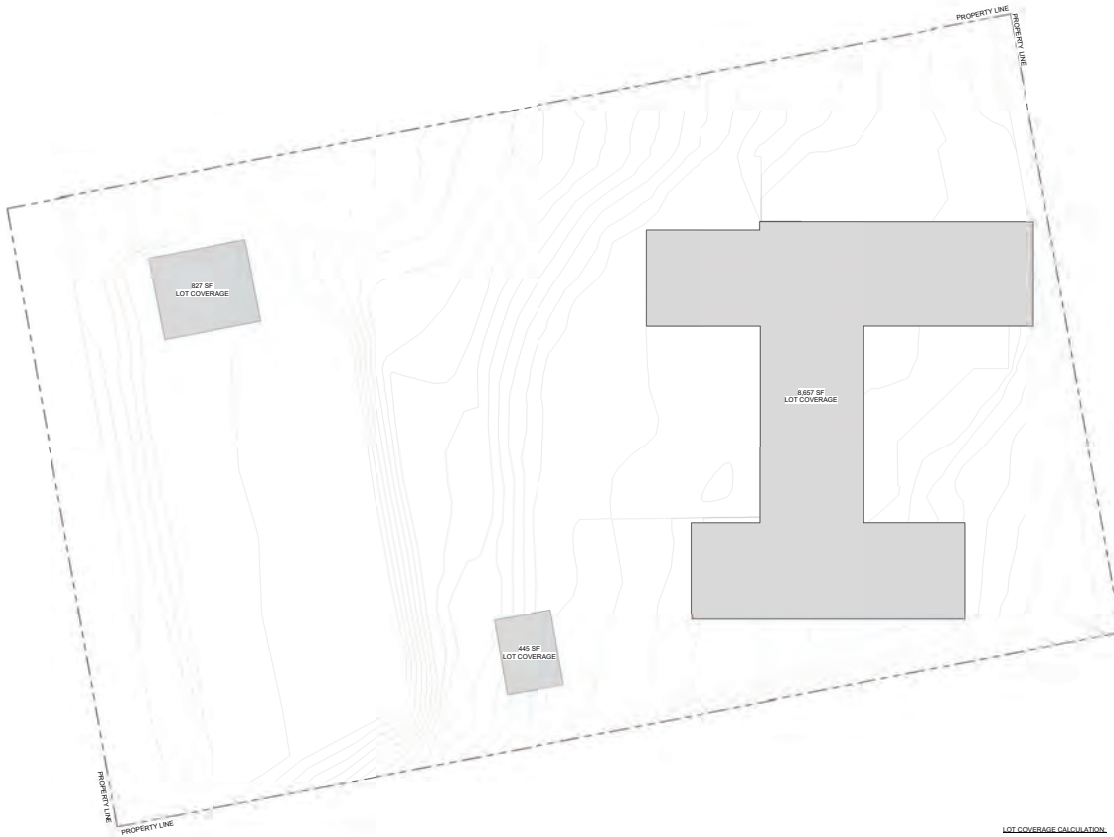
- AREA OF EXISTING RESIDENCE: 4,764 SF
- AREA OF (E) TO BE DEMOLISHED: 1,781 SF
- AREA OF (E) TO BE REMODELED: 2,984 SF
- AREA OF (N) ADDITION: 2,443 SF
- AREA OF NEW STRUCTURES: 1,611 SF

**TOTAL AREA OF PROJECT SCOPE:**

MAIN HOUSE:  
 AREA OF (E) TO BE REMODELED: 2,984 SF +  
 AREA OF (N) ADDITION: 2,443 SF =  
 2,984 SF + 2,443 SF = 5,427 SF

ADU: 732 SF  
 PAVILION: 61 SF  
 GARAGE: 818 SF

AREA CALCULATION 4



**LOT COVERAGE CALCULATION**  
 MAXIMUM LOT COVERAGE: 60% OF LOT AREA  
 LOT AREA: 65,043 SF  
 MAXIMUM ALLOWABLE COVERAGE: **39,025.8 SF**  
 TOTAL LOT COVERAGE: **3,920.5E**  
 9,920 SF / 65,043 SF = 15.3% OF LOT AREA  
**CURRENT LOT COVERAGE COMPLIES**



PROJECT  
SITE PLAN

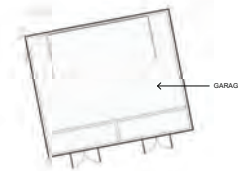
□ INTERIOR FLOOR AREA  
 □ COVERED EXTERIOR

**FLOOR AREA RATIO CALCULATION**

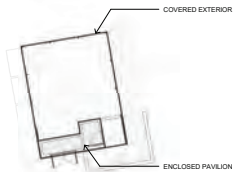
MAXIMUM FLOOR AREA RATIO	45% OF LOT AREA
LOT AREA:	65,043 SF
MAXIMUM FAR:	65,043 x 45% = <b>29,269.35 SF</b>
<b>GROSS FLOOR AREA</b>	
MAIN HOUSE:	5,424 SF
ADU:	732 SF
PAVILION:	84 SF
GARAGE:	818 SF
COVERED EXTERIOR:	2,882 SF
TOTAL:	<b>9,920 SF</b>
9,920 SF / 65,043 SF = 15.3% OF LOT AREA	
<b>CURRENT FAR COMPLIES</b>	

LOT COVERAGE DIAGRAM  
1/16" = 1'-0" 11

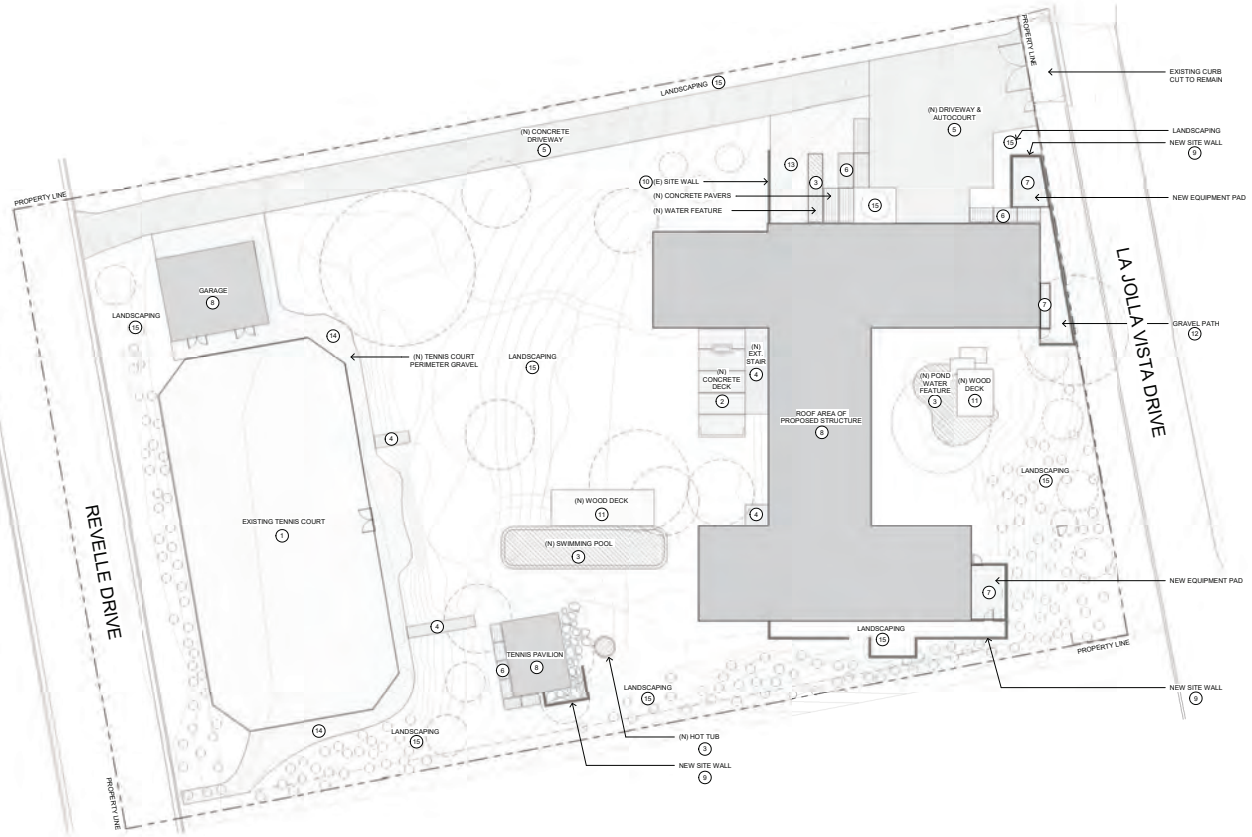
FLOOR AREA RATIO DIAGRAM  
3/32" = 1'-0" 3



FLOOR AREA RATIO DIAGRAM - GARAGE  
3/32" = 1'-0" 8



FLOOR AREA RATIO DIAGRAM - PAVILION  
3/32" = 1'-0" 4



LANDSCAPE & HARDSCAPE DIAGRAM  
1/16" = 1'-0"

3

<p><b>LEGEND - LANDSCAPE &amp; HARDSCAPE</b> NO SCALE</p> <ul style="list-style-type: none"> <li> DRIVEWAY PAVING</li> <li> EXTERIOR STAIRS</li> <li> WATER FEATURE &amp; POOL</li> <li> CONCRETE PAVERS</li> <li> CONCRETE SLAB</li> <li> TENNIS COURT</li> <li> LANDSCAPING</li> <li> GRAVEL</li> <li> SITE WALL</li> <li> ROOF AREA</li> <li> WOOD DECK</li> </ul>	<p><b>NON-PERMEABLE AREA = 25,338 SF</b></p> <ul style="list-style-type: none"> <li>① (E) TENNIS COURT TO REMAIN: 6,983 SF</li> <li>② (N) CONCRETE DECK: 507 SF</li> <li>③ (N) WATER FEATURE &amp; POOL: 1,296 SF</li> <li>④ (N) EXTERIOR STAIR: 374 SF</li> <li>⑤ (N) DRIVEWAY ENTRY &amp; AUTOCOURT: 5,207 SF</li> <li>⑥ (N) CONCRETE PAVERS: 469 SF</li> <li>⑦ (N) CONCRETE EQUIPMENT PADS: 389 SF</li> <li>⑧ ROOF AREA OF PROPOSED STRUCTURE: 9,628 SF</li> <li>⑨ (N) SITE WALLS: 169 SF</li> <li>⑩ (E) SITE WALL: 16 SF</li> </ul>	<p><b>PERMEABLE AREA = 35,914 SF</b></p> <ul style="list-style-type: none"> <li>⑪ (N) WOOD DECK: 620 SF</li> <li>⑫ ADU GRAVEL PATH: 246 SF</li> <li>⑬ ENTRY GRAVEL: 767 SF</li> <li>⑭ TENNIS COURT PERIMETER GRAVEL: 2,176 SF</li> <li>⑮ LANDSCAPING: 32,106 SF</li> </ul>	<p><b>LANDSCAPE COVERAGE CALCULATION</b></p> <p>MINIMUM LANDSCAPE COVERAGE: LOT AREA: 30% OF LOT AREA 65,043 SF</p> <p>MINIMUM LANDSCAPE COVERAGE: <b>35,914 SF</b></p> <p>HARDSCAPE COVERAGE (NON-PERMEABLE AREA): 25,338 SF</p> <p>LANDSCAPE COVERAGE (PERMEABLE AREA): 35,914 SF</p> <p>35,914 SF / 65,043 SF = 55.2% OF LOT AREA</p> <p><b>CURRENT LANDSCAPE COVERAGE COMPLIES</b></p>
<p>LEGEND - LANDSCAPE &amp; HARDSCAPE NO SCALE</p>	<p>PERMEABLE / NON-PERMEABLE AREA CALCULATION NO SCALE</p>	<p>PERMEABLE / NON-PERMEABLE AREA CALCULATION NO SCALE</p>	<p>LANDSCAPE COVERAGE CALCULATION NO SCALE</p>

