



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: October 17, 2024 REPORT NO. PC-24-046

HEARING DATE: October 24, 2024

SUBJECT: SAN DIEGUITO RIVER PARK OSUNA SEGMENT OF THE COAST TO CREST TRAIL PROJECT, Process Four Decision

PROJECT NUMBER: [PRJ-1049410](#)

REFERENCE: Osuna Segment of Coast to Crest Trail Project - San Dieguito River Park Joint Powers Authority [License Agreement](#), [City Council \(R-2024-420\)](#), Osuna Trail Final Mitigated Negative Declaration [SCH# 2023050120](#).

OWNER/APPLICANT: San Dieguito River Park Joint Powers Authority (JPA)

SUMMARY

Issue:

Should the Planning Commission approve a Site Development Permit to construct the one-mile-long Osuna segment of the Coast to Crest Trail, with improvements to include a raised decomposed granite (DG) trail and bridge crossing at the San Dieguito River located at [14555 El Camino Real](#) approximately 2 miles east of Interstate 5 between Via de la Valle and San Dieguito Road in San Diego County, within the [Fairbanks Ranch Country Club Community Planning Area](#)?

Proposed Actions:

1. ADOPT the Environmental Resolution;
2. ADOPT the Mitigation, Monitoring and Reporting Program and;
3. APPROVE Site Development Permit (SDP) No. PMT-3138236.

Fiscal Considerations:

All costs associated with the processing of this application are paid from a deposit account maintained by the applicant. Upon project completion, the San Dieguito River Park Joint Powers Authority (JPA) will be responsible for maintaining this section of the Coast to Crest Trail.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

Community Planning Group Recommendation:

On October 28, 2021, the Carmel Valley Community Planning Board voted 11- 0 in support of the extension of the Osuna Segment of Coast to Crest Trail.

Other Recommendations:

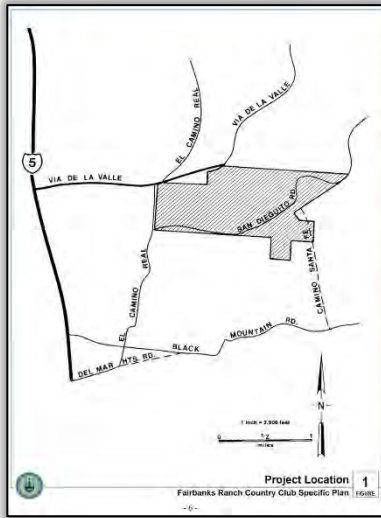
On July 28, 2020, the City of San Diego Real Estate Assets Department signed a letter in support of the Osuna Trail Segment of the Coast to Crest Trail CNRA Recreational Trail and Greenways Grant Program. On November 11, 2021, San Dieguito Planning Group meeting, the group voted unanimously 9-0 with 4 absent/vacant in support of the proposed project to extend the Osuna Segment of the Coast to Crest Trail (CTC Trail or Trail). On February 13, 2022, Whispering Palms Community Council, submitting, issued a letter endorsing the completion of the San Dieguito River Park JPA Osuna Segment of the Coast to Crest Trail.

Environmental Impact:

The San Dieguito River Park JPA, as Lead Agency pursuant to the State of California Environmental Quality Act (CEQA), prepared and adopted a Mitigated Negative Declaration (SCH No. 2023050120) for the Osuna Segment of the Coast to Crest Trail (Resolution No. 23-3). A Mitigation, Monitoring And Reporting Program (MMRP) has been prepared and will be implemented, which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

The City of San Diego, as a Responsible Agency under CEQA, reviewed and considered the adopted Mitigation Negative Declaration and determined the environmental document to be adequate to cover the activities associated with the City's discretionary action. Implementation of the Mitigation, Monitoring and Reporting Program will reduce any potentially significant environmental impacts to Biological Resources and Tribal Cultural Resources to a level below significance. The MMRP specifies what the mitigation is, the entity responsible for monitoring the program, and when during the process it should be accomplished.

BACKGROUND:



The project site is located in the Fairbanks Ranch Country Club Specific Plan (Plan) area. The Plan area consists of 785+/- acres of land generally located in the San Dieguito River Valley east of Interstate 5 (I-5). A regional site location map is provided in **Figure 1**. The project lies within the San Dieguito River Valley, located at 14555 El Camino Real, approximately 2 miles east of Interstate 5 between Via de la Valle and San Dieguito Road.

The CTC Trail is a planned 71-mile, multi-use regional trail that will ultimately extend from the Pacific Ocean at Del Mar to Volcan Mountain, north of Julian. Approximately 49 miles of the regional trail have already been constructed and are now in use. The proposed Osuna section of the CTC Trail is included in both the JPA-adopted San Dieguito River Park Concept Plan (1994, updated 2002) and the County of San Diego Regional Trails Plan.

DISCUSSION

The objectives of the proposed project are to:

1. Construct the Osuna segment of the CTC Trail as identified in the San Dieguito River Park Concept Plan and County of San Diego Regional Trails Plan.
2. Connect the Osuna portion of the trail to the existing 3.5-mile segment of CTC Trail by one mile from the eastern end of its current terminus at the Surf Cup Sports fields (formerly Polo Fields) to link the trail to San Dieguito Road.
3. Minimize impacts to riparian areas and native habitats by routing through disturbed areas, installing fencing to define trails, installing a bridge, and avoiding wetlands where possible.
4. Provide a safe and enjoyable multi-use trail experience for the trail users (hikers, bicyclists, and equestrians).
5. Avoid and minimize impacts to the natural resources where possible, including riparian wetland habitat, by selecting a bridge design that imposes minimal impacts.
6. Avoid and minimize impacts on historic and cultural resources.

Project Description:

The purpose of the Osuna trail segment (referred to as the Osuna segment or the San Dieguito River Park Osuna Segment of the Coast to Crest Trail Project in some instances) is to extend an existing western 3.5-mile segment of the CTC Trail by one mile from its current terminus at the Surf Cup Sports (formerly Polo Fields) to link the trail to San Dieguito Road. The project lies within the San Dieguito River Valley, located at 14555 El Camino Real, approximately 2 miles east of Interstate 5 between Via de la Valle and San Dieguito Road. It would provide a vital linkage, connecting established lagoon and coastal segments of the CTC Trail to the eastern inland trail segments. The Project's proposed improvements include a raised decomposed granite (DG) trail and bridge crossing at the San Dieguito River. The (non-vehicular) trail bridge crossing is essential to connecting the trail to San Dieguito Road where it would link to the subsequently planned segment of the CTC Trail.

This approximate one-mile extension of the Trail will also function as a multi-use trail for hikers, bicyclists, and equestrians. The Osuna segment will include an approximate 150-foot-span prefabricated bridge over the San Dieguito River and will provide an important link to other planned trail segments in the area. The overall trail system will provide a public access route through the City of San Diego open space and easements granted by private landholders. The proposed trail route parallels the north boundary of the City of San Diego open space.

The area for the proposed project consists of the proposed trail alignment plus a 100-foot buffer, totaling 23.85 acres. The CTC Trail is located along the north border of the City of San Diego (City) and the County of San Diego (County). The CTC Trail is located between the Surf Cup Sports facility (Surf Cup) and the Fairbanks Ranch Golf Course, both of which are leased properties from the city of San Diego.

The project boundary extends from the Surf Cup property on the West, borders the Morgan Run Golf Course property to the north, crosses through Fairbanks Ranch property to the east, and traverses through the Evergate Stables property via an existing access road connecting to San Dieguito Road. The trail alignment is constrained due to its proximity to the Morgan Run Golf Course property. Morgan Run has rejected the request from the JPA for the trail to pass through their property and for joint use of their existing bridge over the San Dieguito River. The existing bridge serves the Morgan Golf Course, and it will remain in place and will be used exclusively by golf course users and maintenance staff. The project has been designed to site the CTC Trail bridge and abutments to the south and west of the Morgan Run Golf Course property line. The trail will be surrounded by existing wetlands and upland vegetation. The trail alignment through the Evergate Stables property is located in the unincorporated County of San Diego, was modified to minimize impacts to the freshwater marsh and coastal salt marsh vegetation by utilizing the existing service access road as the trail crossing rather than creating an expanded trail footprint which would present additional environmental impacts.

The project is within the City of San Diego's MSCP Subarea plan area but outside the Multiple Habitat Planning Area (City of San Diego 1997).

Permits Required

- A Site Development Permit (SDP) Process Four is required for deviations from Environmentally Sensitive Lands Regulations, San Diego Municipal Code (SDMC) Section [143.0150](#). The project proposes deviations to the Sensitive Biological Resources regulations in the form of wetlands. This action is pursuant to SDMC Section [126.0502\(d\)\(4\)](#).

The project complies with SDMC Section 143.0150(d) Deviations from Environmentally Sensitive Lands Regulations. The project falls under the allowable deviations to the wetland regulations as an essential public project and, specifically, linear infrastructure essential under SDMC Section 143.0150(d)(1)(B)(ii). The CTC Trail is a regional multi-use public trail planned for 71 miles from the coast in Del Mar to the crest of Volcan Mountain near Julian. Currently, 49 miles of the Trail are complete, with the Osuna segment representing the 50th mile. The CTC Trail is adopted in the San Dieguito River Park Concept Plan ((SDRP)1994, updated 2002) and included in the County of San Diego's Master Trails Plan and State of California State Trails Plan. The SDRP is included in the City's Parks Master Plan.

The Osuna segment would connect existing segments of the CTC Trail on both sides of the river, including San Dieguito Road (existing bike lanes and future CTC Pathway). It closes an essential CTC Trail gap connecting 4.6 miles of coastal/lagoon trail segments to 24 miles of inland segments.

Zoning:

The project site is located within the AR-1-1, AR-1-2, and OF-1-1 zones, which allow for the proposed use. The project site contains Environmentally Sensitive Lands (ESL). The project cannot avoid impacts on ESL to Biological Resources and Wetlands. The project proposes mitigation, which represents a deviation from the ESL regulations. Therefore, the project requires a Site Development Permit (SDP) Process 4 pursuant to SDMC Section [126.0502\(d\)\(4\)](#).

The proposed deviation would allow a bridge crossing over the San Dieguito River that would impact 0.173 acres of wetland habitat. The project minimizes and mitigates wetland impacts to the extent feasible and affords relief from the circumstances and conditions of the land, which are not of the applicant's making. These include existing adjacent established land uses; private land that is not available for the project; the necessity to cross the river at this location to connect to the CTC Trail going east with no other feasible options that have less impact; and the ability to utilize an existing dirt utility road for most of the trail length, again resulting in the least amount of impact to ESL. Furthermore, deviations to the Environmentally Sensitive Lands Wetland Regulations are allowed pursuant to SDMC Section [143.0150\(d\)\(1\)](#) Essential Public Projects Option. As a linear infrastructure essential public project, the proposed Osuna trail would extend the existing 3.5-mile western Lagoon Trail segment of the CTC Trail by connecting the established lagoon segments of the CTC Trail to the eastern inland trail segments.

Community Plan Analysis:

The Fairbanks Ranch Country Club Specific Plan contains policy recommendations on page 33 for Recreation to “provide a range of opportunities for active and passive recreation, educational activities, and neighborhood identification, in all parts of the city, adapted to the needs and desires of each neighborhood and community.”

The plan recommends " enhancing the urban scene by the development of an extensive and varied system of open space and recreation facilities." The proposed trail provides access to open space areas and opportunities for active recreation, consistent with the adopted plan.

The Whispering Palm residential community is located nearby to the northwest of the project site, but the Osuna segment is not proposed in the residential area and would not interfere with existing homes. The proposed project would not disrupt or divide the established community nor have the potential for cumulatively considerable impacts on an established community.

The project would contribute to the completion of a regional trail, the Coast to Crest Trail, which is included in and consistent with the San Dieguito River Park Concept Plan (which is included in the City's Parks Master Plan) and the County of San Diego Regional Trails Plan. The project would not conflict with any other land use plans and is consistent with the area's open space, recreational, and agriculture zoning. Therefore, no impacts would occur.

Environmental Analysis:

As a Responsible Agency under the State of California Environmental Quality Act (CEQA), City Environmental Analysis staff has reviewed and considered the Mitigated Negative Declaration (MND) prepared for the project and determined that the document covers the activities associated with the City's discretionary action. A Mitigation, Monitoring And Reporting Program (MMRP) has been prepared, and implementation of the MMRP would mitigate potentially significant environmental impacts to Biological Resources and Tribal Cultural Resources.

Conclusion:

The staff has reviewed project plans and documents, and all the necessary findings can be made to approve the project as discussed in depth above and demonstrated in the resolution of approval (Attachment 9). Staff recommends that the Planning Commission ADOPT the Mitigation, Monitoring and Reporting Program and APPROVE Site Development Permit No. PMT-3138236.

Alternatives

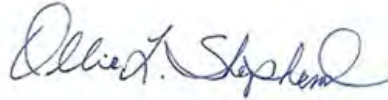
1. ADOPT the Mitigation, Monitoring and Reporting Program for PRJ-1049410; and APPROVE Site Development Permit No. PMT-3138236, with modifications.
2. DO NOT ADOPT the Mitigation, Monitoring and Reporting Program for PRJ-1049410; and DO NOT APPROVE Site Development Permit No. PMT-3138236, if the findings required to

approve the project cannot be affirmed.

Respectfully submitted,



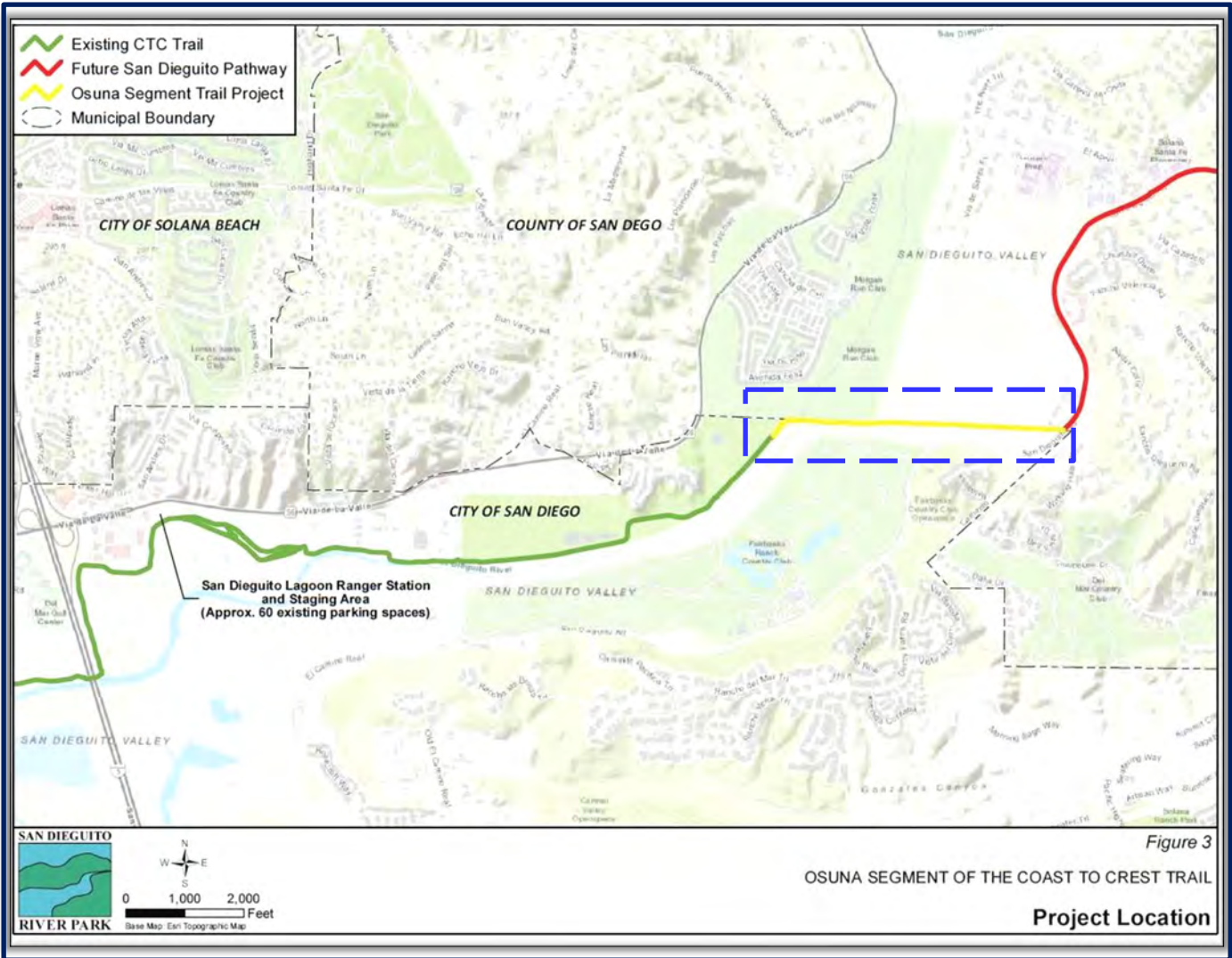
Renee Mezo
Assistant Deputy Director
Development Services Department



Ollie Shepherd
Development Project Manager
Development Services Department

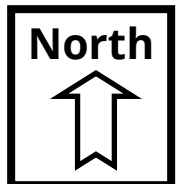
Attachments:

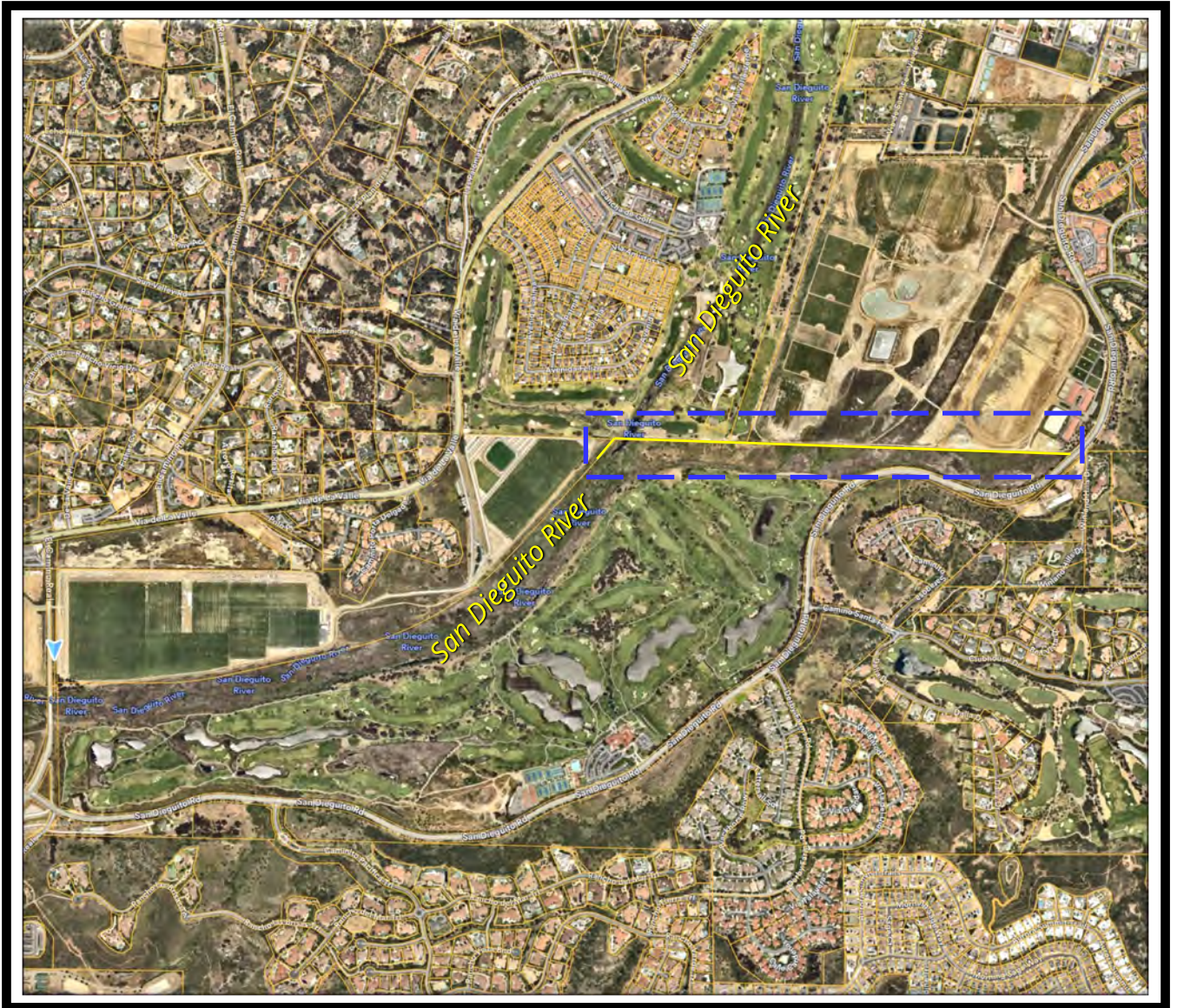
1. Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Site Photographs
5. Draft Environmental Resolution with MMRP
6. [Final Mitigated Negative Declaration](#)
7. Draft Permit with Conditions
8. Draft Permit Resolution with Findings
9. Community Planning Group Recommendation
10. City of San Diego Real Estate Assets Department signed letter of support for Osuna Trail Segment of the Coast to Crest Trail CNRA Recreational Trail and Greenways Grant Program.
11. San Dieguito Planning Group Recommendation
12. Whispering Palms Community Council, letter endorsing completion of the San Dieguito River Park JPA Osuna Segment of the Coast to Crest Trail.
13. Ownership Disclosure Statement
14. Project Plans



Location Map

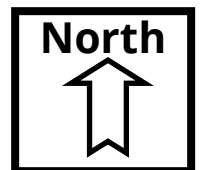
14555 El Camino Real
Project No. PRJ-1049410





Aerial Photo

1455 El Camino Real
Project No. PRJ-1049410



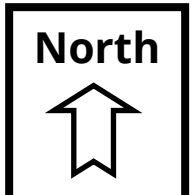
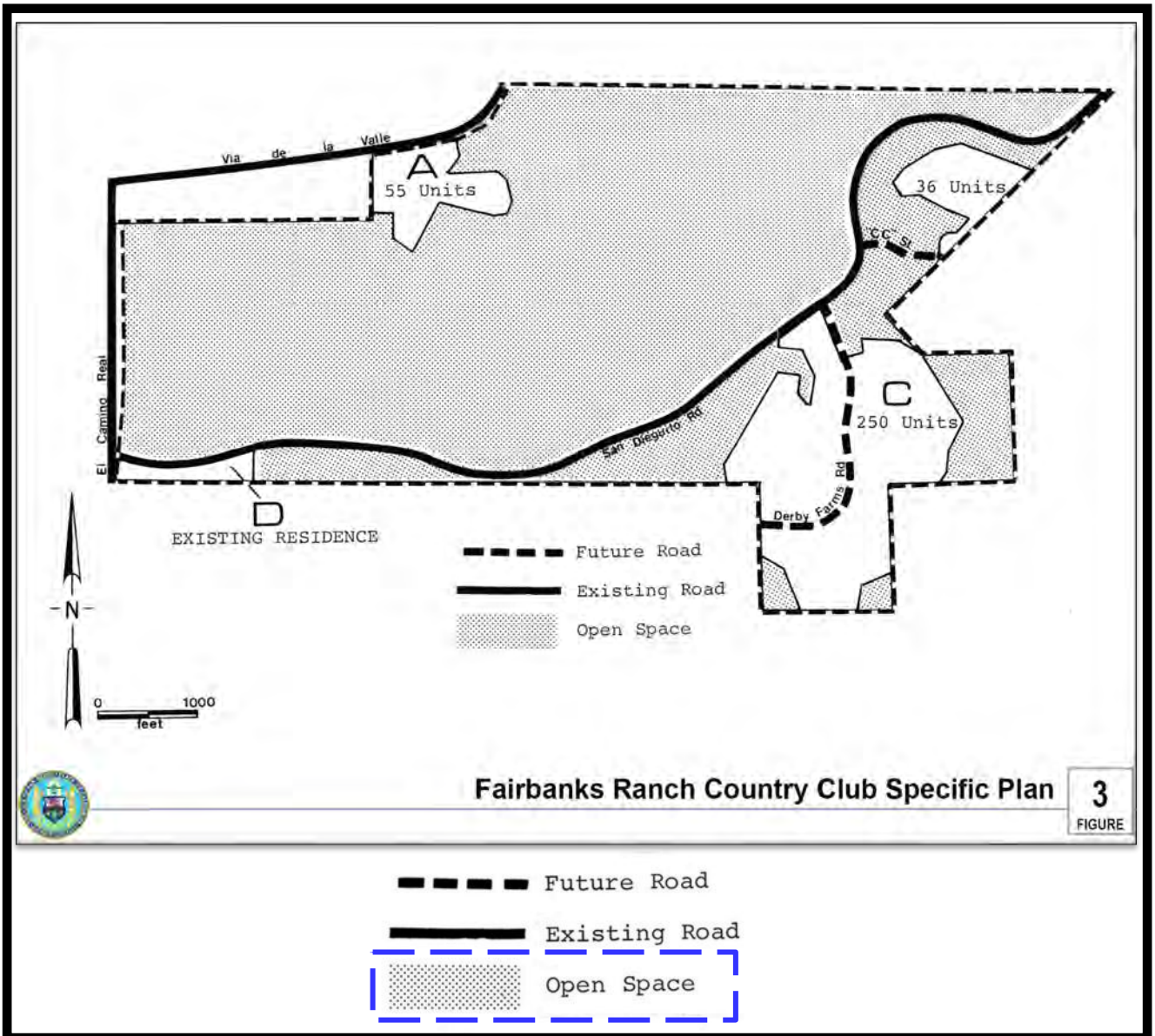




Photo 1

- Facing south towards the existing CTC Trail on Surf Cup Sports lease adjacent to grass field (on right).
- Trail work has been conducted since this photo & most of the invasives pictured growing here along the trail have been removed.



Photo 2

- Facing east towards where the proposed San Dieguito River trail prefabricated steel bridge (140-foot-long x 12-foot-wide) would be located on Fairbanks Ranch Country Club leased land.
- The Trail & bridge abutments would be placed on previously disturbed areas, removing non-natives, & replanted with natives.
- This route was previously disturbed by an OMWD water pipeline project.



Photo 3

- Looking south at San Dieguito River as it flows downstream from project site.
- The proposed bridge would cross over the river spanning the river channel. The bridge abutments & trail have been designed to avoid & minimize impacts to native & riparian habitats.
- Most of the work would occur on previously disturbed areas, & includes removing non-natives, & replanted with natives.



Photo 4

- Facing east, the proposed trail would head towards the Evergate Stables property on an existing disturbed berm that stretches across most of Fair Banks Country Club until the trail approaches Evergate Stables.
- Most of the work would occur on previously disturbed areas along the berm. Trail development would include removing non-natives & replanting with natives.



Photo 5

- Facing east, the proposed trail would travel on the existing berm toward the southern perimeter of the Evergate Stables property.
- The dense brush hides the berm where the trail would gently slope down onto flat previously disturbed areas, approaching Evergate Stables.
- The trail would continue east along the existing maintenance road (visible in the photo) on a 12-foot wide trail easement to San Dieguito Road.



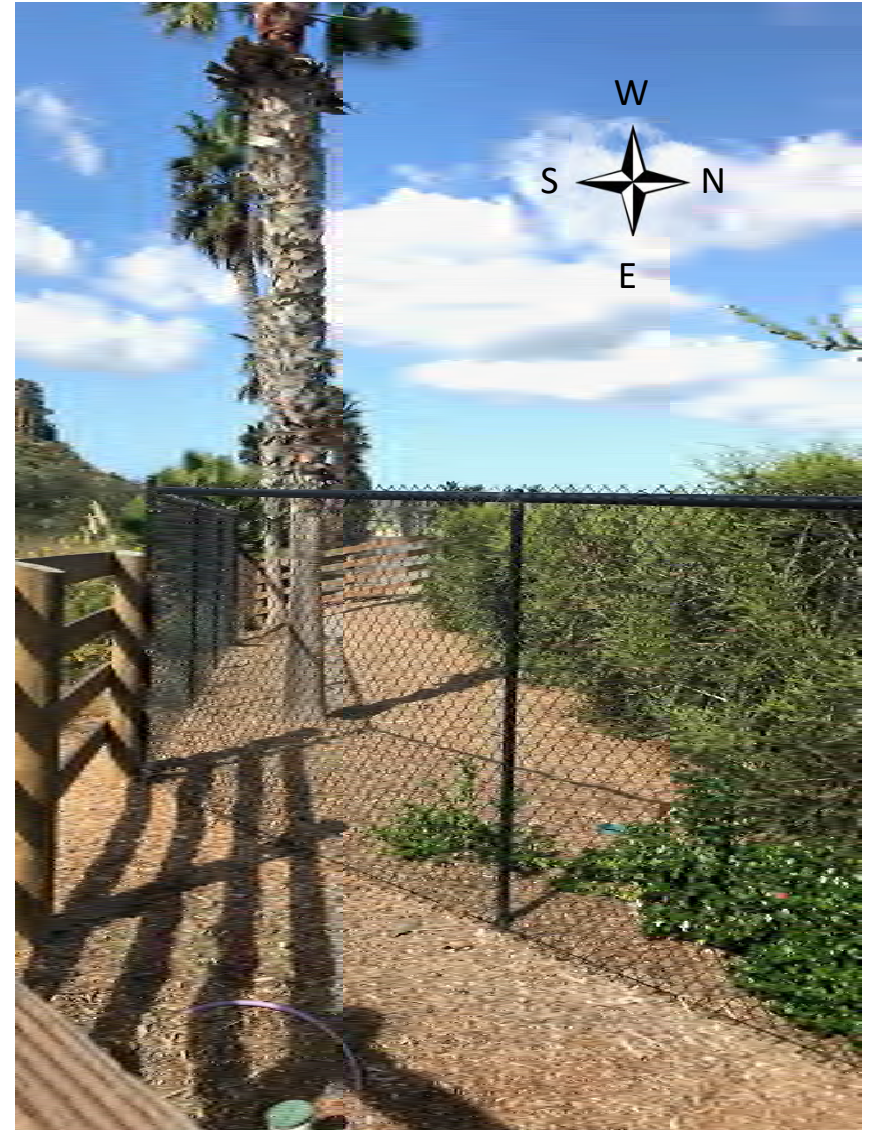
Photo 6

- Facing east towards San Dieguito Road on Evergate Stables property along maintenance road in trail easement.
- The trail would follow the southern fence line along an existing maintenance road. The trail would wrap around (adjacent to) the cattail stand (right side of photo) thereby avoiding freshwater marsh impacts.



Photo 7

- Facing west looking back toward the proposed trail from where the Evergate property meets San Dieguito Road (project terminus).
- The trail would follow the southern fence line (left side of photo) along the existing maintenance road. The trail would link to the planned San Dieguito Pathway, a planned County Public Works project.
- A gate that automatically opens & closes for park hours of operation would be placed at the terminus.



