



THE CITY OF SAN DIEGO

MEMORANDUM

DATE: September 16, 2024
TO: Hearing Officer
FROM: Andrew Murillo, Development Project Manager, Development Services Department
SUBJECT: Project No. PRJ-1109992 – Smith Residence

This memorandum is submitted for the Hearing Officer meeting on September 18, 2024, regarding Project No. PRJ-1109992 – Smith Residence. Below are the corrections made by city staff.

- 1) **Attachment 9:** Site Development Plans is only 1 sheet, and the remaining 10 sheets are missing. The full set is attached to this memo.
- 2) **Attachment 4:** Final Draft Permit – The following was added to the first section:
“Remodel 1,803 square feet of the existing dwelling unit, add 511 total square feet to the existing first floor, and add 422 square feet to the basement.”
- 3) **Attachment 9:** The latest revision of the Site Development Plans lists the following square footage:
 - a. Total remodel - 1,803 square feet
 - b. Total First Floor Addition – 511 square feet
 - c. Basement Addition – 422 square feet

*The Permit, Permit Resolution, and Staff Report have been revised to show the most recent numbers.

Should you have any questions, please contact me at (619) 557-7986 or JMurillo@sandiego.gov

Sincerely,

Andrew Murillo
Development Project Manager

CC:
Project File
Noah Brazier, Deputy City Attorney, Office of the City Attorney

SINGLE DWELLING UNITS/ DUPLEXES / ACCESSORY DWELLING UNITS 2022 CALIFORNIA RESIDENTIAL CODE

Residential - Structural

General/ Special Subjects

Prop D/ Coastal Height Limitation Overlay Zone (if applicable to project)

- The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above base of measurement (reference datum). [SDMC Section 132.0505]

- A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D).

FAA Part 77 Notification (if applicable to project)

- FAA Self Certification option:
The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents, provides the following certification on their plans, along with their signature and registration stamp:
"I _____ do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required."

- A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction inspection.

Deferred Submittal (general)

- Plans for the deferred submittal items shall be submitted in a timely manner but not less than 30 business days prior to installation for City review and approval.

- The deferred submittal items shall not be installed until their design and submittal documents have been approved by the Building Official. [SDMC §129.0205]

- The registered and responsible design professional shall review the deferred submittal documents and submit them to the Building Official, with annotation indicating that the deferred submittal documents have been reviewed and found to be in general conformance to the design of the building. [SDMC §129.0205].

Deferred Submittal (NFPA 13D Fire Sprinkler)

- The submittal of residential fire sprinkler plans required by California Residential Code Section R313 has been deferred.

- To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans.

Special Inspections (if applicable to project)

- NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.

- NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.

- The special inspector must be registered by the City of San Diego, Development Services, in the category of work required to have special inspection.

- The special inspections identified on plans are, in addition to, and not a substitute for, those inspections required to be performed by a City's building inspector.

- The construction materials testing laboratory must be approved by the City of San Diego, Development Services, for testing of materials, systems, components and, equipment.

- Offsite fabricator must be approved by the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of the fabricator's shop.

- Offsite fabricator shall submit an 'Application to perform Off-Site Fabrication' to the Inspection Services Division for approval prior to commencement of fabrication.

- Offsite fabricator shall submit a 'Certificate of Compliance for Off-Site Fabrication' to the Inspection Services Division prior to erection of fabricated items and assemblies.

Soils and Foundation

- When no geotechnical investigation report is provided:
The structure(s) will be located entirely on undisturbed native soil.
Signature _____ Owner/Licensed Engineer or Architect

- When no geotechnical investigation report is provided:
As a California licensed Architect/Engineer, I have classified the undisturbed native soils to be _____ and per Table 1806.2 of the CBC I have assigned a foundation pressure of _____ psf. for the design of foundations related to this project.
Signature _____ of Licensed Architect/Engineer

- If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required.

Fire Notes

- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC 3315.1.

- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.

California Residential Code

- Ducts in the garage and ducts penetrating walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gauge sheet steel or other approved material and shall have no openings into the garage. [CRC R302.5.2].

- Showers compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. [CRC R307.2].

- Smoke alarms and smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance.

- Smoke alarms shall be installed not less than a 3-foot horizontal distance from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by other sections of the CRC.

- Smoke alarms and smoke detectors shall not be installed within a 36-inch horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow of those registers.

- Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery backup and low battery signal.

- Smoke alarms shall comply with NFPA 72 and shall be listed in accordance with UL 217.
- Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034.

- Smoke alarm systems and components shall be California State Fire Marshal listed and approved in accordance with California Code of Regulations, Title 19, Division 1 for the purpose for which they are installed.

- Window opening control devices serving emergency escape and rescue openings shall comply with ASTM F2090. [CRC R310.1.1].

- Add note on plans: "Window fall control device shall comply with ASTM F2090. At the emergency escape windows, the device after operation should release the control device allowing the windows to fully open providing the clear net opening area required for emergency escape window in accordance with CRC R310.2.1.

STORM WATER APPLICABILITY CHECKLIST (DS-560)

Section 1: Construction Stormwater Best Management Practices (BMP) Requirements

Section 2: Construction Stormwater BMP Requirements

Section 3: Other Pollutant Generating Projects

Section 4: Other Pollutant Generating Projects

City of San Diego Form DS-560 September 2021

Section 1: Construction Stormwater Best Management Practices (BMP) Requirements

Section 2: Construction Stormwater BMP Requirements

Section 3: Other Pollutant Generating Projects

Section 4: Other Pollutant Generating Projects

Visit our Web Site: sandiego.gov/311
Open request, this information is available in alternative formats for persons with disabilities. DS-560(09/21)

P1

Visit our Web Site: sandiego.gov/311
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P2

City of San Diego Form DS-560 September 2021

Section 1: Construction Stormwater Best Management Practices (BMP) Requirements

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City of San Diego Form DS-560 September 2021

Section 1: Construction Stormwater Best Management Practices (BMP) Requirements

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P3

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P4

SQUARE FOOTAGE TABLE

VALUATION/CHARGEABLE SQUARE FOOTAGE FOR FEES ASSESSMENT						
DESCRIPTION (Building No)	1st FLOOR	WALK-OUT BASEMENT	GARAGE	PATIO COVER	DECK	TOTAL SQUARE FOOTAGE
REMODELED/	1803		429			2232 S.F.
ADDITIONS	511	422	446	723	933 S.F.	2102 S.F.

CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	SCOPE OF CONSTRUCTION CHANGE	EFFECTED SHEET NO.

IDEAL ARCHITECTURE + INTERIORS
 2600 Argonada St., Carlsbad, CA 92009
 ph: 760-560-6773
 email: design@sandiegoarchitects.com

IDEAL DESIGN SYSTEMS, INC.

www.sandiegoarchitects.com

This drawing and design are and shall at all times remain the exclusive property of Ideal Design Systems Inc. and cannot be used or reproduced without written consent. This drawing is not valid for construction unless signed and stamped by the Architect. Written dimensions shall have precedence over scaled dimensions. Contractor shall verify and shall be responsible for all dimensions and conditions on the job and the Architect shall be informed of any variations from the dimensions and conditions as shown on this drawing.

LICENSED ARCHITECT
 BRENDA LYNN SHAW
 No. C-31446
 REN 02/28/2025
 STATE OF CALIFORNIA

Project Description and Address
 REMODEL AND ADDITION TO EXISTING ONE STORY RESIDENCE AT 730 AMIFORD DR. SAN DIEGO, CA 92107

No.	submittals/Plan check corrections	Date
1	SUBMISSION FOR COASTAL DEVELOPMENT PERMIT	01/05/24
2	PRE-SCREENING REVISIONS	01/18/2024
3	REVIEW CYCLE -1 CORRECTIONS	04/03/2024
4	MINOR REVISIONS	06/26/2024

Drawing Name
 RESIDENTIAL CODE REQUIREMENTS STORM WATER DS-560 SQ.FT. TABLE

Date: 06-26-24
 Scale: as noted

Project Name
 SMITH RESIDENCE
 ADDITION AND REMODEL
 730 AMIFORD DR.

A2

LOT 1

LOT 18

LOT 3

LOT 16

PROPERTY LEGAL DESCRIPTION
 LOT 17 OF LOMA MAR VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3240, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 1, 1955.

ASSESSORS PARCEL NUMBER
 532-032-02

BASIS OF ELEVATIONS
 CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB
 LOCATION: SOUTHWEST CORNER OF CORNISH DRIVE AND CASITAS STREET
 DATUM: NGVD 29
 ELEVATION: 137.02 FEET

NOTE
 THIS MAP OF EXISTING IMPROVEMENTS AND/OR TOPOGRAPHY WAS FIELD SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.



METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 431-5250
 metromap.sd@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY
 730 AMIFORD DRIVE
 SAN DIEGO, CA 92107