<p><b>NOTES - AGENCY</b></p> <ol style="list-style-type: none"> <li>WHERE THERE IS AN EXCAVATION OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATION OF AN ADJOINING BUILDING OR STRUCTURE AND LOCATED CLOSER TO THE PROPERTY LINE THAN THE DEPTH OF THE EXCAVATION, THE OWNER SHALL PROVIDE THE DEPARTMENT OF BUILDING AND SAFETY WITH EVIDENCE THAT THE ADJACENT PROPERTY OWNERS HAVE BEEN GIVEN A 30 DAY WRITTEN NOTICE OF SUCH INTENT TO MAKE AN EXCAVATION. THIS NOTICE SHALL STATE THE LOCATION OF SUCH EXCAVATION AND WHEN IT WILL COMMENCE. THIS NOTICE IS REQUIRED TO BE CERTIFIED MAIL WITH RETURN RECEIPT. PROVIDE THE RETURN RECEIPT TO THE PLAN CHECK ENGINEER PRIOR TO PERMIT ISSUANCE. (3307.1(b); PBC 2014-06)</li> <li>THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.</li> <li>ALL PORTIONS OF ROOFED FRONT YARD NOT USED FOR OCCUPANCY (DRIVEWAYS, AND WALKWAYS, INCLUDING DECORATIVE WALKWAYS) SHALL BE USED FOR PLANTING AND SHALL NOT BE PAVED. (12.10.10.04)</li> <li>THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, WALLS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE WORK. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.</li> <li>AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND IS TO BE CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170158) (SEPARATE PLUMBING PERMIT IS REQUIRED)</li> <li>PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWER DISPOSAL SYSTEM (R301.3)</li> <li>KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, SINKS, LAUNDRY TUBS, AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R301.4)</li> <li>BATHUBS AND SHOWER FLOORS, WALLS ABOVE BATHUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 8 FEET ABOVE THE FLOOR (R301.7)</li> <li>PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.</li> <li>AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325 (R310.4)</li> <li>SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALL ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)</li> <li>WHERE A PERMIT IS REQUIRED FOR ALL ALTERATIONS, REPAIRS, OR ADDITIONS TO EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH CARBON MONOXIDE ALARMS. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315)</li> <li>EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN ILLUMINATION OF 6 FOOT-CANDELS (65 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)</li> <li>A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.</li> <li>THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.1 OR NFPA 13. (R313.1, 7.2.1(4)(9))</li> <li>HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREES AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.3)</li> <li>AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM &amp; HALLWAY OR AREA OF ACCESS TO A SLEEPING ROOM, AND IN EACH STAIRWAY AND BATHROOM. SMOKE ALARMS SHALL BE MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.</li> <li>AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH SEPARATE DWELLING UNIT, SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BATHROOMS. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP. (R315)</li> <li>THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURTYARD THAT OPENS TO A PUBLIC WAY. (R311.1)</li> <li>AT LEAST ONE DOOR SHALL BE 32" WIDE BY 80" HIGH (R311.2)</li> <li>IN ALL CASES OF EXTERIOR OPENINGS FOR VENTILATION OF HABITABLE ROOMS, AN APPROVED MECHANICAL VENTILATING SYSTEM CAPABLE OF 1.5 AIR CHANGE PER HOUR IN THE ROOM OR WHOLE-HOUSE VENTILATION SYSTEM CAPABLE OF 15 CFM PER OCCUPANT SHALL BE INSTALLED. (R303.1, 2.0)</li> <li>BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 30 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE. (R303.3)</li> <li>CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER, AND LENGTH IS LIMITED TO 34 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (MFC 260.3.3)</li> <li>ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 &amp; R303.8). ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NO LESS THAN 1 FOOT-CANDLE (11 LUX). (R303.7)</li> <li>PROVIDE A WHOLE-HOUSE VENTILATION OF 30-CFM THAT IS CONTINUOUSLY OPERATED PER ASHRAE STANDARD 62.2</li> <li>REQUIRED EGRESS DOORS SHALL HAVE A 1.6 INCH IN HEIGHT MAXIMUM THRESHOLD. DOOR MAY NOT OPEN ON AN EXTERIOR LANDING, PROVIDED THE DOOR DOES NOT SWING OVER THE EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 7.6 INCHES BELOW THE TOP OF THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3)</li> <li>DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID HONEYCOMB CORE STEEL, NOT LESS THAN 1 1/2" THICK. (R303.5.1)</li> <li>INSTALL CONDUIT AND ELECTRICAL PANEL CAPACITY FOR FUTURE VEHICLE PARKING FOR AT LEAST 3% OF THE TOTAL PARKING SPACES BUT NOT LESS THAN ONE. (4.107 AND AS 106.5.3.3)</li> <li>INSTALL CONDUIT FROM THE BUILDING ROOF OR EAVE TO A LOCATION WITHIN THE BUILDING IDENTIFIED AS SUITABLE FOR FUTURE INSTALLATION OF A CHARGE CONTROLLER (REGULATOR) AND INVERTER. (4.108)</li> <li>ENCLOSED RAFTER VENTS SHALL PROVIDE CROSS VENTILATION AND A MINIMUM OF 1 INCH AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING. UNVENTED ENCLOSED RAFTER ASSEMBLIES SHALL BE ALLOWED ONLY IN SECTION R606.5, (R606.1, R606.2, R606.3)</li> <li>VENT OPENINGS FOR ENCLOSED RAFTER SPACES SHALL RESIST BUILDING DRAINAGE FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENT OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN. 1/8" AND MAX. 1/8" OPENINGS. (TMA-2 R127.6.2)</li> <li>ANY PORTION OF AN ATTACHED OR DETACHED ACCESSORY STRUCTURE (THELLESSES, ARBORs, PATIO COVERS, CARPORTS, GARDENS AND SIMILAR STRUCTURES) OF AN ACCESSORY OR MISCELLANEOUS CHARACTER WITHIN 50 FEET OF AN APPLICABLE BUILDING SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS OR GYPSUM-RESISTANT MATERIALS OR HEAVY TIMBER CONSTRUCTION. (710A-R207.10)</li> <li>STAIRWAYS SHALL HAVE THE FOLLOWING: 7.75" MAXIMUM RISE AND MINIMUM 10" RUN (R311.7.1); MINIMUM 6 1/2" HEADROOM CLEARANCE (R311.7.2); MINIMUM 36" CLEAR WITH MAX. 4.102 INCH HANDRAIL PROJECTION IS PERMITTED ON EACH SIDE (R311.7.3); THERE SHALL BE A 4 INCH MAX. OPENING AT OPEN TREADS (R311.7.4); HANDRAILS SHALL BE 34" TO 38" HIGH ABOVE THE TREAD AND NO MORE THAN 3.5 INCH HANDRAIL PROJECTION IS PERMITTED ON EACH SIDE (R311.7.5); THE HANDRAIL SHALL NOT BE MORE THAN 1.62" AND NO MORE THAN 3 CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS (R311.7.6.3); MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS (R311.7.6.3)</li> <li>HANDRAILS SHALL SATISFY THE FOLLOWING: PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. (R311.8.3) HANDRAIL HEIGHT SHALL BE 34 TO 38 INCHES ABOVE THE TREAD OR FINISH OF THE WALKWAY. INTERMEDIATE BALUSTERS SHALL NOT ALLOW THE PASSAGE OF A 4 3/8 INCH DIAMETER SPHERE. THE TRIANGULAR OPENINGS FORMED BY THE RISERS SHALL BE PROTECTED BY A 1 1/2 INCH DIAMETER SPHERE. (R311.8.3.1) THE HANDRAIL SHALL NOT BE MORE THAN 1.62" AND NO MORE THAN 3 CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS (R311.7.6.3); MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS (R311.7.6.3)</li> <li>HANDRAILS SHALL MEET THE FOLLOWING: PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE, BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. (R312.1) GUARD HEIGHT SHALL BE A MINIMUM OF 42 INCHES (R312.1.2) REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. (R312.1.3)</li> <li>GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL (R309.1) FLOORS IN A GARAGE CAPABLE OF BEING DESIGNED TO SUPPORT UNIFORM, DISTRIBUTED LOAD OF 50 PSF OR CONCENTRATED LOADS OF 2000 LBS ACTING ON AN AREA OF 2.0 SQ. FT. (F309.3)</li> <li>ANULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE-BOTTOM FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF ROCKS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.</li> <li>VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R604.</li> <li>BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R311.1)</li> <li>BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE EXPOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE ABSORBENT OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.</li> </ol>	<p><b>NOTES - AGENCY</b></p> <ol style="list-style-type: none"> <li>AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AT THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CPFR WILL HAVE A UNIQUE 2-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CPFR CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CPFR 98 IS REVIEWED AND APPROVED.</li> <li>AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CFR) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CFR) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HEREINAFTER. A REGISTERED CPFR WILL HAVE A UNIQUE 35-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 30 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CPFR CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CPFR 98 IS REVIEWED AND APPROVED.</li> <li>PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL.</li> <li>THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY THE BUILDING OFFICIAL. (S04C 120.020)</li> <li>THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL WITH AN ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. (S04C 120.020)</li> <li>WHERE THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS, WHICH IS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION 704 HAS BEEN DEFERRED, THE FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION IN ORDER TO AVOID DELAYS IN CONSTRUCTION. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED FOR APPROVAL OF THE FIRE SPRINKLER PLANS.</li> <li>DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SPACES, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER HAZARDS ARE PRESENT PER CFC SECTION 315.1.</li> <li>LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CP6 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19</li> <li>BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 19, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.</li> </ol>	<p><b>NOTES - AGENCY</b></p> <ol style="list-style-type: none"> <li>SECTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI / AFSF-7 (3106.5)</li> <li>APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE PROPERLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170158) (SEPARATE PLUMBING PERMIT IS REQUIRED)</li> <li>THE RE-CIRCULATION AND PURIFICATION OF ANY SWIMMING POOL, FISH POND, OR ANY BODY OF WATER REQUIRED TO BE FEEDED BY SECTION 6109, SHALL BE OPERATED AND MAINTAINED SO AS TO KEEP THE WATER IN SUCH POOL OR OTHER BODY OF WATER CLEAR AND OF REASONABLE CLARITY. (8118)</li> <li>NEW PERMANENT OUTDOOR POOL/SPA FOR A DWELLING OR DUPLEX SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER OPERATED REEL SYSTEM. (PER ORDINANCE 164248)</li> <li>PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL PROVIDE AN AUDIBLE WARNING WHEN THE DOOR OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2017 AND NONPERSISTENTLY CERTIFIED TO THE NFPA 720 STANDARD FOR THE ALARM. THE ALARM SHALL BE EQUIPPED WITH A DEACTIVATION SWITCH LOCATED IN ACCORDANCE WITH THE FLOOR FOR UNIT, NOT REQUIRED TO BE ACCESSIBLE, AND BETWEEN 48 AND 54 INCHES FOR UNITS REQUIRED TO BE ACCESSIBLE. (3109.4.1.8, 3109.4.4.2)</li> <li>FOR RESIDENTIAL POOLS, THE TOP OF POOL ENCLOSURE BARRIER SHALL BE AT LEAST 60" ABOVE GRADE MEASURED TO THE TOP OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF THE BARRIER SHALL BE 2 INCHES. THE GATE SHALL OPEN OUTWARDS AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. THE LATCH SHALL BE LOCATED A MINIMUM OF 54 INCHES ABOVE GROUND. (PER 3109.4.1.6, 3109.4.2)</li> <li>THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE SHALL NOT BE LOCATED LESS THAN 60 INCHES FROM THE BOTTOM OF THE GATE.</li> <li>PROVIDE CONNECTION DETAILS OF GUARDRAIL AND/OR HANDRAIL ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 80 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ABOVE THE TOP. (F-R301.1)</li> <li>LOCKABLE SPA COVERS SHALL COMPLY WITH ASTM STANDARD F1346.</li> </ol>	<p><b>WOODS + DANGARAN</b> ARCHITECTURE + INTERIORS WWW.WOODSDANGARAN.COM</p> <p>8888 PICO BLVD LOS ANGELES CALIFORNIA 90015</p> <p>142.21</p> <p>LA JOLLA RESIDENCE 1854 S. 108th St. La Jolla, CA 92037</p> <p>08 / 01 / 2024</p> <p>AGENCY NOTES</p> <p><b>A0.14</b></p>
---	---	--	---



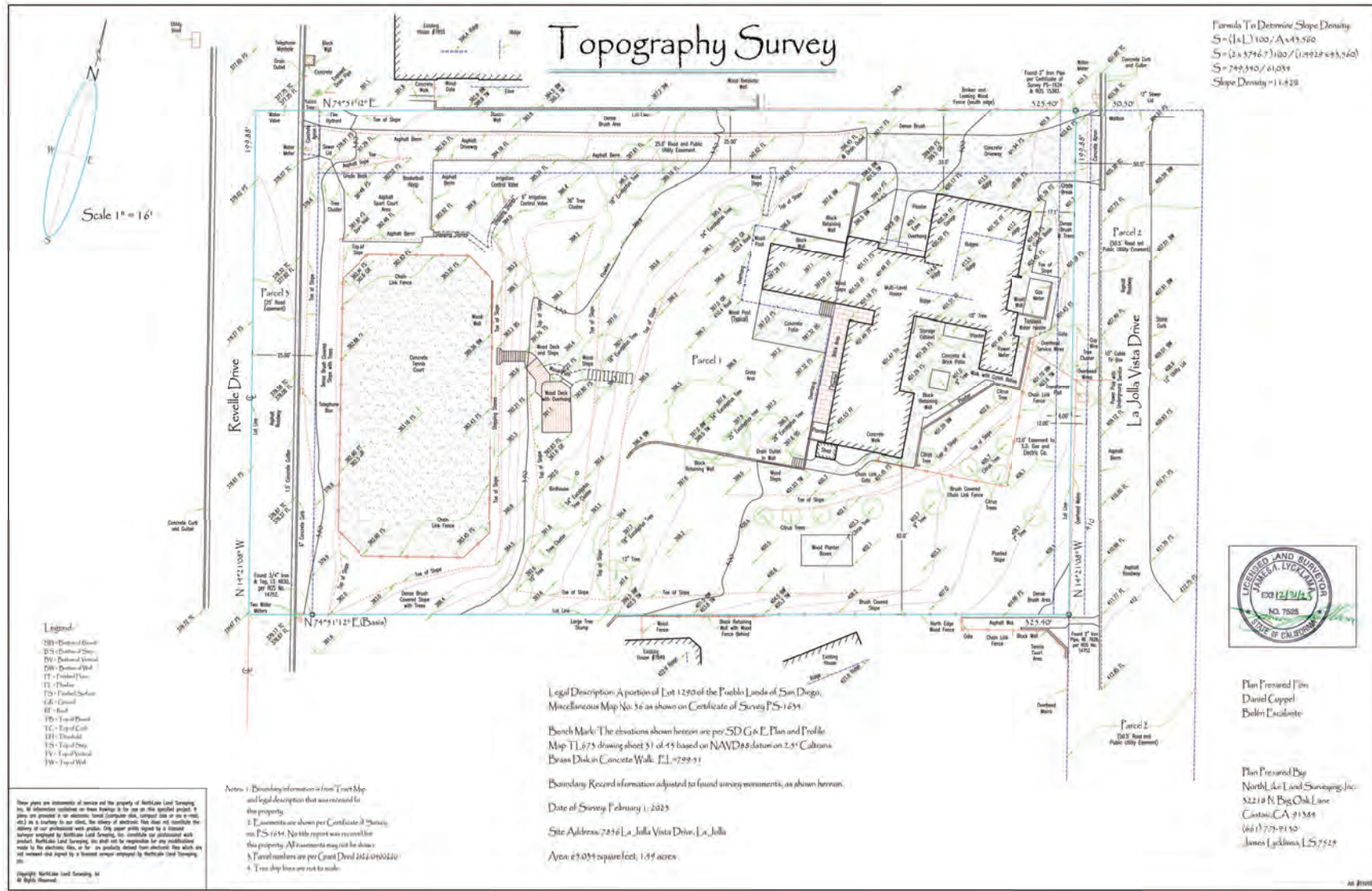
8000 PROCD BLVD  
LOS ANGELES  
CALIFORNIA  
90015

