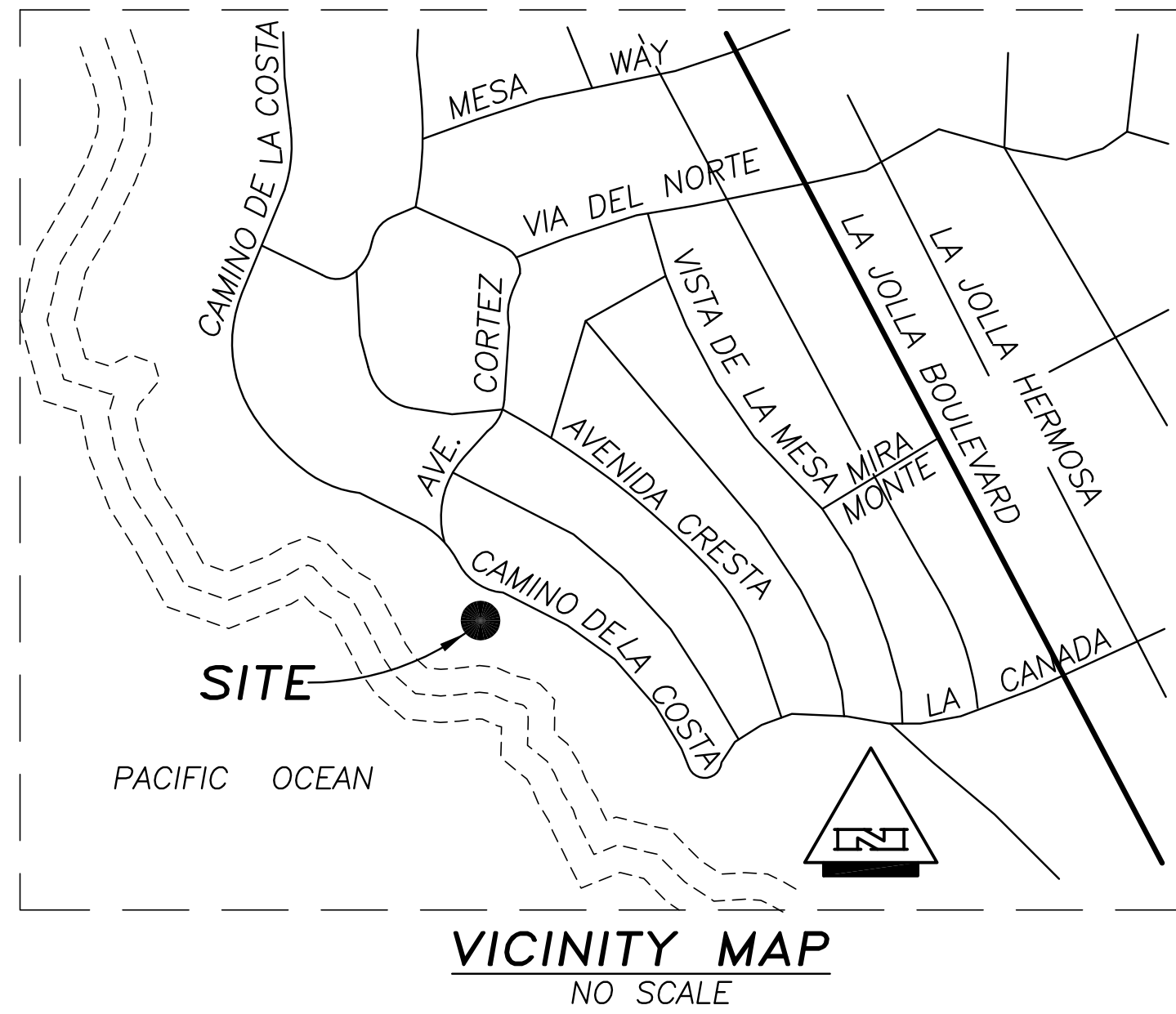


VICINITY MAP



PROJECT DATA

**PROJECT ADDRESS:**  
6110 CAMINO DE LA COSTA, LA JOLLA, CA 92037

**LEGAL DESCRIPTION:**  
TEN (10) AND ELEVEN (11), IN BLOCK ONE-A, IN LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 21, 1924, EXCEPTING FROM THE ABOVE-DESCRIBED PROPERTY THAT PORTION THEREOF HERETOFORE OR NOW LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

**EASEMENTS:** NO EXISTING EASEMENTS ON SITE

**PERMITS REQUIRED:**  
PMT-3169345 DISCRETIONARY PERMIT  
PMT-3169346 COASTAL DEVELOPMENT PERMIT (CDP)  
PMT-3275100 SITE DEVELOPMENT PERMIT (SDP)  
NEIGHBORHOOD DEVELOPMENT PERMIT (NDP)

**PROJECT #:** 1066101

**APN:** 357-141-05-00

**USE / STRUCTURES ON SITE:**  
EXISTING: SINGLE FAMILY RESIDENCE  
PRIMARILY CONSTRUCTED IN 1924  
PROPOSED REHABILITATION/ REMOVAL OF HISTORIC RESOURCE  
HERBERT YORK/ HERBERT PALMER / CASA DE LOS AMIGOS

PROPOSED USE: SINGLE FAMILY RESIDENCE

**ZONE:**  
RS-1-5  
COASTAL OVERLAY ZONE (COZ) CST-APP  
COASTAL OVERLAY ZONE FIRST PUBLIC ROADWAY  
COASTAL HEIGHT LIMIT OVERLAY ZONE (CHLOZ)  
PARKING IMPACT OVERLAY ZONE - COASTAL & BEACH IMPACT  
SENSITIVE COASTAL OVERLAY ZONE: SC02-CB  
TRANSIT AREA OVERLAY ZONE  
TRANSIT PRIORITY AREA  
COASTAL BLUFF EDGE  
GEOLOGICAL HAZARD CATEGORY 12 & 43

**TYPE OF CONSTRUCTION:** TYPE IIIA

**OCCUPANCY CLASSIFICATION:** R-3

**LOT SIZE:** 16,058.31 sq ft  
0.368 acres

**BASE ZONING DENSITY:** 1 DU PER 8000 SQ FT = 1  
MAX PER LOT - 1DU

**F.A.R:**  
ALLOWED RESIDENTIAL: INTERIOR LOT COVERAGE 40%  
PERMITTED FAR: 16058.31 X 0.48 7708 SQ FT

**FAR:**  
BASEMENT EXEMPT PER 113.0234  
GROUND LEVEL LEVEL 1 3320  
LEVEL 2 3323  
TOTAL 6643 < 7708

**SETBACKS:**  
FRONT REQUIRED: 20 FT  
PROPOSED: VARIES DUE TO PREVIOUSLY CONFORMING STRUCTURE(S)  
20'-0" FOR NEW DEVELOPMENT

SIDE REQUIRED: VARIES DUE TO PREVIOUSLY CONFORMING STRUCTURE(S)  
7' - 1" FEET PER 113.0243(C) FOR NEW DEVELOPMENT

PROPOSED: NORTH = 7'-1"  
SOUTH = 7'-1" (NEW CONSTRUCTION)

REAR YARD REQUIRED: 20 FEET  
PROPOSED: VARIES 78 FEET TO 110 FEET

**FRONT YARD HARDSCAPE AND MAXIMUM PAVING §131.0447**  
SEE DIAGRAM T1.0  
REQUIRED MAX: 60%  
PROPOSED HARDSCAPE: 39%

**BUILDING AREA:**  
ALLOWED: FAR GOVERNED  
SUBTERRANEAN LEVEL 3138 SQ FT  
LEVEL 1 2761 SQ FT  
LEVEL 2 2750 SQ FT

TOTAL 8649 SQ FT

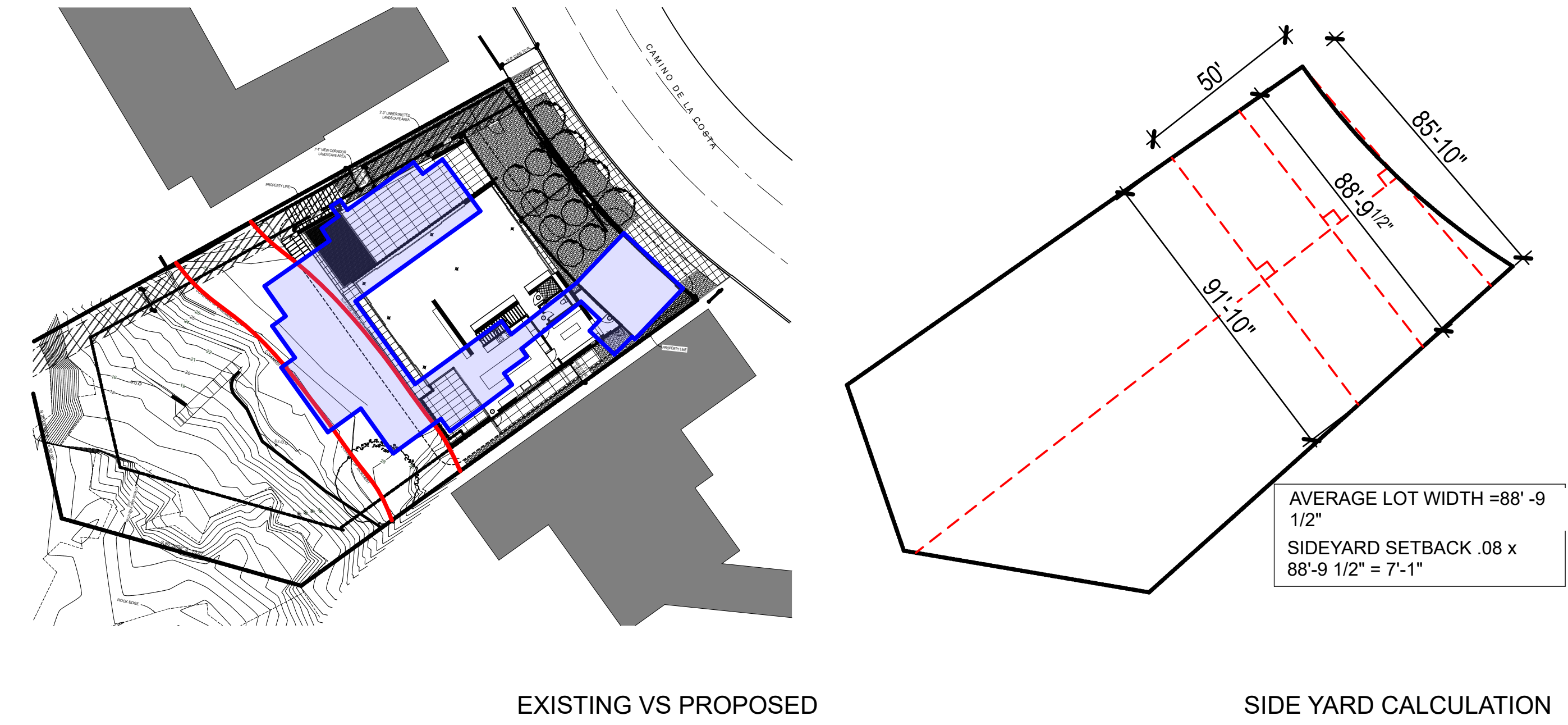
GARAGE AREA 499 SQ FT

**HEIGHT:**  
PROPOSED MAX: 30'-0" AT PLUMB LINE  
MAX HEIGHT ALLOWED 30'-0" PLUMB LINE + 10'-0"

**PARKING:**  
REQUIRED: 2 SPACES + TWO GUEST  
PROPOSED: 2 SPACES + TWO GUEST  
4 TOTAL PARKING LOCATIONS

**MODIFICATIONS**  
VISIBILITY TRIANGLE §113.0273 DIAGRAM 113.0255  
PROPOSED REDUCED

SITE DIAGRAM



EXISTING VS PROPOSED

SIDE YARD CALCULATION

PROJECT DESCRIPTION

A COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING HISTORICALLY DESIGNATED 3,036 SQUARE-FOOT (SF) 2-STORY RESIDENCE AND CONSTRUCT A NEW 2-STORY 8,649 SF RESIDENCE WITH A BASEMENT LOCATED AT 6110 CAMINO DE LA COSTA. THE PROJECT WOULD ALSO INCLUDE A SWIMMING POOL AT GROUND LEVEL, A SPA AT THE LOWER LEVEL AND ASSOCIATED SITE IMPROVEMENTS (I.E. HARDSCAPE AND LANDSCAPING). THE PROJECT WOULD PRESERVE THE EXISTING WALL ALONG THE FRONTAGE OF THE SITE AND DETACHED GARAGE IN PLACE.

THE PROPOSED DEVELOPMENT WOULD INCLUDE LANDSCAPE IMPROVEMENTS INCLUDING HEDGES ALONG THE FRONTAGE OF THE SITE AND EDGES OF THE SITE ADJACENT TO THE NEIGHBORING PROPERTIES ON THE NORTH AND SOUTH. LANDSCAPING WOULD ALSO INCLUDE TREES, SUCCULENTS, AND SHRUBS IN THE FRONT PORTION OF THE SITE. THE SITE WOULD BE ACCESSIBLE FROM A NEW DRIVEWAY OFF CAMINO DE LA COSTA AND THE PROJECT WOULD CONNECT TO EXISTING UTILITIES WITHIN CAMINO DE LA COSTA. DRAINAGE WOULD BE DIRECTED AWAY FROM THE COASTAL BLUFF AND DIRECTED INTO THE EXISTING STORM DRAIN SYSTEM.

THE PROPOSED PROJECT WOULD ALSO INCLUDE REMOVAL OF THE EXISTING WALLS AND STAIRS WEST OF THE BLUFF EDGE AND WOULD PRESERVE ALL PORTIONS OF THE LOT WEST OF THE BLUFF EDGE AS ENVIRONMENTALLY SENSITIVE LANDS (SENSITIVE COASTAL BLUFF) WITHIN A COVENANT OF EASEMENT. THE COVENANT OF EASEMENT WOULD INCLUDE LAND USE RESTRICTIONS WITH THE INTENT TO PRECLUDE FUTURE DEVELOPMENT AND TO PRESERVE THE AREA.

THE PROPOSED RESIDENCE WOULD BE A MAXIMUM HEIGHT OF 30 FEET WITHIN THE 30-FOOT COASTAL HEIGHT LIMIT. THE RESIDENCE WOULD INCLUDE CAST IN PLACE NATURAL GREY WALLS, FROSTED & CLEAR GLASS LINED BY BLACK METAL, WOOD PANELS, DECORATIVE METAL & STONE SCREENING, METAL ENTRY AND SLIDING GATES.

