



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 25, 2024 REPORT NO. HO-24-038

HEARING DATE: October 2, 2024

SUBJECT: 4811 MOUNT ETNA DRIVE, PROCESS THREE DECISION

PROJECT NUMBER: [PRJ-1059048](#)

REFERENCE: Conditional Use Permit No. 8276

OWNER/APPLICANT: California 21, Inc. / Maasa Ishikawa

SUMMARY

Issue: Should the Hearing Officer approve an amendment to Conditional Use Permit No. 8276 for the phased demolition of an existing church facility and the phased construction of an educational facility consisting of 12 classrooms for infant care to fifth grade, a rooming house for short-term stays for traveling teachers within three two-story buildings totaling approximately 15,873 square feet of gross floor area, and associated site improvements located at [4811 Mount Etna Drive](#) within the [Clairemont Mesa Community Planning Area](#)?

Proposed Actions:

1. APPROVE or DENY or MODIFY Conditional Use Permit (CUP) No. PMT-3158488 amendment to CUP No. 8276.

Fiscal Considerations: No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: None, the project site currently does not have any active code enforcement cases open.

Housing Impact Statement: The project proposes four dwelling units within the educational facility for traveling teachers which will provide workforce housing for staff members.

Community Planning Group Recommendation: On February 21, 2023, the Clairemont Mesa Community Planning Group voted 9-0-0 to recommend approval of the project as presented (Attachment 9).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, In-fill Development; the project meets the criteria outlined in CEQA Section 15332. The project is consistent with the existing land use designation and all applicable general plan policies, as well as with the applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than 5 acres and is substantially surrounded by urban uses. The project site has no value as a habitat for endangered, rare or threatened species. The project would not result in any significant effects on air quality, noise, traffic, or water quality. The site can be adequately serviced by all required utilities and public services; and where the exceptions listed in Section 15300.2 would not apply. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 23, 2024, and the opportunity to appeal that determination ended on March 8, 2024.

BACKGROUND

The 1.2-acre site is located at 4811 Mount Etna Drive in the RS-1-7 (Residential-Single Unit) zone, the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Marine Corps Air Station (MCAS) Miramar and Montgomery Field, the Airport Land Use Compatibility Plan (ALUCP) Airport Influence Area (AIA) Review Area Two for MCAS Miramar and Montgomery Field, the Federal Aviation Administration (FAA) Part 77 Noticing Area, the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ), and Transit Priority Area within the Clairemont Mesa Community Plan.

The existing church facility was originally approved by CUP No. 8276 on September 1, 1967, amended on August 15, 1975, October 4, 1977, and June 24, 1981. The site is currently improved with a single-story approximately 4,365-square-foot building for church uses with a main sanctuary for 144 persons, a social hall with seating capacity for 167 persons, offices, classrooms, restrooms, a playground, a surface asphalt parking lot accommodating 30 off-street parking stalls and associated site improvements.

The [Clairemont Mesa Community](#) Plan (Community Plan) designates the land use for the site as Protected Single-Family Neighborhood for Residential Low-Density (five to ten dwelling units per acre) development ([Figure 8, page 28](#)). The land use designation of the community plan is implemented by the underlying RS-1-7 zone.

DISCUSSION

Project Description:

The project proposes the phased demolition of an existing church facility which includes an approximately 4,365-square-foot sanctuary and social hall building, and the phased construction of an educational facility and associated site improvements. The proposed project will occur in four phases. The educational facility would include three two-story buildings totaling 15,873 square feet, accommodating 12 classrooms for infant care to fifth grade, a rooming house for short-term stays for traveling teachers as an accessory use in accordance with [SDMC Section 131.0125\(b\)](#), and associated site improvements. The proposed educational facility would accommodate approximately 136 students and 14 employees and operate from 7:00 AM to 6:00 PM, Monday

through Friday. The rooming house identified as an accessory use would accommodate up to eight teachers within four rooms and each teacher shall have an individual contract and rental agreement for the duration of their employment with the educational facility.

The proposed project is designed in a modern architectural style with large overhangs to provide shading for glazed openings and exterior building materials that consist of plaster, metal siding, metal standing seam roofing, metal railings and columns and wood accents. Site improvements include outdoor decks, new outdoor playgrounds, gathering spaces, landscaping and irrigation, a redesign of on-site parking, reconfigured access to the site, and associated public improvements to include two new driveways and parkway improvements which will include public sidewalk improvements, street trees and parkway landscape and irrigation. The proposed improvements include reconfiguring access to the site and redesigning the on-site parking to include pick-up and drop-off areas and a schedule for pick-up and drop-off times that are staggered to reduce impacts to the neighborhood and reduce the occurrence of queueing into the public street.

Permits Required

- A Conditional Use Permit (CUP) per [SDMC Section 126.0303\(b\)](#) is required for approval of an Educational Facility; and

The project has been designed in conformance with all applicable development regulations of the SDMC relevant for the site, including the separately regulated use regulations set forth in [SDMC Section 141.0606](#) relating to Child Care Facilities. The project conforms to the maximum floor area ratio (FAR) by proposing a FAR of 0.30 where the maximum FAR is 0.45. The project is proposing a maximum height of, 29 feet 10 inches, where the maximum height for the RS-1-7 zone is 30 feet. The project is proposing 16 parking spaces to include 15 standard parking stalls and a van accessible parking stall where the required parking stalls are 16 based on the use, additionally the project is proposing two motorcycle parking stalls where two are required. The required setbacks of the RS-1-7 zone are as follows: front yard setback requires 30 feet minimum where the project is proposing 45 feet 10 inches, side yard setback requires 10 feet on the east side of the property where the project is proposing 14 feet 8 inches, and six feet minimum on the west side where the project is proposing six feet 3.5 inches, and the rear setback requires a 48 foot 4.4 inch setback based on calculating the setback using 10-percent of the lot depth and the project is proposing a setback equal to the requirement. Additionally, the project observes the minimum 1,000-foot required distance from businesses that handle or store hazardous material as specified in [SDMC Section 141.0606\(c\)](#). No variance or deviations are requested as part of this application.

Community Plan Analysis:

The Community Plan designates the land use for the site as Protected Single-Family Neighborhood for Residential Low-Density (five to 10 dwelling units per acre) development ([Figure 8, page 28](#)). The land use designation of the community plan is implemented by the underlying RS-1-7 (Residential – Single Unit) zone. Educational Facilities for Kindergarten through Grade 12 are a separately regulated use in the underlying RS-1-7 zone requiring a Conditional Use Permit per [Table 131-04B](#) in [SDMC Section 131.0422](#) – Use Regulations Table for Residential Zones and a rooming house for traveling teachers is an accessory use to the primary Educational Facility use in accordance with [SDMC Section 131.0125\(b\)](#).

The project has been designed in conformance with all applicable development regulations of the SDMC relevant to the site, including the separately regulated use regulations set forth in [SDMC Section 141.0606](#). The project conforms to the maximum floor area ratio, setbacks, structure height, and parking requirements. Additionally, the project observes the minimum 1,000-foot required distance from businesses that handle or store hazardous material as specified in [SDMC Section 141.0606\(c\)](#). No variance or deviations are requested as part of this application.

The proposed educational facility will benefit the community and neighborhood by establishing and maintaining a high level of public facilities and services to meet the community's needs. The development is appropriate within the neighborhood context by proposing a compatible building design with the existing residential neighborhood. Additionally, John Muir Language Academy and Mt. Everest Academy are located a quarter mile from the project site within the same neighborhood and also serve local families. The proposed educational facility will provide the neighborhood with additional opportunities for early childhood education and is compatible with the existing educational facilities.

PROJECT RELATED ISSUES

Brush Management:

The project site is located within a designated Very High Fire Hazard Severity Zone, per CAL FIRE's Very High Fire Hazard Severity Zone Map (CAL FIRE 2020). The project proposes landscaping that includes a permanent irrigation system and is designed in accordance with the City of San Diego Brush Management requirements of [SDMC Section 142.0412](#), the Landscape Standards of the Land Development Code (LDC), the California Fire Code (CFC) and the California Building Code (CBC). Therefore, the project would not expose people to substantial risk associated with wildfires.

Hazardous Materials Separation:

The facility will maintain on file on the premises a Hazardous Materials Substance Approval form executed by the County of San Diego Hazardous Materials Division identifying that the site conforms to the 1,000-foot buffer requirement in [SDMC Section 141.0606](#) that requires facilities that have or handle identified hazardous materials be a minimum of 1,000 feet from a childcare facility. In this case the facility would be required to identify if any facilities that handle hazardous materials are located within 1,000 feet of the proposed educational facility.

Drop-Off and Pick-up:

The educational facility would operate from 7:00 AM to 6:00 PM Monday through Friday. The peak hours of this facility are generally during morning and afternoon workday hours, consistent with similar educational facilities. The educational facility will have designated drop-off and pick-up areas with a staggered pick-up and drop-off schedule to reduce impacts to the neighborhood and reduce the occurrence of queueing into the public right-of-way.

The Trip Generation and VMT/LMA screening memorandum from WSP dated June 30, 2023, and letter dated August 8, 2024, identified that the project would generate 629 total daily trips utilizing methodologies outlined in the City of San Diego [Transportation Study Manual \(TSM\) \(2022\)](#) and the City of San Diego [Trip Generation Manual \(2003\)](#). Per the TSM, all projects are required to prepare a

detailed transportation VMT analysis for all land development projects, except those that meet at least one of the following criteria outlined in the manual. According to this screening criteria and the trip generation documented for the project, the project would be screened out based on a combination of Criteria number 5 and Criteria number 3. The TSM identifies Screening Criteria number 5 as applicable to a locally serving public facility, where the facility serves the surrounding community. Appendix B of the TSM notes all land uses that are considered Public Facilities/Services that are Locally Serving. Among these land uses, Day Care Center/Child Care Center is designated as a locally serving public facility. Based on this, the 440 daily trips for Day Care Center are screened out of any VMT analyses. The TSM identifies Screening Criteria number 3 as applicable to small projects, where a small project would generate less than 300 daily unadjusted driveway trips using the City of San Diego trip generation rates/procedures. While the overall project generates a total of 629 daily trips, 440 trips are already screened out due to Screening Criteria number 5. The remaining 189 unadjusted driveway trips for the elementary school and short-term stay teacher employee housing units is less than 300. Based on this, the remaining trips can be screened out of any VMT analyses.

Per the City of San Diego TSM, all projects must complete a Local Mobility Analysis (LMA) unless they meet the following screening criteria:

- Consistent with community plan and zoning designation and generates less than 1,000 daily unadjusted driveway vehicle trips.
- Inconsistent with community plan or zoning designation and generates less than 500 daily unadjusted driveway vehicle trips.
- Within the Downtown Community Planning Area and generates less than 2,400 daily unadjusted trips.

Based on RS-1-7 zoning, childcare centers, K-12 educational facilities are permitted with conditional use permits, and a rooming house is permitted as an accessory use in accordance with [SDMC Section 131.0125](#). Based on the understanding that the project is applying for a conditional use permit, the project is consistent with the community plan and zoning designation. Additionally, the total unadjusted driveway vehicle trips are less than 1,000. Therefore, the project is exempt from being required to conduct an LMA. Based on the trip generation and City of San Diego VMT and LMA screening criteria, the project is exempt from a LMA analysis and is presumed to have less than significant VMT impact.

CONCLUSION

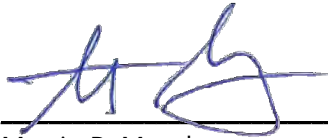
The project has been designed in conformance with all applicable development regulations of the SDMC relevant for the site, including the separately regulated use regulations set forth in [SDMC Section 141.0606](#). The project conforms to the maximum floor area ratio, setbacks, structure height, and parking requirements. In addition, the project would observe the required minimum 1,000-foot distance from businesses that handle or store hazardous material in accordance with [SDMC Section 141.0606\(c\)](#) and be required to maintain on file on the premises a Hazardous Materials Substance Approval form executed by the County of San Diego Hazardous Materials Division. The educational facility would operate from 7:00 AM to 6:00 PM Monday through Friday. The peak hours of this facility are generally during morning and afternoon workday hours, consistent with similar educational facilities. The project proposes a staggered drop-off and pick-up schedule which would

reduce the number of vehicles dropping off children and help manage vehicles queuing onto the public right-of-way. The proposed project is an allowed use at this location with an approved CUP for an educational facility with a rooming house for traveling teachers as an accessory use and is consistent with the Clairemont Mesa Community Plan land use designation. Additionally, the project would contribute to the Clairemont Mesa Community Plan goal of providing adequate services to meet the social needs of the residents by expanding the opportunities for educational opportunities in the community. Staff supports the determination that the project is consistent with the recommended land use plan and development standards proposed and in effect for this site per the SDMC, the General Plan, and the Clairemont Mesa Community Plan. Therefore, Staff recommends that the Hearing Officer Approve the project as conditioned.

ALTERNATIVES

1. Approve Conditional Use Permit No. PMT-3158488, with modifications.
2. Deny Conditional Use Permit No. PMT-3158488, if the findings required to approve the project cannot be affirmed.

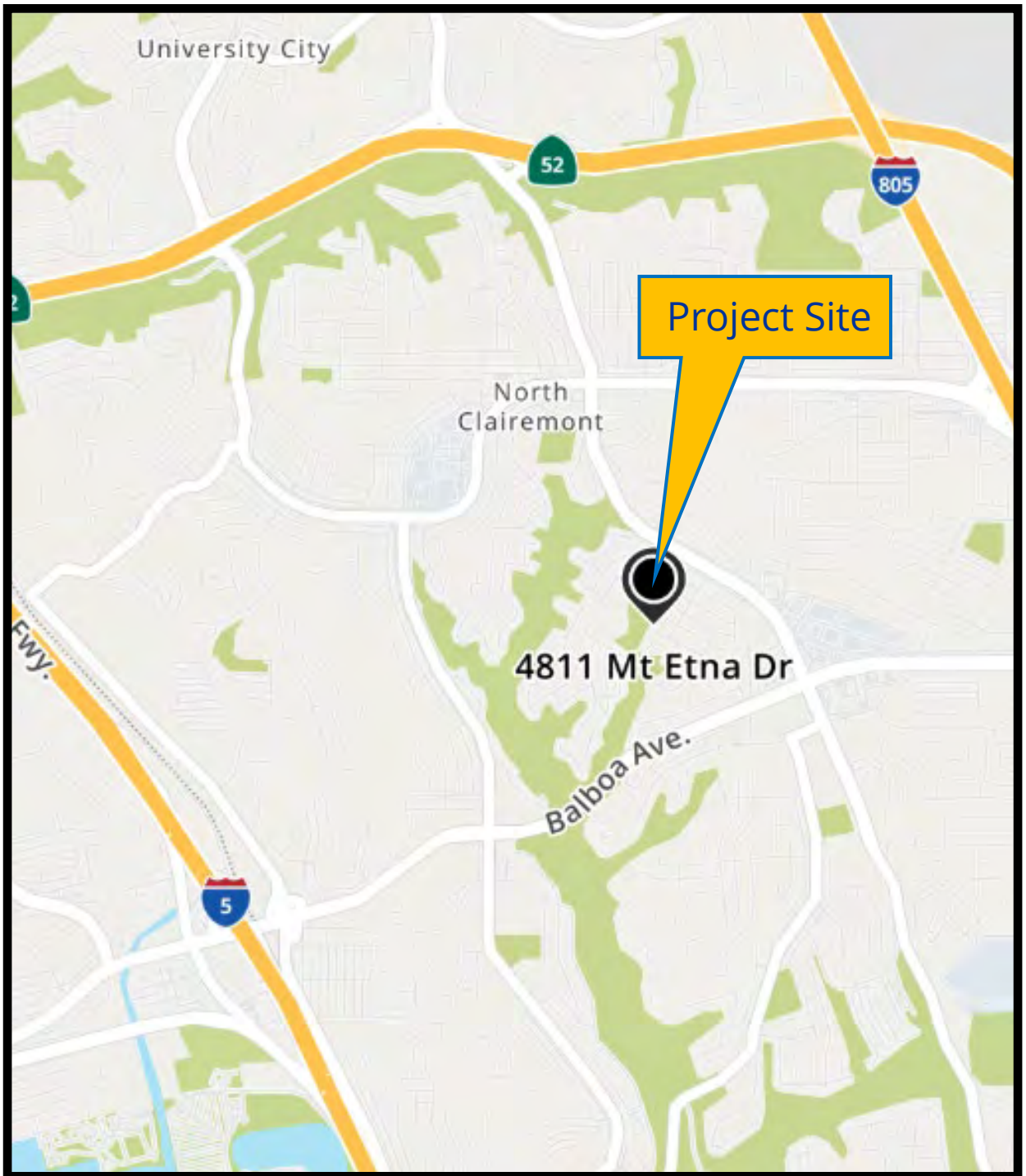
Respectfully submitted,



Martin R. Mendez
Development Project Manager
Development Services Department

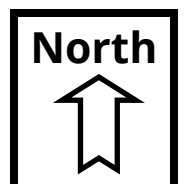
Attachments:

1. Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Ownership Disclosure Statement
7. Copy of existing recorded Conditional Use Permit No. 8276
8. Project Plans
9. Community Planning Group Recommendation

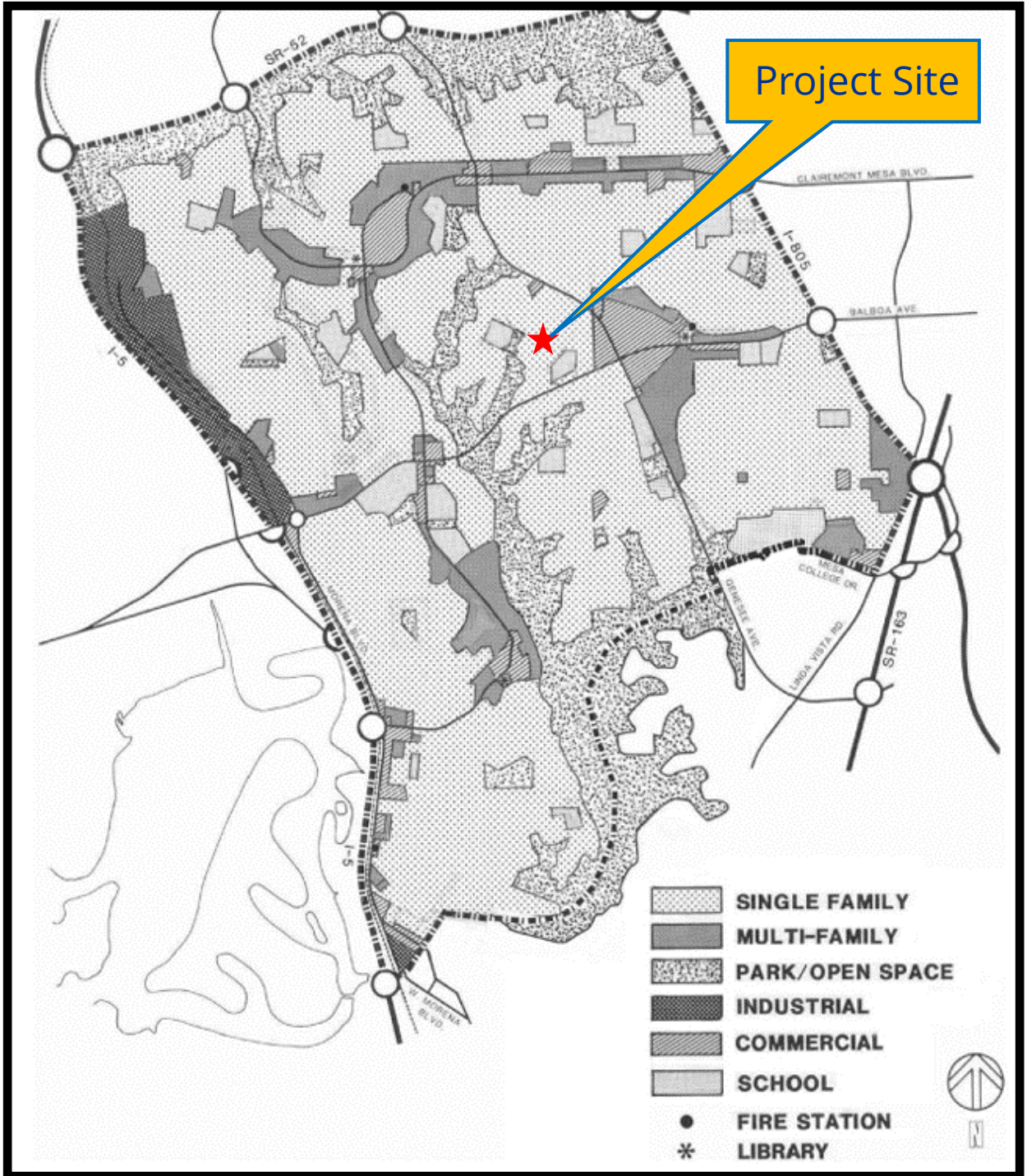


Project Location

4811 Mount Etna Drive
PROJECT NO. PRJ-1059048



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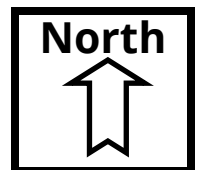


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Aerial Photo

4811 Mount Etna Drive
PROJECT NO. PRJ-1059048



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RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE,
MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009255

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. PMT-3158488
4811 MOUNT ETNA DRIVE - PROJECT NO. 1059048
AMENDMENT TO CONDITIONAL USE PERMIT NO. 8276
HEARING OFFICER

This Conditional Use Permit No. PMT-3158488 amendment to Conditional Use Permit No. 8276 is granted by the Hearing Officer of the City of San Diego to CALIFORNIA 21, INC. A CALIFORNIA CORPORATION, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0304. The 1.2-acre site is located at 4811 Mount Etna Drive in the RS-1-7 (Residential-Single Unit) zone, the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Marine Corps Air Station (MCAS) Miramar and Montgomery Field, the Airport Land Use Compatibility Plan (ALUCP) Airport Influence Area (AIA) Review Area Two for MCAS Miramar and Montgomery Field, the Federal Aviation Administration (FAA) Part 77 Noticing Area, the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ), and Transit Priority Area within the Clairemont Mesa Community Plan area. The project site is legally described as: LOT 1112 OF EAST CLAIREMONT UNIT NO. 11, ANNEX, RESUBDIVISION NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 4613, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 24, 1960.

Subject to the terms and conditions set forth in this Permit, permission is granted to CALIFORNIA 21, INC. A CALIFORNIA CORPORATION, Owner/Permittee for the phased demolition of an existing church facility and the phased construction of an educational facility. The development of the proposed project will occur in four phases. The educational facility would include three two-story buildings accommodating 12 classrooms for infant care to fifth grade, a rooming house for short-term stays for traveling teachers as an accessory use, and associated site improvements described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 2, 2024, on file in the Development Services Department.

The project shall include:

- a. The phased demolition of existing structures, to include a single story, 4,365-square-foot building, and existing on-site improvements; and
- b. Construction of three two-story buildings totaling 15,873 square feet to be developed in several phases to include the following:

- 1) Building 100 shall be a two-story 3,800-square-foot building with classrooms, employee facilities, an exterior deck and a rooming house on the second floor which will include a lounge, laundry room, restrooms, bathing facilities, a kitchen, associated support areas and an exterior balcony; and
 - 2) Building 200 shall be a two-story 3,500-square-foot building with a multi-purpose room, a kitchen, administrative offices, associated support areas and an exterior deck; and
 - 3) Building 300 shall be a two-story 9,700-square-foot building with classrooms, associated support areas, an outdoor deck, a green roof on the second floor and covered breezeways traversing the building on the first and second floors; and
- c. A playground area with a track and playground equipment on a synthetic playground surface; and
 - d. A covered masonry trash enclosure; and
 - e. A free-standing monument sign; and
 - f. Landscaping (planting, irrigation and landscape related improvements); and
 - g. Off-street parking for 16 parking spaces; and
 - h. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 16, 2027.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will

promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

AIRPORT REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

13. Prior to the issuance of any building permits, the Owner/Permittee shall grant an aviation easement to the City of San Diego as the operator of Montgomery – Gibbs Executive Municipal Airport for the purposes of aircraft operations, noise and other effects caused by the operation of aircraft, and for structure height if the same would interfere with the intended use of the easement. The Owner/Permittee shall use the aviation easement form provided by the City of San Diego.

14. Prior to the issuance of any building permits (for occupiable structures), the Owner/Permittee shall provide an Aircraft Hazard and Land Risk Assessment to understand the potential impacts with regard to noise and safety. Any occupiable structure shall be insulated with soundproofing and other noise-reducing materials so that maximum allowable interior noise level attributable to exterior noise shall be no greater than 45dBA.

15. Prior to the issuance of any building permits (for occupiable structures), the Owner/Permittee shall provide for review and approval, the letter or handout, to be posted on-site, provided to staff upon hire and provided to parents of children attending the school upon enrollment and prior to commencement of each school year, of fair disclosure of the location of the school in relation to nearby airports (MCAS Miramar and Montgomery Field), the traffic patterns of the airports, and the potential impact of single-event noise and safety.

16. Prior to the issuance of any building permits (for occupiable structures), the Owner/Permittee shall provide for review and approval, the letter or handout, to be posted on-site, provided to staff upon hire and provided to parents of children attending the school upon enrollment and prior to

commencement of each school year, of fair disclosure of the average and single-event noise due to fixed-winged aircraft and helicopter overflight that may impact school staff and children while outdoors.

17. Prior to the issuance of any building permits, the Owner/Permittee shall file a Notice of Proposed Construction or Alteration (Form 7460) with the FAA and obtain a Notice of Determination for the school site and related construction activities.

18. Prior to issuance of any building permits, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

CLIMATE ACTION PLAN REQUIREMENTS:

19. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

20. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the storm drain connection, landscape and irrigation located within the City's right-of-way, satisfactory to the City Engineer.

21. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an approved Drainage Study including a full storm drain profile calculation downstream to the connection with the City storm drain system, satisfactory to the City Engineer.

22. Prior to the issuance of any Grading permit, the Owner/Permittee shall obtain an approved Drainage Study to determine the capacity and total contributing peak flows to the receiving downstream storm conveyance system. If insufficient capacity is determined, coordination will be required with the Engineering and Capital Projects Department and the Stormwater Department regarding potential timing and upgrades to the receiving storm drain conveyance system.

23. Prior to the issuance of any Grading permit, the Owner/Permittee shall obtain an approved Drainage Study to demonstrate that the proposed condition peak flows from the project site are less than pre-project condition peak flows from the project site, to the satisfaction of the City Engineer. The analysis should be run for the 10-year and 100-year, six-hour design rainfall events and both inflow and outflow hydrographs should be provided for the proposed detention facility. The analysis should follow regional conjunctive use guidelines. The Drainage Study shall demonstrate attenuation of post-developed 100-year peak flows to or below the predeveloped 100-year peak flows to each discharge location from the project site.

24. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
25. The developer is responsible to ensure that all final design plans, grading plans, and building plans incorporate applicable best management practices (BMPs).
26. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement (SWMDCMA) for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
27. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
28. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report (Stormwater Quality Management Plan) that will be subject to final review and approval by the City Engineer, based on the City's Stormwater Standards Manual in effect at the time of the construction permit issuance.
29. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.
30. Development of this project shall comply with all stormwater construction requirements of the current version of the City of San Diego's Stormwater Standards Manual.
31. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2022-0057-DWQ and a copy shall be submitted to the City.

GEOLOGY REQUIREMENTS:

32. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

LANDSCAPE REQUIREMENTS:

33. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in

accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

34. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

35. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC §142.0403(b)6.

36. In the event that a "Foundation Only" permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

37. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

38. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

39. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

40. The Brush Management Program shall consist of a modified Zone One that ranges from 47 feet to 67 feet in width with no Zone Two required, and Alternative Compliance measures set forth

in accordance with SDMC sections 142.0412(f), 142.0412(i), and 142.0412(j). Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.

PLANNING/DESIGN REQUIREMENTS:

41. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

43. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

44. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

46. Prior to the issuance of any building permit Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private backflow prevention device(s) (BFPDs), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

47. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

48. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

49. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

TRANSPORTATION REQUIREMENTS:

50. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate four feet of right-of-way along the project frontage on Mount Etna Drive and assure by permit and bond the reconstruction of the existing contiguous sidewalk to a 14-foot-wide parkway with a five-foot wide non-contiguous sidewalk, curb, and gutter as shown on Exhibit 'A' per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

51. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the removal and closure of non-utilized driveways on Mount Etna Drive and installation of City standard full height curb and gutter, and non-contiguous sidewalk, and construction of two 20-foot wide (one-way) driveways along the project frontage on Mount Etna Drive as shown on Exhibit 'A' per current City standards, satisfactory to the City Engineer. All improvements shall be completed and operational prior to first occupancy.

52. Prior to first occupancy, the Owner/Permittee shall provide and maintain the following Vehicle Miles Traveled (VMT) reduction measures totaling at least 5 points, as shown on Exhibit A, satisfactory to the City Engineer:

- a. Short-term bicycle parking spaces available to the public, at least 10 percent beyond minimum requirements. The minimum required per the SDMC is two spaces and four spaces will be provided. (three points).
- b. Long-term bicycle parking spaces at least 10 percent beyond minimum requirements. The minimum required per the SDMC is one space and three spaces will be provided. (two points).

53. The Owner/Permittee shall manage student pick up and drop off times to be staggered, as shown on Exhibit 'A', and actively monitored to keep traffic queue operations on site.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 2, 2024, and [Approved Resolution Number].

DRAFT

ATTACHMENT 4

Conditional Use Permit No. PMT-3158488
Date of Approval: October 2, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martin R. Mendez
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CALIFORNIA 21, INC.
A California Corporation
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

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HEARING OFFICER
RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. PMT-3158488
4811 MOUNT ETNA DRIVE - PROJECT NO. 1059048
AMENDMENT TO CONDITIONAL USE PERMIT NO. 8276

WHEREAS, CALIFORNIA 21, INC., A CALIFORNIA CORPORATION, Owner/Permittee, filed an application with the City of San Diego for a permit to amend Conditional Use Permit No. 8276 for the phased demolition of an existing church facility, and the phased construction of an educational facility. The development of the proposed project would occur in four phases. The educational facility would include three two-story buildings totaling 15,873 square feet, accommodating 12 classrooms for infant care to fifth grade, a rooming house for short-term stays for traveling teachers as an accessory use in accordance with San Diego Municipal Code (SDMC) Section 131.0125(b), and associated site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3158488), on portions of a 1.2-acre site;

WHEREAS, the project site is located at 4811 Mount Etna Drive in the RS-1-7 (Residential-Single Unit) zone, the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Marine Corps Air Station (MCAS) Miramar and Montgomery Field, the Airport Land Use Compatibility Plan (ALUCP) Airport Influence Area (AIA) Review Area Two for MCAS Miramar and Montgomery Field, the Federal Aviation Administration (FAA) Part 77 Noticing Area, the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ), and Transit Priority Area within the Clairemont Mesa Community Plan area;

WHEREAS, the project site is legally described as LOT 1112 OF EAST CLAIREMONT UNIT NO. 11, ANNEX, RESUBDIVISION NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 4613, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 24, 1960;

WHEREAS, on February 23, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15332, In-Fill Development and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 2, 2024, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. PMT-3158488 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. PMT-3158488:

A. CONDITIONAL USE PERMIT [San Diego Municipal Code (SDMC) Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes the phased demolition of an existing church facility which includes an approximately 4,365-square-foot single story building, and the phased construction of an educational facility and associated site improvements. The development of the proposed project will occur in four phases. The educational facility would include three two-story buildings totaling 15,873 square feet, accommodating 12 classrooms for infant care to fifth grade, a rooming house as an accessory use to the educational facility for short-term stays for traveling teachers in accordance with SDMC Section 131.0125(b), and associated site improvements. The proposed educational facility would accommodate approximately 136 students and 14 employees and operate from 7:00 AM to 6:00 PM, Monday through Friday. The rooming house identified as an accessory use would accommodate up to eight teachers within four rooms and each teacher shall have an individual contract and rental agreement for the duration of their employment with the educational facility. The project proposes a staggered drop-off and pick-up schedule which would reduce impacts to the neighborhood and reduce the occurrence of queueing into the public right-of-way.

The 1.2-acre site is located at 4811 Mount Etna Drive in the RS-1-7 (Residential-Single Unit) zone, the Airport Land Use Compatibility Overlay Zone (ALUCOZ) for Marine Corps Air Station (MCAS) Miramar and Montgomery Field, the Airport Land Use Compatibility Plan (ALUCP) Airport Influence Area (AIA) Review Area two for MCAS Miramar and Montgomery Field, the Federal Aviation Administration (FAA) Part 77 Noticing Area, the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ) and a Transit Priority Area within the Clairemont Mesa Community Plan.

The existing church facility was originally approved by Conditional Use Permit (CUP) No. 8276 on September 1, 1967, amended on August 15, 1975, October 4, 1977, and June 24, 1981. The site is currently improved with a single-story approximately 4,600-square-foot building for church uses with a main sanctuary for 144 persons, a social hall with seating capacity for 167 persons, offices, classrooms, restrooms, a playground, surface asphalt parking lot accommodating 30 off-street parking stalls and associated site improvements.

The Clairemont Mesa Community Plan (Community Plan) designates the land use for the site as Protected Single-Family Neighborhood for Residential Low-Density (five to 10 dwelling units per acre) development (Figure 8, page 28). The land use designation of the community plan is implemented by the underlying RS-1-7 (Residential - Single Unit) zone. Educational Facilities for Kindergarten through Grade 12 are a separately regulated use in the underlying RS-1-7 zone requiring a Conditional Use Permit per Table 131-04B in SDMC Section 131.0422 - Use Regulations Table for Residential Zones and the rooming house for visiting teachers would be an accessory use to the Educational Facility in accordance with SDMC Section 131.0125(b).

One of the goals of the Community Plan is to establish and maintain a high level of public facilities and services to meet the needs of the community with the objective of providing educational services in accordance with City standards. The project implements the goals and objectives of the Community Plan by establishing a new educational facility within the community. Additionally, the proposed redevelopment of the site would consist of buildings designed to meet the requirements of current regulations, including sustainable building standards, energy standards, landscape and irrigation standards, and stormwater regulations. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project will not be detrimental to public health, safety, and welfare in that the permit for this site contains specific conditions addressing compliance with City codes, policies, and regulations, as well as other regional, state, and federal regulations. Conditions of approval require review and issuance of permits for construction of structures and public improvements in conformance with all building, mechanical, fire, and plumbing regulations, which must be completed through final inspection. The project has also been conditioned to ensure

compliance with the separately regulated use regulations for an educational facility including providing designated drop-off and pick areas with a staggered pick-up and drop-off schedule.

The project site is located within a designated Very High Fire Hazard Severity Zone, per CAL FIRE's Very High Fire Hazard Severity Zone Map (CAL FIRE 2020). The project proposes landscaping that includes a permanent irrigation system and is designed in accordance with the City of San Diego Brush Management requirements of SDMC Section 142.0412, the Landscape Standards of the Land Development Code (LDC), the California Fire Code (CFC) and the California Building Code (CBC). Therefore, the project would not expose people to substantial risk associated with wildfires.

The project permit would include specific requirements to ensure compliance with the regulations of the Land Development Code (LDC) that have been adopted to protect the public health, safety, and welfare. Permit requirements include submitting an updated geotechnical report that addresses the construction plans; obtaining an Encroachment Maintenance Removal Agreement (EMRA) for private pavement, walkways, landscape/planters and irrigation within the Mount Etna Drive right-of-way (ROW); assuring by permit and bond the design and construction of all required public water and sewer facilities; and installation of private backflow prevention devices. Additionally, the facility will maintain on file on the premises a Hazardous Materials Substance Approval form executed by the County of San Diego Hazardous Materials Division identifying that the site conforms to the 1,000-foot buffer requirement in SDMC Section 141.0606 that requires facilities that have or handle identified hazardous materials be a minimum of 1,000 feet from a child care facility. The project will comply with the development conditions in effect for the subject property as described in Conditional Use Permit No. PMT-3158488 and other regulations and guidelines pertaining to the subject property per the SDMC for the site. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Educational Facilities for Kindergarten through Grade 12 are a separately regulated use in the RS-1-7 zone requiring a CUP per Table 131-04B in SDMC Section 131.0422 – Use Regulations Table for Residential Zones. The project has been designed in conformance with all applicable development regulations of the SDMC relevant for the site, including the separately regulated use regulations set forth in SDMC Section 141.0606. The project conforms to the maximum floor area ratio (FAR) by proposing a FAR of 0.30 where the maximum FAR is 0.45. The project is proposing a maximum height of, 29 feet 10 inches, where the maximum height for the RS-1-7 zone is 30 feet. The project is proposing 16 parking spaces to include 15 standard parking stalls

and a van accessible parking stall where the required parking stalls are 16 based on the use, additionally the project is proposing two motorcycle parking stalls where two are required. The required setbacks of the RS-1-7 zone are as follows: front yard setback requires 30 feet minimum where the project is proposing 45 feet 10 inches, side yard setback requires 10 feet on the east side of the property where the project is proposing 14 feet 8 inches, and six feet minimum on the west side where the project is proposing six feet 3.5 inches, and the rear setback requires a 48 foot 4.4 inch setback based on calculating the setback using 10-percent of the lot depth and the project is proposing a setback equal to the requirement. Additionally, the project observes the minimum 1,000-foot required distance from businesses that handle or store hazardous material as specified in SDMC Section 141.0606(c). No variance or deviations are requested as part of this application. Therefore, the proposed development will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The proposed educational facility will be a benefit to the community and neighborhood by establishing and maintaining a high level of public facilities and services to meet the needs of the community. The development is appropriate within the neighborhood context by proposing a compatible building design to the existing residential development. Additionally, John Muir Language Academy and Mt. Everest Academy are located a quarter mile from the project site within the same neighborhood and also serve local families. The proposed educational facility will provide the neighborhood with additional opportunities for early childhood education and is compatible with the existing educational facilities.

