

SITE PLAN 1

**PATH OF TRAVEL NOTES**

PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELLED AT A SLOPE NOT STEEPER THAN 1:2, EXCEPT THAT LEVEL CHANGES ARE 1/4" MAXIMUM VERTICAL AND IS AT LEAST 48" WIDE. SURFACE SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48, AND RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 UNLESS OTHERWISE INDICATED (SECTION 11B-307.3).

P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (SECTION 11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL SURFACE BETWEEN 27" AND 80" ABOVE FINISH FLOOR OR GROUND (SECTION 11B-307.2).

PROVIDE FLUSH TRANSITIONS AT ANY ADJOINING JOINTS BETWEEN NEW AND EXISTING (E) WALK SURFACES IN P.O.T.

ARCHITECT TO VERIFY THAT THERE ARE NO BARRIERS IN THE P.O.T. COMPLY WITH SECTIONS 11B-206.

**PARKING TABULATION**

**PARKING RATIOS & REQUIREMENTS per Table 142.05G of Section 142.0530 of the SDMC**

CORPORATE OFFICE: 2.1 spaces/1,000 SF = 111 stalls  
MEDICAL OFFICE: 3.5 spaces/1,000 SF = 46 stalls  
R&D - 2.1 spaces/1,000 SF = 17 stalls

TOTAL REQUIRED SPACES: 0"  
TOTAL PROVIDED SPACES: 200\*\*

TOTAL BICYCLE REQUIRED  
-SHORT TERM: 0.1 x 79,592 SF/1,000 SF = 7.3 < 0.05 x 200 spaces = (10) spaces required  
LONG TERM: 5% of total provided parking = 0.05 x 200 spaces = (10) spaces required

TOTAL BICYCLE PROVIDED  
-SHORT TERM: 10 BICYCLES  
LONG TERM: 20 BICYCLES

TOTAL MOTORCYCLE COUNTS  
-TOTAL REQUIRED SPACES: 0.02 x 200 spaces = (4) spaces required > (2) min. required  
TOTAL PROVIDED SPACES: (4) 3 FT x 8 FT STALLS

NOTE: SEE FLOOR PLANS A2.10 - A2.13 FOR ADA VAN AND CARPOOL/VE STALL LOCATIONS

NOTE: SEE FLOOR PLAN SHEETS A2.10 - A2.11 FOR LOCATIONS OF SHORT AND LONG TERM BICYCLE STORAGE

NOTE: PROJECT IS IN A PARKING STANDARDS TRANSIT PRIORITY AREA AND THERE IS NO MINIMUM PARKING REQUIREMENT PER SECTION 142.0530 (c) AND TABLE 142-05G

\*\*NOTE: TOTAL PROVIDED SPACE COUNT OF 200 STALLS DOES NOT INCLUDE THE (12) ON-STREET STALLS AND (4) MOTORCYCLE STALLS ON THE ADJACENT TABLE

**PARKING TABULATION**

TYPE	LEVEL	COUNT
P1		
3' x 8' - 90 deg Motorcycle Stalls	P1	4
		4
STREET	STREET	12
On-Street Parallel - 6'-6" x 18'-0"		12

TYPE	LEVEL	COUNT
P1		
Parking Stalls (8'-0" Width x 18'-0" Depth)	P1	15
Parking Stalls (8'-0" Width x 18'-0" Depth) EV	P1	9
Parking Stalls (8'-0" Width x 18'-0" Depth)	P1	4
Parking Stalls ADA	P1	7
Parking Stalls Van ADA	P1	1
		36

P2		
Parking Stalls (8'-0" Width x 18'-0" Depth)	P2	41
Parking Stalls (8'-0" Width x 18'-0" Depth) EV	P2	9
Parking Stalls (8'-0" Width x 18'-0" Depth)	P2	3
		53

P3		
Parking Stalls (8'-0" Width x 18'-0" Depth)	P3	50
Parking Stalls (8'-0" Width x 18'-0" Depth)	P3	3
		53
P4		
Parking Stalls (8'-0" Width x 18'-0" Depth)	P4	56
Parking Stalls (8'-0" Width x 18'-0" Depth)	P4	2
		58
GRAND TOTAL:		200

**LEGEND**

- LIMIT OF WORK
- PL --- PROPERTY LINE
- PL --- ASSUMED PROPERTY LINE
- MATCH LINE
- SETBACK LINE
- ARCHITECTURAL PROJECTION LINE
- ACCESSIBILITY PATH OF TRAVEL
- (E) FIRE HYDRANT
- (E) TRANSIT STOP
- ACCESSIBLE BUILDING ENTRANCE - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ENTRANCE SIGN (8"x8" DECAL MOUNTED BETWEEN 4'-0" TO 5'-0" A.F.F. CENTERED ON SINGLE DOORS, CENTERED ON RIGHT PANEL OF DOUBLE DOORS
- (E) BUILDINGS

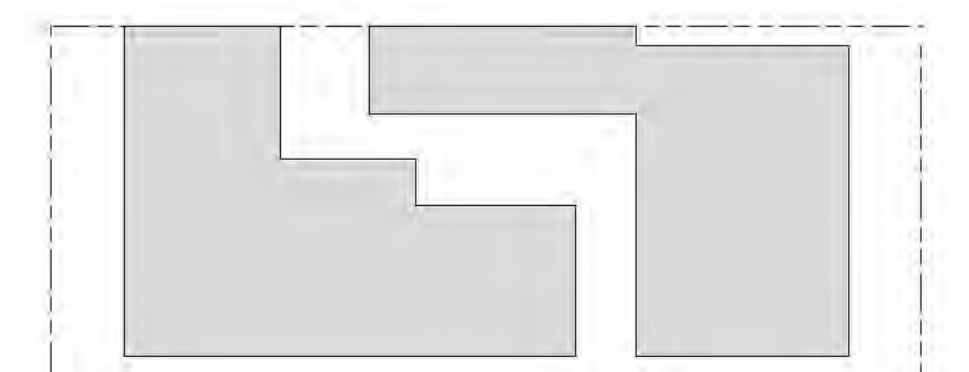
**KEYNOTES**

NUMBER	TEXT
01.02	VISIBILITY TRIANGLES
02.03	(E) STREET LIGHT TO BE UPDATED TO CURRENT CITY STANDARDS
10.02	KNOX BOX - FLUSH MOUNTED
32.04	EXTERIOR TRANSFORMER PAD, REFER TO ELECTRICAL SHEETS
33.02	STORMWATER BASIN, SEE CIVIL SHEETS

**GENERAL NOTES**

- EXISTING FIRE HYDRANTS SHOWN ON SITE PLAN ARE LOCATED WITHIN 600' OF PROPOSED BUILDING
- REFER TO LANDSCAPE SHEETS FOR PEDESTRIAN PAVING FINISHES AND PLANTING PALLET
- REFER TO CIVIL SHEETS FOR HORIZONTAL CONTROL AND FINE GRADING INFORMATION
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 36 INCHES IN HEIGHT
- VMT REDUCTION MEASURES ARE MET BY IMPLEMENTING TDM MITIGATION MEASURE T-3. THE PROJECT SITE IS WITHIN 0.3 MILES OF (4) MAJOR TRANSIT STOPS.

**KEYPLAN**



Date  
Revision

Submittal	Date
SDP-CDP - 1ST SUBMITTAL	07/12/2021
SDP-CDP - 2ND SUBMITTAL	03/31/2022
SDP-CDP - 3RD SUBMITTAL	11/02/2022
SDP-CDP - 4TH SUBMITTAL	02/26/2023

Job Number: 30768  
Date Published: 08/19/2022  
Checked By: NM  
Scale: As indicated

NOT FOR REGULATORY APPROVAL,  
PERMITTING OR CONSTRUCTION

This document and all other project documents, plans, aesthetics and designs incorporated herein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages, including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.

© LPA, Inc.

FHCSD - WELLNESS AND ADMIN. BUILDING

1865 NATIONAL AVENUE,  
SAN DIEGO CA, 92113

Developed for  
FAMILY HEALTH CENTER SAN DIEGO

Date

Revision

Submittal Date  
SDP-CDP - 1ST SUBMITTAL 12/23/2021  
SDP-CDP - 2ND SUBMITTAL 04/07/2022  
SDP-CDP - 3RD SUBMITTAL 11/22/2022  
SDP-CDP - 4TH SUBMITTAL 09/26/2023