14.02  
LA JOLLA RESIDENCE

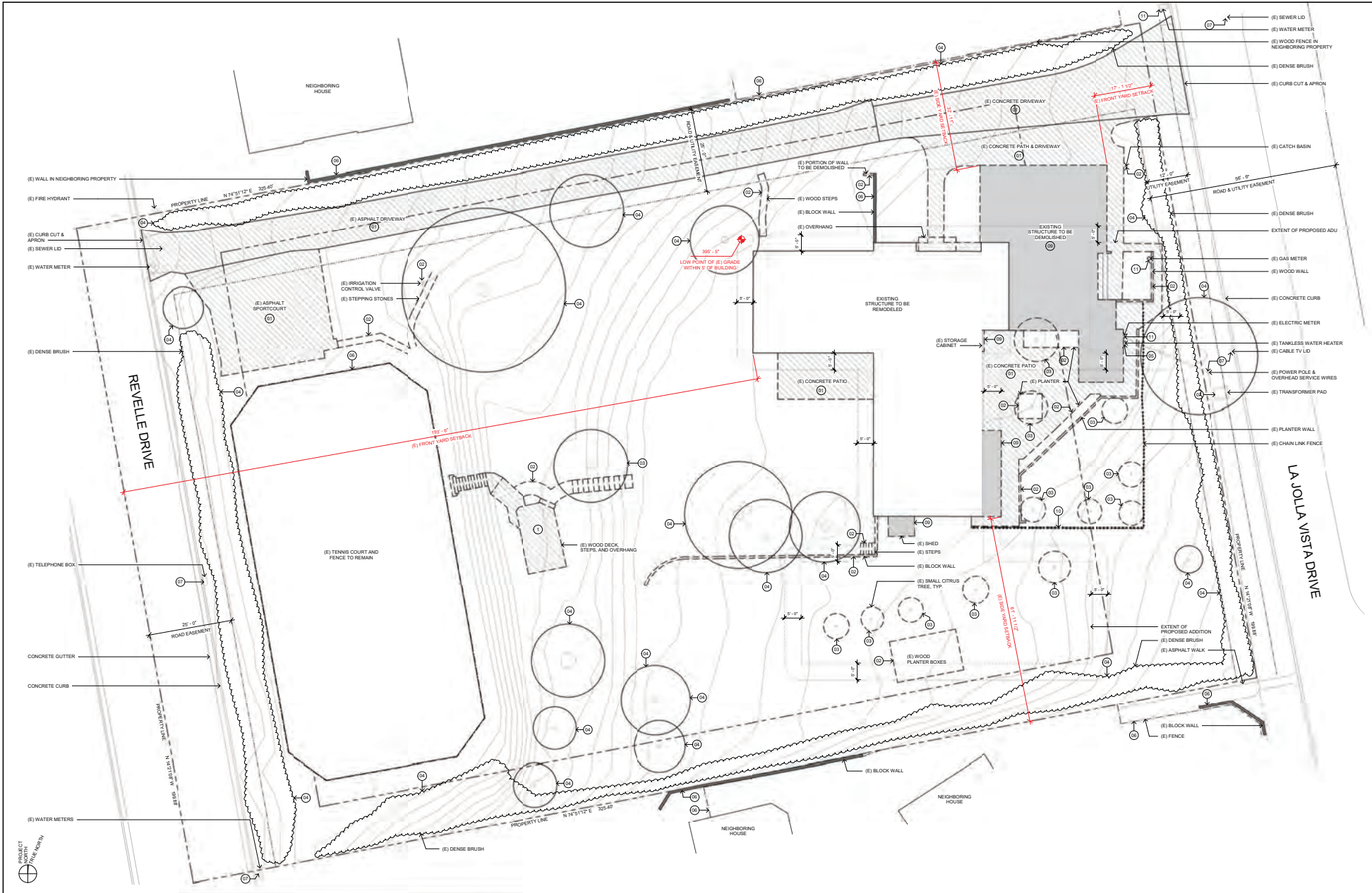
08/01/2024

TOPOGRAPHIC SURVEY

A0.20



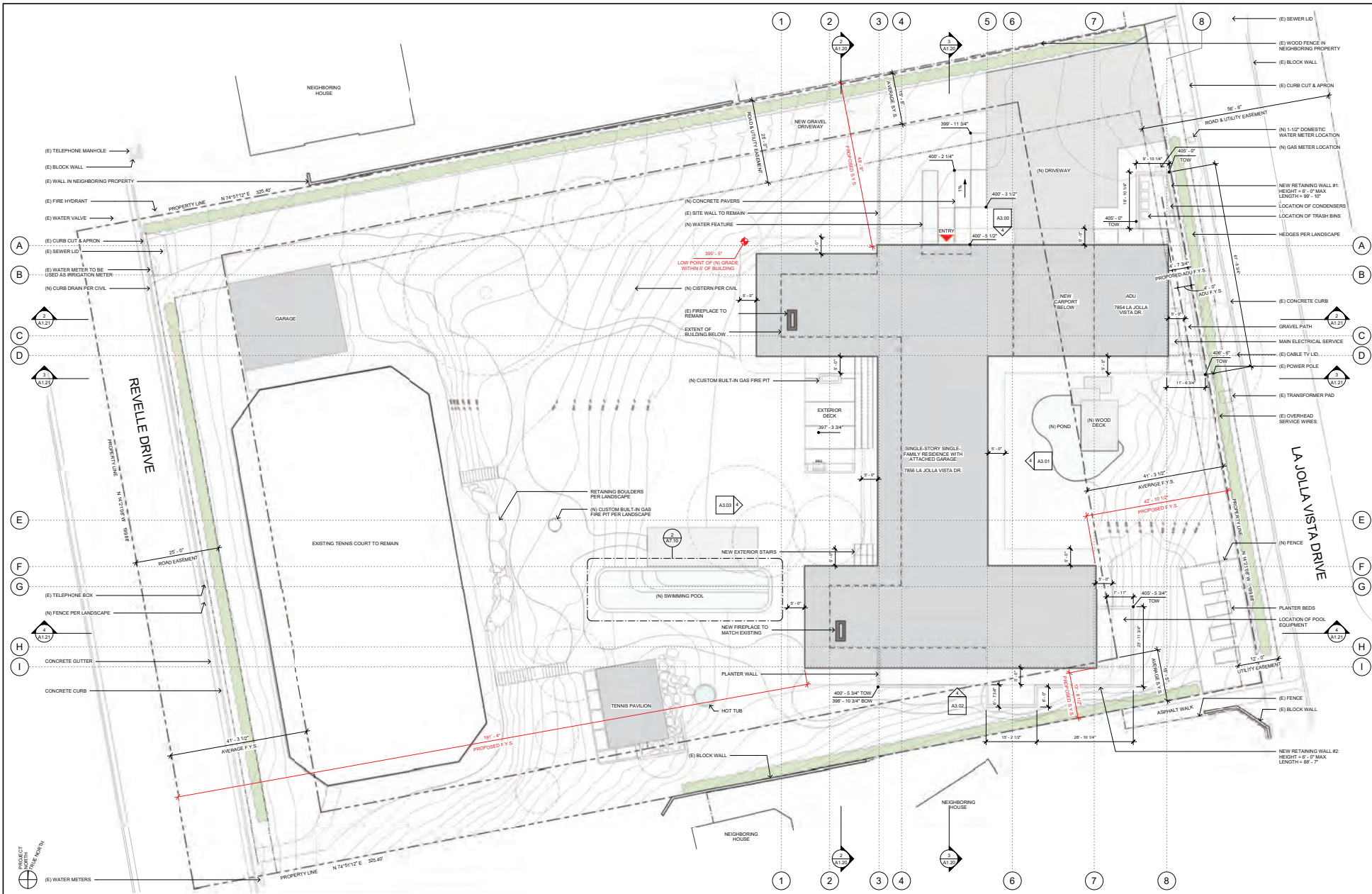




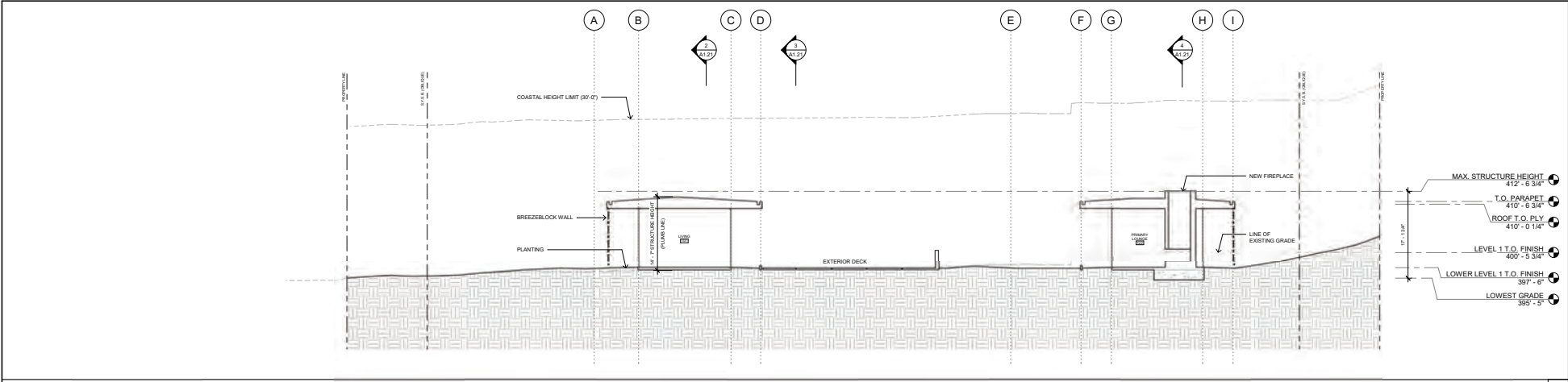
8000 PICO BLVD  
LOS ANGELES,  
CALIFORNIA  
90015

DEMOLITION SITE PLAN 3/32" = 1'-0"		<b>3</b>
<p>(1) REMOVE EXISTING SITE PAVING, DECK, FRAMING, AND FOOTINGS</p> <p>(2) REMOVE EXISTING LANDSCAPE, LANDSCAPE PATHS, PLANTER WALLS, IRRIGATION, AND LANDSCAPE LIGHTING</p> <p>(3) REMOVE EXISTING TREE, TRUNK, AND ROOT BALL</p> <p>(4) EXISTING TREE / PLANTING TO REMAIN</p> <p>(5) REMOVE EXISTING HOT WATER HEATER</p> <p>(6) EXISTING WALL / FENCE TO REMAIN</p> <p>(7) EXISTING UTILITY TO REMAIN</p>	<p>(8) EXISTING PAVING TO BE PREPARED AS NEEDED</p> <p>(9) REMOVE EXISTING STRUCTURE</p> <p>(10) REMOVE EXISTING FENCE</p> <p>(11) EXISTING UTILITY TO BE RELOCATED</p>	<p>EXISTING WALL TO REMAIN</p> <p>EXISTING OBJECT TO BE REMOVED</p> <p>EXISTING FENCE TO BE REMOVED</p> <p>EXISTING FENCE TO REMAIN</p> <p>EXISTING OBJECT TO REMAIN</p> <p>EXISTING SITE PAVING / EXTERIOR DECK TO BE REMOVED</p>
KEYNOTES - DEMOLITION NO SCALE	<b>12</b>	LEGEND - DEMOLITION NO SCALE
		NOTES - DEMOLITION NO SCALE
		<b>4</b>

- ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
- CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
- FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE REUSED MUST BE STORED AND PROTECTED AS REQUIRED FOR REUSE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

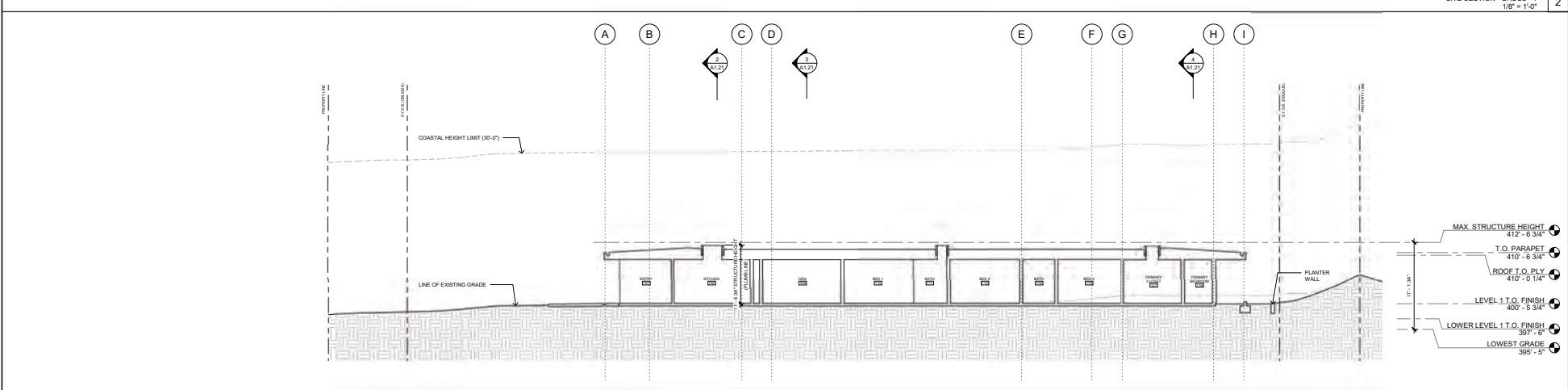


<p><b>LEGEND - SITE PLAN</b> NO SCALE</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-right: 1px solid black;"> <p>MASONRY WALL</p> <p>CONCRETE WALL</p> <p>EXTERIOR PAVING</p> <p>PROPERTY LINE</p> <p>SETBACK</p> <p>EASEMENT</p> <p>FENCE</p> </td> <td style="width: 50%; border-right: 1px solid black;"> <p>GAS BIB</p> <p>HOSE BIB</p> </td> </tr> </table>	<p>MASONRY WALL</p> <p>CONCRETE WALL</p> <p>EXTERIOR PAVING</p> <p>PROPERTY LINE</p> <p>SETBACK</p> <p>EASEMENT</p> <p>FENCE</p>	<p>GAS BIB</p> <p>HOSE BIB</p>	<p><b>LEGEND - SITE PLAN</b> NO SCALE</p> <ol style="list-style-type: none"> <li>1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.</li> <li>2. DO NOT SCALE FROM DRAWINGS.</li> <li>3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.</li> <li>4. ALL DOORS AND WINDOWS DIMENSIONS TO CENTERLINE OF CLEAR OPENING.</li> <li>5. ALL CASINGWORK DIMENSIONS TO FACE OF FINISH.</li> <li>6. PROVIDE 1 GALLON OF WATER PER FLUSH TOILET.</li> <li>7. WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL, (SEC 907.3, UPC)</li> <li>8. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER, R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FIXTURES SHALL BE STRAPPED TO THE MAIN AND RETURN AND CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.</li> <li>9. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL, DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHERSTRIPPED.</li> <li>10. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.</li> <li>11. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.</li> <li>12. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.</li> <li>13. CONTRACTOR SHALL PROVIDE TEMPORARY POWER Poles AND METER FOR THE DURATION OF THE WORK, CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK.</li> <li>14. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS AT LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.</li> </ol>	<p><b>OVERALL SITE PLAN - PROPOSED</b> 3/32" = 1'-0"</p> <p style="text-align: right;">3</p>
<p>MASONRY WALL</p> <p>CONCRETE WALL</p> <p>EXTERIOR PAVING</p> <p>PROPERTY LINE</p> <p>SETBACK</p> <p>EASEMENT</p> <p>FENCE</p>	<p>GAS BIB</p> <p>HOSE BIB</p>			
		<p><b>NOTES - SITE PLAN</b> NO SCALE</p> <p style="text-align: right;">4</p>		