REVISED: 06/28/2023
 ADD ROOF, FF & GRADES

SURVEY DATE
 MAY 11, 2023

MAP/DRAWING DATE
 JUNE 2, 2023

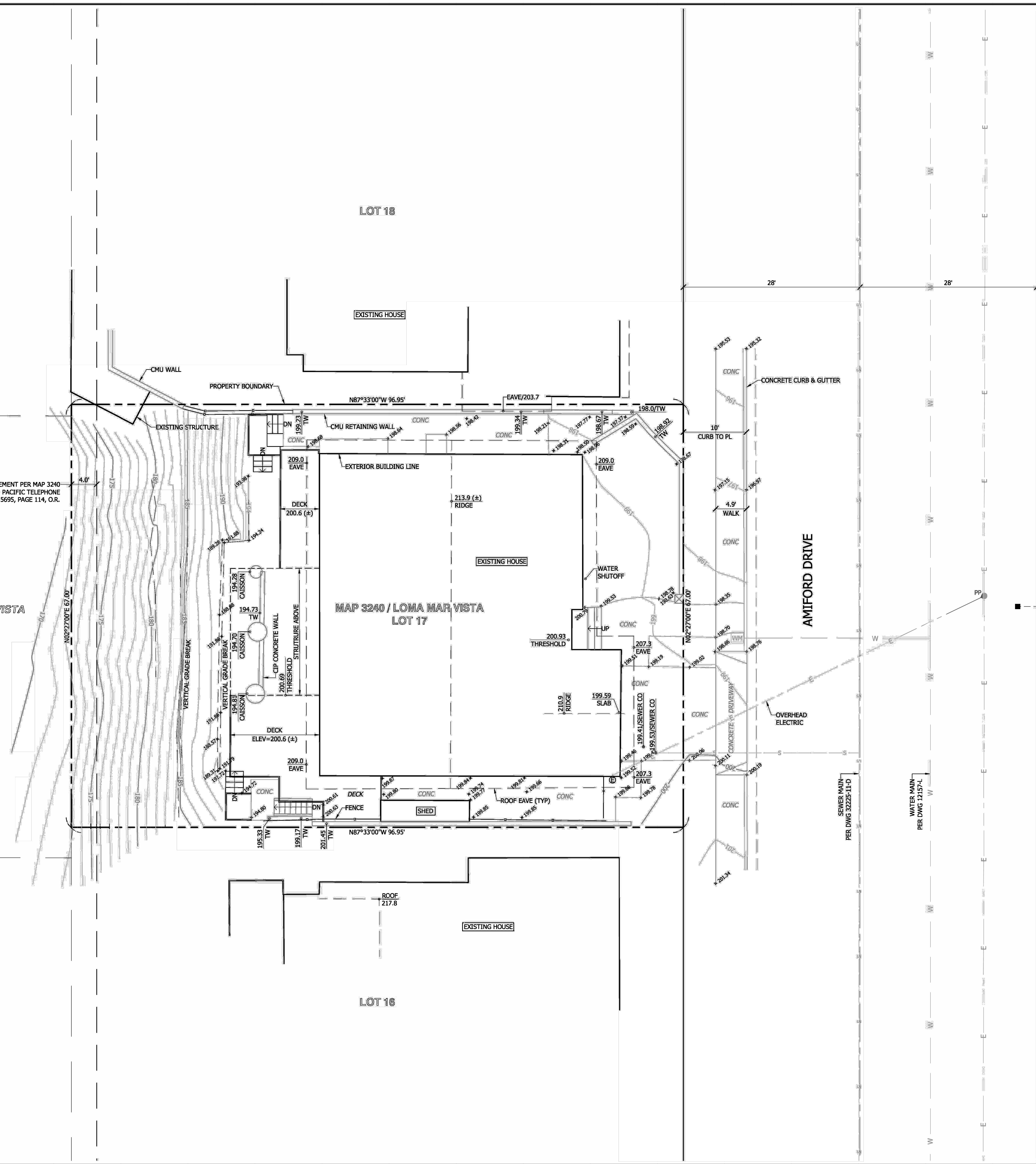
SCALE: 1/8"=1'-0"

DRAWN BY: VF

JOB No:

SHEET TITLE:

A3

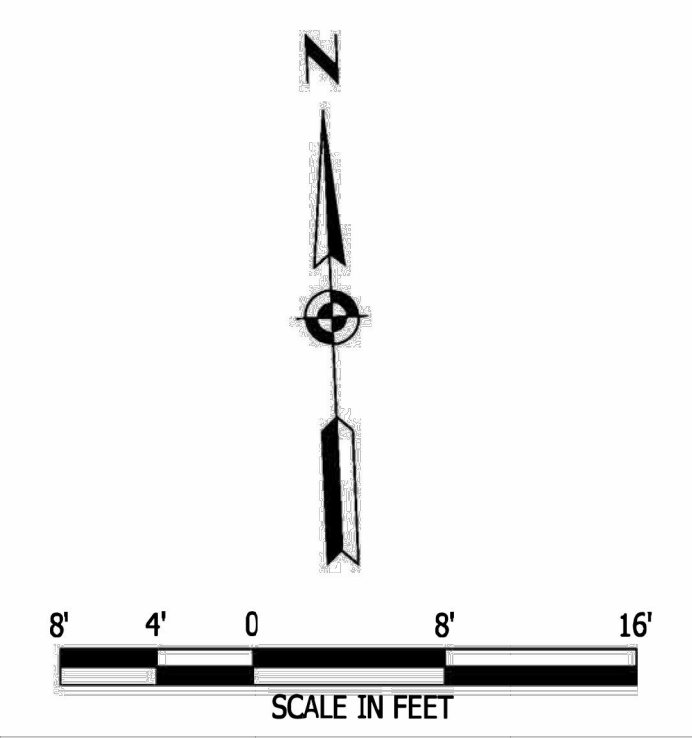


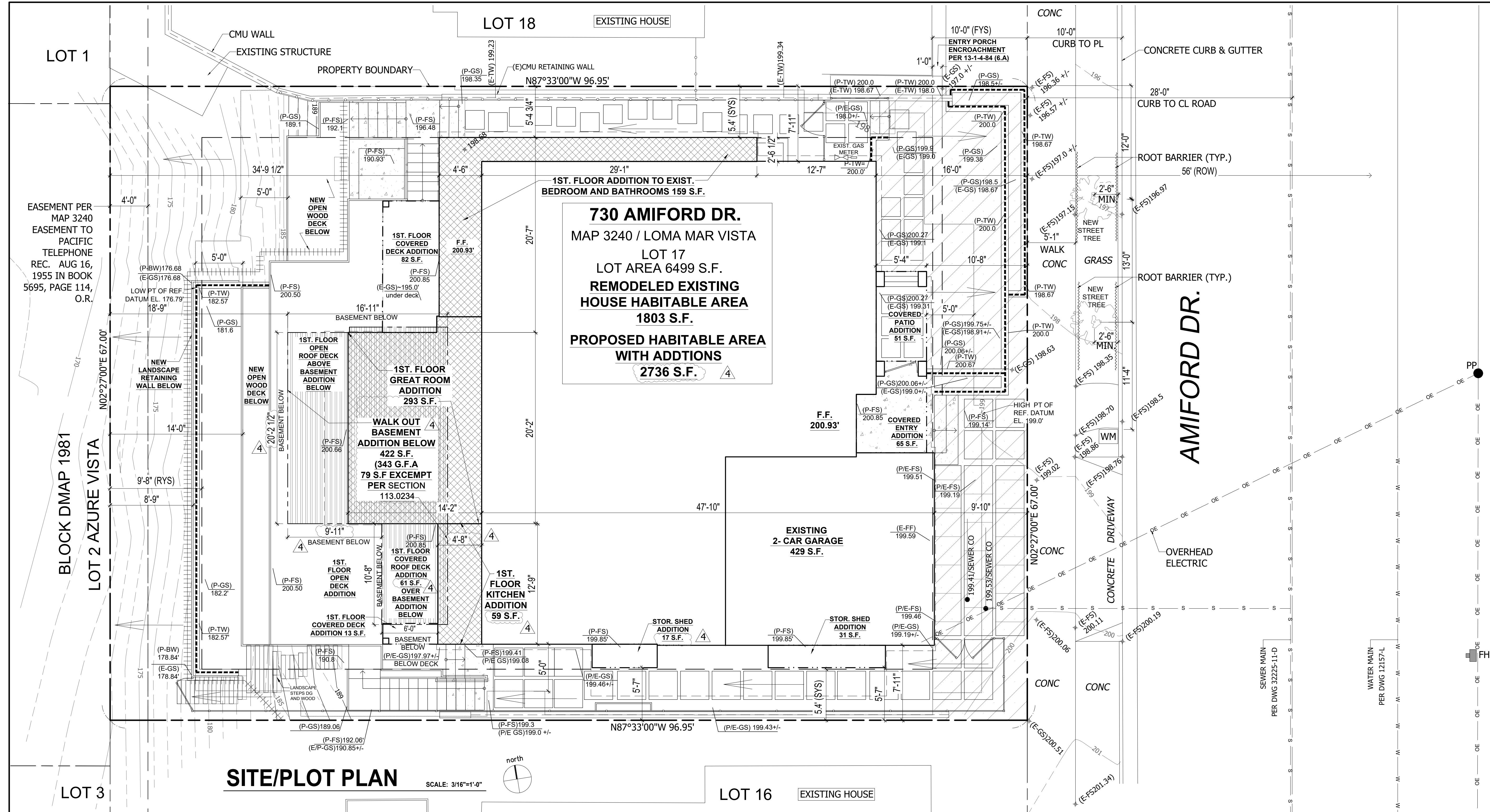
LEGEND

	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CURB & GUTTER
	CMU WALL
	CONCRETE SURFACE
	SEWER LINE
	WATER LINE
	FENCE
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)	

ABBREVIATIONS

AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	U/G	UNDERGROUND
GB	GRADE BREAK	WM	WATER METER





SITE PLAN LEGEND:	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	SETBACK LINE
	5' REFERENCE DATUM LINE FOR BUILDING HEIGHT
	ROOF OVERHANG
	EXIST./PROPOSED BUILDING OUTLINE
	AREA OF 1ST. LEVEL HABITABLE ADDITIONS
	AREA OF BASEMENT HABITABLE ADDITION
	AREAS OF NON HABITABLE ADDITIONS ON 1ST. LEVEL (COVERED DECKS/ COVERED ROOF DECKS/ COVERED ENTRY/PATIOS, SHEDS ETC.) EXEMPT FOR GROSS FLOOR AREA PER CMC-113.0234 (B)(1,2)
	HATCH INDICATES "STREET YARD AREA"
	EXISTING FENCE
	PROPOSED FENCE - REFER TO PLANS, ELEVATIONS AND SECTIONS FOR HEIGHTS AND TYPES
	EXISTING RETAINING WALL
	PROP. RETAINING WALL
	EX. WATER MAIN
	EX. SEWER MAIN
	EX. OVERHEAD POWER LINES
	EX. CONTOUR
	PROP. CONTOUR
	PROPOSED CONCRETE FLATWORK/ EXTERIOR STAIRS
	PROPOSED 3' X 3' CONCRETE WALKWAY PAVERS SET IN DG WITH PEBBLES OR ARTIFICIAL GRASS BETWEEN PAVERS.
	PROPOSED 2' X 2' CONCRETE WALKWAY PAVERS SET IN DG WITH PEBBLES OR ARTIFICIAL GRASS BETWEEN PAVERS.
	PROPOSED 3' X 3' CONCRETE DRIVEWAY PAVERS SET ON CONCRETE SLAB WITH ARTIFICIAL GRASS BETWEEN ROWS OF PAVERS.
	PROPOSED STREET TREES PER 142.0409. ONE TREE PER 30 L.F. OF STREET FRONTAGE. CURRENT STREET FRONTAGE IS 47.5 L.F. QUANTITY OF 2-ONE STANDARD TRUNK, 24-INCH BOX CANOPY FORM TREES REQ'D INST. ALL ROOT BARRIER ADJACENT TO SITE WALK AND PUBLIC STREET AS SHOWN. SPECIES: WHITE ORCHID TREE, BRAZILIAN BUTTERFLY TREE
	PROPOSED DAYLIGHT
	EXISTING POWER POLE LOCATION
	EXISTING FIRE HYDRANT LOCATION
	EXISTING DRAINAGE FLOW
	EXISTING GRADE
	EXISTING BOTTOM OF WALL
	EXISTING TOP OF WALL
	PROPOSED FINISHED SURFACE
	PROPOSED FINISHED SURFACE
	PROPOSED TOP OF WALL
	PROPOSED BOTTOM OF WALL
	THIS MEANS THAT THE EXISTING GRADE ELEVATION IS NOT CHANGING
	THIS MEANS THAT THE EXISTING FINISHED SURFACE ELEVATION IS NOT CHANGING
	THIS MEANS THAT THE EXISTING TOP OF WALL ELEVATION IS NOT CHANGING
	THIS MEANS THAT THE EXISTING BOTTOM OF WALL ELEVATION IS NOT CHANGING

SITE/PLOT PLAN

SCALE: 3/16"=1'-0"

PROPERTY OWNER:
Kerry L. Smith and Colin B. Smith, as Co-Trustees of the 810 Cornish Drive Qualified Personal Residence Trust No. 2, established June 15, 2018
730 Amiford Dr., San Diego, CA 92107
Contact: Kerry Smith
Email: ksmithnjoy@gmail.com
Phone: 619-341-2604

SITE ADDRESS:
730 AMIFORD DR.,
SAN DIEGO, CA 92107

APN: 532-032-02-00

LEGAL DESCRIPTION:
LOT 17 OF LOMA MAR VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3240, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 1, 1955.

