

Mira Mesa Community Planning Group Draft Agenda & Public Notice

Date/Time: Monday, October 21, 2024, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Action/Information: All items noted as (Action) items may be moved/seconded as a Question for discussion and vote. All items not so noted will be information items.

Order of Consideration: Items on this agenda may be discussed in an order different than shown here for the convenience of elected officials, representatives of government agencies or other participants.

Call to Order/Confirm quorum:

1. Modifications to the Agenda
2. Adopt Previous Meeting Minutes (Action).
 - a. Minutes of September 16, 2024 meeting
3. Non-Agenda Public Comments: 3 Minutes per speaker.
4. Planning Group Member Comments
5. Reports
 - a. Report of the Chair
 - b. Community Planners Committee
 - c. Los Peñasquitos Canyon Preserve Citizens Advisory Committee
6. Presentations
 - a. Citywide Sewer Rehabilitation Projects (Informational)
7. Old Business
 - a. Appointment of Resident Seat (Action)
8. New Business
 - a. PRJ-1116638 – 9486 Babauta Road (Action)
 - b. Easement Vacation – 4930 Directors Place (Action)
9. Elected Officials/Government Agencies
 - a. United States Congress – California 51st District for Sara Jacobs
 - b. California Senate – District 40 Marc Schaefer for Brian Jones
 - c. California Assembly – District 78 Michael Bravo for Chris Ward
 - d. San Diego County – Board of Supervisors District 3 Becca Smith for Terra Lawson-Remer
 - e. San Diego – Mayor’s Office Michaela Valk for Todd Gloria
 - f. San Diego – City Council District 6 Ana Serrano for Kent Lee
 - g. MCAS Miramar
10. Adjourn

Mira Mesa Community Planning Group Draft Meeting Minutes

Date/Time: Monday, September 16, 2024, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Attendees (17 Members): Bo Gibbons, ~~Andrew Miklusick~~, Lillith Nover, Chris Cate, Ria Otero, Joe Frichtel, Bari Vaz, Sean Tompkins, ~~Dorothy Lorenz~~, Keith Flitner, ~~Julia Schriber~~, Tiffany English, David Mandelbaum, Mike Linton, ~~Phillip Linssen~~, ~~Evan Cassolato~~, Jacob Ricketts.

(1 Open Seat)

Call to Order/Confirm quorum: 7:03pm, Quorum 12

1. Modifications to the Agenda - None
2. Adopt Previous Meeting Minutes (Action) - Approved
 - a. Minutes of July 15, 2024, meeting
 - b. 12 Approved, 0 Abstain, 0 Opposed
3. Non-Agenda Public Comments: 3 Minutes per speaker.
 - a. Caesar & Purita Javier – discussion about ceramic manufacturing facility; hazardous and unhealthy.
 - b. Atticus Griswald – Support for Heather Ferbert for City Council | visit www.heatherferbert.com
 - c. Dr. Crystal Trull – running for San Diego Unified School Board
 - d. Kevin Yu – Road repairs needed; still waiting for City to repair the roads
4. Planning Group Member Comments
 - a. Joe Frichtel – Reminder of 10/5 Street Fair & Library groundbreaking
5. Reports
 - a. Report of the Chair
 - i. Street Fair 10/5
 - ii. Library Groundbreaking
 - iii. Mail – Trade Street and Trade Place adding 4-way stop sign
 1. Approval of Cannabis facility
 - b. Community Planners Committee
 - i. No meeting in August
 - c. Los Peñasquitos Canyon Preserve Citizens Advisory Committee
 - i. Next meeting Thursday 9/19
 - ii. Seeking alternate for the committee
6. Presentations
 - a. City of San Diego Paving Projects in Mira Mesa
 - i. Pedro Melo Rodriguez presented.
 - ii. See presentation for information
 - b. Measure B Implementation – Trash Collection Measure
 - i. Elsa Salvia presented
 - ii. See presentation for more information.
 - iii. Would like feedback from residents
 - iv. Open house meetings, open to public and will start in November.

Mira Mesa Community Planning Group Draft Meeting Minutes

7. Old Business
 - a. Appointment of Business Representative Seat (Action)
 - i.

8. New Business
 - a. Cuisinery Food Market Conditional Use Permit – Magalie Vega (Action)
 - i. French & European products
 - ii. See presentation provided
 - iii. Applied for wine/champagne license
 - iv. ABC approved; Police department approval, pending CUP approval by City of San Diego.
 - v. Approved for recommendation by MMCPG
 - b. Update on Mira Mesa Community Plan – Alex Frost, City of San Diego (Information)
 - i. Community Plan adopted in December 2022
 - ii. Coastal commission - Coastal Act implemented through plan; they have edits and modification for the Coastal Zone implementation of the community plan
 1. Planning commission and City Council has 6 months to make revisions
 2. The Community Plan inside the coastal zone is still using 1992 plan.
 3. Need final adoption by Coastal Zone of the plan after modifications are made.

9. Elected Officials/Government Agencies
 - a. United States Congress – California 51st District for Sara Jacobs – No representative
 - b. California Senate – District 40 Mark Schaefer for Brian Jones – No representative
 - c. California Assembly – District 78 Michael Bravo for Chris Ward

The end of August concluded this year’s legislative session, and the Governor now has until September 30th to sign all the current bills on his desk. Earlier in the year **AB 1955 (Ward)** titled **“The SAFETY Act”** – Was signed into law by Governor Newsom! The SAFETY Act provides civil rights protections for students fearful of being forcibly outed against their will at school.

Assemblymember Ward had 12 bills make it out of Assembly and 11 are now currently sitting on the Governor’s desk awaiting a signature. A few notable mentions can be found below:

AB 1979 (Doxing Victims Recourse Act): Provides recourse for victims who have been harmed because of being doxed by allowing a victim to pursue civil action to receive restitution for the harms endured as a result of being doxed.

AB 1858 – providing a framework for common-sense approaches to active shooter drills at school campuses when they choose to do so

Our office also has a few upcoming events that include information and resources for the AD78 community!

Insurance Webinar - **Wednesday, Oct 2, 2024**

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Flu Shot Clinic - **Saturday, Oct 12, 2024**

All Events and further information can be found on the Assemblymember's website. As always our office is available to assist with any state-related questions or concerns the community may have, they can reach our office by calling (619) 280-7801, visiting our website <https://a78.asmdc.org/>, or they can always send me an email at michael.bravo@asm.ca.gov.

- d. San Diego County – Board of Supervisors District 3 Becca Smith for Terra Lawson-Remer – No representative
- e. San Diego – Mayor's Office Michaela Valk for Todd Gloria
 - i. Invitation 9/25/24 10:15am; Mira Mesa community park phase 2 groundbreaking.
 1. Tree removal – 68 trees were removed, 4 relocated. Planting of 75 new trees.
 - ii. Salk is 78% complete
 - iii. Maddox is delayed
 - iv. **Wangenheim Neighborhood Park Joint Use Facility:**

Sports Fields: substantially completed on July 2nd. The Mayor worked with Park & Recreation to ensure the fields were open by September 7 for AYSO to begin their season and using the fields. We are currently working with Park & Rec on the lighting.

Comfort Station: Substantially completed on September 4th.

Walker Neighborhood Park: construction continues at the site and will be completed in early 2025. The contractor poured concrete for shade structure caissons, three shade fabric sails are now installed.

The construction completion with the Plant Establishment Period and park opening in early spring 2025.

Gold Coast & Parkdale Construction Update:

All remaining work is street paving, which, due to numerous unexpected existing utilities, including utilities at depths as shallow as six inches and shallow utility concrete encasements that conflict with the full-depth paving reclamation, the contractor had to pothole the whole length of Parkdale to identify with certainty the elevations of all utilities to produce a plan of action. The revised paving plan proposed by the contractor was reviewed and approved by the engineer in charge and includes a combination of full-depth reclamation areas and conventional "grind and pave" areas.

Parkdale Site—All flat work and concrete work, such as ped ramps, storm drain inlets, and cross gutters, has been completed.

- The contractor provided a proposal for Parkdale Ave. paving, which has been accepted and a construction change order is being processed. It is projected to be executed at the end of September.
- Following the execution of the change order, the contractor will provide us with a date to mobilize, which is expected to be this fall.

Gold Coast Site - Utility relocation work is ongoing and should be completed by the end of the year, assuming no additional unforeseen conditions.

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- Utility conflicts on Camino Ruiz and Gold Coast Dr. have been resolved/completed. The contractor waiting for fully executed CCO to schedule this work.
- All known dry utility conflicts have been resolved on Gold Coast Dr. and Baywood Ln.
- The contractor has encountered more complex conflicts on San Ramon Dr. and Covina St., San Ramon and Gold Coast Dr., Gold Coast Dr., and Gold Coast Wy., and Gold Coast Dr. and Gold Coast Ct. Further redesigns and relocations are being considered. This work will continue until the end of the year to allow for paving to follow. Redesign continues as we work with the contractor to move the project forward.

Other Citywide Updates:

New Public Safety Leadership:

SDPD Chief Scott Wahl was sworn in as the new Chief of Police on June 7 and San Diego Fire-Rescue Chief Robert Logan was sworn in as the new Fire Chief on August 24.

City of San Diego Unveils Draft Citywide Cultural Plan for Public Review

The City is seeking public input on its draft cultural plan, Creative City. This plan will set a strategic framework for advancing arts, culture and creativity in San Diego's diverse communities over the next 10 years and position the City and trans-border region as an equitable place of inspiration and prosperity.

The draft plan sets forth a vision and actionable strategies to sustain and grow San Diego's vibrant creative ecosystems, where arts and culture advance dialogue, development and diversity -- defining San Diego as a global creative capital.

The City is continuing its engagement process with new events and a feedback form — ensuring all San Diegans can participate in the cultural planning process. San Diegans are encouraged to review the draft plan at sandiego.gov/creative-city/get-involved and provide feedback by Oct. 12, 2024.

- f. San Diego – City Council District 6 Ana Serrano for Kent Lee
 - i. Thank you for participating on Dumpster Day.
 - ii. Community feedback is open for priorities for next year.
 - iii. Kent Lee will be at the fair
 - g. MCAS Miramar – No representative
10. Adjourn 8:16pm, next meeting October 21, 2024



Citywide Referral Rehab 1

Background

The City of San Diego has an ongoing program to rehabilitate existing sewer mains throughout the City. As part of this program, the City will begin rehabilitating the sewer system servicing your community starting in the summer of 2025. The rehabilitation process consists of inserting a plastic liner inside the existing sewer pipes from either maintenance holes or cleanouts. The liner will improve the structural integrity as well as extend the service life of the existing pipe. To rehabilitate sewer laterals that connect a property to the sewer main, the City contractors will install a clean out for the liner installation. Should a resident not want a cleanout installed at their property, their respective sewer lateral will not be rehabilitated. Residents who choose not to have a cleanout installed should contact the Project Manager Roberto Valadez at rvaladez@sandiego.gov to ensure the City takes note of their request. A location map illustrating the project area is enclosed with this notice.

Project Overview

The project is located in the La Jolla, Clairemont Mesa, Rancho Penasquitos, Mira Mesa, Otay Mesa-Nestor communities in Council District 1, 2, 5, 6, 8. The project scope includes:

- Rehabilitating approximately 0.97 miles (5,109 feet) of 8-inch sewer mains, including existing maintenance holes and sewer laterals.
- Installing new maintenance holes and cleanouts as needed.
- Resurfacing streets impacted by construction activities.
- Using best management practices to control erosion and protect storm drain inlets.

Project Schedule

Design: Expected completion in September 2024.

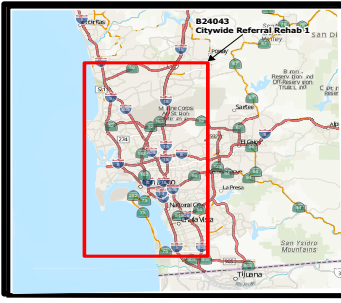
Construction: June 2025 through December 2025.*

Project Budget

The project's planning, design and construction budget is \$3.16 million.*

**Project schedule and budget are subject to change.*

KEY MAP B-24043 CITYWIDE REFERRAL REHAB 1



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WBS #B24043 - Citywide Referral Rehab 1

Legend

- Rehab Sewer Mains
- Rehab Sewer Later
- Rehab Manhole
- Rehab/Point Repair
- Clean Out



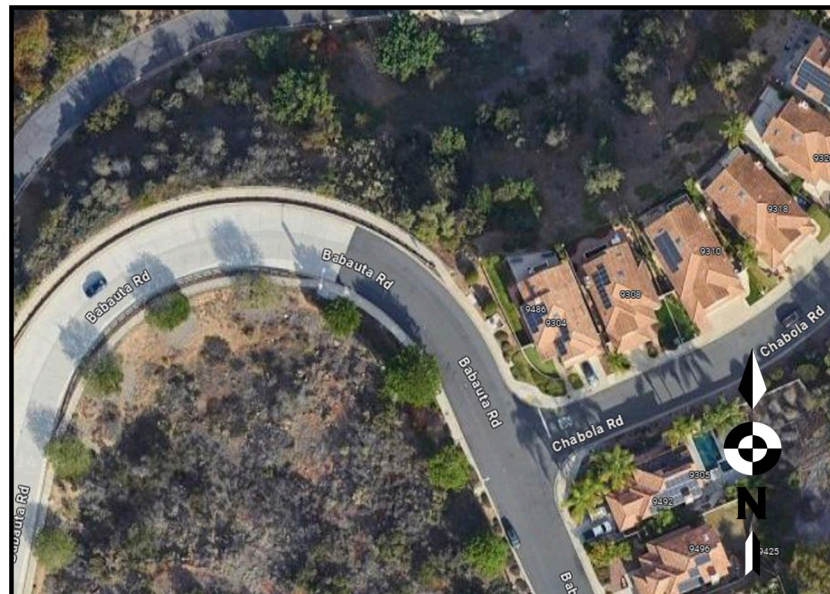
EXISTING



PROPOSED



VICINITY MAP



LOOKING SOUTHEAST AT SUBJECT SITE

Site ID:
SD06620B

Facility Type:
LIGHT POLE

Description of Proposed Work:
Add New Antennas On Existing Light Pole

Site Address:
9486 Babauta Road
San Diego, CA 92129

PHOTO SIMULATION BY:



PRECEPT
WIRELESS CONSULTANTS

619.379.3473

PROJECT TEAM

CLIENT REPRESENTATIVE:
 T-MOBILE
 1441 MONTIEL RD, STE 141,
 ESCONDIDO, CA 92026

RF ENGINEER:
 T-MOBILE
 1441 MONTIEL RD, STE 141,
 ESCONDIDO, CA 92026
 CONTACT: PEDRO ABE
 EMAIL: PEDRO.ABE@T-MOBILE.COM

T-MOBILE PROJECT MANAGER:
 T-MOBILE
 1441 MONTIEL RD, STE 141,
 ESCONDIDO, CA 92026
 CONTACT: WENDY URQUIZA
 PHONE: PENDING
 EMAIL: wendyurquiza@T-MOBILE.COM

CONSTRUCTION MANAGER:
 T-MOBILE
 1441 MONTIEL RD, STE 141,
 ESCONDIDO, CA 92026
 CONTACT: MICHAEL SEBESTA
 EMAIL: michael.sebesta@T-MOBILE.COM

