

THE CITY OF SAN DIEGO

MEMORANDUM

DATE: September 16, 2024

TO: Hearing Officer

FROM: Andrew Murillo, Development Project Manager, Development Services Department

SUBJECT: Project No. PRJ-1109992 – Smith Residence

This memorandum is submitted for the Hearing Officer meeting on September 18, 2024, regarding Project No. PRJ-1109992 – Smith Residence. Below are the corrections made by city staff.

- 1) **Attachment 9:** Site Development Plans is only 1 sheet, and the remaining 10 sheets are missing. The full set is attached to this memo.
- Attachment 4: Final Draft Permit The following was added to the first section: "Remodel 1,803 square feet of the existing dwelling unit, add 511 total square feet to the existing first floor, and add 422 square feet to the basement."
- 3) **Attachment 9**: The latest revision of the Site Development Plans lists the following square footage:
 - a. Total remodel 1,803 square feet
 - b. Total First Floor Addition 511 square feet
 - c. Basement Addition 422 square feet

*The Permit, Permit Resolution, and Staff Report have been revised to show the most recent numbers.

Should you have any questions, please contact me at (619) 557-7986 or JMurillo@sandiego.gov

Sincerely,

e Alto

Andrew Murillo Development Project Manager

CC: Project File Noah Brazier, Deputy City Attorney, Office of the City Attorney

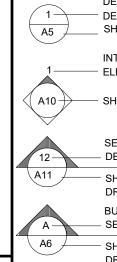
ARC

- A1
- A2
- А3 А4
- A5
- A6
- А7 А8
- A9 A10
- A11

- DE
- VOID LEVE TO R

CH

SHEET INDEX	PROJECT NAME	PROJECT INFORMATION	PROJECT DATA
CHITECTURAL: TITLE SHEET, VICINITY MAP,		BASE ZONE: RS-1-7 COMMUNITY PLAN AREA: PENNINSULA	<u>SITE ADDRESS:</u> 730 AMIFORD DR., SAN DIEGO, CA 92107 <u>APN:</u> 532-032-02-00
GENERAL NOTES , PROJECT DATA RESIDENTIAL CODE REQUIREMENTS	SMITH RESIDENCE ADDITION AND REMODEL	YEAR BUILT: 1956	LEGAL DESCRIPTION:
RESIDENTIAL CODE REQUIREMENTS STORM WATER DS-560 SQUARE FOOTAGE TABLE	730 AMIFORD DR., SAN DIEGO, CA 92107	OVERLAY ZONE DESIGNATIONS:	TR 3240, LOT 17
EXISTING SITE SURVEY SITE/PLOT PLAN	SYMBOL LEGEND	COASTAL OVERLAY (COZ): YES - CST-APP COASTAL HEIGHT OVERLAY (CHLOZ): YES	LOT SIZE: 6499 S.F./ 0.149 ACRES
1ST LEVEL DEMOLITION PLAN	DETAIL: DETAIL NUMBER ~ 7" 7" +/- APPROXIMATE OR ROUNDED DIMENSION- SITE VERIFY R1 ROOF TYPES C ELOOP EINISH MATERIAL	 COASTAL OVERLAY FIRST PUBLIC ROADWAY (COZFPR): YES AIRPORT (ALUCOZ): YES -NAS North Island, San Diego International Airport 	PROJECT DESCRIPTION
WALK OUT BASEMENT/ CRAWL SPACE PLAN INCLUDING DEMOLITION NOTES 1ST LEVEL PLAN	A5 SHEET WHERE DRAWN INTERIOR FLEVATION: INTERIOR FLEVATION: D1 DECK TYPES	PARKING(PIOZ): YES -PIOZ- COASTAL IMPACT AIRPORT (ALUCOZ): YES -NAS North Island, San Diego International Airport	REMODEL OF SINGLE FAMILY RESIDENCE: 1803 S.F. PROPOSED HABITABLE 1ST FLOOR ADDITIONS: 511 S.F.
ROOF PLAN BUILDING ELEVATIONS	1 ELEVATION NUMBER W1 Wall Types A10 SHEET WHERE DRAWN CENTER LINE	TRANSPORTATION: AFFORDABLE HOUSING PARKING DEMAND: YES- HIGH	PROPOSED HABITABLE WALK OUT BASEMENT ADDITION: 422 S.F. 5/4 PROPOSED ADDITION OF COVERED ENTRY/PATIO AT EAST SIDE OF
BUILDING ELEVATIONS SITE SECTIONS	SECTION DETAIL: SECTION DETAIL: FACE DIMENSION FLOOR LEVEL DOOR NUMBER	AIT ORDABLE HOUSING FARRING DEMAND. TES HIGH	PROPERTY: 116 S.F.
	12 DETAIL NUMBER 101 DOOR NUMBER A11 SHEET WHERE DRAWN C/L CENTERLINE DIMENSIONS A WINDOW TYPE 1	(ALUCP):AIRPORT INFLUENCE AREA (AIA): San Diego International Airport -Review Area 2, NAS North Island-review Area 2.	PROPOSED ADDITIONS OF COVERED DECKS ON WEST SIDE : 330 S.F. PROPOSED ADDITIONS OF ATTACHED SHEDS ON SOUTH SIDE: 48 S.F. PROPOSED ADDITIONS OF OPEN DECKS ON WEST SIDE: 723 S.E.
	BUILDING SECTION: SECTION NUMBER 96" APPROXIMATE CEILING HEIGHT FEF1 EXTERIOR FINISH APPROXIMATE CEILING HEIGHT	FAA PART 77 NOTICING AREA: Yes: SDIA - Lindbergh Field//175 to 180 feet elevation above sea level // 16000 to 16500	PROPOSED ADDITION OF LANDSCAPE RETAINING WALL OF WEST SIDE: 54 L.F.
GENERAL NOTES	A6 SHEET WHERE DRAWN COLUMN LINE	feet horizontal distance from runway North Island NAS//141 to 146 feet elevation above sea level // 11500 to 12000 feet	OWNER
E GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING TRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR URACY AND CONFIRMING WORK IS BUILDABLE AS SHOWN URACY AND CONFIRMING WORK IS BUILDABLE AS SHOWN	FINISH NOTES CONTINUED: A DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-	 horizontal distance from runway HISTORIC AND CULTURAL RESOURCES: 	Kerry L. Smith and Colin B. Smith, as Co-Trustees of the 810 Cornish Drive Qualified Personal Residence Trust No. 2, established June 15, 2018
ORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY AND EQUIPMENT NOT REQUIRED TO REMAIN OR TO BE REUSED, ACCOMPANYING CEILING WORK SHALL BE SCHEDULED SO AS NOT STIONS REGARDING THESE OR OTHER COORDINATION SUCH AS, BUT NOT LIMITED TO, DOORS, BUCKS, MOLDINGS, TO DISTURB OR CAUSE DAMAGE TO ANY OTHER TENANT IN THE STIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALLCOVERINGS, INCLUDING ITEMS WHICH MAY BE REASONABLY BUILDING (TYPICAL FOR ANY WORK INCLUDING OVERTIME). ANNING A CLARIFICATION FROM ARCHITECT BEFORE INFERRED AS NECESSARY TO PROPERLY PREPARE FOR THE BUILDING (TYPICAL FOR ANY WORK INCLUDING OVERTIME). CEEDING WITH WORK OR RELATED WORK IN QUESTION. EXECUTION AND INSTALLATION OF THE NEW WORK. 2. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL	RETARDANT_CONDITION PER CURRENT CODES A.B.C. AGGREGATE BASE COURSE F.F.E FINISHED FLOOR ELEVATION PROPERTY LINE/PLATE 5. INTERIOR_FINISHES MUST CONFORM TO THE REQUIREMENTS OF A.C. ASPHALTIC CONCRETE/ AIR CONDITIONING F.G. FINISHED PAVING ELEVATION F.G. PERIM FINISHED GRADE PERIMETER	Paleontological Sensitivity Area: YES- MODERATE	730 Amiford Dr, San Diego, CA 92107
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING STRUCTION WHICH INTERFACES WITH NEW CONSTRUCTION. INCLUDES BUT IS NOT LIMITED TO, UNEVEN SURFACES REMOVE LOOSE OR DEFECTIVE PLASTER AND/OR DRYWALL ON IF THERE ARE ANY CONFLICTS OR QUESTIONS REGARDING 	CALIFORNIA BUILDING CODESA.B.ANCHOR BOLTF.H.C.FIRE HOSE CABINETPLAMPLASTIC LAMINATE6. SAMPLES OF ALL FINISHES AND COLORS SPECIFIED SHALL BE SUBMITTED TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO PURCHASING AND INSTALLATIONA.D.ACCUST. ACOUSTICALFINFINISHPLASPLASTER6. SAMPLES OF ALL FINISHES AND COLORS SPECIFIED SHALL BE SUBMITTED TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO PURCHASING AND INSTALLATIONA.D.ACCESS DOOR/AREA DRAINFLRFLOORPLASTPLASTICPURCHASING AND INSTALLATIONAREA DRAINFLUORFLUORESCENTP.D.PLANTER DRAIN	FIRE- VERY HIGH FIRE HAZARD SEVERITY ZONE: YES - EXEMPT EXIST. HOME WAS BUILT PRIOR TO JULY 2008 THEREFORE IS EXEMPT	Contact:Kerry Smith:Email:ksmithnjoy@gmail.comPhone:619-341-2604
FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL TRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ACENT ADJOINING SURFACES. F. I. CHIVE PLASTER AND/OR BUTWALL ON CONTRACTOR BY ARCHITECT I. C. I. I. MILLE ANT OWNERING FOR MILLION CONTRACTOR BY ARCHITECT NERAL CONTRACTOR SHALL INFORM ARCHITECT OF EXISTING FINISHES AS REQUIRED AND WHERE DIRECTED BY ARCHITECT I. C. MILLION CONTRACTOR SHALL COORDINATION OF ITEMS, THE GENERAL CONTRACTOR SHALL OBTAIN CLARIFICATION FROM ARCHITECT OR OWNER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.	7. TYPICAL FLOOR COVERING TRANSITION IS AT THE CENTERLINE OF THE DOOR OR AT THE CENTERLINE OPENING WHERE NO DOOR IS PRESENT U.N.O. ADJ ADJUSTABLE F.N. FIELD NAILING PLWD PLWOD ADJ ADJUSTABLE F.N. FIELD NAILING PLWD PLWD PLWOOD OF THE DOOR OR AT THE CENTERLINE OPENING WHERE NO DOOR IS PRESENT U.N.O. ALUM ALUMINUM F.O. FACE OF BRICK P.S.I. POUNDS PER SQUARE INCH P.S.I. POUNDS PER SQUARE INCH P.S.I. ALT ALTERNATE F.O. FACE OF CONCRETE P.T. PRESSURE TREATED	FROM THE VERY HIGH FIRE HAZARD SEVERITY ZONE REQUIREMENTS	PROJECT TEAM
NEXAGE CONTRACTOR SHALL INFORM ARCHITECT OF CONFLICTS PRIOR TO CONSTRUCTION THAT EXIST IN LOCATIONS EXISTING FINISH. NY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, TING, PLUMBING AND SPRINKLER EQUIPMENT 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. VICUDE ALL PIPING, DUCT WORK AND CONDUITS) WHERE INDICATED AND AS NECESSARY FOR NEW WORK.	9. ALL FLOOR AND WALL FINISHES TO BE SUPPLIED AND ANODIZED ARCH ARCHITECT(URAL) F.O.P. FACE OF PANEL PVC POLYVINYL CHLORIDE	<u>GEOHAZARD CATEGORY:</u> 52 <u>SCHOOL DISTRICTS:</u>	ARCHITECT: GEOTECHNICAL:
TALL REQUIRED CLEARANCE FOR INSTALLATION AND 10. PIPES AND CONDUIT ENCOUNTERED IN DEMOLISHED PARTITIONS 5. UNLESS OTHERWISE NOTED, ELECTRICAL, TELEPHONE, DATA ETC. AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED OUTLETS ARE TO BE MOUNTED VERTICALLY WITH CENTERLINE AT NERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL 16" ABOVE THE FLOOR (OR MATCH EXST. WHERE APPLICABLE) WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL BE CAPPED AND CONCEALED IN FLOOR, WALL OR CEILING. 5. UNLESS OTHERWISE NOTED, ELECTRICAL, TELEPHONE, DATA ETC. OUTLETS ARE TO BE MOUNTED VERTICALLY AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL 16" ABOVE THE FLOOR (OR MATCH EXST. WHERE APPLICABLE) NOT AND MATERIALS IN ACCORDANCE WITH ALL LOCAL BE CAPPED AND CONCEALED IN FLOOR, WALL OR CEILING. 5. ALL OUTLETS SHOWN BACK-TO-BACK SHALL BE OFFSET 6"	AHU AIR HANDLING UNIT FT FOOT/FEET CEILING NOTES: @ AT FTG FOOTING 1. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES BD BOARD GA GAUGE RR ROOF RAFTER	ELEMENTARY AND HIGH SCHOOL: SAN DIEGO UNIFIED SCHOOL DISTRICT SETBACKS:	2600 Argonauta St., Carlsbad,CA 920097420 Trade St., San Diego, CA 92121EMAIL: deborah@sandiegoarchitects.comPH: 858-549-7222
ULATORY AGENCIES, APPLICABLE BUILDING CODES AND UIREMENTS. E GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH 11. ALL EXISTING AREAS TO REMAIN THAT ARE DAMAGED BY DEMOLITION OR NEW CONSTRUCTION WORK SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED. 11. ALL EXISTING AREAS TO REMAIN THAT ARE DAMAGED BY DEMOLITION OR NEW CONSTRUCTION WORK SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED. 6. ALL OUTLETS SHOWN BACK-TO-BACK SHALL BE OFFSET 6" MINIMUM. PROVIDE NECESSARY STUD WORK SUPPORTS. OUTLETS OR SWITCHES SHOWN TOGETHER SHALL BE MOUNTED STRAIGHT, LEVEL, AND AT THE SAME HEIGHT, AND SHALL BE COVERED WITH A ONE-PIECE COVER PLATE.	INVOLVED AND/OR PREPARE COMPOSITE SHOP DRAWING FOR EACH B1WN BE I WEEN GALV GALVANIZED N.C.P. NEFLECTED CEILING PLAN FLOOR TO INSURE CLEARANCES FOR FIXTURES, DUCTS, B.F. BOTTOM OF FOOTING G.I. GALVANIZED IRON R.C.P. REFLECTED CEILING PLAN CEILINGS, ETC. NECESSARY TO MAINTAIN THE SPECIFIED FINISH BLDG BUILDING GL GLASS R.D. ROOF DRAIN CEILING HEIGHT ABOVE THE FINISH FLOOR SLAB AS NOTED ON THE BLKG BLOCKING GLB GLU LAM BEAM REF REFERE(ENCE)	SETBACKS TABLE	EMAIL: lesreedgei@gmail.com CONTACT: Deborah Shewaga CONTACT: Leslie Reed SURVEY:
PERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE 12. REMOVE EXCESS DOORS, BUCKS, HARDWARE, LIGHTING PERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE FIXTURES, ELECTRICAL FITTINGS, CARPETS AND OTHER 7. WHEN NO DIMENSIONS ARE SHOWN OR WHEN GIVEN IN FEET ONLY, REAL CONTRACTOR SHALL BE RESPONSIBLE FOR INITATING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN SALVAGEABLE MATERIAL TO BE STORED OR DISPOSED OF AS 7. WHEN NO DIMENSIONS ARE SHOWN OR WHEN GIVEN IN FEET ONLY, INFORTON WITH THE WORK DIRECTED BY BUILDING OWNER. OR ARCHITECT 8 MAY VARY + 12" HORIZONTALLY. WHEN DEMINSIONS ARE GIVEN	Bit in the second bord bord bord bord bord bord bord bor	SETBACKREQUIREDPROPOSEDFRONT YARD10'39'-10"(EXISTING)	SURVET: Metropolitan Mapping 3712 30th St., San Diego, CA 92104
- WORK NOT SPECIFICALLY COVERED IN THE CONSTRUCTION UMENTS SHALL BE FURNISHED AND INSTALLED IN ORDANCE WITH BUILDING STANDARD MATERIALS DETAILS	BSMI BASEMENI HDR HEADER PM POOM	REAR YARD .10 X LOT DEPTH (97')= 9.7' 18'-9" SIDE YARD (N) .08 X LOT WIDTH (67')= 5.4' 5'-7"	PH: 619-431-5250 EMAIL: metromap.sd@gmail.com CONTACT: Vernon Franck
ARCHECT & THE OWNER ARE TO BE NOTIFIED OF ANY & ALL CONFLICTS, CIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED 14. GENERAL CONFLACTON IS RESPONSIBLE FOR REVIEWING & VERIFYING DEMOLTION PLANS IN RELATION TO EXIST 6 STRUCTURAL, ACCHITECTURAL, ACCHITECTURA	OF FABRICATION AND CONSTRUCTION, DESCRIPTION OF MATERIALS, AND INSTALLATION OF ALL SPECIFICALLY CUSTOM FABRICATED ITEMS. CL.P. CAST-IN-PLACE HR HOUR SCHED SCHEDULE 2. MILLWORK CONTRACTOR TO VERIFY ALL DIMENSIONS AND CL CENTERLINE HT HEATING, VENTILATING SHT SHET	SIDE YARD (N) .08 X LOT WIDTH (67')= 5.4' 5.4' (5'-4.75") FOR LOTS GREATER THAN 50 FEET IN WIDTH. THE REQUIRED SIDE SETBACKS MAY	CIVIL: Leppert Engineering Corporation
STRUCTION TIME FOR ALL SUBCONTRACTORS AND GENERAL TRACTORS WORK. 15. ALL EQUIPMENT AND MATERIAL WHICH IS IN OPERATING 6 GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND 0VERTIME COSTS. 15. ALL EQUIPMENT AND MATERIAL WHICH IS IN OPERATING OVERTIME COSTS. 15. ALL EQUIPMENT AND MATERIAL WHICH IS IN OPERATING OVERTIME CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO OWNER AS PER THEIR REQUIREMENTS. 9. STRUCTURAL AND FIRE RESISTIVE INTEGRITY IS TO BE MAINTAINED AT PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS CONDUITS AND PIPES.	CONDITIONS ON JOB SITE. ALL DISCREPANCIES BETWEEN CLG CELG	BE REALLOCATED WHERE THE COMBINED DIMENSION OF EACH SIDE SETBACK WOULD MEET OR EXCEED THE COMBINED TOTAL REQUIRED IN TABLE 131-04D, IN WHICH CASE SIDE SETBACKS SHALL NOT BE REDUCED TO LESS THAN 4 FEET	5190 Governor Drive, Suite 205 San Diego, CA 92122 PH. 858.597.2001
NERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERINGS CARPET, FURNISHINGS AND EXISTING FINISHES IN AREAS IEMOLITION AND CONSTRUCTION AND SHALL BE RESPONSIBLE THE REPART OF ANY DAMAGE CAUSED BY THE WORK OF THE	3. MILLWORK CONTRACTOR TO PROVIDE ALL NECESSARY CUT-OUTS FOR PLUMBING, ELECTRICAL AND ALL OTHER REQUIRED COORDINATION WITH OTHER TRADES ALL WORK DONE IS TO COMPLY WITH ALL LOCAL APPLICABLE CODES, REGULATIONS, COMPLY WITH ALL LOCAL APPLICABLE CODES, REGULATIONS, CONT CONTRUCTION CONT CONTRUCTION CONTRUCTION CONT CONTRUCTION CONTRUCTI	HEIGHT PER CHOZ: MAX. ALLOWED: 30' +10'= 40'	FAX: 858.597.2009 EMAIL: matt@leppertengineering.com
ERAL CONTRACTOR AND ANY SUBCONTRACTOR. 17. GENERAL CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS TO 11. FIRE DAMPER ASSEMBLIES, INCLUDING SLEEVES AND HE GENERAL CONTRACTOR SHALL RECORD "AS BUILT" EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE NEW INSTALLATION PROCEDURES, SHALL BE APPROVED BY THE DITIONS ON A PRINTS FURNISHED TO THE GENERAL CONSTRUCTION. PROVIDE PROPER ZONING AND INSTALL BUILDING INSPECTOR PRIOR TO INSTALLATION.	AND ORDINANCES. ALL WORK DONE IS TO COMPLY WITH CONTINUOUS STR CONTINUOUS STR STRUCTURAL ACCEPTED TRADE STANDARDS FOR HIGH QUALITY WORKMANSHIP. COORD COORDINATE JAN JANITOR STL STEEL 4. COMPLETION OF WORK WILL INCLUDE CLEAN-UP AND REMOVAL OF CSK COUNTERSINK JT JOIST SYM SYMMETRICAL ALL EXTRANEOUS ARTICLES AND DEBRIS GENERATED BY WORK. C/W COMPLETE WITH T T TREAD	HEIGHT PER RS-1-7: MAX. ALLOWED 24'/30' PROPOSED OVERALL STRUCTURE HEIGHT 39'-7"	CONTACT: Matt DeVincenzo
TRACTOR AT COST BY GENERAL CONTRACTOR 12. EXPOSED HOT WATER AND DRAIN PIPES UNDER LAVATORIES HE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR URITY OF PROJECT AND SHALL BE RESPONSIBLE FOR EXISTING CONDITIONS: 14. DEVISION OF THE PROJECT. 1. THE DRAWINGS SHOW GENERAL INFORMATION ONLY. IT SHALL 14. DEVISION OF THE PROJECT. 14. DEVISION OF THE PROJECT.		PERCENTAGE OF SLOPE SUMMARY:	CODES & REGULATIONS
BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UIRED PERMITS PRIOR TO COMMENCEMENT OF WORK, THE UIRED PERMITS PRIOR TO COMMENCEMENT OF WORK, THE UESTING AND COORDINATION OF BUILDING DEPARTMENT UESTING AND APPROVALS IN ALL FIELDS OF HIS WORK, CONDITIONS AND OPERATIONS REQUIRED. BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO EXAMINE THE SITE TO DETERMINE THE EXACT EXISTING CONDITIONS AND CHARACTER AND EXTENT OF THE WORK TO BE PERFORMED AND OPERATIONS REQUIRED. DESTING AND APPROVALS IN ALL FIELDS OF HIS WORK, CONTRACTOR OR GENERAL CONTRACTOR. DESTING AND APPROVALS IN ALL FIELDS OF HIS WORK,	DOUGLAS FIR LAM LAMINATED T.I. TENANT IMPROVEMENT 6. WHERE ELECTRICAL WORK IS SPECIFIED, ALL LAMPS, FIXTURES, OUTLET, SWITCHES, PLUGMOLDS, ETC., ARE TO BE DBL DOUBLE LAV LAVATORY T.J. TOOLED JOINT FIXTURES, OUTLET, SWITCHES, PLUGMOLDS, ETC., ARE TO BE DIA (D) DIAMETER LAV LAV BOLT T.N. TOE NAILED PROVIDED BY AND COORDINATED WITH ELECTRICAL CONTRACTOR. DIAG DIAGONAL L.I. LIVE LOAD T.O. TOP OF (SPECIFY ITEM)	22%-REFER TO BUILDING SECTIONS ON SHEET A11 LANDSCAPE AREA SQUARE FOOTAGE:	THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES: 2022 editions of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Green Building Standards Code and