The project has been designed in conformance with all applicable development regulations of the SDMC relevant for the site, including the separately regulated use regulations set forth in SDMC Section 141.0606. As outlined in CUP finding c. above, incorporated here by reference, the project conforms to the maximum floor area ratio, setbacks, structure height, and parking requirements, and observes the required minimum 1,000-foot distance from businesses that handle or store hazardous material in accordance with SDMC Section 141.0606(c). The educational facility would accommodate approximately 136 students and 14 staff members and would operate from 7:00 AM to 6:00 PM Monday through Friday. The peak hours of this facility are generally during morning and afternoon workday hours, consistent with similar educational facilities.

The project proposes a staggered drop-off and pick-up schedule which would reduce the number of vehicles dropping off children and help manage vehicles queuing onto the public right-of-way. The Trip Generation and VMT/LMA screening memorandum from WSP dated June 30, 2023, and letter dated August 8, 2024 identified that the project would generate 629 total daily trips utilizing methodologies outlined in the City of San Diego Transportation Study Manual (TSM) (2022) and the City of San Diego Trip Generation Manual (2003). Per the TSM, all projects are required to prepare a detailed transportation VMT analysis for all land development projects, except those that meet at least one of the following criteria

outlined in the manual. According to this screening criteria and the trip generation documented for the project, the project would be screened out based on a combination of Criteria number 5 and Criteria number 3. The TSM identifies Screening Criteria 5 as applicable to a locally serving public facility, where the facility serves the surrounding community. Appendix B of the TSM notes all land uses that are considered Public Facilities/Services that are Locally Serving. Among these land uses, Day Care Center/Child Care Center is designated as a locally serving public facility. Based on this, the 440 daily trips for Day Care Center are screened out of any VMT analyses. The TSM identifies Screening Criteria number 3 as applicable to small projects, where a small project would generate less than 300 daily unadjusted driveway trips using the City of San Diego trip generation rates/procedures. While the overall project generates a total of 629 daily trips, 440 trips are already screened out due to Screening Criteria number 5. The remaining 189 unadjusted driveway trips for the elementary school and short-term stay teacher employee housing units is less than 300. Based on this, the remaining trips can be screened out of any VMT analyses.

Per the City of San Diego TSM, all projects must complete a Local Mobility Analysis (LMA) unless they meet the following screening criteria:

- Consistent with community plan and zoning designation and generates less than 1,000 daily unadjusted driveway vehicle trips.
- Inconsistent with community plan or zoning designation and generates less than 500 daily unadjusted driveway vehicle trips.
- Within the Downtown Community Planning Area and generates less than 2,400 daily unadjusted trips.

Based on RS-1-7 zoning, childcare centers, K-12 educational facilities are permitted with conditional use permits, and a rooming house is permitted as an accessory use in accordance with SDMC Section 131.0125. Based on the understanding that the project is applying for a conditional use permit, the project is consistent with the community plan and zoning designation. Additionally, the total unadjusted driveway vehicle trips are less than 1,000. Therefore, the project is exempt from being required to conduct an LMA. Based on the trip generation and City of San Diego VMT and LMA screening criteria, the project is exempt from a LMA analysis and is presumed to have less than significant VMT impact.

The proposed project is an allowed use at this location with an approved CUP, is consistent with the Community Plan land use designation, and contributes to the Community Plan goal of providing adequate services to meet the social needs of the residents by expanding the opportunities for educational opportunities in the community. Therefore, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 5

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Conditional Use Permit No. PMT-3158488 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3158488, a copy of which is attached hereto and made a part hereof.


Martin R. Mendez
Development Project Manager
Development Services

Adopted on: October 2, 2024

IO#: 24009255

DRAFT

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	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Tsumiki Preschool **Project No. For City Use Only:** _____

Project Address: 4811 Mt. Etna Drive
 San Diego, CA 92117

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Maasa Ishikawa Owner Tenant/Lessee Successor Agency
 Street Address: 4811 Mt Etna Dr
 City: San Diego CA State: CA Zip: 92117
 Phone No.: 858-571-7000 Fax No.: N/A Email: maasa@tsumiki preschool.com
 Signature: [Signature] Date: 4/15/2022
 Additional pages Attached: Yes No

Applicant

Name of Individual: Maasa Ishikawa Owner Tenant/Lessee Successor Agency
 Street Address: 4276 Taos Pr
 City: San Diego State: CA Zip: 92117
 Phone No.: 858-331-3817 Fax No.: N/A Email: maasa@tsumiki preschool.com
 Signature: [Signature] Date: 4/15/2022
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

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Date 6-30-67 Page 230-1710Application No. 817Case No. 0-8276

APPLICATION FOR CONDITIONAL USE

(See Instructions on Last Page)

TO THE PLANNING COMMISSION
 TO THE ZONING ADMINISTRATOR
 San Diego, California

A. Applicant MEMORIALIZED CHURCH OF JESUS CHRIST LATTER DAY SAINTS

Property Location 4811 Mt. Eden Drive

between Mt. Foraker Avenue Street and Mt. Herbert Avenue Street

Exact Legal Description (Lot, Block and Subdivision) of said property being
Lot 1112, East Clearmont Pl., Annex

Above property map Zone R-1-S Under Ordinance No. 13457 (2-17-52)
 Municipal Code Section 100.0407 permits single family dwelling and
 accessory uses

B. Above described property was acquired by Applicant on March 9, 1965

(Month, Day, Year)

C. Date that above PURCHASE was first recorded by deed

D. What original deed restrictions regarding type of improvements permitted, if any, were placed on the property involved? Give date and restrictions verbatim. No deed restrictions affecting type of improvement.

E. **REQUEST:** The Applicant requests that you approve the location on the above described property of the following use:

To construct church plant on premises per plans attached

F. NOTICE TO THE APPLICANT

THE LAW REQUIRES THAT ALL OF THE CONDITIONS SET FORTH IN THE FOLLOWING FOUR PARAGRAPHS MUST BE ESTABLISHED BEFORE SUCH CONDITIONAL USE PERMIT CAN BE GRANTED. YOU MUST PROVE THAT YOU ARE ENTITLED TO THE PERMIT.

1. That the proposed use at the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the neighborhood or the community:

The proposed church will be built to serve the community and adjoining neighborhoods. Located between two schools and a public park, it will serve as a neighborhood center for youth and children's activities. It will provide Christian religious education for children of the neighborhood for families desiring such service. The church will cooperate with city and neighborhood civic activities in such activities as scouting, Bible girls, recreation, etc. It will help to stabilize and control use of the adjoining park by virtue of the presence of those carrying on activities in and around the building, since the need for supervision will be clearly recognized. The church has with its friends and members provided grading and landscaping, removal of rubbish and weeds to initiate park-keeping of the adjoining property. All street parking will be restricted

at the proposed use will comply with the regulations and conditions specified in the Municipal Code for such use: The property and improvements will be designed and constructed solely for religious worship, educational and fellowship purposes. Design of the building and adjacent areas by the architects and engineers will be in accordance with the codes and regulations for such use. The church is a non-profit organization (so incorporated in Missouri).

4. That the granting of this conditional use will not adversely affect the Master Plan of the City or the adopted plan of any governmental agency. The lots on which the proposed variance is requested are those on which the original sub-divider proposed church use. They have remained vacant, adjacent to city property presently designated for park use. Surrounding property has been already improved by construction of single-family dwellings and schools. The church construction is in conformity with original planning.

NOTICE: Any CONDITIONAL USE PERMIT granted shall be null and void, and shall be revoked automatically, one year after its effective date, unless the use and/or construction permitted is commenced before said time expires.

I/We am/are the owner(s) of the property described above and realizing that this application rests entirely upon and above answers and the accompanying data do hereby affirm and certify, under penalty of perjury, that the foregoing statements and answers are in all respects true and correct to the best of my/our knowledge.

Richard E. Barnett
auth. Representative for
 Reorganized Church of Jesus
 Christ of Latter Day Saints
 (Independence, Missouri)
 Pacific Beach Branch

Required Deposit/Fee: \$ 35.00
 (Make checks payable to City Treasurer)

X Owner

Paid 35.00 Date 7-26-67

Mailing Address 1016 Beryl Street
San Diego 92109
 Phone 273-0588 (R. E. Barnett)
4203 Claremont Drive
SD 17 Calif

Treasurer's Receipt No. 73092

PLEASE READ BEFORE SIGNING

We, the undersigned owners of property within the affected area, hereby certify that we have read the foregoing petition and agree that the facts stated are correct, and present the conditions surrounding the property involved in this Application, and believe the Application should be granted.
 (Add additional sheets where necessary.)

OWNER'S NAME	ADDRESS	LOT, BLOCK, SUBDIVISION	DATE
<i>Richard Donald Beath</i>	<i>4812 Mt. Etwa Dr</i>	<i>Lot 1102</i>	<i>7-9-67</i>
<i>Mrs. Richard D. Beath</i>	<i>4812 Mt. Etwa Dr</i>		<i>7-9-67</i>
<i>Mr & Mrs Fletcher L. Speed</i>	<i>4822 Mt. Etwa Dr</i>		<i>7-9-67</i>
<i>Mr & Mrs Kenneth R. Henman</i>	<i>4831 Mt. Etwa Dr</i>		<i>7-9-67</i>

Meeting of 8/11/67
ML

Res to Parker/Kensler & Parker

Case No. 8276
C. U. P.

STAFF REPORT

8/1/67

REORGANIZED CHURCH OF JESUS CHRIST LATTER DAY SAINTS - request permission to construct church plan on premises per plans attached - Lot 1112, East Clairemont #11, Annex at 4811 Mt. Etna Drive ~~East Clairemont #11, Annex at 4811 Mt. Etna Drive~~, Zone R-1-5

SUBJECT PROPERTY: This 1.205 acre, vacant lot is located on the south side of Mt. Etna Drive, 250' west of Mt. Foraker Ave. The frontage on Mt. Etna is 180'. The west lot line measures 483.68', and is at a right angle to the front property line. The east property line is parallel to the west property line for the first 100' southerly of Mt. Etna Drive. From this point, the east property line angles to the southwest to meet the south end of the west line. The lot is level for the northerly approximately 120' on the east and 190' on the west. From the level portion the land drops sharply to the west and east. An 11.59 acre, unsubdivided parcel to the west is under City ownership and is being developed as a neighborhood park, with a Little League field on a level portion approximately 30' below the grade of Mt. Etna Drive. The bank to the west of the subject lot is almost perpendicular in places. At the top of the bank there are water sprinkler heads installed by the Parks Department. On the west line of the improved lot adjacent to the east of the subject property *and* fronting on Mt. Etna Drive is a 5'-6" high solid board fence. Those lots lying southeasterly and fronting on Mt. Elbrus Drive range from 160' to 180' in depth and have building pads approximately 6' lower than the level portion of the subject lot. Uses across Mt. Etna Drive to the north are single family dwellings, and to the west of the abovementioned neighborhood park is Hans Christian Anderson elementary school.

Mt. Etna Drive is a 60' right of way, paved to 40', resulting in a distance from curb to property line of 10'. There is a 4' sidewalk at 5' from curb. The plot plan submitted indicates that trees are to be planted in this strip between curb and

'8276

-2-

8/11/67

sidewalk except for the two driveways proposed. The plans also show that hedge planting is proposed along the parking spaces to screen the parking area from view from the north.

The floor plan shows that the main sanctuary will seat 144 persons, and that the social hall would accommodate seating for 167 persons. Since the sanctuary and the social hall are not separated by a permanent or bearing wall, but rather by folding partition, the total seating capacity for church services could be 311 persons. Applying the standard criteria which would require one off-street parking space for each four seats, a total of 78 parking spaces would be required. The plan submitted shows 42 parking spaces based on the seating in the main sanctuary of 144 persons plus 20 choir and four priesthood totaling 168, then applying the 4:1 ratio.

The parking along the north encroaches 5' into the 15' setback.

While the plans indicates a "sign and spire", no detail on these was shown. They are shown on the north elevation plan, and this detached structure appears to be 27' in height. The overall height of the church building is shown as approximately 36', and above this an 11' high cross for a total of 47' where the limitation is 3 in the R-1-5 zone.]

Previous owner?

City property w- limits of Malabar.

Minutes of the Hearing of the Ass't Zoning Administrator
 Friday --- 2:00 p.m.
 City Council Chambers
 8/11/67

ATTENDANCE: VOYD H. BEIGHTS, Ass't Zoning Administrator; FAYE BALES, Sec'y

Case No. 8276
 C. U. P.
 Church of Christ
 Latter Day Saints

REORGANIZED CHURCH OF JESUS CHRIST LATTER DAY SAINTS - to
 construct church plant on premises per plans attached -
 Lot 1112, East Clairemont #11, Annex, at 4811 Mt. Etna Drive,
 Zone R-1-5

PRESENT: MR. RICHARD BARNETT, 4203 Clairemont Drive, representing the
 Church.

DISCUSSION: Staff Report was read.

MR. BARNETT stated he did not know anything about the folding
 doors - he understood it was to be glass between the Sanctuary
 and Social Hall with just doors to walk through. He and Mr.
 Beights reviewed the plans, and Mr. Barnett agreed the folding
 doors would be changed. MR. BEIGHTS asked if this area is for
 the overflow. MR. BARNETT replied it would be only on special
 occasions, and not very often. MR. BEIGHTS felt this should
 be continued to have the architect prepare new plans since
 this is obviously a misunderstanding. MR. BARNETT asked for
 at least two weeks, and asked if there is anything else on the
 plans that should be changed. MR. BEIGHTS replied he is not
 so concerned about the height of the cross and spire because
 the building will be setting back from the street with open
 space of parking to the east, and there is open space to the
 west toward the school. As far as the parking encroaching 5'
 into the 15' front yard, they are far enough away from the
 only adjacent dwelling. The main problem here is to satisfy
 the parking requirements.

DECISION: The application was continued two weeks, to be, to be #1 on
 the docket.

Laurelton Ave
 Laurelton Ave

ML

Minutes of the Hearing of the Zoning Administrator
 Friday - 2:00 P.M.
 City Council Chambers
 August 25, 1967

ATTENDANCE: VOYD H. BEIGHTS, Assistant Zoning Administrator
 Alice E. Byers, Secretary

Case No. 8276 REORGANIZED CHURCH OF JESUS CHRIST LATTER DAY SAINTS requests
 C.U.P. permission to construct church plant on premises per plans on
 Church of Jesus filed in the Office of the Zoning Division of the Planning De-
 Christ Latter partment; on Lot 1112, East Clairemont #11, Annex, at 4811 Mt.
 Day Saints Etna Drive, Zone R-1-5.
 (Continued)

PRESENT: Applicant: Mr. R. E. Barnett - Representing Church
 4203 Clairemont Drive
 San Diego, Calif. 92117

DISCUSSION: MR. BEIGHTS read the Findings of the Investigator.

MR. BEIGHTS stated this was a continued matter for the purpose of having the plans amended. The architect submitted revised plans showing the nave and social hall to be separated by a fixed permanent wall, labelled as such on the revised plans. For access into the main sanctuary, MR. BEIGHTS presumed this wall would have doors of sufficient width to satisfy the Building Code. He noted that off-street parking requirements are predicated on the number of seats in the main sanctuary. If this particular area was open, it would double the seating capacity in the sanctuary, which would affect the number of off-street parking spaces required.

Applicant: MR. BARNETT stated the wall will be a solid wall; they will comply with any Building Code requirements.

DECISION: APPROVED as AMENDED, subject to conditions:

That the parking area shall be paved with a minimum of 2" asphaltic concrete, be properly marked and have approved wheel stops installed;

That the permanent wall between the nave and social hall shall always remain at the location indicated on revised plans on file in the Office of the Zoning Division of the Planning Department;

That landscaping shall be installed and maintained with underground sprinkler system; plans for such landscaping, showing curbs, size and species of plants, and sprinkler system, to be submitted to and be approved by the Zoning Administrator prior to the issuance of any required City permits; such installation to be made prior to occupancy of the building;

Minutes - August 25, 1967

- 2 -

Case No. 8276

DECISION:
(Continued)

That should the existing board fence along the west property line of Lot 1113 be removed at some future time, a 5 ft. high decorative masonry wall shall be constructed along this line except for the setback, in which it shall be 3 ft. in height;

That final plans for the sign shall be submitted to and be approved by the Zoning Administrator.

September 1, 1967

- 2 -

Case No. 8276

FINDING OF FACTS

After thorough consideration of the statements contained in the application, the report of the Investigator thereon, a study of the plans, a personal inspection of the property and the surrounding district, and the statements made at the hearing on August 25, 1967, all of which are by reference made a part hereof, it was found that the four requirements for granting a Conditional Use Permit, as enumerated in Section 101.0504 of the Municipal Code have been established by the following facts:

1. The proposed use at this particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the neighborhood or the community.

This 1.205 acre, vacant lot is located on the south side of Mt. Etna Drive, 250 ft. west of Mt. Foraker Avenue. The frontage on Mt. Etna is 180 ft. The west lot line measures 483.68 ft. and is at a right angle to the front property line. The east property line is parallel to the west property line for the first 100 ft. southerly of Mt. Etna Drive. From this point, the east property line angles to the southwest to meet the south end of the west line. The lot is level for the northerly approximately 120 ft. on the east and 190 ft. on the west. From the level portion, the land drops sharply to the west and east. An 11.59 acre, unsubdivided parcel to the west is under City ownership and is being developed as a neighborhood park, with a Little League field on a level portion approximately 30 ft. below the grade of Mt. Etna Drive. The bank to the west of the subject lot is almost perpendicular in places. At the top of the bank there are water sprinkler heads installed by the Parks Department. On the west line of the improved lot adjacent to the east of the subject property and fronting on Mt. Etna Drive, is a 5'6" high solid board fence. Those lots lying southeasterly and fronting on Mt. Elbrus Drive range from 160 ft. to 180 ft. in depth and have building pads approximately 6 ft. lower than the level portion of the subject lot. Uses across Mt. Etna Drive to the north are single family dwellings, and to the west of the above-mentioned neighborhood park is Hans Christian Anderson elementary school.

Mt. Etna Drive is a 60 ft. right-of-way, paved to 40 ft., resulting in a distance from curb to property line of 10 ft. There is a 4 ft. sidewalk at 5 ft. from curb. The plot plan submitted indicates that trees are to be planted in this strip between curb and sidewalk except for the two driveways proposed. The plans also show that hedge planting is proposed along the parking spaces to screen the parking area from view from the north.

The floor plan shows that the main sanctuary will seat 144 persons and that the social hall would accommodate seating for 167 persons. Since the sanctuary and the social hall are not separated by a permanent or bearing wall, but rather by folding partition, the total seating capacity for church services could be 311 persons. Applying the standard criteria which would require one off-street parking space for each four seats, a total of 78 parking spaces would be required. The plan submitted shows 42 parking spaces based on the seating in the main sanctuary of 144 persons plus 20 choir and four priesthood, totaling 168, then applying the 4:1 ratio.

The parking along the north encroaches 5 ft. into the 15 ft. setback.

September 1, 1967

- 3 -

Case No. 8276

While the plans indicate a "sign and spire", no detail on these was shown. They are shown on the north elevation plan, and this detached structure appears to be 27 ft. in height. The overall height of the church building is shown as approximately 36 ft., and above this an 11 ft. high cross for a total of 47 ft. where the limitation is 30 ft. in the R-1-5 zone.

2. Such use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity, or injurious to the property or improvements in the vicinity.
3. The proposed use will comply with the regulations and conditions specified in the Code for such use.
4. The granting of this Conditional Use will not adversely affect the Master Plan of the City, or the adopted plan of any governmental agency.

This Conditional Use Permit is not a building permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this grant is violated, or if the same be not complied with in every respect, then this permit shall be subject to revocation; provided, however, that within ten (10) days after being notified in writing by the City that a condition has been violated and that subject Conditional Use Permit is null and void, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

This Conditional Use Permit granted by the City shall be null and void and shall be revoked automatically one year after its effective date, unless the use and/or construction permitted is commenced before said time expires, in accordance with Municipal Code Section 101.0506.

The permission granted by this Conditional Use Permit shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk, unless a written appeal is filed within ten (10) days after such filing in the Zoning Division of the Planning Department. See Municipal Code Section 101.0507.

Yours very truly,

CITY PLANNING DEPARTMENT

Voyd H. Beights
Assistant Zoning Administrator

**Filed in Office
of City Clerk**

SEP 1 1967

**RIGHT OF APPEAL expires
10 DAYS
after the above date.**

VHB:ML:ab

cc: Mr. R. E. Barnett

Parker, Kensler & Parker

September 1, 1967

RE: CONDITIONAL USE PERMIT - Case No. 8276
Application No. 818

Reorganized Church of Jesus Christ
Latter Day Saints
1016 Beryl Street
San Diego, California 92109

Gentlemen:

The Zoning Administrator's Office has considered your AMENDED application to construct church plant on premises, per plans on file in the Office of the Zoning Division of the Planning Department, on Lot 1112, East Clairemont #11 Annex, at 4811 Mt. Etna Drive, between Mt. Foraker Avenue and Mt. Herbert Avenue, Zone R-1-5; and after consideration of the following finding of facts, has GRANTED the request, subject to the following conditions:

1. That the parking area shall be paved with a minimum of 2" of asphaltic concrete, be properly marked and have approved wheel stops installed;
2. That the permanent wall between the nave and social hall shall always remain at the location indicated on revised plans on file in the Office of the Zoning Division of the Planning Department;
3. That landscaping shall be installed and maintained with underground sprinkler system; plans for such landscaping, showing curbs, size and species of plants, and sprinkler system, to be submitted to and be approved by the Zoning Administrator prior to the issuance of any required City permits; such installation to be made prior to occupancy of the building;
4. That should the existing board fence along the west property line of Lot 1113 be removed at some future time, a 5 ft. high decorative masonry wall shall be constructed along this line except for the setback, in which it shall be 3 ft. in height.
5. That final plans for the sign shall be submitted to and be approved by the Zoning Administrator.

*See Landscape file 475
See L-475*

See file 92641

RECEIVED *K. L.*
CITY CLERK'S OFFICE

1975 AUG 15 PM 3:54

SAN DIEGO, CALIF.

CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR - CASE NO. 8276

AMENDMENT - CONDITIONAL USE PERMIT - (HEARING)

The Zoning Administrator has considered your request, dated 8/6/75, for Amendment to Case No. 8276, dated 9/1/67 and subsequently amended and extended, which permitted THE REORGANIZED CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS to construct church plant with fencing and walls, per plans on file - Lot 1112, East Clairemont #11 Annex, at 4811 Mt. Etna Drive between Mt. Foraker Avenue and Mt. Herbert Avenue, Zone R-1-5; and does hereby AMEND to permit 18' front yard, per revised plans dated 8/15/75, and subject to all same conditions formerly imposed.

This Amendment is not a permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this grant is violated, or if the same be not complied with in every respect, then this variance shall be subject to revocation; provided, however, that after being notified in writing by the City that a condition has been violated and that subject permit is null and void within ten (10) days, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

The permission granted by this Amendment shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk, unless a written appeal is filed on official form and accompanied by required fee within ten (10) days; said appeal to be filed in Zoning Administration, Third Floor, City Operations Building, 1222 First Avenue. An appeal from any decision of the Zoning Administrator may be taken to the Board of Zoning Appeals by the applicant, any governmental body or agency, by any owner of real property located within the City or by any resident of the City. See Municipal Code Section 101.0504.

CITY PLANNING DEPARTMENT

Voyd H. Beights
Voyd H. Beights
Zoning Administrator

VHB:RCN:fb

FILED IN OFFICE
OF CITY CLERK

AUG 15 1975

RIGHT OF APPEAL expires
10 DAYS
after the above date.

RECEIVED
CITY CLERK'S OFFICE

1977 OCT -4 PM 4:00

SAN DIEGO, CALIF.

CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR

EXTENSION OF TIME

CONDITIONAL USE PERMIT - HEARING - CASE NO. 8276

The Zoning Administrator has considered your request dated September 2, 1977, for extension of time to Case No. 8276, dated September 1, 1967, and subsequently amended and extended, which permitted THE REORGANIZED CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS to construct church plant with fencing and wall per plans on file - Lot 1112, East Clairemont #11 Annex, at 4811 Mt. Etna Drive between Mt. Foraker Avenue and Mt. Herbert, Zone R-1-5; and does hereby GRANT an extension of time to expire August 16, 1978, subject to all conditions formerly imposed.

FINDING OF FACTS

After reviewing your request for an extension of time, as well as an inspection of the property and the neighborhood, all of which are by reference made a part hereof, it was found that there has been no material change of circumstances since the granting of the original request.

This Extension of Time is not a permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this grant is violated, or if the same be not complied with in every respect, then this variance or conditional use permit shall be subject to revocation; provided, however, that after being notified in writing by the City that a condition has been violated and that subject permit is null and void within ten (10) days if a public hearing was held and five (5) days if a public hearing was not held, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

The permission granted by this Extension of Time shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk if a public hearing was held and on the sixth day if a public hearing was not held, unless a written appeal is filed on official form and accompanied by required fee within ten (10) days if a public hearing was held and within five (5) days if a public hearing was not held; said appeal to be filed in Zoning Administration, Third Floor, City Operations Building, 1222 First Avenue. An appeal from any decision of the Zoning Administrator may be taken to the Board of Zoning Appeals by the applicant, any governmental body or agency, by any owner of real property located within the City or by any resident of the City. See Municipal Code Section 101.0504.

CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR - CASE NO. 8276

AMENDMENT - CONDITIONAL USE PERMIT

The Zoning Administrator has considered the request of THE REORGANIZED CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS for Amendment to Case No. 8276, dated 9/1/67 and subsequently amended and extended, which permitted church plant - Lot 1112, East Claremont #11 Annex, at 4811 Mt. Etna Drive between Mt. Foraker Avenue and Mt. Herbert, Zone R-1-5; and does hereby GRANT an amendment to include enclosure of existing open foyer (595 sq. ft.).

FINDING OF FACTS

Enclosure of the foyer does not increase the number of fixed seats in the main sanctuary. For the 162 fixed seats, there are 42 parking spaces provided where 40 are required. Enclosing the foyer will not encroach into parking or required yard, and will match the existing building.

This Amendment is not a permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this grant is violated, or if the same be not complied with in every respect, then this variance shall be subject to revocation; provided, however, that after being notified in writing by the City that a condition has been violated and that subject permit is null and void within five (5) days, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

The permission granted by this Amendment shall become effective and final on the sixth day after a decision is made, unless a written appeal is filed on official form and accompanied by required fee within five (5) days; said appeal to be filed in Zoning Administration, Third Floor, City Operations Building, 1222 First Avenue. An appeal from any decision of the Zoning Administrator may be taken to the Board of Zoning Appeals by the applicant, any governmental body or agency, or by any owner of real property located within the City or by any resident of the City. See Municipal Code Section 101.0504.

CITY PLANNING DEPARTMENT



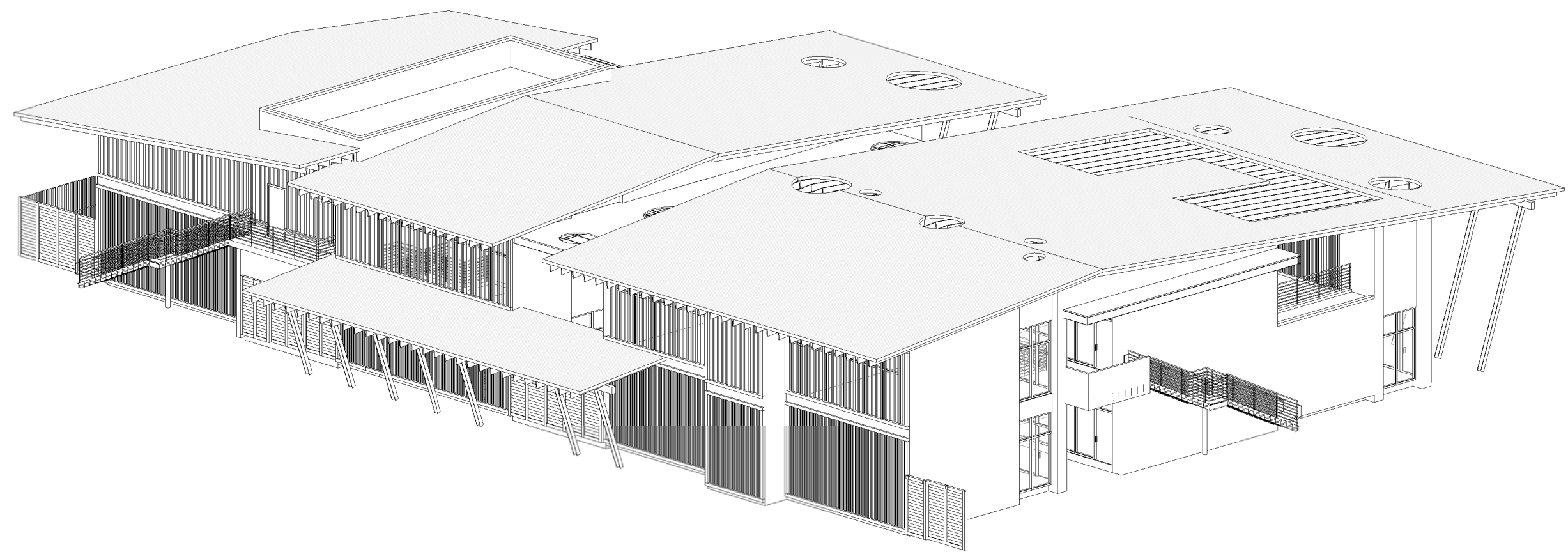
Joseph T. Flynn
Zoning Administrator

JTF:RCN:mh

JUN 24 1981

RIGHT OF APPEAL expires
5 DAYS
after the above date.

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CONDITIONAL USE PERMIT SUBMITTAL

TSUMIKI PRESCHOOL

4811 MT ETNA DR SAN DIEGO, CA 92117

1/17/2024

PROJECT PROGRAM SUMMARY

REVISED 10/20/2023
ORIGINAL 8/25/2020

CLASSROOMS

FLOOR	GRADE	NUMBER OF ROOMS	SF (APROX.)	TOTAL SF (APROX.)	STUDENTS / RM	TOTAL STUDENTS	TOTAL TEACHERS
1	INFANT	2	490	980	8	16	2
1	PRE-K	6	590	3,540	12	72	6
2	K	1	583	583	12	12	1
2	GRADE 1	1	590	590	12	12	1
2	GRADE 2	1	590	590	12	12	1
2	GRADE 3	1	583	583	12	12	1
SUBTOTAL		12		6,866		136	12

MAXIMUM OCCUPANT LOAD PER CBC 2022, 1004.5

FLOOR	GRADE	NUMBER OF ROOMS	SF (APROX.)	TOTAL SF (APROX.)	OCC. LOAD FACTOR	MAX. OCCUPANTS
1	INFANT	2	490	980	35	28
1	PRE-K	6	590	3,540		177
2	K	1	583	583		29
2	GRADE 1	1	590	590	20	29
2	GRADE 2	1	590	590		29
2	GRADE 3	1	583	583		29
SUBTOTAL				6,866		321

ADMINISTRATION / SUPPORT

FLOOR	PROGRAM	NUMBER OF ROOMS	SF	TOTAL SF
1	RECEPTION	1	210	210
1	WORK ROOM	1	213	213
1	KITCHEN	1	223	223
1	MULTI-PURPOSE	1	1,044	1,044
1	LAUNDRY	1	173	173
2	DIRECTOR'S OFFICE	1	128	128
2	OFFICE	1	182	182
2	LOUNGE	1	350	350
2	KITCHEN	1	104	104
SUBTOTAL		9		2,627

SHORT STAY

FLOOR	PROGRAM	NUMBER OF ROOMS	SF (APROX.)	TOTAL SF (APROX.)
2	ROOM 1	1	183	183
2	ROOM 2	1	121	121
2	ROOM 3	1	121	121
2	ROOM 4	1	186	186
2	LAUNDRY	1	57	57
SUBTOTAL		5		668
GRAND TOTAL		26		10,161

BUILDING FLOOR AREA (GROSS)

FLOOR	SF
1	8,773
2	7,100
TOTAL	15,873

PARKING

TYPE	MIN. REQUIRED	SPACES PROVIDED
STANDARD AUTOMOBILE PARKING	15	15
CLEAN-AIR VEHICLE PARKING	(2)	(3)
EV CHARGING SPACE	(2)	(2)
VAN ACCESSIBLE PARKING	1	1
LOADING SPACE	1	1
MOTORCYCLE PARKING	2	2
SHORT-TERM BICYCLE PARKING	2	4
LONG-TERM BICYCLE PARKING	1	3

OCCUPANT GROUP

OCCUPANCY	GROUP
ADMIN	B
CLASSROOM	E
SHORT STAY	R-1

CONSTRUCTION TYPE

TYPE V B, SPRINKLERED

ZONING INFORMATION

PROJECT ADDRESS 4811 MT ETNA DR SAN DIEGO, CA 92117

PROPERTY OWNER CALIFORNIA 21 INCORPORATED
4276 TAOS DR SAN DIEGO, CA 92117

APN 361-325-22-00

LEGAL DESCRIPTION LOT 1112 OF EAST CLAIREMONT UNIT NO. 11, ANNEX, RESUBDIVISION NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4613, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 24, 1960.

LOT AREA 1.21 ACRES (52,707 SF)

ZONING RS-1-7

FRONT SETBACK REQUIRED: 30' - 0" MINIMUM
PROPOSED: 45' - 10"

SIDE SETBACK EAST SIDE REQUIRED: 10' - 0" MINIMUM
PROPOSED: 14' - 8"

WEST SIDE
REQUIRED: 6' - 0" MINIMUM
PROPOSED: 6' - 3 1/2"
[CALC.] LOT WIDTH x 0.08
(INTERIOR SIDE)

REAR SETBACK REQUIRED: 48' - 4 13/32" MINIMUM
PROPOSED: COMPLIED
[CALC.] 10% OF THE LOT DEPTH

HEIGHT LIMIT REQUIRED: 30' - 0" MAXIMUM
PROPOSED: 29' - 10"
[ANGLE BUILDING ENVELOPE PLANE] ANGLE: 30 DEGREES, VERT. AXIS: 24' - 0"

FLOOR AREA RATIO REQUIRED: 45% MAXIMUM (23,718 SF)
PROPOSED: 30.1% (15,873 SF)
[CALC.] TOTAL GROSS FLOOR AREA / LOT AREA

LOT COVERAGE PROPOSED: 16.6%
[CALC.] BUILDING FOOTPRINT / LOT AREA

PARKING REQUIREMENTS K - GRADE 1,2 & 3
8 SPACES
[CALC.] 2 PER CLASSROOM (2 X 4 CLASSROOMS)
142-05C & §
142.0530, TABLE
142-05G) PRE-K AND INFANT
8 SPACES
[CALC.] 1 PER STAFF (8 CLASSROOMS X 1 STAFF)

SHORT STAY 0 SPACES
REQUIRED: 16 AUTOMOBILE SPACES, 2 MOTORCYCLE SPACES
PROPOSED: 15 STANDARD AUTOMOBILE SPACES
(3) CLEAN-AIR VEHICLE SPACES
(2) CHARGING STATIONS
1 VAN ACCESSIBLE SPACE
2 MOTORCYCLE SPACES

BICYCLE PARKING REQUIREMENTS SHORT-TERM BICYCLE PARKING
REQUIRED: 2
PROPOSED: 4
LONG-TERM BICYCLE PARKING
REQUIRED: 1
PROPOSED: 3

VMT REDUCTION MEASURES SHORT-TERM BICYCLE PARKING
SPACES - 20% BEYOND MIN. REQ'D
(2) X 1.5 = 3 POINTS

LONG-TERM BICYCLE PARKING
SPACES - 10% BEYOND MIN. REQ'D
2 POINTS

TOTAL REQUIRED POINTS: 5
TOTAL PROVIDED POINTS: 5

PROJECT DESCRIPTION

TSUMIKI PRESCHOOL HAS ACQUIRED THE SITE AT 4811 MT. ETNA DRIVE. THE SCHOOL WISHES TO TRANSITION TO PRIMARY USE ON SITE AND EXPAND ITS CAPACITY. THE SCHOOL WILL USE THE EXISTING FACILITIES OF THE CHURCH WHILE NEW BUILDINGS ARE COMPLETED, IN 4 CONSTRUCTION PHASES.

THE CURRENT CONDITIONAL USE PERMIT (NO. 8276) IS FOR THE EXISTING CHURCH. THE PURPOSE OF THIS DISCRETIONARY REVIEW IS FOR APPLICATION OF A NEW CONDITIONAL USE PERMIT. NEW USE WILL BE FOR DAYCARE AND SCHOOL FOR PRESCHOOL THROUGH GRADE 5 WITH INTERN TEACHERS' SHORT-TERM STAY FACILITIES IN RESIDENTIAL ZONE, RS-1-7.