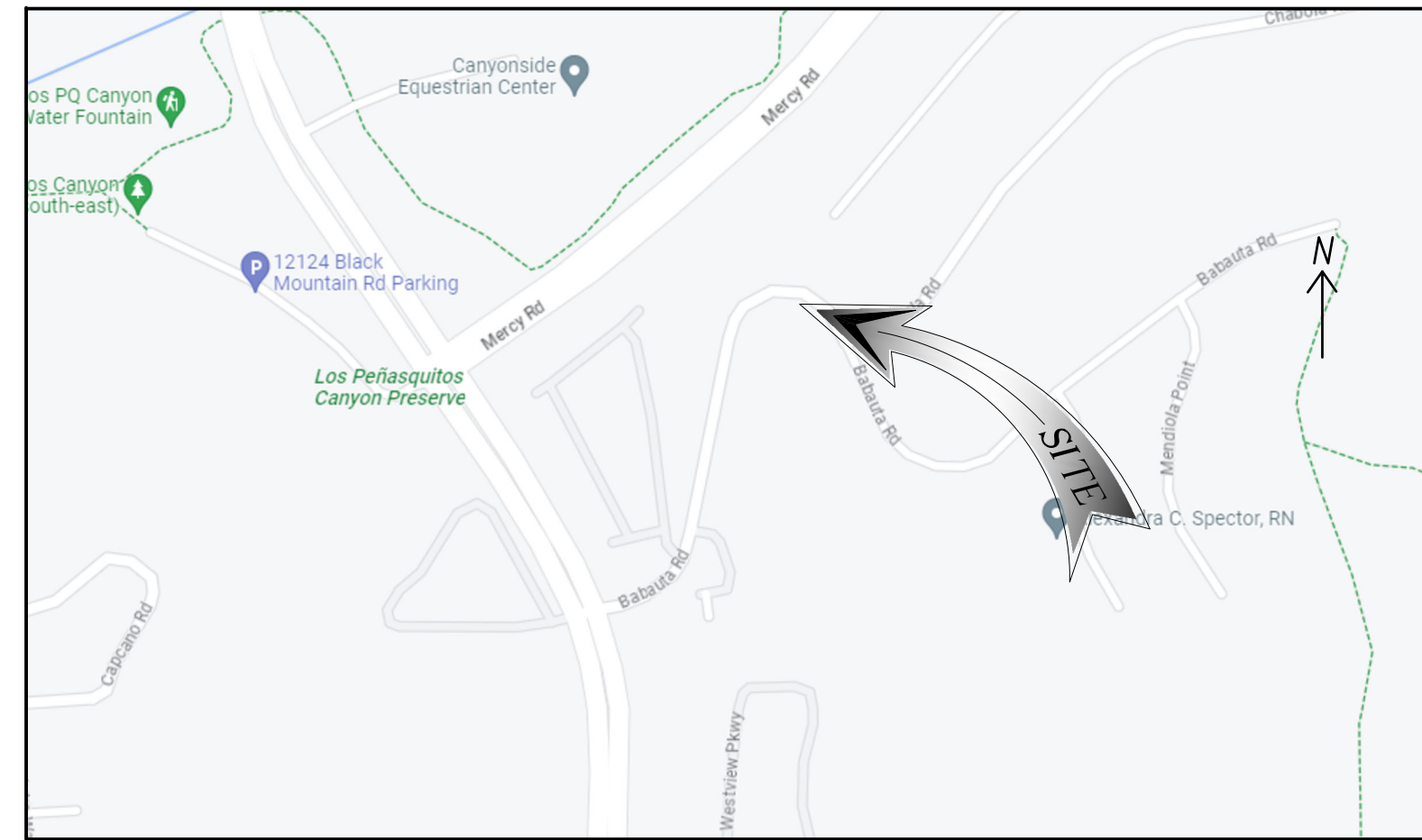
ENGINEER:
 M SQUARED WIRELESS
 1387 CALLE AVANZADO
 SAN CLEMENTE, CA 92673
 CONTACT: MICHAEL MONTELLO
 PHONE: (949) 391-6824
 EMAIL: Michael@mquaredwireless.com

LAND USE CONSULTANT:
 PWC
 CONTACT: MARK PHILLIPS
 PHONE: (619) 379-3473
 EMAIL: mphilips@pwc-ca.com

LEASING CONSULTANT:
 PWC
 CONTACT: FELICIA PHILLIPS
 PHONE: (714) 791-6643
 EMAIL: fphilips@pwc-ca.com

ZONING PLAN FOR: BABAUTA ROW PROJECT : ANCHOR + L600

**SITE ADDRESS : 9486 BABAUTA ROAD
 SAN DIEGO, CA 92129**
SITE TYPE : LIGHT POLE ROW
SITE NO. : SD06620B



VICINITY MAP

NOT TO SCALE



SITE IMAGE

NOT TO SCALE

DIRECTIONS TO SITE

DIRECTIONS FROM SD T-MOBILE OFFICE (9486 BABAUTA ROAD SAN DIEGO, CA 92129):

1. HEAD NORTH TOWARD MONTIEL RD
2. TURN RIGHT TOWARD MONTIEL RD
3. TURN LEFT ONTO MONTIEL RD
4. USE THE LEFT 2 LANES TO TURN LEFT ONTO NORDAHL RD
5. USE THE LEFT 2 LANES TO TURN LEFT TO MERGE ONTO CA-78 E/STATE HWY 78 E
6. MERGE ONTO CA-78 E/STATE HWY 78 E
7. USE THE RIGHT 2 LANES TO TAKE EXIT 17A TO MERGE ONTO I-15 S TOWARD SAN DIEGO
8. USE THE RIGHT 2 LANES TO TAKE EXIT 17 FOR MERCY RD TOWARD SCRIPPS POWAY PKWY
9. TURN RIGHT ONTO MERCY RD
10. TURN LEFT ONTO CHABOLA RD
11. TURN RIGHT ONTO BABAUTA RD
12. DESTINATION WILL BE ON THE RIGHT

OWNER/APPLICANT

T-MOBILE
 1441 MONTIEL RD, STE 141, ESCONDIDO, CA 92026

REFERENCE DRAWINGS

REFERENCE DRAWING DESCRIPTION XXXXX-D

SITE ADDRESS

9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET INDEX

SHEET	DC	DESCRIPTION
1	G01	COVER SHEET
2	G02	STORM WATER QUALITY NOTES--CONSTRUCTION BMPs
3	G03	STORM WATER QUALITY NOTES--CONSTRUCTION BMPs
4	L01	LANDSCAPE PLAN
5	L02	LANDSCAPE PLAN
6	C01	EROSION CONTROL PLAN
7	A01	EXISTING SITE PLAN
8	A01.1	FINAL SITE PLAN
9	A02	EQUIPMENT LAYOUT
10	A03	ANTENNA LAYOUT
11	A04	ELEVATION
12	A05	ELEVATION

DISCIPLINE CODE(DC)

GENERAL	G
CIVIL	C
LANDSCAPE	L
TRAFFIC	T
STRUCTURAL	S
ELECTRICAL	E
MECHANICAL	M
ARCHITECTURAL	A
DETAILS	D

SITE INFORMATION

LATITUDE	32.937834
LONGITUDE	-117.124181
ZONING	RS-1-14
JURISDICTION	CITY OF SAN DIEGO
PARCEL NUMBER	N/A
TYPE OF CONSTRUCTION	V-1
OCCUPANCY	U
PROPERTY OWNER	CITY OF SAN DIEGO 1200 3RD AVE, STE 1700, SAN DIEGO, CA 92129 (619) 236-6081

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES: 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA GREEN BUILDING CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA EXISTING BUILDING CODE

SCOPE OF WORK

T-MOBILE PROPOSES TO MODIFY AN EXISTING UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:
 TOWER SCOPE OF WORK

- REMOVE (3) EXISTING T-MOBILE PANEL ANTENNAS, (1) PER SECTOR
- REMOVE (6) EXISTING T-MOBILE TMAAS, (2) PER SECTOR
- REMOVE (1) EXISTING T-MOBILE FRP RADOME
- INSTALL (1) PROPOSED T-MOBILE 30" FRP RADOME
- INSTALL (3) PROPOSED T-MOBILE PANEL ANTENNAS, (1) PER SECTOR
- INSTALL (6) PROPOSED T-MOBILE COMMSCOPE TMA, (2) PER SECTOR
- INSTALL (2) PROPOSED T-MOBILE HCS FIBER CABLES (1) PER SECTOR

GROUND SCOPE OF WORK

- REMOVE (1) EXISTING PBC 6500 CABINET
- REMOVE (1) EXISTING RBS 6201 CABINET
- REMOVE (6) EXISTING RUS01 B2 W/N RBS 6201 CABINET
- REMOVE (6) EXISTING RUS01 B4 W/N RBS 6201 CABINET
- REMOVE (6) EXISTING T-MOBILE TMAAS, (2) PER SECTOR
- REMOVE (2) EXISTING T-MOBILE VENTS
- REMOVE (1) EXISTING T-MOBILE OVERHEAD CABLE TRAY
- REMOVE (1) EXISTING T-MOBILE 19" RACK
- REMOVE (1) EXISTING T-MOBILE ACCESS LADDER
- REMOVE (1) EXISTING T-MOBILE AC UNIT
- REMOVE (1) EXISTING HVAC UNIT AT TOP LEVEL OF U/G VAULT
- REMOVE (1) EXISTING T-MOBILE CIENA
- REMOVE (1) EXISTING T-MOBILE 200AMP AC PANEL
- INSTALL (1) PROPOSED T-MOBILE POWER B160 CABINET
- INSTALL (1) PROPOSED T-MOBILE 6160 EQUIPMENT CABINET
- INSTALL (1) PROPOSED T-MOBILE 225AMP PPC PANEL W/ CAM-LOK BOX
- INSTALL (1) PROPOSED T-MOBILE TELCO BOX
- INSTALL (3) PROPOSED T-MOBILE MICRODATA QUAD DIPLEXER M154844
- INSTALL (2) PROPOSED T-MOBILE RRHS 8863 B41
- INSTALL (3) PROPOSED T-MOBILE RRHS 4480 B71 B85
- INSTALL (3) PROPOSED T-MOBILE RRHS 4460 B25 B66
- INSTALL (2) PROPOSED T-MOBILE RP 6651 INSIDE PROPOSED 6160 CABINET
- INSTALL (1) PROPOSED T-MOBILE 6601 BASEBAND UNIT INSIDE PROPOSED 6160 CABINET
- INSTALL (1) PROPOSED T-MOBILE IXRE ROUTER INSIDE PROPOSED 6160 CABINET
- INSTALL (1) EXISTING RELOCATED T-MOBILE BB 6630 INSIDE PROPOSED 6160 CABINET
- INSTALL (1) EXISTING RELOCATED T-MOBILE DUG20 INSIDE PROPOSED 6160 CABINET
- INSTALL (1) EXISTING RELOCATED T-MOBILE NOKIA 7210 INSIDE PROPOSED 6160 CABINET
- INSTALL (1) EXISTING RELOCATED T-MOBILE 7705 SAR-F INSIDE PROPOSED 6160 CABINET
- INSTALL (2) PROPOSED T-MOBILE 6X24 HCS
- INSTALL (12) PROPOSED NORTHSTAR NSB 190FT BATTERIES INSIDE B160 BATTERY CABINET
- INSTALL (2) PROPOSED OVERHEAD WORK LIGHTS
- INSTALL (1) PROPOSED WOODEN FENCE ENCLOSURE

PROJECT VALUATION: \$40,000

- * CELL SITE LOCATION TO BE RESTORED AND REPAIRED TO PRE-EXISTING CONDITION AT COMPLETION OF PROJECT.
- * AREA TO BE BACKFILLED WITH NATIVE OR SIMILAR SOIL AND RESURFACED TO MATCH PRE-EXISTING CONDITION.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PMP1010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
PMP1010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2018 EDITION
PMP1010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION
PMP1060121-10	CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES REVISION 8(CA MUTCD REV8), 2014 EDITION
PMP1092816-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

STANDARD DRAWINGS:	DESCRIPTION
DOCUMENT NO.	
PMP1010119-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2021 EDITION
PMP1092816-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2015 EDITION

PLANNING SUBMITTAL ONLY
 NOT TO BE USED FOR
 CONSTRUCTION

TITLE SHEET FOR:

BABAUTA ROW
 9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 1 OF 12 SHEETS

PRJ NO. PRJ-1117044

PMT NO. -----

GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (658) 627-3200.
10. CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHESAPEAKE DRIVE, SAN DIEGO, CA 92123.
14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
15. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
16. CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-PROPOSED" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH PROPOSED BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES--SD&G, COX, ETC. ALL PROPOSED METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, PROPOSED BOXES AND LIDS SHALL BE INSTALLED.
19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.
22. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	CC NO.

0 1/2 1

 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

M SQUARED WIRELESS
 1387 CALLE AVANZADO
 SAN CLEMENTE CA 92673 (949) 391-6824

T-Mobile

PRECEPT WIRELESS CONSULTANTS

G01

STORM WATER QUALITY NOTES=CONSTRUCTION BMPs*

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT PROPOSED AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
 - (a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

ABBREVIATIONS:

A.B.	ANCHOR BOLT	S.S.	STAINLESS STEEL
ABV.	ABOVE	STD.	STANDARD
ACCA	ANTENNA CABLE COVER ASSEMBLY	STL.	STEEL
ADD'L	ADDITIONAL	STRUC.	STRUCTURAL
A.F.F.	ABOVE FINISHED FLOOR	TEMP.	TEMPORARY
A.F.G.	ABOVE FINISHED GRADE	THK.	THICKNESS
ALUM.	ALUMINUM	T.N.	TOP OF ANTENNA
ALT.	ALTERNATE	T.O.A.	TOP OF ANTENNA
ANT.	ANTENNA	T.O.C.	TOP OF CURB
APPRX.	APPROXIMATE(LY)	T.O.F.	TOP OF FOUNDATION
ARCH.	ARCHITECT(URAL)	T.O.P.	TOP OF PLATE (PARAPET)
AWG.	AMERICAN WIRE GAUGE	T.O.S.	TOP OF STEEL
B.L.D.C.	BUILDING	T.O.W.	TOP OF WALL
BLK.	BLOCK	TYP.	TYPICAL
BLKG.	BLOCKING	U.G.	UNDER GROUND
BM.	BEAM	U.L.	UNDERWRITERS LABORATORY
B.N.	BOUNDARY NAILING	U.N.O.	UNLESS NOTED OTHERWISE
B.TOW.	BARE TINNED COPPER WIRE	V.I.F.	VERIFY IN FIELD
B.O.F.	BOTTOM OF FOOTING	W.	WIDTH
B/U	BACK-UP CABINET	W/W.	WITH WOOD
CAB.	CABINET	WD.	WEATHERPROOF
CANT.	CANTILEVER(ED)	W.P.	WEIGHT
C.I.P.	CAST IN PLACE	WT.	WEIGHT
CLG.	CLEAR	W/	WITH WOOD
CLR.	COLUMN	WT.	WEIGHT
COL.	COLUMN	W/	WITH WOOD
CONC.	CONCRETE	WT.	WEIGHT
CONN.	CONNECTION(OR)	W/	WITH WOOD
CONSTR.	CONSTRUCTION	WT.	WEIGHT
CONT.	CONTINUOUS	W/	WITH WOOD
d	PENNY (NAILS)	WT.	WEIGHT
DBL.	DOUBLE	W/	WITH WOOD
DEPT.	DEPARTMENT	WT.	WEIGHT
D.F.	DOUGLAS FIR	W/	WITH WOOD
DIA.	DIAMETER	WT.	WEIGHT
DIAG.	DIAGONAL	W/	WITH WOOD
DM.	DIMENSION	WT.	WEIGHT
DWG.	DRAWING(S)	W/	WITH WOOD
DWL.	DOWEL(S)	WT.	WEIGHT
EA.	EACH	W/	WITH WOOD
EL.	ELEVATION	WT.	WEIGHT
ELEC.	ELECTRICAL	W/	WITH WOOD
ELEV.	ELEVATOR	WT.	WEIGHT
EMT.	ELECTRICAL METALLIC TUBING	W/	WITH WOOD
E.N.	EDGE NAIL	WT.	WEIGHT
ENG.	ENGINEER	W/	WITH WOOD
EQ.	EQUAL	WT.	WEIGHT
EXP.	EXPANSION	W/	WITH WOOD
EXST.	EXISTING	WT.	WEIGHT
EXISTING	EXISTING	W/	WITH WOOD
EXT.	EXTERIOR	WT.	WEIGHT
FAB.	FABRICATION(OR)	W/	WITH WOOD
F.F.	FINISH FLOOR	WT.	WEIGHT
F.F.	FINISH FLOOR	W/	WITH WOOD
FIN.	FINISHED	WT.	WEIGHT
FLR.	FLOOR	W/	WITH WOOD
FDN.	FOUNDATION	WT.	WEIGHT
F.O.C.	FACE OF CONCRETE	W/	WITH WOOD
F.O.M.	FACE OF MASONRY	WT.	WEIGHT
F.O.S.	FACE OF STUD	W/	WITH WOOD
F.O.W.	FACE OF WALL	WT.	WEIGHT
FRP.	FIBER REINFORCED POLYMER	W/	WITH WOOD
F.S.	FINISH SURFACE	WT.	WEIGHT
FT.	FOOT (FEET)	W/	WITH WOOD
FT.	FOOTING	WT.	WEIGHT
FTG.	GROWTH (CABINET)	W/	WITH WOOD
GA.	GAUGE	WT.	WEIGHT
GI.	GALVANIZE(D)	W/	WITH WOOD
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	WT.	WEIGHT
GLU-LAM	GLUE LAMINATED BEAM	W/	WITH WOOD
GPS	GLOBAL POSITIONING SYSTEM	WT.	WEIGHT
GRND.	GROUND	W/	WITH WOOD
HCS	HYBRID CABLE SYSTEM	WT.	WEIGHT
HDR.	HEADER	W/	WITH WOOD
HGR.	HANGER	WT.	WEIGHT
HT.	HEIGHT	W/	WITH WOOD
ICGB.	ISOLATED COPPER GROUND BUS	WT.	WEIGHT
IN. (")	INCH(ES)	W/	WITH WOOD
INT.	INTERIOR	WT.	WEIGHT
INT.	INTERIOR	W/	WITH WOOD
LB. (#)	LAG BOLTS	WT.	WEIGHT
L.B.	LAG BOLTS	W/	WITH WOOD
L.F.	LINEAR FEET (FOOT)	WT.	WEIGHT
L.	LONGITUDINAL	W/	WITH WOOD
MAS.	MASONRY	WT.	WEIGHT
MAX.	MAXIMUM	W/	WITH WOOD
M.B.	MACHINE BOLT	WT.	WEIGHT
MECH.	MECHANICAL	W/	WITH WOOD
MFR.	MANUFACTURER	WT.	WEIGHT
MIN.	MINIMUM	W/	WITH WOOD
MISC.	MISCELLANEOUS	WT.	WEIGHT
MTL.	METAL	W/	WITH WOOD
PROPOSED	PROPOSED	WT.	WEIGHT
NO. (#)	NUMBER	W/	WITH WOOD
N.T.S.	NOT TO SCALE	WT.	WEIGHT
O.C.	ON CENTER	W/	WITH WOOD
OPNG.	OPENING	WT.	WEIGHT
P/C	PRECAST CONCRETE	W/	WITH WOOD
PCS	PERSONAL COMMUNICATION SERVICES	WT.	WEIGHT
PLY.	PLYWOOD	W/	WITH WOOD
PPC	POWER PROTECTION CABINET	WT.	WEIGHT
PRC	PRIMARY RADIO CABINET	W/	WITH WOOD
P.S.F.	POUNDS PER SQUARE FOOT	WT.	WEIGHT
P.S.I.	POUNDS PER SQUARE INCH	W/	WITH WOOD
P.T.	PRESSURE TREATED	WT.	WEIGHT
PWR.	POWER (CABINET)	W/	WITH WOOD
QTY.	QUANTITY	WT.	WEIGHT
RAD.(R)	RADIUS	W/	WITH WOOD
REF.	REFERENCE	WT.	WEIGHT
REINF.	REINFORCEMENT(ING)	W/	WITH WOOD
REQD.	REQUIRED	WT.	WEIGHT
RGS.	RIGID GALVANIZED STEEL	W/	WITH WOOD
RRH	REMOTE RADIO HEAD	WT.	WEIGHT
SCH.	SCHEDULE	W/	WITH WOOD
SHT.	SHEET	WT.	WEIGHT
SN.	SIMILAR	W/	WITH WOOD
SPEC.	SPECIFICATION(S)	WT.	WEIGHT
SQ.	SQUARE	W/	WITH WOOD

