



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: October 9, 2024 REPORT NO. HO-24-049
HEARING DATE: October 16, 2024
SUBJECT: 8424 Avenida de Las Ondas, Process Three Decision
PROJECT NUMBER: [PRJ-0675102](#)
OWNER/APPLICANT: Diego Coppel Sullivan

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to remodel an existing 4,362-square-foot single-family residence into a 7,488-square-foot, two-story residence with a detached garage located at 8424 Avenida De Las Ondas within the La Jolla Community Planning Area?

Proposed Actions:

APPROVE, Coastal Development Permit No. PMT-2528041 and Site Development Permit No. PMT-PMT-2541139.

Fiscal Considerations: All costs associated with processing the application is funded by applicant deposit.

Community Planning Group Recommendation: On December 2, 2021, the La Jolla Community Planning Association voted 5-0-1 to recommend approval of the proposed project without any conditions or recommendations. (Attachment 6).

La Jolla Shores Planned District Advisory Board Recommendation: On April 20, 2022 the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the proposed project without any conditions or recommendations. (Attachment 7).

Environmental Impact:

The project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (a) (In-Fill Development Projects). The environmental exemption determination for this project was made on August 1, 2024, and the opportunity to appeal that determination ended on August 15, 2024.

BACKGROUND

The 0.47-acre site is located at 8424 Avenida de Las Ondas in the LJSPD-SF zone of the La Jolla Shores Planned District, and the Coastal Overlay Zone (Non-Appealable), within the La Jolla Community Plan and Council District 1. The project application was filed on June 2, 2020.

The site is an interior lot on the west side of Avenida de Las Ondas, surrounded by a fully developed single-dwelling unit neighborhood. The Community Plan designates the site for 0-5 Dwelling Unit per Acre (DU/AC) Low-Density Residential.

DISCUSSION

The project proposes to demolish most of an existing 4,362-square-foot residence and construct a new 7,488-square-foot two-story residence with a detached garage on a 0.47-acre site.

The project requires the below permits, which are consolidated for a decision by the Hearing Officer Per SDMC Section 112.0103 with appeals heard by the Planning Commission.

The site is an interior lot on the west side of Avenida de Las Ondas, surrounded by a fully developed single-dwelling unit neighborhood. The Community Plan designates the site for 0-5 Dwelling Unit per Acre (DU/AC) Low-Density Residential.

Permit Required	Reason
Coastal Development Permit, Process Two	Required for coastal development within the appealable area of the Coastal Overlay Zone per SDMC Section 126.0702
Site Development Permit, Process Three	Required for Site Development Permits with (Development of manufactured slopes at a gradient steeper than 25 percent (4 horizontal feet to 1 vertical foot) and a height of 25 feet or more as described in Section 142.0103), per SDMC Section 126.0502(c)(6)

The project proposes to demolish most of an existing 2-story, 4,362 square-foot single family residence and construct a new 7,488 square-foot 2- story residence including a detached garage and associated site improvements on a 0.47-acre site. The project remodel consists of 7,488 square-foot, five bedrooms, six and half baths, two-story house with an attached guest quarters and a three car detached garage with associated decks and site improvements as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] October 16, 2024, on file in the Development Services Department.

The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) contains Residential Land Use Goals which state that development should "Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features,

preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.” The architectural form proposed is consistent with surrounding homes and includes minimal changes in building material, proportional roof lines, and varied building height. Materials include wood siding and stucco walls with modern details. Project architecture is similar in nature to homes in the vicinity. Maximum structure height is approximately 25'-1 1/2” at the rear of the property, which complies with the coastal height limitation of 30 feet.

A review of the neighborhood demonstrates that the proposed residence is in general conformity with adjacent development patterns with regard to architectural compatibility and bulk and scale. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. Adjacent development does not follow a single or common architectural theme, nor are the proposed architecture or materials in stark contrast to adjacent development. The proposed height from the public right-of-way is perceived as a 1-story dwelling, and the new structure height does constitute a substantial increase in height when compared to the existing home. Therefore, the proposed project generally conforms with the Community Plan and surrounding area.

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved. The project is designed in general conformity with setbacks, bulk and scale, and general design regulations as required by the LJSPD-SF base zone and as recommended by the Community Plan. Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT- 2528041 and Site Development Permit No. PMT-2541139, with modifications.
2. Deny Coastal Development Permit No. PMT-2528041 and Site Development Permit No. PMT-2541139, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

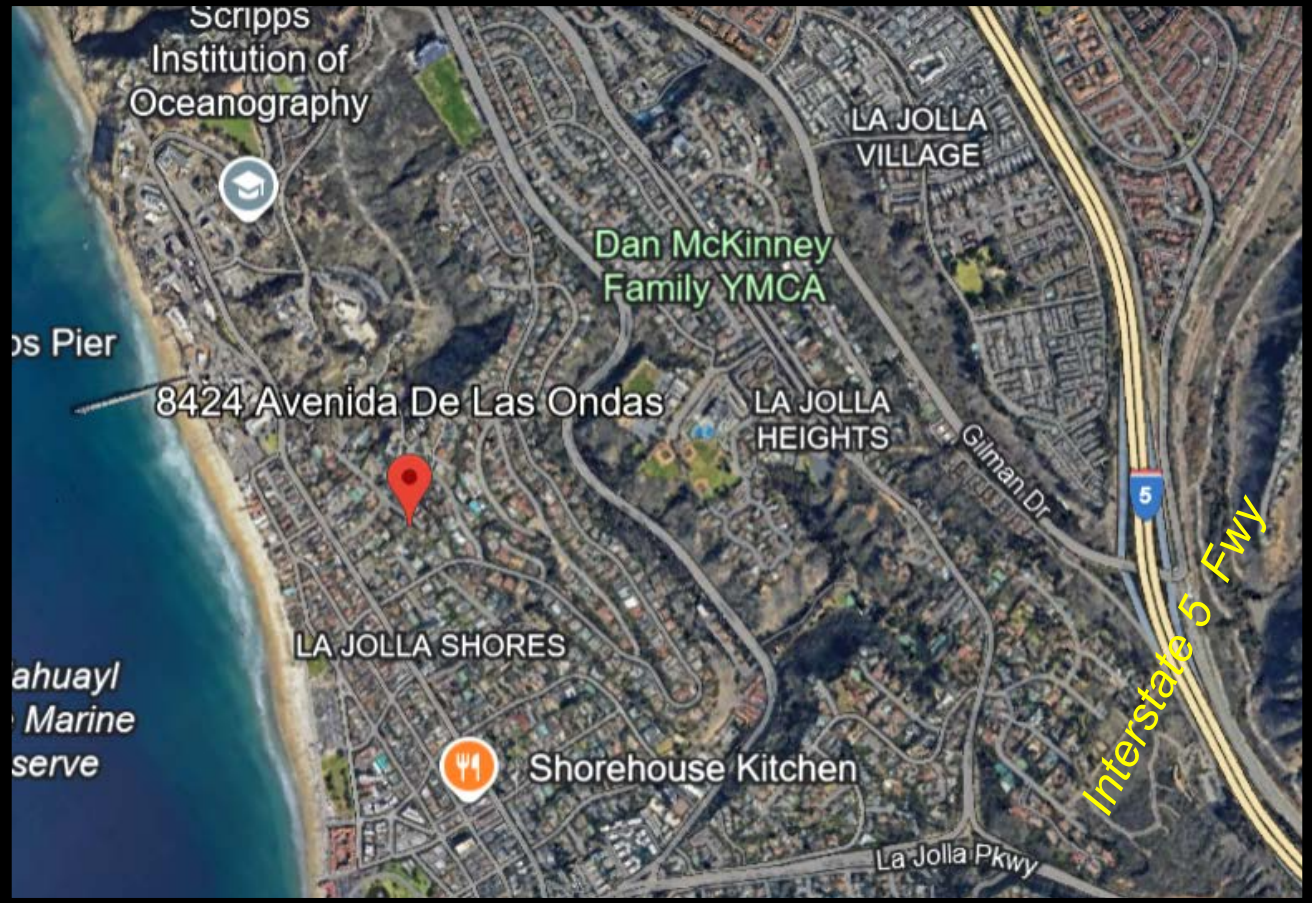
Will Rogers

Will Rogers, Development Project Manager
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Environmental Exemption
6. La Jolla Community Planning Association Recommendation

7. La Jolla Shores Planned District Advisory Board Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Aerial Photo

8424 Avenida de las Ondas
PTS-0675102





- Legend
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
 - E Elementary School
 - J Junior High School
 - H High School
 - S School
 - L Library
 - F Fire Station
 - PO Post Office



Project Location

Community Land Use Map



La Jolla Community Plan
City of San Diego · Planning Department



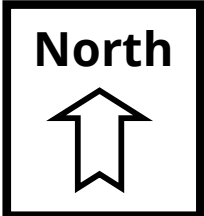
Figure 1

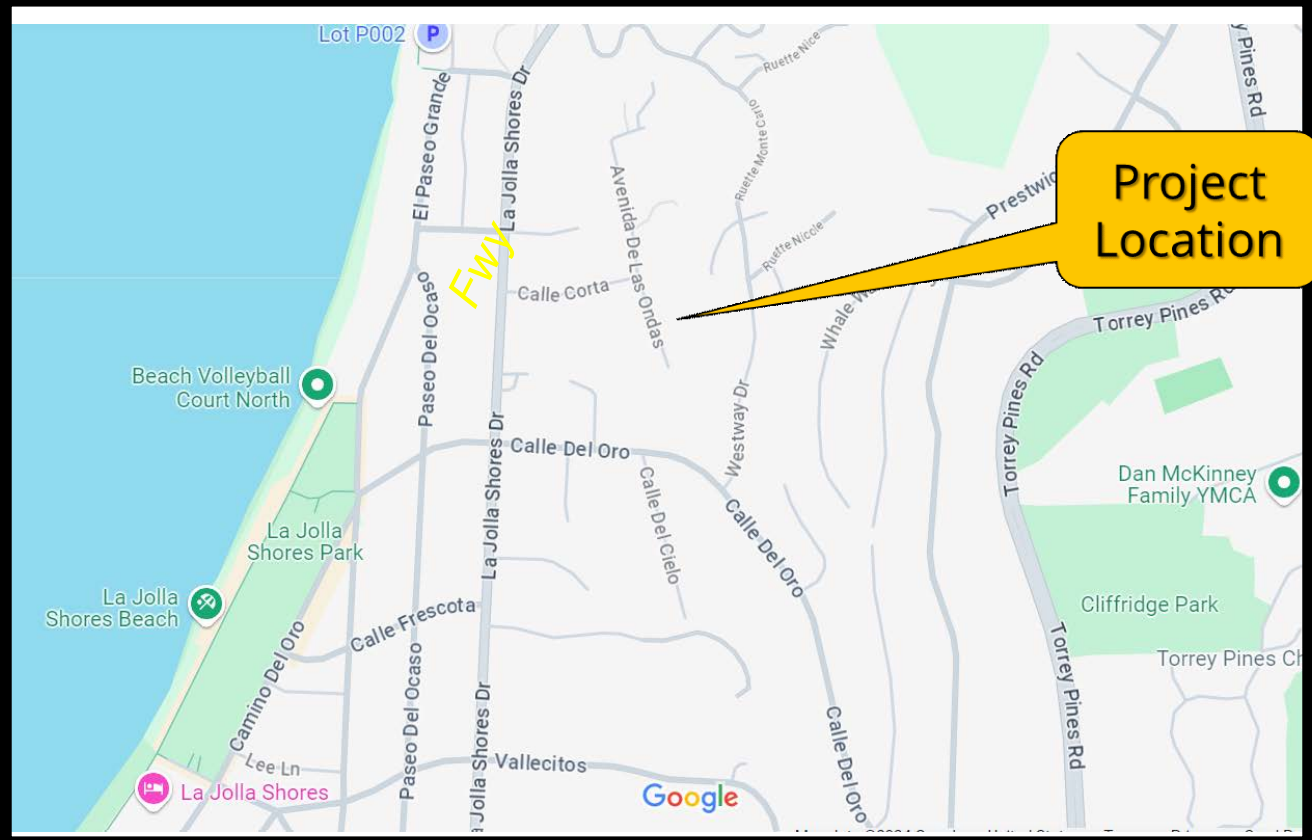
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9/19/2005 - 2:45:57 PM



Land Use Plan

8424 Avenida De Las Ondas
Project No. PRJ-0675102





Location Map

8424 Avenida de las Ondas
Project No. PRJ-0675102



HEARING OFFICER RESOLUTION NO. HO-24-049
COASTAL DEVELOPMENT PERMIT NO. PMT-2528041
SITE DEVELOPMENT PERMIT NO. PMT-2541139
8424 AVENIDA DE LAS ONDAS - PROJECT NO. PRJ-0675102

WHEREAS, Diego Coppel Sullivan, Owner/Permittee, filed an application with the City of San Diego to remodel an existing 4,362-square-foot single-family residence into a 7,488-square-foot, two-story residence with a detached garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT- 2528041 and Site Development Permit No. PMT- 2541139) on portions of a 0. 47-acre site;

WHEREAS, the project site is located at 8424 Avenida de Las Ondas in the LJSPD-SF zone of the La Jolla Shores Planned District and the Coastal Overlay Zone (Non-Appealable) within the La Jolla Community Plan;

WHEREAS, the project site is legally described as: LOT 9 OF LA JOLLA SHORES TERRACE, IN THE CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2996, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 29, 1953, APN 348-13-203.

WHEREAS, on October 16, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-2528041 and Site Development Permit No. PMT- 2541139 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT- 2528041 and Site Development Permit No. PMT- 2541139:

A. COASTAL DEVELOPMENT PERMIT SDMC Section 126.0708

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to remodel an existing 4,362-square-foot single-family residence into a 7,488-square-foot, two-story residence with a detached garage with associated site improvements on a 0.47-acre site. The project is approximately 0.25 miles from the Pacific Ocean. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) does not identify any public accessways across or adjacent to the site as defined in Sub-area C in Figure 6, page 23 of the Community Plan. The proposed development's roof height is 25'-1 1/2" at the ridge line. Maximum structure height is 30'-0" at the center of the property, which complies with the City's 30-foot coastal height limitation. The project site does not contain and is not adjacent to (and will therefore not impact) public views listed on the Community Plan identified Public Vantage Points Map (Figure 9). Therefore, the project will not impact public views to and along the ocean or other scenic coastal areas and is consistent with the goals of protecting the scenic coastal views and public accessways as specified in the Community Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is previously graded and developed with an existing single-family dwelling unit. A review of resource maps, and aerial and street-level photography shows that the project site does not contain any environmentally sensitive lands. The project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands of the City of San Diego's (City) Multiple Species Conservation Program. The project site is a previously graded subdivision that does not contain steep hillsides or floodplains. In addition, the project site is in a developed subdivision with no drainage impacts to adjacent properties and the project has been conditioned to comply with Storm Water Regulations that will reduce runoff impacts to the Pacific Ocean. Therefore, the project will not adversely affect environmentally sensitive lands.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed development conforms with the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and complies with all regulations and goals identified in the La Jolla Shore Planned District. The site is consistent with

the Community Plan by constructing a new single-family home within the La Jolla Community to meet housing needs. The project site is designated for low density residential (0-5 dwelling units per acre) per the Community Plan (Figure 1). The project includes one single-family dwelling unit on one parcel. The project density of approximately 2.1 dwelling units per acre on 0.47-acre site implements the prescribed density, as well as a key policy of the Community Plan, which is to maintain La Jolla as a primarily residential and recreational oriented community by protecting its residential areas and historic resources, maintaining its public recreational areas, and enhancing its commercial districts. Therefore, this project is consistent with implementing the goals found in the Community Plan and Local Coastal Program. .

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project is not located between the first public roadway and the sea; therefore, this finding does not apply.

B. SITE DEVELOPMENT PERMIT [SDMC 126.0505]

Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

Please see Findings A.1.and A.1.c above, which are hereby incorporated by reference. The proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes to demolish an existing 2-story, 4,362 square-foot single family residence and construct a new 7,488 square-foot 2- story residence with associated site improvements on a 0.47-acre site.

The project is conditioned to provide an Encroachment Maintenance Removal Agreement for any private improvements including landscape and irrigation in the public right-of-way, which facilitates public safety for pedestrians. The project will be required to obtain a construction permit with best management practices to ensure site drainage and run-off are directed to the right-of-way, further facilitating public health, safety, and welfare. The permit for the Project included various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code in effect for the Project.

Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety, and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Coastal Development, Site Development Permit, and other regulations and guidelines pertaining to the subject property per the San Diego Municipal Code. Therefore, the proposed development as originally approved without any new conditions would not place the occupants of the proposed development or the immediate community in a condition dangerous to their health or safety.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As previously stated in finding A.1.c. above and hereby incorporated by reference, the project is subject to and complies with the La Jolla Shores Planned District's (LJSPD) SF-Zone regulations and Coastal Overlay Zone regulations. The Planned District's General Design regulations state that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area."

The architectural form proposed is modern and includes changes in building material, proportional fenestration, and varied building height. Materials include a light gray standing seam roof, stained wood vertical panel walls, light gray stucco walls, natural stone veneer with differing finishes, and large, black-painted steel fenestrations. The architecture is similar in nature to a few homes in the vicinity. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks, height and bulk and scale with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone. No deviations are requested. Therefore, the proposed project will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. PMT-2528041 and Site Development Permit No. PMT-2541139 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT-2528041 and

Site Development Permit No. PMT- 2541139, a copy of which is attached hereto and made a part hereof.

Will Rogers
Development Project Manager
Development Services

Adopted on: October 16, 2024

IO#: 24008864

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008864

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-2528041
SITE DEVELOPMENT PERMIT NO. PMT-2541139
8424 AVENIDA DE LAS ONDAS - PROJECT NO. PRJ-0675102
HEARING OFFICER

This Coastal Development Permit No. PMT-2528041 and Site Development Permit No. PMT-2541139 is granted by the Hearing Officer of the City of San Diego to Diego Coppel Sullivan, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) sections 126.0505 and 126.0708. The 0.47-acre site is located at 8424 Avenida de Las Ondas in the LJSPD-SF zone of the La Jolla Shores Planned District, and the Coastal Overlay Zone (Non-Appealable) within the La Jolla Community Plan. The project site is legally described as: LOT 9 OF LA JOLLA SHORES TERRACE, IN THE CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2996, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 29, 1953, APN 348-13-203.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to remodel an existing 4,362-square-foot single-family residence into a 7,488-square-foot, two-story residence with a detached garage (as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] October 16, 2024, on file in the Development Services Department.

