



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: July 18, 2024 REPORT NO. PC-24-031

HEARING DATE: July 25, 2024

SUBJECT: SBA VERIZON CITY HEIGHTS, Process Four Decision

PROJECT NUMBER: [PRJ-1081389](#)

OWNER/APPLICANT: MICHAEL MAY & JENNIFER MAY (Owner) SBA TOWERS VIII, LLC and VERIZON WIRELESS (Applicants)

### SUMMARY

Issue: "Should the Planning Commission approve a Planned Development Permit (PDP) for a Wireless Communication Facility (WCF) located at [4735 Myrtle Avenue](#) within the [City Heights Community Planning Area](#)?"

### Proposed Actions:

1. APPROVE PDP No. 3243098.

Fiscal Considerations: All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: This project application is for a wireless communication facility and is not associated with residential development.

Community Planning Group Recommendation: On February 5, 2024, the City Heights Community Planning group voted 11-4-0 to recommend approval of the Project, with no conditions.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 17, 2024, and the opportunity to appeal that determination ended June 3, 2024.

## BACKGROUND

The SBA Verizon City Heights Wireless Communication Facility (Project) is a single carrier application that serves Verizon Wireless. SBA Towers VIII operates the mono-tree facility and the associated equipment. Sprint also utilizes the site designed as a Rooftop Concealment WCF. Multiple carriers have been on this site since 2002. Verizon has been on this site since 2014 as a mono-palm design, which is no longer recommended and supported. Verizon is changing the design type to a mono-eucalyptus to comply with the [Telecom Guidelines](#). The previous permit allowing the Verizon WCF on the property expired on April 26, 2022.

## DISCUSSION

### Project Description:

The Project proposes the modification of the existing WCF. The .72-acre site is located at 4735 Myrtle Avenue in the Central Urbanized Planned District Commercial Zone (CUPD-CU-1-2) of the City Heights Community Planning Area in the Mid-City Communities Plan. The Project currently consists of six (6) panel antennas. The proposed equipment modification will consist of twelve (12) panel antennas and six (6) Remote Radio Units (RRUs) located on a replacement 31-foot mono-eucalyptus. The equipment associated with this project is located within a 200-square-foot existing equipment enclosure located on the southwest portion of the property. The equipment enclosure was designed to imitate other buildings onsite. The facility encroaches into the side setback of the zone and requires a PDP for the setback deviation and the height deviation.

WCFs are separately regulated uses, which have limitations or require compliance with conditions to minimize potential impacts. The intent of the regulations is, among other things, to camouflage facilities from public view. There are several design requirements for mono-eucalyptus to provide as much concealment as possible. The mono-eucalyptus shall have a minimum of four branches per foot with the branches projecting at least 24-inches from the face of any equipment. The branches shall start at 10-feet to imitate a real tree. The telecom guidelines require integration, balance and context to help conceal the WCF into the site. The applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscaping and siting. The 31-foot mono-eucalyptus is surrounded by other mature trees (Attachment 10). Due to the site constraints, there is not enough space or planting area to add additional landscaping. The photo (below, Figure 1) shows the existing mono-palm juxtaposed next



to the proposed mono-eucalyptus tree. The photo is taken from Euclid Avenue looking southwest (Figure 1).

Land uses surrounding the immediate site are a mix of commercial uses and single-family developments to the north and south and single-family developments to the east and west. The project complies with the Wireless Communication Facility Guidelines as a Faux Natural Elements.



WCFs are permitted in all zones Citywide with the appropriate permit process. Council Policy 600-43 (Policy) assigns preference location levels for where WCFs are located within different land uses, with Preference 1 being the most preferred and

Preference Location 4 the least preferred. Preference 1 locations generally include non-residential land uses and zones and are permitted ministerially. Preference 4 locations include residential land uses in residential zones and require a Process Four Planning Commission approval. The Project is located in the CUPD-CU-1-2 Zone, a commercial zone, that does not contain residential development on the parcel and is considered a Preference 1 Location. No significant changes have occurred on-site or in the surrounding neighborhood, and the location remains an appropriate site for WCFs. All adjacent surrounding parcels are zoned residential which is a Preference 4. Therefore, the modification of this facility is appropriate at the existing location. Pursuant to San Diego Municipal Code (SDMC) Section 126.0604(b), the Project requires a PDP, Process 4, when the project requires a deviation from the zoning regulations; see the below table.

Required Permits	Basis
Planned Development Permit	Maximum Zone Height is 30-feet, proposed height is 31-feet. Maximum Zone Side and Rear Setback is 10-feet, existing WCF encroaches by 5-feet and 6-feet, respectively. <a href="#">SDMC section 126.0602(b)</a>

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report dated October 21, 2022, from SiteSafe, was submitted to the City verifying that the proposed Project is in compliance with FCC regulations upon implementation of the compliance measures. The report will be stamped as Exhibit "A" and provided within the project file.

Community Plan Analysis:

The Mid-City Communities Plan does not address WCFs. However, the City of San Diego's General Plan (General Plan) (UD-A.15) requires that the visual impact of wireless facilities to be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed aesthetically pleasing and respectful of the neighborhood context. Furthermore, the General Plan states that equipment associated with wireless facilities shall be concealed from view. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is, among other things, to camouflage facilities from public view. The Project's structural caisson is required to be replaced as the conduit will be routed up through the base. The mono-eucalyptus design will allow for better concealment of the WCF's equipment compared to the existing mono-palm. This WCF is among other similarly sized trees that will help integrate the project on the site. The Mid-City Communities Plan designates the Project site as Commercial and Mixed use (Attachment 2). The site is developed as a commercial property, and the proposed structure is aesthetically pleasing as it is designed as a mature faux tree, which integrates effectively with the neighborhood. As a result, the design of the WCF will respect its neighborhood context and minimize any potential visual impacts.

The General Plan, Section L. Information Infrastructure, Policy PF-L.5 that indicates the City should work with private telecommunication service providers to develop and maintain an integrated information infrastructure system. Lastly, the City will continue to pursue and encourage the proper planning and provision of information infrastructure. Unlike planning for traditional infrastructure such as water and sewer lines, planning for high-tech infrastructure has materialized in the new century in the wake of rapidly evolving technologies. The continuous evolution and coalescence of data, telephones, cellular telephones, televisions, video, satellites, personal digital assistants, internet, personal computers, and other technical devices has created a new era of unlimited interactive communications possibilities. Planning, providing, and supporting communication and information infrastructure will provide a vital framework for economic growth, educational opportunities, integrated development patterns, and quality of life issues in San Diego. The design of the WCF is respectful of the neighborhood context and does not adversely affect the applicable land use plans.

Project-Related Issues:

Deviation- The Project is located in the Central Urbanized Planned District Commercial Zone (CUPD-CU-1-2) Zone, with a maximum side and rear setback area of 10-feet. The proposed and existing portions of the WCF are located within the setback, approximately 5-feet and 4-feet, respectively, from the property line. Additionally, the proposed tree extends to 31-feet which is 1-foot over the zone's maximum height limit. This Project's maximum height limit is determined by footnote 7 of Table 155-02(D) of SDMC section 155.0242 allowing for an additional six-feet because of the Project's inhabitable space. A PDP is decided in accordance with Process Four and is required for the deviations, provided that the findings in SDMC section 126.0605 are made. The following Table 1 is a matrix of the proposed deviation, which is followed by the justifications for the deviations:

<b>DEVIATIONS SUMMARY</b>			
<b>Table 1</b>			
<b>Deviation Description</b>	<b>Deviation from SDMC</b>	<b>Allowed/Required</b>	<b>Proposed</b>
<b>Max Structure Height</b>	<a href="#">SDMC section 155.0242, Table 155-02D, footnote 7</a>	30-feet	31-feet
<b>Side / Rear Setback</b>	<a href="#">SDMC section 155.0242, Table 155-02D</a>	10-feet for both Setbacks	Encroaching by 5-foot/4-foot

*Justification-* Multiple carriers have utilized the site, starting at 2002. Verizon initially constructed the mono-palm in 2014. To be compliant with the Telecom Guidelines, Verizon has changed the design from a mono-palm to a mono-eucalyptus. The CUPD-CU-1-2 zone allows for a maximum of 30-feet for structures that contain uninhabitable space. The mono-eucalyptus is 31-feet tall, where the crown is 2-feet above the antennas to give a more natural tree appearance. The antennas are located at the top of the tree, and the height allows Verizon to achieve coverage goals in the area. Typically, eucalyptus species are naturally taller, and the proposed deviation is expected to result in a more natural and realistic tree appearance. The maximum side setback and rear setback for this zone is 10-feet, where the project deviates by 5-feet and 4-feet, respectively. Both the existing



equipment enclosure and tree location are located toward the southeast portion of the property, set back from the public-right-of-way. This use of siting will help screen the facility since its set back further from the center of the property and blends in with the existing lot conditions to avoid standing out. Such integration is highly desirable to minimize visual impacts. Lastly the new mono-eucalyptus caisson will be constructed adjacent to the previous mono-palm caisson due to structural requirements. The WCF will maintain service in the area and to avoid gaps in the existing coverage area. Despite the deviations, the Project in its current location complies with the SDMC, Telecom Guidelines and Council Policy.

The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for Verizon and T-Mobile. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage provided on the property and the predicted loss of coverage without the continuing of the WCF (Attachment 6). A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

The above deviation has been analyzed by staff and determined to be consistent with the goals and recommendations of the City of San Diego's General Plan (UD-A.15), the Mid-City Communities Plan and the purpose and intent of the Wireless Communication Facility Ordinance. The Project has been designed to integrate into the surrounding community and would not adversely impact the public's health or safety.

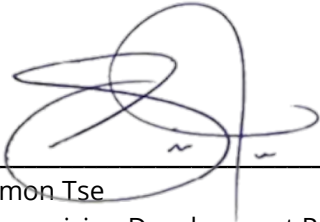
Conclusion:

The Project's design effectively integrates with the surrounding community, meeting the purpose and intent of the Wireless Communication Ordinance (SDMC section 141.0420), the Wireless Design Guidelines and Council Policy 600-43. City staff has prepared draft findings in the affirmative to approve the Project and recommends approval of PDP No. 3243098 (Attachments 4 and 5).

ALTERNATIVES

1. Approve PDP No. 3243098, with modifications; or
2. Deny PDP No. 3243098, if the findings required to approve the project cannot be affirmed (or if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.).

Respectfully submitted,



---

Simon Tse  
Supervising Development Project Manager  
Development Services Department

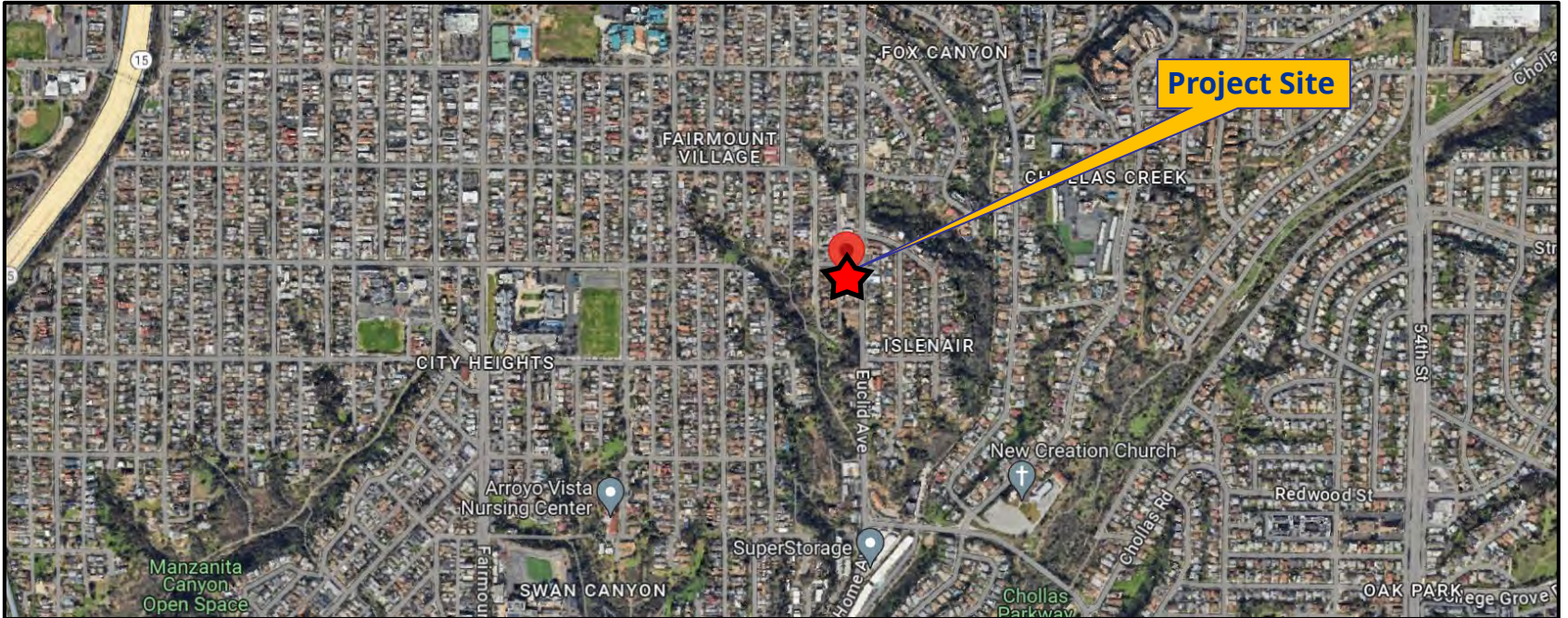


---

Ian Heacox  
Development Project Manager  
Development Services Department

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Coverage Maps
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Form
10. Photo Survey
11. Photo Simulations
12. Project Plans



# Aerial Photograph

**SBA Verizon City Heights Project No. 1081389**  
**4735 Myrtle Avenue**

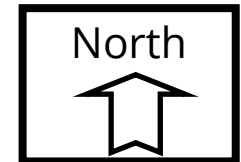
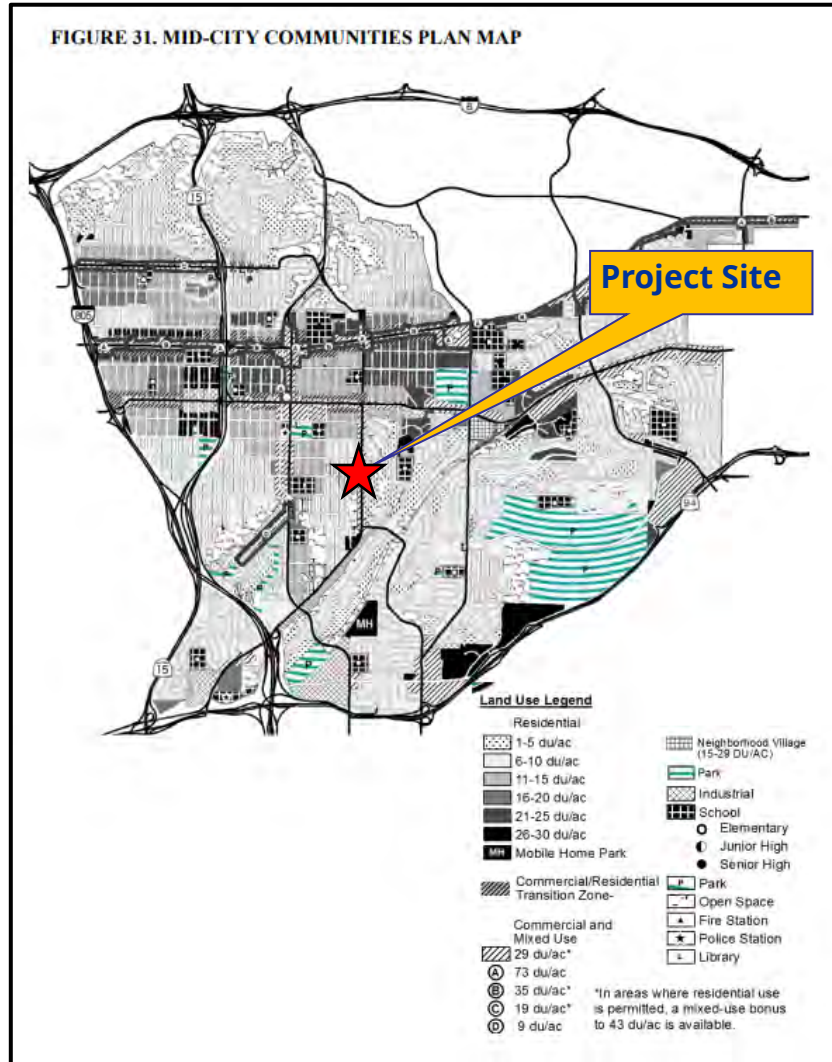




