



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 11, 2024 REPORT NO. HO-24-029

HEARING DATE: September 18, 2024

SUBJECT: Garcia Residence, 812 Havenhurst Point

PROJECT NUMBER: [PRJ-0697754](#)

OWNER/APPLICANT: Luis H. Garcia

SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit and a Site Development Permit for the demolition of a 3,723-square-foot existing single-dwelling unit and the construction of a new two-story, 5,250-square-foot single-dwelling unit with a 1,648 square-foot basement (total of 6,898 square feet), a new attached 408-square-foot Junior Accessory Dwelling Unit (JADU), a new attached 1,200-square-foot Accessory Dwelling Unit (ADU), a new attached 888-square-foot garage, a new pool, spa and exterior decks and associated site improvements on a 0.51-acre site located at [812 Havenhurst Point](#) within the La Jolla Community Plan Area?

Staff Recommendation:

1. APPROVE Coastal Development Permit No. PMT-2586783 and
2. APPROVE Site Development Permit No. PMT-2586785

Fiscal Considerations: None. The applicant funds a deposit account that recovers all costs associated with processing the application.

Code Enforcement Impact: There are no open code enforcement actions on this site.

Community Planning Group Recommendation: On May 4, 2023, the La Jolla Community Planning Association voted 12-1-1 to recommend denial of the project. This recommendation is further discussed herein.

Environmental Impact: This project was determined to be categorically exempt pursuant to Section 15302, Replacement or Reconstruction, of the California Environmental Quality Act on May 29, 2024, and the opportunity to appeal that determination ended June 12, 2024.

BACKGROUND

The 0.51-acre site is a single parcel located at 812 Havenhurst Point in the RS-1-4 zone (Residential - Single Dwelling). The La Jolla Community Plan designates this site as Low Density Residential which allows five to nine (5-9) dwelling units per acre (DU/AC). The site is also within the Coastal Overlay Zone (Non-appealable), and a Transit Priority Area within the La Jolla Community Plan Area.

DISCUSSION

Project Description:

The project proposes the demolition of a 3,723-square-foot existing single-dwelling unit and the construction of a new two-story, 5,250-square-foot single-dwelling unit with a 1,648-square-foot basement (total of 6,898 square feet), a new attached 408-square-foot Junior Accessory Dwelling Unit (JADU), a new attached 1,200-square-foot Accessory Dwelling Unit (ADU), a new attached 888-square-foot garage, a new pool, spa and exterior decks and associated site improvements.

Permits Required (consolidated for Hearing Officer decision per SDMC Section [112.0103](#))

- A Process Two Coastal Development Permit (CDP) per SDMC Section [126.0702\(a\)](#) is required for development on a property that is within the non-appealable area of the Coastal Overlay Zone.
- A Process Three Site Development Permit (SDP) per SDMC Section [126.0502\(a\)](#) is required for development on a property that contains Environmentally Sensitive Lands (ESL) in the form of Sensitive Biological Resources and Steep Hillides.

Zoning

The previously developed project site contains an existing 3,723-square-foot single dwelling unit. Its rear yard area contains environmentally sensitive lands in the form of steep hillsides and sensitive biological resources (Coastal Sage Scrub), however, these resources are both located outside the development area and will not be impacted by the project. Project studies do not identify any significant impacts to biological resources, and the project site is not in or adjacent to the Multi-Habitat Planning Area (MHPA).

The project complies with RS-1-4 zone development regulations for setbacks and height listed in Table 131-04C of [SDMC Section 131.0431](#) including:

- A height of 27 feet where a maximum of 30 feet is allowed.
- A front setback which ranges from 20 feet to 143 feet where 20 feet is required.
- East side setbacks which range from 10 feet to 37 feet 10 inches, and west side yard setbacks which range from 10 feet to 83 feet where 10 feet is required calculated based on lot width.

- A rear setback that ranges from 81 feet to 127 feet where 20 feet where is required.
- A floor area ratio (FAR) of 0.43 where a maximum FAR of 0.45 is allowed.

Community Plan

At its May 4, 2023 meeting, the La Jolla Community Planning Association voted 12-1-1 to recommend denial of the project, stating that the new development's scale and massing are inconsistent with the established neighborhood character.

However, as outlined in the draft resolution of approval (Attachment 4) and discussed below, the proposed development is consistent with the Community Character section of the Residential Element of the La Jolla Community Plan (LJCP) in that it maintains the character of La Jolla's residential areas and falls within the spectrum of densities, architectural styles, and expressions in that community.

The LJCP acknowledges on Page 68 that "Single dwelling unit residential in La Jolla covers a spectrum of densities and architectural styles and expressions." It also states that "in many areas, residential diversity is emphasized more than a uniform theme or development pattern."

The Residential Element of the LJCP recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (page 67). The proposed development has taken the adjacent properties into consideration. The second story has a setback of approximately 23 feet from the façade of the first floor adjacent to Havenhurst Pt. and is more centered on the lot, mitigating the effect of the second story by keeping the single-story street front façade, articulating the scale. On the easterly elevation, the second level will also be stepped back eight feet from the first level elevation.

The development meets the LJCP Community Character recommendations for bulk and scale on Page 76: "Bulk and scale—with regard to surrounding structures or landform conditions as viewed from the public right-of-way." The project addresses bulk and scale along the street by setting the second story further back than the first and keeping the street facade low-scale.

The LJCP further states that "In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The project articulates the structure in the front, side, and rear yards, further breaking up massing. The dwelling unit also steps back further on the eastern side as it faces an older single-story home with a more prominent presence on the northwestern side facing the newer developed two and three-level homes across the canyon to the north.

The Community Character Recommendations on Page 76 of the LJCP also recommend "applying development regulations that proportionally relate the building envelope to existing lot dimensions, and that will limit the perceived bulk and scale differences relative to surrounding lots." The

development regulations of the RS-1-4 zone apply these principles, as outlined above in the Zoning section of this report.

The proposed replacement home will be approximately 5,250 square feet (exckud including 1,200 square feet for ADU and 408 square feet for JADU). The proposed home will be from 13 feet 8 inches to 27 feet tall. Staff research and information submitted by the applicant (Attachment 10) indicate that while five of the six immediate neighbors' homes on this short cul-de-sac are single-story, there are multiple one, two and three-level homes within a quarter mile ranging in size from 1,500 square feet to 14,768 square feet and over 80 homes that are either 2 or 3 levels tall. Within a half-mile radius, there are 100 homes that are over 4,500 square feet. Therefore, it is reasonable to conclude that the adjacent neighborhood represents "a spectrum of densities and architectural styles and expressions", and a neighborhood where "residential diversity is emphasized more than a uniform theme or development pattern." The project applies the Community Character recommendations of the LJCP and meets the development standards of the RS-1-4 zone as outlined in the LJCP. Therefore, the proposed project is consistent with the established character of the neighborhood.

CONCLUSION

City staff has determined the project is consistent with the La Jolla Community Plan and the regulations of the Land Development Code. Staff has provided draft permit findings and conditions to support approval of the project (Attachments 4 and 5) and recommends the Hearing Officer APPROVE Coastal Development Permit No. PMT-2586783 and Site Development Permit No. PMT-2586785.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-2586783 and Site Development Permit No. 2586745, with modifications.
2. Deny Coastal Development Permit No. PMT-2586785 and Site Development Permit No. 2586745 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

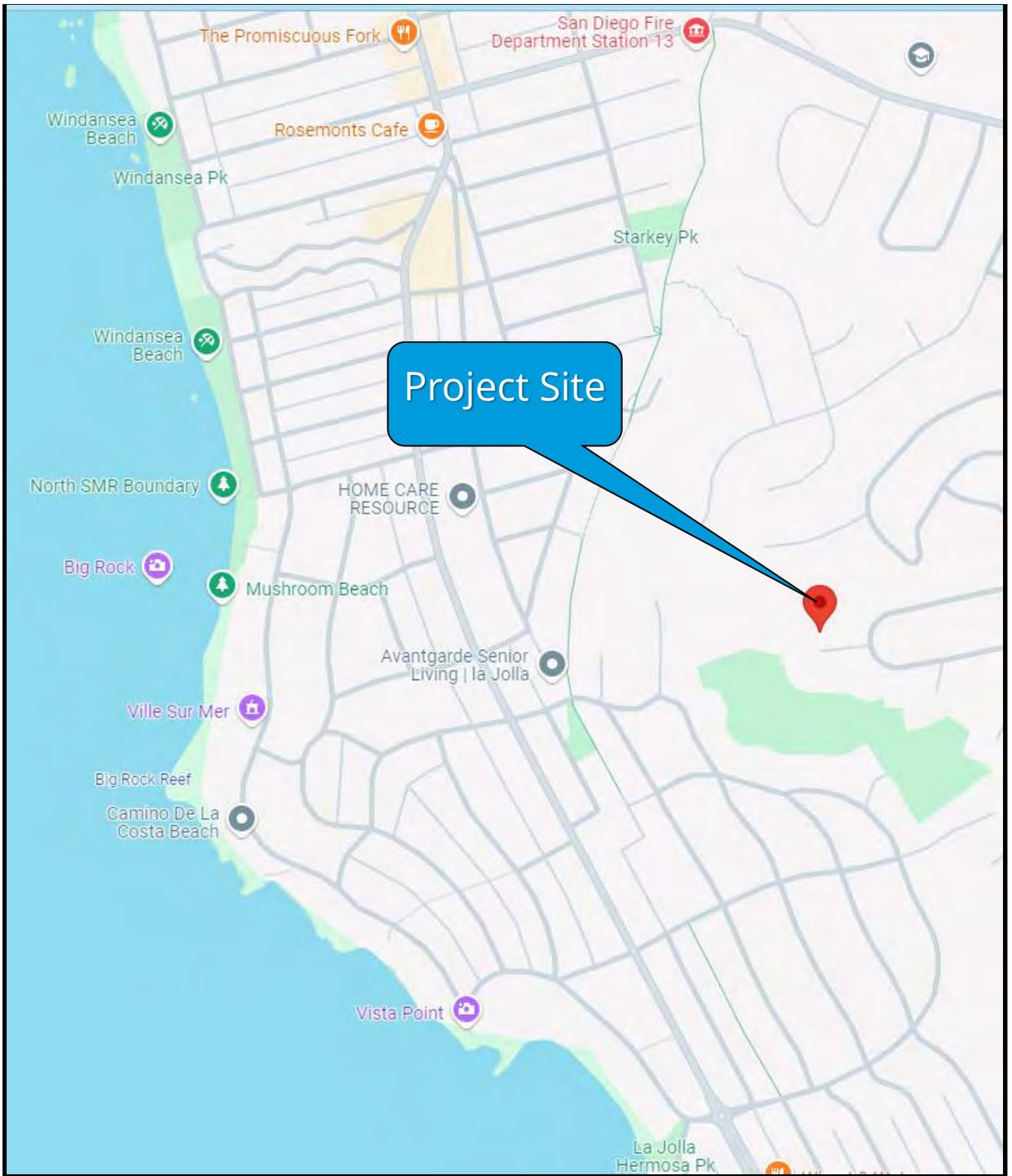


Chandra Clady
Development Project Manager
Development Services Department

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings

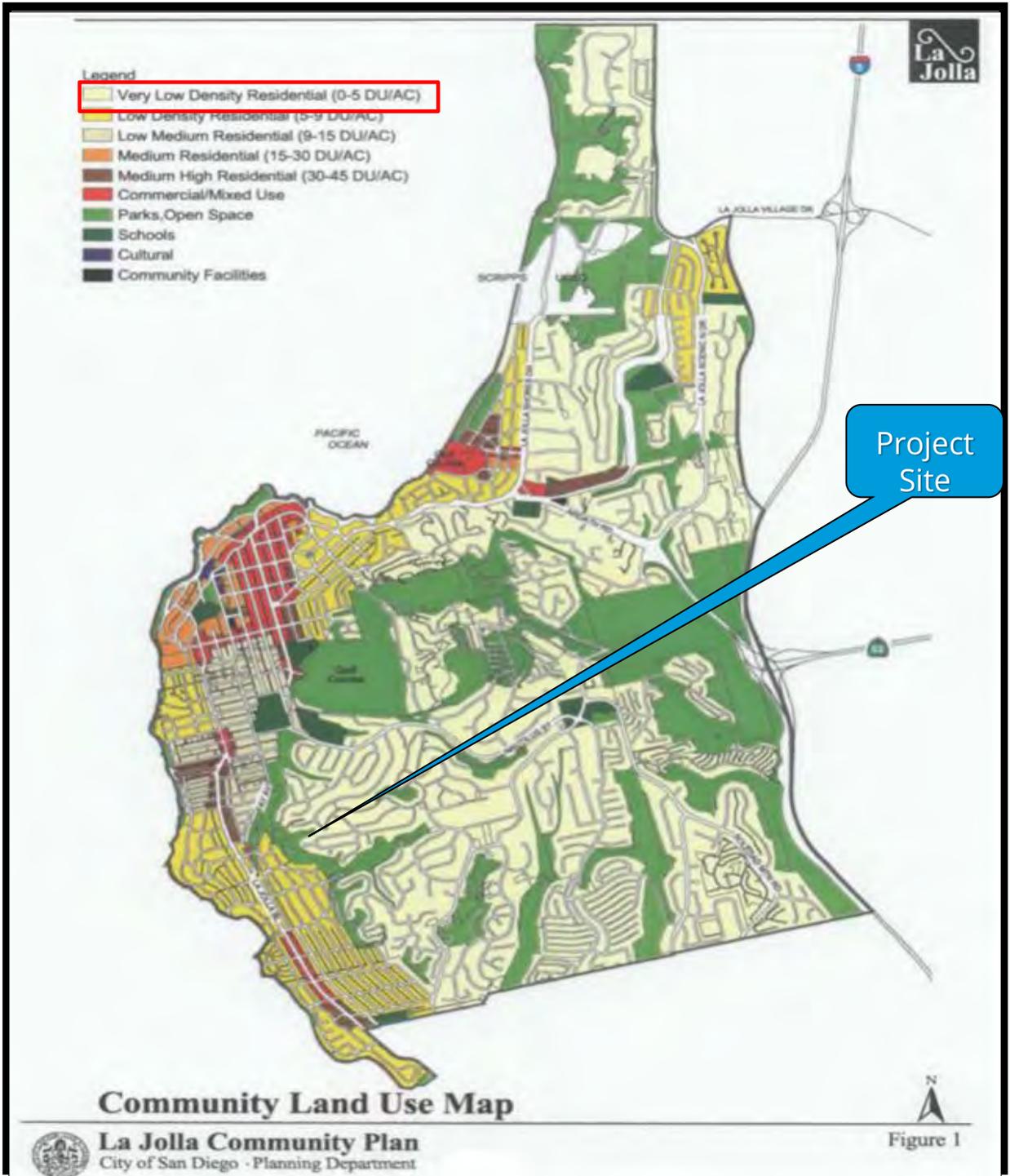
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. Notice of Right to Appeal
8. Ownership Disclosure Statement
9. Project Plans
10. Research on Surrounding Properties

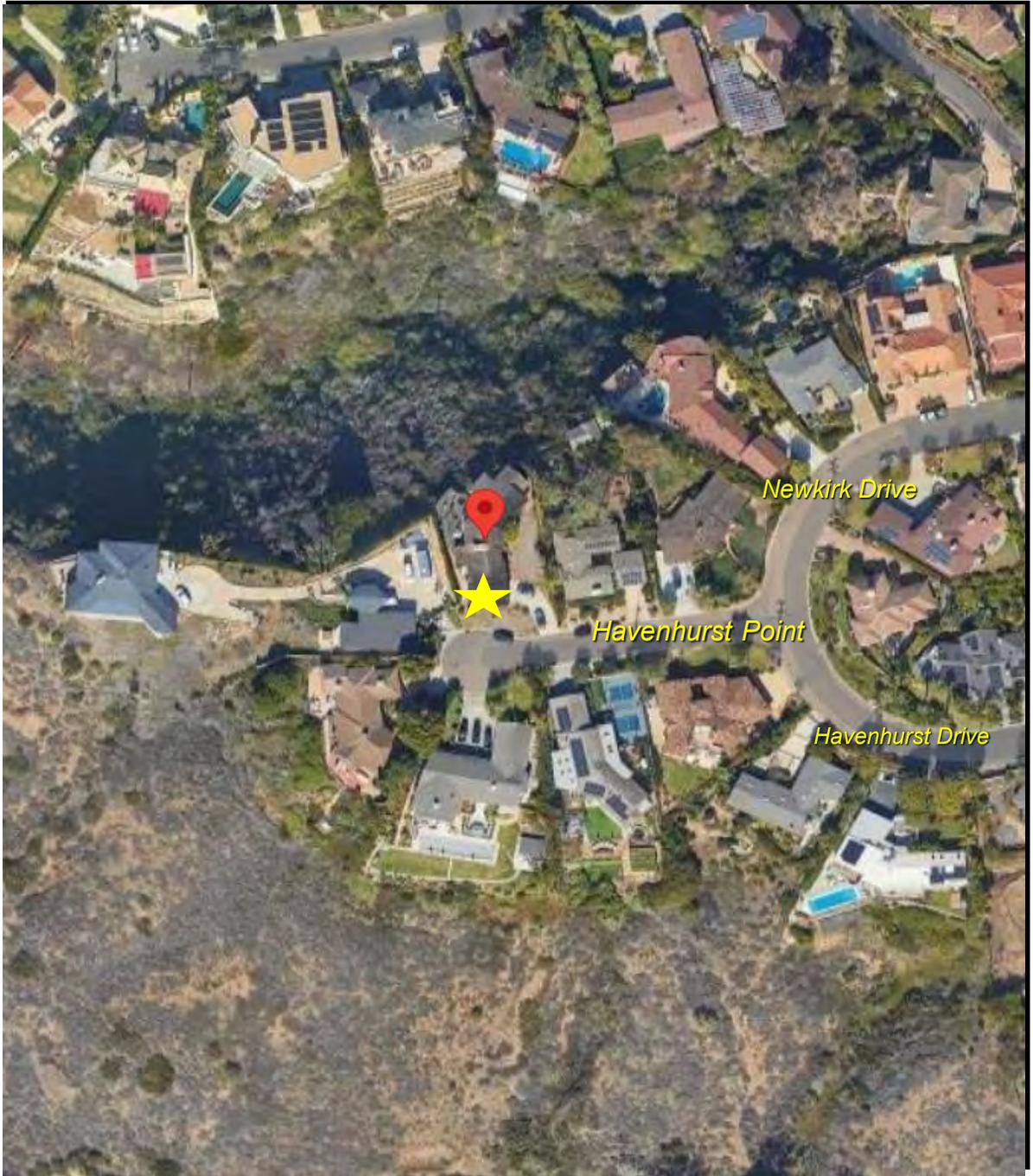


Project Location

812 Havenhurst Point
Project No. PRJ-697754

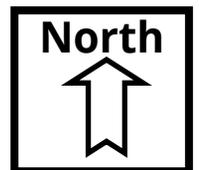






Aerial Photo

812 Havenhurst Point
Project No. PRJ-697754



ATTACHMENT 4

HEARING OFFICER RESOLUTION NO. HO-
COASTAL DEVELOPMENT PERMIT NO. PMT-2586783
SITE DEVELOPMENT PERMIT NO. PMT-2586785
GARCIA RESIDENCE PROJECT NO. PRJ-0697754

WHEREAS, LUIS H. GARCIA, a married man as his sole and separate property, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish the existing dwelling unit, and construct a two-story dwelling unit with an attached three-car garage, an attached Accessory Dwelling Unit (ADU) and Junior ADU (JADU), a pool with a spa, outdoor decks, an outdoor barbecue area, a basement and associated site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval) for the associated Coastal Development Permit No. PMT-2586783 and Site Development Permit No. PMT-2586785 on portions of a 0.51-acre site;

WHEREAS, the project site is located at 812 Havenhurst Point in the RS-1-4 Base Zone, Coastal (Non-Appealable) Overlay Zone, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal Impact), Transit Priority Area, Fire Brush Management Area, Very High Fire Hazard Severity Zone, and Environmentally Sensitive Lands in the form of Steep Slopes and sensitive vegetation within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as LOT 34 OF MUIRLANDS POINT IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3035, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1953;

WHEREAS, on May 29, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction) and there was no appeal of

the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 18, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-2586783 and Site Development Permit No. PMT-2586785 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-2586783 and Site Development Permit No. PMT-2586785.

A. Coastal Development Permit [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.51-acre (22,355 square-feet) site is located on a cul-de-sac at 812 Havenhurst Point and contains an existing single-dwelling unit in the RS-1-4 zone. The project proposes demolishing the existing single-dwelling unit and constructing a new 5,250-square-foot two-story single-dwelling unit with a 1,648 square-foot basement, a new attached 888-square-foot garage, a new attached 408-square-foot Junior Accessory Dwelling Unit (JADU), and a new detached 1,200-square-foot Accessory Dwelling Unit (ADU) for a total floor area of 9,394 square feet. The project also includes a swimming pool with a spa, exterior decks, an outdoor barbeque area, and associated site improvements.

The project site is a rectangular lot bordered by residential development to the east, and west, an open space canyon to the north with homes beyond and other homes to the south within a fully developed residential neighborhood.

The neighborhood surrounding the proposed project is fully developed with an eclectic mix of one, two and three level homes of various designs and sizes. The subject property is not identified in the City's adopted La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP) as a public access way. There is no physical access way legally used by the public on this property nor any proposed public access way as identified in the LJCP. The project site is located nearly 2,806 feet (nearly ¾ mile) from Camino de La Costa, the first public roadway adjacent to

the Pacific Ocean. The project was designed to stay within the existing legal lot area and there is no encroachment upon any existing or proposed physical access to the coast used by the public or any proposed public access way identified in a LJCP.

The LJCP does not identify any identified vantage points from Havenhurst Point, although the project site does have coastal views from the public right of way across the project site. The project was designed and sited so as not to block or obstruct these views by conforming to the minimum setbacks for the underlying RS-1-4 zoning regulations and conforming to the coastal height limit.

Conforming with the zoning regulations will provide view corridors from the public right-of-way to the coast of the Pacific Ocean and the finger canyon located north of the project site which the LJCP identifies as designated open space. Therefore, the proposed development will support recommendations within the Natural Resources and Open Space System Element of the LJCP to preserve, enhance, or restore existing or potential view corridors within the yards and setbacks of proposed development.

The proposed project will adhere to community goals as the dwelling unit has been designed in a manner to provide a development that respects its relationship to the sea, to hillsides and to open space; promoting the development of a variety of housing types and maintaining the character of La Jolla's residential areas by protecting natural features, preserving existing streetscape themes and allowing a harmonious visual relationship between the bulk and scale of the established neighborhood by proposing a development that is in conformance with setback, height, and landscape requirements of the underlying RS-1-4 zoning regulations.

Therefore, the dwelling unit will not encroach upon any existing physical accessway that is used by the public or any proposed public accessway identified in the LJCP, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project is described in Coastal Development Permit (CDP) finding A.1.a. above, incorporated by reference herein. The project site is in an urbanized area of the La Jolla community and new development is primarily within the previously disturbed and developed areas of the site. The site is directly adjacent to a slope area containing environmentally sensitive lands (ESL) in the form of steep hillsides and sensitive vegetation, including a natural open space canyon area to the north of the property. The project grading will be contained within portions of the site that were previously disturbed and developed. The project includes a brush management plan to protect the proposed structure from potential fire hazards. Zone One of the Brush Management Plan is located outside of steep slopes and sensitive vegetation and the adjacent Open Space area. Zone Two is impact neutral and will not

adversely affect any ESL or open space.

The project's Biological Technical Report (BTR) concludes that the project has been designed to avoid impacts to sensitive biological resources. The project will comply with the relevant environmentally sensitive regulations applicable to the site, including setbacks and the ESL regulations. These measures will preclude impacts to the steep slopes and adjacent open space. All development will be confined to areas of the site that are previously disturbed and developed.

The project site is in an urbanized area of the La Jolla community. No natural slopes, sensitive coastal or marine resources or other environmentally sensitive areas would be adversely affected by the proposed project. The site is not within or adjacent to the City's Multi-Habitat Planning Area (MHPA).

The proposed development was found to be categorically exempt from the California Environmental Quality Act (CEQA) in accordance with CEQA Section 15302 (Reconstruction/New Construction) and no further analysis related to environmental impacts was required for the project site.

The dwelling unit and improvements are located within previously disturbed and developed portions of the site and therefore, would not have a significant impact on the environmentally sensitive portions of the project site. Therefore, based on the above, the proposed development will not adversely affect environmentally sensitive lands (also see SDP Supplemental Findings 2a through 2c below).

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation program.

The project is described in Coastal Development Permit (CDP) finding A.1.a. and A.1.b. above, incorporated by reference herein. The proposed development will demolish an existing single-dwelling unit and construct a new two-story, replacement single-dwelling unit, an ADU and a JADU, located in an area identified for very low-density (0-5 DU/acre) residential land use within the La Jolla Community Plan (LJCP). The replacement of the existing dwelling unit is consistent with the land use designation maximum at five dwelling units per acre. The new single dwelling unit will not change the land use on this site. The SDMC states in Table 131-04D that the maximum permitted density is one dwelling unit per lot. However, section 141.0302(d) states that an ADU that does not exceed 800 square feet shall be permitted by right and not count against the total FAR of development. The additional dwelling unit is a Junior Accessory Dwelling Unit, (JADU) is 408 square feet.

The proposed project meets all the development standards of the San Diego Municipal Code required by the underlying RS-1-4 zone, a height of 27 feet for the house, where a maximum of 30 feet is allowed. The project provides a front setback which ranges from 20 feet to 143 feet where 20 feet is required. The proposed home observes required easterly side setbacks which range from 10 feet to 37 feet,

10 inches westerly side yard setbacks which range from 10 feet to 83 feet where 10 feet is required calculated based on lot width. The rear setback ranges from 81 feet to 127 feet where 20 feet where is required. The floor area ratio (FAR) will be .43 where a max of .45 is allowed.

Based on a submitted photographic and neighborhood survey of the existing development bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks, bulk and scale, and character of the surrounding neighborhood and vicinity.

While 5 of the 6 immediate neighbors' homes on this short cul-de-sac are single story, within the vicinity (1/4 mile) there are multiple one, two and three level home ranging in size from 1,500 square feet to 14,768 square feet. Within a half-mile radius there are 100 homes that are over 4,500 square feet. Within a quarter-mile radius there are over 80 homes that are either 2 or 3 levels tall. The proposed replacement home will be approximately 5,250 sq ft (not including 1,200 sq ft for ADU and 408 sq ft for JADU and excluding the FAR exempt basement). The proposed home will be from 13 ft 8 inches to 27 ft tall.

The Residential Element of the LJCP recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The proposed development has taken the adjacent properties into consideration. The second story has a greater setback of nearly 23 ft from the façade of the 1st floor adjacent to Havenhurst Pt. and is, more centered on the lot keeping the single-story street front facade more inviting by articulating the scale. On the easterly elevation, the second level will also be stepped back eight from the first level elevation.

The development also considers bulk and scale along the street by setting the second story further back than the first, keeping the street facade low scale, and articulating the structure in the front, side, and rear yards, further breaking up massing. The dwelling unit also steps back further on the eastern side as it faces an older single-story home with a more prominent presence on the northwestern side facing the newer developed 2 and 3 level homes across the canyon to the north.

The Residential Element of the LJCP recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Page 68 of the LJCP states in its Community Character section:

"Single dwelling unit residential in La Jolla covers a spectrum of densities and architectural styles and expressions."

One of the more critical issues associated with the single dwelling unit is the relationship between the bulk and scale of infill development to existing single

dwelling units. New construction of single dwelling unit homes tend to be larger in size than the traditional development in some neighborhoods.” The LJCP acknowledges the change occurring with new development and recommends applying plan policies to “... avoid extreme and intrusive changes to the residential scale of La Jolla’s neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures.”

These Community Character policies are addressed through elements of the proposed home that address bulk and scale (as viewed from the public right of way and from parks and open space), street landscape, hardscapes, site fixtures (like fencing, walls, and materials), preserving identified public physical and visual access, and maintaining setbacks, height, offsetting planes, and structure articulation. As viewed from the Havenhurst Point, or from across the canyon, the dwelling unit specifically addresses each of the standards, design guidelines, and policies contained within in the LJCP including community character, dealing with the avoidance of extreme and intrusive changes to residential scale, bulk, the design and harmony of the visual relationship in transitions between newer and older structures, landscape and streetscape, sensitive design, and side yard setbacks.

The proposed structure setbacks, massing, scale, variation in building materials, and roofing design all provide visual balance to the proposed dwelling unit’s second story’s element to transition and compliment the smaller single-family houses on Havenhurst Point. The architectural design supports a streetscape that provides continuity and visual harmony between the proposed development and the existing surrounding newer and older dwelling units. As such, the proposed home meets the criteria and design standards set forth in the LJCP.

The proposed project will comply with all applicable provisions of the Municipal Code and certified LCP and no deviations or variances are requested. Therefore, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation program.

The proposed project will comply with all applicable provisions of the Municipal Code and certified LCP and no deviations or variances are requested. Therefore, the proposed development is in conformity with the other applicable adopted plans and programs in effect for this site (also see Findings B. 1. A. through d. and B. 2. A through e. which are herein incorporated by reference).

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the first public roadway (Camino de La Costa), and the Pacific Ocean shoreline within the Coastal Overlay Zone. Therefore, this finding does not apply.

B. Site Development Permit [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

See findings A.1.a and A.1.c above, which are herein incorporated by reference.

The proposed home is consistent with the recommended land use, design guidelines, and development standards in effect for the subject property per the adopted LJCP, the Municipal Code and General Plan, which all recommend that the subject property be developed with single-dwelling unit development. Additionally, no deviations or variances are requested. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The development contains specific conditions addressing compliance with the City's codes, policies, regulations, and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine compliance with all regulations.

No significant impacts to public health and safety were identified during the environmental review. A CEQA Categorical Exemption per CEQA Guidelines Section 15302 (Reconstruction or New Construction) was prepared for the project. It was determined that the project is exempt from CEQA and that the project would not have a significant effect on the environment nor the provision of essential public services because they exist in the vicinity to serve the project.

The construction will be inspected by certified building and engineering inspectors to ensure construction is in accordance with the approved plans and with all regulations. See also Finding A.1.b above, which is herein incorporated by reference. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

See finding A.1.c above, which is herein incorporated by reference. The proposed development will comply with the regulations of the Land Development Code and does not include any deviations from the Land Development Code.

2. **Supplemental Findings SDMC Section 126.0505(b) – Environmentally Sensitive Lands**

- a. **The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

See findings A.1.b and A.1.c above, which are herein incorporated by reference.

The project proposes the demolition of a single residential dwelling unit and the construction of a replacement two-story residential dwelling unit which will be located on a site that has been previously disturbed by past grading and the development of the existing dwelling unit. However, the site is directly adjacent to open space, which does contain ESL in the form of steep slopes and sensitive vegetation along the northern edge of the property. The project was designed to locate the proposed structure in approximately the same area as the existing structure. This open space area along the northern edge of the subject property contains vegetation which is mapped as sensitive vegetation by the City's Resource Maps. Potential biological impacts of this proposed project were analyzed, and this analysis concluded that there would be no significant unmitigated impacts that would occur as the result of the proposed project.

The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer to meet the City's Storm Water Standards prior to construction permit issuance. The project is located within Geological Hazard Category 53, which is level or sloping terrain, unfavorable structure, low to moderate risk. Based on the City's submittal requirements a Geology Report was prepared which concluded that the project has been designed so that it will not be subject, nor contributed to any significant geological instability (see Allied Earth Technology Geological Investigation Report dated April 5, 2021). The report included analysis of the natural landform, risk from geologic and erosional forces and flood hazards, and the site was found to be physically suitable for the proposed project.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State, and Federal regulations to prevent significant detrimental impacts to environmentally sensitive lands. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to ESL.

- b. **The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

See Findings A.1.b and A.1.c, herein incorporated by reference.

The proposed development will not alter any natural landform in that no natural landform is present on the previously graded and developed portion of the property. No development is proposed on the adjacent sensitive steep slopes.

Proposed grading plans, landscape plans, and the project's Geotechnical Report indicates that the proposed site has adequate geologic stability. The project is not within a flood overlay zone nor a potentially sensitive area for fire hazards. Therefore, the site is physically suitable for the design and siting of the proposed development and will not result in undue risk from erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

See the response to Finding A.1.b above, herein incorporated by reference, which demonstrates that the proposed development will not adversely impact environmentally sensitive lands.

The 0.51-acre project site is currently developed with an existing single residential dwelling unit. The proposed project will be located in this previously developed area. The project site is directly adjacent to open space which contains ESL in the form of steep hillsides and sensitive vegetation. This project includes a brush management plan which will not impact the open space area. Potential biological impacts of this proposed project were analyzed (Leopold Biological Services Report April 2024) and it was concluded that there would be no significant impacts that would occur as the result of the proposed project. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer in order to meet the City's Storm Water Standards prior to construction permit issuance. The environmental review determined that the project would not have any significant environmental effect on environmentally sensitive lands and the project was found to be categorically exempt from environmental review under CEQA Guidelines. Therefore, the proposed development is sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site occurs within the Urban Area of the MSCP Subarea Plan. The project is not located within or adjacent to the Multiple Habitat Planning Area (MHPA). The proposed project was found to comply with the MSCP general management directive. During environmental review, it was determined that the project was categorically exempt under the CEQA Guidelines.

Since the project site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) nor any Vernal Pool Habitat Conservation Plan (VPHCP) area, a determination of consistency with the City of San Diego's MSCP Subarea Plan and VPHCP is not required for the proposed project.

- e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

See Finding A.1.b above, which is herein incorporated by reference. The development is over three quarters of a mile east of the ocean and within private property. The development will be contained within the existing developed site. The project's permit includes a condition requiring a Water Pollution Control Plan to be reviewed and approved by the City Engineer in order to meet the city's stormwater standards prior to construction permit issuance. Due to the project's drainage design, limited size, and distance from the coastline, it is not expected that the project will contribute to the erosion of public beaches or adversely impact local shoreline and supply. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

- f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The project was determined categorically exempt pursuant to CEQA Section 15302 (Replacement or Reconstruction). This determination applies to the proposed replacement of a single dwelling unit and the construction of new dwelling unit and its associated site improvement on the same site and does not require any environmental mitigation and as such will not create any of these referenced potential impacts.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. PMT-2586783 and Site Development Permit No. PMT-2586785 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-2586783 and Permit No. PMT-2586785 a copy of which is attached hereto and made a part hereof.



Chandra Clady
Development Project Manager
Development Services

Adopted on: September 18, 2024

IO#: 24009391

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009391

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2586783
SITE DEVELOPMENT PERMIT NO. 2586785
GARCIA RESIDENCE PROJECT NO. PRJ-0697754
HEARING OFFICER

This Coastal Development Permit No. 256783 and Site Development Permit No. 2586785 is granted by the Hearing Officer of the City of San Diego to LUIS H. GARCIA, a married man as his sole and separate property, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 126.0505. The 0.51-acre site is located at 812 Havenhurst Point in the RS-1-4 Zone, Coastal Overlay Zone (Non-Appealable Area), Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as: LOT 34 OF MUIRLANDS POINT, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THERE OF NO. 3035, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1953.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing single-dwelling unit, and construct a two-story dwelling unit with an attached three-car garage, an attached Accessory Dwelling Unit (ADU) and Junior ADU (JADU), a pool with a spa, exterior decks, an outdoor barbecue area, a basement and associated site improvements described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 7, 2024, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-dwelling unit;
- b. A two-story, 5,250-square-foot single dwelling unit including a 1,648-square-foot basement, an attached 408-square-foot Junior Accessory Dwelling Unit (JADU), an attached 1,200-square-foot Accessory Dwelling Unit (ADU), an attached 888 square-foot garage, for a total floor area of 9,394 square feet. The project also includes a swimming pool with a spa, exterior decks, and an outdoor barbeque area;
- b. Landscaping (planting, irrigation and landscape-related improvements);

- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 2, 2027.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

ATTACHMENT 5

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit the Owner/Permittee shall dedicate an additional five-foot storm drain easement for a total seven-foot-six-inch storm drain easement from the centerline along the westerly property line, to the satisfaction of the City Engineer.
13. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA), from the City Engineer, for the proposed sidewalk under drains, Landscaping/irrigation, and private walk and enhanced pavers in the Havenhurst Point public right-of-way.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, closure of the existing driveway and construction of a new 12-foot driveway per current City Standards, adjacent to the site on Havenhurst Point.
15. Prior to the issuance of any building permit the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction Best Management Practices (BMP) Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
19. Prior to the issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water, and sewer laterals shall be designed so as not to prohibit the placement of street trees.
20. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction

documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

23. In the event that a 'foundation only' permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area'.

BRUSH MANAGEMENT REQUIREMENTS:

24. Prior to issuance of any construction permit for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

25. Prior to issuance of any construction permit for building, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

26. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department:

- The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.
- The Brush Management Program shall be based on a standard Zone One of 35 feet in width and a Zone Two of 65 feet in width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under SDMC Sections 142.0412(f), 142.0412(i), and 142.0412(j). Zone One shall range from 17 feet to 22 feet in width with a corresponding Zone Two of 78 feet to 88 feet in width, extending out from the habitable

structures towards the native/naturalized vegetation as shown on Exhibit "A." Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures, plus a 10-ft. perpendicular return along adjacent wall faces, shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.