The project shall include:

- a. A 4,408-square-foot upper level, a 1,421-square-foot lower level, 726-square-foot basement level and 933-square-foot garage, for a total of 7,488 square feet;
- b. An upper-level deck and lower-level deck with a swimming pool and landscape areas; and
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 30, 2027.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State, or City laws, ordinances, regulations, or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to

comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

CLIMATE ACTION PLAN REQUIREMENTS:

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for landscape and irrigation located within the Avenida de Las Ondas right-of-way, satisfactory to the City Engineer.

12. Prior to the issuance of any building permit the Owner/Permittee shall assure, by permit and bond, the construction of a new curb and gutter per current City standards, adjacent to the site on Avenida De Las Ondas.

13. Prior to the issuance of any building permit the Owner/Permittee shall assure, by permit and bond, the construction of a new 12 ft driveway on Avenida De Las Ondas, per current City standards.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the applicant shall submit a Storm Water Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

PLANNING/DESIGN REQUIREMENTS:

19. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose unless otherwise authorized in writing authorized by the appropriate City decision-maker in accordance with the SDMC.

20. Guest quarters or habitable accessory buildings shall not be rented, leased, or sold as a separate dwelling unit.

21. Guest quarters or habitable accessory buildings shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees.

22. Before a Building Permit is issued for a guest quarters or habitable accessory building, the record owner shall submit a signed agreement with the City that neither the primary dwelling unit nor the guest quarters or habitable accessory building shall be sold or conveyed separately. The City will provide the agreement to the County Recorder for recordation.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

LANDSCAPE/ DESIGN REQUIREMENTS:

25. Prior to the issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water, and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to the issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services

Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

27. Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

30. All required landscaping shall be maintained consistent with the Landscape Standards in a disease, weed, and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 16, 2024, and Resolution Number **XXXXX**.

Coastal Development Permit No. PMT-2528041
Site Development Permit No. PMT-2541139
Date of Approval: October 16,2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Will Rogers
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Diego Coppel Sullivan

By _____
Diego Coppel Sullivan
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 6

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: La Jolla Scenic Drive North Single-Family Residence/1104699

SCH No.: Not Applicable

Project Location-Specific: 8341 La Jolla Scenic Drive North San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit (CDP) and Site Development Permit (SDP) for the construction of a 6,196 square-foot two-story single family residence with an attached 3-car garage on a 0.58-acre vacant residential lot. The project is located at 8341 La Jolla Scenic Drive North in the Single Family Zone of the La Jolla Shores Plan District, Coastal Overlay Zone (non-appealable), and the Coastal Height Limit Overlay Zone within City Council District 1.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Sarah Potter, Clearstory Construction 1236 Chalcedony Street, San Diego, CA 92109 (650) 475-6868

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction).
- Statutory Exemptions:
- Other:

Reasons why project is exempt: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction). Section 15303 allows for the construction of new small structures including accessory structures. Since the project would be construction of s single family residence in a residential use area and no environmental would occur, the exemption was deemed appropriate. None of the exceptions described in CEQA Guidelines Section 15300.2 apply.


Lead Agency Contact Person: Kelli Rasmus

Telephone: (619) 557-7990

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA.

 _____
Signature/Title Senior Planner

Date May 13, 2024

Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:



THE CITY OF SAN DIEGO

Date of Notice: April 26, 2024

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP or I.O. No. 24009702

PROJECT NAME / NUMBER: La Jolla Scenic Drive North Single-Family Residence /1104699

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 8341 La Jolla Scenic Drive North, San Diego, CA 92037

PROJECT DESCRIPTION: Coastal Development Permit (CDP) and Site Development Permit (SDP) for the construction of a 6,196 square-foot two-story single family residence with an attached 3-car garage on a 0.58-acre vacant residential lot. The project is located at 8341 La Jolla Scenic Drive North in the Single Family Zone of the La Jolla Shores Plan District, Coastal Overlay Zone (non-appealable), and the Coastal Height Limit Overlay Zone within City Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303(a) (New Construction).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303(a) (New Construction). Section 15303(a) allows for the construction of one single family residence or a second dwelling unit in a residential zone. Since the project would be construction of a single-family residence in a residential use area and no environmental impacts would occur, the exemption was deemed appropriate. None of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER: Will Rogers
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5283/ rogersrw@sandiego.gov

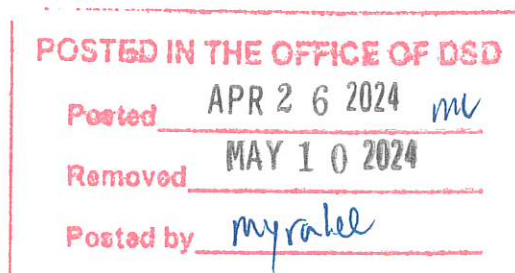
On April 26, 2024, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within 10 business days from the date of the posting of this Notice (May 10, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



La Jolla Community Planning Association

Final Minutes

President: Diane Kane

PO Box 889, La Jolla CA 92038

1st Vice President: Greg Jackson

<https://lajollacpa.org>

Regular Trustee

2nd Vice President: Brian Will

info@lajollacpa.org

Meeting

Secretary: Suzanne Weissman

2 December 2021, 6pm

Treasurer: Larry Davidson

Regular Monthly Meetings: 1st Thursday, LJ Recreation Center, 615 Prospect St
(In accordance with AB361, meetings are being held online during the California public health emergency)

Links for Registration and Materials pages can be found at <https://lajollacpa.org/2021-agendas/>

Viewing, listening, and speaking at meetings require registration. To have attendance counted toward membership or voting, registration must be in the member's name. Meetings are recorded, and recording is publicly available. **Refer to projects or issues, not to applicants or opponents.** For action items, chair calls on public, then Trustees, closes discussion upon consensus, and calls for motions. Trustees vote by roll call or show of hands.

The public is encouraged to participate in Committee/Board meetings before LJCPA discussion:

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Andy Fotsch, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair Brian Earley, 3rd Wednesday, 4:00 pm

Quorum Present: Ahern, Boyden, Costello, Courtney, Davidson, Hostomska, Jackson, Kane, Manno, Neil, Rasmussen, Rudick, Shannon, Steck, Weiss, Weissman. **Absent:** Ish

1. Call to Order (6:03 pm, ACTION items)

1.1. Approve Agenda (ACTION)

Motion: Approve as presented, (Steck/Jackson) No objections, Motion carries

1.2. Approve Minutes (ACTION)

Neil: Item 8.3, drive-throughs in TPA's, **Boyden:** Add Courtney non-agenda trustee comment to Item 8.4

Motion: Approve as corrected, (Jackson/Boyden) No objections, Motion carries

2. Non-Agenda Public Comment (information only)

Items *not* on the agenda. 2 minutes or less. No votes or action.

Catherine Douglass: For many years we have experienced issues with stuck trucks at the base of Hillside Dr. and Torrey Pines Rd. Multiple community groups and individuals have worked for years to solve this issue. These stuck trucks are impacting traffic flow and more importantly they are adversely affecting response times of emergency personnel. The chair of T & T witnessed one this morning with an extension to its rear which caught the pavement which lifted the wheels in the air. The driver was stepping on the gas with the wheels spinning 2 to 3 feet off the ground as he passed. It was blocking traffic. In August I asked SDPD for a count of stuck trucks over the past 3 years. They logged 42 calls for service to this location; they were listed as hazards, but the assumption is that most were stuck trucks. I spoke to SDPD this week and asked that citations be given to all truck drivers ignoring this signage. They are advising their officers to do so. It is my understanding that the city has agreed to re-engineer this location, but nothing has commenced. Clearly driving apps are a contributing factor to this issue.

Kane: Is there anything we can do to speed things up. **Reply:** T & T is going after the City for things they promised. I am working with SDPD to make sure citations are issued, I think \$500. I have clarified that with them and have sent an email to our Community Relations officer asking if a citation was issued today for the above incident.

Neil: On behalf of Bob Evans of Park & Rec.: the removal of the construction fence and the grand opening should occur at Scripps Park on December 22, barring any delays. Kiwanis may move the fence a little for their event on Dec. 11, but the fence doesn't come down until Dec. 22. A community member commented that the coat hangers with metal protrusions were dangerous so they will put balls made of a plastic material painted bright colors on the ends of those hangers, so people don't run into them.

Manno: The Election Committee met on November 22, on Zoom chaired by Diane Kane. Larry Davidson, David Dunbar, Janie Emerson, Suzanne Weissman and I were present. Following decisions were made:

- Send initial email letter to those LJCPA members who have attended at least one meeting encouraging them to attend in Dec., Jan., or Feb. meetings to qualify to run for trustee.
- Send follow-up email letters reflecting responses prior to the Jan, Feb. meetings.
- Weissman provided current list of potential candidates and will provide updated list after each meeting.
- We will divide the list of potential candidates among committee members to call and/or email each person and provide results to committee members.
- We do not have telephone numbers for all candidates so effort should be made to obtain them. Email only is not enough for recruitment.
- Assume we will follow last year's vote by mail protocol; it was very successful.
- We will wait until CPG reforms are officially in place to amend our election protocol.
- Updates among committee members will be done by email. Next meeting to be decided.

3. Consent Agenda (consolidated ACTION item)

The Consent Agenda enables LJCPA unanimously to ratify recommendations from joint Committees or Boards that findings CAN or CANNOT be made. Those recommendations become LJCPA's. The public may comment on consent items, but there is no presentation or debate. Anyone may request a consent item be pulled for full discussion by LJCPA at a subsequent meeting.

3.1. 6208 Avenida Cresta (690811, Lyon)

(Process 3) Coastal Development Permit to demolish the existing residence and portion of garage to construct a new two story, single-family residence with attached garage, balcony and patio for a total gross square footage of 7,497 at 6208 Avenida Cresta. The 0.20-acre site is in the RS-1-5 zone and Coastal (Appealable Area) Overlay zone within the La Jolla Community Plan and Council District 1.

DPR 11/9/21: findings CANNOT be made, 6-0-1. Increased height of previously conforming garage walls, transition lacking to existing structures, bulk and scale too

large as viewed from street, landscape does little to improve the perceived bulk and scale, black vertical walls and roof overhangs encroach into front setback.

3.2. 7768 Prospect PI (695190, Bonnet)

(Process 2) Coastal development for the conversion of an existing 192 square foot non-habitable accessory structure into a new 523 square foot Companion Unit, and the addition of 230 square feet to an existing detached garage, located at 7768 Prospect Place. The 0.17-acre site is in RS-1-7 zone, Coastal (Non-Appealable) overlay zone, CHLOZ overlay within the La Jolla Community Plan area. Council District 1.

- **DPR 11/9/21: findings CAN be made, 6-0-1**

3.3. 7951 Paseo Del Ocaso (691672, DeHenzel)

(Process 3) Site Development Permit and Coastal Development Permit to demolish an existing single family residence including garage, pool, and shed. Construction of a new 3,355-square-foot, two-story, single-family residence with a roof access and attached two-car garage. The 0.17-acre site is located at 7951 Paseo Del Ocaso in the LJSPD-SF Zone and Coastal Overlay zone (Non-Appealable-2) within the La Jolla Community Plan area. Council District 1.

- **PRC 11/15/21: findings CANNOT be made, 4-1-1. Lack of 2nd story articulation, excessive massing on side elevations.**

3.4. 8424 Avenida de las Ondas (675102, Ritter)

(Process 3) Coastal Development Permit & Site Development Permit to an existing 2-story, 4,362 sf single family residence at 8424 Avenida De Las Ondas. The project consists of a 906 sf addition to the home, a 686 sf addition to the garage for a total of 5,954 sf, and associated site improvements. The 0.47-acre site is in the La Jolla Shores Planned District Single Family Zone and Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan area, and Council District 1.

- **PRC 11/15/21: findings CAN be made, 5-0-1**

3.5. 7792 Senn Way (692097, Pallamary)

(Process 3) CDP and SDP to construct a 2-story, 18,436-sf single family residence over basement/garage, a detached 3,462-sf gym, pool/spa, and 2,670-sf outdoor basketball court on a vacant lot at 7792 Senn Way. The 5.4-acre site contains ESL (MHPA Subarea 114, Steep Hillside, & sensitive vegetation) and is in the LJSPD-SF Zone, Coastal (Non-App. Area 1) Overlay Zone, Coastal Height Limit. OZ, Fire Brush Zones, and High Fire Severity Zone within La Jolla CP, andxt CD 1.

- **PRC 11/15/21: findings CAN be made, 5-0-1**

Motion: Approve Consent Agenda as presented: (Jackson/Boyden) **Vote:** no objections. Motion carries.

4. Elected Officials, Agencies & Other Entity Representatives

- 4.1. Council 1 (Joe LaCava): Steve Hadley, 619-236-6611, srhadley@sandiego.gov

Hadley: The City Council and community leaders have pushed to have the Scripps Park project opened as quickly as possible so some final work may still need to be done after the first of the year such as the black vents need painting and the ball on the hangers painted. Please be patient; the project is not completely finished but these minor things can be done later. The goal is to have restroom open before the holidays. Re Hillside Dr. there was pushback when city engineers wanted to regrade that dip; I'm not sure if that slowed the project. I will try to find out what became of that project.

Neil: I applaud Council member LaCava's department for what they have done to complete the Scripps Pavilion and thanks to Parks & Rec. It is going to be beautiful.

Kane: Will restrooms be available 24/7? **Reply:** I don't see any gates.

Neil: I don't see how they would close it off but there could be things I am not aware of. My impression is that they will be open just as at Kellogg Park.

- 4.2. SD Mayor's Office (Todd Gloria): Matt Griffith, 619-964-7748, griffithm@sandiego.gov not present

- 4.3. County 4 (Nathan Fletcher): Aaron Burgess, 619-531-5022, Aaron.Burgess@sdcountry.ca.gov not present

- 4.4. Assembly 78 (Chris Ward): Rachel Granadino, 619-413-0674, rachel.granadino@asm.ca.gov not present

- 4.5. Senate 39 (Toni Atkins): Cole Reed, 619-645-3133, cole.reed@sen.ca.gov

Cole Reed: The state legislature is currently in recess. Oct. 9 was last day for Governor to act on all legislation. He signed 770 bills and vetoed 66 of those. Two were Senator Atkins's: SB1, sea level rise mitigation adaptation act, SB9, duplex conversion and lot split act. Senator Atkins has been spending time in her district attending community events, veteran's events. Latest event was ribbon cutting ceremony at Scripps Institute of Oceanography to launch SOARES project to research impacts of oceans on atmosphere to further meaningful research for studying climate change. Caltrans began accepting applications for their Clean California Local Grant Program, a \$300 m. program for local transit agencies and tribal government to submit proposals to Caltrans for litter abatement or beautification. Each agency can receive multiple grants that can be used for local streets.

Kane: In La Jolla we are developing programs for beautification. Could we work with the Senator on that? **Reply:** I will reach out to my office; I don't now how much we can be involved in the grant program.

- 4.6. SD Planning: Marlon Pangilinan, 619-235-5293, mpangilinan@sandiego.gov not present

- 4.7. UCSD Planning: Anu Delouri, 858-610-0376, adelouri@ucsd.edu

Delouri: Community update: Return to Learn program successful, sustainability efforts recognized, capital improvements highlighted North Torrey Pines Living and Learning Neighborhood opening this fall. This is a transformational project which added 2,000

undergraduate beds. UC San Diego provides community contributions that extend beyond research, education, health care programs that include relieving local traffic congestion by adding devices on traffic lights to smooth traffic flow and by partnering with local agencies to improve public services. On Nov. 21, we celebrated with MTS to officially open the UCSD Blue Line Trolley. There are 2 stations on our campus and 3 others nearby. UCSD is proud to have partnered with the other local transportation agencies.

Kane: Will you be assessing the impact on traffic congestion with the opening of the Blue Line Trolley? **Reply:** That will be a continuous process when the trolley begins to operate regularly.

Kane: During the redistricting process students voiced concern about lack of affordable housing. With the opening of many student beds on campus, why is this such an issue with the students? **Reply:** We have ~30,000 undergraduate students, but housing for 17,000 students. 2,000 more are under construction. We continue to work on how to provide additional student housing. With Covid we converted our triples into doubles which caused a loss in housing causing a setback

Kane: Any updates on the hiking trails in LJ Farms? **Reply:** Access to the Knoll is being evaluated for safety. We received feedback from lifeguards about people going through the Knoll to treacherous trails to Black's Beach getting stuck. We installed signage along the beach and the Knoll. I will get back to you on plans for reopening. Docent tours are available on the Knoll.

Boyd: Comments on traffic lights on La Jolla Village Drive need adjustment. **Reply:** We are not doing any new traffic studies. We reach out to City traffic requesting them to study adjacent intersections that seem to need adjustments; they adjust them as needed. I am happy to put in a request.

Trace Wilson: Have you investigated a grade separated pedestrian overpass at TP Rd. and LJ Village Dr.? **Reply:** I don't believe we have studied that. There is an overhead bridge at LJ Village Dr. and Villa LJ Dr. built by the City.

Courtney: Why not close the crosswalk at the intersection mentioned above. It is dangerous for pedestrians and there is the pedestrian overpass nearby? **Reply:** I will bring that up with University City lead manager who is working on the UC plan update to evaluate.

5. Local Project Reviews (action items as noted)

These may be *de novo* considerations. Actions by committees are listed for information only. Written comments can be submitted via the Materials & Comments page, link above. In general, applicants for each project have 10-15 minutes to present, an individual representing organized opponents (if there are such) has 10 minutes to respond, and members of the public have 15 minutes for 2-minute comments not already covered in presentations. Trustees then discuss the project for 20 minutes, at which point the President may call for motions and vote.

(none)

6. City/State/UCSD Project Reviews (action items as noted)

(none)

7. Officer Reports (action items as noted)

7.1. President

Kane: I received a response to our letter about Boomer Beach from Andy Field that I will send to trustees - basically a non-response.

7.2. Secretary

Weissman: LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age.

But you do not need to be a member to attend and participate in the meetings. The La Jolla Community Planning Association welcomes the community to our public meetings and encourages expression and discussion of all viewpoints in our open forums.

Those in attendance tonight who are not already members or who need another meeting or two to run for trustee are encouraged to attend and consider being a trustee to give our community a strong voice at City Hall. Please encourage your friends and neighbors to join and participate in the community groups to let our city officials know many in LJ want to improve the quality of life in our community.

