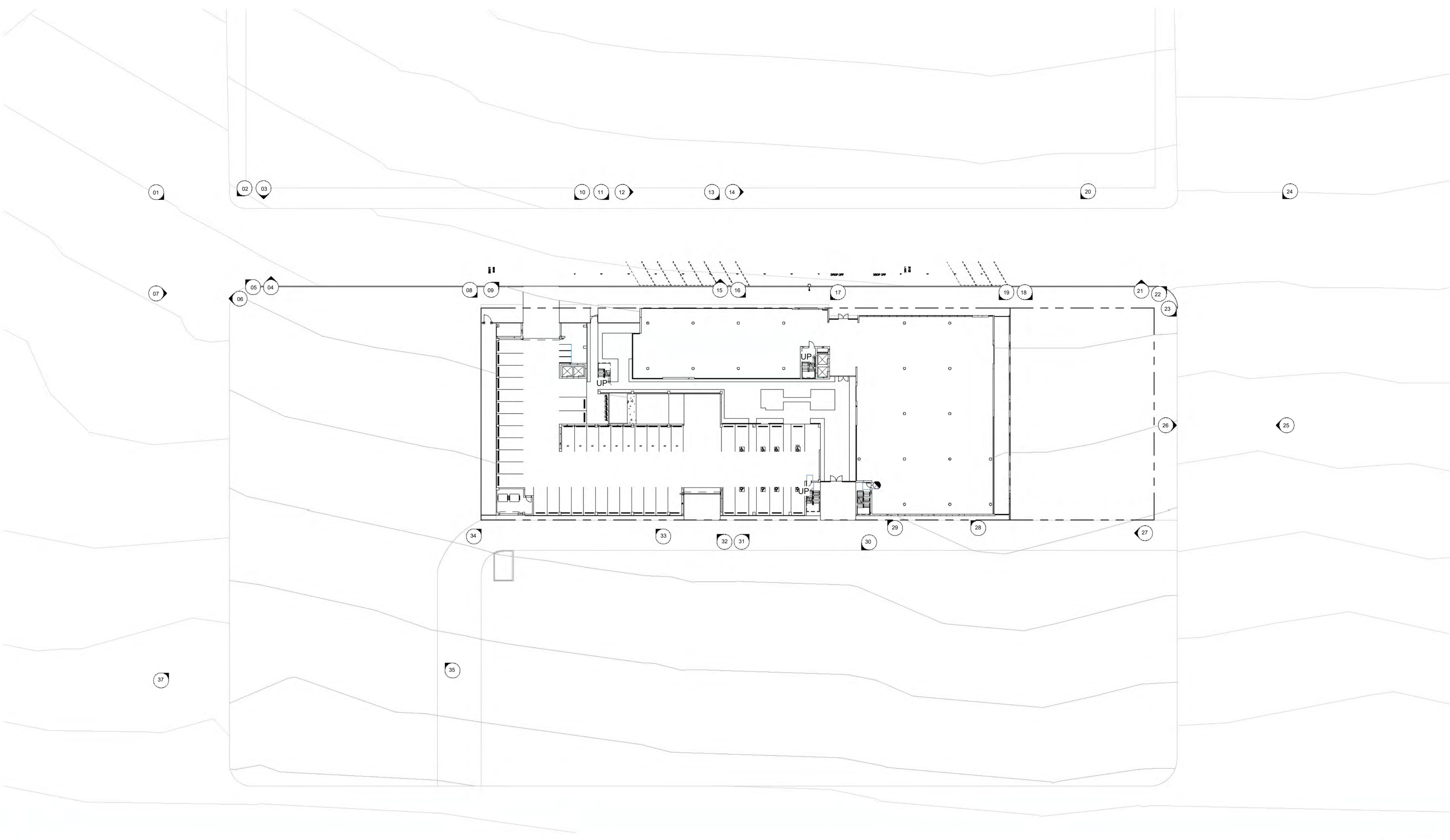
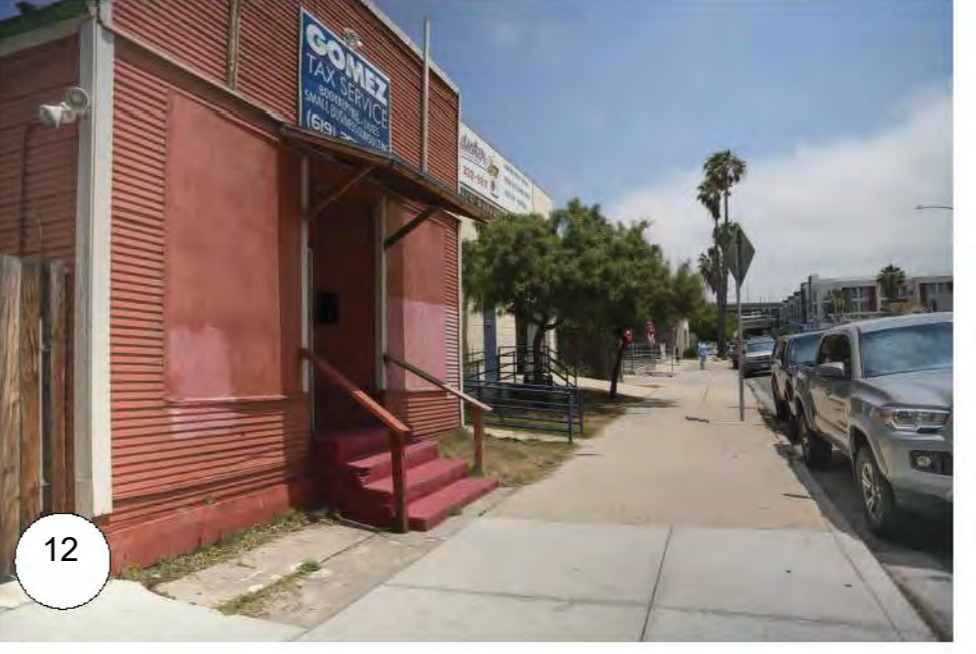
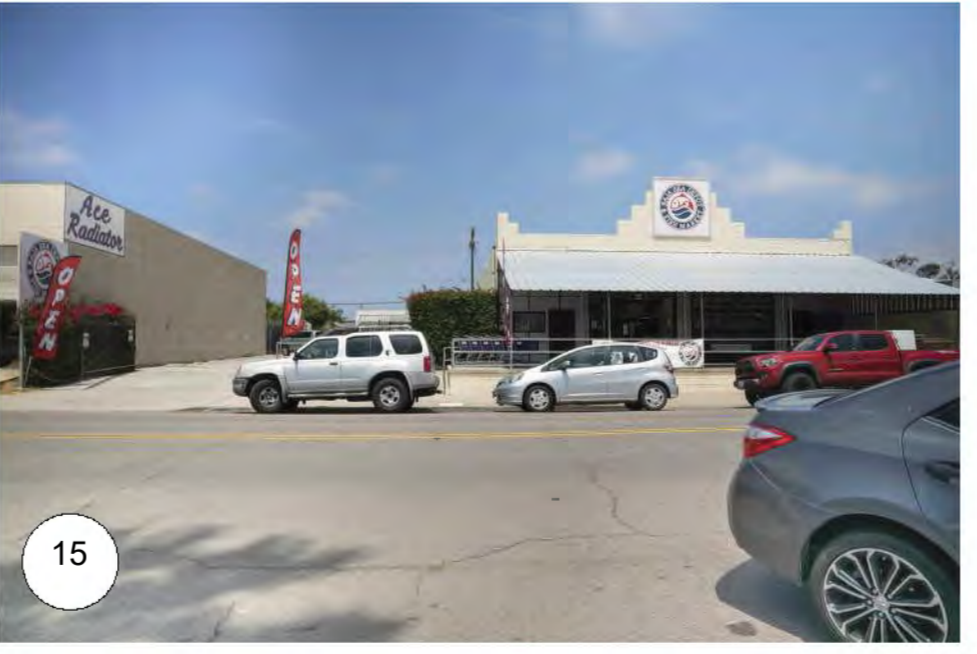
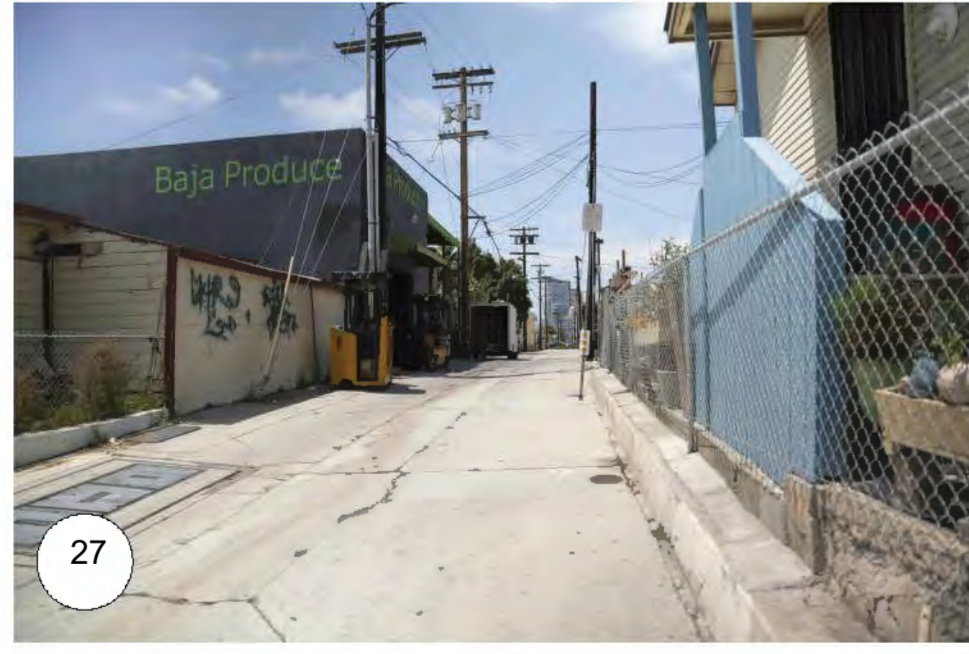
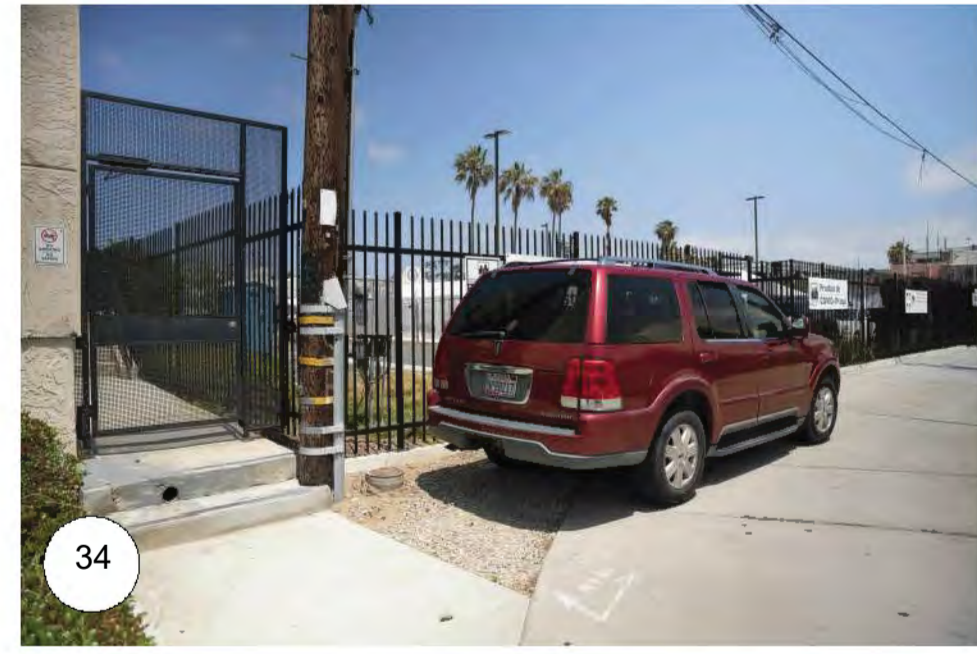
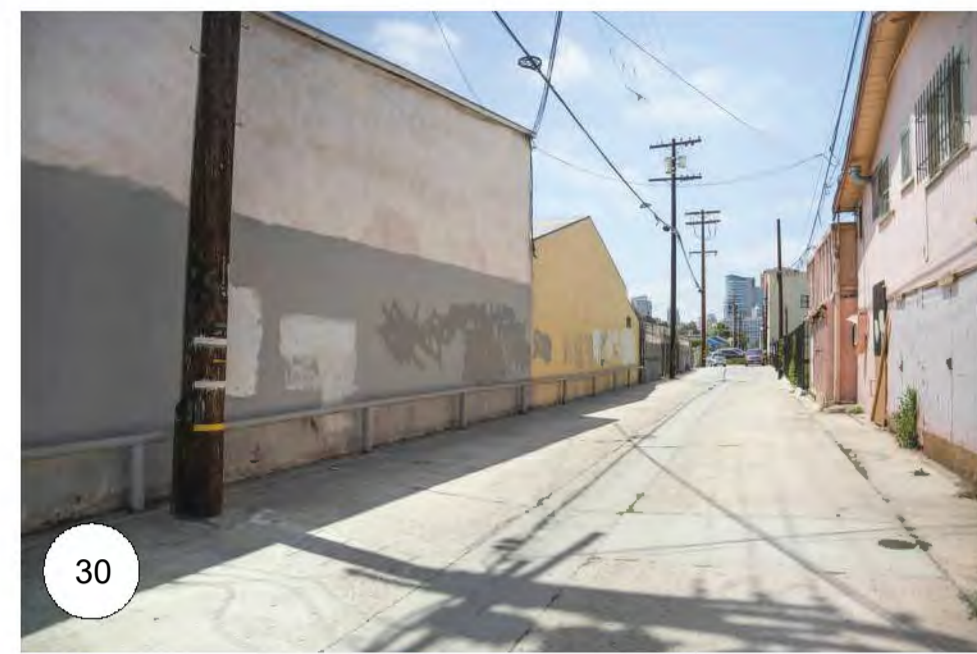
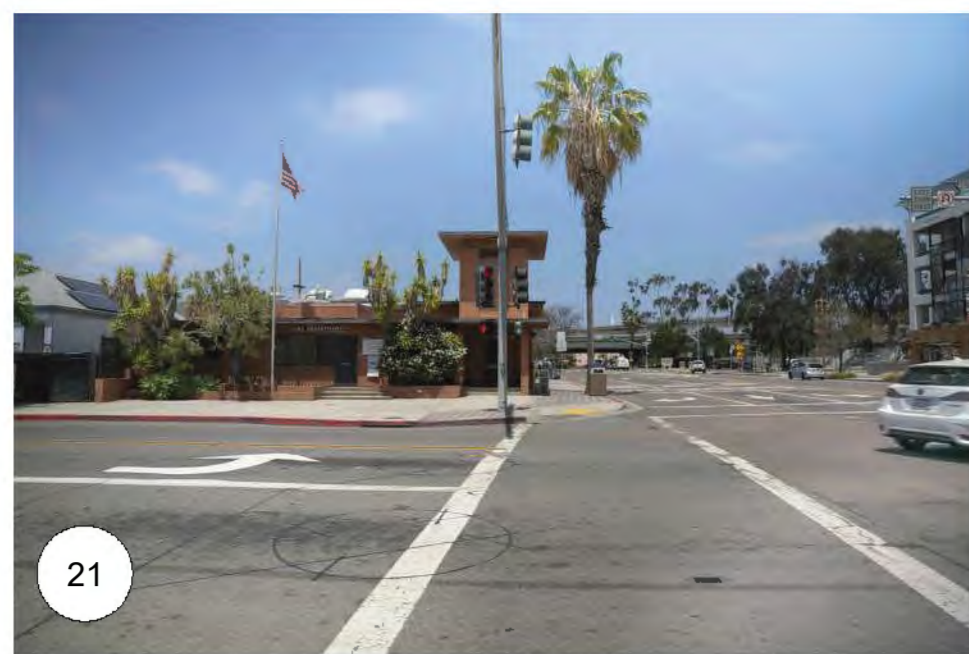
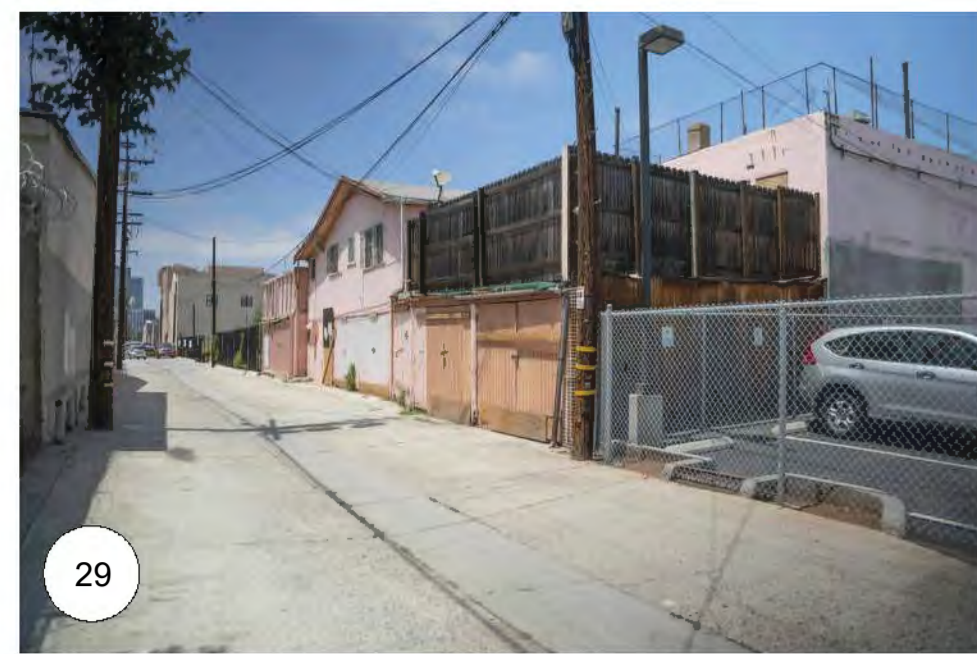