RESOLUTION NUMBER R-XXXX

DATE OF FINAL PASSAGE DATE

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO CERTIFYING, AS A RESPONSIBLE AGENCY, IT HAS REVIEWED AND CONSIDERED THE INFORMATION CONTAINED IN THE MITIGATED NEGATIVE DECLARATION (SCH NO. 2023050120) FOR THE OSUNA SEGMENT OF THE COAST TO CREST TRAIL PROJECT THAT WAS PREPARED AND CERTIFIED BY THE SAN DIEGUITO RIVER PARK JOINT POWERS AUTHORITY, AS LEAD AGENCY, AND ADOPTING A MITIGATION, MONITORING, AND REPORTING PROGRAM PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT IN APPROVING ACTIONS RELATED TO THE OSUNA SEGMENT OF THE COAST TO CREST TRAIL PROJECT, PRJ-1049410

WHEREAS, pursuant to the California Environmental Quality Act (CEQA) Guidelines (California Code of Regulations Chapter 3, Division 6, Title 14; Article 6, sections 15070 to 15075), the San Dieguito River Park Joint Powers Authority, as the lead agency for the Osuna Segment of Coastal To Crest Trail Site Development Permit Project (the Project) that would allow for the construction of a one-mile-long pedestrian, bicycle, and equestrian trail extension of the Coast to Crest (CTC) Trail, including a 150-foot-long trail bridge that would span the San Dieguito River as well as habitat restoration and site improvements (trail fencing and signage), prepared an Mitigated Negative Declaration (SCH No. 2023050120), which documents, describes, discloses, and analyzes the environmental impacts of the Project; and

WHEREAS, on July 21, 2023, the San Dieguito River Park Joint Powers Authority duly certified the Final Mitigated Negative Declaration (SCH No. 2023050120) (Final MND) together with a Mitigation Monitoring and Reporting Program for the Project; and

WHEREAS, on February 25, 2022, the SAN DIEGUITO RIVER PARK JOINT POWERS AUTHORITY submitted a SITE DEVELOPMENT PERMIT application for the Project (PRJ-1049410) to the Development Services Department for approval of the Project; and

ATTACHMENT 5

WHEREAS, the City, with respect to the Project application PRJ-1049410, is a responsible agency for the Project as provided in CEQA Guidelines section 15096; and

WHEREAS, prior to taking discretionary actions for approval of the Project, including the construction and any other approvals to implement the Project by the City as a responsible agency under CEQA, the Planning Commission desires to make certain findings pursuant to CEQA Guidelines 15050, 15091 and 15096; NOW, THEREFORE,

BE IT RESOLVED, by the City of San Diego Planning Commission, that a responsible agency under CEQA, it has reviewed and considered the information contained in the Final Mitigated Negative Declaration (SCH No. 2023050120) (Final MND) relevant to the City's approval of discretionary actions within the City's jurisdiction necessary for the Project as described in the Final MND.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission adopts the Mitigation Monitoring and Reporting Program to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED that the Addendum and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that the Development Services Department staff, or designee, is directed to file a Notice of Determination in accordance with CEQA with the Clerk of the Board of Supervisors for the County of San Diego and the State Clearinghouse in the Office of Planning and Research regarding the project.

By: _____

Ollie Shepherd, DEVELOPMENT PROJECT MANAGER

Attachments: Exhibit A – Mitigation, Monitoring, and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

SITE DEVELOPMENT PERMIT

PRJ-1049410

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration SCH No. 2023050120 shall be made conditions of the Site Development Permit No. 3138236 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (Prior to permit issuance)

1. Prior to the issuance of any construction permits, such as demolition, grading or building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Assistant Deputy Director's (ADD) Environmental Designee (ED) shall review and approve Construction Documents (CD) (plans, specification, details, etc.) to ensure the applicable MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply only to the construction phases of this project are included VERBATIM under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City of San Diego (City) website:

<https://www.sandiego.gov/development-services/forms-publications/design-guidelines-templates>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY:** The DSD Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder’s Representative(s), Job Site Superintendent, and the following consultants:

Qualified Biologist
Qualified Native American Monitor

Note: If all responsible Permit Holders' representatives and consultants fail to attend, an additional meeting with all parties present will be required.

CONTACT INFORMATION:

- a) **The PRIMARY POINT OF CONTACT is the RE at the Field Engineering Division – 858-627-3200**
 - b) **For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, the Osuna Segment of the Coast to Crest Trail (PRJ-1049410) and/or Environmental Document (Mitigated Negative Declaration (SCH No. 2023050120)), shall conform to the mitigation requirements contained in the associated Environmental Document and be implemented to the satisfaction of the DSD’s ED and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and the location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, monitoring times, methodology, etc.)

Note: The Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans, notes, or changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Prior to issuance of a grading permit, evidence of compliance with all other agency requirements or permits shall be submitted to the MSCP, DSD (MMC) Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency, associated with:
US Department of Fish and Wildlife Service’s Nationwide Permit/Section 7 Consultation; and
California Department Fish and Wildlife’s Streambed Alteration Agreement
4. **MONITORING EXHIBITS:** All consultants are required to submit to RE and MMC, a monitoring exhibit on an 11x17 reduction of the appropriate construction plan, such

as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery: When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

- 5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Table 1: Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to the Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at the Preconstruction Meeting
Biological Resources	Other Agency Permits, including USFWS Nationwide Permit/Section 7 Consultation and CDFW Streambed Alteration Agreement	Prior to grading permit issuance
Biological Resources	Biologist Limit of Work Verification	Limit of Work Inspection
Biological Resources	Biology Reports	Biology/Habitat Restoration Inspection
Historical Resources	Archaeology Reports	Archaeology/Historic Site Observation

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Table 1 Mitigation Monitoring and Reporting Program, Osuna Trail (MND SCH# 2023050120)

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
BIOLOGICAL RESOURCES	Potential for direct impacts to occur because of grading for the trail and installation of bridge abutments.	MM-BIO-1: Upland Mitigation. To compensate for direct impacts to 0.47 acres of Tier II coastal sage scrub habitat the project will provide onsite restoration/revegetation of coastal sage scrub vegetation, within the side slopes and margins of the trail, as well as within non-native habitat areas adjacent to the trail. Where disturbed habitat and non-native vegetation (i.e., tamarisk and ornamental vegetation) exist adjacent to the trail, the non-native species will be removed, and the areas will be revegetated and enhanced with native species. A minimum of 0.47 acres of CSS mitigation compensation will be required onsite to compensate for these impacts. The project proposes to restore and enhance 0.49 acres of upland CSS vegetation through removal of exotic species and revegetation, which includes establishment of CSS within the trail slopes. The proposed upland mitigation meets and exceeds the required mitigation acreage, as shown on BTR Figure 5A. The project will implement the upland restoration and enhancement program shown on the revegetation planting and irrigation plans, including in BTR Appendix E.	Comply with final Habitat Restoration plan sheets and requirements. Report to permit authorities as required by project permits including the City's SDP which includes submittal of a BCME/report to the satisfaction of the City MMC.	The JPA shall be responsible for restoration/revegetation and preparation and submittal of a BCME/report. The City MMC shall be responsible for reviewing the BCME/report.	<ul style="list-style-type: none"> • Prior to construction activities (BCME/report submittal to City MMC) • During construction activities (on-site restoration) • Within 30 days of construction completion (final BCME/report submittal to City MMC)
	Potential for permanent and temporary impacts to sensitive riparian habitats from	MM-BIO-2: Wetland Mitigation. To compensate for the direct impacts to 0.173 acres of wetlands and non-wetland waters, including open water, the project will provide reestablishment (i.e., restoration) of the side slopes and margins of the trail,	Comply with wetland restoration and enhancement program shown on the project landscape plans and irrigation plans.	The JPA shall be responsible for implementation of the wetland restoration and enhancement program. The City MMC	<ul style="list-style-type: none"> • Prior to issuance of a NTP for any construction permits (JPA plan submittal with

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
	construction activities.	where the trail passes through existing wetlands, and non-native riparian and arundo-dominated riparian vegetation communities. These areas will be restored with wetland and riparian vegetation. In addition, within areas outside of the trail footprint, where Non-Native Riparian, Arundo-dominated Riparian and Tamarisk Scrub communities exist, the non-native species will be removed and/or treated, and enhanced (i.e. rehabilitated) through revegetation with appropriate wetland and riparian vegetation. A minimum of 0.308 acres of wetland mitigation compensation is required, as shown in BTR Table 12, composed of wetland restoration (i.e. reestablishment) and enhancement (i.e. rehabilitation). The project proposes to restore (i.e., reestablish) 0.17 acres of wetlands and enhance (i.e., rehabilitate) 0.17 acres of wetlands through exotic species removals and revegetation, for a total of 0.34 acre of wetland mitigation which exceeds the required mitigation acreage of 0.308 by 0.032 acre. The project will implement the wetland restoration and enhancement program shown on the revegetation planting and irrigation plans, included in BTR Appendix E.	Report to permit authorities as required by project permits including the City's SDP which includes submittal of a final BCME/report to the satisfaction of the City MMC.	shall be responsible for reviewing the project permits and plans and the BCME/report.	<p>approved mitigation plan)</p> <ul style="list-style-type: none"> • Prior to construction activities (BCME/report submittal to City MMC) • During construction activities (on-site restoration) • Within 30 days of construction completion (final BCME/report submittal to City MMC)
	Potential for project construction activities to inadvertently disturb areas outside the limits of grading.	MM-BIO-3: Installation of Temporary Fencing. Prior to the start of construction, to prevent inadvertent disturbance to areas outside the limits of grading, the contractor shall install temporary orange construction fencing along the limits of grading.	<ul style="list-style-type: none"> • List in SDP conditions. • Install per project construction plans. • QB shall monitor construction activities to ensure compliance and provide a letter to the City MMC verifying proper installation. 	The JPA shall be responsible for fence installation, QB monitoring, and fence removal. The City MMC shall be responsible for verifying proper installation.	<ul style="list-style-type: none"> • Prior to construction activities (fence installation and reporting to permit authorities) • During construction (QB monitor)

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
			<ul style="list-style-type: none"> Report to permit authorities as required by project permits including SDP. 		<ul style="list-style-type: none"> After construction activities (fence removal).
	Potential for trail users to inadvertently disturb areas outside the limits of trail.	MM-BIO-4: Installation of Permanent Fencing. To prevent inadvertent disturbance to areas outside the limits of trail following construction, the contractor shall install permanent fencing as shown on the project engineering grading plans, provided under separate cover.	<ul style="list-style-type: none"> Install per project construction plans. Monitor construction activities to ensure compliance. 	JPA shall be responsible for implementation of these measures. The JPA and City MMC shall be responsible for ensuring compliance.	<ul style="list-style-type: none"> During construction. Fencing shall be installed prior to trail opening.
	Potential for project construction activities to inadvertently disturb areas outside the limits of grading.	MM-BIO-5: Construction Monitoring and Reporting. At the start of construction, to prevent inadvertent disturbance to areas outside the limits of grading, all disturbance of native habitat shall be monitored by a biologist. The QB(s) shall be contracted with the JPA to perform biological monitoring during all clearing, grubbing and construction activities. The QBs shall perform the following duties: <ul style="list-style-type: none"> a. Attend the pre-construction meeting with the contractor and other key construction personnel prior to clearing and grubbing to provide educational guidelines for work within the sensitive habitat areas. The QB shall discuss measures to reduce conflict between the timing and location of construction activities with other mitigation requirements (e.g., seasonal surveys for nesting birds). b. During clearing and grubbing, the QB shall conduct meetings with the contractor and other key construction personnel each morning prior to construction activities in order to go over the proposed activities for the 	<p>All disturbance of native habitat shall be monitored by the QB during construction. The QB(s) shall be contracted with the JPA to perform biological monitoring during all clearing and grubbing activities and during bridge construction.</p> <p>Report to permit authorities as required by project permits including SDP.</p>	<p>The JPA shall be responsible for pre-construction meeting attendance, QB meetings and monitoring and verification during construction, and final biological reporting after construction.</p> <p>The City MMC shall be responsible for reviewing and approving the results of the pre-construction survey.</p>	<ul style="list-style-type: none"> Prior to construction (pre-construction meeting) Prior to construction activities (BCME/report submittal to City MMC) During clearing and grubbing (daily morning meetings) Prior to construction (review/verification of limits of construction and fencing) During clearing and grubbing (weekly monitoring) Immediately prior to brush clearing activities (flush wildlife species)

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
		<p>day, and for the monitor(s) to describe the importance of restricting work to designated areas and to minimize and avoid harm to, or harassment of, wildlife prior to clearing and grubbing.</p> <p>c. Review and/or verify the limits of the construction area in the field with the contractor in accordance with the final grading plan prior to clearing and grubbing. Assure that temporary construction fencing demarcating the limits of grading are installed and properly maintained.</p> <p>d. Supervise and monitor vegetation clearing and grubbing weekly to ensure against direct and indirect impacts to biological resources that are intended to be protected and preserved and to document that protective fencing is in place and intact.</p> <p>e. Flush wildlife species (i.e., reptiles, mammals, avian, or other mobile species) from any occupied habitat areas immediately prior to brush-clearing activities. This does not include disturbance of nesting birds or "flushing" of state-listed species (i.e., Ridgeways Rail, or other listed species).</p> <p>f. Periodically monitor the construction site to verify that the project is implementing and complying with the project stormwater pollution prevention plan practices: dust control, fiber rolls and silt fencing as appropriate, removal of construction debris and a clean work area, covered trash receptacles that are animal-proof and</p>			<ul style="list-style-type: none"> • During construction (periodic monitoring for stormwater compliance) • Within 30 days of construction completion (final BCME/report submittal to City MMC)

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
		<p>weather-proof, and prohibition of pets on the construction site.</p> <p>g. Prepare and retain monitoring notes for the duration of the proposed project for submittal in a final report to substantiate the biological supervision of the vegetation clearing and grading activities and the protection of the biological resources.</p>			
	Potential for impacts to sensitive habitat during construction including establishment of revegetation areas.	<p>MM-BIO-6: Long-Term Five-Year Biological Monitoring and Reporting. Starting at the end of construction and following the 120-day plant establishment period, the long-term establishment of the mitigation revegetation areas shall be monitored by a QB/habitat restoration specialist. The QB(s) shall be contracted to perform biological monitoring throughout the five-year maintenance and monitoring period. The QB(s) shall perform the following duties:</p> <p>a. Monitor the project bi-monthly during years one and two, and quarterly during years three through five.</p> <p>b. Monitoring shall include qualitative monitoring based upon visual observations, as well as quantitative monitoring through the use of point intercept transect data collection to record percent cover of native and non-native species within the revegetation areas. Transects shall be taken in all representative mitigation/revegetation areas. The QB shall determine the location, length, and quantity of the transects to provide an adequate representation of the site conditions.</p>	Implement project vegetation plan prepared by project biological consultant in accordance with the project Biological Technical Report to comply with restoration and enhancement of habitat and long-term maintenance/management.	The JPA shall be responsible for implementation of the long-term monitoring of revegetated areas.	<ul style="list-style-type: none"> At the end of the 120-day plant establishment period for five years and as specified in SDP condition.

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
		<p>c. Results of the monitoring effort shall be documented in annual monitoring reports to be prepared at the end of each yearly monitoring period. The reports shall describe the current site conditions, progress towards achievement of the project's success criteria and performance standards and any remedial measures that might be necessary to help ensure project success.</p> <p>d. The annual success criteria and performance standards shall be shown as in Appendix A BTR Section 7, MM-BIO-6 Tables 13–15.</p> <p>e. For all revegetation areas there shall be no invasive plant species present, as described/listed on the most recent version of the California Invasive Plant Council California Invasive Plant Inventory for the project region, throughout the five-year maintenance and monitoring period.</p>			
	Indirect impacts could occur because of grading for the trail and installation of the bridge abutments.	MM-BIO-7: Best Management Practices (BMPs). To avoid indirect impacts, the project shall be required to meet National Pollutant Discharge Elimination System regulations, incorporate appropriate BMPs during project construction, install permanent BMPs per the City's Storm Water Standards Manual, and prepare and implement a Stormwater Pollution Prevention Plan. BMPs will include but are not limited to the placement of silt fencing and fiber rolls along the edges of all graded areas. The outer limits of the grading/disturbance areas shall be demarcated with orange construction fencing. Any grading that will occur	All disturbance of native habitat shall be monitored by a QB during construction. The QB(s) shall be contracted with the JPA to perform biological monitoring during all clearing and grubbing activities and during bridge construction.	The JPA shall be responsible for implementation of contracting with QBs to perform biological monitoring. The City shall be responsible for monitoring BMP compliance.	During construction (temporary and permanent BMP installation)

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
		immediately adjacent to or within standing/flowing water shall be stabilized and confined to prevent soil migration through protective measures specified in the engineering construction documents.			
	Temporary impacts to sensitive biological resources may occur during clearing and grubbing activities.	MM-BIO-8: Construction Flagging and Environmental Training. All required construction protection measures shall be followed, which includes having a QB present during construction activities to provide environmental training, supervise flagging of sensitive resources prior to construction as needed, and monitor the project during construction as needed to ensure no unauthorized impacts occur.	All disturbance of native habitat shall be monitored by a QB during construction. The QB(s) shall be contracted with the JPA to perform biological monitoring during all clearing and grubbing activities and during bridge construction.	The JPA shall be responsible for contracting with QBs to perform biological monitoring. The City MMC shall be responsible for ensuring compliance.	<ul style="list-style-type: none"> • Prior to issuance of a NTP for any construction permits •
	Impacts to sensitive bird species (least Bell's vireo, northern harrier, least bittern, Cooper's hawk, Canada goose, Swainson's hawk, white-tailed kit, California horned lark and yellow warbler) within 300 feet of the project site could occur from noise from construction activities during the nesting and breeding season.	<p>MM-BIO-9: Nesting Bird Surveys. To avoid any indirect impacts to the above listed species, construction within 300 feet of suitable habitat, shall occur outside of the breeding season for these species (February 1 to September 15).</p> <p>If construction within 300-feet of suitable nesting habitat must occur during the breeding season, a QB shall conduct a pre-construction survey within suitable habitat to determine the presence or absence of nesting birds in the proposed area of disturbance. The pre-construction survey shall be conducted within 72 hours (i.e., three days) days prior to the start of construction activities. If nesting sensitive birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable state and federal law (i.e., appropriate follow up surveys, monitoring schedules, construction, and noise barriers/buffers, etc.) shall be prepared and include</p>	Construction within 300 feet of suitable habitat for sensitive birds during the breeding season (February 1 to September 15) shall be monitored by a QB. The QB(s) shall be contracted with the JPA to perform biological monitoring during all clearing and grubbing activities and during bridge construction.	The JPA shall be responsible for identifying if a pre-construction survey is necessary and preparing a letter report or mitigation plan. The City MMC shall be responsible for reviewing and approving the pre-construction survey.	<ul style="list-style-type: none"> • Prior to issuance of a NTP for any construction permits •
	Sensitive birds are: Ridgway's				

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
	<p>rail, least Bell's vireo, northern harrier, least bittern, Cooper's hawk, Canada goose, Swainson's hawk, white-tailed kit, California horned lark and yellow warbler</p>	<p>proposed measures to be implemented to ensure that the disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented the satisfaction of the City. The QB, in concert with the City, shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.</p> <p>If nesting by the above listed sensitive birds is detected, then an appropriate impact avoidance area shall be included in the mitigation plan and an appropriate buffer determined by the project biological monitor shall be established around the active nest using orange fencing or other clear demarcation method. The radius of this avoidance buffer shall be determined through coordination with the QB and authorized by the City's project manager and DSD and shall use orange fencing or other clear demarcation method to define the approved buffer. If none of these sensitive birds are observed nesting during the pre-construction survey then no further mitigation is required.</p>			
	<p>Construction within the river, up to the top of the riverbank may have adverse indirect impacts on least Ridgway's rail, if present and if construction</p>	<p>MM-BIO-10: Ridgway's Rail Protective Measures. The following protective measures will be implemented to avoid impacts to Ridgway's rail, which are a year-round resident of this portion of the San Dieguito River. It is assumed that Ridgway's rail are present in the area and that the river vegetation is occupied habitat, so protective measures are</p>	<p>Prior to the preconstruction meeting, the City's MMC shall verify that the requirements regarding Ridgway's rail are shown on the BCME/report and construction plans.</p> <p>Construction within the river, up to the top of the riverbank, during the</p>	<p>The JPA shall be responsible for identifying if construction would occur during the Ridgway's rail breeding season, contracting with a QB to determine presence, and flush out of the work area if necessary.</p>	<ul style="list-style-type: none"> • Prior to issuance of a NTP for any construction permits

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
	occurs during the breeding season for this species (February 1 through September 15).	<p>necessary for any work within the river habitat, up to the top of the riverbank.</p> <p>No construction and/or vegetation removal within the river, up to the top of the riverbank, shall occur during the Ridgway's rail breeding season (Feb. 1 - Sept. 15).</p> <p>All construction work and/or vegetation removal planned within the river habitat, up to the top of the riverbank, outside of the breeding season (i.e., Sept 15 -Feb 1), requires that the following measures be implemented to protect Ridgway's rail.</p> <ol style="list-style-type: none"> 1. Prior to the start of any construction work within the river and up to the top of the riverbank, the QB shall conduct a contractor education tailgate meeting to educate the construction crew to the importance of protecting Ridgway's rails, and on how to identify the species. The biologist will instruct the construction crew to contact the biologist immediately if any bird resembling Ridgway's rail are identified within or adjacent to the work area, to determine whether additional measures are necessary to protect the species. 2. A CDFW qualified Biologist shall survey all work areas within the river habitat prior to the start of work, to ensure that no Ridgway's rails are present within the work area. The surveys shall be conducted within the work area and within a 100-foot buffer zone surrounding the work area. The surveys shall begin at or just before sunrise, approximately one hour prior to the start of work. During the 	breeding season (February 1 through September 15) shall be monitored by a QB during construction. The QB(s) shall be contracted with the JPA to perform biological monitoring during all clearing and grubbing activities and during bridge construction.	The City MMC shall be responsible for reviewing and approving the results of the pre-construction survey.	

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
		<p>surveys the biologist shall evaluate Ridgway's rails presence within or adjacent to the work area. If no Ridgway's rails are detected by the biologist within the work area, then vegetation removal can proceed. If Ridgway's rail are detected within the work area, the biologist shall direct construction personnel to stop work within the river and work elsewhere in an area away from Ridgway's rail, until the biologist can flush the birds out of the work area. Once the birds are flushed from the work area the construction work can resume. Once the vegetation removal and disturbance is complete the surveys will no longer be necessary. The biologist shall record the number and locations of any Ridgway's rails detected, either through direct observation or through calls, within the work area or within the 100-foot buffer zone during these surveys. The biologist shall prepare a site observation report documenting each site monitoring visit. A final report including a map showing the work area and any Ridgway's Rail observations/ detection points, shall be prepared once all construction work within the river habitat is complete. The report shall document the monitoring efforts and completion of the work. The reports shall be provided to the appropriate resource agencies.</p>			

Resource Area	Impact	Mitigation Measure	Monitoring or Reporting Action	Monitoring Responsibility	Timing
TRIBAL CULTURAL RESOURCES	Construction may cause unintended or unanticipated impacts to cultural resources.	<p>MM-CUL-1 A qualified Native American monitor shall attend the pre-construction meeting with the JPA project manager and construction contractor and be present to monitor initial ground disturbance for the project. Once they have determined that grading and other disturbances have removed soils with a reasonable potential for containing cultural material, monitoring can be reduced to as needed and when and if additional ground-disturbing activities continue in native soil. If tribal cultural material is encountered, the Native American monitor shall have the authority to temporarily halt or redirect ground-disturbing activity while the cultural material is documented and assessed.</p> <p>If a cultural resource is determined to be significant, the monitor shall coordinate to develop and implement appropriate treatment measures. Artifacts collected (if any) shall be cataloged, analyzed, and curated with accompanying catalog to current professional repository standards and transferred to an appropriate curating facility within San Diego County or returned to the consulting tribe for reburial or for curation at a tribal facility.</p>	<ul style="list-style-type: none"> • Confirm construction schedule at pre-construction meeting. • Monitor construction activities to ensure compliance and communicate activities and schedule with monitors. • Communicate and obtain concurrence from identified tribal representatives. 	The JPA shall be responsible for pre-construction meeting attendance, inviting a Native American monitor to the pre-construction meeting and being present for monitoring during initial ground disturbance. The City MMC shall be responsible for ensuring compliance.	<ul style="list-style-type: none"> • Prior to issuance of a NTP for any construction permits During construction

ATTACHMENT 6
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ACCESS DIGITALLY
VIA PDF STAFF REPORT

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009116

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3138236
OSUNA SEGMENT OF COAST TO CREST TRAIL PROJECT NO. PRJ-1049410 [MMRP]
 PLANNING COMMISSION

This Site Development Permit No. 3138236 is granted by the Planning Commission of the City of San Diego to the SAN DIEGUITO RIVER PARK JOINT POWERS AUTHORITY, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 143.0110. The 1.8-acre site is located east of Interstate 5, and approximately 2 miles east of El Camino Real and lies between Via De La Valle to the west, and San Dieguito Road to the east in the AR-1-1(Agricultural - Residential), AR-1-2 (Agricultural - Residential) and predominantly within the OF-1-1(Open Space - Floodplain) zones of the Fairbanks Ranch Country Club Community Plan. The project sites are legally described as: that portion of Lot No. 1 of Fairbanks Ranch Country Club Unit No. 1, according to the Map thereof No. 10730, in the City of San Diego, filed in the Office of the County Recorder of the County of San Diego, State of California, described as follows: Beginning at the Northerly terminus of the West line of said Lot 1; thence South 89°02 '46" East along the boundary of Lot 1 a distance of 2,688.58 feet; thence North 00°36'06" East 20.00 feet; thence South 89°57'49" East 175.32 feet; thence 00°55'54" West 246.03 feet; thence South 65°34'37" East 227.34 feet; thence North 29°55'09" East 611.49 feet; thence South 72°03'30" East 587.57 feet; thence North 74°40'00" East 128.58 feet; thence North 23°11 '55" East 106.62 feet; thence North 12°54'09" West 232.88 feet; thence North 46°58'30" West 143.63 feet; thence South 86°23'17" West 301.60 feet; thence North 19°19'23" East 163.19 feet; thence North 23°08'51" West 190.26 feet; thence North 29°08'26" East 12.54 feet to the beginning of a non-tangent 849.00-foot radius curve concave Northwesterly, a radial line to said point bears South 28°24'52" East; thence Northeasterly along the arc of said curve through a central angle of 23°43'57", a distance of 351.66 feet; thence leaving said curve along a non-tangent line North 41°16'49" East 63.42 feet to the beginning of a non-tangent 540.00-foot radius curve concave Northwesterly, a radial line to said point bears South 48°43' 11" East; thence Northeasterly, along the arc of said curve through a central angle of 32°41 '21", a distance of 308.09 feet; thence leaving said curve along a non-tangent line South 87°36'22" East 1,474.63 feet; thence leaving the boundary of said Lot 1 South 42°52'00" West 850.00 feet; thence South 41°20'34" West 522.34 feet to the beginning of a tangent 3,135.00-foot radius curve concave Northwesterly; thence Southwesterly along the arc of said curve through a central angle of 21 °38'43 " , a distance of 1,184.34 feet; thence leaving the arc of said curve along a radial line to said curve North 27°00'43" West 154.26 feet; thence North 53°39'49" West 120.00 feet; thence South 80°40'46" West 96.25 feet; thence South 25°51 '38" West 95.00 feet; thence South 59°28'51" West 105.00 feet; thence North 66°12'16" West

80.00 feet; thence South 82°40'21" West 275.00 feet to the beginning of a tangent 175.00-foot radius curve concave Easterly; thence Southerly along the arc of said curve through a central angle of 94°23'35", a distance of 288.31 feet; thence South 11 °43' 14" East 132.00 feet; thence South 78°16'46" West 1,186.00 feet to the beginning of a tangent 2,930.00-foot radius curve concave Northerly; thence Westerly along the arc of said curve through a central angle of 809°12'35", a distance of 470.97 feet, thence leaving the arc of said curve along a non-tangent line South 83°52'53"West 553.67 feet to a line which is parallel with and 10.00 feet North of the South line of said Lot 1; thence North 89°28'00" West a distance of 625.91 feet to the West line of said Lot 1; thence along said West line North 00°24'12" West 722.48 feet and North 01°31 '23" East 404.64 feet to the Point of Beginning, except that portion of Lot 1 dedicated for Via De La Valle by City Council Resolution 262466; and the coterminous project sites are legally described as; the land referred to herein below is situated in the City Of San Diego, in the County Of San Diego, State of California, and Is described as follows: Lot 1 of Fairbanks Country Club No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 10730, filed in the Office of the County Recorder of San Diego County, on September 29, 1983.

Excepting therefrom, until December 31, 2044, as a mineral interest and not as a royalty interest, all of the minerals of every kind, including, but not limited to, all oil, gas, hydrocarbons and associated substances in, under or that may be extracted, produced and saved from said real property but without the right of entry to the surface of said real property or the top 500 feet of the subsurface of said real property for the purposes of exploring for, developing and removing such minerals, as reserved by Watt Industries/San Diego, Inc. In Grant Deed Recorded October 24, 1983 As File No. 83-382964 Of Official Records. APN: 302-261-01 and 760-146-07

Subject to the terms and conditions set forth in this Permit, permission is granted to the SAN DIEGUITO RIVER PARK JOINT POWERS AUTHORITY Owner/Permittee to construct a one-mile-long pedestrian, bicycle, and equestrian trail extension of the Coast to Crest (CTC) Trail described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 24, 2024, on file in the Development Services Department.

The project shall include:

- a. Construction of a one-mile-long pedestrian, bicycle, and equestrian trail extension of the Coast to Crest (CTC) Trail, composed of decomposed granite, as well as site improvements including native landscaping, a 150-foot-long trail bridge spanning the San Dieguito River habitat restoration and site improvements (trail fencing and signage).
- b. A deviation from SDMC Section 143.0141(b) wetland regulations is allowable under SDMC Section 143.0150(d)(1) for essential public projects. Impacts to wetlands shall be avoided to the maximum extent possible, but for the 0.173 acres of wetlands that will be impacted, no feasible alternative exists that would avoid the small area of wetland impacts; and
- c. Landscaping (planting, irrigation, and landscape-related improvements).

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1

of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by November 7, 2027.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance, and continued recognition of Third-Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this

Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Owner/Permittee of any claim, action, or proceeding, and if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible for defending, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Owner/Permittee shall pay all the costs related thereto, including reasonable attorney's fees and costs without limitation. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in the Mitigated Negative Declaration, SCH No. 2023050120, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS for:

*Biological Resources; and
Tribal Cultural Resources*

14. Prior to issuance of a grading permit, evidence of compliance with all other agency requirements or permits shall be submitted to the MSCP, DSD (MMC) Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency, associated with:

*US Department of Fish and Wildlife Service's Nationwide Permit/Section 7 Consultation; and
California Department Fish and Wildlife's Streambed Alteration Agreement*

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

17. The State Construction General Permit (CGP), Order No. 2022-0057-DWQ, NPDES No. CAS000002, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. This project will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of approval of ministerial permit. The current Storm Water Development Regulations became effective on February 16, 2016 and this project will be subject to those regulations.

18. Prior to issuance of a Grading Permit and the initiation of construction activities, a Conditional Letter of Map Revision (CLOMR) shall be obtained from FEMA in coordination with processing through the City of San Diego's Floodplain Management section.

19. As part of the CLOMR process, a regulatory floodway shall be established in the applicable reach of the San Dieguito River upstream and downstream of the proposed bridge. At the jurisdictional boundary between the City of San Diego and the County of San Diego upstream of the

project, the regulatory floodway transition to the County floodway shall be determined in coordination between the City and the County.

20. As part of the CLOMR process, post-project water surface elevation (100-year and potentially other return frequencies) shall be determined in comparison to the pre-project water surface elevations and be deemed to be within the allowable water surface elevation increase tolerance as determined by the City of San Diego's Floodplain Management section.