Information on how to join this group, the membership application and list of current members is on the Website – LaJollaCPA.org. - Attendance & Membership

7.3. Treasurer

Beginning Balance as of Nov 1, 2021	\$ 796.23
Total Income	0.00
<u>Total Expenses</u>	<u>0.00</u>
Net Income/(Expenditure)	0.00
Ending Balance of Nov 30, 2021	\$ 796.23

Donations can be made by mailing a check made out to the LJCPA. Email the Treasurer via info@lajollacpa.org for instructions and address.

8. Policy Discussions, Reviews, & Recommendations (action items as noted)

8.1. State Redistricting (Amorao) TIME CERTAIN ~6:15 ACTION

Every 10 years, after the federal government publishes updated census information, California must redraw the boundaries of its Congressional, State Senate, State Assembly and State Board of Equalization districts, so that the districts correctly reflect the state’s population. California voters authorized the creation of the Commission when they passed the VOTERS FIRST Act (Act) in 2008. It authorized the Commission to draw the new district lines. In 2010, the Congressional Voters FIRST Act added the responsibility of drawing Congressional districts to the Commission. The 14-member Commission is made up of five Republican, five Democrats, and 4 not affiliated with either of those two parties. The Commission must draw the district lines in conformity with strict, nonpartisan rules designed to create districts of relatively equal population that will provide fair representation for all Californians.

Andrew Amorao, So. California Field Team Lead for California Citizens Redistricting

Committee responsible for San Diego region and inland empire: Presentation showing slides:

- Different redistricting commissions: State, Counties, Cities, School Districts, Community College districts and water districts.
- Six criteria were described for this commission: equal population, voting rights act, contiguity, communities of interest, geographically compact, nesting districts. Communities of interest defined.
- The commission is especially interested in collecting information on communities of interest and provides many ways to gather this information.
- Draft maps, interactive Map Viewer that provide feedback from websites was described with links for those interested in participating.
- Many ways to provide input were described with links included.
- The commission is very interested in outreach and making it user friendly with chat, phone or in person assistance in SD was described.
- Final District Maps Certified need to go to Secretary of State by December 27, 2021. [See Materials page for details.]

Boyden: Question about map for north part of La Jolla. **Reply:** Updated presentation will be sent to LJCPA website with draft maps. Also reach out to Redistricting Access Center in SD for help with maps.

8.2. CPG Reform (Neil) ACTION

Community Planning Groups (CPGs) are a foundation of public input in San Diego. However, after 45+ years, input from our City Auditor, City Attorney, Council Committee, and the broader community has dictated it's time for change and compliance.

Neil: New Draft Council Policy 600-24 makes the following revisions:

- City separates from planning groups making them independent.
- One goal to reduce workload at DSD & Planning Dept.
- All people in a community will automatically be members of the CPG (Community Planning Group) -- no sense of membership; no attendance requirements for joining or becoming a voting member, no membership form.
- Special callouts for planning groups will be removed from Municipal Code.
- Appeal fees for CPG's will no longer be waived.
- CPG's will no longer be able to use city facilities for meetings or events free of charge -
- Rec Center and library will charge fees.
- CPG's will no longer receive funds from City to support their activities.
- CPG's will no longer have an assigned city planner, Planning dept will support Community Planners Committee (CPC) with no planner attending meetings or elections of CPG's. Groups may ask questions of Planning Dept and may receive help.

- City will no longer be responsible for or maintain records for CPG's. City may provide links to the CPG's websites but will not be involved keeping agendas or minutes. CPG's will remain subject to Brown Act and required to maintain all records and notices.
- 2 year break in service required when CPG voting member has termed out.
- One voter per household.
- To be certified as CPG the CPG will need to submit following documents to be approved by city: new bylaws, new operation procedures, new election procedures, ethical standards, new community participation and representation plan.
- Bylaw shells, administrative guidelines are gone. No templates for these required docs are available.
- CPG's will have to collect demographic data from community participants and report to city to show best effort at community outreach especially renters. Outreach must take form of in person and mailed out letters to community; not enough to announce elections at meetings or Eblast notification. Failure to do this may result in decertification.
- Council Member Joe LaCava (JL) stated that draft policy 600-24 is pretty locked in allowing only minor edits. He expects City Council to vote on this by March 2022 and go into effect by the fall. This approach may be taken with Park & Rec groups as well.

My opinion and of other CPG members is that private developers will be less inclined to present to CPG' s. Emphasis has shifted away from encouraging this type of development review process. LaCava responded that good developers always include community review.

I am announcing that I will not run for reelection when my term expires in March 2022 but will be of assistance during this transition.

Kane: CPC meeting was long, and many interesting questions presented. LaCava was asked if he was informing CPG groups or collaborating with them, as other strategies would be more useful to reform CPG's. He seemed open to tinker at edges, but the proposal as presented seems to be a "done deal." His plan is to get this approved ASAP so if it doesn't work, it can be fine-tuned. The CPC group was skeptical because if this plan doesn't work, many CPG's will be out of business. Several members wanted to put together a committee to address major issues. Many questioned why CPG's should be separated from the City when they had worked for 70 years, instead of amending the City Charter to address inconsistencies noted by Circulate SD, Grand Jury, City Attorney. At a CD 1 CPG briefing meeting with LaCava, he noted that this approach would not be a big issue for the LJCPA. But as reported by Ms. Neil, there will be a lot more work for us, with budget implications and a loss of power. There is a new state regulation that projects can have a maximum of only 5 community meetings and then they are deemed approved. CPG review can take up too many meetings, leaving fewer for city officials.

Boyden: At CPC meeting Wally Wulfeck expressed great concern to Joe LaCava (JL); one particular concern was loss of funding created serious problems for CPG's needing to pay for websites and outreach expenses. Also concerning was limit of 5 meetings for project review

and no longer waiving fees to appeal projects as much as \$1,000. Reason JL took lead on this is that he has 3 more years to his term.

Sally Miller: Sounds like City wants to hear less and less from us. Would like to hear again eloquent message from CPC member presented at end of meeting.

Weiss: Deeply discouraged. Appeals don't make sense anyway b/c deck is stacked in favor of city staff. CPG's viewed as annoyance for many years. Language such as "code of conduct" for Planning Commission requiring not only integrity of the process and support of citizens is not being followed. When CPG's raise questions it seems the City wants to get rid of them. JL has surprised me. This is disenfranchisement of the community. City is enfranchised in actions of City Council, Municipal Code, etc. We need to take this seriously. Need objective criticism. Also CPC meeting was limited to 100 persons while more were kept out due to problems with Zoom account. This was not open meeting; needs to be rescheduled.

Davidson: Discouraged. If DSD did job and had ethical approach, we (CPG's) would not be needed. That has never happened and will not happen as set up now. They are eliminating any oversight which is what we provide without any authority. \$1,000 to appeal is punitive. Indicates how they view us.

Meredith Baratz: What is the issue they were trying to fix with this reform plan?

Neil: City Council looked at complaint from Grand Jury. The City Attorney said SD City Charter does not allow groups that contribute to city decision making to exist under City protection unless boards are appointed or with changes to Council Policy 600-24 or an amendment to City Charter. Joe LaCava indicated he did not think there was a legal footing to amend the City Charter. His assistant, Kathleen Ferrier said City could not appoint over 500 volunteer CPG members. City Attorney opinion re the City Charter is what is driving this.

Kane: Mayor could easily appoint trustees that were elected by sending list of elected trustees to appoint at one time.

Ahern: This happened several years ago possibly when Jerry Sanders was mayor.

I am hearing that planning groups may not be directly advisory to City of SD. In effect will not be heard and be powerless. City needs voice of people who vote for our representatives. We need to remain appointed as an advisory group for them to hear our voice.

Costello: An attack on democracy. It is eliminating chance for local people to reach decision makers. We do provide some useful advice. This is an attempt to quash us by putting in many onerous requirements that will take our time and resources keeping us from offering useful advice.

Fitzgerald: Proposal is an affront to all planning groups. Eliminates all city support, all eligibility requirements for membership and trustees, adds a plethora of new and onerous costs, responsibilities and requirements that can only discourage community participation. This proposal can't be fine tuned. Just say NO. We need to go on record saying NO. This proposal will accomplish what Kelly Broughton, head of Planning Dept, tried to do. I can't see anyone wanting to serve with all these onerous requirements including gathering

demographics so that a city employee can decide whether the group has a satisfactorily balanced board or be subject to loss of city approval. City is eliminating its responsibilities to CPG's who are volunteers to reduce workload of paid city staff.

Will: Is there any recourse through Coastal Comm.? SD has a Local Coastal Program (LCP). If city is stripping CPGs of any power as a resource to the community for discretionary review that is a change to the LCP, a change to the approval process. Will this apply in the coastal zone?

Neil. That came up at the meeting; JL was not concerned because this was a change to a council policy. References to CPG will be removed from the Municipal Code but won't change City's interface.

Miller: They want us to solicit members but won't listen to us. Why would anyone join a group?

Merryweather: This is the time to become our own city. For \$2.5 M. it is totally possible. LAFCO, a group that takes communities to be their own city says we have a good chance.

Hadley: Please write to Mr. LaCava individually or as a group. Send them to joelacava@sandiego.gov, copy me. I will make sure your message goes directly to the email he reads often.

Kane: Let's review the comments from the recording of this meeting. This group has strong feelings: I like "just say no." I appreciate comments at the end of the CPC meeting as to why they were not considering changing the City Charter instead of blowing up planning groups. The Charter is old and planning groups were never envisioned as part of the Charter; it needs to be brought up to date rather than discarding a lot of volunteer work and a vehicle for community input.

Weiss: Is anyone at this meeting in favor of this new reform proposal? Not one of 33 attendees responded in favor.

Shannon: Give someone all responsibility, liability, but no voice. This is where you start to disempower a group, community.

Kane: Agree. If this group loses a voice, an ability to represent community, I am happy to submit a resignation. There is no evidence that there are new community members ready to step up if we do the outreach required by this proposal as we currently have a difficult time recruiting volunteers. There will be a vacuum meaning no one gets a voice: a path to autocracy.

Weissman: We have not had much authority for a long time. May not be worth time and effort. How do we say no? just quit?

Kane: JL was asked at meeting whether he was there to inform the group or to collaborate. There was interest in collaboration to see if there could be something worked out that would address the concerns of City and meet needs of CPG's. A win/win.

Fitzgerald: CPG's have not been involved in several major proposals this year, i.e. Parks Master Plan, Homes for All. No input from CPG's then presented as *fait accompli*. Their actions speak louder than their words. All responsibility but no help. They do not want community input. I don't expect any changes. Once broken can't be put back together.

Kane: We will send comments to City Council and CPC will follow up in Jan.

8.3. City Redistricting (Boyden) ACTION

Update on District 1 United actions that LJCPA voted to support at September meeting.

Hadley leaves

Boyden: District One United group meets after every Redistricting Commission meeting to strategize next moves. District One will not remain as it is now. On Nov. 15, a proposal from Clairemont was adopted that seemed reasonable and was sent on to city clerk and to the professional reviewers to analyze. Five more meetings would ensue to entertain public comments. As of yesterday, after 3 of the 5 meetings, they adopted another map that recognized the comments from Torrey Hills, District One United, and others. Two more meetings remain.

Davidson: Positive thing is that District One will keep most of UCSD.

9. Reports from Standing, Ad Hoc, and Other Committees (information only)

None

10. Non-Agenda Trustee Comment (information only)

Opportunity for Trustees to comment on matters not on the agenda, 2 minutes or less. No votes or action unless properly noticed at least 72 hours in advance.

Courtney: The streets in LJ Village are cluttered and difficult for handicapped and will continue removing the use of our PROW. We need to try to add some restrictions or regulations to Spaces as Places legislation.

11. Adjourn to next LJCPA meeting

Regular meeting 6 January 2022, 6pm.



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board
FINAL Meeting Minutes for April 20, 2022
 Virtual Online Meeting

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Suzanne Weissman	Present

1. Call to Order:

Potter called the meeting to order at 10:00 a.m.

2. Agenda:

Weissman moved to approve, Lazerow seconded. Motion passed 4-0-0.

3. Approval of February 16 and March 16, 2022 minutes:

For February 16 minutes Lazerow suggested the following: Page 4 under Presentation, bullet point 3 line 3, capitalize FAR bullet point. Not sure what the material after the comma is trying to say. Page 5 under Presentation, bullet point, line 2 first bullet - delete first sentence re: 'other elevations.' Not sure what this says. There is no existing second story to put something either in front of or behind. (delete last part of sentence). Page 6 bottom under Description line 2, remove the "s" from residences. Page 7 bullet point 3: not sure what that number should be; 21,000 square feet is close enough to half an acre, but not 2100 sf. Page 5, bullet point 8, line 2, change "appl" to "applicant."

Motion:

Lazerow moved to approve, Weissman seconded. Approved 4-0-0

For March 16 minutes, Page 2, bullet point 3, regarding board members, Potter added that the requirement of living within the LJSAB jurisdiction should be removed for an architect or engineer Board member.

Page 5, bullet point 3, not sure what sentence is saying. Put comma after front, two-thirds in rear. No existing second story. Delete last part of sentence. Lazerow agreed.

Page 5, bullet point 3, not sure what sentence says. Put colon after 844 sf, then comma after front. Potter suggested deleting last part of sentence. Potter proposed forwarding to the City the suggestions regarding specific guidelines for LJSPDO proposed projects to be considered minor in scope. Board members agreed and will work with Board Member Weissman on the proposal to be submitted to the Planning Department.

Motion:

Lazerow moved to approve, Potter seconded. Approved 4-0-0.

4. Non-agenda public comment:

Kathleen Neil asked what updates are to the Land Development Code. Staff said updates were submitted regarding revisions about what constitutes minor vs. major project. No response from City. Neil asked made a request for the proposed changes to PDO regarding minor vs major project definitions. Neil asked if Weissman could send notices of workshops. Weissman to copy other members of Advisory Board. Weissman said she is unavailable for June and August LJSAB meetings.

5. Project Review

ACTION ITEM A – PTS 0700217 – 2790 Bordeaux Avenue – *Continued from March 16 Meeting*

Location: 2790 Bordeaux Avenue

APN: 344-111-0500

Description: Proposed remodel and addition to a single-story residence on a 0.21-acre lot. The Applicant is seeking a recommendation that the proposed project is minor in scope (Process 1) from the Advisory Board.

Applicant/Project Contact:

Klaudia Gemballa, Architects Local, Klaudiag@architectslocal.com

Presentation:

- Need decision if project minor in scope
- Scope includes interior and exterior remodel, new roof deck, and covered outdoor patio
- Home built in 1959
- Existing FAR is 0.29, proposed FAR is 0.34. Average FAR in the area is 0.29
- Rear setback reduced
- Letters of support received from adjacent neighbors
- Addition square footage contained in the rear
- Height increase is 6 feet

- Most of structure to demolished is in the interior

Board Comment:

- Potter said remodel was much needed

Public Comment:

- Staff indicated that public comment was received from neighbor and that they support the remodel

Motion:

Potter moved to approve. Weissman seconded. Lazerow commented on whiteness of stucco making house stand out too much. Lazerow asked if there is any plan to change (presenter said no). Motion passed 4-0-0

Action Item B – Project 0675102 – 8424 Avenida de las Ondas

Location: 8424 Avenida de las Ondas

APN: 346-132-0300

Description: Proposed remodel and addition of an existing 4,362sf single-family residence to a 5,178sf single-family residence with attached guest dwelling and detached 3-car garage on a 0.47-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Applicant/Project Contact:

Aaron Borja, Architects Local, aaronb@architectslocal.com

Presentation:

- La Jolla Community Planning Association approved previously
- Sloping site with basement at lower level of site
- Two- story house. project adding approximately 800 sf
- Average FAR .22, project at FAR .25
- Major remodel with CDP, SDP
- Roof increased by 5' 8"
- One-story houses on either side
- Wood cladding exterior
- Impervious paving
- Light grey stucco, marble floors

Board Comment:

- Moser has no concerns. Lazerow asked for clarification if no windows facing toward street. Presenter said windows do exist with vertical louvers facing street

Motion:

Lazerow moved to approve, Potter seconded. Passed 4-0-0

The following items are presented for input. No recommendation will be provided by the LJSPDAB at this time:

Information Item A - Park Residence

Location: 8051 La Jolla Scenic Drive North

APN: 346-732-0500

Description: Proposed addition to an existing 4,149sf single-family residence on a 1.4-acre lot. The Applicant is seeking input and direction on whether the proposed concept could be minor in scope

Applicant/Project Contact:

Jesse Leon, KL Drafting and Design, jesseleon@hotmail.com

Presentation:

- Seeking direction whether minor in scope
- Remodel above garage
- Roof existing height is 22 feet
- New roof proposed height 26 feet
- Interior remodel
- Adjacent owner approves
- East elevation is 300' from neighbor

Board Comment:

- Potter asked which neighbor supported project. Presenter said neighbor to north. Neighbor to south has not responded yet. Lazerow asked for clarification of first floor being below street level. Presenter verified.

Motion:

Lazerow moved to approve as a minor project, though greater than 25% sf increase, neighbor to north has already approved. Information only, no vote taken.

Information Item B - Mayer Guest Quarters

Location: 2370 Avenida De La Playa

Description: Proposal for a 729sf guest quarters to be located in the vicinity of the existing shed (existing shed to be removed) on a 0.49-acre site. The Applicant is seeking input and direction on whether the proposed concept could be minor in scope.

Applicant/Project Contact:

Hallie Swenson, Will & Fotsch Architects, hallie@willandfotsch.com

Presentation:

- Guest quarter located in same area as art studio
- No setbacks increased
- Height is 17 feet. No intention of renting out space, just for family
- Living room, bedroom , bath
- 13 feet to ridgeline on roof
- 120 sf studio expanded to 729 sf guest quarter. A fifteen percent increase in FAR

Board Comment:

- Weissman asked if it's an ADU. Presenter said no, and no CDP required. No kitchen. Lazerow joked that his wife would object to turning an art studio into guest quarters. Lazerow asked if nearest structure on rear neighbor's property is a long distance from the site. Lazerow asked if drainage is a problem. Presenter replied that there was not.

Motion:

Weissman said she would approve as a minor project, if a vote called. (No vote taken, Information only item)

Potter adjourned the meeting at 11:11 a.m.

Next meeting is May 18, 2022.