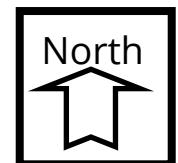
FIGURE 31. MID-CITY COMMUNITIES PLAN MAP

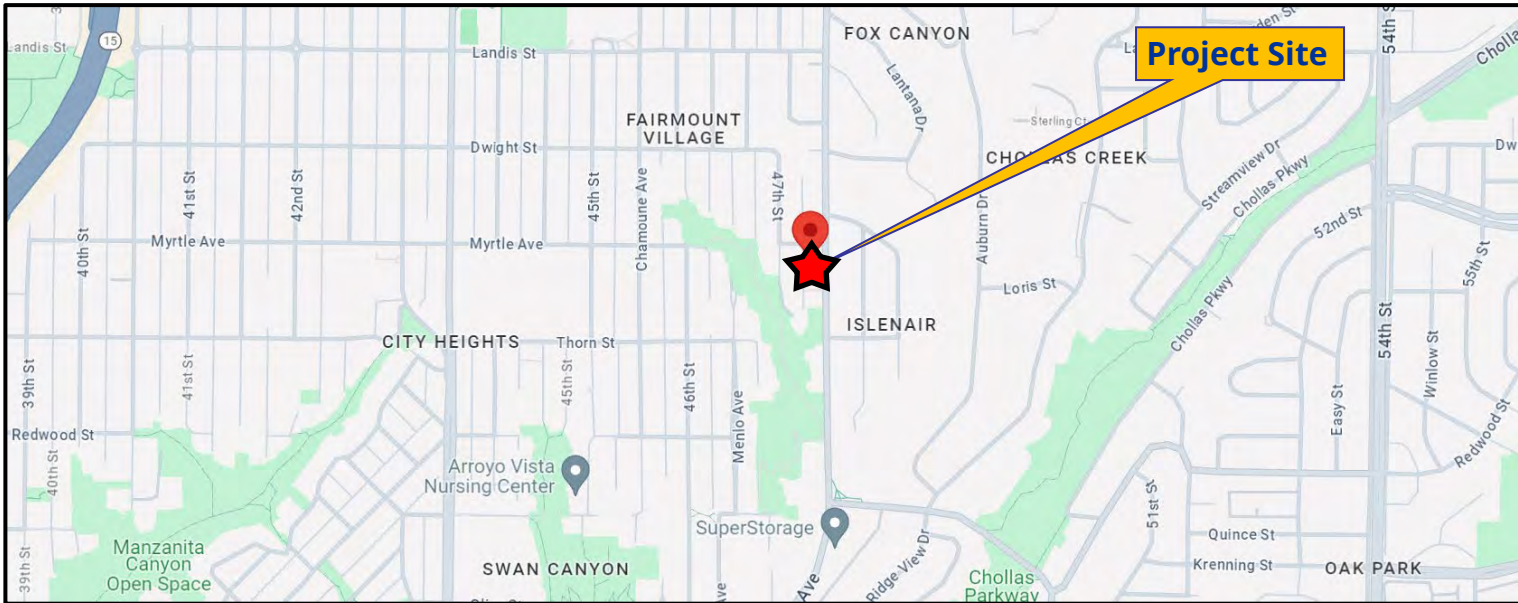


# Mid-City Communities Land Use Map

SBA Verizon City Heights Project No. 1081389

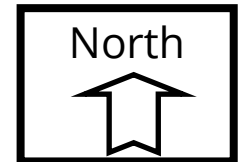
4735 Myrtle Avenue





# Project Location Map

**SBA Verizon City Heights Project No. 1081389**  
**4735 Myrtle Avenue**



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

---

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 3243098  
**SBA VERIZON CITY HEIGHTS PROJECT NO. 1081389**  
PLANNING COMMISSION

This Planned Development Permit No. 3243098 is granted by the Planning Commission of the City of San Diego to MICHAEL MAY & JENNIFER MAY, Owners, and SBA TOWERS VIII, LLC, Permittee and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and 155.0235. The .72-acre site is located at 4735 Myrtle Avenue in the CUPD-CU-1-2 Zone of the City Heights Community Plan Area in the Mid-City Communities Plan. The project site is legally described as: Lots 39 through 40, inclusive of Block 5 of Bungalow Park addition in the City of San Diego, State of California, Map 1175, filed in the Office of San Diego County Recorder.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners and Permittees for an existing Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 18, 2024, on file in the Development Services Department.

The project shall include:

- a. An existing WCF consisting of twelve (12) panel antennas and six (6) Remote Radio Units (RRUs) located on a new 31-foot mono-eucalyptus, to replace the existing mono-palm. The equipment associated with this project is inside a 200-square-foot existing equipment enclosure located on the southwest portion of the property; and
- b. Landscaping (planting, irrigation and landscape related improvements); and
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 8, 2027**.
2. This Planned Development Permit [PDP] and corresponding use of this site shall expire on **July 25, 2034**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site, and the property shall be restored to its original condition preceding approval of this Permit.
3. Under no circumstances, does the approval of this permit authorize the Permittees or their tenants to utilize this site for wireless communication purposes beyond the permit expiration date. Implicit use of this permit beyond the effective date is prohibited.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owners/Permittees signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owners/Permittees and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. Issuance of this Permit by the City of San Diego does not authorize the Owners/Permittees for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
9. The Owners/Permittees shall secure all necessary building permits. The Owners/Permittees is informed that to secure these permits, substantial building modifications and site improvements



may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owners/Permittees of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owners/Permittees shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owners/Permittees shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owners/Permittees of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owners/Permittees shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owners/Permittees shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owners/Permittees regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owners/Permittees shall not be required to pay or perform any settlement unless such settlement is approved by Owners/Permittees.

**LANDSCAPING REQUIREMENTS:**

13. The Owners/Permittees shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the

Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or “topping” of trees is not permitted.

14. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owners/Permittees shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**ENGINEERING REQUIREMENTS:**

15. Prior to the issuance of any construction permit the Owners/Permittees shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City’s Storm Water Standards.

**TELECOM REQUIREMENTS:**

16. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment. No overhead cabling is permitted.

17. The Owners/Permittees shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department. The Owners/Permittees shall be responsible for complying with all State and Federal regulations, as applicable.

18. All proposed hand-holes shall be covered with bark material to match the mono-eucalyptus tree to the satisfaction of the Development Services Department.

19. The mono-eucalyptus branches shall extend a minimum of 24-inches beyond the antennas (on the antenna level) to the satisfaction of the Development Services Department.

20. All exposed cables, brackets and supports shall be painted to match the branches to the satisfaction of the Development Services Department.

21. No exposed pipes or mounting apparatus absent antennas shall be present at any time. Mounting pipes shall not be longer than the antennas.

22. All equipment in the mono-eucalyptus shall have antenna socks with maximum density on all sides.

23. Only “premium” branches shall be used. The density of the leaves shall be approved at the discretion of the San Diego City Manager.

24. Branches shall have the maximum amount of tips to increase the density of the leaves.

25. No climbing pegs/mounting points.

26. The branches shall start at 10'-0" on the mono-eucalyptus caisson.
27. The branches shall be replaced (rebranched) if damaged or discolored within 30 calendar days.
28. Ice bridges and dog-house cable covers do not comply with the Telecom Guidelines and are not allowed.
29. A 3-D model of the mono-eucalyptus shall be submitted prior to building permit issuance.
30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owners/Permittees.
31. All equipment, including transformers, emergency generators, and air conditioners belonging to the Permittees shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
32. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti, and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 25, 2024 and [Approved Resolution Number].

**ATTACHMENT 4**

Planned Development Permit No. 3243098  
Date of Approval: July 25, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Ian Heacox  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owners/Permittees**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owners/Permittees hereunder.

**MICHAEL MAY**  
Owner(s)

**JENNIFER MAY**  
Owner(s)

By \_\_\_\_\_

By \_\_\_\_\_

**VERIZON WIRELESS**  
Permittee

**SBA TOWERS VIII, LLC**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



PLANNING COMMISSION RESOLUTION NO. \_\_\_\_\_  
PLANNED DEVELOPMENT PERMIT NO. 3243098  
**SBA VERIZON CITY HEIGHTS PROJECT NO. 1081389**

WHEREAS, MICHAEL MAY & JENNIFER MAY, Owners, and SBA TOWERS VIII, LLC, Permittee and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit for the modification of an existing Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 3243098);

WHEREAS, the .72-acre project site is located at 4735 Myrtle Avenue in the Central Urbanized Planned District Commercial Zone (CUPD-CU-1-2) of the City Heights Community Plan Area in the Mid-City Communities Plan;

WHEREAS, the project site is legally described as Lots 39 through 40, inclusive of Block 5 of Bungalow Park addition in the City of San Diego, State of California, Map 1175, filed in the Office of San Diego County Recorder;

WHEREAS, on May 17, 2024 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 25, 2024, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) No. 3243098 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to PDP No. 3243098;

**A. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]**

**1. Findings for all PDPs:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The SBA Verizon City Heights (Project) proposes the modification of the existing WCF. The .72-acre site is located at 4735 Myrtle Avenue in the Central Urbanized Planned District Commercial Zone (CUPD-CU-1-2) of the City Heights Community Planning Area in the Mid-Cities Communities Plan. The Project currently consists of six (6) panel antennas. The proposed equipment modification will consist of twelve (12) panel antennas and six (6) Remote Radio Units (RRUs) located on a new 31-foot mono-eucalyptus, replacing the existing mono-palm design. The equipment associated with this Project is located within a 200-square-foot existing equipment enclosure located on the southwest portion of the property. The equipment enclosure was designed to imitate other buildings onsite.

WCFs are separately regulated uses, which have limitations or require compliance with conditions to minimize potential impacts. The intent of the regulations is, among other things, to camouflage facilities from public view. There are several design requirements for mono-trees to provide as much concealment as possible. The mono-eucalyptus shall have a minimum of four branches per foot with the branches projecting at least 24-inches from the face of any equipment. The branches shall start at 10-feet to mimic a real tree. The Wireless Communication Facility Guidelines (Telecom Guidelines) require integration, balance, and context to help conceal the WCF into the site. The applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscaping and siting. The 31-foot mono-eucalyptus is surrounded by other mature trees (Attachment 10). Due to the site constraints, there is not enough space or planting area to add additional landscaping.

Land uses surrounding the immediate site are a mix of commercial uses and single family developments to the north and south and single family developments to the east and west. The project complies with the Wireless Communication Facility Guidelines as a Faux Natural Elements.

WCFs are permitted in all zones Citywide with the appropriate permit process. Council Policy 600-43 (Council Policy) assigns preference location levels for where WCFs are located within different land uses, with Preference 1 being the most preferred and Preference Location 4 the least preferred. Preference 1 locations generally include non-residential land uses and zones and are permitted ministerially. Preference 4 locations include residential land uses in residential zones

and require a Process Four Planning Commission approval. The Project is located in the CUPD-CU-1-2 Zone, a commercial zone, that does not contain residential development on the parcel and is considered a Preference 1 Location. No significant changes have occurred on-site or in the surrounding neighborhood, and the location remains an appropriate site for WCFs. All adjacent surrounding parcels are zoned residential which is a Preference 4. Therefore, the modification of this facility is appropriate at the existing location and the proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The Project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, section 15302 (Replacement or Reconstruction). The conditions of approval for the project will require compliance with several operational constraints and developments controls intended to assure the continued public health, safety and welfare including but not limited to concealment requirement and electromagnetic field controls. All proposed improvement plans associated with the Project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The WCF provides a critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for Verizon Wireless. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage provided on the property and the predicted loss of coverage without the continuation of the WCF (Attachment 6). A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report dated October 21, 2022, from SiteSafe, was submitted to the City verifying that the proposed Project is in compliance with FCC regulations upon implementation of the compliance measures as required by the FCC regulations. The report will be stamped as Exhibit "A" and provided within the Project file. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance**

**with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The Project requires a height limit and setbacks deviation from the zone regulations outlined in the Land Development Code. Deviations to the (San Diego Municipal Code (SDMC) may be processed through a PDP in accordance with SDMC section 126.0601. The purpose of the PDP is to establish a review process for the development that allows an applicant to request greater flexibility from the strict application of the regulations to allow for a more desirable project. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. Expiration dates are imposed on WCFs to review and modify these facilities to comply with current design standards.

The Project is located in the CUPD-CU-1-2 zone, with a maximum side and rear setback area of 10-feet. The proposed and existing portions of the WCF are located within the setbacks, encroaching approximately by 5-feet and 4-feet, respectively, from the property line. Both the existing equipment enclosure and tree location are located toward the southeast portion of the property, set back from the public-right-of-way. Therefore, by moving the site to comply with the setbacks would result in a WCF that would be much more visible. By leaving it in the setbacks, this use of siting will help screen the facility, making the setback deviations resulting in a more desirable project than would have been achieved if the Project was designed to fit the setback area of 10-feet.

To be compliant with the Telecom Guidelines, Verizon has changed the design from a mono-palm to a mono-eucalyptus. The CUPD-CU-1-2 zone allows for a maximum of 30-feet for structures that contain uninhabitable space (see Table 155-0D footnote 7). Additionally, the proposed tree extends to 31-feet and is 1-foot over the zone's maximum height limit. The mono-eucalyptus is 31-feet tall, where the tree crown is 2-feet above the antennas to give a more natural and realistic tree appearance as required by the WCF Design Guidelines. The antennas are located at the top of the tree, and the height allows Verizon to achieve coverage goals in the area. The replacement mono-eucalyptus caisson will be constructed adjacent to the previous mono-palm caisson due to structural requirements. The additional foot in height allows for a more desirable project than would have been achieved if the Project was designed to meet the 30-foot height limit requirement.

The WCF will maintain service in the area and to avoid gaps in the existing coverage area. Despite the deviations, the project in its current location complies with the SDMC, Telecom Guidelines and Council Policy.

The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for Verizon and T-Mobile. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with



other sites in the area. Coverage maps demonstrate the existing coverage provided on the property and the predicted loss of coverage without the continuing of the WCF (Attachment 6). A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

The above deviations have been analyzed by staff and determined to be consistent with the goals and recommendations of the City of San Diego's General Plan (UD-A.15), the Southeastern San Diego Community Plan and the purpose and intent of the Wireless Communication Facility Ordinance. Therefore, the Project complies with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, PDP No. 3243098 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 3243098, a copy of which is attached hereto and made a part hereof.