SYMBOL LEGEND:

	PROPOSED ANTENNA
	EXISTING ANTENNA
	GROUND ROD
	GROUND BUS BAR
	MECHANICAL GRND. CONN.
	CADWELDED
	GROUND ACCESS WELL
	ELECTRIC BOX
	TELEPHONE BOX
	LIGHT POLE
	FND. MONUMENT
	SPOT ELEVATION
	SET POINT
	REVISION
	GRID REFERENCE
	DETAIL REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	GROUT OR PLASTER
	EXISTING BRICK
	EXISTING MASONRY
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	SAND
	WOOD CONT.
	WOOD BLOCKING
	STEEL
	CENTERLINE
	PROPERTY/LEASE LINE
	MATCH LINE
	WORK POINT
	ROAD
	PROPERTY LINE

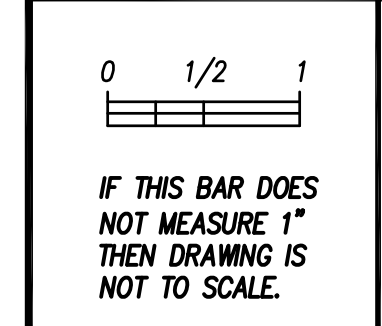
PLANNING SUBMITTAL ONLY
NOT TO BE USED FOR
CONSTRUCTION

BUILDING PLAN FOR:
BABAUTA ROW
9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 2 OF 12 SHEETS

PRJ NO. PRJ-1117044
PMT NO. -----

REV. D 08/21/2024



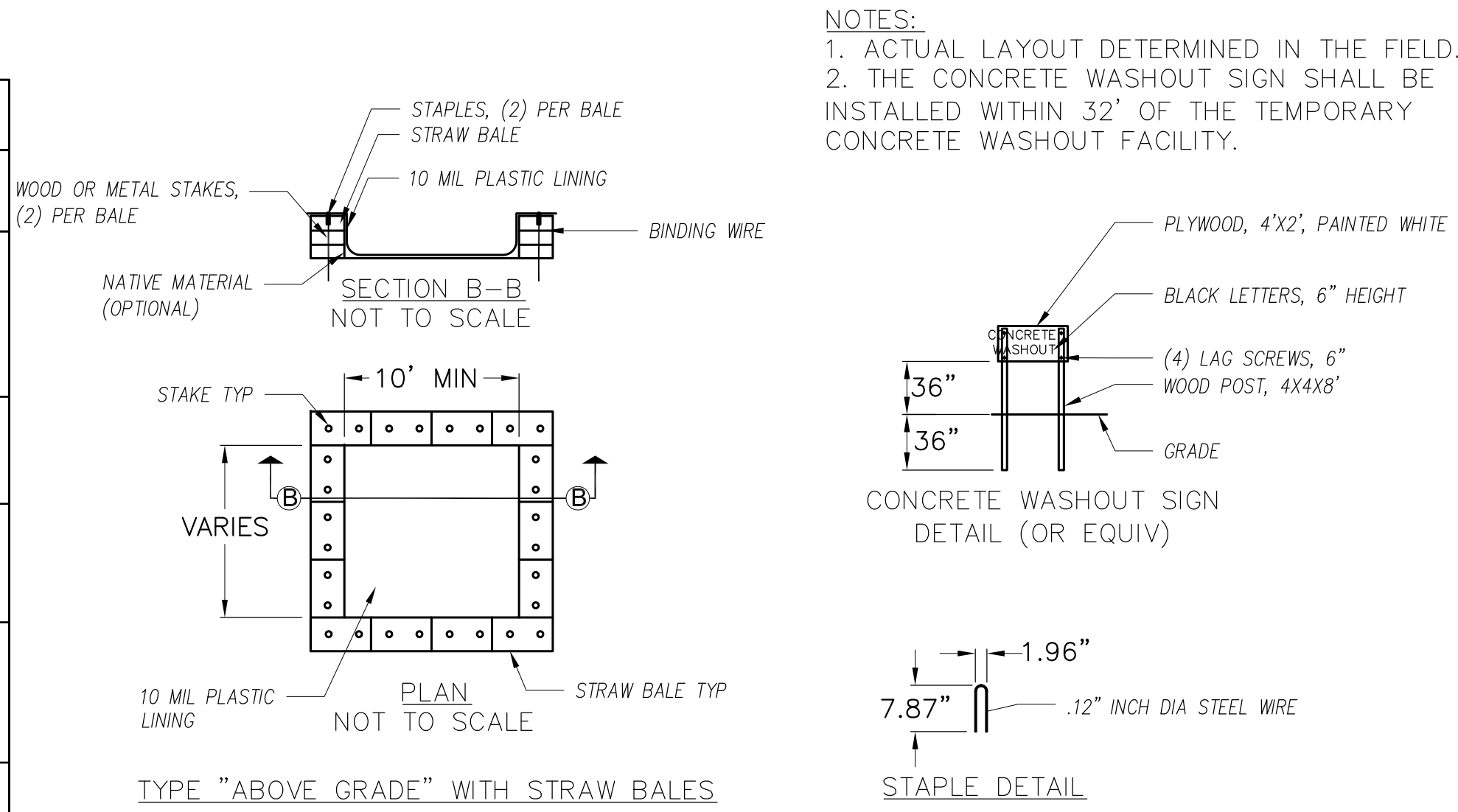
G02

STORM WATER QUALITY NOTES=CONSTRUCTION BMPs*

BEST MANAGEMENT PRACTICES "BMP" TABLE			
BEST MANAGEMENT PRACTICES	LOCATION	SCHEDULE IMPLEMENTATION	MAINTENANCE SCHEDULE
PRESERVING EXISTING VEGETATION	AROUND PERIMETER OF PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	EDUCATE EMPLOYEES AND SUBCONTRACTORS REGARDING IMPORTANCE OF MAINTAINING EXISTING VEGETATION TO PREVENT EROSION AND FILTER OUT SEDIMENT IN RUNOFF FROM DISTURBED AREAS ON THE CONSTRUCTION SITE. INSPECT SITE PERIMETER MONTHLY TO VERIFY THE OUTSIDE VEGETATION IS NOT DISTURBED.
PROTECT GRADED AREAS AND SLOPES FROM WASHOUT AND EROSION	THROUGHOUT PROJECT SITE	CONTINUOUS	INSPECT GRADED AREAS AND SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. THE GRADE TRIBUTARY AREAS OR INSTALL SAND DIKES AS NECESSARY TO PREVENT EROSION.
GRAVEL FILTER	ALONG FLOW LINES OF UNPAVED ROADWAYS WITHIN SITE	IN PLACE CONTINUOUSLY UNTIL ROADWAYS ARE PAVED	INSPECT AFTER EACH STORM. REMOVE ONSITE SEDIMENT DEPOSITED BEHIND BERM OR BARRIER TO MAINTAIN EFFECTIVENESS.
BAG INLET FILTER	INLETS TO THE STORM DRAINAGE SYSTEM	CONTINUOUS UNTIL LANDSCAPING IS IN PLACE	INSPECT WEEKLY AND AFTER EACH STORM. REMOVE SEDIMENT AND DEBRIS BEFORE ACCUMULATION HAS REACHED ONE THIRD THE DEPTH OF THE BAG. REPAIR OR REPLACE INLET FILTER BAG AS SOON AS DAMAGE OCCURS.
FIBER ROLLS	SEE NOTE 3 OF EROSION & CONTROL NOTES	CONTINUOUS	INSPECT AFTER EACH STORM. REMOVE SEDIMENT DEPOSITED BEHIND FIBER ROLLS WHENEVER NECESSARY TO MAINTAIN EFFECTIVENESS.
HYDROSEEDING	3:1 SLOPES	IN PLACE DURING BY SEPT. 15	INSPECT SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. IF EROSION IS NOTED, SPREAD STRAW MULCH OVER AFFECTED AREAS.
STABILIZED CONSTRUCTION ENTRANCE	ENTRANCES TO SITE FROM PUBLIC ROADWAYS	CONTINUOUS, UNTL ENTRANCES AND ONSITE ROADWAYS ARE PAVED	INSPECT ON A MONTHLY BASIS AND AFTER EACH RAINFALL. ADD AGGREGATE BASE MATERIAL WHENEVER NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED INTO PUBLIC STREET.
WIND EROSION CONTROL PRACTICES	WHEREVER NECESSARY THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL GRADING IS COMPLETED AND SOILS HAVE STABILIZED	INSPECT SITE DURING WINDY CONDITIONS TO IDENTIFY AREAS WHERE WIND AND EROSION IS OCCURRING AND ABATE EROSION AS NECESSARY.
GOOD HOUSEKEEPING MEASURES	THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A MONTHLY BASIS TO VERIFY GOOD HOUSEKEEPING PRACTICES ARE BEING IMPLEMENTED.
PROPER CONSTRUCTION MATERIAL STORAGE	DESIGNATED AREA	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT CONSTRUCTION MATERIALS ARE STORED IN A MANNER WHICH COULD NOT CAUSE STORM WATER POLLUTION.
PROPER CONSTRUCTION WASTE STORAGE AND DISPOSAL INCLUDING	DESIGNATED COLLECTION AREA AND CONTAINERS	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO ASSURE WASTE IS STORED PROPERLY AND DISPOSED OF AT LEGAL DISPOSAL SITE, DAILY.
CONCRETE SPILL CLEANUP PAINT & PAINTING SUPPLIES	MATERIAL HANDLING AREAS	IMMEDIATELY AT TIME OF SPILL	INSPECT MATERIAL HANDLING AREAS ON AT LEAST A MONTHLY BASIS TO VERIFY PROPER SPILL CLEANUP.
VEHICLE FUELING, MAINTENANCE & CLEANING	DESIGNATED AREA WITH SECONDARY CONTAINMENT	CONTINUOUS	KEEP AMPLE SUPPLIES OF SPILL CLEANUP MATERIALS ON SITE & INSPECT ON REGULAR SCHEDULE.
STREET AND STORM DRAINAGE FACILITY MAINTENANCE DEFINITIONS	STREETS AND STORM DRAINAGE FACILITIES	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	MAINTAIN STORM DRAINAGE FACILITIES AND PAVED STREETS CLEAR OF SEDIMENT AND DEBRIS.

1. WET SEASON: ENTIRE PERIOD BETWEEN OCTOBER 1 THROUGH APRIL 30. CONTRACTOR SHALL ALSO IMPLEMENT WET SEASON MEASURES IF WET WEATHER IS EXPECTED DURING THE DRY SEASON

2. PHASES OF GRADING
 INITIAL: WHEN CLEARING AND GRUBBING ACTIVITIES OCCUR.
 ROUGH: WHEN CUT AND FILL ACTIVITIES OCCUR AND THE SITE IMPROVEMENTS ARE CONSTRUCTED, INCLUDING UNDERGROUND PIPING, STREETS, SIDEWALKS, AND OTHER IMPROVEMENTS.
 WHEN FINAL ELEVATION IS SET, AND SITE IMPROVEMENTS ARE COMPLETED AND READY FOR CITY ACCEPTANCE.



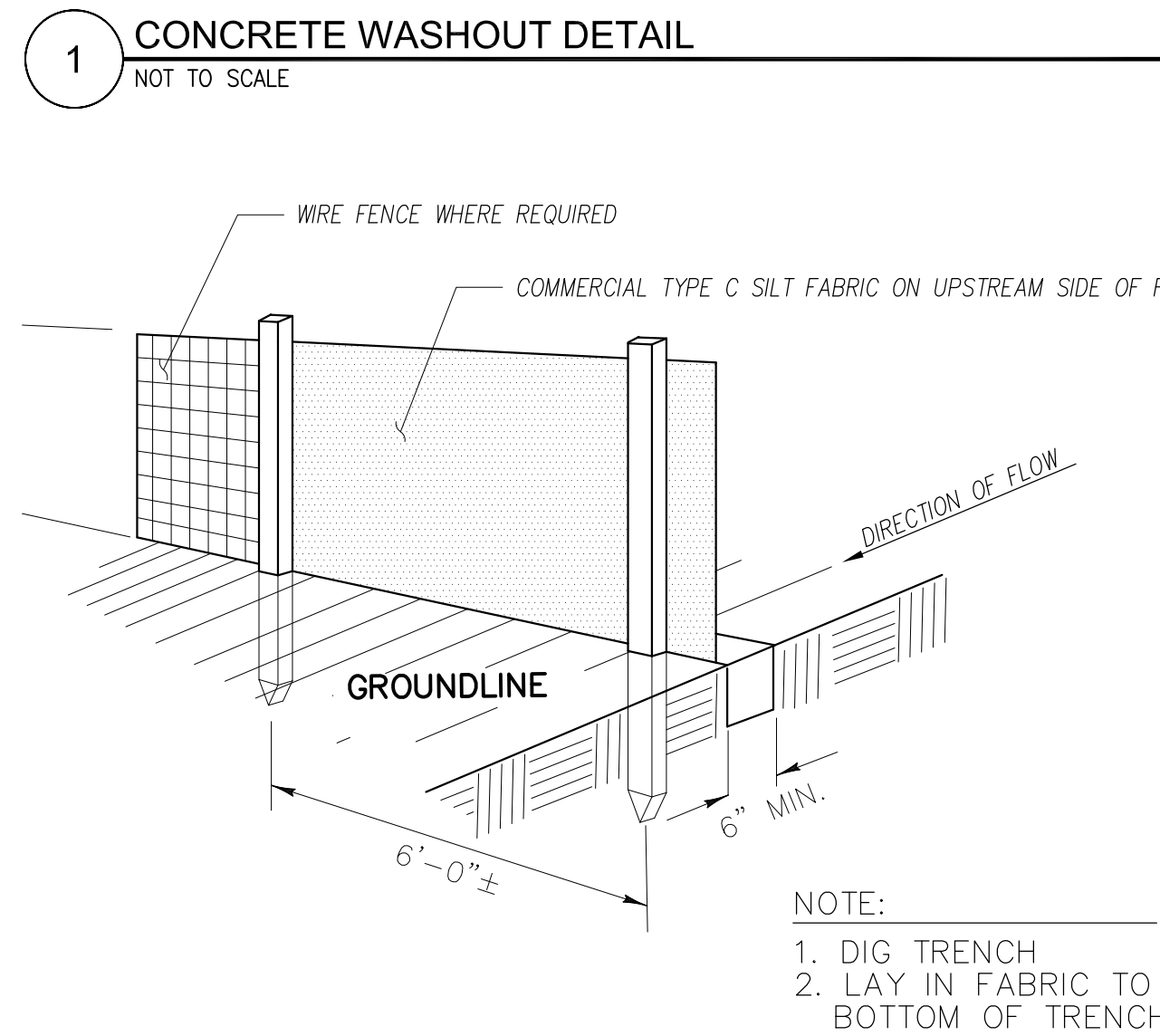
NOTES:
 1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 32' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

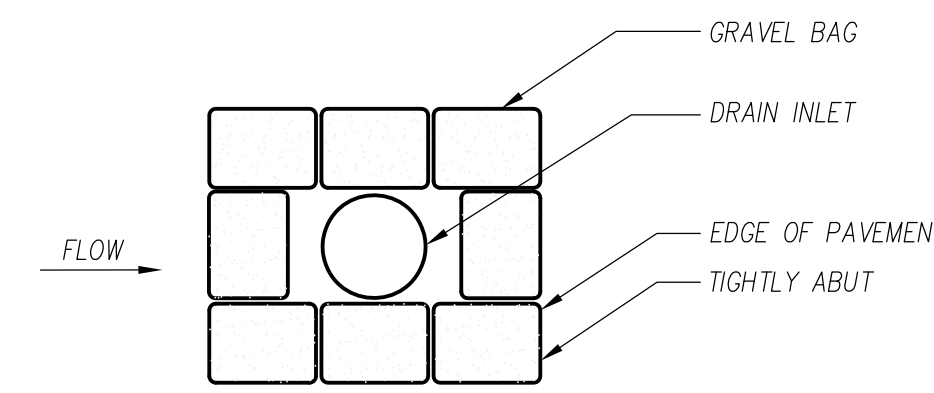
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR UTYPE OR 4" HARDWOOD. MINIMUM LENGTH - 5 FEET
- FENCE: WOVEN WIRE, 14 GA.6" MAX. MESH OPENING.
- FILTER CLOTH: FILTER X, MIRAFI 100X' STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE OR APPROVED ENVIROFENCE OR APPROVED EQUAL.