Minutes taken by Tony Kempton, Associate Planner, Planning Department

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="text-align: center;">Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____


Project Title: Avenida De Las Ondas **Project No. For City Use Only:** PTS-0675102
Project Address: 8424 AVENIDA DE LAS ONDAS LA JOLLA, CA 92037

Specify Form of Ownership/Legal Status (please check):

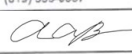
Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Diego Coppel Sullivan Owner Tenant/Lessee Successor Agency
 Street Address: 8424 Avenida De Las Ondas
 City: La Jolla State: CA Zip: 92037
 Phone No.: 6671370438 Fax No.: _____ Email: coppeldiego@gmail.com
 Signature:  Date: February 18th, 2021
 Additional pages Attached: Yes No

Applicant

Name of Individual: Aaron Borja Owner Tenant/Lessee Successor Agency
 Street Address: 710 13th Street Suite 307
 City: San Diego State: CA Zip: 92101
 Phone No.: (619) 535-0537 Fax No.: _____ Email: aaronb@architectslocal.com
 Signature:  Date: 02.18.21
 Additional pages Attached: Yes No

Other Financially Interested Persons

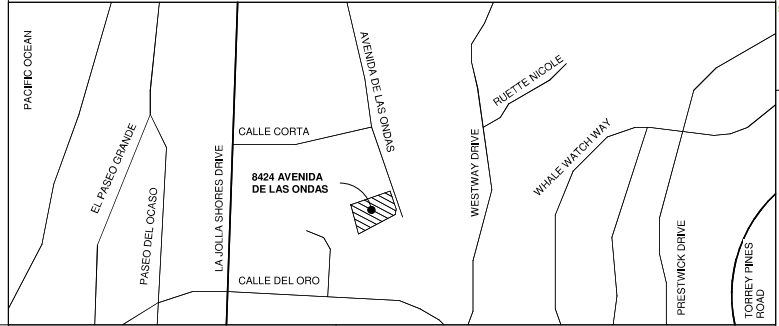
Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

8424 AVENIDA DE LAS ONDAS

COASTAL DEVELOPMENT PERMIT
SITE DEVELOPMENT PERMIT

VICINITY MAP (A7.5)



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 346-132-03-00

OWNER: DIEGO SULLIVAN
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

TITLE SHEET

G001

SCALE: 1/8" = 1'-0"
SHEET: 1 OF 24

PROJECT TEAM

ARCHITECT:
ARCHITECTS LOCAL
CONTACT: AARON A BORJA
710 13TH ST, SUITE 307
SAN DIEGO, CA 92101
619.535.0537 X104
AARONB@ARCHITECTSLOCAL.COM

OWNER:
DIEGO ALBERTO COPPEL SULLIVAN
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
COPPELDIEGO@GMAIL.COM

DESIGN TEAM:
CRUIDO
CONTACT: MANUEL OSUNA
LINARES & SUSANA CASTRO
SSUSANA.LC@GMAIL.COM
WWW.GETCRUIDO.COM

CIVIL ENGINEER:
CIVIL LANDWORKS CORP.
CONTACT: DAVID GARDON
110 COPPERWOOD WAY, SUITE P
(760) 908-8745

SURVEYER:
DANIEL TORAL, P.E., L.S.
TORAL ENGINEERING
15910 CUMBERLAND DR
POWAY, CA 92064
656.254.6895 MBL

LANDSCAPE:
STEVEN SHERMAN, ASLA, IA-CIA, QWEL
EPA WATERSENSE PARTNER
LANDSCAPE ARCHITECT, FLA #2987
O.LT.LANDARCH@GMAIL.COM
3685 VISTA CAMPANA N #41
OCEANSIDE, CA 92057
761.809.3241 / 761.809.3241C

GOVERNING CODES

- 2019 California Residential Code, Title 24, part 2.5
- 2019 California Green Building Standards Code, Title 24, part 11
- 2019 California Building Code, Title 24, part 2, Volumes I and II
- 2019 California Mechanical Code, Title 24, part 4
- 2019 California Plumbing Code, Title 24, part 5
- 2019 California Fire Code, Title 24, part 9
- 2019 California Electrical Code, Title 24, part 3
- 2019 California Building Energy Efficiency Standards, Title 24, part 6

ZONING DATA

SETBACKS:
FRONT TO BUILDING: 25 FT (E)
INTERIOR SIDE 1 TO BUILDING: 5 FT (E)
INTERIOR SIDE 2 TO BUILDING: 10 FT (P)
REAR TO BUILDING: 30 FT (P)

MAX HEIGHT: 30'/40' OVERALL

LOT COVERAGE:
LOT SIZE: 20,276 SF
MAX COVERAGE: N/A
(E) LOT COVERAGE: 3369/20276 = .16
(N) LOT COVERAGE: 5341/20276 = .26
PERCENT INCREASE 10%

FLOOR AREA RATIO:
MAX FAR: N/A
EXISTING GROSS FAR: (4362)/20276 = .22
PROPOSED GROSS FAR: (6762)/20276 = .33
PERCENTAGE INCREASE (6762-4362)/20276 = .11

PROJECT INFORMATION

ADDRESS: 8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

LEGAL DESCRIPTION:
APN: 346-132-03-00
LOT: 09
MAP: 002996
SUBDIVISION: LA JOLLA SHORES TERRACE

ZONING: L1SPD-SF
OVERLAY ZONE: LA JOLLA COMMUNITY PLAN
CAMPUS PARKING IMPACT OVERLAY
COASTAL HEIGHT LIMIT OVERLAY
COASTAL OVERLAY ZONE
COASTAL PARKING IMPACT
PARKING IMPACT OVERLAY

OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
GEO. HAZARD CAT.: 52

EASEMENTS: 10' UTILITY AS REAR PROPERTY LINE

YEAR BUILT: 1954
HISTORIC REVIEW: DESIGNATED NOT POTENTIALLY
HISTORIC (PTS-0676603)
EXISTING USE: 2-LEVEL SINGLE FAMILY HOUSE

PROPOSED USE: 2-LEVEL SINGLE FAMILY HOUSE
W/ DETACHED 3 CAR GARAGE

NUMBER OF STORIES: 2

(P) BUILDING HEIGHT: 25' - 1 1/2"
LOT SIZE: 20,276 SF

(E) BUILDING
(E) LEVEL 1 3,328 SF
(E) LOWER LEVEL 1,034 SF
(E) TOTAL BUILDING SF 4,362 SF

(P) BUILDING ADDITION: 1,467 SF
(P) BASEMENT ADDITION: 726 SF
(P) GARAGE ADDITION: 933 SF
(P) TOTAL ADDITION: 3126 SF

(P) BUILDING: 4,408 SF
(P) LEVEL 1 1,421 SF
(P) LOWER LEVEL (GFA) 726 SF
(P) LOWER LEVEL (BASEMENT) 933 SF
(P) GARAGE: 7,495 SF
(P) TOTAL BUILDING SF: 7,495 SF
(P) GROSS BUILDING SF (W/O BSMT): 6,762 SF

(P) AREA OF REMODEL: 2,958 SF
(P) LOT COVERAGE: 5341 SF

(E) TOTAL DECK: 615 SF
(P) DECK ADDITION: 336 SF
(P) TOTAL DECK: 951 SF

LANDSCAPE/PERVIOUS AREA: 11,043 SF

SCHOOL FEE AREA: 5,829 SF

PARKING SUMMARY: 4 SPACES
(E) NONE
(P) DETACHED 3 CAR GARAGE
(P) EXTERIOR PARKING SPACE

SCOPE OF WORK

REMODEL AND ADDITION TO AN EXISTING 4362 SF, 2 LEVEL, 5 BED, 5 BATH SINGLE FAMILY RESIDENCE WITH 4,960 SF, 2 LEVEL, 5 BED, 5.5 BATH SINGLE FAMILY RESIDENCE WITH ATTACHED GUEST DWELLING & DETACHED 3 CAR GARAGE

REMODEL:
2,958 SF MAJOR REMODEL OF A 2-STORY 5 BEDROOM 5 BATHROOM HOUSE

ADDITION:
1,5 BATHROOM / 1.5 BATHROOM / DETACHED 3 CAR GARAGE / GUEST DWELLING
1467 SF BUILDING ADDITION
726 SF BASEMENT ADDITION
933 SF GARAGE ADDITION

SHEET INDEX

G001	TITLE SHEET
G002	TOPOGRAPHIC SURVEY
G003	GFA CALCULATIONS
G004	PHOTOGRAPHIC SURVEY
G005	PHOTOGRAPHIC SURVEY
G006	L.J.S. SURROUNDING CONTEXT
G007	FIRE ACCESS PLAN
G008	MATERIALS
C001	PRELIMINARY GRADING PLAN
C002	SECTIONS
L-1	TITLE SHEET
L-2	CONCEPTUAL LANDSCAPE PLAN
L-3	LEGEND AND NOTES
L-4	PLANTING DETAILS
L-5	AREA CALCULATIONS
A100	SITE PLAN
A101	DEMO PLAN
A102	PROPOSED FLOOR PLANS
A103	FIRST FLOOR SITE PLAN
A104	ROOF PLAN
A201	NORTH & SOUTH ELEVATIONS
A202	EAST & WEST ELEVATIONS
A203	SECTIONS
A204	SECTIONS
A205	SITE SECTIONS
TOTAL: 25	

LOT SIZE: 20,276 SF






(E) BUILDING
 (E) LEVEL 1 3,328 SF
 (E) LOWER LEVEL 1,034 SF
 (E) GARAGE 0 SF
 (E) TOTAL BUILDING SF 4,362 SF
 (E) GROSS BUILDING SF 4,362 SF

(E) TOTAL DECK: 615 SF
 (P) DECK ADDITION: 336 SF
 (P) TOTAL DECK: 951 SF

(P) BUILDING:
 (P) LEVEL 1 4,408 SF
 (P) LOWER LEVEL 1,421 SF
 (P) BASEMENT (BSMT) 726 SF
 (P) GARAGE: 933 SF
 (P) BUILDING SF (W/ GARAGE & BSMT): 7,488 SF
(P) BUILDING SF (W/O GARAGE & BSMT): 5,829 SF

(P) GROSS BUILDING ADDITION: 1467 SF
 (P) BASEMENT ADDITION: 726 SF
 (P) GARAGE ADDITION: 933 SF
 (P) AREA OF REMODEL: 2,958 SF

LEGEND

-  PROPOSED BUILDING FOOTPRINT
-  PROPOSED BASEMENT AREA (NOT IN GFA; SEE SHEETS A204 & A205)
-  EXISTING FOOTPRINT
-  WOOD DECKING
-  OVERHEAD LINE



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APR. 2019 (20-0940)

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

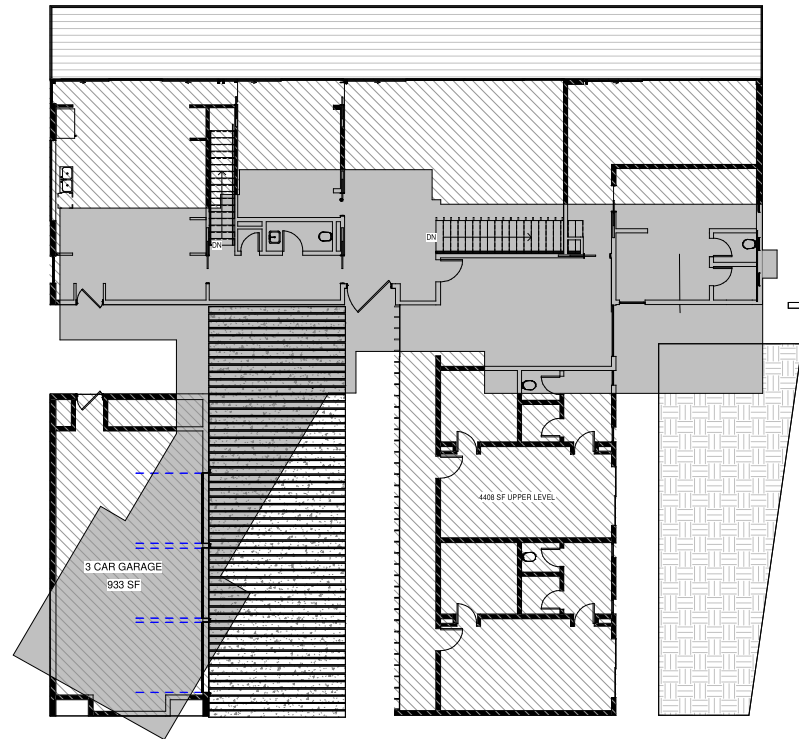
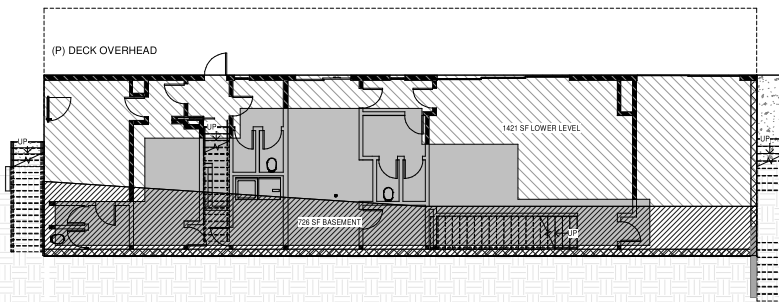
NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT: 190429
 CITY PROJECT: 676603
 DATE: 12/19/2023
 DRAWN BY: rr

GFA
CALCULATIONS

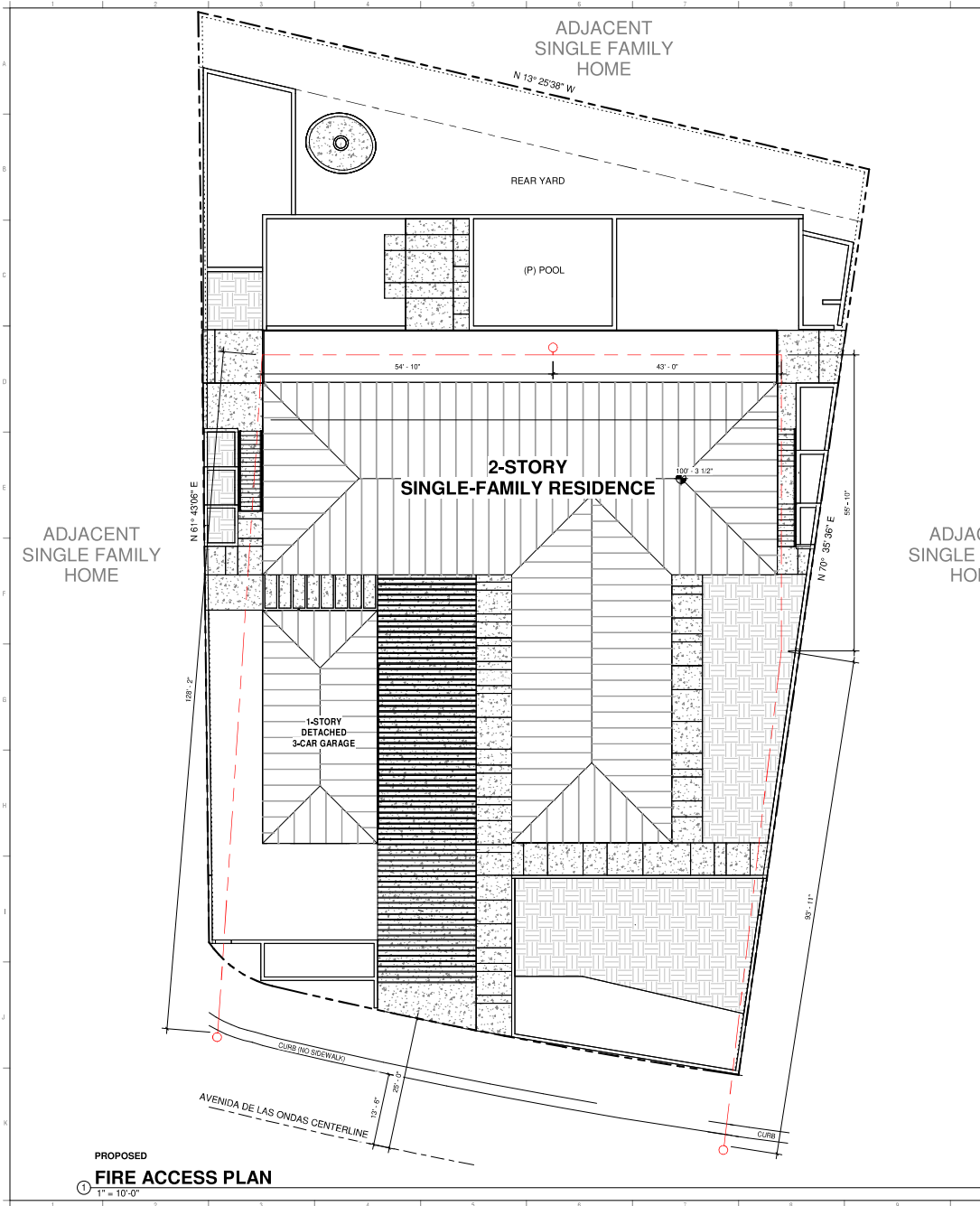
G003

SCALE: As indicated
 SHEET: 3 OF 24



BASEMENT
1/8" = 1'-0"

LEVEL 1
1/8" = 1'-0"



LEGEND

- HOSE PULL START/END
- HOSE PULL LENGTH
- WALL LINE BELOW

GENERAL NOTES

- ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-1+1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROADLANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROADLANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
- ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 1792?

LOCAL

8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340312-0000

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

HOSE PULL LENGTHS

HOSE 1	128' - 2" + 54' - 10"	183' - 0"
HOSE 2	93' - 11" + 55' - 10" + 43' - 0"	192' - 9"

FIRE VICINITY MAP (N.T.S.)