*Ian Heacox*

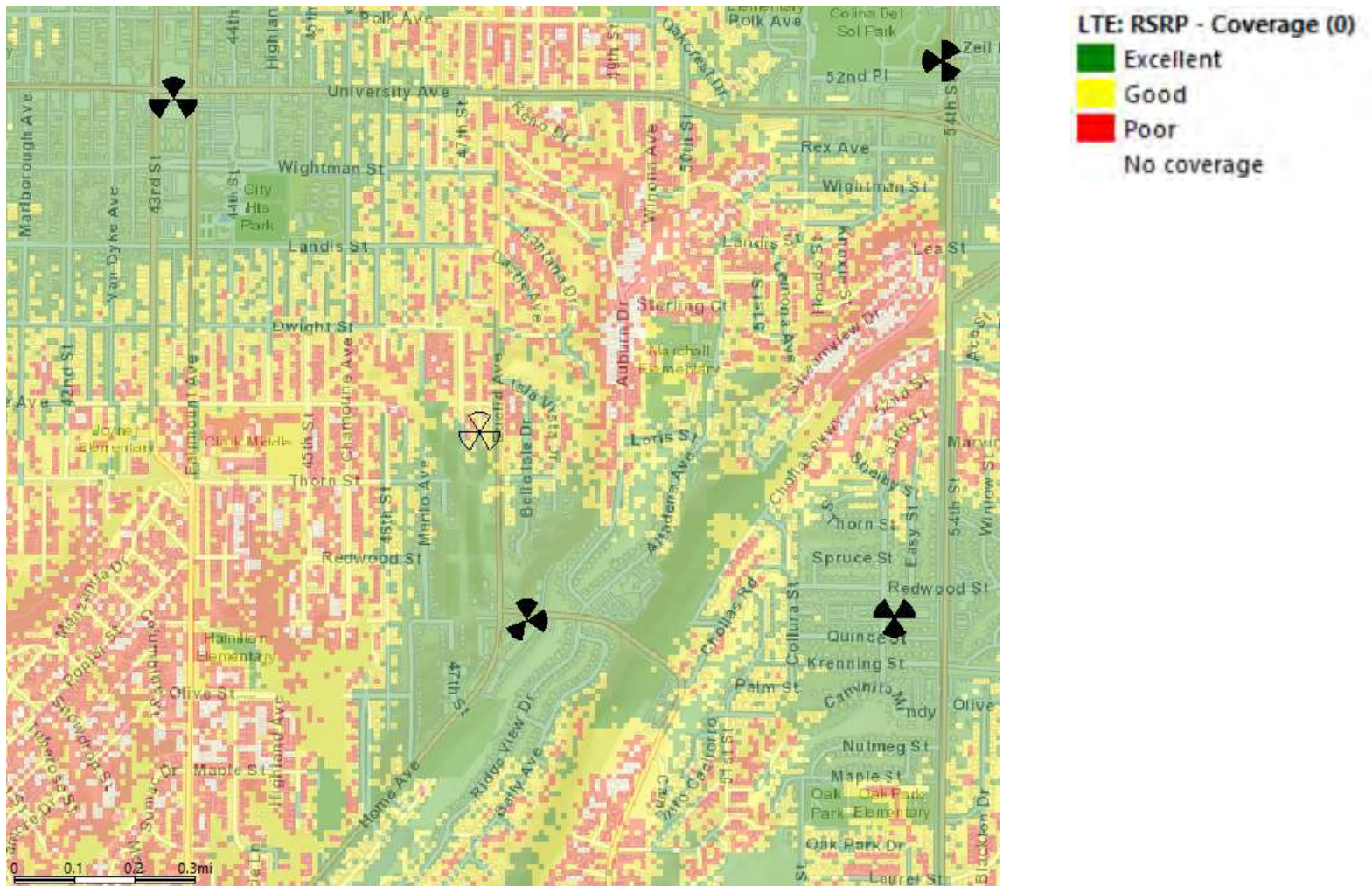
---

Ian Heacox  
Development Project Manager  
Development Services

Adopted on: July 25, 2024

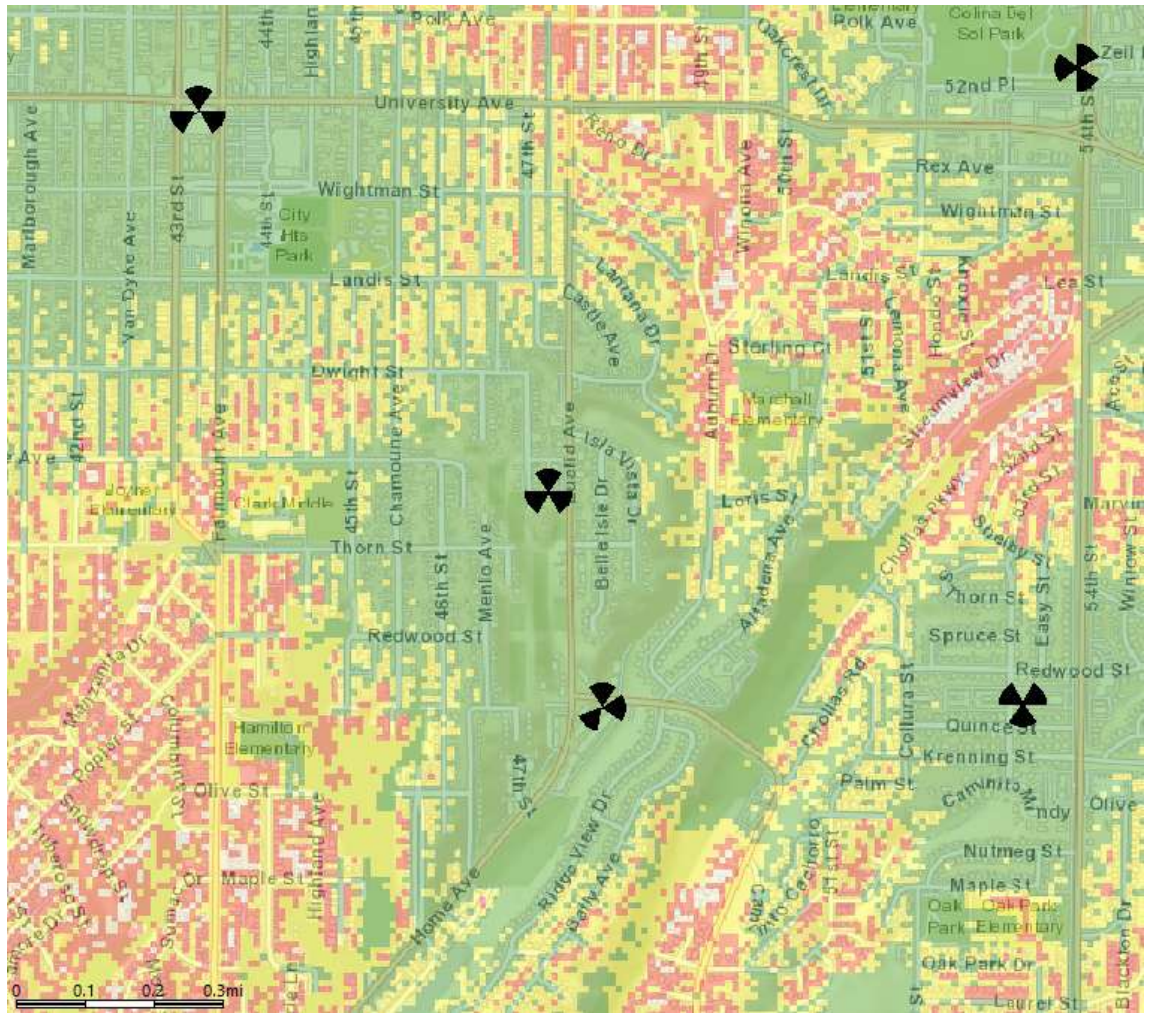
IO#: 11003679

# Coverage without SBA Fox Canyon



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

# Coverage with SBA Fox Canyon



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.



**NOTICE OF EXEMPTION**

**TO:** Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

**From:** City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Title / Number:** Verizon City Heights /1081389

**State Clearinghouse No.:** N/A

**Project Location-Specific:** 4735 Myrtle Avenue, San Diego, CA 92105

**Project Location-City/County:** San Diego/ San Diego

**Description of nature and purpose of the Project:** A Planned Development Permit (PDP) to allow for the replacement of one existing Monopalm with a new 31.0- foot-tall mono-eucalyptus and the replacement of all the existing antennas (6) with twelve (12) new antennas. In addition, new equipment cabinets and a battery cabinet would be installed at the ground level. The WCF is unmanned and is not for human habitation and there will only be monthly maintenance trips to the project site. The project is located at 4735 Myrtle Avenue in the CUPD-CU-1-2 Zone.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Jacob Hamilton, 4926 Monta Vista Edgewood 98372. (619) 341-9208

**Exempt Status:** (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15302 (Replacement or Reconstruction).

**Reasons why project is exempt:** The City of San Diego conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is modifying an existing WCF and would replace old components with new, without expanding the use of the WCF. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.


**Lead Agency Contact Person:** Jeffrey Szymanski

**Telephone:** 619 446-5324

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

 / SIGNOR PLANNING  
Signature/Title

6/13/2024  
Date

**Check One:**

- Signed by Lead Agency  
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:

FORM

DS-318

October 2017



City of San Diego  
Development Services  
1222 First Ave., MS 302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Walver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** City Heights/CA45586 **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** 4735 Myrtle Ave., San Diego, CA 92105

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_

Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Michael and Jennifer May  Owner  Tenant/Lessee  Successor Agency

Street Address: 4735 Myrtle Avenue

City: San Diego State: CA Zip: 92105

Phone No.: 619-285-9006 Fax No.: 619-285-9930 Email: \_\_\_\_\_

Signature: [Signature] Date: 3-2-22

Additional pages Attached:  Yes  No

**Applicant / Tower Owner / Main Contact**

Name of Individual: SBA Towers VIII, LLC (Contact: Nicole Comach (Agent to Applicant))  Owner  Tenant/Lessee  Successor Agency

Street Address: 7910 SE 60th Ave

City: Portland State: OR Zip: 97206

Phone No.: 541-228-4823 Fax No.: \_\_\_\_\_ Email: nicole@virtuallitewalk.com

Signature: Nicole Comach Date: 4/1/2022

Additional pages Attached: LOA  Yes  No

**Other Financially Interested Persons**

Name of Individual: SBA Towers VIII, LLC  Owner  Tenant/Lessee  Successor Agency

Street Address: 8051 Congress Ave.


City: Boca Raton State: FL Zip: 33487

Phone No.: 561.226.9532 Fax No.: \_\_\_\_\_ Email: ghines@sbsite.com

Signature: [Signature] Date: 1/5/2023

Additional pages Attached:  Yes  No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development\\_services](http://www.sandiego.gov/development_services).  
Upon request, this information is available in alternative formats for persons with disabilities.

	<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101		<h1>Community Planning Committee Distribution Form</h1>	
	Project Name: SBA Verizon City Heights - 4735 Myrtle Avenue		Project Number: PRJ-1081389	
Community: Mid-City:City Heights				
For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a> .  Select "Search for Project Status" and input the Project Number to access project information.				
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: February 05, 2024	
# of Members Yes 11	# of Members No 4	# of Members Abstain		
Conditions or Recommendations:				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: Marcellus T. Anderson				
TITLE: Chair, City Heights Area Planning Committee			DATE: May 08, 2024	

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM





Wireless Telecommunications Facility

Photo 1





Photo 2



Photo 3





Photo 4



Photo 5



Photo 6







EXISTING



PROPOSED      LOOKING NORTHWEST FROM EUCLID AVENUE





EXISTING



PROPOSED      LOOKING SOUTHWEST FROM EUCLID AVENUE





EXISTING



PROPOSED      LOOKING NORTHEAST FROM ALLEY





**SBA MONARCH TOWERS, LLC**  
 A DELAWARE LIMITED LIABILITY COMPANY  
 8051 CONGRESS AVENUE  
 BOCA RATON, FL 33487  
 PHONE: 1-800-487-7483

**SITE NAME**  
 CITY HEIGHTS

**SITE I.D.**  
 CA45583

**E911 ADDRESS**  
 4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

**PROJECT TYPE**  
 29'-0" REPLACEMENT MONO-EUCALYPTUS

**PROJECT DESCRIPTION**

- THE PROPOSED SCOPE OF WORK IS AS FOLLOWS:
- THERE IS (1) UNMANNED TELECOMMUNICATIONS SITES AT THIS LOCATION:
  - (1) 20'-10" X 9'-3" SBA LEASE AREA WITH (1) 28.5' MONOPALM TO BE REPLACED WITH A NEW 29.0' MONO-EUCALYPTUS TOWER W/ 3'-0" TRUNK. ALL EXISTING ANTENNAS TO BE REMOVED. NEW ANTENNA MOUNT ADDED FOR NEW ANTENNAS.
  - NEW MONO-EUCALYPTUS TO BE CONSTRUCTED FIRST. ALL EXISTING ANTENNAS FROM EXISTING MONOPOLE TO REMOVED (6 TOTAL). ONCE ALL ANTENNAS HAVE BEEN REMOVED, THE EXISTING 28.5' MONOPALM WILL BE DISMANTLED AND REMOVED FROM SITE. TIME FOR CONSTRUCTION AND TESTING WILL BE APPROXIMATELY 4-6 WEEKS.
  - (3) NEW AIR6449, (6) NEW NHH-65A-R2B, (3) NEW KRE105281/1 PANEL ANTENNAS, (3) RRUS8843, (3) RRUS4449 AND (2) 6x24 HYBRID CABLES WILL BE MOUNTED TO THE NEW 28.6' MONO-EUCALYPTUS TOWER @ 26.9'.
- THERE WILL BE NO MORE THAN ONE TRIP PER MONTH TO THE SITE FOR CASUAL MAINTENANCE.
- (1) NEW 6160 EQUIPMENT CABINET AND (1) NEW B160 BATTERY CABINET WILL BE ADDED. CONTRACTOR TO VERIFY ALL EXISTING GROUND EQUIPMENT CABINETS ARE SECURED TO PREVENT UNAUTHORIZED ACCESS.
- NO NEW NOISE GENERATING EQUIPMENT WILL BE ADDED TO THIS PROJECT.
- EXISTING COMPOUND WILL NOT BE MODIFIED
- LIGHTING IS NOT BEING PROPOSED WITH THIS PROJECT.
- NEW ELECTRICAL WILL BE REQUIRED FOR THIS PROJECT.
- EXISTING FOUNDATION TO REMAIN.