FIBER ROLL NOTES:

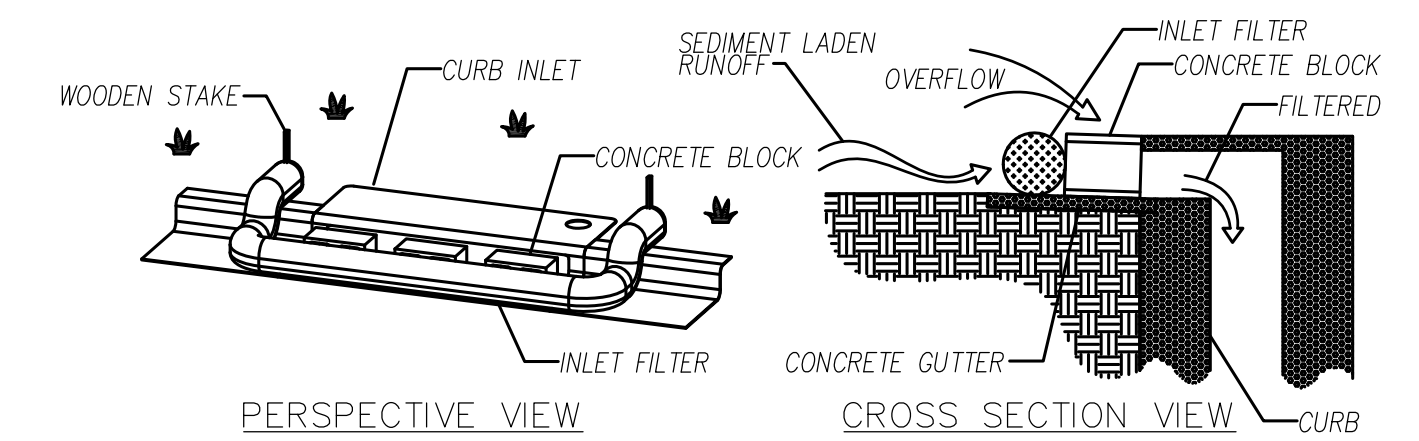
- REPAIR OR REPLACE SPLIT, TORN UNRAVELING OR SLUMPING FIBER ROLLS. FIBER ROLLS TO BE STAKED 4' O.C. PARALLEL TO (E) CONTOURS.
- INSPECT FIBER ROLLS WHEN RAIN IS FORECAST, DURING AND FOLLOWING RAIN EVENTS, AT LEAST DAILY DURING PROLONGED RAINFALL. FOR SPECIFIC MONITORING INTERVALS REFER TO THE CURRENT VERSION OF STORM WATER "BMP" MANUAL FOR DURING THE "NON-RAINY" SEASON.
- SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING MAINTENANCE MAY BE INCORPORATED INTO THE EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.
- FILTER BARRIER SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH AND AS APPROVED BY THE LANDSCAPE INSPECTOR.



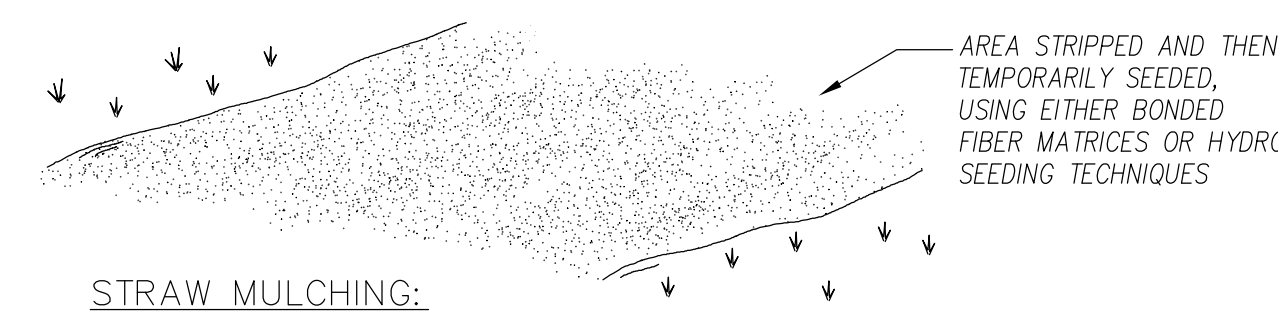
3 TYPE C SILT FENCE DETAIL NOT TO SCALE



5 DRAIN INLET DETAIL NOT TO SCALE



6 CURB INLET PROTECTION DETAIL NOT TO SCALE

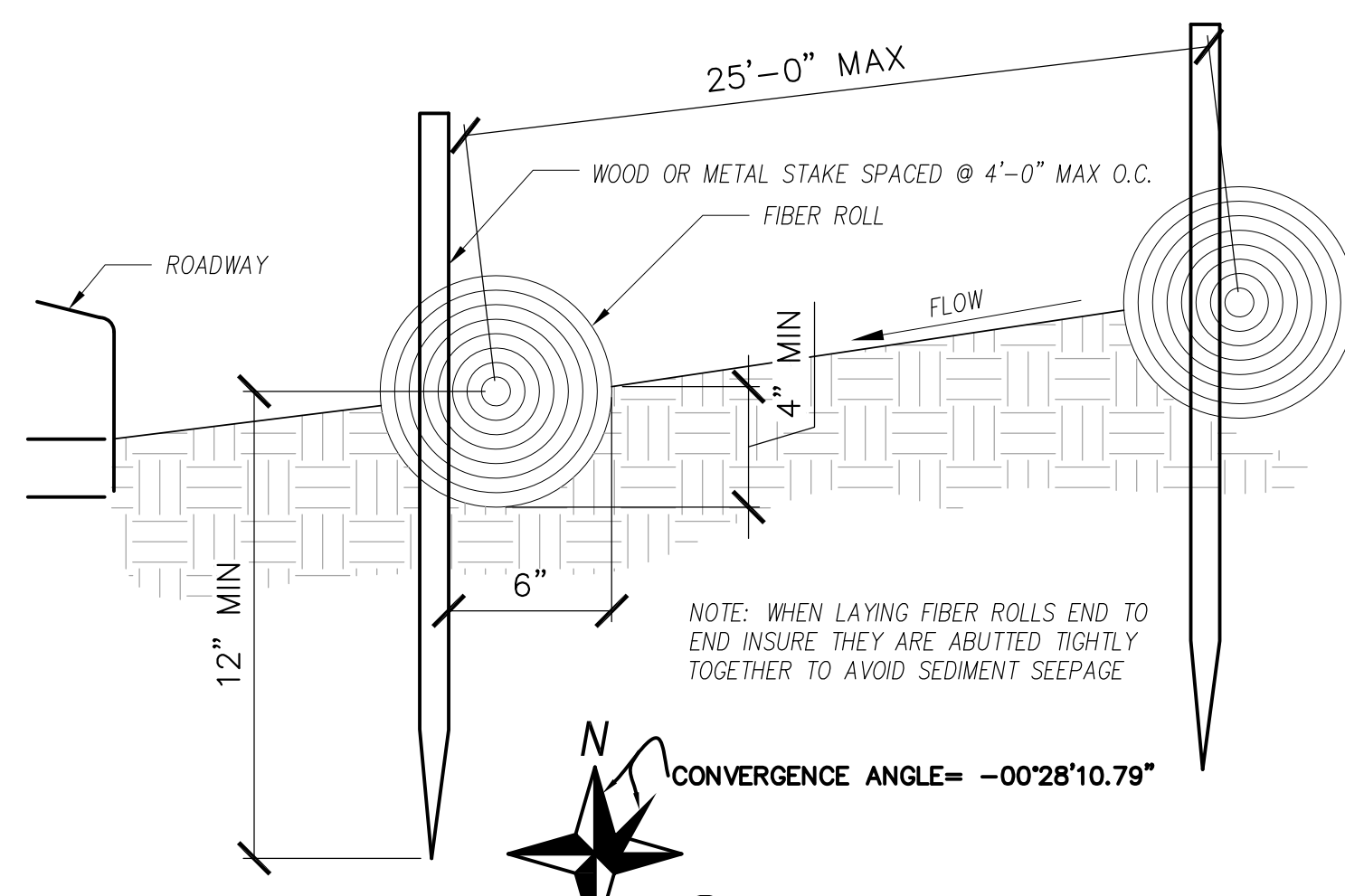


- STRAW MULCHING:**
- FOR AREAS OF SITE WITH LESS THAN 30% SLOPE; 2-3 BALES OF STRAW EQUALS 2-4 INCHES OF STRAW MULCH OVER 1000 SQUARE FEET
 - RYE & BLANDO BROME 50/50 2LB-5LB SEED AND STRAW MULCH OR EQUIV. SHALL BE WEED FREE.

SEEDING MAY BE USED ONLY BETWEEN APRIL 1 AND JUNE 30, AND SEPTEMBER 1 AND OCTOBER 30.

SEEDING MIXTURES			
NAME	PROPORTIONS BY WEIGHT	% PURITY	% GERMINATION
CALIFORNIA BUCKWHEAT (ERIOGONUM FESCICULATUM POLIFOLIUM)	10%	92	90
ANNUAL RYE (LOLIUM MULTIFLORUM)	40%	98	90
CHEWINGS FESCUE (FETUCA RUBRA COMMUTATA)	40%	97	80
WHITE DUTCH CLOVER (TRIFOLIUM PEPENS)	40%	96	90

TO PROVIDE TEMPORARY SOIL STABILIZATION BY PLANTING GRASSES AND LEGUMES TO AREAS THAT WOULD REMAIN BARE FOR MORE THAN 7 DAYS WHERE PERMANENT COVER IS NOT NECESSARY OR APPROPRIATE.



4 FIBER ROLL DETAIL NOT TO SCALE

2 TEMP SEEDING AND MULCHING NOT TO SCALE

PLANNING SUBMITTAL ONLY
 NOT TO BE USED FOR CONSTRUCTION

BUILDING PLAN FOR:
BABAUTA ROW
 9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 3 OF 12 SHEETS

PRJ NO. PRJ-1117044
 PMT NO. -----



0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



G03

REV D 08/21/2024

LANDSCAPE PLAN

NOTES

MAINTENANCE:
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY:
PERMITTEE or OWNER/PERMITTEE

LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC R.O.W. SHALL BE MAINTAINED BY:
PERMITTEE or OWNER/PERMITTEE

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED."
NOTE: IRRIGATION TYPE
THE IRRIGATION SYSTEM IS AN EXISTING AUTOMATICALLY CONTROLLED BUBBLER SYSTEM

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

NOTE:
IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION AND CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN-KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OR DAMAGE.

NOTE:
"EXISTING TREES TO REMAIN ON SITE WITHIN 10-FT OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

PLANTING AND WATERING

PLANTING OPERATIONS SHOULD BE SCHEDULED TO OCCUR DURING FALL AND/OR SPRING- TAKING ADVANTAGE OF WINTER RAINS. SUMMER PLANTING IS POSSIBLE IN MILD COASTAL LOCATIONS OR IN THE SHADE OF EXISTING TREES. SUMMER PLANTING IN THE INLAND AREAS USUALLY RESULTS IN THE LOSS OF THE PLANTINGS.

PRE-SOAK IF SOIL IS DRY THEN SET PLANT SO THE CROWN IS 1/2" MINIMUM ABOVE THE FINISH GRADE. PLANT CROWN SHOULD NOT BE BELOW GROUND LEVEL AFTER PLANTING. ADJUST THE LEVEL BY ADDING OR REMOVING SOIL AS NECESSARY, PLANTS THAT ARE SET TO LOW WILL DROWN AND DIE. USE NATIVE SOIL OR CACTUS MIX FOR ADD'L. SOIL VOLUME.

CREATE A BASIN AROUND THE PLANT APPROXIMATELY 24-30" DIAMETER.

APPLY 5-15 GALLONS OF WATER TO EACH PLANT IMMEDIATELY AFTER PLANTING. IF PLANTING A LARGE AREA, PLANT NO MORE THAN 20-30 PLANTS THEN WATER THEM IN BEFORE CONTINUING.

MULCH 3" DEEP AROUND AND BETWEEN THE PLANTS AT LEAST 1 FOOT PAST THE DRIPLINE OF EACH PLANT. DO NOT COVER THE PLANT MATERIAL WITH MULCH OR PLACE MULCH UP TO THE PLANT STEM. THIS WILL SUFFOCATE THE PLANT AND IT WILL DIE. MULCH SHOULD THIN OUT AND COVER OUTER HALF OF ROOTBALL ONLY. LEAVE AREA AT THE STEM FREE OF MULCH.

NOTES FOR MODIFYING EXISTING SYSTEMS

THIS PROJECT IS A MODIFICATION OF AN EXISTING SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE, BUT IS NOT LIMITED TO: THE EXISTING PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE) IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE FIELD VERIFICATION AND THE DRAWINGS.

WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TIMING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION. THE CONTRACTOR SHALL CUT, CAP AND OR DIVERT IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION. **THE CONTRACTOR SHALL ADD NEW HEADS TO MATCH THE EXISTING SYSTEM AND ADJUST/ RELOCATE EXISTING SPRINKLER HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE EXISTING AND NEW PLANTINGS.**

*DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE (FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND).

THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.

CONTRACTOR TO EXTEND EXISTING LATERALS TO INCLUDE NEW PLANTINGS OR TAP INTO EXISTING MAINLINE AT THE CLOSEST FEASIBLE PLACE, RUN A NEW PRESSURE LINE UNTILL ADJACENT TO SITE AND TERMINATE AT A NEW BALL VALVE.

CONTRACTOR TO MOVE EXISTING IRRIGATION HEADS TO THE OLD VAULT AREA, EXTEND (E) SYSTEM TO COVER THE BACKFILLED AREA AND REMOVE & RE-ROUTE AND/OR CAPPING THE AREA WITH NEW ENCLOSURE.