FHCSD - WELLNESS AND ADMIN. BUILDING SDP, CDP DEVELOPMENT PACKAGE

1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113



PTS - 0692722
PLAN CHECK #4



PHOTOGRAPHIC SURVEY KEY PLAN 1" = 40'-0" 1

FHCSD - WELLNESS AND ADMIN. BUILDING

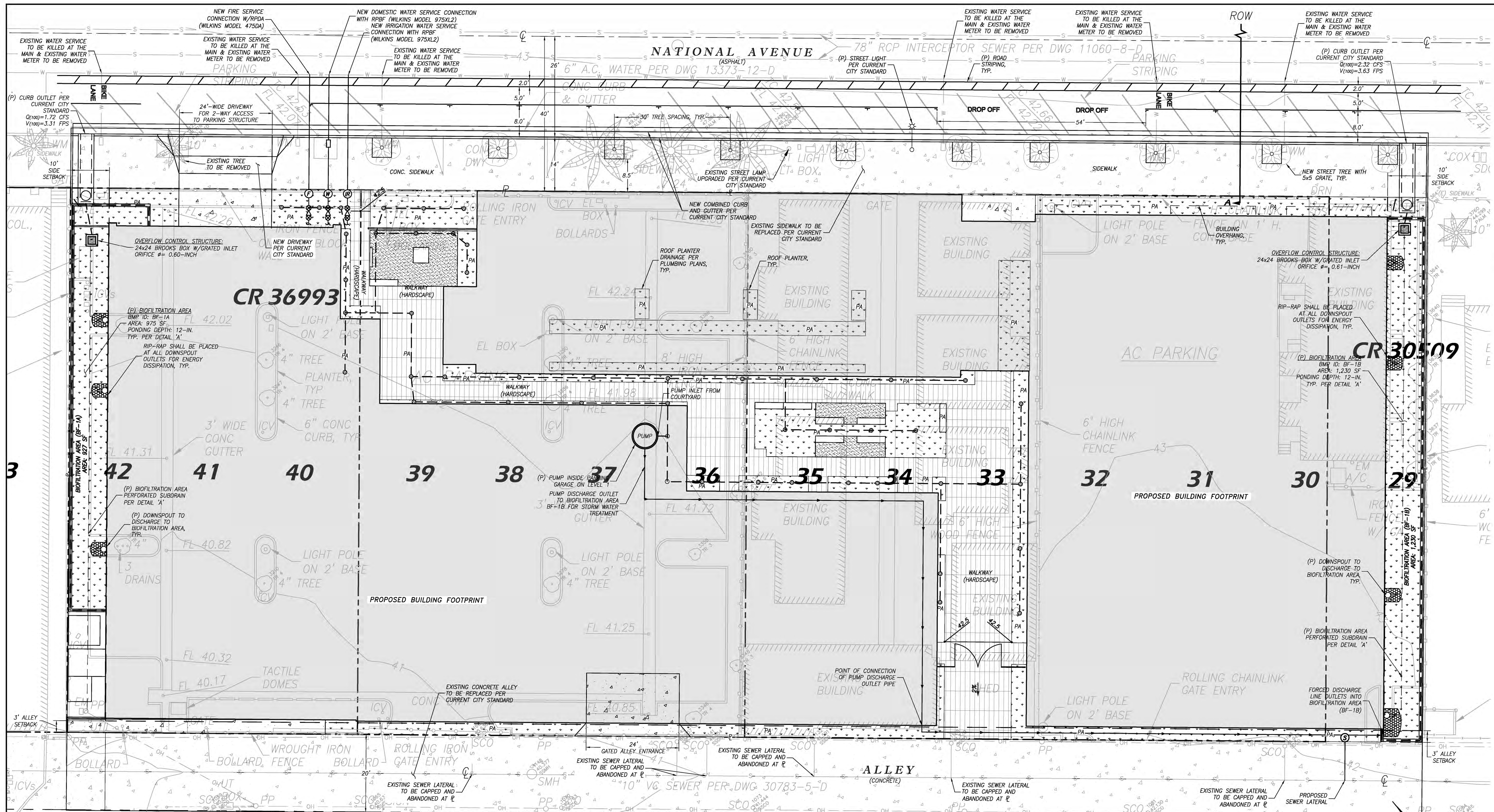
1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113

Developed for
FAMILY HEALTH CENTER SAN DIEGO

Submittal	Date	Revision
SDP-CDP - 1ST SUBMITTAL	12/23/2021	
SDP-CDP - 2ND SUBMITTAL	04/07/2022	
SDP-CDP - 3RD SUBMITTAL	11/22/2022	
SDP-CDP - 4TH SUBMITTAL	09/26/2023	

Job Number 3036810
Date Published 06/04/2021
Checked By Checker
Scale 1" = 40'-0"

PHOTOGRAPHIC
SURVEY



LEGEND

DESCRIPTION	STD. DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W
PROPERTY LINE - OFFSITE		---
STREET CENTERLINE		---
CONTOUR		---
LOT LINE (OFFSITE)		---
OVERHEAD UTILITIES		---
EDGE OF PAVING		---
EXISTING SPOT ELEVATION		---
BUILDING FOOTPRINT		---
POWER POLE		PP
TREE; PLANT; PALM		---
WATER LINE		W
SEWER LINE		S
GAS LINE		G

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FS	FINISHED SURFACE
A.C.	ASBESTOS CEMENT	GB	GRADE BREAK
BLK	BLOCK	GM	GAS METER
BRK	BRICK	H	HIGH
BW	GRADE AT BOTTOM OF WALL	ICV	IRRIGATION CONTROL VALVE
C	CENTER LINE	IE	INVERT ELEVATION
C.	CONC	L.P.	LOW PRESSURE
C.O.	CLEANOUT	PA	PLANTER AREA
CG	COMPOSED GRANITE	PMT	PAVEMENT
EL	ELECTRIC	SCD	SEWER CLEANOUT
ELEV	ELEVATION	SDRS	SAN DIEGO REGIONAL STANDARD DRAWINGS
EM	ELECTRIC METER	SMH	SEWER MANHOLE
E.	FLOW LINE	TEL	TELEPHONE
FLD BK	FIELD BOOK	TC	TOP OF GRATE
		TW	GRADE AT TOP OF WALL
		TY	TYPICAL
		WM	WATER METER

DRAINAGE NOTES

- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN LEADS TO BE 4" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
- SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
- SOIL COVER ABOVE DRAIN LINES SHALL BE 12" UNLESS OTHERWISE NOTED.
- NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.
- ALL PRIVATE STORM WATER RUNOFF WILL BE ROUTED TO LANDSCAPE OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAINAGE SYSTEM.

SOURCE CONTROL BMPs

4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
SC-P	PLAZAS, SIDEWALKS, AND PARKING LOTS
SC-0	MISCELLANEOUS DRAIN OR WASH WATER; FOR ROOFING, GUTTERS, AND TRIM
SC-02	LANDSCAPE / OUTDOOR PESTICIDE USE

THE SOURCE CONTROL BMP(S) LISTED ABOVE SHALL BE IMPLEMENTED PER THE CRITERIA OUTLINED IN APPENDIX E: BMP DESIGN FACT SHEETS AS DESCRIBED IN THE CITY OF SAN DIEGO STORM WATER STANDARDS BMP DESIGN MANUAL (JANUARY 2018) AND IN ACCORDANCE WITH THE SELECTED SOURCE CONTROL BMP(S) LISTED IN FORM I-4B FOR A PRIORITY DEVELOPMENT PROJECT.