Job Number 3036810

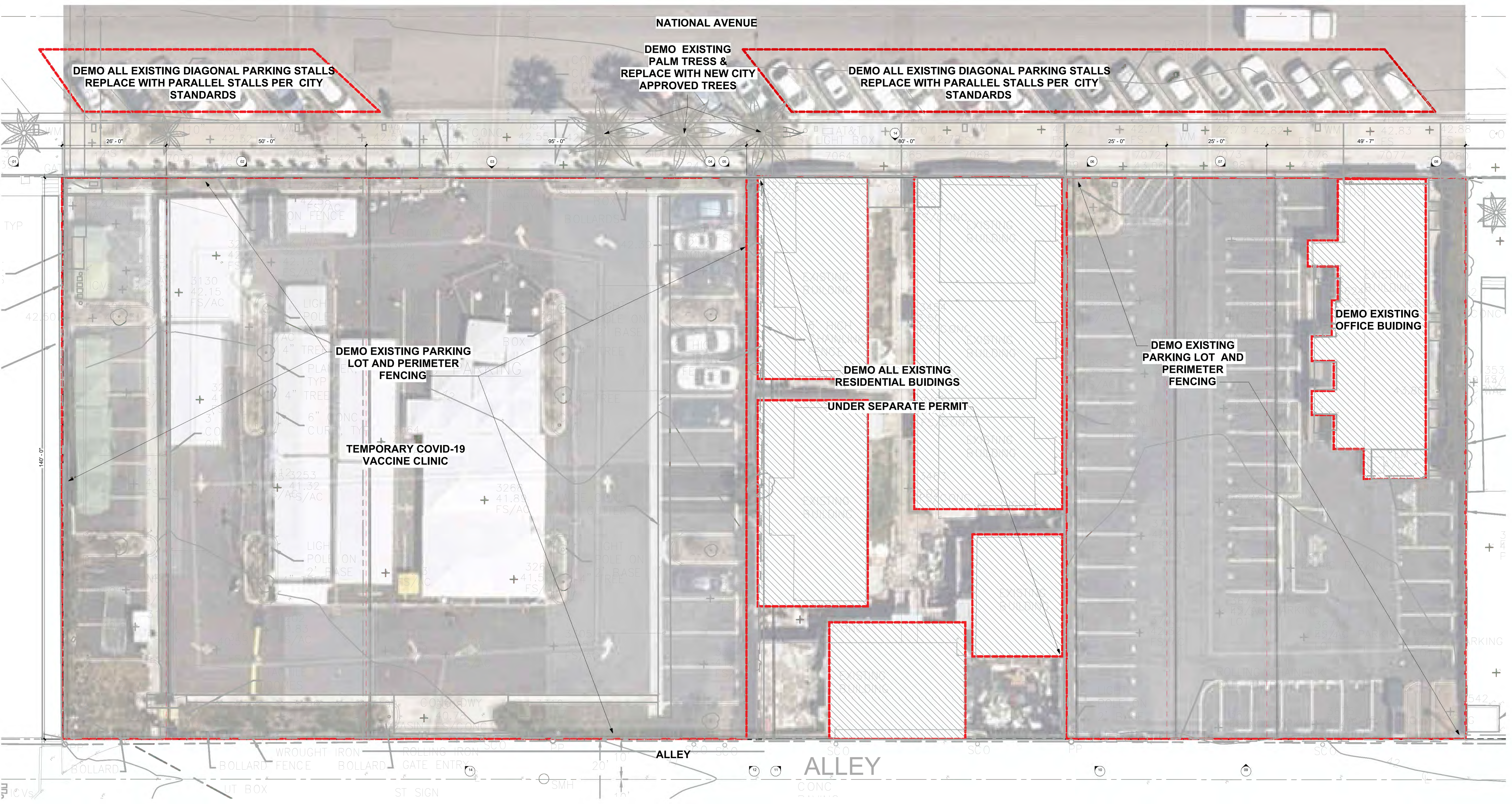
Date Published 06/04/2021

Checked By Checker

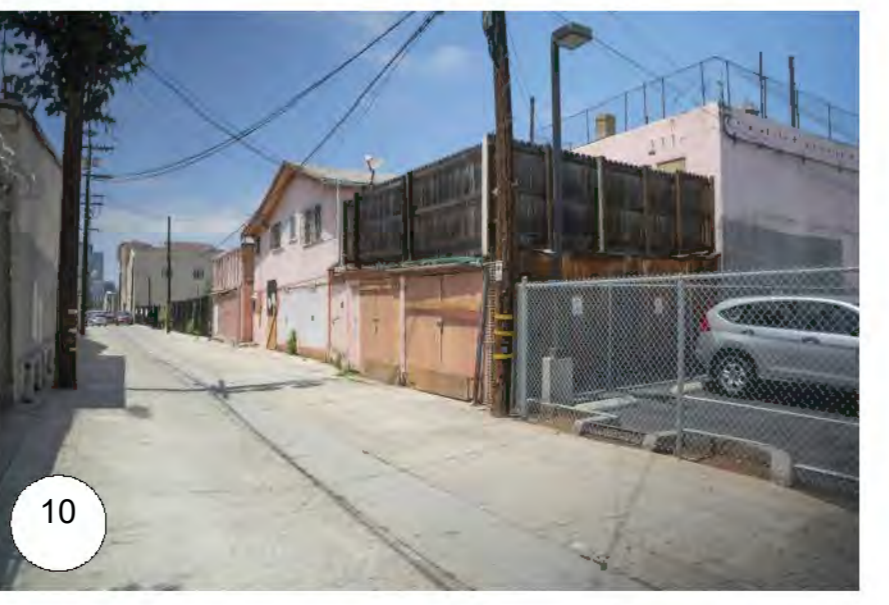
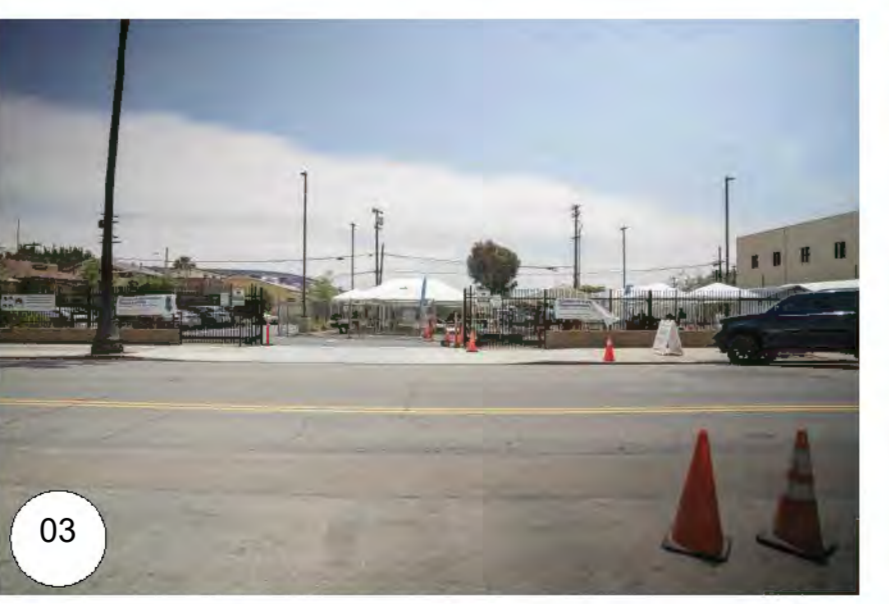
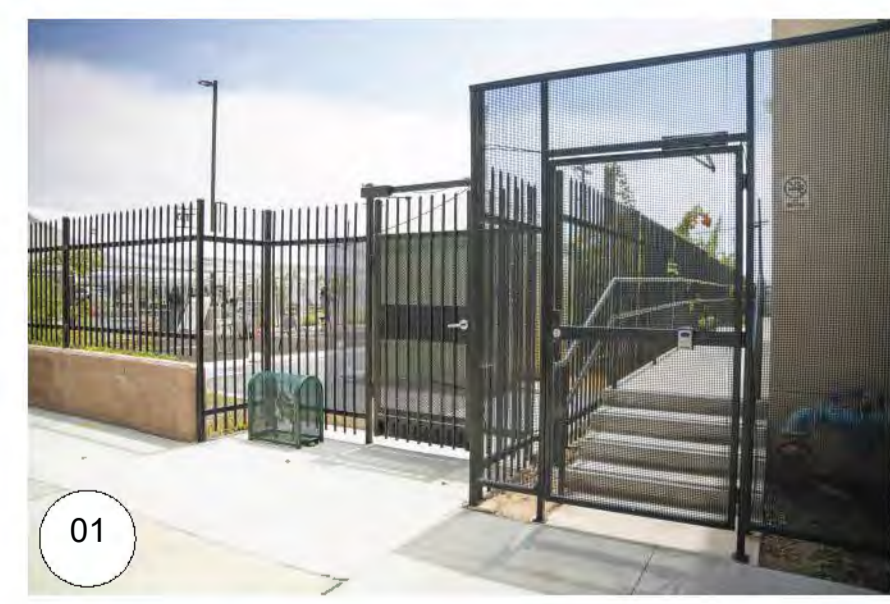
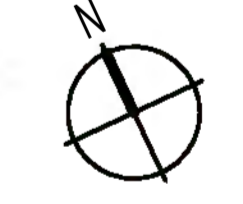
Scale 1" = 10'-0"

DEMO PLAN

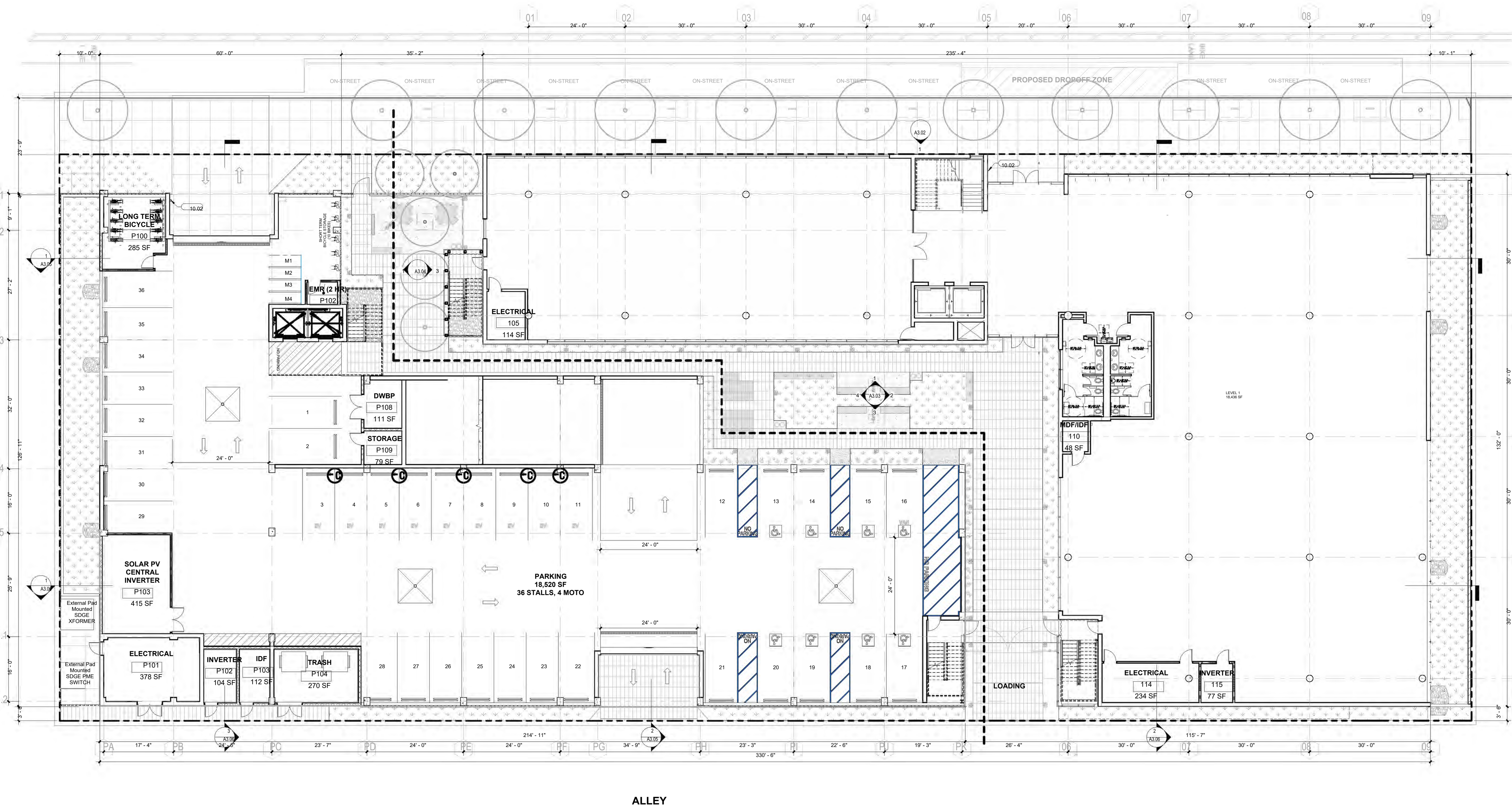
A1.10



1 - FLOOR - DEMO PLAN 1" = 10'-0" 1



NATIONAL AVENUE



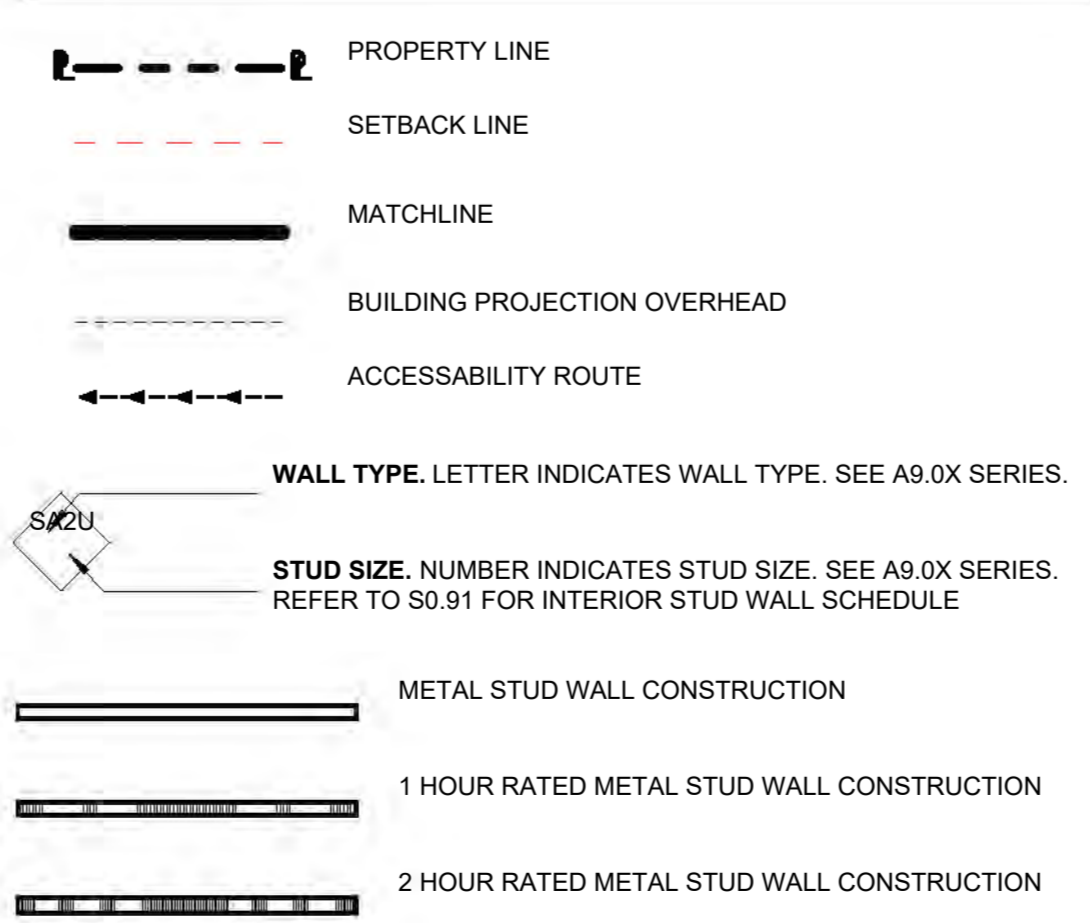
ALLEY

OVERALL PLAN - LEVEL 1 1/10' 1

**KEYNOTES**

NUMBER	TEXT
10.02	KNOX BOX - FLUSH MOUNTED

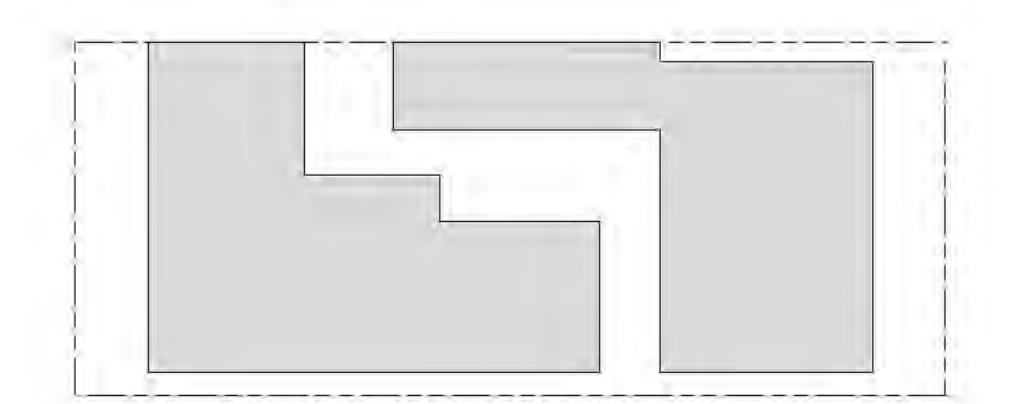
**FLOOR PLAN LEGEND**



**GENERAL NOTES**

- REFER TO 1A2.3XX SHEETS FOR INTERIOR INFORMATION
- REFER TO 2A SERIES FOR PARKING GARAGE INFORMATION
- DIMENSIONS:** ALL DIMENSIONS ARE TO FINISH FACE, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL), U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "CLR" DIMENSIONS MUST BE MAINTAINED
- DOOR LOCATIONS:** ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
- PENETRATIONS:** PENETRATIONS THROUGH FIRE-RESISTIVE WALLS, FLOOR-CEILING, AND ROOF-CEILING SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 5-7 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED.