- Within Zone One, combustible accessory structures (including, but not limited to, decks, trellises, gazebos, etc.) shall not be permitted, while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

PLANNING REQUIREMENTS:

27. Prior to the issuance of any construction permits (either grading or building), the Owner/ Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
28. The Accessory Dwelling Unit (ADU) and Junior Accessory Dwelling Unit (JADU) shall not be used for a rental term of less than 31 consecutive days.
29. The ADU and JADU may not be sold or conveyed separately from the primary dwelling unit.
30. Before a Building Permit may be issued for a JADU, the record owner shall enter into an agreement with the City in a form that is approved by the City Attorney. The agreement shall include the following provisions: the JADU may not be sold or conveyed separately from the primary dwelling unit; the agreement may be enforced against future purchasers; and the record owner shall reside on the premises.
31. The City shall submit the agreement to the County Recorder for recordation. The agreement shall run with the land for the life of the JADU.
32. Before approval of the Site Development Permit, the applicant shall execute and record in favor of the City a hold harmless and/or indemnification agreement for the approved development.
33. Sensitive biological resources that are outside of the allowable development area on a premises or are acquired as off-site mitigation as a condition of permit issuance, are to be left in a natural state and used only for those passive activities allowed.
34. Prior to the issuance of construction permits, the Owner/Permittee shall execute and record a Covenant of Easement, which ensures the preservation of the Environmentally Sensitive Lands that are outside of the allowable development area of the premises in accordance with SDMC 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands that will be preserved.

CLIMATE ACTION PLAN REQUIREMENTS:

35. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 18, 2024, and Resolution No. HO-XXXX.

ATTACHMENT 5

COASTAL DEVELOPMENT PERMIT NO. 2586783
SITE DEVELOPMENT PERMIT NO.258785
Date of Approval: September 18, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Chandra Clady
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Luis H. Garcia
Owner/Permittee

By _____

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form
Project Name: 812 Havenhurst Pt		Project Number: 697754	
Community: La Jolla			
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input checked="" type="checkbox"/> Vote to Deny			Date of Vote: May 04, 2023
# of Members Yes 12	# of Members No 1	# of Members Abstain 1	
Conditions or Recommendations: Proposed houses scale and massing inconsistent with neighborhood character			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Suzanne Baracchini			
TITLE: LJCPA Trustee/Secretary		DATE: May 04, 2023	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



**La Jolla Community Planning Association
Trustee Meeting **Minutes****

LJCPA
P.O. Box 889, La Jolla CA
92038
<https://lajollacpa.org>
info@lajollacpa.org

May 4, 2023, 6:15pm
Bishops School
Main Dining Room
7607 La Jolla Blvd.
La Jolla, CA 92037

President: Harry Bubbins
1st VP: Diane Kane
2nd VP: Suzanne Baracchini
Secretary: Suzanne Baracchini
Treasurer: Larry Davidson

LJCPA Trustee Meeting Starts 6:15pm following LJCPA Annual Meeting at 6pm.

Regular monthly meetings: 1st Thursday each month.

For attendance to count, sign-in must be in the member's name. Refer to projects or issues, not to applicants or opponents. For **action** items, chair calls on the public, then Trustees, closes discussion upon consensus, and calls for motions. Trustees vote by acclamation, roll call, or show of hands. **The public is encouraged to participate in Committee/Board meetings before LJCPA discussion:**

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Andy Fotsch, 3rd Thursday, 4:00 pm

T&T – Traffic & Transportation Board, Chair Brian Earley, 3rd Tuesday 4:00 pm

Join LJCPA, become a member, sign up here: <https://lajollacpa.org/membership-application/>

Procedural

LJCPA has 18 Elected Trustees:

Quorum Present: (14) Ahern, Baracchini, Bubbins, Davidson, Fremdling, Kane, Kreideman, Rasmussen, Rudick, Steck, Terry, Weissman, Will, Williams

Absent: (4) Brady, Hostomska, Weiss

Not Yet Sworn In: (1) Courtney

1. **Approve Agenda Action**

Joe Terry: Agenda Item 6, Adelaide Townhomes should be amended to show PDO findings - 3/13: findings **CANNOT** be made, 6-0-1 :

2. **Motion to Approve Agenda with PDO findings amendment: [Baracchini/ Rudick]**
Motion passed unanimously 13-0-1**Approve Minutes Action**

No Motion to Approve Minutes, item moved to June Agenda.

3. **Elect 2nd Vice President Action**

President Bubbins: Suzanne Baracchini has resigned as 2nd Vice President

Motion to Elect Jodi Rudick as 2nd Vice President: [Steck/Kane]

Motion passed unanimously 13-0-1

4. **Swear in Newly Elected Trustees Action**

Barbara Bry, Enhance La Jolla/MAD Village of La Jolla swore in elected Trustees Suzanne Weismann and Brian Williams and extended an invitation to trustees and the public to attend Enhance La Jolla Day, May 13th 9-11am, in front of Union Bank, La Jolla.

Non-Agenda Public Comment

(Items not on the agenda. 2 minutes or less. No votes or action)

Phil Merten: Concerned that members of the La Jolla Project Review Committees are not following their responsibilities as required by the LJCPA ByLaws. Specifically Article II Corporate Purposes & General Provisions, Section 2. Project Review *“the LJCPA shall focus such review on conformance with the Land Development Code (Chapters 11, 12, 13 & 14 of the Municipal Code), the adopted Community Plan and/or General Plan”*. The LJCPA reviews discretionary permit applications such as CDP & SDP’s, the SDMC requires decision makers to make certain findings. The required findings are that a project must be conforming with the La Jolla Community Plan and Local Coastal Program and comply with San Diego Municipal Code. Motions are made by the review committees that findings can be made for a project when those motions are approved by a majority of committee members without explaining the findings that are being approved. Without an explanation are we to assume the findings are those required by the municipal code? There are committee recommendations for projects before you tonight that say findings can be made when the project neither conforms with the community plan nor complies with the SDMC. In conclusion I urge the Planning Association Trustees, Committee Chairpersons and all review committee members to become familiar with the land development code and the La Jolla Community Plan so that committee review, motions made and committee recommendations are in accordance with the project review provisions of the LJCPA ByLaws and are consistent with City CP 600-24.

Sheri Lightner: Echoed much of Mr. Merten comments above. Encouraged trustees and committee members to become familiar with LJCPA Bylaws and CP 600-24. City Indemnification requires that the group be officially recognised by the city. Suggested training for trustees and committee members and to abide by the Brown Act. DPR & PDO committees violate the LJCPA Bylaws. Expectations of the public are for consistent, inclusive and transparent behavior of the trustees and committees.

Consent Agenda

5. **Consolidate, Accept, & Adopt Committee Judgments Action**

Committee/Board recommendations to which no Trustee objects. Consent items are voted together, without presentation or debate. Upon approval the Committee/Board recommendations become LJCPA's. Anyone may "pull" Consent items for full discussion and vote at a subsequent meeting.

5.1. **6825 La Jolla Blvd "Bathey Residence" (693412, Frontis)**

(Process 2) Easement Vacation to vacate sewer easement and Coastal Development Permit to convert 1-story residence to mixed use retail & office space with Junior Accessory Dwelling Unit and add 2nd floor residence located at 6825 La Jolla Blvd. The 0.13-acre site is in the La Jolla Planned District-4 and Coastal (Non-Appealable) Overlay Zone and Coastal Height Limit Overlay, Parking Impact Overlay Zones, and within the La Jolla Community Plan area and CD 1.

DPR 2/21: findings CAN be made, 6-2-1

5.2. **6308 Avenida Cresta "Cohenour Residence" (106770, Sammon)**

(Process 2) Proposed project to demo existing 1-story, 2,506 sq. ft single-family residence and existing site walls. The project will construct a new, 4, 998 sq. ft., single-family residence including Roof Terrace, Site Improvements, and Covered Terrace. The .225 acre site is located at 6308 Avenida Cresta in the RS-1-7 zone, Coastal Overlay (non-appealable) Zone, Transit Priority Area, Parking Impact Zone, Coastal Height Limitation Overlay Zone, and Geo Hazard 53, in the La Jolla Community Plan area, CD 1

DPR 2/21: findings CAN be made, 7-0-1

5.3. **960 West Muirlands (1077208, Lytle)**

960 West Muirlands Drive (0.222-acre site) in the RS-1-2 and RS-1-5 within the Coastal (Non-Appealable-1) Overlay Zone, Coastal Height Limit Overlay Zone, Complete Communities Mobility Choices (CCMC Mobility Zone 2), Parking Impact Overlay Zone (PIOZ-Coastal-Impact), Transit Priority Area (TPA), Paleontological Sensitivity Area of the La Jolla Community Plan Area

within Council District 1 to demolish an existing single-family residence and construct a new two-story single-family residence with a 472-square foot deck and a subterranean basement two-car garage.

- Process 2 – Coastal Development Permit pursuant to San Diego Municipal Code (SDMC) Section 126.0707 to demolish an existing single dwelling unit and construct a new single dwelling unit.

DPR 4/11: findings **CAN** be made, 4-0-1

5.4. 6064 Avenida Chamnez (1070315, Lyon)

Process 3 Site Development Permit for a proposed 1,241 sf deck, 1,402 sf addition, and 800 sf interior remodel to an existing 1,819 sf single-family residence at 6064 Avenida Chamnez. The 0.37-acre site is located in the RS-1-4 zone, Coastal (Non-Appealable) Overlay zone, and ESL within the La Jolla Community Plan and Council District 1.

DPR 4/18: findings **CAN** be made, 3-0-1

5.5. 8421 Whale Watch Way “Lowrey Terrace” (1079879, Ritter)

La Jolla: Remodel and addition of an existing 3-story with basement, 3,834 SF single family homes into a 3-story with basement 9,435 SF single family home.

PRC 4/20: finds **CAN** be made, 4-0-1

5.6. 8330 Prestwick Dr “Prestwick Residence” (1065876, Sanchez)

(Process 3) Demolish existing residence for the construction of a 10,510 square-foot single-family residence with walkout subterranean basement, pool, retaining wall, terrace, garage, and associated site work at 8330 Prestwick Drive. The 0.56-acre site is in the La Jolla Shores Planned District – Single Family (LJSPD-SF) and Coastal Overlay Zone (Non-Appealable-2), Coastal Height Limitation, Brush Management Zone, Very High Fire Hazard Severity Zone, Complete Communities Mobility Choices (CCMC-Mobility Zone 4), Parking Impact Overlay Zone-Costal within the La Jolla Plan area, CD 1.

PRC 2/16: findings **CAN** be made, 5-0-2

5.7. Motion to Approve Change of Hourly Parking Time Limit

from 1 hour to 90 Minutes between Kline and Silverado Streets:

T&T 4/18: **APPROVE** 7-0-0

5.8. Motion to Approve Street Closure for La Jolla Open Aire Market

conditional upon receiving the Permit from Department of Special Events:

T&T 4/18: **APPROVE** 7-0-0

Motion to Approve Consent Agenda: [Baracchini/Steck]

Motion passed unanimously 13-0-1

Comments from Elected Officials, Agencies & Other Entities

- Council 1 (LaCava): Steve Hadley, 619-236-6611, srhadley@sandiego.gov
Steve Hadley: Handed out flier invitation to budget forum Saturday, May 6th, 10am at LJ Rec Center. There will be an overview of FY24 Budget and listen to community input. La Jolla Parkway resurfacing work has begun between 9pm- 5am (only one lane open) and hope to be finished by Memorial Day Weekend.
- SD Mayor's Office (Gloria): Emily Piatanesi, 619-964-6637, epiatanesi@sandiego.gov
Emily Piatanesi: (Absent) shared a lengthy [report via email](#)
- County 3 (Lawson-Remer): Celsey Taylor, 858-289-9195, Celsey.Taylor@sdcountry.ca.gov
Absent
- Assembly 77 (Boerner): Mariah Kallhoff, 760-434-7605, Mariah.Kallhoff@asm.ca.gov
Mariah Kallhoff: Assembly Member has dropped her last name and will go by Tasha Boerner. Please visit website to see status updates <https://a77.asmdc.org/>
- Senate 38 (Blakespear): Aurora Livingston 760-642-0809, aurora.livingston@sen.ca.gov
Aurora Livingston: La Jolla has two California State Senators due to redistricting (Blakespear & Sen. Pro Tempore, Toni Atkins). The Governor will release his Budget proposal in mid-May, final bill will have to be passed by June 15th, 2023.
- SD Airport Authority: Ivonne Velazquez, 619-400-2453, ivelazqu@san.org
Absent
- SD Planning: Marlon Pangilinan, 619-235-5293, mpangilinan@sandiego.gov
Marlon Pangilinan: Annual Planning Group training based on the revised Council Policy 600-24, June 12th, invitations are forthcoming. Requested LJCAP Roster. New members can continue to take the E-COW training online (old council policy) until new training goes into effect. Working on a website regarding the CPG recognition process. Applications for Council recognition will be online starting June. Applications will be due by December 31st, 2023.
- UCSD Planning: Anu Delouri, 858-610-0376, adelouri@ucsd.edu
Absent
- Senate 39 (Atkins): Cory Reed : Gave update on "Protect our Progress Bill" no cuts to programs, no middle class tax increases, rejects proposed cuts and delays to key infrastructure investments. Billion dollars for child care rate enhancements, augments housing program "California Dream For All", 3 Billion for schools and community colleges, 4.3 Billion tax cut to small businesses.

Local Project Reviews (Limit to 4 Projects, Action as noted)

6. Adelante Townhomes (1073585, Wynn)

pulled from January 5 consent agenda

Coastal Development Permit and Tentative Map for the demolition of an existing office building, subdivision of one lot into 13 condominium units, and construction of one new two-story multi-family residential building with a basement level, covered parking, and roof decks totaling 21,485 square feet located at 5575 La Jolla Boulevard. The 0.30-acre site is in the La Jolla Planned District-4 Zone (LJPD-4) and Coastal Overlay Zone (Non-Appealable 2) within the La Jolla Community Plan area.

DPR 12/20/22: **permits be granted** 5-1-1
 PDO 1/9/23: **Supports Project** (notes non-conforming to PDO) 6-1-0
 LJCPA 2/2/23: Findings **CAN** be made 9-2-1
 LJCPA 3/2/23: **Rescinds** approval 10-0-1
 PDO 3/13/23: **project denied** (non-conforming to PDO) be made, 6-0-1
 DPR 4/11/23: findings **CAN** be made, 3-2-0

Applicant Russ Murfey [Murfey Company]: Presented Adelante Townhome Project. Project is unchanged, shared responses to City comments. Summarized previous committee reviews and decisions, incentives and waivers. Number one item is density bonus State Law allows use of incentives and waivers to eliminate certain items of the PDO, in particular Retail (space). Murfey Company emailed the Director of San Diego Housing Commission who confirmed their density bonus assumptions and valuations are correct. Project meets SDMC. This project is a "For Sale" project and the City is aware. Described unit sizes. There are 8 one bedrooms out of 13. Affordable unit is applied to the majority (one bedrooms) therefore will be a one bedroom unit.

Public Comments were provided in support of the project to alleviate the housing crisis and more residents to support the existing retail.

Phil Merten: Two requirements, the project must comply with the SDMC and the La Jolla Community Plan. Site is in the middle of the commercial area of Bird Rock; the La Community Plan states this area is for commercial mixed use. There is no commercial use in this project. This project is not in accordance with the La Jolla Community Plan, the findings for CDP cannot be made on this issue alone. Encouraged trustees to uphold the community plan. The only way to change the zoning designation on this site is to do a plan update and get approval of the California Coastal Commission and then return to LJCPA for approval.

Sherri Lightner/Don Schmidt: Gave lengthy opposition to the proposed project summarized in this submitted memo [20230223 CPA Memo.pdf](#) Concluded this is not affordable housing. Millions of dollars spent on Bird Rock Traffic Plan and is a part of the City's Climate Action Plan.

Cragi Bender [Bird Rock Merchant Group]: Merchant district has experienced significant growth over the past year. Working on "Welcome to Bird Rock" signage. Exploring more street lighting. Adelante occupies one of the most important corners in Bird Rock; the project is taking away merchants from the neighborhood. Sets a precedence. Craig's conclusion was that meeting the

LJPDO requirement for ground floor retail space is critical for the survival of Bird Rock merchants.

Tyler Wilkinson: Life long Bird Rock resident supports project.

Joe Terry: Speaking on behalf of Bird Rock Council opposes approval of this project and requested the LJCPA delay its recommendation to the City until it can make well informed decisions on compliance issues including whether the project is entitled to the affordable housing awards that are claimed. Mr. Terry reiterated many of the comments and concerns above.

Applicant Russ Murfey [Murfey Company]: Density Bonus meets the provisions of the Land Use Code.

Joe Terry: Main concern is approval without required amount of retail space puts Bird Rock at risk by decreasing incentives for commercial prop owners to upgrade their buildings to attract and retain viable tenants and will increase incentive to replace their buildings with Adelante-like developments without retail space. Over time will significantly reduce retail space in Bird Rock. Request that decision to approve the project be delayed.

Jodi Rudick: What is the current retail vacancy rate in Bird Rock?

Applicant Russ Murfey [Murfey Company]: 22 Vacant units

Jodi Rudick: When was the last time La Jolla Planned District Ordinance (PDO) was updated or reviewed.

Deborah Marengo: Originally PDO document was 1986

Jodi Rudick: Why did you make the decision not to put retail on the first level?

Applicant Russ Murfey [Murfey Company]: Doesn't make sense, already too much retail. Current banking crisis, getting a project financed is near to impossible and when retail is added banks won't touch it. This project is representative of the current market.

Jodi Rudick: Is there precedence in La Jolla where retail was waived.

Applicant Russ Murfey [Murfey Company]: Yes. Approved by LJCPA Corner of Gravilla/La Jolla blvd. and others.

Bob Steck: Asked Brian Will [DPR, Chair] why this project was approved and why it meets all these rules that are being opposed.

Brian Will [DPR]: Density bonus was confirmed to be correctly calculated, incentive system is built into SDMC but doesn't bleed over into the community plan. Opinion is: Plans create codes, codes are the execution of the Plan. Incentives allow you to waive certain parts of the code and the fact that they don't verbally tie that back to the community plan is more "ticky tac" than he is willing to go. SDMC is clear and you can use these incentives to waive certain aspects of the code and this has been the case at the City for years.

Larry Davidson: Asked email/letter from San Diego Housing Commission be read "*In general the density bonus assumptions and calculations you shared below are correct.....*". Bothered by this statement, it sounds very vague.

Glen Rasmussen: Personally feel don't need more retail in Bird Rock but want to be sure the correct law is applied to this project and is highly in doubt.

Motion to Approve Project: [Will/Baracchini]

Vote Count: [YES] Ahern, Baracchini, Fremdling, Kane, Kreideman, Rasmussen, Rudick, Weissman, Will, Williams. [NO] Davidson, Steck, Terry [Abstain] Bubbins

Motion Passes: 10-3-1

7. **7213 Castellana** "Castellana Residence" (1062557, Sparks)

pulled from april 11 consent agenda

(Process 2 & 3) Construct a three-story, 10,120-square-foot 6,292 (SF) residence on an existing vacant parcel (APN: 350-541-0600) located at Castellana Road, near Crespo Drive. The 0.27-acre site is in the Residential Single Dwelling Unit (RS-1-5) Base Zone, Coastal (Non-Appealable), Coastal Height Limitation and Geological Hazard Categories (12, 53, 27) Overlay Zones in the La Jolla Community Plan and Local Coastal Plan area.

DPR 3/21: findings **CAN** be made, 4-2-1

Applicant Presentation: Addressed issues for project being pulled from agenda (1) Height of the trellis and (2) encroachment of angle to building plane envelope of the eave.

Motion to Approve Project: [Will/Baracchini]

Vote Count: [YES] Baracchini, Fremdling, Kreideman, Rudick, Will, Williams. [NO] Ahern Davidson, Kane, Rasmussen, Steck, Terry, Weissman [Abstain] Bubbins

Motion Fails: 6-7-1

Motion to Deny Project: [Ahern/Steck]

Findings cannot be made for the Castellana Road development project for consistency with the La Jolla Community Plan per the Goal on page 81, for Residential Land Use, "Preserve existing streetscape themes", page 84, Community character. "Avoid extreme and intrusive changes to the residential scale"; page 90 Community Character, a. Limit bulk and scale b. side yard setbacks; home does not set back 2nd and 3rd floors, c. create building articulation. For large lots reduce FAR. e. 2nd and 3rd stories should be set back up to the 30-foot height limit. As per Building Code, north-west corner of building projects above the angled building envelope height (2) exceeds the 30 ft. maximum allowed plumb line *structure height* at the front of the building.:

Vote Count: [YES] Ahern, Davidson, Fremdling, Kane, Rasmussen, Steck, Terry, Weissman [NO] Baracchini, Will, Williams [Abstain] Bubbins, Kreideman, Rudick

Motion Passes: 8-3-3

8. **812 Havenhurst Pt** (697754, Gonzalez)

pulled from april 11 consent agenda

(Process 3) Coastal Development Permit and Site Development Permit for the demolition of an existing single family residence and the construction of a 12,979 sq. ft., 3-story single family residence at 812

Havenhurst Point. The 0.51-acre site is in the RS-1-4, Coastal (Non-appealable) overlay zones within the La Jolla Community Plan area. Council District 1.

*DPR 3/21: findings **CANNOT** be made, 5-1-1*

Andy Michelletti [Secretary of Muirlands Point Declarations and Prescriptions Committee]:

Request to deny project.

Brain Will: Very large project, immediate neighbor had privacy concerns, majority of homes are low rambling roof style and this design is not consistent with the neighborhood.

Diane Kane: Agenda says this project was already denied by DPR. The dilemma that this project presents, It complies with the code but the reasons to not recommend it are based on the subjective measures described in the Community Plan. The City usually does not recognize Community Plan (Community character) objections.

Motion to support DPR decision: [Rudick/Baracchini]

Vote Count: [YES] Ahern, Baracchini, Davidson, Fremdling, Kane, Kreideman, Rasmussen, Rudick, Steck, Terry, Weissman, Williams. [NO] Will [Abstain] Bubbins

Motion Passes: 12-1-1

9. **7443 Eads Av (1070073, Marengo)**

pulled from april 11 consent agenda

Process 2 Coastal Development Permit. The permit is for the addition of a new dwelling unit, a new accessory dwelling unit, and a new Junior accessory dwelling unit to an existing single-family residence located at 7443 Eads Avenue. The 0.16-acre site is in the RM-1-1 zone, Coastal (Non-Appealable) Overlay Zone, and Coastal Height Limit Overlay Zone of the La Jolla Plan area.

*DPR 3/21: findings **CAN** be made, 6-0-1*

Motion to support the findings of DPR: [Rudick/Steck]

Motion passed unanimously 13-0-1

Claude Anthony Marengo [Applicant]: Public has the right to have items pulled from the consent agenda but would be nice to know who is pulling an item and why. Applicants need to be able to prepare to address reasons why the project has been pulled from the Consent Agenda. Why should an applicant give a full presentation if the specific issues have not been stated. DPR (sub-committee) already reviewed the entire project. Pulled items up for review should address specific reasons for the project being pulled.

Jodi Rudick: Time for ByLaws review.

City/State/UCSD Project Reviews (Action as noted)

(none)

Policy Discussion, Reviews & Recommendations (Action as noted)

(none)

Officer Reports (Action as noted)**Presidents Report:** [Harry Bubbins]:

Thanked everyone for their patience as he is new to the position. Thanked all officers and past officers. Need to review the Bylaws for short and long term, need an ad-hoc committee. CPC discussed housing package 2.0. Looking for a volunteer representative from LJCPA. Training will be in June for all LJCPA Trustees. Thanked Brian Williams, LJCPA Trustee & Bishops School Facilities Manager, for securing Bishops for tonight's meeting location. Is meeting with all Trustees. LJCPA has received some attendance questions during the COVID era and will be reviewing.

735 Nautilus Street/#693284 - Decision to Appeal City of San Diego, DSD approval of CDP [Project #693284, 735 Nautilus Street] to demolish an existing single-family residence and construct two new 3,121 square-foot single-family dwelling units with basements that will include a 310 square-foot accessory dwelling unit within each unit, and associated site improvements. The 0.15-acre site is located at 735 Nautilus Street and is in the RM-1-1 Zone and Coastal (Non-Appealable Area) Overlay Zone within the La Jolla Community Plan area. This development is within the Coastal Overlay Zone and the application was filed on October 6, 2021.

Previous Motions:

DPR 3/15/22: findings CAN be made, 3-2-1

LJCPA Trustee Motion 5/5/22: (Will/Costello) Findings cannot be made this project does not comply with municipal code plumb line height measurement as pertains to the roof deck on the western edges of the structure nor does it apply to the angled set back at the eastern edge of the building.

Voice Vote: 12-3-1 Motion Carries. **Yea:** Ahern, Brady, Costello, Davidson, Fremdling, Hostomska, Rasmussen, Rudick, Shannon, Terry, Weissman, Will **Nay:** Baracchini, Boyden, Jackson **Abstain:** Steck

Glen Rasmussen: What's the impact of an appeal on LJCPA

Diane Kane: No financial impact. Need to attend in person downtown and the possibility of prevailing is slim. If a committee could not make findings to support and their recommendation to deny the project and LJCPA supports the denial, it was on the committee to develop the argument of why they did not approve the project and present that information at the hearing rather than having the president do it.

Brian Will: Valid reason to fight this project due to SDMC violations.

Phil Merten: Value in pointing out to the Planning Commission where City staff make erroneous decisions and approves projects.

Motion to not appeal : [Rasmussen/Rudick]

Vote Count: [YES], Rasmussen, Rudick, [NO] Ahern, Baracchini, Davidson, Fremdling, Kane, Kreideman, Steck, Terry, Weissman, Will, Williams. [Abstain] Bubbins

Motion Fails: 2-11-1

Motion to appeal: [Williams/Kreidman]

Vote Count: [YES] Ahern, Baracchini, Davidson, Fremdling, Kane, Kreideman, Steck, Terry, Weissman, Will, Williams. [NO] Rasmussen, Rudick [Abstain] Bubbins

Motion Passes: 11-2-1

Secretaries Report: [Suzanne Baracchini] Nothing to report.

Treasurer's Report: [Larry Davidson]: Reported as stated below.

Beginning Balance, April 1, 2023:	\$698.38
Total Income:	122.00
Total (Expenses):	(0.00)
Net Income-Expenditure:	122.00
Ending Balance, April 30, 2023:	\$820.38

Reports from Standing, Ad Hoc and other Committees (information only)

- **CPC** (Bubbins) - included in Presidents Report
- **2023 Municipal Code Amendment Request Update** (Kane)

The Land Development Code (LDC) contains regulations for the development and use of property including zoning, subdivisions and other related land use activities. The Planning Department monitors and continually updates the code to simplify and streamline the permitting processes, assure compliance with state and federal regulations, and eliminate unnecessary barriers, redundancies and contradictions.

Diane Kane: Code Amendment updates compiled by Coastal View Corridor Committee and DPR were submitted by April 30th deadline.

Non-Agenda Trustee Comment (information only)

Opportunity for Trustees to comment on matters not on the agenda, 2 minutes or less. No votes or action unless properly noticed at least 72 hours in advance.

Suzanne Weissman: Short Term rental codes are now being enforced. Need neighbors to comply with the code. The Get It Done App has a new section to report violations.

Steve Hadley: AirBnB had removed rentals from San Diego who did not have a permit with the City accounted for approximately 30% of rentals.

Adjourn to next LJCPA meeting

Regular meeting June 1st, 2023, 6pm, venue to be determined.

Meeting adjourned 8:42pm

Minutes prepared by Suzanne Baracchini, LJCPA Secretary



THE CITY OF SAN DIEGO

DATE OF NOTICE: May 29, 2024

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

IO No. 24009391

PROJECT NAME / NUMBER: Garcia Residence / PRJ-0697754

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 812 Havenhurst Point San Diego, CA 92037

PROJECT DESCRIPTION: The project proposes a Coastal Development Permit (CDP) and Site Development Permit (SDP) for the demolition of an existing 3,018 square-foot (sf) 1-story single-family residence and the construction of a 9,590 sf., 3-story single-family residence, including a 1,200 sf ADU, 422 sf JADU, 899 sf garage, pool, decks, and associated site improvements (i.e. hardscape, landscape) at 812 Havenhurst Point. The 0.51-acre site is in the RS-1-4, Coastal (Non-appealable) overlay zones within the La Jolla Community Plan area. **LEGAL DESCRIPTION:** Lot 34 of Muirlands Point, Map No. 3035.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302, Replacement or Reconstruction.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). The exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Since the project proposes the replacement of an existing single-family residence and associated site improvements with a new single-family residence and associated site improvements, this exemption was deemed appropriate. In addition, the exceptions listed in CEQA Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

DEVELOPMENT PROJECT MANAGER: Chandra Clady
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5286 / CClady@sandiego.gov

On May 29, 2024 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (June 12, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____
Project Address: 812 HAVENHURST PT LA JOLLA CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: LUIS H GARCIA Owner Tenant/Lessee Successor Agency
Street Address: 812 HAVENHURST
City: LA JOLLA State: CA Zip: 92037
Phone No.: 858 405 2569 Fax No.: _____ Email: LGTESORO@GMAIL.COM
Signature: _____ Date: 11/25/21
Additional pages Attached: Yes No

Applicant

Name of Individual: LUIS H GARCIA Owner Tenant/Lessee Successor Agency
Street Address: 812 HAVENHURST
City: LA JOLLA State: CA Zip: 92037
Phone No.: 858 405 2569 Fax No.: _____ Email: LGTESORO@GMAIL.COM
Signature: _____ Date: 11/25/21
Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: THE LUIS H GARCIA AND GLADYS A GARCIA FAMILY TRUST Owner Tenant/Lessee Successor Agency
Street Address: _____ SAME AS ABOVE
City: _____ State: _____ Zip: _____
Phone No.: SAME AS ABOVE Fax No.: _____ Email: SAME AS ABOVE
Signature: _____ Date: 11/25/2021
Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
Upon request, this information is available in alternative formats for persons with disabilities.

GARCIA RESIDENCE

SAN DIEGO CA.

PRJ - 0697754
CDP Approval No - 2586783
SDP Approval No - 2586785



NOTES

STORM QUALITY NOTES
THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT & MUD ON ADJACENT STREET(S). DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMPS WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREETS (S), A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
- 2) ALL STOCKPILES OF SOIL & ROR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN 7 CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY & DRAIN PROBABILITY FORECAST EXCEEDS 40%.
- 3) A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
- 4) THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORK ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
- 5) ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- 6) THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
- 7) POST CONSTRUCTION BMP NOTE: ALL REPLACED AND NEW IMPERVIOUS SURFACES TO DRAIN TO HERBY LANDSCAPED AREAS FOR FILTRATION PURPOSES.

GENERAL NOTES

- 01. SEE SHEET C-1 (GRADING & DRAINAGE) FOR ALL EXISTING AND PROPOSED UTILITIES ON THE SITE OR IN THE ADJACENT RIGHT OF WAY.
- 02. PROVIDE BUILDING ADDRESS NUMBER VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-006.
- 03. NO EXISTING BUS STOP.
- 04. NO FIRE HYDRANTS WITHIN 200 FEET.
- 05. DECK NOTE: IGNITION-RESISTANT MATERIALS THAT COMPLY WITH THE PERFORMANCE REQUIREMENTS OF BOTH SPM STANDARD 12-7A-4 AND SPM STANDARD 12-7A-5.

MECHANICAL NOTES

- 01. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.
- 02. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING LAUNDRY EXHAUST FOR HUMIDITY CONTROL.
- 03. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE (S) (ICFR) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CFR WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFR CERTIFICATE OF OCCUPANCY WHICH WILL NOT BE ISSUED UNTIL FORM CFR IS REVIEWED AND APPROVED.

ENERGY EFFICIENCY NOTES

- 01. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE (S) (CFR) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CFR WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFR CERTIFICATE OF OCCUPANCY WHICH WILL NOT BE ISSUED UNTIL CFR IS REVIEWED AND APPROVED.

GREEN CODE NOTE

- 01. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2019 CGBSC.
- 02. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE (GPM).
- 03. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- 04. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
- 05. PROVIDE WATER CLOSET WITH A MAXIMUM FLOW 1.28 GALLONS PER MINUTE (GPM).
- 06. PER 2019 CGBSC SEC 4.303.1.2, WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEAD AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
- 07. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.
- 08. PER 2019 CGBSC SEC 4.303.0, PLUMBING FIXTURES (WATER CLOSERS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
- 09. PER 2019 CGBSC SEC 4.306.1, MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGES OF 50 TO 80 PERCENT.
- 10. AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE GPM AND A LARGE METER SIZE REQUIREMENT.

OWNER SIGNATURE: _____

- 12. THE MATERIAL AND METHODS OF CONTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY BUILDINGS (E.G., GARAGES) AND STRUCTURES (E.G., PATIO COVERS) SHALL BE IN ACCORDANCE WITH CRC SECTION R327, AS ADOPTED AND AMENDED BY THE CITY OF POWAY.
- 13. 1 1/2" METER HANDLES 41 TO 80 GPM
- 14. WATER METER FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEM SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.

GREEN BUILDING

- 01. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (SECTION 4.504.1).
- 02. JOINTS AND OPENINGS ANNULAR SPACES AROUND PIPES ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 03. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH SECTION 4.410.1.
- 04. A COPY OF COMPLETE OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- 05. AN OWNER MANUAL CERTIFICATION SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVES TO THE BUILDING OWNER.
- 06. DUCT OPENINGS AND OTHER RELATE AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION (SECTION 4.504.1).
- 07. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMIT (SECTION 4.504.2.1).
- 08. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS OR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.3.2 OF THE CALIFORNIA GREEN BUILDING CODE.
- 09. AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.3.2 OF THE CALIFORNIA GREEN BUILDING CODE.

ABBREVIATIONS

- GREEN BUILDING NOTES CONT**
- 09. AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.3.2 OF THE CALIFORNIA GREEN BUILDING CODE.
 - 10. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES, COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
 - 11. CARPET AND CARPET SYSTEM SHALL BE COMPLIANT WITH VOC LIMITS (SECTIONS 4.504.3) A LETTER FROM THE CONTRACTOR SUB-CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE.
 - 12. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - A. VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOL (CHPC) HIGH PERFORMANCE PRODUCT DATABASE
 - B. PRODUCTS COMPLIANT WITH CHPS CRITERIAL CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOL PROGRAM
 - 13. HARDWOOD PLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.50.5 AND TABLE 4.50.4.5 OF CALGREEN
 - 14. A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUB CONTRACTOR OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
 - 15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED, WALLS AND FLOORS FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT
 - 16. THE MOISTURE CONTENT OR BUILDING MATERIAL USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURES CONTENT SHALL BE VERIFIED BY EITHER PROBE TYPE OR CONTRACT TYPE MOISTURE METER.