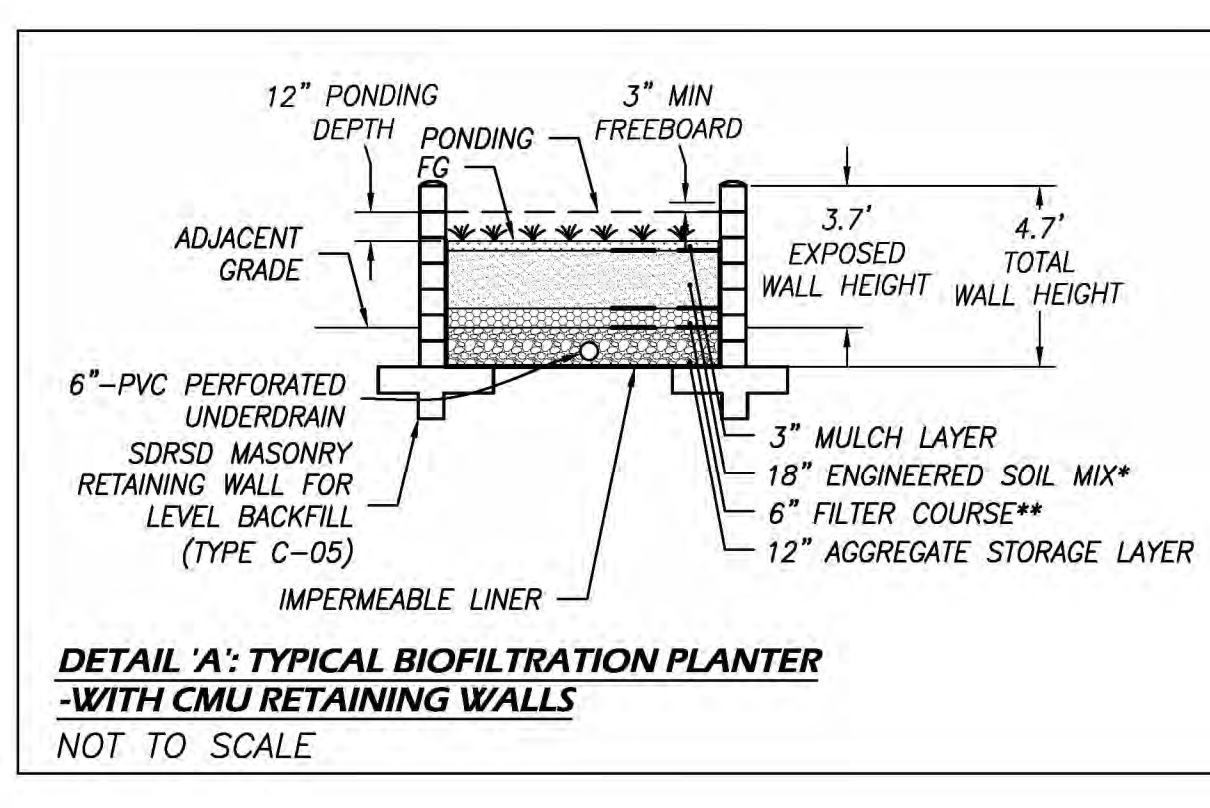
SITE DESIGN BMPs

4.3.1	IMPERVIOUS AREA DISPERSION
4.3.3	MINIMIZE IMPERVIOUS AREA
4.3.4	MINIMIZE SOIL COMPACTION
4.3.5	IMPERVIOUS AREA DISPERSION
4.3.7	LANDSCAPING WITH NATIVE/DROUGHT TOLERANT SPECIES

THE SOURCE CONTROL BMP(S) LISTED ABOVE SHALL BE IMPLEMENTED PER THE CRITERIA OUTLINED IN APPENDIX E: BMP DESIGN FACT SHEETS AS DESCRIBED IN THE CITY OF SAN DIEGO STORM WATER STANDARDS BMP DESIGN MANUAL (JANUARY 2018) AND IN ACCORDANCE WITH THE SELECTED SOURCE CONTROL BMP(S) LISTED IN FORM I-5B FOR A PRIORITY DEVELOPMENT PROJECT.

CONSTRUCTION PERMIT NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

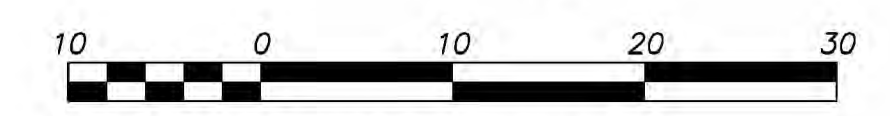


DETAIL 'A': TYPICAL BIOFILTRATION PLANTER WITH CMU RETAINING WALLS
 NOT TO SCALE

THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT

AREA TABULATIONS	
CATEGORY	AREA (SF)
TOTAL DISTURBANCE AREA	49,205
EXISTING IMPERVIOUS AREA	49,205
NEW 'CREATED' IMPERVIOUS AREA	---
REPLACED IMPERVIOUS AREA	41,443
TOTAL NEW /OR REPLACED IMPERVIOUS AREA	41,443

IMPERVIOUS AREA NOTE: IMPERVIOUS AREAS MAY INCLUDE ROOFTOP, CONCRETE PAVEMENT, DECK, BRICK, SOLAR PANELS, ETC.



SCALE: 1"=10'

CITY OF SAN DIEGO, CALIFORNIA
 CONDITIONAL USE PERMIT

FHC Barrio Logan

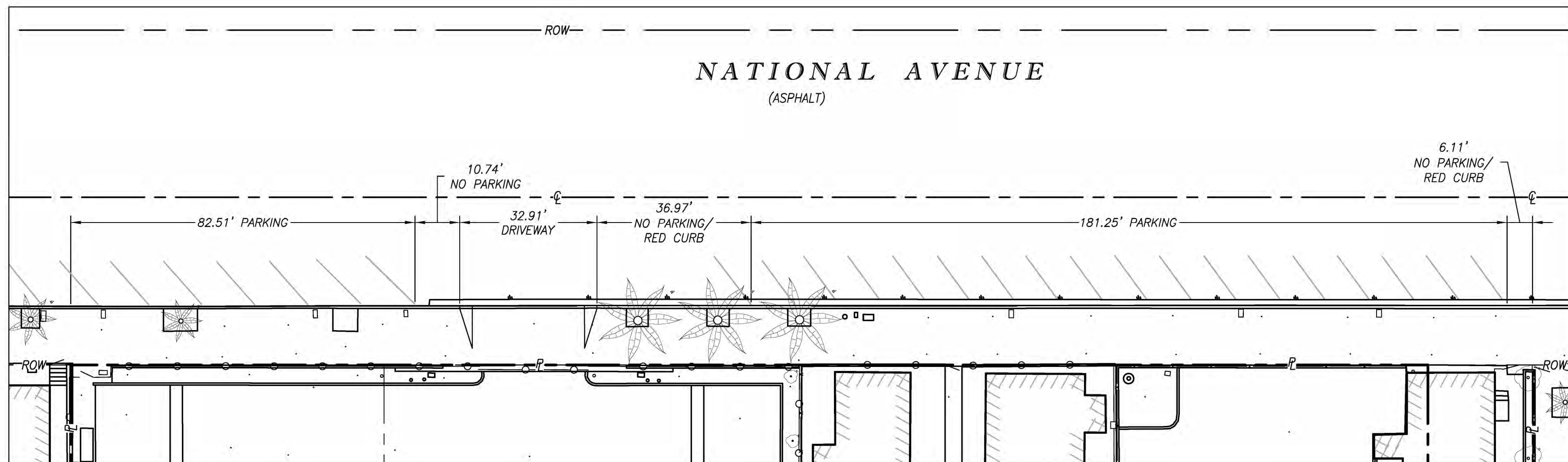
1825-1873 National Avenue
 San Diego, CA

REVISIONS	DATE	BY
ORIGINAL	04/08/2022	

PRELIMINARY GRADING AND DRAINAGE

DRAWN BY: MARY/CHAMBERLAIN
 CHECKED BY: KINNEAR

SHEET 1 OF 2

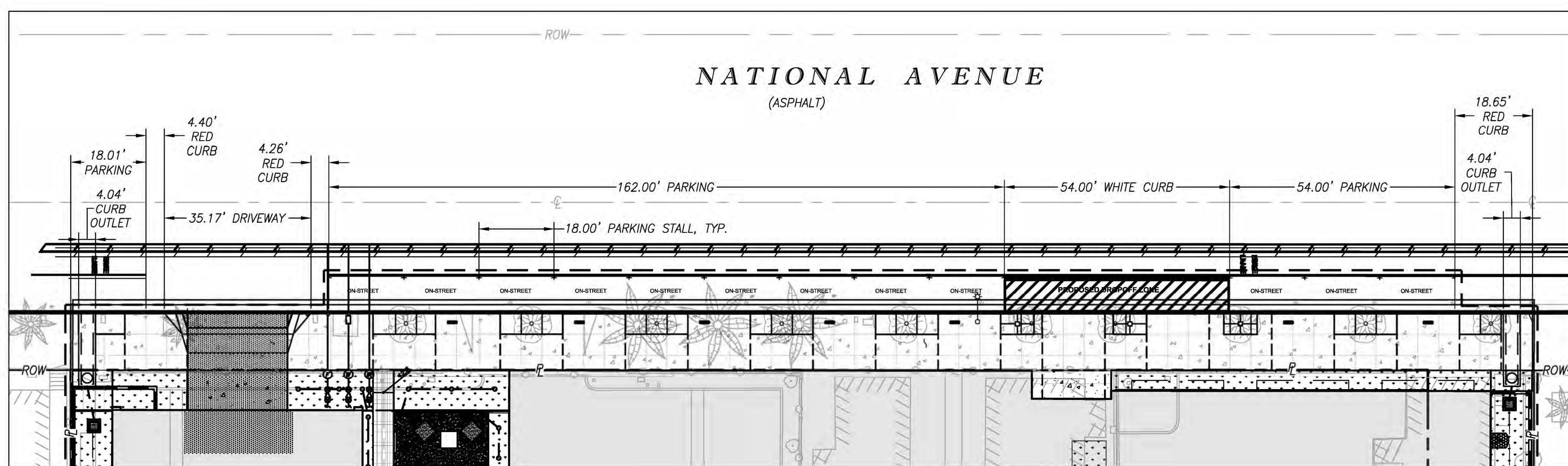


EXISTING UNMETERED ANGLED PARKING STALLS: 24
EXISTING PARKING STALL DIM: 13'x8.5'

DETAIL 'A': CURB UTILIZATION - EXISTING CONDITIONS

SCALE: 1"=20'

CURB DATA TABLE: EXISTING USE			
STATION (BEG.)	STATION (END)	TRUE LENGTH (FT.)	CURB UTILIZATION
0+00.00	0+82.51	82.51	PARKING
0+82.51	0+93.25	10.74	CURB
0+93.25	1+26.16	32.91	DRIVEWAY
1+26.16	1+63.13	36.97	RED CURB
1+63.13	3+44.38	181.25	PARKING
3+44.38	3+50.49	6.11	RED CURB

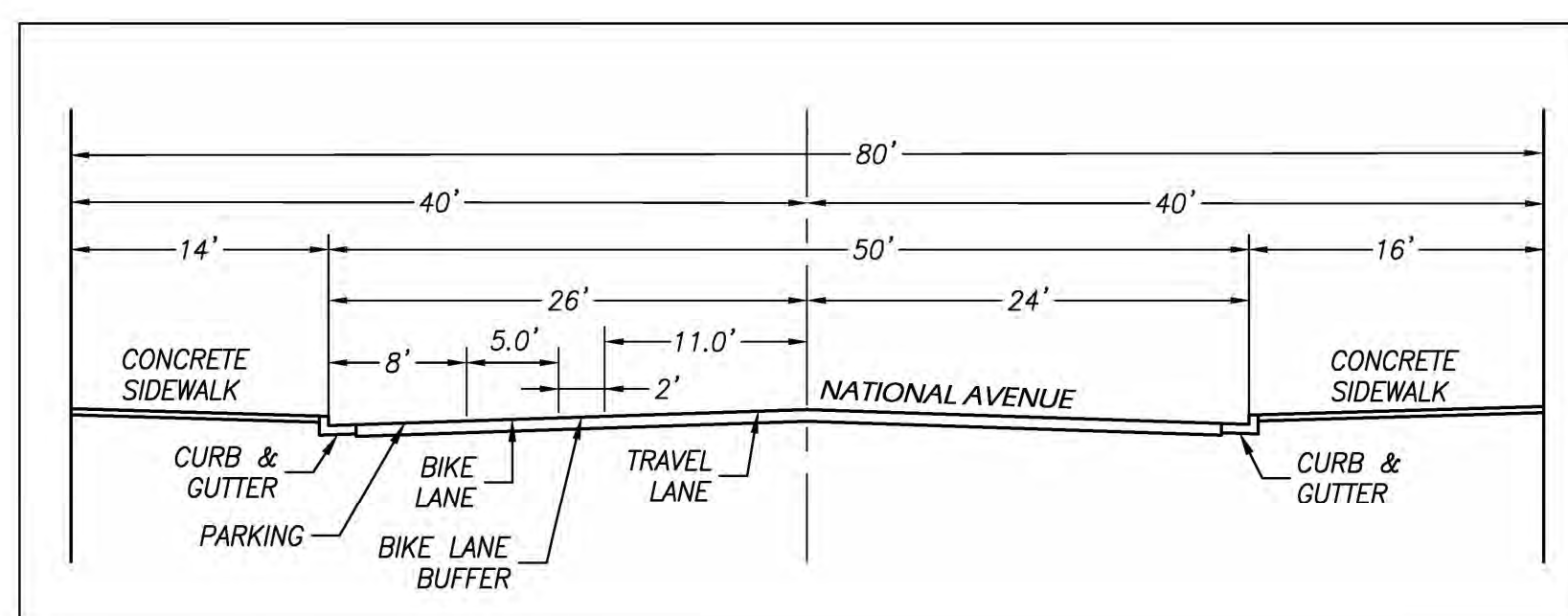


PROPOSED UNMETERED PARALLEL PARKING STALLS: 12
PROPOSED DROP OFF PARKING STALLS: 3
NET PARKING LOSS: 9
PROPOSED PARKING STALL DIM: 18'x8'