PROJECT TEAM

OWNER
TSUMIKI PRESCHOOL
4811 MT ETNA DR, SAN DIEGO, CA 92117
T. 858 571-7000

DIRECTOR
MIHO TAKAHASHI
INFO@TSUMIKIPRESCHOOL.COM

MAASA ISHIKAWA
MAASA@TSUMIKIPRESCHOOL.COM

ARCHITECT
ROESLING NAKAMURA TERADA ARCHITECTS INC.
363 FIFTH AVENUE, SUITE 202
SAN DIEGO, CA 92101
T. 619 233-1023

PRINCIPAL-IN-CHARGE
CHIKAKO TERADA, ARCHITECT, LEED AP BD+C
TERADA@RNTARCHITECTS.COM

PROJECT MANAGER
KAILIE JOHNSON GUTIERREZ
JOHNSON@RNTARCHITECTS.COM

CIVIL ENGINEER
WSP USA
10525 VISTA SORRENTO PARKWAY, SUITE 350
SAN DIEGO, CA 92121
T. 858 500-4500

PROJECT MANAGER
MIKE MAGEE, PE
MIKE.MAGEE@WSP.COM

LANDSCAPE ARCHITECT
LANDLAB
702 WRELTON DR, SAN DIEGO, CA 92109
T. 858 483-9817

PRINCIPAL LANDSCAPE ARCHITECT
NEIL HADLEY, CA LLA, ASLA
NHADLEY@LAND-LAB.COM

PROJECT MANAGER
SHERIDA JEFFREY, MLA+U
SJEFFREY@LAND-LAB.COM

SHEET INDEX

(TOTAL SHEETS: 32)

TITLE & CODE
T-101 TITLE SHEET
T-101.1 GENERAL NOTES
T-102 CIRCULATION DIAGRAM

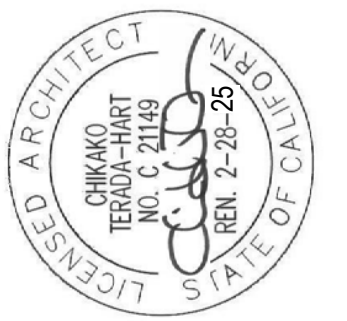
CIVIL
C-001 EXISTING PROPERTY SURVEY
C-100 DEMOLITION PLAN
C-200 OVERALL GRADING PLAN
C-201 GRADING PLAN
C-202 GRADING PLAN
C-203 GRADING PLAN
C-400 STORM WATER BMP PLAN

LANDSCAPE
L-1 LANDSCAPE PLAN
L-2 PLANTING PLAN
L-3 PLANTING PLAN
L-4 LANDSCAPE LEGEND
L-5 IRRIGATION PLAN AND NOTES
L-6 REVEGETATION PLAN
L-7 BRUSH MANAGEMENT PLAN AND NOTES
L-8 LANDSCAPE CALCULATIONS
L-9 LANDSCAPE CALCULATIONS

ARCHITECTURAL SITE PLAN
AS-101 SITE PLAN
AS-102 BUILDING & FIRE HYDRANT LOCATION
AS-103 PHASING DIAGRAM
AS-104 DROP-OFF / PICK-UP DIAGRAM

ARCHITECTURAL
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN
A-103 ROOF PLAN
A-201 EXTERIOR ELEVATIONS - NORTH, EAST
A-202 EXTERIOR ELEVATIONS - SOUTH, WEST
A-301 LONGITUDINAL SECTIONS
A-302 CROSS SECTIONS
A-501 DETAILS
A-502 DETAILS

VICINITY MAP & LOCATION



TITLE SHEET

TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
REVISIONS	DRAWN CHECKED RS CT
SHEET NO.	T-101
OF SHEETS	

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PARTIAL LIST OF APPLICABLE CODES & STANDARDS

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATION (CCR) IN THE ADAPTED MOST CURRENT CODE:

CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24 PART 1 AND 2

CALIFORNIA BUILDING CODE (CBD), TITLE 24 C.C.R. PART 2

CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3

CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4

CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5

CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6

CALIFORNIA ELEVATOR SAFETY CODE, C.C.R. TITLE 24 PART 7

CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8

CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9

CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10

CALIFORNIA GREEN BUILDING CODE, C.C.R. TITLE 24 PART 11

CALIFORNIA REF. STANDARDS CODE, C.C.R. TITLE 24 PART 12

TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

REFERENCE CODE SECTION FOR NFPA STANDARDS - CBC (SFM) 3504.1

AMERICANS WITH DISABILITIES ACT TII AND TIII ADAAG AS PUBLISHED IN APPENDIX A OF 28 CFR PART 36

CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION

VMT REDUCTION MEASURES

Section 8: Notice of VMT Reduction Measures Form (SDMC section 143.1103(b)(3))

The notice shall include contact information regarding the VMT Reduction Measures, as well as a statement that the measures are required pursuant to the San Diego Municipal Code. The notice shall be provided to the satisfaction of the Development Services Department. The notice shall be in substantially the same form as below.

Notice of VMT Reduction Measure(s)	
The Notice for Mobility Choices VMT Reduction measures, required for a development, shall be posted in a prominent and accessible common area where it can easily be viewed by residents and the public. The notice shall include the responsible party contact information and a statement regarding the measures which are required pursuant to SDMC Sections 143.1101, 143.1102, and 143.1103.	
Owner: Contact Information: Maasa Ishikawa, 858-571-7000	
Mobility Choices VMT Reduction Measure(s): Providing short-term bicycle parking spaces that are available to the public, at least 10% beyond minimum requirements. Minimum required number of short-term bicycle parking spaces is 2. The project provides 4 short-term bicycle parking spaces available to the public. This totals 3 points. Provide long-term bicycle parking spaces, at least 10% beyond minimum requirements. Minimum required number of long-term bicycle parking spaces is 1. The project provides 3 long-term bicycle parking spaces (lockers). This totals 2 points. Total VMT Points = 5	
Signature: <i>Maasa Ishikawa</i>	Date: 07 July 2023
Print Name & Title: Maasa Ishikawa, Preschool Director	
Company/Organization Name: Tsumiki Preschool	

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RNT
 ARCHITECTS
 ROESLING NAKAMURA TERADA ARCHITECTS, INC.
 360 Fifth Ave., Ste. 202
 San Diego, CA 92101
 P 619.233.1023
 F 619.233.0016

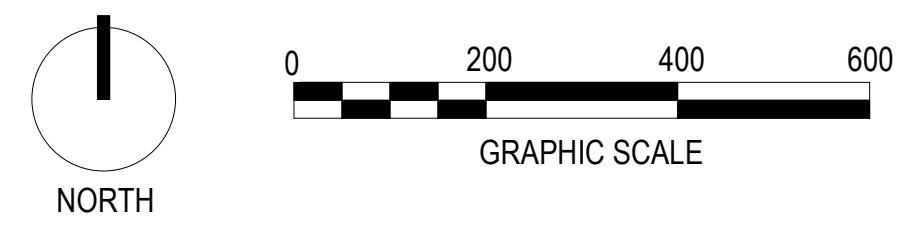
GENERAL NOTES
TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117
CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
DRAWN	Author
CHECKED	Checker
REVISIONS	
SHEET NO.	T-101.1
OF	SHEETS

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- LEGEND**
- OPEN STREET PARKING
 - BUS STOP
 - MEDIUM TRAFFIC
 - LIGHT TRAFFIC
 - MAIN STREET



ARCHITECT STAMP

ARCHITECT STAMP

PREPARED BY

RNT
ARCHITECTS
ROESLING NAKAMURA TERADA ARCHITECTS, INC.

305 Elm Ave, Ste 202
San Diego, CA 92101
P: 619.233.1023
F: 619.233.0016

CIRCULATION DIAGRAM

TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117

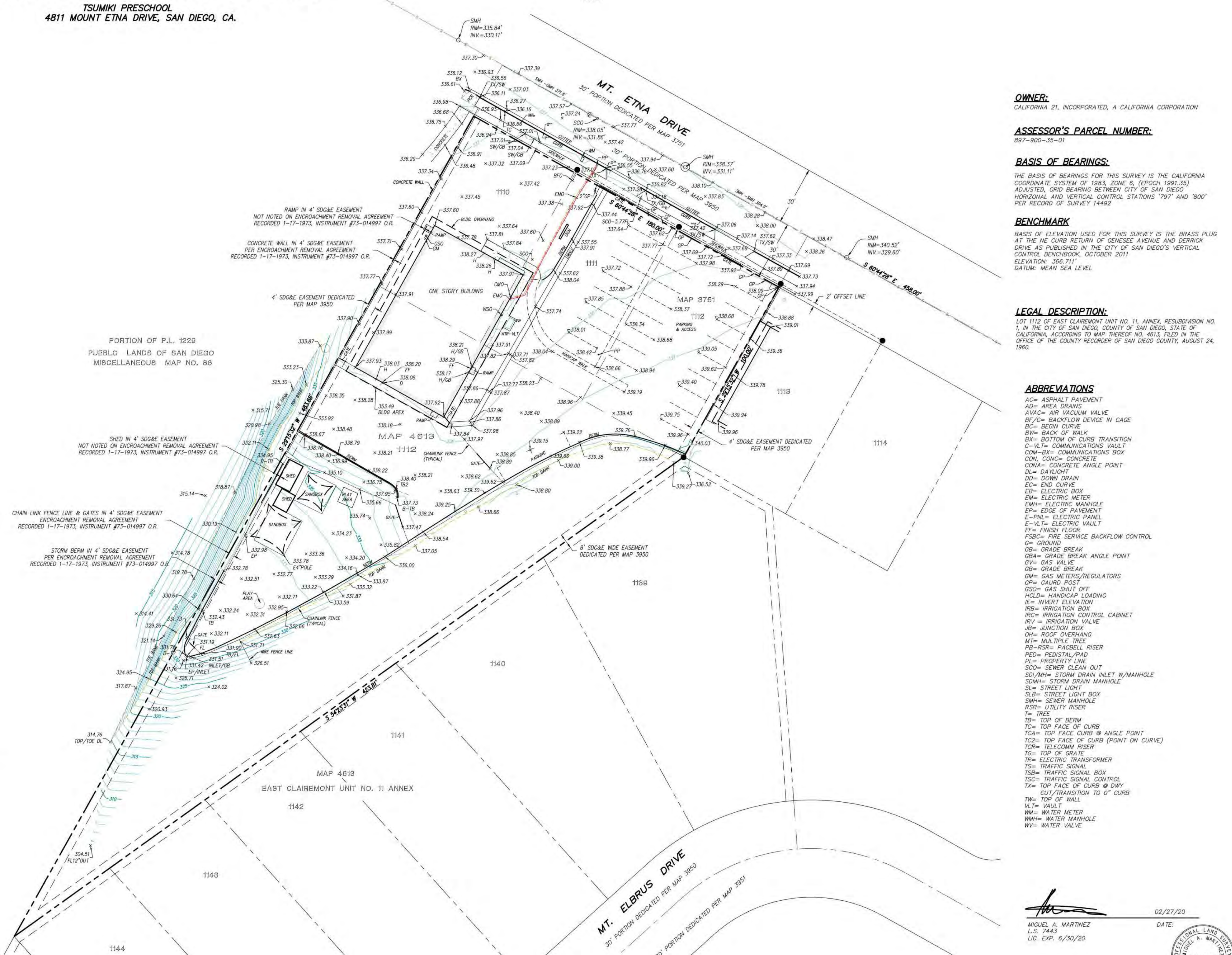
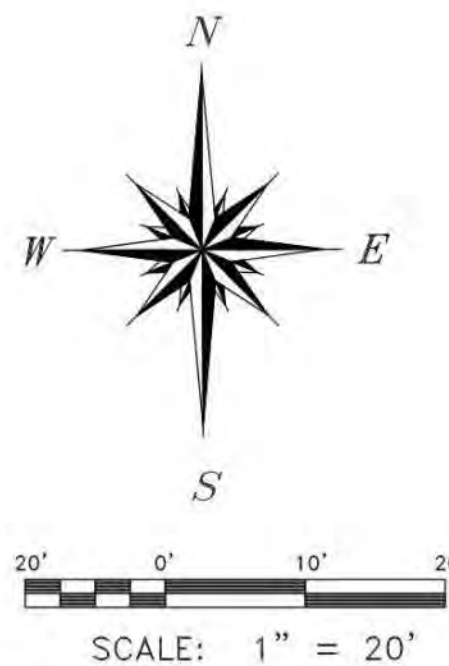
CONDITIONAL USE PERMIT

PROJECT NO. 883	
R.S. 030	A.P.
FILE NAME	
DATE 1/17/2024	DRAWN RS
REVISIONS	CHECKED CT
SHEET NO. T-102	
OF SHEETS	

TOPOGRAPHICAL SURVEY

TSUMIKI PRESCHOOL
4811 MOUNT ETNA DRIVE, SAN DIEGO, CA.

SHEET 1 OF 1 SHEET



OWNER:
CALIFORNIA 21, INCORPORATED, A CALIFORNIA CORPORATION

ASSESSOR'S PARCEL NUMBER:
897-900-35-01

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, (EPOCH 1991.35) ADJUSTED, GRID BEARING BETWEEN CITY OF SAN DIEGO HORIZONTAL AND VERTICAL CONTROL STATIONS '797' AND '800' PER RECORD OF SURVEY 14492

BENCHMARK
BASIS OF ELEVATION USED FOR THIS SURVEY IS THE BRASS PLUG AT THE NE CURB RETURN OF GENESEE AVENUE AND DERRICK DRIVE AS PUBLISHED IN THE CITY OF SAN DIEGO'S VERTICAL CONTROL BENCHMARK, OCTOBER 2011 ELEVATION: 356.711' DATUM: MEAN SEA LEVEL

LEGAL DESCRIPTION:
LOT 112 OF EAST CLAIREMONT UNIT NO. 11, ANNEX, RESUBDIVISION NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4813, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 24, 1960.

- ABBREVIATIONS**
- AC= ASPHALT PAVEMENT
 - AD= AREA DRAINS
 - AVAC= AIR VACUUM VALVE
 - BY= BACKFLOW DEVICE IN CAGE
 - BC= BEGIN CURVE
 - BW= BACK OF WALK
 - BT= BOTTOM OF CURB TRANSITION
 - C-VLT= COMMUNICATIONS VAULT
 - COM= COMMUNICATIONS BOX
 - CON= CONCRETE
 - CONA= CONCRETE ANGLE POINT
 - DL= DAYLIGHT
 - DD= DOWN DRAIN
 - EC= END CURVE
 - EB= ELECTRIC BOX
 - EM= ELECTRIC METER
 - EMH= ELECTRIC MANHOLE
 - EP= EDGE OF PAVEMENT
 - E-PNL= ELECTRIC PANEL
 - E-VLT= ELECTRIC VAULT
 - FF= FINISH FLOOR
 - FSSC= FIRE SERVICE BACKFLOW CONTROL
 - G= GROUND
 - GB= GRADE BREAK
 - GBA= GRADE BREAK ANGLE POINT
 - GV= GAS VALVE
 - GR= GRADE BREAK
 - GM= GAS METERS/REGULATORS
 - GP= GROUND POST
 - GSO= GAS SHUT OFF
 - HCLD= HANDICAP LOADING
 - IE= INVERT ELEVATION
 - IRB= IRRIGATION BOX
 - IRC= IRRIGATION CONTROL CABINET
 - IRV= IRRIGATION VALVE
 - JB= JUNCTION BOX
 - OH= ROOF OVERHANG
 - MT= MULTIPLE TREE
 - PB-RSR= PACBELL RISER
 - PED= PEDISTAL/PAD
 - PL= PROPERTY LINE
 - SCO= SEWER CLEAN OUT
 - SD/AMH= STORM DRAIN INLET W/MANHOLE
 - SDMH= STORM DRAIN MANHOLE
 - SL= STREET LIGHT
 - SLB= STREET LIGHT BOX
 - SMH= SEWER MANHOLE
 - RSR= UTILITY RISER
 - T= TREE
 - TB= TOP OF BERM
 - TC= TOP FACE OF CURB
 - TCA= TOP FACE CURB @ ANGLE POINT
 - TC2= TOP FACE OF CURB (POINT ON CURVE)
 - TCR= TELECOMM RISER
 - TG= TOP OF GRADE
 - TR= ELECTRIC TRANSFORMER
 - TS= TRAFFIC SIGNAL
 - TSB= TRAFFIC SIGNAL BOX
 - TCSC= TRAFFIC SIGNAL CONTROL
 - TX= TOP FACE OF CURB @ DWY CUT/TRANSITION TO 0" CURB
 - TW= TOP OF WALL
 - VLT= VAULT
 - WM= WATER METER
 - WHM= WATER MANHOLE
 - WV= WATER VALVE

Miguel A. Martinez
MIGUEL A. MARTINEZ
L.S. 7443
L.I.C. EXP. 6/30/20
DATE: 02/27/20



CONSULTANT LOGO

CONSULTANT LOGO

CONSULTANT STAMP

CONSULTANT STAMP

ARCHITECT STAMP

PREPARED BY

RNT ARCHITECTS
ROESLING NAKAMURA TERADA ARCHITECTS, INC.
365 Fifth Ave. Ste. 202
San Diego, CA 92101
P. 619.233.0233
F. 619.233.0016

EXISTING PROPERTY SURVEY

TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
DRAWN	RS
CHECKED	CT
REVISIONS	
SHEET NO.	C-001
OF SHEETS	

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ALTA LAND SURVEYING, INC.
9517 Grossmont Summit Dr.
La Mesa, CA 91941
Phone/fax: (619) 713-2582
altaandsurveying.com

4059 TOPO MAP.DWG - JN 20-4059 DATE: 02-27-20

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LEGEND

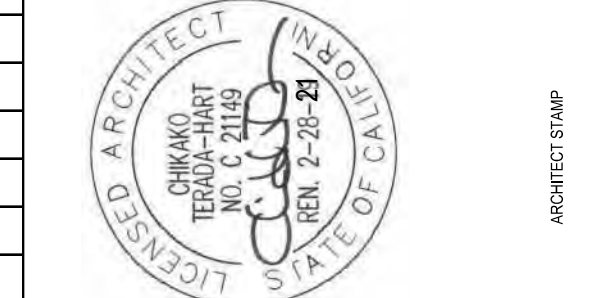
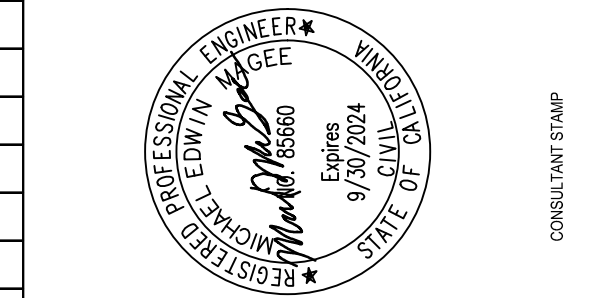
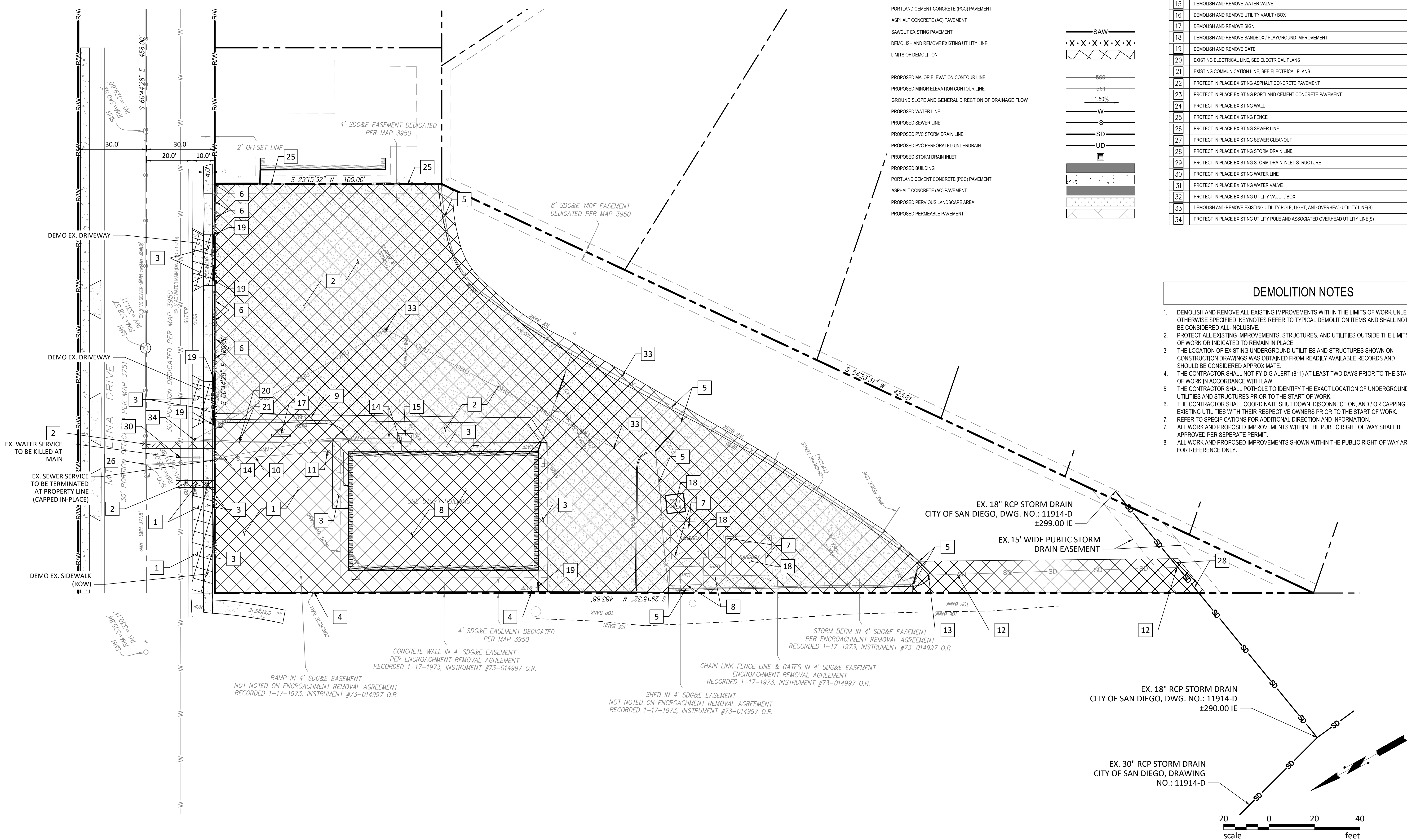
Table with 2 columns: DESCRIPTION (WITH APPLICABLE STANDARD DRAWING) and SYMBOL. Lists various utility lines, easements, and materials with their corresponding symbols.

DEMOLITION KEYNOTES

Table with 2 columns: Keynote number and description. Lists 34 items for demolition, such as vegetation, pavement, walls, fences, and structures.

DEMOLITION NOTES

- 8 numbered notes detailing demolition procedures, including notification requirements, utility identification, and safety protocols.



DEMOLITION PLAN
TSUMIKI PRESCHOOL
4811 MT. ETNA DRIVE, SAN DIEGO, CALIFORNIA 92117
CONDITIONAL USE PERMIT

Project information table including Project No. 883, R.S. 030, A.P., File Name, Date 1/17/2024, Drawn MF/VAU, Checked MM, Sheet No. C-100, and OF SHEETS.

GRADING NOTES

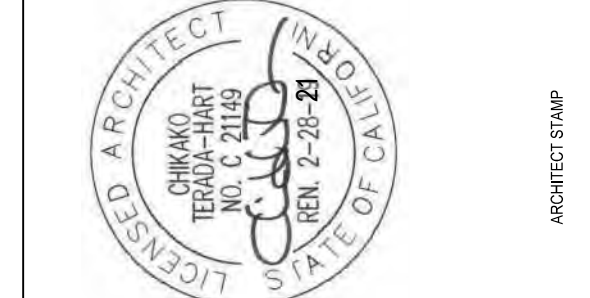
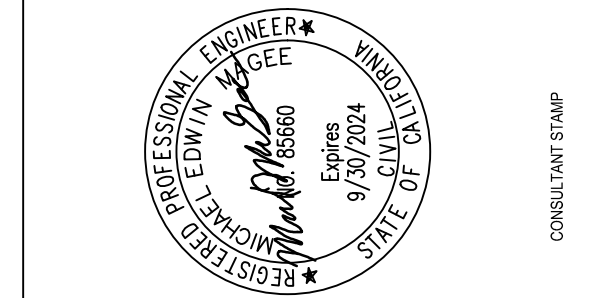
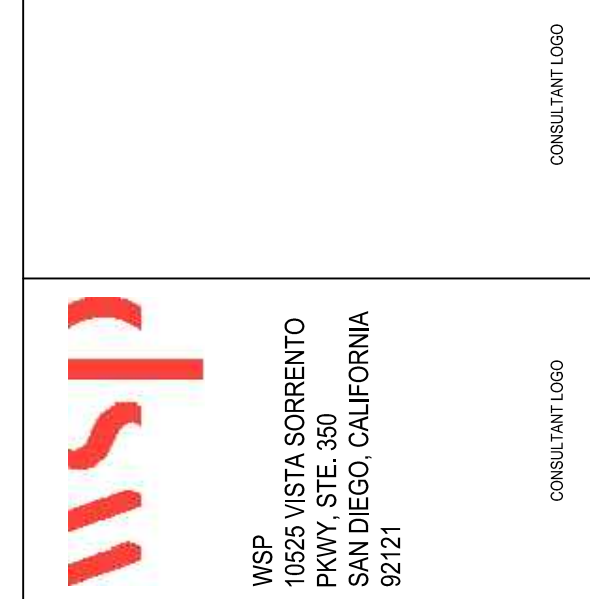
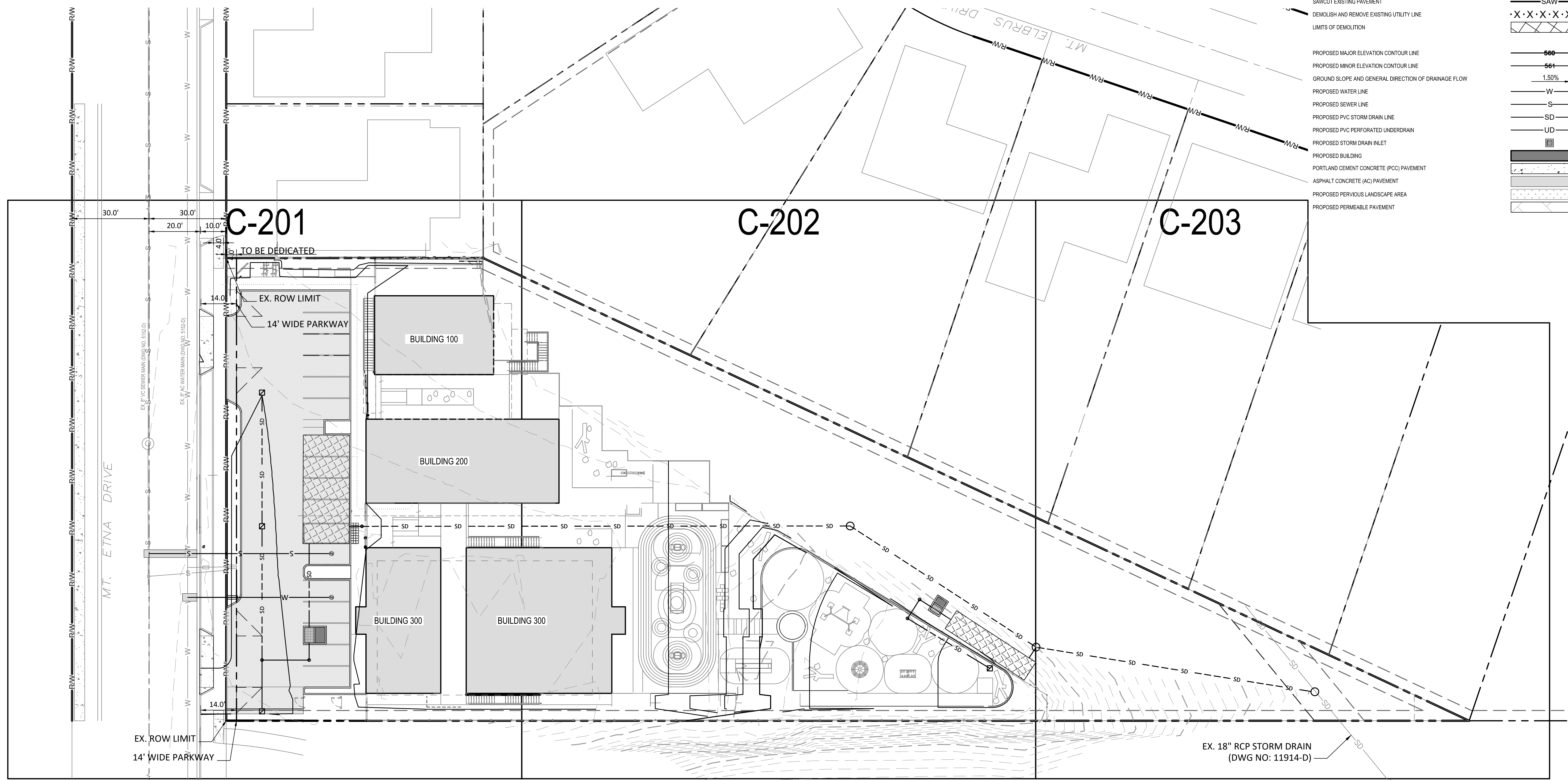
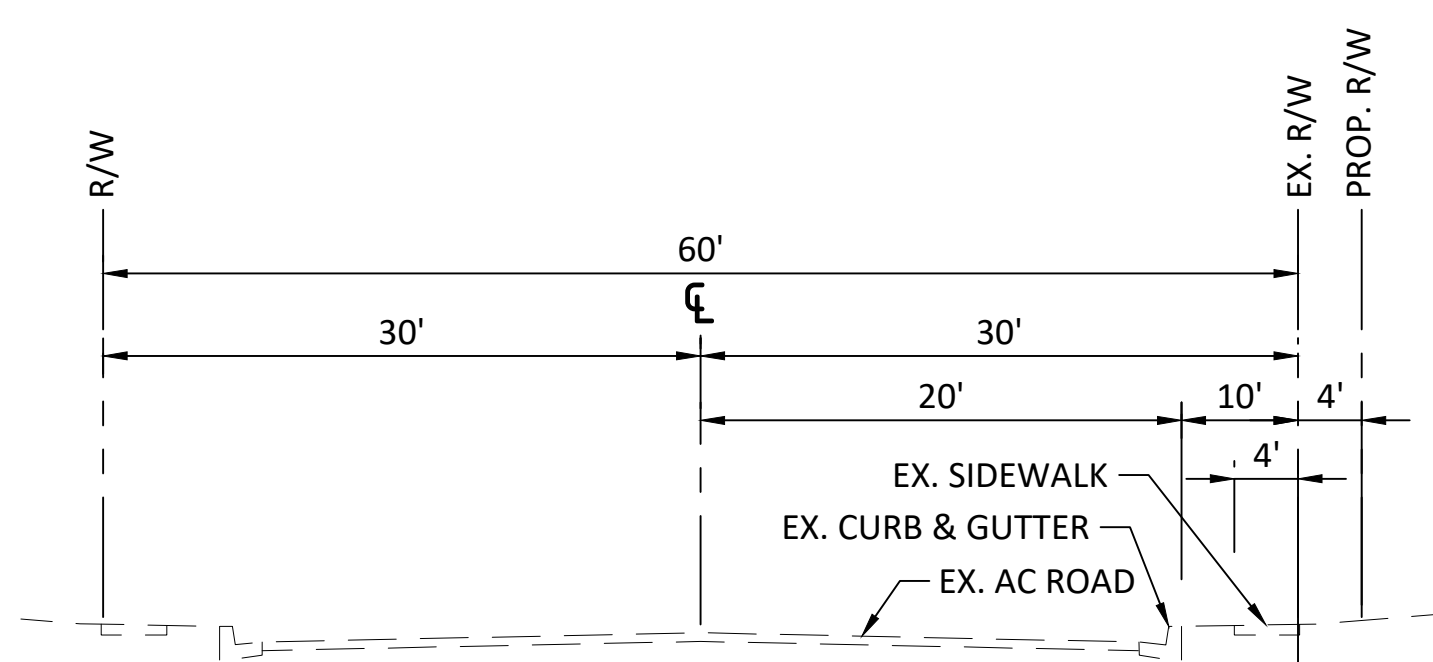
- BENEATH FOUNDATIONS, SOILS SHALL BE OVER-EXCAVATED AT LEAST 3 FEET BELOW DEEPEST PLANNED FOOTING BOTTOM AND EXTEND 5 FEET OUTSIDE PERIMETER FOOTINGS.
- BENEATH HARDSCAPE PAVEMENTS, SOILS SHALL BE OVER-EXCAVATION AT LEAST 18 INCHES BELOW PLANNED SUBGRADE ELEVATION AND EXTEND 2 FEET OUTSIDE PROPOSED PAVEMENTS, OR UP TO EXISTING IMPROVEMENTS, WHICHEVER IS LESS.
- FILL MATERIALS SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 90 PERCENT RELATIVE DENSITY PER ASTM D1557.
- AGGREGATE BASE, SUBBASE, AND THE UPPER 12 INCHES OF SUBGRADE MATERIALS BENEATH TRAFFIC RATED PAVEMENT SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 95 PERCENT RELATIVE DENSITY PER ASTM D1557.
- ALL GRADING DETAILS SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF SAN DIEGO STANDARD DRAWINGS AND SPECIFICATIONS.
- GRADING PERMIT SHALL BE REQUIRED AS A CONDITION OF APPROVAL.
- STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE REQUIRED AS CONDITION OF APPROVAL.
- ALL WORK AND PROPOSED IMPROVEMENTS SHOWN WITHIN THE PUBLIC RIGHT OF WAY ARE FOR REFERENCE ONLY AND SHALL BE APPROVED PER SEPARATE PERMITS(S).
- AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT WILL BE REQUIRED FOR ANY PRIVATE IMPROVEMENTS, LANDSCAPE AND IRRIGATION IN PUBLIC RIGHT OF WAY, SUBJECT TO ENGINEER'S APPROVAL.