**CONSULTING TEAM**

**ARCHITECTURAL - ENGINEERING FIRM:** ACOM CONSULTING, INC  
 5200 SW MEADOWS RD, STE 150  
 LAKE OSWEGO, OR 97035  
 CONTACT: RICK MATTESON  
 PHONE: (425) 209-6723

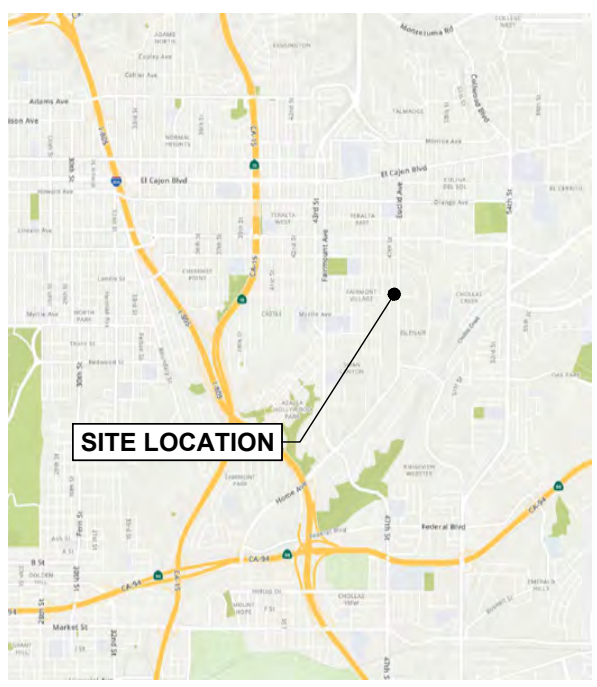
**STRUCTURAL ENGINEER:** WELLS L. HOLMES, S.E.  
 VECTOR STRUCTURAL ENGINEERING  
 651 W GALENA PARK BLVD, SUITE 101  
 DRAPER, UT 84020  
 PHONE: 801.990.1775

**SURVEYING FIRM:** AMBIT CONSULTING  
 410 E. SOUTH AVE.  
 TEMPE, AZ 85282  
 CONTACT: PAT DONAHOE  
 PHONE: (480) 659-4072

**ELECTRICAL ENGINEER:** DEAN P. LEVORSEN, PE  
 VECTOR STRUCTURAL ENGINEERING  
 651 W GALENA PARK BLVD, SUITE 101  
 DRAPER, UT 84020  
 PHONE: 801.990.1775

**VICINITY MAP**

N.T.S.



**REGIONAL MAP**

N.T.S.



**PROJECT INFORMATION**

**SITE NUMBER:** CA45583  
**SITE NAME:** CITY HEIGHTS  
**SITE ADDRESS:** 4735 MYRTLE AVE SAN DIEGO, CA 92105  
**COUNTY:** FRESNO  
**LAND OWNER:** MICHAEL R. MAY & JENNIFER A. MAY  
 4735 MYRTLE AVE  
 SAN DIEGO, CA 92105  
**APPLICANT:** SBA STRUCTURES, LLC  
 8051 CONGRESS AVENUE BOCA RATON, FL 33487  
**CONTACT PERSON:** JAKE HAMILTON  
 (619) 341-9208  
**LATITUDE:** 32° 44' 29.22" N  
**LONGITUDE:** -117° 5' 34.05" W  
**LAT/LONG TYPE:** DEGREES MINUTES AND SECONDS  
**GROUND ELEVATION:** TBD' AMSL  
**CURRENT ZONING:** CUPD-CU-1-2  
**PARCEL No.:** 476-142-16-00

**SHEET INDEX**

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	
LP-1	SURVEY PLAN	
LP-2	ENLARGED LOCATION PLAN	
C-1	ENGINEERING SITE PLAN	
C-2	ANTENNA SCHEDULE	
C-3	SITE DETAILS AND SPECIFICATIONS	
C-4	SITE DETAILS AND SPECIFICATIONS	
ANT-1	EXISTING SITE ELEVATION	
ANT-2	PROPOSED SITE ELEVATION	
ANT-3	EXISTING SITE ELEVATION	
ANT-4	PROPOSED SITE ELEVATION	
E-1	UTILITY ROUTING PLAN	
E-2	SITE GROUNDING PLAN	
E-3	ELECTRICAL AND GROUNDING DETAILS	
GN-1	GENERAL NOTES	
FULL SCALE PRINT IS ON 22"x34" MEDIA		
LS-1 - LS-3	PLAT OF SURVEY	-
<b>SURVEY ATTACHMENTS</b>		

**REVISIONS**

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

**CA45583**  
**CITY HEIGHTS**

4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

**DRAWN BY:** KM  
**CHECKED BY:** RM  
**DATE:** 08/26/22  
**PROJECT #:** -

**SHEET TITLE**  
 TITLE SHEET

**SHEET NUMBER**  
**T-1**

**DRIVING DIRECTIONS**

**FROM SAN DEGO INTERNATIONAL AIRPORT:**  
 DEPART AND HEAD (NORTHEAST). TURN RIGHT, THEN IMMEDIATELY TURN RIGHT ONTO SAND CANYON AVE. TAKE THE RAMP ON THE RIGHT FOR I-405 SOUTH AND HEAD TOWARD SAN DIEGO. TAKE THE RAMP ON THE LEFT FOR I-5 S / SAN DIEGO FWY S. KEEP LEFT TO GET ONTO I-805 S. AT EXIT 13B, HEAD ON THE RAMP RIGHT AND FOLLOW SIGNS FOR HOME AVE. KEEP STRAIGHT, HEADING TOWARD HOME AVE. URN LEFT ONTO HOME AVE. KEEP STRAIGHT TO GET ONTO EUCLID AVE. TURN LEFT. ARRIVE AT 4735 MYRTLE AVE, SAN DIEGO, CA 92105.

**ESTIMATED DISTANCE:** 254 MILES  
**ESTIMATED TIME:** 3 HRS 57 MINUTES

**HANDICAPPED REQUIREMENTS**

**HANDICAPPED REQUIREMENTS :**  
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION  
 HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED

**PLUMBING REQUIREMENTS :**  
 FACILITY HAS NO PLUMBING

**UTILITY CONTACT INFORMATION**

**POWER COMPANY:** T.B.D. **FIBER COMPANY:** T.B.D.

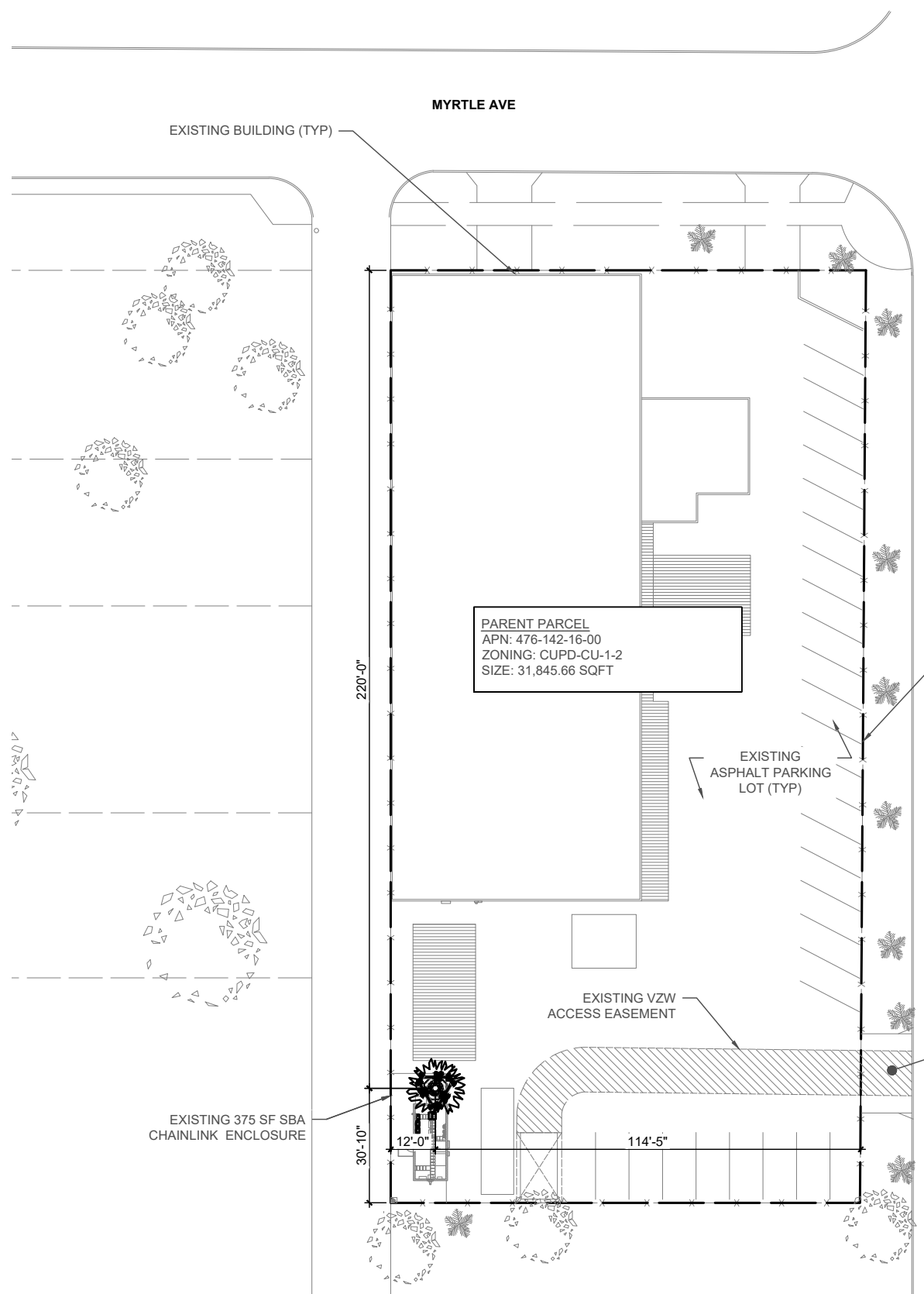
NOTE: UTILITY COORDINATION IS NOT REQUIRED AS NO NEW POWER / FIBER / TELCO WILL BE ADDED TO THIS PROJECT

CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING

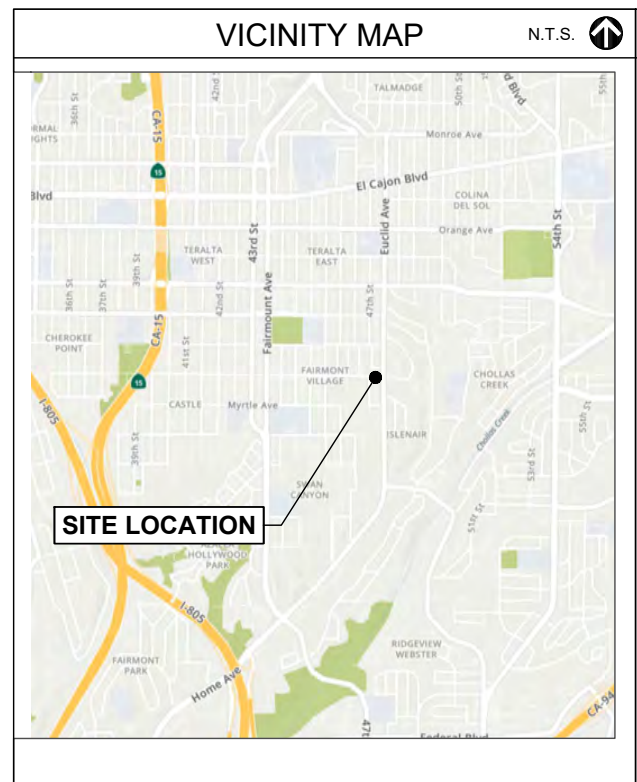
811

48 HOURS BEFORE YOU DIG





PARENT PARCEL  
 APN: 476-142-16-00  
 ZONING: CUPD-CU-1.2  
 SIZE: 31,845.66 SQFT



VICINITY MAP N.T.S.

SCOPE OF WORK

1. THE PROPOSED SCOPE OF WORK IS AS FOLLOWS:
2. THERE IS (1) UNMANNED TELECOMMUNICATIONS SITES AT THIS LOCATION:
  - 2.1. (1) 20'-10" X 9'-3" SBA LEASE AREA WITH (1) 28.5' MONOPALM TO BE REPLACED WITH A NEW 29.0' MONO-EUCALYPTUS TOWER W/ 3'-0" TRUNK. ALL EXISTING ANTENNAS TO BE REMOVED. NEW ANTENNA MOUNT ADDED FOR NEW ANTENNAS.
  - 2.2. NEW MONO-EUCALYPTUS TO BE CONSTRUCTED FIRST. ALL EXISTING ANTENNAS FROM EXISTING MONOPOLE TO BE REMOVED (6 TOTAL). ONCE ALL ANTENNAS HAVE BEEN REMOVED, THE EXISTING 28.5' MONOPALM WILL BE DISMANTLED AND REMOVED FROM SITE. TIME FOR CONSTRUCTION AND TESTING WILL BE APPROXIMATELY 4-6 WEEKS.
  - 2.3. (3) NEW AIR6449, (6) NEW NHH-65A-R2B, (3) NEW KRE105281/1 PANEL ANTENNAS, (3) RRUS8843, (3) RRUS4449 AND (2) 6X24 HYBRID CABLES WILL BE MOUNTED TO THE NEW 28.6' MONO-EUCALYPTUS TOWER @ 26.9'.
3. THERE WILL BE NO MORE THAN ONE TRIP PER MONTH TO THE SITE FOR CASUAL MAINTENANCE.
4. (1) NEW 6160 EQUIPMENT CABINET AND (1) NEW B160 BATTERY CABINET WILL BE ADDED. CONTRACTOR TO VERIFY ALL EXISTING GROUND EQUIPMENT CABINETS ARE SECURED TO PREVENT UNAUTHORIZED ACCESS.
5. NO NEW NOISE GENERATING EQUIPMENT WILL BE ADDED TO THIS PROJECT.
6. EXISTING COMPOUND WILL NOT BE MODIFIED
7. LIGHTING IS NOT BEING PROPOSED WITH THIS PROJECT.
8. NEW ELECTRICAL WILL BE REQUIRED FOR THIS PROJECT.
9. EXISTING FOUNDATION TO REMAIN.

SBA STRUCTURES, LLC  
 A DELAWARE LIMITED LIABILITY COMPANY  
 5900 BROKEN SOUND PKWY NW  
 BOCA RATON, FL 33487  
 PHONE: 1-800-487-7483

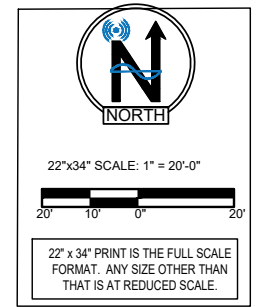
REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM		
B	CLIENT COMMENTS	05/01/23	KM		
C	CLIENT COMMENTS	05/12/23	KM		
D	CLIENT COMMENTS	09/29/23	YK		
E	CLIENT COMMENTS	10/18/23	KM		
F	CLIENT COMMENTS	01/15/24	KM		

CA45583  
 CITY HEIGHTS  
 4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
 SURVEY PLAN

SHEET NUMBER  
**LP-1**



PROPOSED 29.0'  
MONO-EUCALYPTUS TOWER W/  
NEW ANTENNAS & ANCILLARY  
EQUIPMENT

(E) SBA EQUIPMENT COMPOUND  
34'-10"

(E) SBA EQUIPMENT COMPOUND  
15'-0"

EXISTING VZW EQUIPMENT  
SHELTER TO REMAIN

EXISTING SBA CHAINLINK  
ENCLOSURE

NOTE:  
MONO-EUCALYPTUS FOLIAGE SHALL  
NOT EXTEND BEYOND THE  
COMPOUND WALLS

NOTE:

1. IN THE EVENT OF SITE ABANDONMENT, THE CITY SHALL FOLLOW THE PROCEDURES OF FMC SECTION 15-5016 – REVOCATION OF PERMITS
2. ALL MONO-TREE DESIGNS SHALL INCORPORATE APPROPRIATE THREE-DIMENSIONAL BARK CLADDING AND SHALL PROVIDE FOR SCREENING FOLIAGE TO EXTEND BEYOND ALL ANTENNAS BY NO LESS THAN 24 INCHES. THE DESIGN, NUMBER AND PLACEMENT OF ANY BRANCH-LIKE STRUCTURES AFFIXED TO THE SLIM LINE MONOPOLE SHALL INSURE THE ADEQUATE CAMOUFLAGING OF THE ANTENNAS, RELATED ELECTRICAL CABLES AND EQUIPMENT, AND THE ANTENNA AND EQUIPMENT MOUNTS.
3. SOCKS MATCHING THE COLOR AND TEXTURE OF THE FOLIAGE ARE REQUIRED FOR ALL ANTENNA AND OTHER EQUIPMENT MOUNTED ON THE MONO-TREE.
4. DUE TO ENVIRONMENTAL FACTORS SUCH AS WIND, RAIN AND SUN, THE OWNER / APPLICANT SHALL MAINTAIN ALL MONO-TREES TO ENSURE THAT THE FAUX FOLIAGE IS LUSH, CONTINUES TO RESEMBLE A TREE, AND FULLY SCREENS ALL ANTENNAS AND OTHER EQUIPMENT.
5. THE OWNER/APPLICANT SHALL MAINTAIN THE FENCE / WALL AND ENSURE THE FENCE /WALL IS KEPT FREE OF GRAFFITI AND VANDALISM, AND ANY VISIBLE STRUCTURAL DAMAGE.



NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	05/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

CA45583  
CITY HEIGHTS

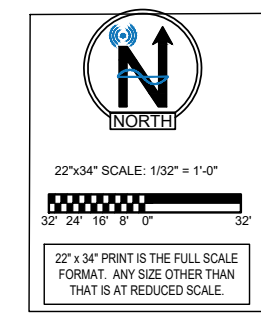
4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY: KM  
CHECKED BY: RM  
DATE: 08/26/22  
PROJECT #: -

SHEET TITLE  
ENLARGED  
LOCATION  
PLAN

SHEET NUMBER

**LP-2**



NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

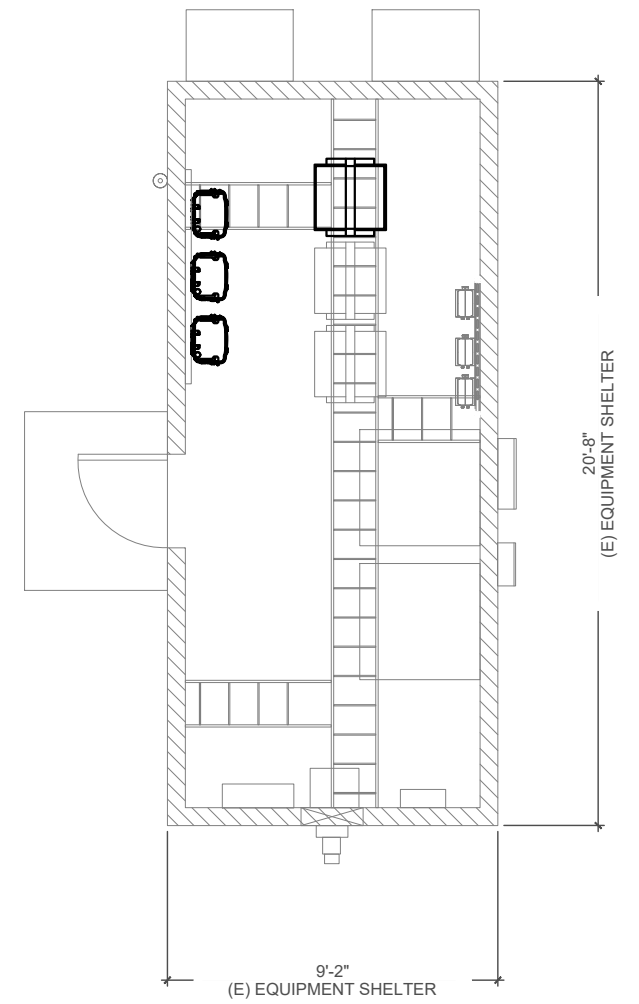
**CA45583**  
**CITY HEIGHTS**

4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
**ENGINEERING  
 SITE PLAN**

SHEET NUMBER  
**C-1**



**SITE DIMENSION PLAN**

NOTE:  
 MONO-EUCALYPTUS FOLIAGE NOT SHOWN  
 FOR CLARIFICATION PURPOSES

NOTE:  
 MONO-PINE FOLIAGE SHALL NOT  
 EXTEND BEYOND THE COMPOUND  
 WALLS

NOTE:  
 TOWER FACE WIDTH IS TO BE VERIFIED  
 WITH TOWER MANUFACTURER DRAWINGS  
 PRIOR TO LAYING OUT FOUNDATION.

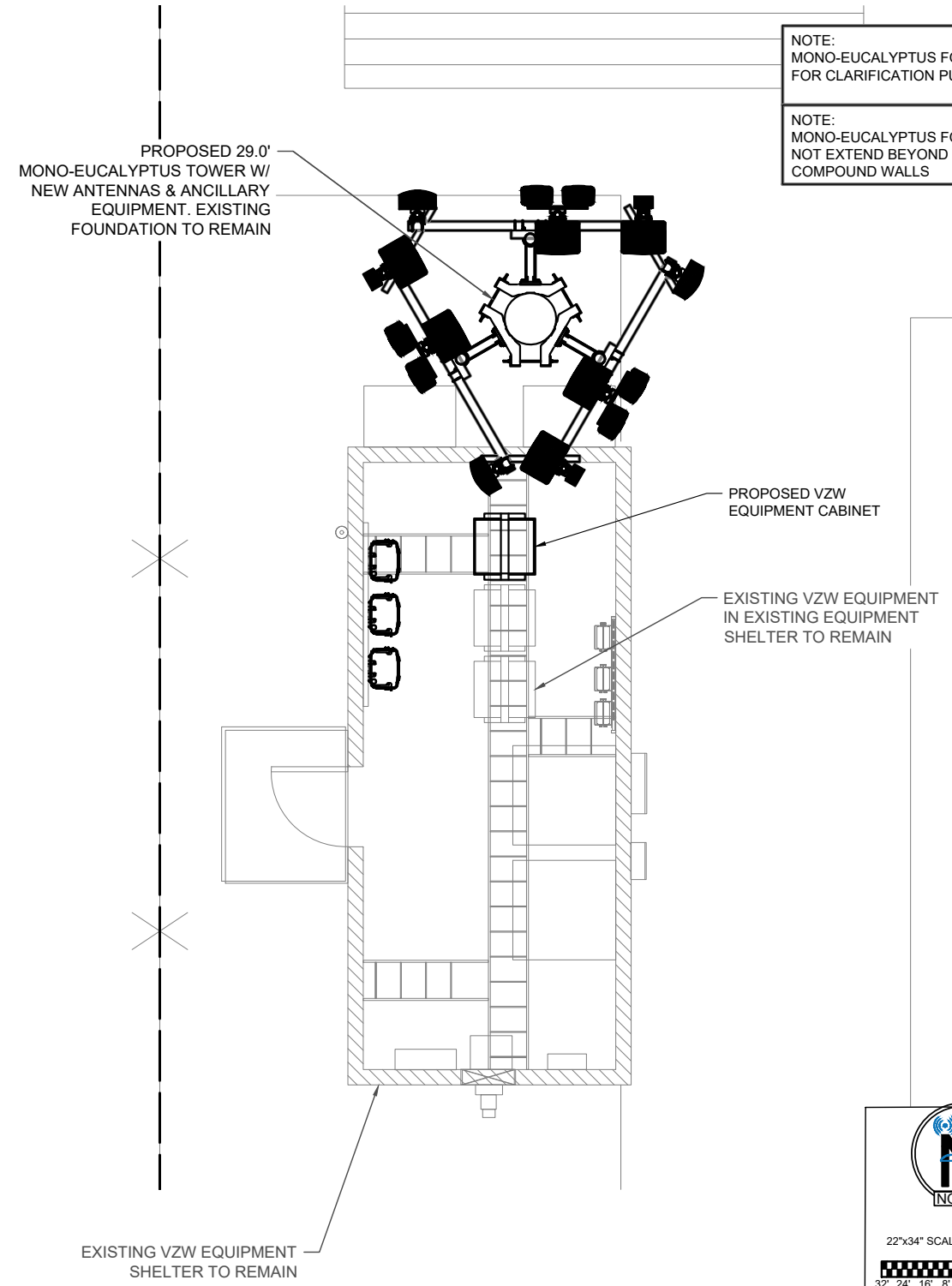
PAVEMENT MATERIALS AND QUANTITIES	
ACCESS ROAD	(EXISTING - NO WORK NEEDED)
LEASE SITE	(EXISTING - NO WORK NEEDED)

NOTE:  
 IN THE EVENT OF SITE ABANDONMENT, THE  
 CITY SHALL FOLLOW THE PROCEDURES OF  
 FMC SECTION 15-5016 - REVOCATION OF  
 PERMITS

NOTE:  
 EXISTING TOWER TO BE REMOVED.  
 BACKFILL HOLE AND FINISHED TO MATCH  
 EXISTING COMPOUND CONTRACTOR SHALL  
 REPLACE ALL EQUIPMENT DAMAGED  
 DURING THE POLE SWAP

NOTE:  
 CONTRACTOR SHALL COORDINATE WITH  
 THE CARRIER REGARDING EXTENDING ALL  
 CABLING TO THE NEW EQUIPMENT ON NEW  
 MONO-PINETOWER

NOTE:  
 THE OWNER/APPLICANT SHALL MAINTAIN  
 THE FENCE/WALL AND ENSURE THE  
 FENCE/WALL IS KEPT FREE OF GRAFFITI  
 AND VANDALISM, AND ANY VISIBLE  
 STRUCTURAL DAMAGE



NOTE:  
 MONO-EUCALYPTUS FOLIAGE NOT SHOWN  
 FOR CLARIFICATION PURPOSES

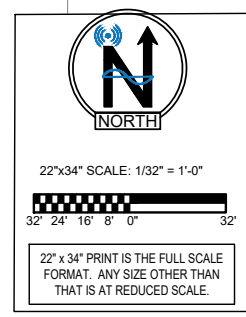
NOTE:  
 MONO-EUCALYPTUS FOLIAGE SHALL  
 NOT EXTEND BEYOND THE  
 COMPOUND WALLS

PROPOSED 29.0'  
 MONO-EUCALYPTUS TOWER W/  
 NEW ANTENNAS & ANCILLARY  
 EQUIPMENT. EXISTING  
 FOUNDATION TO REMAIN

PROPOSED VZW  
 EQUIPMENT CABINET

EXISTING VZW EQUIPMENT  
 IN EXISTING EQUIPMENT  
 SHELTER TO REMAIN

EXISTING VZW EQUIPMENT  
 SHELTER TO REMAIN



**1 ENGINEERING SITE PLAN**



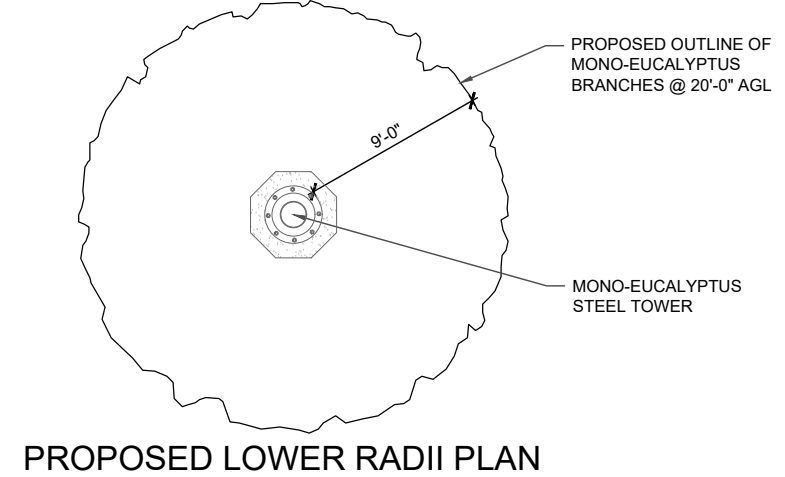
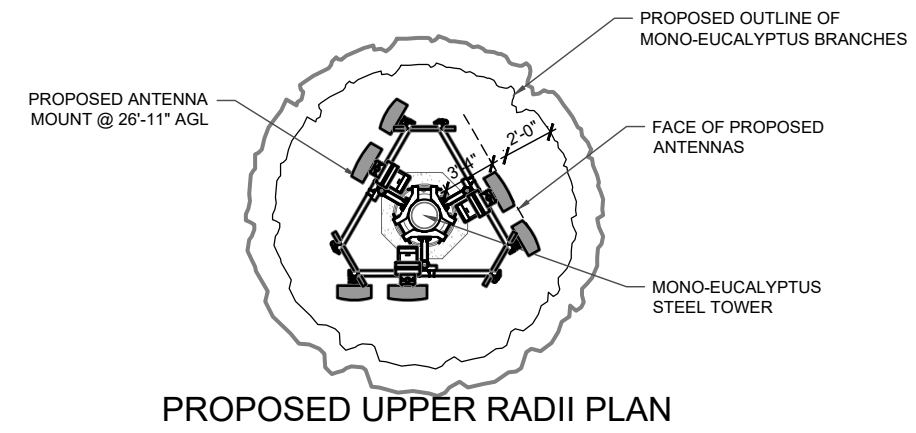
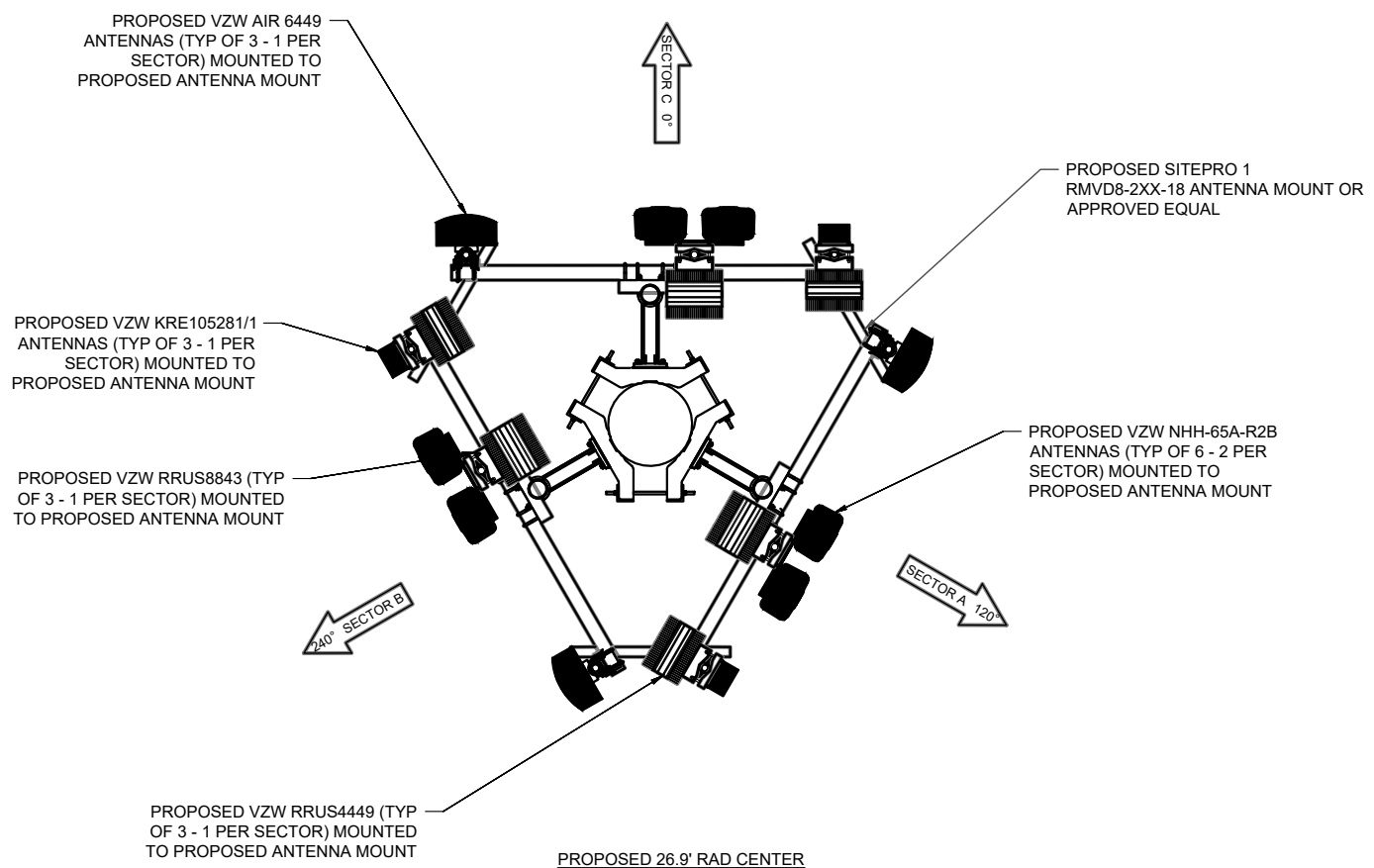
PROPOSED ANTENNA AND ANCILLARY EQUIPMENT SCHEDULE								
ALPHA SECTOR								
ANTENNA MODEL	ANTENNA DIMENSIONS	AZIMUTH	RAD CENTER	TMA / RAYCAP / DIPLEXER MODEL	RRH / RRU MODEL	JUMPER LENGTH	CABLE TYPE	CABLE LENGTH
(1) ERICSSON AIR6449	33.1"x20.5"x8.5"	120°	26.9'	-	-	-	-	-
(2) NHH-65A-R2B	55.6"x11.9"x7.1"	120°	26.9'	-	RRUS4449	-	(1) HYBRID	150'
(1) CBRS KRE105281/1	7.9"x7.9"x4.0"	120°	26.9'	-	RRUS8843	-	-	-
BETA SECTOR								
ANTENNA MODEL	ANTENNA DIMENSIONS	AZIMUTH	RAD CENTER	TMA / RAYCAP / DIPLEXER MODEL	RRH / RRU MODEL	JUMPER LENGTH	CABLE TYPE	CABLE LENGTH
(1) ERICSSON AIR6449	33.1"x20.5"x8.5"	240°	26.9'	-	-	-	-	-
(2) NHH-65A-R2B	55.6"x11.9"x7.1"	240°	26.9'	-	RRUS4449	-	(1) HYBRID	150'
(1) CBRS KRE105281/1	7.9"x7.9"x4.0"	240°	26.9'	-	RRUS8843	-	-	-
GAMMA SECTOR								
ANTENNA MODEL	ANTENNA DIMENSIONS	AZIMUTH	RAD CENTER	TMA / RAYCAP / DIPLEXER MODEL	RRH / RRU MODEL	JUMPER LENGTH	CABLE TYPE	CABLE LENGTH
(1) ERICSSON AIR6449	33.1"x20.5"x8.5"	240°	26.9'	-	-	-	-	-
(2) NHH-65A-R2B	55.6"x11.9"x7.1"	240°	26.9'	-	RRUS4449	-	(1) HYBRID	150'
(1) CBRS KRE105281/1	7.9"x7.9"x4.0"	240°	26.9'	-	RRUS8843	-	-	-