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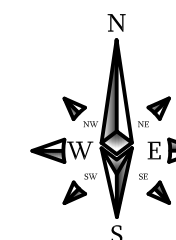
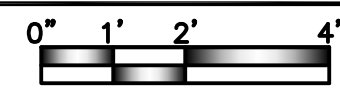
BUILDING PLAN FOR: BABAUTA ROW 9486 BABAUTA ROAD SAN DIEGO, CA 92129	
SHEET 4 OF 12 SHEETS	PRJ NO. PRJ-1117044 PMT NO. -----

REV D 08/21/2024



1 LANDSCAPE NOTES

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

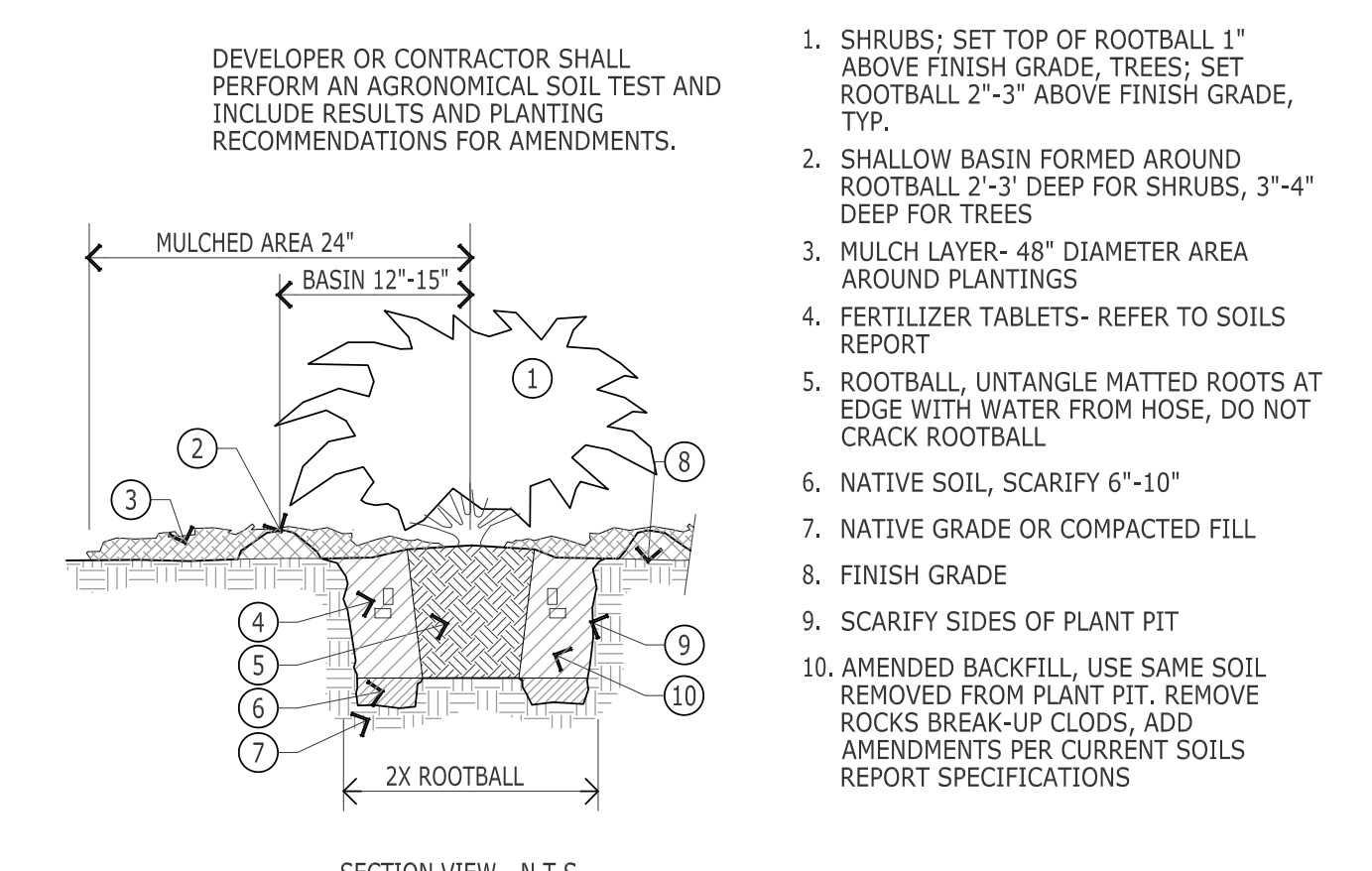
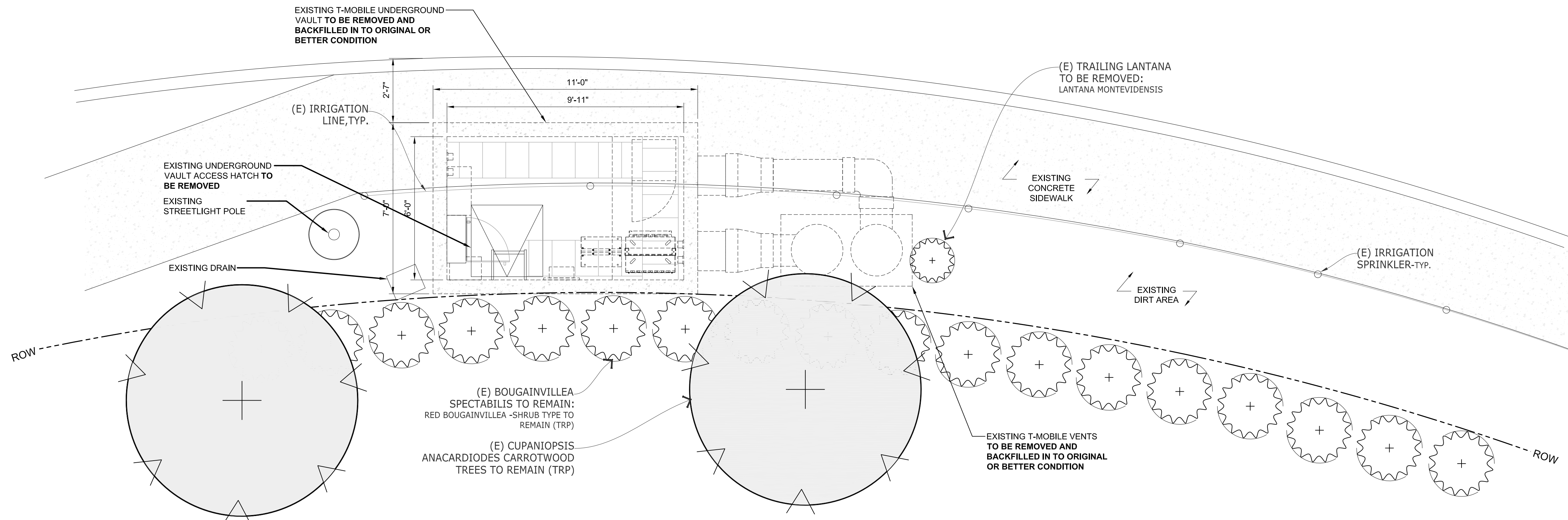


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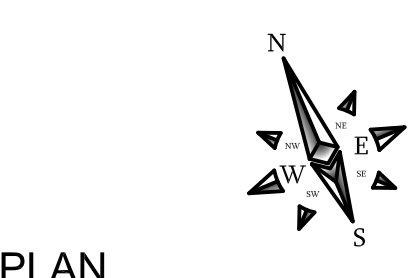
L01

LANDSCAPE PLAN



A PLANTING PITS

1 EXISTING LANDSCAPE PLAN
 24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"



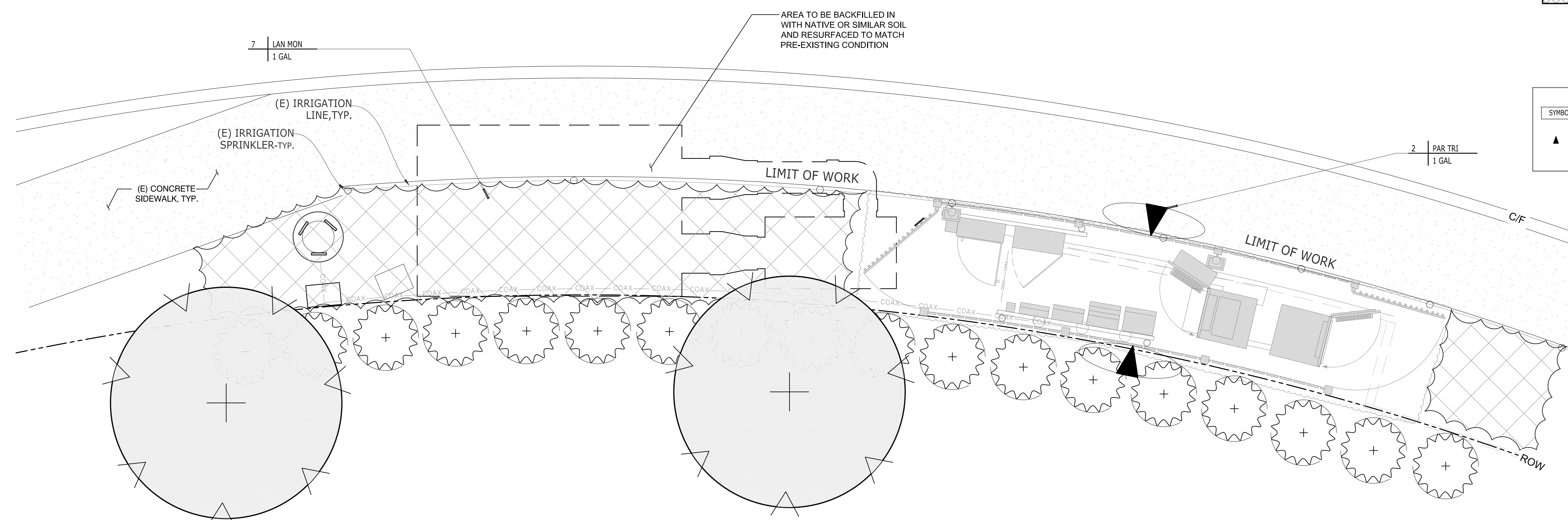
SHRUBS

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.
[Symbol]	LAN MON	LANTANA MONTEVIDENSIS		1 GAL	7	A	1'x4'+	3-L

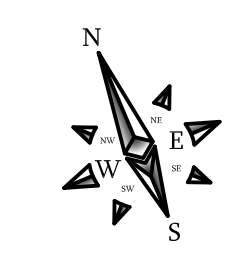
MAINTAIN 3" MIN. DEEP MULCH TO THE DRIPLINE OF THE TREES/ SHRUBS THROUGHOUT THE LIFE OF THE PLANTINGS.
 - USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE-APPROVED EQUAL.

VINES

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.
[Symbol]	PAR TRI	PARTHENOCCISSUS TRICUSPIDATA BOSTON IVY		1 GAL	2		SPREADS TO 10'++	3-M



1 PROPOSED LANDSCAPE PLAN
 24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"



0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT



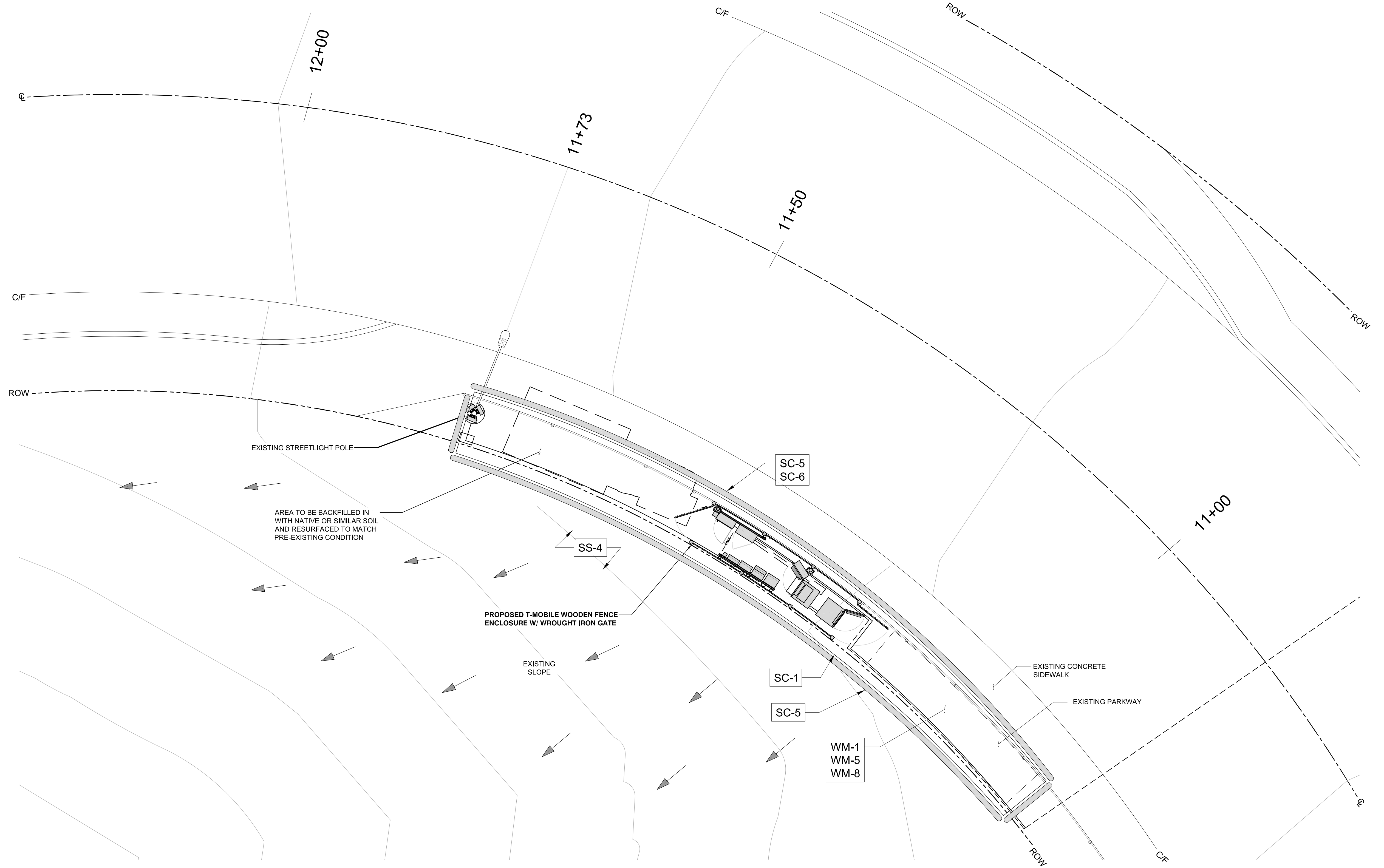
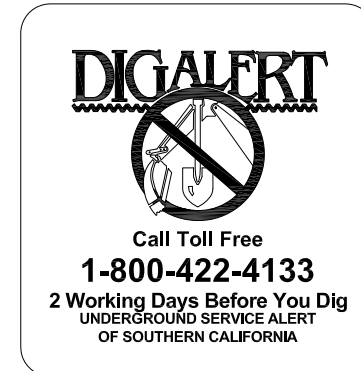
BUILDING PLAN FOR: BABAUTA ROW 9486 BABAUTA ROAD SAN DIEGO, CA 92129	
SHEET 5 OF 12 SHEETS	PRJ NO. PRJ-1117044 PMT NO. -----
LO2	

(REV D 08/21/2024)

1387 CALLE AVANZADO
 SAN CLEMENTE CA 92673 (949) 391-8824

EROSION CONTROL PLAN

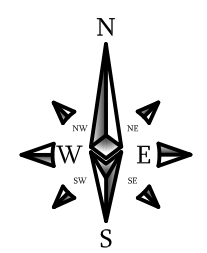
LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	EXISTING SETBACK LINE
	EXISTING FENCE LINE
	EXISTING ROAD
	EXISTING BUILDING
	DIRECTION OF LOT DRAINAGE
CONSTRUCTION BMPs:	
	SANDBAG BARRIER (IF REQUIRED)
	FIBER ROLLS (IF REQUIRED)
	SLIT FENCE (IF REQUIRED)
	GRAVEL BAG (IF REQUIRED)
	HYDRAULIC STABILIZATION HYDROSEEDING (IF REQUIRED)
MATERIALS & WASTE MANAGEMENT BMPs:	
	MATERIAL DELIVERY & STORAGE
	SOLID WASTE MANAGEMENT
	CONCRETE WASTE MANAGEMENT
	STABILIZED CONSTRUCTION ENTRANCE



EROSION CONTROL PLAN FOR:
BABAUTA ROW
 9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 6 OF 12 SHEETS
 PRJ NO. PRJ-1117044
 PMT NO. -----

1 PROPOSED EROSION CONTROL PLAN
 24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

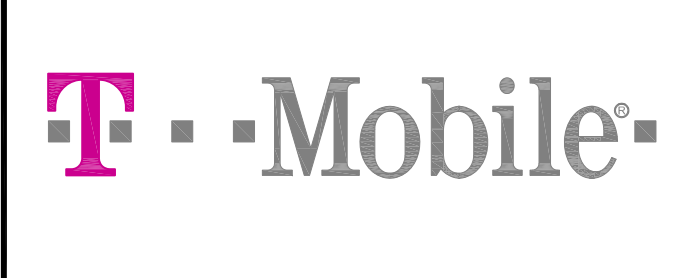


0 1/2 1
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The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

C01

REV D 08/21/2024



EXISTING SITE PLAN

NOTES:

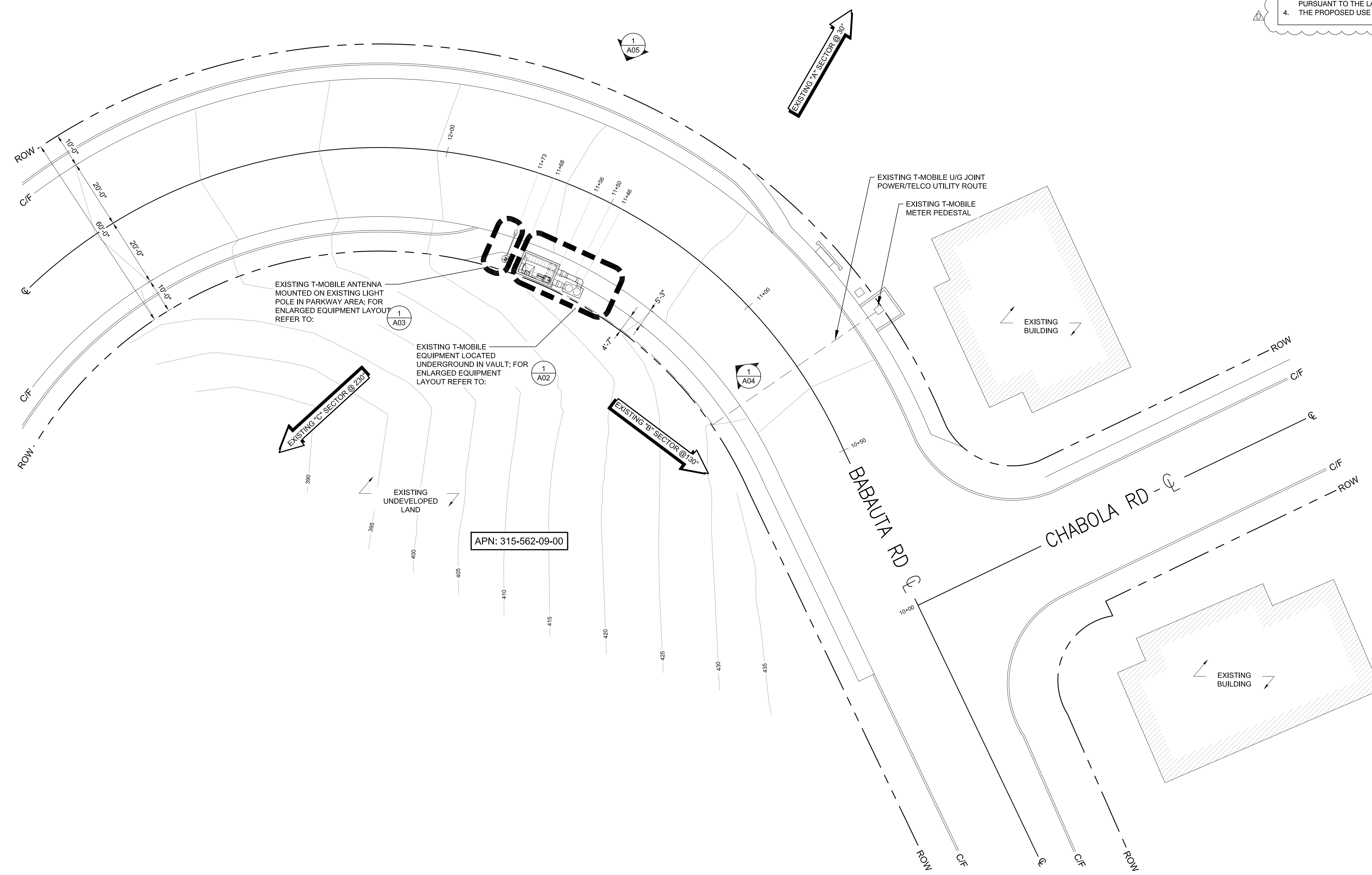
1. THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