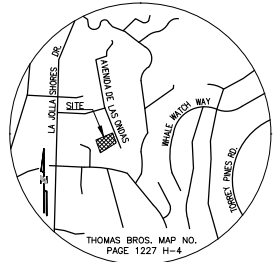
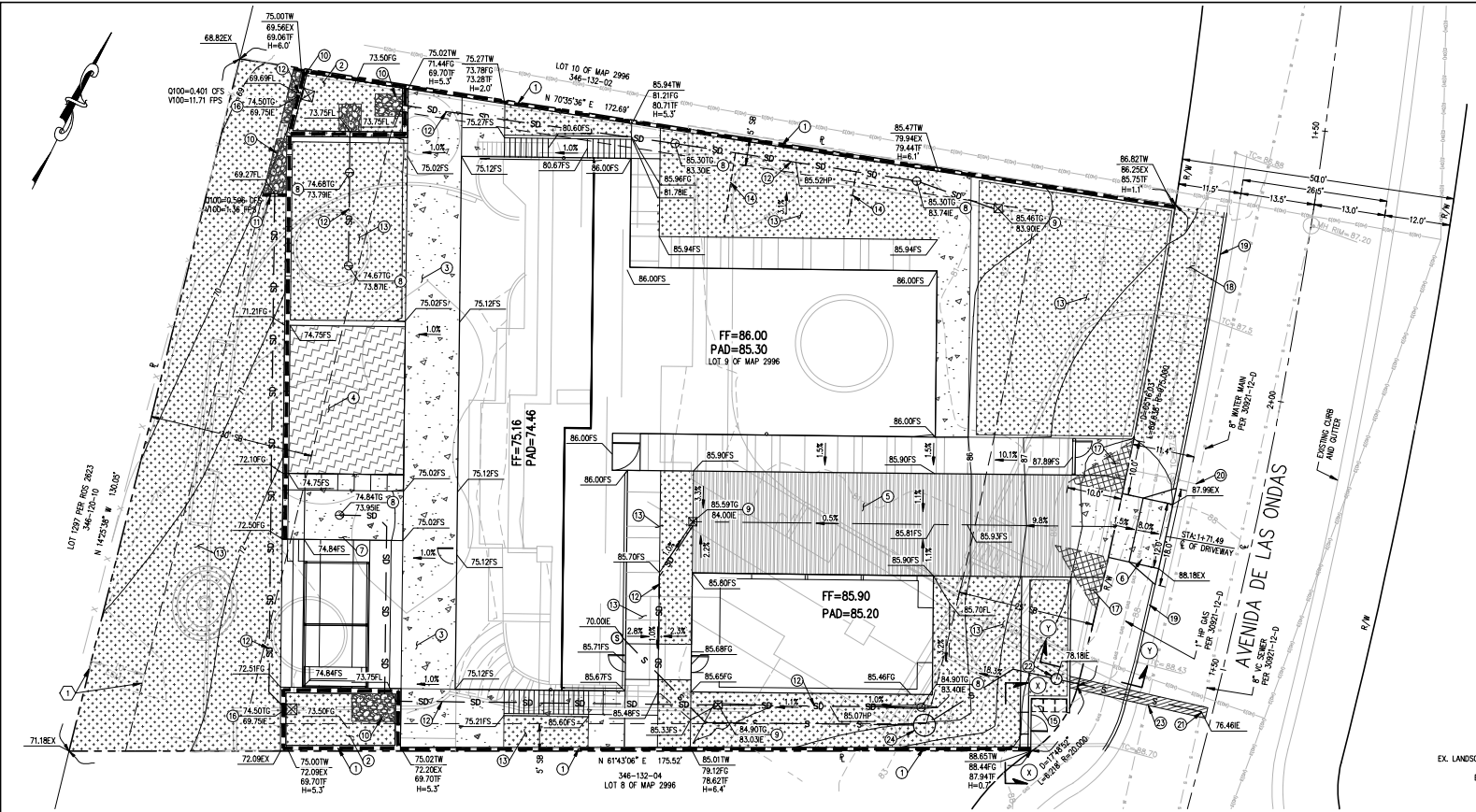
PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

FIRE ACCESS PLAN

G007

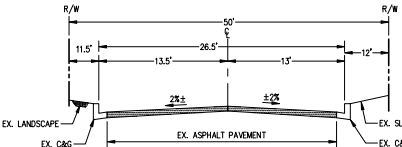
SCALE: As indicated
SHEET: 7 OF 24

ATTACHMENT 10
PRELIMINARY GRADING PLAN
(NOT FOR CONSTRUCTION)



LEGEND:

- PROPERTY LINE/TM BOUNDARY
- RIGHT OF WAY
- CENTERLINE
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- CUT / FILL SLOPE
- DAYLIGHT LINE
- DIRECTION OF DRAINAGE
- CURB AND GUTTER
- PR. STORM DRAIN LINE
- PR. STORM INLET
- PR. YARD AREA DRAIN
- MASONRY RETAINING WALL
- PR. SEWER LINE
- PR. WATER LINE



SITE ADDRESS

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

BENCHMARK

CITY OF SAN DIEGO BENCHMARK
SE CORNER, INTERSECTION OF LA JOLLA SHORES DR & CALLE CORTA
SOUTH CURB RETURN
BRASS PLUG IN TOP OF CURB.
ELEV. 47123

OWNER

DEGO ALBERTO COPPEL SULLIVAN
SAN ANSELMO 524-1 COL. LA PRIMAVERA
CULIACAN, SHALON, MEXICO. CP. 90200

TOPOGRAPHY

TOPOGRAPHIC SURVEY IS BASED UPON A FIELD SURVEY AND REPRESENTS THE TOPOGRAPHIC FEATURE OF THIS SITE. CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

NAME: DATE:

ASSESSOR'S PARCEL NO.

346-132-03

LEGAL DESCRIPTION

LOT 8 OF LA JOLLA SHORES TERRACE SUBDIVISION,
PER MAP NO. 2996, FILED IN THE SAN DIEGO COUNTY
RECORDER'S OFFICE ON MAY 29, 1953.

EARTHWORK DATA

CUT = 420 C.Y. FILL = 1,800 C.Y.
IMPORT = 1,480 C.Y.
TOTAL LOT AREA = 20,267 S.F.
TOTAL DISTURBED AREA = 20,267 S.F.
DEPTH OF CUT = 6.7 FEET
DEPTH OF FILL = 4.4 FEET
DEPTH OF CUT AND FILL DO NOT INCLUDE
GEOCHEMICAL REMEDIATION RECOMMENDATIONS

SITE DATA:

SITE AREAS: 20,267 SF
EXISTING IMPERVIOUS: 14,559 SF
EXISTING PERVIOUS: 5,708 SF
PROPOSED IMPERVIOUS: 10,453 SF
BUILDING FOOTPRINT: 5,640 SF
PROPOSED PERVIOUS: 9,704 SF
LANDSCAPE/PLANTERS: 8,241 SF
PERVIOUS PAVEMENT: 1,430 SF

CONSTRUCTION NOTES:

- 1) CONSTRUCT RETAINING WALL
- 2) CONSTRUCT BIOTENTION BASIN
- 3) CONSTRUCT DECK PER ARCHITECTURAL PLAN
- 4) CONSTRUCT POOL PER ARCHITECTURAL PLAN
- 5) CONSTRUCT PERVIOUS PAVEMENT
- 6) CONSTRUCT DRIVE WAY
- 7) CONSTRUCT CONCRETE PAVEMENT
- 8) INSTALL 8" YARD AREA DRAIN
- 9) INSTALL 18"x18" BROOKS BOX CATCH BASIN INLET OR EQUIVALENT
- 10) CONSTRUCT RIP RAP ENERGY DISSIPATER
- 11) CONSTRUCT CONCRETE HEADWALL
- 12) INSTALL 6" HDPE SD
- 13) PLANTER/LANDSCAPE
- 14) INSTALL 4" PERFORATED PIPE
- 15) REFUSE AREA PER ARCHITECTURAL PLAN
- 16) INSTALL 24"x24" BROOKS BOX OVERFLOW RISER OR EQUIVALENT
- 17) 10' VISIBILITY AREA
- 18) REMOVE EXISTING DRIVEWAY, REPLACE WITH LANDSCAPING
- 19) CONSTRUCT CURB AND GUTTER

EASEMENTS:

- 1) EASEMENT(S) FOR THE PURPOSE(S) SHOWN AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION ON THE MAP OF SAID TRACT

UTILITY NOTES:

- 1) EX. WATER SERVICE TO REMAIN
- 2) INSTALL 6" SEWER LATERAL
- 3) INSTALL SEWER CLEANOUT
- 4) TRENCH RESURFACING
- 5) SEWER PUMP

NOTE

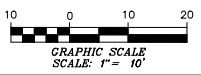
1. ALL UTILITIES PROPOSED ARE TO BE UNDERGROUND.
2. PROJECT IS LOCATED WITHIN ASSS OF LA JOLLA SHORES AND OWNER/PERMITEE IS RESPONSIBLE FOR COMPLY WITH ALL ASSS REQUIREMENTS/REGULATIONS ACCORDINGLY.
3. ALL STORM WATER RUN-OFF FROM THE PROPOSED DEVELOPMENT IS DIRECTED TO PROPOSED LANDSCAPE AREAS PRIOR TO BEING COLLECTED IN BMP BASIN.
4. NO STRUCTURES OR LANDSCAPE AT MATURITY OVER 3 FEET IN HEIGHT MAY BE LOCATED WITHIN THE 10' VISIBILITY AREA.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
7. EXISTING CUTTER ALONG PROPERTY FRONTAGE TO BE REPLACED IF DAMAGE FROM CONSTRUCTION.

COSTAL DEVELOPMENT APPROVAL NO. 2528041
SITE DEVELOPMENT APPROVAL NO. 2541139



ENGINEER

CIVIL LANDWORKS CORP.
110 COPPERWOOD WAY, SUITE P
OCEANSIDE, CA 92038
760-908-8745

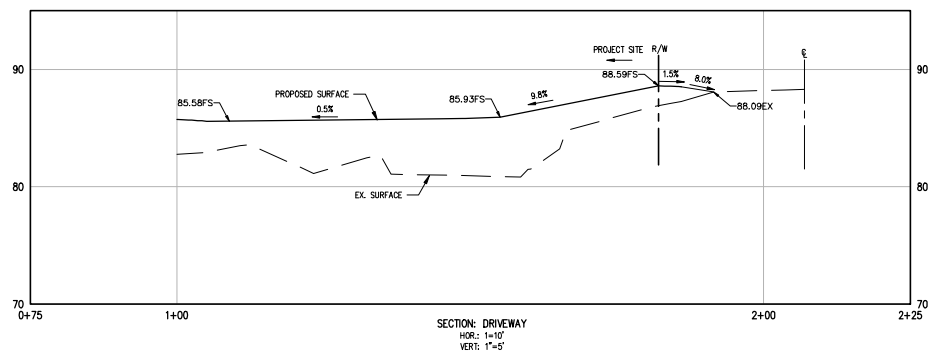
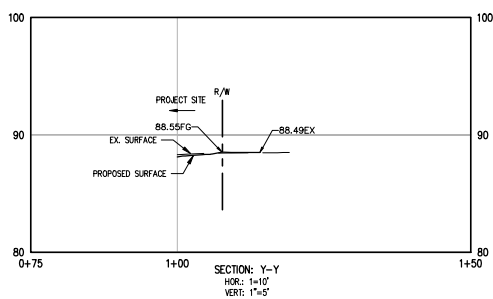
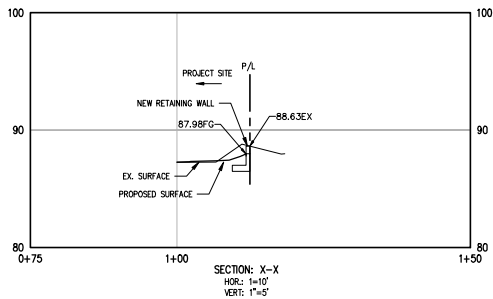


CAUTION!!

EXISTING UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS WHICH IN MOST CASES ARE SCHEMATIC PLANS. THESE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. EXACT LOCATION AND DEPTH OF EXISTING UTILITIES ARE UNKNOWN. SUBCONTRACTOR TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK, AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

Civil Landworks
110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92038
PH: 760-908-8745 • info@civillandworks.com

ATTACHMENT 10
 PRELIMINARY GRADING PLAN
 (NOT FOR CONSTRUCTION)



LANDSCAPE PLANS PREPARED FOR:
VILLA ONDAS
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CALIFORNIA
APN 348-13-203

- GENERAL NOTES:**
1. All landscape installation shall be in accordance with the City of San Diego's Land Development Manual Landscape Standards.
 2. All discrepancies or conflicts in dimensions, landscape area or materials shall be brought to the attention of the City Landscape Planner, the Owner(s) and the Designer/Architect prior to installation.
 3. Any changes to the site and/or landscape plans shall be submitted to the City Landscape Planner for review and approval prior to proceeding.
 4. All plants to be irrigated by automatic irrigation system.

CITY OF SAN DIEGO LANDSCAPE MAINTENANCE NOTES

All required landscape areas shall be maintained by the Owner of Lot. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition consistent with the City of San Diego's Landscape Regulations, the Landscape Development Manual - Landscape Standards, and all other landscape-related City and Regional Standards.

If any required landscape indicated on the approved construction document plans is damaged or removed, it shall be repaired and /or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

MIN. STREET TREE SEPARATION DISTANCE

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
Traffic signals (stop sign)	20 feet
Underground utility lines (except for sewer)	5 feet
Sewer lines	10 feet
Above ground utility structures (Transformer, hydrants, utility poles, etc.)	10 feet
Driveway (entries)	10 feet
Intersection (intersecting curb lines of two streets)	25 feet

Erosion Control Notes:

Upon completion of grading, straw matting shall be installed on the off-site berm area, and any other areas affected by or disturbed by equipment that will not be permanently paved, covered by structure or planted. Graded or disturbed, or eroded areas to be installed with non-irrigated container plantings shall receive an interim straw matting installation as needed between April 2nd and September 30th for dust-erosion control with subsequent installation of container plants during the rainy season between October 1st and April 1st.

SHEET INDEX:

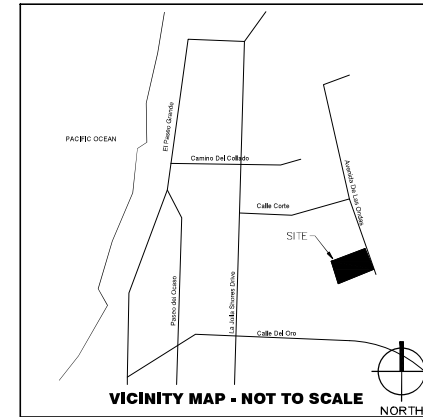
TITLE SHEET	L-1
CONCEPTUAL LANDSCAPE PLAN	L-2
LEGEND AND NOTES	L-3
PLANTING DETAILS	L-4
AREA CALCULATIONS	L-5

PREPARED FOR:

Diego Alberto Coppel Sullivan
 San Anselmo 524-1 Col. La Primavera
 Culiacan, Sinaloa, Mexico 80300

PREPARED BY:

CALIFORNIA LANDSCAPE TECHNOLOGIES
 3685 Vista Campana N. Unit 41
 Oceanside, CA 92057
 PH: 760.809.3241
 cltlandarch@gmail.com



CONCEPTUAL LANDSCAPE PLAN NOTES

1. PLANTS SELECTED FOR LOW WATER AND ARCHITECTURAL CHARACTERISTICS.
2. ALL PLANTS WILL BE HYDROZONED TO WATER WITH OTHER PLANTS OF LIKE WATER REQUIREMENTS.
3. ALL AREAS TO BE WATERED WITH DRIP IRRIGATION INCLUDING LAWNS.
4. IRRIGATION SHALL BE OPERATED BY SMART CONTROLLER AND SHALL UTILIZE FLOW METER.
5. UPON APPROVAL OF CONCEPTUAL PLAN AN IRRIGATION PLAN SHALL BE PROVIDED.

UNAUTHORIZED CHANGES & USES

The landscape architectural firm preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

MAINTENANCE

Client is solely responsible for maintenance in all areas such as, but not limited to, tree pruning & maintenance, maintenance of the irrigation system to avoid over spray onto structures, water runoff or soil saturation that may result in damage to property, persons, or plants. Client is solely responsible for the results of any lack of or improper maintenance.