THE TOTAL AREA WITHIN THE PROJECT SITE TO BE GRADED IS 0.17 ACRES, OR 46.3% OF THE PROJECT SITE. GRADING WOULD REQUIRE APPROXIMATELY 1155 CUBIC YARDS OF CUT (150 CUBIC YARDS OF NATIVE SOIL AND 1005 CUBIC YARDS OF ARTIFICIAL FILL), AND 20 CUBIC YARDS OF FILL, RESULTING IN A NET EXPORT OF 1135 CUBIC YARDS OF SOIL.

SHEET INDEX

- T1.0 TITLE SHEET
- T1.1 SURVEY
- T1.2 GRADING PLAN
- T1.3 DEMOLITION PLAN
- A0.0 SITE PLAN
- A1.0 BASEMENT PLAN
- A1.1 GROUND LEVEL PLAN
- A1.2 LEVEL 2
- A1.3 ROOF LEVEL
- A1.4 FAR DIAGRAM
- A2.0 SOUTH ELEVATION
- A2.1 EAST ELEVATION
- A2.2 NORTH ELEVATION
- A2.3 WEST ELEVATION
- A3.0 BUILDING SECTIONS NORTH SOUTH
- A3.1 BUILDING SECTION EAST WEST
- L1.0 LANDSCAPE GROUND LEVEL
- L1.1 LANDSCAPE LOWER LEVEL

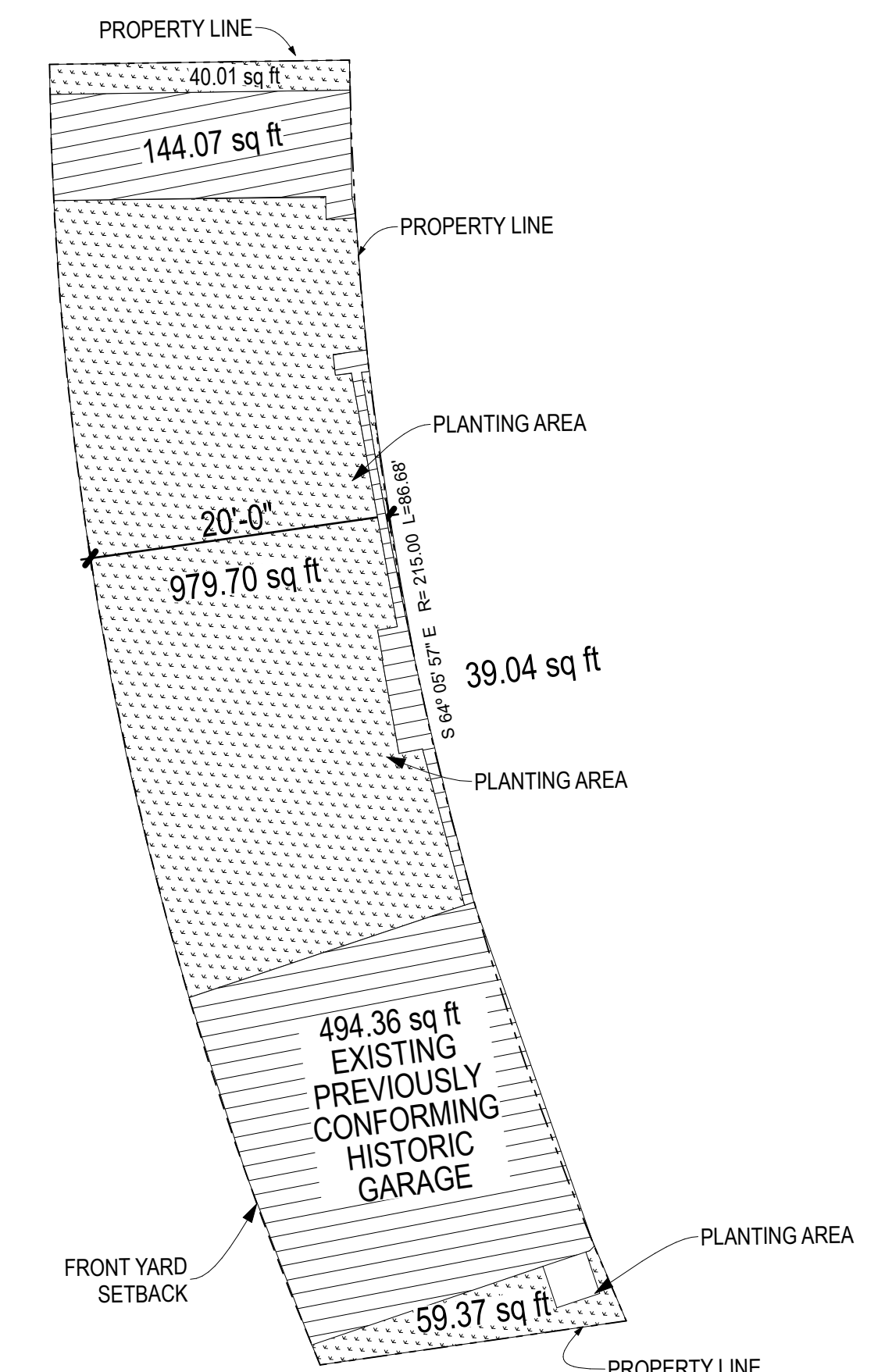
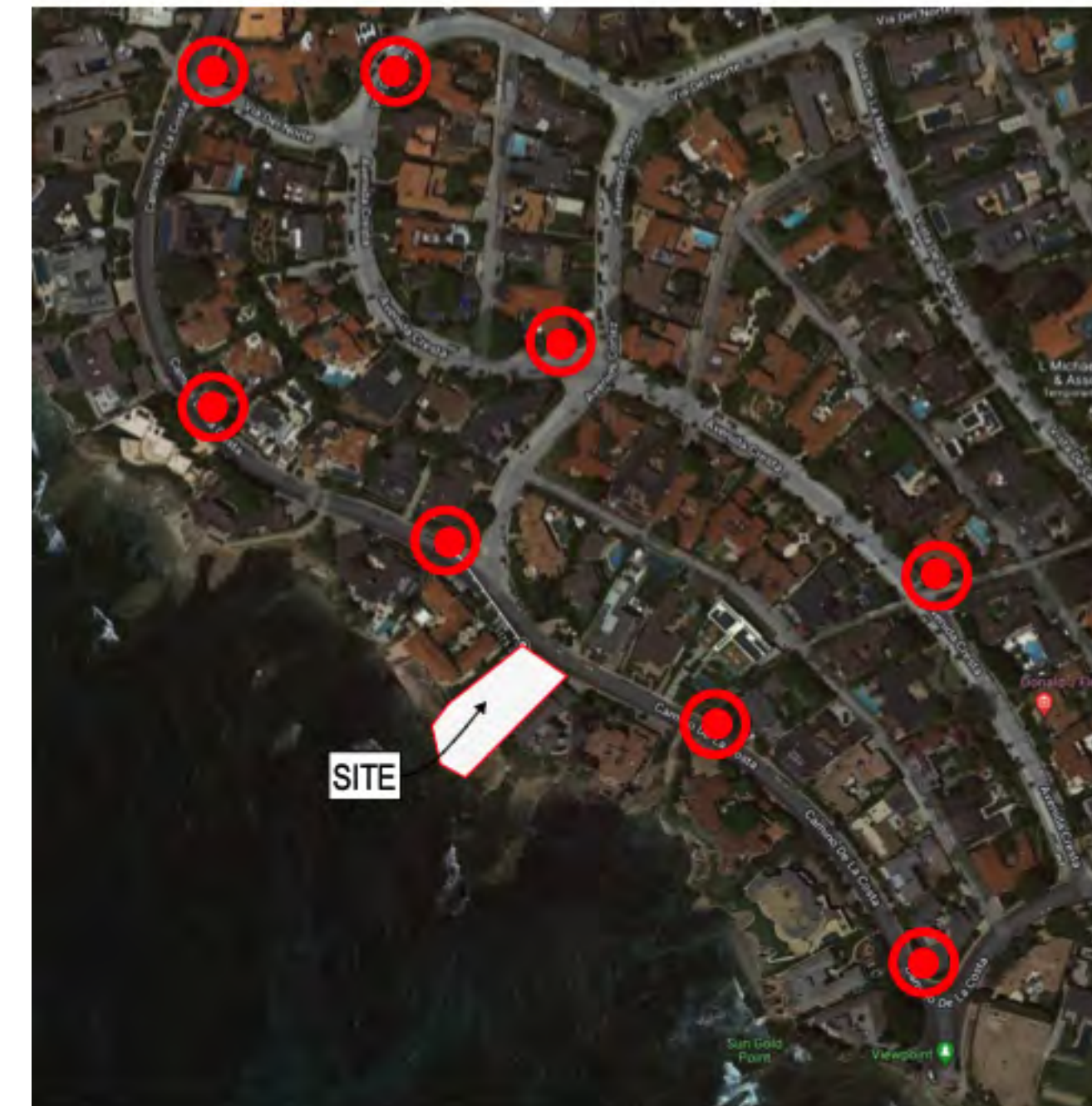
FRONT YARD HARDSCAPE CALC

FRONT YARD HARDSCAPE:  
COMPLIES WITH THE 60% MAXIMUM ALLOWED FOR PAVING AND HARDSCAPE WITHIN THE FRONT YARD PER SDMC §131.0447

TOTAL FRONT YARD AREA: 1765 SF  
TOTAL FRONT YARD PREVIOUSLY CONFORMING STRUCTURE: 614 SF  
PLANTING AREA REQUIRED: 706 SF  
PLANTING AREA PROVIDED: 40 + 980 + 59 = 1079 SF

COMPLIANCE: 1079 > 706 = OK

FIRE HYDRANT MAP



PROJECT TEAM

**OWNER:**  
JMAN AT THE Q, L.P.  
2121 SUNSET BLVD  
SAN DIEGO, CA 92103  
619-993-6269  
CONTACT: MATTHEW SEGAL  
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

**APPLICANT DEVELOPER:**  
JMAN INVESTMENTS INC  
2121 SUNSET BLVD  
SAN DIEGO, CA 92103  
619-993-6269  
CONTACT: MATTHEW SEGAL  
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

**ARCHITECT:**  
JONATHAN SEGAL / FAIA  
2121 SUNSET BLVD  
SAN DIEGO, CA 92103  
619-993-6269  
CONTACT: MATTHEW SEGAL  
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

**STRUCTURAL ENGINEER**  
DCI ENGINEERS  
101 W. BROADWAY STE 1260  
SAN DIEGO, CALIFORNIA 92101  
619-400-1704  
CONTACT: JON DECK  
EMAIL: JDECK@DCI-ENGINEERS.COM

**GEOTECHNICAL ENGINEER 1**  
CHRISTIAN WHEELER ENGINEERING  
3980 HOME AVENUE  
SAN DIEGO, CA 92105  
619-550-1721  
CONTACT: DAVID RUSSELL  
EMAIL: DRUSSEL@CHRISTIANWHEELER.COM

**GEOTECHNICAL ENGINEER 2**  
GEOSOILS INC  
18451 COLLIER AVE SUITE A  
LAKE ELSINORE, CA, 92530  
951-471-0700  
CONTACT: BRYAN E. RODRIGUEZ  
EMAIL: WMACK@PLSAENGINEERING.COM

**CIVIL ENGINEER:**  
PASCO LARET SUITER  
535 N HWY 101  
SOLANA BEACH, CA 92075  
858-259-8212  
CONTACT: WILL MACK  
EMAIL: BRODRIGUEZ@GEOSOILSINC.COM

**ELECTRICAL ENGINEER:**  
NEDC, INC  
3103 FALCON STREET SUITE J  
SAN DIEGO, CA 92103  
619-278-0076  
CONTACT: DAVID NUTTER  
EMAIL: DAVID@NEDINC.NET

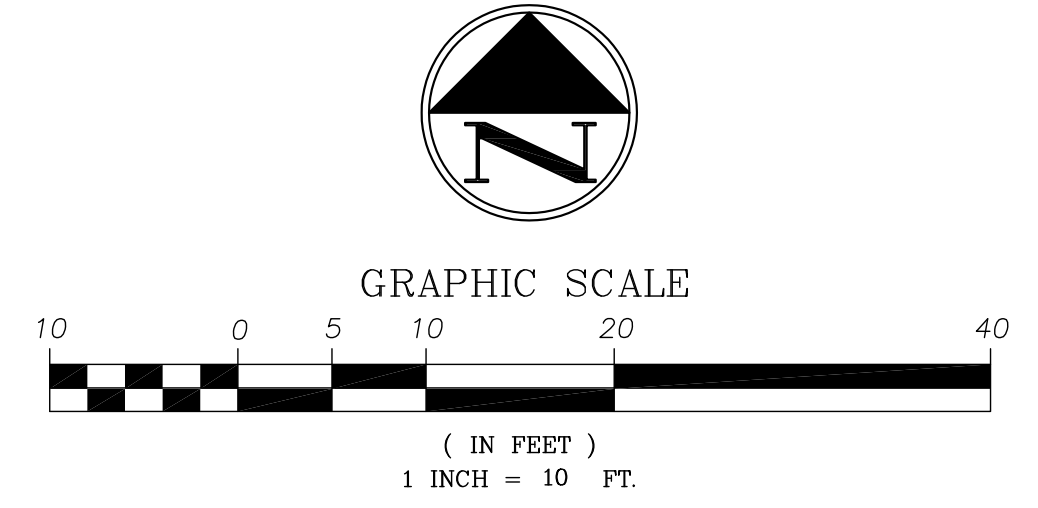
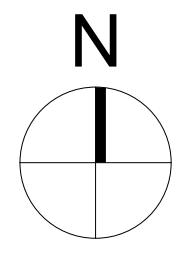
CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