22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

PROPOSED ANTENNA SCHEDULE | 1

REVISIONS

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/26/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM



22"x34" SCALE: NOT TO SCALE  
11"x17" SCALE: NOT TO SCALE

PROPOSED ANTENNA PLAN | 2

**CA45583**  
**CITY HEIGHTS**

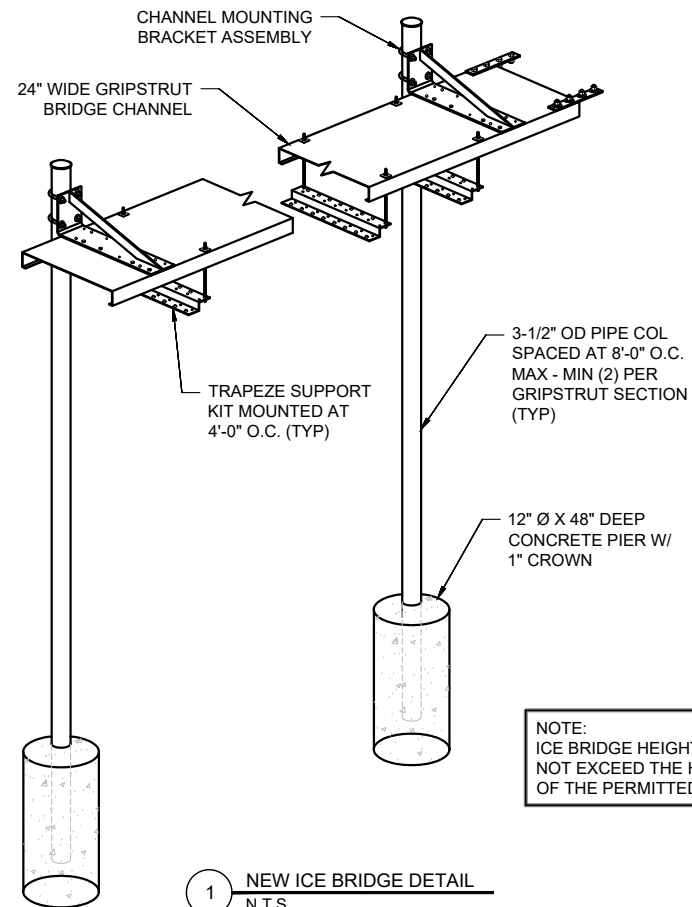
4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY: KM  
CHECKED BY: RM  
DATE: 08/26/22  
PROJECT #: -

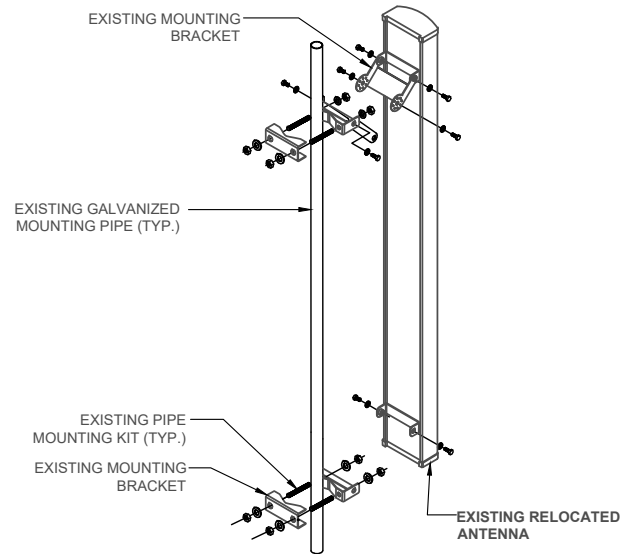
SHEET TITLE  
**ANTENNA SCHEDULE & PLAN**

SHEET NUMBER  
**C-2**

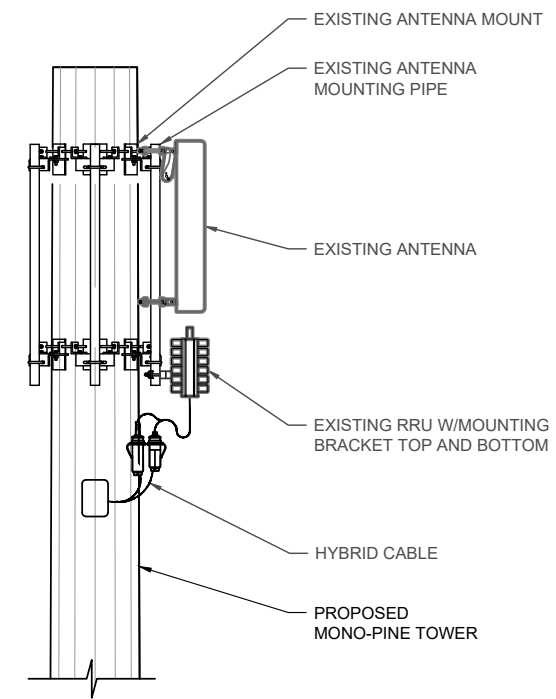




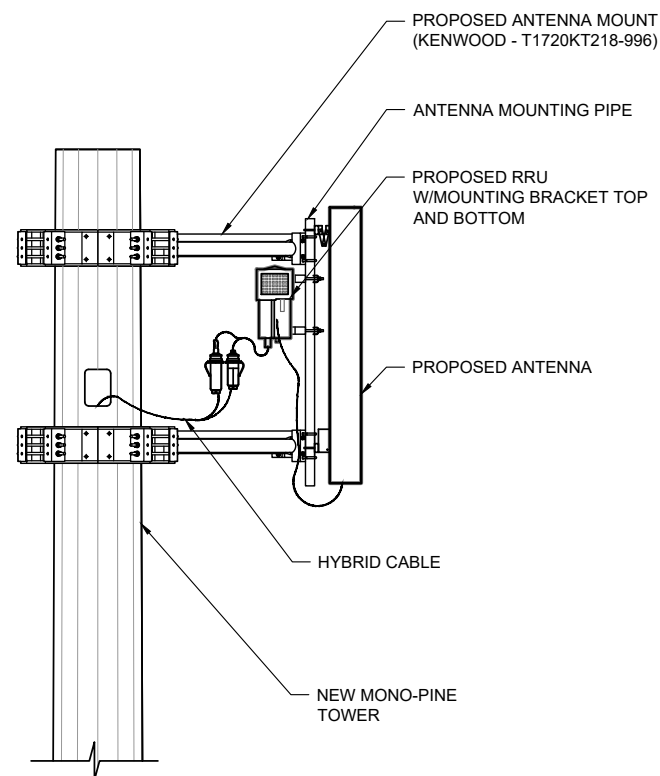
1 NEW ICE BRIDGE DETAIL  
N.T.S.



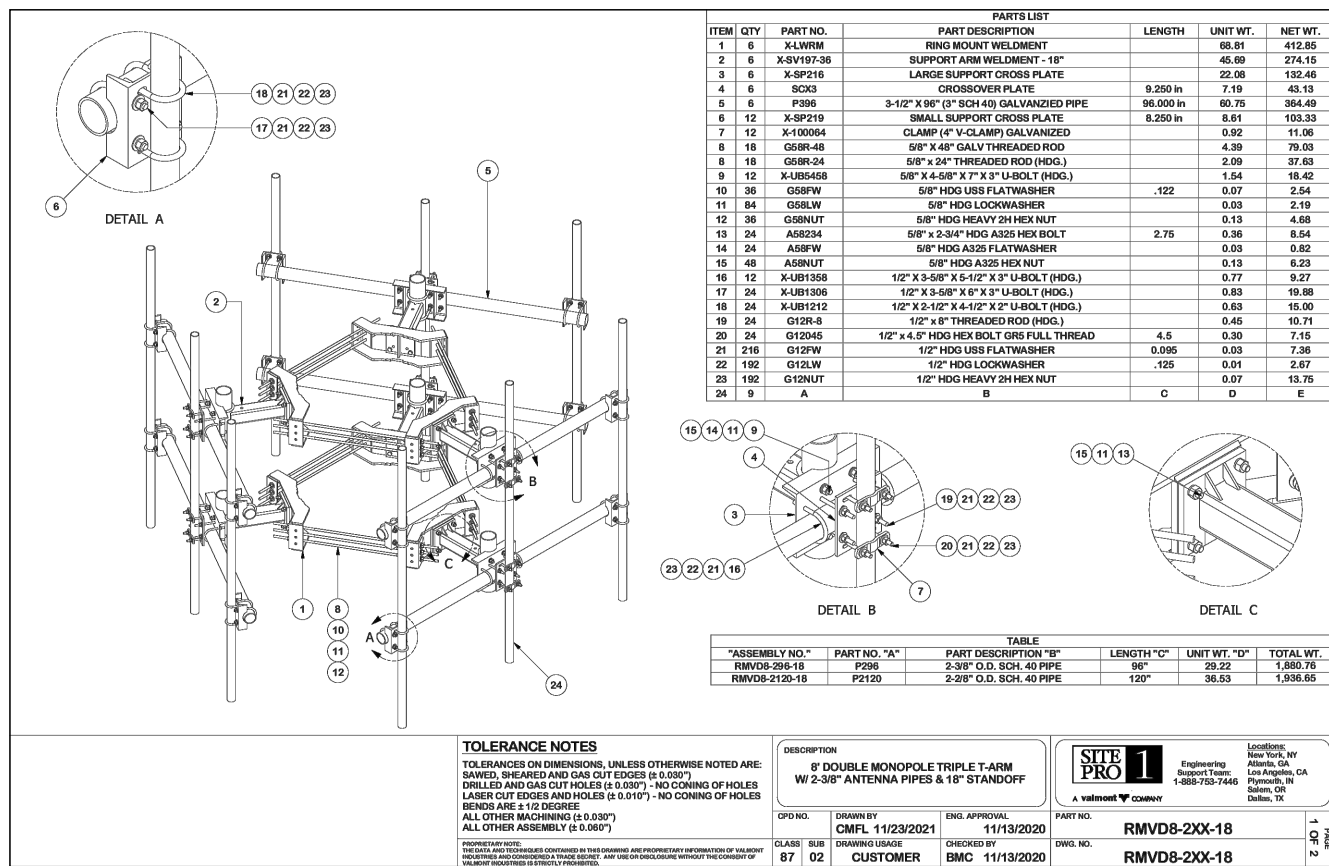
2 ANTENNA MOUNTING KIT DETAIL  
N.T.S.



3 ANTENNA MOUNTING KIT DETAIL  
N.T.S.



4 ANTENNA MOUNTING KIT DETAIL  
N.T.S.



5 PROPOSED T-MOBILE MOUNT  
N.T.S.



REVISIONS

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

CA45583  
 CITY HEIGHTS

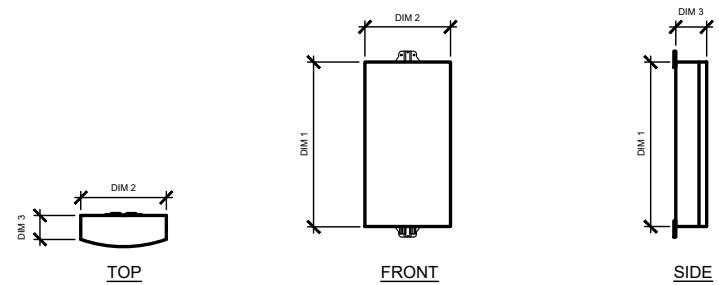
4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
 SITE DETAILS & SPECIFICATIONS

SHEET NUMBER  
**C-3**

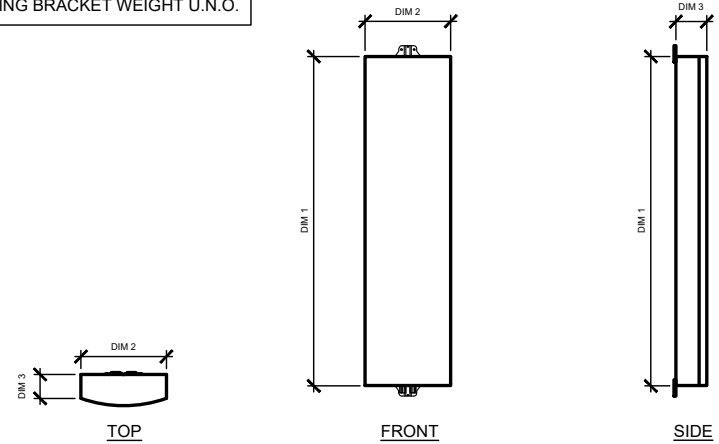
- NOTES:
1. INSTALL ANTENNAS PER MANUFACTURER SPECIFICATIONS.
  2. CONTRACTOR TO TORQUE ALL MOUNTING HARDWARE PER MANUFACTURER SPECIFICATIONS.
  3. \*ANTENNA WEIGHTS INCLUDE MOUNTING BRACKET WEIGHT U.N.O.