DIAL TOLL FREE
811

AT LEAST TWO DAYS
 BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

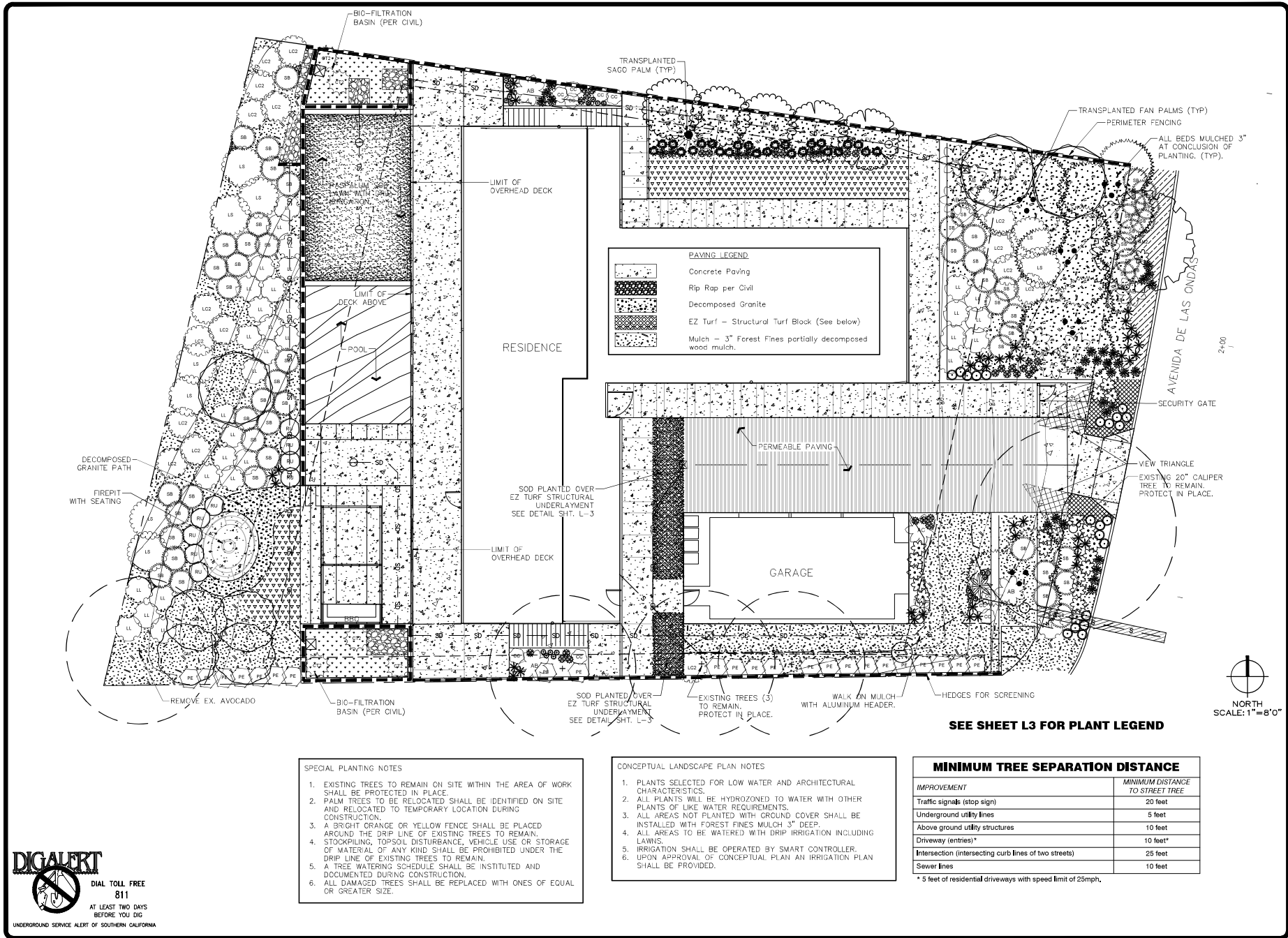
REVISIONS	BY
REV. 01-25-23 NEW BASE	
REV. 1-25-23 NEW BASE	
REV. 3-25-24 PER CITY	

CALIFORNIA
LANDSCAPE TECHNOLOGIES
 landscape
 architecture
 irrigation design
 3685 Vista Campana N.
 Unit 41, Oceanside
 CA 92057
 760.809.3241

TITLE SHEET-CONCEPTUAL LANDSCAPE PLAN

**RESIDENCE
 8424 AVENIDA DE LAS ONDAS
 LA JOLLA, CA**

DRAWN	
CHECKED	
DATE	01-25-23
SCALE	
JOB NO.	011-21
SHEET	L-1
OF	5 SHEETS



REVISIONS	BY
REV. 2-15-23	
NEW BASE	
REV. 1-28-23	
NEW BASE	
REV. 3-25-24	
PER CITY	

CALIFORNIA
LANDSCAPE ARCHITECTURE
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irrigation design
 3695 Vista Campana NL
 Unit 41, Oceanside
 CA 92057
 760.209.2241

LANDSCAPE ARCHITECT
 62024
 3-24-2024
 STATE OF CALIFORNIA

RESIDENCE
8424 AVENIDA DE LAS ONDAS
 LA JOLLA, CA

CONCEPTUAL PLANTING PLAN

DATE	BY
2-15-23	
1-28-23	
3-25-24	

SCALE
 1" = 8'-0"
 011-21
 SHEET

L-2

DIGALERT
 DIAL TOLL FREE
 811
 AT LEAST TWO DAYS
 BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

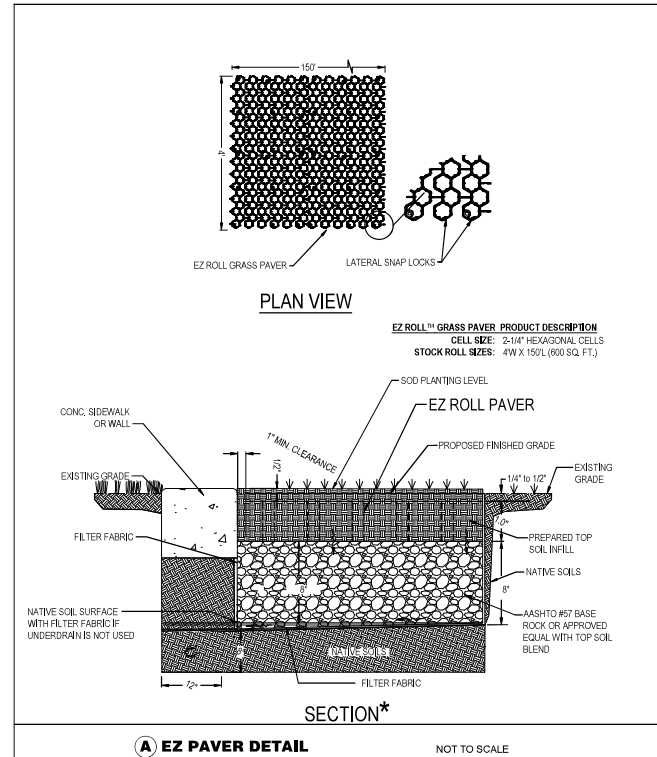
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY	DETAIL
TREES						
	AM2	Arbutus x 'Marina' / Marina Strawberry Tree Standard	24"box	L	1	L4/E, F
	CM	Citrus Mixed Species / Citrus Owner Select	15 gal	M	4	L4/E, F
	EM	Ericobotrya deflexa / Bronze Loquat Multi-Trunk	24"box	M	3	L4/E
	FV	Feijoa sellowiana / Pineapple Guava	24"box	M	2	L4/E, F
	LP	Leptospermum petersonii / Lemon-Scented Tea Tree	24"box	L	3	L4/E, F
PALM TREES						
				WUCOLS		DETAIL
	CE	Chamaerops humilis Existing Transplant / Mediterranean Fan Palm	Existing - Relocated	L	5	L4/B
	CR	Cycas revoluta Existing Transplant / Sago Palm	Existing - Relocated	L	1	L4/B
SHRUBS						
				WUCOLS		DETAIL
	AM	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal	L	22	L4/E
	CT	Carex lumulicola / Foothill Sedge	1 gal	L	25	L4/E
	CT2	Chondropetalum tectorum / Small Cape Rush	5 gal	L	6	L4/E
	HH	Hesperaloe parviflora 'Brocklights' / Red Yucca	1 gal	L	41	L4/E
	LL	Lantana x 'Manina' TM / Spreading Sunshine Lantana	5 gal	L	33	L4/E
	LC2	Leucadendron x 'Cloudbank Glnny' / Conebush	15 gal	L	17	L4/E
	LS	Leucadendron x 'Safari Sunset' / Conebush	15 gal	L	9	L4/E
	PE	Podocarpus elongatus 'Monma' TM / Icee Blue Yellow Wood	15 gal	M	23	L4/E, F
	RU	Rhipidolepis umbellata 'Minor' / Gulf Green™ Indian Hawthorn	5 gal	M	9	L4/E
	SB	Salvia leucantha 'Santa Barbara' / Mexican Bush Sage	5 gal	L	57	L4/E
SUCCULENTS						
				WUCOLS		DETAIL
	AC	Agave guineola 'Creme Brulee' / Creme Brulee Century Plant	24"box	L	5	L4/E
	AB	Agave x 'Blue Flame' / Blue Flame Agave	15 gal	L	7	L4/E
	AB2	Agave x 'Blue Glow' / Blue Glow Agave	5 gal	L	21	L4/E
	AB3	Aloe brevifolia / Short-leaved Aloe	1 gal	L	28	L4/E
	AS	Aloe striata / Ceral Aloe	1 gal	L	35	L4/E
	AD	Aloe x 'Delta Lights' / Delta Lights Aloe	5 gal	L	22	L4/E
	AH2	Aloe x 'Hercules' / Hercules Aloe	24"box	L	1	L4/E
	CC	Crassula ovata 'Crosby's Dwarf' / Crosby's Dwarf Jade Plant	5 gal	L	10	L4/E
	YR	Yucca recurvifolia / Spineless Yucca	24"box	L	1	L4/B
				WUCOLS		DETAIL
		Carex pansa / Sanddune Sedge	1 gal	M	18" o.c.	L4/D
		Fragaria chiloensis / Beach Strawberry	flat	L	12" o.c.	L4/D
		Ruschia lineolata 'Nana' / Carpet of Stars	flat	L	6" o.c.	L4/D
		Sedum nussbaumerianum / Coppertone Stonecrop	1 gal	L	18" o.c.	L4/D
		Turf Paspalum / Sea Shore Paspalum	sod	L		L3/A*
		Aloha Seaside Paspalum				
		*DETAIL FOR EZ TURF PAVING AREA ONLY				



PAVING LEGEND

- Concrete Paving
- Rip Rap per Civil
- Decomposed Granite
- EZ Turf - Structural Turf Block (See below)
- Mulch - 3" Forest Fines partially decomposed wood mulch.



REVISIONS	BY
REV. 01-19-23	
NEW BASE	
REV. 12-29-23	
NEW BASE	
REV. 3-23-24	
PER CITY	

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REGISTERED LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA
 63024
 3/20/24

RESIDENCE
8424 AVENIDA DE LAS ONDAS
 LA JOLLA, CA

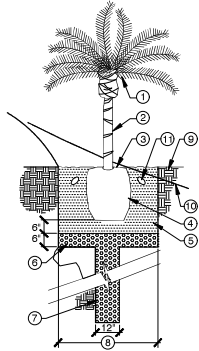
PLANT LEGEND AND DETAILS

DATE	BY
01-19-23	
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1" = 8'-0"
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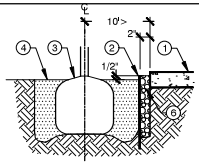
PLANTING SPECIFICATIONS

- A, The planting plan is diagrammatic. All plant locations are approximate.
B, Quantities shown on the planting plan are approximate and are for the convenience of the contractor only. Plant symbols take precedence over plant quantities specified.
C, Contractor shall notify the Landscape Architect of discrepancies between quantities and symbols shown.
- Contractor shall apply a contact herbicide (herbicide applicator shall be licensed by the State of California) where weeds are present, per manufacturer's specifications, a minimum of ten (10) days prior to commencement of any planting or irrigation work. Weeds shall be allowed to completely die back, including the roots, and shall then be removed before proceeding with work. Note: When removing existing plants contractor shall not grub out roots on slopes. Cut flush to grade.
- Contractor will be responsible for verifying grades prior to beginning work and shall be responsible for all grades once work has commenced.
- Contractor shall obtain an agricultural soils report upon completion of rough grading. Soil amendment and plant backfill shall conform to soil report requirements. For bidding purposes, soil amendments shall be as follows:
All areas to be planted (except slopes in excess of 3:1) shall be roto-tilled to a depth of six inches (6") and the following amendments spread evenly and thoroughly blended in per 1000 square feet:
A, 1 cubic yard organic compost
B, 160 pounds Agricultural Gypsum
C, 15 pounds soil sulfur
D, 25 pounds 16-6-8 slow release fertilizer
- Soil shall be suitable for plant growth and free of harmful substances or deleterious materials prior to planting.
- Contractor shall remove all rock in excess of one-inch (1") diameter exposed at the soil surface. River rocks and existing boulders shall be reused on site.
- Prior to planting, irrigation system shall be fully operational and all planting areas shall be thoroughly soaked.
- Each plant shall receive "agriform" (or equal) plant tablet as follows:
1 gallon container (1) 21 gram
5 gallon container (3) 21 gram
15 gallon container (5) 21 gram
per three inches (3") of boxed tree size (1) 21 gram
- Plant material shall not be root bound. Five gallon plants and larger shall have been grown in containers for a minimum of six months and a maximum of two years. Plants shall exhibit healthy growth and be free of diseases and pests.
- Plant pit shall be twice the width of the designated nursery container but shall be no deeper than the container. Root ball shall protrude above the plant pit 1/2 inch (1/2") at the completion of planting.
- Backfill shall be per soil test. For bidding purposes backfill shall be as follows:
A, 80% site soil
B, 20% Organic Compost
- Plants shall not be placed within twelve inches (12") of sprinkler heads or within eighteen inches (18") of buildings.
- Contractor shall install drainage chimneys in all plant pits where obstruction to root growth or drainage is encountered, such as in rock, clay or caliche. If rock is encountered where a planting is indicated, review location with Owner or Landscape Architect.
- Contractor shall maintain a minimum 2% drainage away from all buildings, structures, and walls. Finished grades shall be smoothed to eliminate puddling or standing water.
- All areas not planted with ground cover (excluding lawn areas) shall be mulched to a depth of three inches (3") at the conclusion of planting up to the edge of each plant pit. Mulch shall be decomposed shredded wood "Forest Finest Mulch."
- Contractor shall leave site in a clean condition, removing all unused material, trash, and tools.
- Contractor shall maintain all plantings for a period of thirty (30) days or until plants are deemed established and irrigation is operating properly to the satisfaction of Owner and Landscape Architect - whichever period is longer.
- At completion of all work outlined in these plans, Contractor shall contact Owner and arrange for a walk-through to determine that all aspects of work are completed. Work must be fully completed according to all plans and specifications and must be completed in a good workmanship manner and must be accepted by Owner in writing prior to the beginning of the establishment period.
- The establishment period shall include the following scope of work:
A, daily watering of all plant material.
B, adjustment of sprinkler head height and watering pattern.
C, weeding and removal of all weeds from ground cover areas, on a weekly basis.
D, replacement of any dead, dying, or damaged trees, shrubs, or ground covers.
E, filling and recompaction of eroded areas.
F, filling and replanting of any low areas which may cause standing water.
G, weekly removal of all trash, litter, clippings, and all foreign debris.
H, At 30 days after planting, and prior to the end of the establishment period, Best Fertilizer Company 16-6-8 (or equal) shall be applied at the rate of six (6) pounds per 1,000 square feet to planting areas. Additional fertilizations shall be per soil test.
- Prior to end of establishment period, Contractor shall contact Owner and arrange for a final walk through. Owner must accept all maintained areas in writing prior to end of establishment period.
A, All groundcover and shrubs shall be guaranteed by Contractor in writing as to growth and health for a period of sixty (60) days after completion of establishment period and final acceptance. All trees shall be guaranteed by Contractor in writing to live and grow in an acceptable upright position for a period of one (1) year after completion of the specified establishment period and final acceptance.
B, Contractor, within fifteen (15) days of written notification by Owner, shall remove and replace all guaranteed plant materials which, for any reason, fail to meet the requirements of the guarantee. Replacement shall be made with plant materials as indicated or specified on the original plans, and all such replacement materials shall be guaranteed as specified for the original material guarantee.
- Contractor, under the direction of the Landscape Architect, shall remove all other additional unwanted groundcover, trees and shrubs.

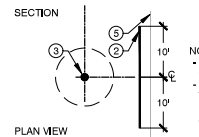


- FRONDS - TIE WITH SINGLE STRAND OF ORGANIC MATERIAL. UNITE AT END OF MAINTENANCE PERIOD.
- PALM TRUNK - "SKIN" AS REQ'D WITH HORTICULTURALLY APPROVED METHOD.
- FINISH GRADE IN PLANTING AREA.
- ROOTBALL AT GRADE.
- BACKFILL MIX - 100% WASHED SAND.
- PEA GRAVEL - 6 INCHES DEEP.
- 12" DIA. BY 3 FOOT DEEP GRAVEL SUMP (IF REQUIRED DUE TO CLAY SOILS).
- 2 X ROOTBALL DIAMETER.
- UNDISTURBED NATIVE SOIL.
- FINISH GRADE AT SLOPE.
- PLANT TABLETS - SEE PLANTING SPECIFICATIONS.

B PALM PLANTING DETAIL NOT TO SCALE

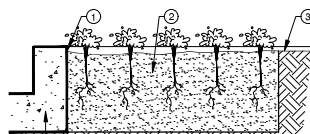


- FINISH SURFACE.
- 18" HIGH ROOT BARRIER.
- TREE. SEE 'TREE PLANTING' DETAIL.
- FINISH GRADE: TURF SHRUB BED 2" BELOW FINISH SURFACE.
- EDGE OF HARDSCAPE, (CURB, PAVING, PAD, WALL, SIDEWALK, ETC.)
- 1/2" CRUSHED GRAVEL.

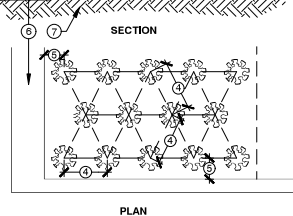


- NOTES:
- MANUFACTURED BY DEEP ROOT, INC. OR EQUAL.
- ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 10 FT. OF ANY HARDSCAPE. SIZE AND INSTALL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.

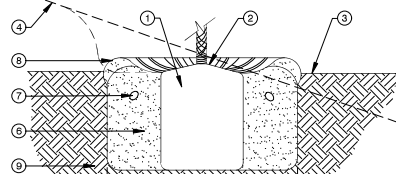
C ROOT BARRIER DETAIL NOT TO SCALE



- 2 INCHES
- BACKFILL MIX. SEE SPECS.
- FINISH GRADE OR WALK
- EQUAL (X) - SEE PLANT LIST
- EQUAL 1/2 (X)
- CONCRETE CURB OR HARDSCAPE IMPROVEMENT AS INDICATED ON PLAN
- UNDISTURBED NATIVE SOIL.

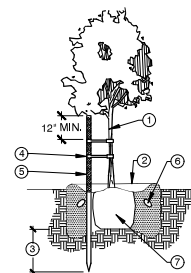


D GROUND COVER PLANTING NOT TO SCALE



- ROOTBALL.
- CROWN - 1/2" ABOVE FINISH GRADE.
- FINISH GRADE.
- FINISH GRADE AT SLOPE.
- 2X ROOTBALL DIAMETER. SCARIFY EDGES OF PLANT PIT. (TREES ONLY)
- BACKFILL MIX - SEE PLANTING SPECIFICATIONS.
- PLANT TABLETS - SEE PLANTING SPECIFICATIONS.
- 4" HIGH WATERING BASIN.
- UNDISTURBED NATIVE SOIL.