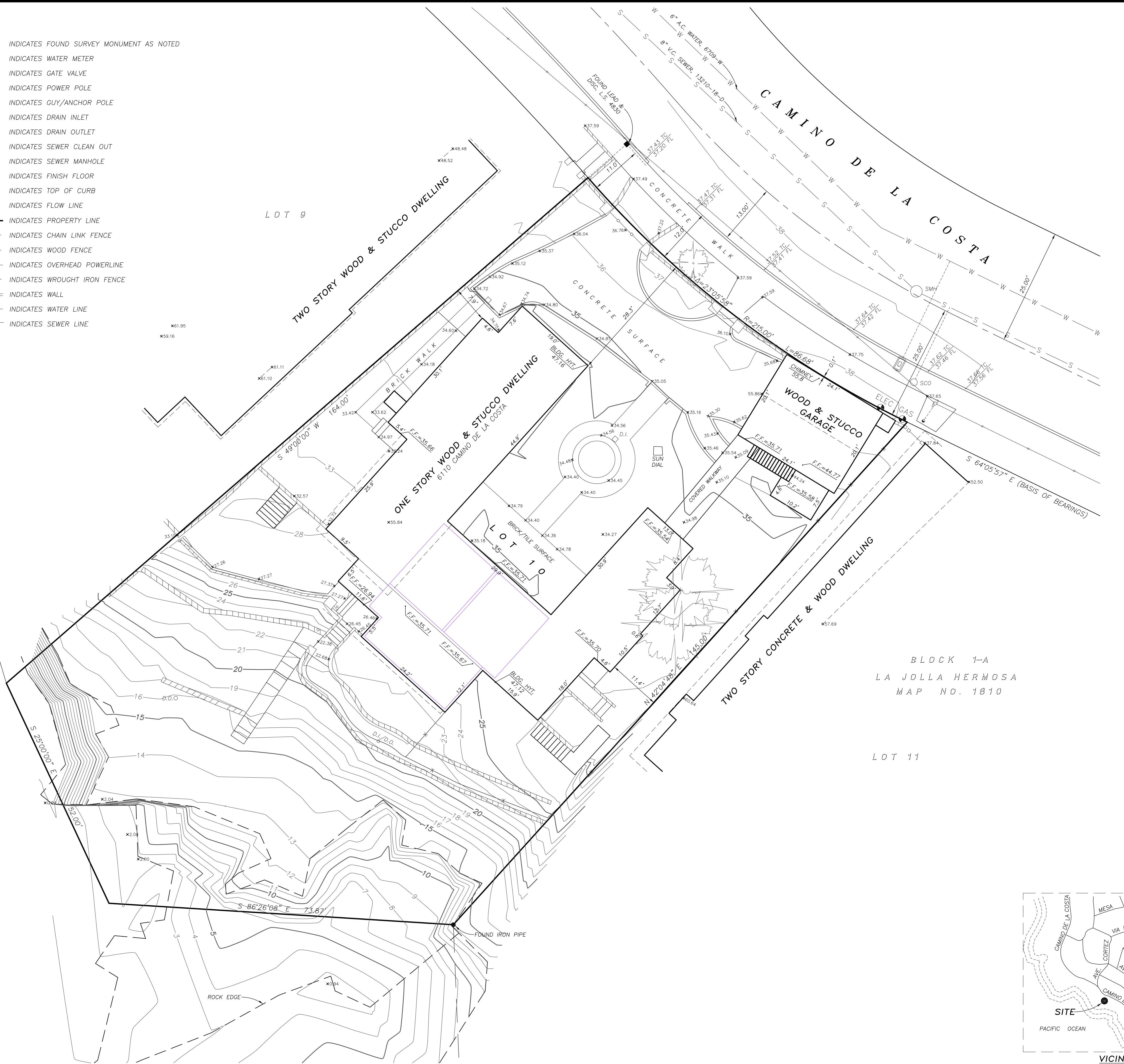
PROJECT #	1066101
SHEET TITLE:	TITLE SHEET
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24

SHEET NAME:

T1.0



- LEGEND:**
- ■ INDICATES FOUND SURVEY MONUMENT AS NOTED
  - ⊠ INDICATES WATER METER
  - ⊙ INDICATES GATE VALVE
  - ⊕ INDICATES POWER POLE
  - INDICATES GUY/ANCHOR POLE
  - DI INDICATES DRAIN INLET
  - DO INDICATES DRAIN OUTLET
  - SCO INDICATES SEWER CLEAN OUT
  - SMH INDICATES SEWER MANHOLE
  - FF INDICATES FINISH FLOOR
  - TC INDICATES TOP OF CURB
  - FL INDICATES FLOW LINE
  - INDICATES PROPERTY LINE
  - x- INDICATES CHAIN LINK FENCE
  - o-o- INDICATES WOOD FENCE
  - x-x- INDICATES OVERHEAD POWERLINE
  - o-o-o- INDICATES WROUGHT IRON FENCE
  - ||||| INDICATES WALL
  - W- INDICATES WATER LINE
  - S- INDICATES SEWER LINE



BLOCK 1-A  
LA JOLLA HERMOSA  
MAP NO. 1810

**LEGAL DESCRIPTION:**

LOT 10 (10), IN BLOCK ONE-A, IN LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924; EXCEPTING FROM THE ABOVE-DESCRIBED PROPERTY THAT PORTION THEREOF HERETOFORE OR NOW LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

**BASIS OF ELEVATION:**

WESTERLY BRASS PLUG  
CAMINO DE LA COSTA AND AVENIDA CRESTA  
ELEVATION = 57.044 M.S.L.

**NOTES REGARDING PRELIMINARY REPORT:**

THIS A.L.T.A./N.S.P.S. LAND TITLE SURVEY IS BASED ON THE DESCRIPTIONS FURNISHED IN LAWYERS TITLE COMPANY, PRELIMINARY REPORT, ORDER NO. 322311061, DATED AS OF JANUARY 27, 2022.

ITEM NO. 5 OF SAID REPORT INDICATES THE PROPERTY IS SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED DECEMBER 19, 1924 IN BOOK 1038, PAGE 423 OF DEEDS. NOT PLOTTABLE.

**PROPERTY NOTES:**

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHWESTERLY RIGHT OF WAY LINE OF CAMINO DE LA COSTA PER MAP NO. 1810, I.E. S 64°05'57" E
2. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN LAWYERS TITLE COMPANY PRELIMINARY REPORT ORDER NO. 322311061, WITH AN EFFECTIVE DATE OF JANUARY 27, 2022 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID PRELIMINARY REPORT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT OF THE SUBJECT PROPERTY.
3. THE NUMBER OF STRIPED PARKING SPACES WITHIN THE BOUNDARY OF THE PROPERTY IS 0.
4. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' (NON-SPECIAL FLOOD HAZARD AREA) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 06073C1584H, WITH A DATE OF IDENTIFICATION OF DECEMBER 20, 2019, FOR COMMUNITY NO. 060295, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
5. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 16,058.31 SQUARE FEET / 0.368 ACRES.
6. THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITION.

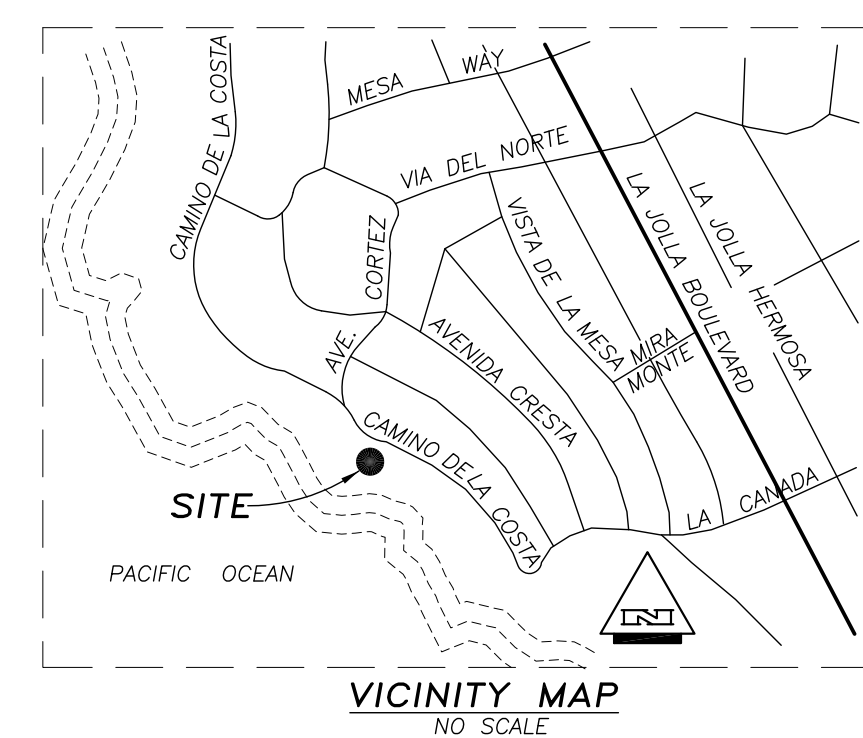
**SURVEYORS CERTIFICATE:**

TO: JMAN INVESTMENTS AND LAWYERS TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b), 7(c), 8, 9, 13, 14, 16, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 7, 2022.

DATE OF PLAT: FEBRUARY 14, 2022

*Robert J. Bateman*  
ROBERT J. BATEMAN  
PROFESSIONAL LAND SURVEYOR  
REGISTRATION NO. 7046  
EMAIL: rbateman@sdlsse.com



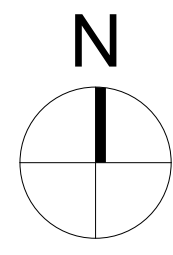
<b>A.L.T.A./N.S.P.S. LAND TITLE SURVEY</b>		
For the exclusive use of: <b>JMAN INVESTMENTS</b> 3000 UPAS STREET, SUITE 101 SAN DIEGO, CALIFORNIA 92104		
<b>San Diego Land Surveying &amp; Engineering, Inc.</b> 7028 Convo Court, San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 2/14/2022	Revised:	Revised:
Scale: 1"=10'	Drawn by: R.J.B.	Sheet 1 of 1 Sheet
Drawing: Camino De La Costa 6110	A.P.N. 357-141-05	

**CAMINO DE LA COSTA**  
 6110 CAMINO DE LA COSTA  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	
SURVEY	
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	

T1.1



**IMPERVIOUS AREA SUMMARY TABLE**

ONSITE	
TOTAL DISTURBANCE AREA	8,029 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	6,235 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	5,755 SF

**OFF-SITE (PUBLIC IMPROVEMENTS)**

TOTAL DISTURBANCE AREA	550 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	579 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	662 SF
SEWER AND WATER LINES EXCAVATION	12 yards

**ON-SITE**

ALL GRADING TO BE UNDER THE FOOTPRINT OF THE STRUCTURE	
TOTAL AMOUNT OF SITE TO BE GRADED	0.17 ACRES
PERCENTAGE OF SITE AREA	46.3%
MAXIMUM DEPTH OF CUT	12 FEET
AMOUNT OF BACKFILL	20 yards
MAXIMUM DEPTH OF FILL	3 FEET
MAXIMUM HEIGHT OF FILL SLOPE	N/A
AMOUNT OF SOIL EXPORT	1155 YDS
RETAINING LENGTH	230 FEET

TOTAL AMOUNT OF NATIVE SOIL TO BE EXCAVATED	150 yards
TOTAL AMOUNT OF ARTIFICIAL FILL TO BE EXCAVATED	1005 yards

**NOTE:**  
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/ PERMITTEE SHALL INCORPORATE ANY BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

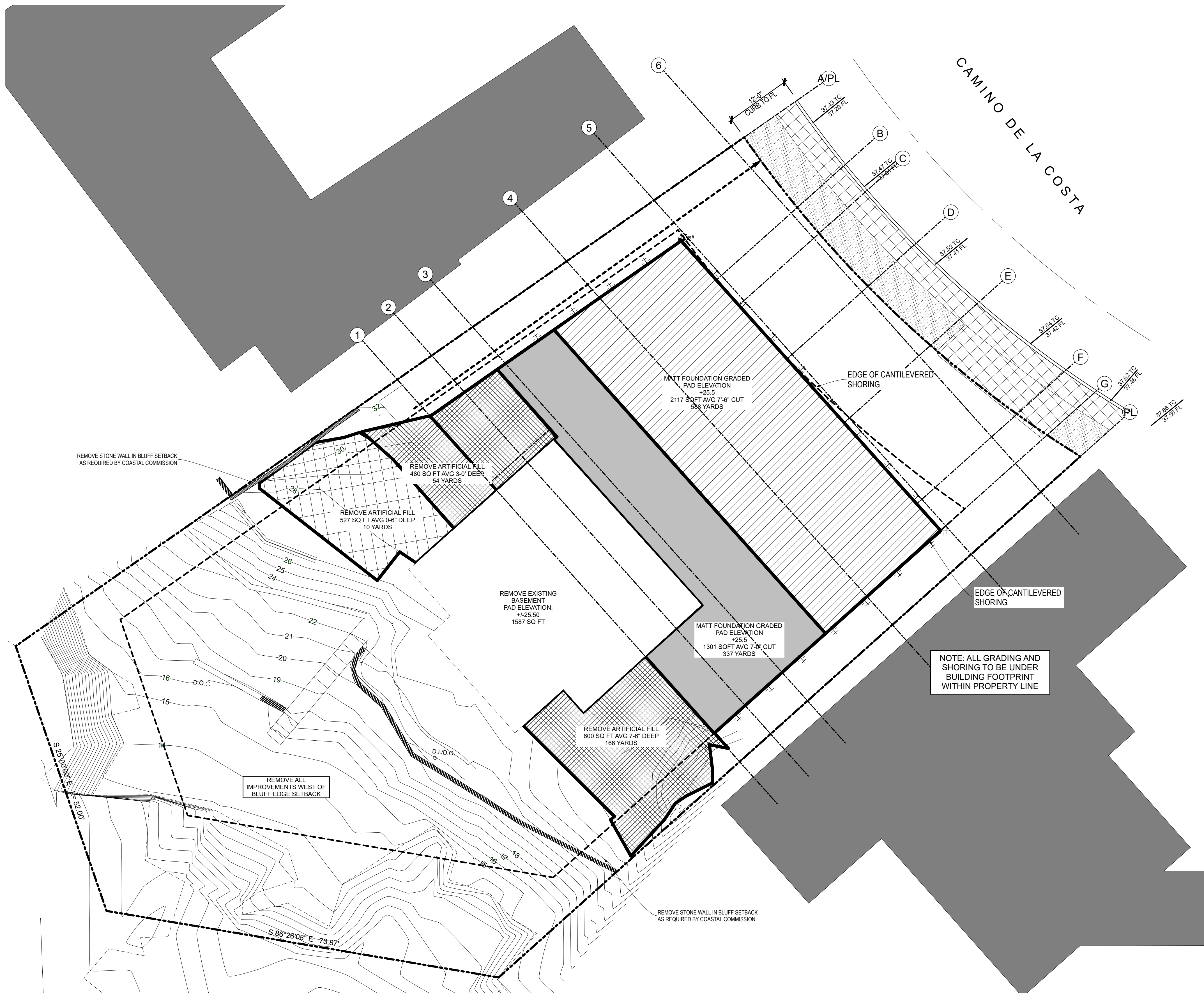
PRIOR THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/ PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WILL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS

ALL PROPOSED PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PUBLIC UTILITIES APPROVED WATER METER DATA CARD.