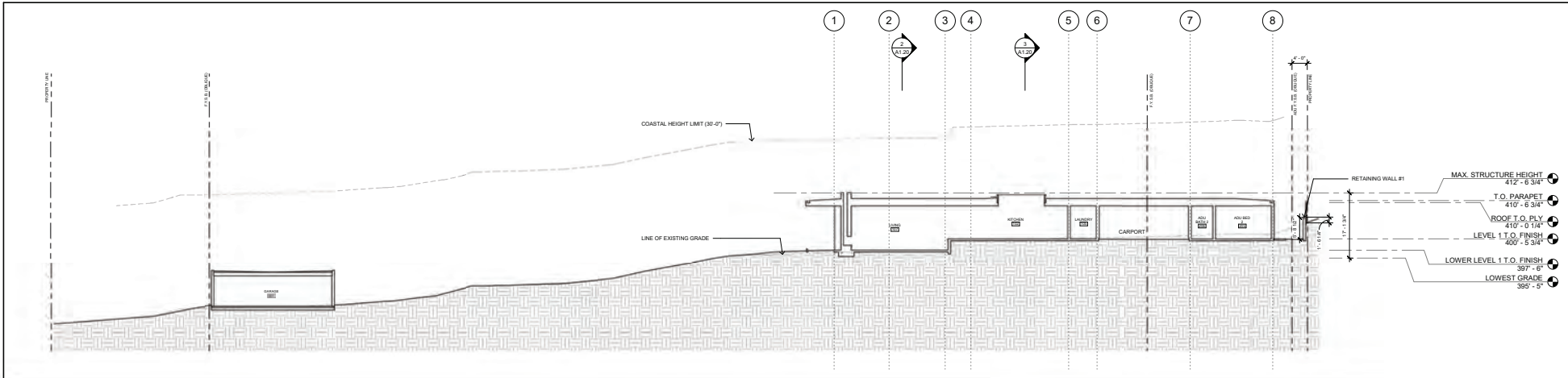
SITE SECTION - CROSS - 1  
1/8" = 1'-0"

2



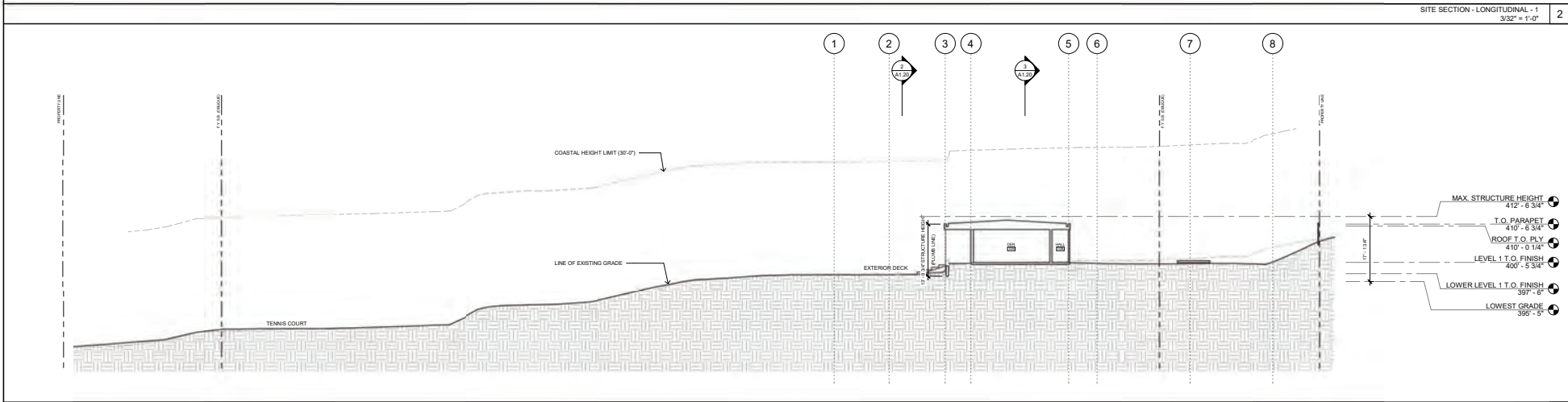
SITE SECTION - CROSS - 2  
1/8" = 1'-0"

3



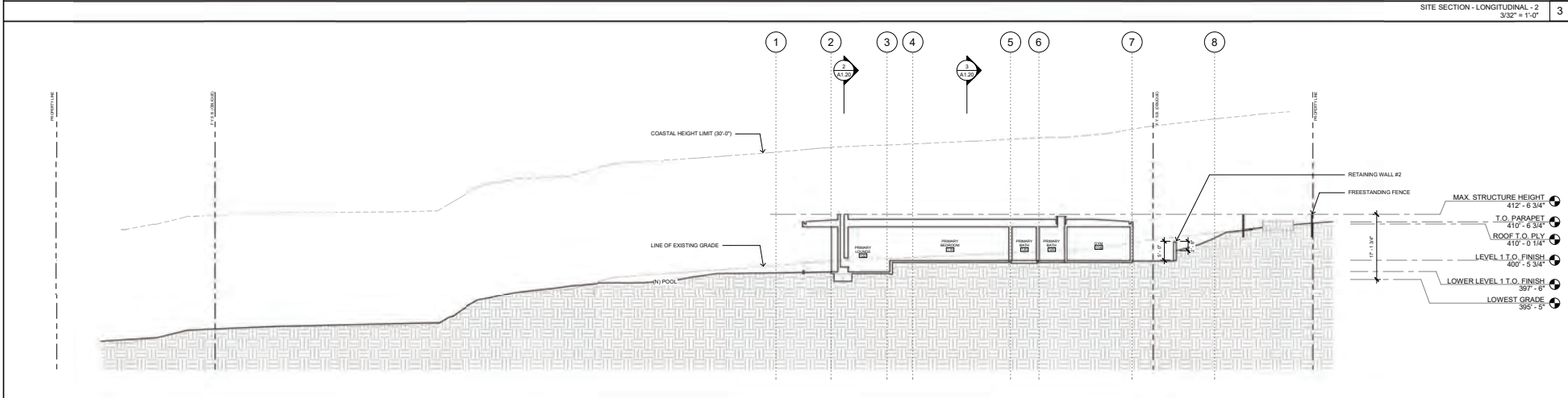
SITE SECTION - LONGITUDINAL - 1  
3/32" = 1'-0"

2



SITE SECTION - LONGITUDINAL - 2  
3/32" = 1'-0"

3



SITE SECTION - LONGITUDINAL - 3  
3/32" = 1'-0"

4



8000 PICO BLVD  
LOS ANGELES  
CALIFORNIA  
90019

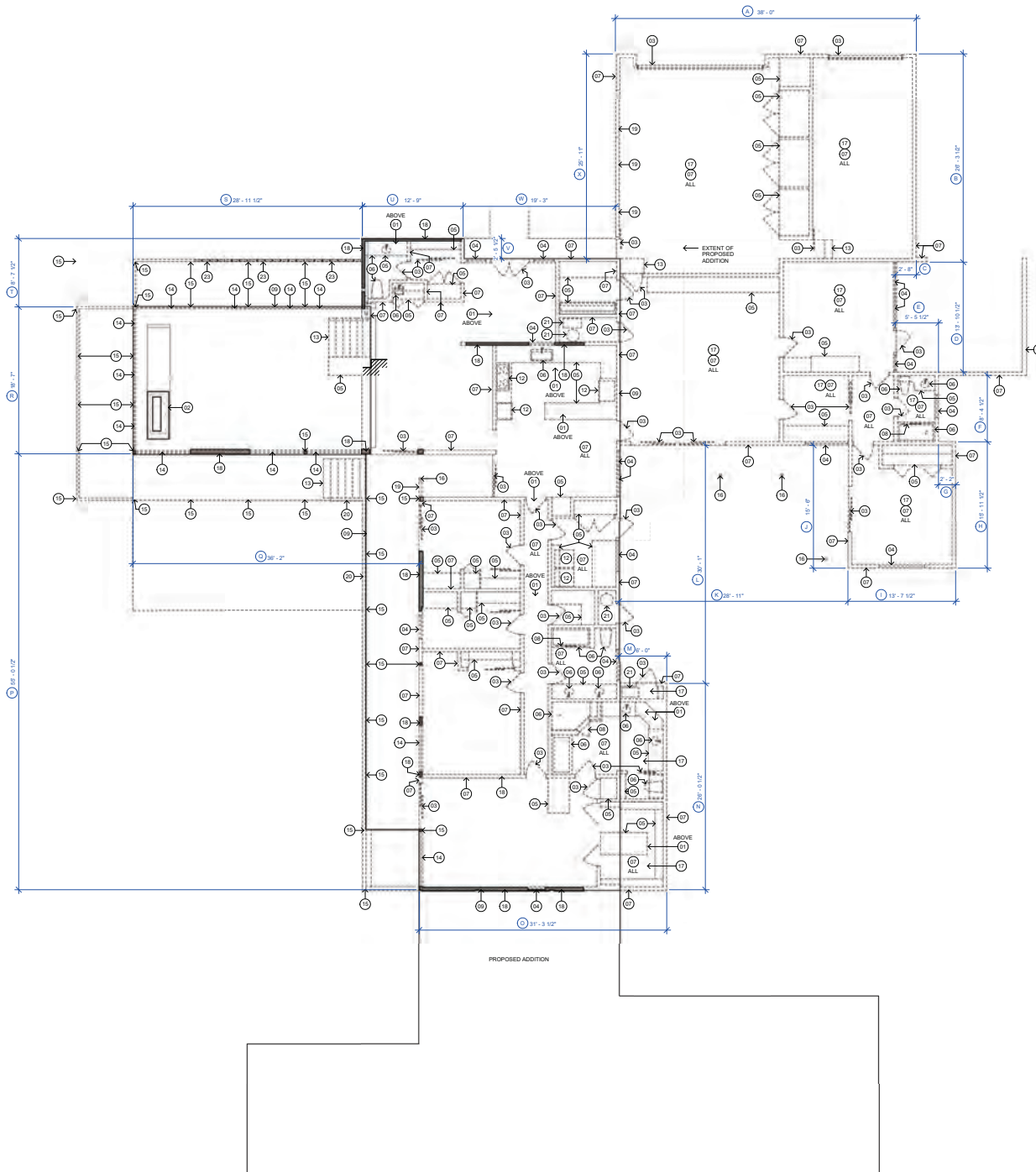
14.2.21

LA JOLLA RESIDENCE  
38514 7998 LA JOLLA VISTA DRIVE LA JOLLA, CA 92037

08 / 01 / 2024

SITE SECTIONS

A1.21



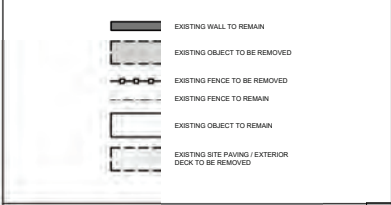
WALL #	TOTAL LENGTH	DEMO LENGTH	LENGTH TO REMAIN
A	38' - 0"	38' - 0"	0'
B	26' - 3 1/2"	26' - 3 1/2"	0'
C	2' - 8"	2' - 8"	0'
D	13' - 10 1/2"	13' - 10 1/2"	0'
E	5' - 5 1/2"	5' - 5 1/2"	0'
F	8' - 4 1/2"	8' - 4 1/2"	0'
G	2' - 2"	2' - 2"	0'
H	15' - 11 1/2"	15' - 11 1/2"	0'
I	13' - 7 1/2"	13' - 7 1/2"	0'
J	15' - 6"	15' - 6"	0'
K	28' - 11"	28' - 11"	0'
L	30' - 1"	30' - 1"	0'
M	6' - 0"	6' - 0"	0'
N	26' - 0 1/2"	26' - 0 1/2"	0'
O	31' - 3 1/2"	12' - 3"	19' - 0"
P	55' - 0 1/2"	45' - 7 1/2"	9' - 5"
Q	36' - 2"	0'	36' - 2"
R	18' - 7"	0'	18' - 7"
S	28' - 0"	0'	28' - 11 1/2"
T	38' - 7 1/2"	0'	8' 7 1/2"
U	12' - 9"	5 1/2"	12' - 3 1/2"
V	2' - 5 1/2"	2' - 5 1/2"	0'
W	19' - 3"	19' - 3"	0'
X	25' - 11"	25' - 11"	0'

EXISTING TOTAL WALL LENGTH	462' - 10 1/2"
TOTAL WALL LENGTH DEMOLISHED	339' - 11"
TOTAL WALL LENGTH TO REMAIN	133' - 4 1/2"
<b>PERCENTAGE OF EXISTING BUILDING TO REMAIN:</b>	<b>28.75%</b>