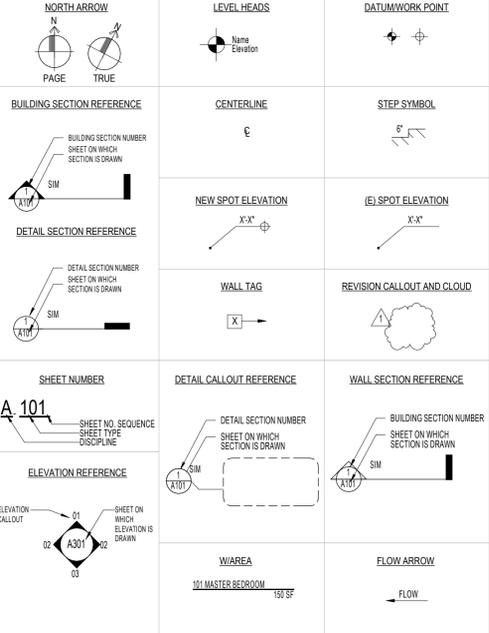
ABBREVIATIONS

- | | | | | | |
|-------|--|-------|--|--------|---------------------------------|
| & | AND | DS | DOWNSPOUT | INT | INTERIOR |
| @ | AT | DWG | DRAWING | JOINT | JOINT |
| ∟ | PERPENDICULAR ANGLE | E | EXISTING | LAM | LAMINATED |
| ∟ | PERPENDICULAR ANGLE | E | EAST | LAV | LAVATORY |
| A/C | AIR CONDITIONER | EA | EACH | LAG | LAG BOLT |
| AB | ANCHOR BOLT | EJ | EXPANSION JOINT | LB | LIBRARY |
| ABV | ABOVE | EL | ELEVATION | LF | LINEAR FOOT (FEET) |
| AC | ASPHALTIC CONCRETE | ELC | ELECTRICAL | LH | LEFT HAND |
| AD | AREA DRAIN | ELEV | ELEVATOR | LIB | LIBRARY |
| ADA | AMERICANS WITH DISABILITIES ACT | EMER | EMERGENCY | LP | LOW POINT |
| ADJ | ADJUSTABLE / ADJACENT | ENG | ENGINEER | LVR | LOUVER |
| AF | ABOVE FINISHED FLOOR | EQ | EQUAL(ITY) | MACH | MACHINE |
| AFG | ABOVE FINISHED GRADE | EQT | EQUIPMENT | MAINT | MAINTENANCE |
| AFS | ABOVE FINISHED SLAB | EQUIP | EQUIPMENT | MAS | MASONRY |
| ALUM | ALUMINUM | EST | ESTIMATE | MATL | MATERIAL |
| ALUM | ALUMINUM | EXIST | EXISTING | MAX | MAXIMUM |
| ALT | ALTERNATE | EXP | EXPANSION | MB | MACHINE BOLT |
| ANOD | ANODIZED | EXT | EXTERIOR | MECH | MECHANICAL |
| ANG | ANGLE | FAST | FASTENER | MEMB | MEMBRANE |
| AP | APPROXIMATELY | FAU | FORCED AIR UNIT | MEZZ | MEZZANINE |
| ARCH | ARCHITECTURAL | FBO | FURNISHED BY OWNER | MFR | MANUFACTURE(R) |
| ASPH | ASPHALT | FCO | FLOOR CLEAN OUT | MIN | MINIMUM |
| ASTM | AMERICAN SOCIETY FOR TESTING MATERIALS | FDR | FLOOR DRAIN | MISC | MISCELLANEOUS |
| AUTO | AUTOMATIC | FF | FINISHED FLOOR | MR | MOISTURE RESISTANT |
| AVG | AVERAGE | FG | FINISHED GRADE | MTL | METAL |
| BD | BOARD | FLT | FLASH | N | NEW |
| BE | BETWEEN | FL | FLOOR | NA | NOT AVAILABLE / NOT IN CONTRACT |
| BEI | BITUMINOUS | FLASH | FLASHING | NO | NUMBER |
| BLDG | BUILDING | FLU | FLOOR FLUORESCENT | NOM | NOMINAL |
| BLK | BLOCK | FOC | FACE OF CONCRETE | NTS | NOT TO SCALE |
| BLKG | BLOCKING | FOF | FACE OF FINISH | OC | ON CENTER |
| BN | BOUNDARY NAILING | FOM | FACE OF MASONRY | OD | OUTSIDE DIAMETER |
| BOT | BOTTOM | FOP | FACE OF PLYWOOD | OF | OWNER FURNISHED |
| CAB | CABINET | FOS | FACE OF STUDS | OFICI | CONTRACTOR INSTALLED |
| CB | CATCH BASIN | FW | FACE OF WALL | OPG | OPENING |
| CB | CATCH BASIN | FP | FIREPROOF, FIREPLACE | OPNG | OPENING |
| CF | CUBIC FOOT | FT | FOOT OR FEET | OZ | OUNCE |
| CF | CAST IRON CONTRACTOR | FTG | FOOTING | P | PAIN(T) NUMBER - SEE SPACE |
| CIP | CAST IN PLACE | FURR | FURRING | PE | PEDESTAL |
| CL | CONTROL JOINT, CEILING | GA | GAUGE | PERF | PERIMETER |
| CL | CENTER LINE | GALV | GALVANIZED | PERP | PERFORATED |
| CLG | CEILING | GC | GENERAL CONTRACTOR | PERP | PERPENDICULAR |
| CLG | CLOSE | GL | GLASS / GLAZING | PL | PROPERTY LINE |
| CLR | CLEAR | GR | GRADE | PLAS | PLASTER |
| CMU | CONCRETE MASONRY UNIT | GYP | GYP | PLYD | PLYWOOD |
| CO | CLEAN/CLEAR OUT | GYP | GYP BOARD | POC | POINT OF CONNECTION |
| COL | COLUMN | HB | HOSE BIB | PAR | PAIR |
| CONC | CONCRETE | HDR | HEADER | PRCST | PRE-CAST |
| CONST | CONSTRUCTION | HR | HORIZONTAL | PREFAB | PREFABRICATED |
| CON | CONTINUOUS | HP | HIGH POINT, HORSEPOWER | PROP | PROPERTY |
| CORR | CORRIDOR | HR | HANDRAIL, HOUR | PSF | POUNDS PER SQUARE FOOT |
| CSK | COUNTERSINK | HT | HEIGHT | PSI | POUNDS PER SQUARE INCH |
| DBL | DOUBLE | HTR | HEATER | PT | POINT |
| DEMO | DEMOLISH/ DEMOLITION | HTR | HEATING / VENTILATION / AIR CONDITIONING | PTDF | PRESSURE TREATED DOUGLAS FIR |
| DF | DIAMETER | HW | HOT WATER (RETURN) | Q | QUANTITY |
| DIA | DIAMETER | ID | INSIDE DIAMETER | QT | QUARTY TILE |
| DIAG | DIAGONAL | IN | INCH | R | RISER |
| DI | DIVISION | INCL | INCLUDING | RAD | RADIUS |
| DIV | DIVISION | INCL | INCLUDING | RC | REFLECTED CEILING PLAN |
| DN | DOWN | INSUL | INSULATE / INSULATION | RC | REFLECTED CEILING PLAN |

VICINITY MAP



SYMBOL LEGEND



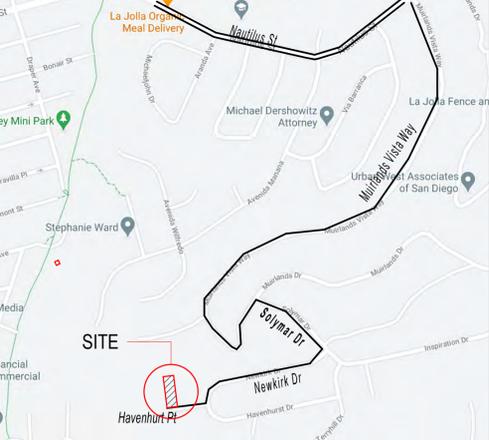
LOW IMPACT DEVELOPMENT

- 1. THE PROJECT CONSERVES NATURAL AREAS WHEREVER POSSIBLE.
- 2. THE PROJECT MINIMIZES AS MUCH AS POSSIBLE A LOW RUNOFF RATE.
- 3. THE PROJECT WILL TRY TO INTEGRATE SCATTERED INTEGRATED MANAGEMENT PRACTICES WHERE POSSIBLE.
- 4. THE PROJECT WILL TRY TO INCORPORATE POLLUTION PREVENTION, AND PROPER MAINTENANCE AS MUCH AS POSSIBLE DURING CONSTRUCTION.
- 6. THE PROJECT WILL INCORPORATE PREVIOUS CON RETE WHERE POSSIBLE.
- 7. THE PROJECT WILL INCORPORATE SUSTAINABLE MATERIALS WITHIN THE BUILDING AS MUCH AS POSSIBLE.

PROJECT NARRATIVE

PROJECT NAME - GARCIA RESIDENCE
PROJECT ADDRESS - 812 HAVENHURST PLACE
EXISTING RESIDENCE - EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED
GARCIA RESIDENCE CONSTRUCTION DATE : 1995
PROJECT DESCRIPTION : EXISTING HOME, AT 812 HAVENHURST IS A CALIFORNIA RANCH STYLE. THE HOME IS 1 STORY, WITH STUCCO EXTERIOR AND ASPHALT SHINGLE ROOF. WINDOWS ARE ANODIZED ALUMINUM THE HOME IS SITUATED IN A SMALL CUL DE SAC WITH 4 HOMES EACH HOME HAS ITS OWN STYLE. RANGING FROM TUSCAN TO CONTEMPORARY ETC. NEIGHBORHOOD CAN BE BEST DESCRIBED AS ECLECTIC, WITH NO HISTORICAL ICONS PERCEIVED.
PERMIT PROCEDURES :
- NEW DISCRETIONARY PROCESS INCLUDES. NEW CDP. (COASTAL DEVELOPMENT PERMIT)
- NEW PROCESS 3 THROUGH THE CITY OF SAN DIEGO
- NEW BUILDING PERMIT
NOTICE OF COMPLETION CANNOT BE LOCATED

AREA MAP



CODE COMPLIANCE

ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES AND STANDARDS, AS ADOPTED BY THE GOVERNING AUTHORITIES:

- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE (EFFECTIVE 7/1/14)
- 2019 CALIFORNIA HISTORIC BUILDING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA EXISTING BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA REFERENCED STANDARDS CODE

CALIFORNIA BUILDING CODE NOTE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC) & ASSOCIATED AMENDMENTS IN SAN DIEGO MUNICIPAL CODE (SDMC) & 2019 CALIFORNIA BUILDING CODE WHICH IS BASED ON THE 2019 IBC FOR THE NON CONVENTIONAL FRAMING STRUCTURAL PROVISIONS, INCLUDING THE 2019 CAL GREEN AND THE 2019 CALIFORNIA ENERGY CODE.

DIRECTORY

- OWNER**
Luis Garcia
812 Havenhurst point
La Jolla, CA 92037
lgtesor@gmail.com
- PROJECT DESIGNER**
Jess Gonzalez (619) 292-6520
CDGI
P.O. BOX 84180 SAN DIEGO CA. 92138
jessgonzales429@gmail.com
- STRUCTURAL ENGINEER :**
Envision Engineering, Inc.
905 Pearl st. ste. 209
La Jolla, CA. 92037
ph. (619) 246 7745
- CIVIL ENGINEER :**
AP Consulting
2371 Fenton Street, Suite 100
Chula Vista, CA 91914
C. 619-227-8941
- LANDSCAPE ARCH**
Sean Clarke, LLA
S.R. Clarke Landscape Architecture & Development
110 Copperwood Way #P, Oceanside, CA. 92058 LL#45299
P: (760) 716-3100
- GEOLOGIST :**
Allied Earth Technology,
7915 Silverton Avenue, Suite 317, San Diego Ca. 92126
P: (658) 586-1665

PROJECT INFORMATION

ADDRESS :	812 Havenhurst Pt San Diego, CA 92037	
LOT SIZE :	= 0.51 acres (22,355 SF)	
(E) USE :	RS-1-4	
SETBACK :	Front 20', Side .08% lot width, Street Side .10% lot width, Back 20'	
CONSTRUCTION TYPE :	V, NON RATED, SPRINKLED	
OCCUPANCY CLASSIFICATION :	RS-1-4	
BUILDING AREA :	3 STORIES (N)	
(N) LIVING SPACE		
BASEMENT	1,648 SF	1,648 SF Exempt
MAIN LEVEL	5,137 SF	
UPPER LEVEL	113 SF	
ADU	1,200 SF	
JADU	408 SF	
GARAGE	888 SF	
TOTAL (N)	9,394 SF	1,648 SF Exempt
DECK LOWER LEVEL	1,454 SF	
DECK MAIN LEVEL	1,715 SF	
DECK UPPER LEVEL	482 SF	
BUILDING YEAR:	New	
LOT COVERAGE :	Permitted 50% = 22,355x50% = 11,177.5 sq ft > 9,394 sq ft	
COMMUNITY PLAN :	San Diego Ca	
JURISDICTION :	County of San Diego	
MAX BUILDING HEIGHT:	24'00 - 30'00 Per PROP-D	
OVERALL BUILDING HEIGHT:	30'00 Per SECTIONS	
DENSITY:	1 RESIDENTIAL UNIT	
PERMITTED DENSITY:	permitted 45%, = 9,394 sq ft(building) / 22,355 sq ft (lot) = 42.8%	
FAR :	Yes	
SPRINKLED:	Yes	
LANDSCAPE AREA:	2,545.8 (N) Landscape area, 9,382.16 (N) Brush management area	
ZONING DESIGNATION:	Coastal Height Limit Overlay Zone, Geological Hazard Categories, Steep Hillsides, Coastal Overlay Zone, Transit Priority Areas	
TRANCIT STOP:	No Adjacent transit stop	
CONSTRUCTION YEAR:	1995	
GEOLOGIC HAZARD CATEGORY:	53 - Level or sloping terrain,unfavorable geologic structure, Low to moderate risk	

SHEET INDEX

GENERAL:	TS.001	TITLE PAGE
	TS.002	FINDINGS
LANDSCAPING:	L.001	CONCEPTUAL PLANTING PLAN
	L.002	CONCEPTUAL BRUSH MANAGEMENT PLAN
	L.003	LANDSCAPE AREA DIAGRAMS & CALCULATIONS
CIVIL:	C.001	TITLE PAGE
	C.002	DRAINAGE PLAN
	C.003	DMP PLAN
ARCHITECTURAL:	A.001	TOPOGRAPHIC PLAN
	A.002	DEMO PAN
	A.003	DS-560, SWOMP FORM
	A.004	SITE PLAN
	A.005	LOWER LEVEL
	A.006.1	MAIN LEVEL NORTH
	A.006.2	MAIN LEVEL SOUTH
	A.006.3	MAIN LEVEL KEY MAP
	A.007.1	UPPER LEVEL NORTH
	A.007.2	UPPER LEVEL SOUTH
	A.007.3	UPPER LEVEL KEY MAP
	A.008	ROOF LEVEL
	A.012	ELEVATIONS S-SE-E
	A.013	ELEVATIONS N-NW-E
	A.014	SECTIONS A-B-C
	A.015	SECTIONS D-E-F
	A.016	SECTIONS G-H
	A.017	PHOTOGRAPHIC SURVEY
	A.018	PHOTOGRAPHIC SURVEY II
FIRE:	FR.001	FIRE PLAN

LEGAL DESCRIPTION

LEGAL DESCRIPTION
LOT 34 OF MUIRLANDS POINT, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3035, FIELD IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1953

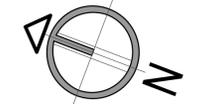
APN #357-080-05-00
CDP Approval No. 2586783
SDP ApprovalNo. 2586785

SCOPE OF WORK

NEW SINGLE FAMILY RESIDENCE TO BE LOCATED AT 812 HAVENHURST POINT. NEW RESIDENCE TO REPLACE EXISTING HOME WHICH WILL BE DEMOLISHED. NEW RESIDENCE WILL INCLUDE A LOWER FLOOR, OF WHICH PARTIAL WILL BE CONSIDERED BASEMENT SPACE. A MAIN LEVEL WITH 3 BEDROOMS AND A MASTER BEDROOM, W/4 BATHROOMS 2 POWDERS RM, OFFICE AND 3 CARS GARAGE. THE BULK OF THE HOME WILL BE LOCATED ON THE MAIN ENTRY LEVEL. THE UPPER LEVEL OF THE HOME WILL INCLUDE AN ADU WITH A SEPARATE ENTRY STAIRCASE AND AN ATTACHED JUNIOR ADU WHICH WILL HAVE ACCESS THROUGH THE MAIN RESIDENCE. THE PROPOSED RESIDENCE WILL HAVE A NEW POOL, JACUZZI SPA, AND DECK. WILL NEED A COASTAL AND SITE DEVELOPMENT PERMIT.

DEFERRED ITEMS

FIRE SPRINKLERS



NORTH

PRJ 0697754
CDP 2586783
SDP 2586785

REVISION	#1 - 1.21.2022
	#2 - 9.26.2022
	#3 - 10.8.2022
	#4 - 9.1.2023
	#5 - 01.08.2024
	#6 - 02.15.2024
	#7 - 03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:
ADDRESS:

DATE:	01.08.2024
CITY SUBMITTAL:	SAN DIEGO CA.
SCALE:	INDICATED IN DRAWING
DRAW:	E.M.
JOB NO.	

SHEET TITLE:
TITLE PAGE

TS.001

LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE
LA JOLLA COMMUNITY PLANNING ASSOCIATION
TUESDAY 4 PM
La Jolla Recreation Center - 615 Prospect Street, Room 2
La Jolla, California

Applicants:

- Please email your submitted plan set and Latest cycle issues and assessment letter to the DPR chair (brianljpc@agmail.com) no later than **24 hours before the meeting**.
- Presentation materials for the meeting should also include materials board and/or color renderings, Aerial photo and neighborhood context exhibits showing the proposed renderings or site plan in context.
- Easles should be made available on-site. It is recommended you bring some foam board to attach your drawings for presentation.

1. Public comments are an opportunity to share your opinion with the committee members. Comments should not be directed at the applicant team.
2. Public comments will be strictly limited to 2 minutes per person. Please review the following meeting minutes. It is not necessary to repeat previous comments.

COMMITTEE MEMBER ATTENDANCE:

John Shannon, Brian Williams, Angeles Leira, John Fremdling, Greg Jackson, Brian Will, Glenn Rasmussen

NON-AGENDA PUBLIC COMMENT:

POSSIBLE ACTIONS ITEMS:

ITEM 1: FINAL REVIEW 3/21/2023

Project Name: Carvalho De Mendonca Residence – 6208 Ave Cresta
Applicant: Flavia Gomes
Project Info: <https://opendds.sandiego.gov/Web/Projects/Details/690811>

LA JOLLA (Process 3) Coastal Development Permit to demolish the existing residence and portion of garage to construct a new two-story, single-family residence with attached garage, balcony and patio for a total gross square footage of 7,497 at 6208 Avenida Cresta. The 0.20-acre site is in the RS-1.5 zone and Coastal (Appealable Area) Overlay zone within the La Jolla Community Plan and Council District 1.

9/20/22 Applicant Presentation

- Video presentation of project.
- Front facade cast in place walls with perforated façade element “Cobogo” by well known Brazilian artist.

Agenda and Committee Reports are available online at www.lajollaplan.org
Please contact info@lajollaplan.org with questions/concerns.

- Map of modern/cubic architecture
- Map of buildings that do NOT have red tile roof
- Laundry no longer encroaches, Added 24' height limit on plans and further from setbacks
- Comply with all limits
- Landscape plan will stay the same, renderings don't show landscape, but landscape will be planted per plans
- Owner have been contacted and in support. Immediate neighbors are in support. Neighbor sold lot with view easement which has been honored.

9/20/22 Discussion

- Miller: Square footage to be demo 'd (app. 2,035 sq, doubling the existing square footage, 400sf below max FAR)
- Miller: aerial or street view in context (app: showed aerial view, smaller than many in area)
- Merien: Angled building envelope, heights of walls exceed 24' on the side setback (app demonstrated how it stepped back)
- Miller: Consider neighbors privacy (yes, they reviewed and are in favor)
- Jackson: Previous design required tall building forced to front, creates large mass in front, one concern was stark white/overbearing, this is better, understated, muted colors, interesting. Can the bulk be softened at front. Can the artistic part be smaller? No need to worry about red tiles.
- Rasmussen: the element left of stairs on first floor was exceeding something? (Height is 9'-6", new design does not increase height of this element to remain which has the previously conforming setback, no more balcony or handrail) what is glass column? (panoramic elevator)
- Will: 22' at street, 24' for elevator is not very tall.
- Costello: Very significant departure from character of neighborhood. Street is eclectic but this is extreme. Water concerns: I don't believe we should have swimming pools anymore, make sure landscape is drought tolerant.
- Shannon: Not engineered yet, the structure may change, (we have discussed with engineers and it is possible withing basic structure outlined)
- Rasmussen: Front yard setback (20'), the laundry encroaches but not increasing the height, averaging high and low)
- Costello: would like to see more detail on landscape. Don't think it's compatible.

9/20/22 Deliver for next time

- Add angled setback at each section
- Show street rendering superimposed with neighbors buildings on either side. How does it look in context?
- Dash in row of existing garage on section through proposed laundry room to demonstrate no part is higher than existing. Do 50% of walls remain to retain previous conforming rights.
- More detail on landscape and watering requirements with respect to drought tolerance.

3/21/23 Presentation

- Presented items from previous list
- McGinnis – How many bed/bath/garage spaces
- Applicant – 2 car garage, 3 bedrooms

Agenda and Committee Reports are available online at www.lajollaplan.org
Please contact info@lajollaplan.org with questions/concerns.

- Leira – Pool concerns about structural
- Leira – any view corridors (applicant: none except for view easement owned by neighbor requires second floor setback).
- Leira – prefer to see more
- MOTION – Findings CAN (Jackson/Fremdling)
- Passes 5-1-1 (chair abstains)

ITEM 2: FINAL REVIEW 3/21/2023

Project Name: Castellana Residence
Applicant: Sham Sparks
Project Info: PRJ-1062557

Process 2 – Coastal Development Permit (CDP), Process 3 – Site Development Permit (SDP) to construct a three-story, 10,120-square-foot, 4,082 (SF) residence on an existing vacant parcel (APN: 350-541-0600) located at Castellana Road, near Crespo Drive. The 0.27-acre site is in the Residential Single Dwelling Unit (RS-1-5) Base Zone, Coastal (Non-Appealable), Coastal Height Limitation and Geological Hazard Categories (12, 53, 27) Overlay Zones in the La Jolla Community Plan and Local Coastal Plan area.

2/21/2023 – Presentation

- Project Orientation
 - Actual GFA is 6,292sf where 6,312sf allowed
 - ROW dedication and street widening
 - Underground parking/basement, 2 story above, 4 parking spaces
 - 1' below 30' Coastal Height Limit
 - Living on First Floor, 4 bedrooms on 2nd Floor
 - Tree well through decks
 - FAR conforms, Conforms to All Height Limits, Planning cleared these items

Public Comment

- Miller – What does glass look towards (distant views toward pier)
- Merien – North elevation, NE corner projects above angled building envelope (applicant: will review and respond), NW corner of open trellis over height limit, 36' (applicant: will review and respond, roof projections allowed to encroach and vehicle access area does not define grade) Area to right (West) of garage door is not vehicular area.
- Brent – Concerned with size and erosion during construction, not consistent with neighborhood size.
- Ahern – Many neighbors have similar concerns, has there been Geotech report? Masvise.
- Henegar – Existing easement on East side of lot (applicant: easement is on neighbors property, will double check with Civil Engineer) Excessive bulk and scale.
- Kinella – Bulk and scale, does not fit neighborhood size trend, assuming this is a spec house, does not belong here.
- Committee Discussion
 - Leira – sections show 3 floors, take a look at 3 story façade, what happens to view from Crespo drive
 - Kane – My neighborhood, really big, out of context, right on street, vertical stone elements don't help, dramatic but inappropriate, Push it back from street. Subterranean areas need

Agenda and Committee Reports are available online at www.lajollaplan.org
Please contact info@lajollaplan.org with questions/concerns.

- closer scrutiny, we've proposed code amendments, very formal landscape could be more organic – shouting “look at me”
- Shannon – Sometimes we focus on square footage, agree it stands out and could be softened, subterranean area can have destabilizing affects on soil stability and drainage
- Williams – Question about geo hazard numbers
- Jackson – Geo hazard brought up in cycle issues, What was required and done? (applicant: all this is closely reviewed, there is some bad soil on lot, excavation is helping with stability of hillside, great care taken with slope stability and shoring)
- Costello – Would like to see geo report
- Jackson – Do we have a clear criterion for bulk and scale? Not really.
- Deliver for Next Time
 - Extend section through lot Crespo to Valdes and homes on Valdes drive.
 - Review existing vegetation and what is planned to remain
 - Consider pushing it back
 - Consider overall height
 - Provide Geotechnical report

3/21/23 Presentation

- Handouts to respond to requests
- Project is not in steep hillsides
- Increased landscape in front – natural AND native
- Conforms to FAR
- Street to street section addressing neighbors views
- Adhere to codes for Bulk and Scale
- Project helps to stabilize slope due to existing slope wash and deep caissons to lock in place.
- Davis -> Guest parking plus 4 cars in garage
- McGinnis -> 6 bedrooms
- Shannon – Does basement deflect subterranean water flow onto neighbors? (applicant: waterproofing collects water at uphill wall and feed water to subsurface drainage to control water and prevent off site redirect.
- Ahern – Neighbors are concerned with bulk and scale, one sits across street and intends to plant large plants to block view.
- Unknown – Why SDP (first time lot developed)
- Williams – Roof eave compliance
- Leira – Is the neighbors sewer easement being used for a neighborhood path? (app: none on-site.
- Rasmussen – Would prefer to see house pushed back.
- Leira – would prefer to see pushed back. (app: can't bury 2nd floor, would loose bedroom egress windows
- Shannon – Why not push a retaining wall back to add giant light well
- Rasmussen – Prefer to see 2nd floor pulled back.
- MOTION – Findings CAN (Jackson/Fremdling)
- PASSES – 4-2-1 (chair abstains)

Agenda and Committee Reports are available online at www.lajollaplan.org
Please contact info@lajollaplan.org with questions/concerns.

ITEM 3: FINAL REVIEW 3/21/2023

Project Name: 812 Havenhurst Pt
Applicant: Jess Gonzalez
Project Info: P1S-097754

LA JOLLA (Process 3) Coastal Development Permit and Site Development Permit for the demolition of an existing single family residence and the construction of a 12,379 sq. ft., 3-story single family residence at 812 Havenhurst Point. The 0.51-acre site is in the RS-1.4, Coastal (Non-appealable) overlay zones within the La Jolla Community Plan area. Council District 1.

3/14/23 Presentation

- Applicant: Owner demolishing current 1-story house (2000 sq ft) and building 12,000 sq ft 2-story/basement house where owner's own and extended family will live. House generally within existing footprint on street side, most expansion is toward and down canyon side. Much of space is underground in basement with windows/patio on canyon side, so excluded from FAR. 2 meetings with neighbors, some adjustments as a result. Applicant showed model of proposed house.
- Kharrati (neighbor): neighborhood long ago agreed to certain standards, and process for exceptions. Proposed house required exception to add second story, exception was denied twice by committee (even after adjustments).
- Jackson: DPR does not enforce CC&Rs, that's a matter for lawyers and civil litigation.
- Leira: Fair enough, but CC&Rs provide useful information about neighborhood character, which DPR can and should consider, and so the fact that proposed house is deemed by neighbors to be inconsistent with CC&Rs raises questions about whether it disrupts rather than enhances the neighborhood.
- Committee chair (I didn't catch name): talks about committee process.
- (much back and forth between neighbor and applicant about how proposed house blocks view, disrupts character, etc)
- Fremdling: Ceiling heights?
 - Applicant: 10 feet.
 - Fremdling: how can basement+2 floors with 10-ft ceilings comply with 30-foot limit?
- Applicant: 2nd story begins where basement ends, so there's no plumb line taller than 30 ft
- Leira: Model is great, but it just shows the proposed house in isolation, not in street/neighborhood context, and DPR needs the latter to judge compliance with LJCP.
- (more neighbor/applicant interaction-neighbors are clearly very out of joint about applicant's decision to ignore the CC&Rs; committee lawyer points out that "opposing counsel" isn't present, so clearly there are already lawyers jousting)
- Bring for next time:
 - aerial montage (3-5 houses each way) with proposed house inserted
 - streetscape montage ditto
 - whatever other photos or montages will help DPR understand how the drastically larger structure will fit into the area as viewed from neighbors, street, across canyon, etc.
 - cross section running from other side of the street through proposed house and down canyon to property line.
 - drawing or diagrams showing how proposed house's walls align with neighboring houses across setbacks.

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Please contact info@lajollaplan.org with questions/concerns.

DRAFT CONDITIONS

1. THE ADU AND JADU SHALL NOT BE USED FOR A RENTAL TERM OF LESS THAN 31 CONSECUTIVE DAYS.
2. THE ADU AND JADU MAY NOT BE SOLD OR CONVEYED SEPARATELY FROM THE PRIMARY DWELLING UNIT.
3. BEFORE A BUILDING PERMIT MAY BE ISSUED FOR A JADU, THE RECORD OWNER SHALL ENTER INTO AN AGREEMENT WITH THE CITY IN A FORM THAT IS APPROVED BY THE CITY ATTORNEY. THE AGREEMENT SHALL INCLUDE THE FOLLOWING PROVISIONS: THE JADU MAY NOT BE SOLD OR CONVEYED SEPARATELY FROM THE PRIMARY DWELLING UNIT; THE AGREEMENT MAY BE ENFORCED AGAINST FUTURE PURCHASERS, AND THE RECORD OWNER SHALL RESIDE ON THE PREMISES. THE CITY SHALL SUBMIT THE AGREEMENT TO THE COUNTY RECORDER FOR RECORDATION. THE AGREEMENT SHALL RUN WITH THE LAND FOR THE LIFE OF THE JADU.
4. SENSITIVE BIOLOGICAL RESOURCES THAT ARE OUTSIDE OF THE ALLOWABLE DEVELOPMENT AREA ON A PREMISES, OR ARE ACQUIRED AS OFF-SITE MITIGATION AS A CONDITION OF PERMIT ISSUANCE, ARE TO BE LEFT IN A NATURAL STATE AND USED ONLY FOR THOSE PASSIVE ACTIVITIES ALLOWED.
5. BEFORE APPROVAL OF THE SITE DEVELOPMENT PERMIT, THE APPLICANT SHALL EXECUTE AND RECORD IN FAVOR OF THE CITY A HOLD HARMLESS AND/OR INDEMNIFICATION AGREEMENT FOR THE APPROVED DEVELOPMENT.
6. MITIGATION MAY INCLUDE ANY OF THE FOLLOWING, AS APPROPRIATE TO THE NATURE AND EXTENT OF THE IMPACT: (A) DEDICATION IN FEE TITLE TO THE CITY OF SAN DIEGO; OR (B) DEDICATION OF A COVENANT OF EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO, THE CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE AND THE U.S. FISH AND WILDLIFE SERVICE FOR EITHER: (I) AN OFF-SITE LOCATION WITH LONG-TERM VIABILITY AND BIOLOGICAL VALUES EQUAL TO OR GREATER THAN THE IMPACTED SITE, AND WITH LIMITED RIGHT OF ENTRY FOR HABITAT MANAGEMENT, AS NECESSARY, OR
7. ON-SITE CREATION OF NEW HABITAT, PRESERVATION OF EXISTING HABITAT OUTSIDE THE COASTAL OVERLAY ZONE, OR ENHANCEMENT OF EXISTING DEGRADED HABITAT, WITH LIMITED RIGHT OF ENTRY FOR HABITAT MANAGEMENT, AS NECESSARY. THE LOCATION OF THE EASEMENT MUST HAVE LONG-TERM VIABILITY AND BIOLOGICAL VALUES EQUAL TO OR GREATER THAN THE IMPACTED SITE. (III) IN OFF-SITE LOCATIONS OR ON-SITE, ZONE TWO BRUSH MANAGEMENT SHALL BE PLACED WITHIN A COVENANT OF EASEMENT, BUT MAY NOT QUALIFY FOR MITIGATION PURPOSES.

ITEM 4: REVISIT ITEM 3/21/2023

Project Name: Adeltane Townhomes
Applicant: Ryan Wynn
Project Info: PRJ-1075385

Coastal Development Permit and Tentative Map for the demolition of an existing office building, subdivision of one lot into 13 condominium units, and construction of one new two-story multi-family residential building with a basement level, covered parking, and roof decks totaling 21,485 square feet located at 5575 La Jolla

- landscape plan
- 3/21/23 Presentation**
 - Exhibits to review bulk and scale
 - Micheletti – There is a style. Maintained by CCRs, CCRs exist to keep style in harmony. All homes in cul-de-sac are single story from street and may have walk out basement, project was story-poled. Recently approved projects on street maintain similar style.
 - Schwartz – Community of one story homes, only one 2-story home in 35 years. 57 homes exist, avg is 3,095 sf.
 - Kharrati – Photos of all single story homes and impact on his private views
 - Kirk – Concerned about ocean view corridors.
 - Barlow – 14 opposed in the room
 - Applicant – 6 homes are not their own CCR, Largest home in Sub-division is 6,757 sq. Ft. City letter states this is a 7,069 sq. Ft. story poles were of original scale before concessions to neighbors, upper floor reduced 27% floor area, 30% reduction on length of upper level (perpendicular to view) View is already blocked, only 4' further into canyon, 2nd story set far back from street, overall height lowered 2'
 - Jackson – distinction of numbers for comparison. FAR vs Habitable Area – 9,590 sq. ft.
 - Leira – Difficult to see outdated model. Scale and Character in neighborhood is CA Ranch, one-story, rambling, simple, cul de sac is an entity in itself for character and is consistently one-street from street, Committee really understood CCRs, 2 and 3 story houses set back from front of view.
 - Jackson – What is our role here. If issue with neighbors Tort matter. Neighborhood has tried to govern itself through contract, should have consequences, also not our committee's role. Muni code: Specific limitations were not covered during this (technical issues), Plan issues, judgements is “good for LJ” Community character ... this is our core job.
 - Rasmussen – What is our role.
 - Shannon – We are a community group if valuable insight. So many neighbors have come in ... neighborhood sentiment, invest in your community. State allowance for ADUs does not allow for push back. Design is nice, second floor would be better if removed
 - Findings CANNOT be made (Rasmussen/Leira) Does not conform to neighborhood character in bulk and scale
 - Passes 5-1-1

ITEM 5: PRELIMINARY REVIEW 3/21/2023

ITEM 5: PRELIMINARY REVIEW 3/21/2023

Project Name: 7443 Eads Ave
Applicant: Deborah Marengo
Project Info: PRJ-1070073

Process 2 Coastal Development Permit. The permit is for the addition of a new dwelling unit, a new accessory dwelling unit, and a new Junior accessory dwelling unit to an existing single-family residence located at 7443 Eads Avenue. The 0.16-acre site is in the RM-1-1 zone, Coastal (Non-Appealable) Overlay Zone, and Coastal Height Limit Overlay Zone of the La Jolla Plan area.

3/21/23 Presentation

- Existing home plus JADU AND new unit plus full ADU and map waiver to split
- Add 2nd JADU to front existing unit, Removing garage, adding new garage and full unit above with 800' ADU. 3 stories total at rear unit, Existing house remains single story, 4

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Boulevard. The 0.30-acre site is in the La Jolla Planned District-4 Zone (LPD-4) and Coastal Overlay Zone (Non-Appealable 2) within the La Jolla Community Plan area.

3/21/23 Presentation

- Presented chart of which codes sections are waived or used incentive
- Both earned through providing affordable housing at city discretion
- Density bonus allowed by state law is met
- Leiner – PDO is not met. Needs to be a letter from housing commission to allow bonus, Affordable unit cannot be very low “for sale” 6% density bonus and 1 waiver only. Waiver only when you CANNOT make the project work. Why would you need a waiver for driveway width. Does not comply with 30' PDO height limit.
- Terry – Nice project, cannot review with consideration of what committee thinks code SHOULD say. Does not meet conditions for low income bonus, 3 incentives required to waive PDO commercial requirement,
 - PDO height 30'
 - App: confident it is met
 - 6% not 35%
 - App: For sale properties can still get bonus and incentives
 - Ground floor retail
 - Waived by incentive
 - 29 units/ac (1 per 1500sf) and FAR bonus for mixed
- Will – What is committee's role?
- Leira – could it be adapted for retail in the future
- Jackson – initial review came to noon, notice was not made prior to first review
- Terry – 9 units to 12 units, 3 incentives
- Notice was dated Dec 23rd, but posted on site Dec 9.
- Schmidt – Too soon, needs more review

ITEM 5: PRELIMINARY REVIEW 3/21/2023

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- Contracting information that historic structure CAN be saved, Met with HR staff, Needs full EIR, some alternatives that preserve house are considered,
- Meets all 4 criterion for designation
- Engineer says not very difficult to preserve structure
- 4 alternatives presented which preserve all or parts of structure
- Motion to submit these recommendations to HRB (Leira/Rasmussen)
 - PASSES 5-1-1
- Jackson - Fundamentally unfair to take action without applicant present,

3/21/23 Presentation

- Exhibits to review bulk and scale
- Micheletti – There is a style. Maintained by CCRs, CCRs exist to keep style in harmony. All homes in cul-de-sac are single story from street and may have walk out basement, project was story-poled. Recently approved projects on street maintain similar style.
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- Rasmussen – What is our role.
- Shannon – We are a community group if valuable insight. So many neighbors have come in ... neighborhood sentiment, invest in your community. State allowance for ADUs does not allow for push back. Design is nice, second floor would be better if removed
- Findings CANNOT be made (Rasmussen/Leira) Does not conform to neighborhood character in bulk and scale
- Passes 5-1-1

ITEM 6: REVISIT ITEM 3/21/2023

Project Name: 6110 Camino De La Costa
Applicant: Matthew Segal
Project Info: PRJ-1066101

LA JOLLA (Process 3) Coastal Development Permit and Site Development Permit to demolish an existing 2-story residence and construct a new 3-story 10,567-square-foot residence with decks located at 6110 Camino de la Costa. The 0.37-acre site is in the RS-1.5 Zone and Coastal Overlay (Appealable) Zone within the La Jolla Community Plan area. Council District 1.

3/21/23 Presentation

- Contracting information that historic structure CAN be saved, Met with HR staff, Needs full EIR, some alternatives that preserve house are considered,
- Meets all 4 criterion for designation
- Engineer says not very difficult to preserve structure
- 4 alternatives presented which preserve all or parts of structure
- Motion to submit these recommendations to HRB (Leira/Rasmussen)
 - PASSES 5-1-1
- Jackson - Fundamentally unfair to take action without applicant present,

FINDINGS

FINDINGS FOR ALL SITE DEVELOPMENT PERMITS

- (1) THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN;
- (2) THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY AND WELFARE; AND
- (3) THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REGULATIONS OF THE LAND DEVELOPMENT CODE INCLUDING ANY ALLOWABLE DEVIATIONS PURSUANT TO THE LAND DEVELOPMENT CODE.