21. Prior to issuance of a Grading Permit, the County of San Diego shall provide concurrence with the hydraulic calculations provided in the establishment of the proposed condition floodplain and floodway boundaries and elevations at and upstream of the jurisdictional boundary.

22. Prior to issuance of a Grading Permit, the hydraulic calculations shall demonstrate that the proposed elevation of the low chord of the bridge is above the proposed conditions 10-year water surface elevation and that sufficient freeboard is provided prior to bridge overtopping to the satisfaction of the City Engineer.

23. Prior to issuance of a Grading Permit, structural review concurrence shall be provided demonstrating that the bridge has structural integrity with required safety factors to withstand forces associated with bridge overtopping at the 100-year design flow event to the satisfaction of the City Engineer.

24. Prior to issuance of a Grading Permit, structural review shall be provided demonstrating that the bridge has structural integrity with required safety factors to withstand bridge scour forces at the 100-year design flood event to the satisfaction of the City Engineer.

25. Prior to public use of the bridge, a Letter of Map Revision (LOMR) shall be obtained from FEMA in coordination with processing through the City of San Diego's Floodplain Management section.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

27. Prior to issuance of any construction permit for building, the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said

landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PARKS AND RECREATION REQUIREMENTS

30. The Owner/Permittee shall ensure Parks and Recreation review and approval of grading plans prior to permit issuance. The grading plans shall contain sufficient information on the proposed temporary irrigation system or proposed watering system for Parks and Recreation review and approval.

31. The Owner/Permittee shall ensure that all temporary irrigation required to establish vegetation be removed prior to the end of the contractor provide maintenance period to the satisfaction of the Parks and Recreation Department.

32. Prior to issuance of the grading permit, the Owner/Permittee shall obtain from the City a license agreement or easement for the project, and permission to use the Surf Cup leasehold for construction access and staging area.

GEOLOGY REQUIREMENTS:

33. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit may protest the imposition within ninety days of the

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approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on October 24, 2024, and [Approved Resolution Number].

DRAFT

Site Development Permit No. 3138236
October 24, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Ollie Shepherd
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**SAN DIEGUITO RIVER PARK JOINT POWERS
AUTHORITY**
Owner/Permittee

By _____
Shawna Anderson
Executive Director

[NAME OF COMPANY]
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION
RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. PMT-3138236
**SAN DIEGUITO RIVER PARK OSUNA SEGMENT OF COAST TO CREST TRAIL
PROJECT NO. 1049410 [MMRP]**

WHEREAS, SAN DIEGUITO RIVER PARK JOINT POWERS AUTHORITY, Owner/Permittee, filed an application with the City of San Diego for a permit for the construction of a one-mile-long pedestrian, bicycle, and equestrian trail extension of the Coast to Crest (CTC) Trail, including a 150-foot-long trail bridge that would span the San Dieguito River as well as habitat restoration and site improvements (trail fencing and signage), connecting the established lagoon segments of the CTC Trail to the eastern inland trail segments (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. PMT-3138236). The area for the proposed project consists of a one-mile trail alignment plus a 100-foot buffer;

WHEREAS, the project site is located at 14555 El Camino Real, east of Interstate 5, and approximately 2 miles east of El Camino Real and lies between Via De La Valle to the west, and San Dieguito Road to the east in the AR-1-1(Agricultural - Residential), AR-1-2 (Agricultural - Residential) and predominantly within the OF-1-1(Open Space - Floodplain) zones of the Fairbanks Ranch Country Club Community Specific Plan (Plan) area ;

WHEREAS, the project site is legally described as that portion of Lot No. 1 of Fairbanks Ranch Country Club Unit No. 1, according to the Map thereof No. 10730, in the City of San Diego, filed in the Office of the County Recorder of the County of San Diego, State of California, described as follows:

Beginning at the Northerly terminus of the West line of said Lot 1; thence South 89°02 '46" East along the boundary of Lot 1 a distance of 2,688.58 feet; thence North 00°36'06" East 20.00 feet;

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thence South 89°57'49" East 175.32 feet; thence 00°55'54" West 246.03 feet; thence South 65°34'37" East 227.34 feet; thence North 29°55'09" East 611.49 feet; thence South 72°03'30" East 587.57 feet; thence North 74°40'00" East 128.58 feet; thence North 23°11 '55" East 106.62 feet; thence North 12°54'09" West 232.88 feet; thence North 46°58'30" West 143.63 feet; thence South 86°23'17" West 301.60 feet; thence North 19°19'23" East 163.19 feet; thence North 23°08'51" West 190.26 feet; thence North 29°08'26" East 12.54 feet to the beginning of a non-tangent 849.00-foot radius curve concave Northwesterly, a radial line to said point bears South 28°24'52" East; thence Northeasterly along the arc of said curve through a central angle of 23°43'57", a distance of 351.66 feet; thence leaving said curve along a non-tangent line North 41°16'49" East 63.42 feet to the beginning of a non-tangent 540.00-foot radius curve concave Northwesterly, a radial line to said point bears South 48°43' 11" East; thence Northeasterly, along the arc of said curve through a central angle of 32°41 '21", a distance of 308.09 feet; thence leaving said curve along a non-tangent line South 87°36'22" East 1,474.63 feet; thence leaving the boundary of said Lot 1 South 42°52'00" West 850.00 feet; thence South 41°20'34" West 522.34 feet to the beginning of a tangent 3,135.00-foot radius curve concave Northwesterly; thence Southwesterly along the arc of said curve through a central angle of 21 °38'43 ", a distance of 1,184.34 feet; thence leaving the arc of said curve along a radial line to said curve North 27°00'43" West 154.26 feet; thence North 53°39'49" West 120.00 feet; thence South 80°40'46" West 96.25 feet; thence South 25°51 '38" West 95.00 feet; thence South 59°28'51" West 105.00 feet; thence North 66°12'16" West 80.00 feet; thence South 82°40'21" West 275.00 feet to the beginning of a tangent 175.00-foot radius curve concave Easterly; thence Southerly along the arc of said curve through a central angle of 94°23 '35", a distance of 288.31 feet; thence South 11 °43' 14" East 132.00 feet; thence South 78°16'46" West 1,186.00 feet to the beginning of a tangent 2,930.00-foot radius curve concave Northerly; thence Westerly along the arc of said curve through a central angle of 809°12'35", a distance of 470.97 feet, thence leaving the arc of said curve along a non-

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tangent line South 83°52'53"West 553.67 feet to a line which is parallel with and 10.00 feet North of the South line of said Lot 1; thence North 89°28'00" West a distance of 625.91 feet to the West line of said Lot 1; thence along said West line North 00°24'12" West 722.48 feet and North 01°31 '23" East 404.64 feet to the Point of Beginning, except that portion of Lot 1 dedicated for Via De La Valle by City Council Resolution 262466; and

WHEREAS, the coterminous project sites are legally described as: the land referred to herein below is situated in the City Of San Diego, in the County Of San Diego, State of California, and is described as follows:

Lot 1 of Fairbanks Country Club No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 10730, filed in the Office of the County Recorder of San Diego County, on September 29, 1983.

Excepting therefrom, until December 31, 2044, as a mineral interest and not as a royalty interest, all of the minerals of every kind, including, but not limited to, all oil, gas, hydrocarbons and associated substances in, under or that may be extracted, produced and saved from said real property but without the right of entry to the surface of said real property or the top 500 feet of the subsurface of said real property for the purposes of exploring for, developing and removing such minerals, as reserved by Watt Industries/San Diego, Inc. In Grant Deed Recorded October 24, 1983, As File No. 83-382964 Of Official Records. Apn: 302-261-01 and 760-146-07; and

WHEREAS, on October 24, 2024, the Planning Commission of the City of San Diego considered the final Mitigated Negative Declaration for the San Dieguito River Park Osuna Segment of the Coast to Crest Trail (SCH No. 2023050120) and a Mitigation Monitoring and Reporting Program for Project No. 1049410;

WHEREAS, on October 24, 2024, the Planning Commission of the City of San Diego considered Site Development Permit No. 3138236. pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego that it adopts the following findings with respect to Site Development Permit No. 3138236:

A. SITE DEVELOPMENT PERMIT San Diego Municipal Code (SDMC) Section 126.0505(a)

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan;

Trail construction will occur over approximately 1.8 acres within the 23.85-acre study area located in the northern part of the City of San Diego (City) near Fairbanks Ranch on property owned by the City. The project is in the Fairbanks Ranch Country Club Specific Plan (Specific Plan) area, which consists of approximately 785 acres of land generally located in the San Dieguito River Valley east of Interstate 5 (I-5) in the County of San Diego and City of San Diego (City). A regional site location map is provided in Figure 1.

The project is the development of a recreational use (public trail) as intended within the city-designated open space owned by City Parks. The trail would provide a vital linkage, connecting established lagoon and coastal segments of the CTC Trail to the eastern inland trail segments. It would not interfere with surrounding uses, which consist of other recreational uses – golf courses and sports fields. The project's proposed improvements include a raised decomposed granite (DG) trail and bridge crossing at the San Dieguito River. The (non-vehicular) trail bridge crossing is vital to connecting the trail to San Dieguito Road where it would link to the subsequently planned segment of the CTC Trail.

The project proposes to extend the existing 3.5-mile segment of the CTC Trail that currently terminates at the east end of the Surf Cup Sports Park facility to continue across the San Dieguito River to the east, to terminate at San Dieguito Road as identified with and is consistent with the San Dieguito River Park Concept Plan ((SDRCP)1994; 2002) and included in the County of San Diego's Master Trails Plan, and State of California State Trails Plan. The SDRP is included in the City's Parks Master Plan. The Council of the City of San Diego acknowledged and accepted the San Dieguito River Park Joint Powers Authority Concept Plan with the City of San Diego Addendum under Resolution No. R-301582 dated July 5, 2006.

The project would contribute to the completion of a regional trail, the Coast to Crest Trail, which is included in and consistent with the San Dieguito River Park Concept Plan and the County of San Diego Regional Trails Plan.

The Fairbanks Ranch Country Club Specific Plan contains policy recommendations on page 33 for Recreation to “provide a range of opportunities for active and passive recreation, educational activities, and neighborhood identification, in all parts of the City, adapted to the needs and desires of each neighborhood and community.”

The plan also recommends “enhancing the urban scene by the development of an extensive and varied system of open space and recreation facilities.” The proposed trail provides access to open space areas and opportunities for active recreation, consistent with the adopted plan.

The Whispering Palm residential community is located nearby to the northwest of the project site, but the Osuna segment is not proposed in the residential area and would not interfere with existing homes. Therefore, the proposed project would not disrupt or divide the established community nor have the potential for cumulatively considerable impacts on an established community. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare; and

The San Dieguito River Park JPA, as Lead Agency pursuant to the State of California Environmental Quality Act (CEQA), prepared and adopted a Mitigated Negative Declaration (SCH No. 2023050120) for the Osuna Segment of the Coast to Crest Trail (Resolution No. 23-3.). A Mitigation, Monitoring And Reporting Program has been prepared and will be implemented, which will reduce, to below a level of significance, any potential impacts identified in the environmental review process for this project.

The CTC trail will support public health, safety, and welfare in support of General Plan/Community Plan goals, which is to establish an open space system that provides for the preservation of natural resources, the managed production of resources, the provision of outdoor recreation, the protection of public health and safety, and the utilization of the varied terrain and natural drainage systems of the San Diego community to guide the form of urban development.

The project's proposed improvements include a raised DG trail and bridge crossing at the San Dieguito River. The 150-foot (non-vehicular) trail bridge crossing is vital to connecting the trail to San Dieguito Road, where it would link to the subsequently planned segment of the CTC Trail.

The bridge will be a prefabricated bridge set on concrete abutments (i.e., footings) that will be “poured-in-place” on-site and placed at each end of the bridge outside of the river. The design of the bridge will not impact adjacent properties or the hydrology of the San Dieguito River.

The project has been designed to site the bridge, abutments, and alignment to the south and west of the Morgan Run Golf Course property line. The location will be surrounded by existing wetlands and upland vegetation.

The trail alignment through the Evergate Stables property was modified to avoid and minimize impacts to freshwater marsh and coastal salt marsh vegetation by utilizing the existing service access road as the trail crossing rather than creating an expanded trail footprint, which would have impacted additional jurisdictional habitat. The overall trail system will provide a public access route through the City of San Diego open space and easements granted by private landholders.

The proposed trail route parallels the north boundary of the City of San Diego open space and would provide a recreational opportunity that would benefit the public's health, safety, and welfare. Therefore, the proposed development will not be detrimental to public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed project was designed to comply with the relevant regulations of the Land Development Code, including intensity, grading, landscaping and other regulations. The project has also been designed to address height, bulk and scale, materials, colors, sustainable features, and signs as required through the application of the AR-1-1, AR-1-2, and OF-1-1 regulations. The bridge abutments were designed to minimize impacts on wetland resources and avoid direct impacts on the river as specified in the Osuna Valley Trail Bridge Feasibility Study, prepared by Kleinfelder, dated August 2015 (Kleinfelder 2015). The design of the bridge will follow the guidelines of the American Association of State Highway and Transportation Officials Load and Resistance Factor Design (AASHTOLRFD) Bridge Design Specifications 8th Edition with State of California Amendments preface dated April 2019 and 2009 AASHTO LRFD Guide Specifications for the Design of Pedestrian Bridges with 2015 Interims.

The project includes a deviation from wetland regulations. The proposed deviation would allow a bridge crossing over the San Dieguito River that would impact 0.173 acres of wetland habitat. The project minimizes and mitigates wetland impacts to the extent feasible and affords relief from circumstances and conditions of the land not at the applicant's making. These include adjacent established land uses, private land that is not available for the project, the necessity to cross the river at this location to connect to the CTC Trail going east, and the ability to utilize an existing dirt utility road for most of the trail length which mitigates impacts. Furthermore, deviations to the Environmentally Sensitive Lands wetland regulations are allowed pursuant to SDMC Section [143.0150\(d\)\(1\) under the](#) Essential Public Projects Option. As a liner infrastructure essential public project, the proposed Osuna trail would extend the existing 3.5-mile western Lagoon Trail segment of the CTC Trail by connecting the

established lagoon segments of the CTC Trail to the eastern inland trail segments. Therefore, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations.

2. Supplemental Findings – Environmentally Sensitive Lands

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project proposes to construct the 1-mile-long Osuna Segment of the CTC Trail. The CTC Trail is a planned 71-mile-long, non-vehicular, and multi-use regional trail that would ultimately extend from the Pacific Ocean at Del Mar to Volcan Mountain, north of Julian. The CTC Trail is designed for hikers, bicyclists, and equestrians. Approximately 49 miles of the regional trail have been constructed and are now in use. The Project would extend the existing 3.5-mile western Lagoon Trail segment of the CTC Trail by 1 mile from the eastern end of its current terminus near the soccer fields (former polo fields) to the future San Dieguito Road Pathway.

The location and design minimize impacts on environmentally sensitive lands, although they do not completely avoid all sensitive lands, as documented in the project Mitigated Negative Declaration. The project has been designed to site the bridge, abutments, and alignment to the south and west of the Morgan Run Golf Course property line. The location will be surrounded by existing wetlands and upland vegetation. Protection of the adjacent native habitat during construction will include the installation of construction fencing to define the trail grading limits, bridging the river channel with a free-span bridge, and minimizing impacts to wetlands and riparian vegetation to the greatest degree possible as stipulated in the Final Mitigated Negative Declaration (SCH #2023050120). The Trail will not adversely impact adjacent properties or the hydrology of the San Dieguito River

The bridge will be installed across the San Dieguito River and through adjacent plant communities and land covers. The project has been designed to minimize impacts to native habitats, including wetlands, riparian areas, and upland plant communities, by routing the trail and bridge primarily through disturbed areas and non-native exotic vegetation to the greatest degree possible. The proposed deviation would allow a bridge crossing over the San Dieguito River that would impact 0.173 acres of wetland habitat. The project minimizes and mitigates wetland impacts to the extent feasible and affords relief from the circumstances and conditions of the land, not of the applicant's making. These include existing adjacent established land uses, private land that is not available for the project, the necessity to cross the river at this location to connect to the CTC Trail going east, and the ability to utilize an existing dirt utility road for most of the trail length to help minimize impacts. The slopes of the trail will be revegetated with native vegetation to provide replacement habitat after construction. The SDRP Concept Plan contains policies that guide the placement of trails to avoid or minimize environmental impacts. These policies were adhered to in the planning of the Osuna trail segment.

The bridge abutments will be designed to minimize impacts on wetland resources and avoid direct impacts on the river as specified in the Osuna Valley Trail Bridge Feasibility Study, prepared by Kleinfelder, dated August 2015 (Kleinfelder 2015). The design of the bridge will follow the guidelines of the American Association of State Highway and Transportation Officials Load and Resistance Factor Design (AASHTOLRFD) Bridge Design Specifications 8th Edition with California Amendments preface dated April 2019 and 2009 AASHTO LRFD Guide Specifications for the Design of Pedestrian Bridges with 2015 Interims.

Approximately one-third of the trail length (0.3 mile) is sited on an existing berm (raised area) on mostly disturbed vegetation outside of the wetlands. The trail width would be limited to 8 feet to minimize the removal of vegetation while safely accommodating users. The remaining two-thirds of the trail (0.6 miles) is located on an existing dirt utility road, avoiding all vegetation. Both sides of the trail would be fenced to clearly delineate the trail and discourage users from entering adjacent sensitive habitats. The project is not within nor is it near the Multi-Habitat Planning Area (MHPA).

The 150-foot-long trail bridge would span the San Dieguito River channel. The bridge and trail would impact sensitive vegetation but is designed with footings that minimize grading. The project would impact 0.47 acres of coastal sage scrub, which will be fully mitigated by restoring the adjacent disturbed habitat per the project MND and Mitigation Monitoring and Reporting Program (MMRP).

The project minimizes environmental impacts to the extent feasible, and a majority of the trail utilizes an existing disturbed dirt utility road therefore, the site is physically suitable for the design and siting of the proposed development, and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project is situated on flat land; no landforms would be altered, and no steep slopes are included in the project footprint. The trail's construction consists of clearing the trail width and creating a stable surface appropriate for hikers, bicyclists, and equestrians. The trail tread will be compacted and sloped to minimize the potential for erosion.

The project site is subject to inundation in a 100-year flood. However, under such flooded conditions, safety measures would be implemented. This would include all staging areas or other trail entry points would be chained off and posted with temporary signage that the trail is closed due to rain. Also, closures would be posted on social media or San Dieguito River Park JPA website. The trails would be posted as closed by SDRP Rangers and monitored by Rangers, as is done for other segments of the trail during major storms. Additionally, no residential or commercial development is associated with the project. The project would not increase flood risk nor subject users to flood risk.

The trail bridge is designed to convey smaller stormwater flows up to 10-year events and overtop during larger storms without damaging the bridge or surroundings and without increasing flood elevations. The use is consistent with other recreational land uses in the area and would not increase the risk of fire hazards. The submitted geotechnical report (Geocon Incorporated, July 27, 2021, Project No. G2680-22-01) adequately addressed the geologic site conditions for the proposed development. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project site is located on an open space property owned by City Parks that is currently designated for park and open space uses. The trail is currently the only publicly accessible use on the property, as the other existing uses are long-term leases with private operators (Fairbanks Ranch Country Club and Surf Cup Soccer Club). As linear public infrastructure, the one-mile-long trail is the only feasible alignment that would not interfere with the other existing uses or further impact existing sensitive lands on the property, including wetlands.

The trail has been designed to minimize impacts on wetland resources and avoid direct impacts on the river, as specified in the Osuna Valley Trail Bridge Feasibility Study (Kleinfelder 2015). The design of the bridge will follow the guidelines of the American Association of State Highway and Transportation Officials Load and Resistance Factor Design (AASHTOLRFD) Bridge Design Specifications 8th Edition with California Amendments preface dated April 2019 and 2009 AASHTO LRFD Guide Specifications for the Design of Pedestrian Bridges with 2015 Interims.

Approximately one-third of the trail length (0.3 mile) is sited on an existing berm (raised area) on mostly disturbed vegetation outside of the wetlands. The trail width would be limited to 8 feet to minimize the removal of vegetation while safely accommodating users. The remaining two-thirds of the trail (0.6 miles) is located on an existing dirt utility road, avoiding all vegetation. Both sides of the trail would be fenced to clearly delineate the trail and discourage users from entering adjacent sensitive habitats.

The project site is also surrounded by open space that includes environmentally sensitive lands. The trail will be fenced, and signs will be strategically placed along the trail, cautioning users to stay on the trail and not trespass onto sensitive habitats. Signs of this nature are placed on other trails throughout the San Dieguito River Park (SDRP). The trail will also be regularly patrolled and maintained pursuant to the JPA's Trails Management Plan to manage the use of the trail and enforcement of trail regulations to minimize trespassing on adjacent lands. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP);

The proposed project and site are consistent with the Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP). The project's impact footprint does not occur within or adjacent to the City of San Diego MHPA or VPHCP and, therefore, is not required to document compliance with the MSCP Land Use Adjacency Guidelines (LUAG).

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply;

The project is in Fairbanks Ranch, approximately 2 miles east of Interstate 5 between Via de la Valle and San Dieguito Road in San Diego County. It is not in or near any beaches and, therefore, would not adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The required mitigation is directly related to the project's impacts. Project impacts must be mitigated by the measures approved in the project's Final Mitigated Negative Declaration (MND) (SCH 2023050120) and Mitigated Monitoring Report Program (MMRP), including onsite restoration and construction restrictions designed to alleviate negative impacts from the proposed development.

The project has been designed to minimize impacts to native habitats, including wetlands, riparian areas, and upland plant communities, by routing the trail and bridge primarily through disturbed areas and non-native exotic vegetation to the greatest degree possible. The proposed deviation would allow a bridge crossing over the San Dieguito River that would impact 0.173 acres of wetland habitat. The project minimizes and mitigates wetland impacts to the extent feasible and affords relief from the circumstances and conditions of the land, not of the applicant's making. These include existing adjacent established land uses, private land that is not available for the project, the necessity to cross the river at this location to connect to the CTC Trail going east, and the ability to utilize an existing dirt utility road for most of the trail length. The slopes of the trail will be revegetated with native vegetation to provide replacement habitat after construction.

Approximately one-third of the trail length (0.3 mile) is sited on an existing berm (raised area) on mostly disturbed vegetation outside of the wetlands. The trail width would be limited to 8 feet to minimize the removal of vegetation while safely accommodating users. The remaining two-thirds of the trail (0.6 miles) is located on an existing dirt utility road, avoiding all vegetation. Both sides of the trail would be fenced to clearly delineate the trail and discourage users from entering adjacent sensitive habitats.

The 150-foot-long trail bridge would span the San Dieguito River outside of the floodway. The bridge and trail would impact sensitive vegetation but is designed with footings that minimize grading.

Vegetation clearing in proximity to the breeding habitat would occur outside of the breeding season for birds (typically February 15 to September 15). The project would impact 0.47 acres of coastal sage scrub, which will be fully mitigated by restoring the adjacent disturbed habitat per the project MND and Mitigation Monitoring and Reporting Program (MMRP).

Therefore, the nature and extent of mitigation required as a condition of the permit are reasonably related to and calculated to alleviate negative impacts created by the proposed development.

3. Supplemental Findings – Environmentally Sensitive Lands Deviations

a. There are no feasible measures that can further minimize the potential adverse effects on environmentally sensitive lands; and

The project has been designed to minimize impacts to native habitats, including wetlands, riparian areas, and upland plant communities, by routing the trail and bridge primarily through disturbed areas and non-native exotic vegetation to the greatest degree possible. See Finding A(2)(f) for details of the impacts.

Impacts from the project are minimal and fully mitigated to a level less than significant. However, impacts cannot be completely avoided as the project is constrained by other uses in the area that minimize space for the trail. The trail is designed to connect to the adjacent segments of CTC Trail, including the segment to the west adjacent to Surf Cup sports fields and to the east at San Dieguito Road. The trail will be constructed to cross the San Dieguito River and continue upstream where it connects to the rest of the CTC Trail on the south side of the river. The river crossing location was chosen at the river channel's narrowest part and adjacent to degraded wetland habitat to avoid and minimize impacts to the extent feasible to wetlands to the greatest degree possible. Adverse impacts on environmentally sensitive lands have been kept to a minimum. Therefore, there are no feasible measures that can further minimize the potential adverse effects on environmentally sensitive lands.

b. The proposed deviation is the minimum necessary to afford relief from special circumstances or conditions of the land, not of the applicant's making.

The project has been designed to minimize impacts to native habitats, including wetlands, riparian areas, and upland plant communities, by routing the trail and bridge primarily through disturbed areas and non-native exotic vegetation to the greatest degree possible.

The project design and proposed deviation would allow a bridge crossing over the San Dieguito River that would impact 0.173 acres of wetland habitat. The project

minimizes and mitigates wetland impacts to the greatest extent feasible and affords relief from circumstances and conditions of the land, not of the applicant's making. This includes existing adjacent established land uses, private land that is not available for the project, the necessity to cross the river at this location to connect to the CTC Trail going east, and the ability to utilize an existing dirt utility road for most of the trail length to minimize impacts. See Finding A(1)(c) for a detail on the deviation requested.

Approximately one-third of the trail length (0.3 mile) is sited on an existing berm (raised area) on mostly disturbed vegetation outside of the wetlands. The trail width would be limited to 8 feet to minimize the removal of vegetation while safely accommodating users. The remaining two-thirds of the trail (0.6 miles) is located on an existing dirt utility road, avoiding all vegetation. Both sides of the trail would be fenced to clearly delineate the trail and discourage users from entering adjacent sensitive habitats. Therefore, the proposed deviation is the minimum necessary to afford relief from special circumstances or conditions of the land, not of the applicant's making.

B. Deviations from Environmentally Sensitive Lands Regulations - SDMC Section 143.0150

1. (d)(1) Essential Public Projects Option

The project is an essential public project as part of the San Dieguito River Park's CTC Trail. The CTC Trail is a regional multi-use public trail planned for 71 miles from the coast in Del Mar to the crest at Volcan Mountain, near Julian. The CTC Trail is adopted in the San Dieguito River Park Concept Plan (1994, updated 2002) and included in the County of San Diego's Master Trails Plan and State of California State Trails Plan. The SDRP is included in the City's Parks Master Plan. 49 miles of the trail are complete, with the proposed project segment representing the 50th mile.

The project complies with SDMC Section 143.0150(d) Deviations to the Environmentally Sensitive Lands Regulations. The project is a linear infrastructure essential public project under SDMC Section 143.0150(d)(1)(B)(ii). The CTC Trail is identified in both the Joint Powers Authority (JPA) adopted San Dieguito River Park Concept Plan and the County of San Diego Regional Trails Plan. The San Dieguito River Park Concept Plan is also included in the City's Parks Master Plan. The Osuna Segment is essential as it connects existing segments of the CTC Trail on both sides of the river, including San Dieguito Road (existing bike lanes and future CTC Pathway). It closes an essential CTC Trail gap connecting 4.6 miles of coastal/lagoon trail segments to 24 miles of inland segments.

The City's Land Development Manual Biology Guidelines February 2018 also state, "The project must be an EPP [essential public project] (i.e., circulation element road, trunk sewer, water main) that will service the community at large and not just a single development project or property and that the project must meet the definition of an EPP as identified in Section IV and must be essential in both location and need." .

The project site is located on open space property owned by City Parks to be used for park and open space uses. The trail is currently the only publicly accessible use on the property, as the other existing uses are long-term leases with private operators (Fairbanks Ranch Country Club and Surf Cup Soccer Club). As linear public infrastructure, the one-mile-long trail is the only feasible alignment that would not interfere with the other existing uses or further impact existing sensitive lands on the property, including wetlands.

The trail would be sited on mostly disturbed habitat (filled berm) and an existing dirt road. However, the trail bridge would impact 0.173 acres of wetlands. Although the bridge would span the river, a small impact would occur to the riparian bank from the bridge abutments. The bridge abutments are designed and sited to fall primarily within non-native riparian, and Arundo-dominated riparian plant communities and would be designed to minimize impacts to adjacent wetland resources and avoid direct impacts to the river. The bridge crossing location was sited at the narrowest part of the river channel and adjacent to degraded wetland habitat to the extent feasible to avoid and minimize impacts to wetlands to the greatest degree possible.

The trail is also aligned to cross the most sensitive areas for a shorter distance (perpendicular to the river) and for a short duration as trail users pass through. All areas disturbed by construction activities and not part of the permanent project footprint would be revegetated with appropriate native species. In addition, existing exotic/non-native plant species that have previously invaded the existing wetlands would be removed, and those areas would be restored and enhanced to the appropriate native plant communities. This would help provide an improved wetland habitat area and additional nesting and foraging opportunities for native wildlife species.

No feasible alternative exists that would avoid the small area of wetland impacts. Design options explored included a longer bridge span, which would have encroached into the neighboring private property (Morgan Run Golf Club) and would have been economically infeasible due to the longer span. Co-use of an existing nearby golf cart bridge and path at Morgan Run was also explored but the private property owner expressly denied permission to locate the project there.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. PMT-3138236 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3138236, a copy of which is attached hereto and made a part hereof.

Ollie Shepherd
Development Project Manager
Development Services

Adopted on: October 24, 2024

IO#: 24009116

DRAFT



March 1, 2022

Ayden Zielke, MURP Environmental Planner
San Dieguito River Park JPA
18372 Sycamore Creek Road
Escondido, CA 92025

Re: Extension of Osuna Segment of Coast to Crest Trail

Dear Karen,

The San Dieguito River Park Joint Powers Authority (JPA) presented a proposed project to extend the Osuna Segment of the Coast to Crest (CTC) Trail. This segment is located between the Rancho Santa Fe and Fairbanks Ranch communities in San Diego County approximately 2.5 miles east of I-5, spanning approximately 1-mile between Via De La Valle and San Dieguito Road, crossing over the San Dieguito River. It is located within the jurisdiction of the City of San Diego and unincorporated San Diego County. The Osuna segment is important because it would link four miles of existing trails to 31 miles of inland trails and more in the future. The anticipated date for completion is hopefully in 2024 and are exploring the incorporation of tribal art and education to the trail.

The Carmel Valley Community Planning Board voted 11-0 on October 28, 2021, to support the extension of the Osuna Segment of Coast to Crest Trail.

Sincerely,
Carmel Valley Community Planning Board

A handwritten signature in blue ink, appearing to read 'Frisco White', is written over a light blue circular stamp.

Frisco White, AIA
Chair

July 28, 2020

Mr. Kevin McKernan, Executive Director
San Dieguito River Park JPA
18372 Sycamore Creek Road
Escondido, CA 92025

Subject: Support for Osuna Trail Segment of the Coast to Crest Trail
CNRA Recreational Trails and Greenways Grant Program

Dear Mr. McKernan:

The City of San Diego (City) supports the San Dieguito River Park Joint Powers Authority's (JPA) application for the California Natural Resources Agency's Recreational Trails and Greenways Grant Program to construct a segment of the Coast to Crest Trail (CTC), commonly known as the Osuna trail segment and trail bridge (Project), on certain land (Property) owned by the City and leased by Bay Club Fairbanks Ranch (Bay Club) under that certain Percentage Lease dated December 6, 1982, on file in the Office of the San Diego City Clerk as Document No. RR-257594-1, as assigned to Bay Club pursuant to that certain Consent to Assignment and Agreement, on file in the Office of the San Diego City Clerk as Document No. RR-310421-1, and as amended by that certain First Amendment to Percentage Lease, on file in the Office of the San Diego City Clerk as Document No. RR-310421-2 (collectively the "Lease"), subject to any necessary amendment to the Lease to authorize the construction, use and maintenance of the Project on the Property, approval of such amendment which is in the sole discretion of the San Diego City Council.