EXTERIOR WALL MATRIX 1

- (A) REMOVE EXISTING SKYLIGHT
- (B) EXISTING CMU BLOCK FIREPLACE AND CHIMNEY TO REMAIN
- (C) REMOVE EXISTING DOOR
- (D) REMOVE EXISTING WINDOW
- (E) REMOVE EXISTING CABINERY, SURROUNDING MILLWORK AND COUNTERTOPS
- (F) REMOVE EXISTING PLUMBING FIXTURES AND CAP PIPING AS NEEDED
- (G) REMOVE EXISTING WALL AND WALL FINISH
- (H) REMOVE EXISTING SHOWER ENCLOSURE
- (I) REMOVE EXISTING FINISH FLOORING. PREPARE EXISTING CONCRETE SLAB FOR NEW FINISH FLOORING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- (J) REMOVE EXISTING ROOFING MATERIAL. PREPARE ROOF SHEATHING FOR NEW ROOFING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- (K) REMOVE EXISTING SOLAR PANELS
- (L) REMOVE EXISTING APPLIANCES
- (M) REMOVE EXISTING STAIRS AND ASSOCIATED RAILS WHERE OCCURS
- (N) REMOVE EXISTING WINDOW AND REPLACE IN KIND IN EXISTING ROUGH OPENING
- (O) EXISTING 4X4 COLUMN TO REMAIN
- (P) REMOVE EXISTING 4X4 COLUMN
- (Q) REMOVE EXISTING FINISH FLOORING AND CONCRETE SLAB
- (R) EXISTING WALL FRAMING TO REMAIN. REMOVE WALL FINISH
- (S) REMOVE EXISTING BREEZEBLOCK AND PROTECT FOR FUTURE INSTALL
- (T) REMOVE EXISTING GUARDRAIL
- (U) REMOVE EXISTING HVAC AND WATER HEATER
- (V) REMOVE EXISTING ROOF
- (W) EXISTING BREEZEBLOCK TO REMAIN

KEYNOTES - DEMOLITION 2



LEGEND - DEMOLITION 3

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

**WOODS + DANGARAN**  
ARCHITECTURE + INTERIORS  
WWW.WOODSDANGARAN.COM

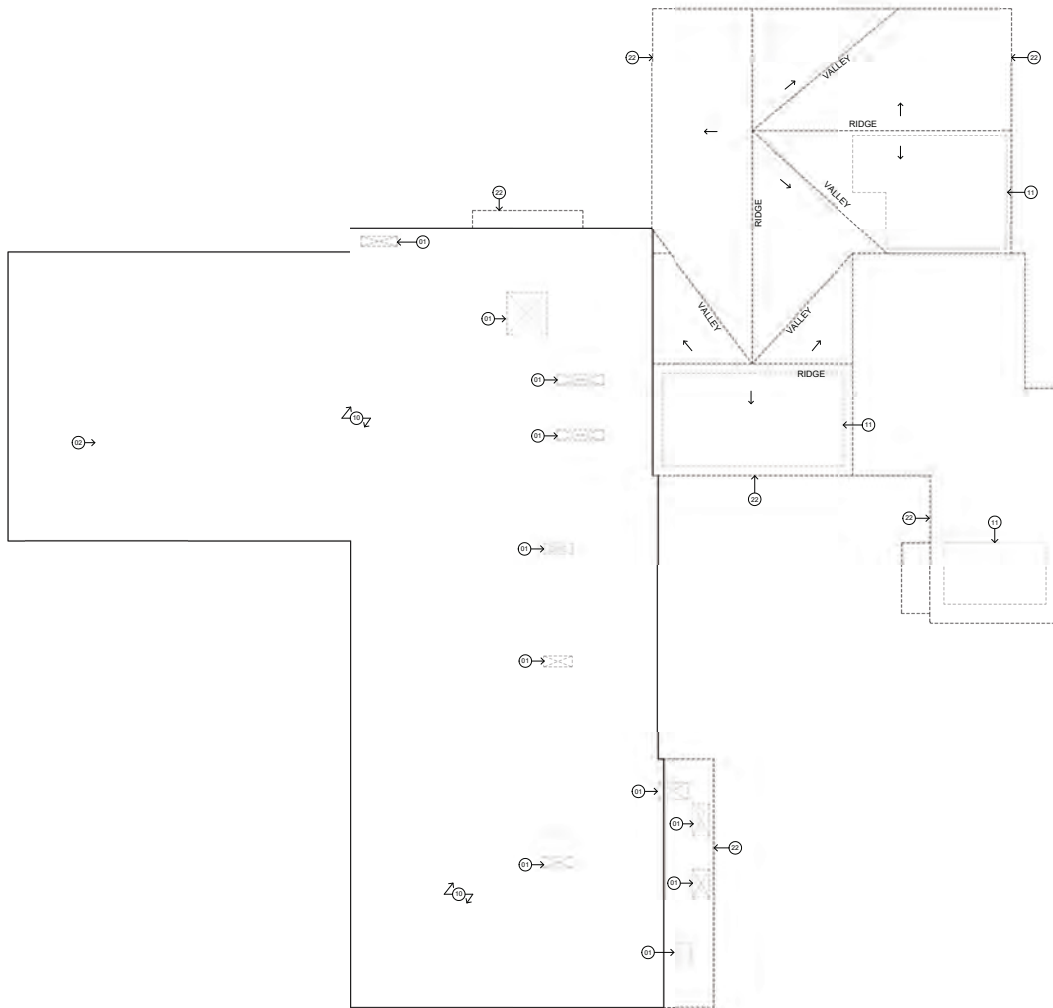
8000 PROUD BLVD  
LOS ANGELES  
CALIFORNIA  
90019

LA JOLLA RESIDENCE  
35544 2886 LA JOLLA VISTA DRIVE LA JOLLA, CA 92037

88 / 01 / 2024

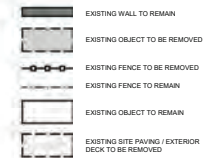
EXISTING / DEMOLITION PLAN - LEVEL 1

**A2.00**



- 11 REMOVE EXISTING SKYLIGHT
- 21 EXISTING CMU BLOCK FIREPLACE AND CHIMNEY TO REMAIN
- 22 REMOVE EXISTING DOOR
- 23 REMOVE EXISTING WINDOW
- 24 REMOVE EXISTING CABINETRY, SURROUNDING MILLWORK AND COUNTERTOPS
- 25 REMOVE EXISTING PLUMBING FIXTURES AND CAP PIPING AS NEEDED
- 26 REMOVE EXISTING WALL AND WALL FINISH
- 27 REMOVE EXISTING SHOWER ENCLOSURE
- 28 REMOVE EXISTING FINISH FLOORING. PREPARE EXISTING CONCRETE SLAB FOR NEW FINISH FLOORING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- 29 REMOVE EXISTING ROOFING MATERIAL. PREPARE ROOF SHEATHING FOR NEW ROOFING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- 31 REMOVE EXISTING SOLAR PANELS
- 32 REMOVE EXISTING APPLIANCES
- 33 REMOVE EXISTING STAIRS AND ASSOCIATED RAILS WHERE OCCURS
- 34 REMOVE EXISTING WINDOW AND REPLACE IN KIND IN EXISTING ROUGH OPENING
- 35 EXISTING 4X4 COLUMN TO REMAIN
- 36 REMOVE EXISTING 4X4 COLUMN
- 37 REMOVE EXISTING FINISH FLOORING AND CONCRETE SLAB
- 38 EXISTING WALL FRAMING TO REMAIN. REMOVE WALL FINISH
- 39 REMOVE EXISTING BREEZEBLOCK AND PROTECT FOR FUTURE INSTALL
- 40 REMOVE EXISTING GUARDRAIL
- 41 REMOVE EXISTING HVAC AND WATER HEATER
- 20 REMOVE EXISTING ROOF
- 28 EXISTING BREEZEBLOCK TO REMAIN

KEYNOTES - DEMOLITION 2



LEGEND - DEMOLITION 3

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY DISCREPANCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMAND-SHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR REUSE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

DEMOLITION PLAN - ROOF  
3/16" = 1'-0" 8

NOTES - DEMOLITION 4



8008 PROJ. BLVD  
LOS ANGELES  
CALIFORNIA  
90015

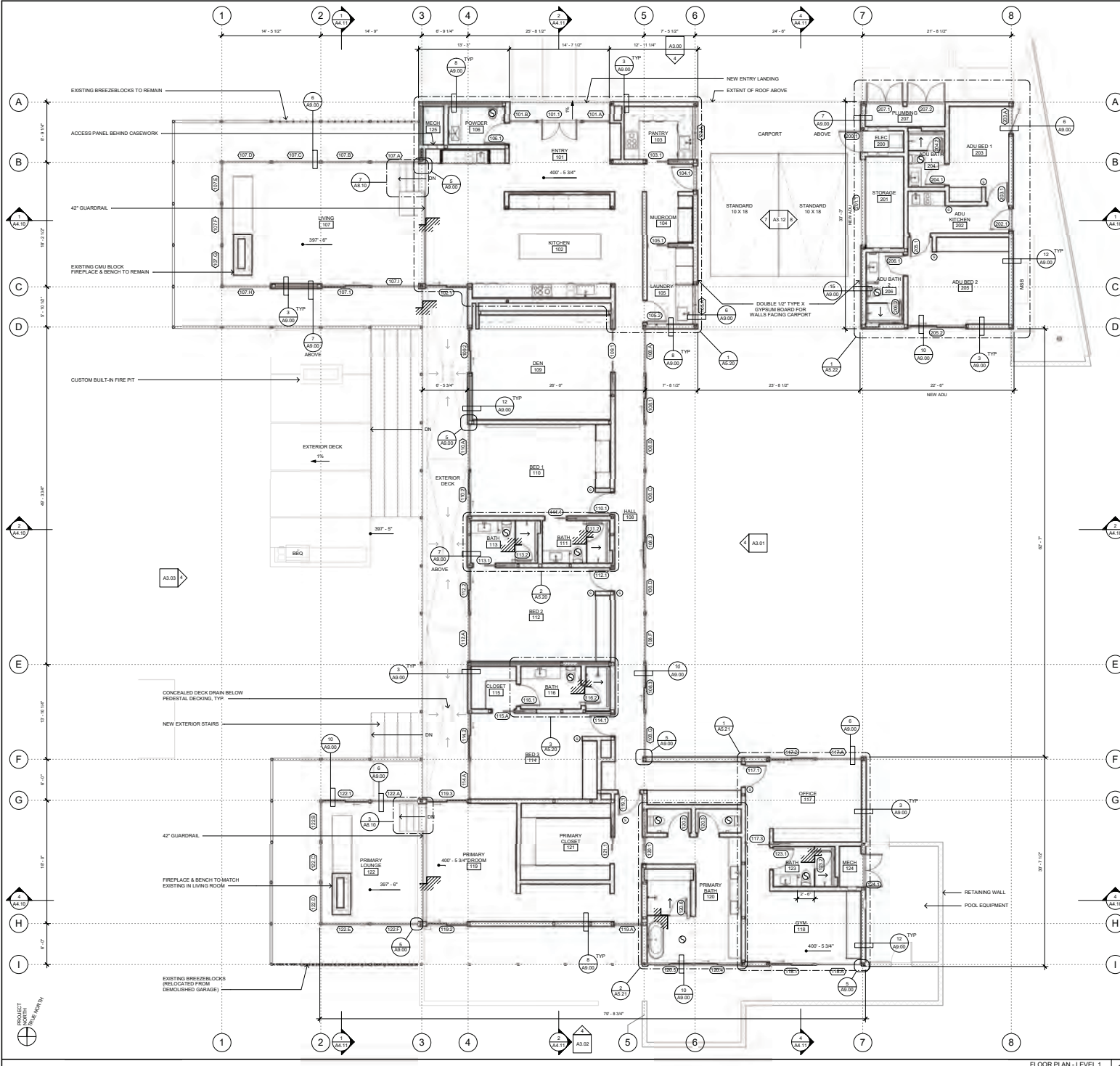
14/2/23

LA JOLLA RESIDENCE  
18544 7588 LA JOLLA VISTA DRIVE LA JOLLA, CA 92037

08 / 01 / 2024

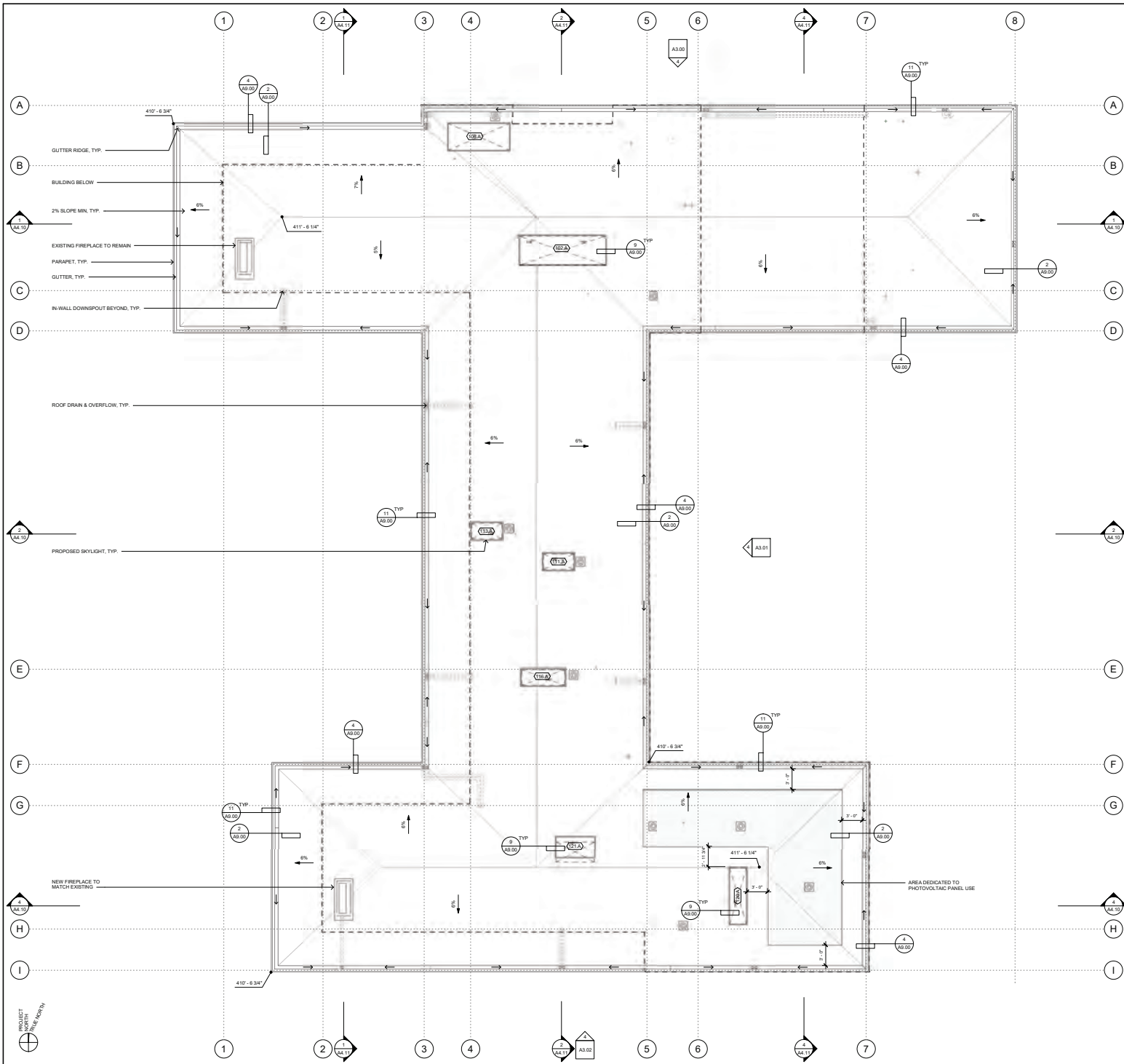
EXISTING / DEMOLITION PLAN -  
ROOF

A2.01



LEGEND - FLOOR PLAN		3
	EXISTING WALL TO REMAIN	<ul style="list-style-type: none"> <li>◉ HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE REQUIRED TO TERMINATE TO THE OUTSIDE OF THE BUILDING @ 20 CFM CONTINUOUS</li> <li>◉ COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR</li> <li>◉ CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)</li> <li>◉ FLOOR ASSEMBLY</li> <li>◉ WALL ASSEMBLY</li> </ul>
	WOOD FURRING (THICKNESS VARIES)	
	2X4 WOOD FRAMING	
	2X6 WOOD FRAMING	
	MASONRY	
	CONCRETE	