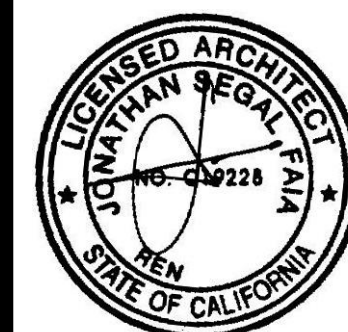
**NOTE:**  
PROPOSED DRIVEWAY PER CITY STANDARD SDG-159

PER SDMC 143.0143(d) ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM COASTAL BLUFF AND DIRECTED INTO EXISTING STORM DRAIN SYSTEM.



GRADING PLAN  
SCALE: 1" = 10'

CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA



JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104

PROJECT #  
1066101

SHEET TITLE:  
GRADING PLAN

SCALE:

DATE:  
6/15/2022

REVISION 1:  
2/1/2023

REVISION 2:  
6/14/2023

REVISION 3:  
10/9/2023

REVISION 4:  
11/29/2023

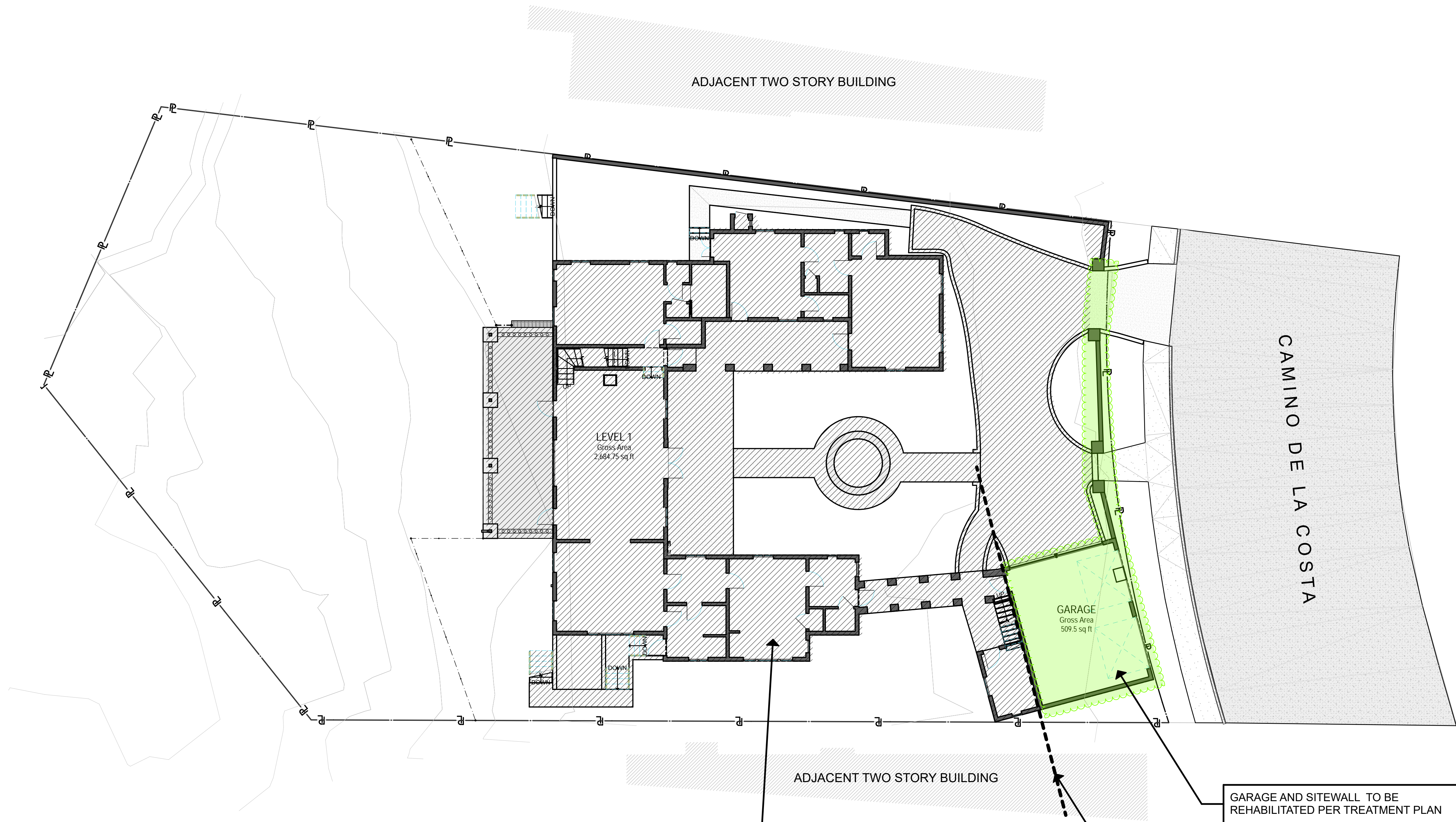
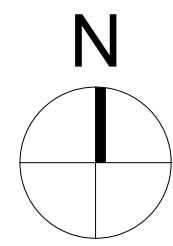
REVISION 5:  
1/9/24

REVISION 6:  
1/12/24

FINAL DOCUMENT  
2/26/24

SHEET NAME:

T1.2



EXISTING MAIN RESIDENCE AND SITEWORK TO BE REMOVED PER TREATMENT PLAN

GARAGE AND SITEWALL TO BE REHABILITATED PER TREATMENT PLAN

APPROXIMATE LINE OF NEW DEVELOPMENT

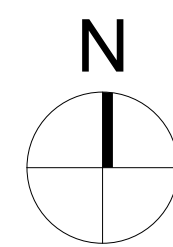
DEMOLITION AND REMOVAL PLAN  
SCALE: 1" = 1'-0"

**CAMINO DE LA COSTA**  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	DEMOLITION PLAN
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	



**NOTE:**  
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WILL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS SUCH AS A STEPS, DRIVEWAY, CURB CUT, AND LANDSCAPING WITHIN PUBLIC RIGHT OF WAY (ROW) SUBJECT TO CITY ENGINEER APPROVAL.

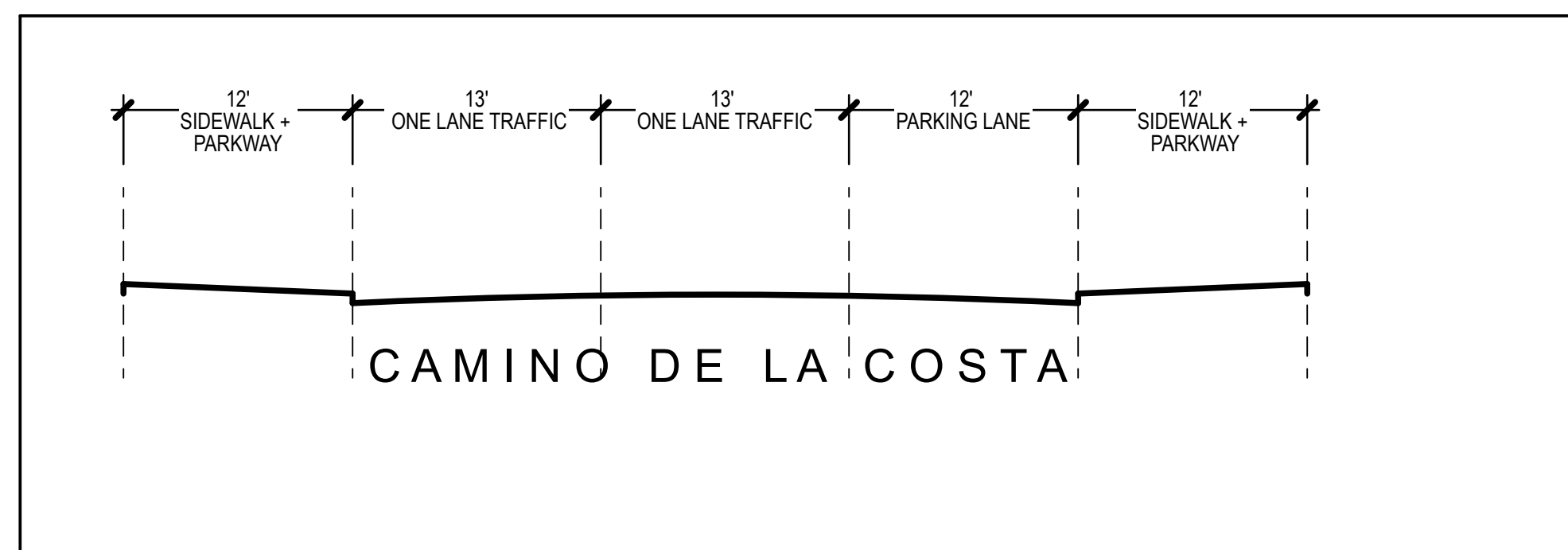
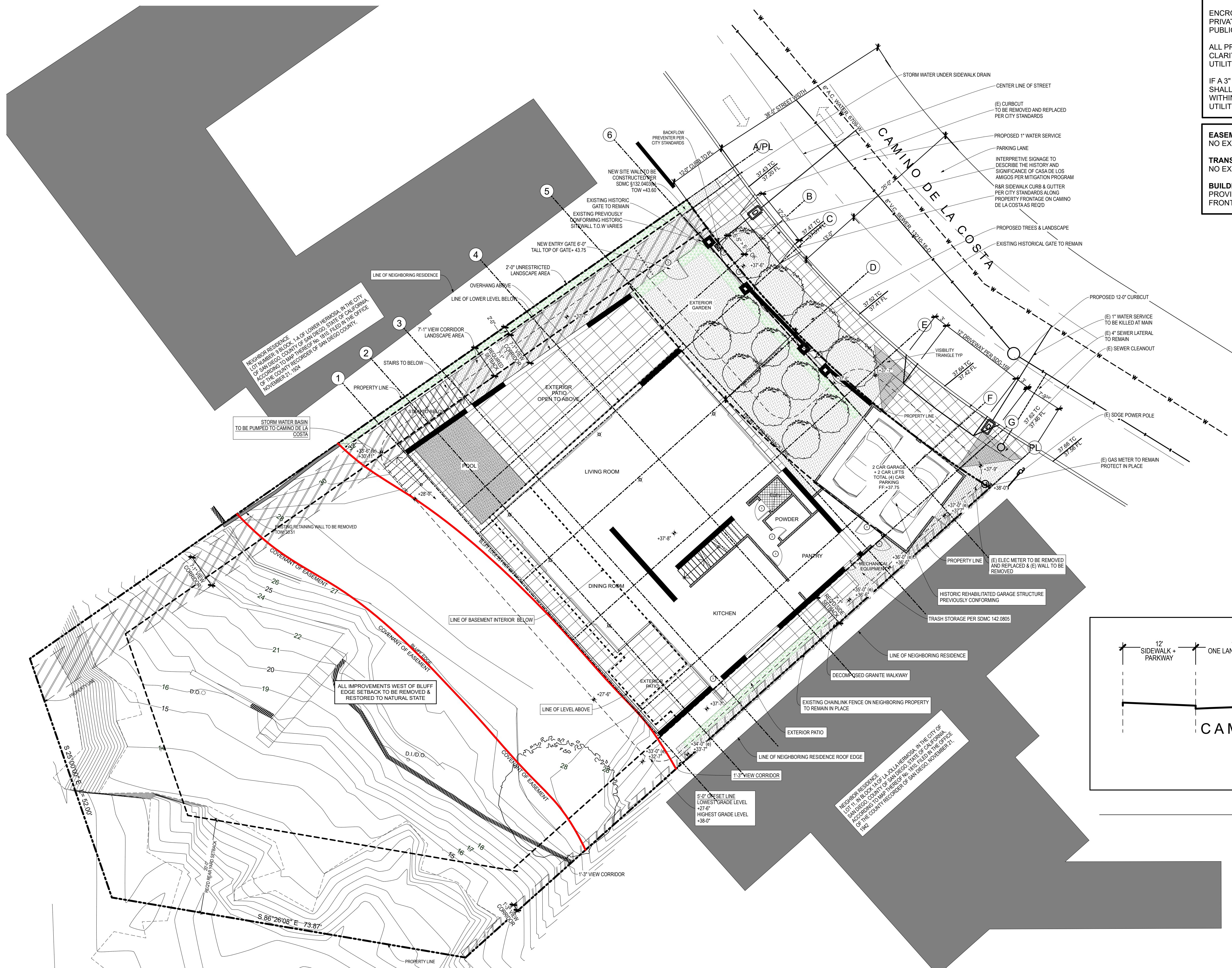
ALL PROPOSED PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PUBLIC UTILITIES APPROVED WATER METER DATA CARD.

IF A 3" OR LARGER WATER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

**EASEMENTS:**  
NO EXISTING EASEMENTS ON SITE

**TRANSIT STOPS:**  
NO EXISTING TRANSIT STOPS ADJACENT TO SITE

**BUILDING ADDRESS:**  
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)



CAMINO DE LA COSTA STREET SECTION  
SCALE: 1/8" = 1'-0"

SITE PLAN  
SCALE: 1" = 10'