2. THE FAILURE OR OMISSION OF THE GENERAL CONTRACTOR TO VISIT THE SITE AND ACQUAINT THEMSELVES WITH THE EXISTING ENERAL CONTRACTOR SHALL HAVE ON-SITE, THE APPROVED STRUCTION DRAWINGS AND BUILDING PERMIT. 2. THE FAILURE OR OMISSION OF THE GENERAL CONTRACTOR TO VISIT THE SITE AND ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS SHALL IN NO WAY RELIEVE THEM FROM OBLIGATIONS WITH RESPECT TO THIS CONTRACT. 14. WHEN ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH MILLWORK ITEMS, ALL LAMPS, FIXTURES, OUTLETS, SWITCHES, ETC., SHALL BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. CUT-OUTS FOR OUTLETS, SWITCHES, ETC., AS	7. MILLWORK CONTRACTOR TO SUBMIT ALL SHOP DRAWINGS TO ARCHITECT OR OWNER FOR REVIEW AND APPROVAL. DIAPH DIAPHRAGM LLH LONG LEG HORIZONTAL T.O.C. TOP OF CURB NO WORK IS TO BE UNDERTAKEN WITHOUT PRIOR TO APPROVAL DIM DIMENSION LLH LONG LEG HORIZONTAL T.O.S. TOP OF S LAB NO. DOWN LD. DEAD LOAD LONGIT LONGITUDINAL T.O.W. TOP OF WALL DN. DOWN LP LOW POINT TRANS TRANSVERSE	6499 S.F.(LOT)-3206 S.F. (BLDG FOOTPRINT)- 378 S.F. (HARDSCAPE)= LANDSCAPE AREAS 2915 S.F. (²⁹¹⁵ =.45 OF LOT)	the California Existing Building Code are published in Chapters 12 and 14 of the Land Development Code.
HE GENERAL CONTRACTOR SHALL PROVIDE ALL SUPERVISION, STANCE AND COORDINATION OF VARIOUS TRADES. 3. THE INFORMATION INDICATED ON THE DRAWINGS REPRESENTS THE BEST INFORMATION AVAILABLE AS TO THE CHARACTER OF THE MATERIALS TO BE ENCOUNTERED AND THEIR LOCATIONS. REQUIRED BY MILLWORK CONTRACTOR SHALL BE COORDINATED WITH ELECTRICAL CONTRACTOR. ATERIALS SHALL BE JOINED TO UNIFORM, ACCURATE FITS SO THE MATERIALS TO BE ENCOUNTERED AND THEIR LOCATIONS. 15. FOR APPLIANCES FOLLOW ALL MANUFACTURER'S LITERATURE INCLUDING FULL PRODUCT DESCRIPTIONS, ILLUSTRATIONS,	8. ALL PAINTED WOOD SURFACES TO BE PROPERLY SEALED, SANDED AND SHOP PRIMED TO RECEIVE FINISH COAT. D.S. DOWNSPOUT L.W.C. LIGHT WEIGHT CONCRETE TYP TYP TYP 9. MILLWORK CONTRACTOR TO SUBMIT WOOD, PAINT AND/OR STAIN SAMPLES AND ENDIFIES AND ENDIFIEST AND CONFIGENCE DWG DRAWING U.N.C. UNIFORM BUILDING CODE 9. MILLWORK CONTRACTOR TO SUBMIT WOOD, PAINT AND/OR STAIN DWG DRAWING MAS MASONRY U.N.O. UNLESS NOTED OTHERWISE	FLOOR AREA SUMMARY: ALLOWABLE FAR: .58 x 6499 S.F. =3769S.F.	DEFERRED SUBMITTALS
Y MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS, 4. IT IS EXPRESSLY UNDERSTOOD AND AGREED THAT THE OWNER SPECIFICATIONS, AND LINE DRAWINGS SHOWING CLEARANCES & RLAPS AND IMPERFECTIONS. INSTALL EXPOSED MATERIALS ASSUMES NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SPECIFICATIONS, AND LINE DRAWINGS SHOWING CLEARANCES & ROPRIATELY LEVEL, PLUM AND AT ACCURATE RIGHT ANGLES SUFFICIENCY OR ACCURACY OF THE DRAWINGS OR THE ROUGH-IN INFORMATION. FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE INTERPRETATION THEREOF, AND THERE IS NO WARRANTY OR 16. ALL TELEPHONE/ CABLE/ INTERNET ETC. WORK SHALL BE LL MEET OR EXCEED ALL NATIONAL STANDARDS PUBLISHED GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT THE COORDINATED BY THE GENERAL CONTRACTOR WITH OWNER	DWR DRAWER MAT MAT MAT V.C.T. VINYL COMPOSITION TILE 10. ALL PLASTIC LAMINATE SHEETS ARE TO BE PROPERLY BACKED TO PREVENT WARPAGE OF THE SUBSTRATE. E EAST MAX MAXIMUM VENT VENTILATOR/VENTILATION 10. ALL PLASTIC LAMINATE SHEETS ARE TO BE PROPERLY BACKED TO PREVENT WARPAGE OF THE SUBSTRATE. E EAST MAX MAXIMUM VENT VENTILATOR/VENTILATION EA EACH MECH MECHANICAL VERT VERTICAL E.B. EXPANSION BOLT MEMB MEMBRANE V.R. VAPOR RETARDER	EXISTING FAR: 1803 S.F. (EXISTING HOUSE) + 48 S.F. (EXISTING SHED +	SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL
THAT TRADE EXCEPT WHERE THE CONTRACT DOCUMENTS ARE IS STRINGENT. IN SUCH CASES, WORK SHALL MEET OR EED THE STANDARDS ESTABLISHED BY THE CONTRACT UMENTS. CONDITIONS AND LOCATIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. PARTITION NOTES: CONDITIONS AND LOCATIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. PARTITION NOTES: CONDITIONS AND LOCATIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. PARTITION NOTES: CONDITIONS AND LOCATIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. DIGNITIONS OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. DIGNITIONS OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. DIGNITIONS OF THOSE EXISTING THROUGHOUT THE EXISTING STRUCTURE OR THAT UNFORESEEN DEVELOPMENTS MAY NOT OCCUR. DIGNITIONS OF THE SECONDARY OF THE OF THIS OF THIS OF THE OF TH	11. ALL WOOD VENEER AND PLASTIC LAMINATE PANELS OR SHELVES E.J. EXPANSION JOINT MET METAL VTR VENT THRU ROOF ARE TO BE VERTICAL GRAINED U.N.O. ALL EXPOSED EDGES TO E.J. EXPANSION JOINT MFR MANUFACTURER VWC VINUL WALL COVERING BE BANDED WITH MATCHING MATERIAL. ELEC ELEC/ATION MIN MINIMUM WT WEST	284 S.F. (ENCLOSED PATIO) = 429 S.F. (EXISTING GARAGE)	DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING
ENERAL CONTRACTOR SHALL COORDINATE ANY OVERTIME WITH DING OWNERS/MANAGEMENT PERSONNEL. (I.E.: DEMOLITION, TING AND RUBBISH REMOVAL WITH BUILDING OWNER/MANAGEMENT SONNEL.) 1. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH FOR THE FINISH THEY ARE INTENDED TO RECEIVE. 2. BLOCKING SHALL BE PROVIDED IN PARTITIONS AS REQUIRED	12. ALL MILLWORK IS TO BE FABRICATED IN SHOP WITH ALL ELEV ELEV ELEV WDW WDW NECESSARY FINAL WORK TO BE PERFORMED IN THE FIELD. E.N. EDGE NAIL N NORTH WD WOOD 13. GENERAL CONTRACTOR TO PROVIDE AND INSTALL WALL BACKING: EQ EQUIP EQUIPMENT N.I.C. NOT TO SCALE WI.E WIRE GLASS	2564/6499 S.F. =.39 1803 S.F. (EXISTING HOUSE) +	OFFICIAL. LIST OF DEFERRED SUBMITTALS:
FOR WALL ATTACHED ITEMS. 19. FOR FIXTURES, SWITCHES, 19. FOR FIXTURES, SWITCHES, 19. FOR FIXTURES, SWITCHES, 10. FOR FIXTURES, SWITCHES, 10. FOR FIXTURES, SWITCHES, 10. FOR FIXTURES, SWITCHES, 11. FOR FIXTURES, SWITCHES,	14. MILLWORK CONTRACTOR TO PROVIDE 1-1/4" DIAMETER (OR SIZE E.W. EACH WAY NO NUMBER W/O WITHOUT As REQUIRED BY OWNER WIRE HOLES IN MILLWORK WHERE REQUIRED. PROVIDE GROMMETS TO MATCH COUNTERTOPS. EWC ELECTRIC WATER COOLER NO NUMBER W/O WITHOUT EXT EXTERIOR O.C. ON CENTER WP WATERPROOF EXIST EXIST EXISTING O.D. OUTSIDE DIAMETER W.P.J. WATER RESISTANT	PROPOSED FAR: 1803 S.F. (EXISTING HOUSE) + 429 S.F. (EXISTING GARAGE) + 48 S.F. (NEW SHEDS) +	
NOTIFICATION SHALL BE MADE PRIOR TO INSTALLATION. NEW PARTITIONS SHALL BE DIMENSIONED TO FACE OF STUD U.N.O. BUILDING STANDARD OR OPGRADE IF REQUIRED TO MEET CORRENT SHALL BE THE RESPONSIBILITY OF THE GENERAL WINDOWS ARE DIMENSIONED TO THE CENTERLINE U.N.O. BUILDING CODE REQUIREMENTS UNLESS OTHERWISE NOTED TRACTOR TO DISTRIBUTE ADEQUATE COPIES OF ALL 5. ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH 20. THE REFLECTED CEILING DRAWINGS/ELECTRICAL DRWGS SHALL BE WINGS TO ALL TRADES FALLING UNDER THEIR WITH EXISTING CONSTRUCTION FOR ONE CONTINUOUS SURFACE. 20. THE REFLECTED CEILING DRAWINGS/ELECTRICAL DRWGS SHALL BE	SUBMITTAL NOTES: (E) EXISTING 0.F. OVERFLOW/OUTSIDE FACE WEIGHT 1. THE GENERAL CONTRACTOR SHALL PROVIDE SUBMITTALS AS REQUIRED OR REQUESTED TO BE REVIEWED BY ARCHITECT/OWNER F.B. FLAT BAR 0.F.O.I. OWNER FURNISHED/ CONTRACTOR INSTALLED W.W.F. WELDED WIRE FABRIC 0.F.O.I. OWNER FURNISHED/ W.W.F. WELDED WIRE MESH	343 S.F. (BASEMENT ADDITION 4 422 S.F -79 S.F. EXEMPT PER 113.0234) +	FAA CERTIFICATION NOTE
PONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE INCLUDING REVISIONS. PON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR L SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY CONTRACTOR L SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY CONTRACTOR CONT	NO PORTION OF THE WORK REQUIRING A SUBMITTAL SHALL F.D. FLOOR DRAIN OWNER INSTALLED COMMENCE WITHOUT THIS REVIEW. FDN FOUNDATION OPPOSITE HAND/OVERHEAD SUBMITTALS SHALL BE REVIEWED WITH REASONABLE PROMPTNESS, F.E. FIRE EXTINGUISHER OPPO'G. OPPOSITE VERIFYING THE CONSISTENCY OF DESIGN CONCEPT. F.E. FIRE EXTINGUISHER CABINET OPP OPPOSITE	<u>511 S.F. (1ST LEVEL ADDITIONS)</u> 3134/6499 S.F. =.48	I Deborah Shewaga do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration
12 SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY IPLETION. 7. WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING PARTITIONS, REMOVE EXISTING CORNER BEAD(S), ALIGN, 14 CONTRACTOR SHALL, AT ALL TIMES, KEEP PREMISES FREE 16 ACCUMULATION OF DEBRIS CAUSED BY HIS OPERATIONS. 17. WHERE NEW PARTITIONS ARE TO ALIGN WITH EXISTING 18. ANY FIREPROOFING MATERIALS REMOVED FOR SECURING NEW 21. ALL BUILDING STANDARD EQUIPMENT INCLUDING LIGHT 19. FIREPROOFING MATERIALS REMOVED FOR SECURING NEW 21. ALL BUILDING STANDARD EQUIPMENT INCLUDING LIGHT 10. FIREPROOFING MATERIALS REMOVED FOR SECURING NEW	THE REVIEW OF THE SUBMITTAL WILL NOT EFFECT THE CONTRAC- TOR'S RESPONSIBILITY TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS NOR RELIEVE CONTRACTOR OF ERRORS OR OMISSION IN THE SUBMITTAL. GENERAL CONTRACTOR TO REVIEW AND LOG SUBMITTALS PRIOR TO ISSUANCE TO ARCH/OWNER	EXISTING HABITABLE FLOOR AREA : 1803 S.F.	notification because, per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.