LOT SIZE: 6499 S.F. / 0.149 ACRES

BASIS OF BEARINGS/ ELEVATIONS:
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB LOCATION: SOUTHWEST CORNER OF CORNISH DRIVE AND CASITAS STREET
DATUM: NGVD 29 ELEVATION: 137.02 FEET

BRUSH MANAGEMENT NOTE:
OFFSITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSH/WEEED COMPLIANT LINE AT: (619) 533-4444.

STORM WATER NOTE:
ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPED PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

RIGHT OF WAY NOTE:
NO NEW WORK IS PROPOSED IN THE PUBLIC RIGHT-OF-WAY.

BUILDING ADDRESS:
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-8 (UFC 901.4.4)

TRANSIT STOPS:
THERE ARE NO EXISTING OR PROPOSED TRANSIT STOPS ADJACENT TO THIS PROJECT

FIRE HYDRANTS:
THERE IS A FIRE HYDRANT LOCATED WITHIN 600' OF THIS PROJECT. REFER TO SITE PLAN FOR LOCATION

MONUMENT PRESERVATION CERTIFICATION
MONUMENT PRESERVATION CERTIFICATION
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR BENCHMARKS WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT (BUSINESS AND PROFESSIONS CODE SECTION 8771.1). IF DETERMINED DURING REVIEW ADDITIONAL SURVEY MONUMENTATION PRESERVATION MAY BE REQUIRED PER INFORMATION BULLETIN NUMBER 591.

SITE PLAN GENERAL NOTES:

- NO CONCENTRATED DRAINAGE FLOW PERMITTED OVER SIDE YARD PROPERTY LINES
- OWNER TO OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO WORKING IN THE PUBLIC RIGHT-OF-WAY. FAILURE TO DO SO WILL RESULT IN ISSUANCE OF A STOP WORK NOTICE AND DOUBLE PERMIT FEES. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE HIS/HER PROPERTY LINE IS.
- FIELD VERIFY ALL UTILITY LATERALS, CONNECTIONS AND METERS.
- PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED FOR ALL CONCRETE DRIVES AND WALKS.
- CONSTRUCT CONCRETE SIDEWALKS, CURBS, GUTTERS AND DRIVEWAY APPROACHES TO PUBLIC WORKS STANDARD SPECIFICATIONS.
- CONNECT ROOF DRAINS, YARD DRAINS AND FOUNDATION DRAIN FILES TO SUBTERRANEAN STORM DRAINS, AS REQUIRED.
- PROVIDE MINIMUM 2% SLOPE 5' AWAY FROM BUILDING AT ALL HARD LANDSCAPED SURFACES ADJACENT TO BUILDING. PROVIDE MINIMUM 5% SLOPE 5' AWAY FROM BUILDING AT ALL PLANTING/GRASS AREAS ADJACENT TO BUILDING SITE DRAINAGE SHALL NOT DRAIN ONTO ADJACENT PROPERTIES.

GRADING QUANTITIES:

TOTAL CUT:	168 CY
TOTAL FILL:	50 CY
NET (EXPORT)	110 CY
MAX CUT UNDER BUILDING:	7.2'
MAX CUT OUTSIDE OF BUILDING:	4.8'
MAX FILL UNDER BUILDING:	0.0'
MAX FILL OUTSIDE OF BUILDING:	4.8'

IMPERVIOUS SURFACES:

TOTAL DISTURBANCE AREA:	3345 S.F.
EXISTING IMPERVIOUS SURFACES:	3753 S.F.
PROPOSED/REPLACED IMPERVIOUS SURFACES:	1452 S.F.
EXISTING PERVIOUS AREA:	2733 S.F.
PROPOSED PERVIOUS AREA:	2479 S.F.
TOTAL IMPERVIOUS AREA:	4017 S.F.
IMPERVIOUS % INCREASE:	4%

MAXIMUM PAVING AND HARDSCAPE IN RS ZONES:

MAXIMUM PAVING AND HARDSCAPE ALLOWED IN FRONT YARD	60%
PROPOSED FRONT YARD AREA	795 S.F.
PROPOSED PAVING AND HARDSCAPE	314 S.F.
PROPOSED % OF PAVING AND HARDSCAPE:	40%
314 S.F. / 795 S.F.	

LANDSCAPE NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MINIMUM TREE SEPARATION DISTANCES: TRAFFIC SIGNALS / STOP SIGNS - 20 FEET, UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER), ABOVE GROUND UTILITY STRUCTURES - 10 FEET, DRIVEWAY (ENTRIES) - 10 FEET, INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY KERRY AND COLIN SMITH (OWNERS). LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY KERRY AND COLIN SMITH (OWNERS). THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES PER SDMC 142.0413(C), EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(6).
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SDMC 142.0403(B)(11).

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	SCOPE OF CONSTRUCTION CHANGE	EFFECTED SHEET NO.

IDEAL ARCHITECTURE + INTERIORS
2600 Argonata St., Carlsbad, CA 92009
ph: 760-560-6773
email: design@sandiegocarchitects.com

www.sandiegocarchitects.com

Project Description and Address
REMODEL AND ADDITION TO EXISTING ONE STORY RESIDENCE AT
730 AMIFORD DR.
SAN DIEGO, CA 92107

No. 1, 2, 3, 4
submittals/Plan check corrections
COASTAL DEVELOPMENT PERMIT
PRE-SCREENING REVISIONS
REVIEW CYCLE -1 CORRECTIONS
MINOR REVISIONS

Date
01/05/24
01/18/2024
04/03/2024
08/28/2024

Drawing Name
SITE / PLOT PLAN
SITE NOTES

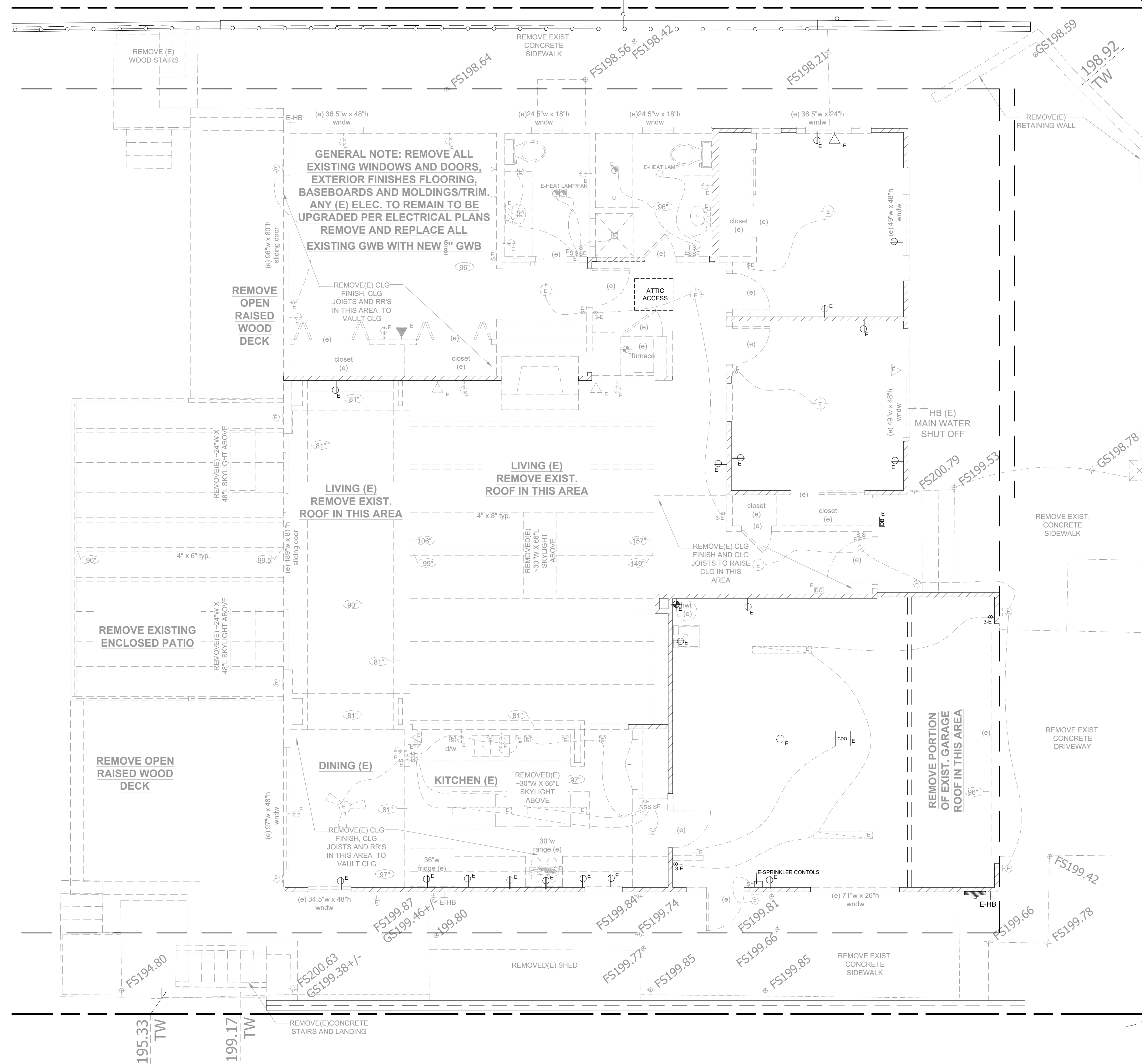
Date
06-26-24

Scale
as noted

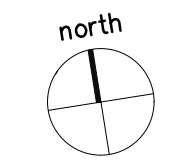
Project Name
SMITH RESIDENCE
ADDITION AND REMODEL
730 AMIFORD DR.