**KEYPLAN**



Date	Revision
07/12/2021	
03/31/2022	
11/02/2022	
09/26/2023	

Submittal	SDP-CDP-1ST-SUBMITTAL	07/12/2021
	SDP-CDP-2ND-SUBMITTAL	03/31/2022
	SDP-CDP-3RD-SUBMITTAL	11/02/2022
	SDP-CDP-4TH-SUBMITTAL	09/26/2023

Job Number	30768
Date Published	08/19/2022
Checked By	Checker
Scale	As indicated

OVERALL PLAN - LEVEL 1

NOT FOR REGULATORY APPROVAL,  
PERMITTING OR CONSTRUCTION

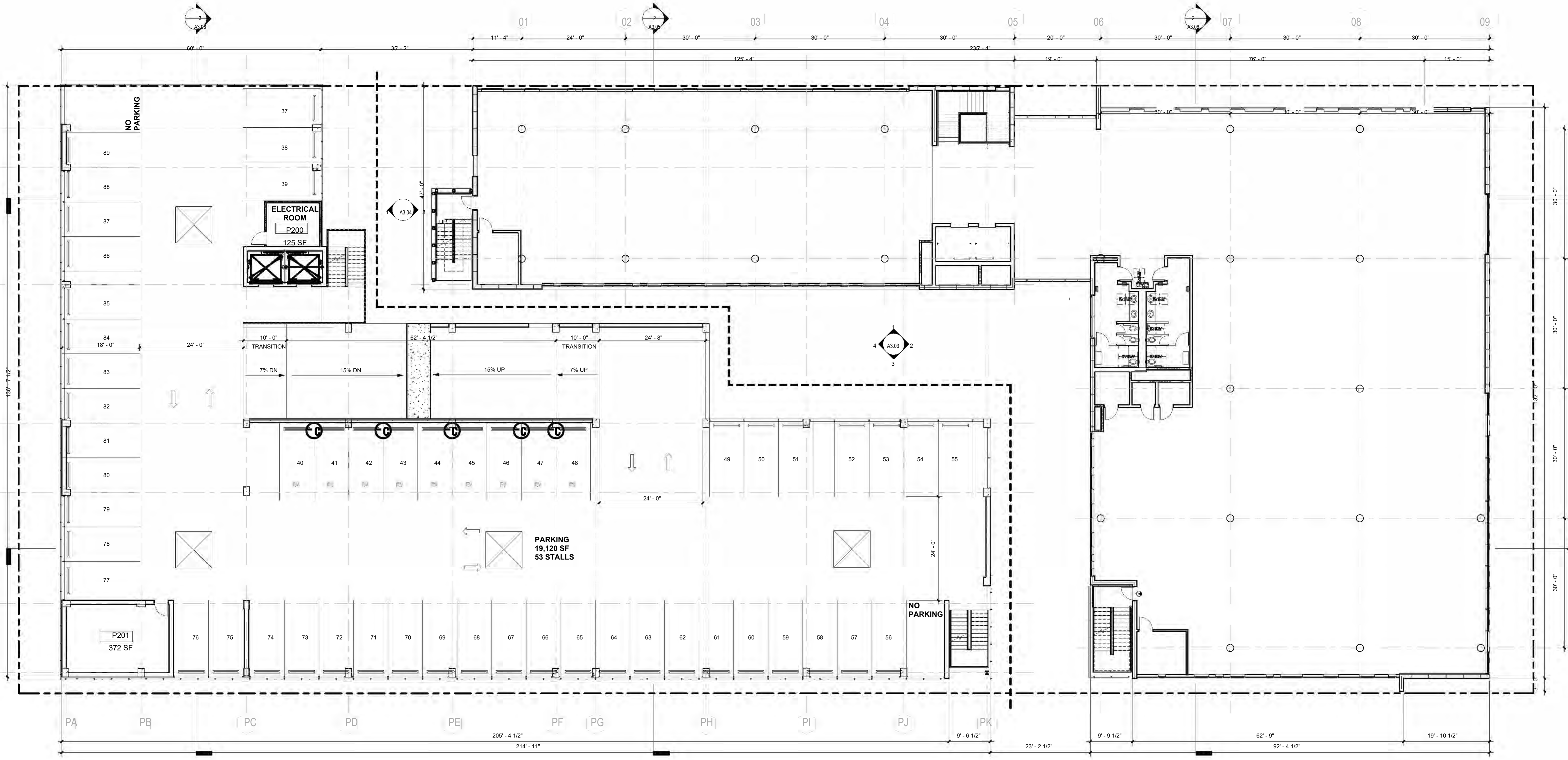
This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, are the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages, including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.

© LPA, Inc.

**FHCSD INTEGRATIVE MEDICINE AND WELLNESS CENTER**

1865 NATIONAL AVENUE,  
SAN DIEGO CA, 92113

Developed for  
FAMILY HEALTH CENTER SAN DIEGO



OVERALL PLAN - LEVEL 2 1/10"=1'-0" 1

**KEYNOTES**

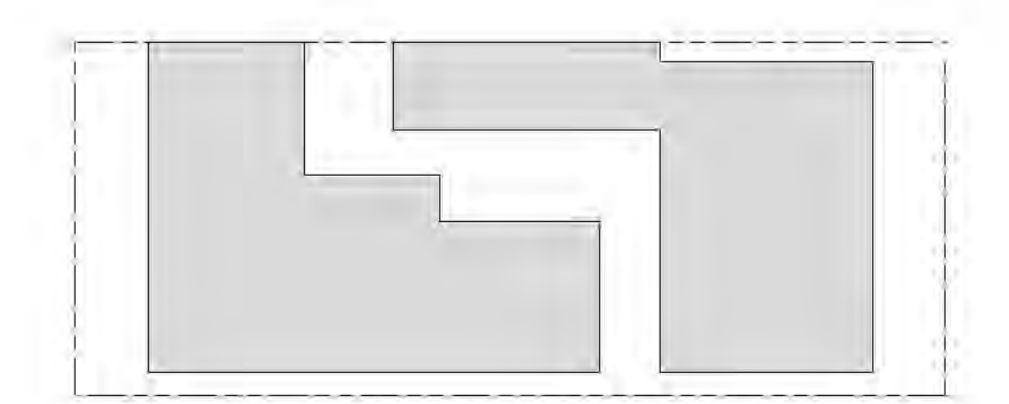
**FLOOR PLAN LEGEND**

**GENERAL NOTES**

**KEYPLAN**

- PROPERTY LINE
- SETBACK LINE
- MATCHLINE
- BUILDING PROJECTION OVERHEAD
- ACCESSIBILITY ROUTE
- WALL TYPE. LETTER INDICATES WALL TYPE. SEE A9.0X SERIES.
- STUD SIZE. NUMBER INDICATES STUD SIZE. SEE A9.0X SERIES. REFER TO S0.91 FOR INTERIOR STUD WALL SCHEDULE.
- METAL STUD WALL CONSTRUCTION
- 1 HOUR RATED METAL STUD WALL CONSTRUCTION
- 2 HOUR RATED METAL STUD WALL CONSTRUCTION

1. REFER TO 1A2.3XX SHEETS FOR INTERIOR INFORMATION
2. REFER TO 2A SERIES FOR PARKING GARAGE INFORMATION
3. DIMENSIONS: ALL DIMENSIONS ARE TO FINISH FACE, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL), U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "CLR" DIMENSIONS MUST BE MAINTAINED.
4. DOOR LOCATIONS: ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
5. PENETRATIONS: PENETRATIONS THROUGH FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 5-7 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED.



Date	Revision
07/12/2021	
03/31/2022	
11/02/2022	
09/26/2023	

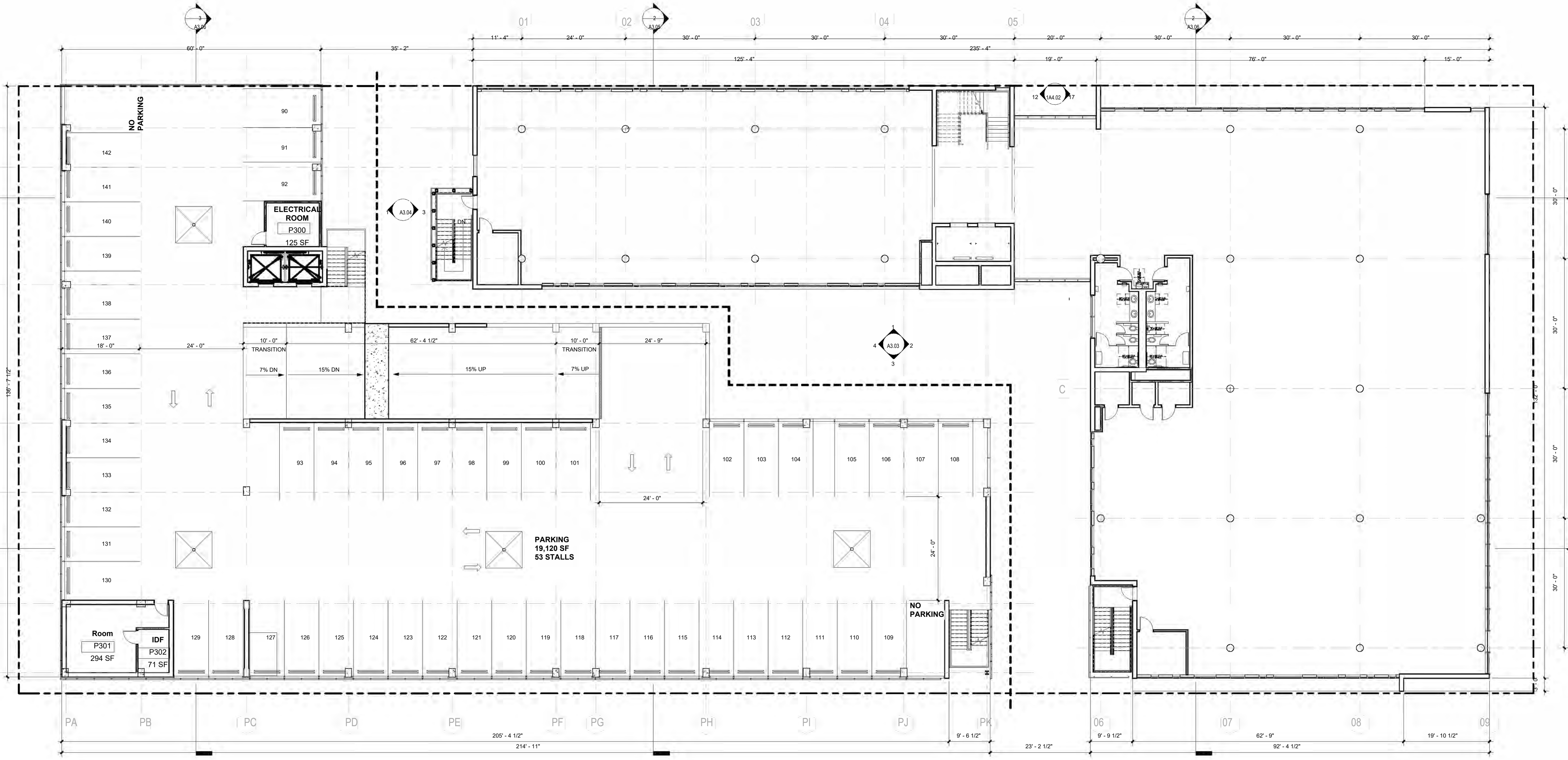
  

Submittal	SDP-CDP-1ST-SUBMITTAL	07/12/2021
	SDP-CDP-2ND-SUBMITTAL	03/31/2022
	SDP-CDP-3RD-SUBMITTAL	11/02/2022
	SDP-CDP-4TH-SUBMITTAL	09/26/2023