E PLANTING DETAIL NOT TO SCALE



- TREE TRUNK
- SEE TREE / SHRUB PLANTING DETAIL
- 24" MINIMUM
- VINYL TREE TIE (2 REQ'D)
- 2" DIA. x 10' LODGEPOLE PINE STAKE
- PLANT TABLETS - SEE PLANTING SPECIFICATIONS
- ROOTBALL

F TREE STAKING DETAIL NOT TO SCALE

REVISIONS	BY
REV. 01-23	
NEW BASE	
REV. 12-23	
NEW BASE	
REV. 02-24	
PER CITY	

CALIFORNIA
LANDSCAPE ARCHITECT
1000 S. GARDEN ST. SUITE 100
LA JOLLA, CA 92037
760.809.3241

3635 Vista Campana II, Unit 41, Oceanside CA 92057
760.809.3241

REGISTERED LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
62024
326282

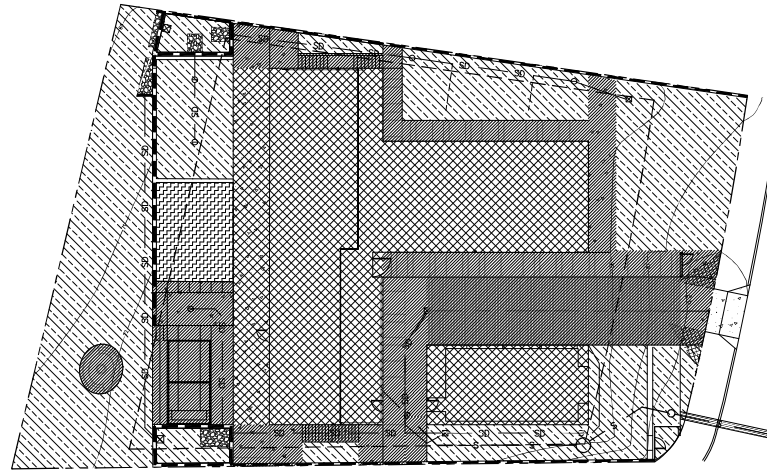
RESIDENCE
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA

PLANTING DETAILS AND SPECIFICATIONS

DATE	BY
24-0-21 <td></td>	
01-21 <td></td>	

JOB NO. 01-21
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OF 6 SHEETS

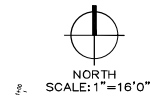
PLANTING DETAILS AND SPECIFICATIONS



LANDSCAPE AREA CALCULATIONS [LJSPD 103.0304.1(m)]

Total Parcel Area	20,267 S.F.
(30% of Total Parcel Area)	6,080 S.F.
Total Improved Area	11,585 S.F.
Total Improved Area % to Total Parcel Area	57%
Total Landscape Area	8,116 S.F.
Total Landscape % to Total Parcel Area	40%

TOTAL LOT AREA:	20,267 S.F.
STRUCTURED:	5,245 S.F.
LANDSCAPE:	8,116 S.F. (40%)
POOL:	566 S.F.



REVISIONS	BY
REV. 9-15-23	
NEW BASE	
REV. 12-18-23	
NEW BASE	
REV. 3-25-24	
PER CITY	

CALIFORNIA
LANDSCAPE ARCHITECTURE
landscape architecture
integration design
 3685 Vista Campana NL
 Unit 41, Oceanside
 CA 92057
 760.399.2241

RESIDENCE
8424 AVENIDA DE LAS ONDAS
 LA JOLLA, CA

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011-21
SHEET
L-5
OF 5 SHEETS

AREA CALC



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

OWNER: DIEGO SULLIVAN
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

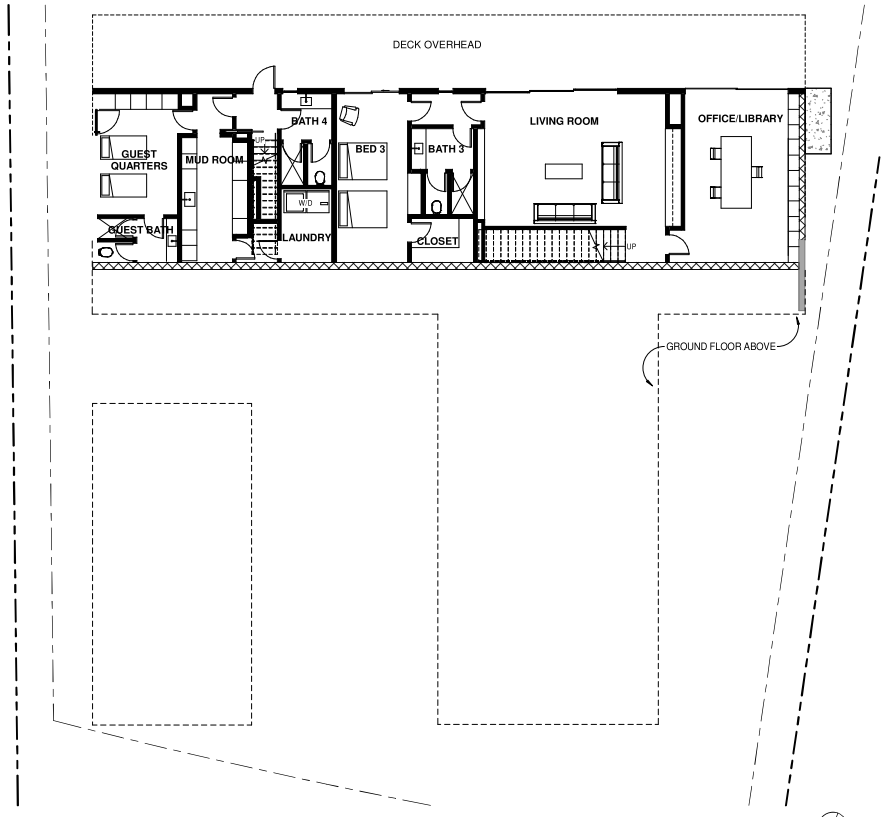
PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

PROPOSED FLOOR PLANS

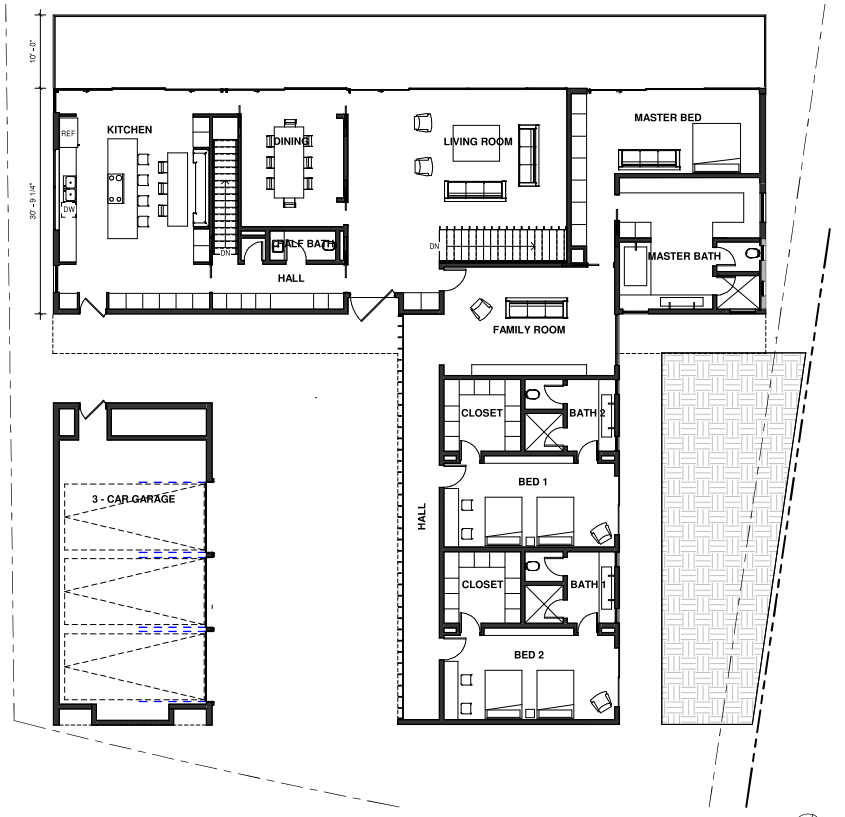
A102

SCALE: As indicated
SHEET: 17 OF 24

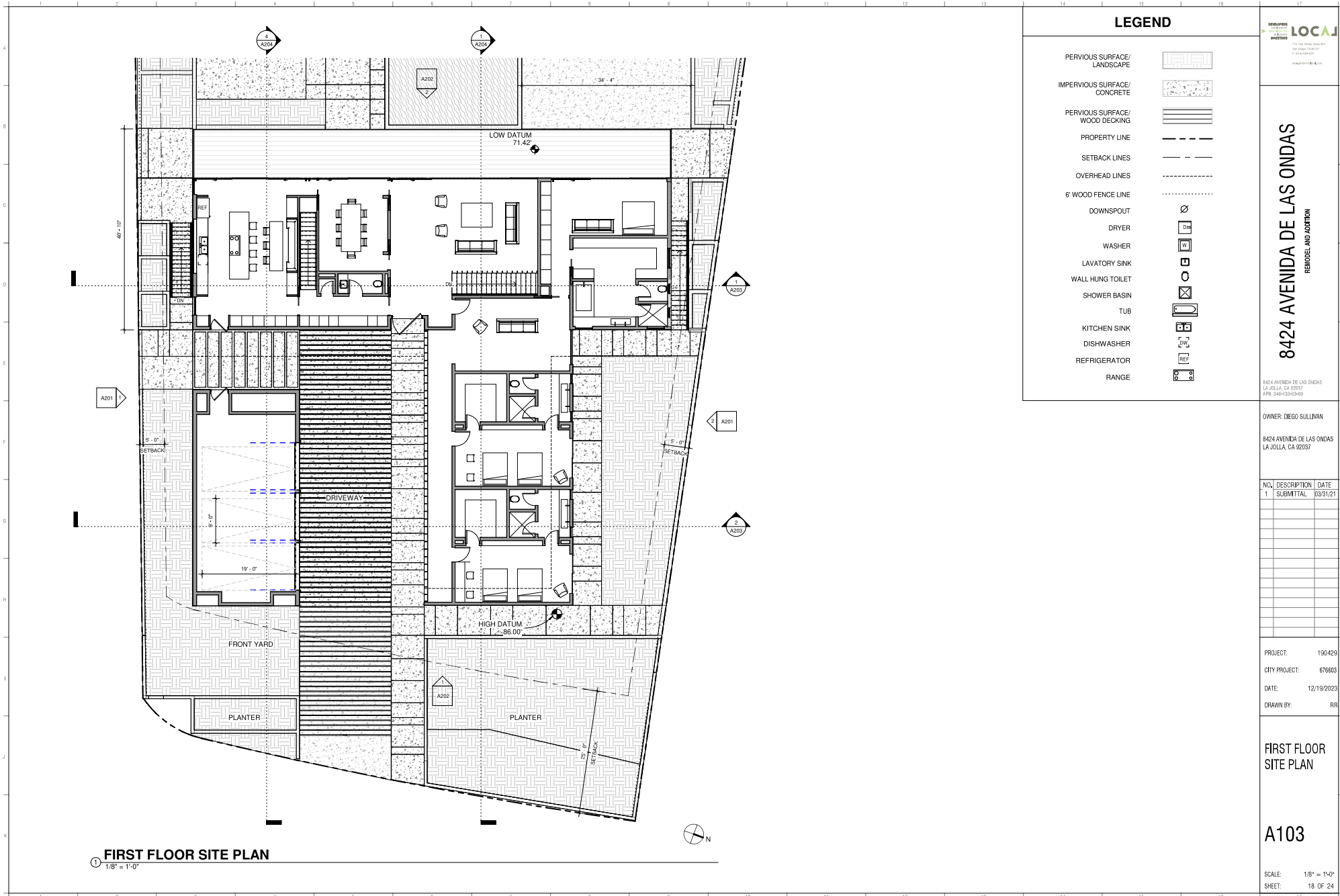
LEGEND			
(P) 2x4 WALL		DRYER	
(P) MASONRY WALL		WASHER	
(E) 2x4 WALL		LAVATORY SINK	
OVERHEAD LINES		WALL HUNG TOILET	
DOWNSPOUT		SHOWER BASIN	
KITCHEN SINK		TUB	
DISHWASHER			
REFRIGERATOR			
RANGE			



② (P) LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"



① (P) FIRST FLOOR PLAN
1/8" = 1'-0"



LEGEND

- PERVIOUS SURFACE/
LANDSCAPE
- IMPERVIOUS SURFACE/
CONCRETE
- PERVIOUS SURFACE/
WOOD DECKING
- PROPERTY LINE
- SETBACK LINES
- OVERHEAD LINES
- 6' WOOD FENCE LINE
- DOWNSPOUT
- DRYER
- WASHER
- LAVATORY SINK
- WALL HUNG TOILET
- SHOWER BASIN
- TUB
- KITCHEN SINK
- DISHWASHER
- REFRIGERATOR
- RANGE



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340412-0000

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

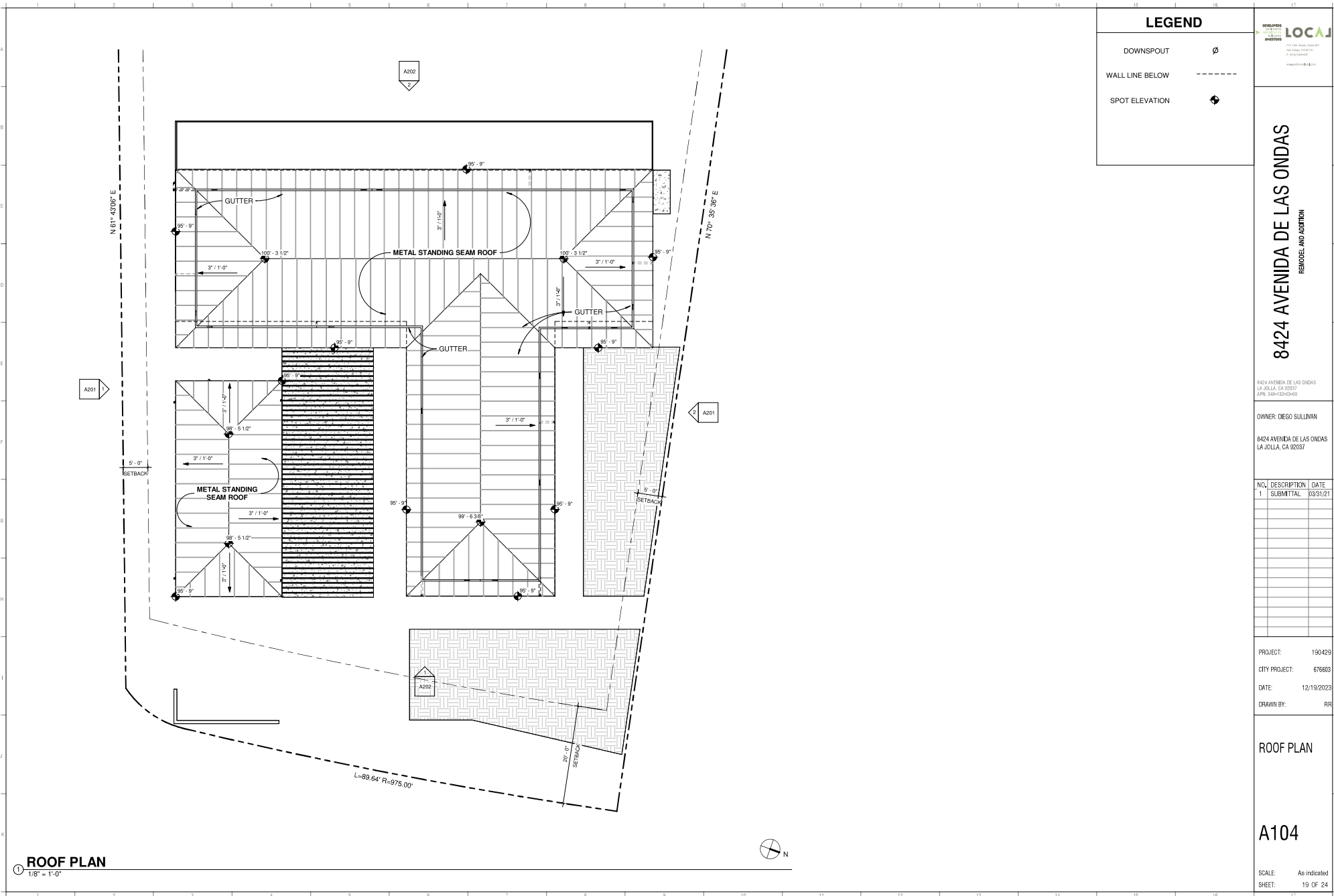
PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

**FIRST FLOOR
SITE PLAN**

A103

SCALE: 1/8" = 1'-0"
SHEET: 18 OF 24

FIRST FLOOR SITE PLAN
1/8" = 1'-0"



LEGEND

DOWNSPOUT	∅
WALL LINE BELOW	- - - - -
SPOT ELEVATION	⊕



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340-013-000-000

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT: 190429

CITY PROJECT: 676603

DATE: 12/19/2023

DRAWN BY: RR

ROOF PLAN

A104

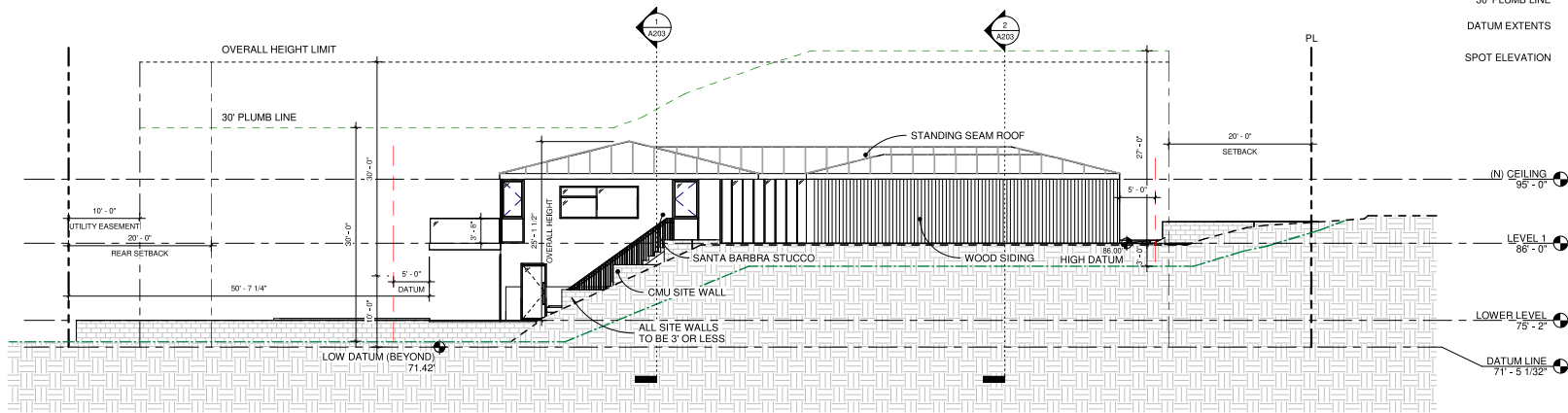
SCALE: As indicated
SHEET: 19 OF 24

ROOF PLAN

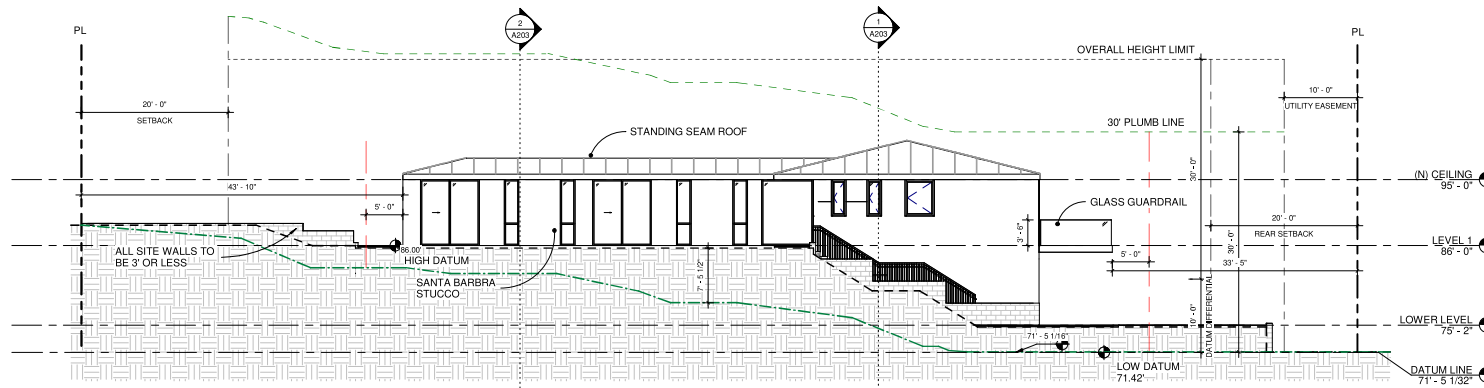
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING GRADE
- PROPOSED GRADE
- OVERALL HEIGHT LIMIT
- 30' PLUMB LINE
- DATUM EXTENTS
- SPOT ELEVATION