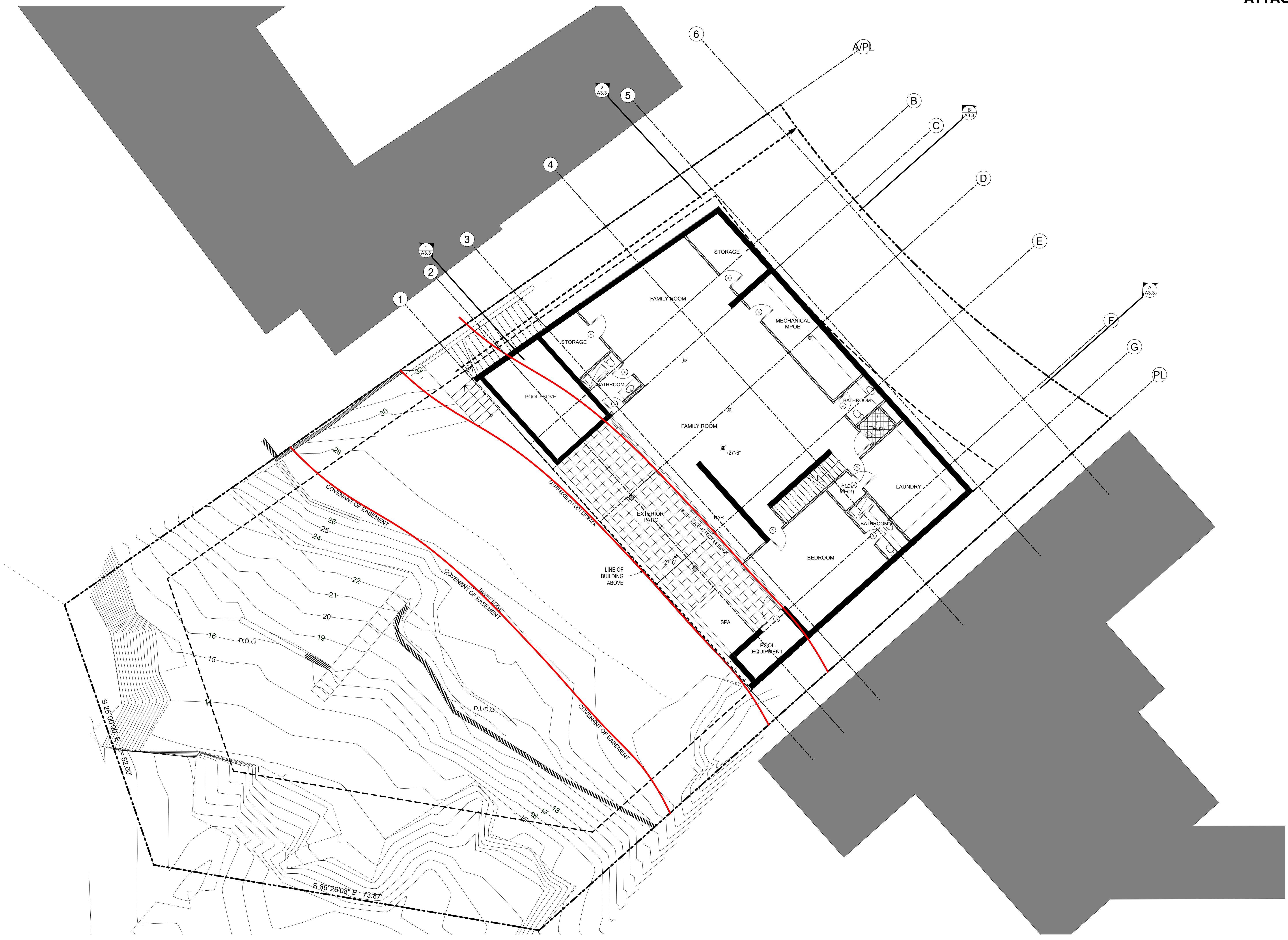
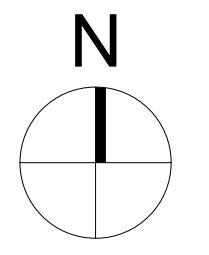
NEIGHBOR RESIDENCE, BLOCK 1, A 97' OVERHANG IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACQUIRED BY THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 11, 1994

NEIGHBOR RESIDENCE, BLOCK 1, A 97' OVERHANG IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACQUIRED BY THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 11, 1994

**CAMINO DE LA COSTA**  
6110 CAMINO DE LA COSTA  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	SITE PLAN
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	A0.0



**CAMINO DE LA COSTA**  
 6110 CAMINO DE LA COSTA

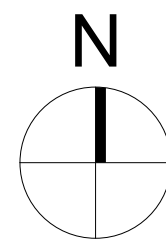
JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	BASEMENT LEVEL
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	

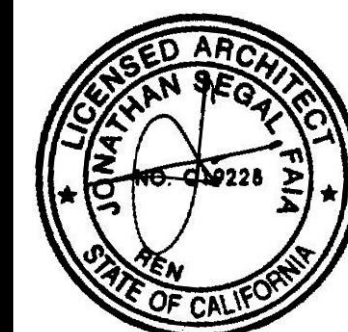
T/BASEMENT LEVEL  
 SCALE: 1/8" = 1'-0"

A1.0



CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #  
1066101

SHEET TITLE:

GROUND LEVEL

SCALE:

DATE:  
6/15/2022

REVISION 1:  
2/1/2023

REVISION 2:  
6/14/2023

REVISION 3:  
10/9/2023

REVISION 4:  
11/29/2023

REVISION 5:  
1/9/24

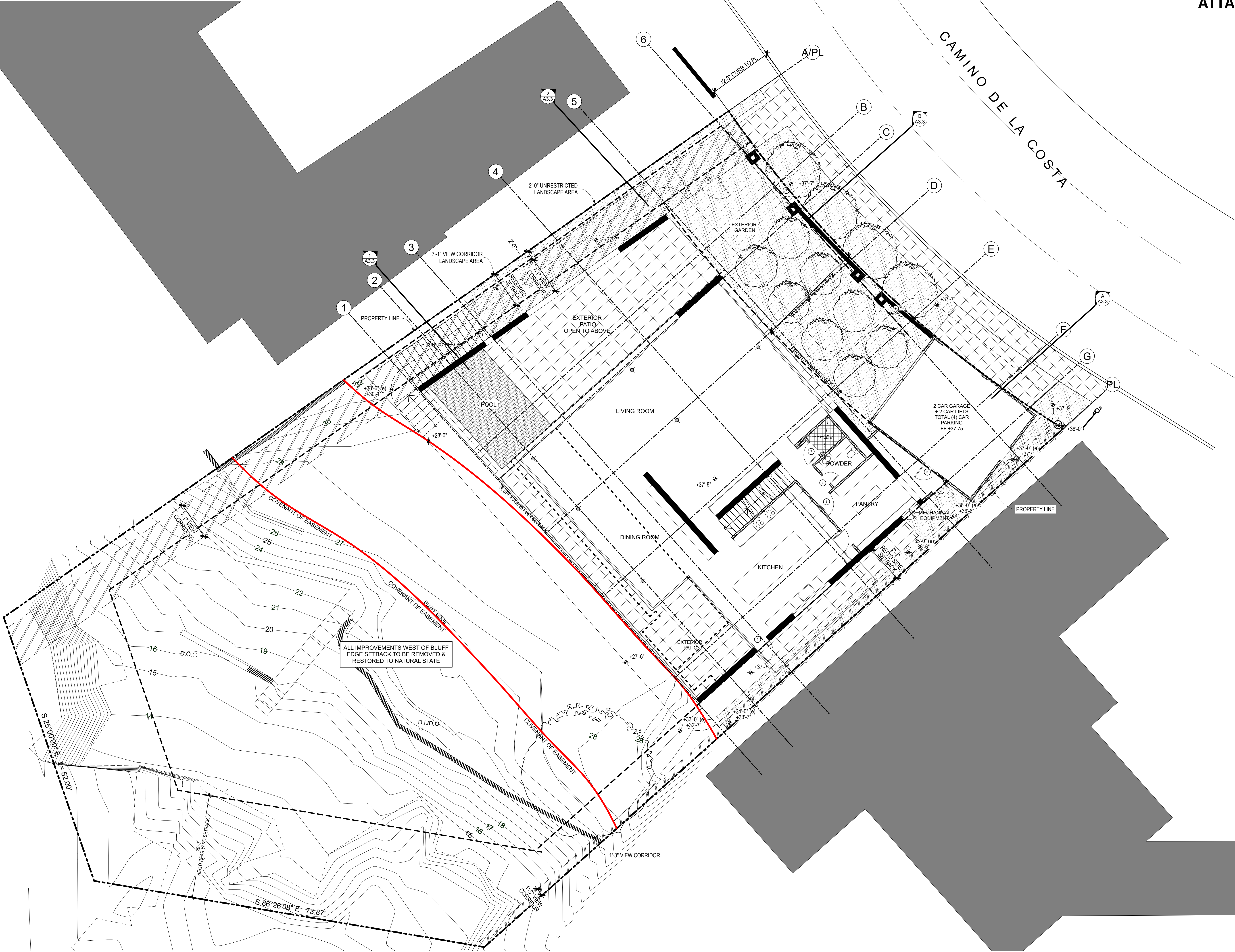
REVISION 6:  
1/12/24

FINAL DOCUMENT  
2/26/24

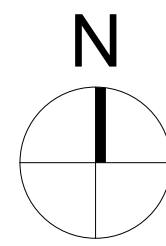
SHEET NAME:

A1.1

GROUND LEVEL  
SCALE: 1/8" = 1'-0"

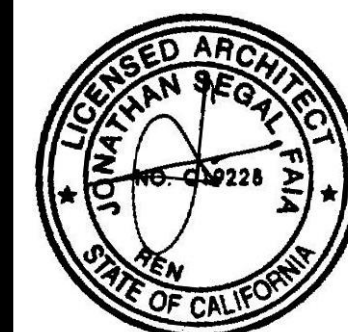


ALL IMPROVEMENTS WEST OF BLUFF  
EDGE SETBACK TO BE REMOVED &  
RESTORED TO NATURAL STATE



CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #  
1066101

SHEET TITLE:

LEVEL 2

SCALE:

DATE:  
6/15/2022

REVISION 1:  
2/1/2023

REVISION 2:  
6/14/2023

REVISION 3:  
10/9/2023

REVISION 4:  
11/29/2023

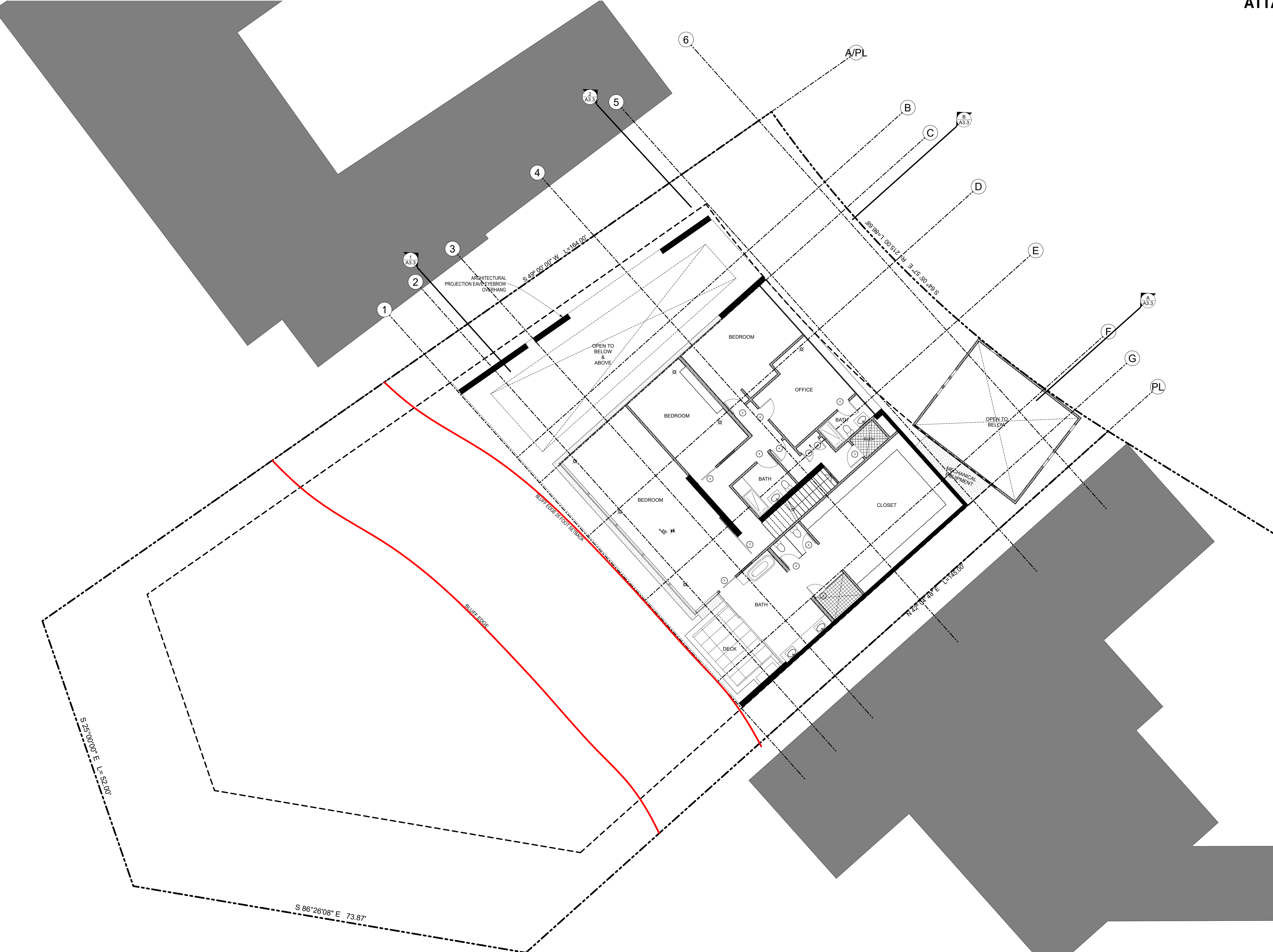
REVISION 5:  
1/9/24

REVISION 6:  
1/12/24

FINAL DOCUMENT  
2/26/24

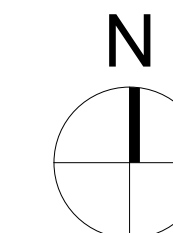
SHEET NAME:

A1.2



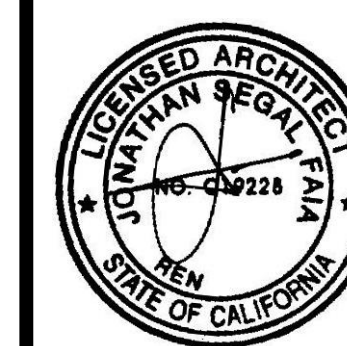
SECOND LEVEL  
SCALE: 1/8" = 1'-0" A1.2



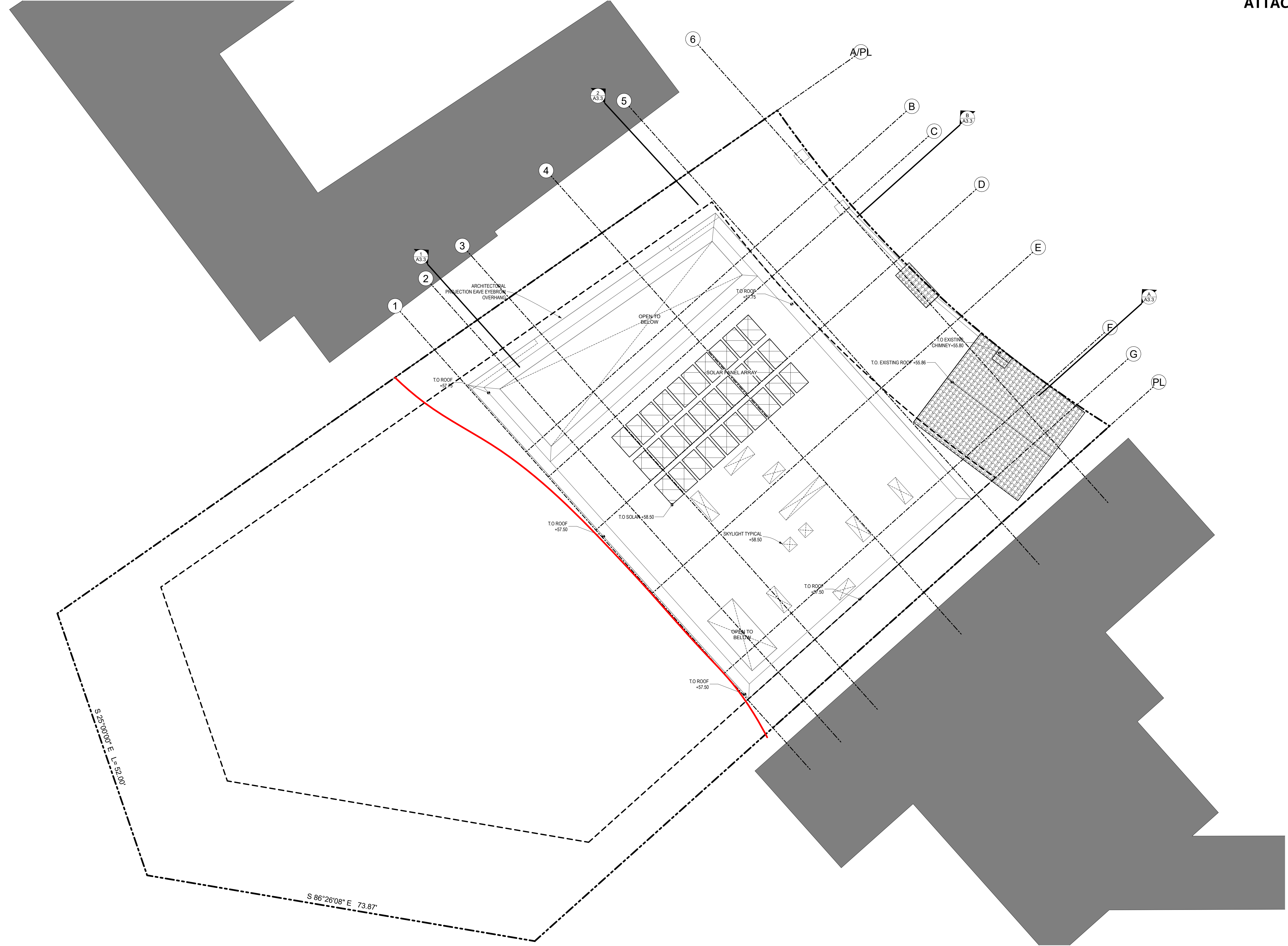


CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	ROOF
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	A1.3

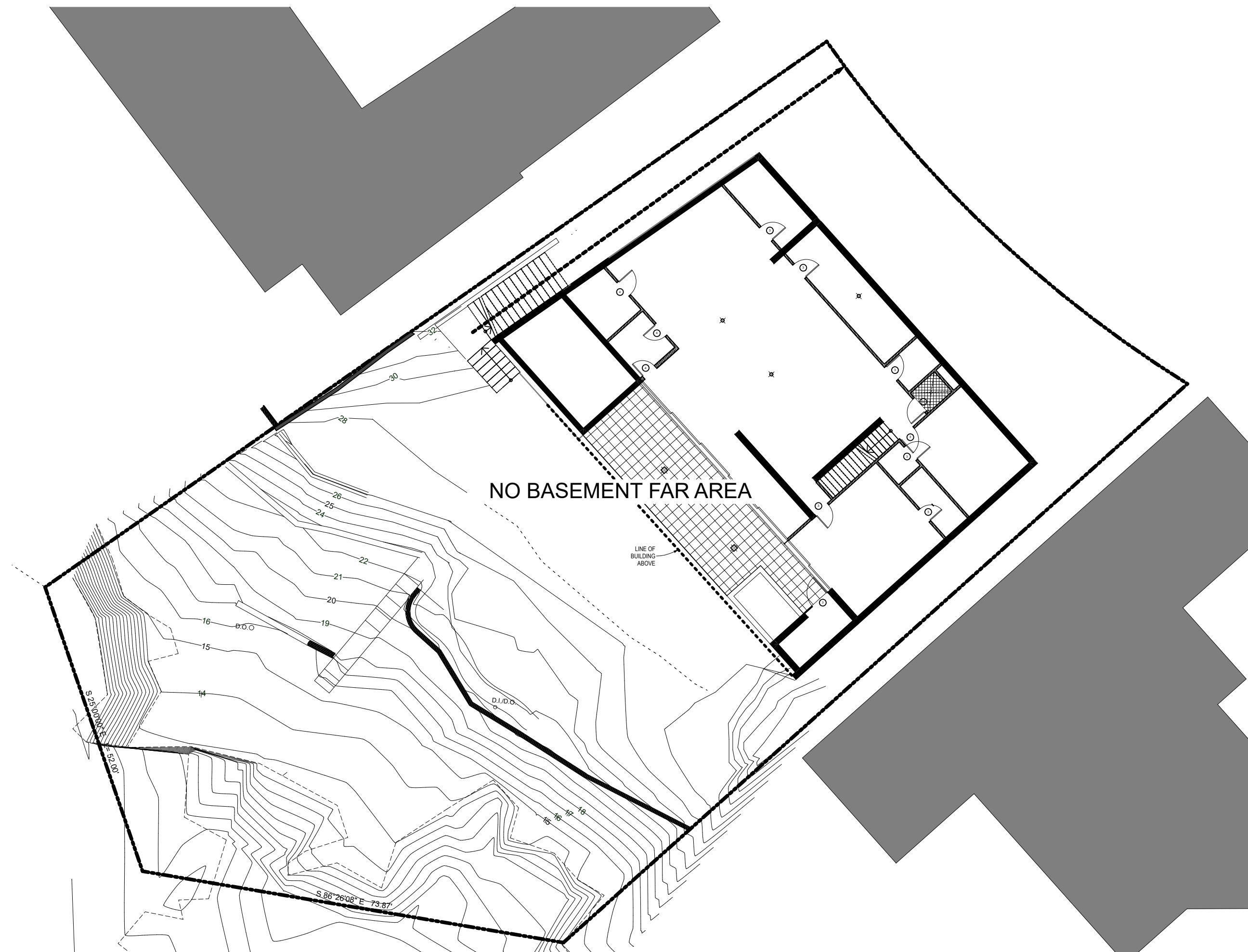
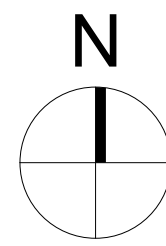


S 25°40'00" E L = 52.00'

S 86°26'08" E 73.87'

ROOF  
SCALE: 1/8" = 1'-0" A1.3

A1.3



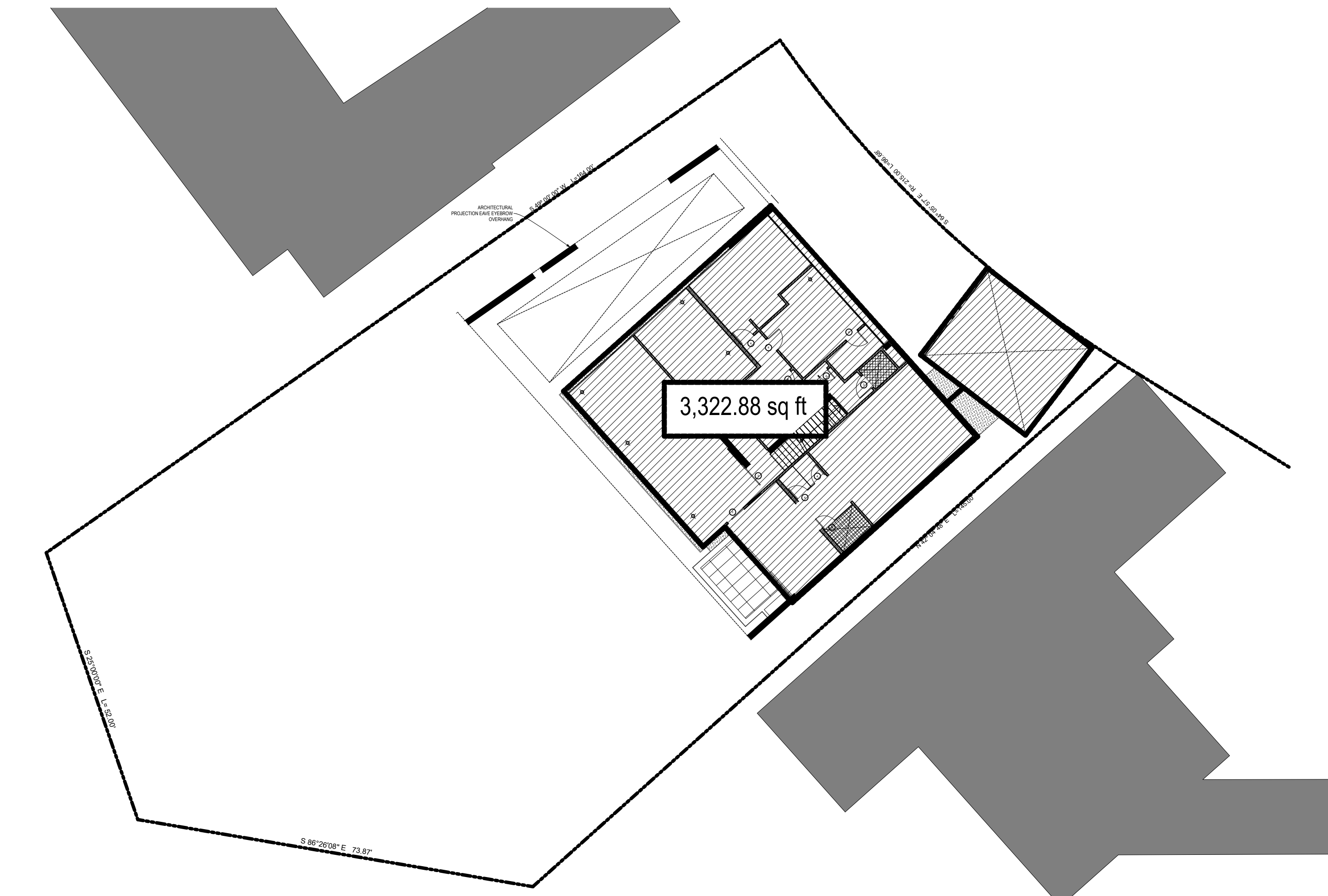
BASEMENT LEVEL  
SCALE: 1/16" = 1'-0"



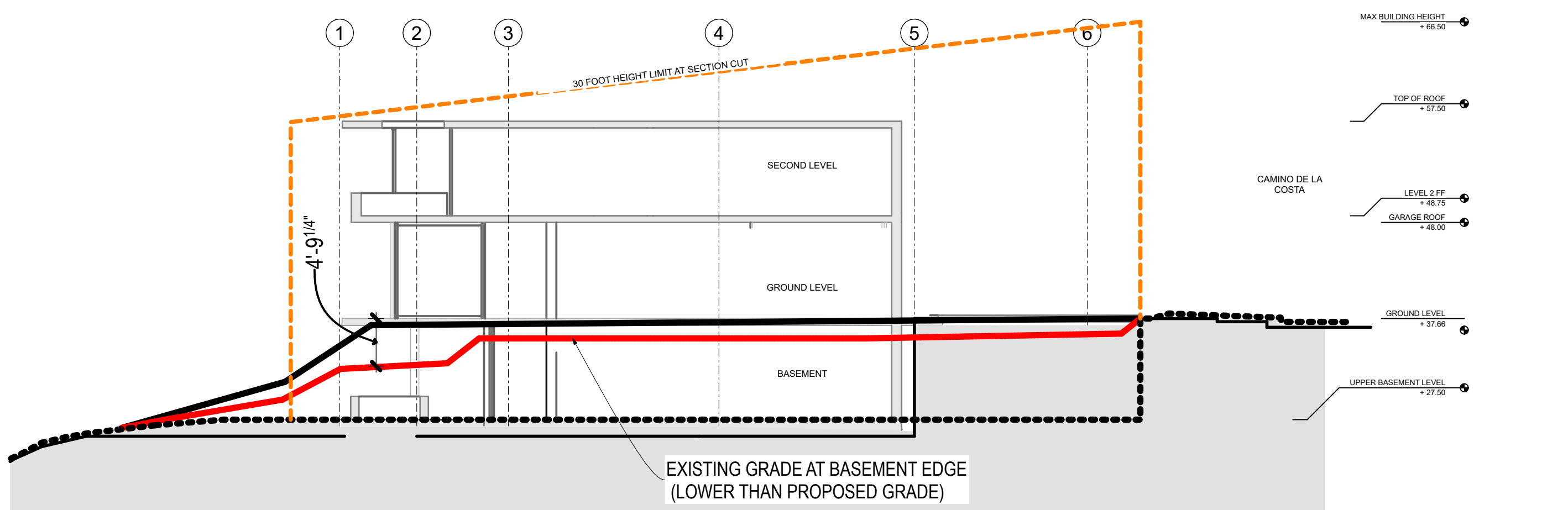
GROUND LEVEL  
SCALE: 1/16" = 1'-0"

NOTE: BASEMENT AREA EXCLUDED IN GROSS FLOOR AREA PER SDMC SECTION 113.0234 & DIAGRAM 113-02J BASEMENTS WITH 5% OR MORE SLOPE

FAR:	
BASEMENT LEVEL	:0000 SQFT
LEVEL 1 (GROUND LEVEL)	:3320 SQFT
LEVEL 2	:3323 SQFT
TOTAL FAR	:6643 SQ FT
ALLOWED FAR	:7708 SQ FT
COMPLIANCE	6643 < 7708 SQ FT



SECOND LEVEL  
SCALE: 1/16" = 1'-0"



SECTION FAR DIAGRAM LONG  
SCALE: 3/32" = 1'-0"

CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA

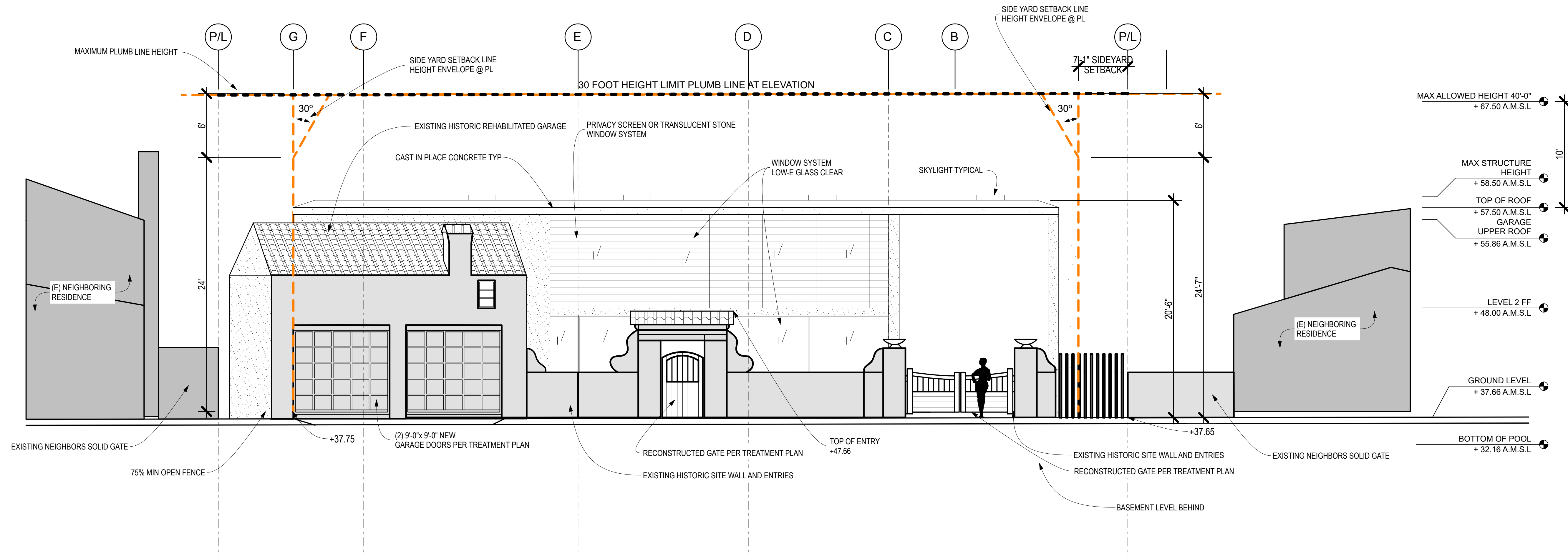
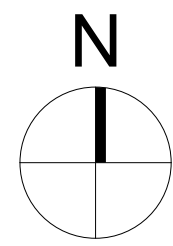
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	FAR DIAGRAM
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	

A1.4

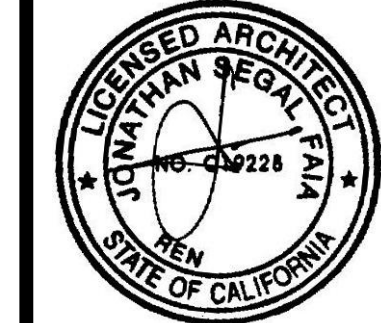




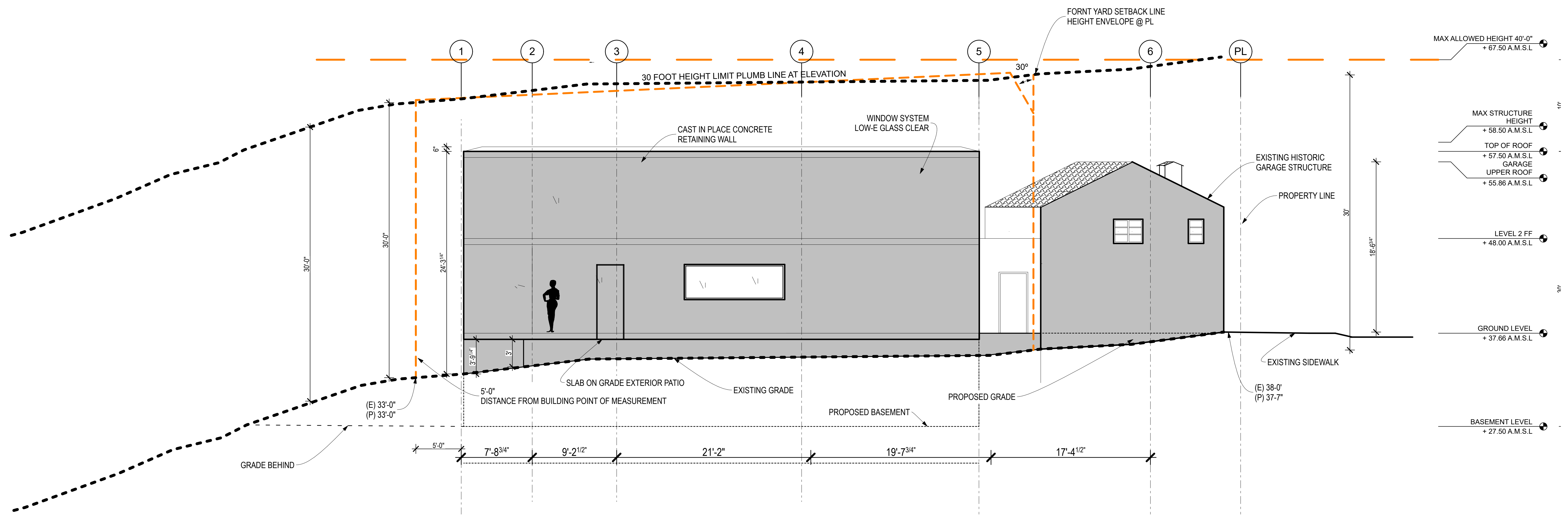
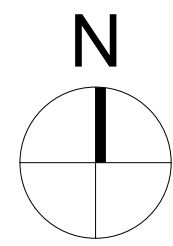
EAST  
 SCALE: 3/16" = 1'-0"

**CAMINO DE LA COSTA**  
 6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	EAST ELEVATION
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	



SOUTH  
SCALE: 3/16" = 1'-0"

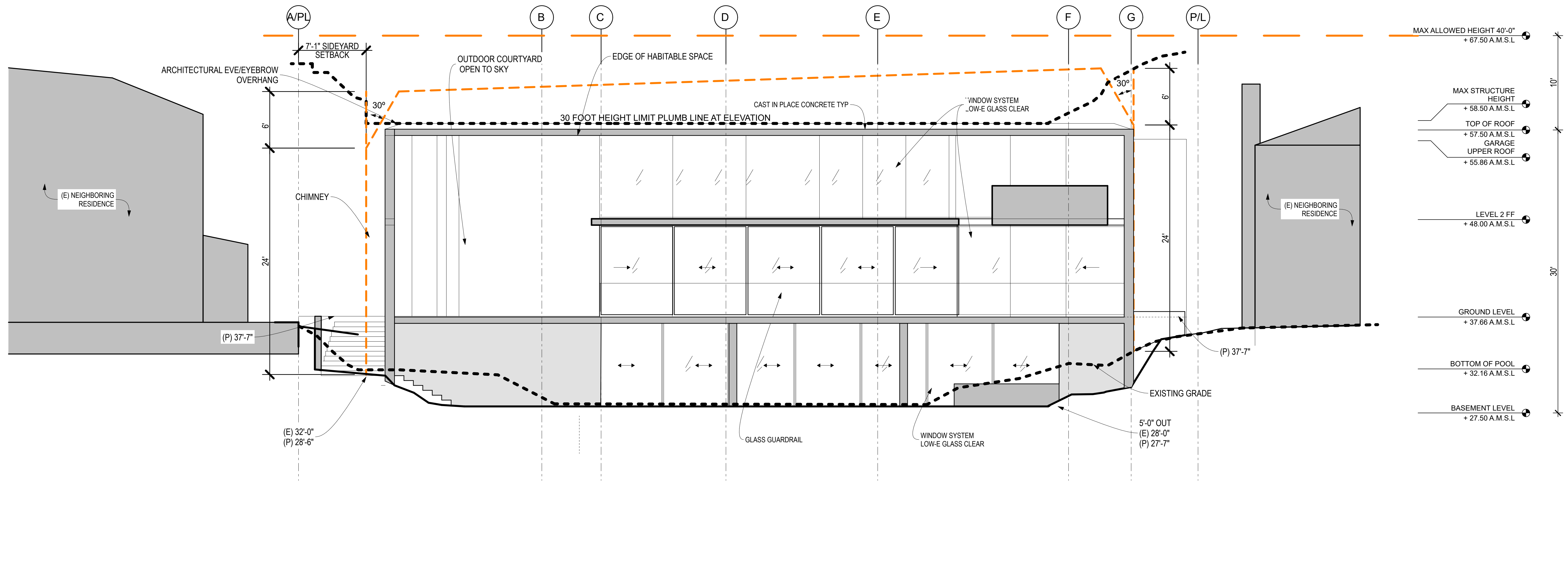
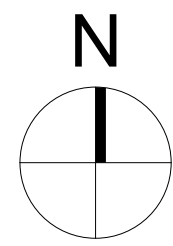
**CAMINO DE LA COSTA**  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	SOUTH ELEVATION
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	

A2.2

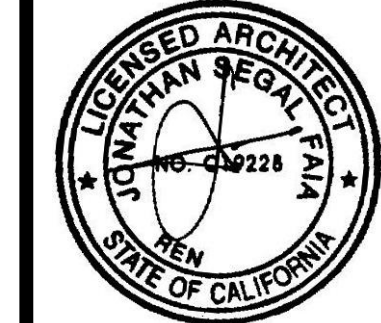


- MAX ALLOWED HEIGHT 40'-0" + 67.50 A.M.S.L.
- MAX STRUCTURE HEIGHT + 58.50 A.M.S.L.
- TOP OF ROOF + 57.50 A.M.S.L.
- GARAGE UPPER ROOF + 55.86 A.M.S.L.
- LEVEL 2 FF + 48.00 A.M.S.L.
- GROUND LEVEL + 37.66 A.M.S.L.
- BOTTOM OF POOL + 32.16 A.M.S.L.
- BASEMENT LEVEL + 27.50 A.M.S.L.

WEST  
SCALE: 3/16" = 1'-0"

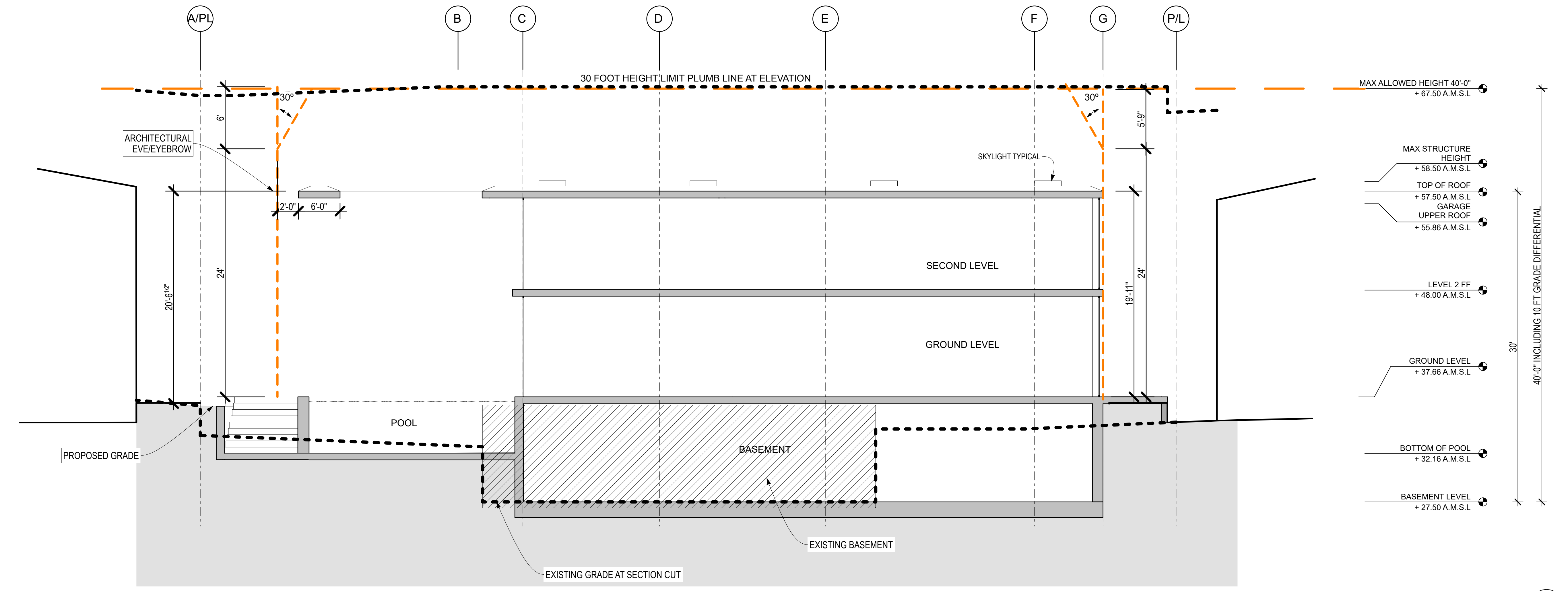
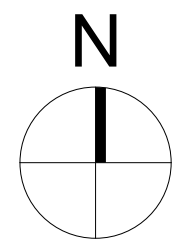
**CAMINO DE LA COSTA**  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104

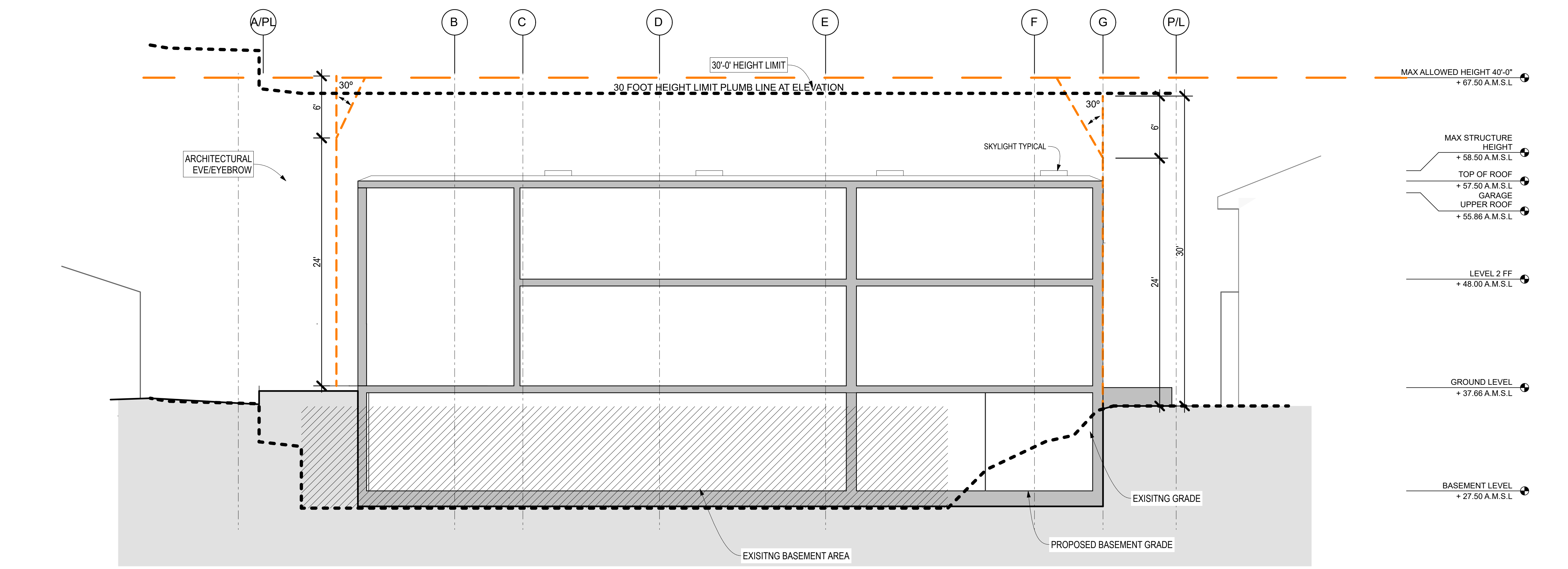


PROJECT #	1066101
SHEET TITLE:	WEST ELEVATION
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	