DETAIL 'B': CURB UTILIZATION - PROPOSED CONDITIONS

SCALE: 1"=20'

CURB DATA TABLE: PROPOSED USE			
STATION (BEG.)	STATION (END)	TRUE LENGTH (FT.)	CURB UTILIZATION
0+00.00	0+18.01	18.01	PARKING
0+18.01	0+22.41	4.40	CURB OUTLET
0+22.41	0+57.59	35.17	DRIVEWAY
0+57.59	0+61.84	4.26	RED CURB
0+61.84	2+23.84	162.00	PARKING
2+23.84	2+77.84	54.00	WHITE CURB
2+77.84	3+31.84	54.00	PARKING
3+31.84	3+50.49	18.65	RED CURB
3+50.49	3+47.53	4.04	CURB OUTLET



SECTION A-A : NATIONAL AVENUE

SCALE: 1"=10'

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED: 1.43 ACRES	% OF TOTAL SITE: 100%
AMOUNT OF CUT: 390 CUBIC YARDS	MAXIMUM DEPTH OF CUT: 1.5 FEET
AMOUNT OF FILL: 1,300 CUBIC YARDS	MAXIMUM DEPTH OF FILL: 2 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S): N/A FEET	SLOPE RATIO: N/A
MAXIMUM HEIGHT OF CUT SLOPE(S): N/A FEET	SLOPE RATIO: N/A
AMOUNT OF IMPORT/EXPORT SOIL: 910 CUBIC YARDS	
RETAINING/ CRIB WALLS: LENGTH 285 FEET	MAXIMUM HEIGHT: 3 FEET

CITY OF SAN DIEGO, CALIFORNIA
CONDITIONAL USE PERMIT

FHC Barrio Logan
1825-1873 National Avenue
San Diego, CA

ORIGINAL
04/08/2022

REVISIONS

CURB UTILIZATION

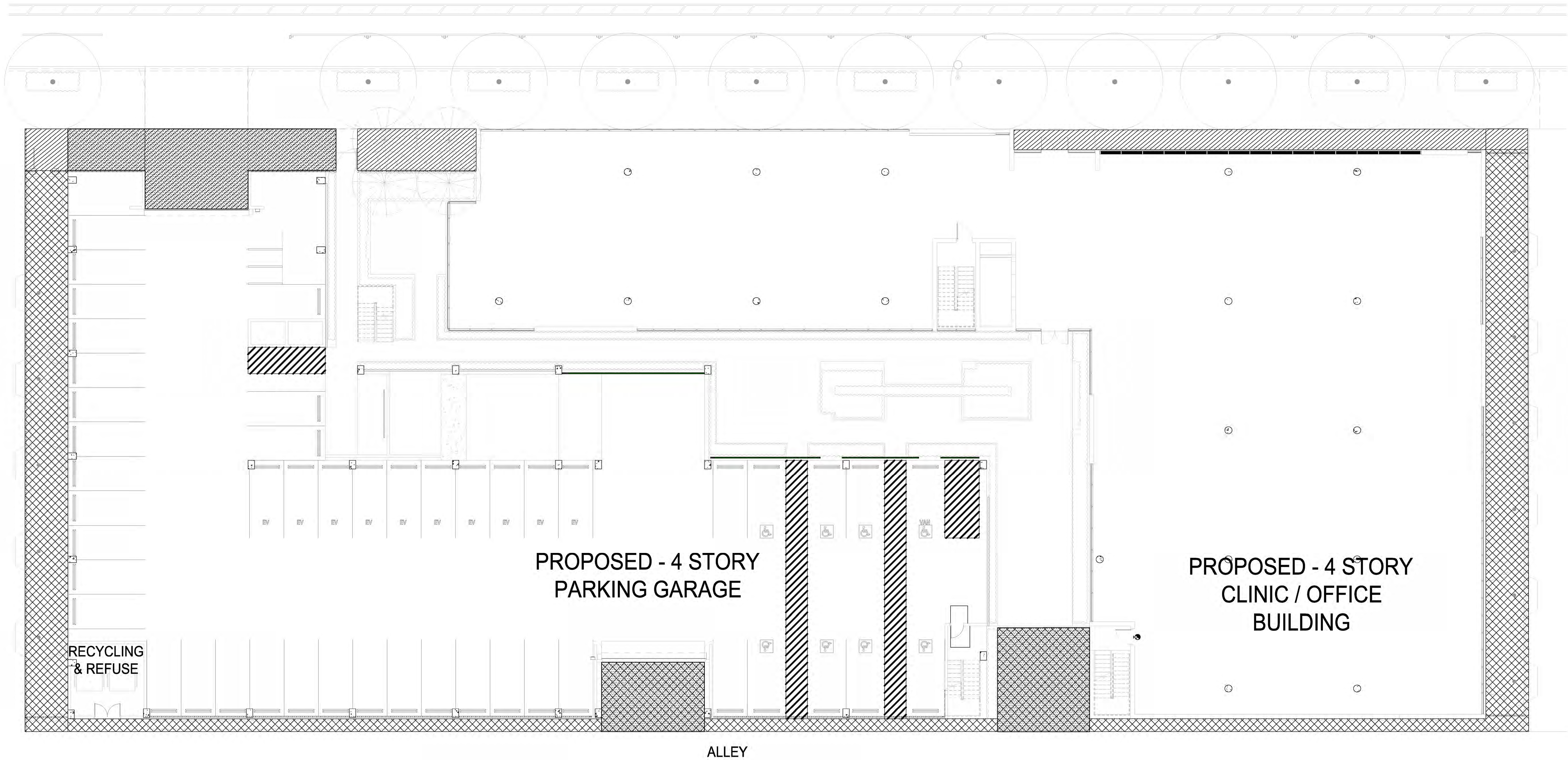
C2

DRAWN BY: MARY/CHAMBERLAIN
CHECKED BY: KINNEAR

SHEET 2 OF 2

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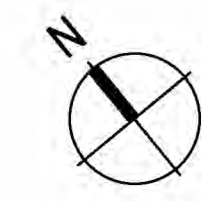


PROPOSED - 4 STORY
 PARKING GARAGE

PROPOSED - 4 STORY
 CLINIC / OFFICE
 BUILDING

RECYCLING
 & REFUSE

ALLEY

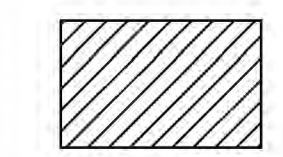


LANDSCAPE DIAGRAM | 02

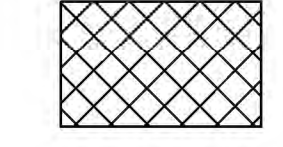
NET CANOPY TREE GAIN

CANOPY TREES TO BE REMOVED:	0
STREET TREES TO BE PROVIDED:	11
PROPERTY TREES TO BE PROVIDED:	15
TOTAL TREES GAINED:	26

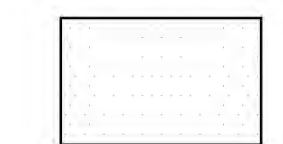
LANDSCAPE CALCULATIONS LEGEND



STREET YARD



REMAINING YARD



VEHICULAR USE AREA

Revision	Date

Submital	Date
SDP - CDP - 1ST SUBMITTAL	07/12/2021
SDP - CDP - 2ND SUBMITTAL	09/31/2022
SDP - CDP - 3RD SUBMITTAL	11/03/2022
SDP - CDP - 4TH SUBMITTAL	02/29/2023

Job Number: 3036910
 Date Published: 03/31/2022
 Checked By: RG | AI
 Scale: 1" = 10'-0"

LANDSCAPE
 DIAGRAM

Estimated Total Water Use

Equation: $ET_{TWU} = ET_c \times 0.62 \times [(PF \times HA)/IE] + SLA$; Considering precipitation $ET_{MWA} = (ET_c - Eppt) \times 0.62 \times [(PF \times HA)/IE] + SLA$

Enter values in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1.0

Hydrozone	Select System From the Dropdown List (click on cell below)	Plant Water Use Type (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Irrigation Efficiency (IE)	PF x HA (ft ²)/IE
Zone 1	Drip	Low	0.30	562	0.81	216
Zone 2	Drip	Low	0.30	99	0.81	37
Zone 3	Drip	Low	0.30	1,162	0.81	430
Zone 4	Drip	Medium	0.50	1,009	0.81	623
Zone 5	Drip	Low	0.30	19	0.81	7
Zone 6	Drip	Medium	0.50	818	0.81	565
Zone 7	Drip	Low	0.30	19	0.81	6
Zone 8	Drip	Low	0.30	972	0.81	362
Zone 9	Drip	Low	0.30	311	0.81	115
Zone 10	Drip	Low	0.30	256	0.81	93
Zone 11	Drip	Medium	0.50	443	0.81	273
Zone 12	Drip	Low	0.30	1,068	0.81	376
Zone 13	Drip	Low	0.30	856	0.81	317
Zone 14	Drip	Low	0.30	193	0.81	58
Zone 15						
Zone 16						
Zone 17						
Zone 18						
Zone 19						
Zone 20						
Zone 21						
Zone 22						
Zone 23						
Zone 24						
Zone 25						
Zone 26						
Zone 27						
Zone 28						
Zone 29						
Zone 30						
Zone 31						
Zone 32						
Zone 33						
Zone 34						
Zone 35						
SLA						3,891
Sum				7,643		6

Results

MAWA = 96,061 Gallons

ET_{TWU} = 94,717 Gallons

ET_{MWA} = 12,841.54 Cubic Feet

128.42 HCF

0.29 Acre-feet

0.09 Millions of Gallons

ET_{TWU} complies with MAWA

Landscape Calculations Worksheet

FORM DS-5

August 2020

City of San Diego Development Services
1222 First Ave., MS-501
San Diego, CA 92101

Vehicle Use Area (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-046 for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

VEHICULAR USE AREA (<6,000 sf) [§142.0406 - §142.0407]

Planting Area Required	Planting Area Provided	Excess Area Provided
40 sq. ft. per tree.		
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 1,015 sq. ft. x 0.05 = 86 points	86 points	0 points
	Plant Points Achieved with Trees (50%)	
	0 points	

VEHICULAR USE AREA (>6,000 sf) [§142.0406 - §142.0407]

Planting Area Required	Planting Area Provided	Excess Area Provided
VUA Inside Street Yard	sq. ft. x 0.05 = sq. ft.	sq. ft.
VUA Outside Street Yard	sq. ft. x 0.03 = sq. ft.	sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
VUA Inside Street Yard	sq. ft. x 0.05 = points	points
	Plant Points Achieved with Trees (50%)	
	points	
VUA Outside Street Yard	sq. ft. x 0.03 = sq. ft.	points
	Plant Points Achieved with Trees (50%)	
	points	

TEMPORARY VEHICULAR USE AREA [§142.0408]
(a specified time limit of less than 5 years from the date of construction permit issuance.)

Planting Area Required	Planting Area Provided	Excess Area Provided
Length of Public ROW adjacent to VUA	ft. x 3 ft. = sq. ft.	sq. ft.