① SOUTH ELEVATION
1/8" = 1'-0"



② NORTH ELEVATION
1/8" = 1'-0"



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

OWNER: DIEGO SULLIVAN
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340-02-0900

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

NORTH & SOUTH ELEVATIONS

A201

SCALE: As indicated
SHEET: 20 OF 24



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340102-00000

OWNER: DIEGO SULLIVAN
8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT:	190429
CITY PROJECT:	676603
DATE:	12/19/2023
DRAWN BY:	RR

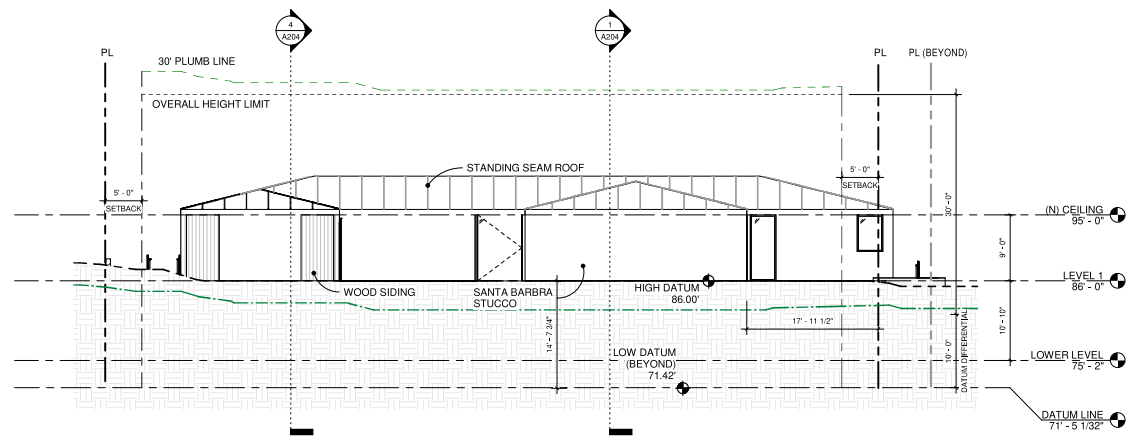
EAST & WEST ELEVATIONS

A202

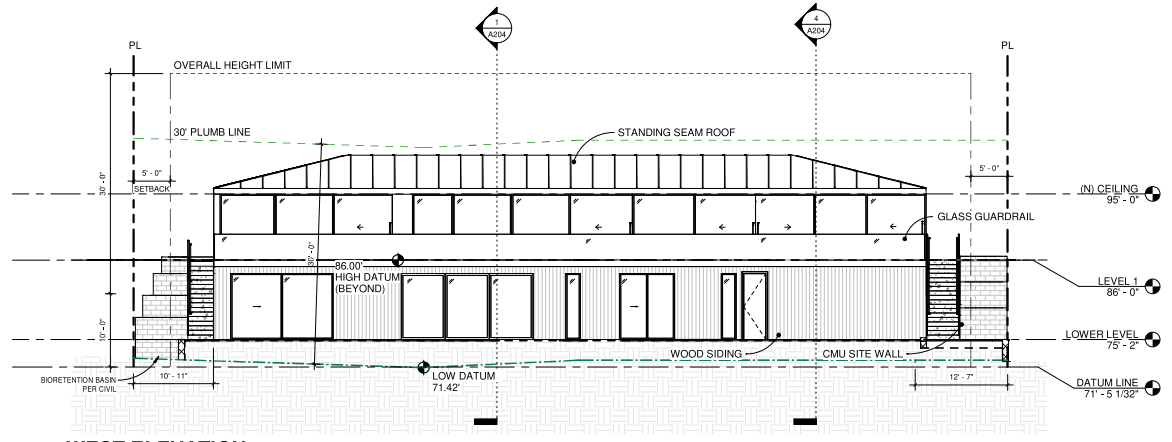
SCALE: As indicated
SHEET: 21 OF 24

LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING GRADE
- PROPOSED GRADE
- OVERALL HEIGHT LIMIT
- 30' PLUMB LINE
- DATUM EXTENTS
- SPOT ELEVATION



1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340103-00000

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT:	190429
CITY PROJECT:	676603
DATE:	12/19/2023
DRAWN BY:	RR

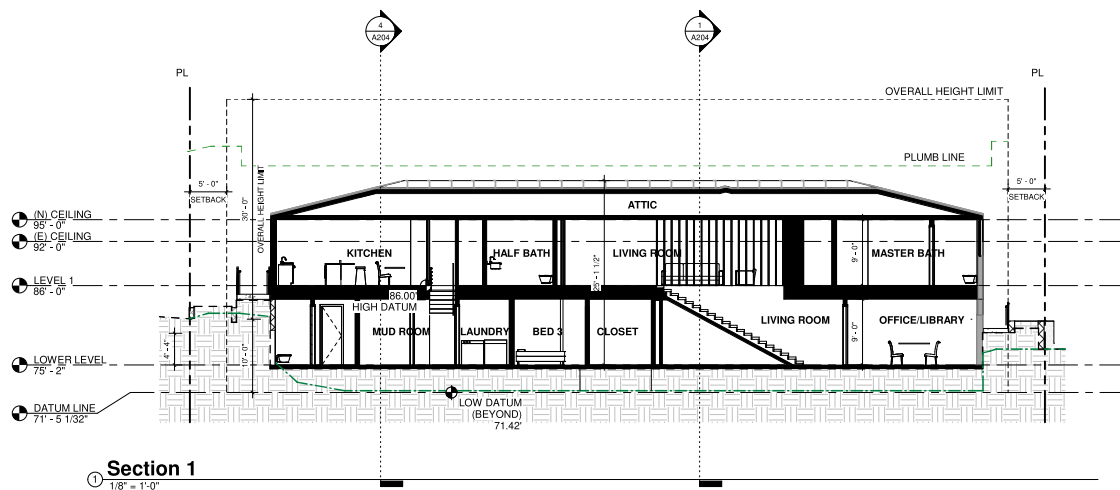
SECTIONS

A203

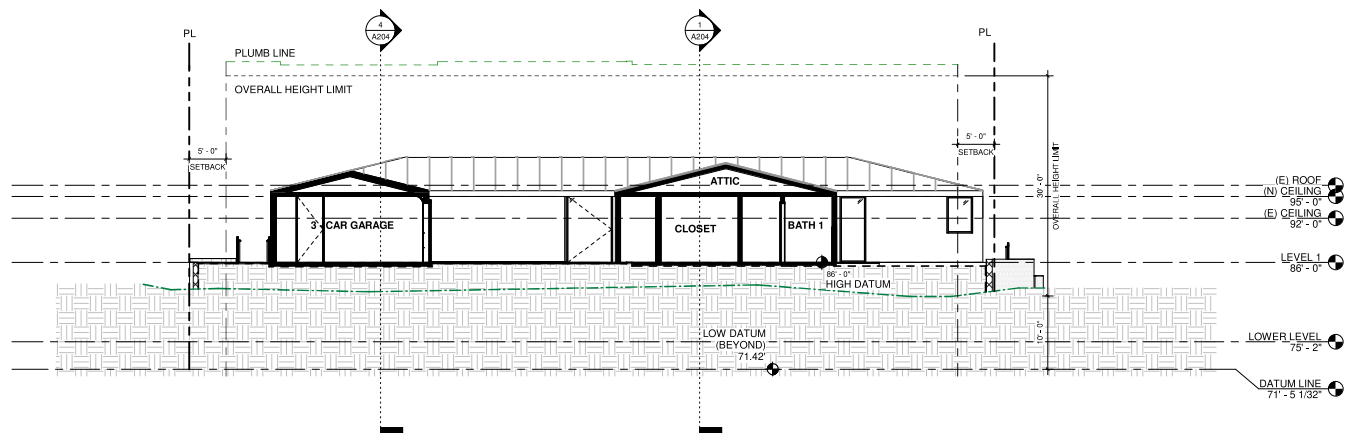
SCALE: As indicated
SHEET: 22 OF 24

LEGEND

- (E) GRADE
- (P) GRADE
- OVERALL HEIGHT LIMIT
- PLUMB LINE
- (E) WALL
- (P) WALL
- SPOT ELEVATION



Section 1
1/8" = 1'-0"



Section 3
1/8" = 1'-0"



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 340-013-0040

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

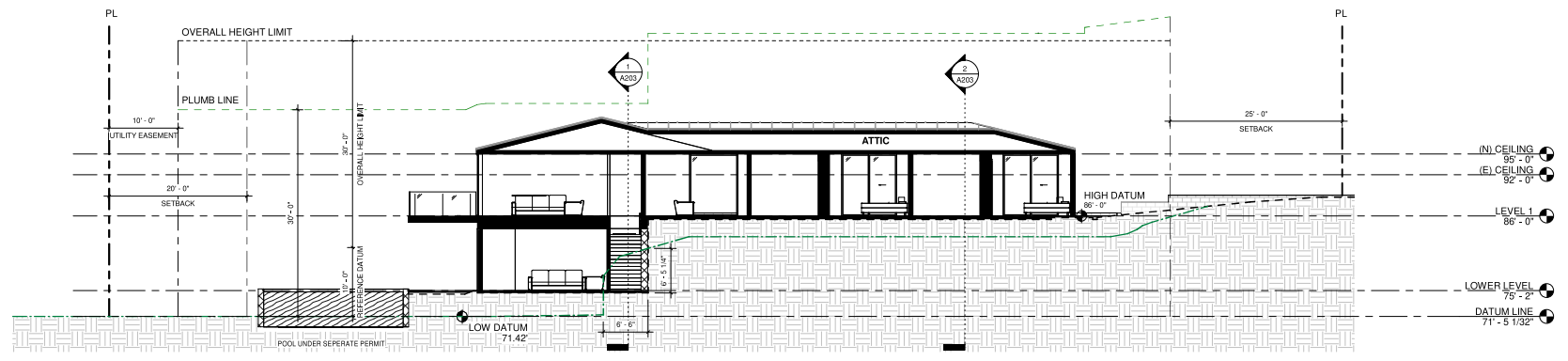
SECTIONS

A204

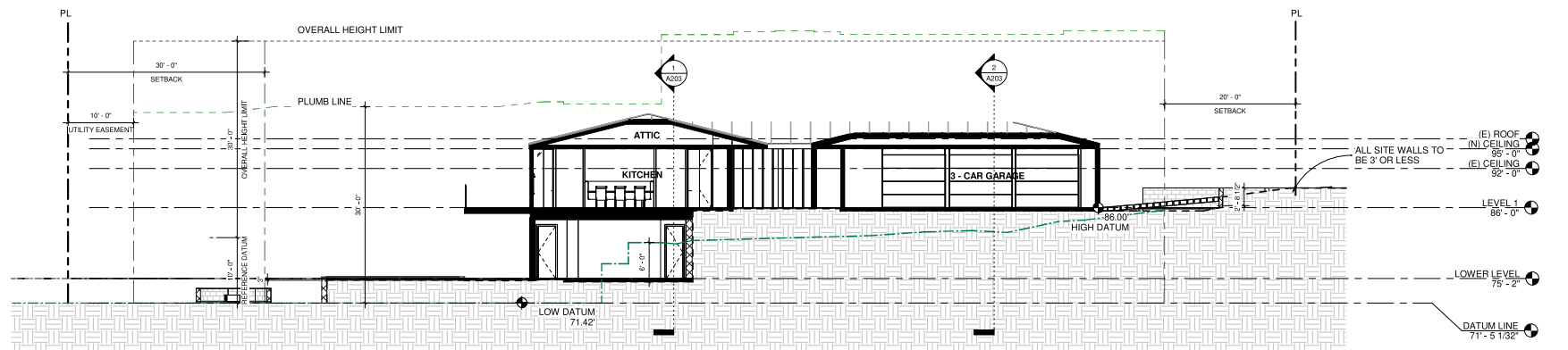
SCALE: As indicated
SHEET: 23 OF 24

LEGEND

- (E) GRADE
- (P) GRADE
- OVERALL HEIGHT LIMIT
- PLUMB LINE
- (E) WALL
- (P) WALL
- SPOT ELEVATION



Section 5
1/8" = 1'-0"



Section 4
1/8" = 1'-0"



8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 349013-00000

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

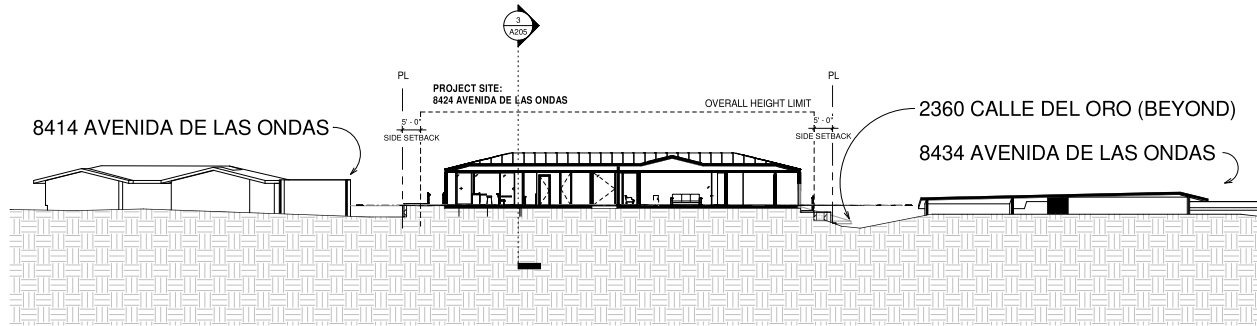
NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT: 190429
CITY PROJECT: 676603
DATE: 12/19/2023
DRAWN BY: RR

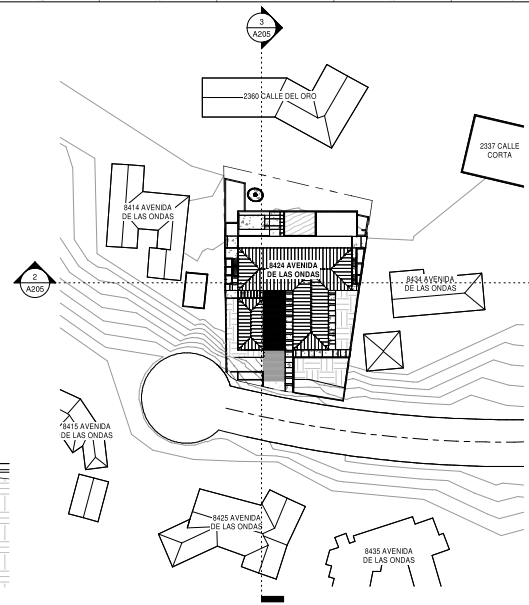
SITE SECTIONS

A205

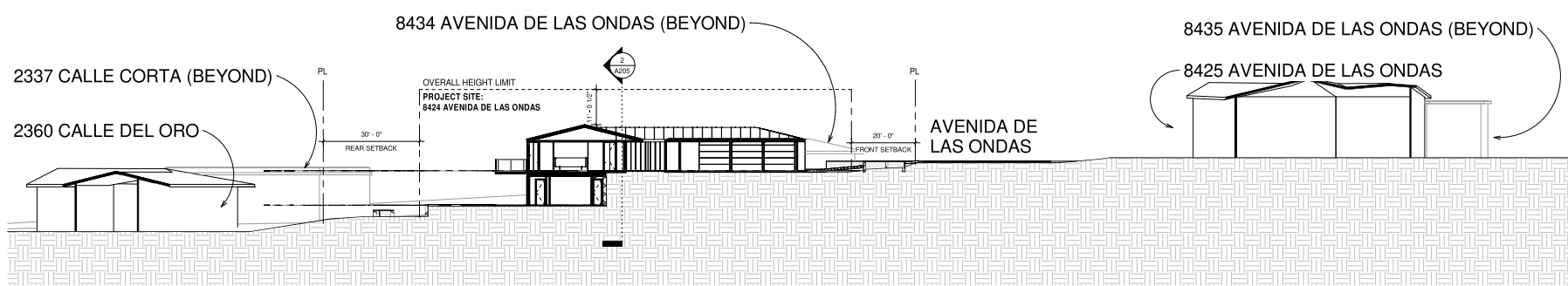
SCALE: As indicated
SHEET: 24 OF 24



SITE SECTION 1
1/16" = 1'-0"



SITE PLAN
1" = 50'-0"



SITE SECTION 2
1/16" = 1'-0"