WATER/SEWER/FIRE DEMANDS

WATER: 148 FIXTURE UNITS
SEWER: 175 DRAINAGE UNITS
FIRE: 4000 GPM

LEGEND

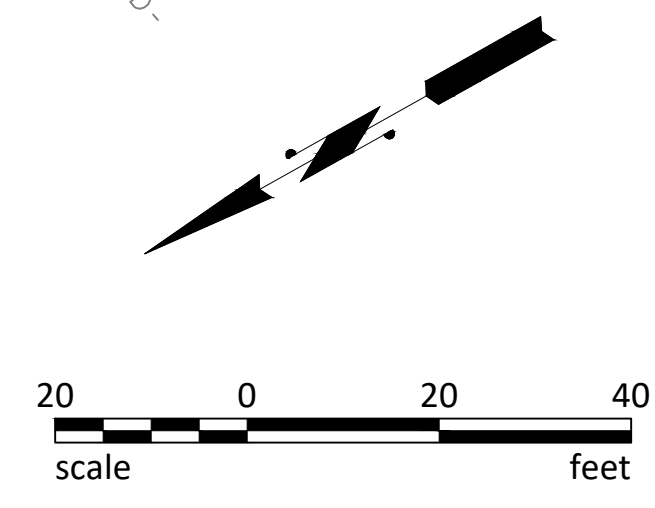
DESCRIPTION (WITH APPLICABLE STANDARD DRAWING)	SYMBOL
LIMITS OF WORK	---
RIGHT OF WAY (ROW)	---R/W---
PROPERTY LINE	---
EXISTING MAJOR ELEVATION CONTOUR LINE	---560---
EXISTING MINOR ELEVATION CONTOUR LINE	---561---
EXISTING GRADE SPOT ELEVATION	+EG 561.36'
EXISTING WATER LINE	---W---
EXISTING STORM DRAIN LINE	---SD---
EXISTING SEWER LINE	---S---
EXISTING ELECTRICAL LINE	---E---
EXISTING COMMUNICATION LINE	---COM---
EXISTING OVERHEAD UTILITY LINE	---OHU---
EXISTING FENCE LINE	---X---
PORTLAND CEMENT CONCRETE (PCC) PAVEMENT	---PCC---
ASPHALT CONCRETE (AC) PAVEMENT	---AC---
SAWCUT EXISTING PAVEMENT	---SAW---
DEMOLISH AND REMOVE EXISTING UTILITY LINE	---X·X·X·X·X·X---
LIMITS OF DEMOLITION	---X·X·X·X·X·X---
PROPOSED MAJOR ELEVATION CONTOUR LINE	---560---
PROPOSED MINOR ELEVATION CONTOUR LINE	---561---
GROUND SLOPE AND GENERAL DIRECTION OF DRAINAGE FLOW	---1.50%---
PROPOSED WATER LINE	---W---
PROPOSED SEWER LINE	---S---
PROPOSED PVC STORM DRAIN LINE	---SD---
PROPOSED PVC PERFORATED UNDERDRAIN	---UD---
PROPOSED STORM DRAIN INLET	---SDI---
PROPOSED BUILDING	---B---
PORTLAND CEMENT CONCRETE (PCC) PAVEMENT	---PCC---
ASPHALT CONCRETE (AC) PAVEMENT	---AC---
PROPOSED PERVIOUS LANDSCAPE AREA	---PLA---
PROPOSED PERMEABLE PAVEMENT	---PP---



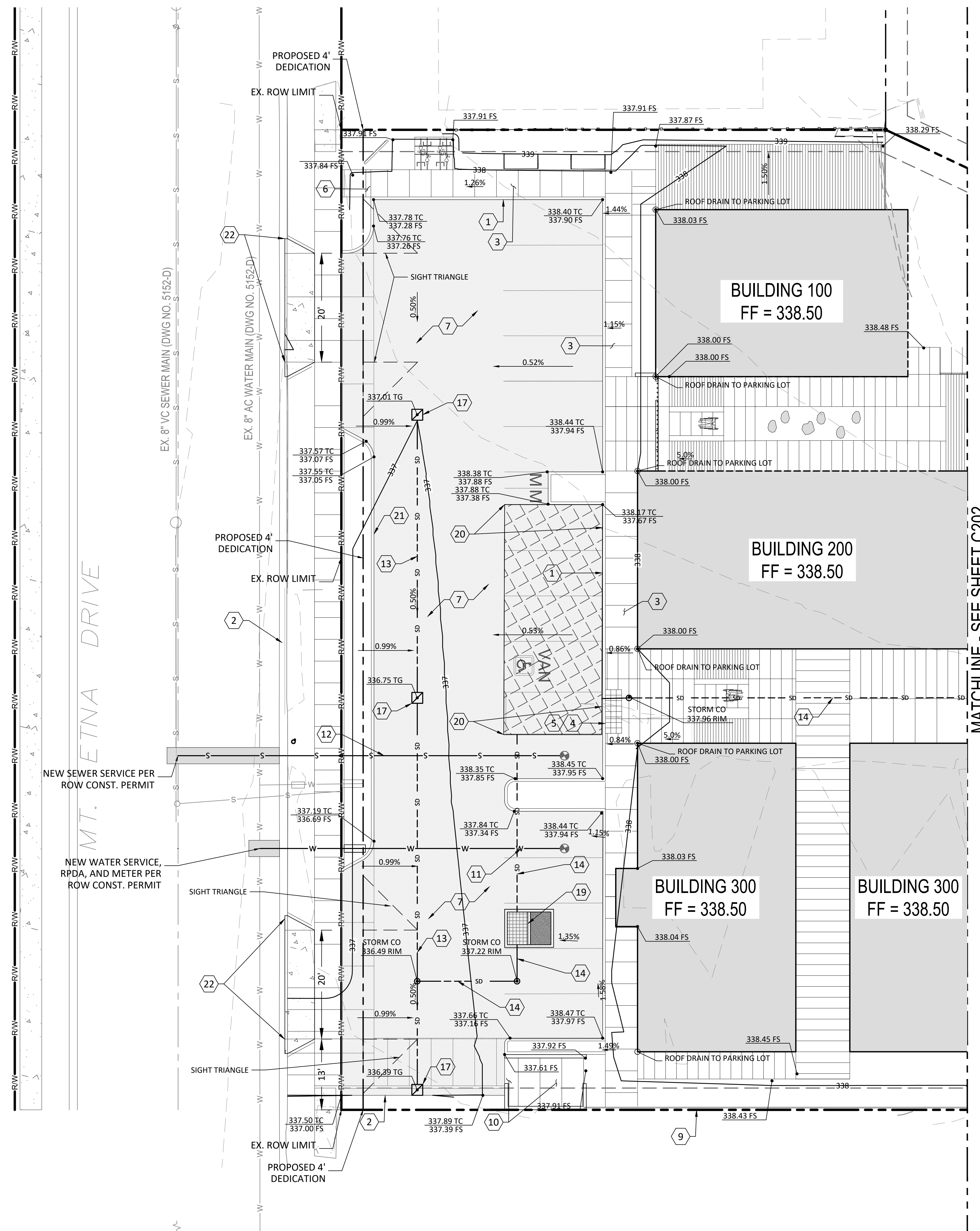
OVERALL GRADING PLAN
 TSUMIKI PRESCHOOL
 4811 MT. ETNA DRIVE, SAN DIEGO, CALIFORNIA 92117
 CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
DRAWN	MF/VAU
CHECKED	MM
REVISIONS	
SHEET NO.	C-200
OF SHEETS	

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GRADING KEYNOTES

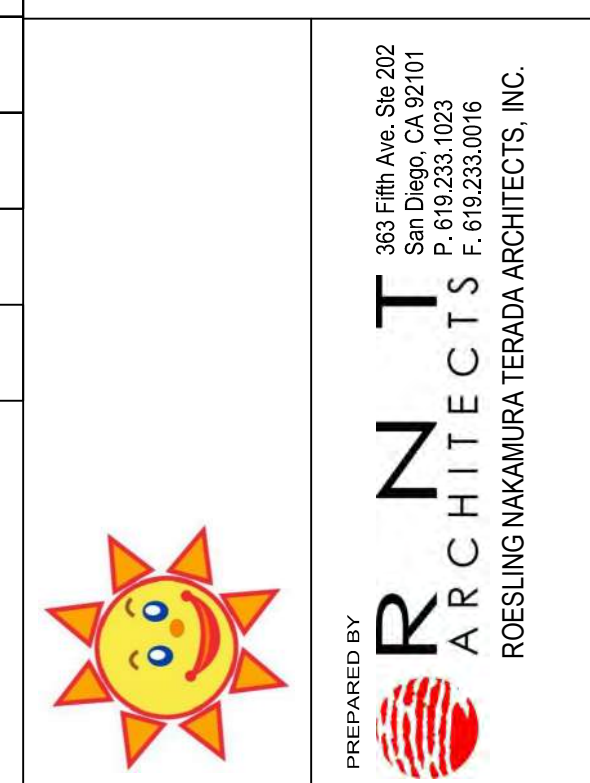
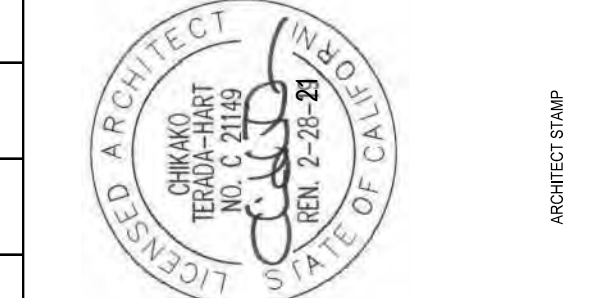
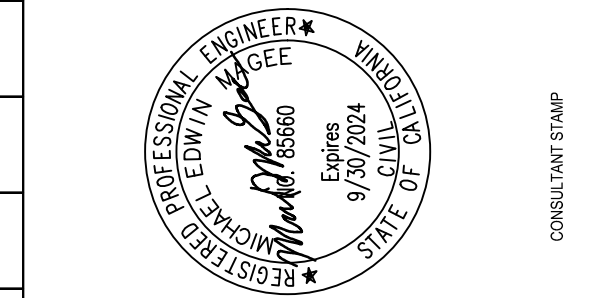
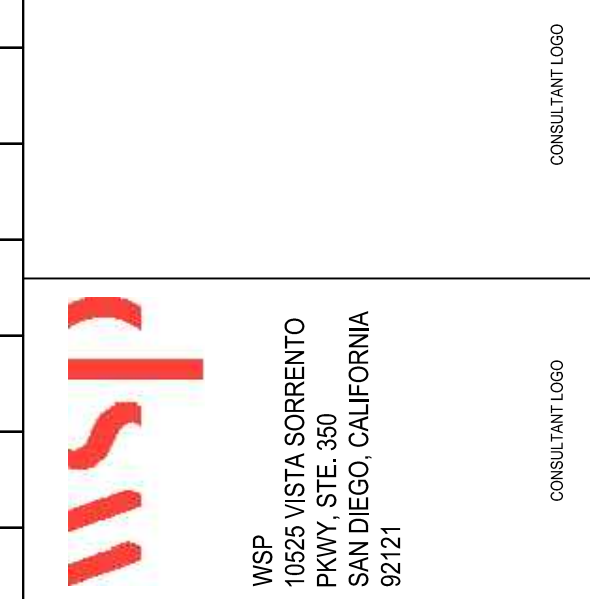
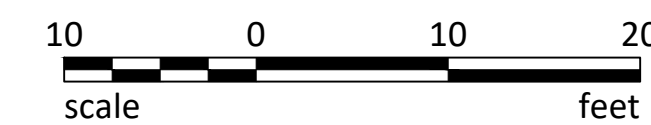
1	6" CONCRETE CURB(S) PER SDG-150
2	6" CONCRETE CURB AND GUTTER (COMBINED) PER SDG-151
3	CONCRETE SIDEWALK PER SDG-155
4	CONCRETE RAMP, TYPE C-1 PER SDG-135
5	DETECTABLE WARNING TILES PER SDG-130
6	TRAFFIC RATED PORTLAND CEMENT CONCRETE PAVEMENT UNDERLAIN BY CLASS 2 AGGREGATE BASE
7	ASPHALT PAVEMENT
8	SYNTHETIC PLAYGROUND SURFACE PER ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION
9	SITE WALL, SEE ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION
10	TRASH ENCLOSURE
11	PRIVATE 2" SCHEDULE 80 PVC WATERLINE, BEDDING AND BACKFILL PER SDW-110
12	PRIVATE 4" SDR-35 PVC SEWER, BEDDING AND BACKFILL PER SDS-110
13	PRIVATE 6" SDR-35 PVC STORM DRAIN, BEDDING AND BACKFILL PER SDD-110
14	PRIVATE 12" SDR-35 PVC STORM DRAIN, BEDDING AND BACKFILL PER SDD-110
15	PRIVATE 4" PVC PERFORATED PIPE
16	PRIVATE 24" STORM DRAIN MANHOLE, FRAME, & COVER PER M-01
17	PRIVATE 2' x 2' PRECAST CATCH BASIN, BOTTOM SHALL BE 4" THICK PCC SLOPED TOWARDS OUTLET
18	PRIVATE MODULAR WETLAND STORM WATER BIOFILTRATION SYSTEM, MODEL MWS-4-4-V
19	PRIVATE MODULAR WETLAND STORM WATER BIOFILTRATION SYSTEM, MODEL MWS-4-6-V
20	PRIVATE CUDO STORM WATER DETENTION VAULT
21	PAINT RED CURB
22	INSTALL CONCRETE DRIVEWAY PER SDG-160

GRADING NOTES

- BENEATH FOUNDATIONS, SOILS SHALL BE OVER-EXCAVATED AT LEAST 3 FEET BELOW DEEPEST PLANNED FOOTING BOTTOM AND EXTEND 5 FEET OUTSIDE PERIMETER FOOTINGS.
- BENEATH HARDSCAPE PAVEMENTS, SOILS SHALL BE OVER-EXCAVATION AT LEAST 18 INCHES BELOW PLANNED SUBGRADE ELEVATION AND EXTEND 2 FEET OUTSIDE PROPOSED PAVEMENTS, OR UP TO EXISTING IMPROVEMENTS, WHICHEVER IS LESS.
- FILL MATERIALS SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 90 PERCENT RELATIVE DENSITY PER ASTM D1557.
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EARTHWORK VOLUMES

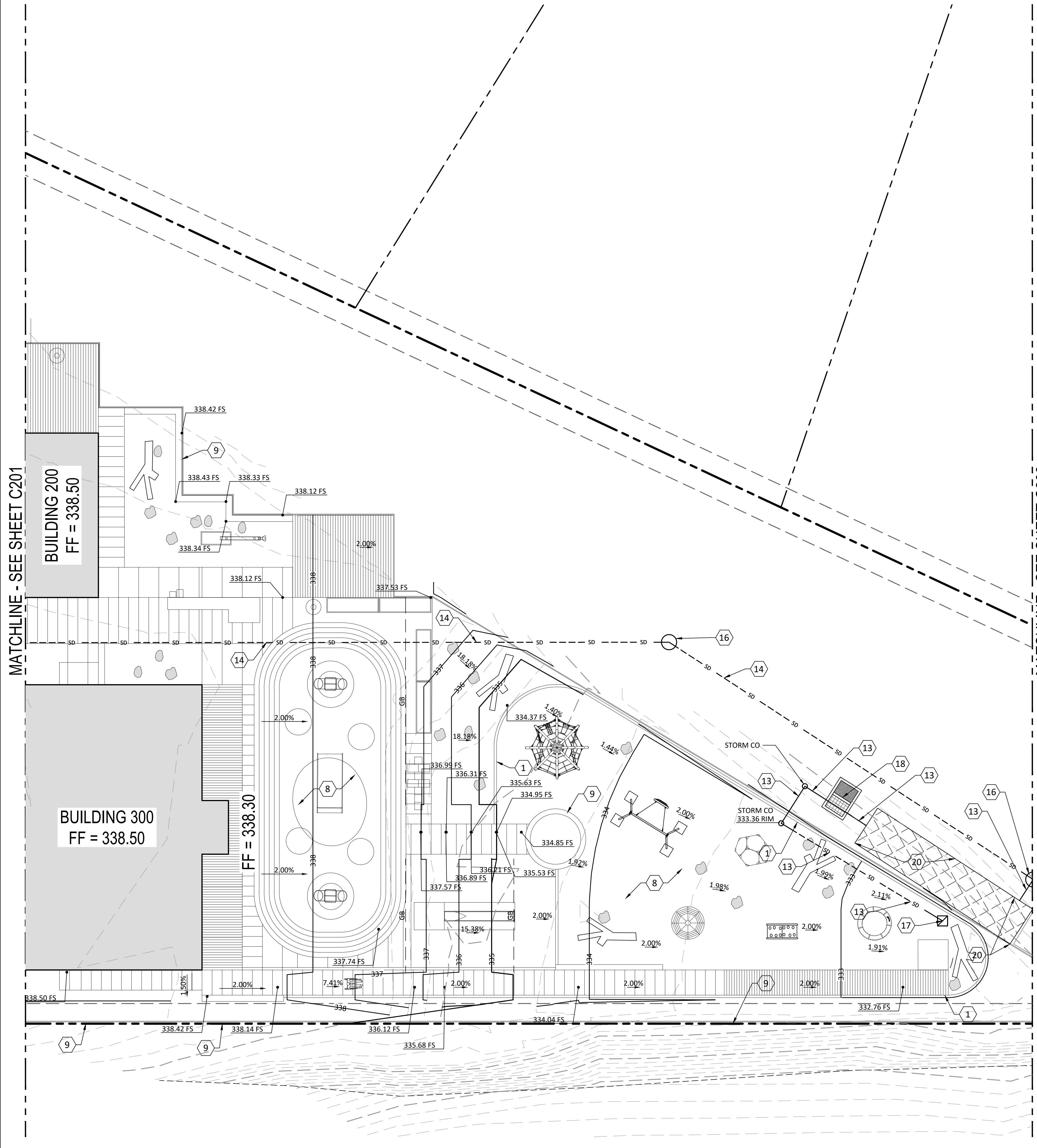
CUT = 158 CUBIC YARDS
 FILL = 357 CUBIC YARDS
 NET = +198 CUBIC YARDS (IMPORT)
 MAX CUT: 2'
 MAX FILL: 1'



GRADING PLAN
 TSUMIKI PRESCHOOL
 4811 MT. ETNA DRIVE, SAN DIEGO, CALIFORNIA 92117
 CONDITIONAL USE PERMIT

PROJECT NO.	R.S. 030	A.P.	883
FILE NAME			
DATE	1/17/2024	DRAWN	MF/VAU
REVISIONS		CHECKED	MM
SHEET NO.	C-201		
OF SHEETS	OF SHEETS		

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GRADING KEYNOTES

1	6" CONCRETE CURB(S) PER SDG-150
2	6" CONCRETE CURB AND GUTTER (COMBINED) PER SDG-151
3	CONCRETE SIDEWALK PER SDG-155
4	CONCRETE RAMP, TYPE C-1 PER SDG-135
5	DETECTABLE WARNING TILES PER SDG-130
6	TRAFFIC RATED PORTLAND CEMENT CONCRETE PAVEMENT UNDERLAIN BY CLASS 2 AGGREGATE BASE
7	ASPHALT PAVEMENT
8	SYNTHETIC PLAYGROUND SURFACE PER ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION
9	SITE WALL, SEE ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION
10	TRASH ENCLOSURE
11	PRIVATE 2" SCHEDULE 80 PVC WATERLINE, BEDDING AND BACKFILL PER SDW-110
12	PRIVATE 4" SDR-35 PVC SEWER, BEDDING AND BACKFILL PER SDS-110
13	PRIVATE 6" SDR-35 PVC STORM DRAIN, BEDDING AND BACKFILL PER SDD-110
14	PRIVATE 12" SDR-35 PVC STORM DRAIN, BEDDING AND BACKFILL PER SDD-110
15	PRIVATE 4" PVC PERFORATED PIPE
16	PRIVATE 24" STORM DRAIN MANHOLE, FRAME, & COVER PER M-01
17	PRIVATE 2' x 2' PRECAST CATCH BASIN, BOTTOM SHALL BE 4" THICK PCC SLOPED TOWARDS OUTLET
18	PRIVATE MODULAR WETLAND STORM WATER BIOFILTRATION SYSTEM, MODEL MWS-4-4-6-V
19	PRIVATE MODULAR WETLAND STORM WATER BIOFILTRATION SYSTEM, MODEL MWS-4-6-6-V
20	PRIVATE CUDO STORM WATER DETENTION VAULT
21	PAINT RED CURB
22	INSTALL CONCRETE DRIVEWAY PER SDG-160

WSP
WSP
11555 VISTA SORRENTO
PRIMA, STE. 500
SAN DIEGO, CALIFORNIA
92121

CONSULTANT LOGO

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
No. 63660
Exp. 9/30/2024
CIVIL

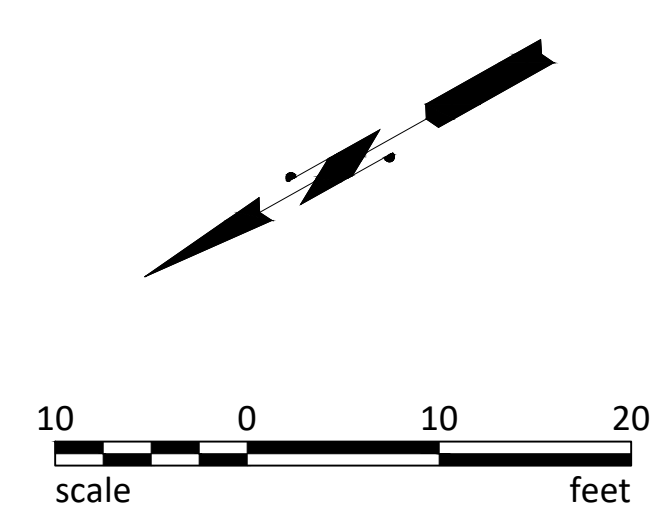
REGISTERED ARCHITECT
STATE OF CALIFORNIA
No. C 21189
Exp. 2-28-25
ARCHITECT

GRADING NOTES

- BENEATH FOUNDATIONS, SOILS SHALL BE OVER-EXCAVATED AT LEAST 3 FEET BELOW DEEPEST PLANNED FOOTING BOTTOM AND EXTEND 5 FEET OUTSIDE PERIMETER FOOTINGS.
- BENEATH HARDSCAPE PAVEMENTS, SOILS SHALL BE OVER-EXCAVATED AT LEAST 18 INCHES BELOW PLANNED SUBGRADE ELEVATION AND EXTEND 2 FEET OUTSIDE PROPOSED PAVEMENTS, OR UP TO EXISTING IMPROVEMENTS, WHICHEVER IS LESS.
- FILL MATERIALS SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 90 PERCENT RELATIVE DENSITY PER ASTM D1557.
- AGGREGATE BASE, SUBBASE, AND THE UPPER 12 INCHES OF SUBGRADE MATERIALS BENEATH TRAFFIC RATED PAVEMENT SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 95 PERCENT RELATIVE DENSITY PER ASTM D1557.
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- GRADING PERMIT SHALL BE REQUIRED AS A CONDITION OF APPROVAL.
- STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE REQUIRED AS CONDITION OF APPROVAL.
- ALL WORK AND PROPOSED IMPROVEMENTS SHOWN WITHIN THE PUBLIC RIGHT OF WAY ARE FOR REFERENCE ONLY AND SHALL BE APPROVED PER SEPARATE PERMIT(S).
- AN ENROACHMENT MAINTENANCE REMOVAL AGREEMENT WILL BE REQUIRED FOR ANY PRIVATE IMPROVEMENTS, LANDSCAPE AND IRRIGATION IN PUBLIC RIGHT OF WAY, SUBJECT TO ENGINEER'S APPROVAL.

EARTHWORK VOLUMES

CUT = 158 CUBIC YARDS
FILL = 357 CUBIC YARDS
NET = +198 CUBIC YARDS (IMPORT)
MAX CUT: 2'
MAX FILL: 1'



GRADING PLAN

TSUMIKI PRESCHOOL

4811 MT. ETNA DRIVE, SAN DIEGO, CALIFORNIA 92117

CONDITIONAL USE PERMIT

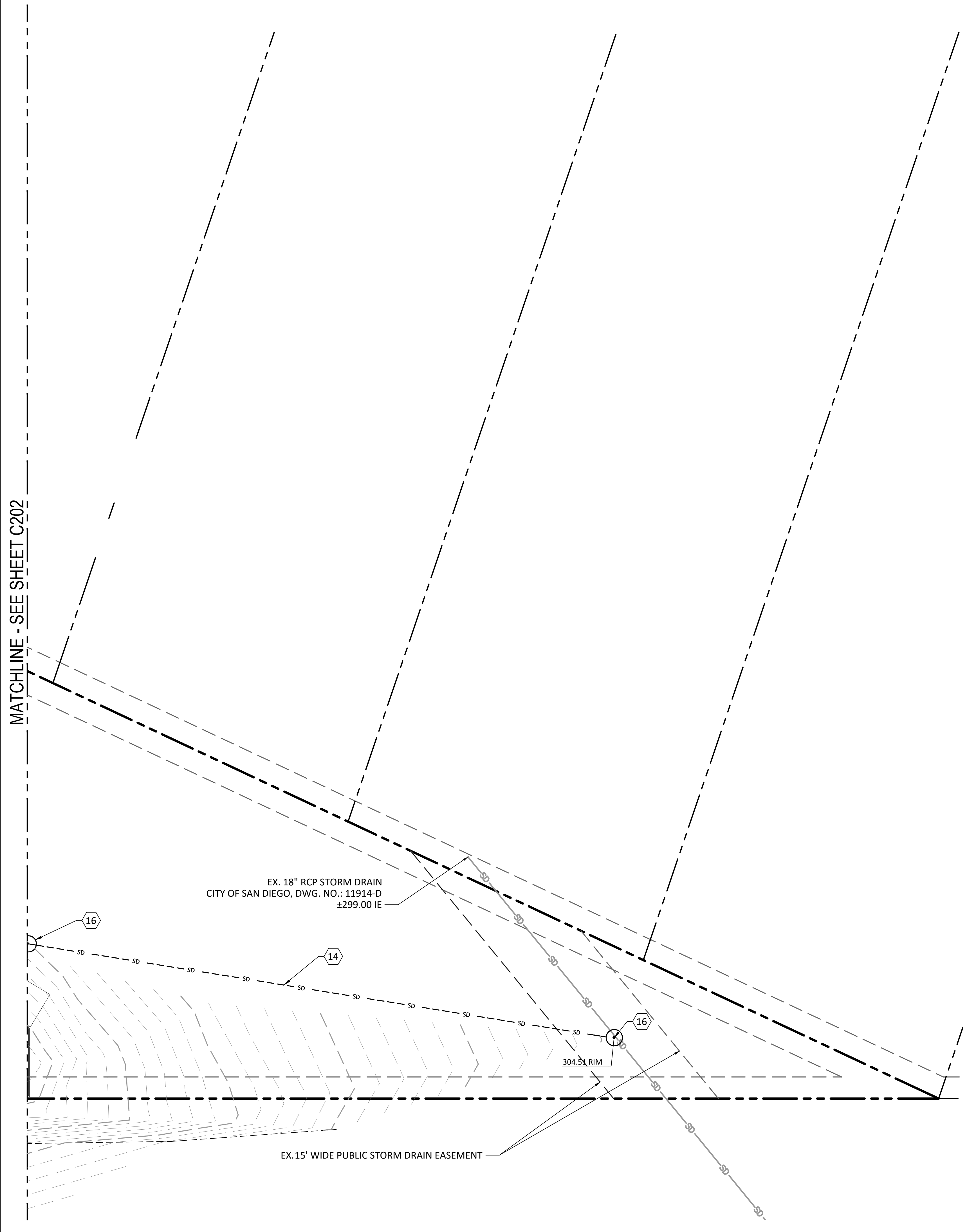
PREPARED BY

RNT
ARCHITECTS
ROESELING NAKAMURA TERADA ARCHITECTS, INC.

383 Fifth Ave, Ste 202
San Diego, CA 92101
P: 619.233.0108
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PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
DRAWN	MF/VAU
CHECKED	MM
REVISIONS	
SHEET NO.	C-202
OF SHEETS	

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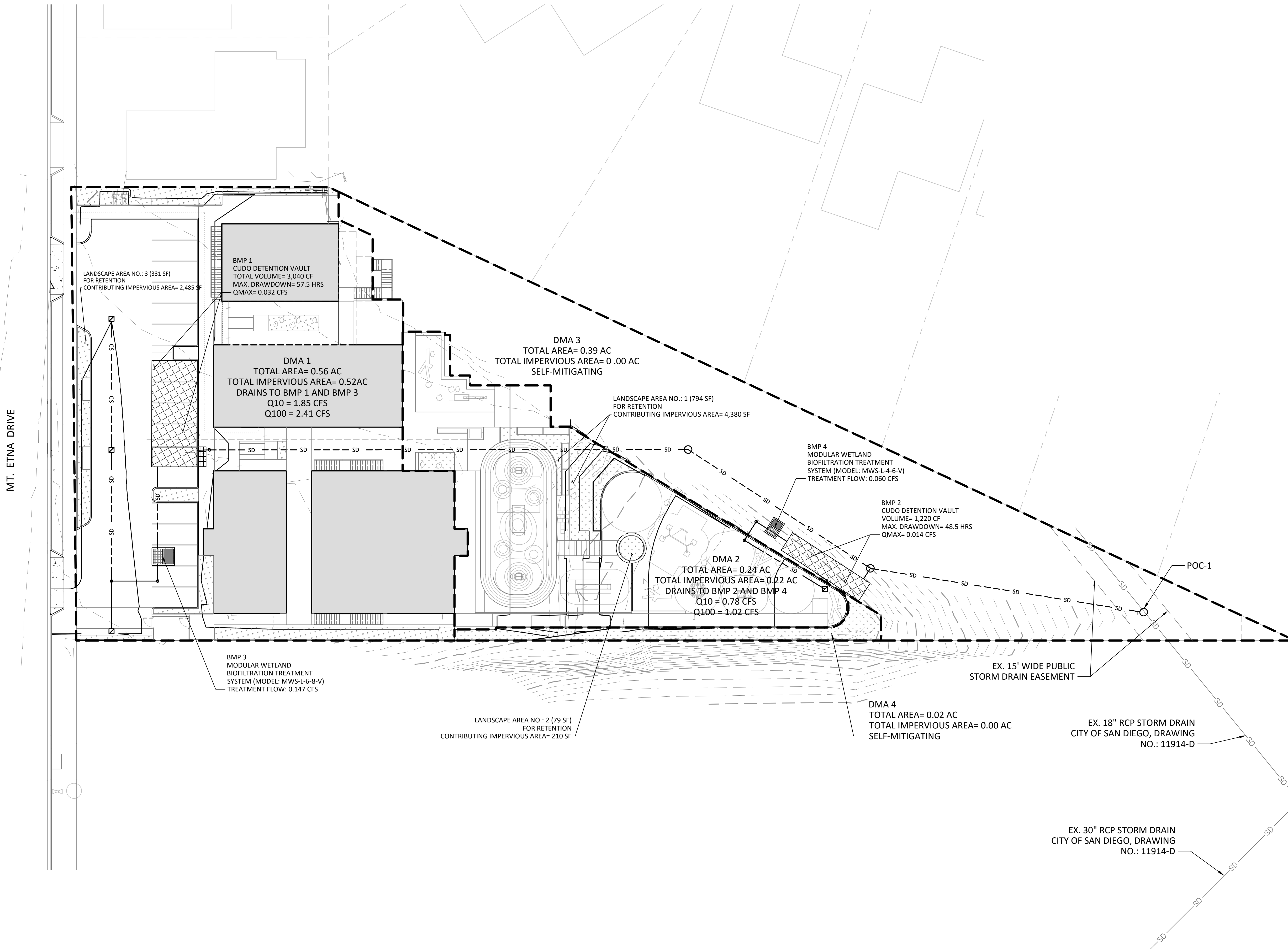
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CUT = 158 CUBIC YARDS
 FILL = 357 CUBIC YARDS
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 MAX CUT: 2'
 MAX FILL: 1'

<p>WSP 1535 LINDA SORRENTO PKWY, STE 500 SAN DIEGO, CALIFORNIA 92121</p>		CONSULTANT LOGO
		CONSULTANT STAMP
		ARCHITECT STAMP
<p>PREPARED BY RNT ARCHITECTS ROESLING NAKAMURA TERADA ARCHITECTS, INC. 383 Fifth Ave, Ste 202 San Diego, CA 92101 P: 619.233.0108 F: 619.233.0108</p>		
<p>GRADING PLAN</p> <p>TSUMIKI PRESCHOOL</p> <p>4811 MT. ETNA DRIVE, SAN DIEGO, CALIFORNIA 92117</p> <p>CONDITIONAL USE PERMIT</p>		
PROJECT NO.	R.S. 030	883
FILE NAME	A.P.	
DATE	1/17/2024	DRAWN MF/VAU CHECKED MM
REVISIONS		SHEET NO. C-203
		OF SHEETS

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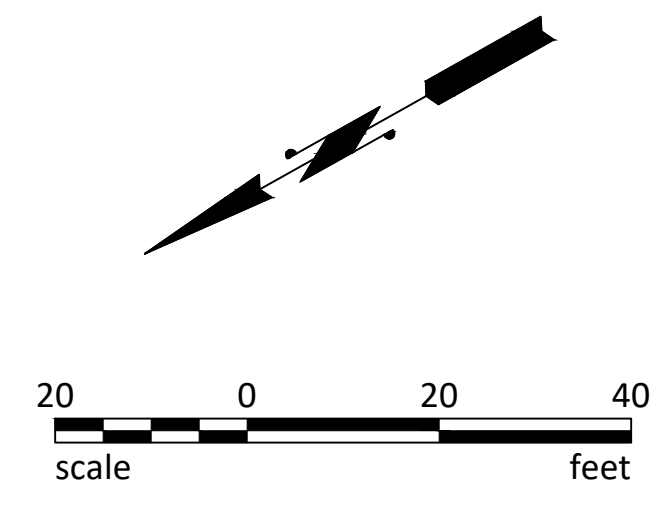


LEGEND	
DESCRIPTION (WITH APPLICABLE STANDARD DRAWING)	SYMBOL
DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY	---
EXISTING MAJOR ELEVATION CONTOUR LINE	---560---
EXISTING MINOR ELEVATION CONTOUR LINE	---561---
PROPOSED MAJOR ELEVATION CONTOUR LINE	---560---
PROPOSED MINOR ELEVATION CONTOUR LINE	---561---
PROPOSED PVC STORM DRAIN LINE	—SD—
PROPOSED STORM DRAIN INLET	□
PROPOSED PERVIOUS LANDSCAPE AREA	[Pattern]
PROPOSED UNDERGROUND DETENTION VAULT	[Pattern]
PROPOSED MODULAR WETLAND SYSTEM	[Pattern]

SITE INFORMATION

- THE PROJECT SITE IS UNDERLAIN BY "TYPE-D" HYDROLOGIC SOIL GROUP.
- DEPTH TO GROUNDWATER IS ESTIMATED TO BE BEYOND A DEPTH THAT WOULD INFLUENCE CONSTRUCTION OPERATIONS (GREATER THAN 20 FEET) BASED ON DATA OBTAINED FROM GEOTRACKER.
- NO NATURAL HYDROLOGIC FEATURES DOCUMENTED T OR IN THE VICINITY OF THE PROJECT SITE.
- NO CRITICAL COURSE SEDIMENT YIELD AREAS DOCUMENTED AT OR IN THE VICINITY OF THE PROJECT SITE.
- REFER TO PROJECT STORM WATER QUALITY MANAGEMENT PLAN (SQWMP) FOR ADDITIONAL INFORMATION ABOUT STORM WATER TREATMENT BMPS AND HYDROMODIFICATION FLOW CONTROL COMPLIANCE.

- STORMWATER BMP NOTES**
- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/ DESIGNER/ APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
 - WHERE APPLICABLE, POUR 1' WIDE CONCRETE EXTENDED CURB MONOLITHICALLY WITH THE PROPOSED CURB AND GUTTER. REFER TO DESIGN PLANS FOR HORIZONTAL AND VERTICAL CONTROL INFORMATION.
 - REFER TO DESIGN PLANS FOR UNDERDRAIN INVERT ELEVATIONS.
 - REFER TO SDD-125 FOR UNDERDRAIN CLEANOUT LOCATIONS AND INSTALLATION DETAILS.
 - INSTALL PIPE PENETRATIONS THROUGH IMPERMEABLE LINEAR ACCORDING TO ASTM D6497.
 - GEOTEXTILE MAY BE UTILIZED IN LIEU OF AGGREGATE CHOKING LAYER IF APPROVED BY ENGINEER.
 - ALL AGGREGATE SIZED ACCORDING TO ASTM D448.
 - NO OFFSITE RUN-OFF FLOWS ARE ANTICIPATED ON THIS PROJECT SITE.



WSP
 WSP JUSTA SORRENTO
 PKWY, STE 500
 SAN DIEGO, CALIFORNIA
 92121

CONSULTANT LOGO

REGISTERED PROFESSIONAL ENGINEER
 No. C 21119
 State of California
 9/23/2024
 CONSULTANT STAMP

ARCHITECT STAMP

RNT ARCHITECTS
 ROESLING NAKAMURA TERADA ARCHITECTS, INC.
 383 Fifth Ave, Ste 202
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PREPARED BY

STORM WATER BMP PLAN
TSUMIKI PRESCHOOL
 4811 MT. ETNA DRIVE, SAN DIEGO, CALIFORNIA 92117
CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
REVISIONS	DRAWN MF/VAU CHECKED MM
SHEET NO.	C-400
OF SHEETS	

HARDSCAPE LEGEND

- C1 CONCRETE PAVING TYPE 1
- C2 CONCRETE PAVING TYPE 2
- C3 CONCRETE PAVING TYPE 3
- C4 CONCRETE PAVING TYPE 4
- C5 C.I.P. CONCRETE MOW CURB
- C6 C.I.P. CONCRETE STAIRS AND GALVANIZED STEEL HANDRAILS
- C7 C.I.P. CONCRETE RAMP AND GALVANIZED STEEL HANDRAILS
- OTHER PAVING
- P1 TRUNCATED DOME PAVERS ON CONCRETE BASE
- P2 HARDWOOD DECK ON GRADE
- P3 HARDWOOD LOOKOUT DECK WITH GUARDRAIL
- P4 SAND PLAY AREA
- P5 RUBBER PLAY SURFACE
- P6 FIBAR
- WALLS/FENCES
- W1 C.I.P. CONCRETE PLANTER/SEAT WALL
- W2 C.I.P. CONCRETE SEAT WALL
- W3 C.I.P. CONCRETE STAIR/RAMP WALL
- W4 FRONT ENTRY FENCE/GATE
- W5 PERIMETER FENCE + GATES
- W6 GUARDRAIL @ ACTIVE SPACES
- SITE FURNISHINGS
- F1 BIKE RACK
- F2 VEGGIE BOXES
- F3 HYDROPONIC TOWERS
- F4 BIKE LOCKER
- OTHER
- R1 TRASH ENCLOSURE
- R2 ARCHITECTURAL CANOPY
- R3 ARCHITECTURAL STAIR
- R4 ARCHITECTURAL FOLLY
- R5 SINK AND FOOTWASH WALL
- R6 SHOE STORAGE WALL
- R7 METAL GRATING
- R8 POROUS CONCRETE PAVERS
- R9 6" CONCRETE CURB
- R10 0" CONCRETE CURB
- R11 MOTORCYCLE PARKING
- R12 EXISTING FENCE
- R13 EXISTING HARDSCAPE TO REMAIN
- R14 EXISTING CURB
- R15 ACCESSIBLE PARKING
- PA PLANTING AREA
- PLAY EQUIPMENT
- A KOMPAN - CLIMBING SPHERE
- B KOMPAN - BLOOX 1
- C GORIC - HILL SLIDE 1.2
- D GORIC - THE DUNES



NOTE:

1. FOR PROJECT SUMMARY INFORMATION, PLEASE SEE SHEET T-101
2. FOR PROJECT LANDSCAPE CALCULATION, PLEASE SEE SHEET L-8 & L-9

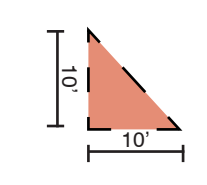
NOTES:

1. All required landscape as shown on these plans, including in the right-of-way, shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition consistent with the City of San Diego Landscape Regulations and Standards.
2. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

BIKE PARKING COUNTS

4 BIKE CAPACITY
 REFER TO SHEET AS-101 FOR PROPOSED PARKING

DIRVEWAY VISIBILITY TRIANGLE NOTE:

 No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2), Plant material, other than trees, located within visibility areas or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.

No objects higher than 24 inches will be proposed in the visibility areas

- E GORIC - BASKET SWING
- F KOMPAN - SPINNER BOWL
- G HOPSCOTCH
- H TUNNEL
- I GORIC - WATER PLAY 1
- J APOLLO CLIMBER
- OTHERS
- 1 BOULDERS - VARIOUS SIZES
- 2 LOG AT PLAY AREA

CONSULTANT LOGO

CONSULTANT LOGO

CONSULTANT STAMP

CONSULTANT STAMP

ARCHITECT STAMP

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 San Diego, CA 92101
 P 619 233 0016
 F 619 233 0016

PREPARED BY

TERRADA ARCHITECTS

ROESLING NAKAMURA TERRADA ARCHITECTS, INC.

LANDSCAPE PLAN

TSUMIKI PRESCHOOL

4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO. 883

R.S. 030 A.P.