Project Name
SMITH RESIDENCE
ADDITION AND REMODEL
730 AMIFORD DR.

A4



1ST LEVEL FLOOR DEMOLITION PLAN SCALE: 1/4"=1'-0"



DEMOLITION PLAN LEGEND	
	DASHED LINE INDICATES EXISTING WALLS (PARTIAL WALLS) ELECTRICAL, PLUMBING, DOORS ETC. TO BE REMOVED
	INDICATES EXISTING TO BE RETAINED

CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	SCOPE OF CONSTRUCTION CHANGE	EFFECTED SHEET NO.

IDEAL ARCHITECTURE + INTERIORS
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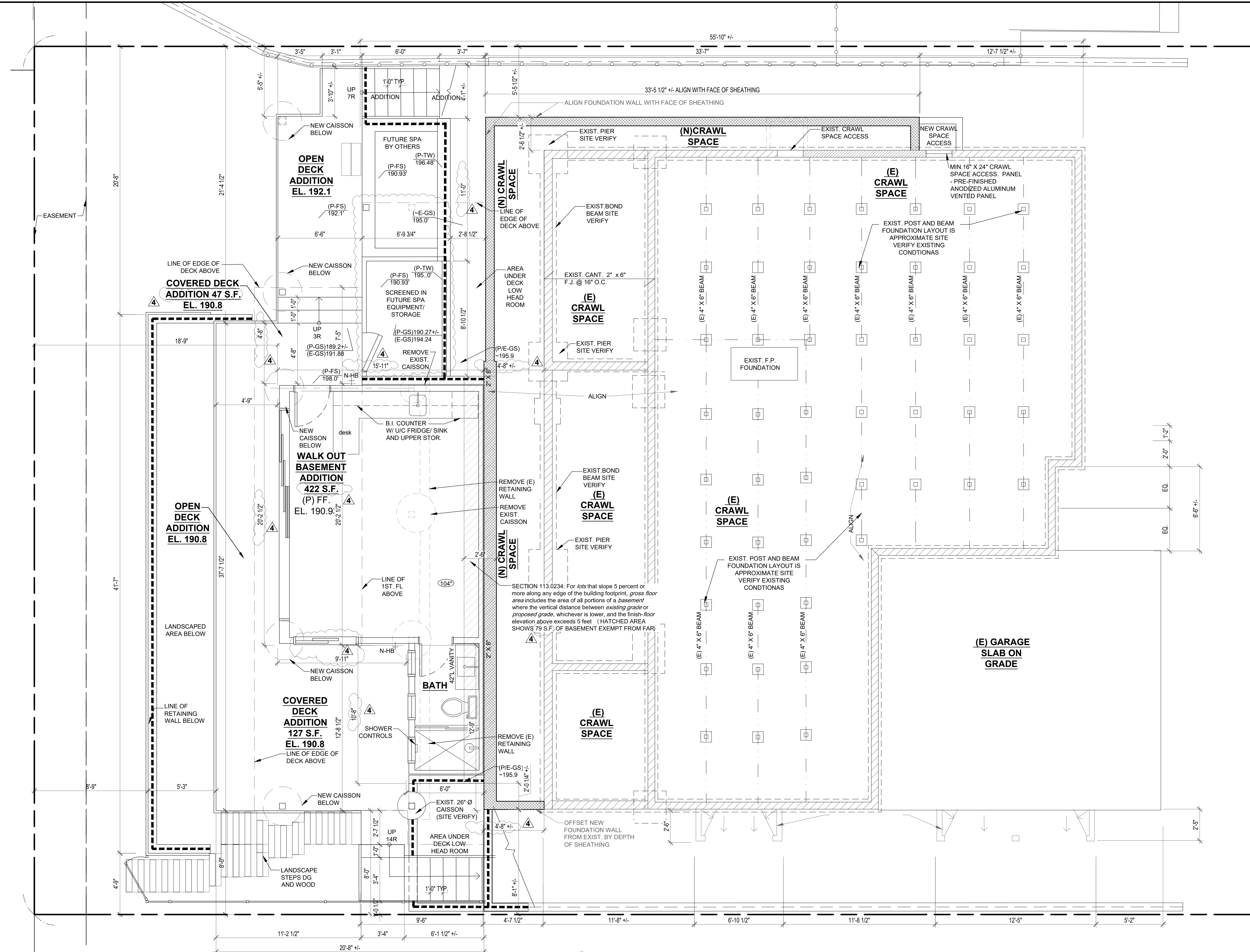
Project Description and Address
 REMODEL AND ADDITION TO EXISTING ONE STORY RESIDENCE AT
 730 AMIFORD DR.
 SAN DIEGO, CA 92107

No.	submittals/Plan check corrections	Date
1	SUBMISSION FOR COASTAL DEVELOPMENT PERMIT	01/09/24
2	PRE-SCREENING REVISIONS	01/18/2024
3	REVIEW CYCLE -1 CORRECTIONS	04/03/2024
4	MINOR REVISIONS	08/28/2024

Drawing Name
 1ST FLOOR DEMOLITION PLAN
Date 08-28-24
Scale as noted

Project Name
 SMITH RESIDENCE
 ADDITION AND REMODEL
 730 AMIFORD DR.

A5



BASEMENT/CRAWL SPACE PLAN SCALE: 1/4"=1'-0"

BASEMENT/CRAWL SPACE PLAN LEGEND	
	INDICATES EXISTING RETAINING WALLS TO BE REMAIN
	INDICATES EXISTING STEM WALLS TO BE REMAIN
	INDICATES EXISTING TO BE REMOVED
	INDICATES NEW RETAINING WALLS
	INDICATES NEW STEM/FOUNDATION WALLS
	NEW EXTERIOR WALLS: -EXTERIOR WALL FINISH (REFER TO ELEVATIONS/DETAILS FOR FINISHES) -TWO LAYERS OF GRADE 'D' BUILDING PAPER -PLYWOOD SHEATHING (ALL LOCATIONS) (REFER TO STRUCTURAL DRAWINGS FOR SHEAR PANEL LOCATIONS) -2" X 4" WOOD STUD WALLS AT 16" O.C. (2" X 6" AT PLUMBING WALLS AND WHERE NOTED ON PLANS) U.N.O. -R15 BATT INSULATION (R21 AT 2" X 6" WALLS) -5/8" GWB FINISH LEVEL 4 SMOOTH
	NEW INTERIOR WALLS: -5/8" GWB FINISH LEVEL 4 SMOOTH -2" X 4" WOOD STUD WALLS AT 16" O.C. U.N.O. (2" X 6" AT PLUMBING WALLS, WALLS WITH POCKET DOORS AND WHERE NOTED ON PLANS) -SOUND INSULATION -5/8" GWB FINISH LEVEL 4 SMOOTH
	NEW HOSE BIB IN RECESSED STAINLESS STEEL BOX (BRADLEY CORP #7910 OR APPROVED ALT.)
<p>EXTERIOR CRAWL SPACE RETAINING WALL ASSEMBLY: -HENRY DRAIN BOARD AND BLUESKIN WP200 WATERPROOF SELF-ADHERED 60 MIL SBS RUBBERIZED MEMBRANE SYSTEM -INSTALL PER MANUF. SPECS WITH AQUATAC PRIMER, BLUESKIN ADHESIVE, B.E.S. SEALANT AT JOINTS AND BASE OF WALL AT FOOTING AND HYDRO FLEX WATERSTOPS. -CONCRETE BLOCK STEM WALL (REFER TO STRUCTURAL DRAWINGS) EXTEND STEM WALL PAST FACE OF STUD THE DEPTH OF SHEATHING SO SHEATHING ALIGNS WITH FACE OF STEM WALL -AT LOCATIONS ABOVE STEM WALLS: -P.T. BOTTOM PLATE (PER STRUCTURAL DRWGS) -FLOOR FRAMING (PER STRUCTURAL DRWGS) -EXTERIOR SHEATHING (PER STRUCTURAL DRWGS) -TWO LAYERS OF GRADE 'D' BUILDING PAPER -EXTERIOR FINISH PER ELEVATIONS -REFER TO BUILDING DETAILS FOR WATERPROOFING AT GRADE -PROVIDE DRAINAGE SYSTEM FOR RETAINING WALLS PER GEOTECHNICAL INVESTIGATION</p>	