The City is a member agency of the JPA. The CTC is a 71-mile long regional multi-use trail for hikers, bicyclists, and equestrians planned from the coast at Del Mar east to the crest at Volcan Mountain, 48 miles of which has been completed.

The Project would be located on the Property. The Property is located along the northern edge of Assessor Parcel Number 302-261-02 for a total of 1,400 linear feet. The City understands that the JPA has been working cooperatively with representatives of Bay Club and that Bay Club similarly supports the Project as proposed on the Property.

In compliance with the grant requirements, the City understands and agrees that if the requested grant is awarded, the City will work with Bay Club, subject to any necessary amendment to the Lease, for Bay Club to issue a license or other legal mechanism to the JPA whereby the JPA may construct and operate the Project on the Property (contingent on the JPA obtaining all required approvals and permits), and which will establish terms to allow the JPA to operate and maintain the Project for a minimum of 25 years.

Page 2

San Dieguito River Park JPA – Kevin McKernan

July 28, 2020

As a member agency of the JPA, the City appreciates the work of the JPA to create and maintain a regional open space park and we anticipate that this cooperative relationship will continue long into the future.

If you have questions, please contact the Property Agent, Heide Farst in the Real Estate Assets Department 619.236.6727 or hfarst@sanidiego.gov, or Laura Ball in the Parks and Recreation Department at 619.685.1301 or LBall@sanidiego.gov.

Sincerely,



Cybele L. Thompson, RPA, FMA, CCIM, LEED AP
Director, Real Estate Assets

cc: Bay Club Fairbanks Ranch
CaSundra Perry, Asset Manager, READ
Heide Farst, Property Agent, READ
Laura Ball, Project Officer II, Parks and Recreation
Nicole McGinnis, Project Officer II, Public Utilities

San Dieguito Planning Group
P.O. Box 2789
Rancho Santa Fe, CA 92067

February 7, 2022

Ayden Zielke, MURP
Environmental Planner
San Dieguito River Park JPA
18372 Sycamore Creek Road
Escondido, CA 92025

Dear Ayden Zielke, MURP,

At the November 11, 2021 San Dieguito Planning Group meeting, the group voted unanimously to support the proposed project to extend the Osuna Segment of the Coast to Crest (CTC) Trail.

MOTION (D. Dill): Support project as presented.

SECOND: Phil Fisch

VOTE: Yes-9, No-0, Abstain-0, Absent/Vacant:4

Attached is the SDPG November 11, 2021 meeting minutes. Agenda item 5C is the JPA Proposed Osuna Segment of CTC Trail.

Sincerely,

Douglas Dill

Chair

San Dieguito Planning Group

*Whispering Palms Community Council*

February 13, 2022

Ayden Zielke, MURP
Environmental Planner
San Dieguito River Park JPA
18372 Sycamore Creek Road,
Escondido, CA 92025

Re: San Dieguito River Park JPA Osuna Segment of the Coast to Crest Trail Project

Dear Ayden,

The Whispering Palms Community Council is pleased to enthusiastically endorse completion of the San Dieguito River Park JPA Osuna Segment of the Coast to Crest Trail. In making this endorsement we have spoken to the General Manager at Morgan Run who was delighted to hear of your plans and particularly the new bridge.

Please accept our best wishes for an early completion.

Sincerely,

Byron Hanchett
President
Whispering Palms Community Council

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

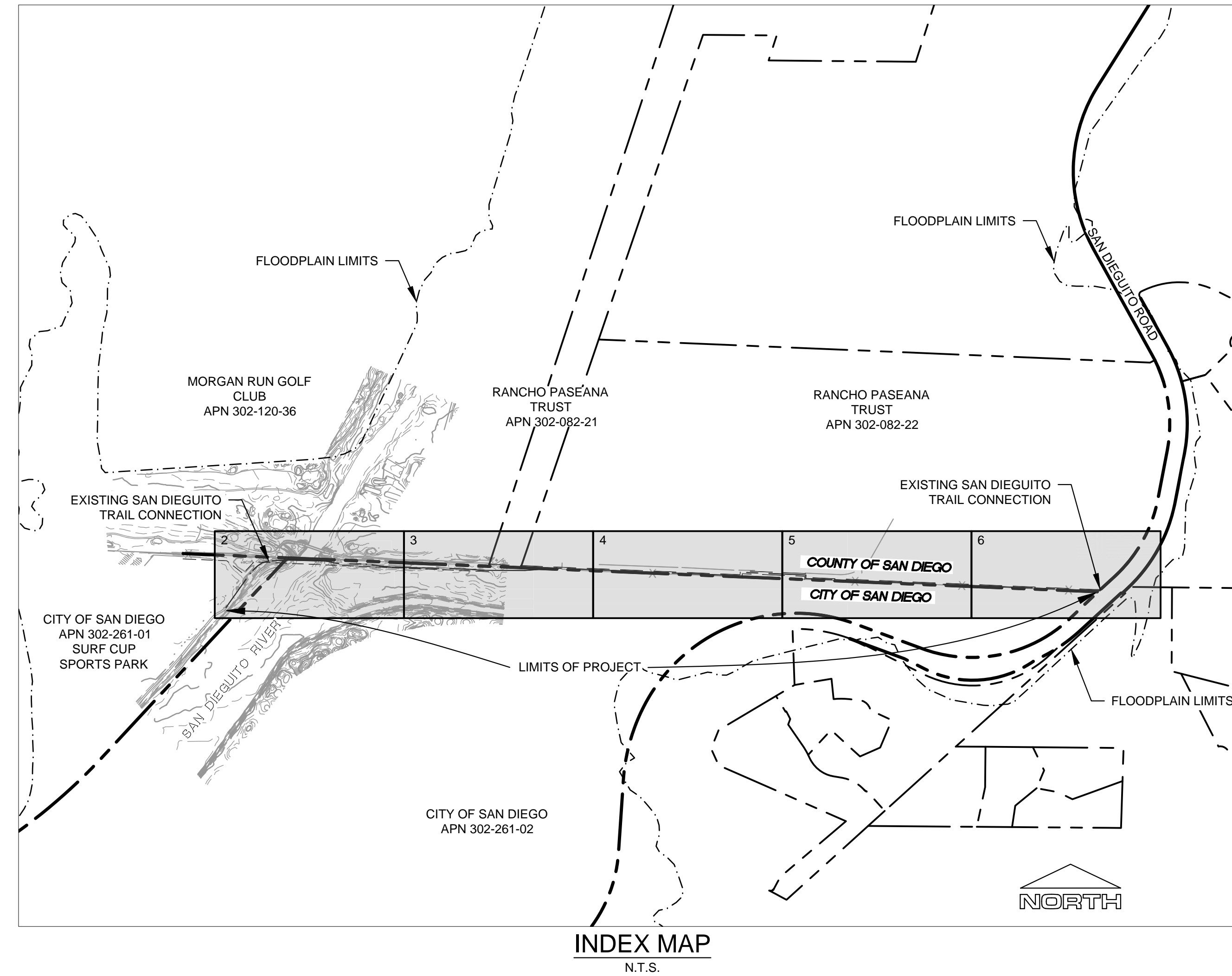
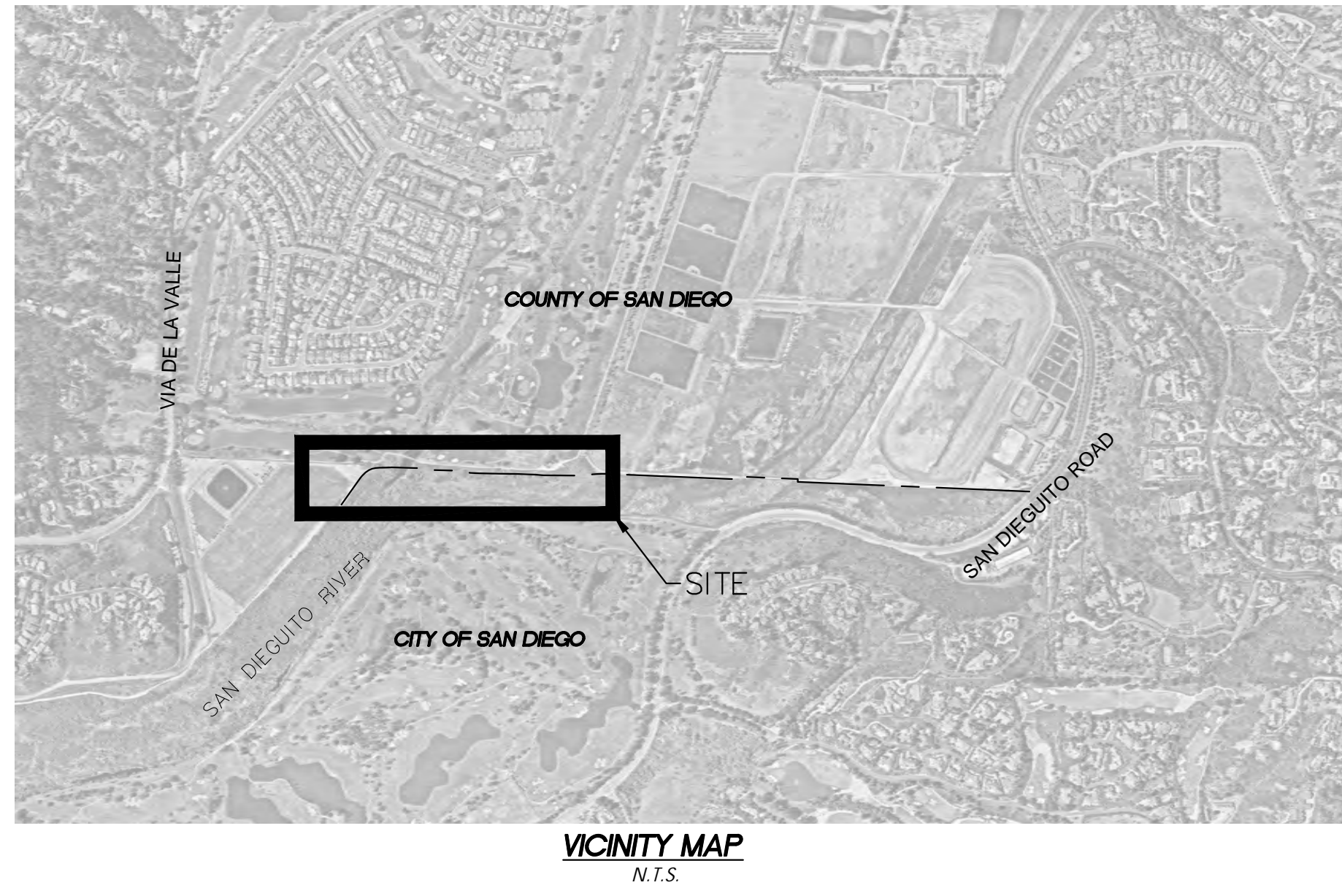
Signature: _____ Date: _____

Additional pages Attached: Yes No

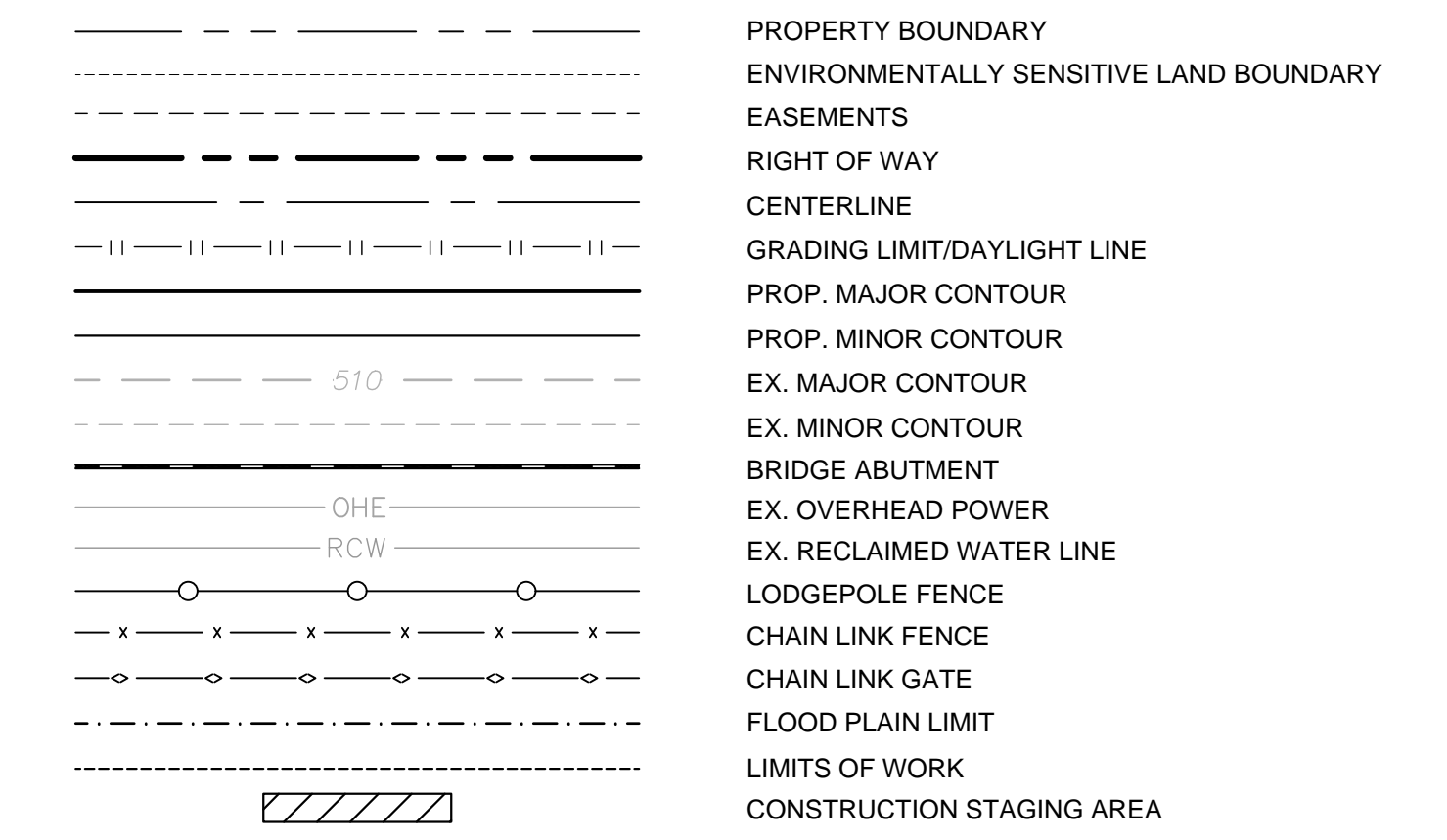
COAST TO CREST TRAIL: OSUNA TRAIL SEGMENT

PROJECT NO. 095226008

SITE DEVELOPMENT PERMIT No. PRJ #1049410



LEGEND



ABBREVIATIONS

R/W	RIGHT OF WAY
PROP.	PROPOSED
EX.	EXISTING
RD.	ROAD
C	CENTERLINE
P	PROPERTY LINE
AC	ACRE
PVT	PRIVATE
TYP	TYPICAL
FS	FINISHED SURFACE

SHEET INDEX

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GRADING PLAN	SHEET 4
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GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED: 23,900 SF
 TOTAL DISTURBED AREA PER IMPROVEMENTS: 75,200 SF
 EXISTING PERVIOUS AREA: 23,900 SF
 EXISTING IMPVIOUS AREA: 0 SF
 PROPOSED PERVIOUS AREA: 23,350 SF
 PROPOSED IMPVIOUS AREA: 550 SF
 AMOUNT OF CUT: 1,130 CY
 AMOUNT OF FILL: 450 CY
 MAXIMUM HEIGHT OF FILL SLOPE(S): 9 FT
 MAXIMUM HEIGHT OF CUT SLOPE(S): 5 FT

SOURCE OF TOPOGRAPHY

BASED ON AERIAL TOPOGRAPHY BY KIMLEY-HORN AND ASSOCIATES AND PHOTO GEODETIC INC., DATED APRIL 2021.

BENCHMARK

THE BENCHMARK FOR THIS DRAWING IS BASED ON THE CITY OF SAN DIEGO VERTICAL CONTROL RECORD, BEING A FOUND BRASS PLUG ON THE SOUTHEASTERLY CORNER OF THE BRIDGE ALONG EL CAMINO REAL SPANNING THE SAN DIEGUITO RIVER, BEING AN ELEVATION OF 26.205' MEAN SEA LEVEL.

REFERENCE DRAWINGS

THERE ARE NO CITY OF SAN DIEGO RECORD DRAWINGS WHICH ARE APPLICABLE TO THIS PROJECT.

ZONING SUMMARY

EXISTING: OPEN SPACE
 PROPOSED: NO CHANGE

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ASSESSOR'S PARCEL NUMBER

302-261-01 AND 302-261-02

ENVIRONMENTALLY SENSITIVE LANDS

- ADR - ARUNDO DONAX RIPARIAN
- CSM - COASTAL SALT MARSH
- CS - COASTAL SAGE SCRUB
- CSB - COASTAL SAGE SCRUB-BACCHARIS DOMINATED
- FWM - FRESHWATER MARSH
- MFS - MULLEFAT SCRUB
- NNR - NON-NATIVE RIPARIAN
- ORN - ORNAMENTAL
- OW - OPEN WATER
- DSRW - DISTURBED SOUTHERN RIPARIAN WOODLAND
- SWS - SOUTHERN WILLOW SCRUB
- TS - TAMARISK SCRUB

LIST OF PROJECT TEAM

CIVIL ENGINEER:
 KIMLEY-HORN AND ASSOCIATES
 401 B STREET, SUITE 600
 SAN DIEGO, CA 92101
 (619) 234-9411

GEOTECHNICAL ENGINEER:
 GEOCON INC.
 6960 FLANDERS DRIVE
 SAN DIEGO, CA 92121
 (858) 558-6800

RESTORATION AND MITIGATION SPECIALIST:
 DUDEK
 2280 HISTORIC DECATUR DRIVE, SUITE 200
 SAN DIEGO, CA 92106
 (619) 591-1370

ENGINEER OF WORK

KIMLEY-HORN AND ASSOCIATES
 401 B STREET, SUITE 600
 SAN DIEGO, CA 92101
 TELEPHONE: (619) 234-9411
 EMAIL: JULIANA.CUOMO@KIMLEY-HORN.COM

APPLICANT

SAN DIEGUITO RIVER PARK JPA
 ATTN: SHAWNA ANDERSON
 18372 SYCAMORE CREEK ROAD
 ESCONDIDO, CA 92025
 PHONE: (858) 674-2270

PROJECT SUMMARY

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN AT-GRADE TRAIL, CONNECTING A MISSING LINK BETWEEN THE EXISTING SAN DIEGUITO RIVER PARK TRAIL. THE PROJECT WILL CONSTRUCT A PEDESTRIAN BRIDGE OVER THE SAN DIEGUITO RIVER WITHIN A LEASE AGREEMENT BETWEEN THE SAN DIEGUITO RIVER PARK JOINT POWERS AUTHORITY AND THE CITY OF SAN DIEGO REAL ESTATE ASSETS DEPARTMENT.

GENERAL NOTES

1. GRADING SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE IN FINAL DESIGN.
2. MAXIMUM SLOPES ARE 2:1, EXCEPT WHEN IN ACCORDANCE WITH SECTION 620415 OF THE MUNICIPAL CODE. SLOPES LESS THAN 10' IN VERTICAL HEIGHT MAY BE CONSTRUCTED AT A GRADIENT OF 1.5:1. TRAIL WILL CONSIST OF DECOMPOSED GRANITE (DG).
3. PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) SHALL STORE AND TREAT ALL STORM WATER PRIOR TO BEING DISCHARGED INTO THE CITY STORM WATER SYSTEM, ANY DISCHARGED WATER INTO THE CITY STORM WATER SYSTEM WILL NOT CONTAIN POLLUTANTS OR PARTICULATE.
4. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER BMP'S.
5. LONG TERM MAINTENANCE OF THE TRAIL WILL BE THE RESPONSIBILITY OF THE SAN DIEGUITO RIVER PARK JPA.
6. TRAIL SIGNS "CLOSED FROM DUSK TO DAWN" SHALL BE PROVIDED AT THE TRAIL HEADS.

STANDARD DRAWINGS

THE LATEST VERSION OF THE CITY OF SAN DIEGO STANDARD DRAWINGS ARE TO BE USED FOR PUBLIC IMPROVEMENTS.

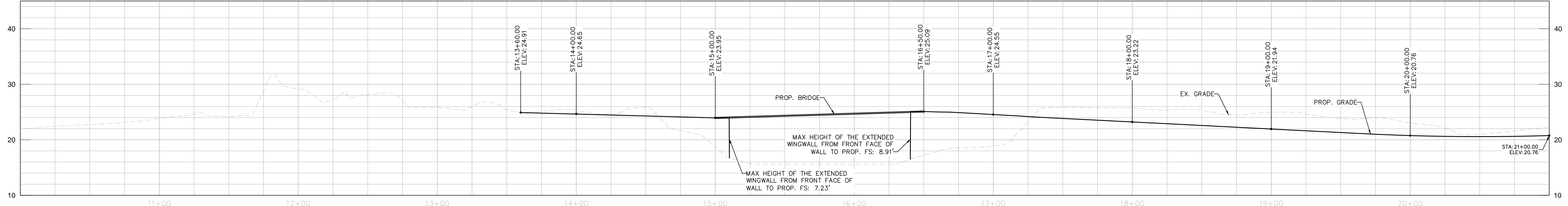
NO.	REVISIONS	DATE	BY



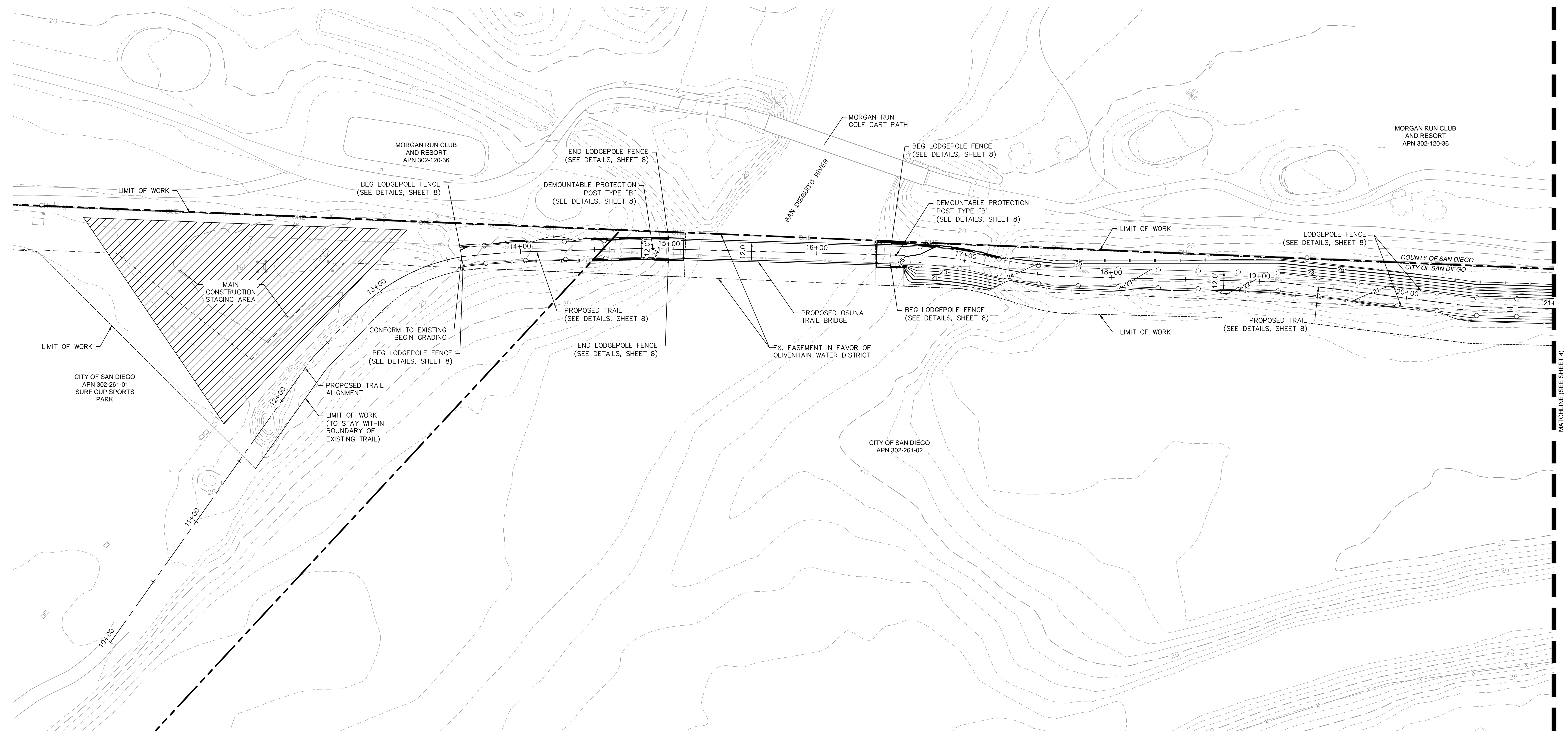
KIMLEY-HORN PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
095226008	3/5/2024	AS SHOWN	TK	TK	MK
LICENSED PROFESSIONAL	JULIANA CUOMO	CALIFORNIA LICENSE NUMBER	#82707	EXP. DATE:	12/31/2023

COVER SHEET
 OSUNA TRAIL SEGMENT OF THE CREST TO COAST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA
 CITY OF SAN DIEGO

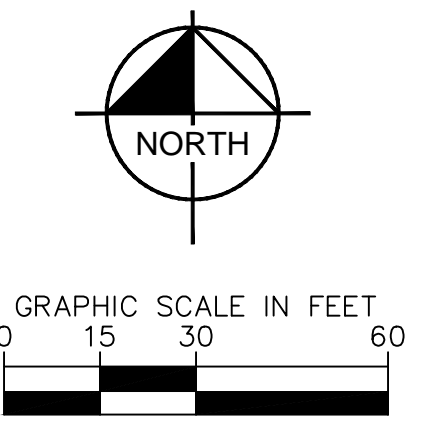
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Osuna: STA 10+00.0 TO 21+00
 HORZ: 1" = 2'
 VERT: 1" = 1'



GENERAL NOTES
 1. SEE SHEET 1 FOR FLOOD PLAIN LIMITS.



NO.	REVISIONS	DATE	BY

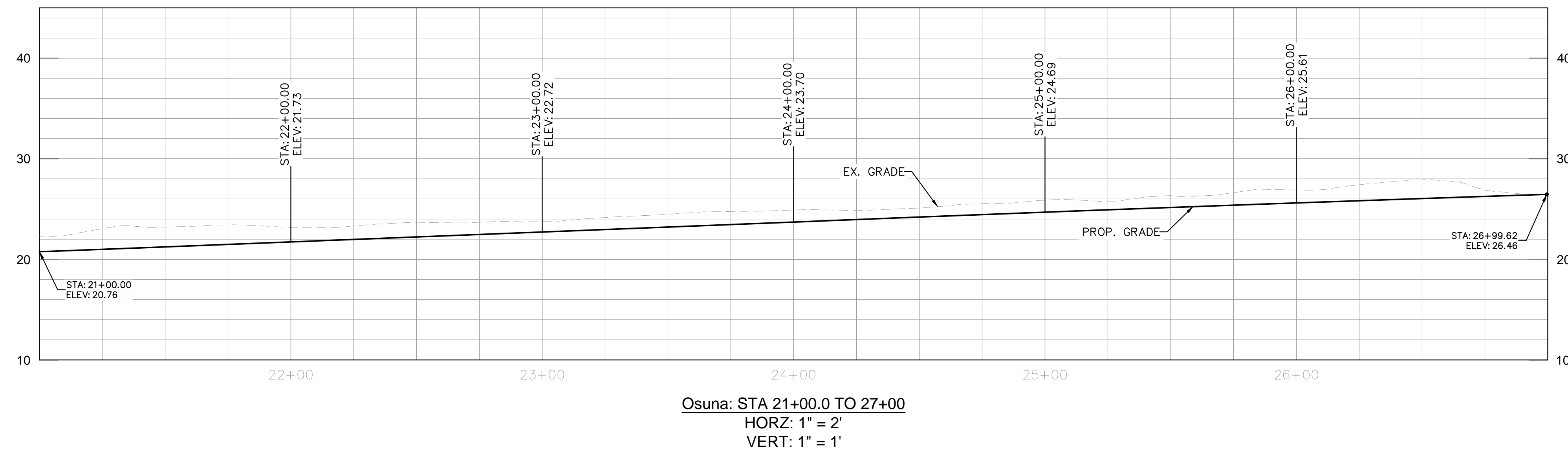
Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 481 B STREET, SUITE 600, SAN DIEGO, CA 92101
 WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL	JULIANA COXO
KHA PROJECT	08220008
DATE	3/6/2024
SCALE	AS SHOWN
DESIGNED BY	TK
DRAWN BY	TK
CHECKED BY	MK
EXP. DATE	12/31/2023

GRADING PLAN

OSUNA TRAIL SEGMENT OF
 THE CREST TO COAST TRAIL
 PREPARED FOR
 SAN DIEGUITO RIVER PARK JPA
 CITY OF SAN DIEGO

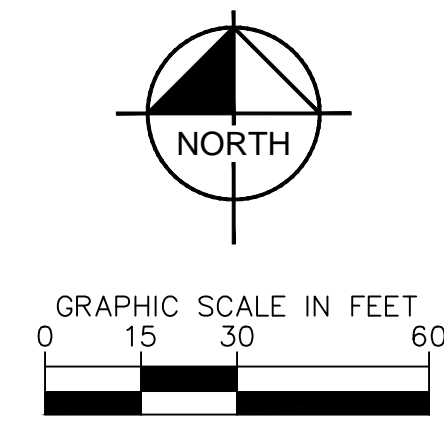
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Osuna: STA 21+00.0 TO 27+00
 HORZ: 1" = 2'
 VERT: 1" = 1'



GENERAL NOTES
 1. SEE SHEET 1 FOR FLOOD PLAIN LIMITS.



KHA PROJECT		LICENSED PROFESSIONAL	
082220008	DATE: 3/6/2024	JULIANA COLO	CALIFORNIA LICENSE NUMBER: #62707
SCALE: AS SHOWN	DESIGNED BY: TK	CHK: MK	EXP. DATE: 12/31/2023
DRAWN BY: TK	CHECKED BY: MK		

GRADING PLAN

OSUNA TRAIL SEGMENT OF
 THE CREST TO COAST TRAIL
 PREPARED FOR
 SAN DIEGUITO RIVER PARK JPA
 CITY OF SAN DIEGO CA

SHEET NUMBER	4 OF 18
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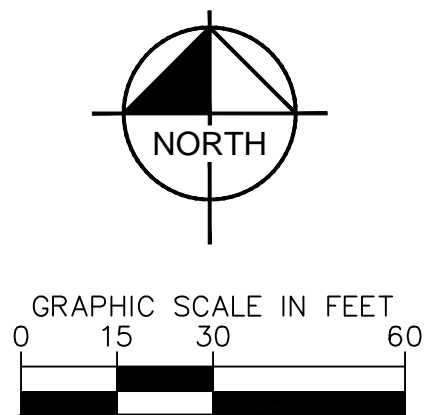
Prepared By: Burke, Kimley-Horn. Sheet Details: Layout/C2.1. March 05, 2024 05:19:19pm. I:\082220008_082220008 - Osuna Trail Design\Plan Sheets\Osuna Plan Set.dwg. The information contained herein is the property of Kimley-Horn and Associates, Inc. and is loaned to you for the specific project and site. It is not to be used for any other project or site. All rights reserved.