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DS-5 (08-20)

Landscape Calculations Worksheet

FORM DS-4

August 2020

City of San Diego Development Services
1222 First Ave., MS-501
San Diego, CA 92101

Commercial Development in All Zones
Industrial Development in RM and C Zones
Commercial Components of Mixed-Use Development

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-046 for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

STREET YARD [§142.0404 - §142.0405]
Industrial and Commercial Development (except Auto Service Stations—see below)

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 1,737 sq. ft. x 25% = 434 sq. ft.	835 sq. ft.	522 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 1,737 sq. ft. x 0.05 = 87 points	274 points	187 points
	Plant Points Achieved with Trees (50%)	
	100 points	

Auto Service Stations Only [§142.0405(c)(2)]

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area sq. ft. x 15% = sq. ft.	sq. ft.	sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area sq. ft. x 0.03 = points	points	points
	Plant Points Achieved with Trees (50%)	
	points	

REMAINING YARD [§142.0404 - §142.0405]

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 4,397 sq. ft. x 30% = 1,319 sq. ft.	3,508 sq. ft.	2,199 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 4,397 sq. ft. x 0.05 = 220 points	1,369 points	1,149 points
	Plant Points Achieved with Trees (50%)	
	110 points	

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DS-4 (08-20)

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name

ET_c of City from Appendix A

San Diego	Name of City
46.50	ET _c (inches/year)
0	Overhead Landscape Area (ft ²)
7843	Drip Landscape Area (ft ²)
0	SLA (ft ²)
7,643	Total Landscape Area
	Gallons
	Cubic Feet
	HCF
	Acre-feet
	Millions of Gallons
47	ET _c (inches/year)
7,643	LA (ft ²)
0	SLA (ft ²)
5.8	Total annual precipitation (inches/year)
1.45	Eppt (in/yr)(25% of total annual precipitation)
96,061	Gallons
12,841.54	Cubic Feet
128.42	HCF
0.29	Acre-feet
0.10	Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional)
Precipitation (Optional)

ET_c of City from Appendix A

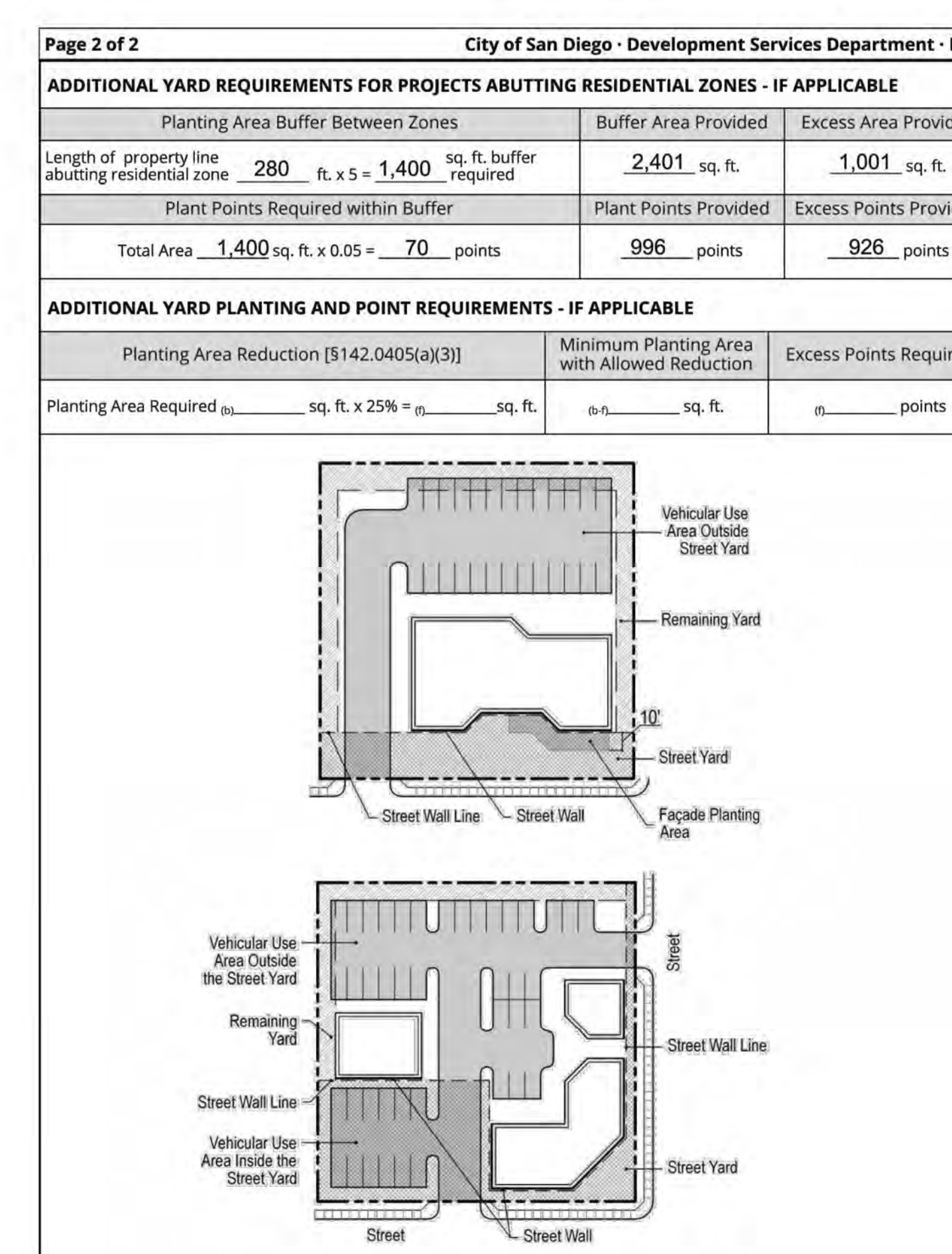
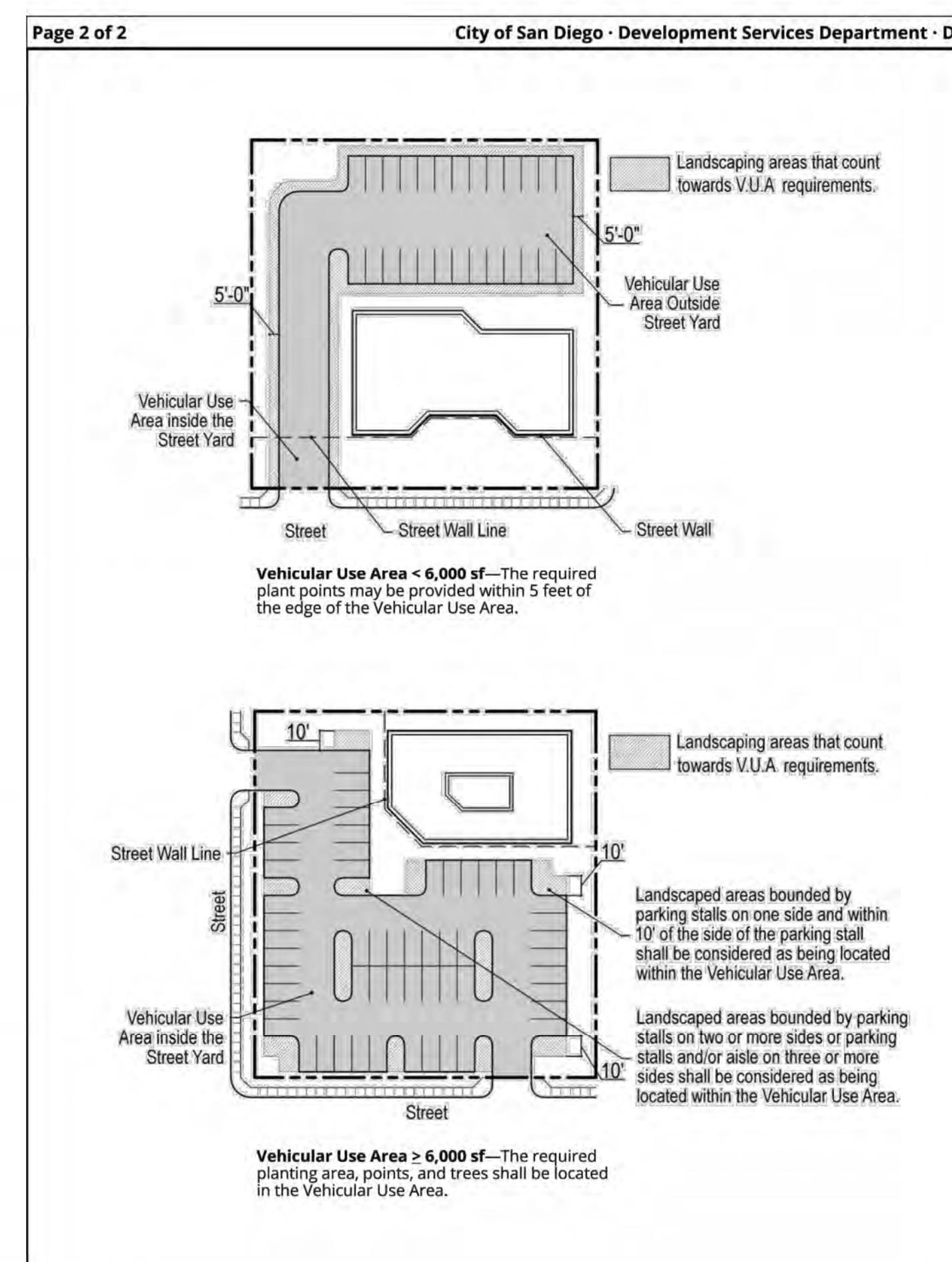
Total Landscape Area

Special Landscape Area

Enter Effective Precipitation

Results:

MAWA = [(ET_c - Eppt) x (0.62)] x [(0.45 x LA) + ((1.0 - 0.45) x SLA)]



ARCHITECTURE ENGINEERING INTERIORS
LANDSCAPE ARCHITECTURE PLANNING

619-795-2555 Office

619-795-2552 Fax

LPA Design Studios, Inc.

1600 National Avenue
San Diego, California 92113

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FHCS - BARRIO LOGAN CLINIC

1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113

Developed for
FAMILY HEALTH CENTER SAN DIEGO

Date

Revision

Date
07/12/2021
03/31/2022
11/30/2022
02/26/2023

Job Number 3036910

Date Published 03/31/2022

Checked By RG | AI

Scale

LANDSCAPE
CALCULATIONS
WORKSHEET

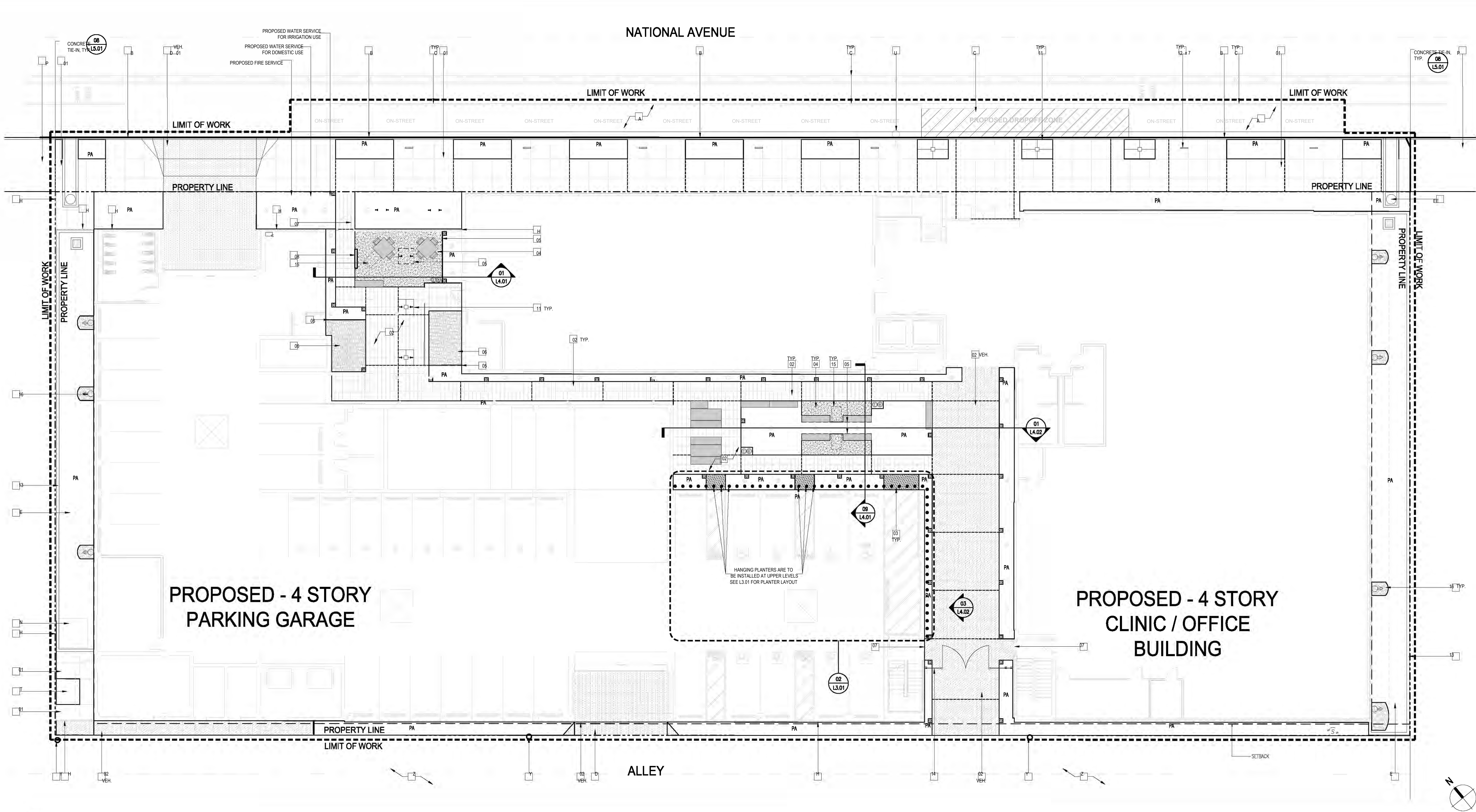
L0.02



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FHCS INTEGRATIVE MEDICINE AND WELLNESS CENTER
1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113
Developed for
FAMILY HEALTH CENTER SAN DIEGO