DISCLAIMER:

THIS SET OF DRAWINGS WAS PREPARED UTILIZING INFORMATION OBTAINED FROM PUBLIC DOCUMENTS MADE AVAILABLE ON JURISDICTION WEBSITE. M SQUARED WIRELESS CANNOT GUARANTEE THE ACCURACY OF THE DATA AND INFORMATION DEPICTED AND HEREBY EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR THE TRUTH, VALIDITY, INVALIDITY, ACCURACY, INACCURACY OF ANY SAID DATA AND INFORMATION. THE PARCEL LINES ON MAPS ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE USED AS A SURVEY PRODUCT. USER ACCEPTS RESPONSIBILITY FOR THE UNAUTHORIZED USE OR TRANSMISSION OF ANY SUCH DATA OR INFORMATION IN ITS ACTUAL OR ALTERED FORM.

NOTE:

1. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN.
2. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY & WELFARE.
3. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REGULATIONS OF THE LAND DEVELOPMENT CODE INCLUDING ANY ALLOWABLE DEVIATIONS PURSUANT TO THE LAND DEVELOPMENT CODE.
4. THE PROPOSED USE IS APPROPRIATE AT THE PROPOSED LOCATION.

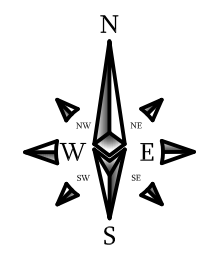


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CONSTRUCTION

EXISTING SITE PLANS FOR:
BABAUTA ROW
9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 7 OF 12 SHEETS
PRJ NO. PRJ-1117044
PMT NO. -----

1 EXISTING SITE PLAN
24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"



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IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



A01

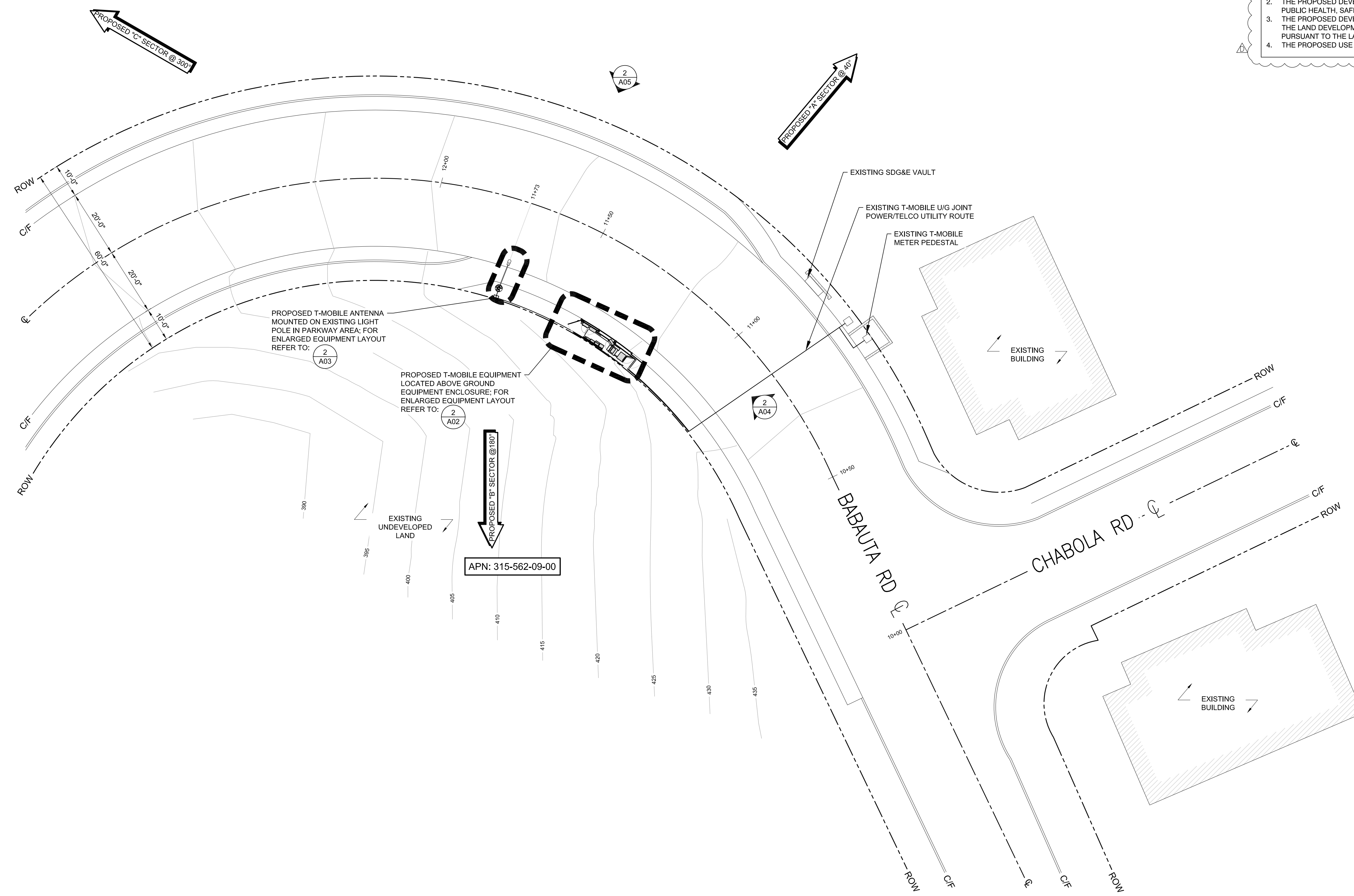
REV D 08/21/2024

PROPOSED SITE PLAN

NOTES:
 1. THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

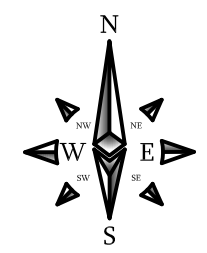
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NOTE:
 1. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN.
 2. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY & WELFARE.
 3. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REGULATIONS OF THE LAND DEVELOPMENT CODE INCLUDING ANY ALLOWABLE DEVIATIONS PURSUANT TO THE LAND DEVELOPMENT CODE.
 4. THE PROPOSED USE IS APPROPRIATE AT THE PROPOSED LOCATION.



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 CONSTRUCTION

1 PROPOSED SITE PLAN
 24"x36" SCALE: 1/16" = 1'-0"
 11"x17" SCALE: 1/32" = 1'-0"

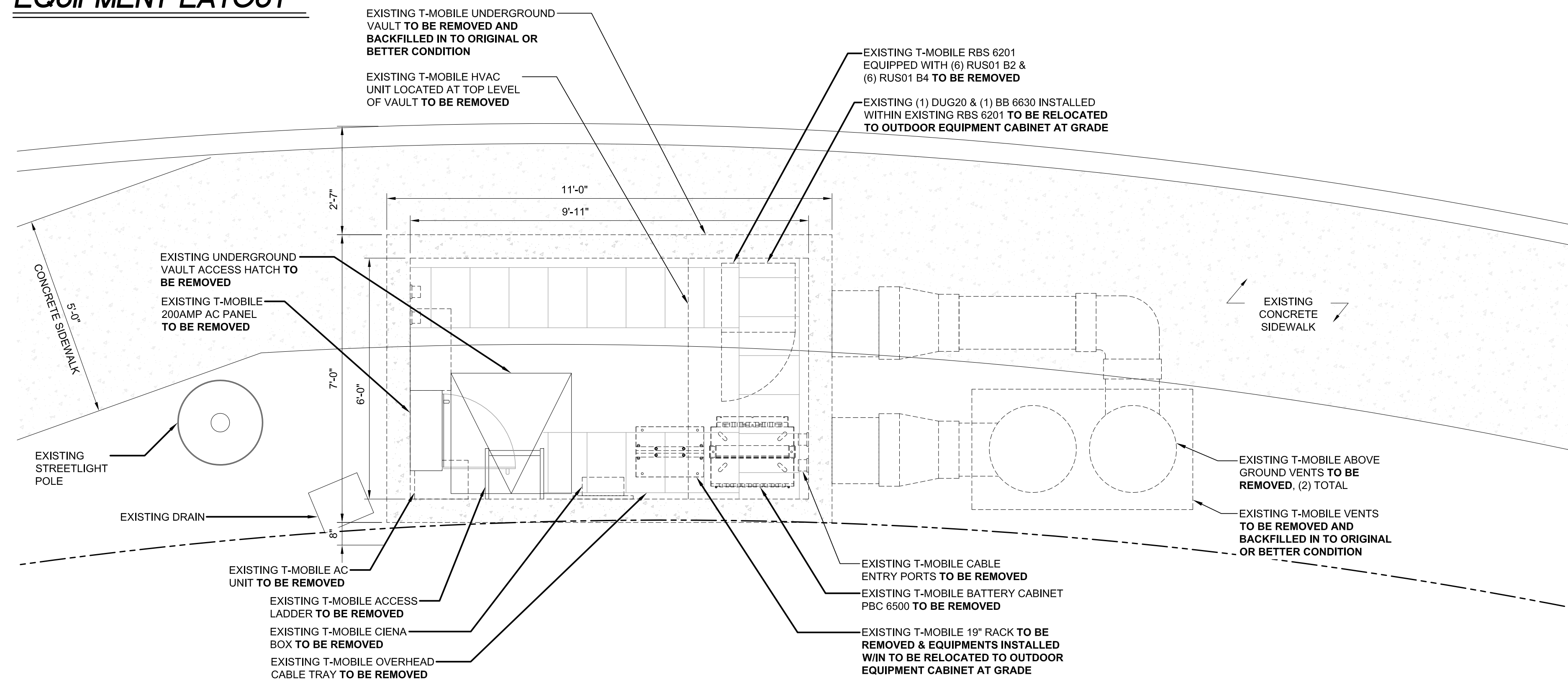


The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

PROPOSED SITE PLANS FOR: BABAUTA ROW 9486 BABAUTA ROAD SAN DIEGO, CA 92129	
SHEET 8 OF 12 SHEETS	PRJ NO. PRJ-1117044
	PMT NO. -----
	A01.1

REV D 08/21/2024

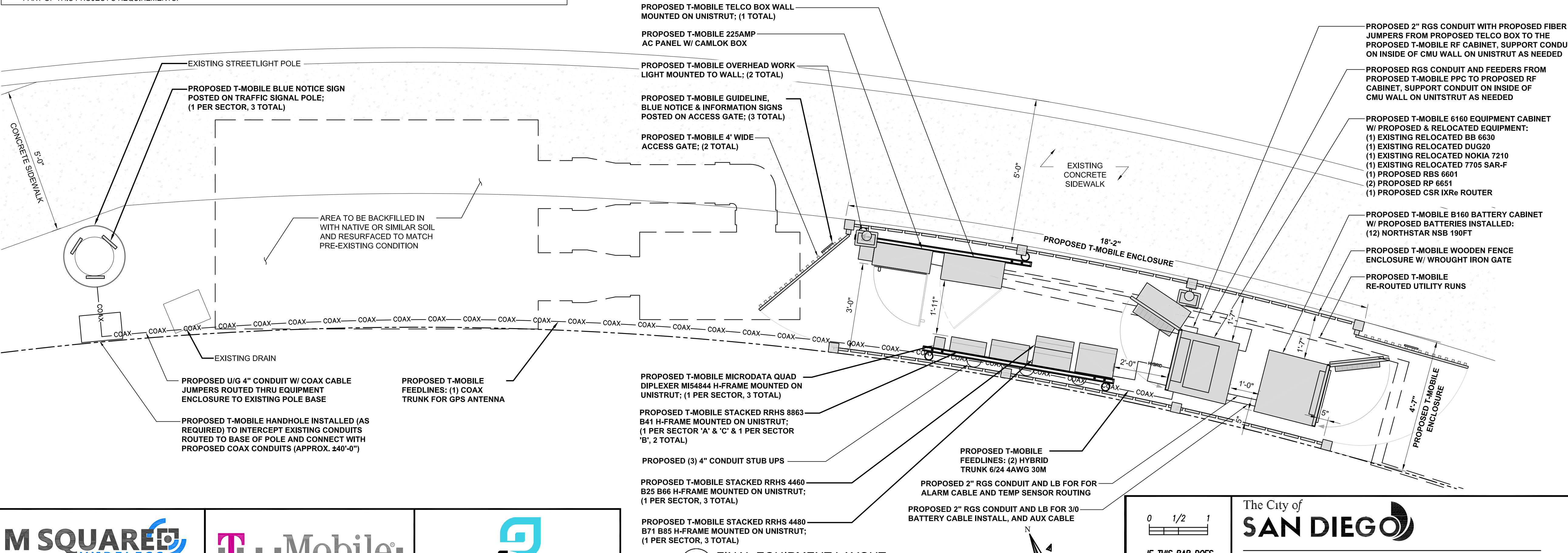
EQUIPMENT LAYOUT



1 EXISTING EQUIPMENT LAYOUT
 24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"

NOTE:

- CONTRACTOR TO VERIFY TECH LIGHTING IF NEEDED TO CHANGE OUT TO LED & ADD 90-MINUTE TIMER SWITCH.
- GO TO USE CONCEAL FAB PIM INTERFERENCE PRODUCT/SUPPORT SYSTEMS FOR CABLE MANAGEMENT.
- CABLE ROUTING FROM CABINET TO RADIO AND ONTO TO POLE NEEDS TO BE VERIFIED. ASSUMING UNDERGROUND ROUTE THAT IS PATH OF LEAST OBSTRUCTIONS PER UG SUBSTRUCTURE FINDINGS. NEED VERIFICATION FROM T-MOBILE IF EXISTING UG CONDUITS ARE TO BE REUSED AND HAVE CAPACITY FOR PROPOSED CABLING NEEDS.
- THE EXACT UG LOCATION OR ROUTE OF THE EXISTING CONDUITS IS NOT CONFIRMED AND ONLY SHOWN FOR ILLUSTRATION PURPOSES. THE PLANS MAY VARY IN ROUTE AND LOCATION DEPENDENT UPON THE CONFIRMED LOCATION OF THE EXISTING UG CONDUITS. IF THE CONTRACTOR HAS CONCERNS OR QUESTIONS RELATED TO ANY CHANGES DURING CONSTRUCTION PLEASE REACH OUT TO THE A/E FIRM.
- POST-INSTALLATION FIELD MEASUREMENTS ARE REQUIRED PER THIS REPORT'S RECOMMENDATIONS. SIGNAGE ONLY IS RECOMMENDED TO MITIGATE THE POTENTIAL FOR EXPOSURE. SIGNAGE IS RECORDED TO BE PRESENT EXISTING BUT THE VENDOR SHOULD PERFORM A SIGNAGE CHECK AND INSTALL OR REPLACE SIGNAGE IF NECESSARY. TO COMPLY WITH FCC REGULATION, THE RECOMMENDED MITIGATION MEASURES ARE PART OF THIS PROJECT'S REQUIREMENTS.