1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.) UNLESS OTHERWISE NOTED.
2. DO NOT SCALE FROM DRAWINGS.
3. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
5. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
6. PROVIDE 1.28 GALLONS OF WATER PER FLUSH TOILETS.
7. WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL (SEC 907.3 IPC).
8. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND VALVETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
9. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHERSTRIPPED.
10. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE HOUSING CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
11. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
12. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
13. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK.
14. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

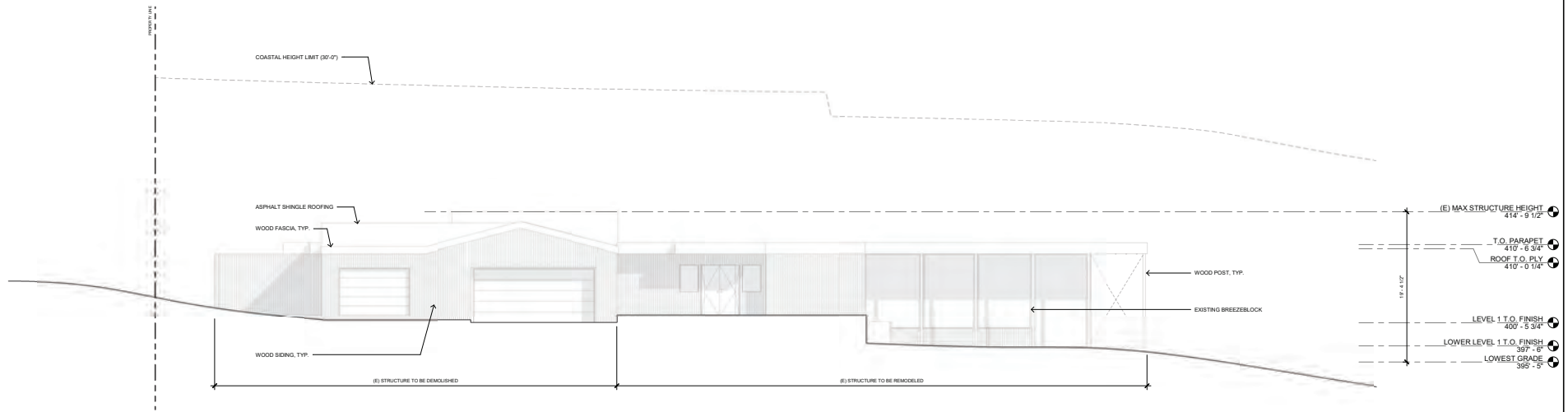


**LEGEND - FLOOR PLAN**

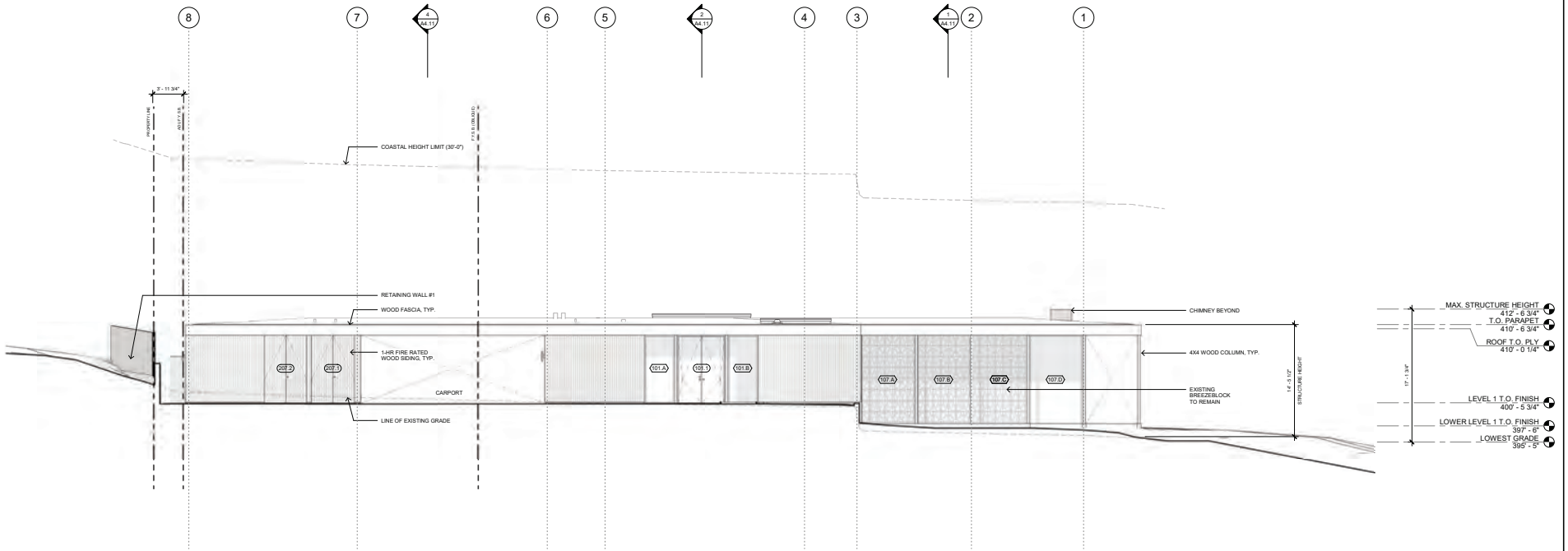
	EXISTING WALL TO REMAIN		HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING @ 50 CFM INTERMITTENT @ 20 CFM CONTINUOUS
	WOOD FURRING (THICKNESS VARIES)		COMBO HARROWEDED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
	2x4 WOOD FRAMING		CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
	2x6 WOOD FRAMING		FLOOR ASSEMBLY
	MASONRY		WALL ASSEMBLY
	CONCRETE		

- LEGEND - FLOOR PLAN**
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
  - DO NOT SCALE FROM DRAWINGS.
  - ANY INCONSISTENCIES OR UNCLERE SEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
  - ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
  - PROVIDE 1.28 GALLONS OF WATER PER FLUSH TOILETS.
  - WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL. (SEC 907.3.1 IFC)
  - PROVIDE R-13 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
  - ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
  - AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE READILY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
  - CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
  - CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
  - CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK.
  - CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

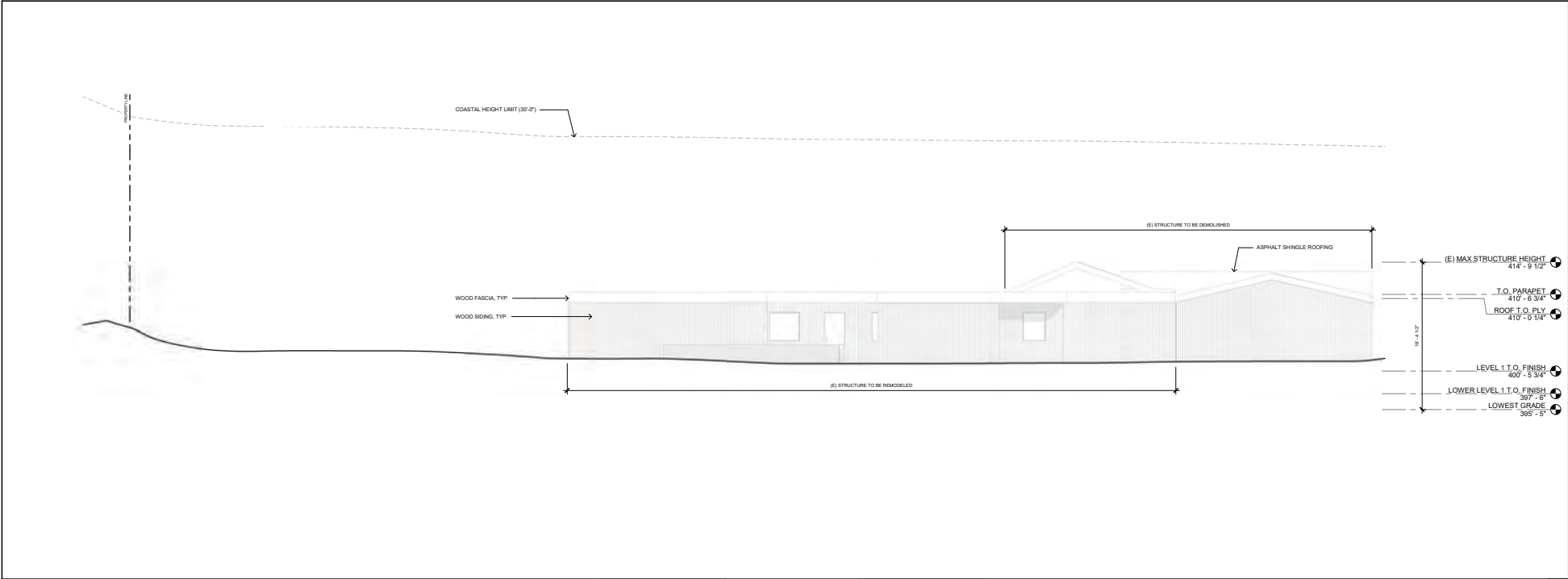




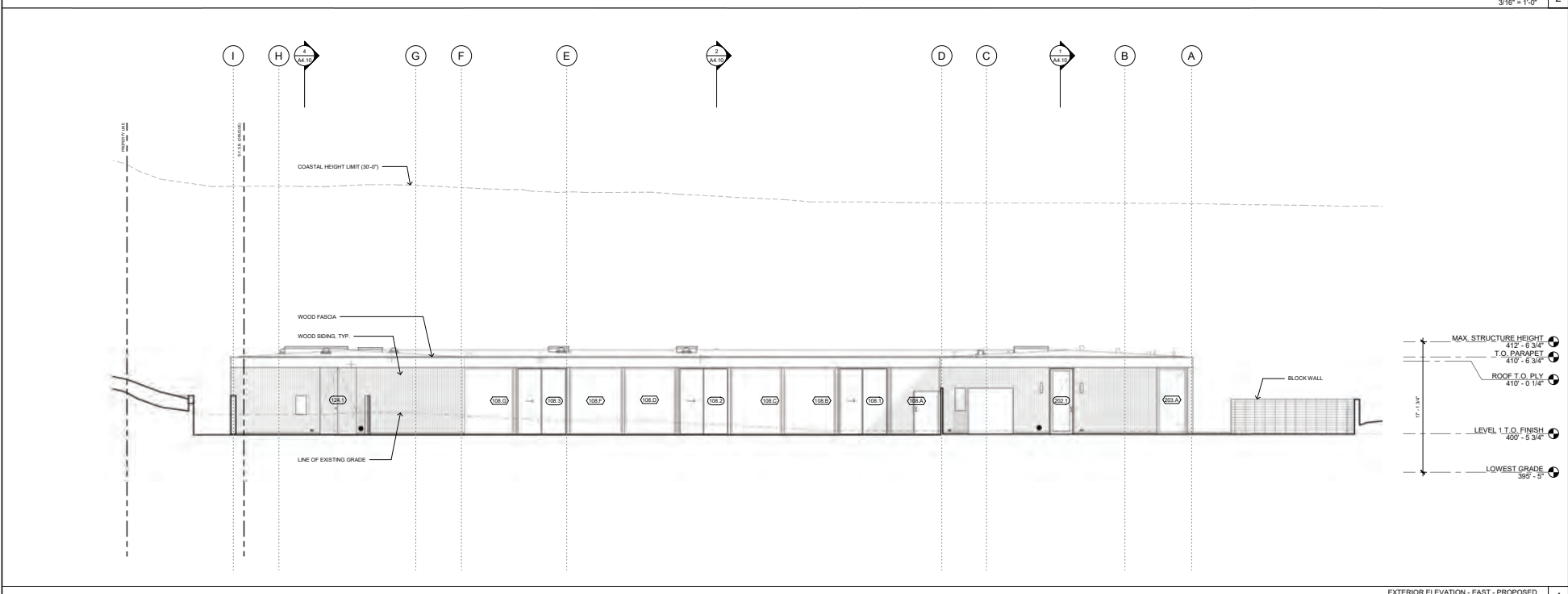
EXTERIOR ELEVATION - NORTH - EXISTING  
3/16" = 1'-0" 2