Job Number	30768
Date Published	08/19/2022
Checked By	Checker
Scale	As indicated

OVERALL PLAN - LEVEL 2



OVERALL PLAN - LEVEL 3 1/10=0 1

**KEYNOTES**

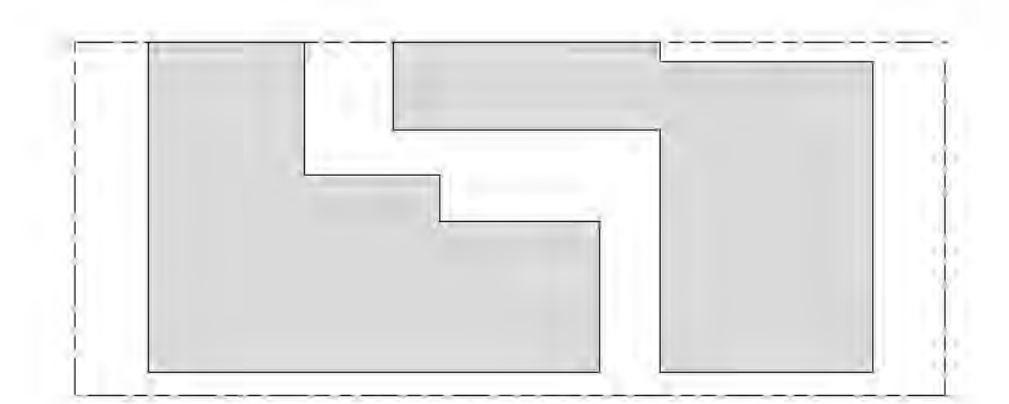
**FLOOR PLAN LEGEND**

**GENERAL NOTES**

**KEYPLAN**

- PROPERTY LINE
- SETBACK LINE
- MATCHLINE
- BUILDING PROJECTION OVERHEAD
- ACCESSIBILITY ROUTE
- WALL TYPE.** LETTER INDICATES WALL TYPE. SEE A9.0X SERIES.
- STUD SIZE.** NUMBER INDICATES STUD SIZE. SEE A9.0X SERIES. REFER TO S0.91 FOR INTERIOR STUD WALL SCHEDULE
- METAL STUD WALL CONSTRUCTION
- 1 HOUR RATED METAL STUD WALL CONSTRUCTION
- 2 HOUR RATED METAL STUD WALL CONSTRUCTION

1. REFER TO 1A2.3XX SHEETS FOR INTERIOR INFORMATION
2. REFER TO 2A SERIES FOR PARKING GARAGE INFORMATION
3. **DIMENSIONS:** ALL DIMENSIONS ARE TO FINISH FACE, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL), U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "CLR" DIMENSIONS MUST BE MAINTAINED
4. **DOOR LOCATIONS:** ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
5. **PENETRATIONS:** PENETRATIONS THROUGH FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 5-7 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED.



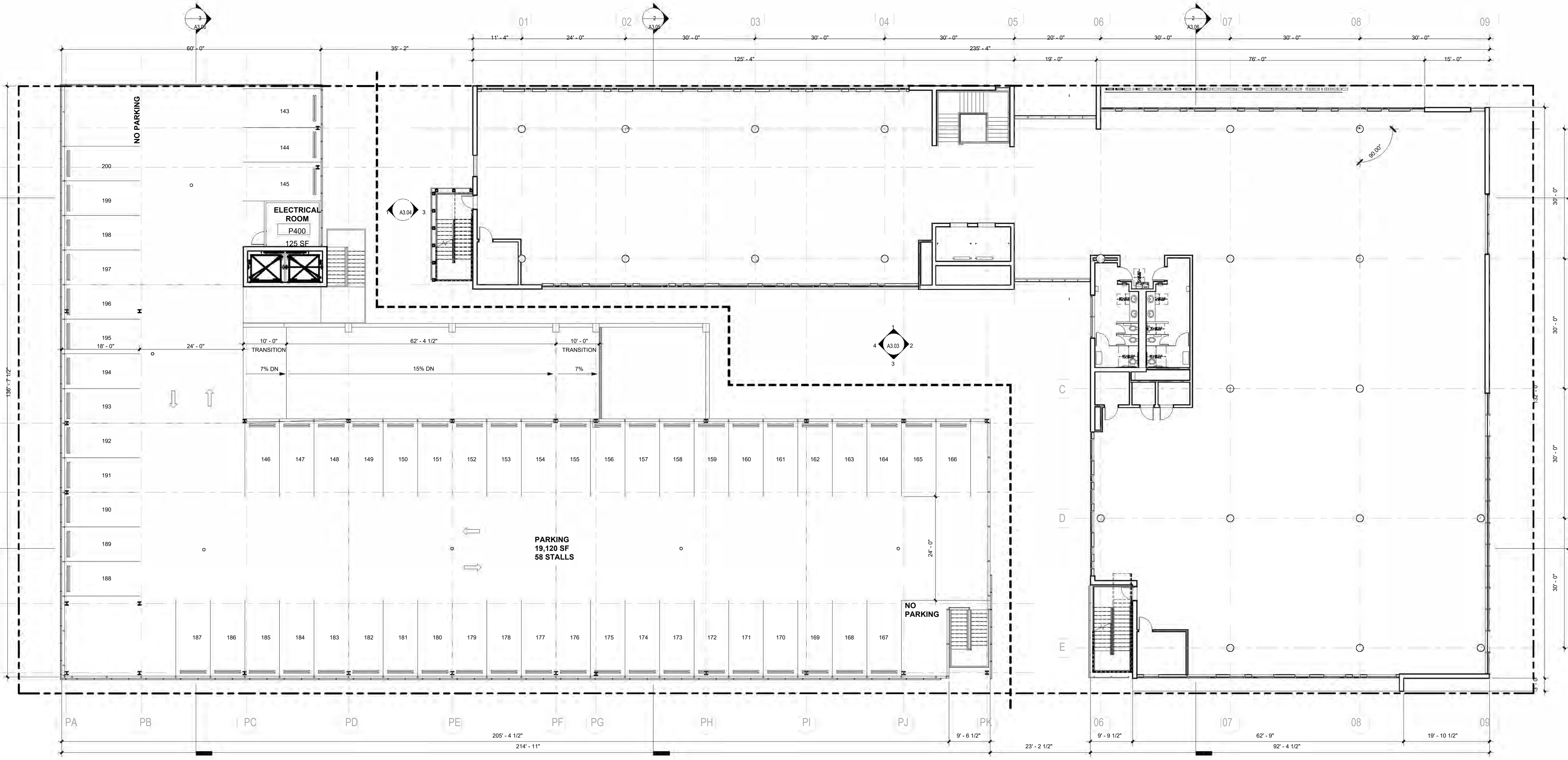
Date	Revision
07/12/2021	
03/31/2022	
11/02/2022	
09/26/2023	

Submittal	SDP-CDP-1ST-SUBMITTAL	07/12/2021
	SDP-CDP-2ND-SUBMITTAL	03/31/2022
	SDP-CDP-3RD-SUBMITTAL	11/02/2022
	SDP-CDP-4TH-SUBMITTAL	09/26/2023

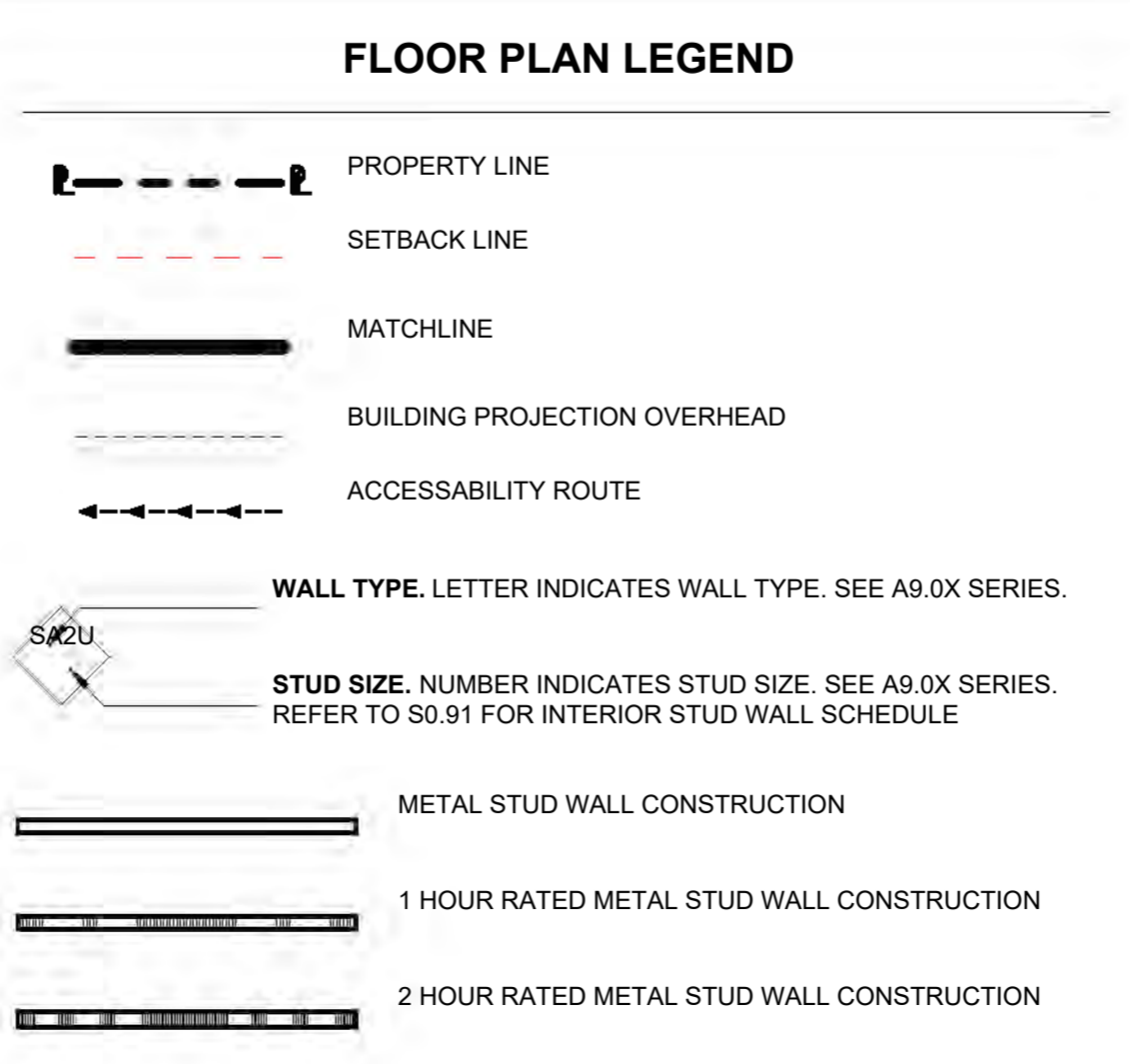
  

Job Number	36768
Date Published	08/19/2022
Checked By	Checker
Scale	As indicated



OVERALL PLAN - LEVEL 4 1/10' 1

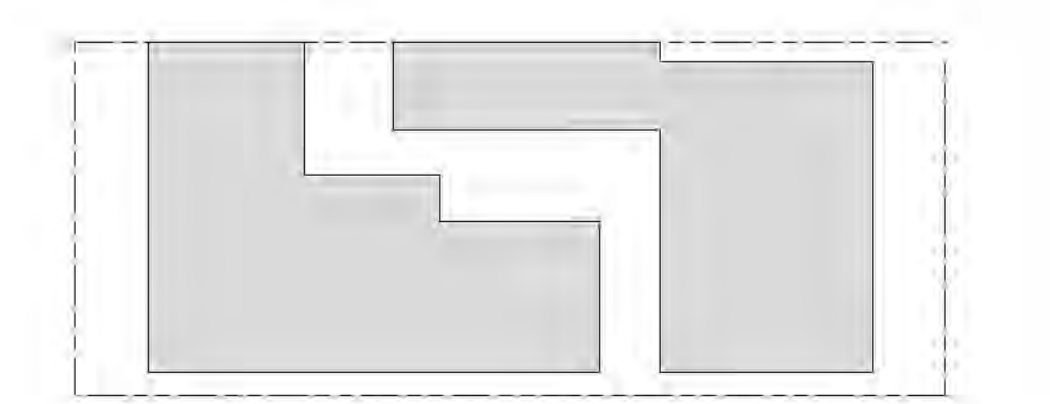
**KEYNOTES**



**GENERAL NOTES**

- REFER TO 1A2.3XX SHEETS FOR INTERIOR INFORMATION
- REFER TO 2A SERIES FOR PARKING GARAGE INFORMATION
- DIMENSIONS:** ALL DIMENSIONS ARE TO FINISH FACE, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL), U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "CLR" DIMENSIONS MUST BE MAINTAINED
- DOOR LOCATIONS:** ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
- PENETRATIONS:** PENETRATIONS THROUGH FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 5-7 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED.