2 FINAL EQUIPMENT LAYOUT
 24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"

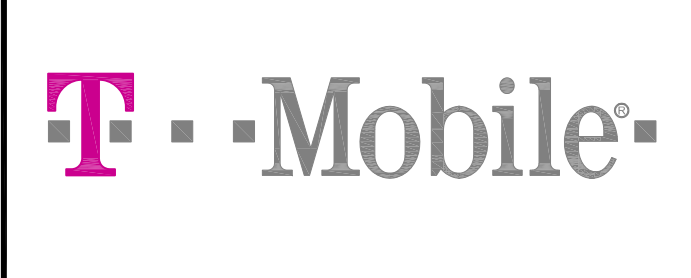
FINAL BATTERY DATA CHART			
CFC CHAPTER 12 COMPLIANCE			
SUMMARY: TOTAL KWH (PROPOSED) = 27.36 KWH (SINCE < 70KWH, CFC CHAPTER 12, SECTION 1206.2 NOT APPLICABLE)			
PROPOSED BATTERY INFORMATION			
BATTERY MODEL	TOTAL # OF BATTERY UNITS	AMP-HOUR RATING PER UNIT	RATED VOLTAGE PER UNIT
NORTHSTAR NSB 190FT RED	12 LEAD ACID	190 AH	12V
KWH PER BATTERY		TOTAL KWH	
$\frac{190AH \times 12V}{1000} = 2.28 \text{ KWH}$		2.28 KWH x 12 = 27.36 KWH	
ELECTROLYTE VOLUME			
15.84 GALLONS			

PLANNING SUBMITTAL ONLY
 NOT TO BE USED FOR
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EQUIPMENT LAYOUT FOR:
BABAUTA ROW
 9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 9 OF 12 SHEETS

PRJ NO. PRJ-1117044
 PMT NO. -----



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(REV D 08/21/2024)

A02

ANTENNA LAYOUT

PROPOSED OPTIMAL ANTENNA & TRANSMISSION CABLES REQUIREMENTS (VERIFY WITH CURRENT RFDS)			ANTENNA MAKE AND MODEL * DENOTES EXISTING ANTENNAS TO BE REMOVED				RAD CENTER		AZIMUTH		REMOTE RADIO UNITS * DENOTES EXISTING RRHS TO BE REMOVED				DIPLEXER/BIAS TEE		TRANSMISSION LINE * CONTRACTOR TO FIELD VERIFY		
ANTENNA POSITION	TECHNOLOGY		EXISTING		PROPOSED		EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	RRHS COUNT	EXISTING	PROPOSED	QTY	CABLE LENGTH		
	EXISTING	PROPOSED	MODEL	SIZE	MODEL	SIZE													
SECTOR A 1	G1900/L2100	N600/L600/L700/ N1900/L2100/N2500/ L1900/G1900	* ANDREW TMBXX-6516-A2M	50.9"x12"x6.5"	COMMSCOPE FVV-65A-R3	55.6"x11.8"x7.1"	22'-8"	22'-6"	30°	40°	-	-	RRH 4460 B25+B66 RRH 4480 B71+B85 RRH 8863 B41 (SHARED)	1	-	(2) COMMSCOPE TMA (1) MICRODATA QUAD DIPLEXER (8:4) B66/B25 + B41	6 8 22 11 4	* ±53' * ±8' * ±8' * ±8'	LDF4-50-1/2' Ø JUMPER SUREFLEX 4.3-10 TO 4.3-10 LOOSE FIBERS FROM CABINET TO RADIOS DC CABLES FROM CABINET TO RADIOS JUMPER NEX10 M TO 4.3'10 M 12'Ø WB
SECTOR B 2	G1900/L2100	N600/L600/L700/ N1900/L2100/N2500/ L1900/G1900	* ANDREW TMBXX-6516-A2M	50.9"x12"x6.5"	COMMSCOPE FVV-65A-R3	55.6"x11.8"x7.1"	22'-8"	22'-6"	130°	180°	-	-	RRH 4460 B25+B66 RRH 4480 B71+B85 RRH 8863 B41 (SHARED)	1	-	(2) COMMSCOPE TMA (1) MICRODATA QUAD DIPLEXER (8:4) B66/B25 + B41	6 8 22 11 4	* ±53' * ±8' * ±8' * ±8'	LDF4-50-1/2' Ø JUMPER SUREFLEX 4.3-10 TO 4.3-10 LOOSE FIBERS FROM CABINET TO RADIOS DC CABLES FROM CABINET TO RADIOS JUMPER NEX10 M TO 4.3'10 M 12'Ø WB
SECTOR C 3	G1900/L2100	N600/L600/L700/ N1900/L2100/N2500/ L1900/G1900	* ANDREW TMBXX-6516-A2M	50.9"x12"x6.5"	COMMSCOPE FVV-65A-R3	55.6"x11.8"x7.1"	22'-8"	22'-6"	230°	300°	-	-	RRH 4460 B25+B66 RRH 4480 B71+B85 RRH 8863 B41	1	-	(2) COMMSCOPE TMA (1) MICRODATA QUAD DIPLEXER (8:4) B66/B25 + B41	6 8 22 11 4	* ±53' * ±8' * ±8' * ±8'	LDF4-50-1/2' Ø JUMPER SUREFLEX 4.3-10 TO 4.3-10 LOOSE FIBERS FROM CABINET TO RADIOS DC CABLES FROM CABINET TO RADIOS JUMPER NEX10 M TO 4.3'10 M 12'Ø WB
TOTAL												-	TOTAL		8				

NOTES TO CONTRACTOR:

- CONTRACTOR IS TO REFER TO T-MOBILE'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION
- CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK
- CONTRACTOR TO VERIFY PORTS HAVE SUFFICIENT ROOM

NOTE:

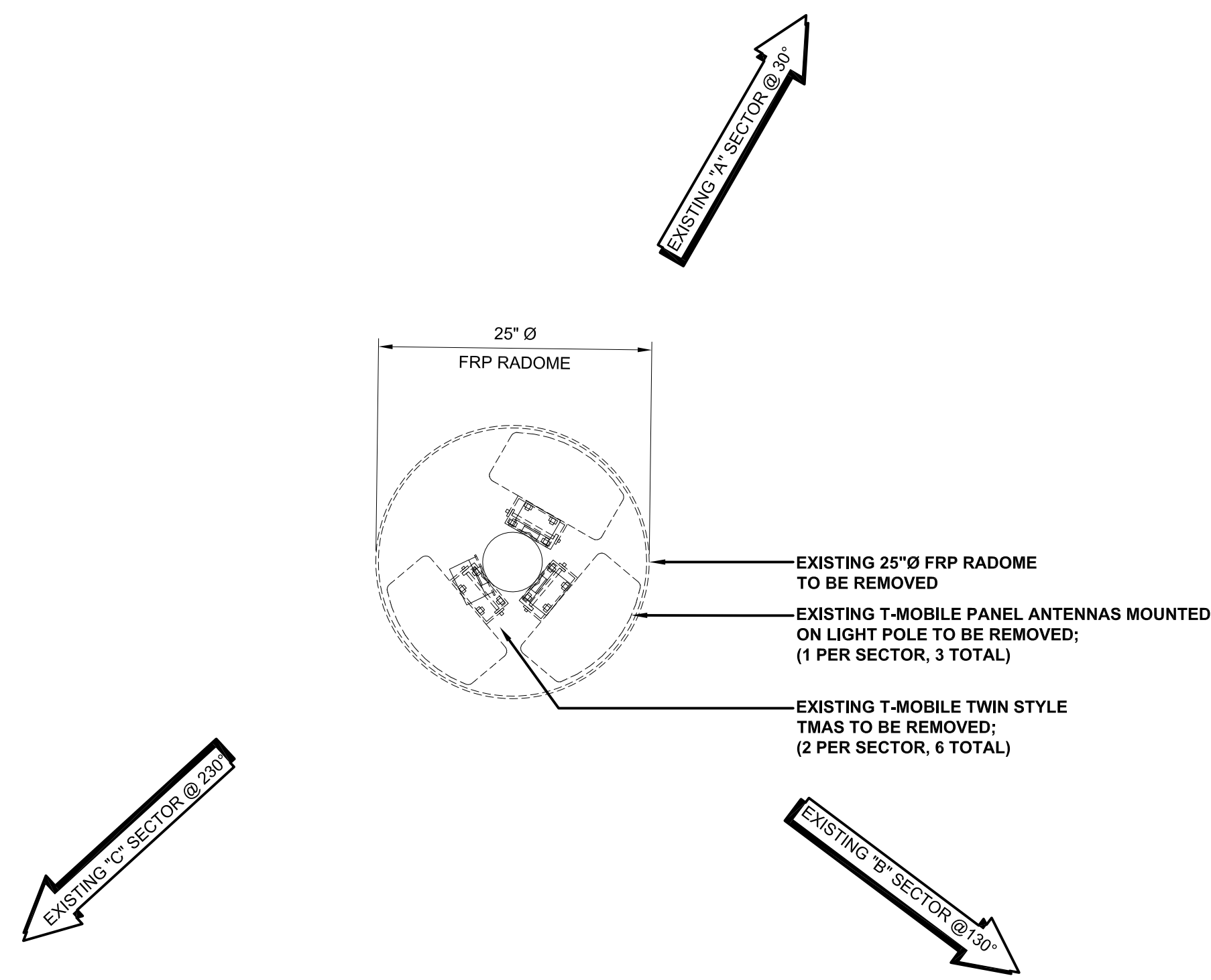
- EXISTING ANTENNA AZIMUTHS ARE ESTIMATED AND ARE TO BE VERIFIED BY RF.

NOTE:

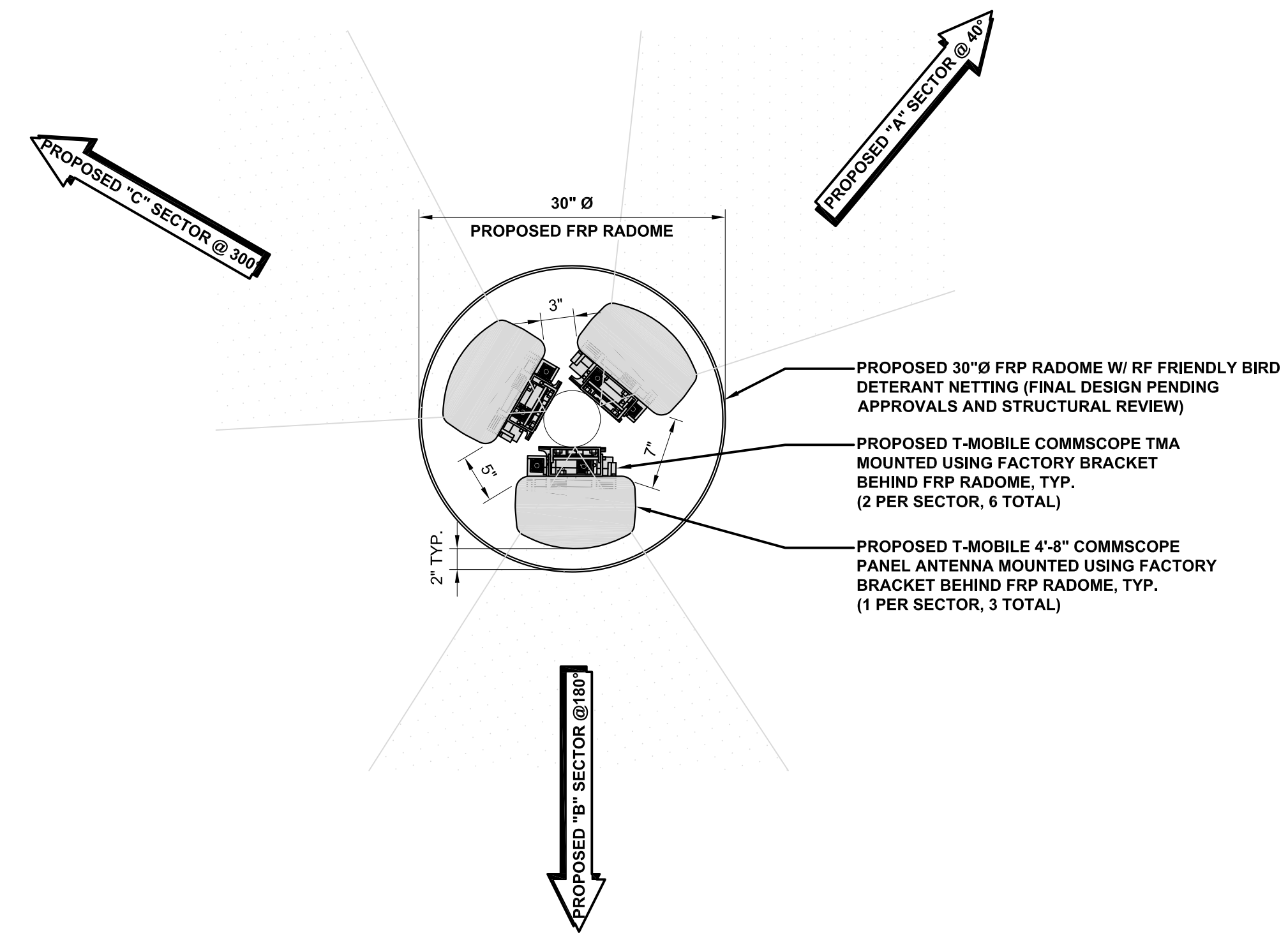
- PROPOSED PANEL ANTENNAS AND ALL MOUNTING HARDWARE TO BE MOUNTED BEHIND FRP SCREEN AND NOT VISIBLE FROM STREET.
- FRP SCREEN LAYOUT AND DESIGN IS PRELIMINARY PENDING FINAL STRUCTURAL ANALYSIS.
- GC TO USE CONCEAL FAB PIM INTERFERENCE PRODUCT/SUPPORT SYSTEMS FOR CABLE MANAGEMENT.

3 ANTENNA & EQUIPMENT SCHEDULE

24"x36" SCALE: NTS
11"x17" SCALE: NTS



1 EXISTING ANTENNA LAYOUT
24"x36" SCALE: 1" = 1'-0"
11"x17" SCALE: 1/2" = 1'-0"



2 FINAL ANTENNA LAYOUT
24"x36" SCALE: 1" = 1'-0"
11"x17" SCALE: 1/2" = 1'-0"

ANTENNA LAYOUT FOR:
BABAUTA ROW
9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 10 OF 12 SHEETS

PRJ NO. PRJ-1117044
PMT NO. -----

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0 1/2 1
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The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

A03

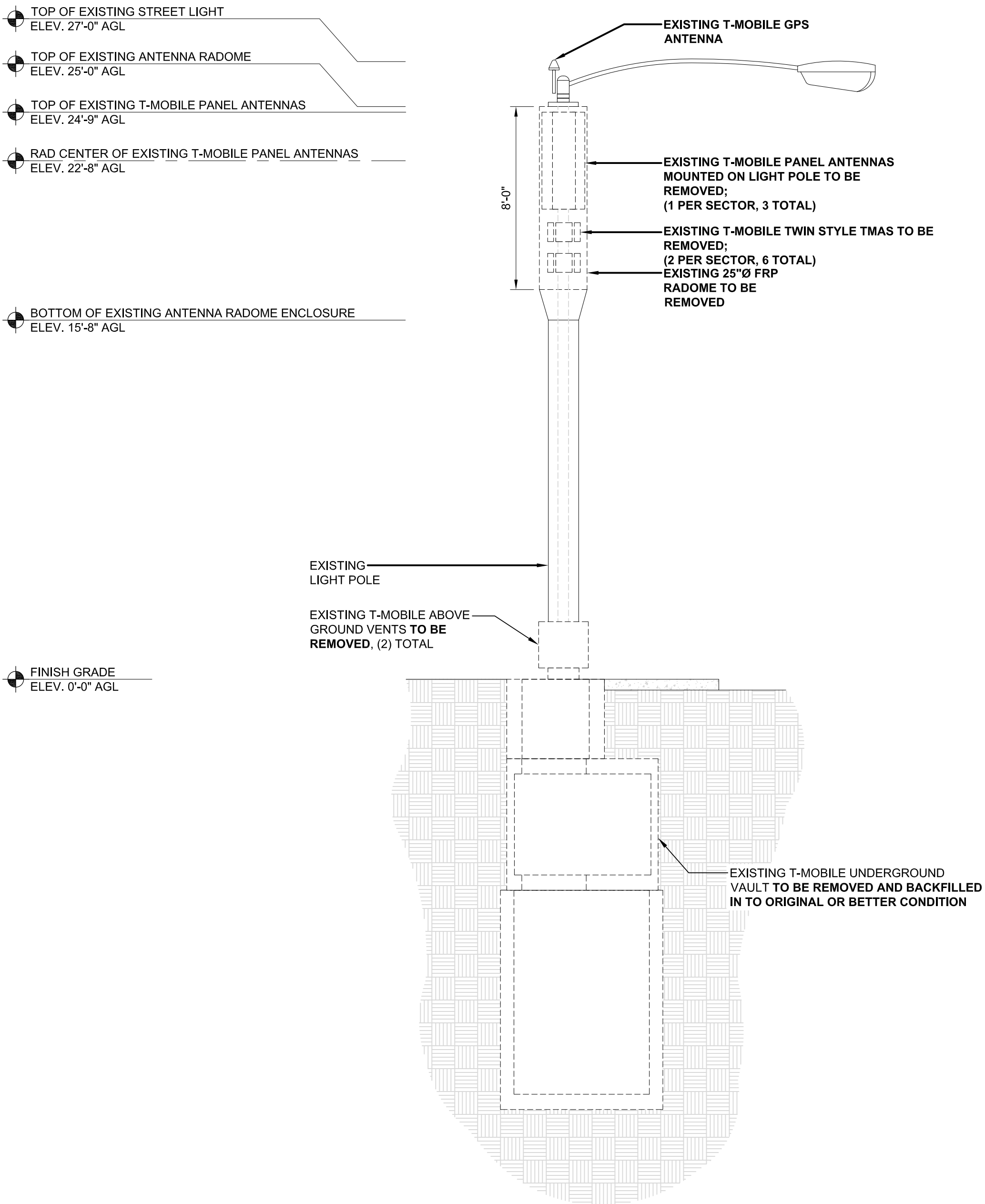
(REV. D 08/21/2024)