SUPPLEMENTAL FINDINGS--ENVIRONMENTALLY SENSITIVE LANDS

- (1) THE SITE IS PHYSICALLY SUITABLE FOR THE DESIGN AND SITING OF THE PROPOSED DEVELOPMENT AND THE DEVELOPMENT WILL RESULT IN MINIMUM DISTURBANCE TO ENVIRONMENTALLY SENSITIVE LANDS;
- (2) THE PROPOSED DEVELOPMENT WILL MINIMIZE THE ALTERATION OF NATURAL LANDFORMS AND WILL NOT RESULT IN UNDUE RISK FROM GEOLOGIC AND EROSIONAL FORCES, FLOOD HAZARDS, OR FIRE HAZARDS;
- (3) THE PROPOSED DEVELOPMENT WILL BE SITED AND DESIGNED TO PREVENT ADVERSE IMPACTS ON ANY ADJACENT ENVIRONMENTALLY SENSITIVE LANDS;
- (4) THE PROPOSED DEVELOPMENT WILL BE CONSISTENT WITH THE CITY OF SAN DIEGO'S MULTIPLE SPECIES CONSERVATION PROGRAM (MSCP) SUBAREA PLAN AND VERNAL POOL HABITAT CONSERVATION PLAN (VPHCP);
- (5) THE PROPOSED DEVELOPMENT WILL NOT CONTRIBUTE TO THE EROSION OF PUBLIC BEACHES OR ADVERSELY IMPACT LOCAL SHORELINE SAND SUPPLY; AND
- (6) THE NATURE AND EXTENT OF MITIGATION REQUIRED AS A CONDITION OF THE PERMIT IS REASONABLY RELATED TO, AND CALCULATED TO ALLEVIATE, NEGATIVE IMPACTS CREATED BY THE PROPOSED DEVELOPMENT.

3/14/23 Presentation

- APPLICANT: OWNER DEMOLISHING CURRENT 1-STORY HOUSE (2000 SQ FT) AND BUILDING 12,000 SQ FT 2-STORY+BASEMENT HOUSE WHERE OWNERS OWN AND EXTENDED FAMILY WILL LIVE. HOUSE GENERALLY WITHIN EXISTING FOOTPRINT ON STREET SIDE, MOST EXPANSION IS TOWARD AND DOWN CANYON SIDE. MUCH OF SPACE IS UNDERGROUND IN BASEMENT WITH WINDOWS/PATIO ON CANYON SIDE, SO EXCLUDED FROM FAR. 2 MEETINGS WITH NEIGHBORS, SOME ADJUSTMENTS AS A RESULT. APPLICANT SHOWED MODEL OF PROPOSED HOUSE.
- KHARRATI (NEIGHBOR): NEIGHBORHOOD LONG AGO AGREED TO CERTAIN STANDARDS, AND PROCESS FOR EXCEPTIONS. PROPOSED HOUSE REQUIRED EXCEPTION TO ADD SECOND STORY, EXCEPTION WAS DENIED
- TWICE BY COMMITTEE (EVEN AFTER ADJUSTMENTS).
- JACKSON: DPR DOES NOT ENFORCE CC&RS, THAT'S A MATTER FOR LAWYERS AND CIVIL LITIGATION.
- LEIRA: FAIR ENOUGH, BUT CC&RS PROVIDE USEFUL INFORMATION ABOUT NEIGHBORHOOD CHARACTER.
- WHICH DPR CAN AND SHOULD CONSIDER, AND SO THE FACT THAT PROPOSED HOUSE IS DEEMED BY NEIGHBORS TO BE INCONSISTENT WITH CC&RS RAISES QUESTIONS ABOUT WHETHER IT DISRUPTS RATHER THAN ENHANCES THE NEIGHBORHOOD.
- COMMITTEE CHAIR (I DIDN'T CATCH NAME): TALKS ABOUT COMMITTEE PROCESS. (MUCH BACK AND FORTH BETWEEN NEIGHBOR AND APPLICANT ABOUT HOW PROPOSED HOUSE BLOCKS VIEW, DISRUPTS CHARACTER, ETC)
- FREMDLING: CEILING HEIGHTS?
- APPLICANT: 10 FEET.
- FREMDLING: HOW CAN BASEMENT+2 FLOORS WITH 10-FT CEILINGS COMPLY WITH 30-FOOT LIMIT?
- APPLICANT: 2ND STORY BEGINS WHERE BASEMENT ENDS, SO THERE'S NO PLUMB LINE TALLER THAN 30 FT
- LEIRA: MODEL IS GREAT, BUT IT JUST SHOWS THE PROPOSED HOUSE IN ISOLATION, NOT IN STREET/NEIGHBORHOOD CONTEXT, AND DPR NEEDS THE LATTER TO JUDGE COMPLIANCE WITH LJCP.
- (MORE NEIGHBOR/APPLICANT INTERACTION--NEIGHBORS ARE CLEARLY VERY OUT OF JOINT ABOUT APPLICANT'S DECISION TO IGNORE THE CC&RS; COMMITTEE LAWYER POINTS OUT THAT "OPPOSING COUNSEL" ISN'T PRESENT, SO CLEARLY THERE ARE ALREADY LAWYERS JOUSTING)
- BRING FOR NEXT TIME:
 - AERIAL MONTAGE (3-5 HOUSES EACH WAY) WITH PROPOSED HOUSE INSERTED
 - STREETScape MONTAGE DITTO
 - WHATEVER OTHER PHOTOS OR MONTAGES WILL HELP DPR UNDERSTAND HOW THE DRASTICALLY LARGER STRUCTURE WILL FIT INTO THE AREA AS VIEWED FROM NEIGHBORS, STREET, ACROSS CANYON, ETC.
 - CROSS SECTION RUNNING FROM OTHER SIDE OF THE STREET THROUGH PROPOSED HOUSE AND DOWN CANYON TO PROPERTY LINE.
 - DRAWING OR DIAGRAMS SHOWING HOW PROPOSED HOUSE'S WALLS ALIGN WITH NEIGHBORING HOUSES ACROSS SETBACKS.

3/21/23 Presentation

- Exhibits to review bulk and scale
- Micheletti – There



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
 110 COPPERWOOD WAY # P
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 #760-716-3100 LLA#5299

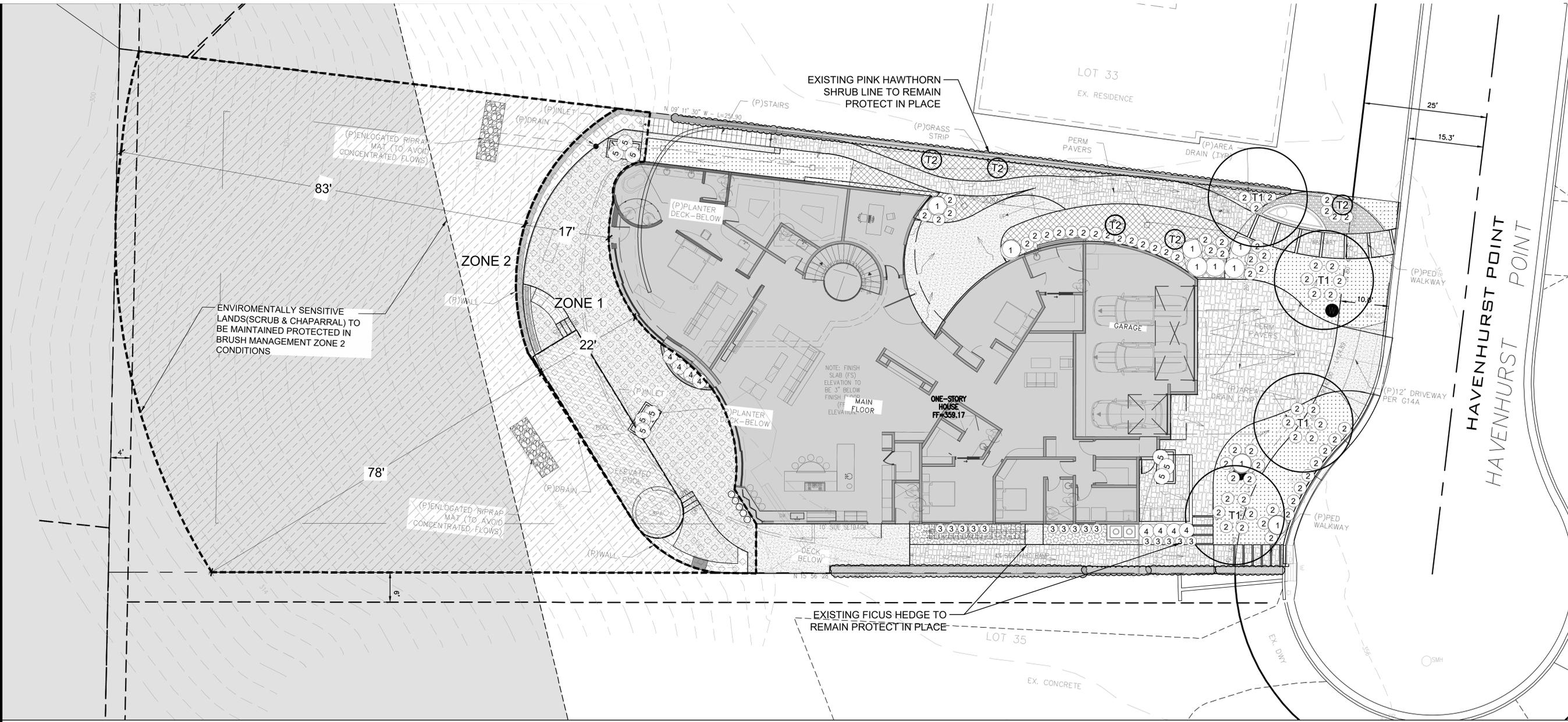


SHEET TITLE:
CONCEPTUAL PLANTING PLAN

PROJECT:
**GARCIA RESIDENCE
 812 HAVENHURST PT.
 SAN DIEGO, CA 92037**

REVISIONS

 DRAWN: JR
 APPROVED: SC
 JOB NO.: SRC21109
 DATE: 08-09-23
 SCALE: AS SHOWN
 SHEET 11



PLANT LEGEND						
TREES						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS	HT./SPD.
T1	CUPANIOPSIS ANACARDIODES	CARROTWOOD	36" BOX	5	MOD.	40'/30'
T2	PHOENIX ROEBELENI	PYGMY DATE PALM - MULTI TRUNK	24" BOX	5	MOD.	6-10'/4-6'
SHRUBS						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS	HT./SPD.
1	COLOCASIA ESCULENTA 'MAUI GOLD'	ROYAL HAWAIIAN MAUI GOLD ELEPHANT EAR	15 GAL.	9	HIGH	4'/3'
2	PHORMIUM X. 'JESTER'	JESTER NEW ZEALAND FLAX	5 GAL.	67	LOW	2'/3'
3	DIANELLA R. 'LITTLE REV.'	LITTLE REV. FLAX LILLY	1 GAL.	15	LOW	2-4'/1-2'
4	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL.	4	LOW	1-2'/2-3'
5	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	9	LOW	4'/4'
GROUND COVERS						
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SQ.FT.	WU-COLS	HT./SPD.
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL. 24" O.C.	645	LOW	1-2'/4-6'
	DYMONDIA	SILVER CARPET	FLATS 12" O.C.	154	LOW	1'/SPDG
	LIPPIDIA NODIFLORA	KARUPIA	S.O.D.	1,150	LOW	1'/SPDG

- CONCEPTUAL LANDSCAPE NOTES:**
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF CARLSBAD LANDSCAPE REGULATIONS AND STANDARDS.
 - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MIN. DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOILS AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
 - ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. OF ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MIN. DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT WRAPPED AROUND THE ROOT BALL. ROOT BARRIERS SHALL BE BIO-BARRIER OR EQUAL.
 - OWNER IS RESPONSIBLE FOR MAINTAINING THE LANDSCAPE, INCLUDING THE PUBLIC RIGHT-OF-WAY, IN A HEALTHY, DISEASE FREE CONDITION.
 - ALL LANDSCAPE AREAS SHALL BE FINISH GRADE TO REMOVE ROCKS AND ENSURE SURFACE DRAINAGE IS 2% AND AWAY FROM BUILDINGS.
 - IRRIGATION: AN EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED, THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEAD AND DRIP LINE.
 - THE PLAN SHALL PROVIDE THAT ONLY SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN TWENTY-FOUR INCHES OF AN IMPERMEABLE SURFACE UNLESS THE ADJACENT IMPERMEABLE SURFACES ARE DESIGNED AND CONSTRUCTED TO CAUSE WATER TO DRAIN ENTIRELY INTO LANDSCAPE AREA.

SITE ADDRESS

812 HAVENHURST PT.
 SAN DIEGO, CA. 92037
 A.P.N. 3570800500

ARCHITECT

C.D.G.I.
 P.O. BOX 84180
 SAN DIEGO, CA 92138
 619-858-2345

OWNER:

LUIS GARCIA
 812 HAVENHURST PT.
 SAN DIEGO, CA. 92037
 Lgtesoro@gmail.com

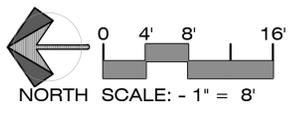
LANDSCAPE ARCHITECT

S.R. CLARKE LANDSCAPE ARCHITECT AND DEVELOPMENT
 110 COPPERWOOD WAY SUITE #P
 OCEANSIDE, CA. 92058
 760-716-3100

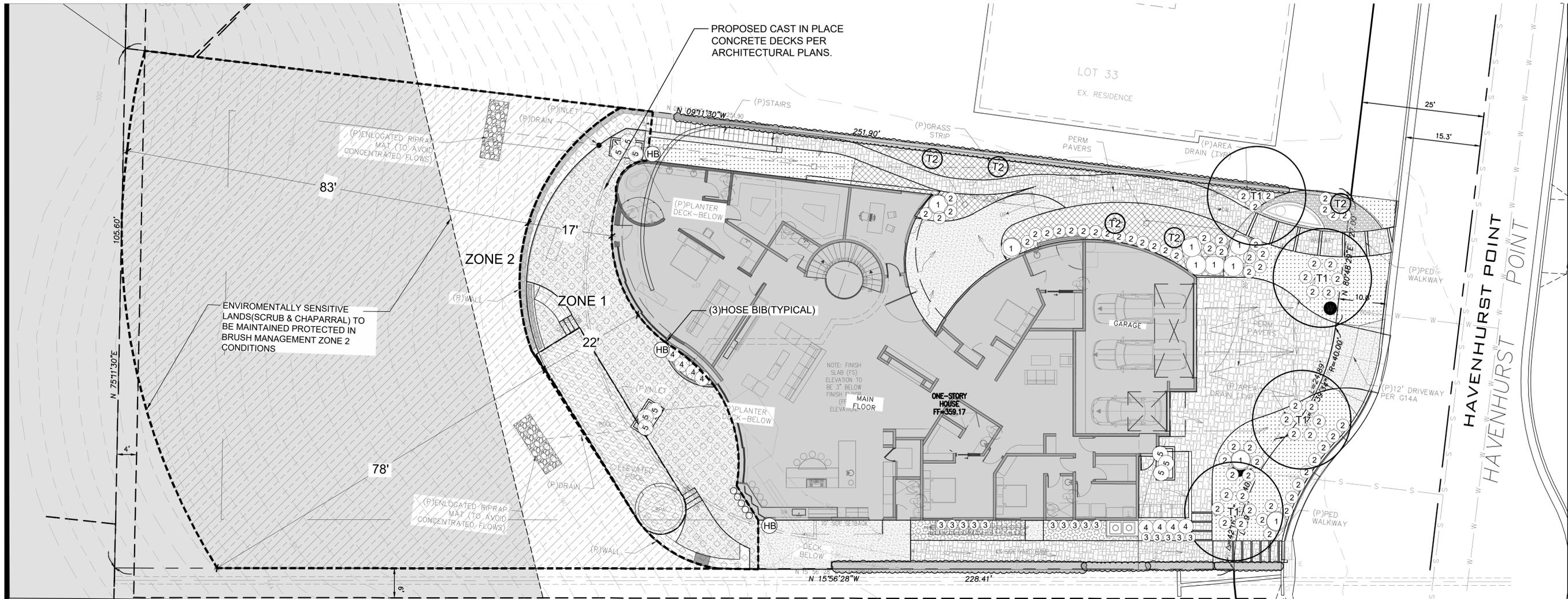
IRRIGATION NOTE
 DETAILED IRRIGATION DRAWINGS WILL BE REQUIRED WITH THE SUBSEQUENT CONSTRUCTION PERMITS.

SHEET INDEX

SHEET NO.	DESCRIPTION
L-1	LANDSCAPE PLAN
L-2	BRUSH MANAGEMENT PLAN
L-3	HYDROZONE DIAGRAM & MAWA CALCS



PLOT DATE: 08-09-23



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
 110 COPPERWOOD WAY # P
 OCEANSIDE CA 92058
 #760-716-3100 LLA#5299



SHEET TITLE:
BRUSH MANAGEMENT PLAN

BRUSH MANAGEMENT NOTES (SDMC 142.0412):

(g) ZONE ONE REQUIREMENTS

1. THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
2. ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
3. PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
4. TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - a. WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - b. WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
6. ZONE ONE IRRIGATION OVER SPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
7. ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

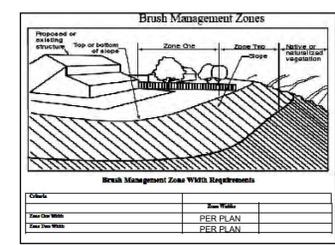
(h) ZONE TWO REQUIREMENTS

1. THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
2. NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
3. WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.

4. WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
5. THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - a. ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - b. NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - c. ALL NEW ZONE TWO PLANTING SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVER SPRAY AND RUN OFF FORM THE IRRIGATION SHALL NOT DRIFT OR FLOW IN THE ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEM SHALL BE REMOVED UPON APPROVED ESTABLISHED OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - d. WHERE ZONE TWO IS BEING RE-VEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), RE-VEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
6. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
7. EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

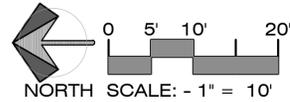
ADDITIONAL NOTES:

1. OFF-SITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE AND RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSH/WEED COMPLIANT LINE AT: (619)533-4444
2. EXISTING INVASIVE PLANT SPECIES SHALL BE REMOVED.
3. STRUCTURES IN ZONE 1 SHALL BE OF NONCOMBUSTIBLE, ON-HOUR FIRE-RATED, OR TYPE IV HEAVY TIMBER CONSTRUCTION.



IRRIGATION NOTE
 DETAILED IRRIGATION DRAWINGS WILL BE REQUIRED WITH THE SUBSEQUENT CONSTRUCTION PERMITS.

BRUSH MANAGEMENT ALTERNATE COMPLIANCE
 WALLS ON NORTH SIDE OF BUILDING FACING VEGETATION AREAS WILL BE TYPE IV HEAVY TIMBER CONSTRUCTION & POOL DECK/DECK BELOW POOL WILL BE BUILT OF C.I.P. (CAST IN PLACE) CONCRETE WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE/DUAL TEMPERED FIRE RATED LAMINATED GLASS. ALL OVERHANGS WILL BE FITTED WITH AUTOMATIC SPRINKLERS SUPPRESSION SYSTEMS, ALL AREAS WILL BE FINISHED WITH FIRE RESISTIVE STUCCO.



MISC. BRUSH MANAGEMENT NOTES:

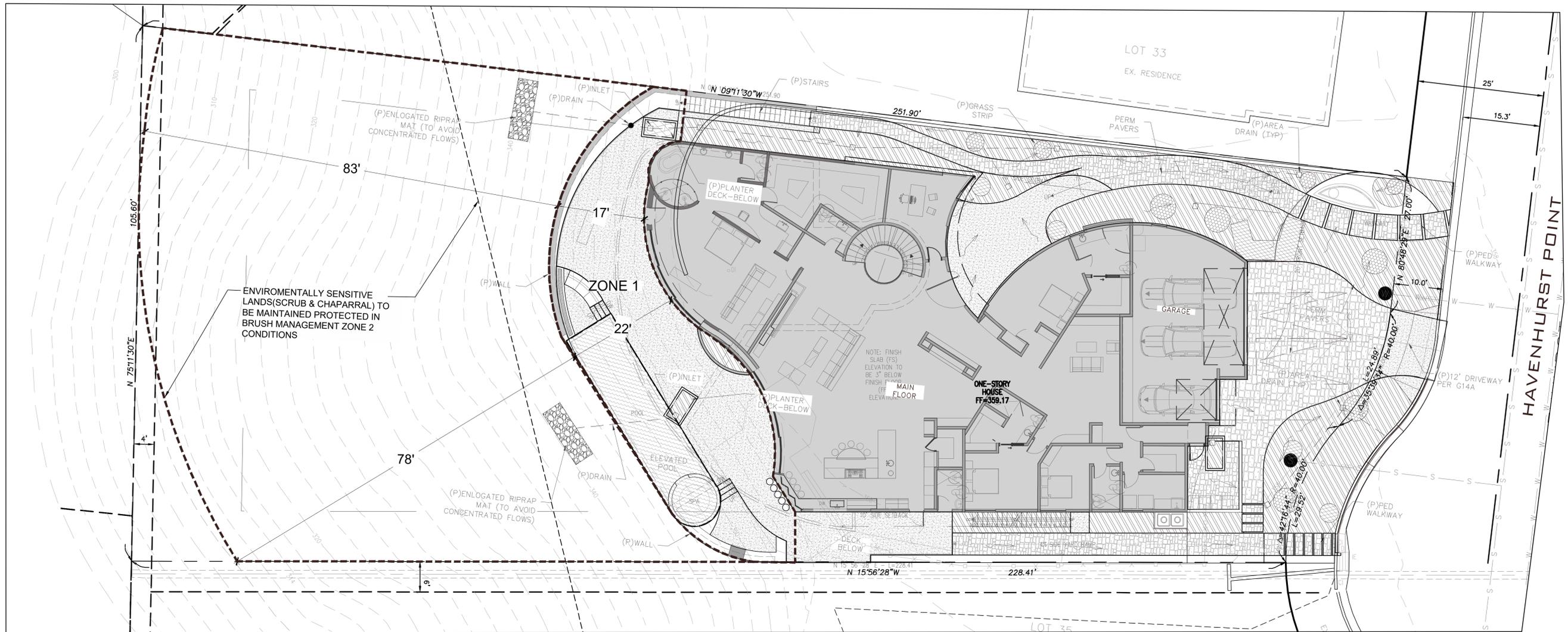
1. CONDUCT REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE TO MINIMIZE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES, EROSION AND SLOPE FAILURE. EACH PROPERTY IS UNIQUE THEREFORE PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.
2. THIS IS THE MOST CRITICAL AREA FOR FIRE SAFETY. KEEP ALL ORNAMENTAL PLANTS WELL WATERED. CLEAN RAIN GUTTERS AND DRAINAGE PIPES REGULARLY AND REMOVE ALL LEAVES FROM ROOFTOPS BEFORE THE FIRE SEASON BEGINS. PRUNE ALL TREES AND SHRUBS ON A REGULAR BASIS TO REDUCE COMBUSTIBLE MATERIAL AND PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
3. REMOVE DEAD WOODY PLANTS AND WEEDS. TO RETAIN SOIL WHEN REMOVING DEAD PLANT OR WEEDS, TRIM TO A WHEN SHORT STUBBLE RATHER THAN EXCAVATING PLANT BY THE ROOTS. PRUNE NATIVE SHRUBS IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE FUEL. INSPECT DRAINAGE DEVICES ON SLOPES AFTER EACH STORM TO KEEP CLEAR OF DEBRIS AND SOIL. PERIODICALLY SHEAR GROUNDCOVERS AND REMOVE THATCH. PRUNE DEAD WOOD FORM SHRUBS AND TREES.
4. DUE TO RECENT FIRES, THE BRUSH MANAGEMENT ZONES ARE SUBJECT TO CHANGE. THE FIRE CHIEF MAY REQUIRE ADDITIONAL ZONE WIDTHS OR ARCHITECTURAL TREATMENT TO THE STRUCTURE.
5. NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE NON-IRRIGATED AREA ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
6. GRADED / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION. IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITHIN 30 DAYS OF GRADING HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH
7. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASONS OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING BE CONSISTENT WITH THE CONDITIONS OF THE SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN.

PROJECT:
**GARCIA RESIDENCE
 812 HAVENHURST PT.
 SAN DIEGO, CA 92037**

REVISIONS

DRAWN	JR
APPROVED	SC
JOB NO.	SRC21109
DATE	08-09-23
SCALE	AS SHOWN
SHEET	12

PLOT DATE: 08-09-23



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
 110 COPPERWOOD WAY # 9
 OCEANSIDE CA 92058
 #760-716-3100 LLA#5299



SHEET TITLE:
HYDROZONE DIAGRAMS & MAWA CALCULATIONS

PROJECT:
**GARCIA RESIDENCE
 812 HAVENHURST PT.
 SAN DIEGO, CA 92037**

REVISIONS:

 DRAWN: JR
 APPROVED: SC
 JOB NO.: SRC21109
 DATE: 12-18-23
 SCALE: AS SHOWN
 SHEET: 12

Legend for MAWA Water Budget Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year); see Table 6 or ETo Map
0.62	Conversion factor to gallons
ETAF	Evapotranspiration Adjustment Factor
0.55 for residential landscape areas; 0.45 for non-residential landscape areas	
LA	Landscape Area (square feet)
1-ETAF	Additional Evapotranspiration Adjustment Factor for Special Landscape Areas and Reclaimed Water
0.45 for residential landscape areas; 0.55 for non-residential landscape areas	
SLA	Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

MAWA Water Budget calculation = $(ET_o)(0.62) [(ETAF)(LA) + (1-ETAF)(SLA)]$ = gallons per year

$(40)(.62)[(.45)(2,716)+0]$
 $(24.8)(1,222.2)$
 30,310.56

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area - (square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead Spray devices)
SLA	Special Landscape Area (square feet)

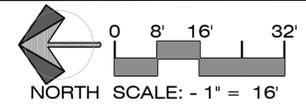
Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area	
1	1	1	0.2	1,890	drip	.81	69.6	
1	2	2	0.7	120	drip	.81	4.4	
1	3	3	0.4	252	bubbler	.81	9	
1	4	POOL	0.7	454	POOL	.75	17	
							2,716sq.ft.	Total 100

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget-MAWA.

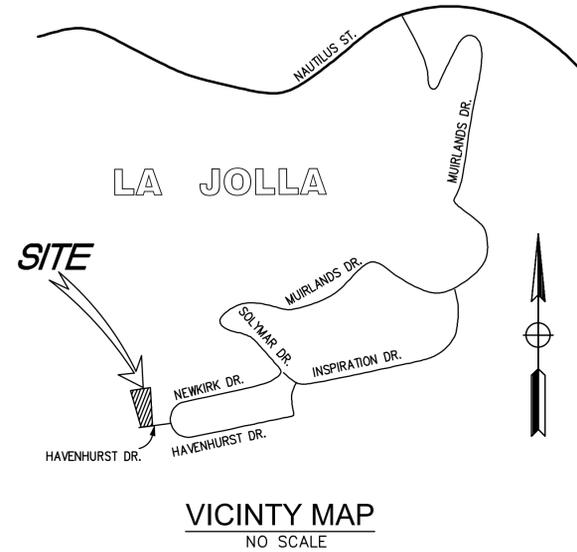
Controller No.	ETWU $[(ET_o)(0.62)][(PF)(HA)] + SLA$	Result in Gallons per Year
1	$(40)(.62)[(.2)(1,890)/.81]+0$	11,574.16
1	$(40)(.62)[(.7)(120)/.81]+0$	2,571.76
1	$(40)(.62)[(.4)(252)/.81]+0$	3,037.6
1	$(40)(.62)[(.7)(454)/.75]+0$	6,004.83
Total ETWU gallons per year		23,238.35

MAWA = 30,310.56



HYDROZONE MAP LEGEND

SYM	ZONE/DESCRIPTION	L.A.
[Symbol]	ZONE 1/SHRUBS - LOW DRIP	1,890sq.ft.
[Symbol]	ZONE 2/SHRUBS - HIGH DRIP	120sq.ft.
[Symbol]	ZONE 3/TREES - MOD. BUBBLER	252sq.ft.
[Symbol]	ZONE 4/POOL - HIGH	454sq.ft.
TOTAL LANDSCAPE AREA =		2,716sq.ft.



APN: 357-080-05
SITE AREA: 0.51 ACRES (22,071 SQUARE FEET)

GRADING TABULATION:
 AMOUNT OF SITE AREA TO BE GRADED: 13,800 SF APPROX.
 AMOUNT OF CUT (1.5:1 MAX): 3,700 CY
 AMOUNT OF FILL (2:1 MIN): 0.0 CY
 HEIGHT OF CUT/FILL (UNDER BLDG.): CUT: 14' MAX, FILL: 0' MAX
 HEIGHT OF CUT/FILL (OUTSIDE BLDG.): CUT: 13' MAX, FILL: 0' MAX
 AMOUNT OF EXPORT OF SOIL: 3,700 CY
 RETAINING WALLS: NA

IMPERVIOUS DATA TABLE:

TOTAL DISTURBANCE AREA	14,200 SF
EXISTING AMOUNT OF PERVIOUS AREA	14,386 SF
PROPOSED AMOUNT OF PERVIOUS AREA	12,111 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	7,685 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	9,960 SF
IMPERVIOUS % INCREASE	23 %

CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.
 2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

ENGINEER OF WORK

VICTOR RODRIGUEZ-FERNANDEZ, R.C.E. NO. 35373 DATE



SHEET INDEX:
 C-1 - TITLE SHEET
 C-2 - GRADING & DRAINAGE PLAN
 C-3 - BMP PLAN

BENCHMARK:
 CITY OF SAN DIEGO BENCH MARK NO. 9418, BRASS PLUG LOCATED ON THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF HAVENHURST PL. AND HAVENHURST DR.

ELEVATION: 384.626 FEET M.S.L.
LEGAL DESCRIPTION:
 LOT 34 OF MUIRLANDS POINT, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3035, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1953.

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY WAS OBTAINED FROM EASTERLY LINE OF PARCEL 34 AS SHOWN ON MAP I.E. N9°11'30"W

FEMA FLOOD ZONE:
 SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. MINIMAL FLOOD HAZARD

TOPOGRAPHIC SURVEY:
 FIELD SURVEY PERFORMED BY CIREMELE SURVEYING ON 11/02/20

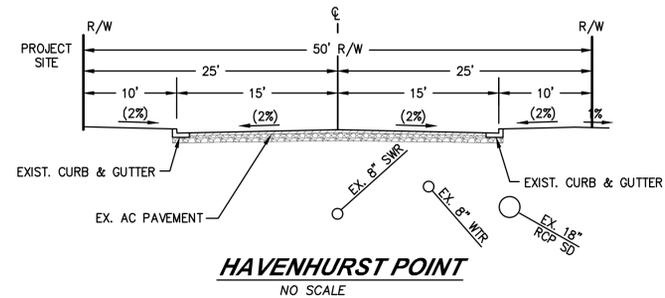
ZONING:
 EXISTING: R-1 SINGLE
 PROPOSED: R-1 SINGLE

PROPERTY OWNER:
 LUIS GARCIA
 812 HAVENHURST POINT
 LA JOLLA, CA 92037

PROJECT ADDRESS:
 812 HAVENHURST POINT
 LA JOLLA, CA 92037

CDP Approval No. 2586783
 SDP Approval No. 2586785

- SITE DEVELOPMENT NOTES:**
- NO SHRUBS MORE THAN 3' FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN TEN FEET OF ANY PUBLIC SEWER MAINS OR WATER SERVICES. NO TREES OR ANY KIND OF LANDSCAPING SHALL BE INSTALLED WITHIN WATER/SEWER ACCESS EASEMENT.
 - NO OBJECTS GREATER THAN 36" ALLOWED ON SIGHT TRIANGLES
 - NO RUNOFF INCREASE ONTO ADJACENT PROPERTIES
 - AT THE STORMWATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE NON-ERODIBLE VELOCITIES.
 - NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
 - NO SOIL DISTURBANCE OR ENCROACHMENT IS PROPOSED ON ADJACENT PROPERTIES.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
 - ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WILL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY.



NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION

#1 - 1.21.2022
#2 - 9.26.2022
#3 - 10.8.2022
#4 - 9.1.2023
#5 - 01.08.2024
#6 - 02.15.2024
#7 - 03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:

8.19.2021

CITY SUBMITTAL:

SAN DIEGO CA.

SCALE:

INDICATED IN DRAWING

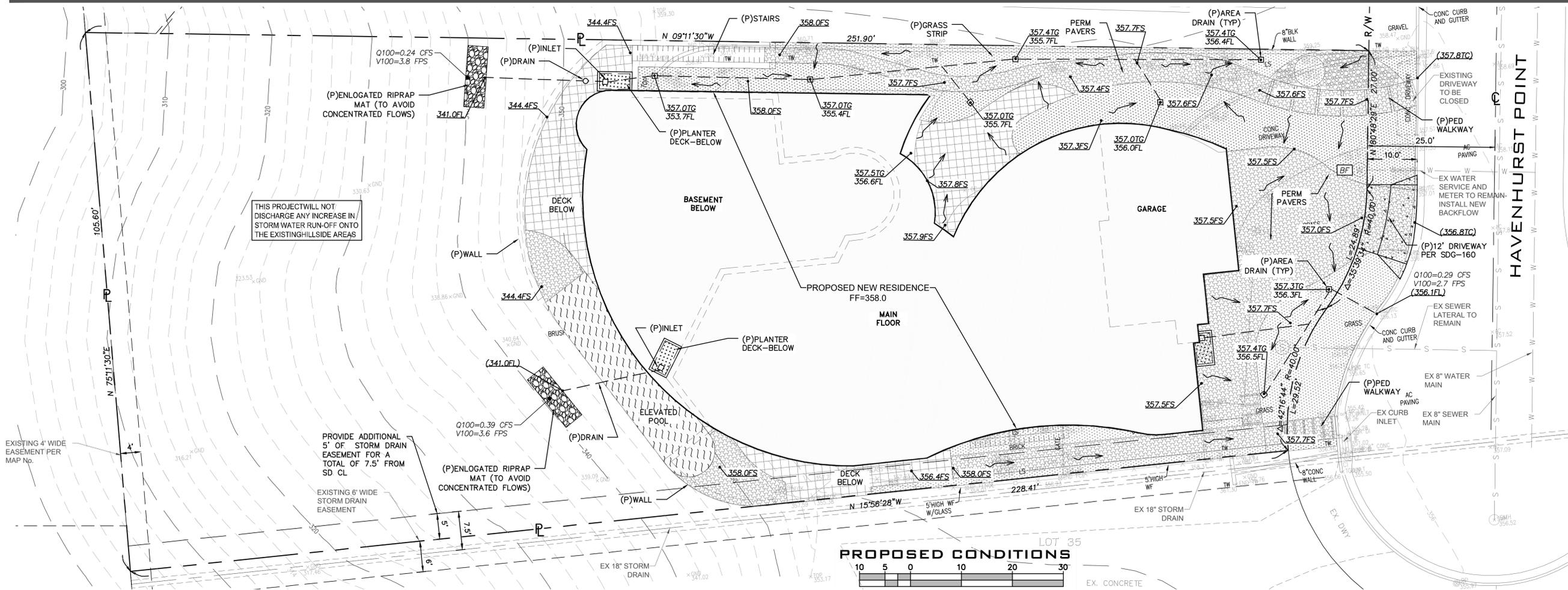
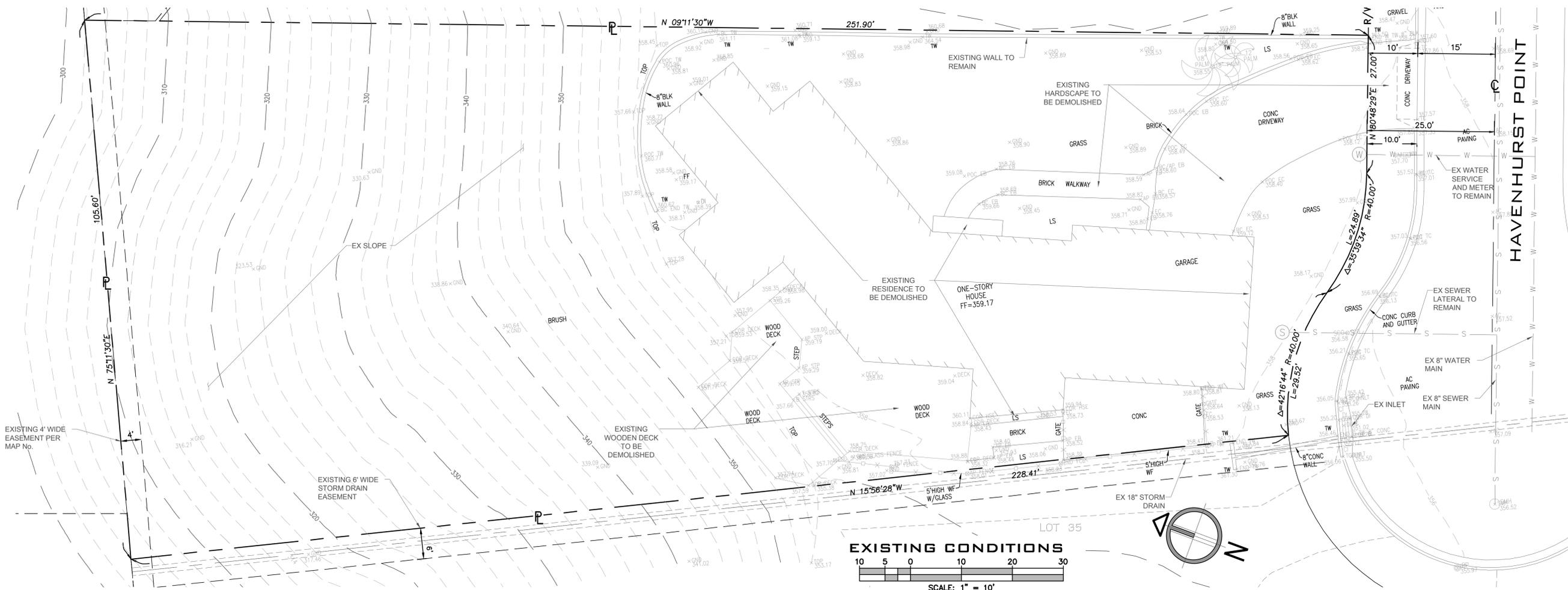
DRAW:

E.M.