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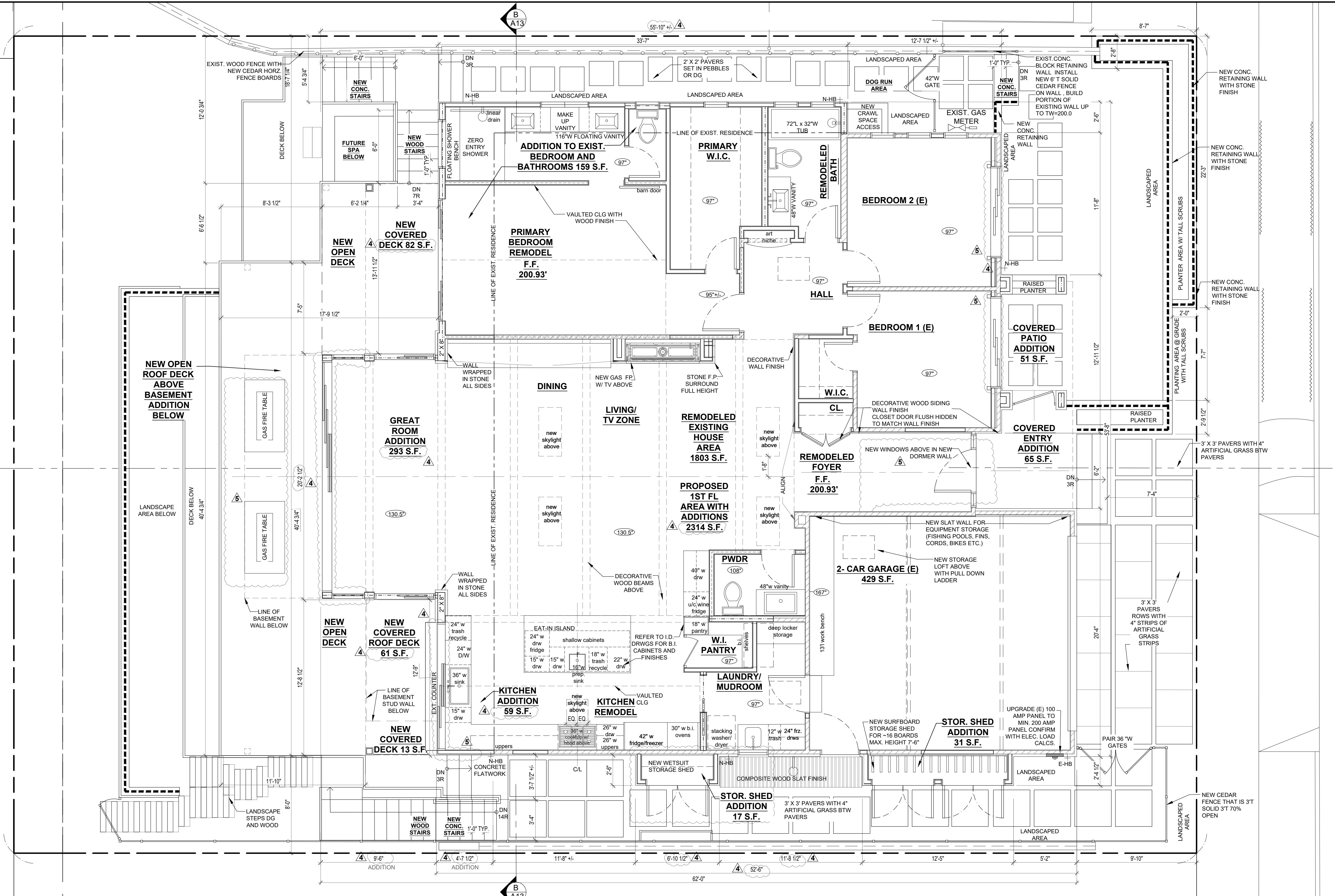


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3	REVIEW CYCLE -1 CORRECTIONS	04/03/2024	
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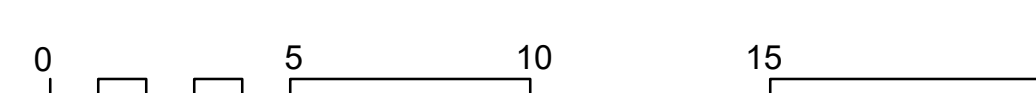
Date: 06-26-24
 Scale: as noted

Project Name
 SMITH RESIDENCE
 ADDITION AND REMODEL
 730 AMIFORD DR.



1ST. LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"



FLOOR PLAN LEGEND:

- INDICATES EXISTING WALLS TO BE RETAINED
- NEW EXTERIOR WALLS:
- EXTERIOR WALL FINISH (REFER TO ELEVATIONS/DETAILS FOR FINISHES)
- TWO LAYERS OF GRADE 'D' BUILDING PAPER
- PLYWOOD SHEATHING (ALL LOCATIONS)
- (REFER TO STRUCTURAL DRAWINGS FOR SHEAR PANEL LOCATIONS)
- 2" X 4" WOOD STUD WALLS AT 16" O.C. (2" X 6" AT PLUMBING WALLS AND WHERE NOTED ON PLANS) U.N.O.
- R-15 BATT INSULATION (R21 AT 2" X 6" WALLS)
- 5/8" GWB FINISH LEVEL 4 SMOOTH
- NEW INTERIOR WALLS:
- 5/8" GWB FINISH LEVEL 4 SMOOTH
- 2" X 4" WOOD STUD WALLS AT 16" O.C. U.N.O.
- (2" X 6" AT PLUMBING WALLS, WALLS WITH POCKET DOORS AND WHERE NOTED ON PLANS)
- SOUND INSULATION
- 5/8" GWB FINISH LEVEL 4 SMOOTH
- NEW HOSE BIB IN RECESSED STAINLESS STEEL BOX (BRADLEY CORP #7910 OR APPROVED ALT.)
- APPROXIMATE CEILING HEIGHT OFF FINISHED FLOOR
- EXISTING FENCE HEIGHT PER SITE PLAN
- PROPOSED FENCE - REFER TO SITE PLAN FOR HEIGHTS AND TYPES
- EXISTING RETAINING WALL REFER TO SITE PLAN FOR HEIGHTS
- PROPOSED RETAINING WALL REFER TO SITE PLAN FOR HEIGHTS

GENERAL NOTES:

1. SEAL THE TOP AND BOTTOM JOINTS OF EACH LAYER OF GWB WITH CAULKING.
2. ENSURE THAT PLUMBING DOES NOT COME IN CONTACT WITH GWB OR STUDS.
3. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR PROPER CONCRETE, WOOD STRUCTURE, AND RE-BAR COVERAGE REQUIREMENTS ETC.
4. ALL STUD SPACING TO BE A MAX. OF 16" O.C. (REFER TO STRUCTURAL DRAWINGS FOR TIGHTER SPACING LOCATIONS)
5. PROVIDE REINFORCING BACKING IN WALLS AS REQUIRED TO SUPPORT MILLWORK WALLS AND DOORS, CABINETS, GRAB BARS, FIXTURES ETC.
6. INSTALL WATERPROOF MEMBRANE BETWEEN WOOD IN DIRECT CONTACT WITH CONCRETE SLABS, CONCRETE/CONCRETE BLOCK
7. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS
8. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GWB" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE TO CURRENT CALIFORNIA PLUMBING CODE AND CALIFORNIA GREEN BUILDING STANDARDS CODE.
9. a. SAFETY GLAZING SHALL BE REQUIRED WITHIN 24" OF A DOOR EDGE OR WITHIN 36" OF A STAIRWAY, LANDING OR RAMP WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" FROM THE FLOOR OR WALKING SURFACE. (R308.4.2)
- b. SAFETY GLAZING IS REQUIRED IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS. (R308.4.1)
- c. SAFETY GLAZING IS REQUIRED IN ENCLOSURES AND WALLS FACING HOT TUBS, SAUNAS, STEAM ROOMS, SHOWERS AND TUBS
10. IN BATHROOMS, LAUNDRY ROOM AND KITCHEN USE MOISTURE RESISTANT GWB. IN SHOWER INTERIOR AND EXTERIOR USE HARDIE CEMENT BACKER WITH APPROVED WATERPROOFING SYSTEM AND INSTALL TO MEET TONA HANDBOOK MINIMUM STANDARDS.
11. THE CONTROL VALVES IN SHOWERS, TUBSHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. PER CPC SEC. 408-410

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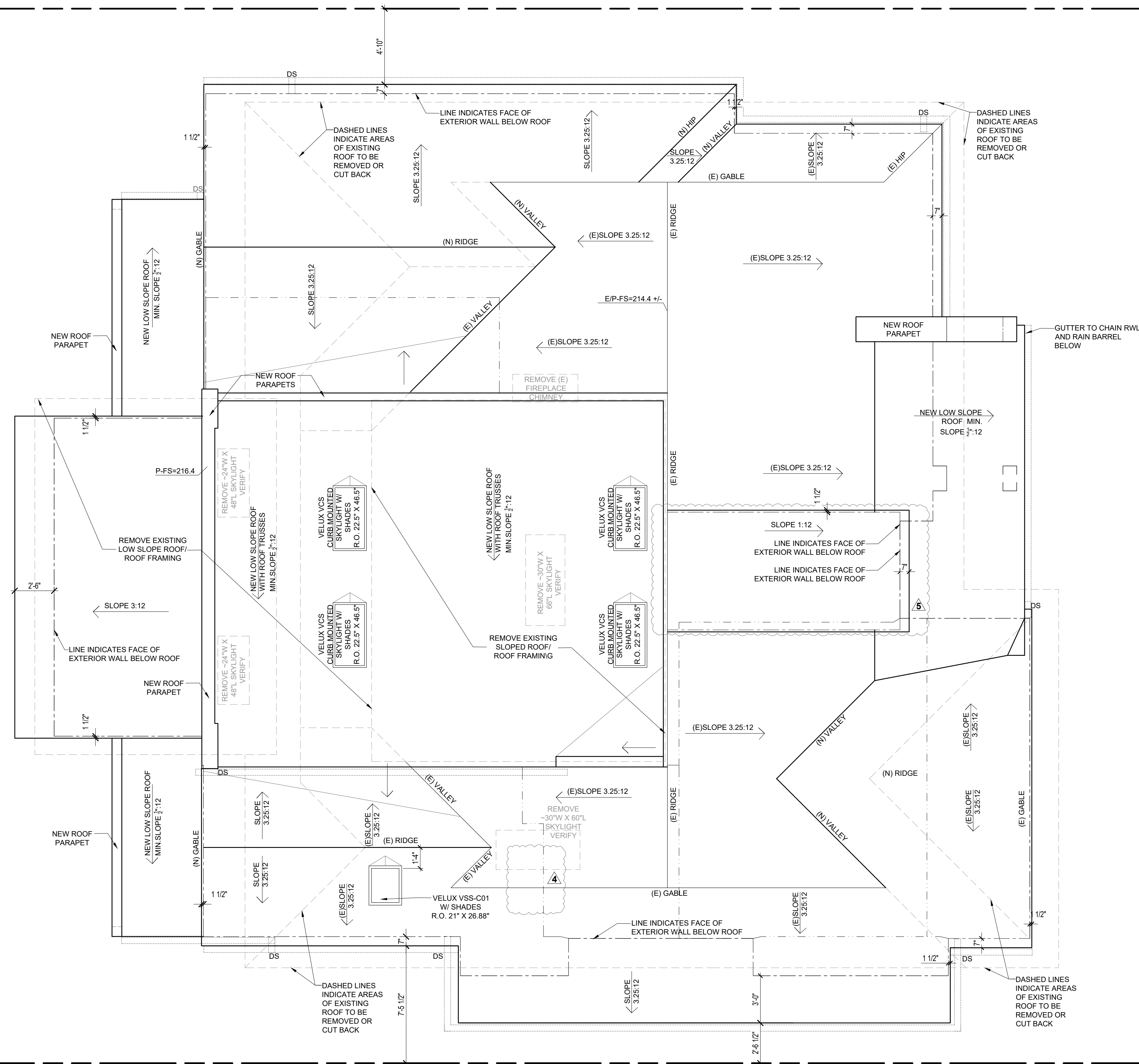
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Drawing Name
 1ST. LEVEL FLOOR PLAN
Date
 06-26-24
Scale
 as noted

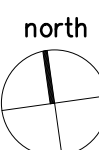
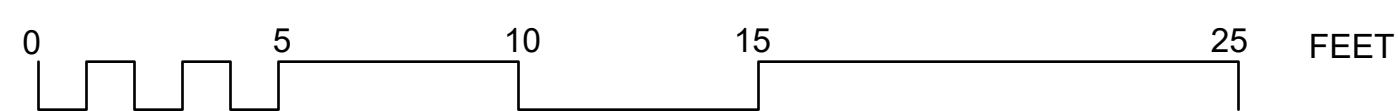
Project Name
SMITH RESIDENCE
ADDITION AND REMODEL
730 AMIFORD DR.