FILE NAME

DATE 1/17/2024 DRAWN SJ

REVISIONS CHECKED SJ

SHEET NO.

L-1

1 OF 9 SHEETS

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PLANTING NOTES:

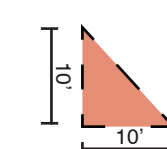
WATER USE CLASSIFICATION OF LANDSCAPE SPECIES
 WUCOLS: Water Use Classification of Landscape Species is a OWNER of California Cooperative Extension Publication and is a guide to the water needs of landscape plants.

CATEGORY/ABV.	PERCENT OF ET ₀
H - HIGH	70% - 90%
M - MEDIUM	40% - 60%
L- LOW	10% - 30%
VL - VERY LOW	< 10%

MINIMUM TREE SEPARATION DISTANCE

- TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- DRIVEWAY (ENTRIES) - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

DRIVEWAY VISIBILITY TRIANGLE NOTE:



No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2), Plant material, other than trees, located within visibility areas or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.

No objects higher than 24 inches will be proposed in the visibility areas

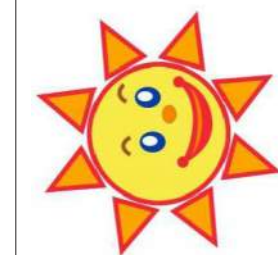
PLANTING LEGEND

TREE

- LAGERSTROEMIA INDICA
- PRUNUS FRUIT
- ULMUS PARVIFOLIA

PLANTING ZONES

- PLAY YARD PLANTING
- INTERIOR PLANTING
- EDGE PLANTING
- URBAN GARDEN
- PARKING LOT PLANTING



PREPARED BY
RNT
 ARCHITECTS
 ROESLING NAKAMURA TERADA ARCHITECTS, INC.
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 San Diego, CA 92101
 P: 619.233.0016
 F: 619.233.0016

PLANTING PLAN
 TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117

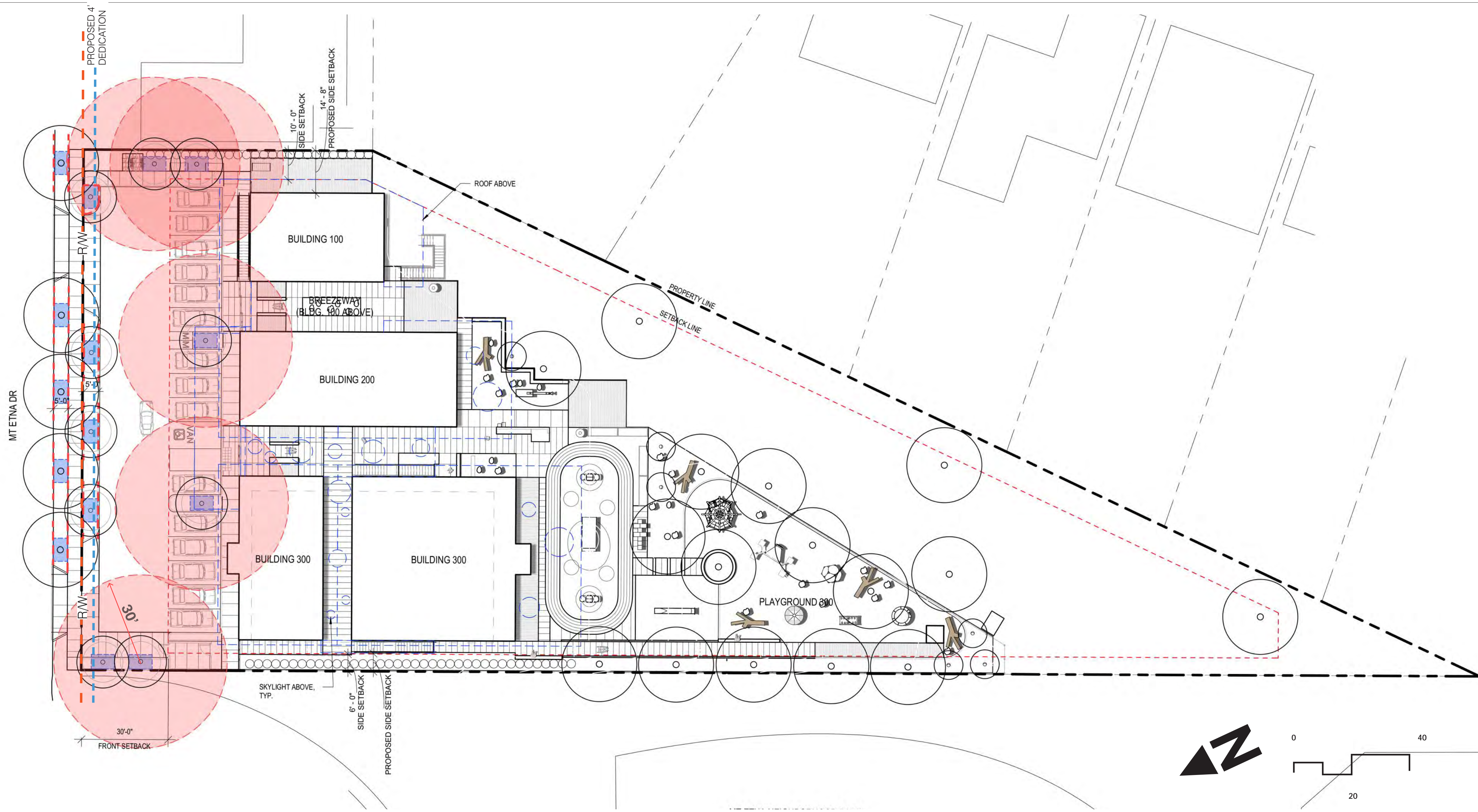
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PROJECT NO.	883
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SHEET NO.	L-2
2 OF 9 SHEETS	

ARCHITECT STAMP
 LICENSED ARCHITECT
 CHIKAO TERADA-HART
 No. 10119
 Exp. 12/31/23
 REN. 2-20-23

CONSULTANT STAMP
 LICENSED LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA
 No. 11720
 Exp. 12/31/23
 REN. 12/28/23

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LANDSCAPE NOTES:

All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

Maintenance: All required landscape areas shall be maintained by owner. Landscape and irrigation areas in the public right-of-way shall be maintained by owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches per SDMC 142.0413(c), excluding slopes requiring revegetation per SDMC 142.0411.

A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(6).

Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball.

Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the SDMC 142.0403(b)(11).


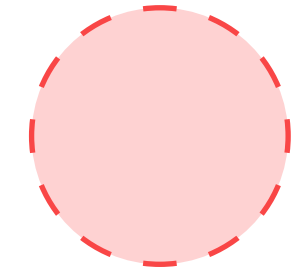

All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning per SDMC 142.0403(b)(8). Topping of trees is not permitted.

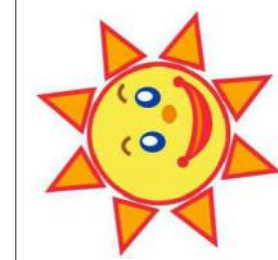
Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided: 1. A bright yellow or orange temporary fence will be placed around existing trees at the drip line. 2. Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line. 3. A tree watering schedule will be maintained and documented during construction. 4. All damaged trees will be replaced with one of equal or greater size.

If any required landscape indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

LEGEND

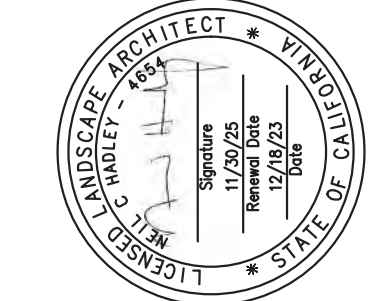
-  5' x 8' ROOT ZONE
-  30' RADIUS COVERAGE
-  ROOTBARRIER




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 ROESLING NAKAMURA TERADA ARCHITECTS, INC.
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PLANTING PLAN
TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117
CONDITIONAL USE PERMIT


PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
DRAWN	SJ
CHECKED	SJ
REVISIONS	
SHEET NO.	L-3
3 OF 9 SHEETS	



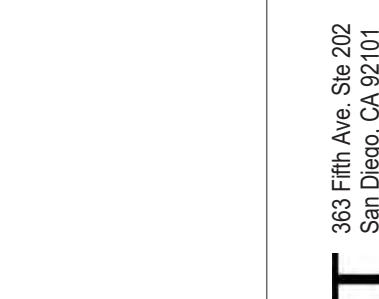
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ARCHITECT STAMP



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PLANT LEGEND

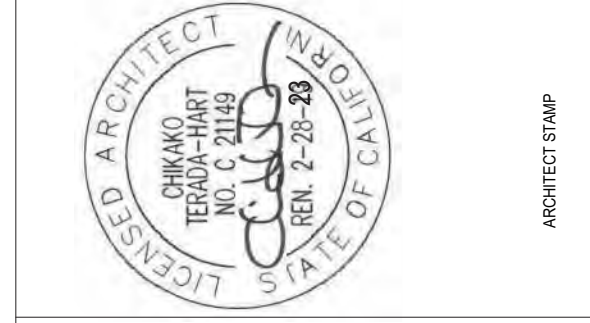
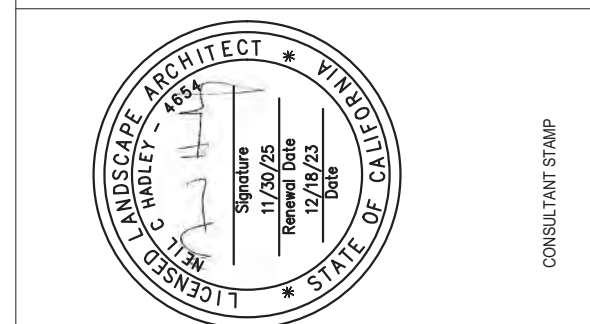
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	FORM	WUCOLS	MATURE SIZE
TREES						
	LAGERSTROEMIA INDICA	CRAPE MYRTLE	36" BOX/48" BOX REFER TO PLAN	MULTI-TRUNK	MEDIUM	25' H x 25' W
	PRUNUS FRUIT	STONE FRUIT	15 GAL			10' H x 10' W
	ULMUS PARVIFOLIA / RHUS LANCEA	EVERGREEN ELM/AFRICAN SUMAC	36" BOX	STANDARD	MEDIUM	ULMUS PARVIFOLIA - 40' TO 50' H x 35' TO 50' W RHUS LANCEA - 30H x 35W
SHRUBS, SUCCULENTS, VINES AND GROUNDCOVERS - SUCH AS LIST						
	PLAY YARD		50% 5 GALLON @ 3' OC; 50% 1 GALLON AT 2' OC.			5 GALLON = TBD 1 GALLON = TBD
SHRUBS						
	CALLISTEMON 'LITTLE JOHN'	DWARF CALLISTEMON	5 GALLON	2'-0"	LOW	3-5' H x 4-6' W
	LEONOTIS LEONURUS	LIONS TAIL	1 GALLON	4'-6"	LOW	4-8' H x 4-6' W
	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GALLON	3'-0"	LOW	3-4' H x 8' W
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GALLON	3'-0"	LOW	4-6' H x 6-12' W
GRASSES						
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GALLON	2'-6"	LOW	2-3' H x 3-4' W
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GALLON	1'-6"	LOW	2-3' H x 2-4' W
	MISCANTHUS SINENSIS 'MORNING LIGHT'	VARIEGATED EULALIA GRASS	1 GALLON	3'-0"	MEDIUM	4-6' H x 3-4' W
	MUHLENBERGIA C. 'WHITE CLOUD'	WHITE MUHLY GRASS	1 GALLON	3'-0"	MEDIUM	3-4' H x 3-4' W
	INTERIOR - UNDER ROOF OVERHANGS		20% 15 GALLON @ 15'OC; 30% 12" POT @ 2' OC; 50% 1 GALLON AT 2' OC.			15 GALLON = TBD 12" POT = TBD 1 GALLON = TBD
SHRUBS						
	ACER PALMATUM	DWARF MAPLE	15 GALLON	15'-0"	LOW	4-25' H x 4-25' W
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	1 GALLON	5'-0"	LOW	2-3' H x 8-12' W
	PRUNUS THUNBERGII	JAPANESE BLACK PINE	15 GALLON	15'-0"	LOW	20-60' H x 12-20' W
GRASSES						
	DIANELLA 'CASSA BLUE'	CASSA BLUE FLAX LILY	1 GALLON	1'-6"	MEDIUM	2' H/W
	LOMANDRA PLATINUM 'BEAUTY RUSH'	VARIEGATED DWARF MAT RUSH	1 GALLON	2'-0"	LOW	2-3' H/W
SUCCULENTS & PERENNIALS						
	NEPHROLEPIS CORDIFOLIA	SWORD FERN	12" POT	2'-0"	MEDIUM	2-3' H/W
	EDGE, PARKING LOT PLANTING		50% 5 GALLON @ 3' OC; 50% 1 GALLON AT 18" OC; MUST BE 15 GALLON @ VEHICULAR USE AREAS			5 GALLON = TBD 1 GALLON = TBD
SHRUBS						
	PHYLLOSTACHYS 'AUREOSULCATA' 'DISSECTUM'	BAMBOO	5 GALLON	3'-0"	MEDIUM	15-25' H
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GALLON	3'-0"	LOW	4-6' H x 6-12' W
GRASSES						
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GALLON	1'-6"	LOW	2-3' H/W
	MUHLENBERGIA C. 'WHITE CLOUD'	WHITE MUHLY GRASS	1 GALLON	3'-0"	MEDIUM	3-4' H/W
SUCCULENTS & PERENNIALS						
	IRIS DOUGLASSIANA	DOUGLAS IRIS	1 GALLON	1'-6"	LOW	1-2' H x 2-3' W
	URBAN GARDEN		20% 24" BOX @ 10'OC; 80% 1 GALLON/4" POTS AT 2' OC.			24" BOX = TBD 1 GALLON/4" POT = TBD
	CITRUS X LIMON 'EUREKA', LIME, FROST-FREE APPLE	EUREKA LEMON, LIME, APPLE	15 GAL- 24" BOX	STANDARD	MEDIUM	12-13' H/W
	FRUIT SUCH AS- STRAWBERRIES, CITRUS, RASPBERRIES					
	VEGETABLES SUCH AS- SQUASH, GREEN BEANS, LETTUCE, CABBAGE, TOMATOES, CORN, CARROTS, PEPPERS					
	4" POTS					
OTHER						
NOT SHOWN	'BIOBARRIER' ROOTBARRIER	TYPAR BIOBARRIER	SEE NOTES/SPECS	20' LENGTH AT ALL TREES LOCATED WITHIN 5' OF HARDSCAPE AND SURROUNDING ALL BAMBOO		
NOT SHOWN	SOIL & PERCOLATION TEST LOCATION	QUANTITY INDICATED ON DRAWING	QUANTITY INDICATED ON DRAWING			
MULCH						
	BARK MULCH FOREST MULCH AT STREET PLANTING AGRI-SERVICES 800.262.4167					
	ROCK MULCH	TBD 3/8" AND 3/4" ROUND	AT INTERIOR PLANTER	DECORATIVE STONE SOLUTIONS	800.699.1878	
	ROCK MULCH	TBD 3-6" COBBLE	AT INTERIOR PLANTER	DECORATIVE STONE SOLUTIONS	800.699.1878	
	BOULDER- ROUND	TBD	AT PLANTING	DECORATIVE STONE SOLUTIONS	800.699.1878	

HARDSCAPE LEGEND

ITEM	DETAIL	DESCRIPTION	MANUF/SUPPLIER	MODEL NO.
CONCRETE PAVING				
C1		CONCRETE PAVING TYPE 1		
C2		CONCRETE PAVING TYPE 2		
C3		CONCRETE PAVING TYPE 3		
C4		CONCRETE PAVING TYPE 4		
C5		C.I.P. CONCRETE MOW CURB		
C6		C.I.P. CONCRETE STAIRS AND GALVANIZED STEEL HANDRAILS		
C7		C.I.P. CONCRETE RAMP AND GALVANIZED STEEL HANDRAILS OTHER PAVING		
P1		TRUNCATED DOME PAVERS ON CONCRETE BASE	STEPSTONE 800.572.9029	CHARCOAL
P2		HARDWOOD DECK ON GRADE		
P3		HARDWOOD LOOKOUT DECK WITH GUARDRAIL		
P4		SAND PLAY AREA		
P5		RUBBER PLAY SURFACE		
P6		FIBAR WALLS/FENCES		
W1		C.I.P. CONCRETE PLANTER/SEAT WALL		
W2		C.I.P. CONCRETE SEAT WALL		
W3		C.I.P. CONCRETE STAIR/RAMP WALL		
W4		FRONT ENTRY FENCE/GATE	REFER TO ARCHITECT	
W5		PERIMETER FENCE + GATES	REFER TO ARCHITECT	
W6		GUARDRAIL @ ACTIVE SPACES SITE FURNISHINGS		
F1		BIKE RACK	LANDSCAPE FORMS.COM	
F2		VEGGIE BOXES		
F3		HYDROPONIC TOWERS		
F4		BIKE LOCKER OTHER		
R1		TRASH ENCLOSURE	REFER TO ARCH	
R2		ARCHITECTURAL CANOPY	REFER TO ARCH	
R3		ARCHITECTURAL STAIR	REFER TO ARCH	
R4		ARCHITECTURAL FOLLY	REFER TO ARCH	
R5		SINK AND FOOTWASH WALL	REFER TO ARCH	
R6		SHOE STORAGE WALL	REFER TO ARCH	
R7		METAL GRATING	REFER TO ARCH	
R8		POROUS CONCRETE PAVERS	REFER TO CIVIL	
R9		6" CONCRETE CURB	REFER TO CIVIL	
R10		0" CONCRETE CURB	REFER TO CIVIL	
R11		MOTORCYCLE PARKING	REFER TO CIVIL	
R12		EXISTING FENCE	REFER TO CIVIL	
R13		EXISTING HARDSCAPE TO REMAIN	REFER TO CIVIL	
R14		EXISTING CURB	REFER TO CIVIL	
R15		ACCESSIBLE PARKING	REFER TO CIVIL	
PA		PLANTING AREA PLAY EQUIPMENT	SEE PLANTING PLANS	
A		KOMPAN - CLIMBING SPHERE	PER MANUFACTURER'S DETAILS + SPECS	WWW.KOMPAN-US.COM
B		KOMPAN - BLOOX 1	PER MANUFACTURER'S DETAILS + SPECS	WWW.KOMPAN-US.COM
C		GORIC - HILL SLIDE 1.2	PER MANUFACTURER'S DETAILS + SPECS	WWW.GORIC.COM (617) 744 0772
D		GORIC - THE DUNES	PER MANUFACTURER'S DETAILS + SPECS	WWW.GORIC.COM (617) 744 0772
E		GORIC - BASKET SWING	PER MANUFACTURER'S DETAILS + SPECS	WWW.GORIC.COM (617) 744 0772
F		KOMPAN - SPINNER BOWL	PER MANUFACTURER'S DETAILS + SPECS	WWW.KOMPAN-US.COM
G		HOPSCOTCH		
H		TUNNEL	MATERIAL TBD	
I		GORIC - WATER PLAY 1	PER MANUFACTURER'S DETAILS + SPECS	WWW.GORIC.COM (617) 744 0772
J		APOLLO CLIMBER OTHERS		
1		BOULDERS - VARIOUS SIZES	REFER TO DETAILS & PLANTING PLANS	DECORATIVE STONE SOLUTIONS 800.699.1878
2		LOG AT PLAY AREA		

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PREPARED BY

T ARCHITECTS
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LANDSCAPE LEGEND

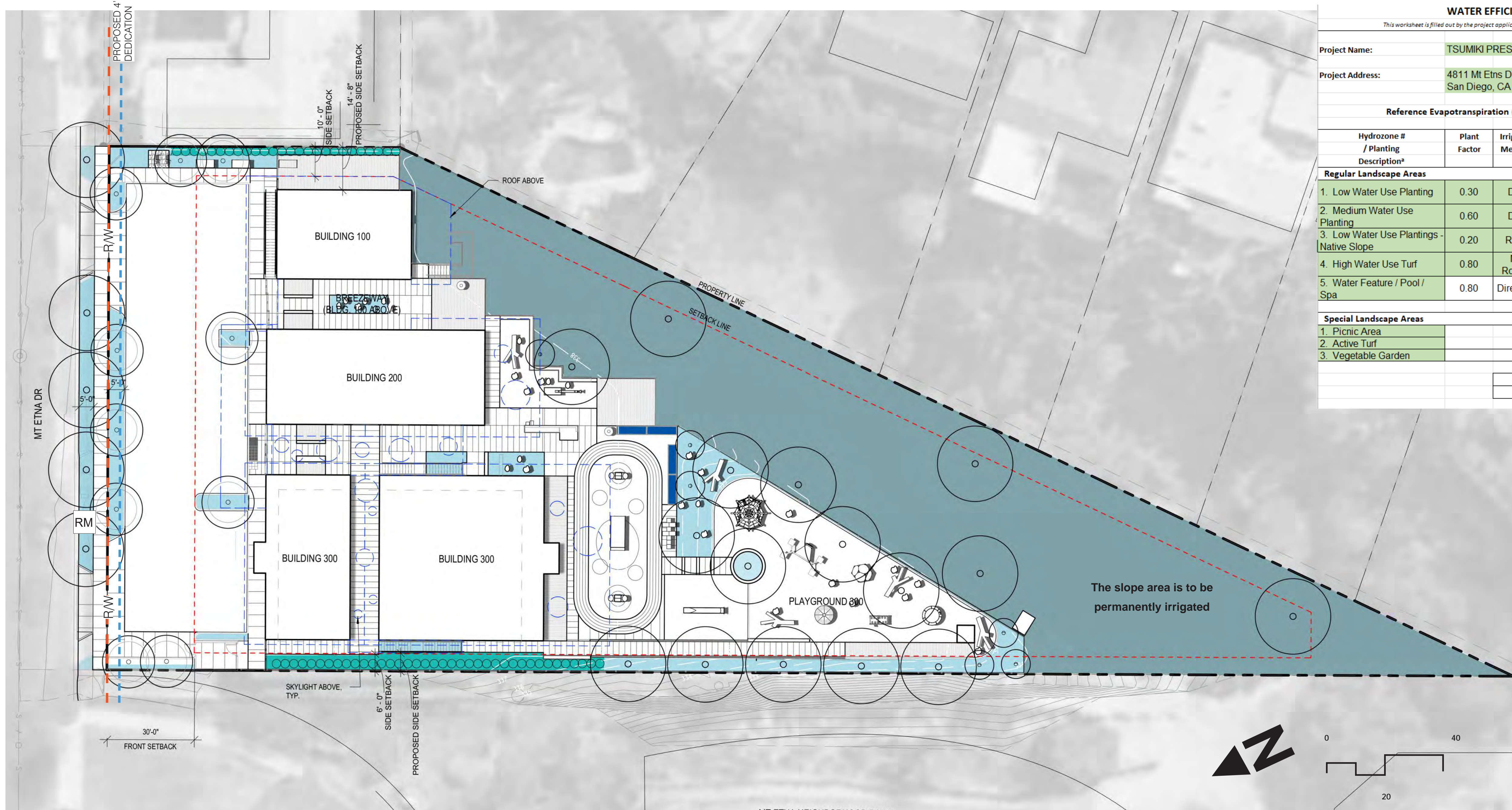
TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
DRAWN	SJ
CHECKED	SJ
REVISIONS	
SHEET NO.	L-4
4 OF 9 SHEETS	

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WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package

Project Name:		TSUMIKI PRESCHOOL					
Project Address:		4811 Mt Etna Dr San Diego, CA 92117					
Reference Evapotranspiration (ETo)		47.0	In./Yr.	Residential Project?		No	
Hydrozone # / Planting Description ^a	Plant Factor	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF / IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
1. Low Water Use Planting	0.30	Drip	0.80	0.38	3,459	1,314	38,302
2. Medium Water Use Planting	0.60	Drip	0.80	0.75	812	609	17,746
3. Low Water Use Plantings - Native Slope	0.20	Rotor	0.70	0.29	17,484	5,070	147,750
4. High Water Use Turf	0.80	MP Rotator	0.70	1.15	0	0	0
5. Water Feature / Pool / Spa	0.80	Direct Fill	1.00	0.80	0	0	0
					Totals:	21,755	6,994
Special Landscape Areas							
1. Picnic Area				1.00	0	0	0
2. Active Turf				1.00	0	0	0
3. Vegetable Garden				1.00	107	107	3,118
					Totals:	107	107
Estimated Total Water Use (ETWU) Total:						206,917	
Maximum Applied Water Allowance (MAWA)^e:						288,391	

- #### IRRIGATION LEGEND
- ITEM
- RM REUSED EXISTING WATER METER SEE CIVIL
 - NO SYMBOL TREE BUBBLER (2 PER TREE)

- #### WATER USAGE LEGEND
- Low Water Use
 - Low Water Use
 - Medium Water Use
 - Special Landscape Area

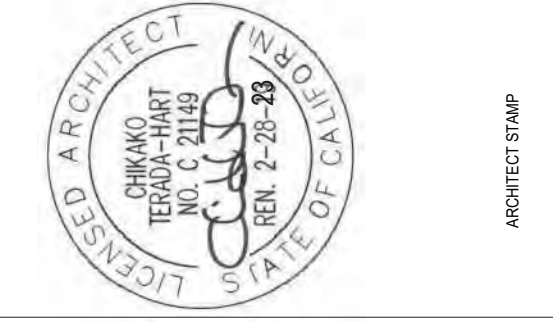
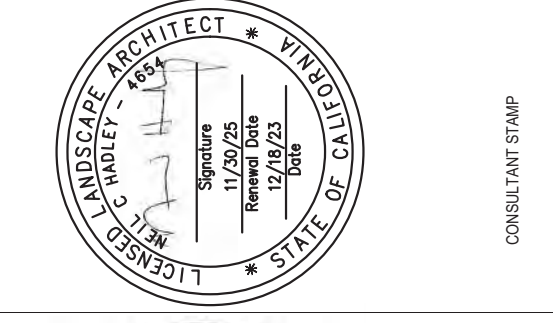
IRRIGATION NOTES:

- Contractor shall locate maintain existing mainlines in working order. Coordinate all interruptions of operation of the existing irrigation to a minimum. Coordinate all interruptions with the owner's representative.
- Contractor shall be responsible for all existing irrigation equipment damaged during construction and if damaged, shall replace with same manufacturer and model.
- Contractor shall be responsible for repair/modification/rerouting of all adjacent irrigation system equipment that is affected by new construction improvements. Contractor shall repair said systems to a like new manner, providing no less than 100% of head radius coverage in all areas with system layout as approved by owner's authorized representative. Contractor shall confirm all areas requiring modification with owner's authorized representative prior to bidding work and prior to starting work.
- Contractor shall be responsible for the complete removal and disposal of all existing irrigation equipment affected by the new construction improvements, if necessary. Contractor shall verify all equipment to be removed and disposed of in field prior to bidding work and prior to starting work.
- Contractor shall be responsible for the placement of all sch. 40 Pvc sleeving under paving, walls and curbs at no less than 24" below grade and no less than 2x diameter of irrigation pipe in areas where pipe crossing will occur. When pipe size is not available use 6" sleeving material. Confirm crossings with owner's representative prior to paving and hardscape construction.
- Contractor shall exercise extreme caution when working within the dripline of existing trees. No mechanical trenching within the dripline of the existing tree will be allowed. Contractor shall refer to arborist report for additional precautions required for the existing trees. Verify all layout in field with owner's authorized representative.

PROPOSED IRRIGATION NOTES:

- Irrigation system shall be designed with the proper operating pressure and an appropriate watering window to assure optimal delivery of water to the plant material at all times.
- Water use calculations will be required per the County's Model Water Efficient Landscape Ordinance.
- Site specific evapo-transpiration rates and soil percolation rates shall be considered in the design process.
- Check valves will be required to prevent low-head drainage.
- No irrigation shall be installed in new areas until soil testing has been submitted and all soil amending has occurred.
- Micro-climate areas and solar exposure zones (site specific hydro zones) shall be irrigated on separate control valves.
- Irrigation record drawings shall clearly document the final installation of the entire system, with accurate dimensions, sizes, and types of equipment. It shall reflect all new areas as well as any modified irrigation systems. Irrigation record drawings to be submitted in autocad per client standards
- An automatic, electrically controlled irrigation system shall be provided as required for proper irrigation, development, and maintenance of vegetation in a healthy, disease-resistant condition.

Hydrozone # / Planting Description	Irrigation Method	Irrigation Efficiency
E.g. 1.) Lawn	Overhead Spray of Drip	0.55 for Spray 0.80 for Drip
2.) Low Water Use Plantings		0.70 for Rotor
3.) Medium Water Use Plantings		
3.) Vegetable Garden		
^dETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area		
<i>Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year.</i>		
^eMAWA (Annual Gallons Allowed) = ETo x 0.62 x ((ETAF x LA) + ((1 - ETAF) x SLA))		
<i>Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential projects and 0.45 for non-residential projects.</i>		
Evapotranspiration Adjustment Factor (ETAF) Calculations		
<i>This non-residential project complies with the WELO and its average ETAF is less than</i>		0.45
Regular Landscape Areas		
Total ETAF x Area	8,289	
Total Area	21,404	
Average ETAF	0.39	
All Landscape Areas		
Total ETAF x Area	8,445	
Total Area	21,560	
Average ETAF	0.39	

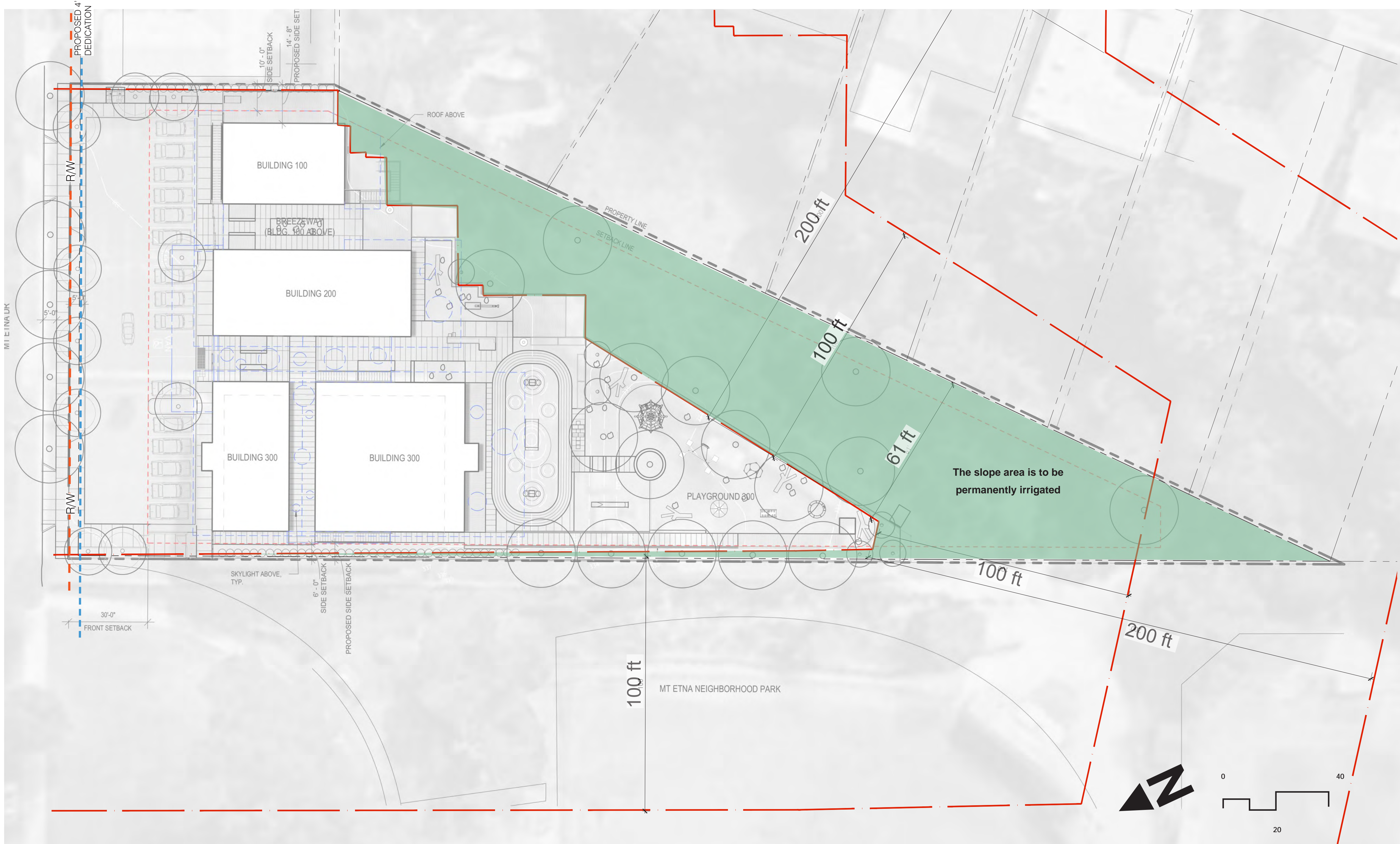


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IRRIGATION PLAN AND NOTES
TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117
CONDITIONAL USE PERMIT

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5 OF 9 SHEETS	

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LEGEND

SLOPE PLANTING + HYDROSEED

NOTE:

1. Seed mixes prepared by s&s seeds. S&s seeds inc. Carpinteria, ca 805.684.0436 Www.Sseds.Com contact victor schaff.
2. Pls obs/acre = lbs/acre is the most accurate way to specify seeds and takes into account both purity and germination. Pls % = % purity x % germination.
3. All hydroseeded areas to be permanently irrigated and in accordance with the standards in the land development manual.
4. All hydroseeded areas to receive slurry mix components per this legend.
5. Any re-vegetation that will not be planted for a period over 90 calendar days shall be temporarily revegetated with a non-irrigated hydroseed mix, ground cover, or rquivalent material per city of san diego municipal code 142.0411 B.
6. All required revegetation and erision control shall be completed within 90 calendar days of the completion of grading or disturbance per city of San Diego municipal code 142.0411 C.



ORNAMENTAL, LOW GROWING NATIVE MIX

This is a mixture of showy, low growing annual and perennial species that will provide months of bright spring color in a non-irrigated setting, or year-round color when irrigated. This mix may be used alone or in conjunction with grass and shrub seeds.