**KEYPLAN**



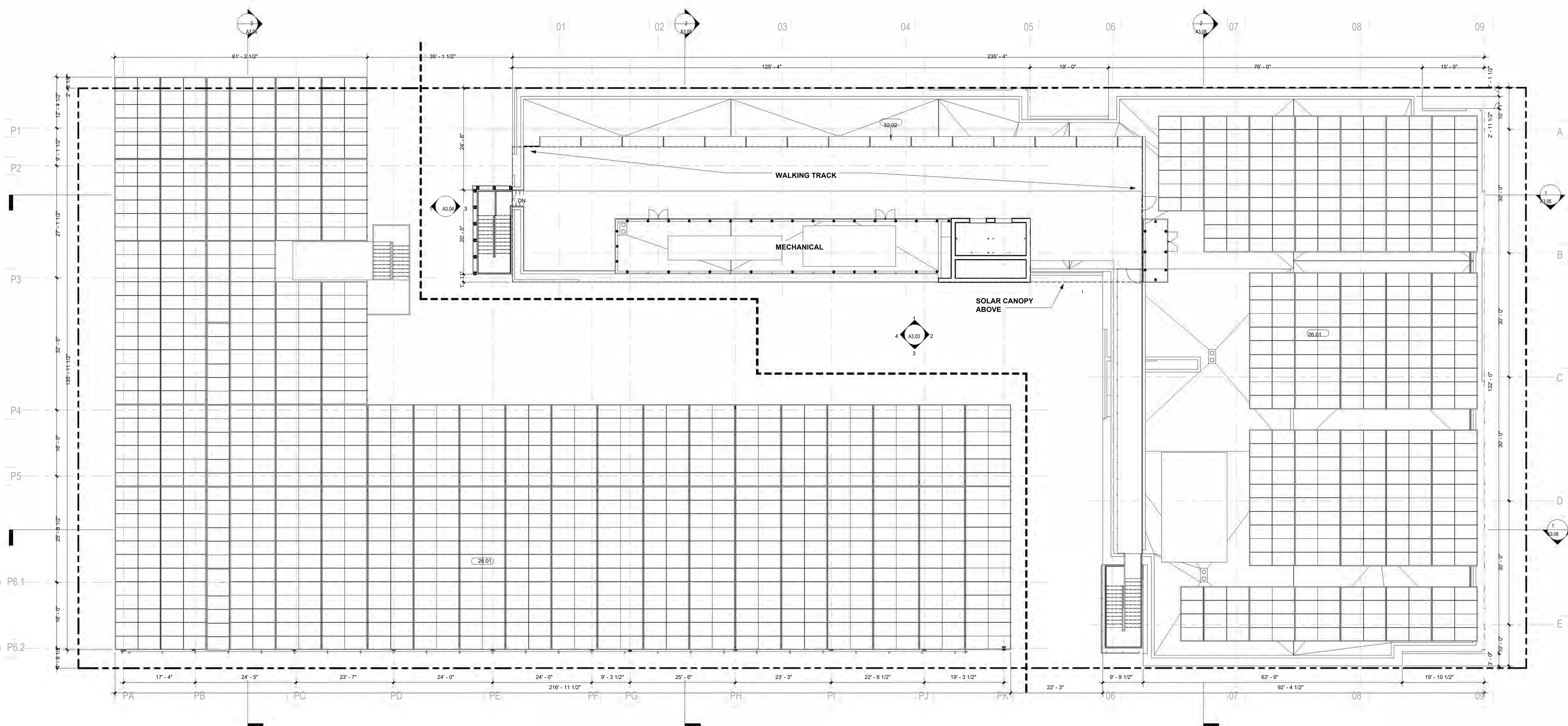
Date	Revision
07/12/2021	
03/31/2022	
11/02/2022	
09/26/2023	

Submittal	SDP-CDP-1ST-SUBMITTAL	07/12/2021
	SDP-CDP-2ND-SUBMITTAL	03/31/2022
	SDP-CDP-3RD-SUBMITTAL	11/02/2022
	SDP-CDP-4TH-SUBMITTAL	09/26/2023

Job Number	30768
Date Published	08/19/2022
Checked By	Checker
Scale	As indicated



OVERALL ROOF PLAN 1

**KEYNOTES**

NUMBER	TEXT
26.01	FUTURE SOLAR PANEL SYSTEM. SEE DEFERRED SUBMITTAL ON SHEET GR-20 - GENERAL INFORMATION
32.02	RAISED PLANTERS - REFER TO LANDSCAPE DETAILS

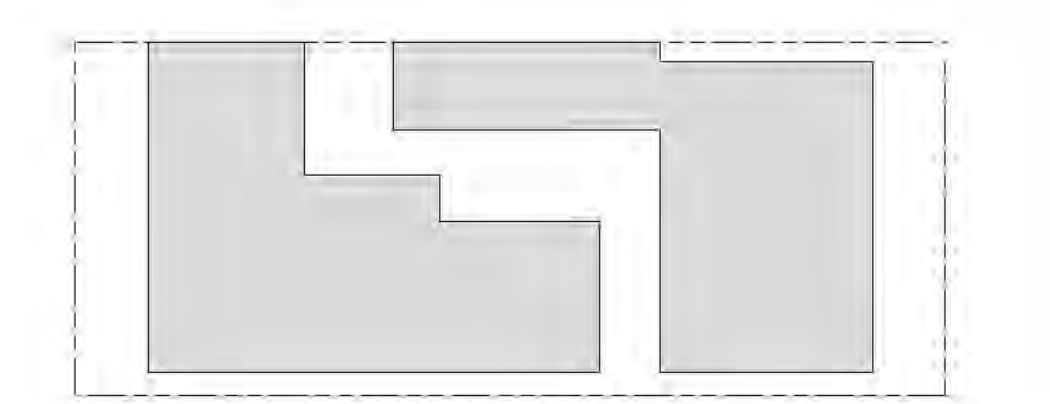
**FLOOR PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- MATCHLINE
- BUILDING PROJECTION OVERHEAD
- ACCESSIBILITY ROUTE
- WALL TYPE.** LETTER INDICATES WALL TYPE. SEE A9.0X SERIES.
- STUD SIZE.** NUMBER INDICATES STUD SIZE. SEE A9.0X SERIES. REFER TO S0.91 FOR INTERIOR STUD WALL SCHEDULE
- METAL STUD WALL CONSTRUCTION
- 1 HOUR RATED METAL STUD WALL CONSTRUCTION
- 2 HOUR RATED METAL STUD WALL CONSTRUCTION

**GENERAL NOTES**

1. REFER TO 1A2.3XX SHEETS FOR INTERIOR INFORMATION
2. REFER TO 2A SERIES FOR PARKING GARAGE INFORMATION
3. **DIMENSIONS:** ALL DIMENSIONS ARE TO FINISH FACE, COLUMN GRID LINES, OR FACE OF CONCRETE AND CMU WALLS (NOMINAL). U.O.N. WINDOW AND DOOR LOCATIONS ARE DIMENSIONED TO ROUGH OPENING. ALL "CLR" DIMENSIONS MUST BE MAINTAINED
4. **DOOR LOCATIONS:** ALL DOORS, HINGE SIDE, SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL, U.O.N.
5. **PENETRATIONS:** PENETRATIONS THROUGH FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH UBC STANDARD 5-7 AND SHALL HAVE AN F RATING (AND A T RATING AT FLOORS ONLY) OF NOT LESS THAN THE REQUIRED RATING OF THE WALL OR FLOOR PENETRATED.

**KEYPLAN**



Revision	Date
1	08/19/2022

Submission	Date
SDP-CDP-1ST-SUBMITTAL	07/12/2021
SDP-CDP-2ND-SUBMITTAL	03/31/2022
SDP-CDP-3RD-SUBMITTAL	11/02/2022
SDP-CDP-4TH-SUBMITTAL	08/26/2023

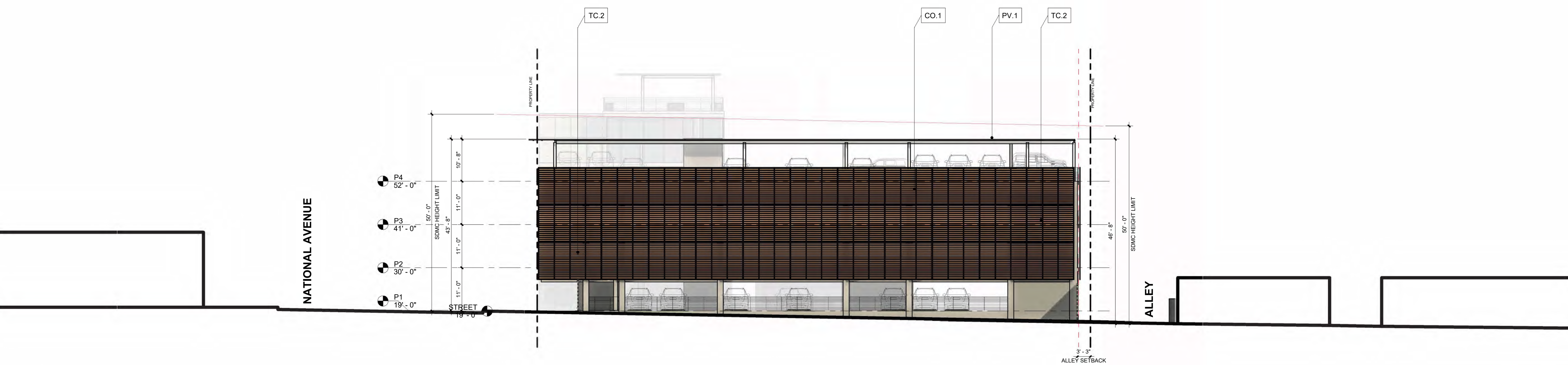
  

Job Number	30768
Date Published	08/19/2022
Checked By	Checker
Scale	As indicated

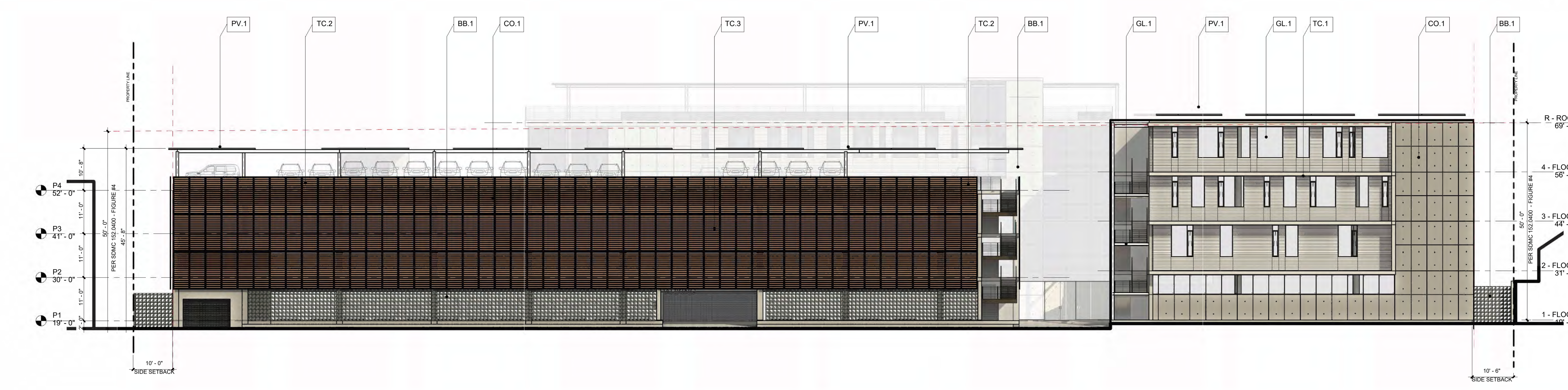
Revision	Date

Submission	Date
SOP-CDP - 1ST SUBMITTAL	12/22/2021
SOP-CDP - 2ND SUBMITTAL	04/07/2022
SOP-CDP - 3RD SUBMITTAL	11/22/2022
SOP-CDP - 4TH SUBMITTAL	06/26/2023

Job Number	3036810
Date Published	06/04/2021
Checked By	Checker
Scale	As indicated