A7



ROOF PLAN

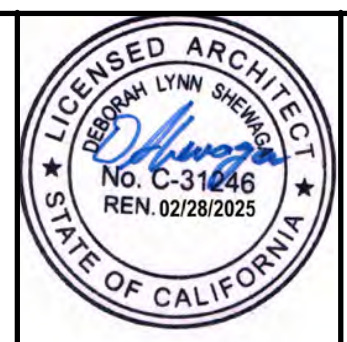
SCALE: 1/4"=1'-0"



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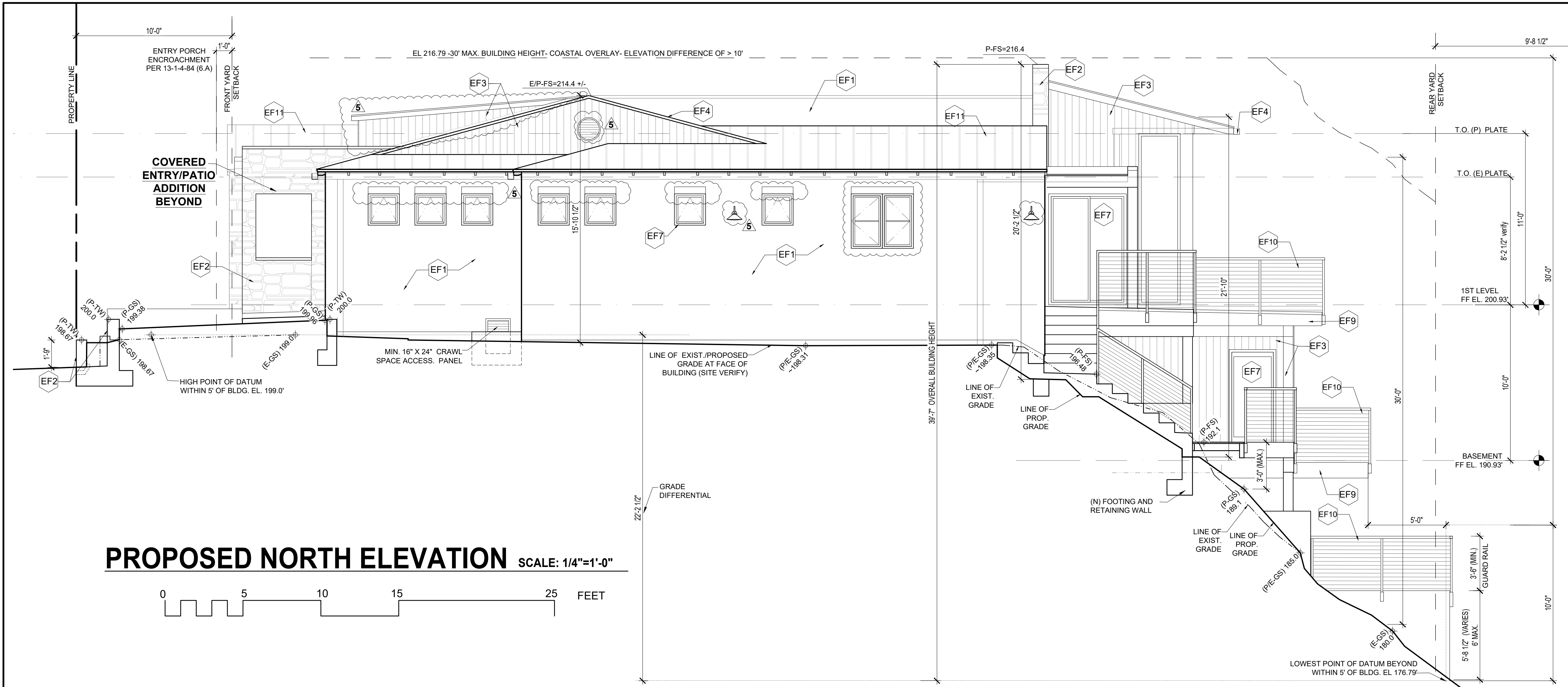


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Drawing Name
 ROOF PLAN
Date 06-26-24
Scale as noted

Project Name
 SMITH RESIDENCE
 ADDITION AND REMODEL
 730 AMIFORD DR.



EXTERIOR FINISHES LEGEND **EXTERIOR NOTES**

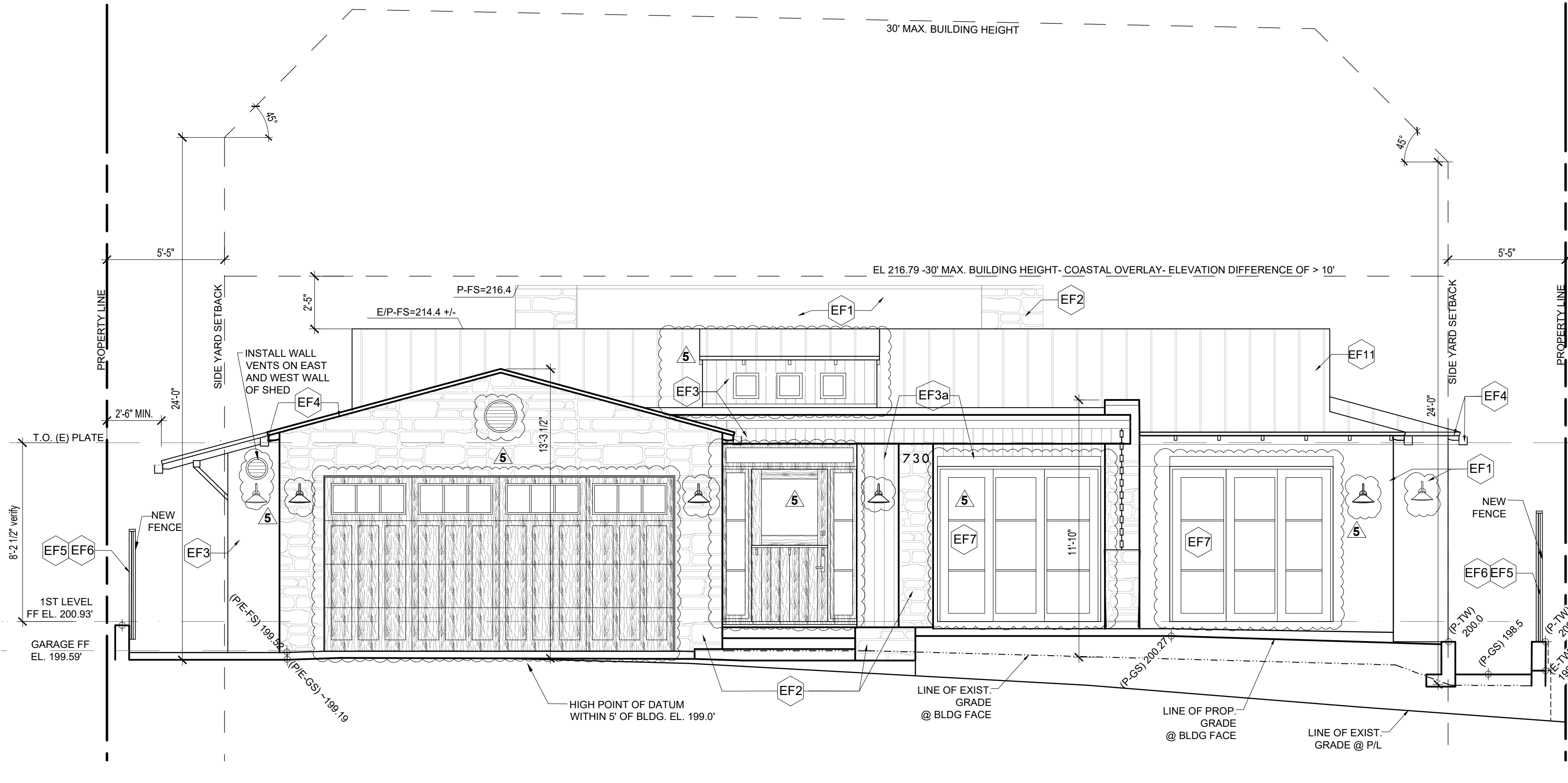
- STUCCO:**
 EF1 - 7/8" FINE ACRYLIC STUCCO FINISH WITH FIBERGLASS LATH, AND VINYL OR PVC CORNER BEADS, WEEP SCREEDS AND TRIMS. COLOR OFF-WHITE. TO BE SELECTED BY OWNER.
- STONE VENEER:**
 EF2 - REAL OR MANUFACTURED STONE VENEER (TO BE SELECTED BY OWNER) WITH FIBERGLASS LATH, VINYL OR PVC CORNER BEADS, WEEP SCREEDS AND TRIMS. COLORS OFF-WHITE IN COMBINATION WITH LIGHT GRAY AND TAUPE.
- VERTICAL CLADDING/SOFFITS/TRIMS/ COLUMN COVERS:**
 EF3 - AZEK TIMBERTECH VINTAGE COLLECTION ADVANCED PVC VERTICAL 1" X 5.5" W T & G CLADDING, COLOR WEATHERED TEAK. ON 7/16" x 1 1/2" H COR-A-VENT STRUDI-BATTEN SPACED HORIZONTALLY TO ALIGN WITH BACKING (CONFIRM SPACING WITH MANUFACTURERS INSTALLATION GUIDE) AT TOP AND BASE OF WALL. INSTALL COR-A-VENT SV-3 WITH BUG SCREEN. INSTALL 2" X 4" HORIZONTAL BACKING AT MIN 16" O.C. BETWEEN STUDS FOR CLADDING AND BATTEN ATTACHMENT (CONFIRM SPACING WITH MANUFACTURERS INSTALLATION GUIDE). FASCIA/S 3/2" X 11 1/2" AZEK TIMBERTECH VINTAGE COLLECTION FASCIA BOARDS, COLOR WEATHER TEAK. COLUMN COVERS TO BE COMBINATION OF 1" X 7.25" BOARDS AND 3/2" FASCIA BOARDS CUT TO FIT.
- VERTICAL SIDING AT ENTRY:**
 EF3a - VERTICAL T & G WOOD SIDING 1" X 5.5" STAINED TO MATCH AZEK PVC CLADDING ABOVE. (FINAL SPECIES TO BE SELECTED BY INTERIOR DESIGNER/CLIENT) ON 7/16" x 1 1/2" H COR-A-VENT STRUDI-BATTEN SPACED HORIZONTALLY TO ALIGN WITH BACKING (CONFIRM SPACING WITH MANUFACTURERS INSTALLATION GUIDE) AT TOP AND BASE OF WALL. INSTALL COR-A-VENT SV-3 WITH BUG SCREEN. INSTALL 2" X 4" HORIZONTAL BACKING AT MIN 16" O.C. BETWEEN STUDS FOR SIDING ATTACHMENT (CONFIRM SPACING WITH MANUFACTURERS INSTALLATION GUIDE).
- FASCIA/FLASHING/ GUTTERS/ DOWNSPOUTS:**
 EF4 - ALUMINUM WITH KYNAR 500 FINISH. TO MATCH METAL ROOF GUTTERS AND DOWNSPOUTS TO BE SQUARE MODERN EXTRUDED ALUMINUM WITH GUTTER COVERS TO PREVENT COLLECTION OF LEAVES AND DEBRIS.
- FENCING BOARDS AND GATES:**
 EF5 - STAINED CEDAR.
- FENCE POSTS AND GATE FRAMES:**
 EF6 - ALUMINUM WITH KYNAR 500 FINISH AND STAINED CEDAR.
- WINDOWS AND SLIDING DOORS:**
 EF7 - PAINTED ALUMINUM COLOR EBONY (SOME LOCATIONS WILL BE FIBERGLASS REFER TO WINDOW SCHEDULE).
- WEST SIDE EXTERIOR DOORS AND WINDOWS @ GREAT ROOM/ KITCHEN AND WALK OUT BASEMENT:**
 EF8 - PAINTED ALUMINUM - BLACK FINISH.
- DECKING/ STAIRS/TRIMS:**
 EF9 - AZEK TIMBERTECH VINTAGE COLLECTION ADVANCED PVC DECK BOARDS 1" X 5.5" COLOR WEATHERED TEAK. FASCIA/RIM JOISTS COVERS 3/2" X 11 1/2" AZEK TIMBERTECH VINTAGE COLLECTION FASCIA BOARDS, COLOR WEATHER TEAK. INSTALL TIMBERTECH PRO-TAC TAPE TO THE TOP OF ALL JOISTS BEFORE INSTALLATION OF DECK BOARDS.
- GUARDRAILS/HANDRAILS:**
 EF10 - FEENEY ALUMINUM AND STAINLESS STEEL CABLE DESIGN RAIL MODERN KIT SYSTEM - POWDER COATED WITH COLOR MATT BLACK. TOP RAIL AT DECKS TO BE SERIES 250. TOP RAIL AT HANDRAIL/STAIRS TO BE SERIES 150. PROVIDE POST ACCENT LIGHTS ON EACH RAILING POST ON DECKS AND LOWER RETAINING WALL. RAILING TO BE SWITCH BY LUTRON KEYPAD.
- CLASS 'A' ROOFING:**
 EF11 - FLAT PAN STANDING SEAM ALUMINUM ROOF WITH SEAMS 14" O.C. COLOR TO BE CHARCOAL WITH KYNAR 500 FINISH.
- CONCRETE RETAINING WALLS:**
 EF12 - SHOT BLAST CMU WALLS WITH WARM GRAY TONES.