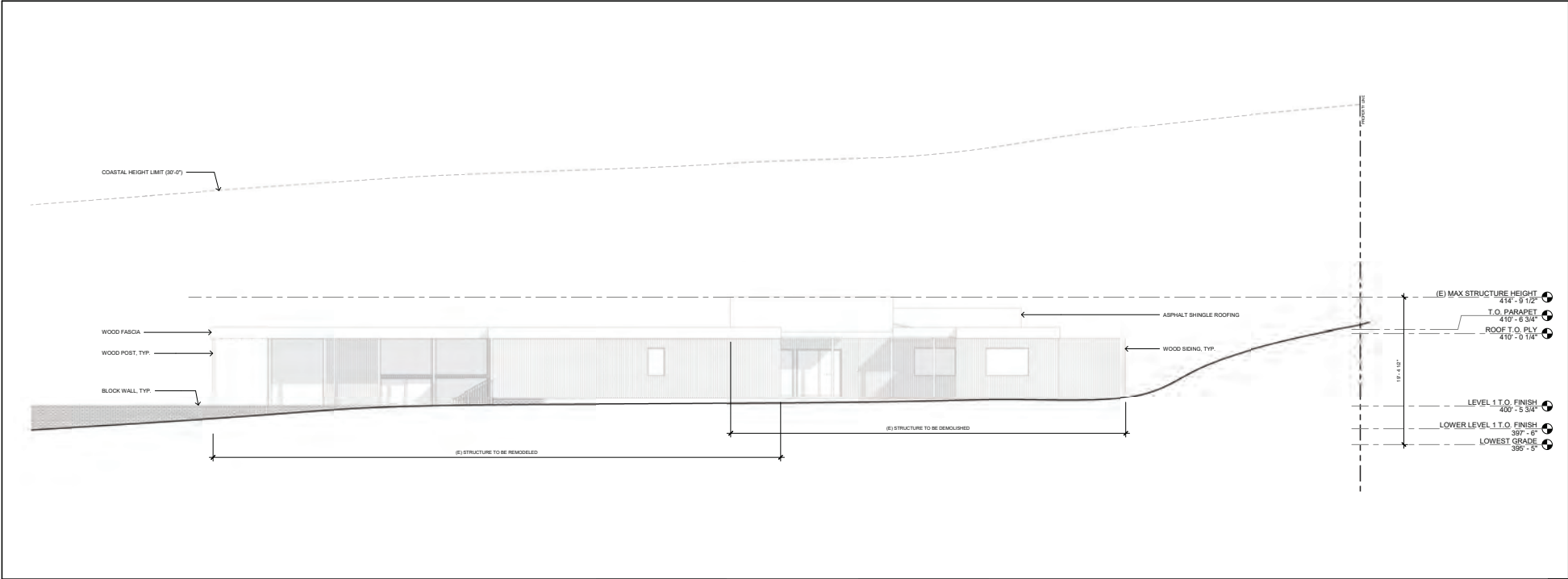
EXTERIOR ELEVATIONS - EXISTING & PROPOSED  
EXTERIOR ELEVATION - NORTH - PROPOSED  
3/16" = 1'-0" 4



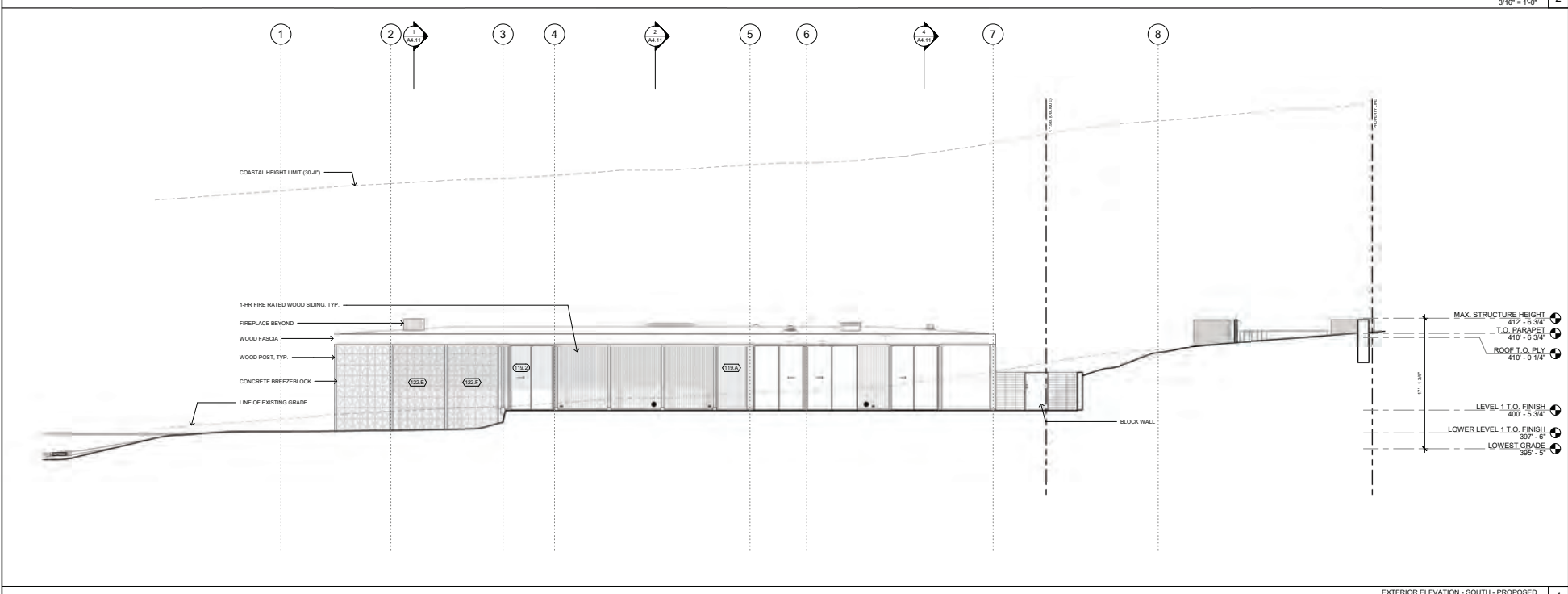
EXTERIOR ELEVATION - EAST - EXISTING 2



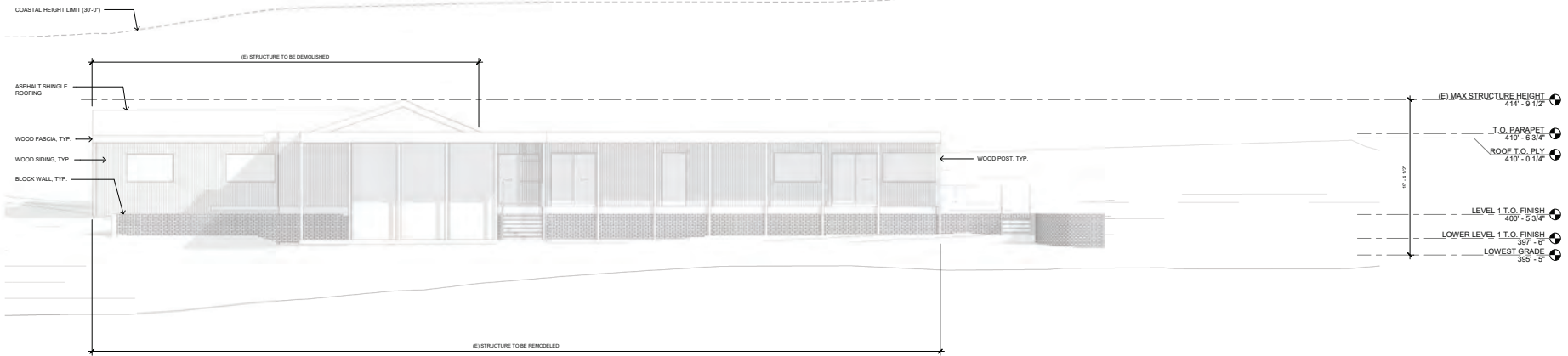
EXTERIOR ELEVATION - EAST - PROPOSED 4



EXTERIOR ELEVATION - SOUTH - EXISTING  
3/16" = 1'-0" 2

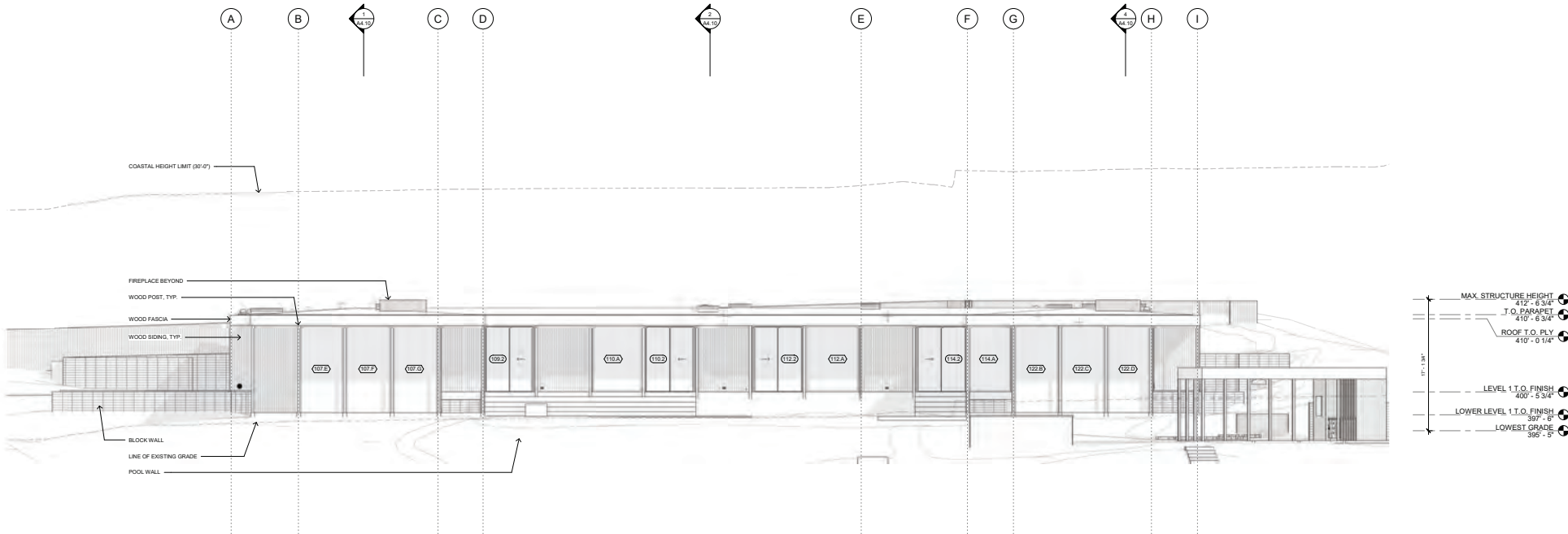


EXTERIOR ELEVATION - SOUTH - PROPOSED  
3/16" = 1'-0" 4



EXTERIOR ELEVATION - WEST - EXISTING  
3/16" = 1'-0"

2



EXTERIOR ELEVATIONS - EXISTING & PROPOSED  
3/16" = 1'-0"