	QTY	DIM 1	DIM 2	DIM 3	*WEIGHT
ALPHA SECTOR					
(P) ERICSSON AIR6649	(1)	33.1"	20.5"	8.5"	101.6 LBS
BETA SECTOR					
(P) ERICSSON AIR6649	(1)	33.1"	20.5"	8.5"	101.6 LBS
GAMMA SECTOR					
(P) ERICSSON AIR6649	(1)	33.1"	20.5"	8.5"	101.6 LBS

1 ERICSSON AIR6649  
N.T.S.

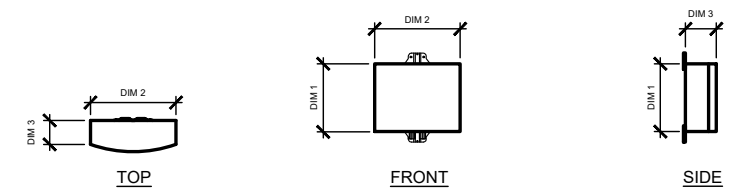
- NOTES:
1. INSTALL ANTENNAS PER MANUFACTURER SPECIFICATIONS.
  2. CONTRACTOR TO TORQUE ALL MOUNTING HARDWARE PER MANUFACTURER SPECIFICATIONS.
  3. \*ANTENNA WEIGHTS INCLUDE MOUNTING BRACKET WEIGHT U.N.O.



	QTY	DIM 1	DIM 2	DIM 3	*WEIGHT
ALPHA SECTOR					
(P) COMMSCOPE NHH-65A-R2B	(1)	55.6"	11.9"	7.1"	35.1 LBS
BETA SECTOR					
(P) COMMSCOPE NHH-65A-R2B	(1)	55.6"	11.9"	7.1"	35.1 LBS
GAMMA SECTOR					
(P) COMMSCOPE NHH-65A-R2B	(1)	55.6"	11.9"	7.1"	35.1 LBS

2 COMMSCOPE NHH-65A-R2B  
N.T.S.

- NOTES:
1. INSTALL ANTENNAS PER MANUFACTURER SPECIFICATIONS.
  2. CONTRACTOR TO TORQUE ALL MOUNTING HARDWARE PER MANUFACTURER SPECIFICATIONS.
  3. \*ANTENNA WEIGHTS INCLUDE MOUNTING BRACKET WEIGHT U.N.O.



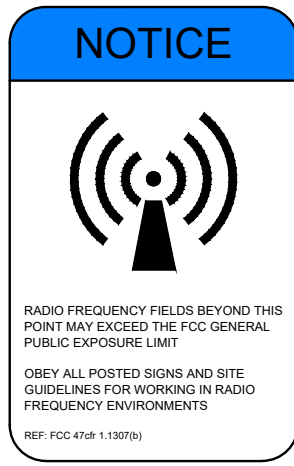
	QTY	DIM 1	DIM 2	DIM 3	*WEIGHT
ALPHA SECTOR					
(P) CBRS KRE105281/1	(1)	7.9"	7.9"	4.0"	TBD LBS
BETA SECTOR					
(P) CBRS KRE105281/1	(1)	7.9"	7.9"	4.0"	TBD LBS
GAMMA SECTOR					
(P) CBRS KRE105281/1	(1)	7.9"	7.9"	4.0"	TBD LBS

3 CBRS KRE105281/1  
N.T.S.

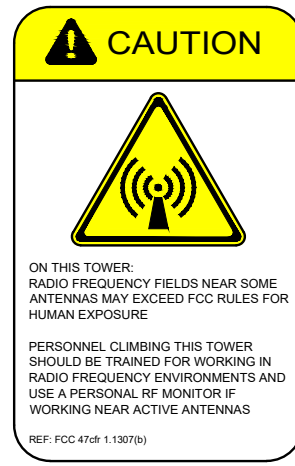


NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

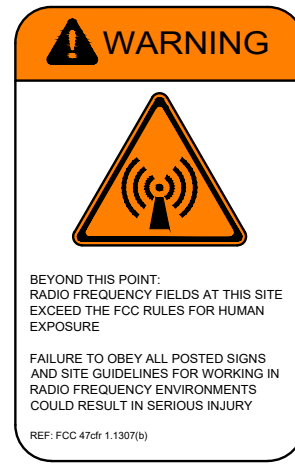
4 NOT USED  
N.T.S.



RF NOTICE SIGN  
NOT TO SCALE



RF CAUTION SIGN  
NOT TO SCALE



RF WARNING SIGN  
NOT TO SCALE

5 RF SIGNAGE  
N.T.S.

CA45583  
CITY HEIGHTS  
4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY: KM  
CHECKED BY: RM  
DATE: 08/26/22  
PROJECT #: -

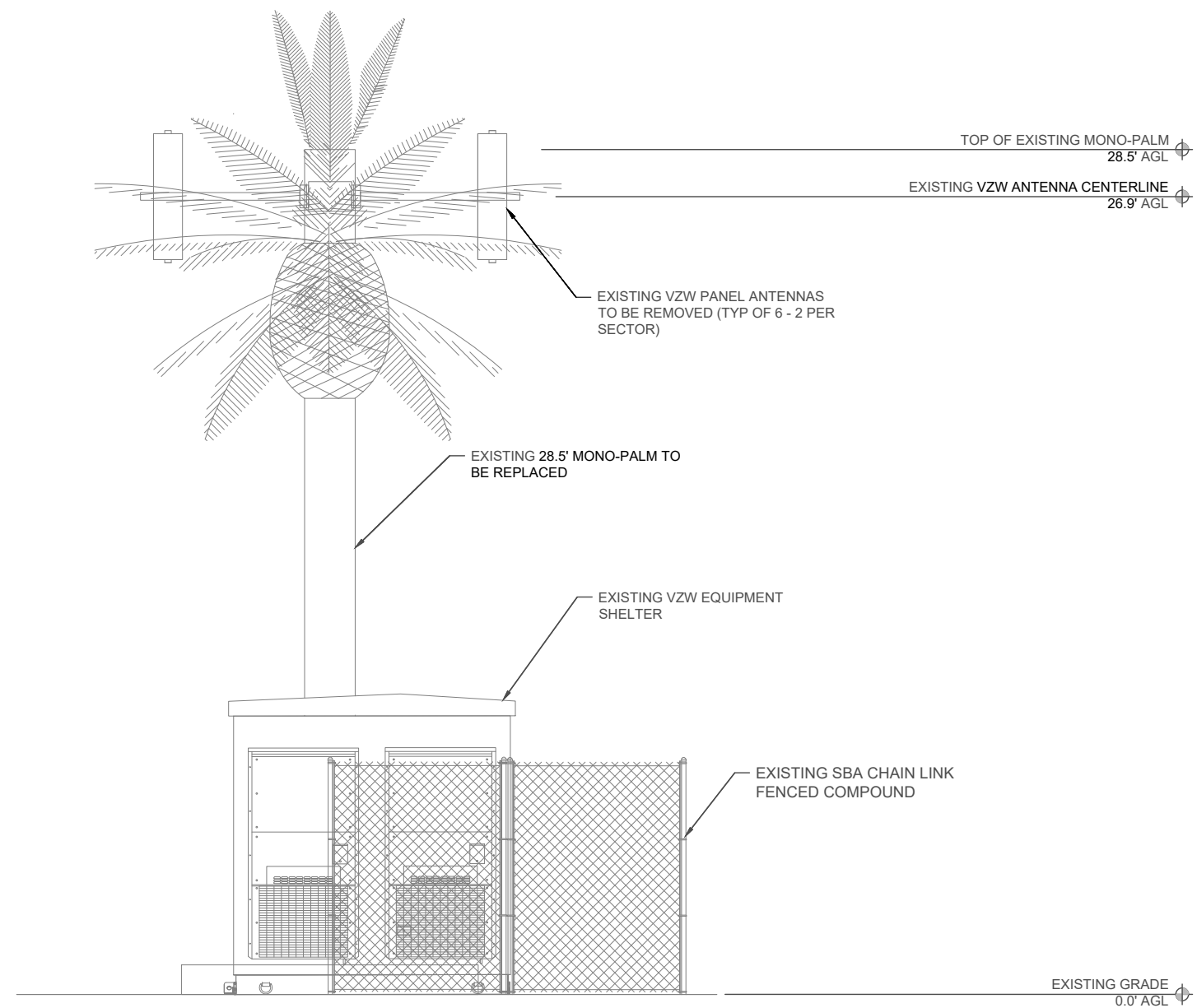
SHEET TITLE  
SITE DETAILS & SPECIFICATIONS

SHEET NUMBER  
**C-4**





- NOTE:
1. NO WORK SHALL COMMENCE WITHOUT AN APPROVED STRUCTURAL ANALYSIS. THE CONTRACTOR SHALL REVIEW THE APPROVED STRUCTURAL ANALYSIS AND NOTIFY THE E.O.R. IF ANY MODIFICATIONS ARE REQUIRED OF STRUCTURAL MEMBERS OR APPURTENANCES PRIOR TO INSTALLATION OF ANTENNAS, ANCILLARY EQUIPMENT OR CABLING.
  2. PROPOSED MOUNTING HARDWARE, CABLING, ANCILLARY EQUIPMENT AND ANTENNAS ARE TO BE PAINTED TO MATCH IF REQUIRED. VERIFY PAINT COLOR WITH LANDLORD AND/OR T-MOBILE REPRESENTATIVE.
  3. ANTENNA MOUNT/PLATFORM ANALYSIS FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  4. TOWER AND FOUNDATION STRUCTURAL ANALYSIS/DESIGN FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  5. CONTRACTOR TO VERIFY THE SUITABILITY OF ANTENNA MOUNT FOR PROPOSED LOADING CONFIGURATION.



1 SOUTH ELEVATION  
SCALE: 1/32" = 1'-0"

22"x34" SCALE: 1/32" = 1'-0"  
  
 22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

CA45583  
CITY HEIGHTS

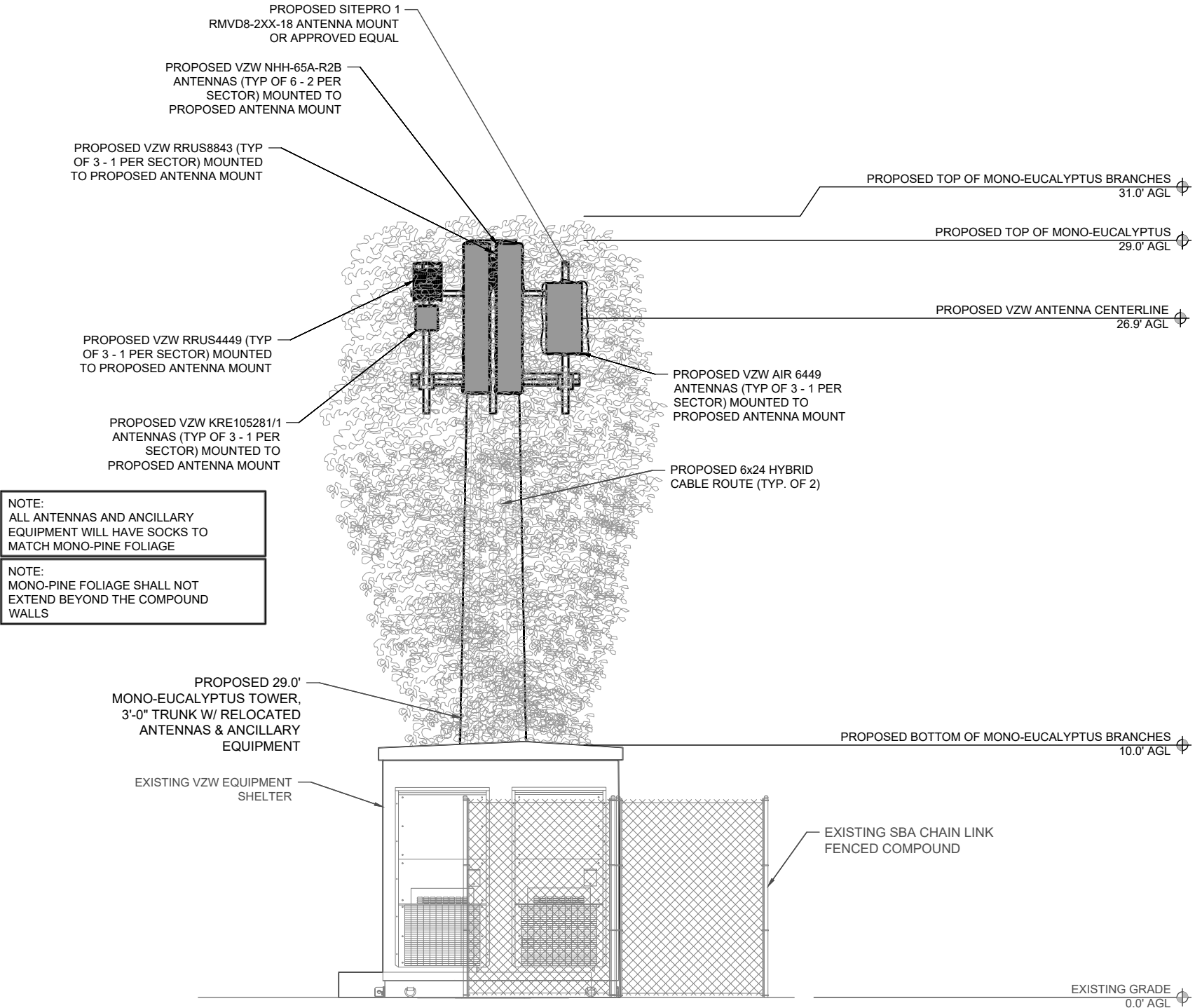
4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
EXISTING SITE ELEVATION

SHEET NUMBER  
**ANT-1**

- NOTE:
- NO WORK SHALL COMMENCE WITHOUT AN APPROVED STRUCTURAL ANALYSIS. THE CONTRACTOR SHALL REVIEW THE APPROVED STRUCTURAL ANALYSIS AND NOTIFY THE E.O.R. IF ANY MODIFICATIONS ARE REQUIRED OF STRUCTURAL MEMBERS OR APPURTENANCES PRIOR TO INSTALLATION OF ANTENNAS, ANCILLARY EQUIPMENT OR CABLING.
  - PROPOSED MOUNTING HARDWARE, CABLING, ANCILLARY EQUIPMENT AND ANTENNAS ARE TO BE PAINTED TO MATCH IF REQUIRED. VERIFY PAINT COLOR WITH LANDLORD AND/OR T-MOBILE REPRESENTATIVE.
  - ANTENNA MOUNT/PLATFORM ANALYSIS FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  - TOWER AND FOUNDATION STRUCTURAL ANALYSIS/DESIGN FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  - CONTRACTOR TO VERIFY THE SUITABILITY OF ANTENNA MOUNT FOR PROPOSED LOADING CONFIGURATION.
  - ALL MONO-TREE DESIGNS SHALL INCORPORATE APPROPRIATE THREE-DIMENSIONAL BARK CLADDING AND SHALL PROVIDE FOR SCREENING FOLIAGE TO EXTEND BEYOND ALL ANTENNAS BY NO LESS THAN 24 INCHES. THE DESIGN, NUMBER AND PLACEMENT OF ANY BRANCH-LIKE STRUCTURES AFFIXED TO THE SLIM LINE MONOPOLE SHALL INSURE THE ADEQUATE CAMOUFLAGING OF THE ANTENNAS, RELATED ELECTRICAL CABLES AND EQUIPMENT, AND THE ANTENNA AND EQUIPMENT MOUNTS.
  - SOCKS MATCHING THE COLOR AND TEXTURE OF THE FOLIAGE ARE REQUIRED FOR ALL ANTENNA AND OTHER EQUIPMENT MOUNTED ON THE MONO-TREE. SOCKS TO BE INSTALLED ON THE FRONT AND BACK OF THE EQUIPMENT.
  - DUE TO ENVIRONMENTAL FACTORS SUCH AS WIND, RAIN AND SUN, THE OWNER/APPLICANT SHALL MAINTAIN ALL MONO-TREES TO ENSURE THAT THE FAUX FOLIAGE IS LUSH, CONTINUES TO RESEMBLE A TREE, AND FULLY SCREENS ALL ANTENNAS AND OTHER EQUIPMENT.
  - THE OWNER/APPLICANT SHALL MAINTAIN THE FENCE / WALL AND ENSURE THE FENCE /WALL IS KEPT FREE OF GRAFFITI AND VANDALISM, AND ANY VISIBLE STRUCTURAL DAMAGE.