- 1) INSTALL ALL MATERIALS PER MANUFACTURERS SPECIFICATIONS, BUILDING CODES AND ARCHITECTURAL DETAILS. PREPARE SURFACES FOR FINISHING AS REQUIRED BY MANUFACTURER TO ENSURE ALL WARRANTIES ARE MAINTAINED.
- 2) AT ALL JOINTS BETWEEN MATERIALS INSTALL EXTERIOR GRADE PAINTABLE CAULKING U.N.O.
- 3) INSTALL BACKER ROD AND CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR WALL MATERIALS. I.e. LIGHT FIXTURES, OUTLETS, VENTS, TRELLIS AND WOOD MEMBERS. SHOWER DEVICES ETC. WITH PAINTABLE EXTERIOR CAULKING.
- 4) PREPARE, PRIME AND PAINT ALL EXTERIOR VENTS, PLATES ETC. COLOR TO MATCH ADJACENT FINISH MATERIAL (U.N.O.). NOTE: EXTERIOR ELEVATIONS MAY NOT SHOW ALL ITEMS TO BE PAINTED. CONTRACTOR IS RESPONSIBLE TO PAINT ALL ITEMS.
- 5) ALL HARDWARE, FASTENERS, EXPOSED METAL TO BE STAINLESS STEEL U.N.O.
- 6) ALL GUTTERS, SCUPPERS AND RFLW TO PRE-FINISHED ALUMINUM. WITH LEAF GUARD PROTECTION.
- 7) CONTRACTOR TO SUPPLY MIN 8" x 8" COLOR SAMPLE OF ALL FINISHES, COLORS AND STUCCO FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION.

- 18" DIA. CABLE VENTS (100 SQ. IN. NFA) POWDER COATED ALUMINUM. BLACK WITH S.S. INSECT MESH
- 12" DIA. WALL VENTS POWDER COATED ALUMINUM. BLACK WITH S.S. INSECT MESH
- 8" X 16" WALL / CRAWL SPACE VENTS (50 SQ. IN. NFA) POWDER COATED ALUMINUM. BLACK WITH S.S. INSECT MESH

EXTERIOR ELEVATION LEGEND

(E-GS)177.6	EXISTING GRADE	NEW EXTERIOR LIGHT FIXTURE FINISH BLACK
(E-BW)178.0	EXISTING BOTTOM OF WALL	FYS FRONT YARD SET BACK
(E-TW)178.0	EXISTING TOP OF WALL	SYS SIDE YARD SET BACK
(E-FS)178.0	EXISTING FINISHED SURFACE	ESYS EXTERIOR (STREET SIDE YARD SETBACK)
(P-GS)179.6	PROPOSED FINISHED GRADE	REYS REAR YARD SETBACK
(P-FS)180.07	PROPOSED FINISHED SURFACE	
(P-TW)179.0	PROPOSED TOP OF WALL	
(P-BW)179.0	PROPOSED BOTTOM OF WALL	
(P/E-GS)179.0	THIS MEANS THAT THE EXISTING GRADE ELEVATION IS NOT CHANGING	
(P/E-FS)179.0	THIS MEANS THAT THE EXISTING FINISHED SURFACE ELEVATION IS NOT CHANGING	
(P/E-TW)179.0	THIS MEANS THAT THE EXISTING TOP OF WALL ELEVATION IS NOT CHANGING	
(P/E-BW)179.0	THIS MEANS THAT THE EXISTING BOTTOM OF WALL ELEVATION IS NOT CHANGING	
	LINE OF MAXIMUM ALLOWABLE BUILDING HEIGHT	



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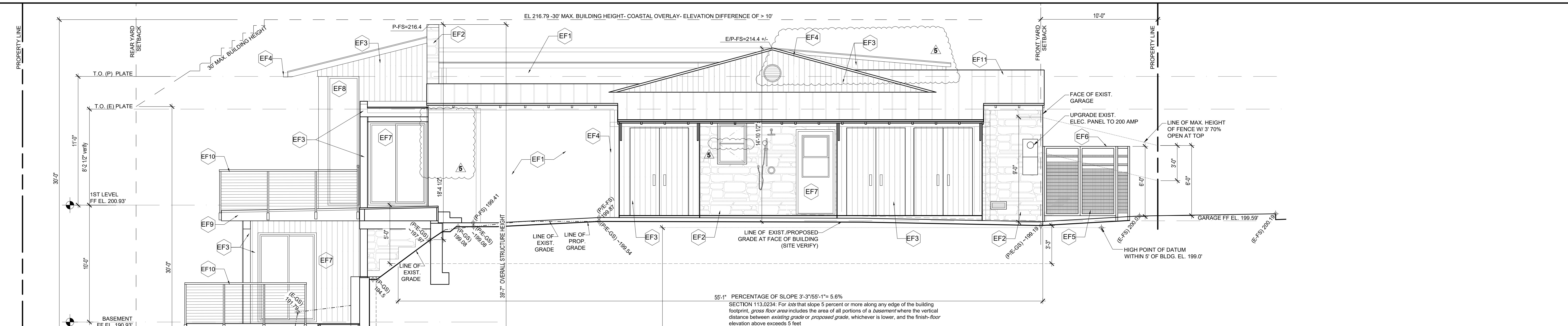
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Drawing Name
 BUILDING ELEVATIONS

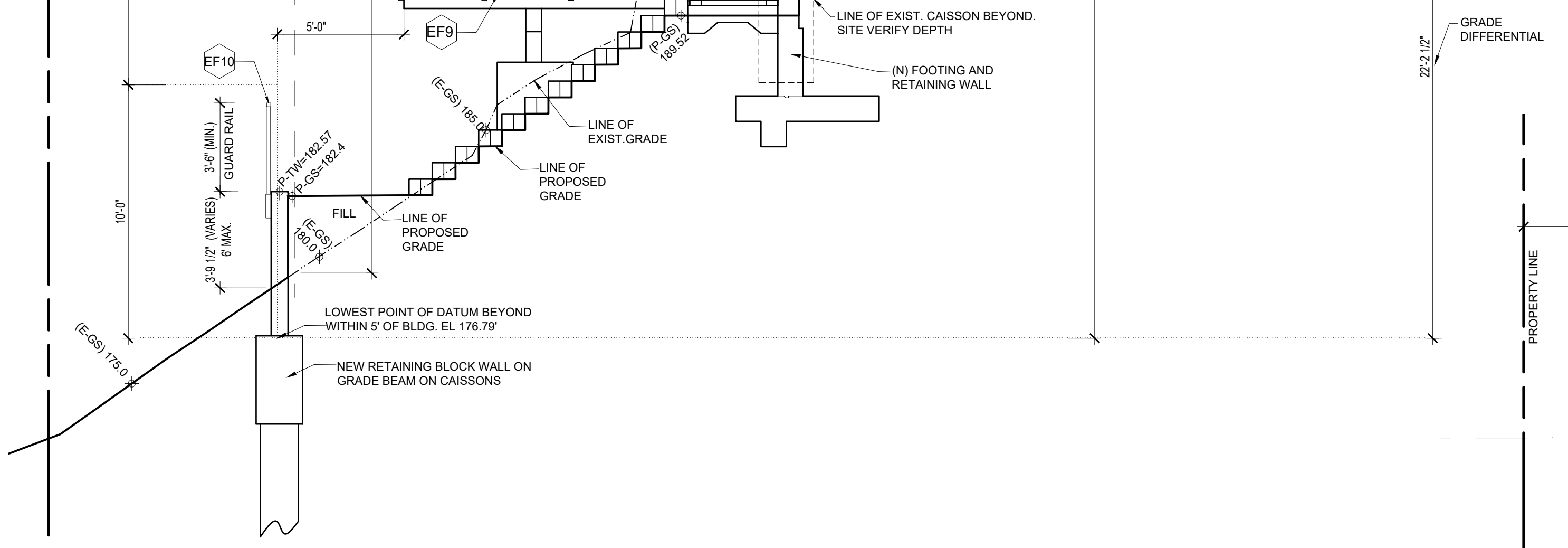
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 SMITH RESIDENCE
 ADDITION AND REMODEL
 730 AMIFORD DR.