**PROPOSED - 4 STORY
PARKING GARAGE**

**PROPOSED - 4 STORY
CLINIC / OFFICE
BUILDING**

KEYNOTES

KEY NOTE	DESCRIPTION	DET/SHT	COLOR / FINISH
01	CONCRETE PAVING - TYPE 1	08/ L5.01	COLOR & FINISH: CITY OF SAN DIEGO STANDARD
02	CONCRETE PAVING - TYPE 2	01/ L5.01	COLOR: INTEGRAL COLOR
03	TRUNCATED DOME PAVER	13/ L5.01	COLOR: FEDERAL YELLOW MANUF: WAUSAU TILE
04	DECOMPOSED GRANITE PAVING	11/ L5.01	COLOR: CALIFORNIA GOLD BY SOUTHWEST BOULDER & STONE
05	STEEL EDGING	12/ L5.01	COLOR: BLACK POWDERCOAT DURA EDGE 1/4" x 5"
06	DECORATIVE STONE	15/ L5.03	COLOR: COPPER CANYON CRUSHED STONE, 3/4" - 1", SOUTHWEST BOULDER & STONE
07	8H METAL PEDESTRIAN GATE	15/ L5.02	BOK MODERN METAL PANEL A48 ALUMINUM, FINISH: POWDERCOAT
08	WRITABLE SURFACE	01/ L5.03	FROSTED TEMPERED GLASS
09	FIBERGLASS HANGING PLANTER	20/ L5.03	SEE SITE FURNISHINGS LEGEND
10	FIBERGLASS PLANTER (ROOF)	11/ L5.03	SEE SITE FURNISHINGS LEGEND
11	TREE GRATE	10/ L5.03	FINISH: RAW NATURAL MODEL: 4X4, 5x8 JAMISON MANUF: URBAN ACCESSORIES
12	BIKE RACK (R.O.W.)	02/ L5.03	SEE SITE FURNISHINGS LEGEND
13	CMU WALL AT BIOTRETENTION BASIN	PER CIVIL	COLOR: INDIO GRAY MW FINISH: PRECISION MANUF: ORCO
14	8H METAL FENCE & VEHICULAR GATE	01&18/ L5.02	BOK MODERN METAL PANEL A48 ALUMINUM, FINISH: POWDERCOAT
15	WHEELCHAIR SPACE - 30" X 48"	PER CIVIL	COLOR: COPPER CANYON CRUSHED STONE, 3/4" - 1", SOUTHWEST BOULDER & STONE
16	DECORATIVE STONE AT BASIN	PER CIVIL	COLOR: COPPER CANYON CRUSHED STONE, 3/4" - 1", SOUTHWEST BOULDER & STONE

REFERENCE KEYNOTES

KEY NOTE	DESCRIPTION	DET/SHT	COMMENT
A	(E) A.C. PAVING		PROTECT IN PLACE
B	CONCRETE CURB/GUTTER	PER CIVIL	
C	PARKING STRIPING	PER CIVIL	
D	CONCRETE DRIVEWAY	PER CIVIL	
E	STORMWATER BASIN	PER CIVIL	
F	TRACK SURFACE MAT	PER ARCH	MONDO 12MM SUPER X PERFORMANCE, COLOR: P121 (GR.4)
G	SOLAR PV PANEL	PER ARCH	
H	BREEZE BLOCK SCREEN	PER ARCH	
I	METAL PEDESTRIAN GATE	PER ARCH	
J	ROOF DRAIN	PER ARCH	
K	ARCHITECTURAL GUARDRAILS	PER ARCH	
L	CONCRETE PAVERS ON PEDESTAL	PER ARCH	
M	SOLAR PV CENTRAL INVERTER PAD	PER ELEC	

REFERENCE KEYNOTES (CONT.)

KEY NOTE	DESCRIPTION	DET/SHT	COMMENT
P	(E) CONCRETE PAVING		PROTECT IN PLACE
Q	NOT USED		
R	NOT USED		
S	CONCRETE RET. WALL	PER ARCH	
T	TRANSFORMER PAD	PER ELEC	
U	(E) STREET LIGHT		PROTECT IN PLACE
V	NOT USED		
W	NOT USED		
X	(E) POWER POLES		PROTECT IN PLACE
Y	CONCRETE PAVING (ALLEY)	PER CIVIL	
Z	IRRIGATION POC	PER CIVIL	
AA	DOMESTIC WATER	PER CIVIL	
AB	FIRE WATER	PER CIVIL	
AC	CABLE RAILING FENCE AND GATE TO MATCH GUARDRAIL WITH PANIC HARDWARE	PER ARCH	
AD	CATCH BASIN	PER CIVIL	

SITE SYMBOLS LEGEND

SYM.	DESC.	SYM.	DESC.	DET.
ALIGN	ALIGN	SAWCUT JOINT	SAWCUT JOINT	L5.01
DRAIN PER CIVIL	DRAIN PER CIVIL	EXPANSION JOINT	EXPANSION JOINT	D4/ L5.01
IRRIGATION CONTROLLER	IRRIGATION CONTROLLER	LIMIT OF WORK	LIMIT OF WORK	
SEWER MANHOLE	SEWER MANHOLE	FACE OF CURB/BACK OF CURB	FACE OF CURB/BACK OF CURB	
		TOP OF SLOPE/BOTTOM OF SLOPE	TOP OF SLOPE/BOTTOM OF SLOPE	
		PLANTING AREA	PLANTING AREA	

NOTE: UTILITIES SHOWN ARE FOR REFERENCE ONLY. SEE CIVIL DWGS. FOR DETAILS AND EXACT LOCATIONS. FINAL LOCATIONS TO BE REVIEWED BY LANDSCAPE ARCHITECT.

LIGHTING LEGEND

SYM.	DESC.
BOLLARD LIGHT	BOLLARD LIGHT, SEE ELEC.
TREE UPLIGHT	TREE UPLIGHT, SEE ELEC.
LED RAILING LIGHT	LED RAILING LIGHT, SEE ELEC.

NOTE: LIGHTING FIXTURE SHOWN ARE FOR REFERENCE ONLY. SEE ELECTRICAL DWGS. FOR DETAILS AND EXACT LOCATIONS. FINAL LOCATIONS TO BE REVIEWED BY LANDSCAPE ARCHITECT.

SITE FURNISHINGS LEGEND

SYM.	DESC.	MANUF.	MODEL #	COLOR	FINISH/PTRN	QTY.	DTL.
TRASH AND RECYCLING RECEPTACLES	LANDSCAPE FORMS	PETOSKEY SIDE OPEN W/ SIGN		SILVER	POWDERCOAT ALUMINUM	10	PER MANUF.
BIKE RACK	LANDSCAPE FORMS	RING BIKE RACK			STAINLESS STEEL	7	PER MANUF.
BENCH	LANDSCAPE FORMS	BANCAL BENCH - 88" BACKLESS			FRAME: STEEL SEAT: IPE	5	PER MANUF.
BENCH	LANDSCAPE FORMS	BANCAL BENCH - 168" W/ 88" OFFSET BACK			FRAME: STEEL SEAT: IPE	2	PER MANUF.
FACTOR TABLE & CHAIRS	FORMS+ SURFACES	TABLE STRAC-C4242A CHAIRS: SCFAC-CAL-A		DARK GREY METALLIC W/ TEXTURE FINISH	ALUMINUM POWDERCOAT CHAIRS	2	PER MANUF.
VAYA TABLE & CHAIRS	FORMS+ SURFACES	TABLE STYIA-2552W CHAIRS: SCVYA-W		FRAME: DARK GREY METALLIC W/ TEXTURE FINISH	ALUMINUM POWDERCOAT CHAIRS	2	PER MANUF.

SITE FURNISHINGS MATERIALS (CONT.)

SYM.	DESC.	MANUF.	MODEL #	COLOR	FINISH/PTRN	QTY.	DTL.
PICNIC BENCH	LANDSCAPE FORMS	MULTIPLICITY BACKLESS BENCH IN STD AND ADA SIZE		SILVER	FRAME: POWDERCOAT 2 ADA METALLIC SLATS: IPE	4	STD PER MANUF.
PICNIC TABLE	LANDSCAPE FORMS	MULTIPLICITY TABLE		SILVER	FRAME: POWDERCOAT 2 ADA METALLIC SLATS: IPE	3	PER MANUF.
HANGING PLANTERS A	TOURNESOL SITESWORKS	WILSHIRE BOX HANGING PLANTERS 60"x18"x24"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	3	PER MANUF.
HANGING PLANTERS B	TOURNESOL SITESWORKS	WILSHIRE BOX HANGING PLANTERS 72"x18"x24"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	3	PER MANUF.
HANGING PLANTERS C	TOURNESOL SITESWORKS	WILSHIRE BOX HANGING PLANTERS 100"x18"x24"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	27	PER MANUF.
RAISED PLANTERS (ROOF)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 120"x30"x42"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	14	PER MANUF.
RAISED PLANTERS (ROOF)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 72"x30"x42"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	1	PER MANUF.

1. ALL SITE FURNISHINGS ARE TO BE PROVIDED BY THE CONTRACTOR.
2. QUANTITIES SHOWN IN SITE FURNISHINGS LEGEND ARE TOTAL QUANTITIES.

Date	Revision
02/22/2022	1
02/22/2022	2
02/22/2022	3
02/22/2022	4
02/22/2022	5

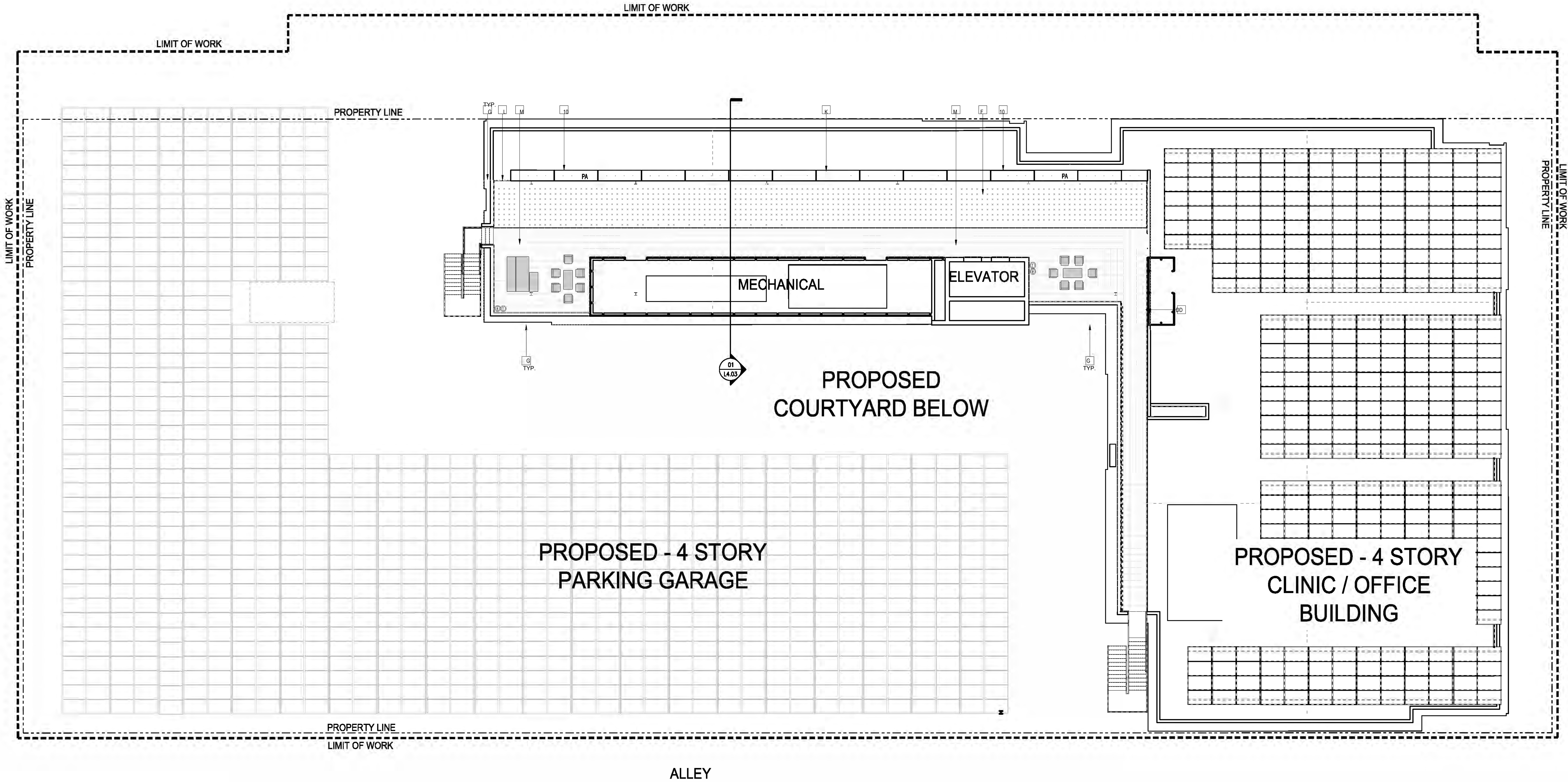
Job Number: 3086810
Date Published: 11/18/2022
Checked By: KH, JH, KO
Scale: 1" = 10'-0"

MATERIALS PLAN



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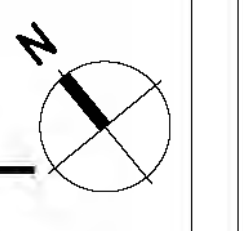