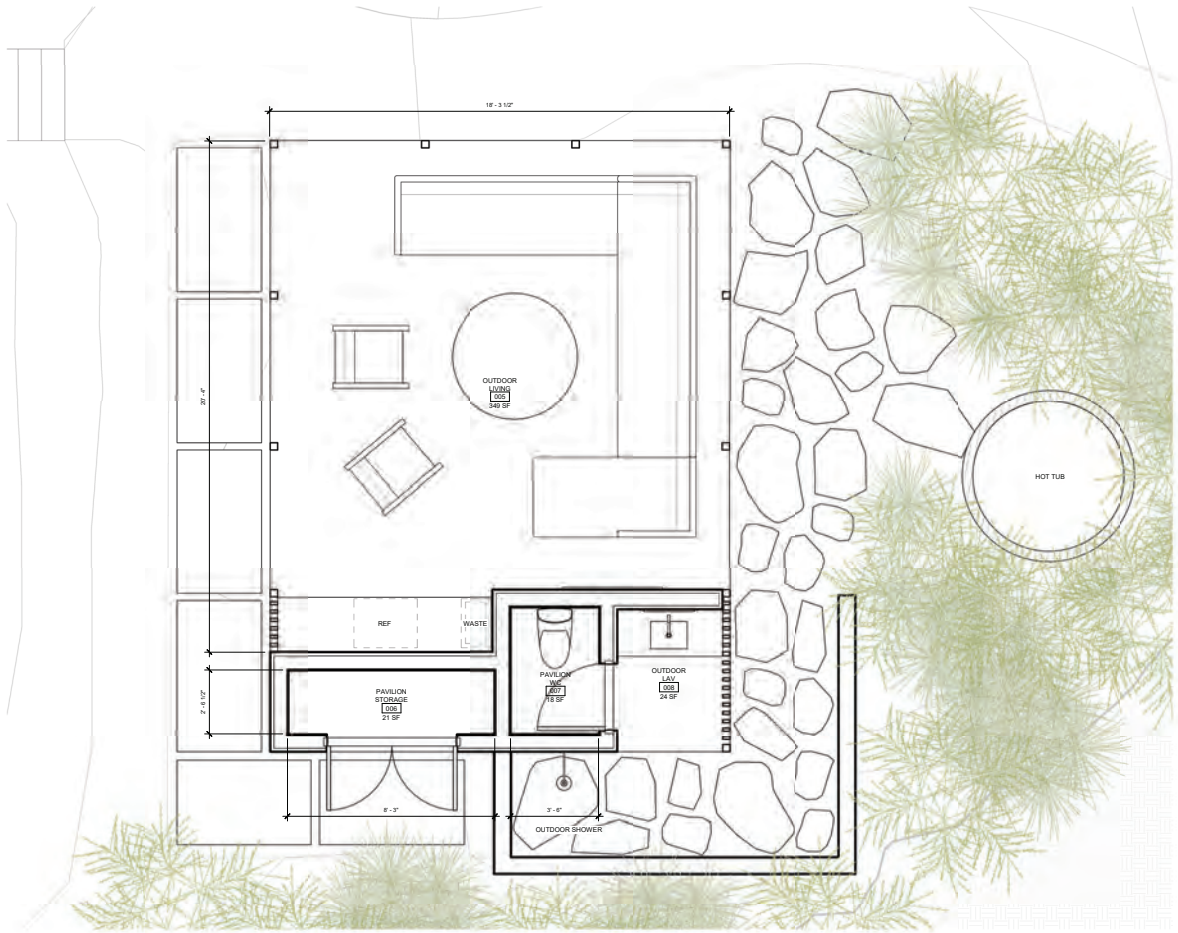
4



AXON - TENNIS PAVILION NW 14



AXON - TENNIS PAVILION SE 16

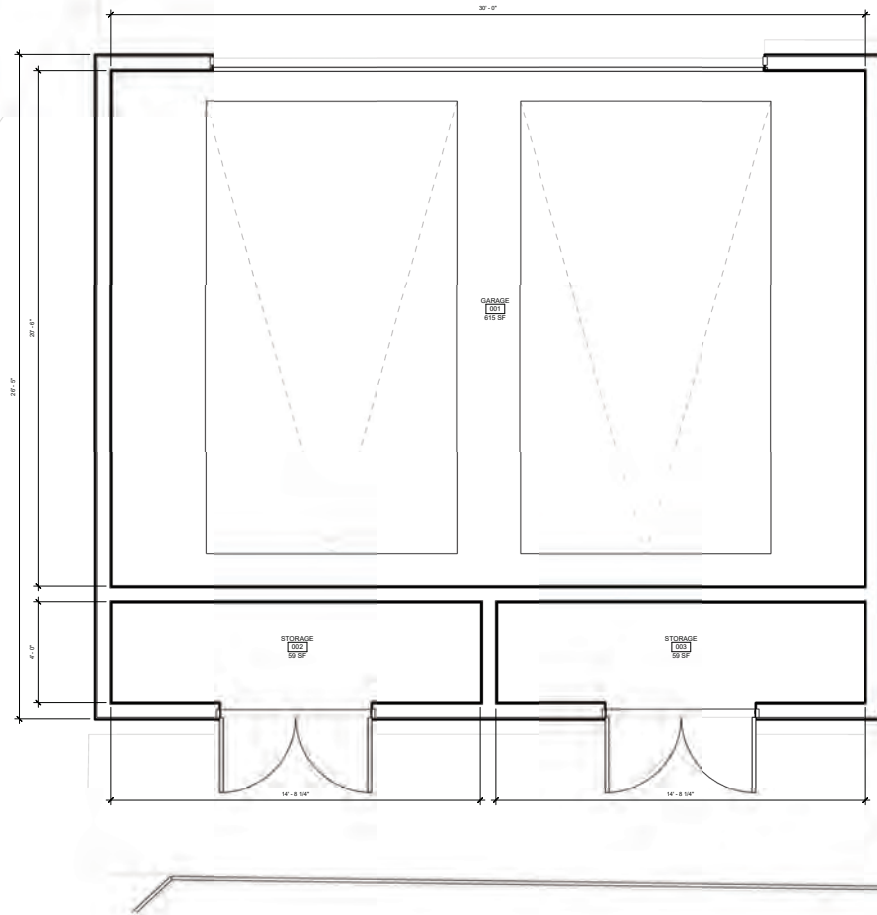


ENLARGED FLOOR PLANS - TENNIS PAVILION 1/2" = 1'-0"






AXON - GARAGE 14



WOODS + DANGARAN  
ARCHITECTURE + INTERIORS  
WWW.WOODSDANGARAN.COM



8000 PICO BLVD  
LOS ANGELES  
CALIFORNIA  
90015

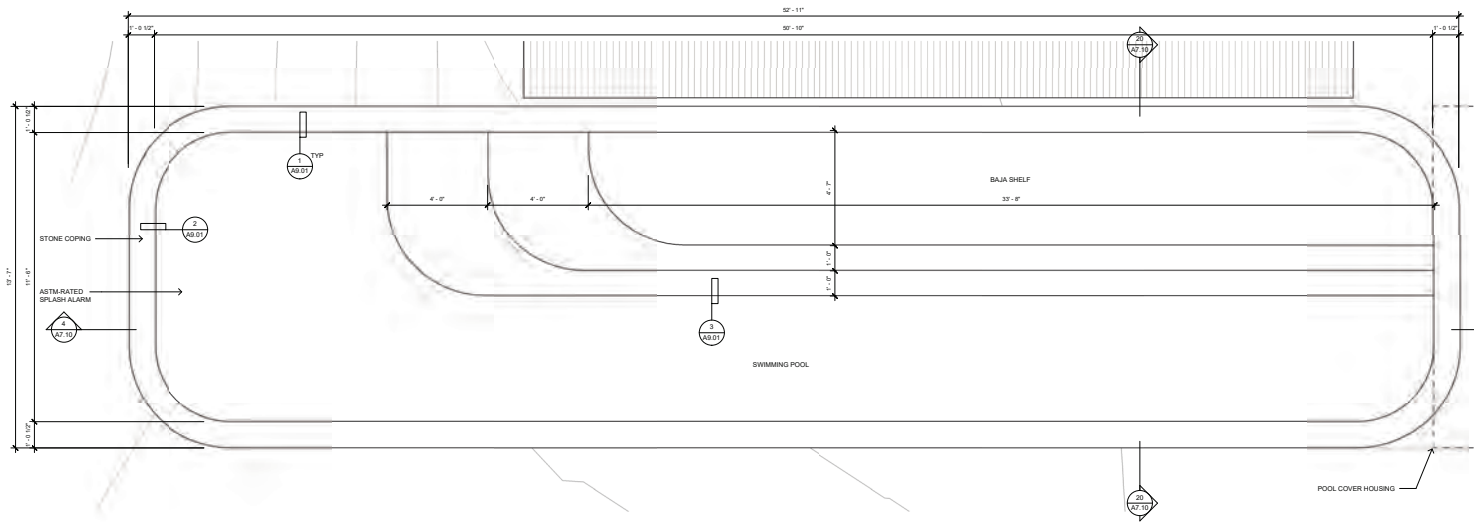
LA JOLLA RESIDENCE

35514 7500 LA JOLLA VISTADERO LA JOLLA, CA 92037

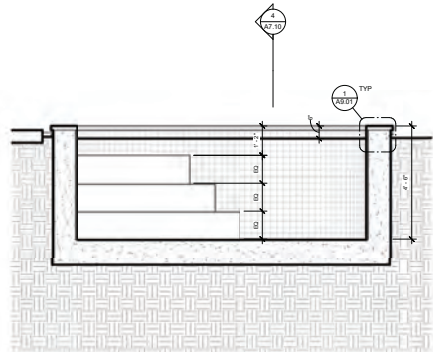
08 / 01 / 2024

ENLARGED FLOOR PLANS -  
GARAGE

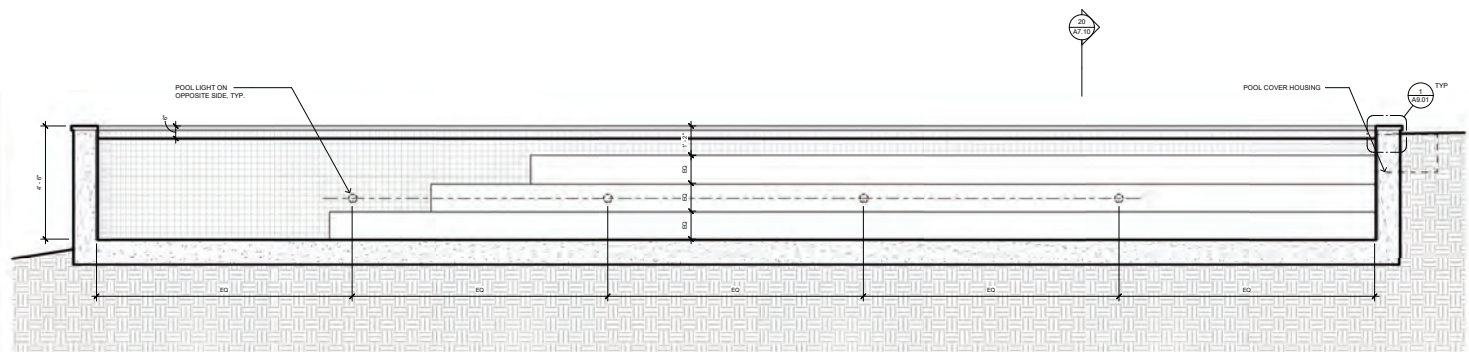
A5.24



ENLARGED PLAN - POOL  
1/2" = 1'-0" 2



POOL SECTION - CROSS  
1/2" = 1'-0" 20



POOL SECTION - LONGITUDINAL  
1/2" = 1'-0" 4

**WOODS + DANGARAN**  
ARCHITECTURE + INTERIORS  
WWW.WOODSDANGARAN.COM

8008 PICO BLVD  
LOS ANGELES  
CALIFORNIA  
90015

LA JOLLA RESIDENCE  
38514 7888 LA JOLLA VISTAVILLE LA JOLLA, CA 92037

08 / 01 / 2024

POOL PLANS AND SECTIONS

**A7.10**



THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

---

**Project Address** 7856 La Jolla Vista Dr  
San Diego, CA 92037

**Project Type** Building Construction

**Primary Contact** Michael@m2a.io

### Instructions

<p>The following issues require corrections to the documents submitted.</p>

---

Building Construction Plans PRJ-1116573.pdf

### DSD-Planning Review

Jose Vergara  
jvergara@sandiego.gov

[ [Comment 00057](#) | [Page](#) | [Open](#) ]

[For reference only]

The subject site is located at 7856 La Jolla Vista Dr., San Diego, CA 92037, APN: 346-742-1100, in the LJSPD-SF zone, within the La Jolla Community Plan Area.

The subject site is located within the following Overlay Zones:

- Airport Land Use Compatibility Overlay Zone: MCAS Miramar
- Airport Influence Area: MCAS Miramar Review Area 2
- Coastal Height Limit Overlay Zone-30'

The project is for a combination building permit for the addition, partial demolition, a new accessory structure, and new detached accessory dwelling unit to an existing single family dwelling unit. The work consist of a 2,443sf addition, a new detached 732sf ADU, new 982sf exterior deck at main house, new retaining walls, and a 788sf covered carport. The proposed work is to an existing single family dwelling unit on a developed lot. No change in use. Subject premises is associated with permit number 96-0579.

[Information Only-No response required]

[ [Comment 00058](#) | [Page](#) | [Open](#) ]

To help expedite the recheck of the plans, please provide a clear response to reviewer comments that includes the sheet number that the correction/information can be found and explain how the comment is being addressed.

[Information Only – No Response Required]

[ [Comment 00059](#) | [Page](#) | [Open](#) ]





THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

---

Depending on the total additional floor area, and in accordance with both Information Bulletin 621 and §1510.0201(d) of the San Diego Municipal Code (SDMC), a project can be determined to be “minor in scope” or requiring a Process 3 Side Development Permit. Please clarify how the proposed addition meets this condition. If project cannot meet this condition, it will require a Site Development Permit process 3.

Per table 131-04J chapter 15, article 10, division 3. The lot size is 65,043sf, and the FAR allowed on site is .45.  
FAR Allowed:  $65,043 \times .45 = 29,269 \text{ sf}$   
 $29,269.35 \times 10\% = 2,926.93\text{sf}$

The development proposes a 2,443sf addition, and a 732sf to the existing primary dwelling unit that exceeds the 10% allowable under information bulleting 621 to be considered minor in scope and cannot proceed ministerially, the development will require a Site Development Permit.

**[ Comment 00060 | Page | Open ]**

For the exterior façade, it is unclear if the proposed materials conform to those identified in section 159.0301, Building Surface Materials and Colors. Please clarify if and how the proposed roof materials, and exterior wall materials conform to those listed in the La Jolla Planned District in Chapter 15, Article, Division 3. On the plans, please include a sheet where you detail the building materials and show how they conform to the general design regulations per the La Jolla Planned District section 1510.0301.

**[ Comment 00061 | Page | Open ]**

The site shows the property as a double-fronted lot, and prelim review 705977, also shows the property as a double fronted lot. However, after further analysis, it was determined that La Jolla Vista Drive is not developed to city standards detailed in the streets design manual and it is a private drive. As a result, the lot is not double fronted, but the rear yard setback abuts La Jolla Vista Drive. Please redesign the setbacks and label the yard abutting La Jolla Vista Drive to say, ‘rear yard’.

**[ Comment 00062 | Page | Open ]**

In accordance with section 131.0461 of the SDMC, encroachments in residential zones are permitted in required yards, provided they meet the following conditions: (12) Garages or non-habitable accessory buildings may encroach into a required side or rear yard as follows: (A) The lot size shall not exceed 10,000 square feet; (B) The encroaching accessory building shall be limited to a maximum structure height of 15 feet within the setback; (C) The encroaching accessory building shall not share a common wall with the primary dwelling unit, but may be attached via a non-structural design element. Any development attached to the accessory building above one story shall comply with the setback; (D) The accessory building shall not exceed a maximum length of 30 feet within any given setback; and (E) An encroaching accessory building shall not exceed 525 square feet in gross floor area. As proposed, the carport would not be allowed to encroach in the setback. Please redesign to show conformance with SDMC.

**[ Comment 00063 | Page | Open ]**

In accordance with SDMC section 113.0103, an Accessory Dwelling Unit (ADU) means an attached or detached residential dwelling unit that is 1,200 square feet in size or less ( but not less than 150-SF), provides complete independent living facilities for one or more persons including permanent provisions for living, sleeping, eating, cooking, and sanitation, and is located on a lot with a proposed or existing single dwelling unit or multiple dwelling unit. On the floor plans, please show and label and ensure that the ADU provides complete independent living facilities separate from the primary dwelling unit.



THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

---

[ [Comment 00064](#) | [Page](#) | [Open](#) ]

Plans must be resubmitted along with a copy that shows a response to all issues within the resubmittal.

Upon receipt of additional information and/or potential scope change, additional comments may follow.




THE CITY OF SAN DIEGO

## Verification of Posting Public Notice

7856 La Jolla Vista Drive – PRJ-1123371

This is to verify that a *Notice of Application* has been posted at **7856 and 7854 La Jolla Vista Drive, PROJECT NUMBER PRJ-1123371**, within five business days of receipt of the mailed notice as required in the Land Development Code, Section 112.0304. I understand that no more than three *Notice of Application* signs will be posted and will be spaced at a maximum of 200 feet apart on the real property.

  
Signature MICHAEL R. MONTES AIA – AGENT FOR OWNER.

October 28, 2024  
Date Notice Posted

After signing this verification, please send it within 5 business days of posting date to:

Robin MacCartee  
Development Project Manager  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, California 92101-4155