NO.	REVISIONS	DATE	BY

Plotted By: Burke, Keaton, Sheet Set: 05, Date: 03/12/2024, 10:40:11 AM, User: jk... County: San Diego, Project: OSUNA TRAIL SEGMENT OF THE CREST TO COAST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA. This document, together with the exhibits and diagrams, represents the final design and construction documents for the project. It is the responsibility of the client to ensure that the project is completed in accordance with the design and construction documents. No liability is assumed by Kimley-Horn and Associates, Inc. for any errors or omissions in this document.



GENERAL NOTES
1. SEE SHEET 1 FOR FLOOD PLAIN LIMITS.



**OSUNA TRAIL SEGMENT OF THE CREST TO COAST TRAIL
PREPARED FOR
SAN DIEGUITO RIVER PARK JPA**
CITY OF SAN DIEGO CA

TRAIL ALIGNMENT DETAIL

KHA PROJECT
08220008
DATE
3/5/2024
SCALE
AS SHOWN
DESIGNED BY
TK
DRAWN BY
TK
CHECKED BY
MK
EXP. DATE
12/31/2023

LICENSED PROFESSIONAL
JULIANA COOKO
CALIFORNIA LICENSE NUMBER #27377
WWW.KIMLEY-HORN.COM

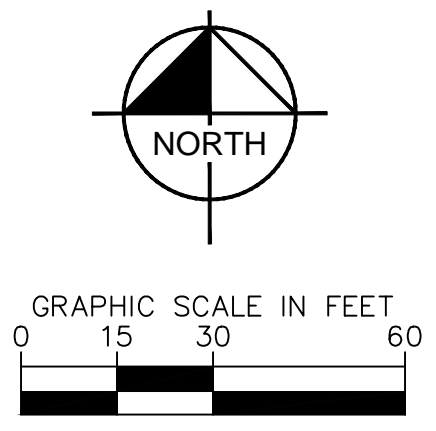
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PHONE: 619-234-4411

No.	REVISIONS	DATE	BY

Plotted By: Burke, Katelyn. Sheet Services Layout C24. Month: 05. 2024. 05:19:44am. \\s01g01\cadd\1806220006 - Osuna Trail Design\Plan Sheets\Osuna Trail S07.dwg
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GENERAL NOTES
 1. SEE SHEET 1 FOR FLOOD PLAIN LIMITS.



**OSUNA TRAIL SEGMENT OF
 THE CREST TO COAST TRAIL
 PREPARED FOR
 SAN DIEGUITO RIVER PARK JPA**

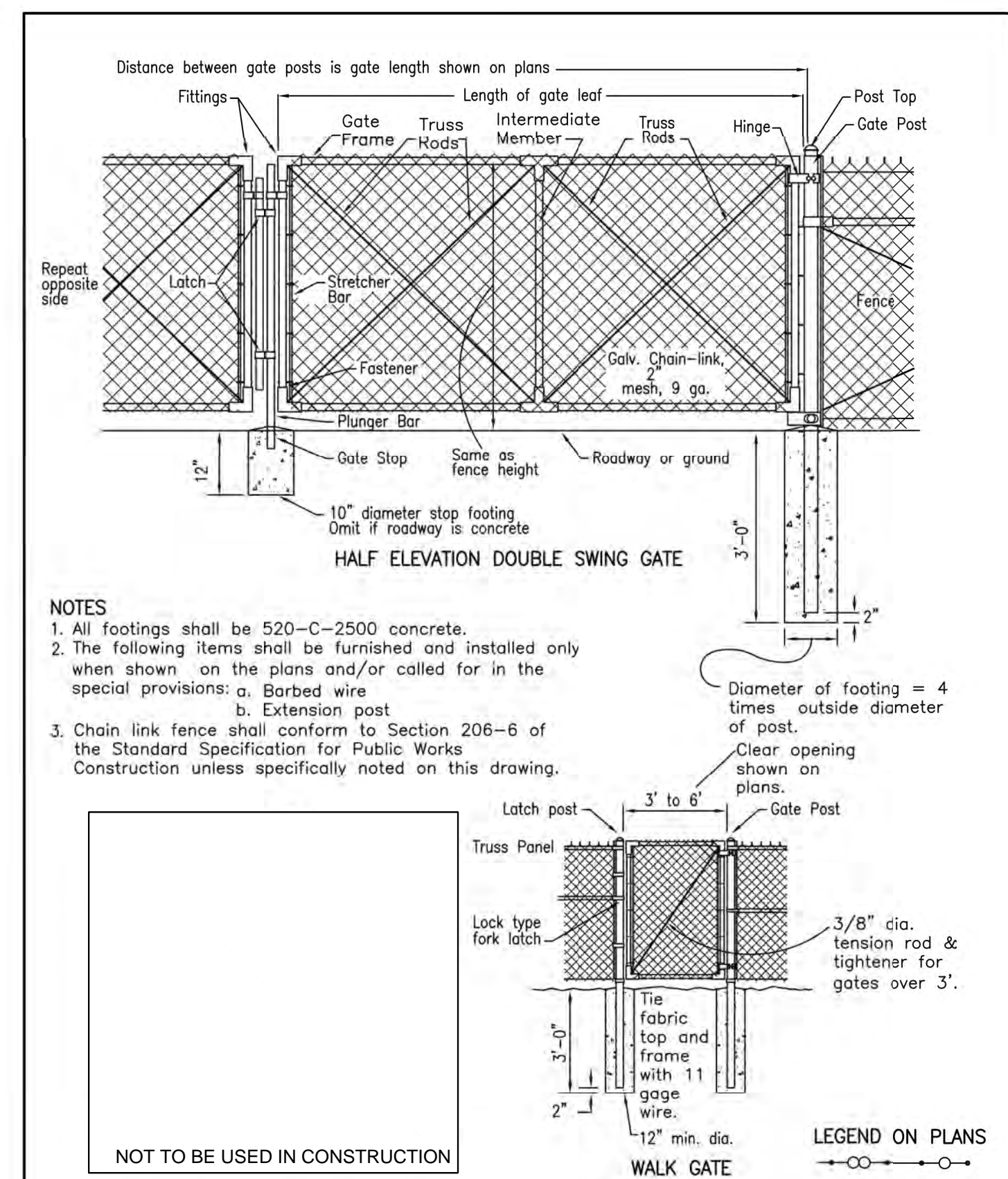
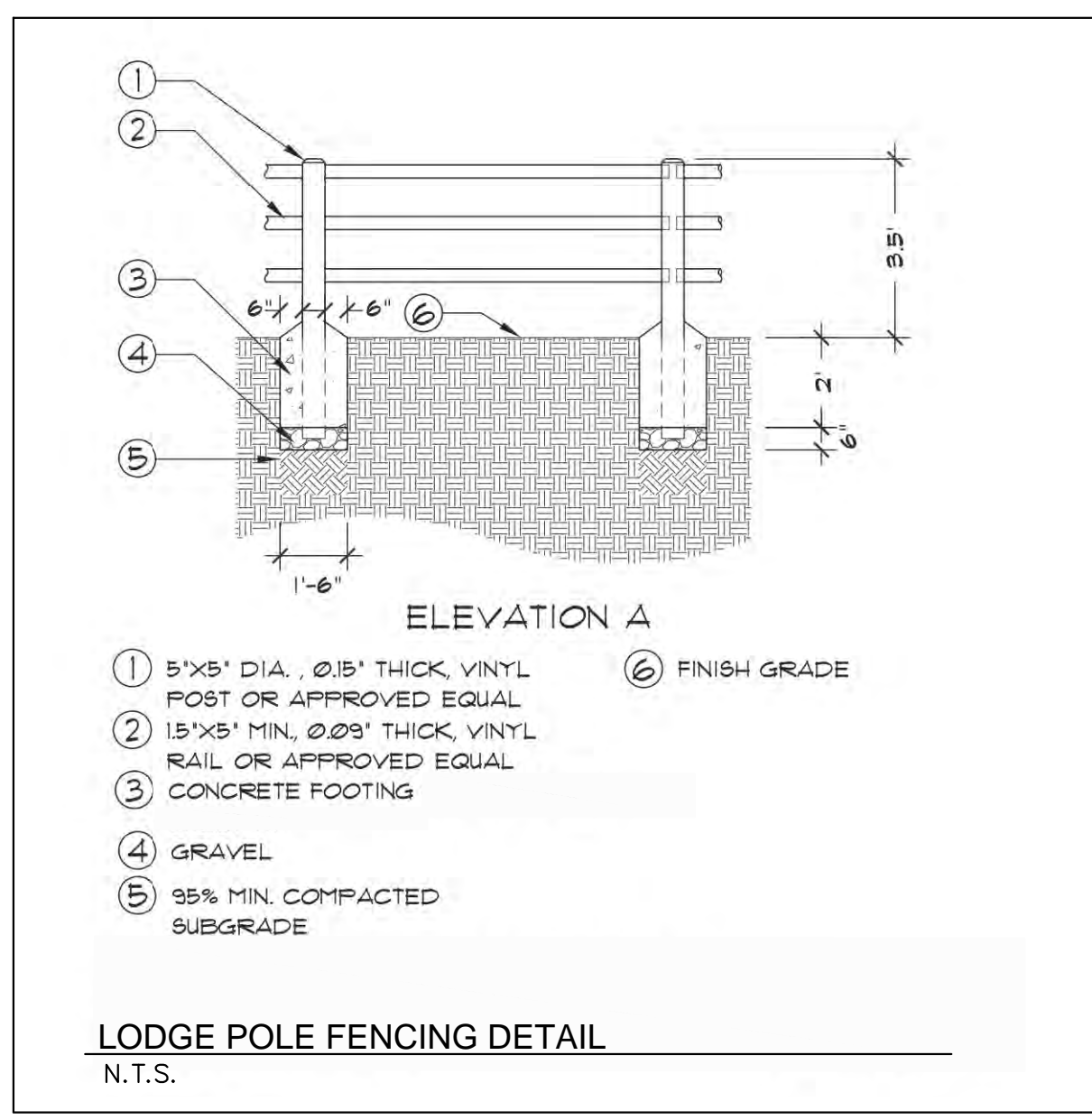
CITY OF SAN DIEGO CA
 SHEET NUMBER
7 OF 18

TRAIL ALIGNMENT DETAIL

KHA PROJECT	DATE	LICENSED PROFESSIONAL
08220006	3/5/2024	JULIANA COBOS
SCALE AS SHOWN	DESIGNED BY TK	CALIFORNIA LICENSE NUMBER #82707
DRAWN BY TK	CHECKED BY MK	EXP. DATE 12/31/2023

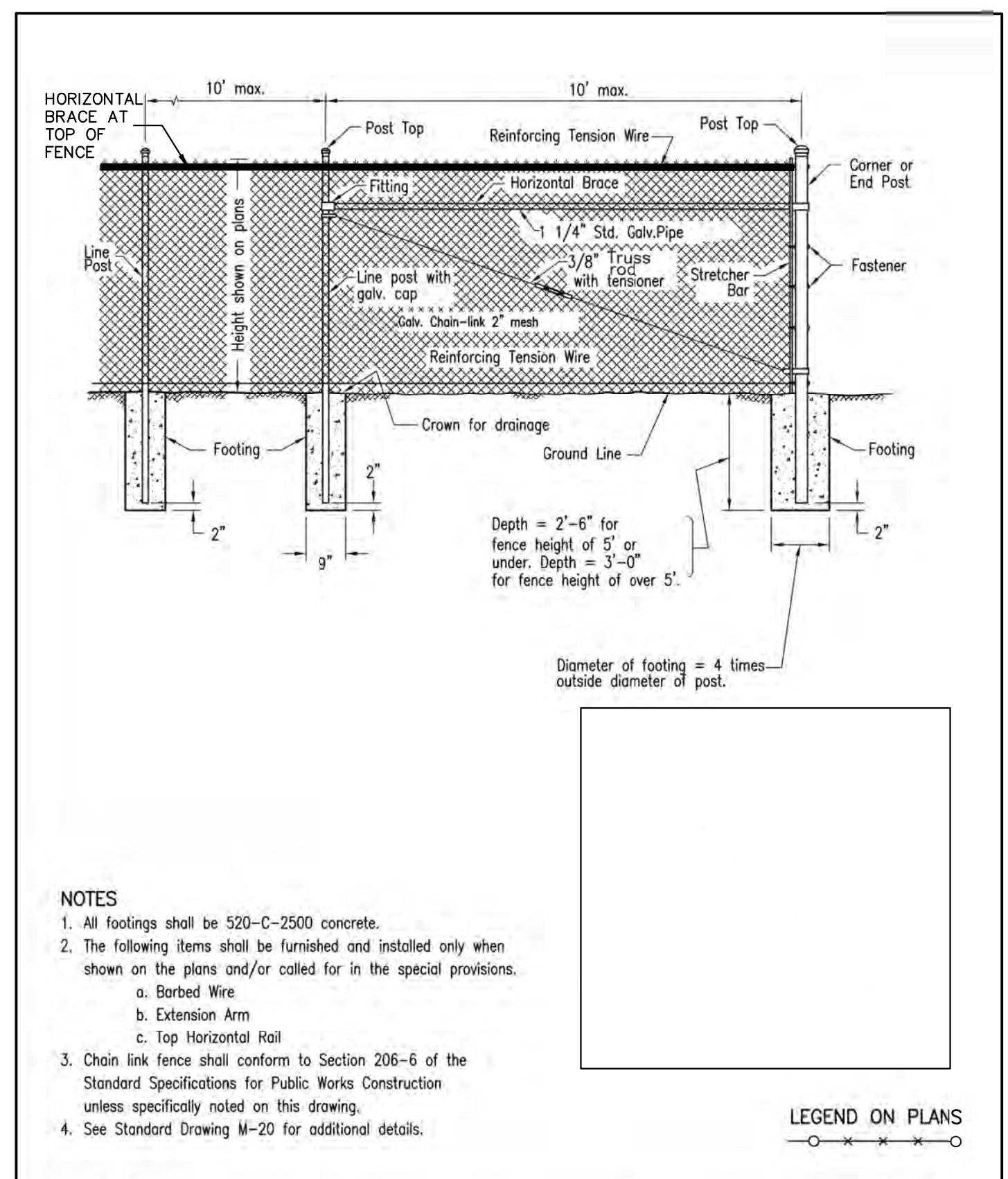
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NO.	REVISIONS	DATE	BY



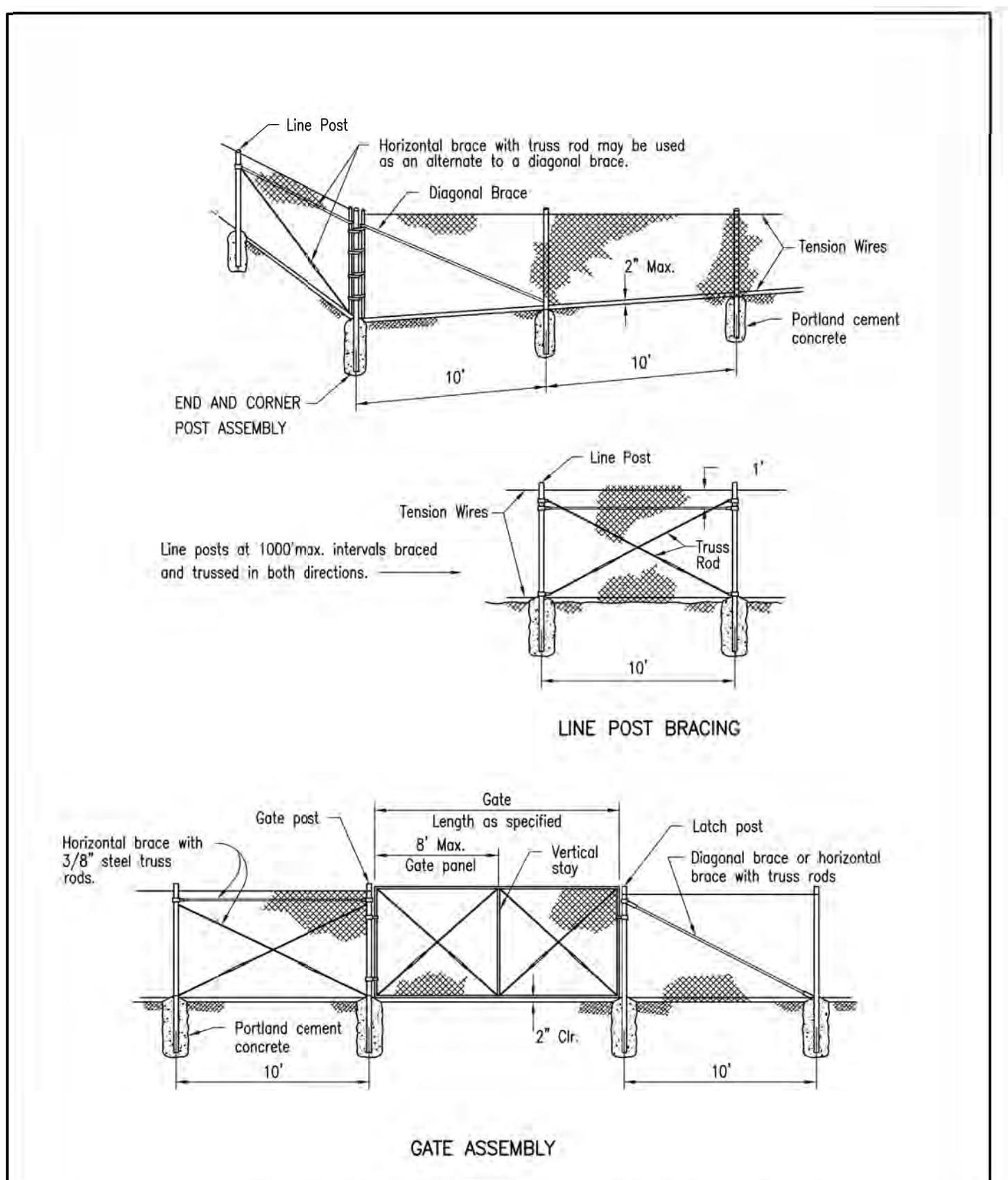
Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
ORIGINAL	K. Kercheval		12/75		
Revised	D. Gensert		05/12		
Revised	D. Gensert		12/15		
Revised	D. Gensert		10/18		

CHAIN LINK GATE
 DRAWING NUMBER M-05



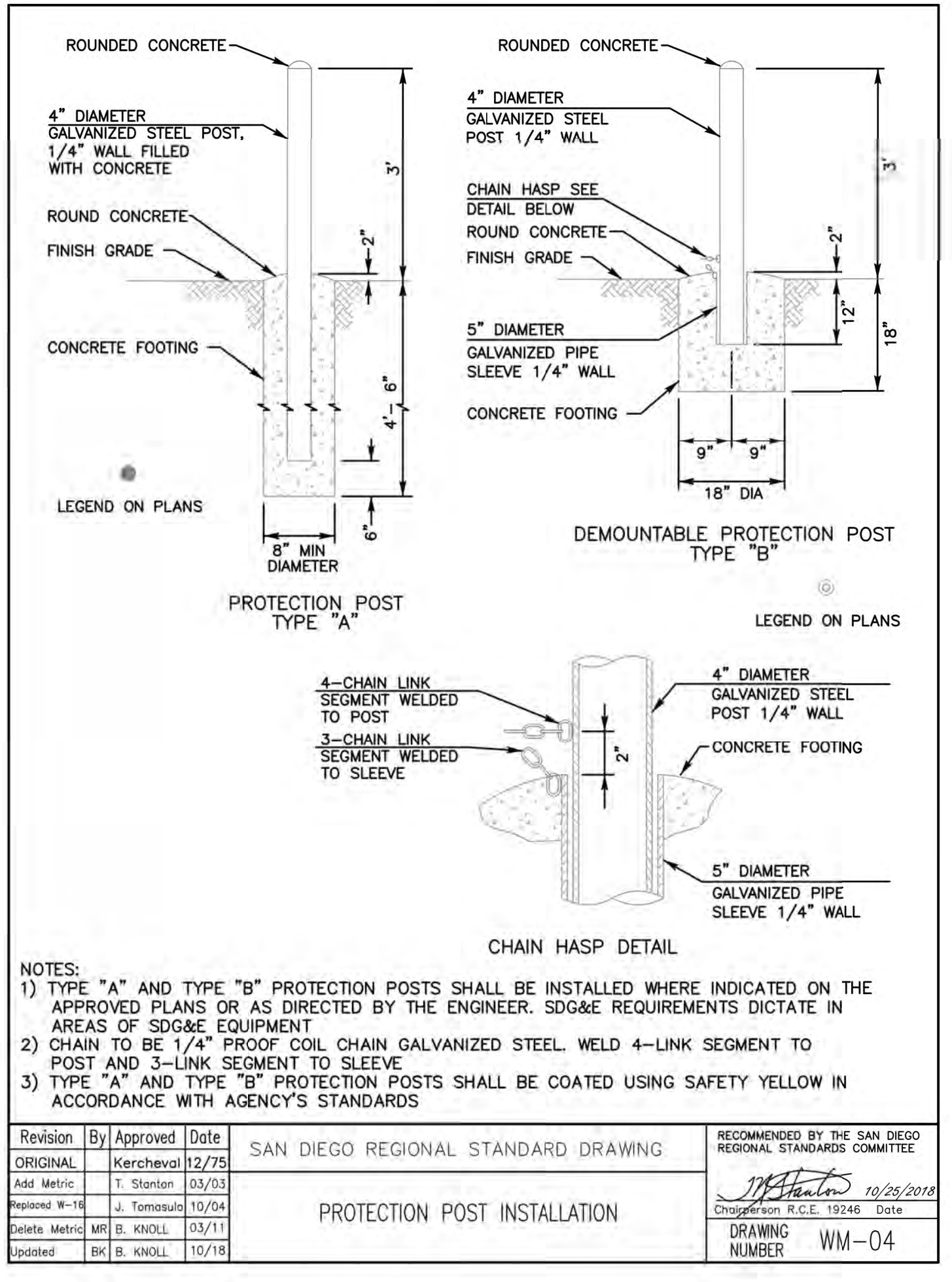
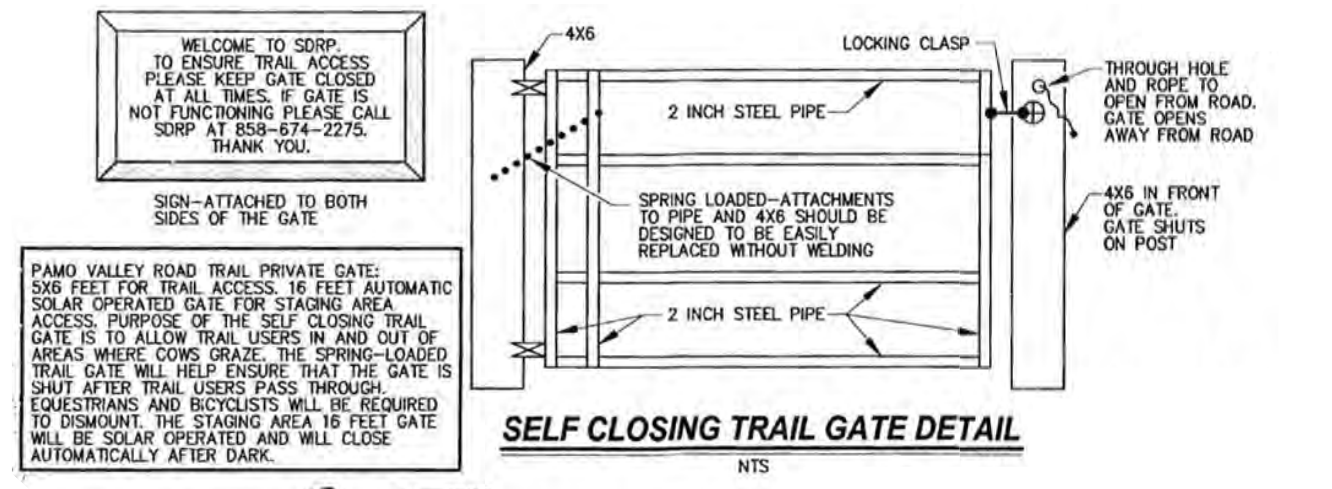
Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
ORIGINAL	K. Kercheval		12/75		
Revised	D. Gensert		05/12		
Revised	D. Gensert		12/15		
Revised	D. Gensert		10/18		

CHAIN LINK FENCE
 *MODIFIED WITH TOP RAILING
 DRAWING NUMBER M-06



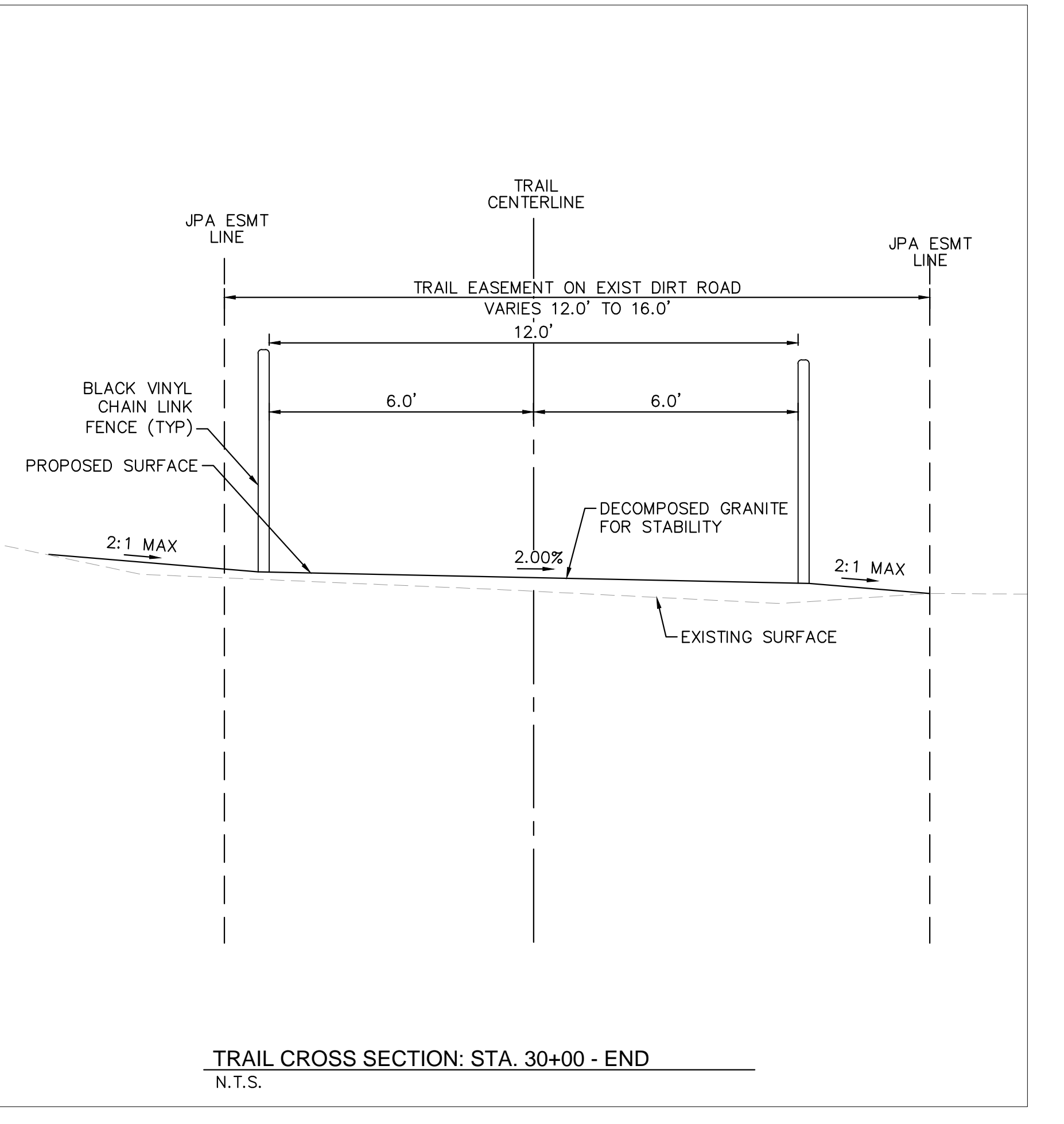
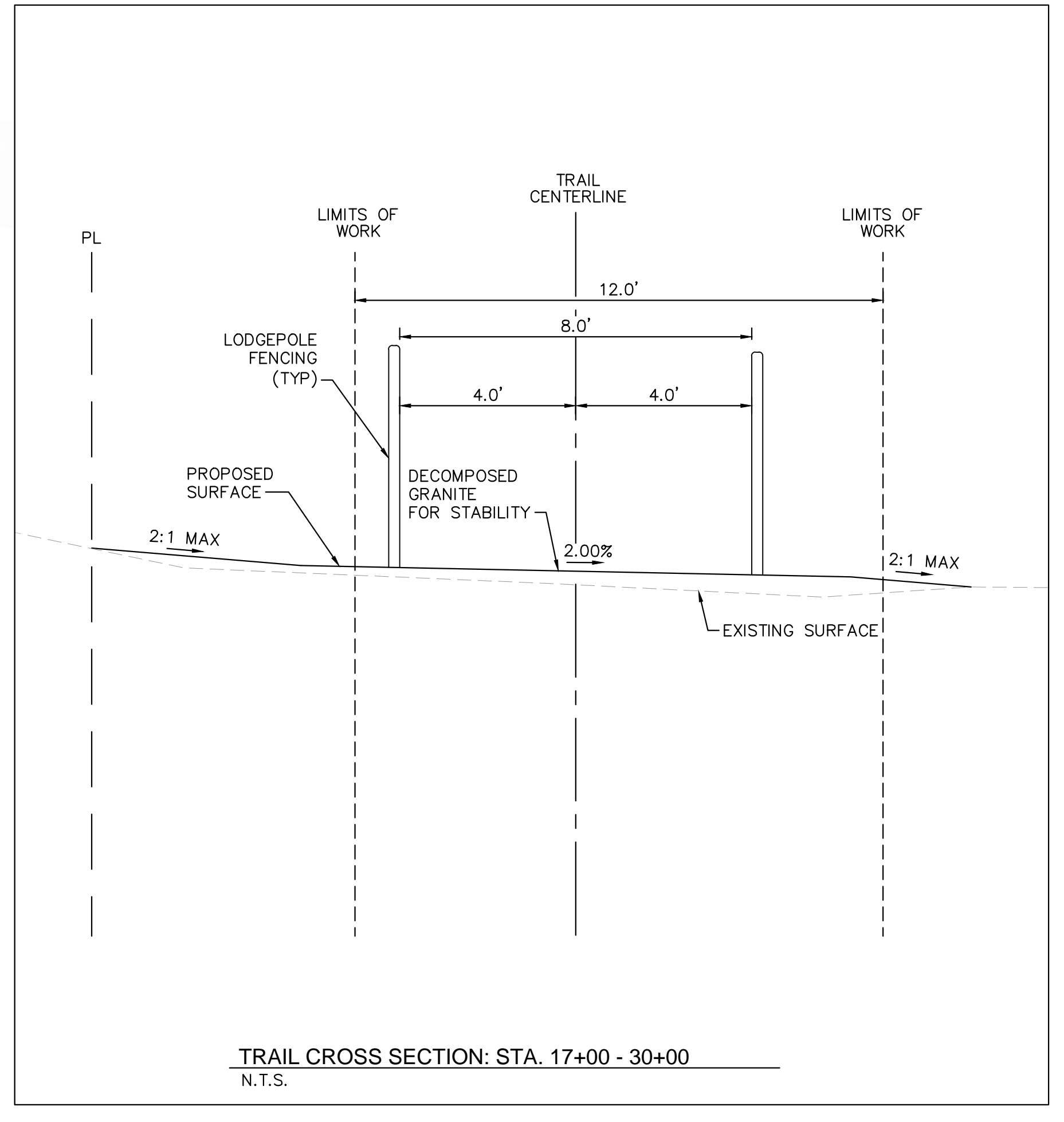
Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
ORIGINAL	K. Kercheval		12/75		
Revised	D. Gensert		08/15		
Revised	D. Gensert		10/18		