FHCS INTEGRATIVE MEDICINE AND WELLNESS CENTER

1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113

Developed for
FAMILY HEALTH CENTER SAN DIEGO

MATERIALS PLAN - ROOFTOP 02



KEYNOTES

KEY NOTE	DESCRIPTION	DET/ SHT	COLOR / FINISH
01	CONCRETE PAVING - TYPE 1	01/ L5.01	COLOR & FINISH: CITY OF SAN DIEGO STANDARD
02	CONCRETE PAVING - TYPE 2	01/ L5.01	COLOR: INTEGRAL COLOR FINISH: TOPCAST #3 MATTE
03	TRUNCATED DOME PAVER	13/ L5.01	COLOR: FEDERAL YELLOW MANUF: WALSAU TILE
04	DECOMPOSED GRANITE PAVING	11/ L5.01	COLOR: CALIFORNIA GOLD BY SOUTHWEST BOULDER & STONE
05	STEEL EDGING	12/ L5.01	COLOR: BLACK POWDERCOAT DURA EDGE 1/4" x 5"
06	DECORATIVE STONE	15/ L5.03	COLOR: COPPER CANYON CRUSHED STONE, 3/4" - 1", SOUTHWEST BOULDER & STONE
07	8H METAL PEDESTRIAN GATE	15/ L5.02	BOK MODERN METAL PANEL A48 ALUMINUM, FINISH: POWDERCOAT
08	WRITABLE SURFACE	01/ L5.03	FROSTED TEMPERED GLASS
09	FIBERGLASS HANGING PLANTER	20/ L5.03	SEE SITE FURNISHINGS LEGEND
10	FIBERGLASS PLANTER (ROOF)	11/ L5.03	SEE SITE FURNISHINGS LEGEND
11	TREE GRATE	10/ L5.03	FINISH: RAW NATURAL MODEL: 4X4, 5x8 JAMISON MANUF: URBAN ACCESSORIES
12	BIKE RACK (R.O.W.)	02/ L5.03	SEE SITE FURNISHINGS LEGEND
13	CMU WALL AT BIORETENTION BASIN	PER CIVIL	COLOR: INDIO GRAY MW FINISH: PRECISION MANUF: ORCO
14	8H METAL FENCE & VEHICULAR GATE	01/18/ L5.02	BOK MODERN METAL PANEL A48 ALUMINUM, FINISH: POWDERCOAT
15	WHEELCHAIR SPACE - 30" X 48"		
16	DECORATIVE STONE AT BASIN	PER CIVIL	COLOR: COPPER CANYON CRUSHED STONE, 1/2" - 1", SOUTHWEST BOULDER & STONE

REFERENCE KEYNOTES

KEY NOTE	DESCRIPTION	DET/ SHT	COMMENT
A	(E) A.C. PAVING	PER CIVIL	PROTECT IN PLACE
B	CONCRETE CURB/GUTTER	PER CIVIL	
C	PARKING STRIPING	PER CIVIL	
D	CONCRETE DRIVEWAY	PER CIVIL	
E	STORMWATER BASIN	PER CIVIL	
F	TRACK SURFACE MAT	PER ARCH	
G	SOLAR PV PANEL	PER ARCH	MONDO 12MM SUPER X PERFORMANCE, COLOR: P121 (GR.4)
H	BREEZE BLOCK SCREEN	PER ARCH	
I	METAL PEDESTRIAN GATE	PER ARCH	
J	ROOF DRAIN	PER ARCH	
K	ARCHITECTURAL GUARDRAILS	PER ARCH	
L	CONCRETE PAVERS ON PEDESTAL	PER ARCH	
M	SOLAR PV CENTRAL INVERTER PAD	PER ELEC	

REFERENCE KEYNOTES (CONT.)

KEY NOTE	DESCRIPTION	DET/ SHT	COMMENT
P	(E) CONCRETE PAVING	PER CIVIL	PROTECT IN PLACE
Q	NOT USED		
R	NOT USED		
S	CONCRETE RET. WALL	PER ARCH	
T	TRANSFORMER PAD	PER ELEC	
U	(E) STREET LIGHT		PROTECT IN PLACE
V	NOT USED		
W	NOT USED		
X	(E) POWER POLES		PROTECT IN PLACE
Y	CONCRETE PAVING (ALLEY)	PER CIVIL	
Z	IRRIGATION POC	PER CIVIL	
AA	DOMESTIC WATER	PER CIVIL	
BB	FIRE WATER	PER CIVIL	
CC	CABLE RAILING FENCE AND GATE TO MATCH GUARDRAIL WITH PANIC HARDWARE	PER ARCH	
DD	CATCH BASIN	PER CIVIL	

SITE SYMBOLS LEGEND

SYM.	DESC.	SYM.	DESC.	DET.
ALIGN	ALIGN	SAWCUT JOINT	02/ L5.01	
DRAIN PER CIVIL	DRAIN PER CIVIL	EXPANSION JOINT	04/ L5.01	
IRRIGATION CONTROLLER	IRRIGATION CONTROLLER	LIMIT OF WORK		
SEWER MANHOLE	SEWER MANHOLE	FOC/BOC	FACE OF CURB/BACK OF CURB	
		TOS/BOS	TOP OF SLOPE/BOTTOM OF SLOPE	
		PA	PLANTING AREA	

NOTE: UTILITIES SHOWN ARE FOR REFERENCE ONLY. SEE CIVIL DWGS. FOR DETAILS AND EXACT LOCATIONS. FINAL LOCATIONS TO BE REVIEWED BY LANDSCAPE ARCHITECT.

NOTE: LIGHTING FIXTURE SHOWN ARE FOR REFERENCE ONLY. SEE ELECTRICAL DWGS. FOR DETAILS AND EXACT LOCATIONS. FINAL LOCATIONS TO BE REVIEWED BY LANDSCAPE ARCHITECT.

SITE FURNISHINGS LEGEND

SYM.	DESC.	MANUF.	MODEL #	COLOR	FINISH/PTN.	QTY.	DTL.
TRASH AND RECYCLING RECEPTACLES	LANDSCAPE FORMS	PETOSKEY SIDE		SILVER	POWDERCOAT ALUMINUM	10	PER MANUF.
BIKE RACK	LANDSCAPE FORMS	RING BIKE RACK		STAINLESS STEEL		7	PER MANUF.
BENCH	LANDSCAPE FORMS	BANCAL BENCH - 88" BACKLESS		FRAME: STEEL SEAT: IPE		5	PER MANUF.
BENCH	LANDSCAPE FORMS	BANCAL BENCH - 168" W/ 88" OFFSET BACK		FRAME: STEEL SEAT: IPE		2	PER MANUF.
FACTOR TABLE & CHAIRS	FORMS- SURFACES	TABLE: STFAC-C4242A CHAIRS: SCFAC-CAL-A		DARK GREY METALLIC TEXTURE	ALUMINUM W/ POWDERCOAT FINISH	2	PER MANUF.
VAYA TABLE & CHAIRS	FORMS- SURFACES	TABLE: STVYA-2522W CHAIRS: SOVYA-W		FRAME: DARK GREY METALLIC TEXTURE SLATS: CUMARU WOOD		7	PER MANUF.
HANGING PLANTERS A (LEVELS P2,P3 & P4)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 60"x18"x24"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	3	PER MANUF.
HANGING PLANTERS B (LEVELS P2,P3 & P4)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 72"x18"x24"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	3	PER MANUF.
HANGING PLANTERS C (LEVELS P2,P3 & P4)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 120"x18"x24"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	27	PER MANUF.
RAISED PLANTERS (ROOF)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 120"x30"x42"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	14	PER MANUF.
RAISED PLANTERS (ROOF)	TOURNESOL SITESWORKS	WILSHIRE BOX PLANTERS 72"x30"x42"		TERRA COTTA	FRP FIBERGLASS FINISH: SMOOTH	1	PER MANUF.

SITE FURNISHINGS LEGEND (CONT.)

SYM.	DESC.	MANUF.	MODEL #	COLOR	FINISH/PTN.	QTY.	DTL.
PICNIC BENCH	LANDSCAPE FORMS	MULTIPLICITY BACKLESS BENCH IN STD. AND ADA SIZE		SILVER	FRAME: POWDERCOAT METALLIC SLATS: IPE	4	STO PER MANUF.
PICNIC TABLE	LANDSCAPE FORMS	MULTIPLICITY TABLE		SILVER	FRAME: POWDERCOAT METALLIC SLATS: IPE	3	PER MANUF.

1. ALL SITE FURNISHINGS ARE TO BE PROVIDED BY THE CONTRACTOR.
2. QUANTITIES SHOWN IN SITE FURNISHINGS LEGEND ARE TOTAL QUANTITIES.

Date: 11/18/2022

Revision: 02

Job Number: 3086810

Date Published: 11/18/2022

Checked By: KH, JH, KO

Scale: 1" = 10'-0"

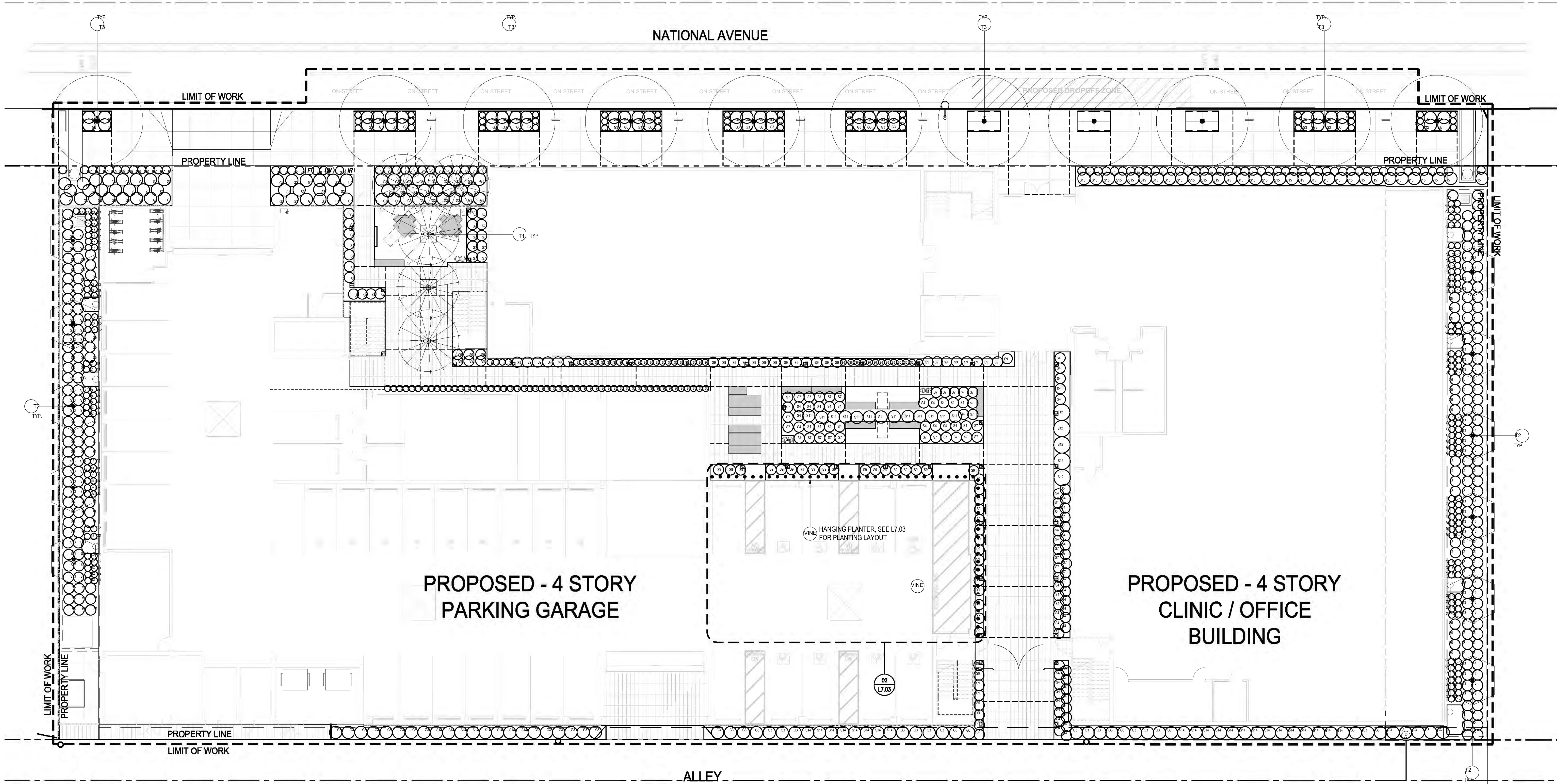
MATERIALS PLAN



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1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113
Developed for
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PLANTING PLAN 02

PLANTING LEGEND

TREE LIST							
REF.	QTY.	SYM.	CATEGORY / SIZE	BOTANICAL NAME/ COMMON NAME	COMMENTS/ DETAIL	WUCOLS	MATURE SIZE HXW
T1	5		36" BOX MULTI TRUNK	CERCIS CANADENSIS/ EASTERN REDBUD	01/ L7.04	M	15'-20" X 20'-25"
T2	11		15" BOX MULTI TRUNK	CERCIS OCCIDENTALIS/ WESTERN REDBUD	01/ L7.04	L	10'-20" X 10'-15"
T3	11		36" BOX STD. TRUNK	SEARSIA LANCEA/ AFRICAN SUMAC	01/ L7.04	L	20'-30" X 20'-30"
SHRUB LIST							
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	WUCOLS	MATURE HEIGHT
AS REQ'D	51		AGAVE GLUE GLOW/ BLUE GLOW AGAVE	5 GAL/ AS SHOWN	10/ L7.04	L	1'-2" X 2'-3"
AS REQ'D	52		AGAVE VICTORIA-REGINAE/ QUEEN VICTORIA AGAVE	5 GAL/ AS SHOWN	10/ L7.04	L	10" X 1'-2"
AS REQ'D	53		AGAVE VILMORIANA/ OCTOPUS AGAVE	5 GAL/ AS SHOWN	10/ L7.04	L	3'-4" X 3'-4"
AS REQ'D	54		ASPARAGUS D. MYERS/ FOXTAIL FERN	5 GAL/ AS SHOWN	10/ L7.04	M	2' X 2'-3"

SHRUB LIST (CONT.)