M SQUARE WIRELESS
1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-8824

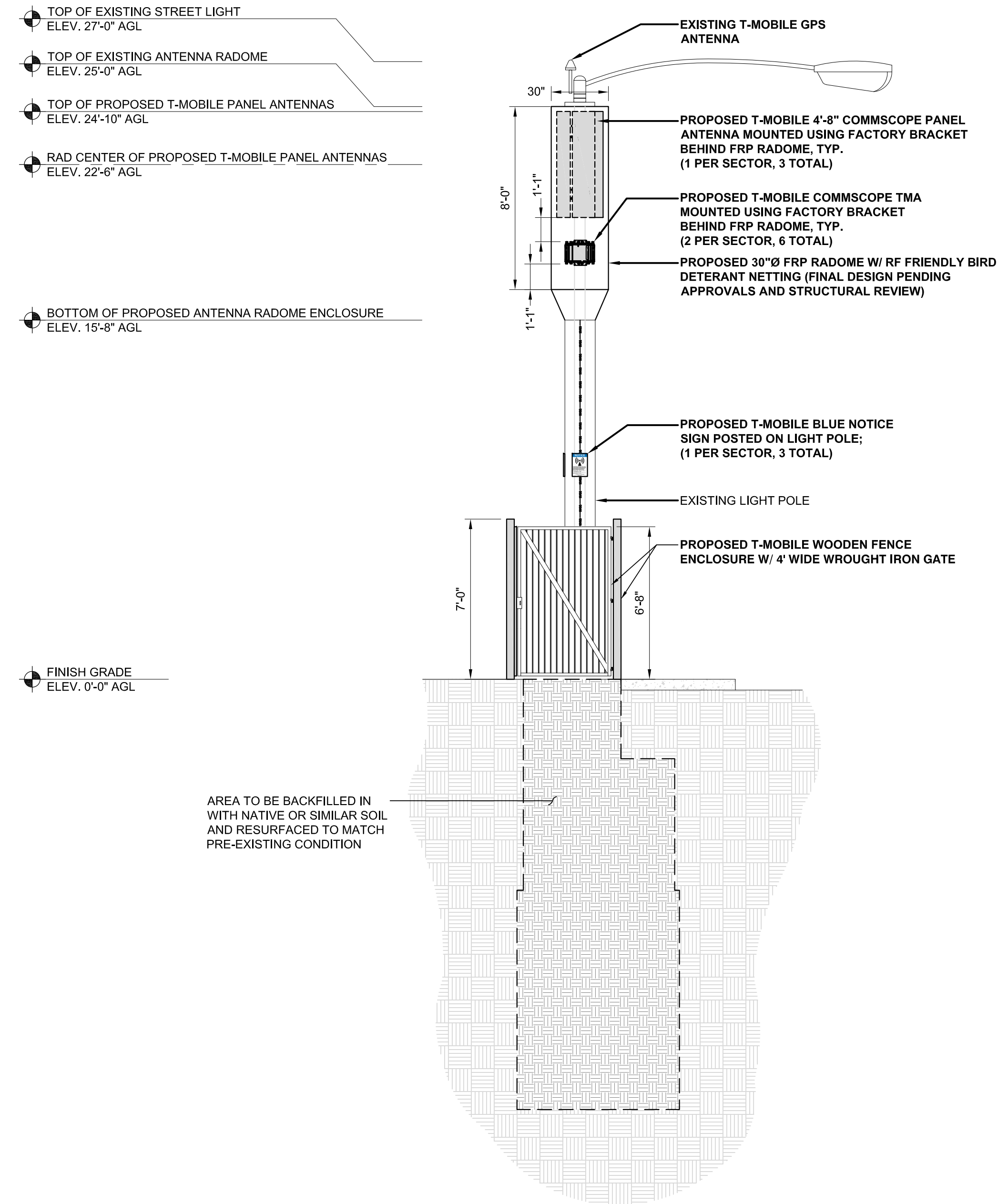
T-Mobile

PRECEPT
WIRELESS CONSULTANTS

ELEVATIONS



1 EXISTING SOUTHEAST ELEVATION
 24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"



2 FINAL SOUTHWEST ELEVATION
 24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"

NOTE:

- CONTRACTOR TO VERIFY TECH LIGHTING IF NEEDED TO CHANGE OUT TO LED & ADD 90-MINUTE TIMER SWITCH.
- GC TO USE CONCEAL FAB PIM INTERFERENCE PRODUCT/SUPPORT SYSTEMS FOR CABLE MANAGEMENT.
- CABLE ROUTING FROM CABINET TO RADIO AND ONTO POLE NEEDS TO BE VERIFIED. ASSUMING UNDERGROUND ROUTE THAT IS PATH OF LEAST OBSTRUCTIONS PER UG SUBSTRUCTURE FINDINGS. NEED VERIFICATION FROM T-MOBILE IF EXISTING UG CONDUITS ARE TO BE REUSED AND HAVE CAPACITY FOR PROPOSED CABLING NEEDS. THE EXACT UG LOCATION OR ROUTE OF THE EXISTING CONDUITS IS NOT CONFIRMED AND ONLY SHOWN FOR ILLUSTRATION PURPOSES. THE PLANS MAY VARY IN ROUTE AND LOCATION DEPENDENT UPON THE CONFIRMED LOCATION OF THE EXISTING UG CONDUITS. IF THE CONTRACTOR HAS CONCERNS OR QUESTIONS RELATED TO ANY CHANGES DURING CONSTRUCTION PLEASE REACH OUT TO THE A&E FIRM.

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ELEVATION FOR:
BABAUTA ROW
 9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 11 OF 12 SHEETS
 PRJ NO. PRJ-1117044
 PMT NO. -----

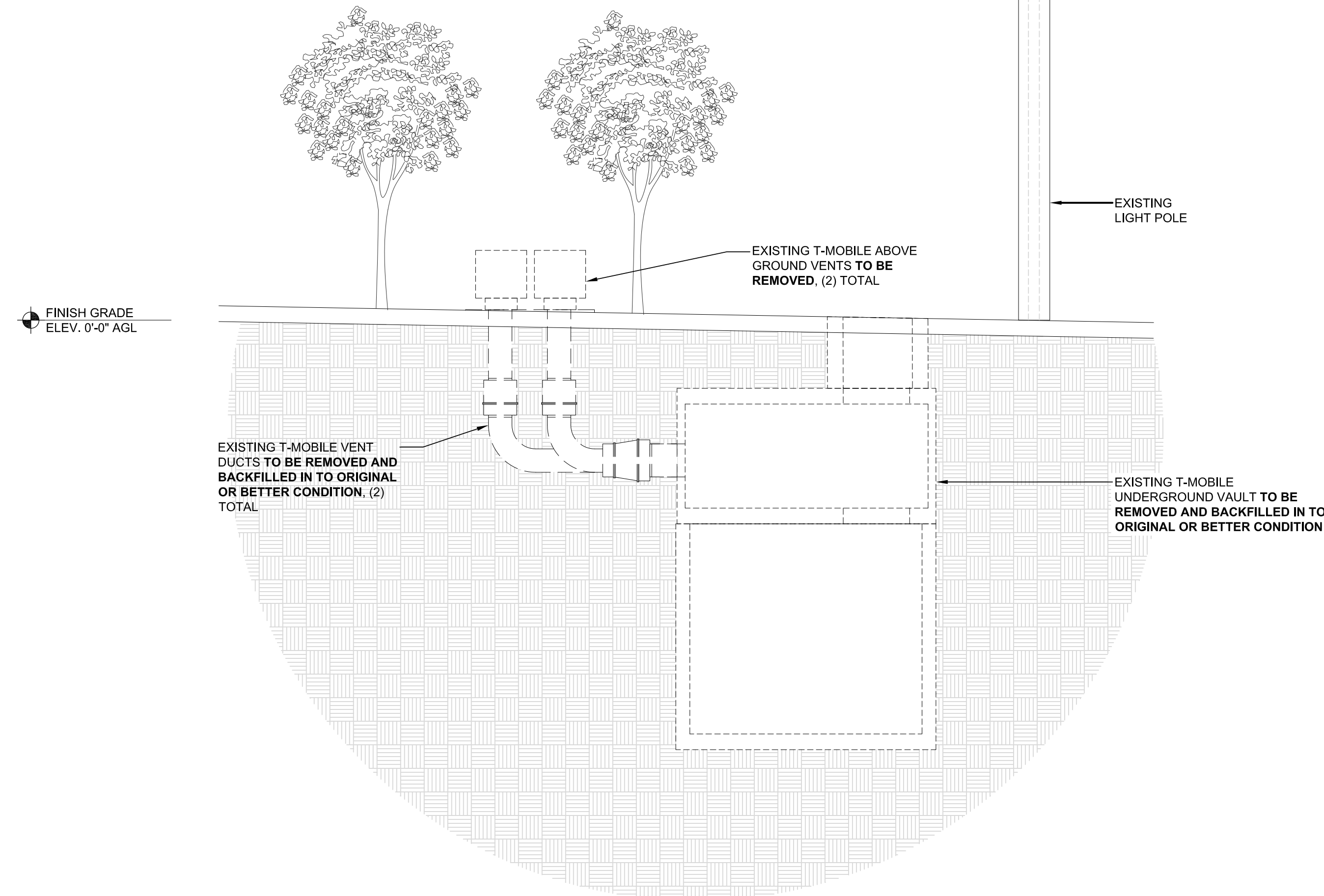
A04

(REV. D 08/21/2024)

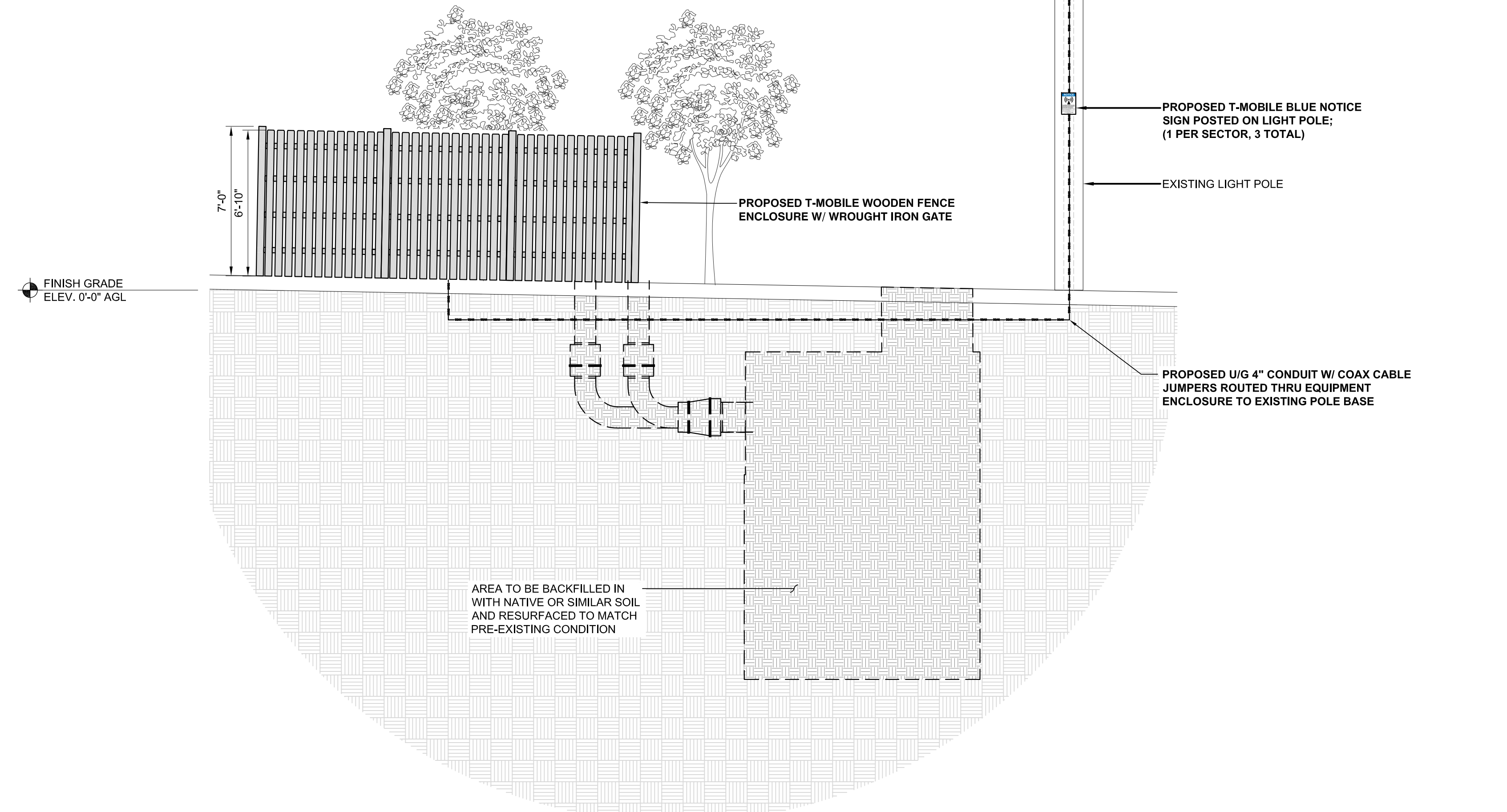


ELEVATIONS

- TOP OF EXISTING STREET LIGHT
ELEV. 27'-0" AGL
- TOP OF EXISTING ANTENNA RADOME
ELEV. 25'-0" AGL
- TOP OF EXISTING T-MOBILE PANEL ANTENNAS
ELEV. 24'-9" AGL
- RAD CENTER OF EXISTING T-MOBILE PANEL ANTENNAS
ELEV. 22'-8" AGL
- BOTTOM OF EXISTING ANTENNA RADOME ENCLOSURE
ELEV. 15'-8" AGL



- TOP OF EXISTING STREET LIGHT
ELEV. 27'-0" AGL
- TOP OF EXISTING ANTENNA RADOME
ELEV. 25'-0" AGL
- TOP OF PROPOSED T-MOBILE PANEL ANTENNAS
ELEV. 24'-10" AGL
- RAD CENTER OF PROPOSED T-MOBILE PANEL ANTENNAS
ELEV. 22'-6" AGL
- BOTTOM OF PROPOSED ANTENNA RADOME ENCLOSURE
ELEV. 15'-8" AGL



NOTE:

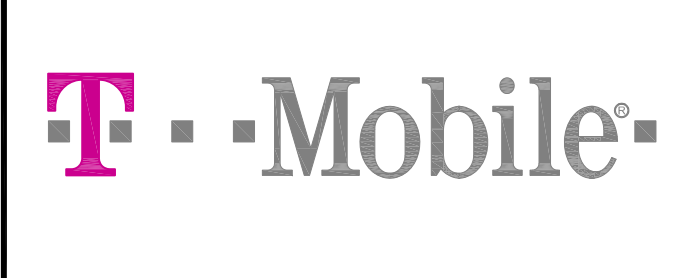
1. CONTRACTOR TO VERIFY TECH LIGHTING IF NEEDED TO CHANGE OUT TO LED & ADD 90-MINUTE TIMER SWITCH.
2. GC TO USE CONCEAL FAB PIM INTERFERENCE PRODUCT/SUPPORT SYSTEMS FOR CABLE MANAGEMENT.
3. CABLE ROUTING FROM CABINET TO RADIO H-FRAME AND ONTO POLE NEEDS TO BE VERIFIED, ASSUMING UNDERGROUND ROUTE THAT IS PATH OF LEAST OBSTRUCTIONS PER UG SUBSTRUCTURE FINDINGS. NEED VERIFICATION FROM T-MOBILE IF EXISTING UG CONDUITS ARE TO BE REUSED AND HAVE CAPACITY FOR PROPOSED CABLING NEEDS. THE EXACT UG LOCATION OR ROUTE OF THE EXISTING CONDUITS IS NOT CONFIRMED AND ONLY SHOWN FOR ILLUSTRATION PURPOSES. THE PLANS MAY VARY IN ROUTE AND LOCATION DEPENDENT UPON THE CONFIRMED LOCATION OF THE EXISTING UG CONDUITS. IF THE CONTRACTOR HAS CONCERNS OR QUESTIONS RELATED TO ANY CHANGES DURING CONSTRUCTION PLEASE REACH OUT TO THE A&E FIRM.

1 EXISTING NORTHEAST ELEVATION
24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"

2 FINAL NORTHEAST ELEVATION
24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"

ELEVATION FOR:
BABAUTA ROW
9486 BABAUTA ROAD SAN DIEGO, CA 92129

SHEET 12 OF 12 SHEETS
PRJ NO. PRJ-1117044
PMT NO. -----



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