CHAIN LINK FENCE
 DETAILS
 DRAWING NUMBER M-20



Revision	By	Approved	Date	SAN DIEGO REGIONAL STANDARD DRAWING	RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE
ORIGINAL	T. Shuman		03/01		
Revised M-10	J. Tomaszuk		10/04		
Revised	M. B. KNOX		03/11		
Updated	B. B. KNOX		10/18		

PROTECTION POST INSTALLATION
 DRAWING NUMBER WM-04

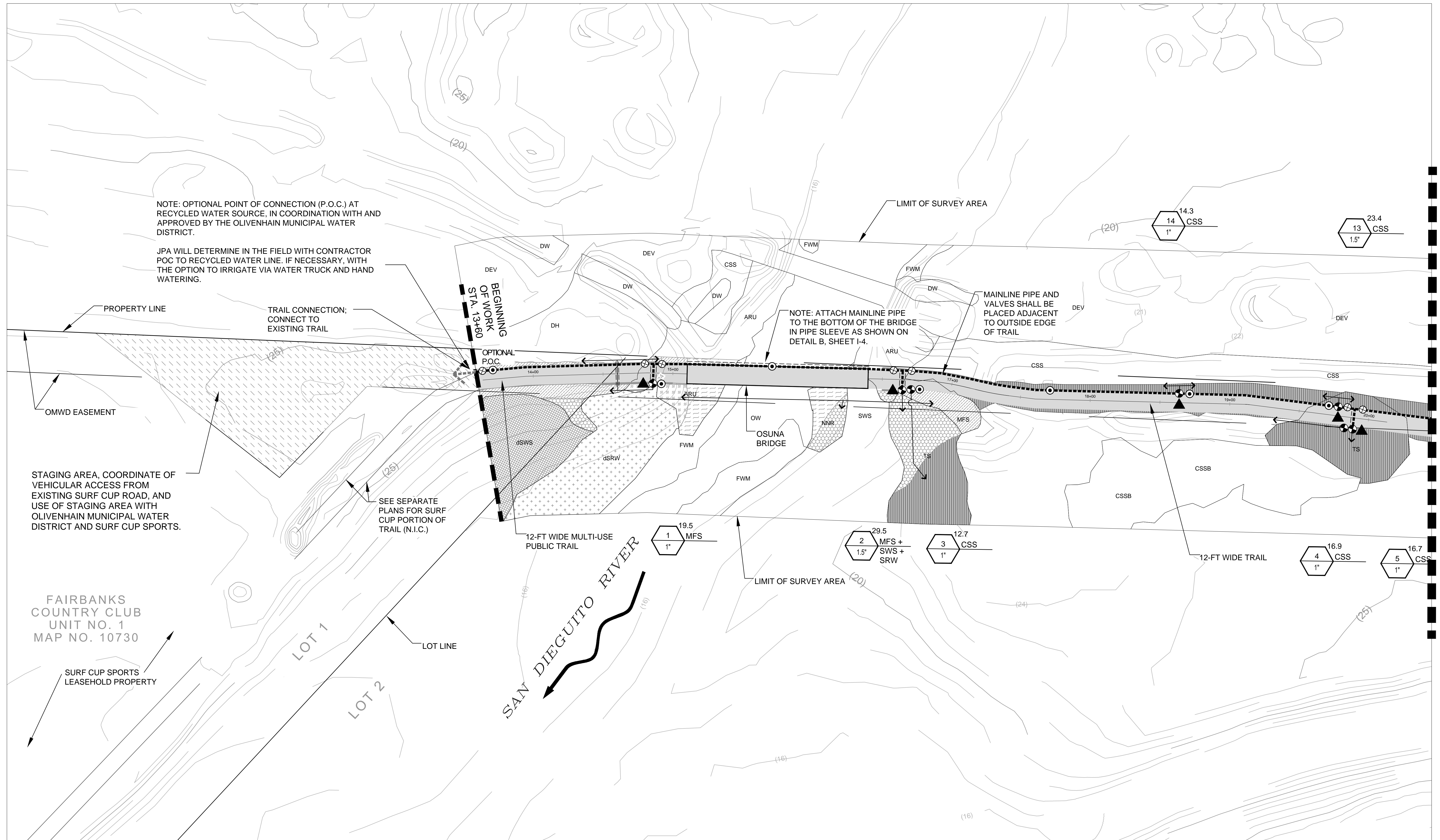


KHA PROJECT	08220008
DATE	3/6/2024
SCALE	AS SHOWN
DESIGNED BY	TK
DRAWN BY	TK
CHECKED BY	MK
EXP. DATE	12/31/2023

LICENSED PROFESSIONAL
 JULIAN COLO
 CALIFORNIA LICENSE NUMBER #82707

DETAILS

OSUNA TRAIL SEGMENT OF THE CREST TO COAST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA
 CITY OF SAN DIEGO



NOTE: OPTIONAL POINT OF CONNECTION (P.O.C.) AT RECYCLED WATER SOURCE, IN COORDINATION WITH AND APPROVED BY THE OLIVENHAIN MUNICIPAL WATER DISTRICT.

JPA WILL DETERMINE IN THE FIELD WITH CONTRACTOR POC TO RECYCLED WATER LINE, IF NECESSARY, WITH THE OPTION TO IRRIGATE VIA WATER TRUCK AND HAND WATERING.

NOTE: ATTACH MAINLINE PIPE TO THE BOTTOM OF THE BRIDGE IN PIPE SLEEVE AS SHOWN ON DETAIL B, SHEET I-4.

MAINLINE PIPE AND VALVES SHALL BE PLACED ADJACENT TO OUTSIDE EDGE OF TRAIL

STAGING AREA, COORDINATE OF VEHICULAR ACCESS FROM EXISTING SURF CUP ROAD, AND USE OF STAGING AREA WITH OLIVENHAIN MUNICIPAL WATER DISTRICT AND SURF CUP SPORTS.

FAIRBANKS COUNTRY CLUB UNIT NO. 1 MAP NO. 10730

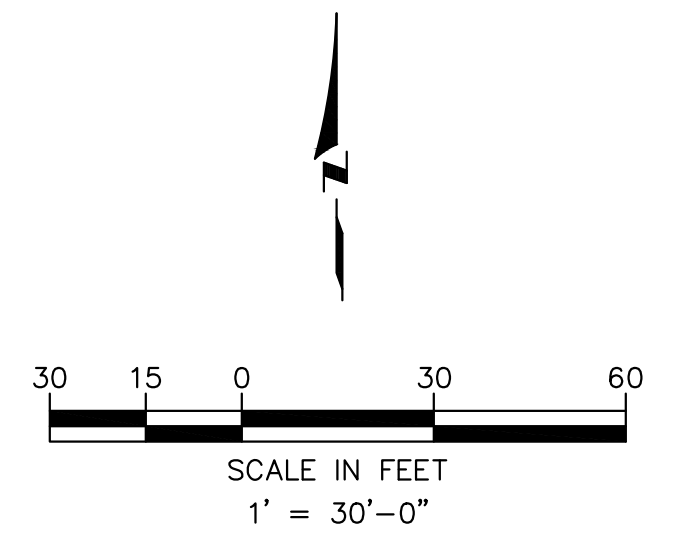
SURF CUP SPORTS LEASEHOLD PROPERTY

SAN DIEGUITO RIVER

PLANTING LEGEND

- REVEGETATION AREAS**
- FRESHWATER MARSH WETLAND (FWM) CONTAINER PLANTS + SEEDING
 - MULEFAT SCRUB (MFS) CONTAINER PLANTS + SEEDING
 - SOUTHERN WILLOW SCRUB (SWS) SEEDING ONLY
 - SOUTHERN RIPARIAN WOODLAND (SRW) ENHANCEMENT SEEDING ONLY
 - SOUTHERN WILLOW SCRUB (SWS) REVEGETATION/RESTORATION CONTAINER PLANTS + SEEDING
 - SOUTHERN RIPARIAN WOODLAND (SRW) REVEGETATION/RESTORATION CONTAINER PLANTS + SEEDING
 - COASTAL SAGE SCRUB (CSS) CONTAINER PLANTS + SEEDING

SEE SHEETS P-1 & P-2 FOR PLANTING PLANS.
SEE SHEETS P-3 & P-4 FOR PLANT LISTS AND PLANTING NOTES & DETAILS.



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I-1

NO.	REVISIONS	DATE	BY

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KHA PROJECT: 095220008
DATE: FEBRUARY 14, 2024
SCALE: AS SHOWN
DESIGNED BY: JTK
DRAWN BY: JTK
CHECKED BY: MKK

LICENSED PROFESSIONAL
LIC. PROF. 1
STATE LICENSE NUMBER
LIC. PROF. 1 #

**REVEGETATION/RESTORATION
IRRIGATION PLAN**

**OSUNA SEGMENT OF THE
COAST TO CREST TRAIL**
PREPARED FOR
SAN DIEGUITO RIVER PARK JPA
CITY OF SAN DIEGO

SPRINKLER HEAD LEGEND (Proposed Irrigation Sprinkler Heads*)

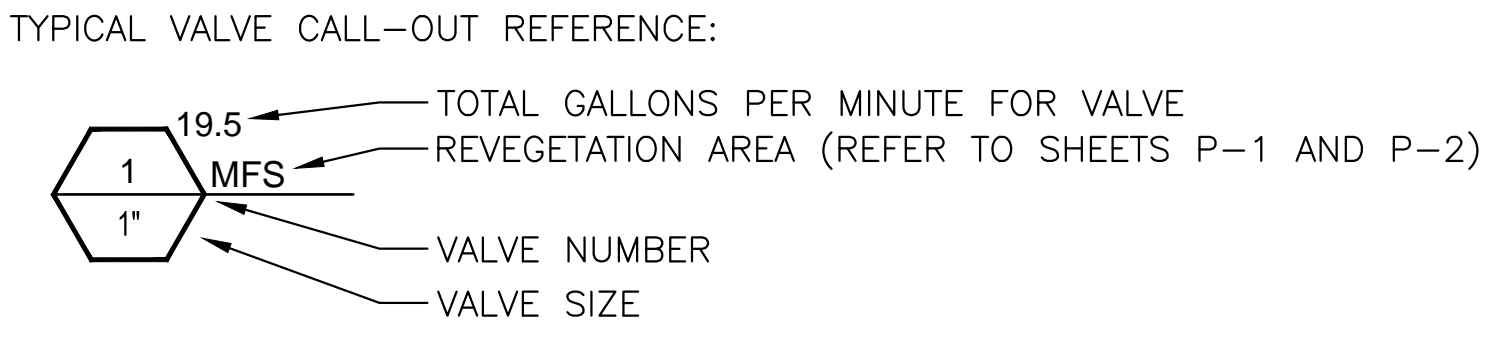
Table with columns: SYMBOL, MANUF., MODEL NO., DESCRIPTION, DETAIL, ARC, RADIUS, PSI, GPM, NOTES. Lists various sprinkler head models and their specifications.

NOTE: ACTUAL ARCS MAY VARY SLIGHTLY BASED ON SITE CONFIGURATION. ADJUST RADII TO OBTAIN HEAD TO HEAD COVERAGE. * SPRINKLER HEADS SHALL BE OPERATED USING RECYCLED WATER. HEADS SHALL BE ADJUSTED SO THAT THEY DO NOT SPRAY OVER OPEN WATER.

IRRIGATION EQUIPMENT LEGEND

Table with columns: SYMBOL, MANUF., MODEL NO., DESCRIPTION, DETAIL, REMARKS. Lists various irrigation equipment like valves, couplings, and controllers.

NOTE: ALL IRRIGATION COMPONENTS SHALL BE RECYCLED WATER COMPLIANT MATERIALS. REFER TO DETAILS ON SHEETS I-7 AND I-8 FOR ADDITIONAL REQUIREMENTS.



TEMPORARY IRRIGATION SYSTEM NOTES:

- 1. THE IRRIGATION SYSTEM SHALL BE SERVED FROM A RECYCLED WATER SOURCE PROVIDED BY THE OLIVENHAIN MUNICIPAL WATER DISTRICT (OMWD) AND THE JPA, WITH ALL COMPONENTS SHALL BE INSTALLED PER THE OMWD RECYCLED WATER USE REQUIREMENTS.
2. THE IRRIGATION SYSTEM DESIGN IS PARTIALLY DIAGRAMMATIC AND DOES NOT SHOW ALL OFFSETS, APPURTENANCES, AND EQUIPMENT NEEDED FOR A COMPLETE SYSTEM.
3. THE IRRIGATION SYSTEM IS BASED ON AN ANTICIPATED OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 60 GALLONS PER MINUTE PER VALVE...

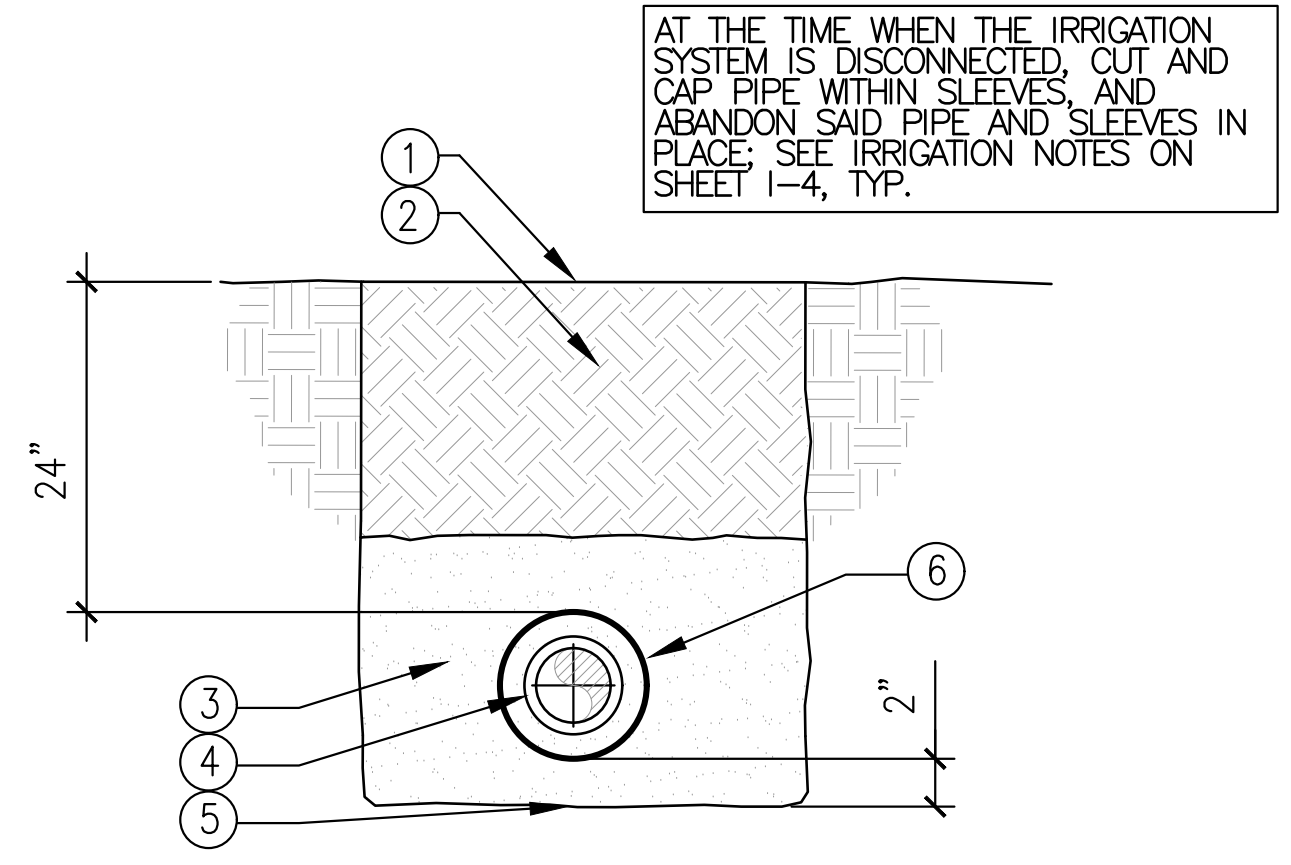


Table with columns: ITEM, DESCRIPTION. Lists items 1-6 corresponding to the diagram layers: FINISH GRADE, EXISTING MAINTENANCE ROAD, CLEAN BACKFILL, PVC IRRIGATION PIPE, LEVEL AND COMPACT TRENCH BED, PVC SLEEVE PIPE.

A IRRIGATION PIPE SLEEVING AT ROAD OR TRAIL CROSSINGS NO SCALE

WATERING:

- 1. CONTAINER PLANTS AND SEEDING SHALL BE WATERED BY THE CONTRACTOR BY WAY OF A TEMPORARY IRRIGATION SYSTEM; REFER TO IRRIGATION PLAN.
2. WATERING SHALL BE PROVIDED BY THE CONTRACTOR FOR A PERIOD SUFFICIENT TO ESTABLISH PLANT MATERIAL AND PROVIDE VEGETATIVE COVER, AS REQUIRED OF THE SUCCESS CRITERIA.
3. WATER DELIVERY SHALL PROVIDE EVEN AND ADEQUATELY DISPERSED SPRAY COVERAGE THROUGHOUT SEEDED AND CONTAINER PLANTED AREAS...

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Revisions table with columns: NO., DATE, BY.

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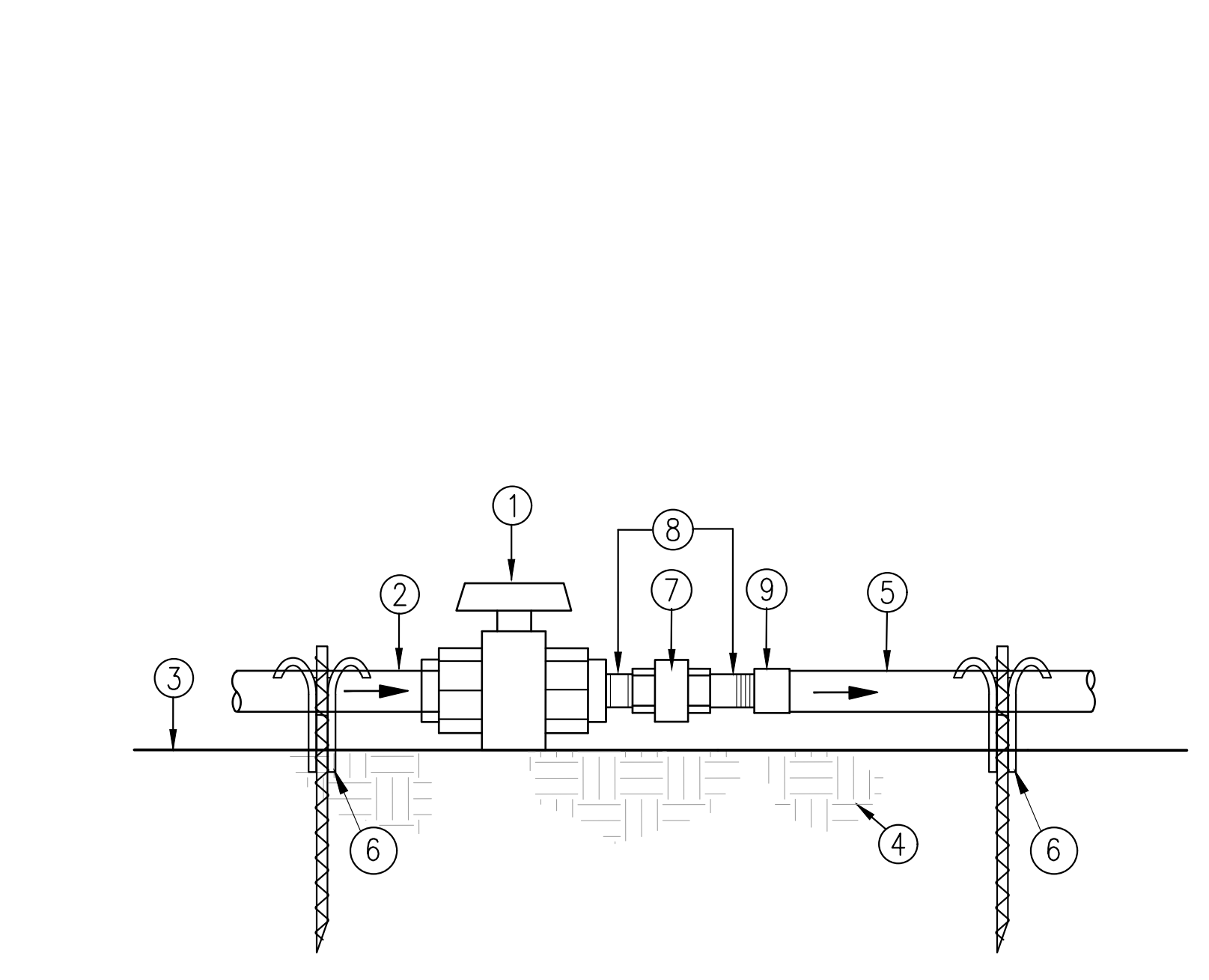
Licensed Professional Information: KHA PROJECT 062220008, DATE FEBRUARY 14, 2024, SCALE AS SHOWN, DESIGNED BY TK, DRAWN BY TK, CHECKED BY NK.

REVEGETATION/RESTORATION IRRIGATION LEGEND AND DETAILS

OSUNA SEGMENT OF THE COAST TO CREST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA CITY OF SAN DIEGO

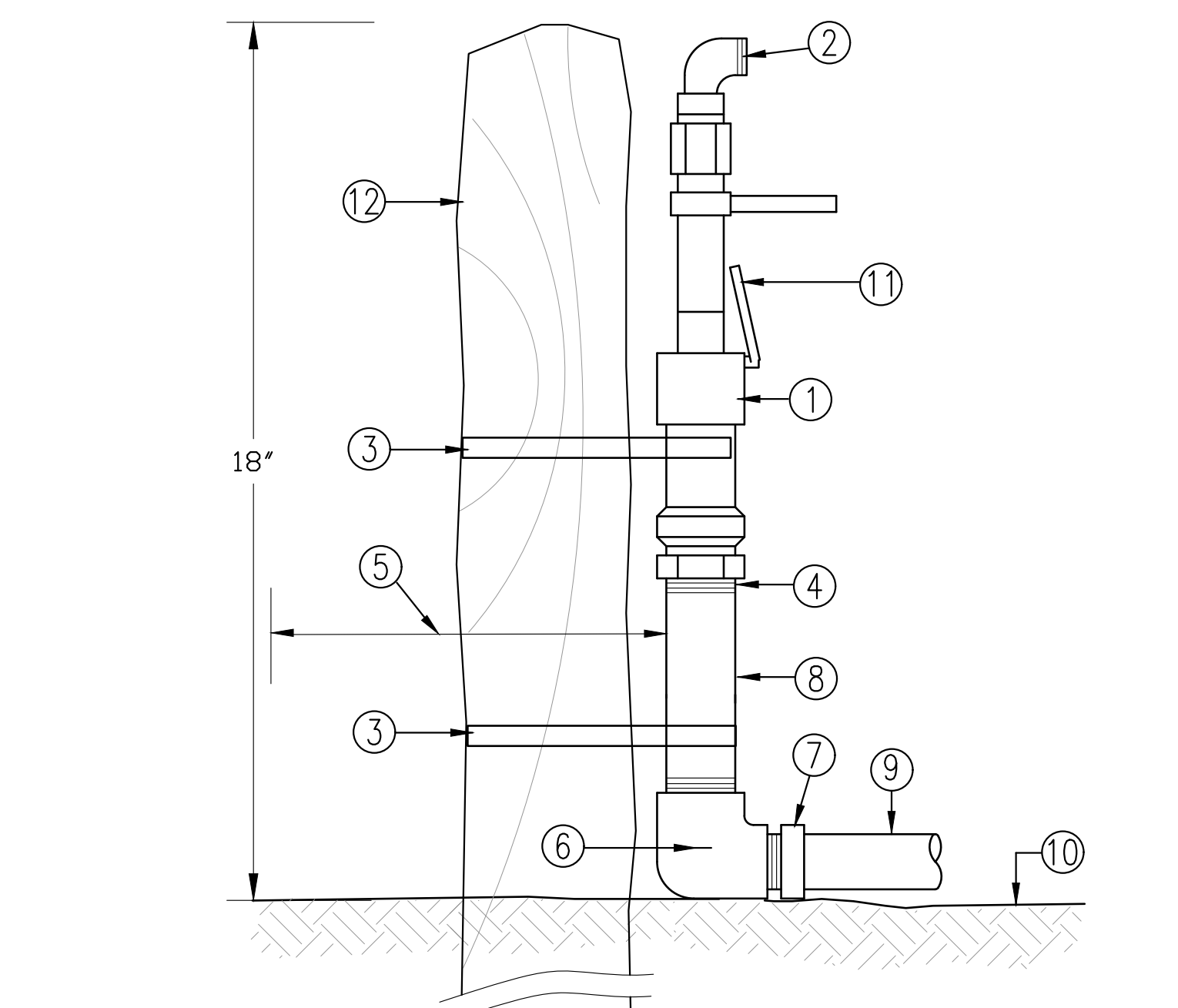
Prepared By: John Zeno, Shariel Sakhra, Layout: LS NOTES February 14, 2024, 03:28:16pm, P:\3000_Environment\13205_San Diego\Osuna Trail\Revamp Concept Design\Osuna Trail Irrigation Plan.dwg

Plotted By: John Zeno, Sheet SW-IRN, Layout: I-4, DETAIL 5, February 14, 2024, 02:28:25pm, P:\2024\Environmental\3305 San Diego River Park Open Trail\River Park Open Trail Irrigation Plan.dwg
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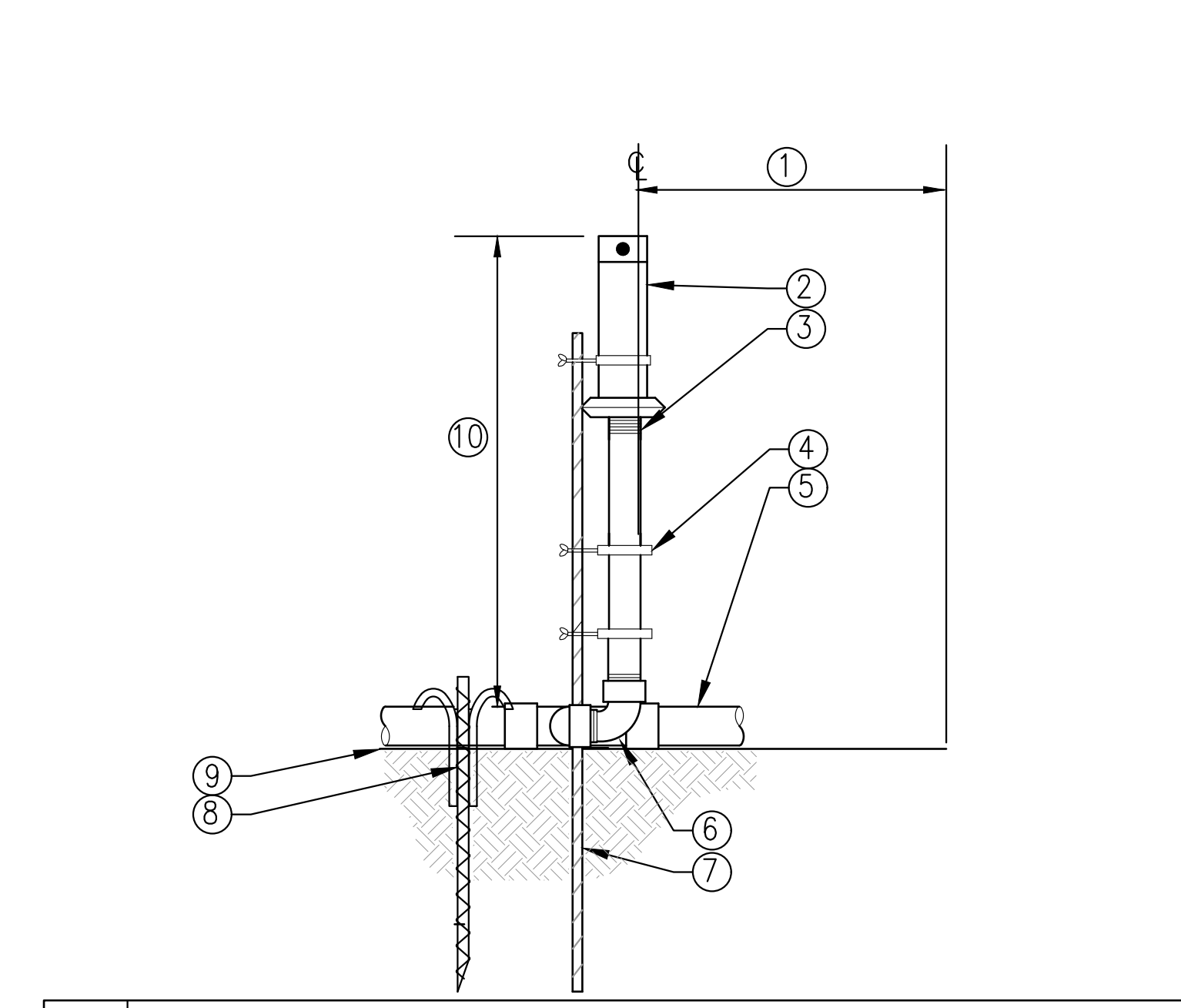
ITEM	DESCRIPTION
1	PVC SCH 80 BALL VALVE W/INTEGRAL UNION, SEE LEGEND (RECYCLED WATER)
2	PVC MAINLINE PIPE FROM P.O.C.
3	FINISH GRADE
4	SUBGRADE
5	PVC MAIN LINE OR PVC LATERAL PIPE TO SPRAY SPRINKLER HEADS/BUBBLERS
6	PIPE ANCHOR (SEE DETAIL D, SHEET LI-9)
7	UNION - THREADED (PVC)
8	SHORT NIPPLES PVC, SCH 80 (typ)
9	PVC SCH 80 FEMALE ADAPTER (typ)

A SHUT OFF VALVE (ISOLATION VALVE)
NO SCALE



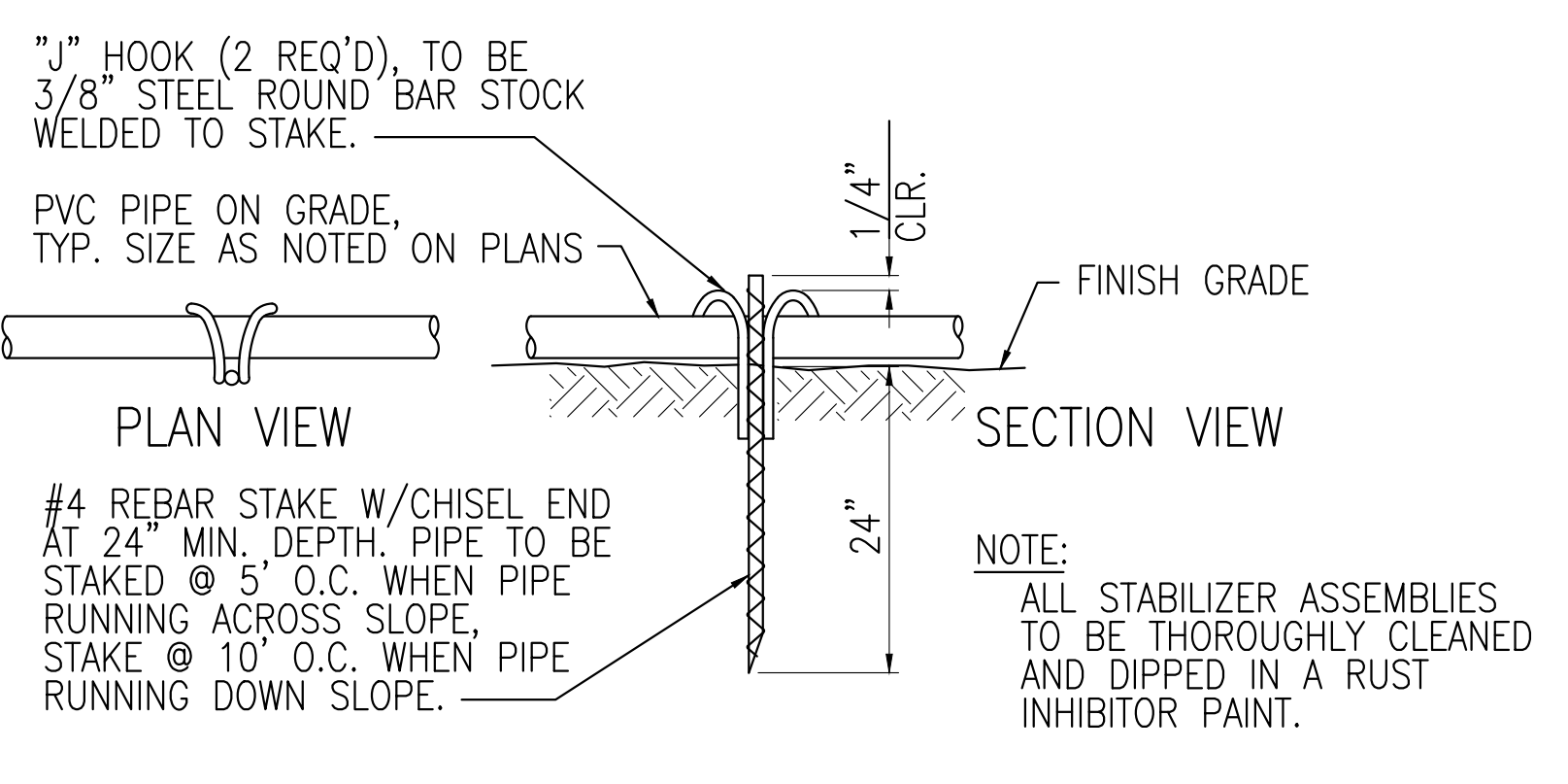
ITEM NO.	DESCRIPTION
1	QUICK COUPLER VALVE
2	QUICK COUPLER KEY W/SPRINKL HOSE ELL
3	GALV. STEEL STRAP, CHISEL & NAIL TO POST
4	REFLECTOR LIGHT, ALL PURPOSE
5	4" (MIN.) FROM EDGE OF CURBS, TRAILS, PATHS, ETC.
6	1/2" PVC SCH 40 THREADED ELL
7	1/2" PVC SCH 40 MALE ADAPTER
8	3" SCH 80 NIPPLE
9	1/2" PVC SCH 40 LATERAL PIPE
10	FINISH GRADE OF PLANTING AREA
11	RUBBER COVER
12*	36" LONG X 6" DIA. (MIN.) PEELER POST AT ALL QUICK COUPLING VALVES NEXT TO TRAILS, PATHS AND ROADS.