HERE WORK OR EQUIPMENT IS INDICATED N.I.C., SUCH WORKPARTITION TO STRUCTURE ABOVE SHALL BE REPLACED WITH NEW MATERIALS BY THE SAME FIREPROOFING MANUFACTURER OF THACTOR SHALL COORDINATE AND COOPERATE TO EFFECT22 ALL SWITCHES SHOWN SHALL BE 48" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED ON PLAN. ALL HEIGHTS ARE GIVEN TRACTOR SHALL COORDINATE AND COOPERATE TO EFFECTPARTITION TO STRUCTURE ABOVE SHALL BE REPLACED WITH NEW MATERIALS BY THE SAME FIREPROOFING MANUFACTURER OF THICKNESS REQUIRED IN ORDER TO PRESERVE THE FIRE RATINGS REQUIRED IN THE EXISTING/ NEW CONDITIONS.22 ALL SWITCHES SHOWN SHALL BE 48" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED ON PLAN. ALL HEIGHTS ARE GIVEN FROM TOP OF ROUGH FLOOR TO CENTERLINE OF COVERPLATE, MOUNTED VERTICALLY LENGTHWISE. ALL GANGED SWITCHES	2. SHOP DRAWINGS WHICH CONTAIN EXCESSIVE ERRORS OR ARE INCOMPLETE, WILL BE RETURNED UNCHECKED FOR CORRECTION AND COMPLETION. ANY DELAY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.	PROPOSED HABITABLE FLOOR AREA: 1803 S.F. EXIST. HOUSE (REMODELED) +	date: 1/16/24
SCREPANCIES FOUND BETWEEN NOTES AND DRAWINGS SHALL BE DUGHT TO THE ATCHITECT& THE OWNER THE TIME OF PRICING & PROIR TO CONSTRUCTION PROCEEDING. DOOR HARDWARE NOTES: SHALL BE COVERED WITH A ONE-PIECE PLATE. ANY GROUPING OF SWITCHES SHALL BE COVERED WITH A ONE-PIECE COVERPLATE. SHALL BE COVERED WITH A ONE-PIECE OVERPLATE. SHALL BE COVERED WITH A ONE-PIECE PLATE. ANY GROUPING OF SWITCHES SHALL BE COVERED WITH A ONE-PIECE COVERPLATE. SHALL BE COVERED WITH A ONE-PIECE OVERPLATE. SHALL BE COVERED WITH A ONE-PIECE OVERPLATE. SHALL BE COVERED WITH A ONE-PIECE OVERPLATE. SHALL BE COVERED WITH A ONE-PIECE PLATE. ANY GROUPING OF SWITCHES SHALL BE COVERED WITH A ONE-PIECE COVERPLATE. SHALL BE COVERED WITH A ONE-PIECE OVERPLATE. SHALL BE COVERED	3. REVISIONS OR CORRECTIONS AS NOTED SHALL BE ACKNOWLEDGED WITH THE REQUIRED NUMBER OF COPIES OF CORRECTED SHOP DRAWINGS. TE. 4. WHERE THE SHOP DRAWINGS, PRODUCT LITERATURE AND/OR TE. 4. WHERE THE SHOP DRAWINGS, PRODUCT LITERATURE AND/OR	AREAS EXEMPT FROM GFA PER 113.0234:	DANA DANA
INTRAL CONTRACTOR TO VERIFY SIZES OF BUILDING ACCESS ANY DISCREPANCIES RETWEEN CODES AND SPECIFICATIONS. ININGS BEFORE PROCEEDING WITH WORK. ANY DISCREPANCIES BETWEEN CODES AND SPECIFICATIONS. ON COMPLETION OF THE JOB, GENERAL CONTRACTOR SHALL 2. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL DOORS, FRAMES, AND RELATED HARDWARE UNLESS NOTED OTHERWISE. 24. ALL FLOOR MOUNTED OUTLETS ARE TO BE MOUNTED FLUSH WITH FINISHED FLOOR MATERIAL UNLESS NOTED OTHERWISE. AN ENTIRE AREA, INCLUDING GLASS, CARPET AND ALL 3. ALL DOORS, FRAMES AND RELATED HARDWARE ARE TO BE AS 24. ALL FLOOR MOUNTED OUTLETS ARE TO BE MOUNTED FLUSH WITH FINISHED FLOOR MATERIAL UNLESS NOTED OTHERWISE.	SAMPLES ARE REQUIRED, THREE COMPLETE SETS OF INFORMATION SHALL BE SUBMITTED (PROVIDE ADDITIONAL SETS IF REQUIRED). WITH THE ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORMWATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.	79 S.F. BASEMENT PER SECTION 113.0234 116 S.F. COVERED ENTRY /PATIO	Sunset Cliffs
ER FINISHED SURFACES IN A MANNER ACCEPTABLE TO OWNER AND/ OR TENANT. S. Fall DOING NO REQUIVALENT TO BE APPROVED BY ARCHITECT U.N.O. 25. GENERAL CONTRACTER TO MAKE NECESSARY ADJUSTMENTS TO EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. PROVIDE PROPER ZONING AND INSTALL OWNER AND/ OR TENANT. 4. ALL LOCKSETS ARE TO BE KEYED ALIKE U.N.O. 25. GENERAL CONTRACTER TO MAKE NECESSARY ADJUSTMENTS TO EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. PROVIDE PROPER ZONING AND INSTALL OTHERWISE. ALL HARDWARE SIMILARLY MOUNTED TO BE APPROPRIATE ZONE CONTROLS.	5. A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND GENERAL CONTRACTORS WORK SHALL BE SUBMITTED TO ARCHITECT/OWNER ALONG WITH MATERIALS LIST. THE CONSTRUCTION SCHEDULE MUST APPROVED BY THE OWNER. SUBJECT: SUBJECT: SUBJEC	156 S.F 1ST FLOOR COVERED DECKS/ ROOF DECKS	
PACKAGING CARTONS OF CONTAINERS, TRASH AND DEBRIS IN FE, ACCEPTABLE MANNER, AND AT NO COST OR INSTALLED AFTER THE INSTALLATION OF THE FINISHED FLOOR MATERIAL. 6. GENERAL CONTRACTOR SHALL SUBMIT DOOR SHOP DRAWINGS, A DETAILED HARDWARE & KEYING SCHEDULE & FINISH HARDWARE 27. ALL WORK DONE IS TO COMPLY WITH ALL LOCAL APPLICABLE	6. THE PRESENCE OF ARCHITECT OR ARCHITECT'S REPRESENTATIVES ON THE JOB SITE DOES NOT IMPLY CONCURRENCE OR APPROVAL OF WORK. THE GENERAL CONTRACTOR SHALL TDANIELT STODS.	525 S.F TOTAL PARKING : EXISTING/PROPOSED PARKING:	PT LOMA CP SUNSET VIEW BEIMENTARY
THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY MPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO OTECT AREAS TO REMAIN WHILE DEMOLITION AND INSTRUCTION ARE IN PROGRESS. OTECT AREAS TO REMAIN WHILE DEMOLITION AND IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING IF ANY, SHALL BE ORDERED SO AS TO CLEAR FLOORING	MANAGER IF SHE/HE WISHES TO OBTAIN APPROVAL. 7. THE GENERAL CONTRACTOR IS TO SUBMIT TO ARCHITECT/OWNER 2 SAMPLES EACH OF THE SPECIFIED FINISH MATERIALS NOT THERE ARE NO EXISTING OR PROPOSED TRANSIT STOPS ADJACENT TO THIS PROJECT	EXISTING ATTACHED 2 CAR GARAGE USES CATEGORY: EXISTING/PROPOSED: U-PARKING GARAGE	Azure-Vista
MATERIAL BY 1/4". HE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO OTECT AND NOT TO DAMAGE ANY PORTION OR EXISTING STALLATION NOT BEING REMOVED. MATERIAL BY 1/4". 8. ALL DOORS, HINGE SIDE, SHALL BE LOCATED 3-1/2" FROM DAYLIGHT OF DOOR TO ADJACENT WALL U.N.O. 9. ALL EXIT DOORS TO BE OPENABLE FROM INSIDE WITHOUT USE 9. ALL EXIT DOORS TO BE OPENABLE FROM INSIDE WITHOUT USE 2. FLOOR AND WALLCOVERING IN CLOSETS SHALL BE THE SAME AS	LESS THAN 6" X 6" IN SIZE, IN THE FINISH REQUIRED. 8. A COVER LETTER SHALL ACCOMPANY THE SAMPLE AND SHALL LIST ALL SAMPLES BEING TRANSMITTED, DESIGNATING THEIR PARTICULAR USAGE AND SHALL BE IDENTIFIED AS TO FIRE HYDRANT LOCATED WITHIN 600' OF THIS PROJECT. REFER TO SITE PLAN A4 FOR LOCATION	OCCUPANCY GROUPS, EXISTING: SINGLE FAMILY RESIDENTIAL	SITE LOCATION 730 AMIFORD DR.
NY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED 0F A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. 10. PROTECT ALL INTERIOR OPENINGS IN CORRIDOR WALLS AND UNLESS OTHERWISE NOTED. LL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR OF A MEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. 10. PROTECT ALL INTERIOR OPENINGS IN CORRIDOR WALLS AND UNLESS NOTED OTHERWISE. CEILINGS IN ACCORDANCE WITH APPLICABLE CODES. ALL DOORS AND FRAMES WITHIN ONE HOUR CORRIDORS MUST BE 20 3. PAINT SHALL BE APPLIED AS RECOMMENDED BY MANUFACTURER	PARTICULAR USAGE AND SHALL BE IDENTIFIED AS TO MANUFACTURER, TRADE NAME, STYLE, MODEL NUMBER, ETC. ONE REVIEWED SAMPLE SHALL BE RETURNED TO THE GENERAL CONTRACTOR. 9. ALL SUBSTITUTIONS SHALL BE SO NOTED.	CLASSIFICATIONS: PROPOSED: SINGLE FAMILY RESIDENTIAL	POINT LOMA NAZAZENE UNIVERSITY SHORELINE PARK (CENTRAL)
S IN FLOOR, THE GENERAL CONTRACTOR SHALL PATCH TO L FLOOR WITH EXISTING SLAB AND/OR REQUIRED SURFACE CECIVE NEW FINISHED FLOOR. STATUS STATES AND STATES		TYPE OF CONSTRUCTION: VB	Point Loma McCall ST MP SHEATER FLAND SHOREUND
		NUMBER OF STORIES: EXISTING: 1 STORY PROPOSED: 2 STORY	0.2 mi VICINITY MAP N.T.S
	This drawing and design are and shall at all	FIRE SPRINKLERS I ALARMS: EXISTING SPRINKLERS: NO NOT REQUIRED PER TECH. BULLENTIN RESD-3-1	PRJ-1109992
	TURE + INTERIORS ionauta St., Carlsbad, CA 92009 This drawing and design are and shall at all times remain the exclusive property of Ideal Design Systems Inc. and cannot be used or reproduced without written consent. TURE + INTERIORS		
	Initial design (CA 92009 ph: 760-560-6773 lesign (CA 92009 ph: 760-570 ph: 760-57	01/18/2024 01/18/2024 01/18/2024 NOTES, LEGENDS, PROJECT DATA, VICINITY MAP NOTES, LEGENDS, PROJECT DATA, VICINITY MAP	
	IGN SYSTEMS, INC. Verify and shall be responsible for all dimensions and conditions on the job and the Architect shall be informed of any	ADDITION AND REMOD	
www.sandiegoar	rchitects.com variations from the dimensions and conditions as shown on this drawing SAN DIEGO, CA 92107	Scale as noted 730 AMIFORD DR.	