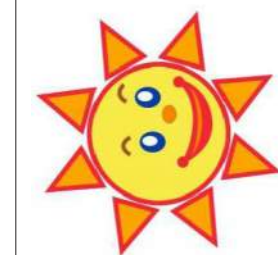
SPECIES	COMMON NAME	BULK # s/ACRE	MIN % PLS*
<i>Achillea millefolium</i>	Yarrow	1.00	85
<i>Acmispon glaber</i>	Deerweed	4.00	76
<i>Acmispon heermannii</i>	Hermann's lotus	2.00	70
<i>Camissoniopsis cheiranthifolia</i>	Beach evening primrose	1.00	86
<i>Clarkia botatae</i>	Punchbowl godetia	1.00	74
<i>Collinsia heterophylla</i>	Chinese houses	3.00	83
<i>Eschscholzia californica</i>	California poppy	2.00	83
<i>Festuca microstachys</i>	Small fescue	8.00	90
<i>Lasthenia californica</i>	Dwarf goldfields	0.50	68
<i>Layia platyglossa</i>	Tidy tips	0.50	77
<i>Lupinus bicolor</i>	Bicolor lupine	1.00	83
<i>Lupinus nanus</i>	Sky lupine	2.00	83
<i>Mimulus aurantiacus longiflorus</i>	Sticky monkeyflower	1.00	3
<i>Mimulus aurantiacus puniceus</i>	Mission red monkeyflower	1.00	3
<i>Muhlenbergia microsperma</i>	Littleseed muhly	2.00	48
<i>Nemophila maculata</i>	Fivespot	3.00	83
<i>Sisyrinchium bellum</i>	Blue eyed grass	2.00	78
		35.00	

* MIN % PLS (Pure Live Seed) = Seed Purity x Germination Rate

Seeding rate: 35 lbs per acre

HYDROSEEDING SLURRY COMPONENTS

SEED	APPLICATION RATE
CONWEB 1000 WOOD FIBER MULCH	51 LBS/ACRE
HYDROPOST PREMIUM COMPOST	1500 LBS/ACRE
ECOLOGY CONTROLS M-BINDER TACK	1000 LBS/ACRE
BIOSOL FORETE 7.2.1 ORGANIC	150 LBS/ACRE
AM 120 MYCORRHIZAL INOCULUM	800 LBS/ACRE
TRI-C SOLUBLE HUMATE	60 LBS/ACRE
	1 LB/ACRE



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REVEGETATION PLAN

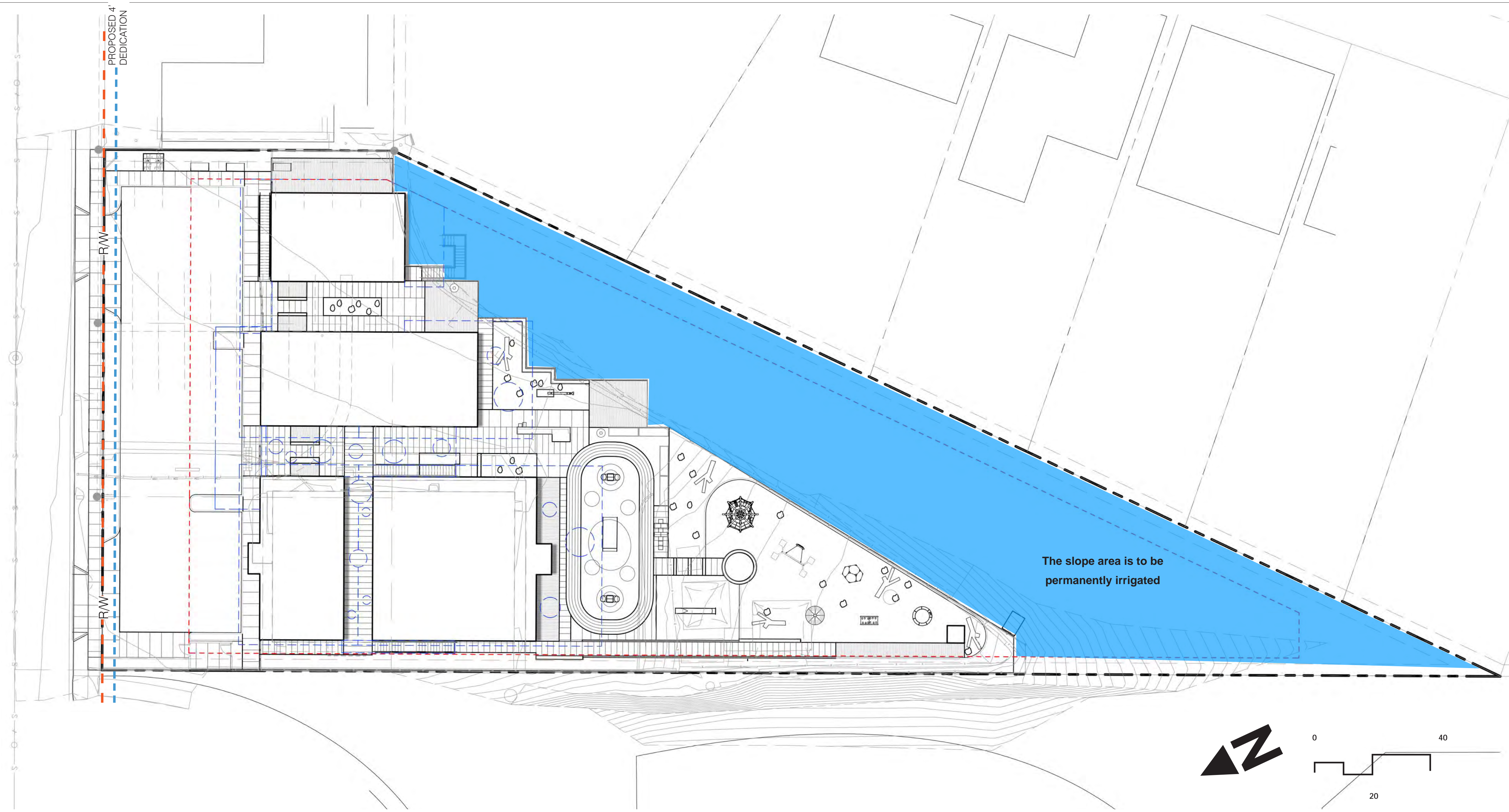
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REVISIONS		CHECKED	SJ
		SHEET NO.	L-6
		6 OF 9 SHEETS	

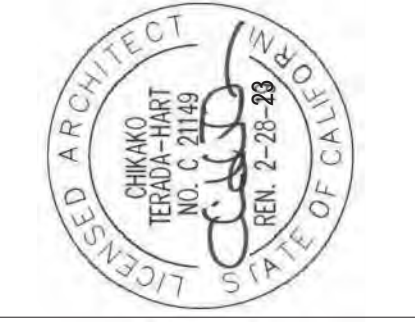
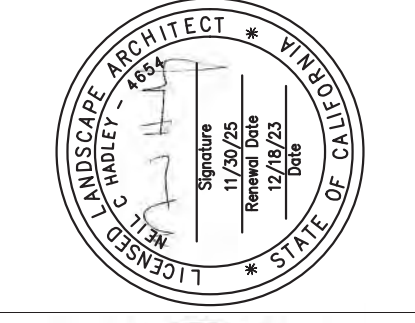
LEGEND

 BRUSH MANAGEMENT ZONE 1



NOTE:

1. A modified Zone One, ranging in width from 47 to 67-ft, shall be provided between the north face of buildings 1 through 5 and the MHPA Boundary. There shall be no Zone Two. Alternative Compliance for reduced brush management zone(s): Openings along north face of buildings 1 through 5 plus a 10-ft perpendicular return along adjacent wall faces shall be upgraded to Dual-Glazed, Dual-Tempered planes
2. Brush management is required in all base zones on publicly or privately owned premises that are within 100 feet of a structure and contain native or naturalized vegetation. (a) Brush management activity is permitted within environmentally sensitive lands (except for wetlands) that are located within 100 feet of an existing structure in accordance with Section 143.0110(c)(7). Brush management in wetlands may be requested with a development permit in accordance with Section 143.0110 where the Fire Chief deems brush management necessary in accordance with Section 142.0412(i). Where brush management in wetlands is deemed necessary by the Fire Chief, that brush management shall not qualify for an exemption under the Environmentally Sensitive Lands Regulations, Section 143.0110(c)(7). (b) Brush Management Zones. Where brush management is required, a comprehensive program shall be implemented that reduces fire hazards around structures by providing an effective fire break between all structures and contiguous areas of native or naturalized vegetation. This fire break shall consist of two distinct brush management areas called "Zone One" and "Zone Two" as shown in Diagram 142-04E.
3. (1) Brush management Zone One is the area adjacent to the structure, shall be least flammable, and shall typically consist of pavement and permanently irrigated ornamental planting. Brush management Zone One shall not be allowed on slopes with gradient greater than 4:1 (4 horizontal feet to 1 vertical foot) unless the property received tentative map approval before November 15, 1989. However, within the Coastal Overlay Zone coastal development shall be subject to the encroachment limitations set forth in Section 143.0142(a)(4) of the Environmentally Sensitive Lands Regulations. (2) Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation and typically consists of thinned, native or naturalized non-irrigated vegetation. (c) The width of Zone One and Zone Two shall not exceed 100 feet and shall meet the width requirements in Table 142-04H unless modified based on existing conditions pursuant to Section 142.0412(i) and the following: (1) The establishment of brush management Zones One and Two for new development shall be addressed in a site-specific plan to include all creative site and/or structural design features to minimize impacts to undisturbed native vegetation. Both Zone One and Zone Two shall be provided on the subject property unless a recorded easement is granted by an adjacent property owner to the owner of the subject property to establish and maintain the required brush management zone(s) on the adjacent property in perpetuity.
4. Zone One Requirements (A) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation. (B) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or Type IV or heavy timber construction as defined in the California Building Code. (C) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant. (D) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual. (E) Permanent irrigation is required for all planting areas within Zone One except as follows: (F) When planting areas contain only species that do not grow taller than 24 inches in height, or (G) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches. (H) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation. (I) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.



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BRUSH MANAGEMENT PLAN AND NOTES

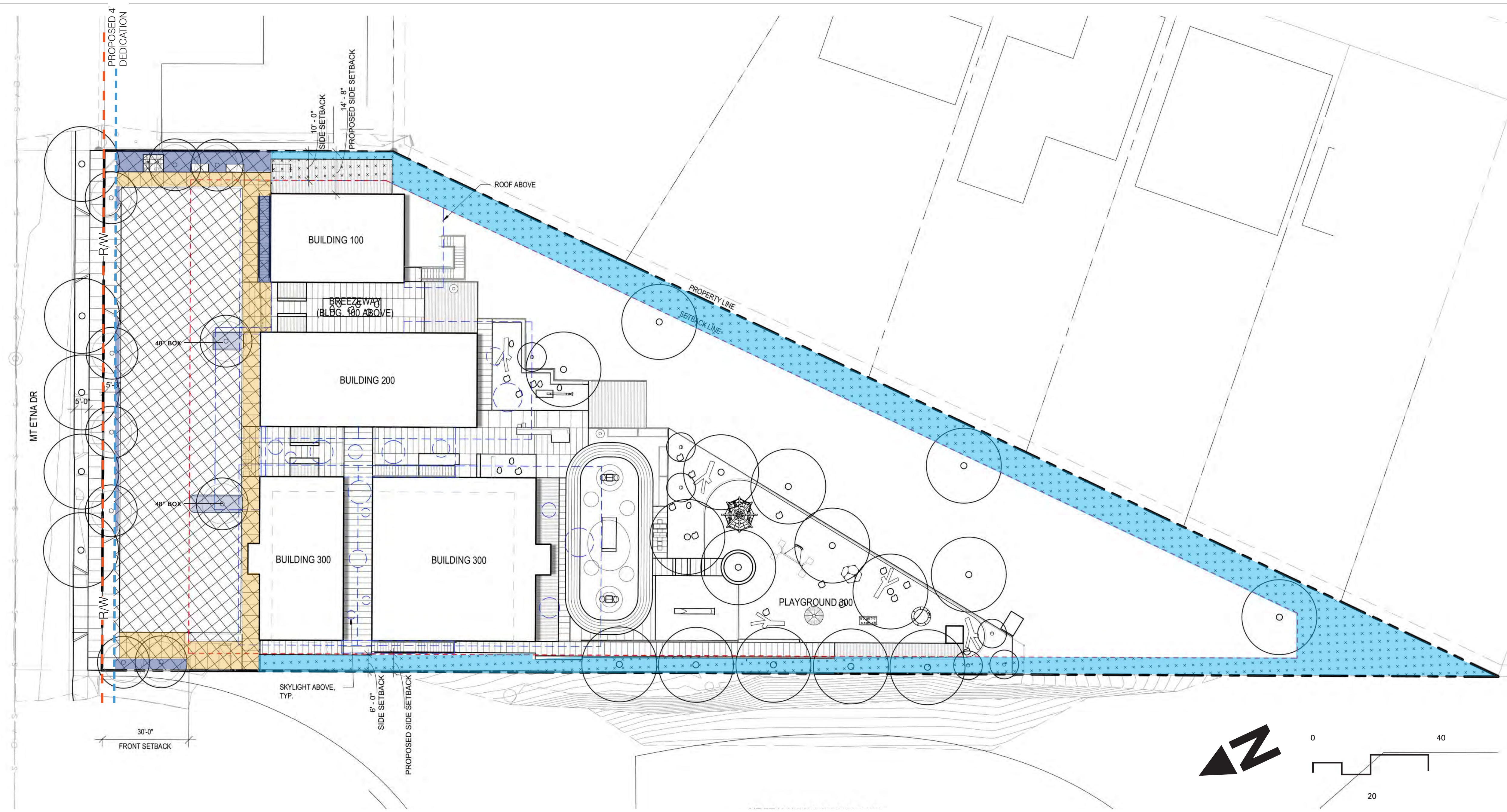
TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S.	030 A.P.
FILE NAME	
DATE	1/17/2024
REVISIONS	
DRAWN	SJ
CHECKED	SJ
SHEET NO.	L-7
	7 OF 9 SHEETS

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STREET YARD & REMAINING YARD LANDSCAPE CALCULATION | MT. ETNA DRIVE

Landscape Calculations Worksheet			FORM DS-4
City of San Diego Development Services 1222 First Ave., MS-501 San Diego, CA 92101			August 2020
Commercial Development in All Zones Industrial Development in RM and C Zones Commercial Components of Mixed-Use Development			
Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.			
<ul style="list-style-type: none"> At least one-half of the required planting points shall be achieved with trees. If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met. 			
STREET YARD [§142.0404 - §142.0405]			
Industrial and Commercial Development (except Auto Service Stations—see below)			
Planting Area Required	Planting Area Provided	Excess Area Provided	
Total Area (a) <u>9,220</u> sq. ft. x 25% = (b) <u>2,305</u> sq. ft.	(c) <u>779</u> sq. ft.	(d-e) <u>-1,526</u> sq. ft.	
Plant Points Required	Plant Points Provided	Excess Points Provided	
Total Area (a) <u>9,220</u> sq. ft. x 0.05* = (a) <u>461</u> points	(e) <u>816</u> points	(e-a) <u>355</u> points	
Plant Points Achieved with Trees (50%)		<u>600</u> points	
Auto Service Stations Only			
Planting Area Required [§142.0405(c)(2)]	Planting Area Provided	Excess Area Provided	
Total Area _____ sq. ft. x 15% = _____ sq. ft.	_____ sq. ft.	_____ sq. ft.	
Plant Points Required	Plant Points Provided	Excess Points Provided	
Total Area _____ sq. ft. x 0.03 = _____ points	_____ points	_____ points	
Plant Points Achieved with Trees (50%)		_____ points	

REMAINING YARD [§142.0404 - §142.0405]		
Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area <u>7,183</u> sq. ft. x 30% = <u>2,155</u> sq. ft.	<u>6,698</u> sq. ft.	<u>4,543</u> sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area <u>7,183</u> sq. ft. x 0.05 = <u>359</u> points	<u>3,176</u> points	<u>2,817</u> points
Plant Points Achieved with Trees (50%)		<u>250</u> points

Page 2 of 2 City of San Diego - Development Services Department - DS-4

ADDITIONAL YARD REQUIREMENTS FOR PROJECTS ABUTTING RESIDENTIAL ZONES - IF APPLICABLE		
Planting Area Buffer Between Zones	Buffer Area Provided	Excess Area Provided
Length of property line abutting residential zone <u>3,847</u> ft. x 5 = <u>2,320</u> sq. ft. buffer required	<u>4,367</u> sq. ft.	<u>2,047</u> sq. ft.
Plant Points Required within Buffer	Plant Points Provided	Excess Points Provided
Total Area _____ sq. ft. x 0.05 = _____ points	_____ points	_____ points

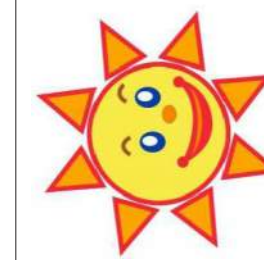
ADDITIONAL YARD PLANTING AND POINT REQUIREMENTS - IF APPLICABLE		
Planting Area Reduction [§142.0405(a)(3)]	Minimum Planting Area with Allowed Reduction	Excess Points Required
Planting Area Required (b) <u>2,305</u> sq. ft. x 25% = (b) <u>576.3</u> sq. ft.	(b) <u>1728.7</u> sq. ft.	(b) <u>576.3</u> points

PLANTING AREA REQUIRED WITH REDUCTION = 308 SF
 (2,305 - 355 - 1,642 = 308 SF)
 PLANTING AREA PROVIDED = 779 SF

LEGEND

- STREET YARD
- PLANTING AREAS WITHIN STREET YARD
- VEHICULAR USE AREA BOUNDARY
- REMAINING YARD
- PLANTING AREA WITHIN REMAINING YARD
- PROPERTY LINE
- ENHANCED PAVING ALLOWANCE (1,642 SF)

Enhanced paving means patterned paving material including tiles; mortared pavers; wood timbers; colored, patterned concrete with a tile, brick, or stone appearance; or a patterned paving material with enhanced concrete that has an exposed aggregate, colored, or salt finish.

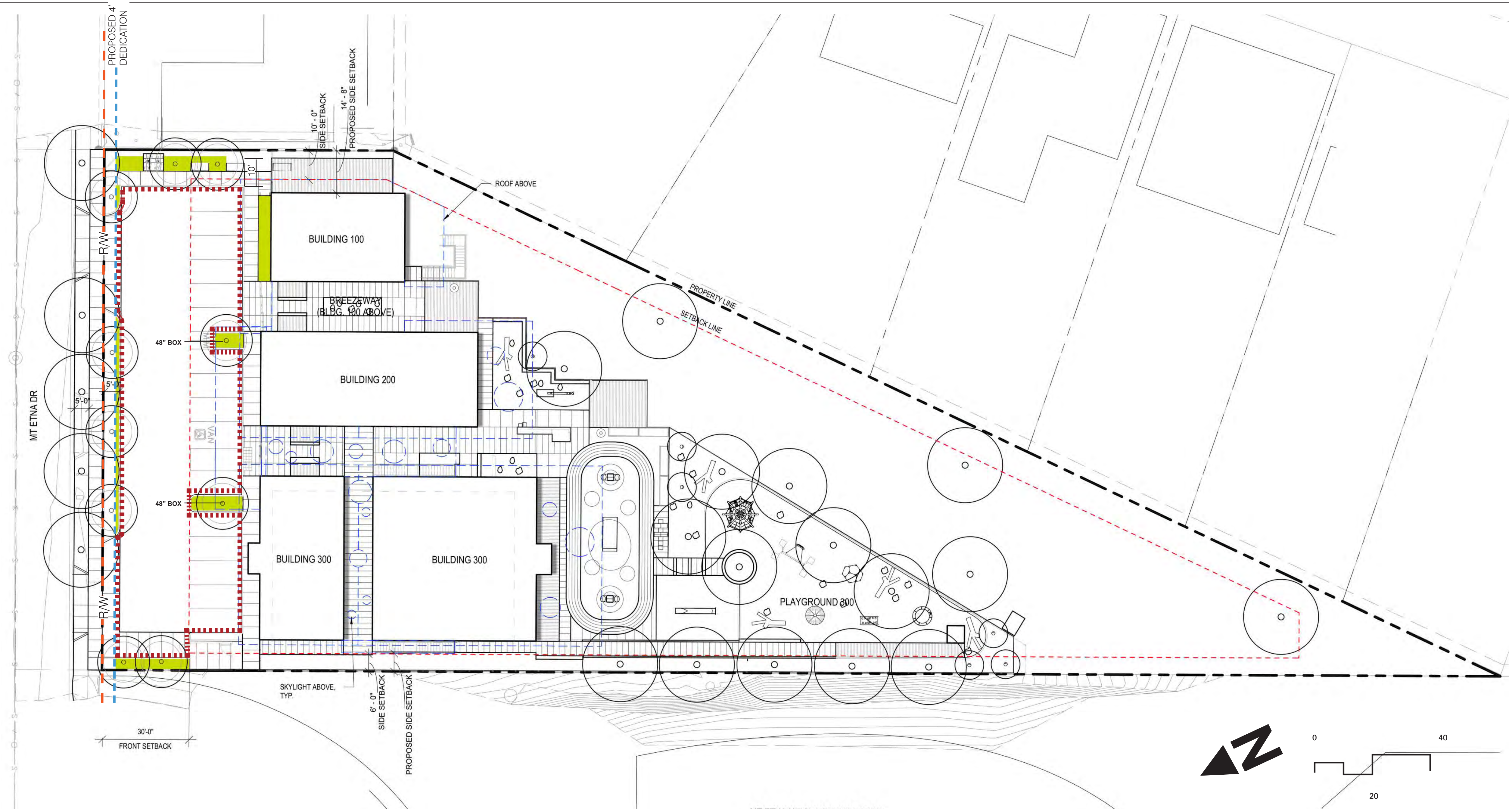


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LANDSCAPE CALCULATIONS
TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117
 CONDITIONAL USE PERMIT

PROJECT NO.	R.S. 030	A.P.	883
FILE NAME			
DATE	1/17/2024	DRAWN	SJ
REVISIONS	CHECKED	SJ	
SHEET NO.		L-8	
8 OF 9 SHEETS			

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VEHICULAR USE LANDSCAPE CALCULATION

LEGEND

- - - - - VEHICULAR USE AREA BOUNDARY
- PLANTING AREAS COUNT TOWARDS VUA
- PROPERTY LINE

SD	City of San Diego Development Services 1222 First Ave., MS-501 San Diego, CA 92101	Landscape Calculations Worksheet Vehicular Use Area (VUA)	FORM DS-5 August 2020
Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.			
<ul style="list-style-type: none"> At least one-half of the required planting points shall be achieved with trees. If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met. 			
VEHICULAR USE AREA (<6,000 sf) [§142.0406 - §142.0407]			
Planting Area Required			
40 sq. ft. per tree.			
Plant Points Required	Plant Points Provided	Excess Points Provided	
Total Area _____ sq. ft. x 0.05 = _____ points	_____ points	_____ points	
		Plant Points Achieved with Trees (50%)	
		_____ points	
VEHICULAR USE AREA (≥6,000 sf) [§142.0406 - §142.0407]			
Planting Area Required	Planting Area Provided	Excess Area Provided	
VUA inside Street Yard <u>6,672</u> sq. ft. x 0.05 = <u>334</u> sq. ft.	<u>608</u> sq. ft.	<u>274</u> sq. ft.	
VUA outside Street Yard _____ sq. ft. x 0.03 = _____ sq. ft.	_____ sq. ft.	_____ sq. ft.	
Plant Points Required	Plant Points Provided	Excess Points Provided	
VUA inside Street Yard <u>6,672</u> sq. ft. x 0.05 = <u>334</u> points	<u>518</u> points	<u>184</u> points	
		Plant Points Achieved with Trees (50%)	
		<u>350</u> points	
VUA outside Street Yard _____ sq. ft. x 0.03 = _____ sq. ft.	_____ points	_____ points	



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LANDSCAPE CALCULATIONS
TSUMIKI PRESCHOOL
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 CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
FILE NAME	
DATE	1/17/2024
REVISIONS	DRAWN: SJ CHECKED: SJ
SHEET NO.	L-9
9 OF 9 SHEETS	

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GENERAL NOTES

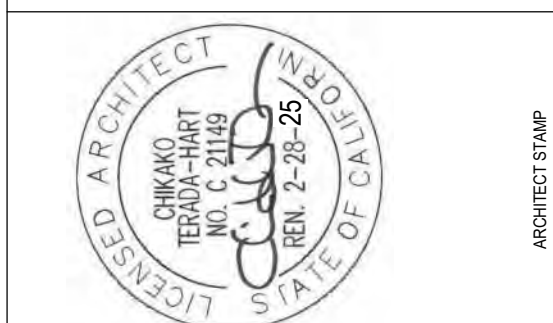
- SEE LANDSCAPE PLAN FOR LANDSCAPE, HARDSCAPE AND PLAYGROUND DESIGN.
- SEE SHEET C-200 FOR ROADWAY / RIGHT-OF-WAY CROSS SECTION AND INFORMATION.

LEGEND

- PROPOSED BUILDING
- PROPERTY LINE
- SETBACK LINE
- (N) ACCESSIBLE PATH OF TRAVEL
- FIRE TRUCK ACCESS
20' - 0" WIDTH, WITH 50' - 0" OUTER RADIUS
- HOSE DRAG NOT TO EXCEED 200' PER CFC 503.1.1
- (E) FIRE HYDRANT
- (N) ACCESSIBLE PARKING STALL SIGN
- (N) PLANTING AREA, REFER TO LANDSCAPE
- (N) CONCRETE PAVING TYPE 1, REFER TO LANDSCAPE & CIVIL
- (N) CONCRETE PAVING TYPE 2, REFER TO LANDSCAPE
- (N) CONCRETE PAVING TYPE 3, REFER TO LANDSCAPE
- (N) CONCRETE PAVING TYPE 4, REFER TO LANDSCAPE
- (N) DECK, REFER TO LANDSCAPE
- (N) RUBBER PLAY SURFACE, REFER TO LANDSCAPE
- (N) SAND, REFER TO LANDSCAPE
- (N) FIBER, REFER TO LANDSCAPE
- (N) PERIMETER FENCE
- (E) TOPOGRAPHIC LINE
- (N) TOPOGRAPHIC LINE, REFER TO CIVIL
- DRIVEWAY VISIBILITY TRIANGLE - NO OBJECTS HIGHER THAN 24" WILL BE PROPOSED IN THE VISIBILITY AREAS

PROPOSED PARKING

STANDARD AUTOMOBILE PARKING	15
(3) CLEAN-AIR VEHICLE PARKING	
(2) EV CHARGING SPACES	
VAN ACCESSIBLE PARKING	1
TOTAL	16
MOTORCYCLE SPACES	2



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SITE PLAN
TSUMIKI PRESCHOOL
 4811 MT ETNA DR SAN DIEGO, CA 92117
CONDITIONAL USE PERMIT


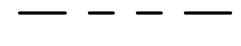


PROJECT NO.	883
R.S. 030	A.P.
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CHECKED	CT
REVISIONS	
SHEET NO.	AS-101
OF SHEETS	

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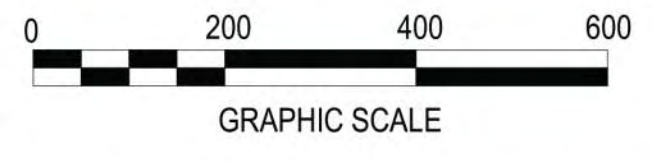
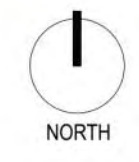
- SEE LANDSCAPE PLAN FOR LANDSCAPE, HARDSCAPE AND PLAYGROUND DESIGN.

LEGEND

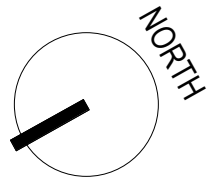
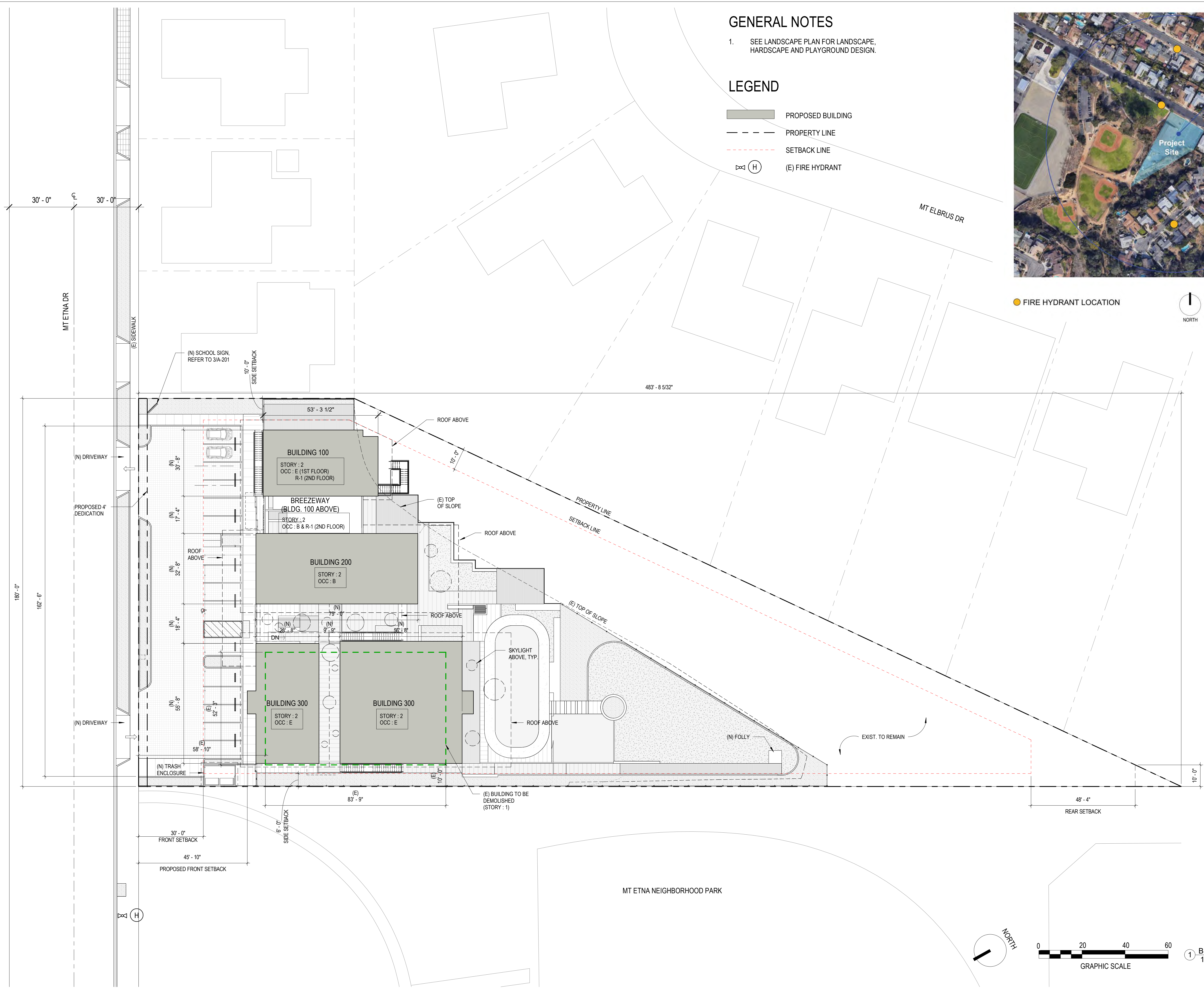
-  PROPOSED BUILDING
-  PROPERTY LINE
-  SETBACK LINE
-  (E) FIRE HYDRANT



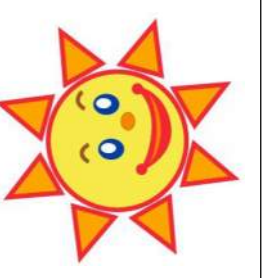
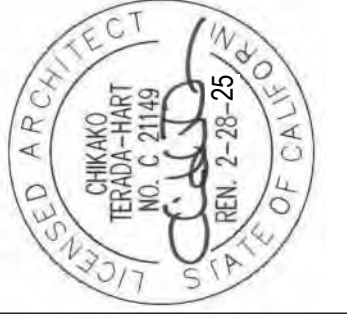
● FIRE HYDRANT LOCATION



② FIRE HYDRANT LOCATION
1" = 200'-0"



① BUILDING & FIRE HYDRANT LOCATION
1" = 20'-0"



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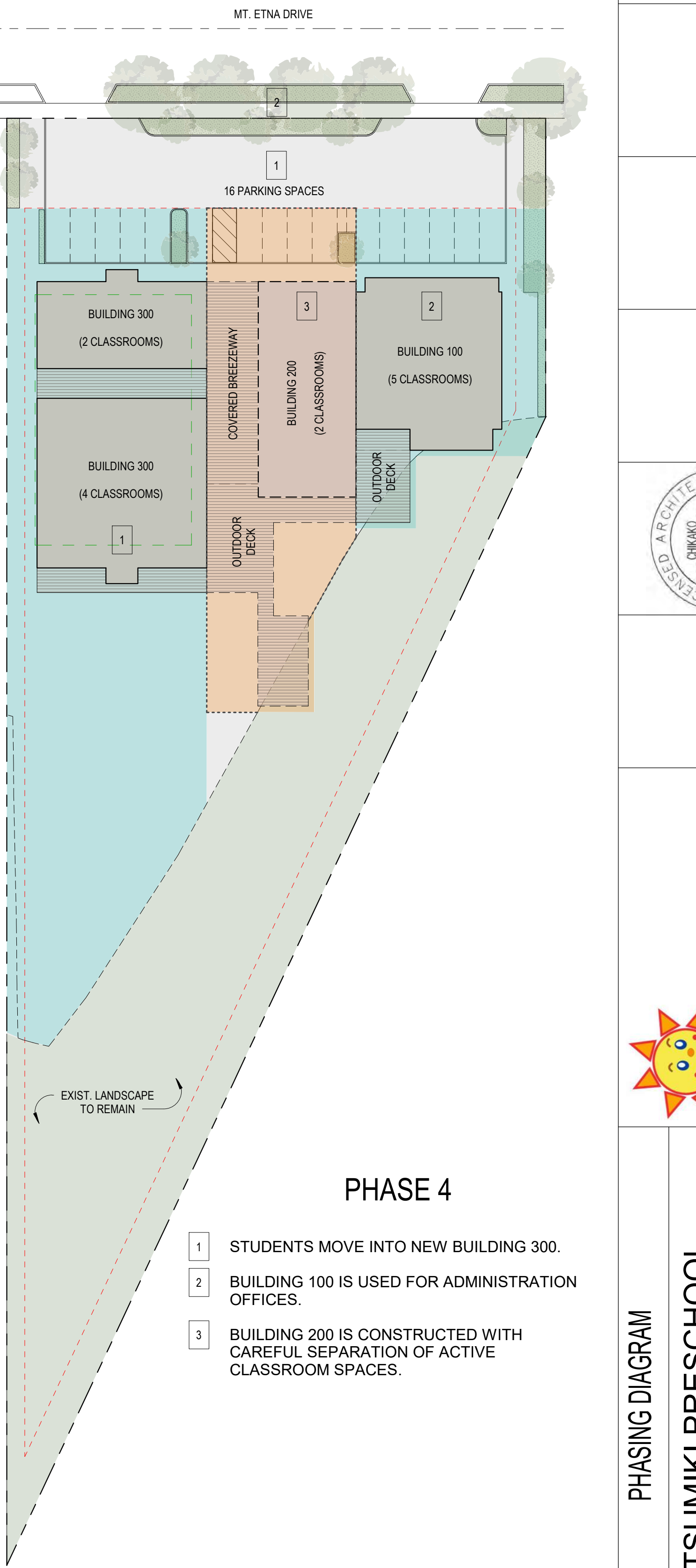
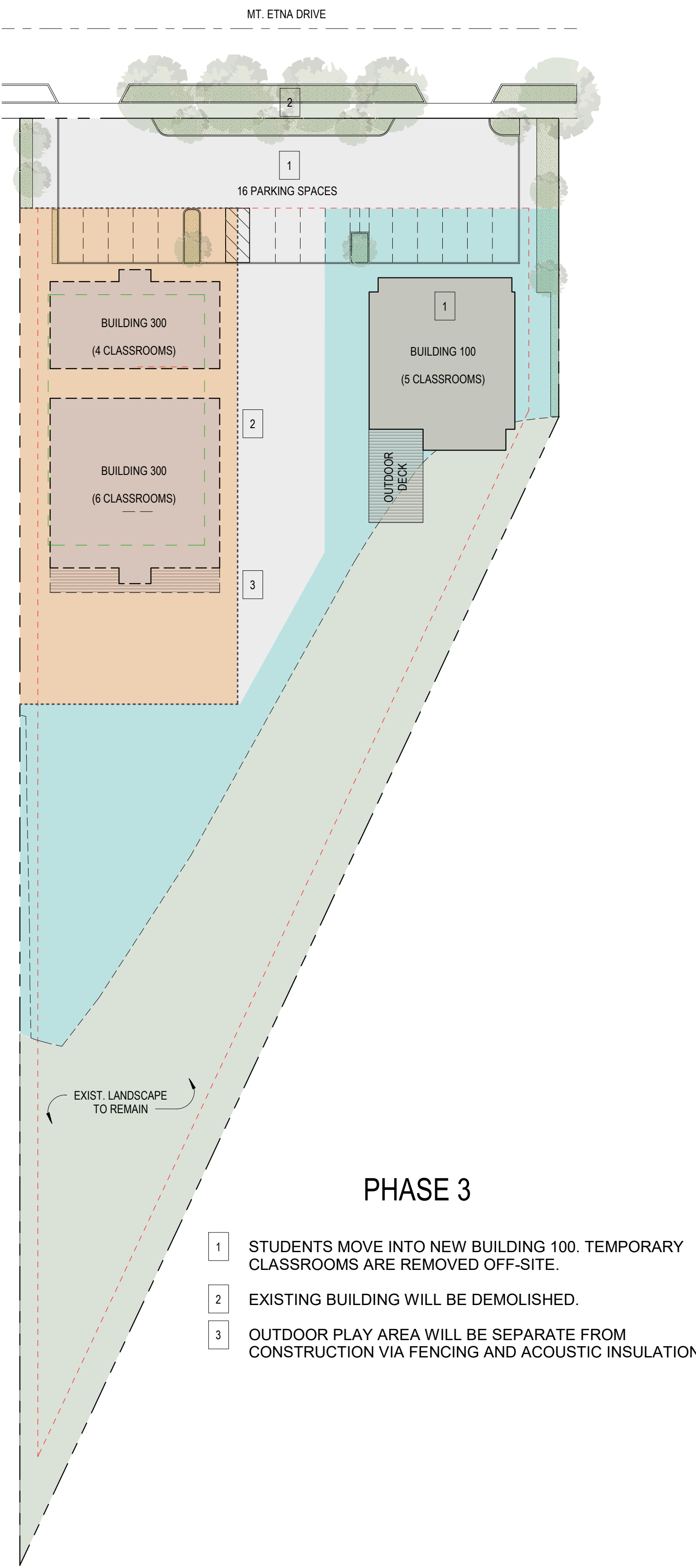
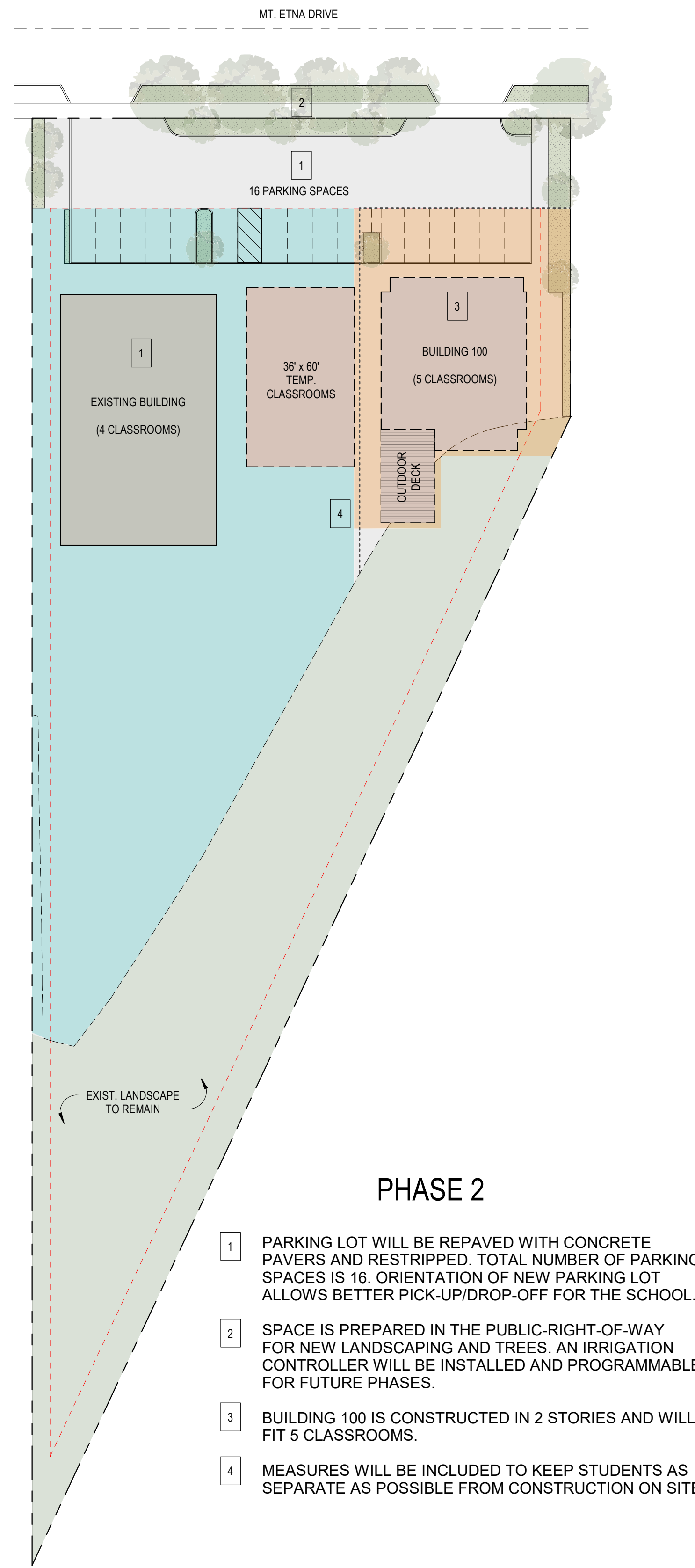
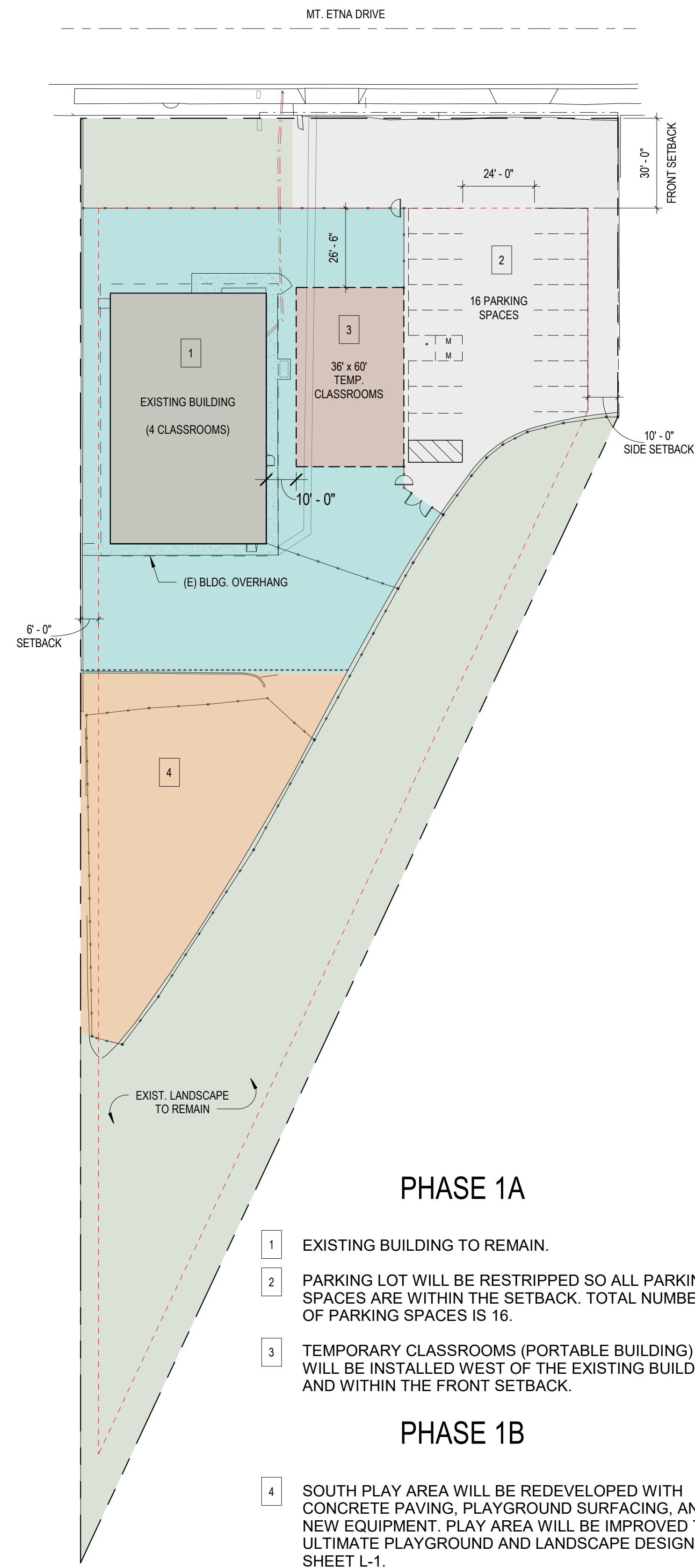
BUILDING & FIRE HYDRANT LOCATION

TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO.	883
R.S. 030	A.P.
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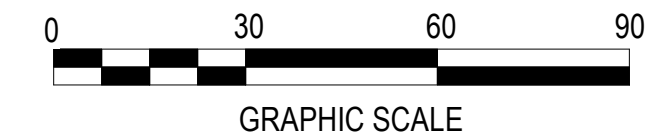
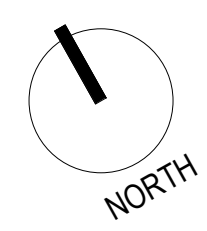


GENERAL NOTES

1. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A PLAN PRIOR TO EACH PHASE OF WORK WITH LOCATIONS OF DUST-CONTROL PARTITIONS, WASTE HANDLING PROCEDURES, MATERIAL STAGING LOCATIONS, AND OTHER DUST-CONTROL MEASURES.

LEGEND

- CONSTRUCTION ZONE
- SCHOOL ZONE
- COMPLETED ELEMENTS
- NEW ELEMENTS
- LANDSCAPE AREAS
- ANTICIPATED LOCATION OF CONSTRUCTION FENCE W/ CHAIN LINK & VISUAL BARRIER



1 PHASING DIAGRAM
1" = 30'-0"

CONSULTANT LOGO

CONSULTANT LOGO

CONSULTANT STAMP

CONSULTANT STAMP

RNT ARCHITECTS ARCHITECTS
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PHASING DIAGRAM

TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117

CONDITIONAL USE PERMIT

PROJECT NO. 883
R.S. 030 A.P.
FILE NAME
DATE 1/17/2024 DRAWN Author
CHECKED Checker

REVISIONS

SHEET NO.
AS-103
OF SHEETS

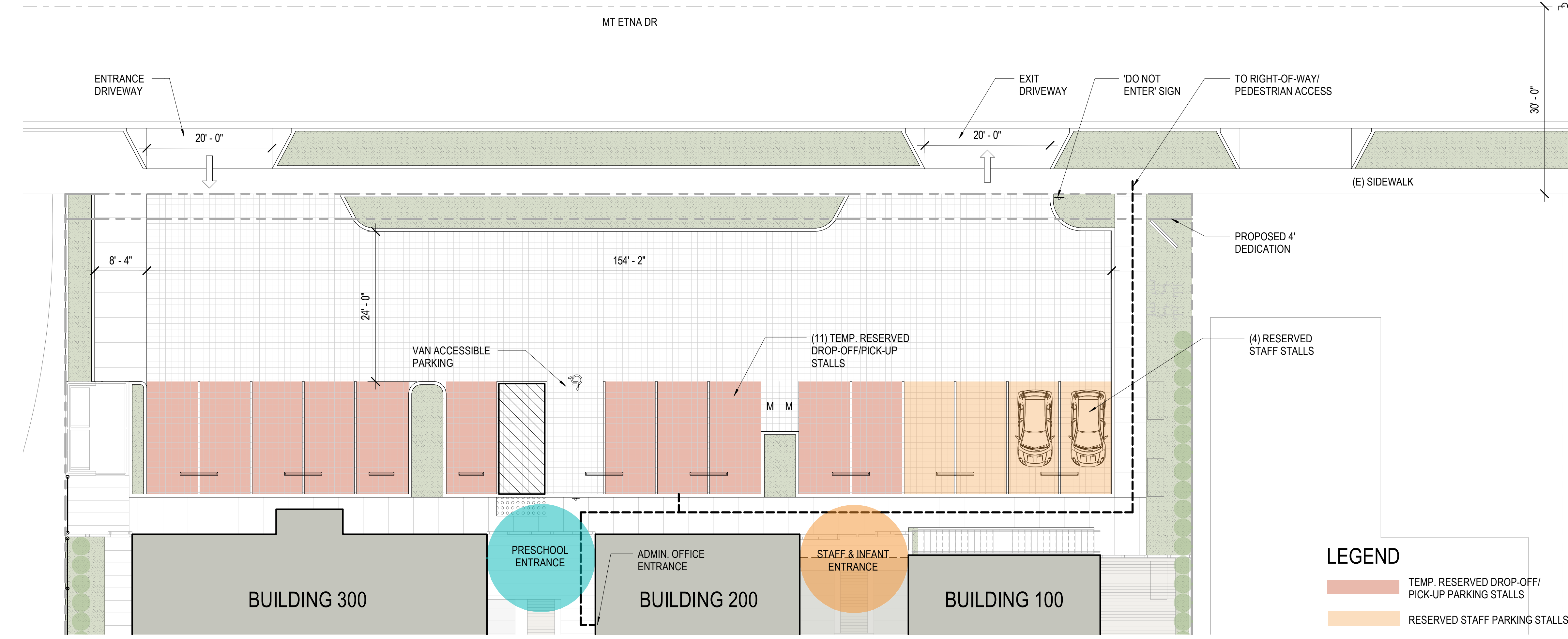
GENERAL NOTES

1. TSUMIKI PRESCHOOL IS YEAR-ROUND. GRADES K-3 IS A 9-MONTH SCHOOL PROGRAM, WHICH RUNS FROM AUGUST TO MAY.
 2. TOTAL PARKING SPACES IS 16 STALLS. 4 PARKING STALLS SHALL BE RESERVED FOR STAFF AT ALL TIMES.
 3. PICK-UP/DROP-OFF IS MONITORED BY ON-SITE STAFF.
 4. PARENTS WILL RECEIVE A DESIGNATED PICK-UP/DROP-OFF WINDOW UPON STUDENT REGISTRATION PER THE SCHEDULE BELOW.
 5. PICK-UP/DROP-OFF TIME FOR EACH GRADE LEVEL WILL BE STAGGERED TO ALLOW FOR MAXIMUM CAPACITY USAGE AND PREVENT SPILLBACK TO PUBLIC STREETS.
 6. PICK-UP/DROP-OFF FOR INFANTS AND PRE-K STUDENTS WILL BE STAGGERED SEPARATELY FROM GRADES K-3.
 7. ENFORCING STAFF WILL INFORM QUEUING VEHICLES THAT THEY ARE NOT PERMITTED TO QUEUE WITHIN THE PUBLIC STREET.
- INFANT & PRESCHOOL DROP-OFF/PICK-UP**
8. PARENTS PICKING UP AND DROPPING OFF INFANTS AND PRESCHOOLERS WILL NEED TO PARK THEIR VEHICLES, AND ENTER BUILDING 100 OR 300 TO CHECK-IN OR PICK-UP THEIR CHILDREN.
 9. ADDITIONAL PICK-UP/DROP-OFF TIME IS PROVIDED FOR THE INFANT AGE GROUP.
 10. TOTAL NUMBER OF PARKING STALLS/SPACES AVAILABLE DURING PRE-K PICK-UP/DROP-OFF IS 11.
- KINDERGARTEN - GRADE 3 DROP-OFF/PICK-UP**
11. K THRU GRADE 3 STUDENTS WILL CHECK-IN WITH SUPERVISING STAFF IN THE PARKING LOT AND WALK THEMSELVES IN VIA THE SIDEWALKS.
 12. DURING PICK-UP/DROP-OFF WINDOW FOR K THRU GRADE 3, THERE WILL BE NO INGRESS/EGRESS FOR PARKED VEHICLES.
 13. PARKING SPACES WILL NOT PERMIT BACK-OUT AND BACK-IN MOVEMENTS. THIS WILL BE ENFORCED BY ON-SITE STAFF.
 14. THERE IS APPROXIMATELY 120' FOR DROP-OFF IN TWO LANES THAT CAN ACCOMMODATE UP TO (6) 20' VEHICLES IN EACH LANE FOR A TOTAL OF (12) 20' VEHICLES.
 15. NO MORE THAN 12 VEHICLES WILL BE PERMITTED IN THE PARKING LOT AT ANY TIME DURING PICK-UP/DROP-OFF SCHEDULED TIME.

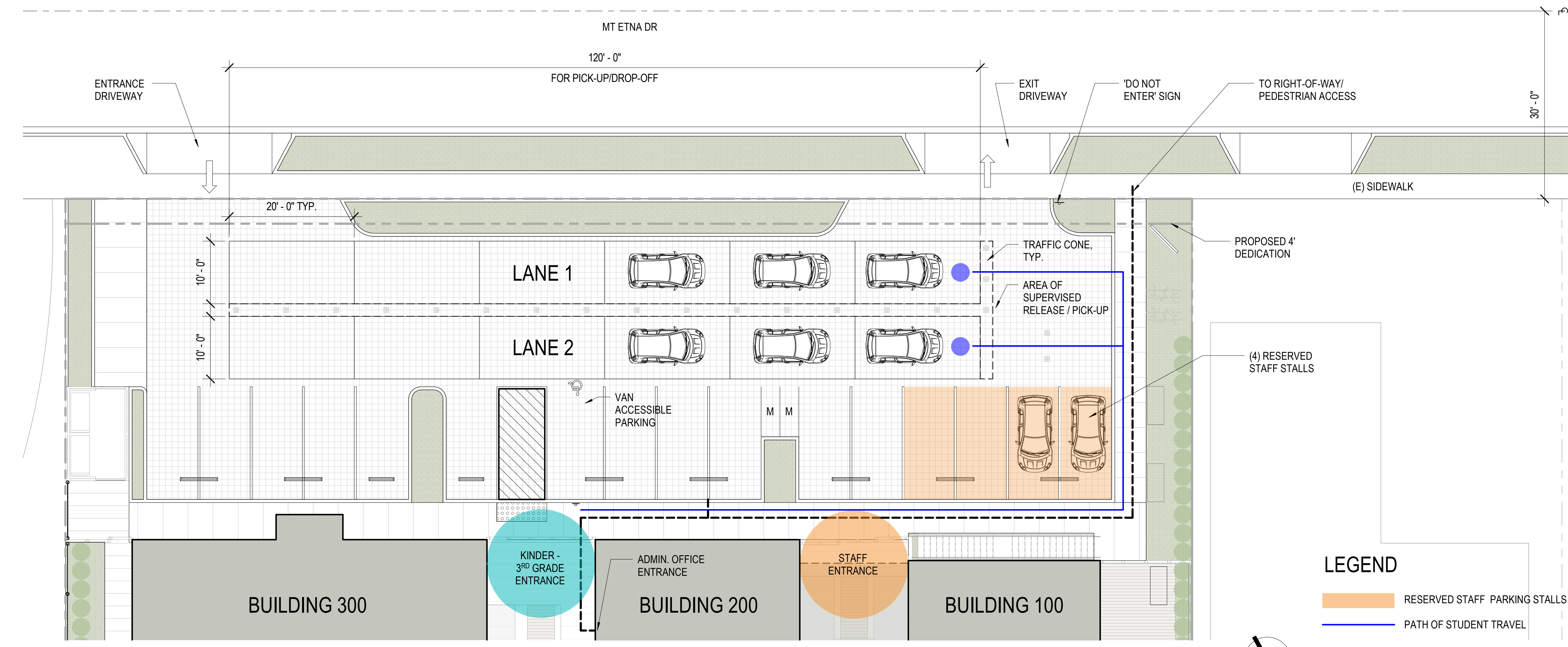
PICK-UP/DROP-OFF SCHEDULE

MONDAY - FRIDAY SCHEDULE			
TIME	GRADE	NUMBER OF STUDENTS*	
DROPOFF	7:00 - 7:30	ALL GRADES, EARLY CARE	10 to 12
	7:30 - 7:40	GRADE 1	12
	7:40 - 7:50	GRADE 2	12
	7:50 - 8:00	GRADE 3	12
	8:00 - 8:10	KINDERGARTEN	12
	8:10 - 8:40	INFANT	16
	8:40 - 8:50	PRE-K GROUP 1	12
	8:50 - 9:00	PRE-K GROUP 2	12
	9:00 - 9:10	PRE-K GROUP 3	12
	9:10 - 9:20	PRE-K GROUP 4	12
	9:20 - 9:30	PRE-K GROUP 5	12
	9:30 - 9:40	PRE-K GROUP 6	12
DROPOFF TOTAL		136	
PICKUP	14:30 - 14:40	KINDERGARTEN	6
	14:40 - 14:50	GRADE 1 & 2	12
	14:50 - 15:00	GRADE 3	6
	15:00 - 15:10	PRE-K GROUP A	12
	15:10 - 15:20	PRE-K GROUP B	12
	15:20 - 15:30	PRE-K GROUP C	12
	15:30 - 18:00	ALL GRADES, AFTER SCHOOL CARE	80
17:30 - 18:00	INFANT	16	
PICKUP TOTAL		136	

*TOTAL NUMBER OF STUDENTS FOR DROPOFF/PICKUP DOES NOT REFLECT THAT 10-15% OF STUDENTS EITHER WALK/BIKE TO CAMPUS OR ARE SAME-HOUSEHOLD AND ARRIVE/LEAVE IN ONE VEHICLE. THEREFORE, TOTAL NUMBER OF STUDENTS SHOWN IN THE TABLE REPRESENTS THE LARGEST POTENTIAL FOR PICK-UP/DROPOFF DEMAND.



① DROP-OFF/PICK-UP - INFANT & PRE-K
1" = 10'-0"



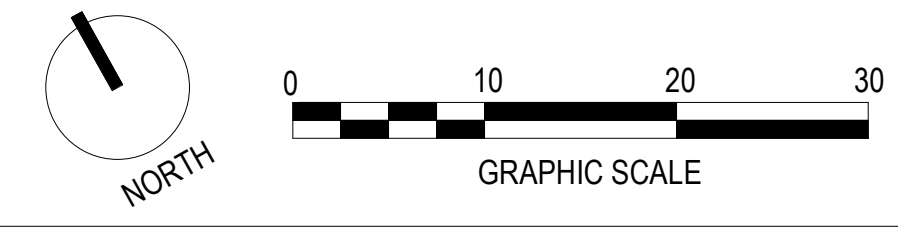
② DROP-OFF/PICK-UP - K THRU GRADE 3
1" = 10'-0"

LEGEND

- TEMP. RESERVED DROP-OFF/PICK-UP PARKING STALLS
- RESERVED STAFF PARKING STALLS

LEGEND

- RESERVED STAFF PARKING STALLS
- PATH OF STUDENT TRAVEL



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P 619.233.1023
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DROPOFF / PICK-UP DIAGRAMS

TSUMIKI PRESCHOOL

4811 MT ETNA DR SAN DIEGO, CA 92117

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PROJECT NO. 883

R.S. 030 A.P.

FILE NAME

DATE 1/17/2024 DRAWN Author

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SHEET NO. AS-104

OF SHEETS

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GENERAL NOTES

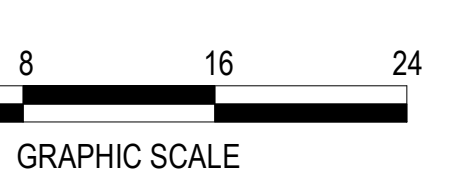
- SEE LANDSCAPE PLAN FOR LANDSCAPE, HARDSCAPE AND PLAYGROUND DESIGN.
- MULTI-PURPOSE ROOM 123 SHALL NOT ACCOMMODATE ADDITIONAL STUDENT ENROLLMENT.

LEGEND

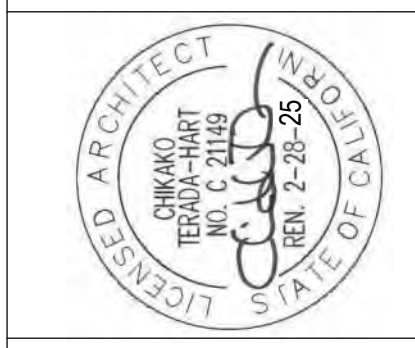
- PROPERTY LINE
- SETBACK LINE
- (N) ACCESSIBLE PARKING STALL SIGN
- (N) PLANTING AREA, REFER TO LANDSCAPE
- (N) CONCRETE PAVING TYPE 1, REFER TO LANDSCAPE & CIVIL
- (N) CONCRETE PAVING TYPE 2, REFER TO LANDSCAPE
- (N) CONCRETE PAVING TYPE 3, REFER TO LANDSCAPE
- (N) CONCRETE PAVING TYPE 4, REFER TO LANDSCAPE
- (N) DECK, REFER TO LANDSCAPE
- (N) RUBBER PLAY SURFACE, REFER TO LANDSCAPE
- (N) SAND, REFER TO LANDSCAPE
- (N) FIBER, REFER TO LANDSCAPE
- (N) PERIMETER FENCE

PROGRAM

- CLASSROOM
- ADMIN/SUPPORT



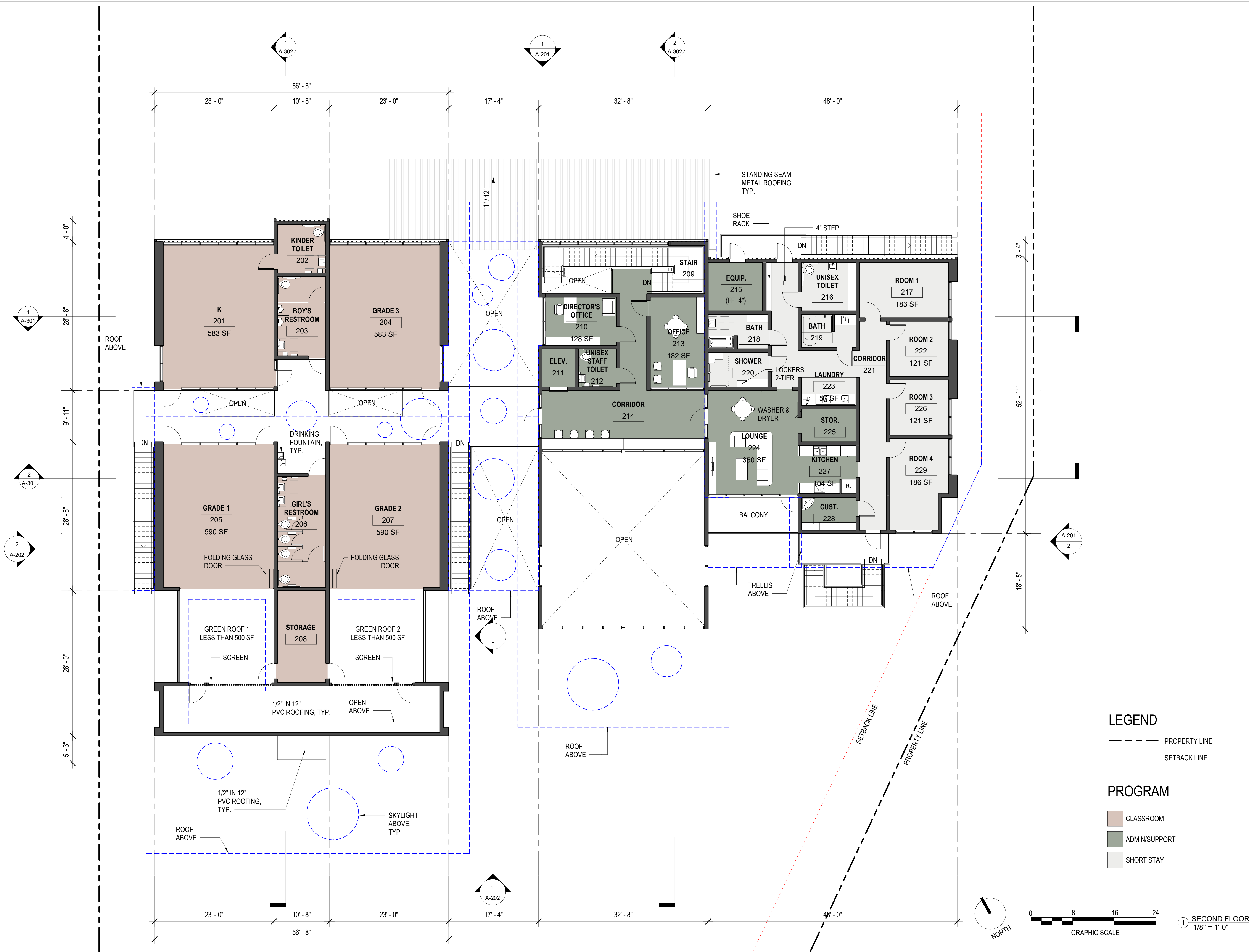
1 FIRST FLOOR
1/8" = 1'-0"



FIRST FLOOR PLAN
TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117
TEMPORARY CLASSROOM BUILDING

PROJECT NO.	R.S. 030	A.P.	883
FILE NAME			
DATE	1/17/2024	DRAWN	RS
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		OF SHEETS	

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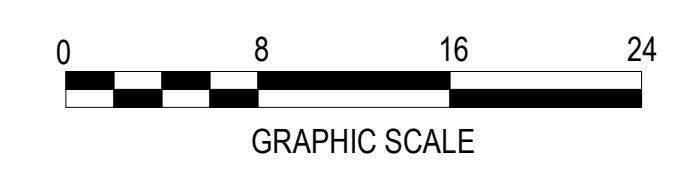


LEGEND

- PROPERTY LINE
- - - SETBACK LINE

PROGRAM

- CLASSROOM
- ADMIN/SUPPORT
- SHORT STAY



1 SECOND FLOOR
1/8" = 1'-0"

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SECOND FLOOR PLAN

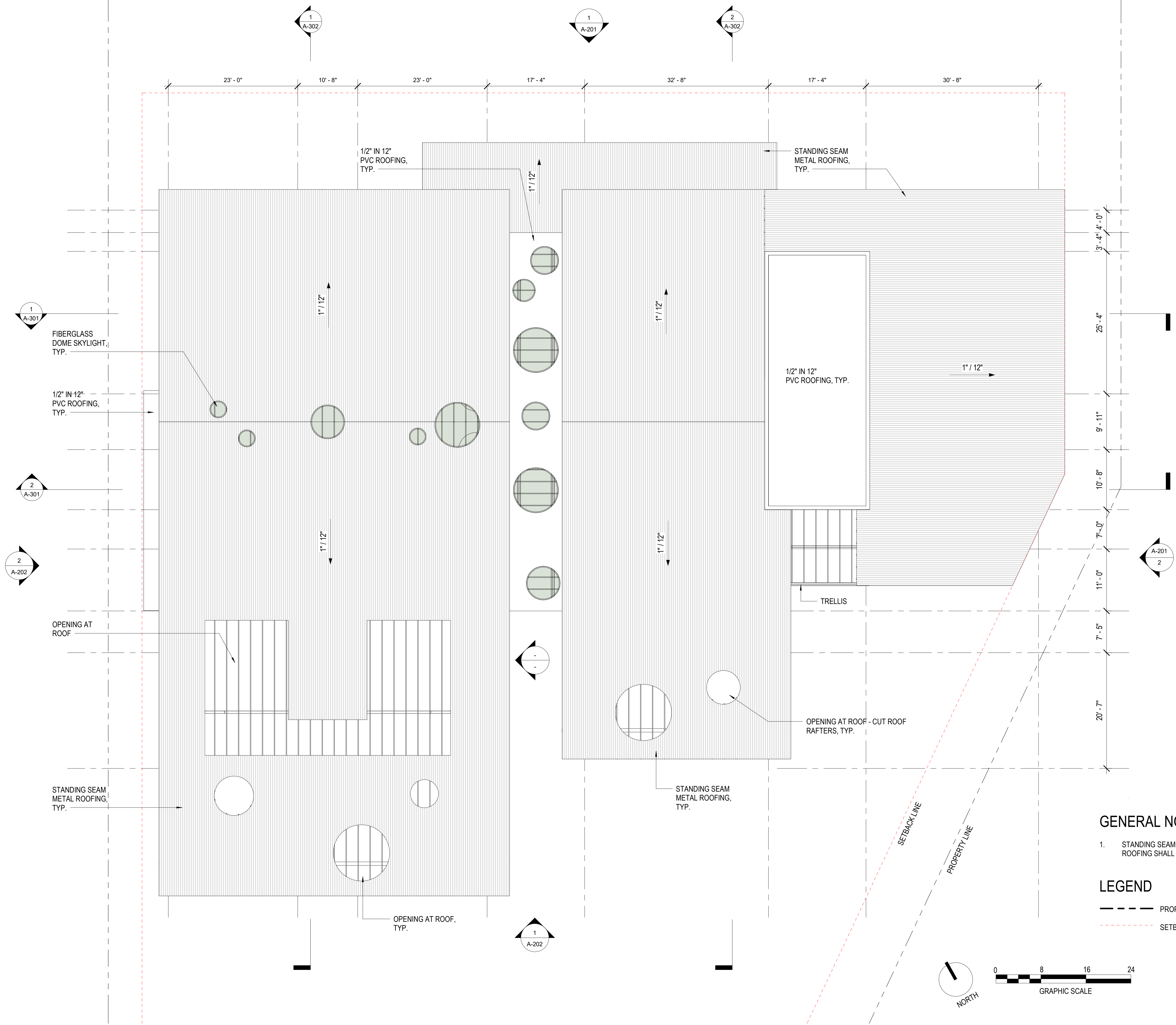
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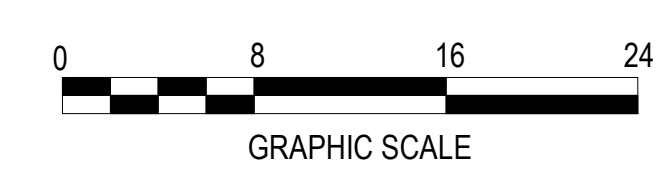


GENERAL NOTES

- STANDING SEAM METAL ROOFING AND PVC ROOFING SHALL BE CLASS "A" COOL ROOF.

LEGEND

- PROPERTY LINE
- - - - - SETBACK LINE



1 ROOF
1/8" = 1'-0"



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ROOF PLAN
TSUMIKI PRESCHOOL
4811 MT ETNA DR SAN DIEGO, CA 92117
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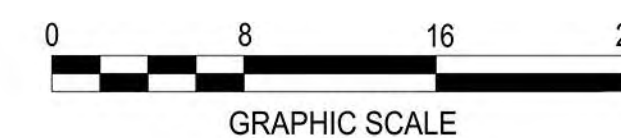
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FILE NAME	
DATE	1/17/2024
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REVISIONS	
SHEET NO.	A-103
OF SHEETS	



1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



KEYNOTE	
100	EXT. WOOD LOUVER
101	EXT. VERT. METAL SIDING
102	EXT. PLASTER
103	STANDING SEAM METAL ROOF
104	WOOD DOOR
105	ALUMINUM WINDOW
106	ALUMINUM STOREFRONT, DOUBLE GLAZED W/ 1/4" GLASS
107	METAL GUARDRAIL
108	WOOD GATE
109	STEEL COLUMN
110	WOOD BEAM
111	STEEL BEAM
112	WOOD RAFTER
113	GALVANIZED METAL DECKING
114	CMU WALL
115	STEEL FRAME

EXTERIOR ELEVATIONS

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FILE NAME

DATE 1/17/2024 DRAWN RS CHECKED CT

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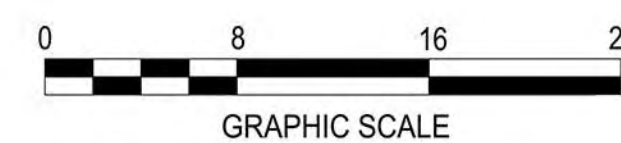


① SOUTH ELEVATION
1/8" = 1'-0"



② WEST ELEVATION
1/8" = 1'-0"

KEYNOTE	
100	EXT. WOOD LOUVER
101	EXT. VERT. METAL SIDING
102	EXT. PLASTER
103	STANDING SEAM METAL ROOF
104	WOOD DOOR
105	ALUMINUM WINDOW
106	ALUMINUM STOREFRONT, DOUBLE GLAZED W/ 1/4" GLASS
107	METAL GUARDRAIL
108	WOOD GATE
109	STEEL COLUMN
110	WOOD BEAM
111	STEEL BEAM
112	WOOD RAFTER
113	GALVANIZED METAL DECKING
114	CMU WALL
115	STEEL FRAME



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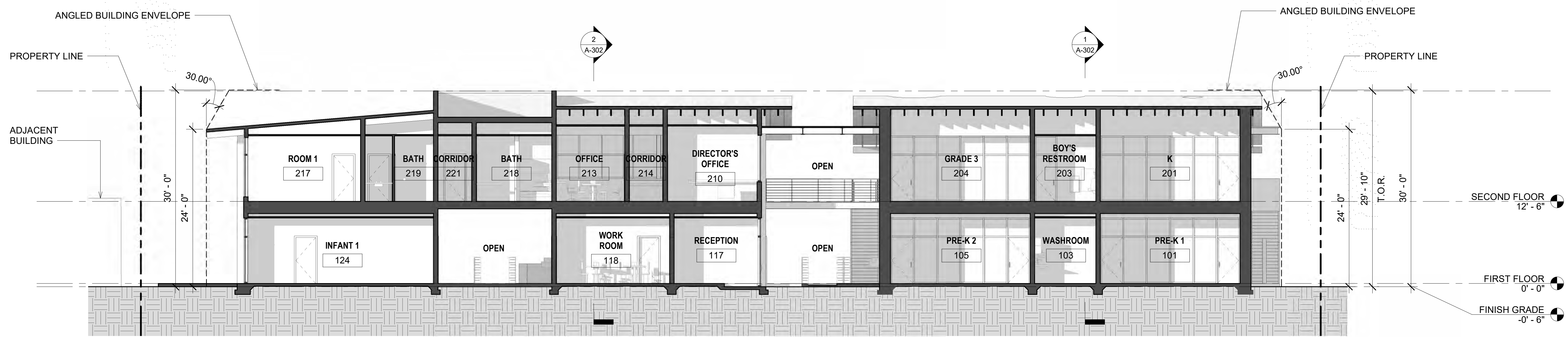
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San Diego, CA 92101
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EXTERIOR ELEVATIONS

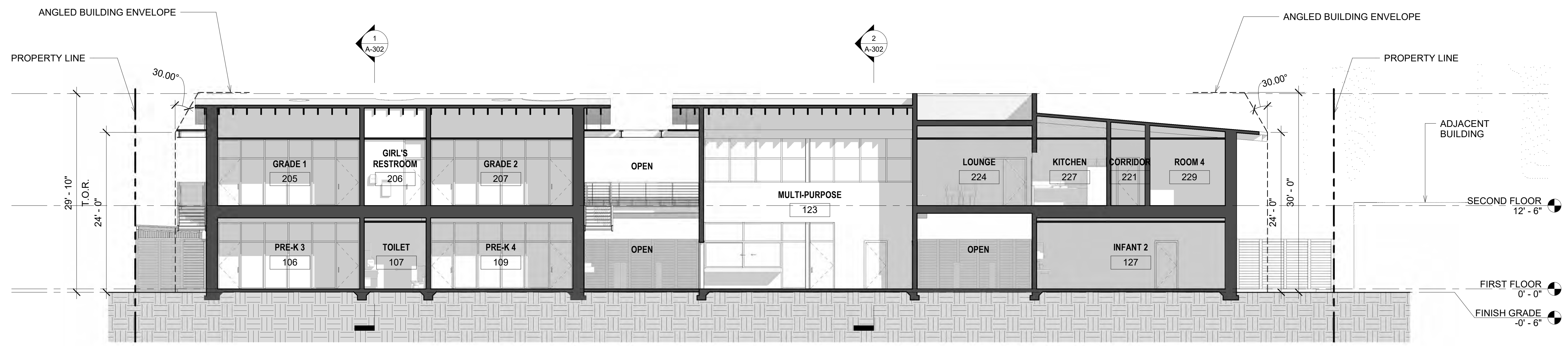
TSUMIKI PRESCHOOL
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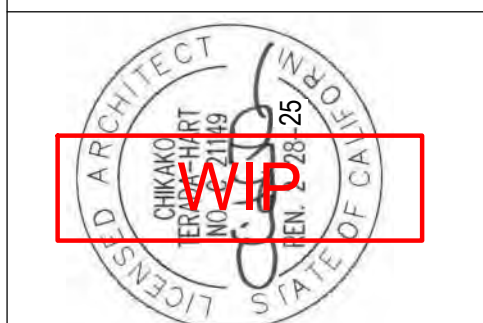
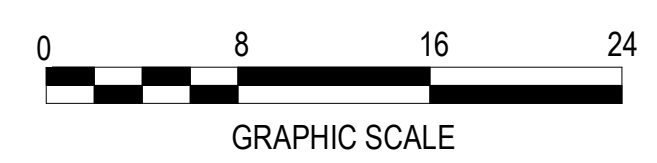
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DATE 1/17/2024	DRAWN RS	CHECKED CHT
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1 LONGITUDINAL SECTION 1
1/8" = 1'-0"