EXT ELEVATION - EAST 3/32" = 1'-0" 1



EXT ELEVATION - NORTH 3/32" = 1'-0" 2

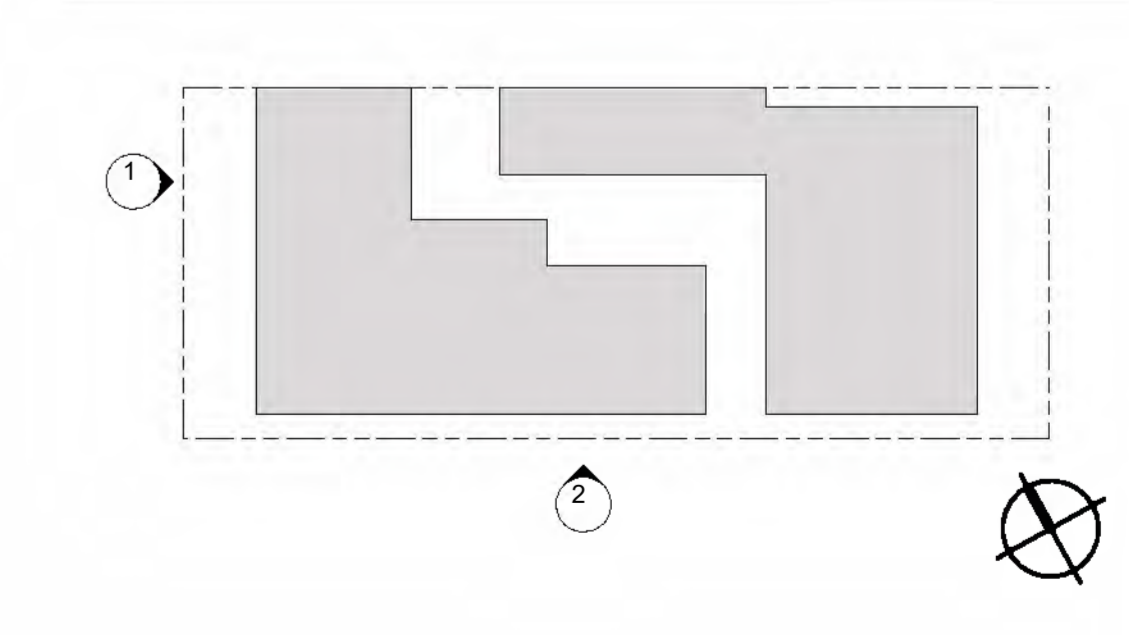
LEGEND

- PROPERTY LINE
- - - HEIGHT LIMIT PER SDMC 152.0400 - FIGURE #4

FINISH LEGEND

	<b>TC.1 - WHITE TERRACOTTA PANEL SYSTEM</b>		<b>TC.2 - TERRACOTTA BAGUETTE SCREEN SYSTEM</b>		<b>CO.1 - CONCRETE</b>		<b>GW.1 - GREEN WALL SCREENING SYSTEM</b>
	<b>BB.1 - TESSELLE CEMENT BREEZE BLOCK - PATTERN TBD</b>		<b>PV.1 - SOLAR PANEL AND STRUCTURE</b>		<b>GL.1 - UNITIZED GLAZING SYSTEM</b>		<b>CR.1 - CABLE RAILING</b>

KEYPLAN

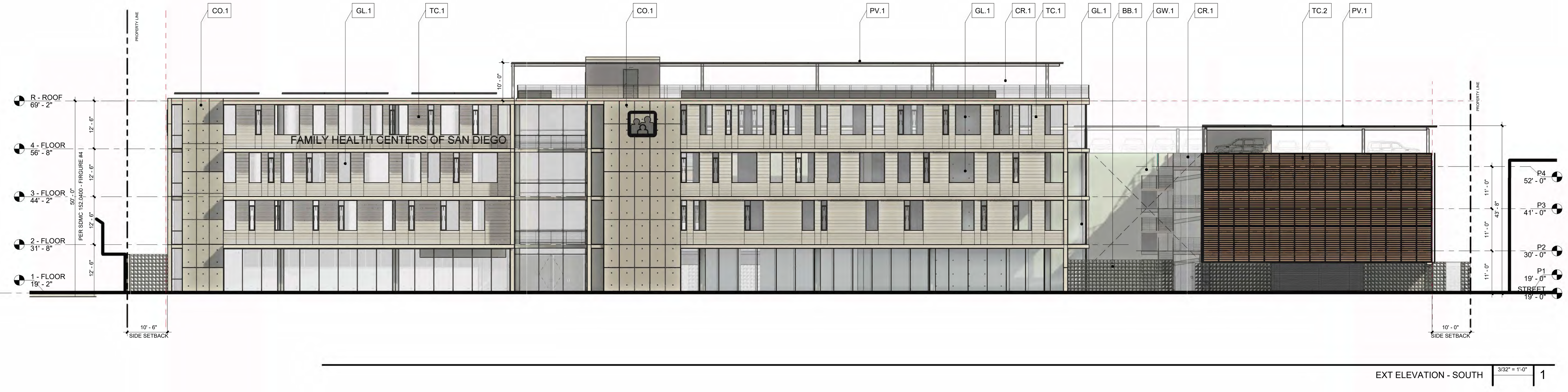




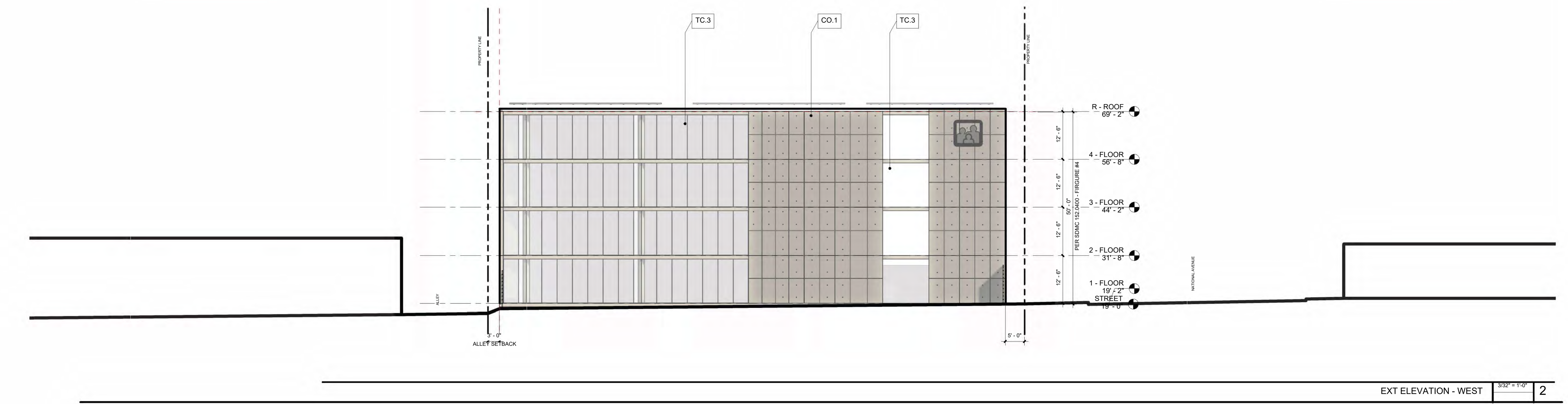
Revision	Date

Submital	Date
SOP-CDF-1ST SUBMITTAL	12/22/2021
SOP-CDF-2ND SUBMITTAL	04/07/2022
SOP-CDF-3RD SUBMITTAL	11/22/2022
SOP-CDF-4TH SUBMITTAL	09/26/2023

Job Number	3036810
Date Published	06/04/2021
Checked By	Checker
Scale	As indicated



EXT ELEVATION - SOUTH 3/32" = 1'-0" 1



EXT ELEVATION - WEST 3/32" = 1'-0" 2

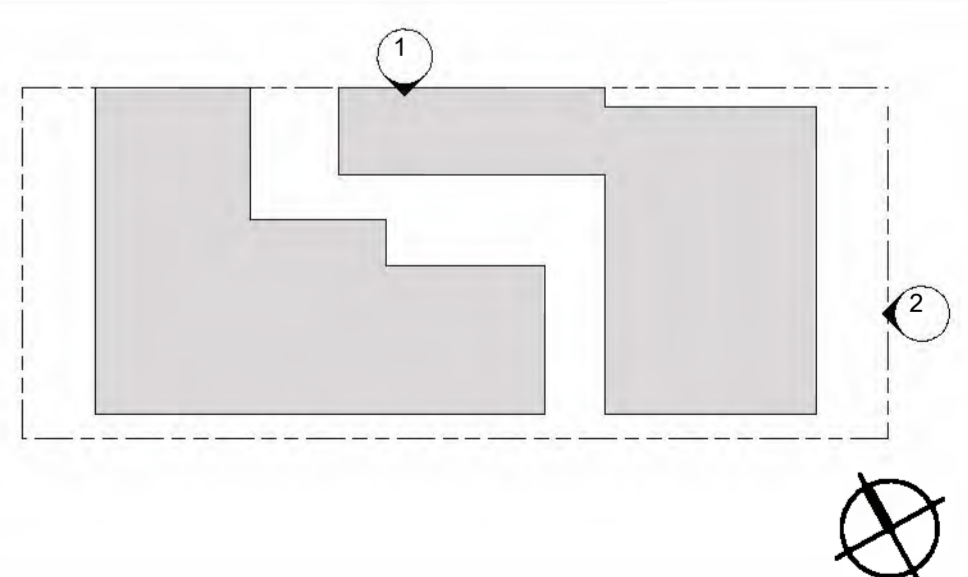
LEGEND

- PROPERTY LINE
- - - - HEIGHT LIMIT PER SDMC 152.0400 - FIGURE #4

FINISH LEGEND

 <b>TC.1 - WHITE TERRACOTTA PANEL SYSTEM</b>	 <b>TC.2 - TERRACOTTA BAGUETTE SCREEN SYSTEM</b>	 <b>CO.1 - CONCRETE</b>	 <b>GW.1 - GREEN WALL SCREENING SYSTEM</b>
 <b>BB.1 - TESSELLE CEMENT BREEZE BLOCK - PATTERN TBD</b>	 <b>PV.1 - SOLAR PANEL AND STRUCTURE</b>	 <b>GL.1 - UNITIZED GLAZING SYSTEM</b>	 <b>CR.1 - CABLE RAILING</b>