JOB No.

SHEET TITLE:

TITLE PAGE



NORTH

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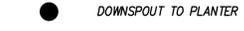
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CITY SUBMITTAL:	SAN DIEGO CA.
SCALE:	INDICATED IN DRAWING
DRAW. E.M.	
JOB No.	

SHEET TITLE:
DRAINAGE PLAN

POST CONSTRUCTION BMP LEGEND



PLANTER BOX



DOWNSPOUT TO PLANTER

POST-CONSTRUCTION BMPS

THIS PROJECT PROPOSES POST-CONSTRUCTION BEST MANAGEMENT PRACTICES AND LID MEASURES REQUIRED UNDER THE CITY OF SAN DIEGO STORM WATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE (SECTION 43.03).

LOW IMPACT/SITE DESIGN BMPs

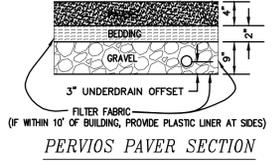
- IMPERVIOUS AREA DISPERSION (SD-5)
THE PROJECT DRAINS ROOF TOP RUNOFF INTO CLOSE BY LAWN AREAS WITH A MINIMUM LENGTH OF 10' AND MAXIMUM GRADE OF 5%.

- DISPERSE RUNOFF TO ADJACENT LANDSCAPING
THE PROJECT DRAINS WALKWAYS, PATIOS AND DECKS INTO ADJACENT LANDSCAPED AREAS.

SOURCE CONTROL BMPs

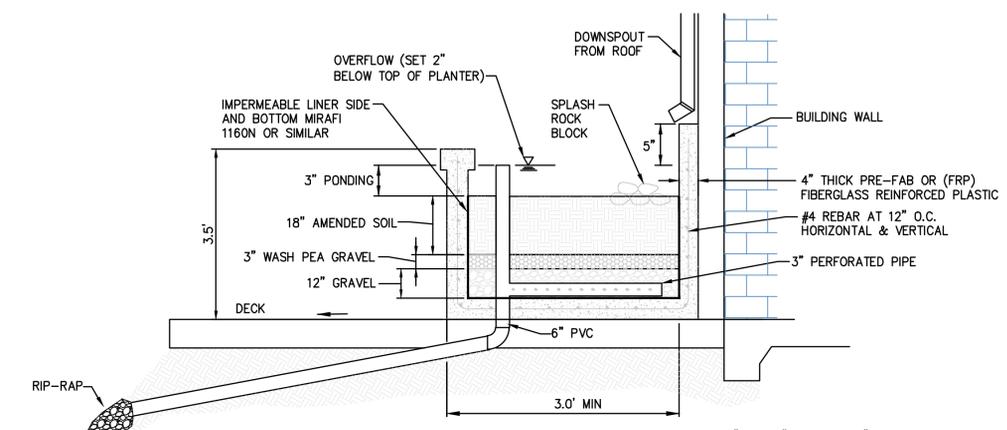
- EMPLOY INTEGRATED PEST MANAGEMENT PRINCIPLES (SC-6)
IPM EDUCATIONAL MATERIALS SHOULD BE DISTRIBUTED TO FUTURE SITE RESIDENTS AND TENANTS. THESE EDUCATIONAL MATERIALS SHOULD ADDRESS THE FOLLOWING:
USE OF BARRIERS, SCREENS, AND CAULKING TO KEEP PESTS OUT OF BUILDINGS AND LANDSCAPING.
a. PHYSICAL PEST ELIMINATION TECHNIQUES, SUCH AS WEEDING, WASHING, OR TRAPPING PESTS.
b. RELYING ON NATURAL ENEMIES TO ELIMINATE PESTS.
c. PROPER USE OF PESTICIDES AS A LAST LINE OF DEFENSE.

- USE NON-TOXIC ROOFING MATERIALS WHERE FEASIBLE:
THE PROJECT WILL AVOID THE USE OF GALVANIZED STEEL OR COPPER FOR ROOFS, GUTTERS, AND DOWNSPOUTS. THE PROJECT WILL AVOID COMPOSITE ROOFING MATERIALS THAT CONTAIN COPPER.



PERVIOUS PAVER SECTION
(IF WITHIN 10' OF BUILDING, PROVIDE PLASTIC LINER AT SIDES)

B PERVIOUS PAVER SECTION
NOT TO SCALE

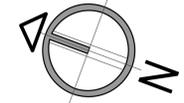
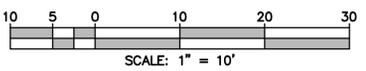
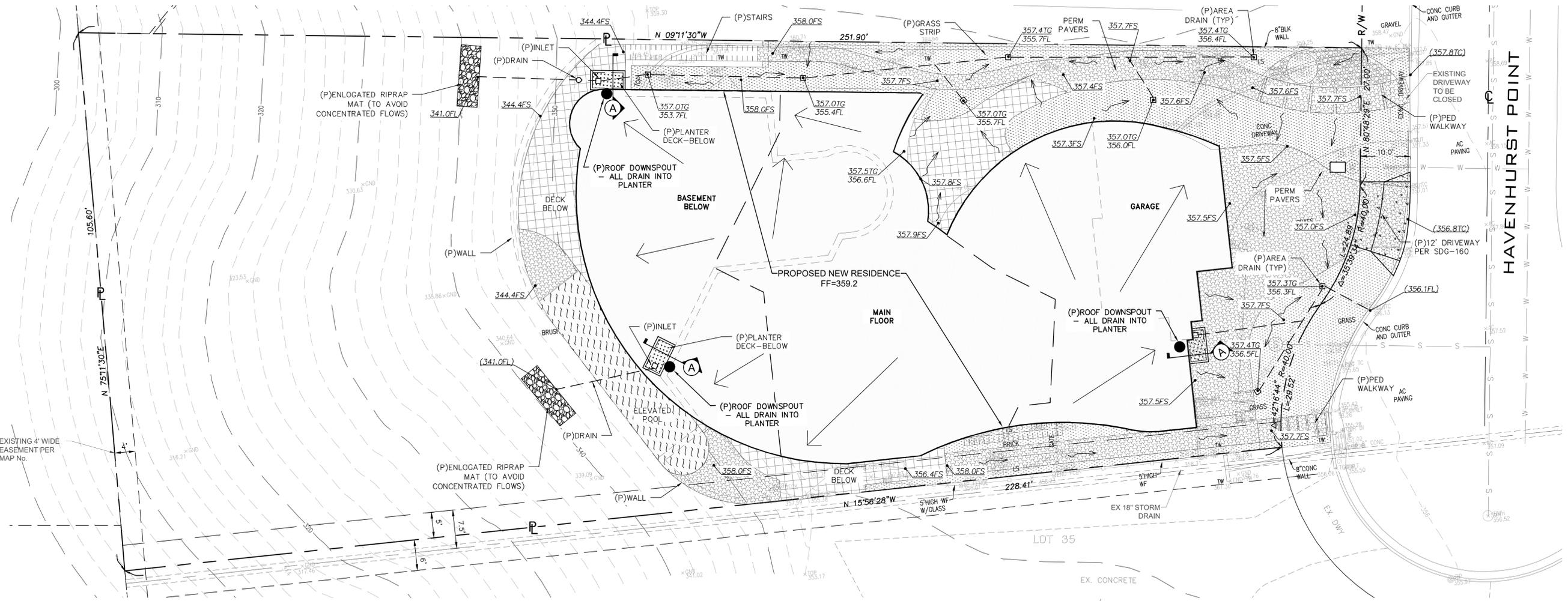


A DISPERSION AREA DETAIL FOR SIDE OF BLDG.
NOT TO SCALE

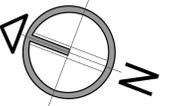
BIORETENTION ENGINEERED SOIL LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50 TO 60% SAND, 20 TO 30% COMPOST OR HARDWOOD MULCH, AND 20 TO 30% TOPSOIL.

HATCH LEGEND

- PROPOSED PAVER
- PROPOSED PERMEABLE PAVER
- PROPOSED POOL



SCALE: 1" = 10'



NORTH

PRJ 0697754
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GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

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DRAW.

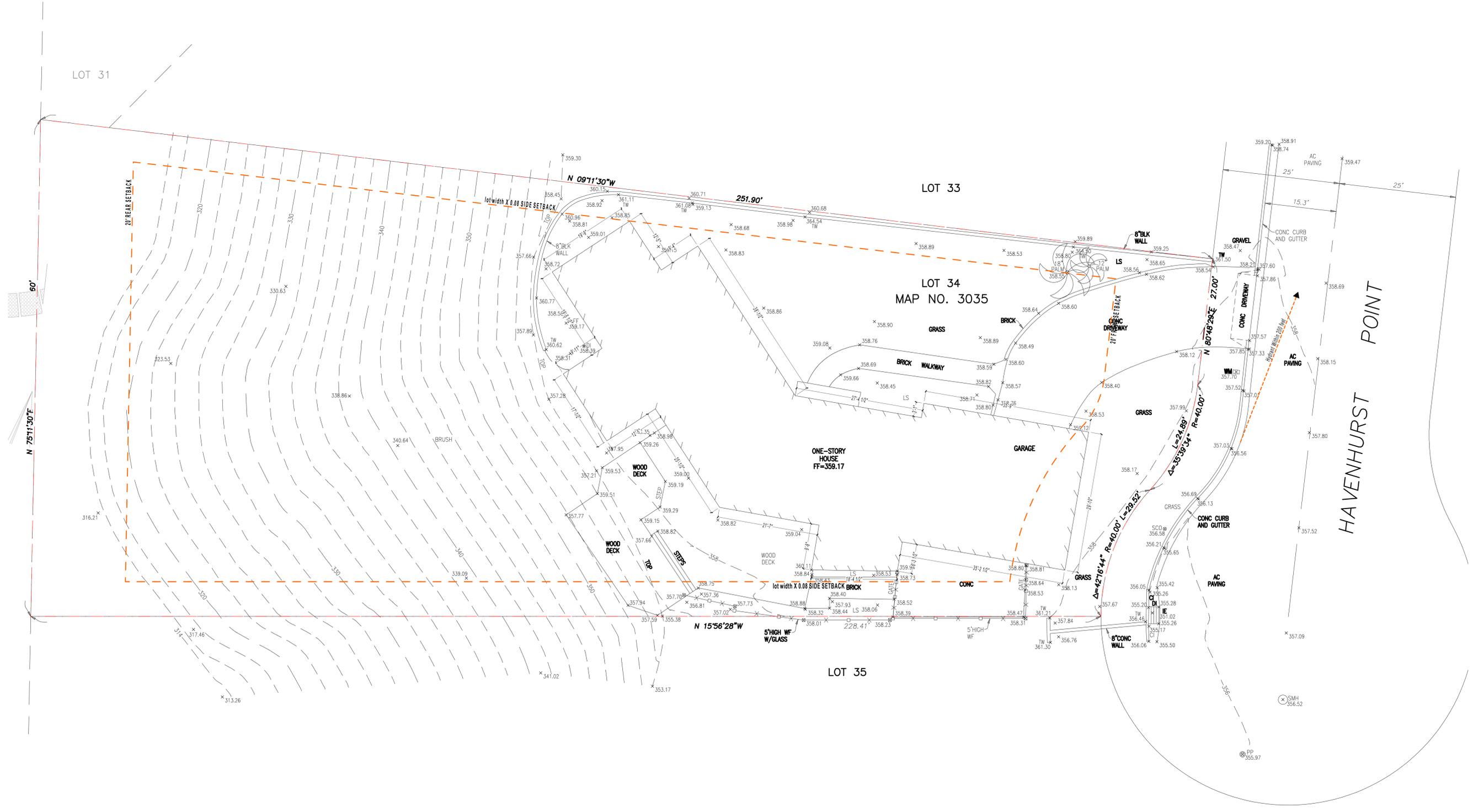
E.M.

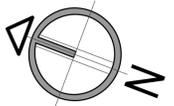
JOB No.

SHEET TITLE:

TOPOGRAPHIC

A.001





NORTH

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 SDP 2586785

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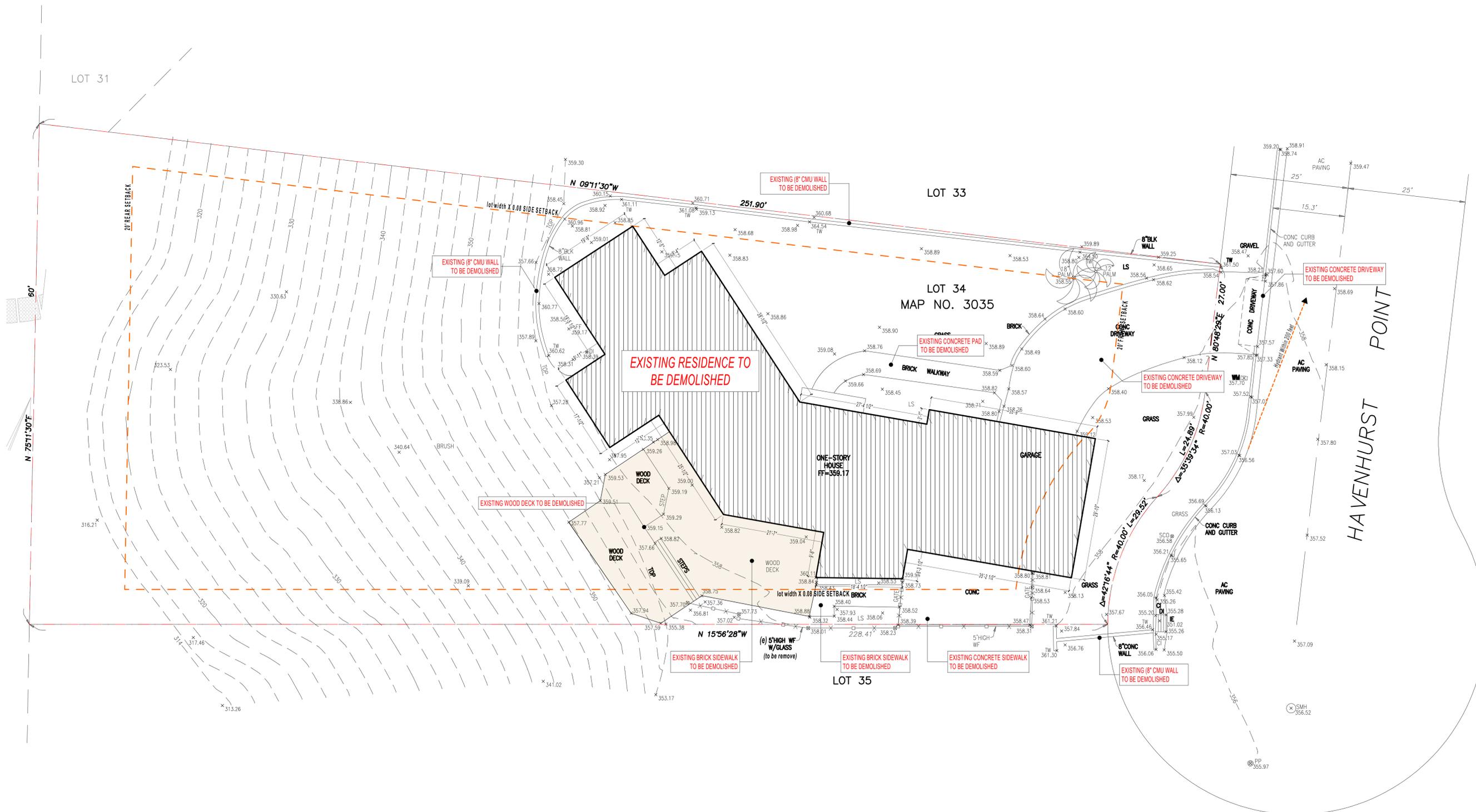
DRAW.

E.M.

JOB No.

SHEET TITLE:

DEMO PLAN



FORM DS-560 September 2021 Stormwater Requirements Applicability Checklist

Project Address: 812 HAVENHURST PT Project Number: 697754

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities...
2. Does the project propose construction or demolition activity...
3. Does the project propose routine maintenance to maintain the original line and grade...
4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit, Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.

Check one of the boxes below and continue to Part B

- If you checked "Yes" for question 1, an SWPPP is REQUIRED - continue to Part B
If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B
If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

More information on the City's construction BMP requirements as well as CGP requirements can be found at http://www.sandiego.gov/stormwaterregulation/index.shtml

CLEAR FORM

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P1

PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction.

Complete Part B and continue to Section 2

- 1. ASBS
2. High Priority
3. Medium Priority
4. Low Priority

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
If "no" is checked for all the numbers in Part C: Continue to Part D.
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

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P2

PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" is checked for all questions in Part D, continue to Part E.

- 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?
2. Does the project ONLY include reroofing or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

PART E - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- 1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

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P3

- 7. New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).
8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.
9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534 or 7536-7539.
10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.

PART F - Select the appropriate category based on the outcomes of Part C through Part E

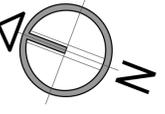
- 1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance.
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance.
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management.

Alex Parra Project Manager
Name of Owner or Agent Title
Signature alexandroparra Date 03/20/2023

CLEAR FORM

Visit our web site: sandiego.gov/dsd Upon request, this information is available in alternative formats for persons with disabilities.

P4



NORTH

PRJ 0697754 CDP 2586783 SDP 2586785

REVISION table with columns for revision number, date, and description.

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

Standard Development Project Storm Water Quality Management Plan (SWQMP)

812 Havenhurst Point. La Jolla CA 92037

PTS 686301

Prepared For: Luis Garcia

Prepared By: AP Consulting Inc 619 227 8941

Source Control BMP Checklist for Standard Projects Form I-4A. Table with columns for Source Control Requirement, Applied?, Yes, No, N/A.



Site Design BMP Checklist for Standard Projects Form I-5A. Table with columns for Site Design Requirement, Applied?, Yes, No, N/A.

Answer for each source control and site design category shall be pursuant to the following:
"Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
"No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
"N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.



PROJECT NAME:

ADDRESS:

DATE: 01.08.2024

CITY SUBMITTAL: SAN DIEGO CA.

SCALE: INDICATED IN DRAWING

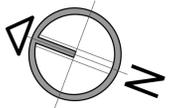
DRAW: E.M.

JOB No.

SHEET TITLE:

DS-560, SWQMP FORM

A.003



NORTH

PRJ 0697754
CDP 2586783
SDP 2586785

REVISION	#	DATE
	#1	1.21.2022
	#2	9.26.2022
	#3	10.8.2022
	#4	9.1.2023
	#5	01.08.2024
	#6	02.15.2024
	#7	03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:
1.8.2023

CITY SUBMITTAL:
SAN DIEGO CA.

SCALE:
INDICATED IN DRAWING

DRAW.
E.M.

JOB No.

SHEET TITLE:
SITE PLAN

A.004

CONTRACTOR NOTE
CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

GENERAL NOTES:

1. ALL SITE CONDITIONS ARE EXISTING U.O.N.
2. NO STREET IMPROVEMENTS OF ANY KIND ARE PROPOSED
3. NO WORK WITHIN R.O.W. IS PROPOSED
4. ALL NEW IMPERMEABLE SURFACES, DECKS, AND ROOF DOWN SPOUTS WILL DRAIN AND DISSIPATE DIRECTLY INTO LANDSCAPE AREAS
5. ALL MAIN DRAIN LINES TO BE 6" PVC @ 1% MIN. SLOPE, U.O.N.
6. ALL CATCH BASIN, WHERE USED, TO BE 4" BLACK PVC @ 2% MIN. SLOPE, U.O.N.
7. HARDCAPE GRADES TO BE MIN. 1% TO DRAINS AND AWAY FROM STRUCTURE(S)
8. SOFTSCAPE GRADES TO BE MIN. 2% TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MIN. AWAY FROM STRUCTURE(S)

WALL LEGEND

- (N) CMU RETAIN WALL w/ 2'4" WALL (PER EN INTERIOR FINISH: 1/2" DRYWALL U.O.O. EXTERIOR FINISH: WP - MATERIAL
- (N) 2'6" WALL RETAINING WALL INTERIOR FINISH: 1/2" DRYWALL U.O.O. EXTERIOR FINISH: 1/2" STUCCO U.O.O. FINISH PER (A.007)
- (N) 2'4" WALL INTERIOR FINISH: 1/2" DRYWALL U.O.O. EXTERIOR FINISH: 1/2" STUCCO U.O.O. FINISH PER (A.007)
- MAIN FLOOR AREA TO EXEMPT
- UPPER LEVEL PROJECTION

EARTHWORK TABULATIONS:

TOTAL DISTURBANCE AREA = xxx SF
AMOUNT OF CUT/FILL = xxx CU. YARDS
IMPORT / EXPORT = xxx CU. YARDS
MAXIMUM DEPTH OF CUT = 'x' - 'x'

IMPERVIOUS AREA, EXISTING = xxx SF
IMPERVIOUS AREA, PROPOSED = xxx SF
TOTAL IMPERVIOUS AREA = xxx SF

% OF TOTAL SITE = xxx SF / xxx = x%
MAXIMUM DEPTH OF CUT = 'x' - 'x'

SITE PLAN NOTES:

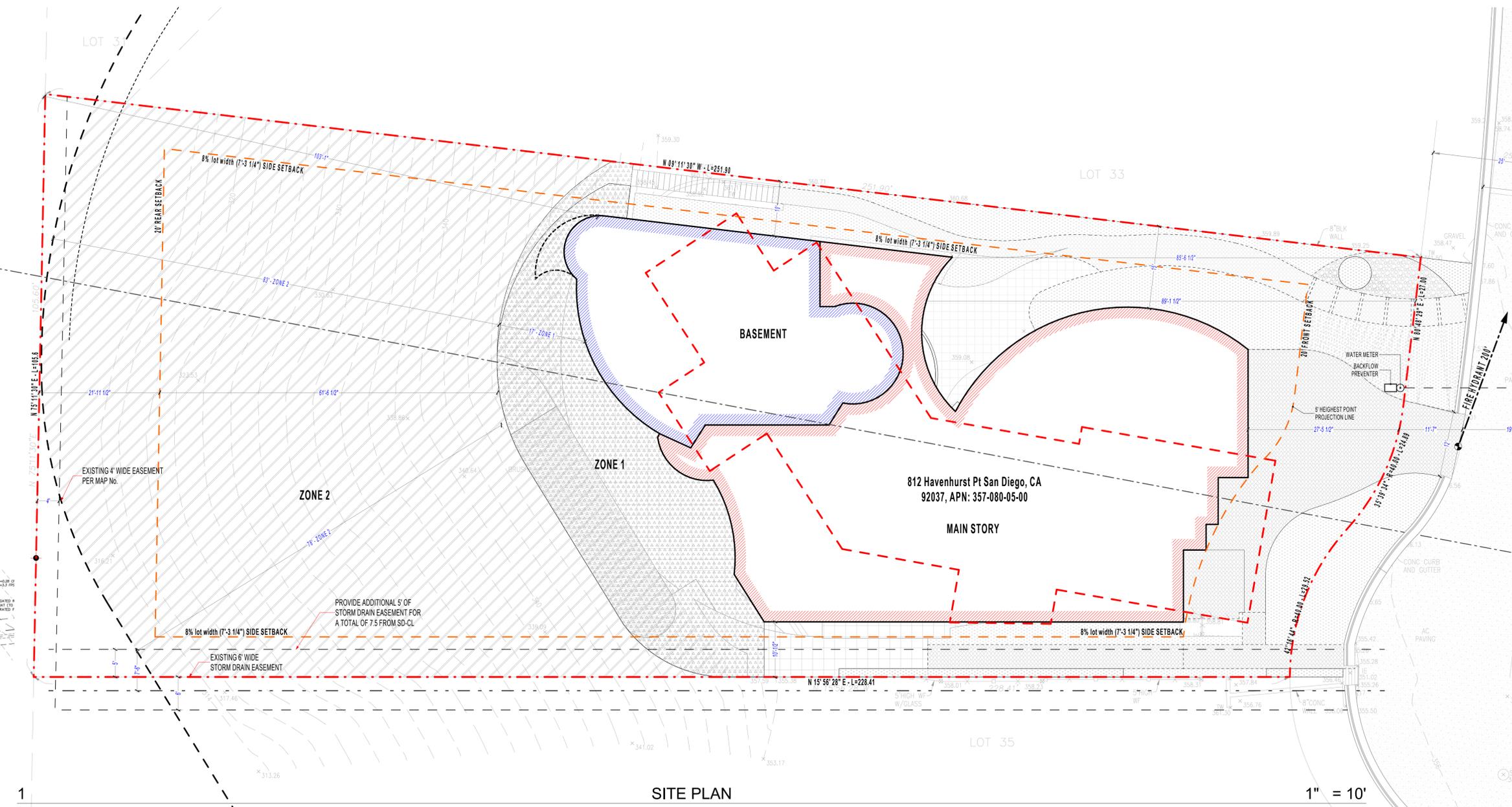
1. IN ACCORDANCE WITH RWQCB RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:
 - a. ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;
 - b. ARE DESIGNED TO PREVENT SOIL EROSION;
 - c. OCCUR ONLY DURING WET WEATHER; AND
 - d. ARE COMPOSED OF ONLY STORM WATER RUNOFF
2. THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB;
3. THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND
4. THE DISCHARGES:
 - a. ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;
 - b. ARE DESIGNED TO PREVENT SOIL EROSION;
 - c. OCCUR ONLY DURING WET WEATHER; AND
 - d. ARE COMPOSED OF ONLY STORM WATER RUNOFF
5. NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS AREAS IS PROHIBITED AS DEFINED IN ORDER NO. R9-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
7. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
9. MUNICIPAL CODE 142.0610(A) REQUIRES THAT ALL EXISTING PUBLIC IMPROVEMENTS AND DEDICATIONS BE UP TO CURRENT CITY STANDARDS PRIOR TO ISSUANCE OF BUILDING PERMIT.
10. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.

ADDITIONAL NOTES

1. THE ADU AND JADU SHALL NOT BE USED FOR A RENTAL TERM OF LESS THAN 31 CONSECUTIVE DAYS.
2. THE ADU AND JADU MAY NOT BE SOLD OR CONVEYED SEPARATELY FROM THE PRIMARY DWELLING UNIT.
3. SENSITIVE BIOLOGICAL RESOURCES THAT ARE OUTSIDE OF THE ALLOWABLE DEVELOPMENT AREA ON A PREMISES, OR ARE ACQUIRED AS OFF-SITE MITIGATION AS A CONDITION OF PERMIT ISSUANCE, ARE TO BE LEFT IN A NATURAL STATE AND USED ONLY FOR THOSE PASSIVE ACTIVITIES ALLOWED.
4. BEFORE APPROVAL OF THE SITE DEVELOPMENT PERMIT, THE APPLICANT SHALL EXECUTE AND RECORD IN FAVOR OF THE CITY A HARMLESS AND/OR INDEMNIFICATION AGREEMENT FOR THE APPROVED DEVELOPMENT.
5. MITIGATION MAY INCLUDE ANY OF THE FOLLOWING, AS APPROPRIATE TO THE NATURE AND EXTENT OF THE IMPACT: (A) DEDICATION IN FEE TITLE TO THE CITY OF SAN DIEGO, OR (B) DEDICATION OF A COVENANT OF EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO, THE CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE AND THE U.S. FISH AND WILDLIFE SERVICE FOR EITHER: (I) AN OFF-SITE LOCATION WITH LONG-TERM VIABILITY AND BIOLOGICAL VALUES EQUAL TO OR GREATER THAN THE IMPACTED SITE, AND WITH LIMITED RIGHT OF ENTRY FOR HABITAT MANAGEMENT, AS NECESSARY; OR ON-SITE CREATION OF NEW HABITAT, PRESERVATION OF EXISTING HABITAT OUTSIDE THE COASTAL OVERLAY ZONE, OR ENHANCEMENT OF EXISTING DEGRADED HABITAT, WITH LIMITED RIGHT OF ENTRY FOR HABITAT MANAGEMENT, AS NECESSARY. THE LOCATION OF THE EASEMENT MUST HAVE LONG-TERM VIABILITY AND BIOLOGICAL VALUES EQUAL TO OR GREATER THAN THE IMPACTED SITE. (II) IN OFF-SITE LOCATIONS OR ON-SITE, ZONE TWO BRUSH MANAGEMENT SHALL BE PLACED WITHIN A COVENANT OF EASEMENT, BUT MAY NOT QUALIFY FOR MITIGATION PURPOSES.

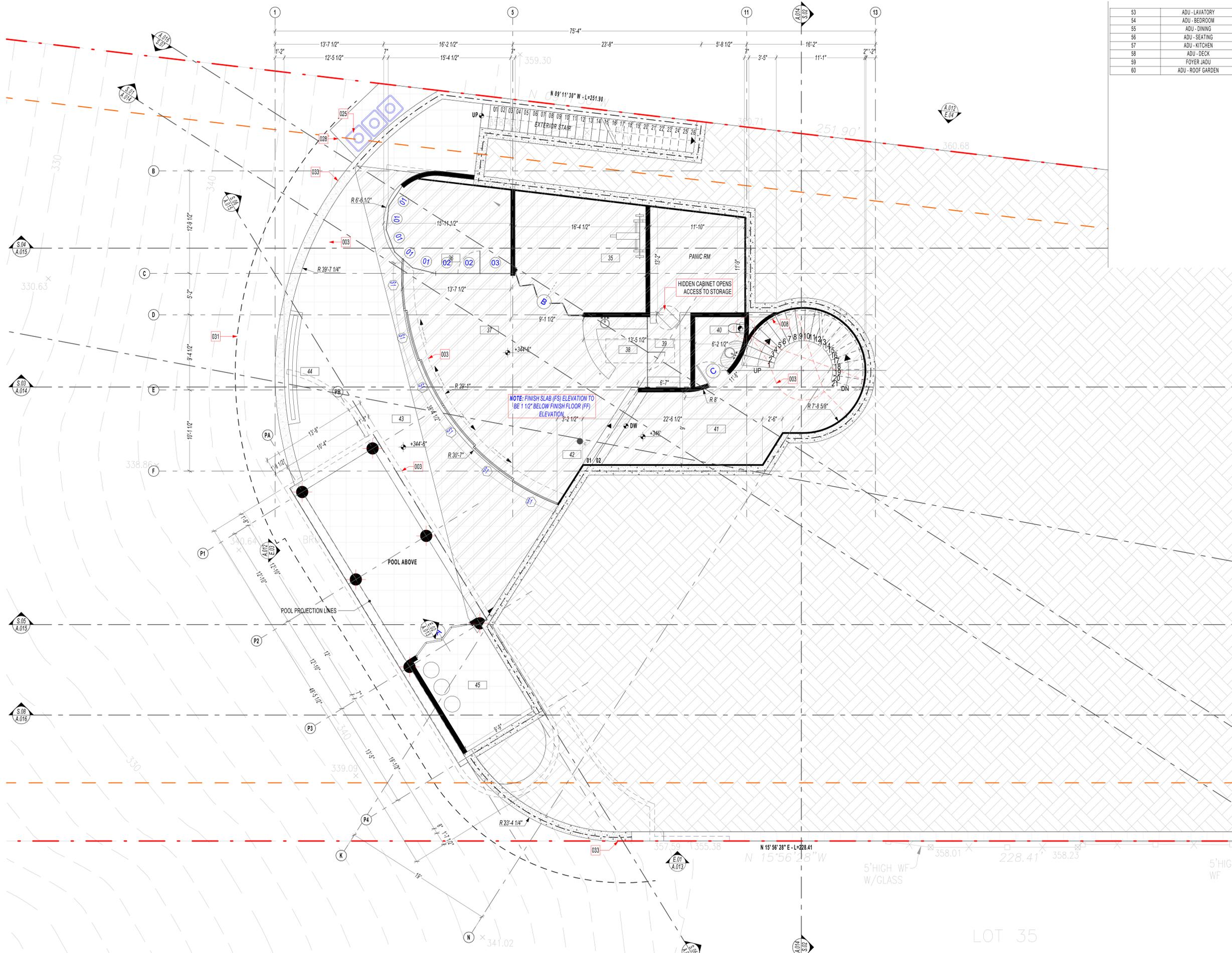
GENERAL NOTES II

1. PROPOSED BUILDING HEIGHT PER SAN DIEGO MUNICIPAL CODE 113.0270 (a) (6); THE OVERALL STRUCTURE HEIGHT IS MEASURED FROM THE LOWEST POINT OF EXISTING GRADE OR PROPOSED GRADE WITHIN 5 FEET OF THE STRUCTURE'S PERIMETER (BUILDING WALL, BALCONY, BAY WINDOW, OR SIMILAR ARCHITECTURAL PROJECTION) OR AT THE HIGHEST POINT OF THE STRUCTURE, PROJECTED HORIZONTALLY TO DIRECTLY ABOVE THIS LOWEST POINT OF GRADE, EXCEPT AS SPECIFIED IN SECTION 113.0270 (a) (6) THE OVERALL STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM PERMITTED STRUCTURE HEIGHT OF THE APPLICABLE ZONE PLUS AN AMOUNT EQUAL TO EITHER THE MAXIMUM GRADE DIFFERENTIAL WITHIN THE STRUCTURE'S FOOTPRINT OR 10 FEET, WHICHEVER IS LESS. IN NO CASE MAY THE STRUCTURE HEIGHT EXCEED THE MAXIMUM ALLOWED BY THE APPLICABLE ZONE AT ANY ONE POINT MEASURED PER SUANT TO SECTION 113.0270 (a) (3); 113.0270 (a) (7); STRUCTURE HEIGHT IS MEASURED SEPARATELY FOR EACH STRUCTURE THAT IS SEPARATED FROM ANOTHER STRUCTURE ON THE PREMISES BY 6 FEET OR MORE. 103.030A (K) MAXIMUM BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL BE ERRECTED, CONSTRUCTED, ALTERED, MOVED OR ENLARGED TO A GREATER HEIGHT THAN THIRTY (30) FEET.
2. PROVIDE BUILDING ADDRESS NUMBER VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.
3. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.



SITE PLAN

1" = 10'



53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
56	ADU - SEATING
57	ADU - KITCHEN
58	ADU - DECK
59	FOYER JADU
60	ADU - ROOF GARDEN

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

WALL LEGEND

- (N) CMU RETAINING WALL w/ 2'x4" WALL (PER ENG.)
 INTERIOR FINISH: 1/2" DRYWALL U.O.
 EXTERIOR FINISH: WP - MATERIAL
- (N) 2'x6" WALL NEW RETAINING WALL
 INTERIOR FINISH: 1/2" DRYWALL U.O.
 EXTERIOR FINISH: 1/2" STUCCO U.O. OR FINISH PER (A.007)
- (N) 2'x4" WALL
 INTERIOR FINISH: 1/2" DRYWALL U.O.
 EXTERIOR FINISH: 1/2" STUCCO U.O. OR FINISH PER (A.007)

MAIN FLOOR AREA TO EXEMPT

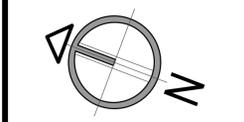
UPPER LEVEL PROJECTION

NOTE: ON ALL BATHS, POWDER, LAUNDRY AND KITCHEN SIDE USE 1/2" WATER RESISTANT GYP BD.

KEY NOTES

- 001. THUNDERBIRD COMMERCIAL BOTTOM OUTLET ROOF DRAIN WITH OVERFLOW AND DUAL CLAMPING RINGS.
- 002. ROOF GARDEN / POT PLANTER DRAIN, TBD.
- 003. UPPER LEVEL PROJECTION LINE.
- 004. 42" TEMPERED GLASS GUARD RAIL
- 005. THUNDERBIRD 5" BOWL DECK DRAIN WITH ADJUSTABLE GRATE.
- 006. ROOF GARDEN / POT PLANTER. PER LANDSCAPING PLAN
- 007. CABLE SYSTEM GUARD RAIL.
- 008. HAND RAIL PER ARCHITECTURAL DETAILS
- 009. STAIRS TEMPERED GLASS GUARD RAIL
- 010. NITCH PER FLOOR PLAN.
- 011. PIPES AND HVAC LINES SPACE.
- 012. CHIMNEYS PIPES VENT THRU ROOF SPACE.
- 013. 6" ROLLING OR PIVOT GATE DOOR WOOD DESIGN.
- 014. 6" WOOD FIX PANEL.
- 015. FOUNTAIN PER ARCHITECTURAL PLANS.
- 016. PEBBLES GRAVEL BROKEN OR CRUSHED STONE
- 017. OFF STREET PARKING PER SDMC.
- 018. 8" CMU WALL 3' HEIGHT.
- 019. PERFORMANCE 75 GAL. TALL 6 YEAR 76,000 BTU NATURAL GAS POWER VENT TANK WATER HEATER MODEL YG275706P17610.
- 020. 80 GAL. SEISMIC WATER HEATER RESTRAINING STRAP IN GALVANIZED STEEL
- 021. 30" BY 24" CLEARANCE AT FRONT OF WH
- 022. WH OVER AN 18" HIGH PLATFORM
- 023. B-VENT TERMINATION POINT
- 024. P&T VALVE TERMINATION POINT
- 025. GOODMAN GSX14 - 5 TON - AIR CONDITIONER - 14 NOMINAL SEER - SINGLE-STAGE - R-410A REFRIGERANT
- 026. 6'-6" CMU WALL.
- 027. BBQ APPLIANCE GRILL TBD.
- 028. 4" HVAC LOUVERED SCREEN FENCE
- 029. TRASH BINS PER CITY OF SAN DIEGO
- 030. 6" TEMPERED GLASS GUARD RAIL OVER BBQ COUNTERTOP.
- 031. 5' LOWEST POINT PROJECTION LINE
- 032. INFINITY POOL EDGE PER POOL DESIGNER
- 033. CMU RETAINING WALL PER STRUCTURAL ENG.