B QUICK COUPLING VALVE
NO SCALE

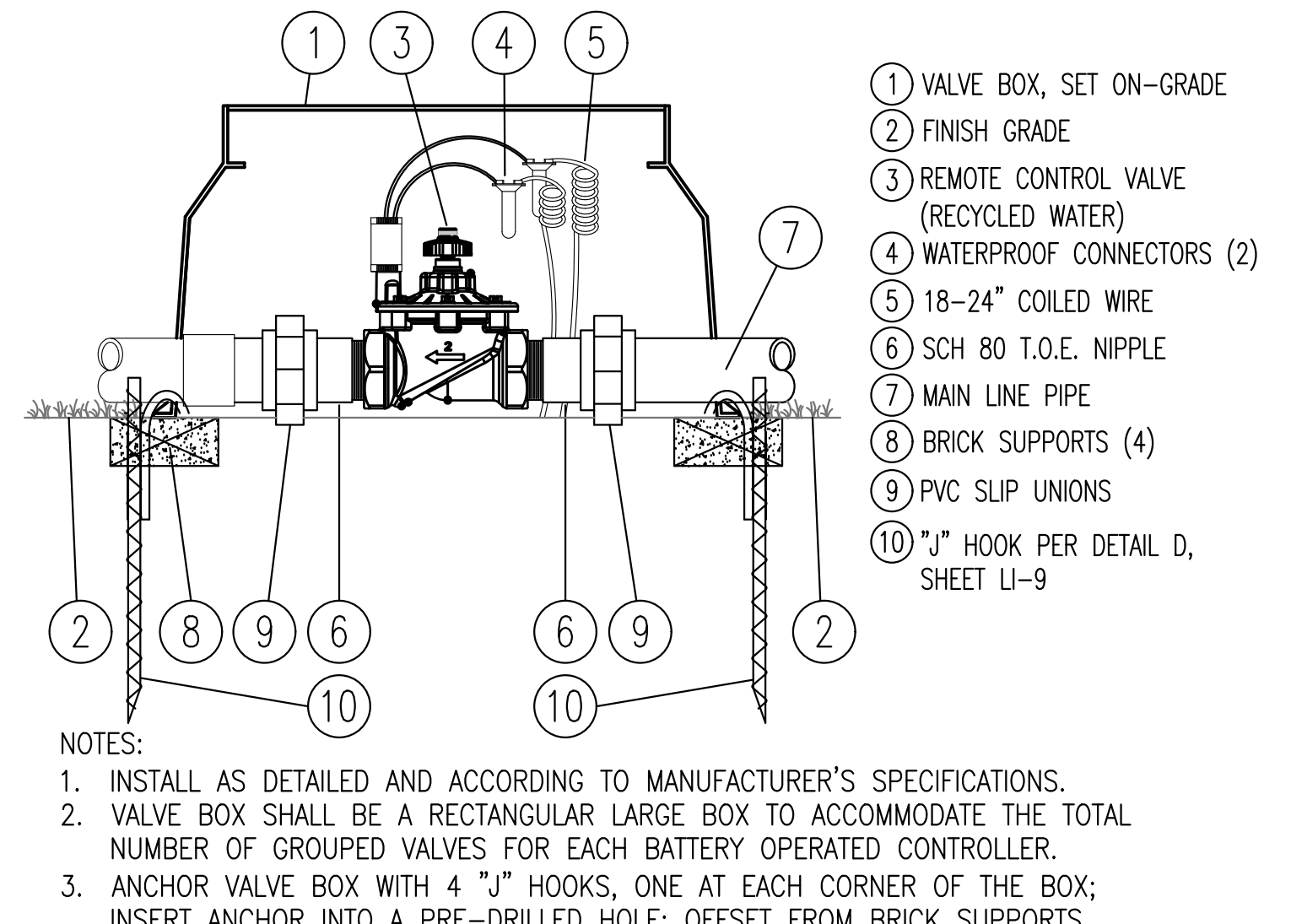


ITEM	DESCRIPTION
1	18" (MIN.) FROM EDGE OF ROAD (where applicable)
2	ROTOR HEAD SPRINKLER (RECYCLED WATER)
3	24" SCH. 80 PVC RISER
4	RUBBER TWIST TIE TO SECURE HEAD AND RISER TO STAKE -MIN. 3
5	PVC LATERAL LINE ON GRADE
6	SWING JOINT ASSEMBLY ATTACHED TO PVC PIPE FITTING (marlex street ells)
7	42" #3 REBAR STAKE (min 18" into grade)
8	PIPE ANCHOR (SEE DETAIL D, SHEET LI-9)
9	EXISTING GRADE
10	30" MIN ABOVE FINISH GRADE

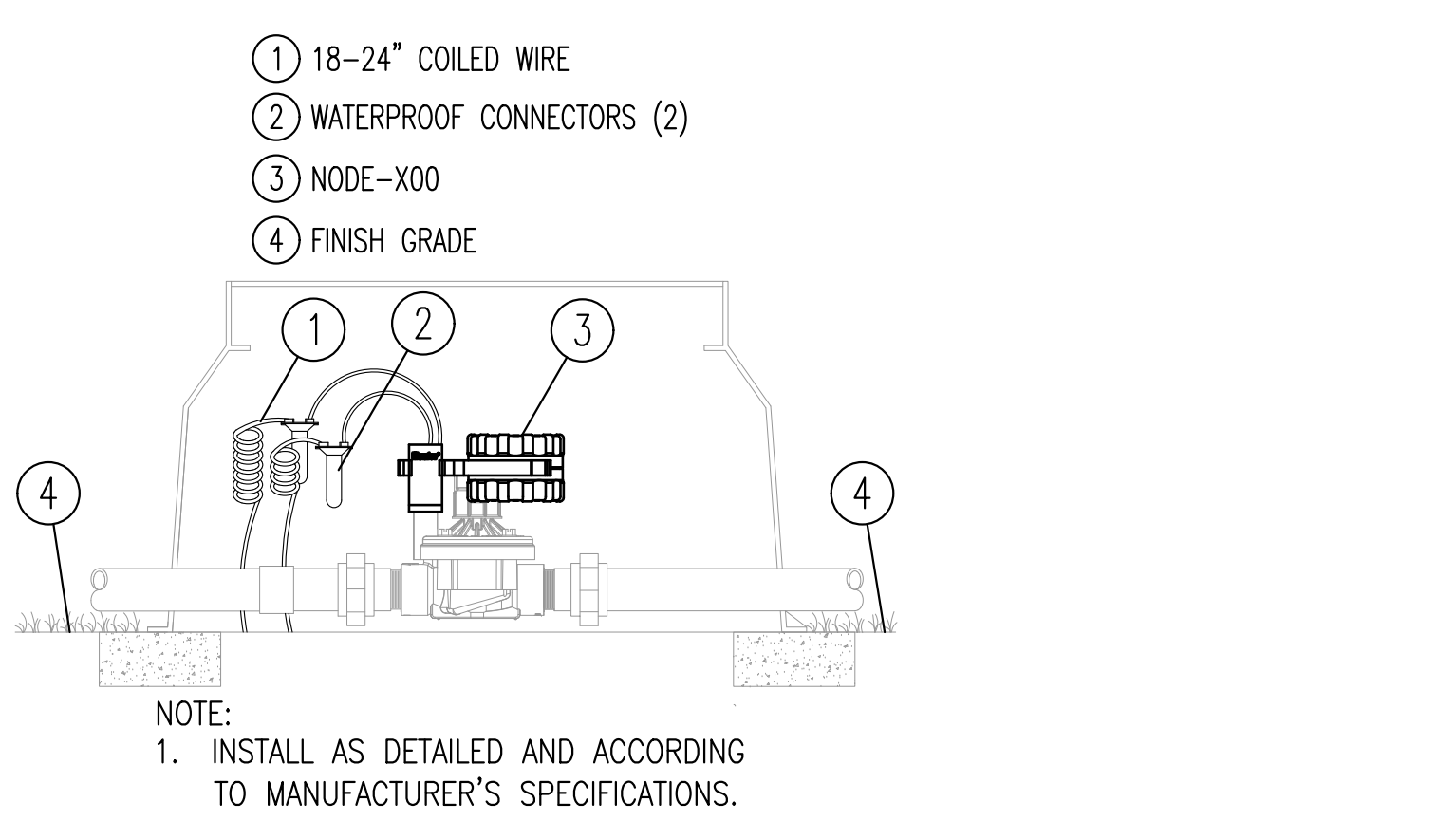
C SPRINKLER HEAD
NO SCALE



D ON-GRADE PIPE ANCHORING
NO SCALE



E REMOTE CONTROL VALVE
NO SCALE



F BATTERY OPERATED CONTROLLER
NO SCALE

NOTE:
ALL IRRIGATION COMPONENTS SHALL BE RECYCLED WATER COMPLIANT.

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REVEGETATION/RESTORATION
IRRIGATION DETAILS

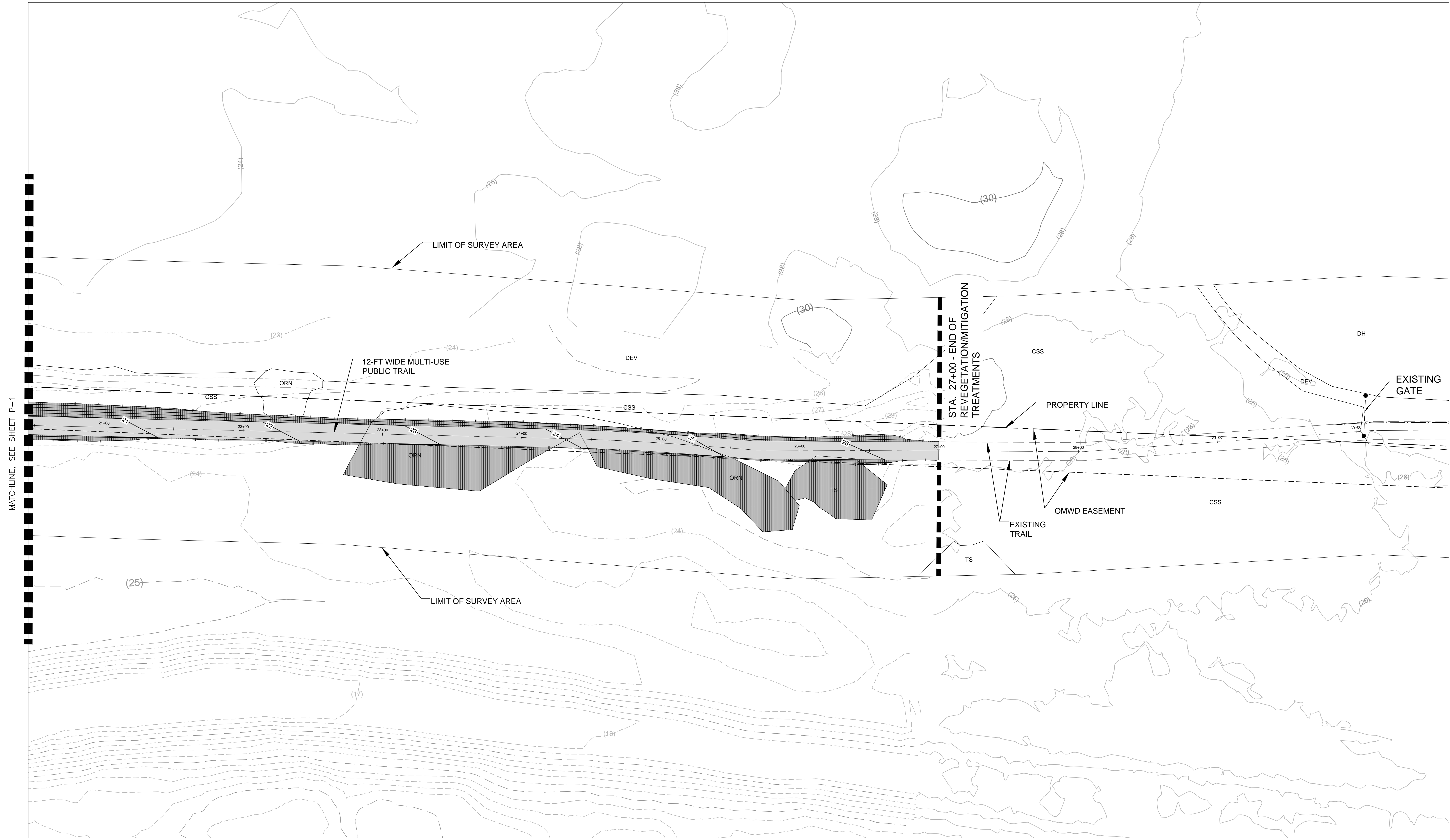
OSUNA SEGMENT OF THE
COAST TO CREST TRAIL
PREPARED FOR
SAN DIEGUITO RIVER PARK JPA
CITY OF SAN DIEGO

KHA PROJECT	095228008
DATE	FEBRUARY 14, 2024
SCALE	AS SHOWN
DESIGNED BY	JJK
DRAWN BY	TK
CHECKED BY	JK
LICENSED PROFESSIONAL	
IC PROF #	
STATE LICENSE NUMBER	
LIC PROF 1 #	
DATE	

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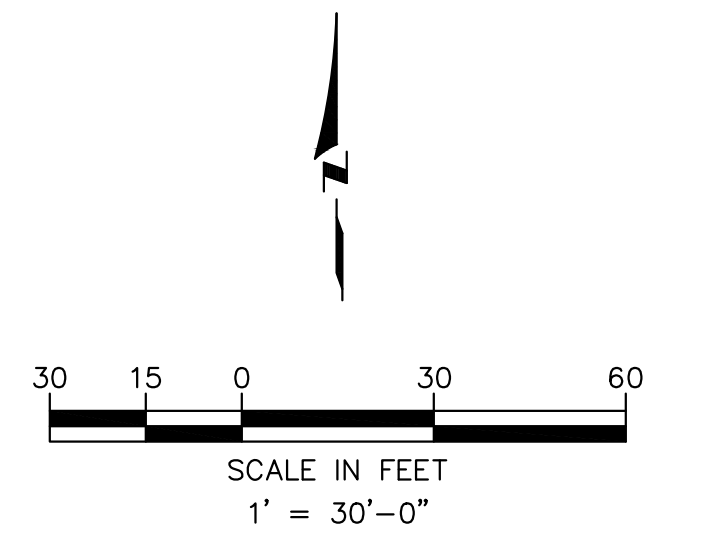
MATCHLINE, SEE SHEET P-1

PLANTING LEGEND

REVEGETATION AREAS

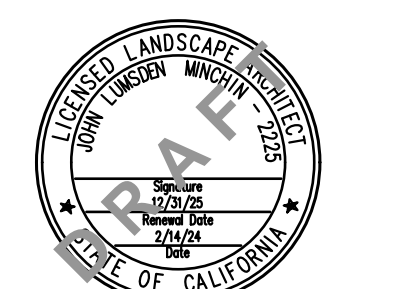
	FRESHWATER MARSH WETLAND (FWM) (0.05 AC.) CONTAINER PLANTS + SEEDING		SOUTHERN WILLOW SCRUB (SWS) REVEGETATION/RESTORATION (0.06 AC.) CONTAINER PLANTS + SEEDING
	MULEFAT SCRUB (MFS) (0.05 AC.) CONTAINER PLANTS + SEEDING		SOUTHERN RIPARIAN WOODLAND (SRW) REVEGETATION/RESTORATION (0.01 ac.) CONTAINER PLANTS + SEEDING
	SOUTHERN WILLOW SCRUB (SWS) ENHANCEMENT (0.09 AC.) SEEDING ONLY		COASTAL SAGE SCRUB (CSS) (0.49 AC.) CONTAINER PLANTS + SEEDING
	SOUTHERN RIPARIAN WOODLAND (SRW) ENHANCEMENT (0.13 AC.) SEEDING ONLY		

SEE SHEETS P-3 & P-4 FOR
PLANT LISTS AND PLANTING
NOTES & DETAILS.



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OSUNA SEGMENT OF THE
COAST TO CREST TRAIL
PREPARED FOR
SAN DIEGO RIVER PARK JPA
CITY OF SAN DIEGO

SHEET NUMBER
14 OF 18

NO.	REVISIONS	DATE	BY

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PROJECT: REVEGETATION/RESTORATION PLANTING PLAN
DATE: FEBRUARY 14, 2024
SCALE: AS SHOWN
DESIGNED BY: JTK
DRAWN BY: JTK
CHECKED BY: MK

REVEGETATION/RESTORATION
PLANTING PLAN

PROJECT: OSUNA SEGMENT OF THE COAST TO CREST TRAIL
DATE: FEBRUARY 14, 2024
SCALE: AS SHOWN
DESIGNED BY: JTK
DRAWN BY: JTK
CHECKED BY: MK
PROJECT NO.: 09220008

Prepared By: John Zeno, Sheet SWK:KHA, Layout: P-2, February 14, 2024, 03:30:48pm, P:\3000\Environmental\13352 San Diego\Osuna Trail\Reveg\09220008_P-2.dwg, User: jzeno, Plot Date: 2/14/2024, 3:30:48 PM, Plot Scale: 1/30, Plot Title: OSUNA SEGMENT OF THE COAST TO CREST TRAIL - REVEGETATION/RESTORATION PLANTING PLAN - P-2

CONTAINER PLANT PALETTE
FRESHWATER MARSH WETLAND (FWM)
RESTORATION / REVEGETATION AREA: 2,145 SF (0.05 Ac)

Table with 8 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, CONTAINER SIZE, SPACING (ON CENTER), PERCENT COMPOSITION, QUANTITY, DETAILS. Lists plants like ANEMOPSIS CALIFORNICA, JUNCUS ACUTUS SPP. LEOPOLDII, and SCHOENOPLECTUS CALIFORNICUS.

- NOTES: 1. COMPOSITION ASSUMES 70% COVER BY CONTAINER PLANTS AND 30% COVER BY SEEDED SPECIES. 2. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE DIRECTION OF THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. 3. ALL PLANT MATERIAL SOURCES SHALL BE FROM COASTAL SAN DIEGO COUNTY.

CONTAINER PLANT PALETTE
SOUTHERN WILLOW SCRUB (SWS)
WETLAND RESTORATION/REVEGETATION AREA: 2,683 SF (0.06 Ac)

Table with 8 columns: SYMBOLS, BOTANICAL NAME, COMMON NAME, CONTAINER SIZE, SPACING (ON CENTER), PERCENT COMPOSITION, QUANTITY, DETAILS. Divided into TREES (OVERSTORY) PLANTS and UNDERSTORY PLANTS.

- NOTES: 1. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE DIRECTION OF THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. 2. ALL PLANT MATERIAL SOURCES SHALL BE FROM COASTAL SAN DIEGO COUNTY.

CONTAINER PLANT PALETTE
SOUTHERN RIPARIAN WOODLAND (SRW)
WETLAND RESTORATION/REVEGETATION AREA: 407 SF (0.01 Ac)

Table with 8 columns: SYMBOLS, BOTANICAL NAME, COMMON NAME, CONTAINER SIZE, SPACING (ON CENTER), PERCENT COMPOSITION, QUANTITY, DETAILS. Divided into TREES (OVERSTORY) PLANTS and UNDERSTORY PLANTS.

- NOTES: 1. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE DIRECTION OF THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. 2. ALL PLANT MATERIAL SOURCES SHALL BE FROM COASTAL SAN DIEGO COUNTY.

CONTAINER PLANT PALETTE
MULEFAT SCRUB (MFS)
RESTORATION/REVEGETATION AREA: 1,975 SF (0.05 Ac)

Table with 8 columns: SYMBOLS, BOTANICAL NAME, COMMON NAME, CONTAINER SIZE, SPACING (ON CENTER), PERCENT COMPOSITION, QUANTITY, DETAILS. Lists plants like BACCHARIS SALICIFOLIA, SALIX EXIGUA, ARTEMISIA DOUGLASIANA, and ROSA CALIFORNICA.

- NOTES: 1. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE DIRECTION OF THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. 2. ALL PLANT MATERIAL SOURCES SHALL BE FROM COASTAL SAN DIEGO COUNTY.

CONTAINER PLANT PALETTE
COASTAL SAGE SCRUB
RESTORATION/REVEGETATION AREA: 21,142 SF (0.49 Ac)

Table with 8 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, CONTAINER SIZE, SPACING (ON CENTER), PERCENT COMPOSITION, QUANTITY, DETAILS. Lists plants like ARTEMISIA CALIFORNICA, ENCELIA CALIFORNICA, ERIOGONUM FASCICULATUM, ISOMERIS ARBOREA, and SALVIA MELLIFERA.

- NOTES: 1. COMPOSITION ASSUMES 70% COVER BY CONTAINER PLANTS AND 30% COVER BY SEEDED SPECIES. 2. ALL PLANTS SHALL BE INSTALLED ACCORDING TO THE DIRECTION OF THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. 3. ALL PLANT MATERIAL SOURCES SHALL BE FROM COASTAL SAN DIEGO COUNTY.

SEED MIX TYPE 1 (UPLAND CSS RESTORATION)
COASTAL SAGE SCRUB
RESTORATION/REVEGETATION AREA: 21,142 SF (0.49 Ac)

Table with 5 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, PLS, LBS/ACRE. Lists various seed species like ACMISPON GLABOR, ARTEMISIA CALIFORNICA, and BACCHARIS SALICIFOLIA.

TOTALS: 30.0

SEED MIX TYPE 2 (WETLAND RESTORATION AND ENHANCEMENT AREAS)
SWS, SRW, AND MFS
REVEGETATION AREA: 14,646 SF (0.34 Ac)

Table with 5 columns: SYMBOLS, BOTANICAL NAME, COMMON NAME, PLS, LBS/ACRE. Lists various seed species like ANEMOPSIS CALIFORNICA, AMBROSIA PSILOSTACHYA, and ARTEMISIA DOUGLASIANA.

TOTALS: 15.0

- SEED MIX NOTES: ** SEED TAGS SHALL BE SUBMITTED TO THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST BEFORE APPLICATION OF SEED. ** THE SEED MIX IS COMPRISED OF NATIVE AND NON-NATIVE PLANT SPECIES. ANY POTENTIAL SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT BIOLOGIST BEFORE APPLICATION OF SEED. ** SOIL SHALL BE PRESOAKED WITHIN 3 DAYS OF SEEDING TO A DEPTH OF 6 INCHES, OR AS RECOMMENDED BY THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. ** REFER TO NOTES ON THIS SHEET FOR HYDROSEED MATERIALS, PROCEDURES AND REQUIREMENTS. *** %PLS IS THE MINIMUM PERCENT PURE LIVE SEED PER POUND OF SEED. THE PERCENTAGE IS CALCULATED BY MULTIPLYING THE PERCENT SEED PURITY BY PERCENT SEED GERMINATION, WHICH SHALL BE THE METHOD USED BY THE PROJECT BIOLOGIST TO DETERMINE SEED QUALITY, UNLESS THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST SPECIFICALLY REQUESTS THE %PLS METHOD TO BE USED. IF THE MINIMUM PERCENT PURE LIVE SEED IS NOT AVAILABLE, THEN THE SEED SUPPLIER SHALL INCREASE THE POUNDAGE OF SEED TO MEET THE DIFFERENCE. IF SOME SPECIES ARE NOT AVAILABLE AT THE TIME OF SEEDING, THEN SUBSTITUTIONS MAY BE CONSIDERED IN CONSULTATION WITH THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST.

NATIVE CONTAINER PLANT AND SEED SOURCES:

- 1. CONTRACTOR SHALL SUPPLY SEED AND CONTAINER PLANTS IDENTIFIED ON THIS SHEET, AND PER THE RECOMMENDATION AND UNDER THE DIRECTION OF THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST SHALL CONSIDER THE 120 DAY PER AND 5 YEAR MAINTENANCE AND MONITORING PERIOD, SUCCESS CRITERIA, IN THE EVENT THAT ADDITIONAL CONTAINER PLANTS OR SEEDING IS NEEDED TO SUPPLEMENT THE QUANTITY SHOWN. 2. CONTAINER PLANTS SHALL BE PROCURED FROM A NATIVE PLANT NURSERY QUALIFIED TO PROPAGATE AND CARE FOR NATIVE PLANT SPECIES. SEED SHALL BE PROCURED FROM A NATIVE SEED SUPPLIER QUALIFIED TO COLLECT, STORE AND PROPAGATE NATIVE PLANT SPECIES. 3. SOURCE OF ALL PROPAGULES FOR ALL NATIVE CONTAINER PLANT MATERIALS AND SEED SHALL HAVE ORIGINATED FROM WITHIN THE SAN DIEGO COUNTY COASTAL AREAS TO THE EXTENT PRACTICAL (MAXIMUM OF WITHIN A 25 MILE RADIUS), OR CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE SEED AND/OR CONTAINER PLANTS ARE NOT AVAILABLE. THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST WILL PROVIDE SUBSTITUTION OR ALTERNATIVE COMPLIANCE. 3. CONTAINER PLANT MATERIAL MUST BE DELIVERED TO THE PROJECT SITE AT THE APPROPRIATE TIME, IN A HEALTHY AND VIGOROUS CONDITION AND SHALL HAVE AT LEAST ONE SAMPLE OF EACH PLANT SPECIES LABELED CLEARLY WITH BOTANICAL NAME AND COMMON NAME. THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST SHALL BE CONTACTED TO INSPECT ALL CONTAINER PLANTS FOLLOWING DELIVERY AND PRIOR TO FIELD PLACEMENT. SPECIMENS SHOWING EVIDENCE OF DISEASE, MISHANDLING, DEFECTS OR DAMAGE, POOR HEALTH, OVER OR UNDER-WATERING, IMPROPER SIZE FOR CONTAINER, OR OTHER DEFICIENCY AT THE TIME OF DELIVERY WILL BE REJECTED. PLANTS SHALL NOT BE STORED ON SITE FOR MORE THAN ONE DAY. 4. CONTRACTOR SHALL SUBMIT ALL SEED TAGS FOR SEED PRODUCTS TO BE USED WITHIN THE PROJECT TO THE RE AND PROJECT BIOLOGIST FOR APPROVAL PRIOR TO APPLICATION. ALL SEED TAGS FROM MATERIALS ACTUALLY APPLIED SHALL BE RETAINED BY THE CONTRACTOR AND SHALL BE TURNED OVER TO THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST IN ORDER TO VERIFY COMPLIANCE WITH THE SPECIFIED MATERIALS. 6. ALL SEEDS SHALL MEET THE MINIMUM % PURE LIVE SEED (PLS) AS NOTED IN TABLES. IF THE MINIMUM % PLS CANNOT BE MET CONTRACTOR SHALL COORDINATE AND OBTAIN WRITTEN APPROVAL FROM THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST FOR ALTERNATIVE COMPLIANCE.