SINGLE DWELLING UNITS/ DUPLEXES / ACCESSORY DWELLING UNITS 2022 CALIFORNIA RESIDENTIAL CODE

Residential - Structural

General/ Special Subjects

Prop D/ Coastal Height Limitation Overlay Zone (if applicable to project)

 The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above base of measurement (reference datum). [SDMC Section 132.0505]

 A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D).

FAA Part 77 Notification (if applicable to project)

• FAA Self Certification option:

The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents, provides the following certification on their plans, along with their signature and registration stamp:

do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.'

A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction inspection.

Deferred Submittal (general)

- Plans for the deferred submittal items shall be submitted in a timely manner but not less than 30 business days prior to installation for City review and approval.
- The deferred submittal items shall not be installed until their design and submittal documents have been approved by the Building Official. [SDMC §129.0205]
- The registered and responsible design professional shall review the deferred submittal documents and submit them to the Building Official, with annotation indicating that the deferred submittal documents have been reviewed and found to be in general conformance to the design of the building. [SDMC §129.0205].

Deferred Submittal (NFPA 13D Fire Sprinkler)

- The submittal of residential fire sprinkler plans required by California Residential Code Section R313 has been deferred
- To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans.

Special Inspections (if applicable to project)

- NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.
- NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.
- The special inspector must be registered by the City of San Diego, Development Services, in the category of work required to have special inspection.
- The special inspections identified on plans are, in addition to, and not a substitute for, those inspections required to be performed by a City's building inspector.
- The construction materials testing laboratory must be approved by the City of San Diego, Development Services, for testing of materials, systems, components and, equipment
- Offsite fabricator must be approved by the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of the fabricator's shop.

•		CONSTRUCTION CHANGE TABLE			RCHITECTURE + INTERIC
CHANGE	DATE	SCOPE OF CONSTRUTION CHANGE	EFFECTED SHEET NO.	l /	2600 Argonauta St., Carlsbad, CA S
				ᆘᅙᇊᄭ	ph: 760-560 email: design@sandiegoarchitect
				III)⊢ /─ ─	DESIGN SYSTEMS,
				יישיו	L DESIGN SYSTEMS,
				www.san	diegoarchitects.cor
				www.sund	

Soils and Foundation

- Signature
- Signature

Fire Notes

California Residential Code

- airflow of those registers.
- 2034.
- installed
- ASTM F2090. [CRC R310.1.1].
- with CRC R310.2.1

• Offsite fabricator shall submit an 'Application to perform Off-Site Fabrication' to the Inspection Services Division for approval prior to commencement of fabrication

• Offsite fabricator shall submit a 'Certificate of Compliance for Off-Site Fabrication' to the Inspection Services Division prior to erection of fabricated items and assemblies

 When no geotechnical investigation report is provided: The structure(s) will be located entirely on undisturbed native soil Owner/Licensed Engineer or Architect

When no geotechnical investigation report is provided:

As a California licensed Architect/Engineer, I have classified the undisturbed native soils to be and per Table 1806.2 of the CBC I have assigned a foundation pressure of psf. for the design of foundations related to this project

of Licensed Architect/Engineer

• If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required.

 During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC 3315.1.

• Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.

• Ducts in the garage and ducts penetrating walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gauge sheet steel or other approved material and shall have no openings into the garage. [CRC R302.5.2].

 Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. [CRC R307.2].

• Smoke alarms and smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance.

 Smoke alarms shall be installed not less than a 3-foot horizontal distance from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by other sections of the CRC.

• Smoke alarms and smoke detectors shall not be installed within a 36-inch horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct

• Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke

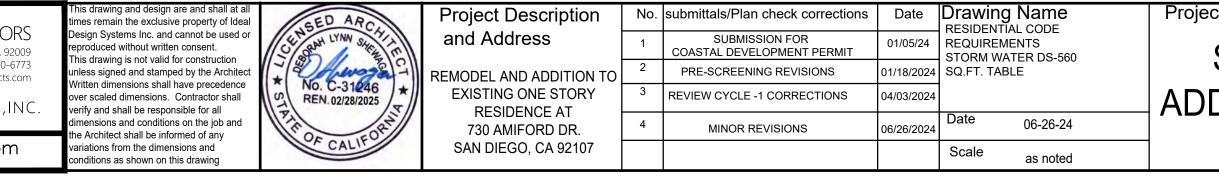
alarms shall receive their primary power source from the building wiring and shall be equipped with battery backup and low battery signal.

• Smoke alarms shall comply with NFPA 72 and shall be listed in accordance with UL 217. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL

• Smoke alarm systems and components shall be California State Fire Marshal listed and approved in accordance with California Code of Regulations, Title 19, Division 1 for the purpose for which they are

• Window opening control devices serving emergency escape and rescue openings shall comply with

• Add note on plans: "Window fall control device shall comply with ASTM F2090. At the emergency escape windows, the device after operation should release the control device allowing the windows to fully open providing the clear net opening area required for emergency escape window in accordance





Applicability (

Project Address: 730 Amiford Drive, San Diego CA 9210 SECTION 1: Construction Stormwater Best Manager

All construction sites are required to implement construction

Manual. Some sites are also required to obtain coverage und California State Water Resources Control Boa For all projects, complete Part A - If the project is require Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Require 1. Is the project subject to California's statewide General Stormwater Discharges Associated with Construction (Typically projects with land disturbance greater than

- O Yes, SWPPP is required; skip questions 2-4. 2. Does the project propose construction or demolition
- excavation, or any other activity resulting in ground d • Yes, WPCP is required; skip questions 3-4.
- 3. Does the project propose routine maintenance to main the facility? (Projects such as pipeline/utility replaceme O Yes, WPCP is required; skip question 4.
- 4 Does the project only include the following Permit typ Electrical Permit, Fire Alarm Permit, Fire Sprin Spa Permit.
- Individual Right of Way Permits that exclusive or utility service Right of Way Permits with a project footprint le activities: curb ramp, sidewalk and driveway a wall encroachments.
- Yes, no document is required Check one of the boxes below and continue to F
- O If you checked "Yes" for question 1, an ! If you checked "No" for question 1 and c oposes less than 5 000 square feet of g

entire project area, a Minor WPCP may be If you check "No" for all questions 1-3 a

ocument is required. Continue to Section More information on the City's construction BMP requirements as we

> Visit our w Upon request, this information is availab

City of San Diego + Form DS-560 + September 2021

PART D - PDP Exempt Requirements

- PDP Exempt projects are required to implement site design a If "yes" is checked for any questions in Part D, con If "no" is checked for all questions in Part D, conti
- 1. Does the project ONLY include new or retrofit sidewalk Are designed and constructed to direct stormwater · Are designed and constructed to be hydraulically dis Are designed and constructed with permeable pave
- O Yes, PDP exempt requirements apply 💿 No, 2. Does the project ONLY include retrofitting or redevelop
- accordance with the Green Streets guidance in the city O Yes, PDP exempt requirements apply O No.

PART E - Determine If Project is a Priority Development Proje Projects that match one of the definitions below are subject to Janagement Plan (SWQMP).

 If "yes" is checked for any number in Part E, conti If "no" is checked for every number in Part E, con

- New development that creates 10,000 square feet the project site. This includes commercial, industrial, re projects on public or private land.
- 2. Redevelopment project that creates and/or replace surfaces on an existing site of 10,000 square feet or commercial, industrial, residential, mixed-use, and put
- New development or redevelopment of a restauran onsumption, including stationary lunch counters frinks for immediate consumption (Standard Industri levelopment creates and/or replaces 5,000 square fe
- 4. New development or redevelopment on a hillside. T or more of impervious surface (collectively over the pri any natural slope that is twenty-five percent or greater
- 5. New development or redevelopment of a parking lo or more of impervious surface (collectively over the 5. New development or redevelopment of streets roa project creates and/or replaces 5,000 square feet or mo

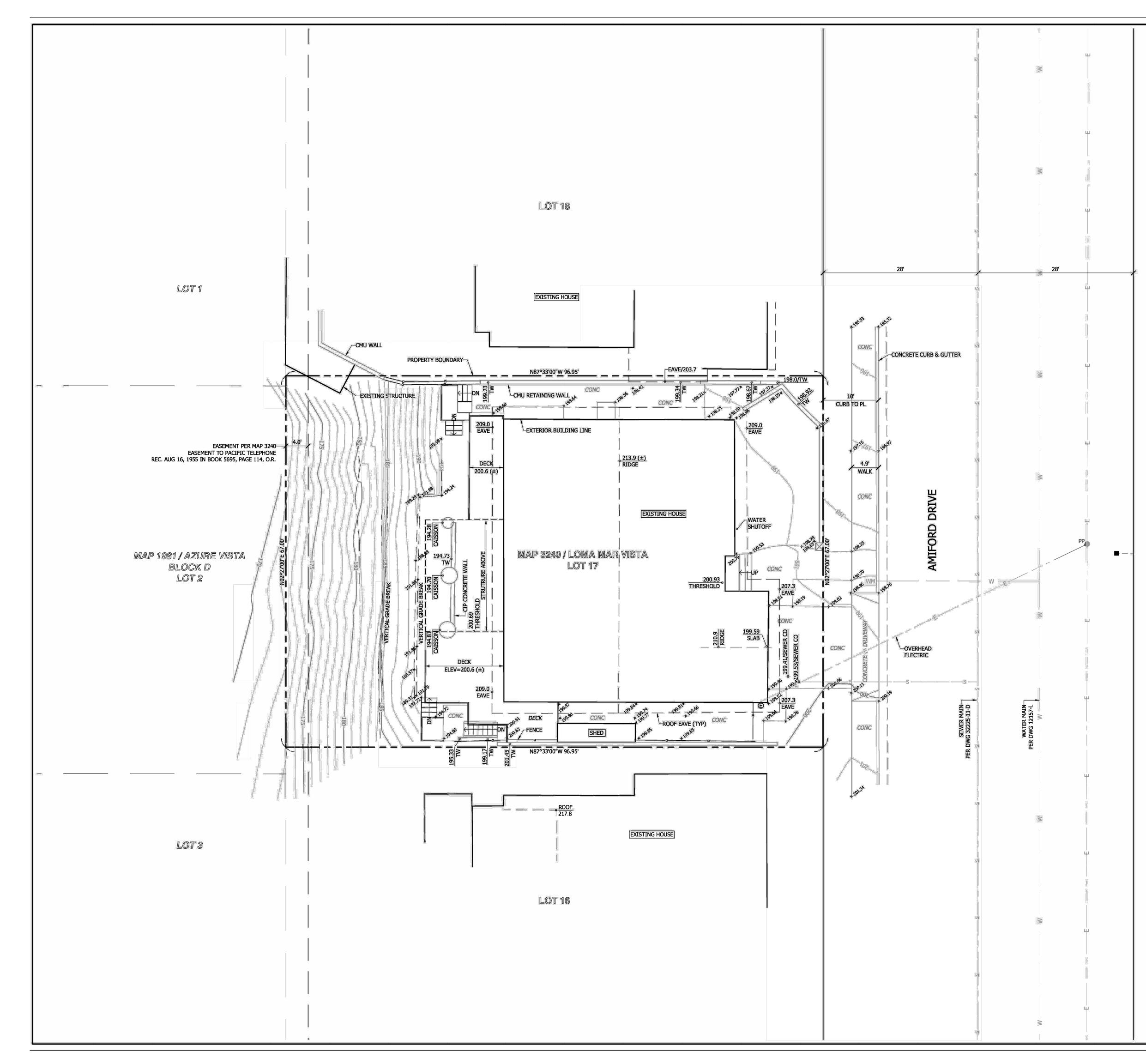
project site)

Upon request, this information is availab

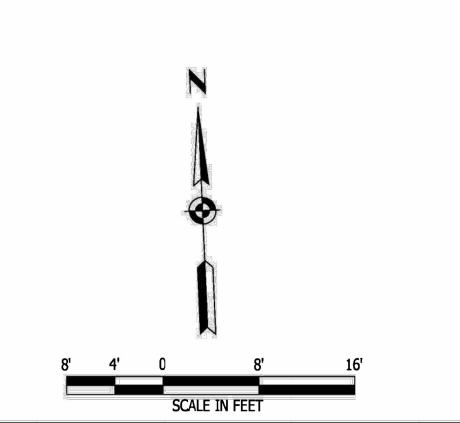
STORM WATER APPLICABILITY CHECKLIST (DS-560)