A2.3



NORTH  
SCALE: 3/16" = 1'-0" 1  
A3.0



NORTH  
SCALE: 3/16" = 1'-0" 2

**CAMINO DE LA COSTA**  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #  
1066101

SHEET TITLE:  
NORTH SOUTH  
SECTION

SCALE:

DATE:  
6/15/2022

REVISION 1:  
2/1/2023

REVISION 2:  
6/14/2023

REVISION 3:  
10/9/2023

REVISION 4:  
11/29/2023

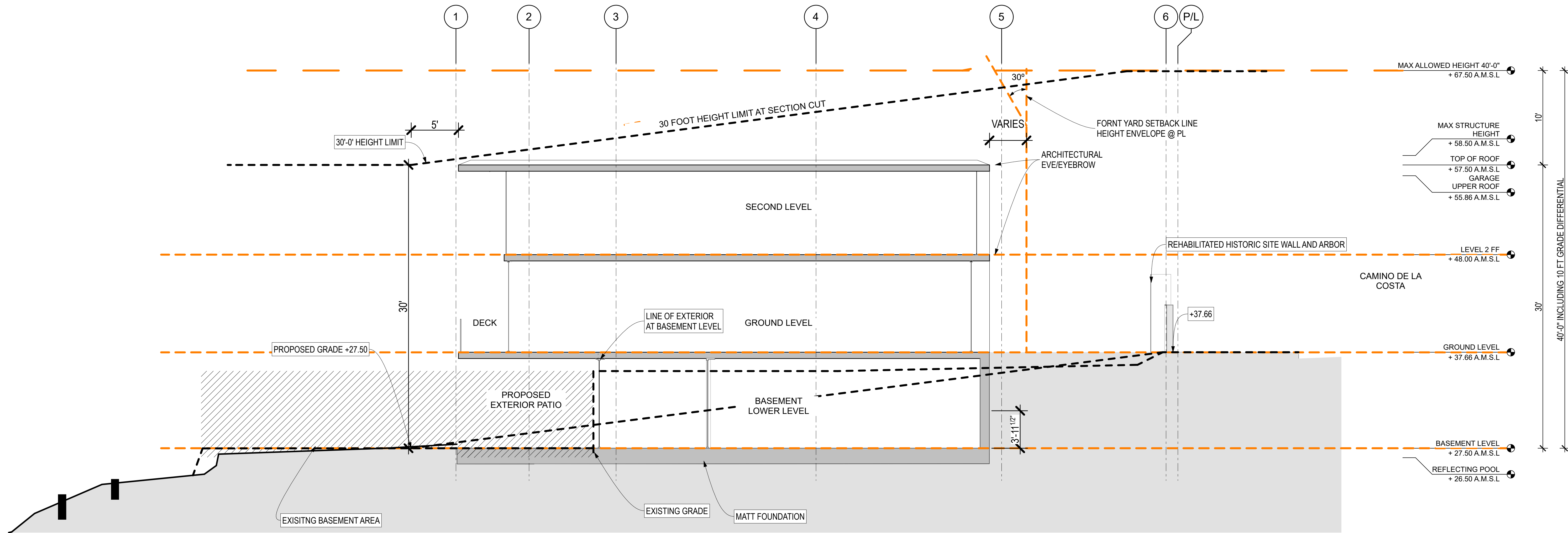
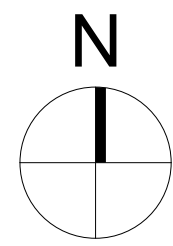
REVISION 5:  
1/9/24

REVISION 6:  
1/12/24

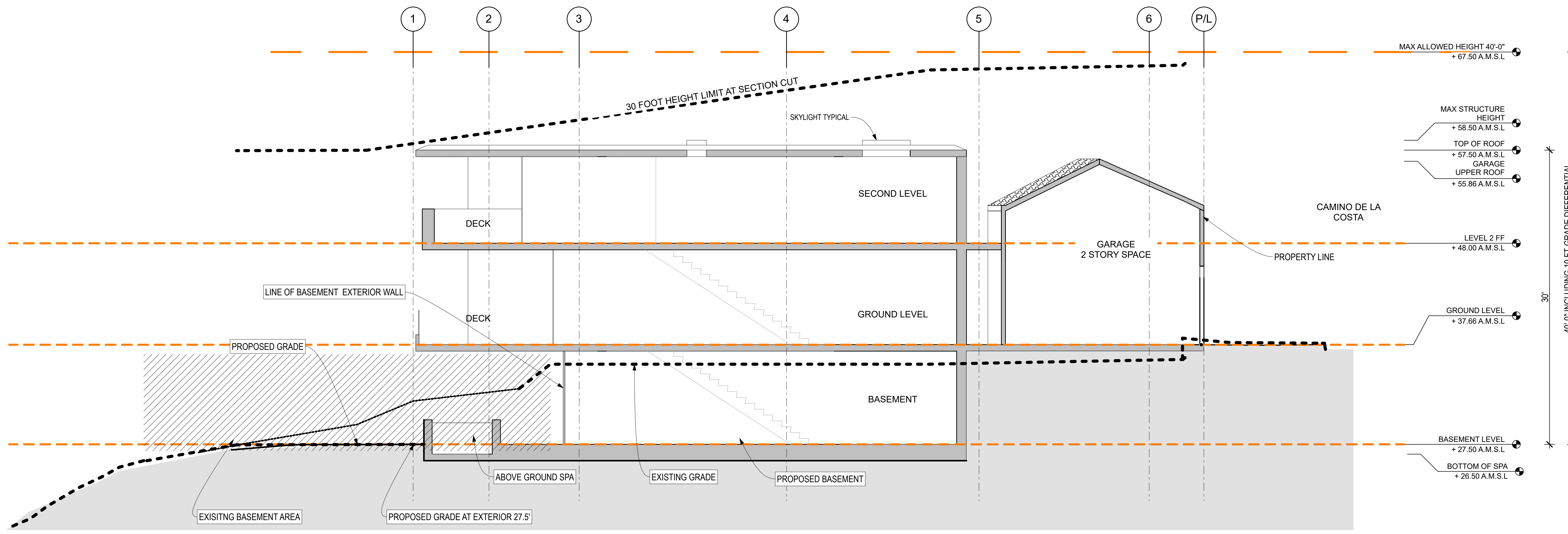
FINAL DOCUMENT  
2/26/24

SHEET NAME:

A3.0



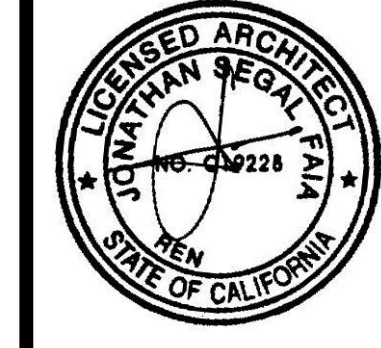
SCALE: 3/16" = 1'-0" A



SCALE: 3/16" = 1'-0" B

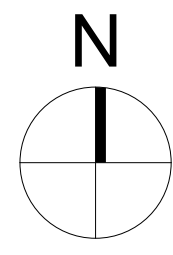
**CAMINO DE LA COSTA**  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



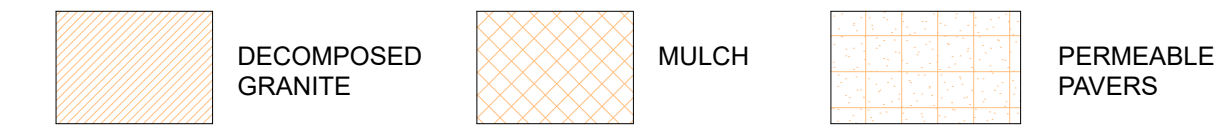
PROJECT #	1066101
SHEET TITLE:	SECTION EAST WEST
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	





LANDSCAPE

OPTION	SCIENTIFIC NAME	COMMON NAME	QTY	CONTAINER SIZE	MATURE SIZE
1	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30	5 GALLON	3'H x 3'W
1	PYRUS KAWAKAMII	EVERGREEN PEAR	8	24" BOX	20'H x 15'W
1	JACARANDA MIMOSIOLIA	JACARANDA	4	24" BOX	30'H x 15'W
1	FICUS BENJAMINA	FICUS	100	5 GALLON	6-10' H
1	ALOE SATIA	CORAL ALOE	12	5 GALLON	12-18"H
2	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	12	5 GALLON	12-18"H
1	ALOE SATIA	CORAL ALOE	12	5 GALLON	12-18"H
2	SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	12	5 GALLON	12-18"H



NOTES:

All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

Maintenance: All required landscape areas shall be maintained by Owner. Landscape and irrigation areas in the public right-of-way shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced within 30 days of a final landscape inspection."

Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per SDMC 142.0403(b)(11)

A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5)

Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap the root ball".

All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.

Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDMC 142.0411.

MINIMUM TREE SEPARATION DISTANCE

- Traffic signals / stop signs - 20 feet
- Underground utility lines - 5 feet (10' for sewer)
- Above ground utility structures - 10 feet
- Driveway (entries) - 10 feet (5' for residential streets < 25mph) Intersections (intersecting curb lines of two streets) - 25 feet

Maximum Applied Water Allowance (MAWA)								
ETWU = [(ETo)(0.62)](PF/IE x HA/IE) + SLA = gallons per year								
ETo	40	Evaptranspiration (inches per year)						
CONV FACTOR	0.62							
PF	0.1	plant factor						
HA	2609	total hydrozone area sq ft						
IE	0.81	Irrigation Efficiency (.81 for Drip Systems)						
SLA	0	Special Landscape Area						
<b>14,874 Total Gallons Allowed</b>								
Controller No	Hydrozone No	Valve Circuit	Plant Factor	Hydrozone Area in SF	Irrigation Method	Irrigation Efficiency	% Total Landscape	Allowed Gallons
1	1	1	0.2	995	Microsprayers	0.75	38.14%	8773.7
2	2	2	0.1	1003	Drip	0.81	38.44%	3791.3
3	3	3	0.1	198	Drip	0.81	7.59%	748.4
4	4	4	0.1	413	Drip	0.81	15.83%	1561.1

Estimated Total Water Use (ETWU)							
Hydrozone	ETo (Annual Inches)	Factor (Conversion)	Plant Factor (PF)	Hydrozone Area (HA)	Irrigation Efficiency (IE)	Special Lanscape Aea (SLA)	Gallons (ETWU)
1-MicroSprayer	40	0.62	0.2	995	0.75	0	6580
2-Drip	40	0.62	0.1	1003	0.81	0	3071
3-Drip	40	0.62	0.1	198	0.81	0	606
4-Drip	40	0.62	0.1	413	0.81	0	1264
				Total Area=	2,609		
							<b>ETWU Total = 11,522</b>

MWELO Requirement		
ETWU Total	<	MAWA
11,522	<	14,874



CANOPY TREES REMOVED: 2  
 CANOPY TREES PLANTED: 12  
 NET TREE INCREASE: +10

PERMANENT IRRIGATION IS NOT PERMITTED ON COASTAL BLUFFS. TEMPORARY IRRIGATION, CONSISTING OF MICROSPRAYERS MAY BE PERMITTED ON A CASE-BY-CASE BASIS AS NECESSARY TO ESTABLISH NATIVE PLANT MATERIAL. IRRIGATION SHALL BE REMOVED FROM BLUFF EDGE UPON ESTABLISHMENT OF THE PLANT MATERIALS

ALL IMPROVEMENTS WEST OF BLUFF EDGE SETBACK TO BE REMOVED & RESTORED TO NATURAL STATE

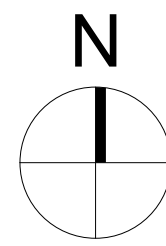
CAMINO DE LA COSTA  
 6110 CAMINO DE LA COSTA  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066101
SHEET TITLE:	LANDSCAPE BASEMENT LEVEL
SCALE:	
DATE:	6/15/2022
REVISION 1:	2/1/2023
REVISION 2:	6/14/2023
REVISION 3:	10/9/2023
REVISION 4:	11/29/2023
REVISION 5:	1/9/24
REVISION 6:	1/12/24
FINAL DOCUMENT	2/26/24
SHEET NAME:	

BASEMENT LEVEL LANDSCAPE  
 SCALE: 1/8" = 1'-0"

L1.0



7-1' VIEW CORRIDOR

COVENANT OF EASEMENT AREA  
SCALE: 1" = 20'



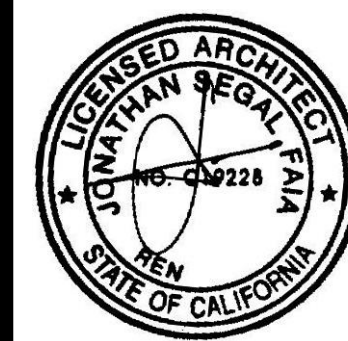
ALL IMPROVEMENTS AND  
DEVELOPMENTS WEST OF  
BLUFF EDGE TO BE REMOVED

ROOT BARRIER PER  
142.0403(b)

GROUND LEVEL LANDSCAPE  
SCALE: 1/8" = 1'-0"

CAMINO DE LA COSTA  
6110 CAMINO DE LA COSTA

JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #  
1066101

SHEET TITLE:  
LANDSCAPE  
GROUND LEVEL  
SCALE:

DATE:  
6/15/2022

REVISION 1:  
2/1/2023

REVISION 2:  
6/14/2023

REVISION 3:  
10/9/2023

REVISION 4:  
11/29/2023

REVISION 5:  
1/9/24

REVISION 6:  
1/12/24

FINAL DOCUMENT  
2/26/24

SHEET NAME:

L1.1