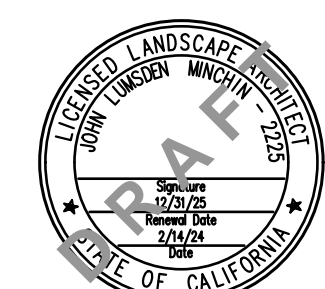
HYDROSEEDING NOTES

- 1. SEEDING SHALL OCCUR ONLY AFTER THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST HAVE OBSERVED AND APPROVED THAT THE SITE HAS BEEN PROPERLY PREPARED AND FOLLOWING INSTALLATION OF THE CONTAINER PLANTS. 2. ONLY AS DIRECTED BY THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST: TYPE 9 MULCH (WOOD FIBER) OR BONDED FIBER MATRIX (BFM) SHALL BE APPLIED AT THE MINIMUM RATE OF 1,500 POUNDS PER ACRE; HYDROPOST PREMIUM COMPOST, OR EQUAL SHALL BE APPLIED AT THE MINIMUM RATE OF 1,000 POUNDS PER ACRE; BIOSOL MIX 7-2-3 ORGANIC FERTILIZER, OR EQUAL SHALL BE APPLIED AT THE MINIMUM RATE OF 800 POUNDS PER ACRE. AM 120 MYCORRHIZAL INOCULUM, OR EQUAL SHALL BE APPLIED AT THE MINIMUM RATE OF 60 POUNDS PER ACRE. 3. TYPE 9 MULCH (WOOD FIBER) OR BFM AND HYDROPOST COMPOST SHALL BE UNIFORMLY SPREAD AND "TRACKED" WITH TYPE 10 MULCH (STABILIZING EMULSION, ECOLOGY CONTROLS M-BINDER OR APPROVED EQUAL) BINDER AT A MINIMUM RATE OF 160 LBS PER ACRE. THE BINDER SHALL BE AN ORGANIC DERIVATIVE OR PROCESSED ORGANIC ADHESIVE, OR AS DIRECTED BY THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST TO BE APPLIED BETWEEN DECEMBER - FEBRUARY. 4. A WETTING AGENT CONSISTING OF ONE TON PER ACRE AGRICULTURAL GYPSUM (95% AALKYL POLYETHYLENE GLYCOL ETHER OR AS APPROVED BY THE BIOLOGIST) SHALL BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, OR AS RECOMMENDED BY THE JPA DESIGNATED REPRESENTATIVE AND PROJECT BIOLOGIST. 5. EQUIPMENT USED FOR THE APPLICATION OF THE HYDROSEED SLURRY MIX SHALL HAVE A BUILT-IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE SLURRY MIX SHALL BE DYED GREEN. THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY AT THE RATES INDICATED.

NOTE: SEE SHEET P-4 FOR PLANTING NOTES AND DETAILS.

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P-3

Table with 3 columns: NO., REVISIONS, DATE. Contains revision history information.

Kimley-Horn & Associates, Inc. logo and contact information: 401 E STREET, SUITE 600, SAN DIEGO, CA 92101. PHONE: 619-234-8414. WWW.KIMLEY-HORN.COM

Professional registration information: KHA PROJECT 096220008, DATE FEBRUARY 14, 2024, SCALE AS SHOWN, DESIGNED BY, DRAWN BY, CHECKED BY.

REVEGETATION/RESTORATION PLANTING LEGEND AND SEED MIXES

OSUNA SEGMENT OF THE COAST TO CREST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA CITY OF SAN DIEGO

Prepared By: John Zeno, Shared Services, Layout/PLS PLANT SEED MIX, February 14, 2024, 03:31:20pm, P:\300-Environmental\3300-San Diego\River Park, Osuna Trail\River Center Design\Osuna Trail Planting Plan.dwg

GENERAL REVEGETATION NOTES

- 1. REVEGETATION OF THE PROJECT AREA SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND CITY SPECIFICATIONS UNDER THE DIRECTION OF THE CITY REPRESENTATIVE AND PROJECT BIOLOGIST.

PRE-PLANTING/SOIL PREPARATION NOTES

- 1. ALL NON NATIVE VEGETATION SHALL BE COMPLETELY REMOVED FROM THE SITE AND ANY REMNANT ROOT BALLS WILL BE TREATED WITH HERBICIDE AS APPROVED BY THE CITY REPRESENTATIVE AND PROJECT BIOLOGIST BEFORE ANY SOIL PREPARATION.

CONTAINER PLANTING AND SEEDING NOTES

- 1. ALL SEEDS AND CONTAINER PLANTS SHALL HAVE ORIGINATED FROM WITHIN SAN DIEGO COUNTY COASTAL AREAS TO THE EXTENT PRACTICAL, OR AS APPROVED BY THE CITY REPRESENTATIVE AND PROJECT BIOLOGIST.

MAINTENANCE REQUIREMENTS

- 1. THE 120 DAY PLANT ESTABLISHMENT PERIOD (PEP) FOLLOWS SUCCESSFUL COMPLETION OF THE HYDROSEED APPLICATION AND PLANT INSTALLATION. THE PEP AND START OF 5 YEAR MAINTENANCE PERIOD, AS WELL AS ACCEPTANCE FOLLOWING THE MAINTENANCE PERIOD, SHALL BE DETERMINED BY THE CITY REPRESENTATIVE IN CONSULTATION WITH PROJECT BIOLOGIST.

TABLE 1. MMRP SUCCESS CRITERIA/STANDARDS

Table with 5 main columns: PARAMETER, % NATIVE SPECIES VEGETATION COVER HYDROSEED AREAS, PLANT SURVIVAL CONTAINER PLANTS, TOTAL PLANT COVERAGE (WETLAND, UPLAND), and NON-NATIVE COVER. Rows include 120 DAYS, YEAR 1, YEAR 2, YEAR 3, YEAR 4, and YEAR 5.

1 Container plants not meeting plant survival success criteria, as verified and recommended by the Project Biologist, shall be replaced in like kind and size and maintained at contractor's expense until the success criteria has been met.

2 Wetland and upland coverage shall be as indicated on Table 1 above. Bare areas greater than 25-feet X 25-feet shall be reseeded according to the City's Whitebook. Soil coverage includes, but is not limited to, plant cover, hydromulch or other biodegradable organic materials.

3 Recruited non-native grass species can count towards the vegetation cover.

4 The project irrigation shall be tapered_off during year 3, shall be turned-off in year 4, and by year 5 plant materials shall have survived two dry seasons without irrigation.

5 Percent native cover shall be based upon visual analysis in years 1 & 2 visual and transect monitoring in years 3 -5.

TABLE 2. PLANTING MAINTENANCE MONITORING AND REPORTING SCHEDULE

Table with 5 columns: PERIOD, ACTIVITY FOR PROJECT BIOLOGIST/CONTRACTOR, BIOLOGIST SITE VISIT FREQUENCY, SUBMITTALS/CHECKLIST, and REPORTING FREQUENCY. Rows include REVEGETATION INSTALLATION, 120 DAY PEP, and 5 YEAR LONG-TERM MAINTENANCE & MONITORING.

NOTE: IF 5 YEAR SUCCESS CRITERIA ARE NOT MET, THE MAINTENANCE, MONITORING AND REPORTING PROGRAM (MMRP) WILL BE EXTENDED AS REQUIRED. QUARTERLY MAINTENANCE AND MONITORING WITH YEARLY REPORTING SHALL CONTINUE AS NEEDED.

***PEP, ANNUAL AND 5 YEAR FINAL REPORT(S) REQUIRED TO INCLUDE SUCCESS CRITERIA ACHIEVEMENT INFORMATION.

INSPECTION REPORTS SHALL BE SENT TO CITY PARKS & RECREATION DEPARTMENT, SENIOR PLANNER.

TABLE 3. MAINTENANCE TASK SCHEDULE

Table with 6 columns: TASK, YEAR 1, YEAR 2, YEAR 3, YEAR 4, and YEAR 5. Rows include WEED CONTROL, TRASH REMOVAL, and IRRIGATION.

MONITORING REQUIREMENTS

- 1. THE PROJECT BIOLOGIST SHALL MONITOR THE PROJECT DURING TRAIL CONSTRUCTION AND RESTORATION/REVEGETATION ACTIVITIES AND SHALL OBSERVE THE SITE DURING THE 5-YEAR RESTORATION/MONITORING PERIOD, AS REQUIRED TO ENSURE THAT THE TRAIL CONSTRUCTION AND POST-CONSTRUCTION ACTIVITIES DO NOT ENCRUCH INTO BIOLOGICALLY SENSITIVE AREAS (WETLANDS).

REFER TO SHEETS 9 THROUGH 12 (SHEETS I-1 THROUGH I-4) FOR IRRIGATION PLANS. THE IRRIGATION SYSTEMS ARE INTEGRAL TO THE PLANTING TO WORK TO FACILITATE PLANT ESTABLISHMENT.

LONG TERM MAINTENANCE OF THE TRAIL WILL BE THE RESPONSIBILITY OF THE SAN DIEGUITO RIVER PARK JPA OR THEIR DESIGNATED REPRESENTATIVE.

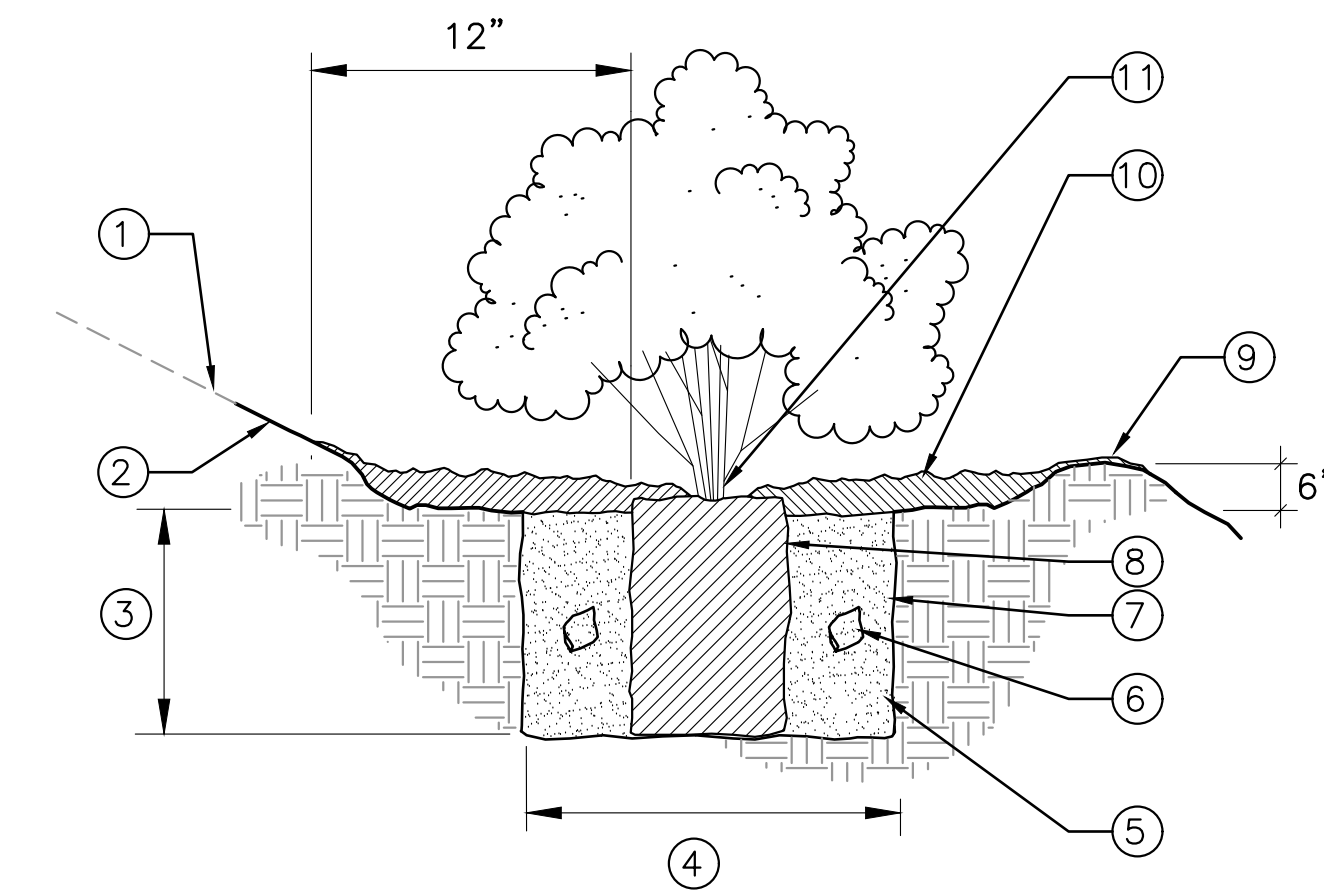
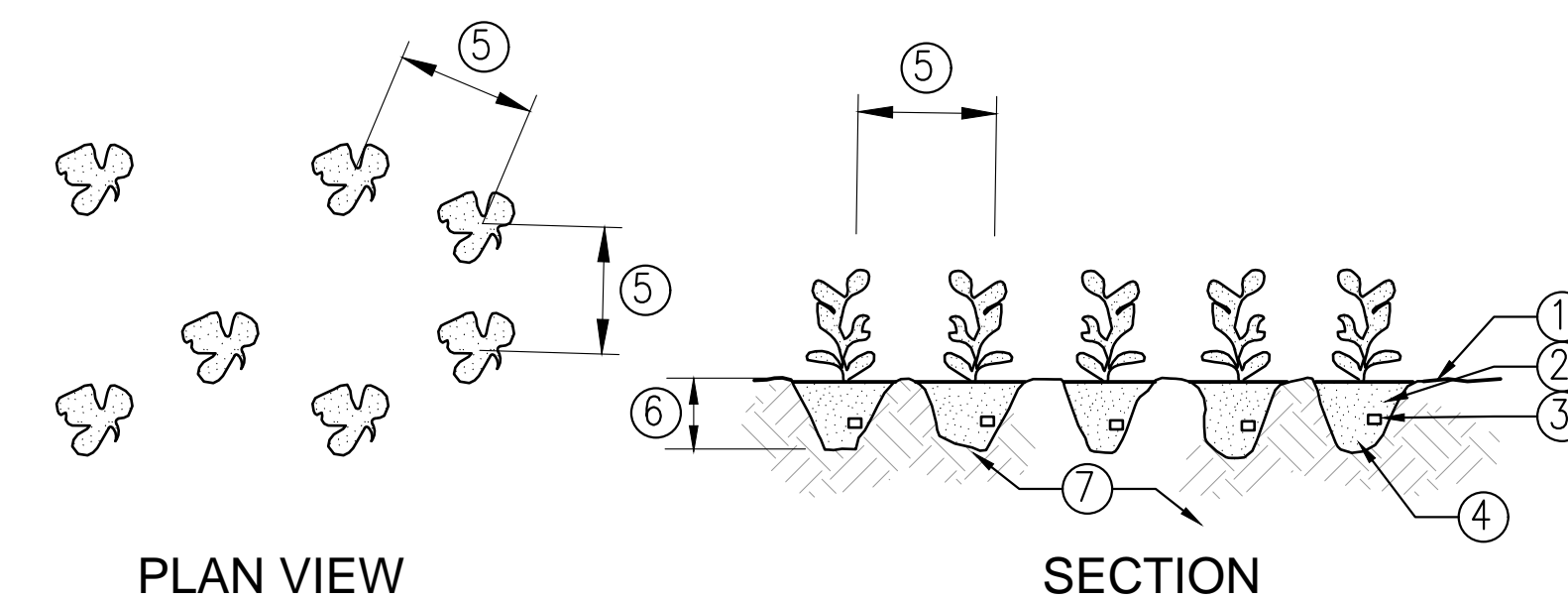


Table with 2 columns: ITEM and DESCRIPTION. Lists 11 items from 'GRADE AT SLOPE' to 'ROOT CROWN OF SHRUB 1' ABOVE FINISH GRADE.

THIS DETAIL APPLIES TO ROSE POT, 1 GALLON, OR DEEP 1 GALLON CONTAINER PLANTS.

(A) NATIVE CONTAINER PLANTING

NO SCALE



PLAN VIEW

SECTION

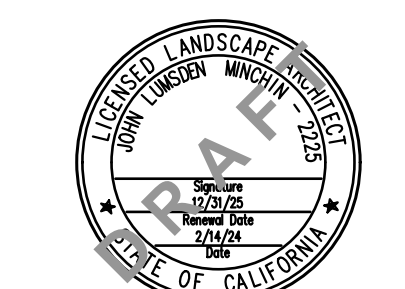
Table with 2 columns: ITEM and DESCRIPTION. Lists 7 items from 'FINISH GRADE' to 'AMENDED SOIL (PER SOIL PREPARATION NOTES)'.

(B) NATIVE CONTAINER PLANT LAYOUT

NO SCALE

PRELIMINARY NOT FOR CONSTRUCTION REVISED 2/14/2024

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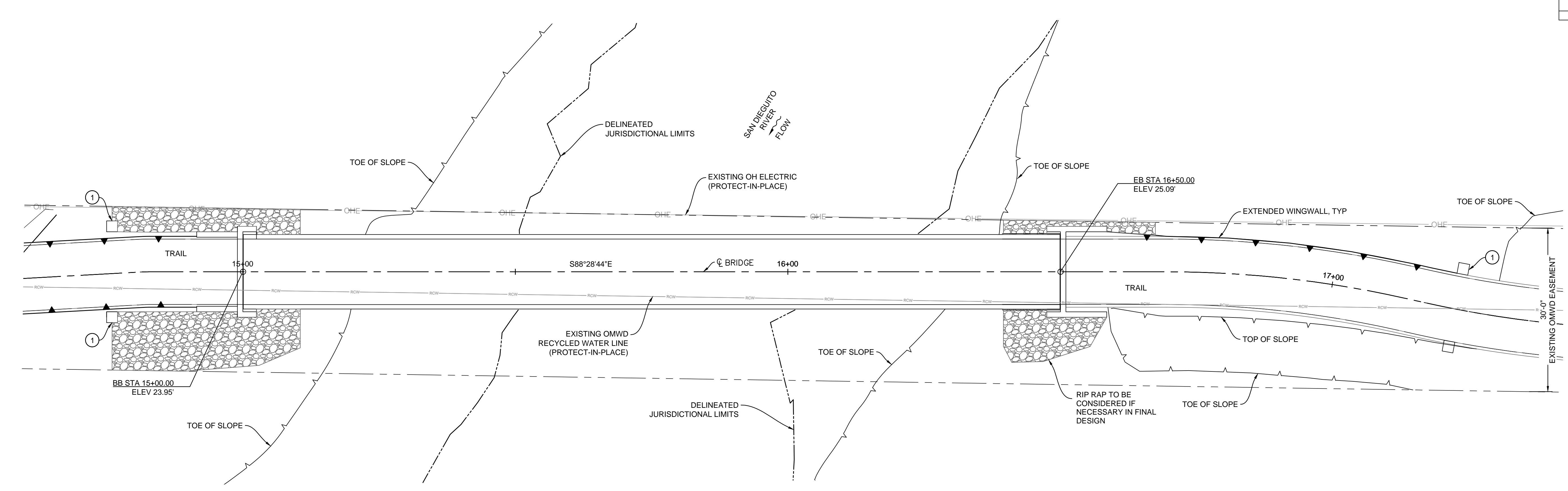
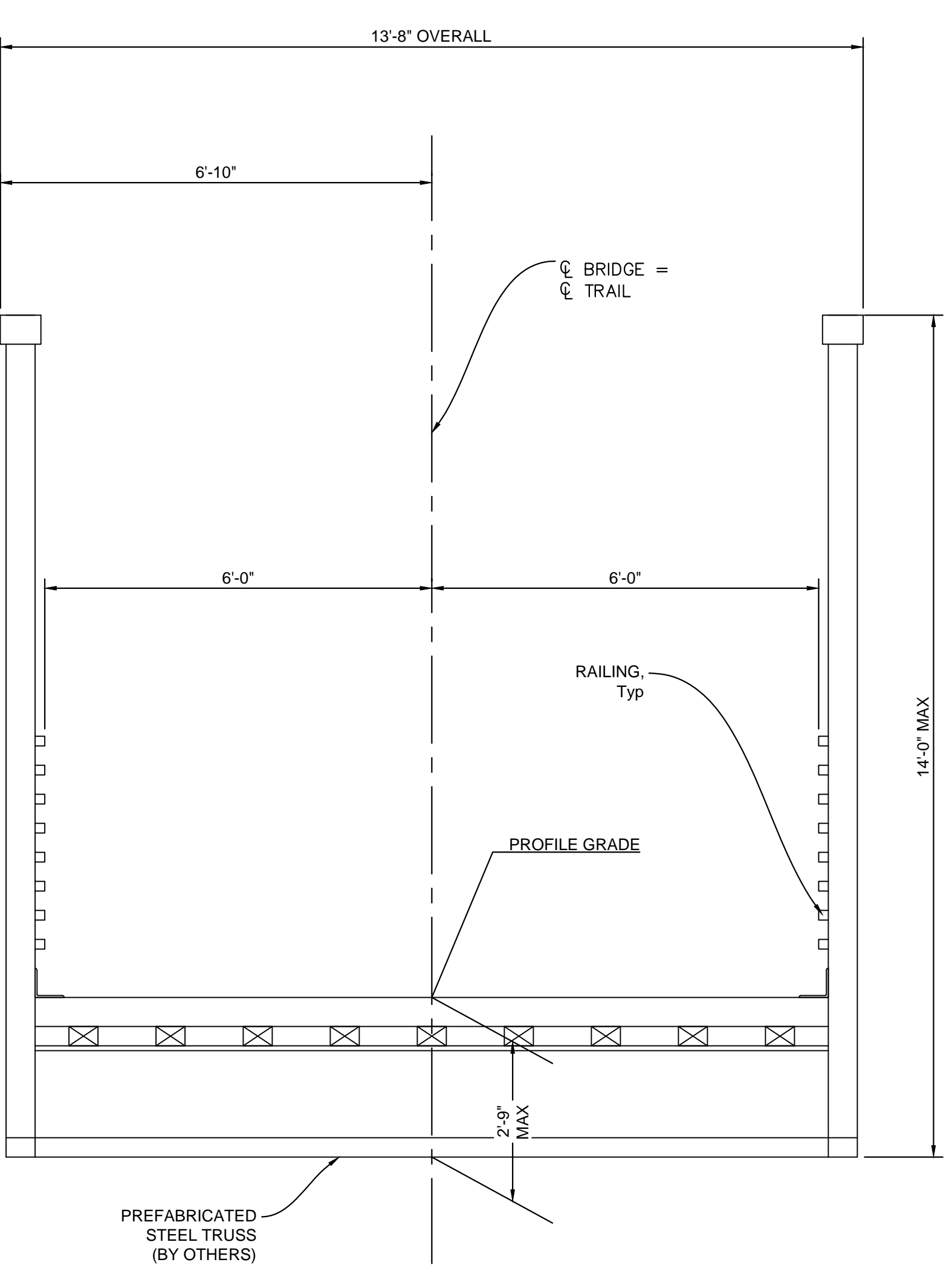
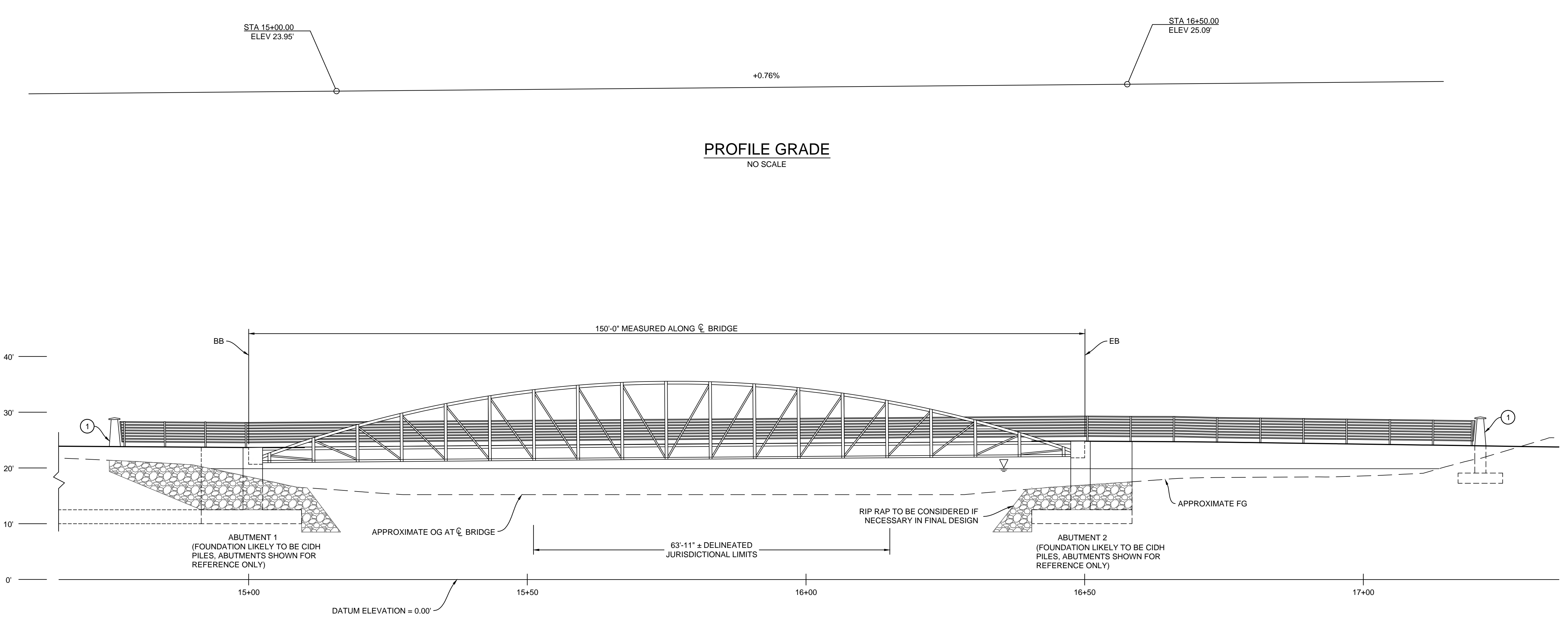
Revision table with columns for No., Description, and Date.

Kimley-Horn logo and contact information for the engineering firm.

Professional Engineer information for Dudek, including license number and date.

REVEGETATION/RESTORATION PLANTING NOTES AND DETAILS

OSUNA SEGMENT OF THE COAST TO CREST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA CITY OF SAN DIEGO



LEGEND:

- ① PILASTER WITH STONE FACADE AND PRECAST CAP
- ∇ 10-YEAR WATER SURFACE ELEVATION: 20.15'

NOTES

1. 50-YEAR AND 100-YEAR STORM EVENTS WILL OVERTOP BRIDGE

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LICENSED PROFESSIONAL
JULIANA COOKE
CALIFORNIA LICENSE NUMBER #82707
DATE

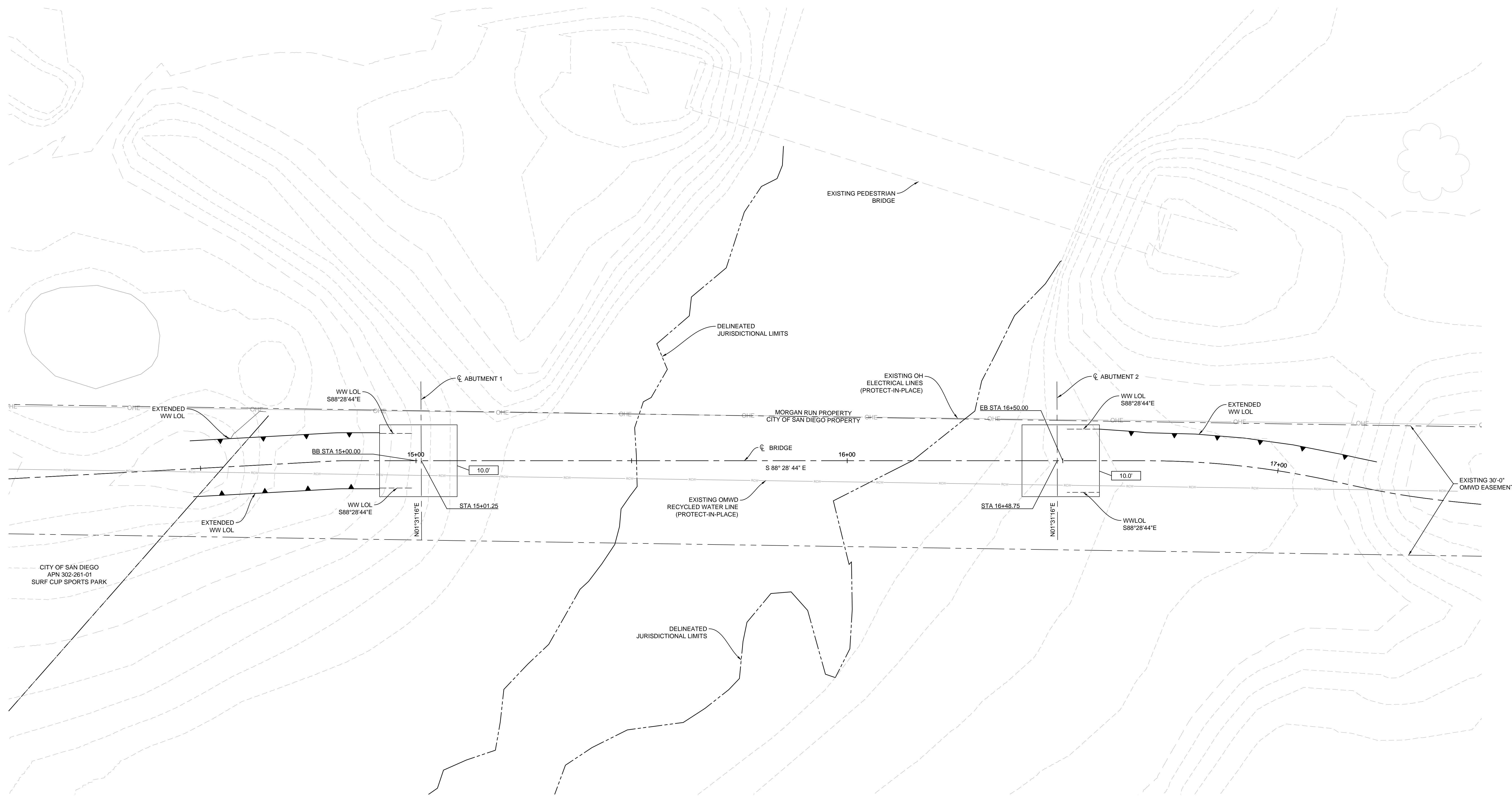
PROJECT
KHA PROJECT 08522009
DATE 3/15/2023
SCALE AS SHOWN
DESIGNED BY AS SHOWN
DRAWN BY TK
CHECKED BY MK
DATE

GENERAL PLAN

OSUNA TRAIL SEGMENT OF THE CREST TO COAST TRAIL PREPARED FOR SAN DIEGUITO RIVER PARK JPA
CITY OF SAN DIEGO CA

SHEET NUMBER 17 OF 18

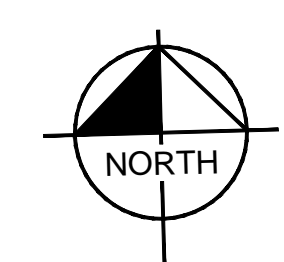
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Printed By: Burke, Kathleen, Sheet Set Date: Layout/Foundations Plan, March 05, 2024, 12:12:23pm, \\server\01\proj\15061\15061-01\SSD_MUNICIPAL\SSD020008_Cham_TrialDesign\References\Bridg_GP.dwg
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CITY OF SAN DIEGO
 APN 302-261-01
 SURF CUP SPORTS PARK

FOUNDATION PLAN
 1" = 10'-0"



LEGEND:
 -- INDICATES BOTTOM OF CONCRETE FOOTING ELEVATION

NOTE:
 ALL INFORMATION SHOWN IS PRELIMINARY. ALL STRUCTURAL DESIGN WILL BE FINALIZED IN FINAL DESIGN BASED ON GEOTECHNICAL FINDINGS AND SCOUR ANALYSIS

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LICENSED PROFESSIONAL	
NAME	JULIANA COOMO
DATE	3/5/2024
SCALE	AS SHOWN
DESIGNED BY	TK
DRAWN BY	TK
CHECKED BY	MK
EXP. DATE	12/31/2023

FOUNDATION PLAN

**OSUNA TRAIL SEGMENT OF
 THE CREST TO COAST TRAIL**
 PREPARED FOR
 SAN DIEGUITO RIVER PARK JPA
 CITY OF SAN DIEGO, CA

SHEET NUMBER	
18	OF 18

REVISIONS	
No.	DATE