CDGI
 CONCEPTO
 T. 619.858.2345 F. 619.858.2344
 P.O. Box. 84180 San Diego Ca. 92138
 office@cdgius.com www.cdgius.com



PRJ 0697754
CDP 2586783
SDP 2586785

REVISION

#1	- 1.21.2022
#2	- 9.26.2022
#3	- 10.8.2022
#4	- 9.1.2023
#5	- 01.08.2024
#6	- 02.15.2024
#7	- 03.28.2024

ROOM LEGEND

ROOM No.	ROOM NAME
01	MB - BATHROOM
02	MB - TOILET
03	MB - WIC
04	OFFICE
05	POWDER
06	WET BAR
07	COSMETIC DESK
08	MB - BEDROOM
09	MB - SEATING
10	BALCONY
11	FIRE PIT
12	BBQ
13	KITCHEN
14	POOL BATHROOM
15	PANTRY
16	DINING RM
17	LIVING RM
18	FOYER
19	PATIO ACCESS
20	B01 - BEDROOM
21	B01 - BATHROOM
22	B01 - WIC
23	SEATING RM
24	3 CAR GARAGE
25	WHITE CLOSET
26	TRASH CAN PATIO
27	LAUNDRY RM
28	MAIDS BATHROOM
29	MAIDS BEDROOM
30	B02 - BEDROOM
31	B02 - WIC
32	B02 - BATHROOM
33	DRIVEWAY
34	LANDSCAPING
35	GYM
36	HIS OFFICE
37	PLAY RM
38	BAR
39	WINE CELLAR
40	POWDER
41	HALL
42	SEATING AREA
43	DECK
44	FIRE PIT
45	POOL MECHANICAL RM
46	FLAT ROOF
47	JADU - WIC
48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
51	ADU - TOILET RM
52	ADU - BATHROOM

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:
01.08.2024

CITY SUBMITTAL:
SAN DIEGO CA.

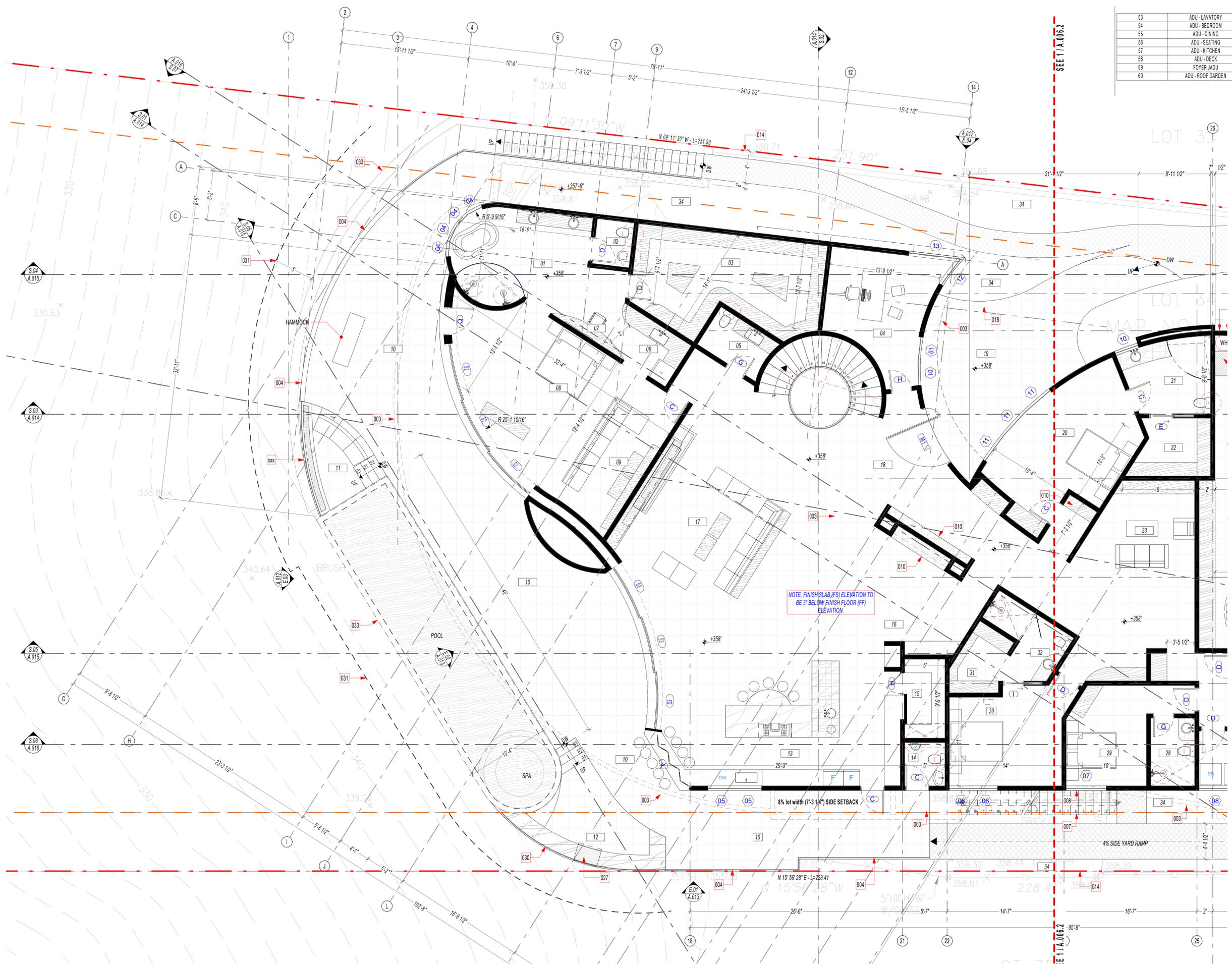
SCALE:
INDICATED IN DRAWING

DRAW. E.M.

JOB No.

SHEET TITLE:
LOWER LEVEL

A.005



53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
56	ADU - SEATING
57	ADU - KITCHEN
58	ADU - DECK
59	FOYER JADU
60	ADU - ROOF GARDEN

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

WALL LEGEND

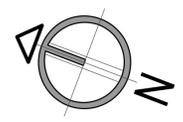
- (N) CMU RETAINING WALL w/ 2'x4" WALL (PER ENG.)
 INTERIOR FINISH: 1/2" DRYWALL U.O.
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MAIN FLOOR AREA TO EXEMPT

UPPER LEVEL PROJECTION

NOTE: ON ALL BATHS, POWDER, LAUNDRY AND KITCHEN SIDE USE 1/2" WATER RESISTANT GYP BO.

CDGI
 CONCEPTO
 T. 619.858.2345 F. 619.858.2344
 P.O. Box. 84180 San Diego Ca. 92138
 office@cdgius.com www.cdgius.com



KEY NOTES

001. THUNDERBIRD COMMERCIAL BOTTOM OUTLET ROOF DRAIN WITH OVERFLOW AND DUAL CLAMPING RINGS.
002. ROOF GARDEN / POT PLANTER DRAIN, TBD.
003. UPPER LEVEL PROJECTION LINE.
004. 42" TEMPERED GLASS GUARD RAIL.
005. THUNDERBIRD 5" BOWL DECK DRAIN WITH ADJUSTABLE GRATE.
006. ROOF GARDEN / POT PLANTER. PER LANDSCAPING PLAN.
007. CABLE SYSTEM GUARD RAIL.
008. HAND RAIL PER ARCHITECTURAL DETAILS.
009. STAIRS TEMPERED GLASS GUARD RAIL.
010. NITCH PER FLOOR PLAN.
011. PIPES AND HVAC LINES SPACE.
012. CHIMNEYS PIPES VENT THRU ROOF SPACE.
013. 6" ROLLING OR PIVOT GATE DOOR WOOD DESIGN.
014. 6" WOOD FIX PANEL.
015. FOUNTAIN PER ARCHITECTURAL PLANS.
016. PEBBLES GRAVEL BROKEN OR CRUSHED STONE.
017. OFF STREET PARKING PER SDMC.
018. 8" CMU WALL 3' HEIGHT.
019. PERFORMANCE 75 GAL. TALL 6 YEAR 76,000 BTU NATURAL GAS POWER VENT TANK WATER HEATER MODEL YG75T06P17R00.
020. 80 GAL SEISMIC WATER HEATER RESTRAINING STRAP IN GALVANIZED STEEL.
021. 30" BY 24" CLEARANCE AT FRONT OF WH.
022. WH OVER AN 18" HIGH PLATFORM.
023. B-VENT TERMINATION POINT.
024. P&T VALVE TERMINATION POINT.
025. GOODMAN GSX14 - 5 TON - AIR CONDITIONER - 14 NOMINAL SEER - SINGLE-STAGE - R-410A REFRIGERANT.
026. 6'-6" CMU WALL.
027. BBQ APPLIANCE GRILL TBD.
028. 4' HVAC LOUVERED SCREEN FENCE.
029. TRASH BINS PER CITY OF SAN DIEGO.
030. 6" TEMPERED GLASS GUARD RAIL OVER BBQ COUNTERTOP.
031. 5' LOWEST POINT PROJECTION LINE.
032. INFINITY POOL EDGE PER POOL DESIGNER.
033. CMU RETAINING WALL PER STRUCTURAL ENG.

ROOM LEGEND

ROOM No.	ROOM NAME
01	MB - BATHROOM
02	MB - TOILET
03	MB - WIC
04	OFFICE
05	POWDER
06	WET BAR
07	COSMETIC DESK
08	MB - BEDROOM
09	MB - SEATING
10	BALCONY
11	FIRE PIT
12	BBQ
13	KITCHEN
14	POOL BATHROOM
15	PANTRY
16	DINING RM
17	LIVING RM
18	FOYER
19	PATIO ACCESS
20	B01 - BEDROOM
21	B01 - BATHROOM
22	B01 - WIC
23	SEATING RM
24	3 CAR GARAGE
25	WHITE CLOSET
26	TRASH CAN PATIO
27	LAUNDRY RM
28	MAIDS BATHROOM
29	MAIDS BEDROOM
30	B02 - BEDROOM
31	B02 - WIC
32	B02 - BATHROOM
33	DRIVEWAY
34	LANDSCAPING
35	GYM
36	HIS OFFICE
37	PLAY RM
38	BAR
39	WINE CELLAR
40	POWDER
41	HALL
42	SEATING AREA
43	DECK
44	FIRE PIT
45	POOL MECHANICAL RM
46	FLAT ROOF
47	JADU - WIC
48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
51	ADU - TOILET RM
52	ADU - BATHROOM

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

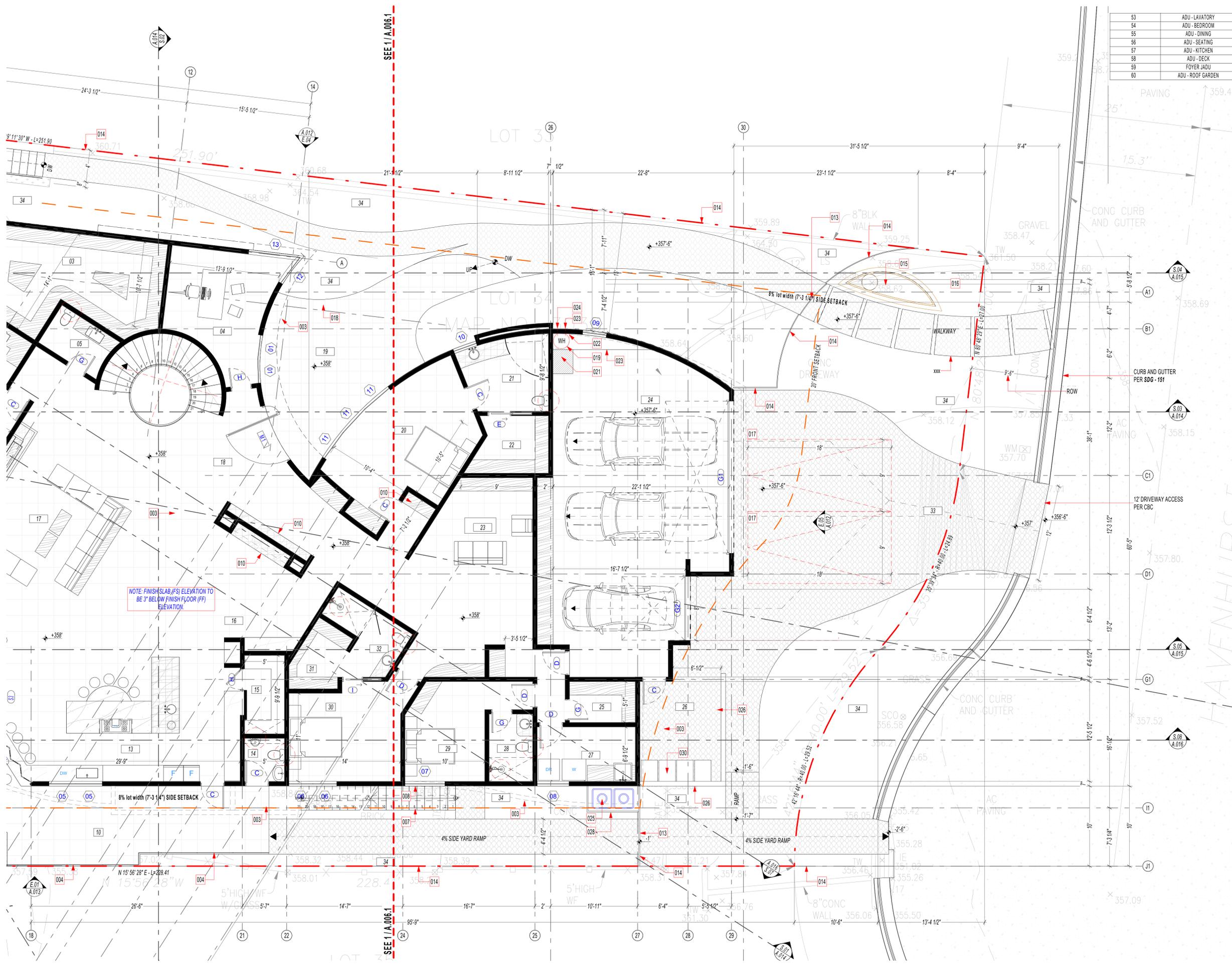
PROJECT NAME: ADDRESS:
 DATE: 01.08.2024
 CITY SUBMITTAL: SAN DIEGO CA.
 SCALE: INDICATED IN DRAWING
 DRAW. E.M.
 JOB No.

SHEET TITLE:
MAIN LEVEL NORTH

A.006.1

MAIN FLOOR

3/16" = 1'-0"



53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
56	ADU - SEATING
57	ADU - KITCHEN
58	ADU - DECK
59	FOYER JADU
60	ADU - ROOF GARDEN

CONTRACTOR NOTE
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WALL LEGEND

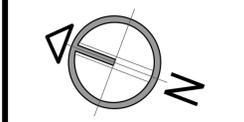
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PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION

#1	- 1.21.2022
#2	- 9.26.2022
#3	- 10.8.2022
#4	- 9.1.2023
#5	- 01.08.2024
#6	- 02.15.2024
#7	- 03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

ROOM LEGEND

ROOM No.	ROOM NAME
01	MB - BATHROOM
02	MB - TOILET
03	MB - WIC
04	OFFICE
05	POWDER
06	WET BAR
07	COSMETIC DESK
08	MB - BEDROOM
09	MB - SEATING
10	BALCONY
11	FIRE PIT
12	BBQ
13	KITCHEN
14	POOL BATHROOM
15	PANTRY
16	DINING RM
17	LIVING RM
18	FOYER
19	PATIO ACCESS
20	B01 - BEDROOM
21	B01 - BATHROOM
22	B01 - WIC
23	SEATING RM
24	3 CAR GARAGE
25	WHITE CLOSET
26	TRASH CAN PATIO
27	LAUNDRY RM
28	MAIDS BATHROOM
29	MAIDS BEDROOM
30	B02 - BEDROOM
31	B02 - WIC
32	B02 - BATHROOM
33	DRIVEWAY
34	LANDSCAPING
35	GYM
36	HIS OFFICE
37	PLAY RM
38	BAR
39	WINE CELLAR
40	POWDER
41	HALL
42	SEATING AREA
43	DECK
44	FIRE PIT
45	POOL MECHANICAL RM
46	FLAT ROOF
47	JADU - WIC
48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
51	ADU - TOILET RM
52	ADU - BATHROOM

PROJECT NAME: ADDRESS:

DATE:
 01.08.2024

CITY SUBMITTAL:
 SAN DIEGO CA.

SCALE:
 INDICATED IN DRAWING

DRAW.
 E.M.

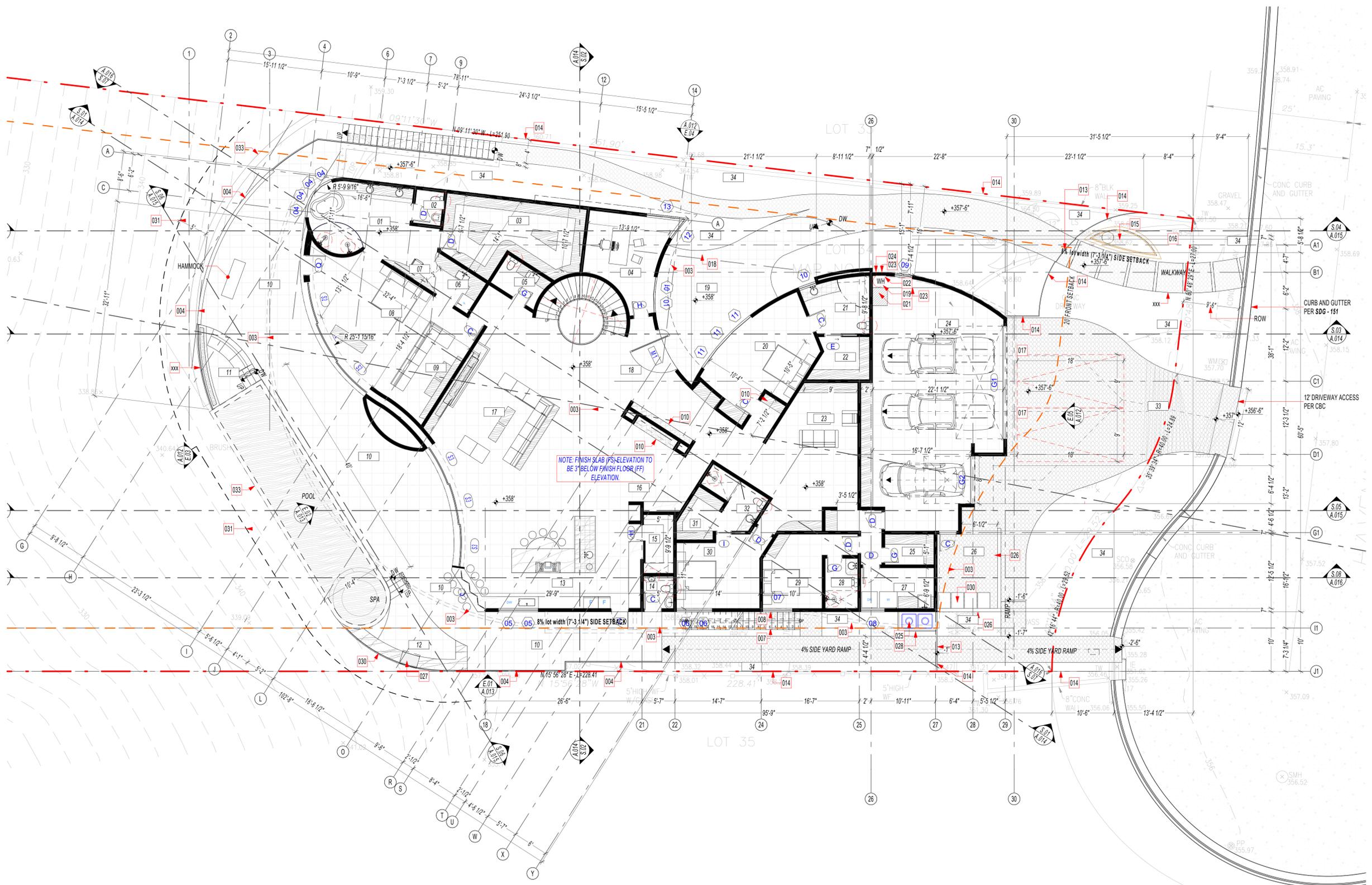
JOB No.

SHEET TITLE:
MAIN LEVEL SOUTH

A.006.2

MAIN FLOOR

3/16" = 1'-0"



MAIN LEVEL FLOOR PLAN

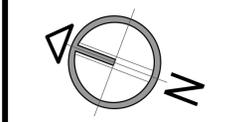
1/8" = 1'-0"

53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
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57	ADU - KITCHEN
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59	FOYER JADU
60	ADU - ROOF GARDEN

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- KEY NOTES**
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ROOM No.	ROOM NAME
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10	BALCONY
11	FIRE PIT
12	BBQ
13	KITCHEN
14	POOL BATHROOM
15	PANTRY
16	DINING RM
17	LIVING RM
18	FOYER
19	PATIO ACCESS
20	B01 - BEDROOM
21	B01 - BATHROOM
22	B01 - WIC
23	SEATING RM
24	3 CAR GARAGE
25	WHITE CLOSET
26	TRASH CAN PATIO
27	LAUNDRY RM
28	MAIDS BATHROOM
29	MAIDS BEDROOM
30	B02 - BEDROOM
31	B02 - WIC
32	B02 - BATHROOM
33	DRIVEWAY
34	LANDSCAPING
35	GYM
36	HIS OFFICE
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45	POOL MECHANICAL RM
46	FLAT ROOF
47	JADU - WIC
48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
51	ADU - TOILET RM
52	ADU - BATHROOM



PRJ 0697754
CDP 2586783
SDP 2586785

REVISION

#1	- 1.21.2022
#2	- 9.26.2022
#3	- 10.8.2022
#4	- 9.1.2023
#5	- 01.08.2024
#6	- 02.15.2024
#7	- 03.28.2024

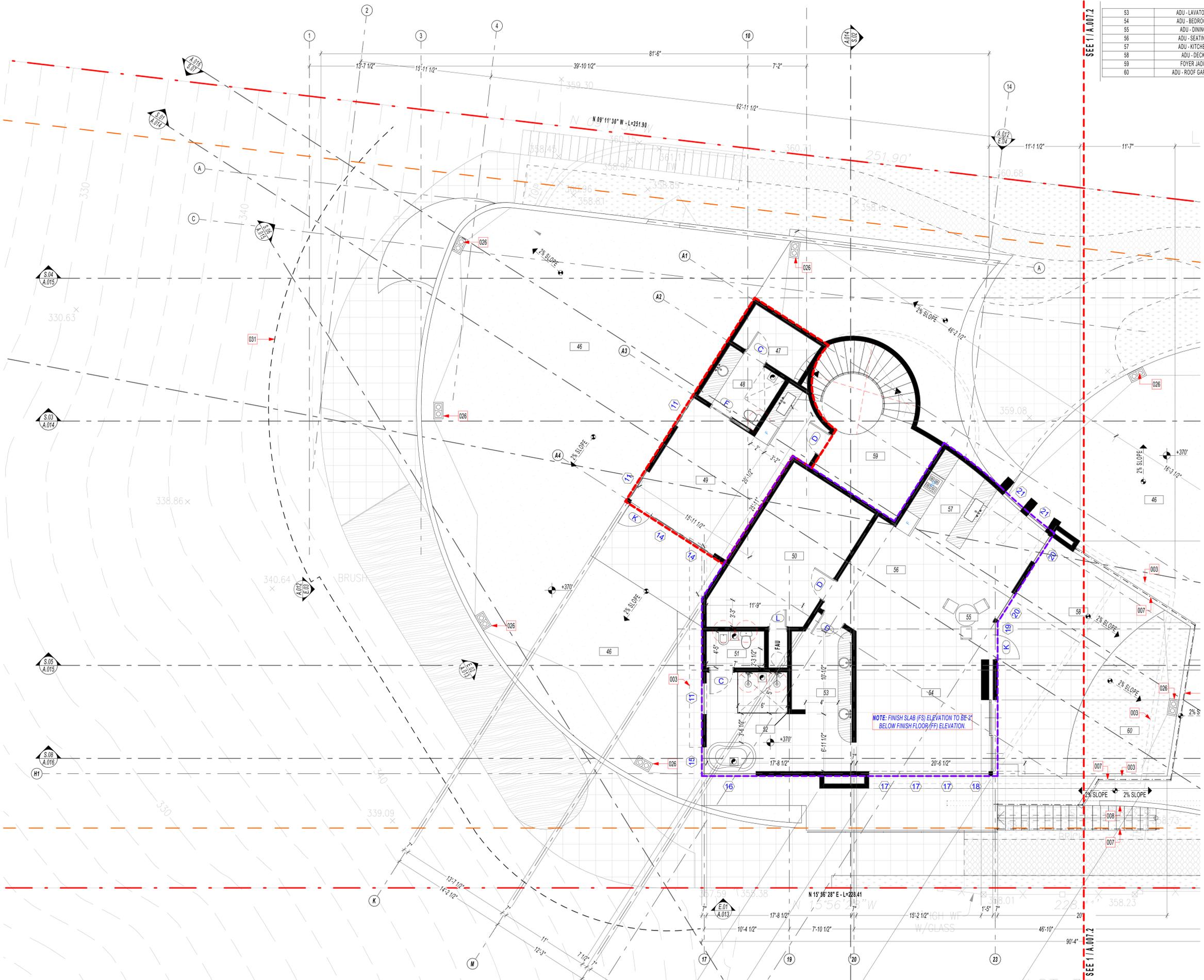
GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME: ADDRESS:
DATE: 01.08.2024
CITY SUBMITTAL: SAN DIEGO CA.
SCALE: INDICATED IN DRAWING
DRAW. E.M.
JOB No.

SHEET TITLE:
MAIN LEVEL KEYMAP

A.006.3



53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
56	ADU - SEATING
57	ADU - KITCHEN
58	ADU - DECK
59	FOYER JADU
60	ADU - ROOF GARDEN

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WALL LEGEND

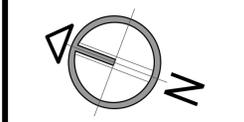
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REVISION

#1	- 1.21.2022
#2	- 9.26.2022
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ROOM LEGEND

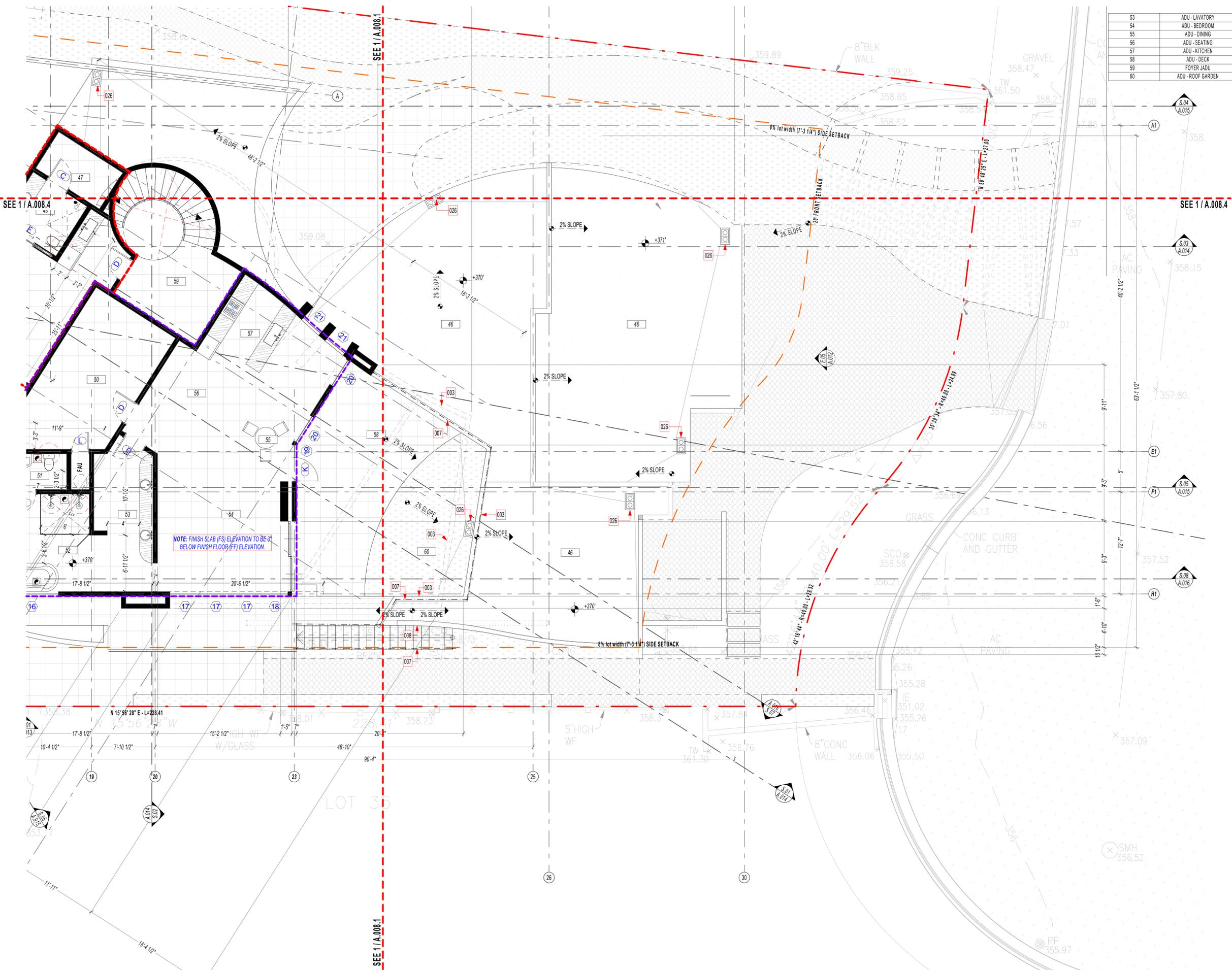
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30	B02 - BEDROOM
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48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
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52	ADU - BATHROOM

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME: ADDRESS:
 DATE: 01.08.2024
 CITY SUBMITTAL: SAN DIEGO CA.
 SCALE: INDICATED IN DRAWING
 DRAW. E.M.
 JOB No.
 SHEET TITLE: UPPER LEVEL NORTH

A.007.1



53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
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57	ADU - KITCHEN
58	ADU - DECK
59	FOYER JADU
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(N) 2'x4" WALL
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MAIN FLOOR AREA TO EXEMPT

UPPER LEVEL PROJECTION

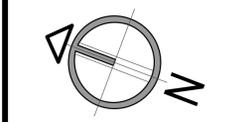
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KEY NOTES

001. THUNDERBIRD COMMERCIAL BOTTOM OUTLET ROOF DRAIN WITH OVERFLOW AND DUAL CLAMPING RINGS.
 002. ROOF GARDEN / POT PLANTER DRAIN, TBD.
 003. UPPER LEVEL PROJECTION LINE.
 004. 42" TEMPERED GLASS GUARD RAIL.
 005. THUNDERBIRD 5" BOWL DECK DRAIN WITH ADJUSTABLE GRATE.
 006. ROOF GARDEN / POT PLANTER. PER LANDSCAPING PLAN.
 007. CABLE SYSTEM GUARD RAIL.
 008. HAND RAIL PER ARCHITECTURAL DETAILS.
 009. STAIRS TEMPERED GLASS GUARD RAIL.
 010. NITCH PER FLOOR PLAN.
 011. PIPES AND HVAC LINES SPACE.
 012. CHIMNEYS PIPES VENT THRU ROOF SPACE.
 013. 6" ROLLING OR PIVOT GATE DOOR WOOD DESIGN.
 014. 6" WOOD FIX PANEL.
 015. FOUNTAIN PER ARCHITECTURAL PLANS.
 016. PEBBLES GRAVEL BROKEN OR CRUSHED STONE.
 017. OFF STREET PARKING PER SDMC.
 018. 8" CMU WALL 3' HEIGHT.
 019. PERFORMANCE 75 GAL. TALL 6 YEAR 76,000 BTU NATURAL GAS POWER VENT TANK WATER HEATER MODEL YG75706P17R10.
 020. 80 GAL. SEISMIC WATER HEATER RESTRAINING STRAP IN GALVANIZED STEEL.
 021. 30" BY 24" CLEARANCE AT FRONT OF WH.
 022. WH OVER AN 18" HIGH PLATFORM.
 023. B-VENT TERMINATION POINT.
 024. PAT VALVE TERMINATION POINT.
 025. GOODMAN GSX14-5 TON - AIR CONDITIONER - 14 NOMINAL SEER - SINGLE-STAGE - R-410A REFRIGERANT.
 026. 6" CMU WALL.
 027. BBQ APPLIANCE GRILL TBD.
 028. 4" HVAC LOUVERED SCREEN FENCE.
 029. TRASH BINS PER CITY OF SAN DIEGO.
 030. 6" TEMPERED GLASS GUARD RAIL OVER BBQ COUNTERTOP.
 031. 5' LOWEST POINT PROJECTION LINE.
 032. INFINITY POOL EDGE PER POOL DESIGNER.
 033. CMU RETAINING WALL PER STRUCTURAL ENG.

ROOM No.	ROOM NAME
01	MB - BATHROOM
02	MB - TOILET
03	MB - WIC
04	OFFICE
05	POWDER
06	WET BAR
07	COSMETIC DESK
08	MB - BEDROOM
09	MB - SEATING
10	BALCONY
11	FIRE PIT
12	BBQ
13	KITCHEN
14	POOL BATHROOM
15	PANTRY
16	DINING RM
17	LIVING RM
18	FOYER
19	PATIO ACCESS
20	B01 - BEDROOM
21	B01 - BATHROOM
22	B01 - WIC
23	SEATING RM
24	3 CAR GARAGE
25	WHITE CLOSET
26	TRASH CAN PATIO
27	LAUNDRY RM
28	MAIDS BATHROOM
29	MAIDS BEDROOM
30	B02 - BEDROOM
31	B02 - WIC
32	B02 - BATHROOM
33	DRIVEWAY
34	LANDSCAPING
35	GYM
36	HIS OFFICE
37	PLAY RM
38	BAR
39	WINE CELLAR
40	POWDER
41	HALL
42	SEATING AREA
43	DECK
44	FIRE PIT
45	POOL MECHANICAL RM
46	FLAT ROOF
47	JADU - WIC
48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
51	ADU - TOILET RM
52	ADU - BATHROOM

CDGI
 CONCEPTO
 T. 619.858.2345 F. 619.858.2344
 P.O. Box. 84180 San Diego Ca. 92138
 office@cdgius.com www.cdgius.com



REVISION

#1 - 1.21.2022
#2 - 9.26.2022
#3 - 10.8.2022
#4 - 9.1.2023
#5 - 01.08.2024
#6 - 02.15.2024
#7 - 03.28.2024

PROJECT NAME: GARCIA - RESIDENCE
ADDRESS: 812 Havenhurst Pt San Diego, CA 92037

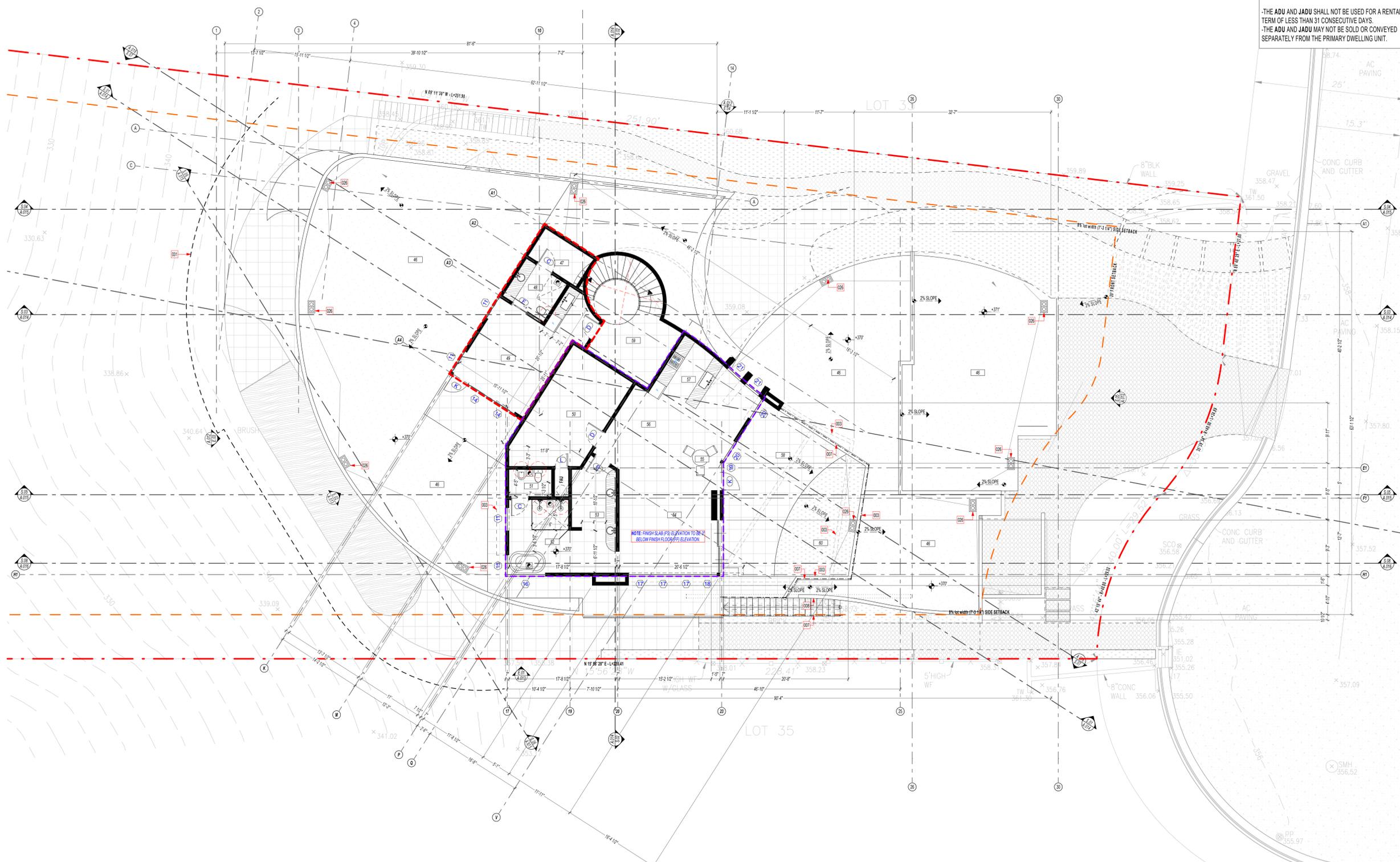
DATE: 01.08.2024
CITY SUBMITTAL: SAN DIEGO CA.
SCALE: INDICATED IN DRAWING
DRAW. E.M.
JOB No.