	City of San Diego + Form DS-560 + September 2021	Page 2
iter Requirements ility Checklist	PART B – Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The cit right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspect based on if the project has a "high threac to water quality." The City has aligned the local definition of "high threat to wa the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based o specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special inficance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that app	ion frequency. ter qualitytoo n project Biological Sig
D CA 92107 Project Number: PRJ-1109992	rather, it determines the frequency of inspections that will be conducted by city staff. Complete Part B and continue to Section 2	<u>ny wangera</u> ;
Management Practices (BMP) Requirements instruction BMPs per the performance standards in the <u>Stormwater Standards</u> erage under the State Construction General Permit (CGP) ¹ administered by the	Is ASBS A. Projects located in the ASBS watershed.	
is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or	2. High Priority A. Projects that quality as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not lo	cated in the-
o Part B. er Requirements	ASBS watershed B. Projects that qualify as LUP Type 2 of LUP Type 3 per the CGP and are not located in the ASBS watershed.	
de General National Pollutant Discharge Elimination System (NPDES) permit for Instruction Activities, also known as the State Construction General Permit (CGP)? eater than or equal to 1 acre.) 4. Ono proceed to the next question.	 3: Medium Priority A. Projects that are not located in an ASBS watershed or designated as a High priority site. B. Projects that qualify as Risk Lovel 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed. C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Penasquitos watershed matershed. 	anagements
emolition activity, including but not limited to, clearing, grading, grubbing, grubbing, grubbing, grubbing, ground disturbance and/or contact with stormwater?	IZ 4. Low Priority A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed	
4. O No: proceed to the next question: ince to maintain the original line and grade, hydraulic capacity, or original purpose of	Section 2: Construction Stormwater BMP Requirements	
Q No: proceed to the next question.	Additional information for determining the requirements is found in the <u>Stormwater Standards Manual</u> . PART C - Determine If Not Subject to Permanent Stormwater Requirements	
Permit-types listed below? Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit,	Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopm according to the <mark>Stophyseter-Standards Manual</mark> are not subject to Permanent Stormwater BMPs:	
r exclusively include only ONE of the following activities, water service, sewer lateral,	 If "yes" is checked for any number in Part C. Proceed to Part F and check "Not Subject to Permanent Stormw Requirements." If "no" is checked for all the numbers in Part C: Continue to Part D. 	vater BMP
Tootprint less than 150 linear feet that exclusively include only ONE of the following driveway apron replacement, potholing, curb and gutter replacement, and retaining	T. Does the project only include interior remodels and/or is the project entitely within an existing enclosed structure have the potential to contact stormwater?	and does not
tinue to Part B	O Yes. O No 2. Does the project only include the construction of overhead or underground utilities without creating new impervi	ous surfaces?
tion 1, an SWPPP is REQUIRED continue to Part B ion 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project	Ores: ••••••••••••••••••••••••••••••••••••	
e feet of ground disturbance AND has less than a 5-foot elevation change over the CP may be required instead. Continue to Part B Jons 1-3 and checked "Yes" for question 4, Part B does not apply, and no	replacement, resurfacing or reconfiguring surface parking fots or existing roadways without expanding the imper and routine replacement of damaged pavement (grinding, overlay and pothole repair). O yes:	vious tootprint,
e to Section 2. ments as well as CGP requirements can be found at	1022	
isit our web site: sandiego.ppy/dsd.s	Visit our web site: sancience.cov/ded.s	LEAR FORM
n is available in alternative formats for persons with disabilities. DS-560 (09-21)	Upon request, this information is available in alternative formats for persons with disabilities. D5:560 (09:21)	P2
Lage 3		Page 4
e design and source control BMPs. Part D, continue to Part F and check the box labeled "PDP Exempt." rt D, continue to Part E	project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site); and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows	Mes OND
t sidewalks, bicycle lanes, or trails that ormwater runoff to adjacent vegetated areas, or other non-erodible permeable	from adjacent lands): 8 New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria:	Yes ONG
aulically disconnected from paved streets and roads? Of, sable pavements or surfaces in accordance with the Green Streets guidance in the	(a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	
No, proceed to next question	New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 2532, 2594 or 2538-2539.	Yes ONo
redeveloping existing paved alleys, streets or roads designed and constructed in in the City's Stormwater Standards Manual?		Yës 🔘 No
No, proceed to next question. nent Project (PDP)	pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious	
e subject to additional requirements, including preparation of a Stormwater Quality	area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.	
rt E, continue to Part F and check the box labeled "Priority Development Project." art E, continue to Part F and check the box labeled "Standard Development Project."	PART F \neq Select the appropriate category based on the outcomes of Part C through Part E	
are feet or more of impervious surfaces collectively over Oves Oves	2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements	Yes ONo
or replaces 5,000 square feet or more of impervious	apply. See the Stormwafer Standards Manual for guidance.	Ves OND
re feet or more of impervious surfaces. This includes and public development projects on public or private land restaurant. Facilities that sell prepared foods and beverages OYes ONO	Stormwater Standards Manual for guidance	Yes ONo
counters and refreshment stands selling prepared foods and I industrial Classification (SICI 5812), and where the land quare feet or more of impervious surface.	control BMP requirements apply. Refer to the <u>Stormwater Shindards Manual</u> for guidance on determining if a the project requires hydromodification plan management.	
hillside. The project creates and/or replaces 5,000 square feet Orves OND er the project site) and where the development will grade on or greater	Matt DeVincenzo Agent for Owner Name of Owner or Agent Title	
parking lot that creates and/or replaces 5,000 square feet O Yes ONO y over the project site).	Matthew DeVincenzo 01/04/2023	
reets, roads, highways, freeways, and driveways. The OYes ONO feet or more of impervious surface (collectively over the	Signature: Date:	
Sit our web site: sincingo.poy/digis	Visit our web Site; sanciago.cov/di da	AR FORM
n is available in alternative formats for persons with disabilities: P3 D5-560 (09-21)	Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)	P4
50	QUARE FOOTAGE TABLE	
	VANL TOUTAGE TABLE	
VALUA TIC	DN/CHARGEABLE SQUARE FOOTAGE FOR FEES ASSESSMENT	
DESCRIPTION (Building No	WALK-OUT GARAGE DECK FOR SCHOOL FEES SQUARE	
REMODELED/	Image: Product of the section of t	
ADDITIONS	511 422 446 723 933 S.F. 2102 S.F.	
Project Name		
SMITH RESIDENCE		
ADDITION AND REMODE		42

730 AMIFORD DR



PROPERTY LEGAL DESCRIPTION LOT 17 OF LOMA MAR VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3240, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 1, 1955. ASSESSORS PARCEL NUMBER 532-032-02 BASIS OF ELEVATIONS CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB LOCATION: SOUTHWEST CORNER OF CORNISH DRIVE AND CASITAS STREET DATUM: NGVD 29 ELEVATION: 137.02 FEET <u>NOTE</u> METROPOLITAN MAPPING THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR 3712 30TH STREET LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A SAN DIEGO, CA 92104 DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN (619) 431-5250 DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING. metromap.sd@gmail.com THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST. THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION. **REVISIONS:** LEGEND PROPERTY LINE CENTER LINE LOT LINE **RIGHT OF WAY** N55°42'50"E 80.96' BOUNDARY LINE DATA (BEARING/DISTANCE) FOUND BOUNDARY MONUMENT EDGE OF CONCRETE CURB & GUTTER _ _ _ _ _ _ _ SUR CMU WALL Ю́Щ CONC CONCRETE SURFACE > -5 SEWER LINE 730 AMIFORD DRI SAN DIEGO, CA 92 WATER LINE W -----APHIC FENCE × 371.04 SPOT ELEVATION GROUND CONTOUR (5' INTERVAL) GROUND CONTOUR (1' INTERVAL) (NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE) OGR. ABBREVIATIONS Ω GRND GROUND <u>0</u> ANGLE POINT AP ASPH . ASPHALT MANHOLE MH .. . UTILITY POLE BLDG . BUILDING PP CIP . CAST IN PLACE . RADIAL BEARING (R) CONCRETE MASONRY UNIT . RIGHT OF WAY CMU . ROW . . SANITARY SEWER CONC CONCRETE SS .. DRAIN INLET TOP OF CURB DI . TC. ELEVATION . TOP OF GRATE (DRAIN) TG. . TOP OF WALL FINISHED FLOOR TW . FLOWLINE TYP. TYPICAL FNC FENCE UNDERGROUND U/G... GB GRADE BREAK WM.... . WATER METER REVISED: 06/28/2023 ADD ROOF, FF & GRADES



DRAWN BY: VF JOB No: SHEET TITLE:

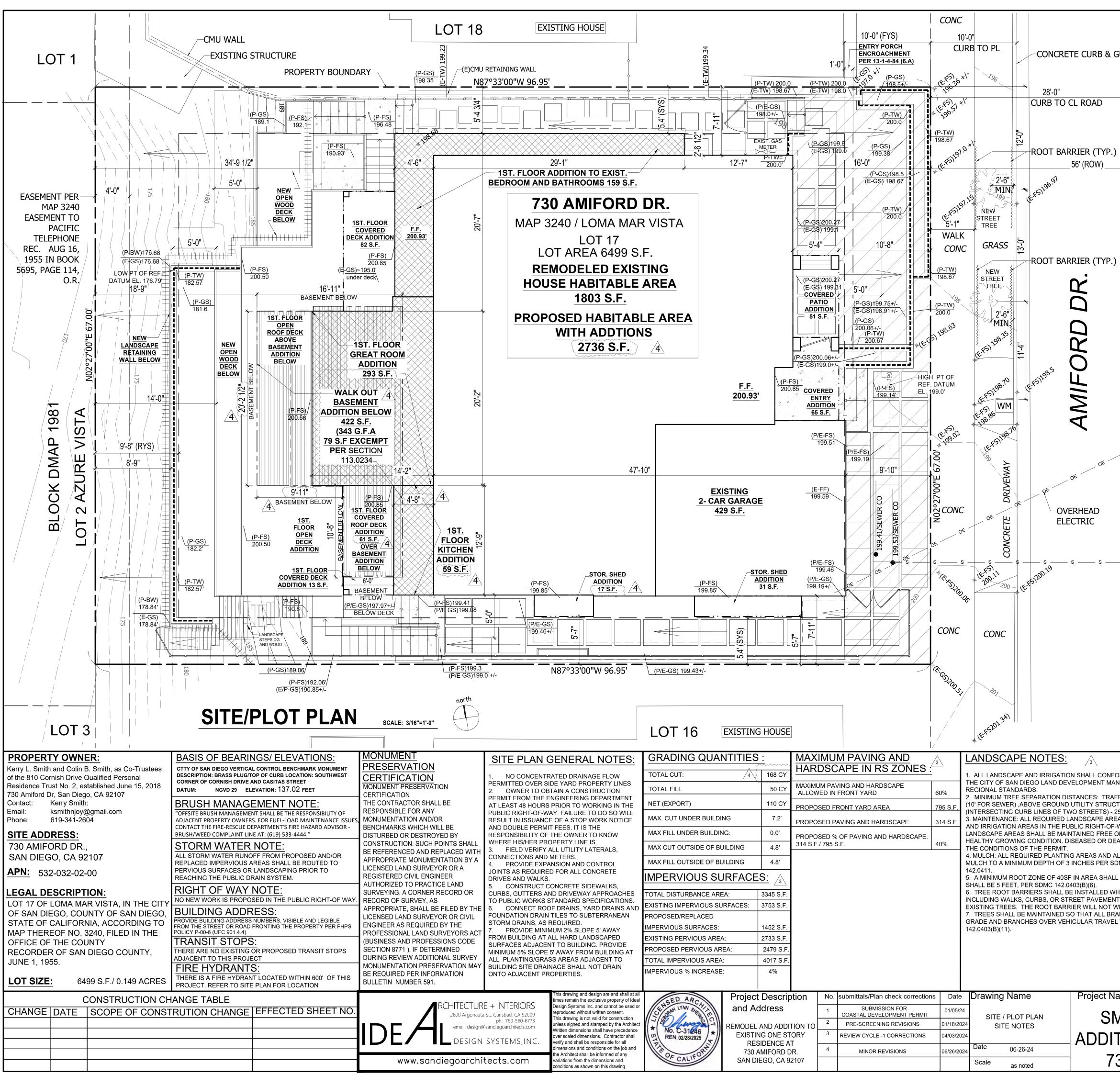
SURVEY DATE MAY 11, 2023

JUNE 2, 2023

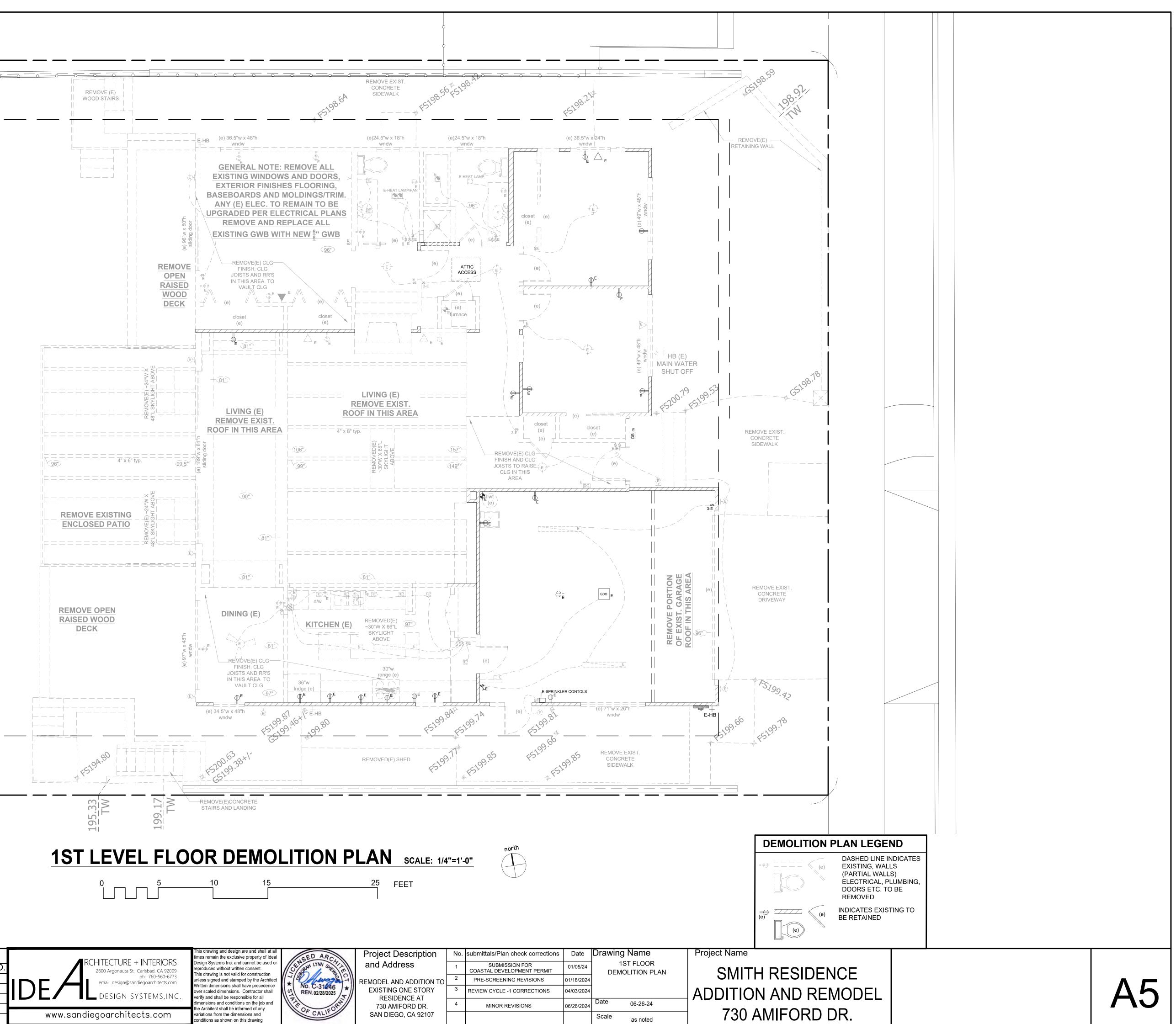
MAP/DRAWING DATE

SCALE: 1/8"=1'-0"



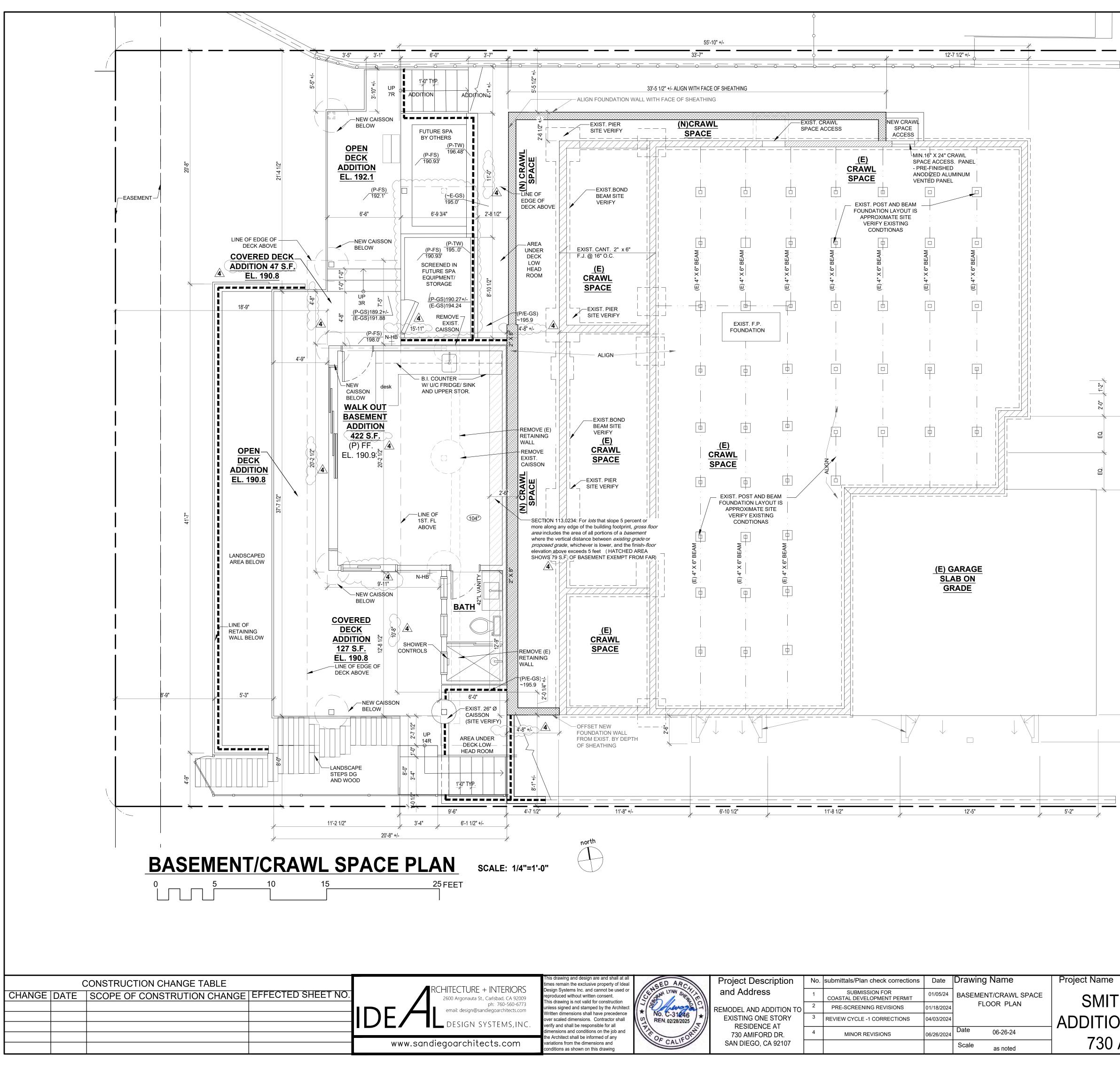


4				N LEGEND).
ω					-
					ERTY LINE
& GUTTER		_		SETBACK LINE	
ω				5' REFERENCE DA	TUM LINE FOR BUILDING
		_		ROOF OVERHANG	
		-		EXIST./PROPOSED	D BUILDING OUTLINE
				AREA OF 1ST. LEV ADDITIONS	/EL HABITABLE
ω σ				AREA OF BASEME	NT HABITABLE
				ADDITION	
P.) σ			نــــــــــــــــــــــــــــــــــــ		ABITABLE ADDITIONS ON RED DECKS/ COVERED
			نــــــــــــــــــــــــــــــــــــ	ROOF DECKS/ CO	VERED ENTRY/PATIOS,
ω 				AREA PER CMC-1	MPT FOR GROSS FLOOR 13.0234 (B)(1,2)
				HATCH INDICATES	S "STREET YARD AREA"
ω 				EXISTING FENCE	_3 _
			o <u> </u>	PROPOSED FENC ELEVATIONS AND	E -REFER TO PLANS,
				HEIGHTS AND TYP	
P.)				EXISTING RETAINI	
				PROP. RETAINING	WALL
ω		-	ww	EX. WATER MAIN	
		-		EX. SEWER MAIN EX OVERHEAD PC	WERLINES
ω 		-		EX CONTOUR	
	PP		— 170 ——	PROP. CONTOUR	
ω	OE				RETE FLATWORK/
	OE			EXTERIOR STAIRS	2
on of the second s	OE - OE				CONCRETE WALKWAY G WITH PEBBLES OR
OE				ARTIFICIAL GRAS	S BETWEEN PAVERS.
o OE	- OE			PROPOSED 2' X 2' WALKWAY PAVER	CONCRETE IS SET IN DG WITH
OE				PEBBLES OR ART	
OE	U U U			PROPOSED 3' X 3'	3
OE		:		DRIVEWAY PAVER	RS SET ON
o U				CONCRETE SLAB GRASS BETWEEN	ROWS OF PAVERS.
	o 		\$ }	PROPOSED STREE ONE TREE PER 30	ET TREES PER 142.0409.
α N			L. S.	FRONTAGE. CUR	RENT STREET
	0 			FRONTAGE IS 47.5 QUANTITY OF 2-0	→ L.F. NE STANDARD TRUNK,
S ≤					OPY FORM TREES REQ'D RRIER ADJACENT TO
	OE -		*	SITE WALK AND P	UBLIC STREET AS
∞ 				BRAZILIAN BUTTE	: WHITE ORCHID TREE, RFLY TREE
S S	- OE		+++++++++++++++++++++++++++++++++++++++	PROPOSED DAYL	-
				EXISTING POWER	
			FH	DRAINAGE FLOW	DRANT LOCATION
MAIN -11-D 	FI	H	(E-GS)177.6	EXISTING GRADE	
SEWER MAIN PER DWG 3225-11-D sss	 		(E-BW)176.0	EXISTING BOTTOM	/ OF WALL
R DW SE			(E-TW)176.0 (E-FS)176.0	EXISTING TOP OF EXISTING FINISHE	
PER DW	Ц Ш		(P-GS)179.6	PROPOSED FINISH	
	o 		(P-FS)180.07 (P-TW)179.0	PROPOSED FINISH	
ω			(P-BW)179.0	PROPOSED TOP C	
	Е		(P/E-GS)179.0	THIS MEANS THAT	THE EXISTING
			(P/E-FS)179.0		N IS NOT CHANGING THE EXISTING FINISHED
\ 	- OE			SURFACE ELEVAT	ION IS NOT CHANGING
י ש ב			(P/E-TW)179.0		THE EXISTING TOP
II I			(P/E-BW)179.0	THIS MEANS THAT	THE EXISTING BOTTOM
NFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCA		$ \vdash$		OF WALL ELEVATI	ON IS NOT CHANGING
MANUAL LANDSCAPE STANDARDS OF THE CITY-WIDE LANDSCA MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDS		AND			
RAFFIC SIGNALS / STOP SIGNS - 20 FEET, UNDERGROUND UCTURES - 10 FEET, DRIVEWAY (ENTRIES) - 10 FEET, INTE		Т	FF.	FINISHED FLOOR	
) - 25 FEET. AREAS SHALL BE MAINTAINED BY KERRY AND COLIN SMIT			GS	FINISHED SURFACE GROUND SHOT	-
OF-WAY SHALL BE MAINTAINED BY <u>KERRY AND COLIN SMIT</u> E OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHA	ITH (OWNERS). THE	Δ	BW	TOP OF WALL BOTTOM OF WALL	
DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREA		-R		CLEAN OUT MAN HOLE	
D ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHAI			SD	STORM DRAIN WATER METER	
R SDMC 142.0413(C), EXCLUDING SLOPES REQUIRING REV			SS	SANITARY SEWER	
WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IN			EA	WATER VALVE EDGE OF ASPHALT	
WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC II ENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLAC T WRAP AROUND THE ROOT BALL.			FL	EDGE IF CONCRETI FLOW LINE	E
BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET A VEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAV				TOP OF CURB CONCRETE MASON	IRY UNIT
				CONCRETE BUILDING	
			APN	ASSESSOR PARCE	LNUMBER
			FYS I	FRONT YARD SET E	
			ESYS I		SIDE YARD SETBACK)
Name			RYS	REAR YARD SETBA	СК
SMITH RESIDENCE					
ITION AND REMODEL					A4
730 AMIFORD DR.					