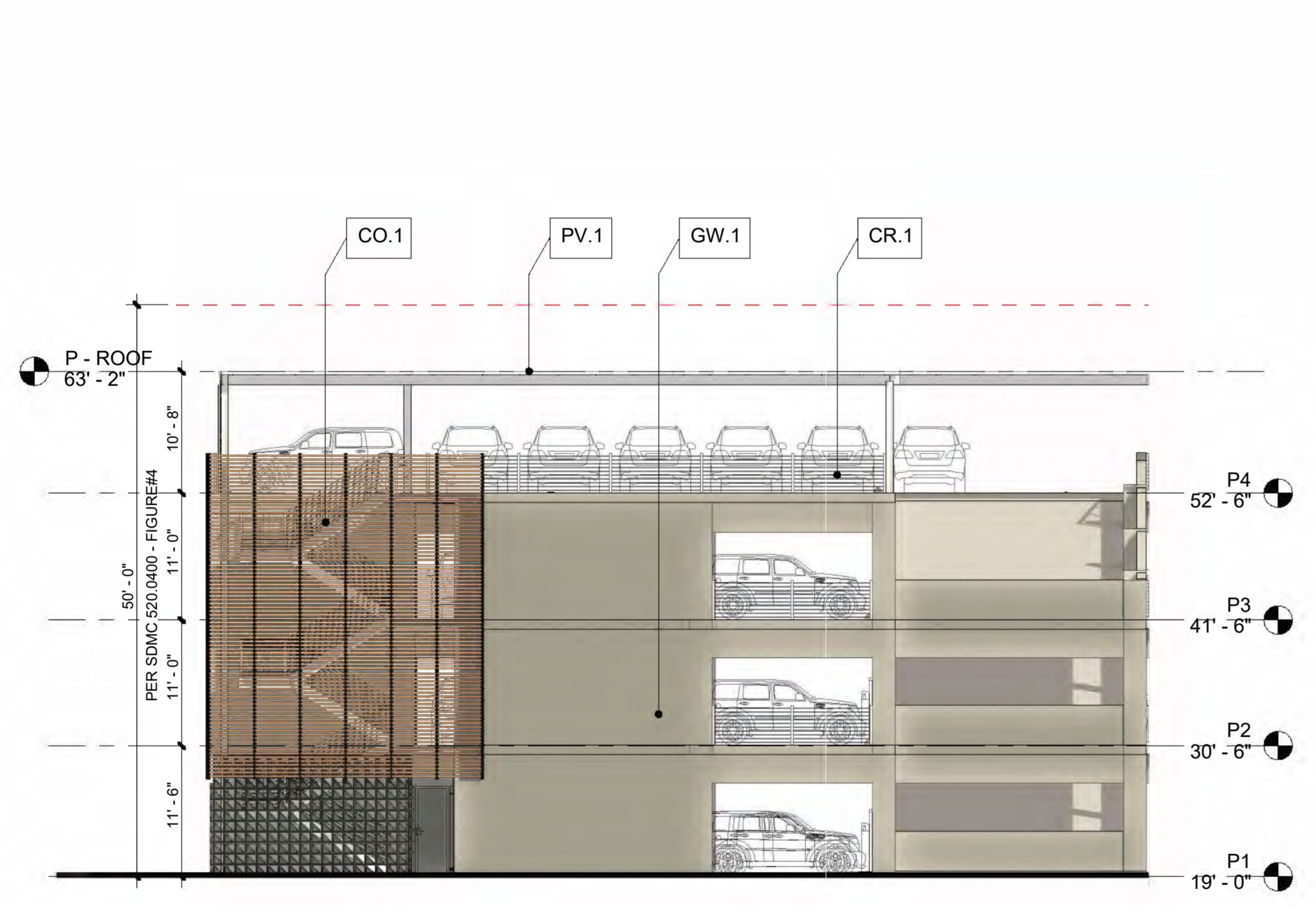
KEYPLAN



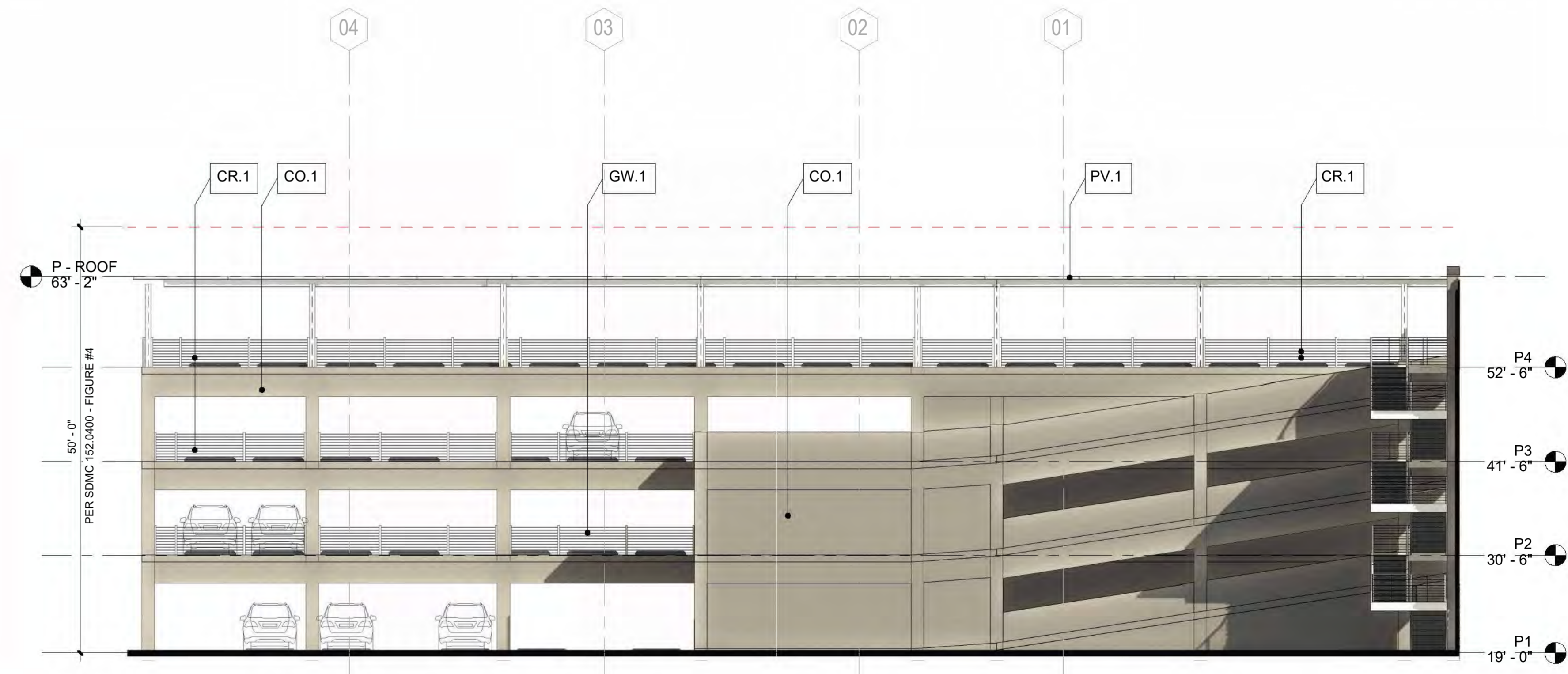


COURTYARD B-1 1/8" = 1'-0" 1

COURTYARD B-2 1/8" = 1'-0" 2



COURTYARD B-4 1" = 10'-0" 4



COURTYARD B-3 1" = 10'-0" 3

**FHCSD INTEGRATIVE MEDICINE AND WELLNESS CENTER**  
 1865 NATIONAL AVENUE,  
 SAN DIEGO CA, 92113  
 Developed for  
**FAMILY HEALTH CENTER SAN DIEGO**

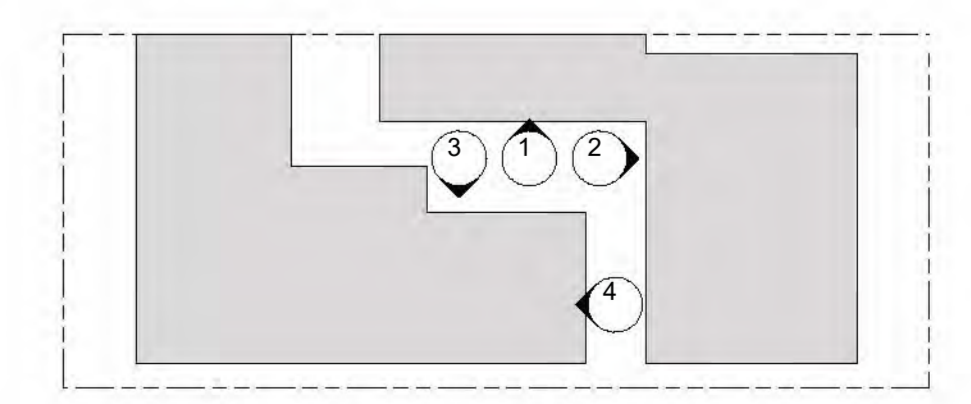
**LEGEND**

- PROPERTY LINE
- HEIGHT LIMIT PER SDMC 152.0400 - FIGURE #4

**KEYNOTES**

<b>TC.1 - WHITE TERRACOTTA PANEL SYSTEM</b>	<b>TC.2 - TERRACOTTA BAGUETTE SCREEN SYSTEM</b>	<b>CO.1 - CONCRETE</b>	<b>GW.1 - GREEN WALL SCREENING SYSTEM</b>
<b>BB.1 - TESSELATED CEMENT BREEZE BLOCK - PATTERN TBD</b>	<b>PV.1 - SOLAR PANEL AND STRUCTURE</b>	<b>GL.1 - UNITIZED GLAZING SYSTEM</b>	<b>CR.1 - CABLE RAILING</b>

**KEYPLAN**



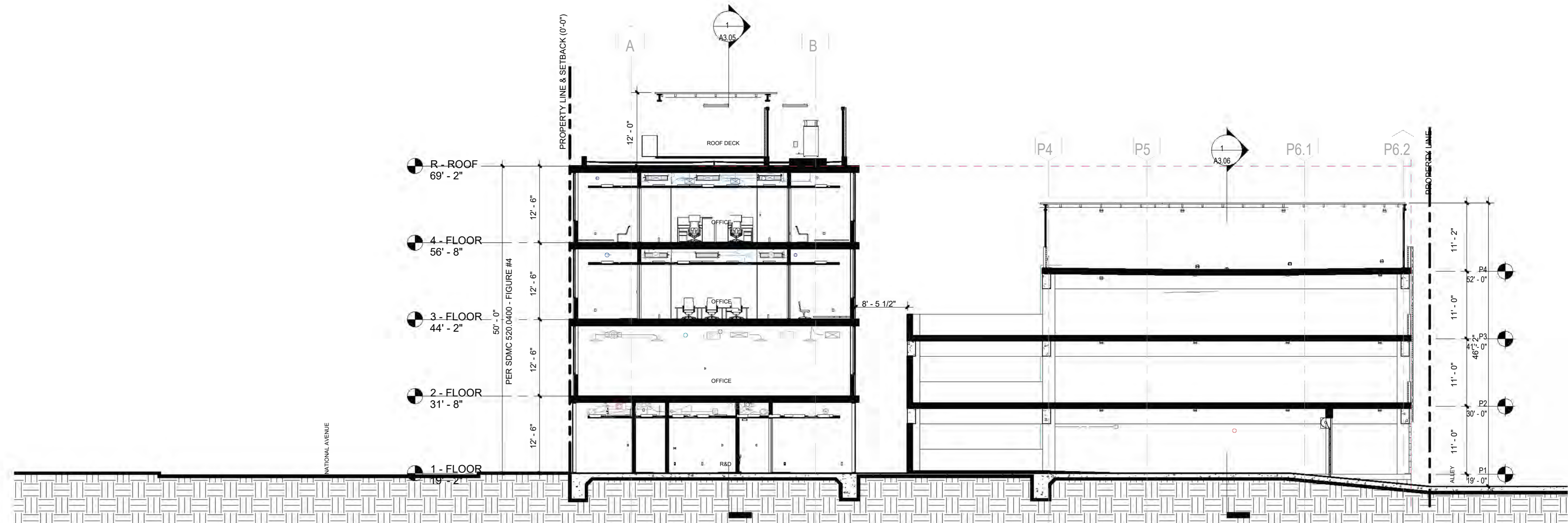
Revision	Date

Submittal	Date
SDP-CDF - 1ST SUBMITTAL	07/17/2021
SDP-CDF - 2ND SUBMITTAL	03/17/2022
SDP-CDF - 3RD SUBMITTAL	11/30/2022
SDP-CDF - 4TH SUBMITTAL	09/26/2023

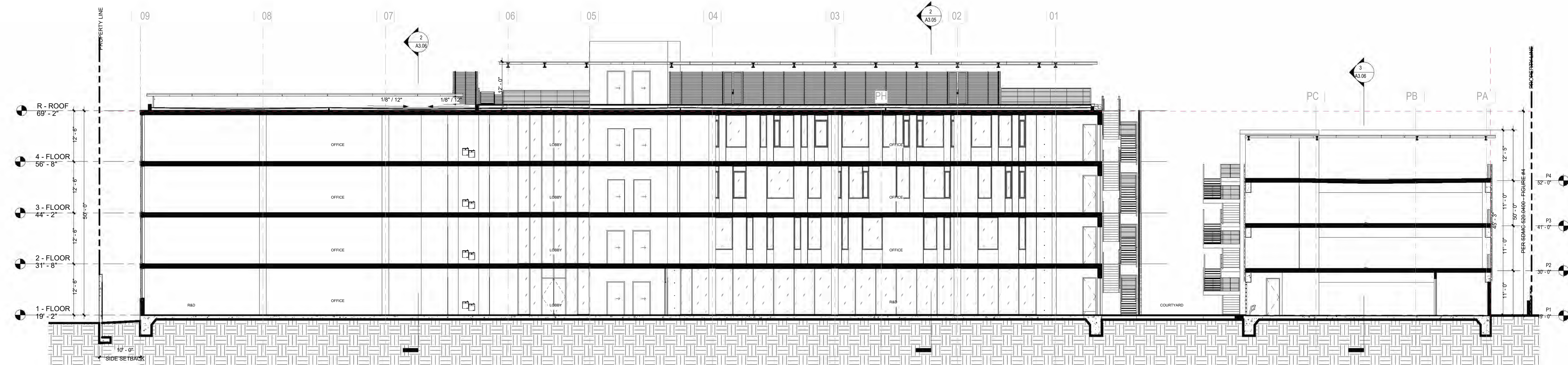
Job Number	30768
Date Published	08/19/2022
Checked By	Checker
Scale	As Indicated

**EXTERIOR ELEVATIONS - INTERNAL COURTYARD**



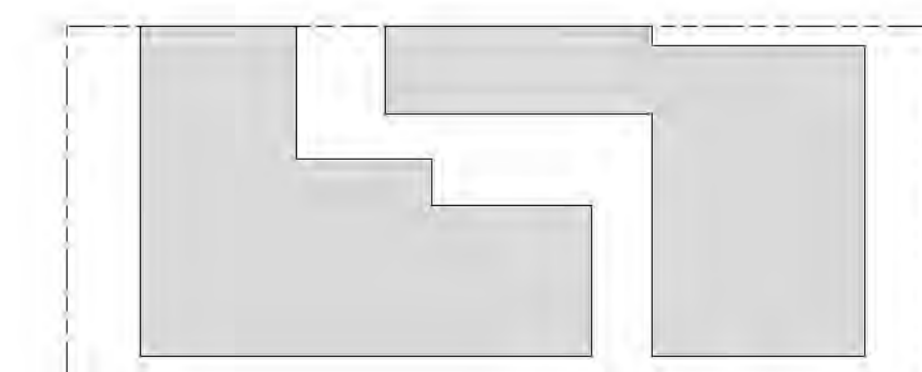


OVERALL NORTH - SOUTH SECTION Copy 1 1" = 10'-0" 2



OVERALL SECTION EAST - WEST 01 1" = 10'-0" 1

KEYPLAN



Date

Revision

Submittal	Date
SDP-CDP-1ST-SUBMITTAL	07/12/2021
SDP-CDP-2ND-SUBMITTAL	03/1/2022
SDP-CDP-3RD-SUBMITTAL	11/02/2022
SDP-CDP-4TH-SUBMITTAL	09/26/2023