SHEET TITLE: UPPER LEVEL SOUTH

A.007.2

UPPER LEVEL FLOOR PLAN

3/16" = 1'-0"



53	ADU - LAVATORY
54	ADU - BEDROOM
55	ADU - DINING
56	ADU - SEATING
57	ADU - KITCHEN
58	ADU - DECK
59	FOYER JADU
60	ADU - ROOF GARDEN

LINE LEGEND
 - - - - - JADU
 - - - - - ADU

-THE ADU AND JADU SHALL NOT BE USED FOR A RENTAL TERM OF LESS THAN 31 CONSECUTIVE DAYS.
 -THE ADU AND JADU MAY NOT BE SOLD OR CONVEYED SEPARATELY FROM THE PRIMARY DWELLING UNIT.

WALL LEGEND

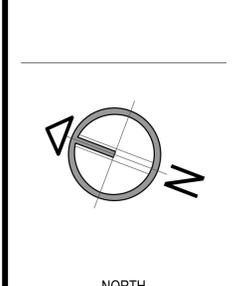
(N) CMU RETAINING WALL w/ 2'x4' WALL (PER ENG.)
INTERIOR FINISH: 1/2" DRYWALL U.O.
EXTERIOR FINISH: WP - MATERIAL
(N) 2'x6' WALL NEW RETAINING WALL
INTERIOR FINISH: 1/2" DRYWALL U.O.
EXTERIOR FINISH: 1/2" STUCCO U.O. OR FINISH PER (A.007)
(N) 2'x4' WALL
INTERIOR FINISH: 1/2" DRYWALL U.O.
EXTERIOR FINISH: 1/2" STUCCO U.O. OR FINISH PER (A.007)
MAIN FLOOR AREA TO EXEMPT
UPPER LEVEL PROJECTION

KEY NOTES

001. THUNDERBIRD COMMERCIAL BOTTOM OUTLET ROOF DRAIN WITH OVERFLOW AND DUAL CLAMPING RINGS.
002. ROOF GARDEN / POT PLANTER DRAIN, TBD.
003. UPPER LEVEL PROJECTION LINE.
004. 42" TEMPERED GLASS GUARD RAIL
005. THUNDERBIRD 5" BOWL DECK DRAIN WITH ADJUSTABLE GRATE.
006. ROOF GARDEN / POT PLANTER. PER LANDSCAPING PLAN
007. CABLE SYSTEM GUARD RAIL.
008. HAND RAIL PER ARCHITECTURAL DETAILS
009. STAIRS TEMPERED GLASS GUARD RAIL
010. NITCH PER FLOOR PLAN.
011. PIPES AND HVAC LINES SPACE.
012. CHIMNEYS PIPES VENT THRU ROOF SPACE
013. 6" ROLLING OR PIVOT GATE DOOR WOOD DESIGN.
014. 6" WOOD FIX PANEL.
015. FOUNTAIN PER ARCHITECTURAL PLANS.
016. PEBBLES GRAVEL BROKEN OR CRUSHED STONE
017. OFF STREET PARKING PER SDMC.
018. 8" CMU WALL 3' HEIGHT.
019. PERFORMANCE 75 GAL. TALL 6 YEAR 76,000 BTU NATURAL GAS POWER VENT TANK WATER HEATER MODEL YG75T06P17R00.
020. 80 GAL SEISMIC WATER HEATER RESTRAINING STRAP IN GALVANIZED STEEL
021. 30" BY 24" CLEARANCE AT FRONT OF WH
022. WH OVER AN 18" HIGH PLATFORM
023. B-VENT TERMINATION POINT
024. P&T VALVE TERMINATION POINT
025. GOODMAN GSX14 - 5 TON - AIR CONDITIONER - 14 NOMINAL SEER - SINGLE-STAGE - R-410A REFRIGERANT
026. 6'-6" CMU WALL
027. BBQ APPLIANCE GRILL TBD.
028. 4" HVAC LOUVERED SCREEN FENCE
029. TRASH BINS PER CITY OF SAN DIEGO
030. 6" TEMPERED GLASS GUARD RAIL OVER BBQ COUNTERTOP.
031. 5' LOWEST POINT PROJECTION LINE
032. INFINITY POOL EDGE PER POOL DESIGNER
033. CMU RETAINING WALL PER STRUCTURAL ENG.

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CDGI CONCEPTO
 T. 619.858.2345 F. 619.858.2344
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PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION

#1 - 1.21.2022
#2 - 9.26.2022
#3 - 10.8.2022
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ROOM LEGEND

ROOM No.	ROOM NAME
01	MB - BATHROOM
02	MB - TOILET
03	MB - WIC
04	OFFICE
05	POWDER
06	WET BAR
07	COSMETIC DESK
08	MB - BEDROOM
09	MB - SEATING
10	BALCONY
11	FIRE PIT
12	BBQ
13	KITCHEN
14	POOL BATHROOM
15	PANTRY
16	DINING RM
17	LIVING RM
18	FOYER
19	PATIO ACCESS
20	B01 - BEDROOM
21	B01 - BATHROOM
22	B01 - WIC
23	SEATING RM
24	3 CAR GARAGE
25	WHITE CLOSET
26	TRASH CAN PATIO
27	LAUNDRY RM
28	MAIDS BATHROOM
29	MAIDS BEDROOM
30	B02 - BEDROOM
31	B02 - WIC
32	B02 - BATHROOM
33	DRIVEWAY
34	LANDSCAPING
35	GYM
36	HIS OFFICE
37	PLAY RM
38	BAR
39	WINE CELLAR
40	POWDER
41	HALL
42	SEATING AREA
43	DECK
44	FIRE PIT
45	POOL MECHANICAL RM
46	FLAT ROOF
47	JADU - WIC
48	JADU - BATHROOM
49	JADU BEDROOM
50	ADU - CLOSET
51	ADU - TOILET RM
52	ADU - BATHROOM

PROJECT NAME:
 ADDRESS:

DATE:
 01.08.2024

CITY SUBMITTAL:
 SAN DIEGO CA.

SCALE:
 INDICATED IN DRAWING

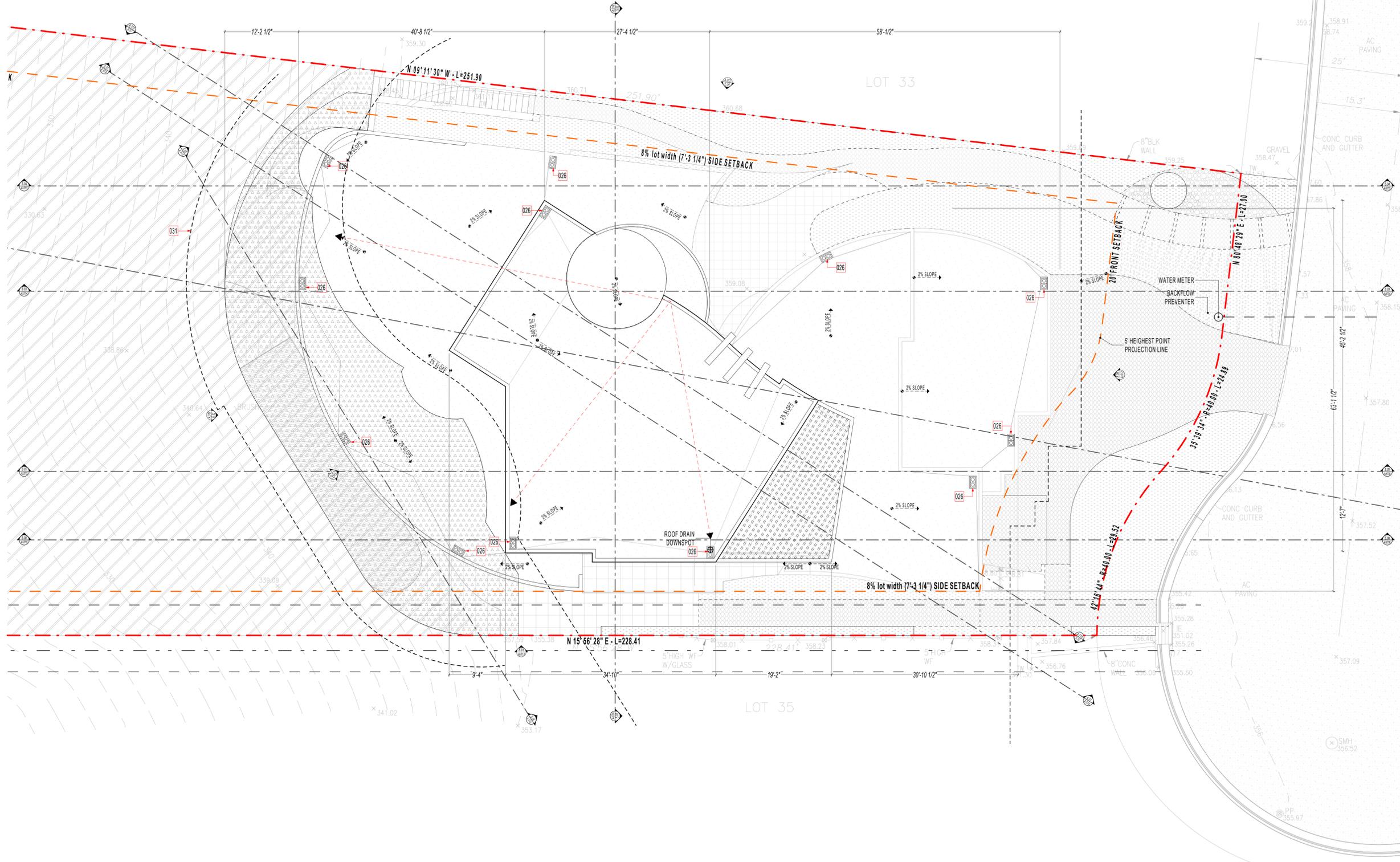
DRAW.
 E.M.

JOB No.

SHEET TITLE:
 UPPER LEVEL
 KEYMAP

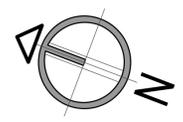
A.007.3

GARCIA - RESIDENCE
 812 Havenhurst Pt San Diego, CA 92037



- CONTRACTOR NOTE**
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- WALL LEGEND**
- (N) CMU RETAINING WALL w/ 2'x4 WALL (PER ENG.)
 INTERIOR FINISH: 1/2\"/>
 - (N) 2'x6 WALL/NEW RETAINING WALL
 INTERIOR FINISH: 1/2\"/>
 - (N) 2'x4 WALL
 INTERIOR FINISH: 1/2\"/>
 - MAIN FLOOR AREA TO EXEMPT
- KEY NOTES**
001. THUNDERBIRD COMMERCIAL BOTTOM OUTLET ROOF DRAIN WITH OVERFLOW AND DUAL CLAMPING RINGS.
 002. ROOF GARDEN / POT PLANTER DRAIN, TBD.
 003. UPPER LEVEL PROJECTION LINE.
 004. 42\"/>
 005. THUNDERBIRD 5\"/>
 006. ROOF GARDEN / POT PLANTER. PER LANDSCAPING PLAN.
 007. CABLE SYSTEM GUARD RAIL.
 008. HAND RAIL PER ARCHITECTURAL DETAILS.
 009. STAIRS TEMPERED GLASS GUARD RAIL.
 010. NITCH PER FLOOR PLAN.
 011. PIPES AND HVAC LINES SPACE.
 012. CHIMNEYS PIPES VENT THRU ROOF SPACE.
 013. 6\"/>
 014. 6\"/>
 015. FOUNTAIN PER ARCHITECTURAL PLANS.
 016. PEBBLES GRAVEL BROKEN OR CRUSHED STONE.
 017. OFF STREET PARKING PER SDMC.
 018. 8\"/>
 019. PERFORMANCE 75 GAL. TALL 6 YEAR 76,000 BTU NATURAL GAS POWER VENT TANK WATER HEATER MODEL YG75706P17R10.
 020. 80 GAL. SEISMIC WATER HEATER RESTRAINING STRAP IN GALVANIZED STEEL.
 021. 30\"/>
 022. WH OVER AN 18\"/>
 023. B-VENT TERMINATION POINT.
 024. P&T VALVE TERMINATION POINT.
 025. GOODMAN GSX14 - 5 TON - AIR CONDITIONER - 14 NOMINAL SEER - SINGLE-STAGE - R-410A REFRIGERANT.
 026. 6\"/>
 027. BBQ APPLIANCE GRILL TBD.
 028. 4\"/>
 029. TRASH BINS PER CITY OF SAN DIEGO.
 030. 6\"/>
 031. 5\"/>
 032. INFINITY POOL EDGE PER POOL DESIGNER.
 033. CMU RETAINING WALL PER STRUCTURAL ENG.

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NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	#	DATE
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GARCIA - RESIDENCE
 812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:	GARCIA - RESIDENCE
ADDRESS:	812 Havenhurst Pt San Diego, CA 92037
DATE:	01.08.2024
CITY SUBMITTAL:	SAN DIEGO CA.
SCALE:	INDICATED IN DRAWING
DRAW.	E.M.
JOB No.	

SHEET TITLE:
ROOF LEVEL

A.008

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

FINISH LEYEND
 001. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: DARK GRAY TBD
 002. STANDING SEAM ROOF
 003. TREATED WOOD
 004. FLAT STONE CLADDING
 005. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: WHITE TBD
 006. GLASS RAILING
 007. CONCRETE CLADDING TEXTURE TBD
 008. GARAGE DOOR WITH TREATED WOOD COLOR TBD
 009. WITHE GRANITE



WALL LEGEND

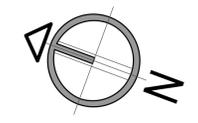
(N) CMU RETAIN WALL w/ 2X4 WALL (PER EM)
 INTERIOR FINISH: 3/4" DRYWALL U.N.O.
 EXTERIOR FINISH: WP - MATERIAL

(N) 2X6 WALL/NEW RETAINING WALL
 INTERIOR FINISH: 3/4" DRYWALL U.N.O.
 EXTERIOR FINISH: 3/4" STUCCO U.N.O. (FINISH PER (A.007))

(N) 2X4 WALL
 INTERIOR FINISH: 3/4" DRYWALL U.N.O.
 EXTERIOR FINISH: 3/4" STUCCO U.N.O. (FINISH PER (A.007))

MAIN FLOOR AREA TO EXEMPT

UPPER LEVEL PROJECTION

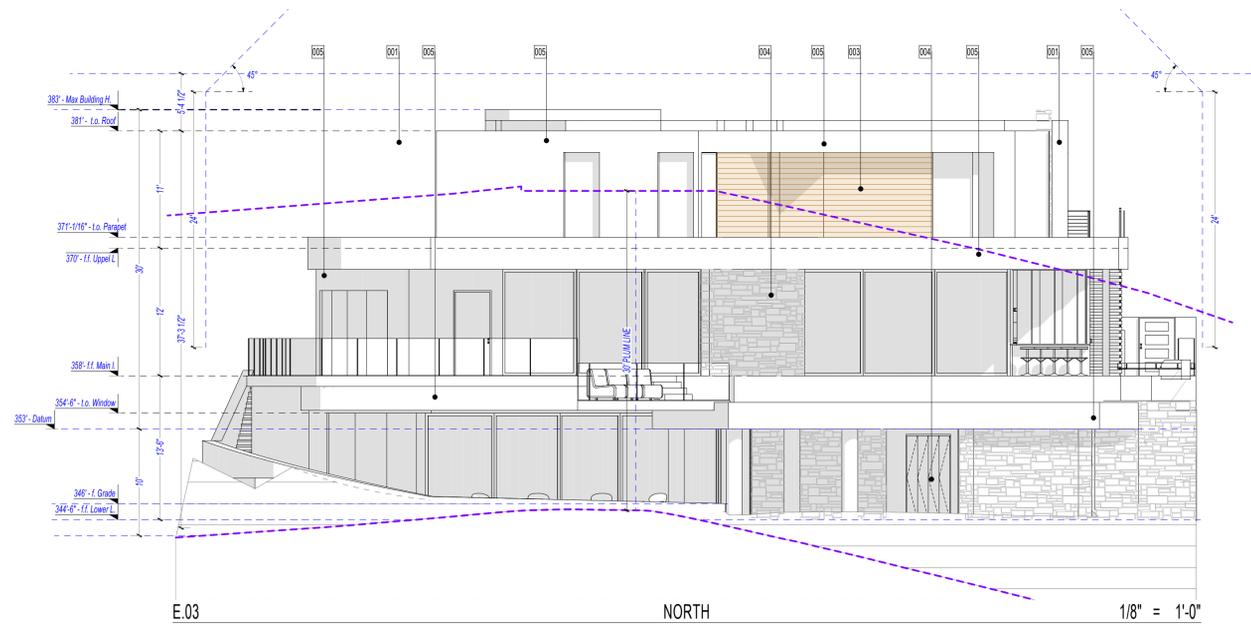
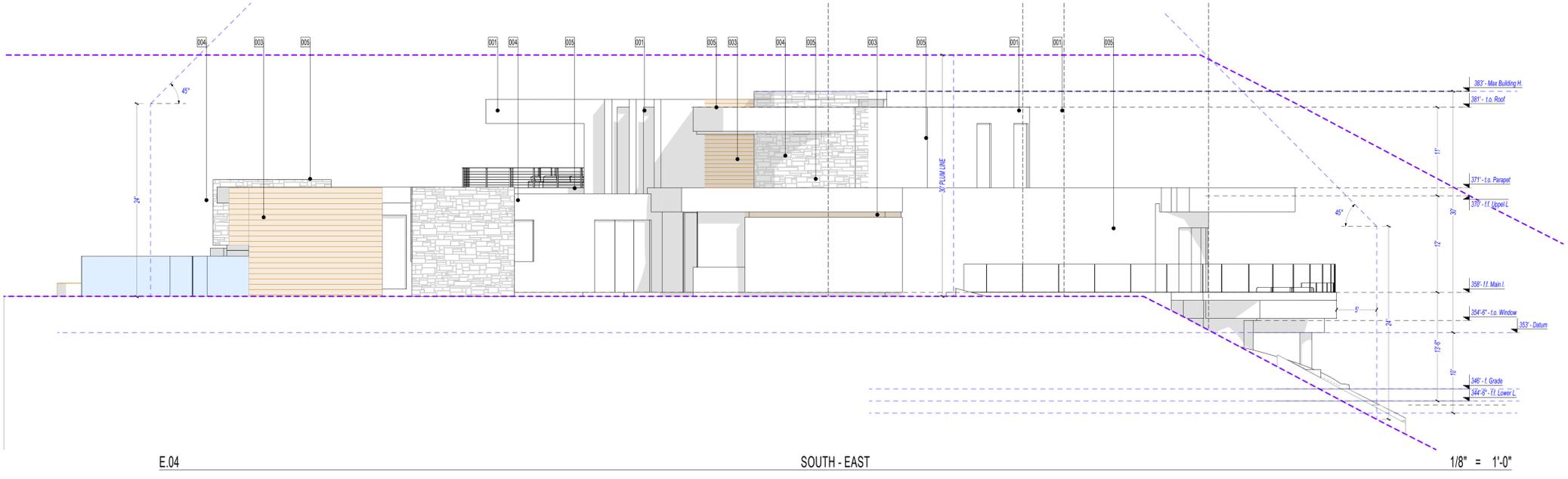
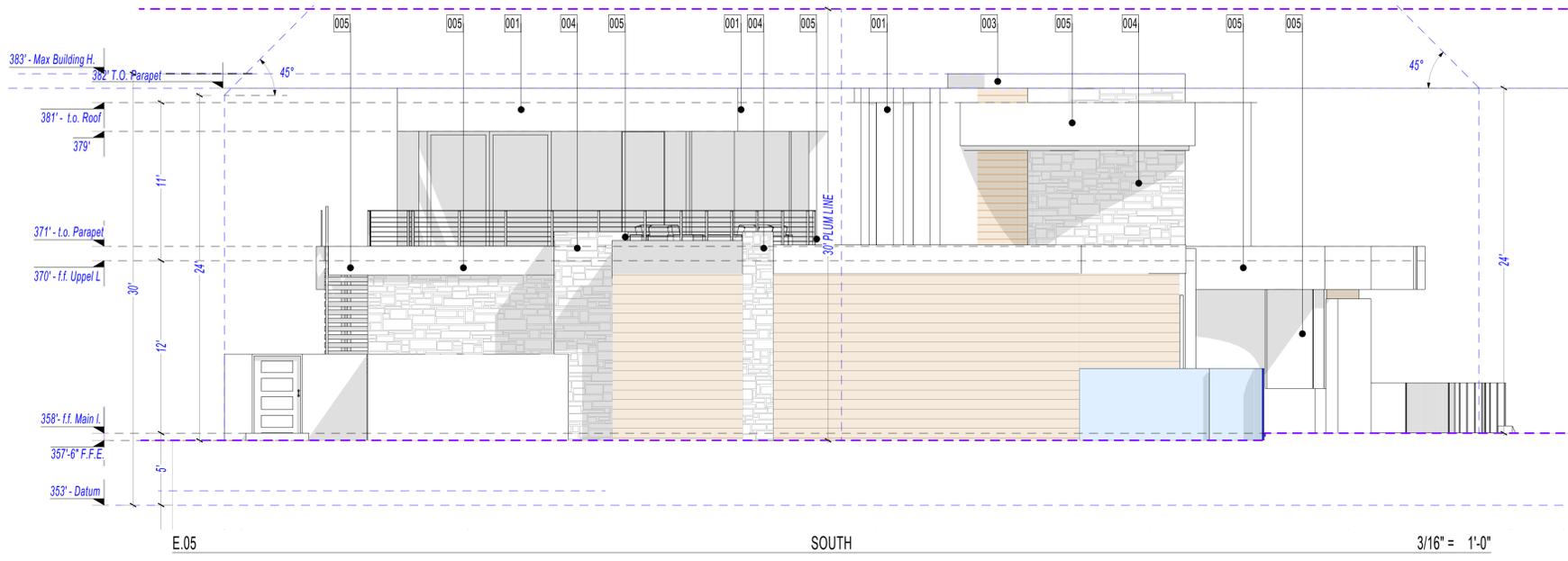


NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	#	DATE
	#1	- 1.21.2022
	#2	- 9.26.2022
	#3	- 10.8.2022
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	#6	- 02.15.2024
	#7	- 03.28.2024

- REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.
- METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.
- INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.
- WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.
- PREMISES IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 11/2" WIDE STROKE WIDTH U.N.O.



GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:	
ADDRESS:	
DATE:	01.08.2024
CITY SUBMITTAL:	SAN DIEGO CA.
SCALE:	INDICATED IN DRAWING
DRAW.:	E.M.
JOB No.:	

SHEET TITLE:
ELEVATIONS S-SE-E

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

FINISH LEND
 001. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: DARK GRAY TBD
 002. STANDING SEAM ROOF
 003. TREATED WOOD
 004. FLAT STONE CLADDING
 005. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: WHITE TBD
 006. GLASS RAILING
 007. CONCRETE CLADDING TEXTURE TBD
 008. GARAGE DOOR WITH TREATED WOOD COLOR TBD
 009. WITHE GRANITE

WALL LEGEND

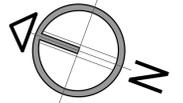
(N) CMU RETAININ WALL w/ 2X4 WALL (PER EM INTERIOR FINISH: 3/4" DRYWALL U.N.O. EXTERIOR FINISH: WP - MATERIAL

(N) 2X6 WALLNEW RETAINING WALL INTERIOR FINISH: 3/4" DRYWALL U.N.O. EXTERIOR FINISH: 3/4" STUCCO U.N.O. FINISH PER (A.007)

(N) 2X4 WALL INTERIOR FINISH: 3/4" DRYWALL U.N.O. EXTERIOR FINISH: 3/4" STUCCO U.N.O. FINISH PER (A.007)

MAIN FLOOR AREA TO EXEMPT

1. REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.
 2. METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.
 3. INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.
 4. WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.
 5. PREMISES IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 11/2" WIDE STROKE WIDTH U.N.O.



NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	DATE
#1	- 1.21.2022
#2	- 9.26.2022
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GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:

CITY SUBMITTAL:

SAN DIEGO CA.

SCALE:

INDICATED IN DRAWING

DRAW.

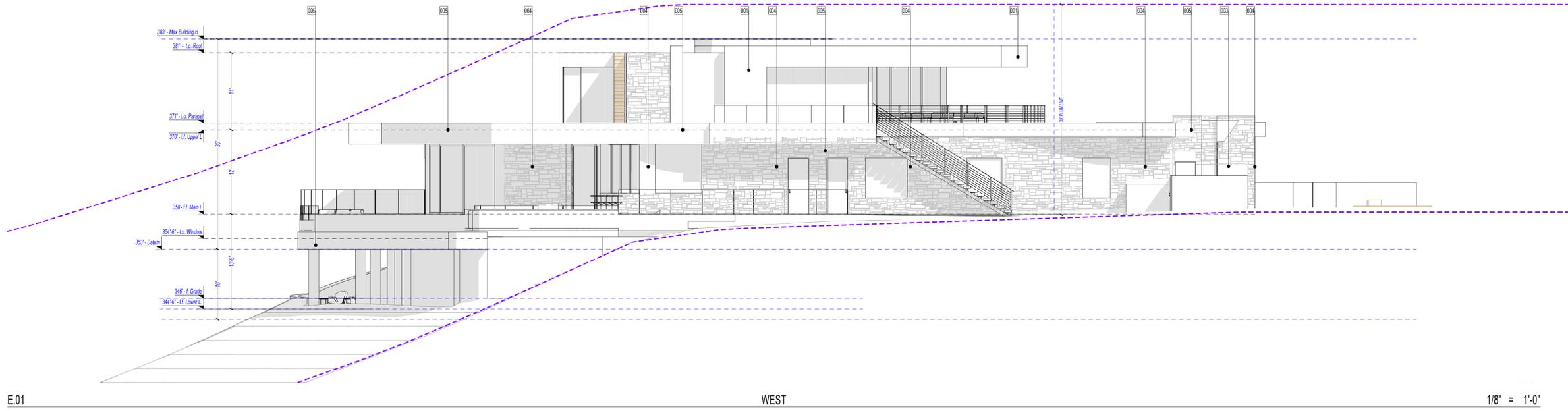
E.M.

JOB No.

SHEET TITLE:

ELEVATIONS NE-N-
 NW

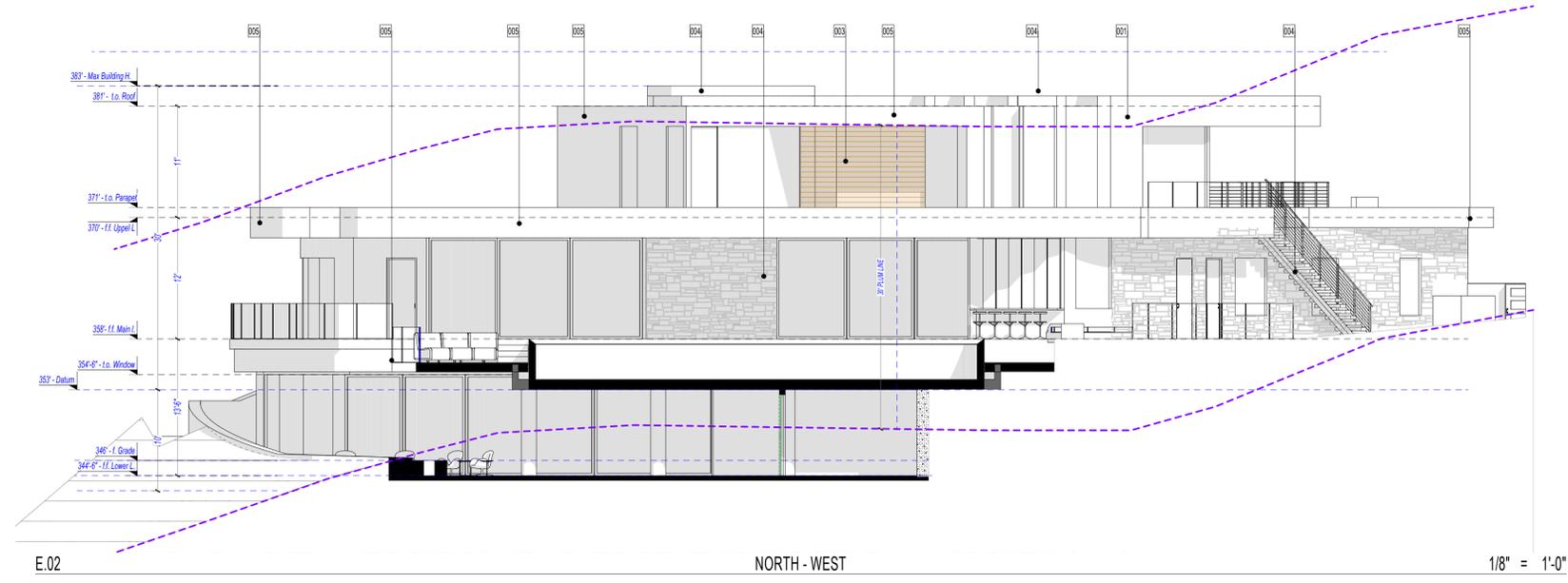
A.013



E.01

WEST

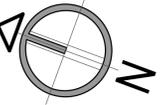
1/8" = 1'-0"



E.02

NORTH - WEST

1/8" = 1'-0"



NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	DATE
#1	1.21.2022
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#5	01.08.2024
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#7	03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:
01.08.2024

CITY SUBMITTAL:
SAN DIEGO CA.

SCALE:
INDICATED IN DRAWING

DRAW.
E.M.

JOB No.

SHEET TITLE:

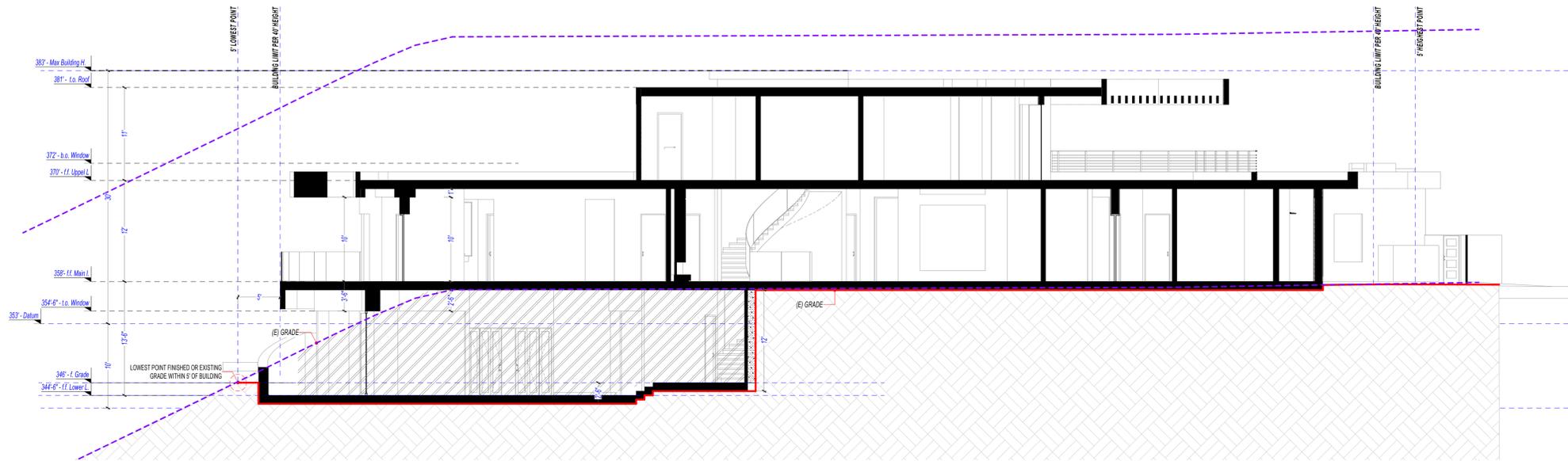
SECTIONS A-B-C

A.014

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

WALL LEGEND

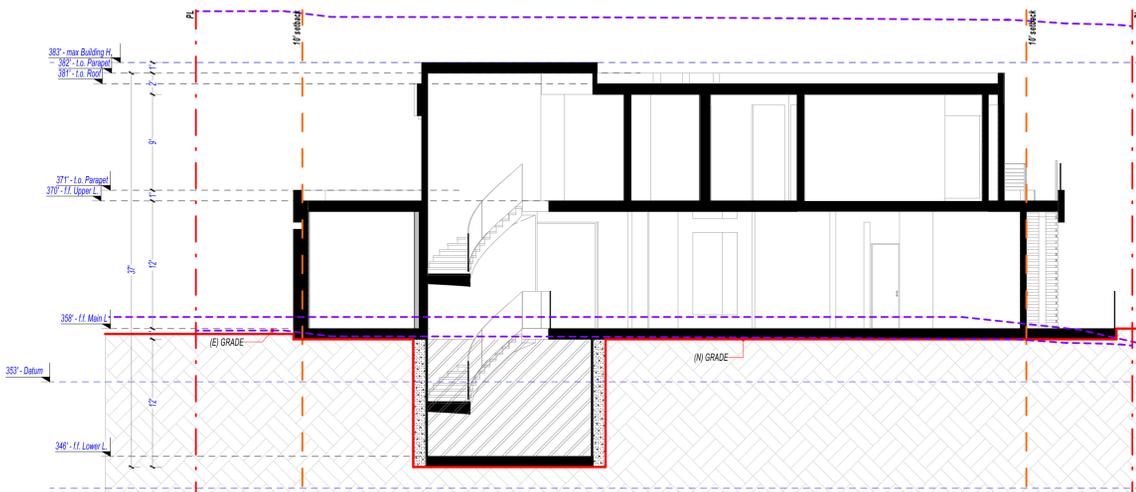
- (N) CMU RETAINING WALL w/ 2X4 WALL (PER ENG.)
 INTERIOR FINISH: 1/2" DRYWALL U.N.O.
 EXTERIOR FINISH: WP - MATERIAL
- (N) 2X6 WALL/NEW RETAINING WALL
 INTERIOR FINISH: 1/2" DRYWALL U.N.O.
 EXTERIOR FINISH: 1/2" STUCCO U.N.O. OR FINISH PER (A.007)
- (N) 2X4 WALL
 INTERIOR FINISH: 1/2" DRYWALL U.N.O.
 EXTERIOR FINISH: 1/2" STUCCO U.N.O. OR FINISH PER (A.007)
- MAIN FLOOR AREA TO EXEMPT
- UPPER LEVEL PROJECTION



SECTION A-A

1/8" = 1'-0"

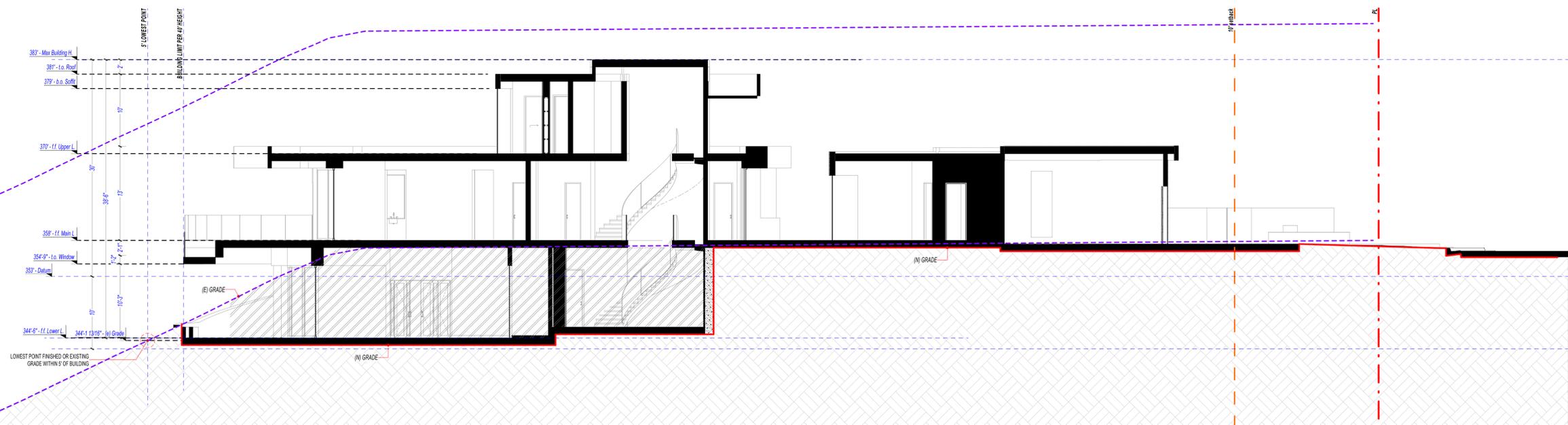
S.01



SECTION B-B

1/8" = 1'-0"

S.02



SECTION C-C

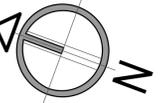
1/8" = 1'-0"

S.03

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS
 PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY
 DISCREPANCIES.