CONSTRUCTION CHANGE TABLE CHANGE DATE SCOPE OF CONSTRUTION CHANGE EFFECTED SHEET NO Image: Imag	This drawing is nulless signed and Written dimension over scaled dimensions and the Architect s.com	and and a since and the used or nout written consent. not valid for construction and stamped by the Architect ions shall have precedence tensions. Contractor shall be responsible for all d conditions on the job and hall be informed of any	Dject Description ad AddressNo.submittals/Plan check corrad Address1SUBMISSION FOR COASTAL DEVELOPMENT PEODEL AND ADDITION TO XISTING ONE STORY RESIDENCE AT 730 AMIFORD DR.2PRE-SCREENING REVISION4MINOR REVISIONS4MINOR REVISIONS	PERMIT 01/05/24 1ST FLOOR DEMOLITION PLAN	Project Nam SM ADDIT
---	---	---	--	--	----------------------------

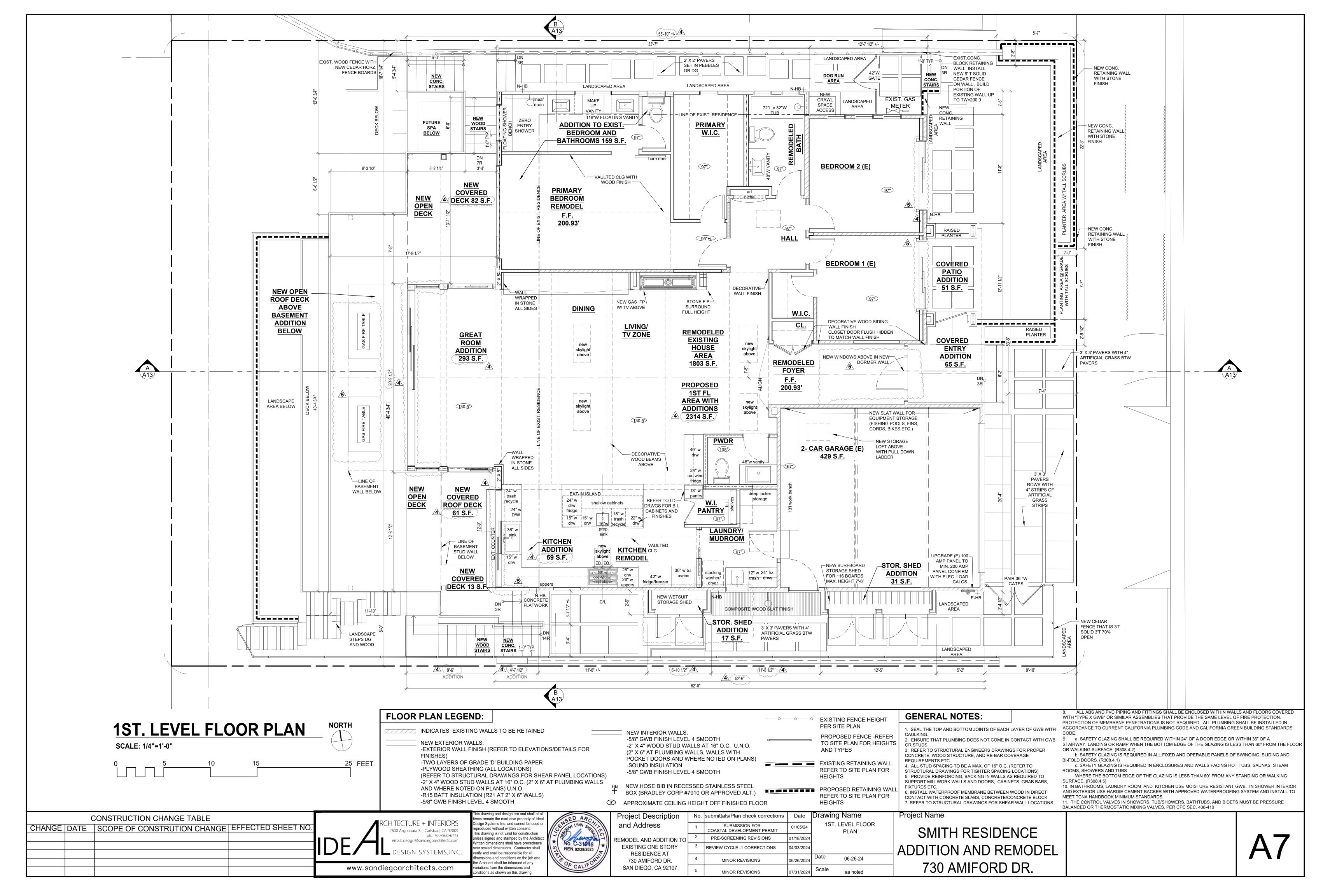


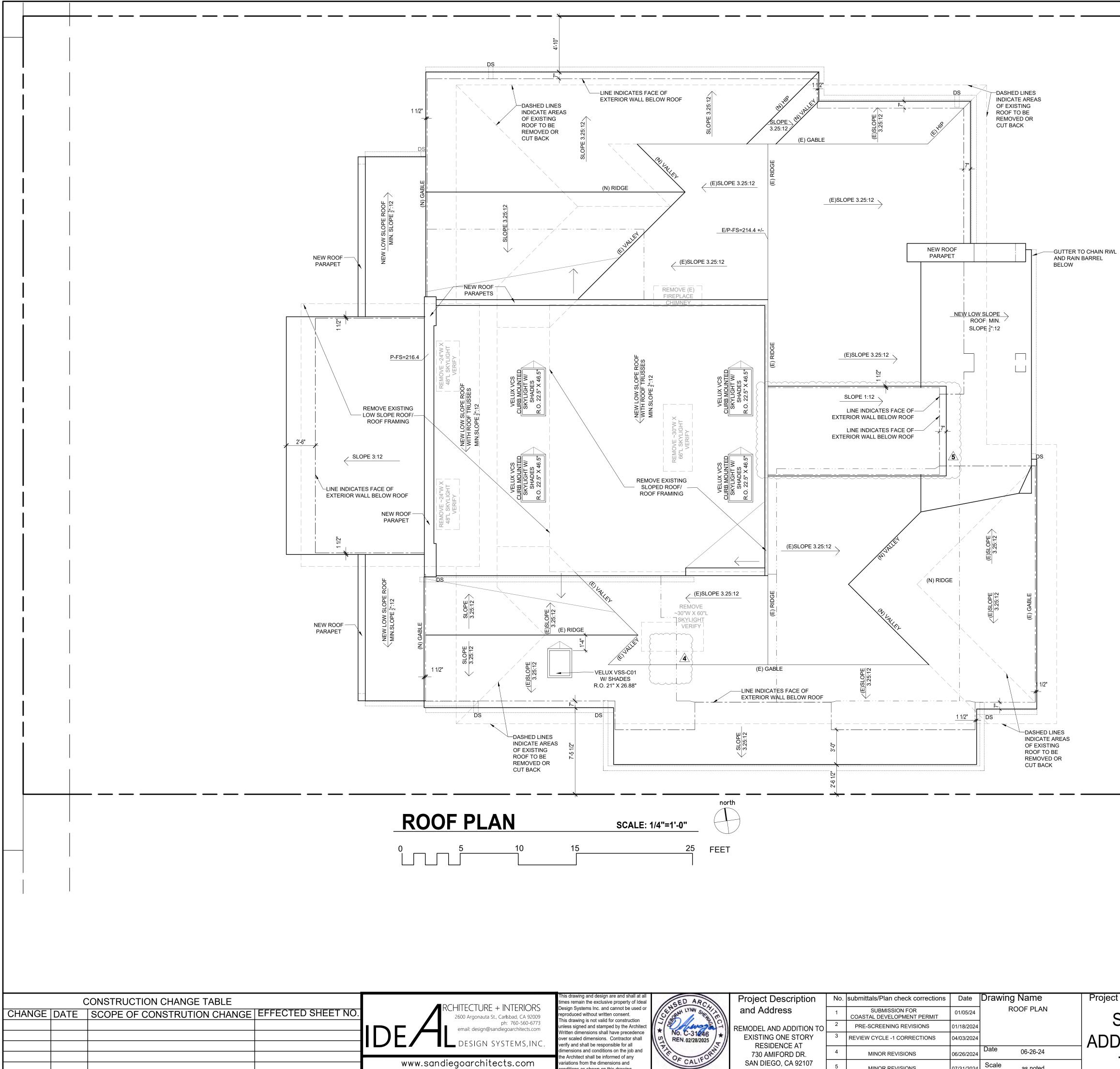


BASEMENT/CRAWL SPACE					
PLAN LEGEND					
	INDICATES EXISTING RETAINING WALLS TO BE REMAIN INDICATES EXISTING STEM WALLS TO BE REMAIN				
	INDICATES EXISTING TO BE REMOVED				
	INDICATES NEW RETAINING WALLS				
	INDICATES NEW STEM/FOUNDATION WALLS				
-EXTERIOR ELEVATION -TWO LAYE PAPER -PLYWOOD LOCATIONS (REFER TO FOR SHEAF -2" X 4" WO (2" X 6" AT I WHERE NC -R15 BATT WALLS) -5/8" GWB F -2" X 4" WO U.N.O. (2" X WALLS WIT WHERE NO -SOUND INS	STRUCTURAL DRAWINGS R PANEL LOCATIONS) OD STUD WALLS AT 16" O.C. PLUMBING WALLS AND OTED ON PLANS) U.N.O. INSULATION (R21 AT 2" X 6" FINISH LEVEL 4 SMOOTH RIOR WALLS: FINISH LEVEL 4 SMOOTH OD STUD WALLS AT 16" O.C. (6" AT PLUMBING WALLS, TH POCKET DOORS AND OTED ON PLANS)				
	I RECESSED STAINLESS DLEY CORP #7910 OR				
EXTERIOR CRAWL SPACE RETAINING WALL ASSEMBLY: -HENRY DRAIN BOARD AND BLUESKIN WP200 WATERPROOF SELF-ADHERED 60 MIL SBS RUBBERIZED MEMBRANE SYSTEM INSTALL PER MANUF. SPECS WITH AQUATAC PRIMER, BLUESKIN ADHESIVE, B.E.S. SEALANT AT JOINTS AND BASE OF WALL AT FOOTING AND HYDRO FLEX WATERSTOPS. - CONCRETE BLOCK STEM WALL (REFER TO STRUCTURAL DRAWINGS) EXTEND STEM WALL (REFER TO STRUCTURAL DRAWINGS) EXTEND STEM WALL PAST FACE OF STUD THE DEPTH OF SHEATHING SO SHEATHING ALIGNS WITH FACE OF STEM WALL -AT LOCATIONS ABOVE STEM WALLS: -P.T. BOTTOM PLATE (PER STRUCTURAL DRWGS) -FLOOR FRAMING (PER STRUCTURAL DRWGS) -EXTERIOR SHEATHING (PER STRUCTURAL DRWGS) -TWO LAYERS OF GRADE 'D' BUILDING PAPER -EXTERIOR FINISH PER ELEVATIONS -REFER TO BUILDING DETAILS FOR WATERPROOFING AT GRADE -PROVIDE DRAINAGE SYSTEM FOR RETAINING WALLS PER GEOTECHNICAL INVESTIGATION					

SMITH RESIDENCE ADDITION AND REMODEL 730 AMIFORD DR.







	-							
	This drawing and design are and shall at all times remain the exclusive property of Ideal	GED ARC	Project Description	No.	submittals/Plan check corrections	Date	Drawing Name	Project Name
RS 009	Design Systems Inc. and cannot be used or reproduced without written consent. This drawing is not valid for construction	SHE SHE LYNW SHELLE	and Address	1	SUBMISSION FOR COASTAL DEVELOPMENT PERMIT	01/05/24	ROOF PLAN	SMITH
773 .om	unless signed and stamped by the Architect	- Churga -	REMODEL AND ADDITION TO	2	PRE-SCREENING REVISIONS	01/18/2024		
NC.	Written dimensions shall have precedence over scaled dimensions. Contractor shall	0 REN. 02/28/2025	EXISTING ONE STORY	3	REVIEW CYCLE -1 CORRECTIONS	04/03/2024		
NC.	verify and shall be responsible for all dimensions and conditions on the job and the Architect shall be informed of any	Zin CH	RESIDENCE AT 730 AMIFORD DR.	4	MINOR REVISIONS	06/26/2024	Date 06-26-24	
١	variations from the dimensions and conditions as shown on this drawing	OF CALIFO	SAN DIEGO, CA 92107	5	MINOR REVISIONS	07/31/2024	Scale as noted	730 A

SMITH RESIDENCE DITION AND REMODEL 730 AMIFORD DR.