A9



PROPOSED SOUTH ELEVATION SCALE: 1/4"=1'-0" 0 5 10 15 20 25 FEET



PROPOSED WEST ELEVATION SCALE: 1/4"=1'-0" 0 5 10 15 20 25 FEET

REFER TO A9 FOR EXTERIOR FINISHES LEGEND

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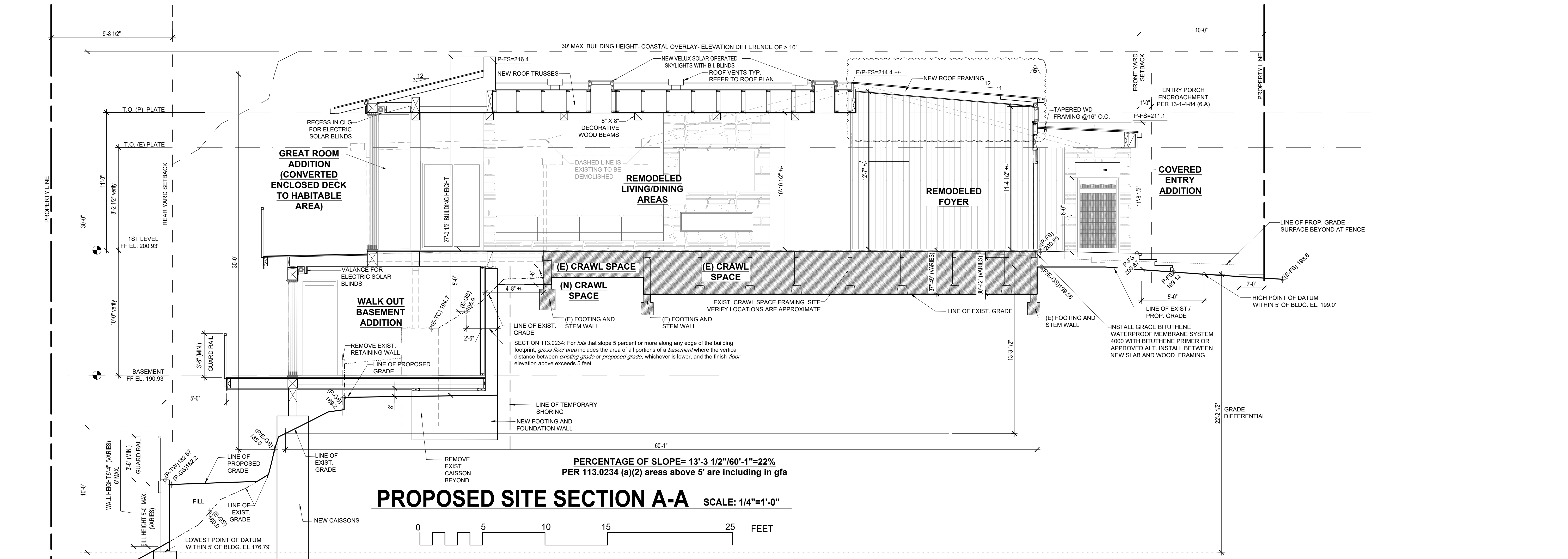
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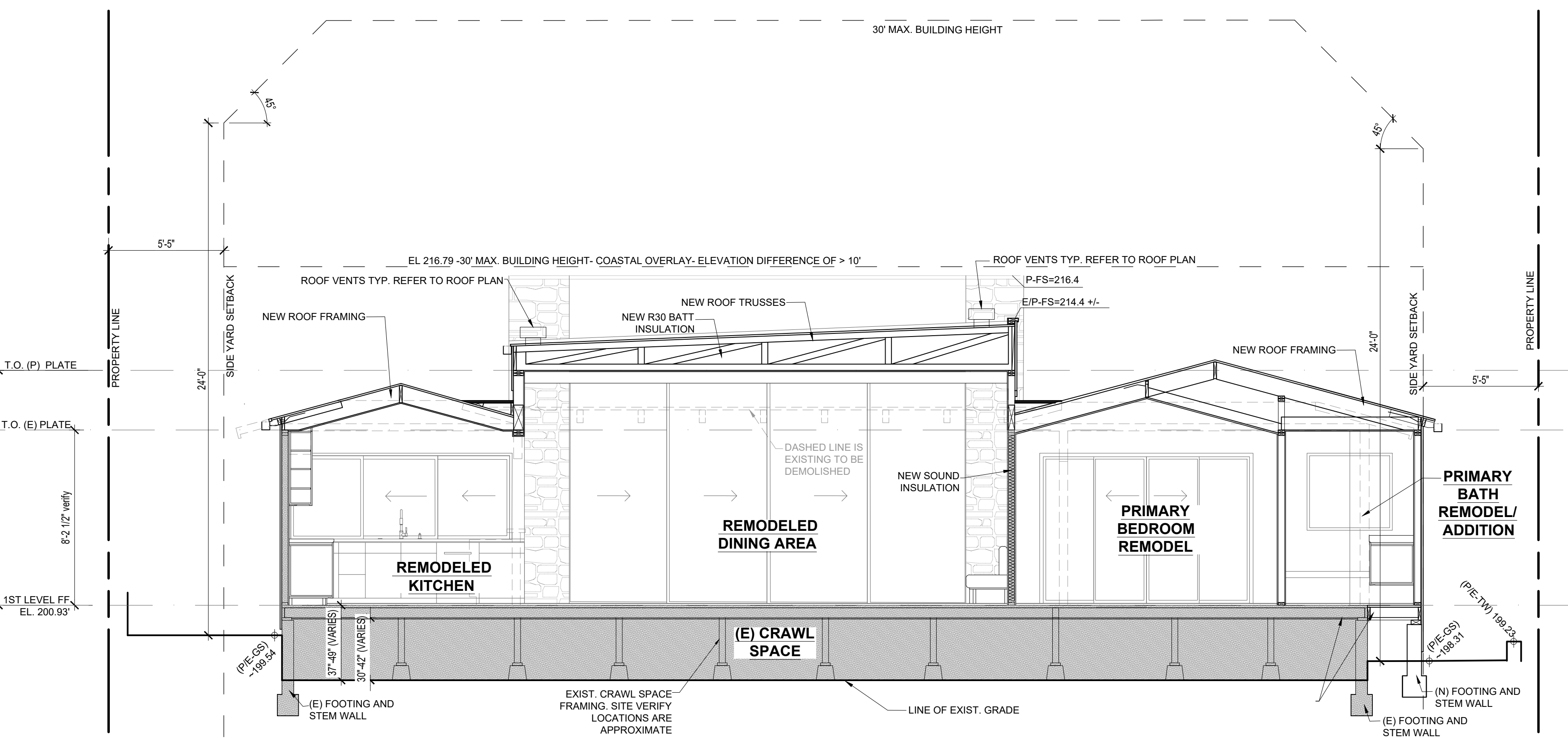
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 730 AMIFORD DR.

A10



PROPOSED SITE SECTION A-A SCALE: 1/4"=1'-0"



PROPOSED SITE SECTION B-B SCALE: 1/4"=1'-0"

BUILDING SECTIONS LEGEND	
(E-GS)177.6	EXISTING GRADE
(E-BW)176.0	EXISTING BOTTOM OF WALL
(E-TW)176.0	EXISTING TOP OF WALL
(E-FS)176.0	EXISTING FINISHED SURFACE
(P-GS)179.6	PROPOSED FINISHED GRADE
(P-FS)180.07	PROPOSED FINISHED SURFACE
(P-TW)179.0	PROPOSED TOP OF WALL
(P-BW)179.0	PROPOSED BOTTOM OF WALL
(P/E-GS)179.0	THIS MEANS THAT THE EXISTING GRADE ELEVATION IS NOT CHANGING
(P/E-FS)179.0	THIS MEANS THAT THE EXISTING FINISHED SURFACE ELEVATION IS NOT CHANGING
(P/E-TW)179.0	THIS MEANS THAT THE EXISTING TOP OF WALL ELEVATION IS NOT CHANGING
(P/E-BW)179.0	THIS MEANS THAT THE EXISTING BOTTOM OF WALL ELEVATION IS NOT CHANGING
---	LINE OF PROPOSED GRADE AND EXIST. GRADE TO REMAIN
- - - -	LINE OF EXIST. GRADE TO BE MODIFIED
---	LINE OF MAXIMUM ALLOWABLE BUILDING HEIGHT
FYS	FRONT YARD SET BACK
SYS	SIDE YARD SET BACK
ESYS	EXTERIOR STREET SIDE YARD SETBACK
RYS	REAR YARD SETBACK
---	HATCHED AREA INDICATES EXISTING TO BE RETAINED
- - - -	LIGHT DASHED LINE INDICATES EXISTING TO BE REMOVED, REFER TO DEMOLITION PLANS

CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	SCOPE OF CONSTRUCTION CHANGE	EFFECTED SHEET NO.

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Project Description and Address
 REMODEL AND ADDITION TO EXISTING ONE STORY RESIDENCE AT 730 AMIFORD DR. SAN DIEGO, CA 92107

No.	Submittals/Plan check corrections	Date
1	SUBMISSION FOR COASTAL DEVELOPMENT PERMIT	01/05/24
2	PRE-SCREENING REVISIONS	01/18/2024
3	REVIEW CYCLE-1 CORRECTIONS	04/03/2024
4	MINOR REVISIONS	06/26/2024
5	MINOR REVISIONS	07/31/2024

Drawing Name	Date
SITE SECTIONS	06-26-24
Scale	as noted

Project Name
 SMITH RESIDENCE ADDITION AND REMODEL 730 AMIFORD DR.

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