2 LONGITUDINAL SECTION 2
1/8" = 1'-0"



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LONGITUDINAL SECTIONS

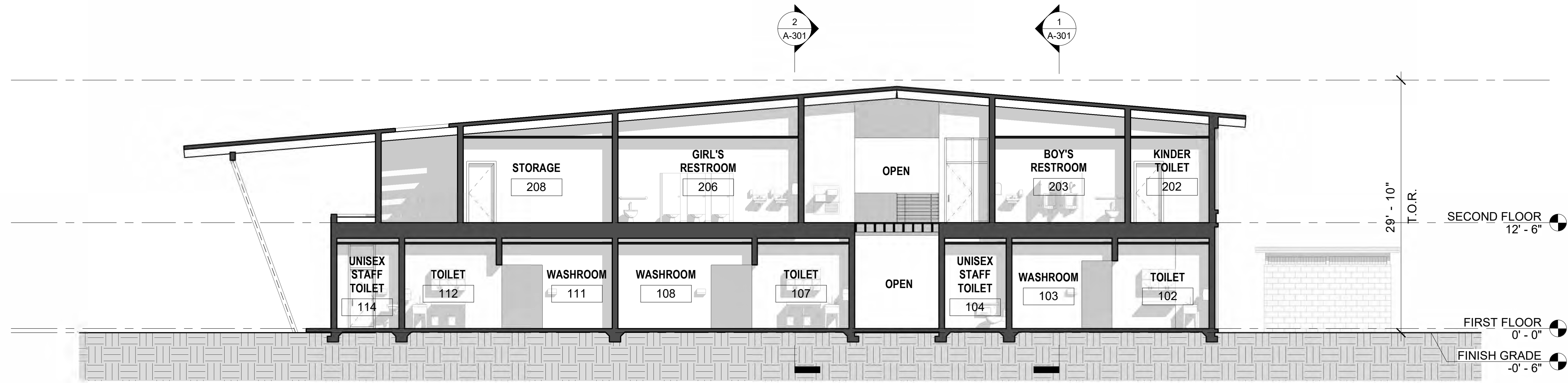
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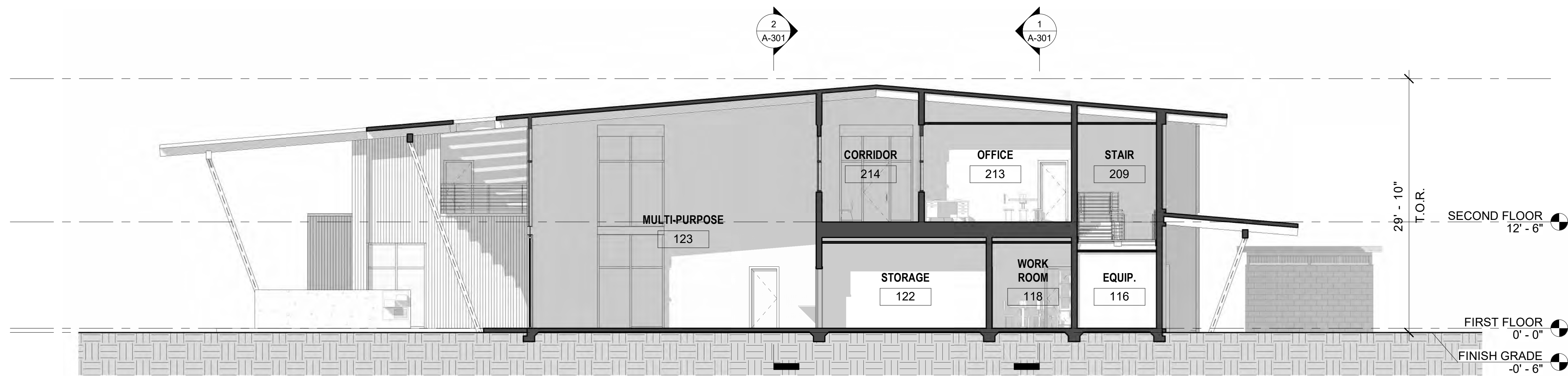
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SHEET NO.	A-301
OF	SHEETS

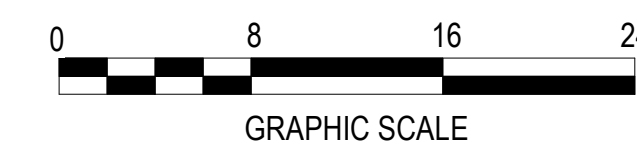
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1 CROSS SECTION A
1/8" = 1'-0"



2 CROSS SECTION B
1/8" = 1'-0"



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CROSS SECTIONS

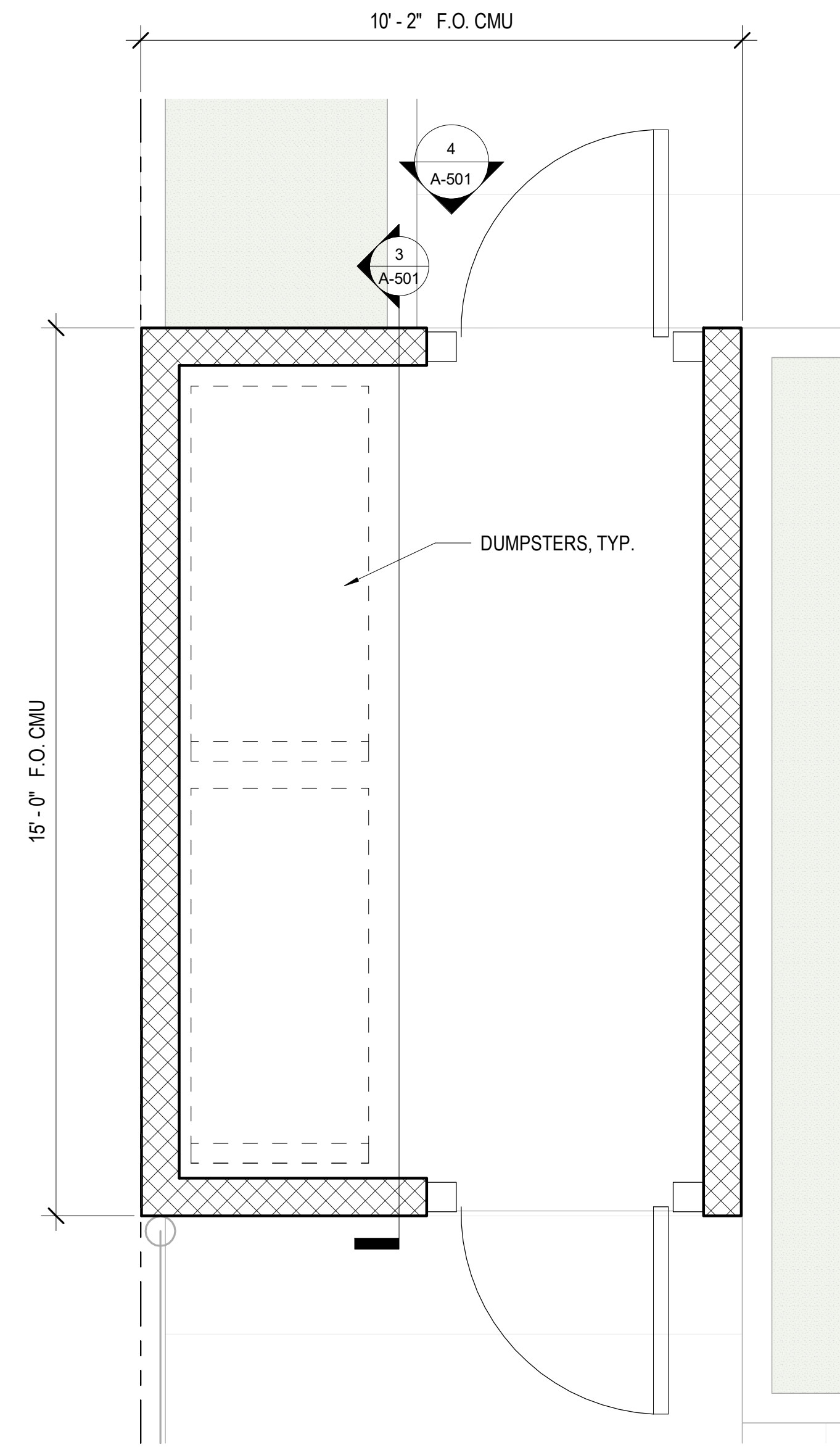
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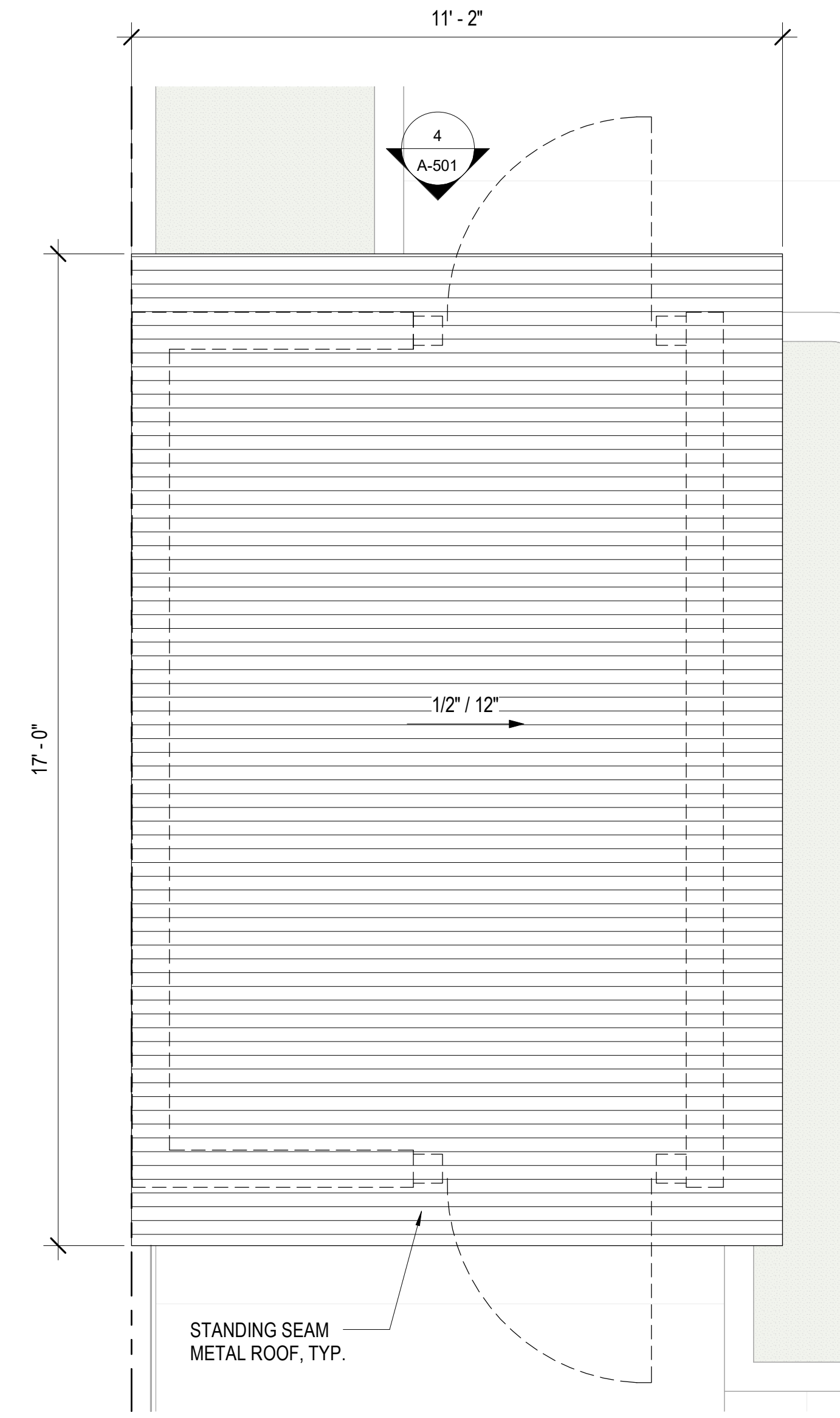
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DATE	1/17/2024
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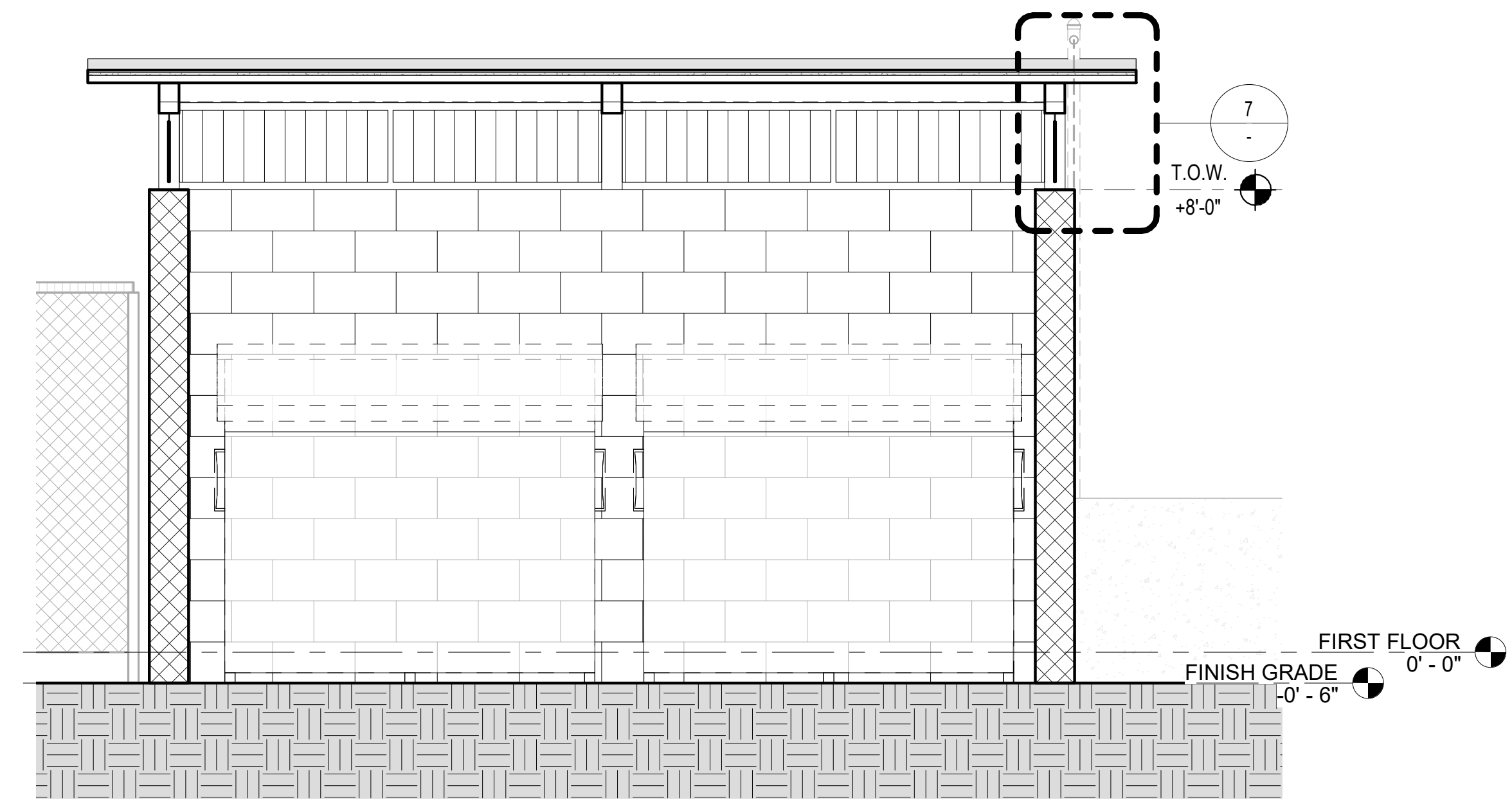
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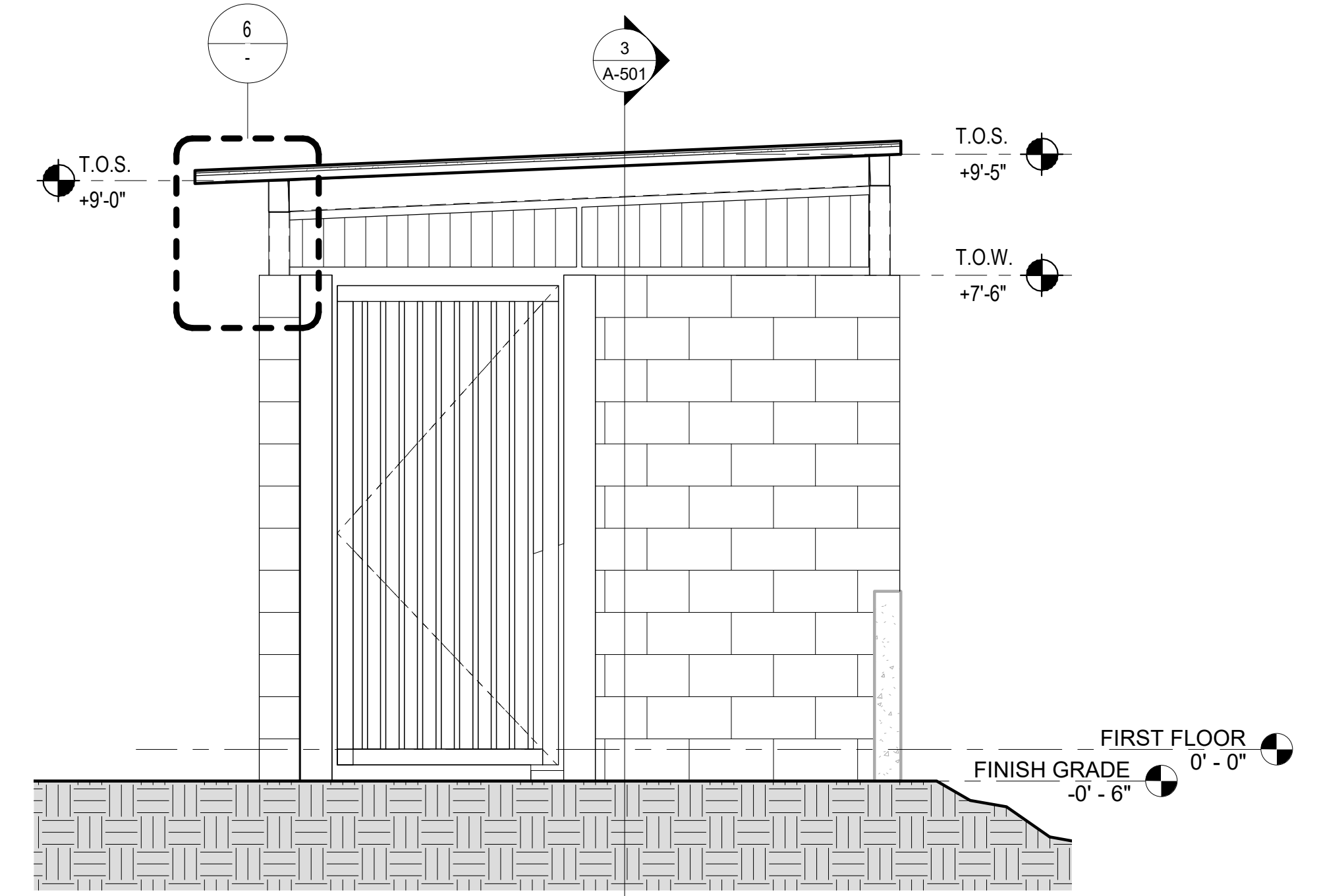
1 TRASH ENCLOSURE PLAN
1/2" = 1'-0"



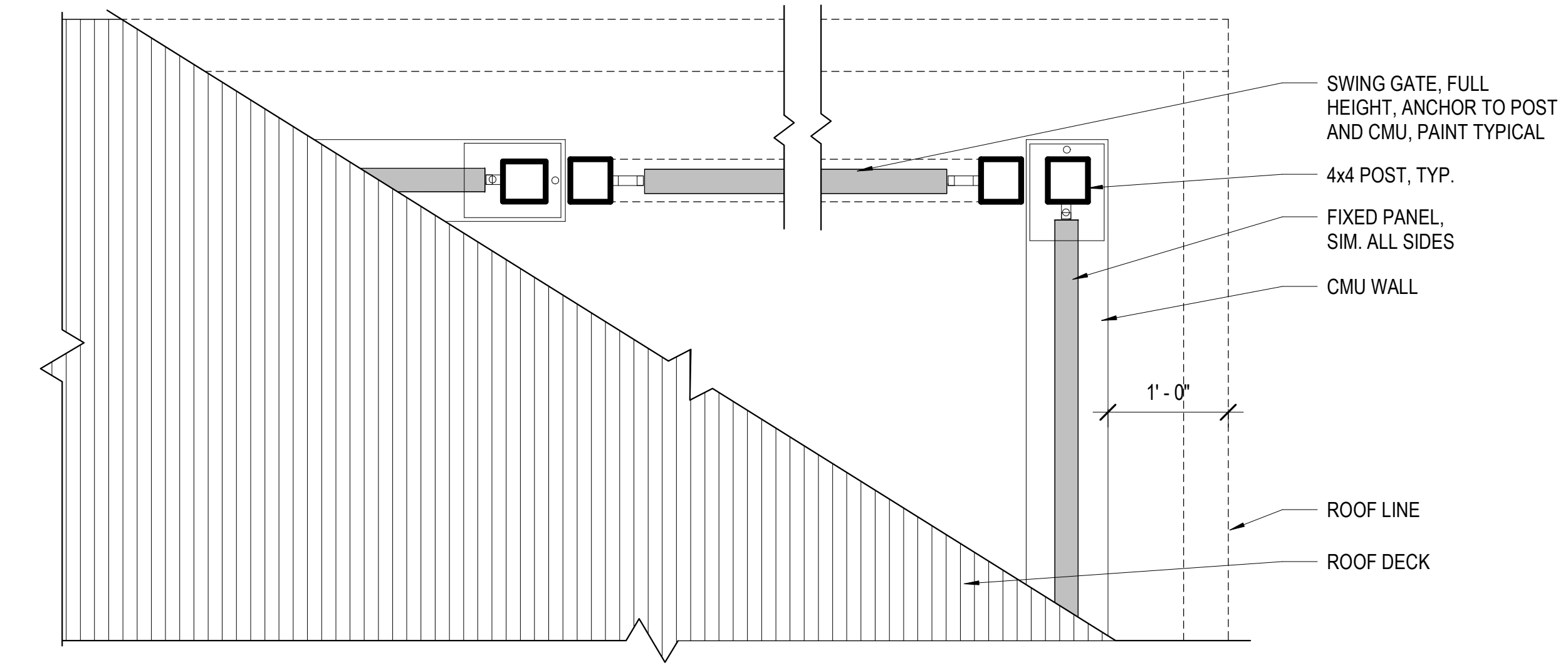
2 TRASH ENCLOSURE ROOF PLAN
1/2" = 1'-0"



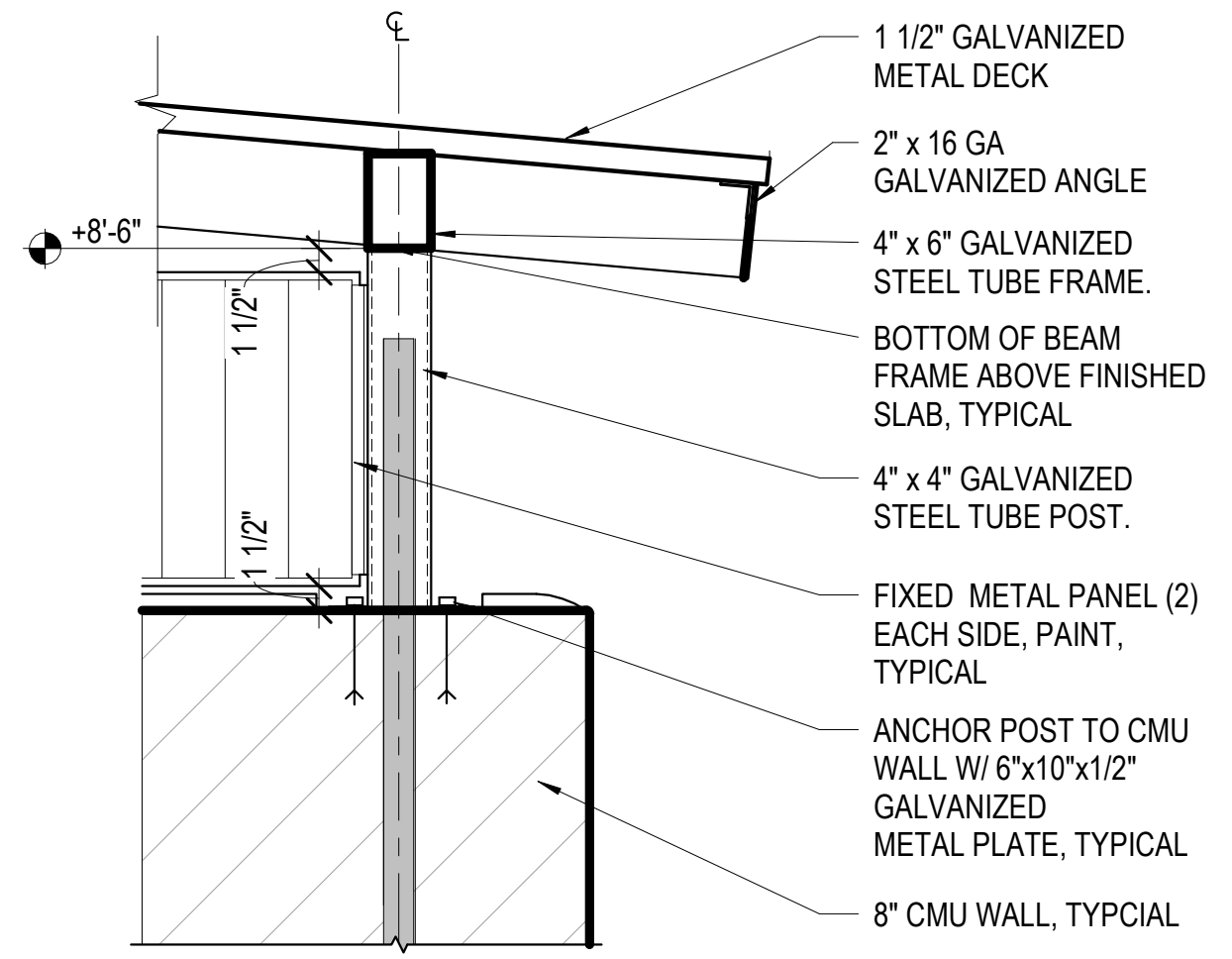
3 TRASH ENCLOSURE SECTION
1/2" = 1'-0"



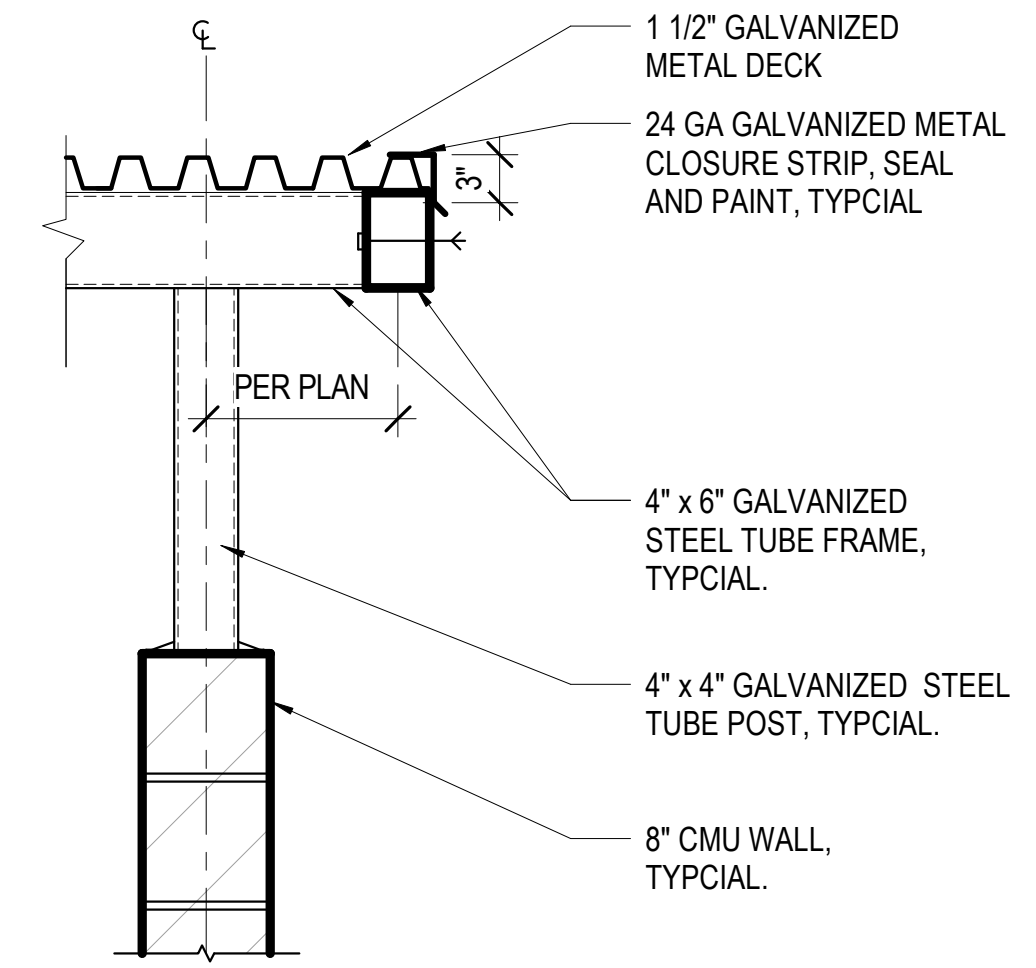
4 TRASH ENCLOSURE - ENLARGED ELEVATION
1/2" = 1'-0"



5 TRASH ENCLOSURE - PARTIAL PLAN
1" = 1'-0"



6 TRASH ENCLOSURE - FRONT SECTION
1" = 1'-0"



7 TRASH ENCLOSURE - SIDE SECTION
1" = 1'-0"

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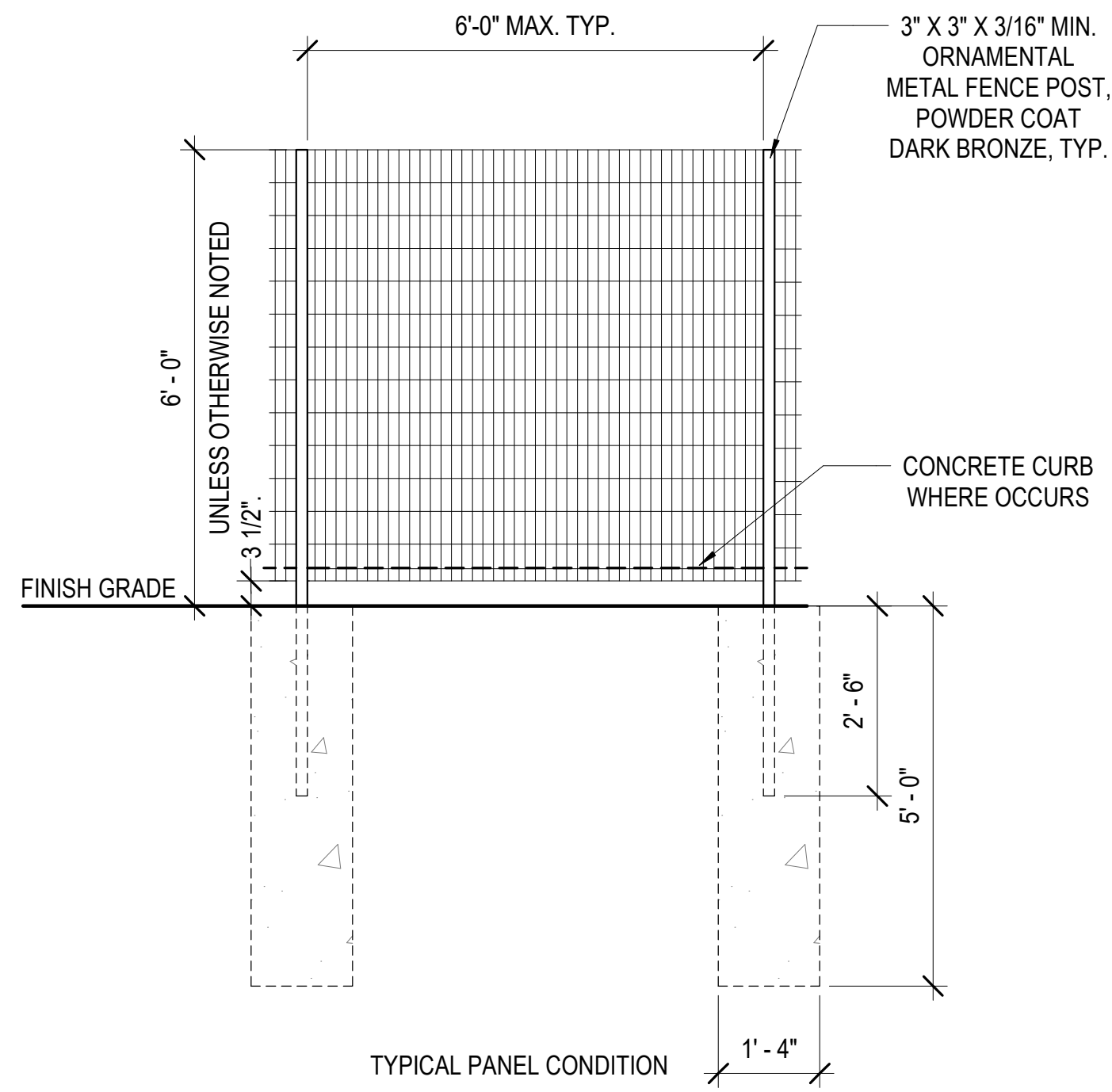
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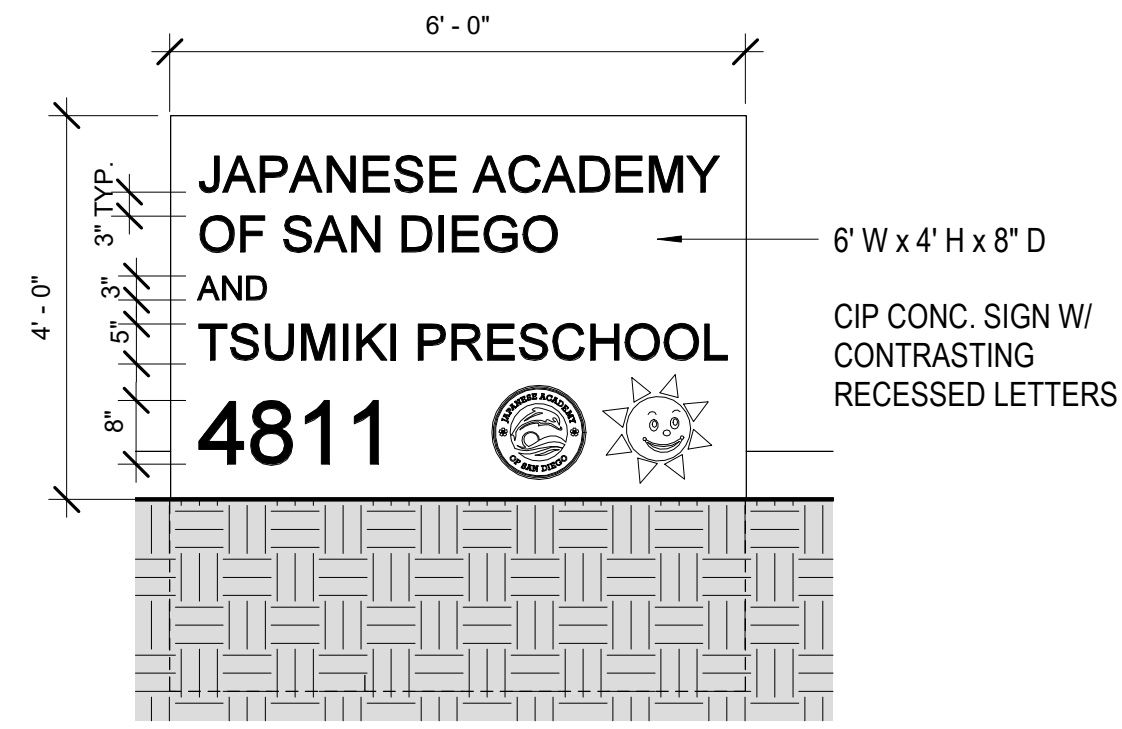
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1 ORNAMENTAL FENCE - TYP. PANEL
1/2" = 1'-0"



2 SIGANGE - ENLARGED ELEVATION
1/2" = 1'-0"

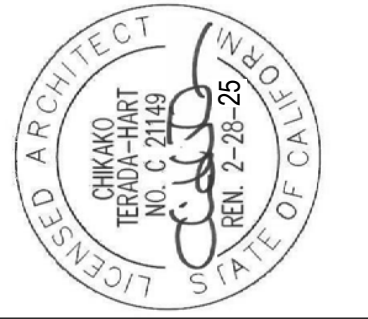
DETAILS

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OF SHEETS

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	Community Planning Committee Distribution Form
	Project Name: Sumiki Preschool	Project Number: 1059048
Community: Clairemont Mesa		
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: February 21, 2023
# of Members Yes 9	# of Members No 0	# of Members Abstain 0
Conditions or Recommendations: Motion to Approve project as presented		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: Nicholas William Reed		
TITLE: CCPG Chair		DATE: February 21, 2023
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>		

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