WALL LEGEND

-  (N) CMU RETAIN WALL w/ 2X4 WALL (PER ENG.)
 INTERIOR FINISH: 1/2" DRYWALL U.N.O.
 EXTERIOR FINISH: WP - MATERIAL
-  (N) WALLNEW RETAINING WALL
 INTERIOR FINISH: 1/2" DRYWALL U.N.O.
 EXTERIOR FINISH: 1/2" STUCCO U.N.O. OR
 FINISH PER (A.007)
-  (N) 2X4 WALL
 INTERIOR FINISH: 1/2" DRYWALL U.N.O.
 EXTERIOR FINISH: 1/2" STUCCO U.N.O. OR
 FINISH PER (A.007)
-  MAIN FLOOR AREA TO EXEMPT
-  UPPER LEVEL PROJECTION



NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	#	DATE
	#1	1.21.2022
	#2	9.26.2022
	#3	10.8.2022
	#4	9.1.2023
	#5	01.08.2024
	#6	02.15.2024
	#7	03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:

01.08.2024

CITY SUBMITTAL:

SAN DIEGO CA.

SCALE:

INDICATED IN DRAWING

DRAW.

E.M.

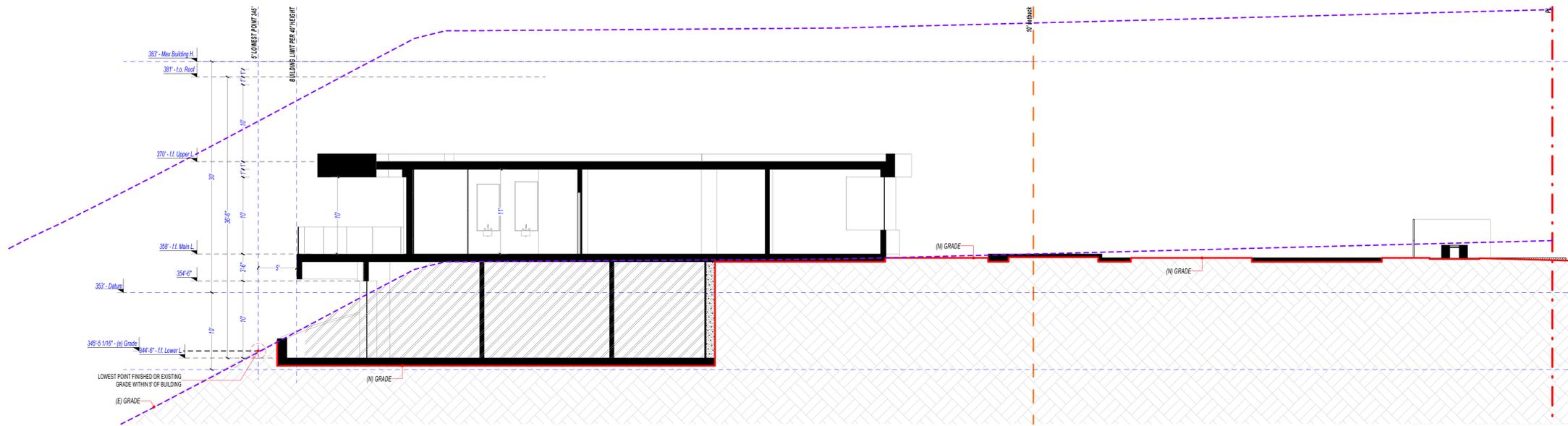
JOB No.

SHEET TITLE:

SECTIONS D-E-F

A.015

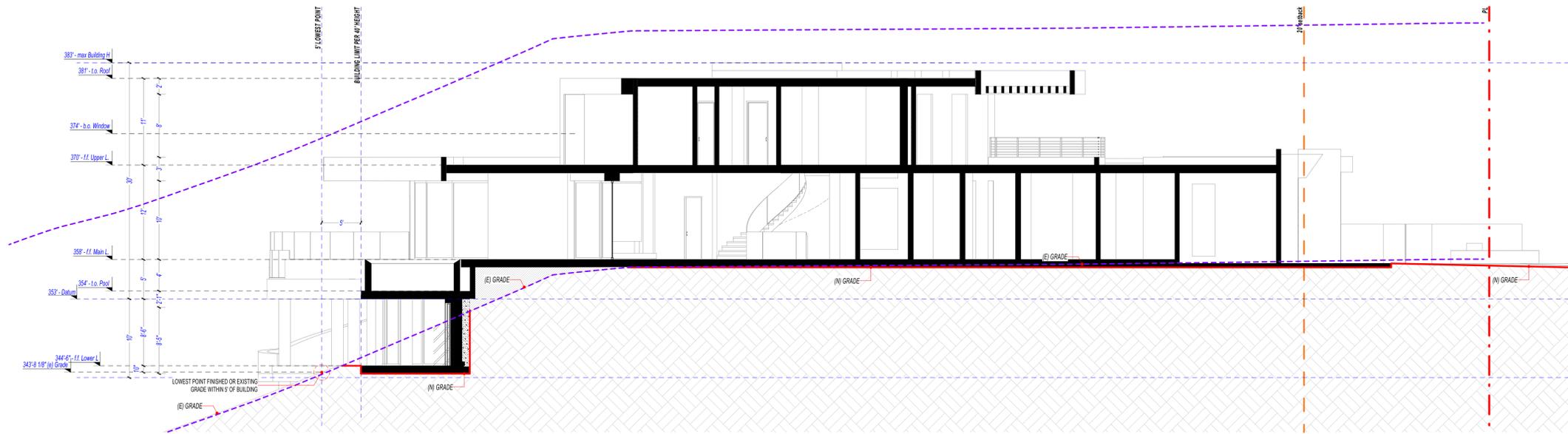
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SECTION D-D

1/8" = 1'-0"

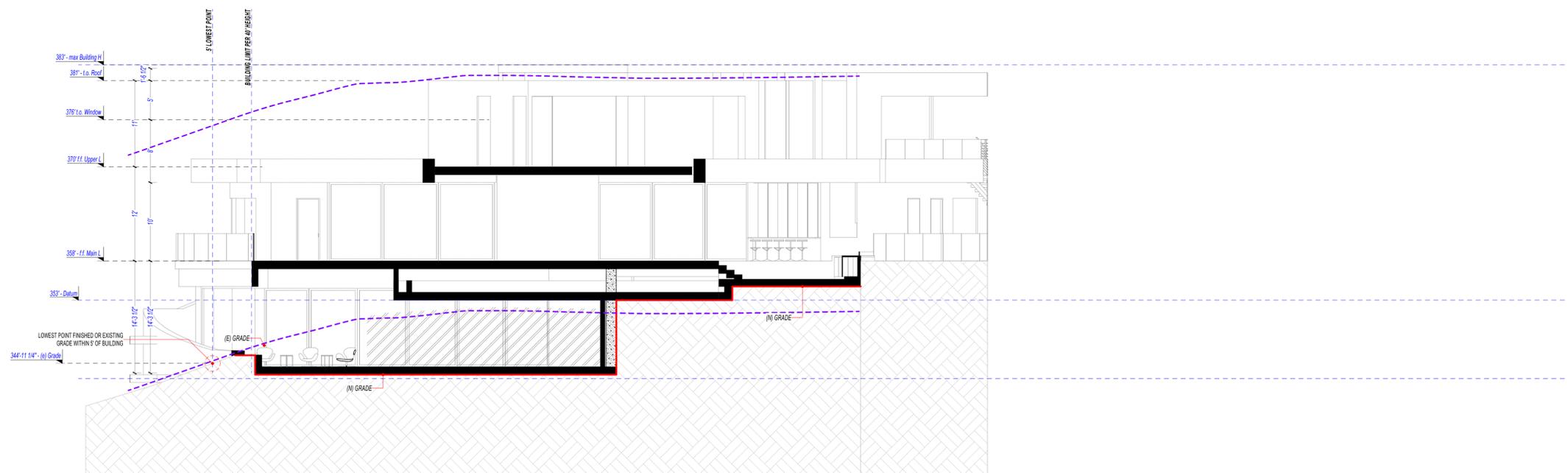
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SECTION E-E

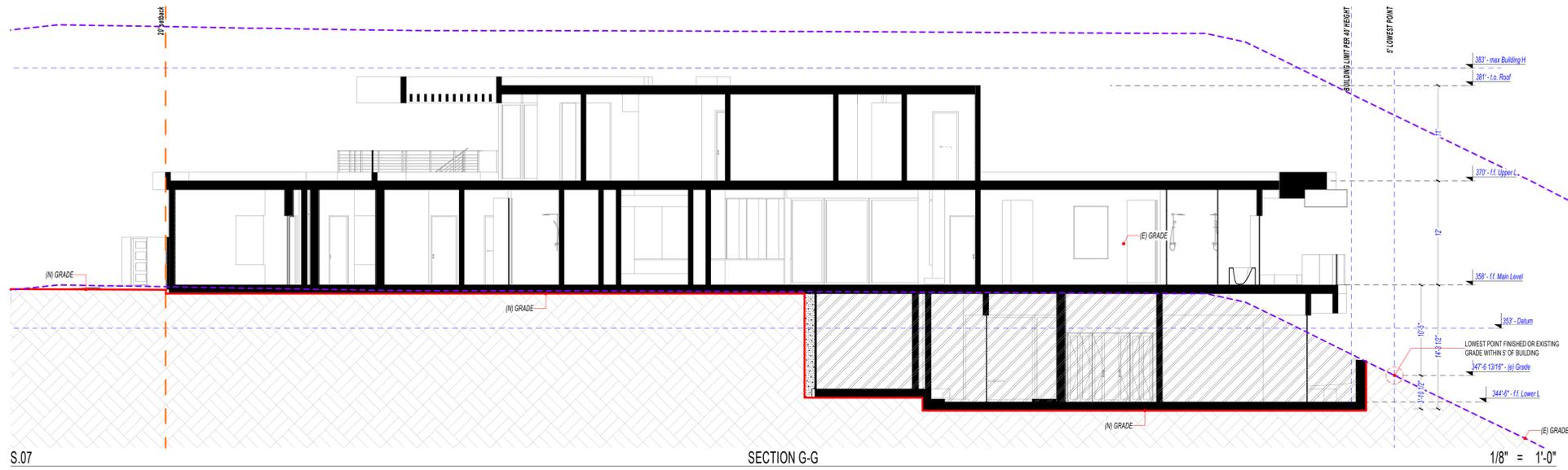
1/8" = 1'-0"

S.06



SECTION F-F

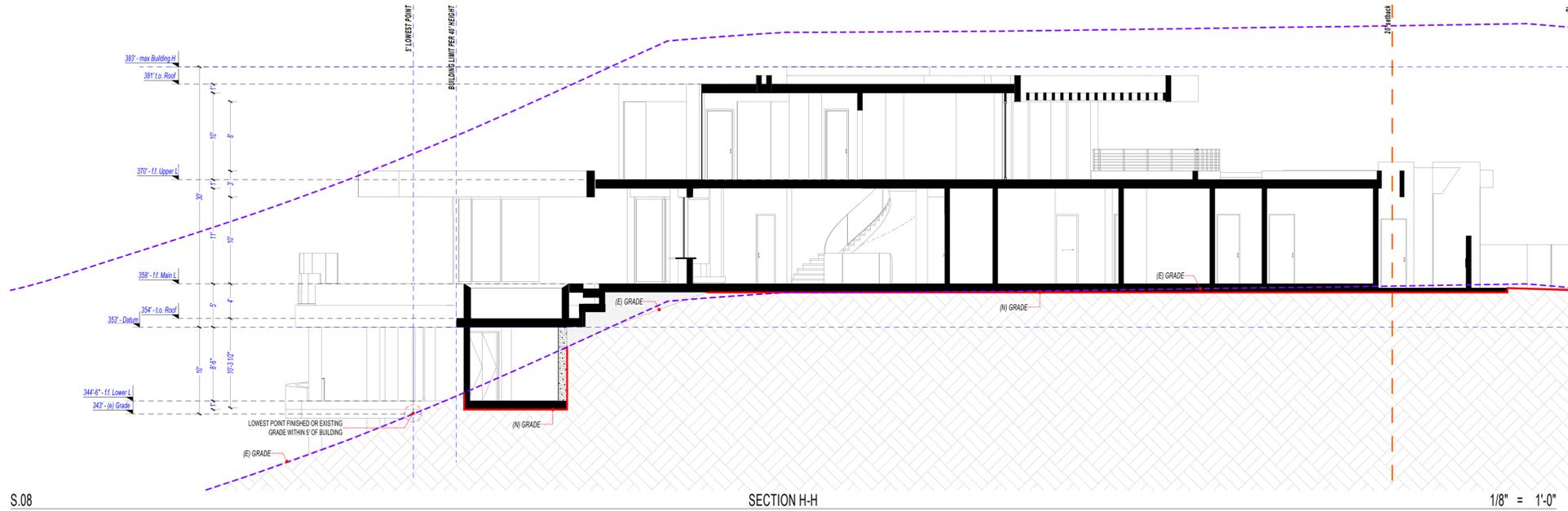
1/8" = 1'-0"



S.07

SECTION G-G

1/8" = 1'-0"



S.08

SECTION H-H

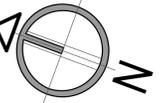
1/8" = 1'-0"

CONTRACTOR NOTE
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WALL LEGEND

- (N) CMU RETAININ WALL w/ 2X4 WALL (PER ENG.)
INTERIOR FINISH: 1/2" DRYWALL U.N.O.
EXTERIOR FINISH: WP - MATERIAL
- (N) 2X6 WALLNEW RETAINING WALL
INTERIOR FINISH: 1/2" DRYWALL U.N.O.
EXTERIOR FINISH: 1/2" STUCCO U.N.O. OR FINISH PER (A.007)
- (N) 2X4 WALL
INTERIOR FINISH: 1/2" DRYWALL U.N.O.
EXTERIOR FINISH: 1/2" STUCCO U.N.O. OR FINISH PER (A.007)
- MAIN FLOOR AREA TO EXEMPT
- UPPER LEVEL PROJECTION

CDGI
CONCEPTO
T. 619.858.2345 F. 619.858.2344
P.O.Box. 84180 San Diego Ca. 92138
office@cdgius.com www.cdgius.com



NORTH

PRJ 0697754
CDP 2586783
SDP 2586785

REVISION	
#1 -	1.21.2022
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GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:

01.08.2024
CITY SUBMITTAL
SAN DIEGO CA.

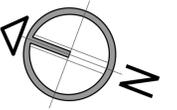
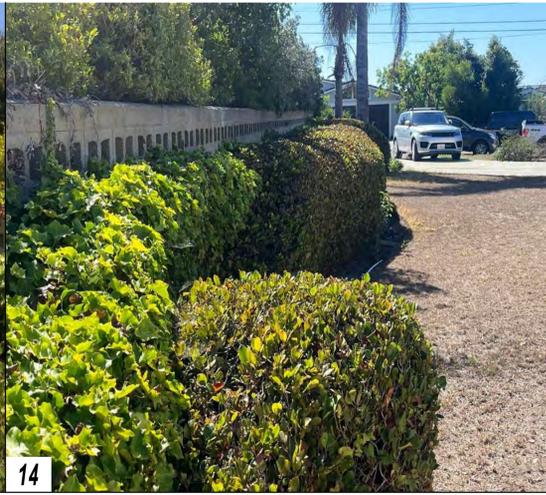
SCALE:
INDICATED IN DRAWING

DRAW.
E.M.
JOB No.

SHEET TITLE:

SECTIONS G-H

A.016



NORTH

PRJ 0697754
CDP 2586783
SDP 2586785

REVISION	DATE
#1	1.21.2022
#2	9.26.2022
#3	10.8.2022
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GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:

01.08.2024

CITY SUBMITTAL:

SAN DIEGO CA.

SCALE:

INDICATED IN DRAWING

DRAW:

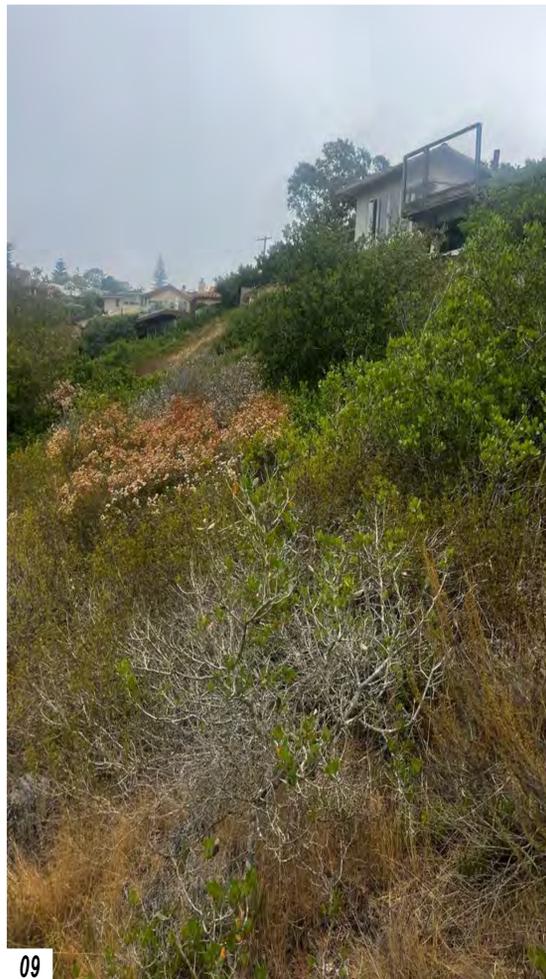
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JOB No.

SHEET TITLE:

PHOTOGRAPHIC SURVEY

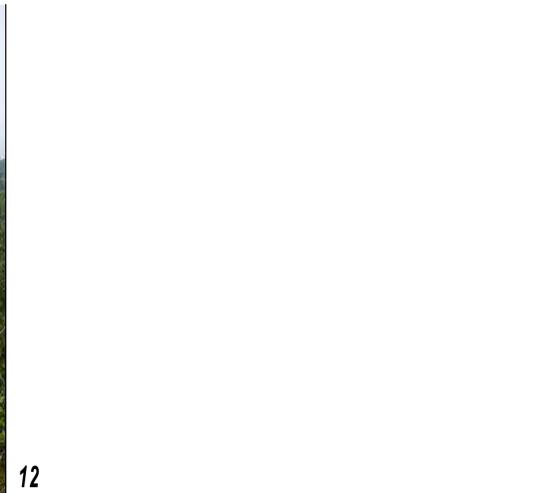
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09



08



12



13



14



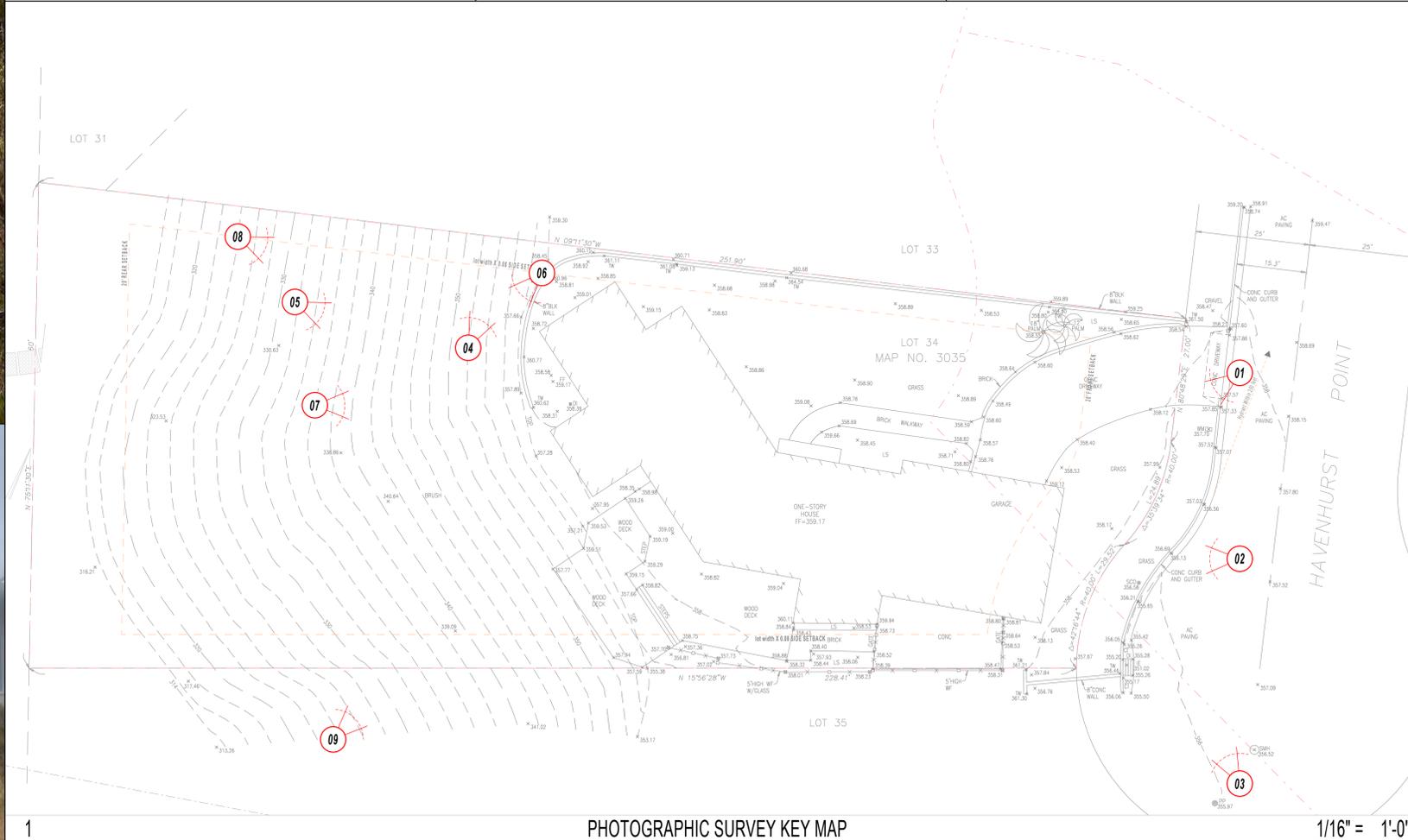
01



02



03



1



07



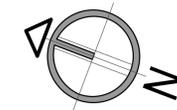
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05



04



NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	DATE
#1	1.21.2022
#2	9.26.2022
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GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:
01.08.2024

CITY SUBMITTAL:
SAN DIEGO CA.

SCALE:
INDICATED IN DRAWING

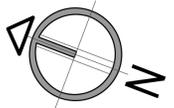
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E.M.

JOB No.

SHEET TITLE:

PHOTOGRAPHIC
SURVEY II

A.018



NORTH

PRJ 0697754
 CDP 2586783
 SDP 2586785

REVISION	#	DATE
	#1 -	1.21.2022
	#2 -	9.26.2022
	#3 -	10.8.2022
	#4 -	9.1.2023
	#5 -	01.08.2024
	#6 -	02.15.2024
	#7 -	03.28.2024

GARCIA - RESIDENCE

812 Havenhurst Pt San Diego, CA 92037

PROJECT NAME:

ADDRESS:

DATE:
 01.08.2024
 CITY SUBMITTAL:
 SAN DIEGO CA.
 SCALE:
 INDICATED IN DRAWING
 DRAW.
 E.M.
 JOB No.

SHEET TITLE:

FIRE PLAN

F.001

CONTRACTOR NOTE
 CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

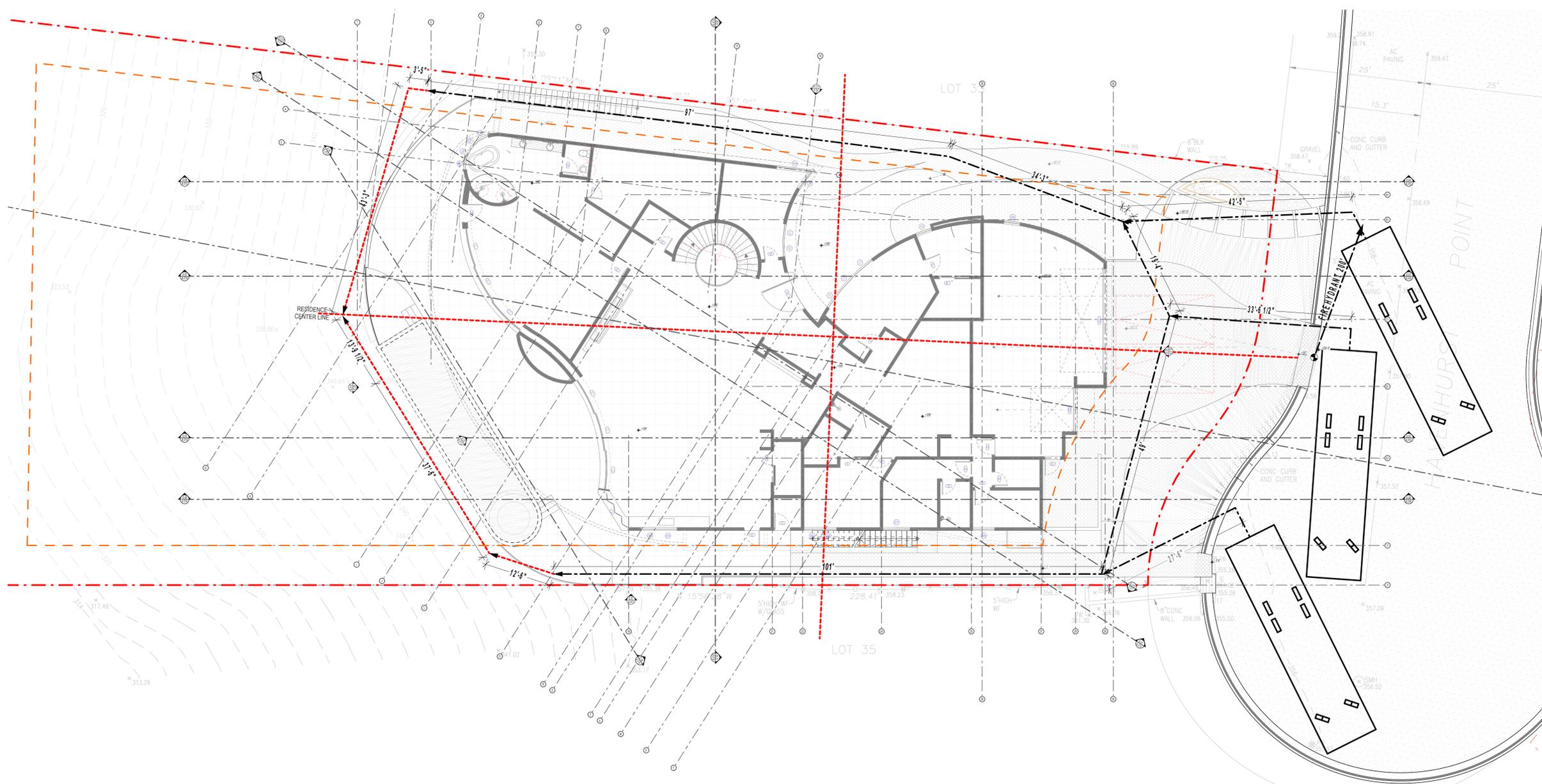
WALL LEGEND

- (N) CMU RETAIN WALL w/ 2X4 WALL (PER EM INTERIOR FINISH: 1/2" DRYWALL U.N.O. EXTERIOR FINISH: WP - MATERIAL
- (N) WALLNEW RETAINING WALL INTERIOR FINISH: 1/2" DRYWALL U.N.O. EXTERIOR FINISH: 1/2" STUCCO U.N.O. FINISH PER (A.007)
- (N) 2X4 WALL INTERIOR FINISH: 1/2" DRYWALL U.N.O. EXTERIOR FINISH: 1/2" STUCCO U.N.O. FINISH PER (A.007)
- MAIN FLOOR AREA TO EXEMPT
- UPPER LEVEL PROJECTION

NOTE: ON ALL BATHS, POWDER, LAUNDRY AND KITCHEN SIDE USE 1/2" WF RESISTANT GYP BD.

FIRE NOTES

01. * All required hose pulls are shown to reach all portions of the exterior of the building(s) per policy A-14-1. Hose pull is measured from the fire apparatus (engine) when the fire engine is in a fire access roadway. Hose pull can be measured from multiple locations within the access roadway. The hose pulls must connect or overlap to show complete coverage. For a sprinklered building(s); the maximum hose pull is 200'. For non-sprinklered building(s); the maximum hose pull is 150'. Change in vertical elevation must also be accounted for.
02. * All existing and/or proposed fire hydrants within 600' of the project site and a 300' radius overlay shall be shown to encompass ALL portions of ALL structures as part of submitted project SD Ordinance 17927.
03. * Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard (2A10BC) as follows: 1. At each stairway on all floor levels where combustible materials have accumulated. 2. In every storage and construction shed. 3. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids. CFC 3315.
04. * ALL buildings and sites undergoing construction, alteration, or demolition shall comply with the requirements of Chapter 33 of the CFC.
05. * All new construction in the Very High Severity Fire Zone is subject to brush management requirements. Fire mitigation is required if 100 ft. of defensible space can not be provided; 35' of zone 1 and 65' of zone 2. Projects subject to Fire mitigation are based on Landscaping review. See Fire Department Policy B-18-01, sandiego.gov/fire, services and programs, Brush Management and Weed Abatement, Brush Mitigation Zones.
06. * CFC 105.4.4 - Construction documents approved by the Fire Code Official are approved with the intent that such construction documents comply in all respects with the CFC/CBC. Review and approval by the Fire Code Official shall NOT relieve the applicant of the responsibility of compliance with these codes.
07. * New structures built after January 2008 shall comply with CRC337/CBC7A. Additional mitigations may be required based on final determination of Zone 1 and Zone 2 boundaries by Landscaping. IF there is less than 35' from any portion of the Zone 1 boundary to the structure, then additional mitigations shall apply.



Homes over 4500 sqft within ½ mile radius (sold in last 5 years or currently on sale.
Source: Redfin)

1. 6545 camino del teatro (4643 sq ft) 3 stories
2. 1640 El Camino del Teatro (6847 sqft) 2+stories
3. 6230 Calle Majorca (5842 sqft) 2 stories
4. 6210 La Jolla Mesa Dr. (7225 sqft) 2 stories
5. 6101 La Jolla Mesa Dr. (4866 sqft)
6. 1253 La Jolla Rancho road (4875 sq ft) 2 stories
7. 5740 La Jolla Corona Dr (8810 sqft) 2 stories
8. 6106 Camino de la Costa (5674 sqft) 2 stories
9. 1410 Inspiration Dr (11,404 sq ft) 2 stories
10. 1260 Inspiration Dr (8011 sq ft) 2 stories
11. 1330 Inspiration Dr. (12,017 sq ft) 2+stories
12. 1419 Inspiration Dr (5131 sq ft) 2 stories
13. 6659 Ave. La Reina (5251sqft) 3 stories
14. 682 Palomar Ave (7618 sqft) 2+stories
15. 6591 Avenida Wilfredo (4530 sqft)
16. 6590 Avenida Mirola (6666 sqft)
17. 6281 Avenida Cresta (4556 sqft) 2 stories
18. 341 Mesa Way (4650 sqft) 2 stories
19. 652 Palomar (5813 sq ft) 2 stories
20. 6638 Ave de las Pescas (4965 sq ft) 2 stories
21. 6411 Ave Manana (5462 sqft)
22. 1151 W Muirlands (5966 sqft) 2 stories
23. 1038 Muirlands Vista Way (4672 sqft)
24. 1011 Muirlands Vista Way (6140 sqft) 2+stories
25. 1055 muirlands Vista Way (5734 sqft) 2 stories
26. 1111 Muirlands Vista Way (6481 sqft)2+stories
27. 1041 Muirlands Vista Way (5921 sqft)2+stories
28. 704 Muirlands Vista Way (5084 sqft) 2 stories
29. 715 Muirlamds Vista Way (6818 sqft) 2 stories
30. 1080 Muirlands Dr (5789sqft)
31. 1205 Muirlands Dr. (14,768 sq ft) 2 stories
32. 1178 Muirlands Dr (7787 sqft) 2 stories
33. 6611 Muirlands Dr (5000 sqft)
34. 6625 muirlands Dr (8345 sqft) 2 stories
35. 6643 Muirlands Dr (4705 sqft) 2 stories
36. 6604 Muirlands Dr (6187 sqft) 2 stories
37. 1021 Muirlands Dr (10,168 sqft) 2 stories
38. 1206 Muirlands Dr (7792 sqft) 2 stories
39. 1205 Muirlands Dr (14,768 sqft) 2 stories
40. 1436 Muirlands Dr (5271 sqft) 2 stories
41. 6210 La Jolla Mesa Dr (7225 sqft) 2 stories

42. 1635 El Paso Real (4614 sqft)
43. 6556 El Camino del Teatro (6120 sqft) 2+stories
44. 6545 El camino del Teatro (4643 sq ft) 2+stories
45. 6106 Ave Chamnez (5420 sq ft)
46. 6092 Ave Chamnez (8236 sqft) 2 stories
47. 925 Havenhurst Dr (5949 sq ft)
48. 935 Havenhurst Dr (4768 sq ft)
49. 6120 Havenhurst Pl (5134 sqft)
50. 1253 La Jolla Rancho Rd (4875 sq ft)
51. 1205 La Jolla Rancho (4944 sqft) 2 stories
52. 926 La Jolla Rancho (5757 sqft) 2 stories
53. 942 La Jolla Rancho Road (4699 sqft) 2 stories
54. 931 La Jolla Rancho (5378 sq ft)
55. 1640 La Jolla Rancho (13,575 sq ft) 2 stories
56. 5912 Beaumont Ave (4914 sqft) 2 stories
57. 5910 Germaine Ln (4536 sqft) 2 stories
58. 5942 Germaine Ln (5748sqft) 2 stories

Homes over 4500 sq ft within ½ mile radius that have not been listed (Source: Zillow)

1. 1320 Inspiration (7725 sqft) 2 stories
2. 1242 Inspiration (5163 sqft) 2 stories
3. 1355 Inspiration (6769 sq ft) 2 stories
4. 1405 Inspiration Dr (9788 sqft)
5. 1419 Inspiration Dr (5131 sqft)
6. 6120 Avenida Chamnez (6000 sqft) 2+stories
7. 1009 Solymar Dr (6337 sqft)
8. 975 Muirlands Dr (7253 sqft) 2 st
9. 1443 Muirlands Dr (7039 sqft) 2 stories
10. 921 Muirlands Dr (8612 sqft) 2st
11. 918 Muirlands Dr (6755 sqft) 2 st
12. 804 Muirlands Dr (6555 sqft) 2 st
13. 934 Muirlands Dr (5814 sqft)
14. 950 Muirlands Dr (5240 sqft)
15. 1006 Muirlands Dr (6000 sqft)
16. 1020 Muirlands Dr (5370 sqft)
17. 1040 Muirlands Dr (5200 sqft)
18. 725 Muirlands Vista Wy (4600 sqft) 2 st
19. 707 Muirlands Vista Way (7990 sqft) 2 st
20. 724 Muirlands Vista Way (4933 sqft)
21. 744 Muirlands Vista Way (10,000 sqft) 2 st
22. 822 Muirlands Vista Way (5423 sqft) 2 st
23. 966 Muirlands Vista Way (5896 sqft)

24. 1052 Muirlands Vista Way (4546 sqft)
25. 1066 Muirlands Vista Way (5306 sq ft)
26. 6420 Avenida Manana (7161 sqft)