Job Number 36768

Date Published 08/19/2022

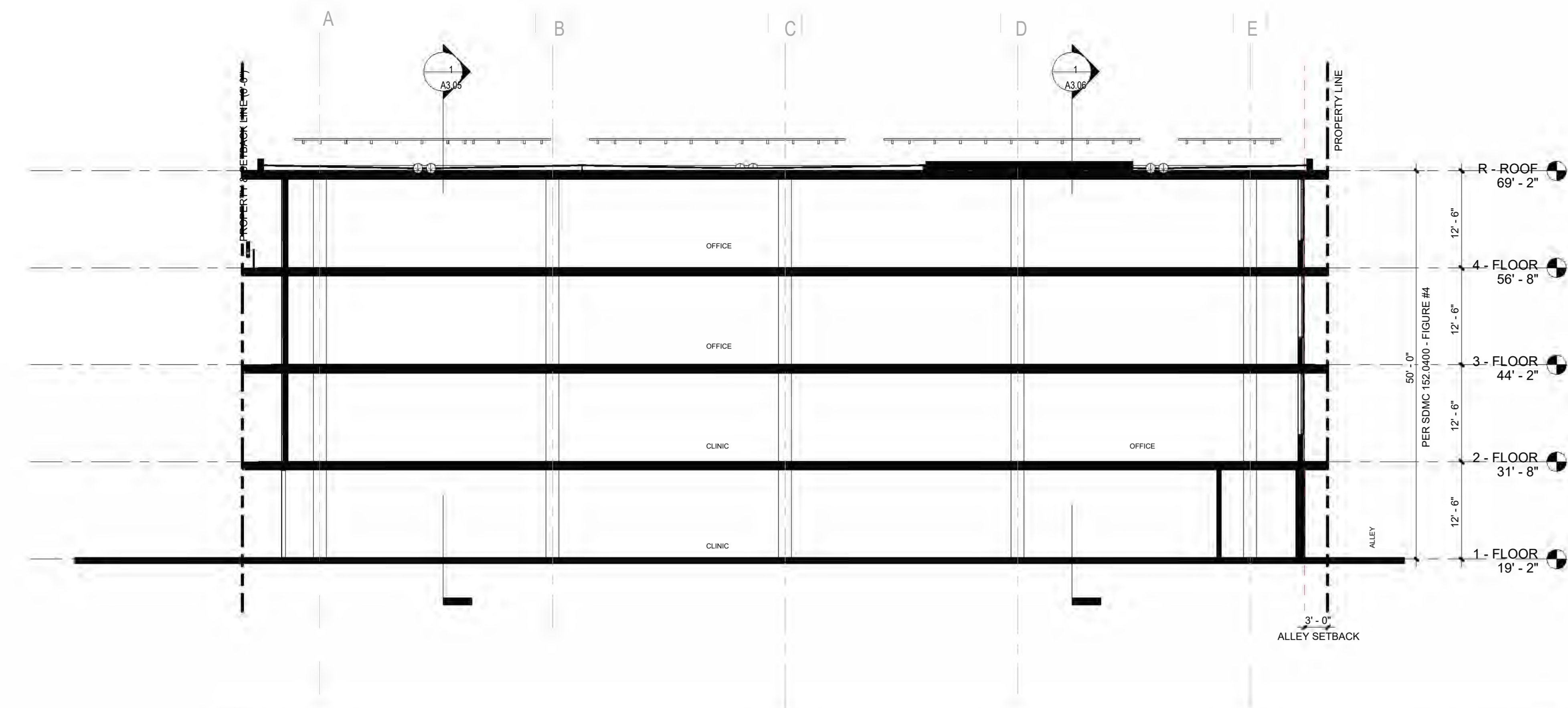
Checked By Checker

Scale As indicated

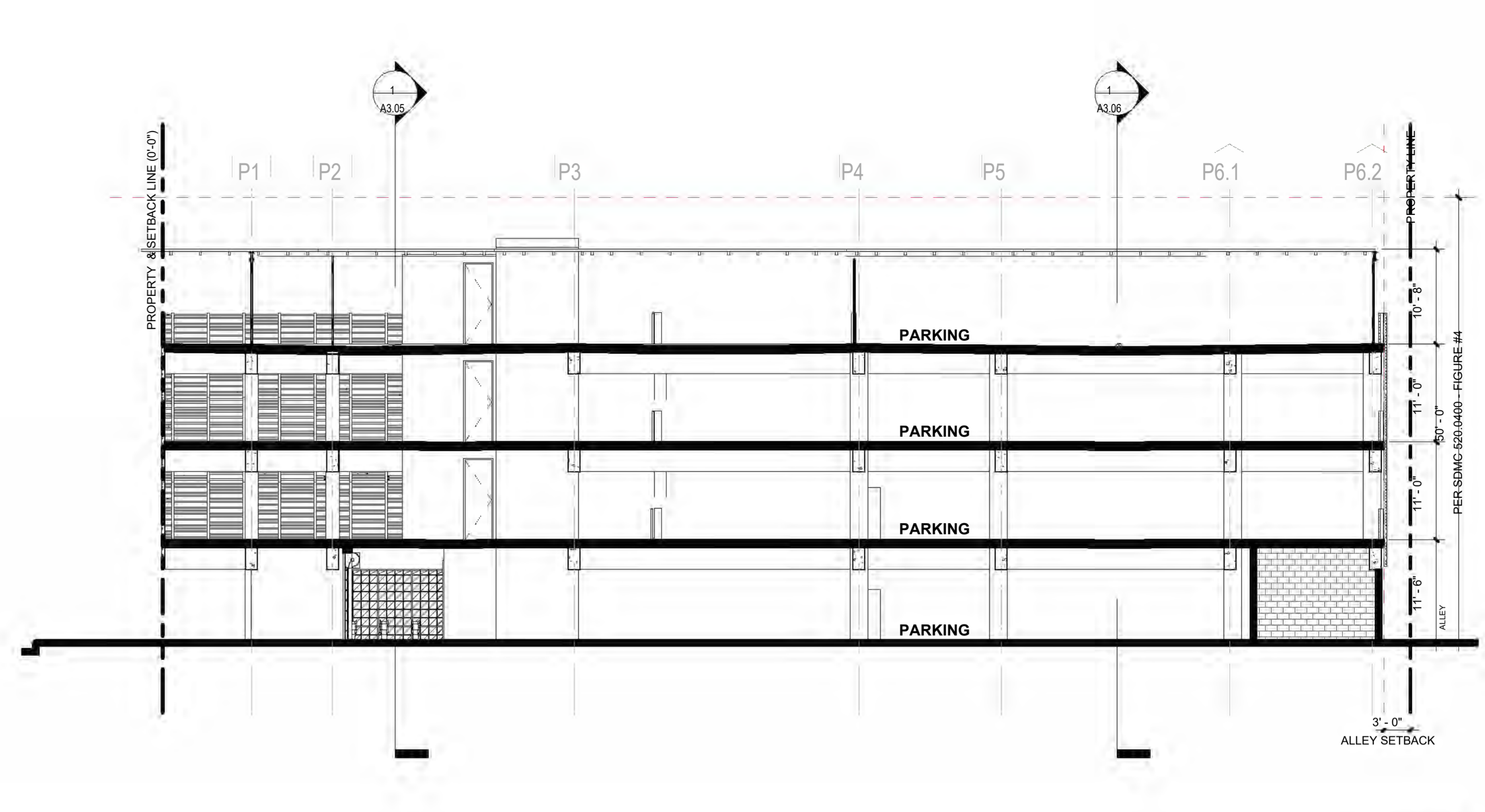
NOT FOR REGULATORY APPROVAL,  
PERMITTING OR CONSTRUCTION

This document and all other project documents, ideas, aesthetics and designs incorporated therein are instruments of service. All project documents are copyright protected, and the property of LPA, Inc. (LPA) and cannot be lawfully used in whole or in part for any project or purpose except as set forth in the contractual agreement between LPA and its Client. The unauthorized disclosure and/or use of the project documents (including the creation of derivative works), may give rise to liability for copyright infringement, unlawful disclosure, use or misappropriation of property rights held by LPA. The unauthorized use of the project documents will give rise to the recovery of monetary losses and damages, including attorney fees and costs for which the unauthorized user will be held liable. Project documents describe the design intent of the work and are not a representation of as-built or existing conditions. LPA is not responsible for any discrepancies between the project documents and the existing conditions.

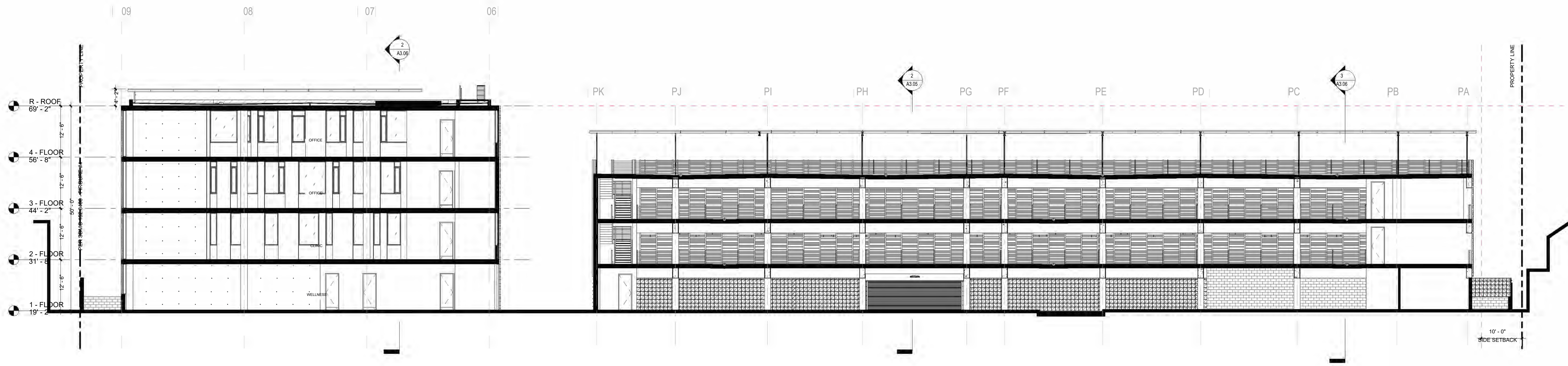
© LPA, Inc.



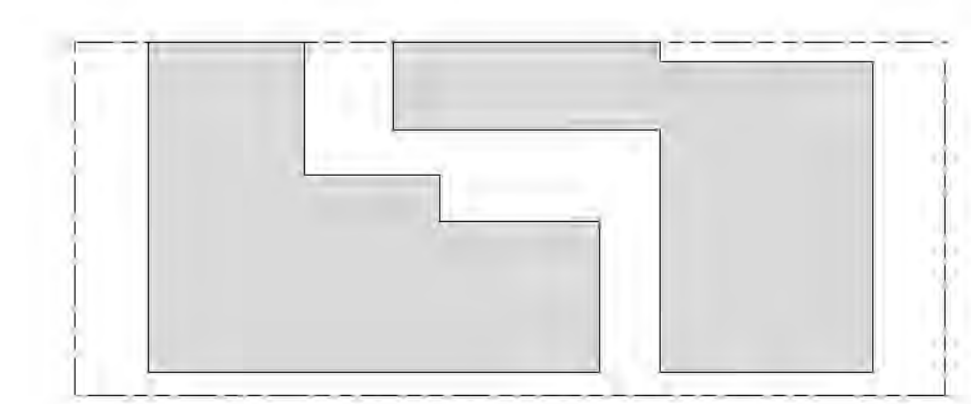
OVERALL BUILDING SECTION - NORTH - SOUTH 1" = 10'-0" 2



NORTH - SOUTH SECTION - PARKING Copy 1 1" = 10'-0" 3



OVERALL SITE SECTION - EAST - WEST 02 1" = 10'-0" 1



**FHCSD INTEGRATIVE MEDICINE AND WELLNESS CENTER**  
1865 NATIONAL AVENUE,  
SAN DIEGO CA, 92113  
Developed for  
**FAMILY HEALTH CENTER SAN DIEGO**

Revision	Date
1	07/12/2021
2	03/1/2022
3	11/02/2022
4	09/26/2023

Job Number: 36768  
Date Published: 08/19/2022  
Checked By: Checker  
Scale: 1" = 10'-0"