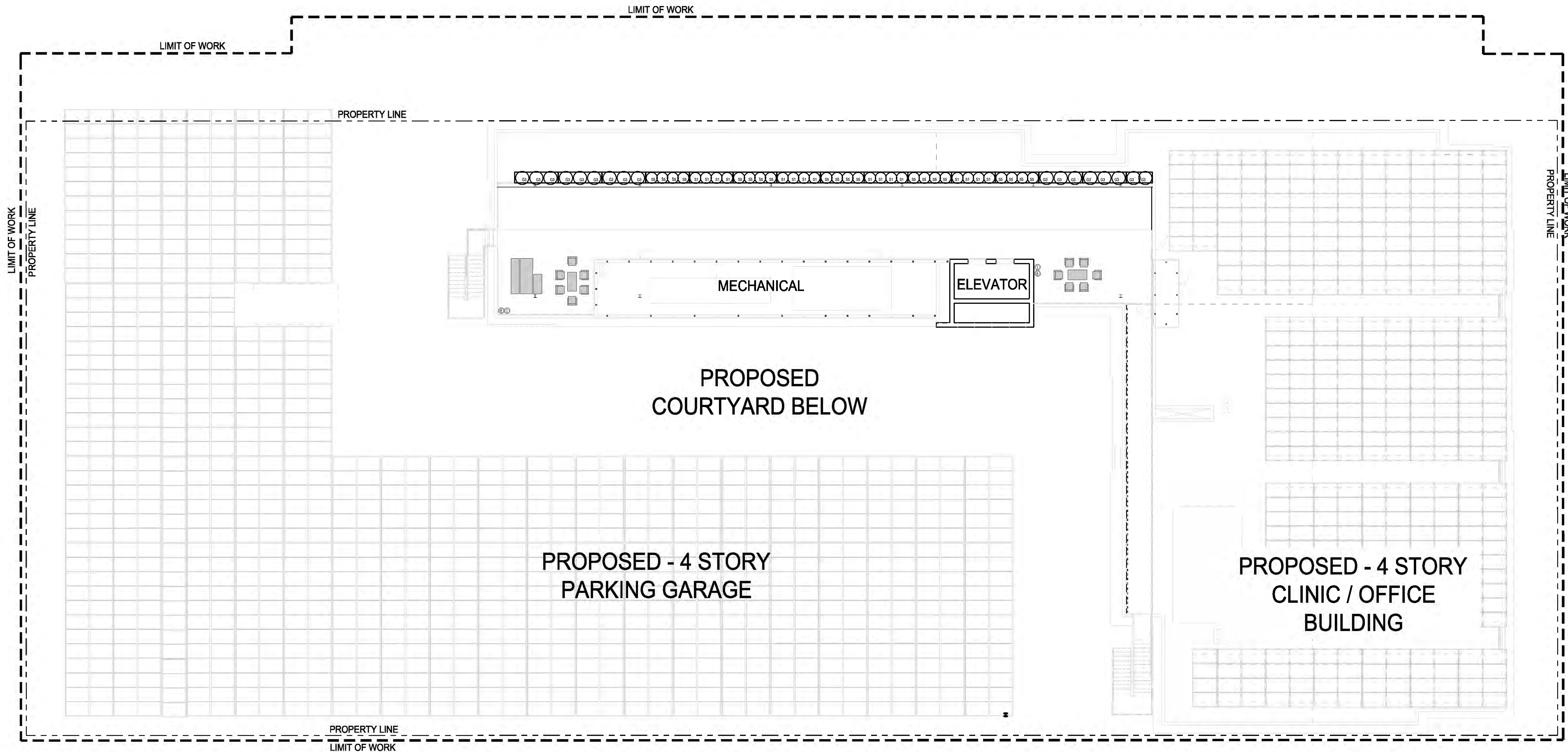
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	WUCOLS	MATURE HEIGHT
AS REQ'D	55		CHONDROPETALUM TECTORUM/ SMALL CAPE RUSH	5 GAL/ AS SHOWN	10/ L7.04	L	2'-3" X 3'-4"
AS REQ'D	56		CRASSULA O. 'JITTERS'/ JITTERS JADE PLANT	5 GAL/ AS SHOWN	10/ L7.04	L	18-24" X 18-24"
AS REQ'D	57		MAHONIA E. 'SOFT CARESS'/ 'SOFT CARESS' MAHONIA	5 GAL/ AS SHOWN	10/ L7.04	M	3' X 3'
NOT USED							
AS REQ'D	58		NANDINA D. 'LEMON-LIME'/ LEMON LIME NANDINA	5 GAL/ AS SHOWN	10/ L7.04	L	3'-4" X 3'-4"
AS REQ'D	59		PENSTEMON X HETEROPYLLUS/ MARGARITA BOP	1 GAL/ AS SHOWN	10/ L7.04	L	3' X 2'-3"
AS REQ'D	60		PHYLLLOSTACHYS NIGRA/ BLACK BAMBOO	15 GAL/ AS SHOWN	10/ L7.04	M	10'-25" TALL
AS REQ'D	61		PITTIOSPORUM T. 'T. RUFFLES'/ TASMAN RUFFLES PITTIOSPOR.	15 GAL/ AS SHOWN	10/ L7.04	M	10' X 4'-5"
AS REQ'D	62		RUPELLIA PENINSULARIS/ DESERT RUPELLIA	5 GAL/ AS SHOWN	10/ L7.04	L	3'-4" X 2'-3"
AS REQ'D	63		SALVIA L. 'SANTA BARBARA'/ SANTA BARBARA SAGE	5 GAL/ AS SHOWN	10/ L7.04	L	2'-3" X 2'-4"
AS REQ'D	64		WESTRINGIA WYN. HIGHLIGHT/ VAR. AUSTRALIAN ROSEMARY	5 GAL/ AS SHOWN	10/ L7.04	L	3'-4" X 3'-4"

ORNAMENTAL GRASSES AND VINES

ORNAMENTAL GRASS LIST							
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	WUCOLS	MATURE HEIGHT
AS REQ'D	65		JUNCUS P. 'ELK BLUE'/ ELK BLUE CAL. RUSH	1 GAL/ AS SHOWN	10/ L7.04	M	1'-2" X 1'-2"
AS REQ'D	66		LOMANDRA L. 'BREEZE'/ DWARF MAT RUSH	5 GAL/ AS SHOWN	10/ L7.04	L	2'-3" X 3'-4"
VINE LIST							
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	WUCOLS	MATURE HEIGHT
AS REQ'D	67		TRACHELOSPERMUM JASMINOIDES 'MADISON'/ MADISON JASMINE	5 GAL/ AS SHOWN	04/ L7.04	M	SPREAD
AS REQ'D	68		CLEMATIS ARMANDII/ ARMAND CLEMATIS	5 GAL/ AS SHOWN	04/ L7.04	M	SPREAD
OTHER							
--- ROOT BARRIER							

Date	Revision
07/02/2022	01
08/02/2022	02
09/02/2022	03
10/02/2022	04
11/02/2022	05
12/02/2022	06
01/03/2023	07
02/03/2023	08
03/03/2023	09
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10/04/2024	28
11/04/2024	29
12/04/2024	30

Job Number: 3036810
Date Published: 11/18/2022
Checked By: KH, JH, KO
Scale: 1" = 10'-0"



PROPOSED - 4 STORY
PARKING GARAGE

PROPOSED - 4 STORY
CLINIC / OFFICE
BUILDING

ALLEY

PLANTING PLAN ROOFTOP 02

PLANTING LEGEND

TREE LIST						
REF.	QTY.	SYM.	CATEGORY / SIZE	BOTANICAL NAME/ COMMON NAME	COMMENTS/ DETAIL	MATURE SIZE HXW
T1	5		36" BOX MULTI TRUNK	CERCIS CANADENSIS/ EASTERN REDBUD	01/ L7.04	M 15'-20' X 20'-25'
T2	11		15" BOX MULTI TRUNK	CERCIS OCCIDENTALIS/ WESTERN REDBUD	01/ L7.04	L 10'-20' X 10'-15'
T3	11		36" BOX STD. TRUNK	SEARSIA LANCEA/ AFRICAN SUMAC	01/ L7.04	L 20'-30' X 20'-30'
SHRUB LIST						
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	MATURE HEIGHT
AS REQ'D	61		AGAVE GLUE GLOW/ BLUE GLOW AGAVE	5 GAL/ AS SHOWN	10/ L7.04	L 1-2' X 2-3'
AS REQ'D	62		AGAVE VICTORIA-REGINAE/ QUEEN VICTORIA AGAVE	5 GAL/ AS SHOWN	10/ L7.04	L 10" X 1-2'
AS REQ'D	63		AGAVE VILMORIANA/ OCTOPUS AGAVE	5 GAL/ AS SHOWN	10/ L7.04	L 3-4' X 3-4'
AS REQ'D	64		ASPARAGUS D. MYERS/ FOXTAIL FERN	5 GAL/ AS SHOWN	10/ L7.04	M 2' X 2-3'

SHRUB LIST (CONT.)

REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	WUCOLS	MATURE HEIGHT
AS REQ'D	65		CHONDROPETALUM TECTORUM/ SMALL CAPE RUSH	5 GAL/ AS SHOWN	10/ L7.04	L	2-3' X 3-4'
AS REQ'D	66		CRASSULA O. JITTERS/ JITTERS JADE PLANT	5 GAL/ AS SHOWN	10/ L7.04	L	18-24" X 18-24"
AS REQ'D	67		MAHONIA E. 'SOFT CARESS'/ 'SOFT CARESS' MAHONIA	5 GAL/ AS SHOWN	10/ L7.04	M	3' X 3'
NOT USED							
AS REQ'D	68		NANDINA D. 'LEMON-LIME'/ LEMON LIME NANDINA	5 GAL/ AS SHOWN	10/ L7.04	L	3-4' X 3-4'
AS REQ'D	69		PENSTEMON X HETEROPHYLLUS/ MARGARITA BOP	1 GAL/ AS SHOWN	10/ L7.04	L	3' X 2-3'
AS REQ'D	70		PHYLLSTACHYS NIGRA/ BLACK BAMBOO	15 GAL/ AS SHOWN	10/ L7.04	M	10'-25' TALL
AS REQ'D	71		PITTOSPORUM T. 'T. RUFFLES'/ TASMAN RUFFLES PITTOSPOR.	15 GAL/ AS SHOWN	10/ L7.04	M	10' X 4-5'
AS REQ'D	72		RUELLIA PENINSULARIS/ DESERT RUELLIA	5 GAL/ AS SHOWN	10/ L7.04	L	3-4' X 2-3'
AS REQ'D	73		SALVIA L. 'SANTA BARBARA'/ SANTA BARBARA SAGE	5 GAL/ AS SHOWN	10/ L7.04	L	2-3' X 2-4'
AS REQ'D	74		WESTRINGIA WYN. HIGHLIGHT/ VAR. AUSTRALIAN ROSEMARY	5 GAL/ AS SHOWN	10/ L7.04	L	3-4' X 3-4'

ORNAMENTAL GRASSES AND VINES

ORNAMENTAL GRASS LIST						
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	MATURE HEIGHT
AS REQ'D	75		JUNCUS P. 'ELK BLUE'/ ELK BLUE CAL. RUSH	1 GAL/ AS SHOWN	10/ L7.04	M 1-2' X 1-2'
AS REQ'D	76		LOMANDRA L. 'BREEZE'/ DWARF MAT RUSH	5 GAL/ AS SHOWN	10/ L7.04	L 2-3' X 3-4'
VINE LIST						
REF.	QTY.	SYM.	BOTANICAL NAME/ COMMON NAME	SIZE/ SPACING	COMMENTS/ DETAIL	MATURE HEIGHT
AS REQ'D	77		TRACHELOSPERMUM JASMINOIDES 'MADISON'/ MADISON JASMINE	5 GAL/ AS SHOWN	04/ L7.04	M SPREAD
AS REQ'D	78		CLEMATIS ARMANDII/ ARMAND CLEMATIS	5 GAL/ AS SHOWN	04/ L7.04	M SPREAD
OTHER						
--- ROOT BARRIER						



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PHSD INTEGRATIVE MEDICINE AND WELLNESS CENTER

1865 NATIONAL AVENUE,
SAN DIEGO CA, 92113

Developed for
FAMILY HEALTH CENTER SAN DIEGO

Date
Revision

Date	Revision
07/22/2022	01
08/02/2022	02
08/02/2022	03
08/02/2022	04
08/02/2022	05
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Job Number: 3086810
Date Published: 11/18/2022
Checked By: KH, JH, KO
Scale: 1" = 10'-0"

PLANTING PLAN

L7.02