NOTE:  
 ALL ANTENNAS AND ANCILLARY EQUIPMENT WILL HAVE SOCKS TO MATCH MONO-PINE FOLIAGE

NOTE:  
 MONO-PINE FOLIAGE SHALL NOT EXTEND BEYOND THE COMPOUND WALLS

**1 SOUTH ELEVATION**  
 SCALE: 1/32" = 1'-0"

22"x34" SCALE: 1/32" = 1'-0"  
 32' 24' 16' 8' 0' 32'  
 22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

NO.	DESCRIPTION	DATE	BY					
			KM	KM	KM	YK	KM	KM
A	ISSUED FOR REVIEW	08/29/22						
B	CLIENT COMMENTS	05/01/23						
C	CLIENT COMMENTS	05/12/23						
D	CLIENT COMMENTS	09/29/23						
E	CLIENT COMMENTS	10/18/23						
F	CLIENT COMMENTS	01/15/24						

**CA45583**  
**CITY HEIGHTS**  
 4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

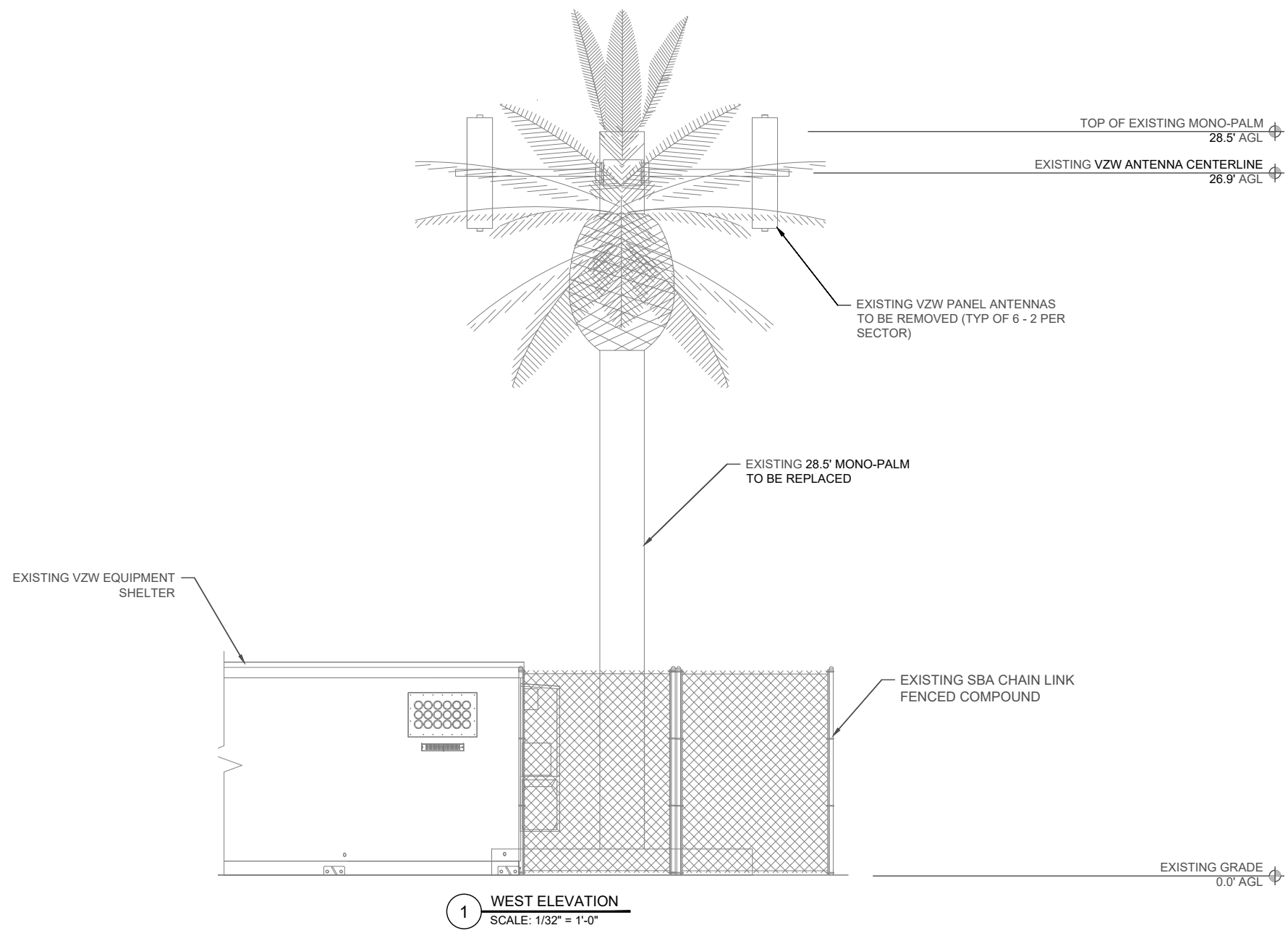
DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
**PROPOSED SITE ELEVATION**

SHEET NUMBER  
**ANT-2**



- NOTE:
1. NO WORK SHALL COMMENCE WITHOUT AN APPROVED STRUCTURAL ANALYSIS. THE CONTRACTOR SHALL REVIEW THE APPROVED STRUCTURAL ANALYSIS AND NOTIFY THE E.O.R. IF ANY MODIFICATIONS ARE REQUIRED OF STRUCTURAL MEMBERS OR APPURTENANCES PRIOR TO INSTALLATION OF ANTENNAS, ANCILLARY EQUIPMENT OR CABLING.
  2. PROPOSED MOUNTING HARDWARE, CABLING, ANCILLARY EQUIPMENT AND ANTENNAS ARE TO BE PAINTED TO MATCH IF REQUIRED. VERIFY PAINT COLOR WITH LANDLORD AND/OR T-MOBILE REPRESENTATIVE.
  3. ANTENNA MOUNT/PLATFORM ANALYSIS FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  4. TOWER AND FOUNDATION STRUCTURAL ANALYSIS/DESIGN FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  5. CONTRACTOR TO VERIFY THE SUITABILITY OF ANTENNA MOUNT FOR PROPOSED LOADING CONFIGURATION.



1 WEST ELEVATION  
SCALE: 1/32" = 1'-0"

22"x34" SCALE: 1/32" = 1'-0"  
  
 22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

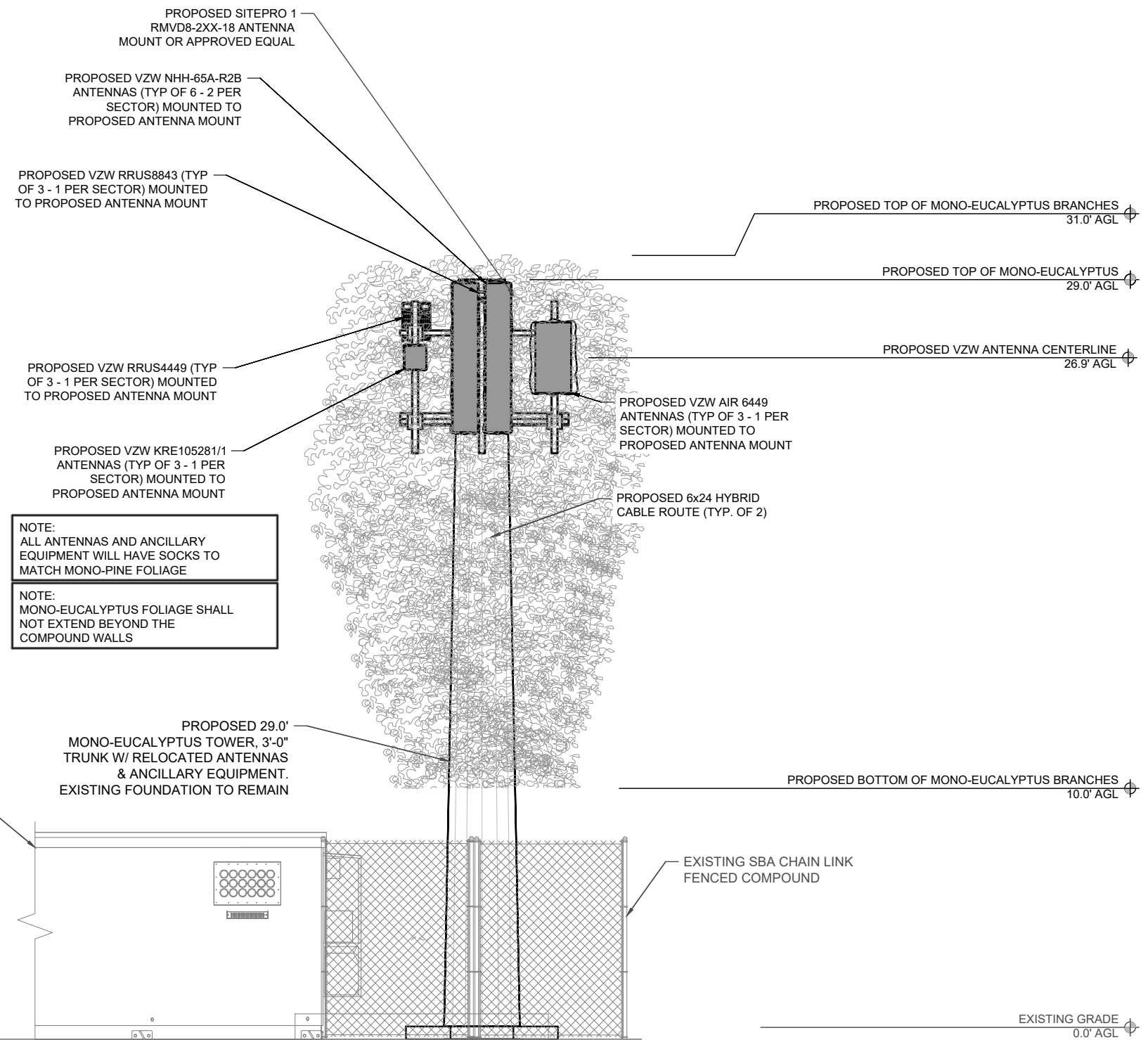
CA45583  
 CITY HEIGHTS  
 4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
 EXISTING  
 SITE ELEVATION

SHEET NUMBER  
**ANT-3**

- NOTE:
- NO WORK SHALL COMMENCE WITHOUT AN APPROVED STRUCTURAL ANALYSIS. THE CONTRACTOR SHALL REVIEW THE APPROVED STRUCTURAL ANALYSIS AND NOTIFY THE E.O.R. IF ANY MODIFICATIONS ARE REQUIRED OF STRUCTURAL MEMBERS OR APPURTENANCES PRIOR TO INSTALLATION OF ANTENNAS, ANCILLARY EQUIPMENT OR CABLING.
  - PROPOSED MOUNTING HARDWARE, CABLING, ANCILLARY EQUIPMENT AND ANTENNAS ARE TO BE PAINTED TO MATCH IF REQUIRED. VERIFY PAINT COLOR WITH LANDLORD AND/OR T-MOBILE REPRESENTATIVE.
  - ANTENNA MOUNT/PLATFORM ANALYSIS FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  - TOWER AND FOUNDATION STRUCTURAL ANALYSIS/DESIGN FOR THE PROPOSED LOADING CONFIGURATION TO BE COMPLETED BY OTHERS.
  - CONTRACTOR TO VERIFY THE SUITABILITY OF ANTENNA MOUNT FOR PROPOSED LOADING CONFIGURATION.
  - ALL MONO-TREE DESIGNS SHALL INCORPORATE APPROPRIATE THREE-DIMENSIONAL BARK CLADDING AND SHALL PROVIDE FOR SCREENING FOLIAGE TO EXTEND BEYOND ALL ANTENNAS BY NO LESS THAN 24 INCHES. THE DESIGN, NUMBER AND PLACEMENT OF ANY BRANCH-LIKE STRUCTURES AFFIXED TO THE SLIM LINE MONOPOLE SHALL INSURE THE ADEQUATE CAMOUFLAGING OF THE ANTENNAS, RELATED ELECTRICAL CABLES AND EQUIPMENT, AND THE ANTENNA AND EQUIPMENT MOUNTS.
  - SOCKS MATCHING THE COLOR AND TEXTURE OF THE FOLIAGE ARE REQUIRED FOR ALL ANTENNA AND OTHER EQUIPMENT MOUNTED ON THE MONO-TREE. SOCKS TO BE INSTALLED ON THE FRONT AND BACK OF THE EQUIPMENT.
  - DUE TO ENVIRONMENTAL FACTORS SUCH AS WIND, RAIN AND SUN, THE OWNER/APPLICANT SHALL MAINTAIN ALL MONO-TREES TO ENSURE THAT THE FAUX FOLIAGE IS LUSH, CONTINUES TO RESEMBLE A TREE, AND FULLY SCREENS ALL ANTENNAS AND OTHER EQUIPMENT.
  - THE OWNER/APPLICANT SHALL MAINTAIN THE FENCE / WALL AND ENSURE THE FENCE /WALL IS KEPT FREE OF GRAFFITI AND VANDALISM, AND ANY VISIBLE STRUCTURAL DAMAGE.



NOTE:  
 ALL ANTENNAS AND ANCILLARY EQUIPMENT WILL HAVE SOCKS TO MATCH MONO-PINE FOLIAGE

NOTE:  
 MONO-EUCALYPTUS FOLIAGE SHALL NOT EXTEND BEYOND THE COMPOUND WALLS

1 WEST ELEVATION  
 SCALE: 1/32" = 1'-0"

22"x34" SCALE: 3/32" = 1'-0"  
 8" 4" 0" 8"  
 22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

REVISIONS		NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM		
B	CLIENT COMMENTS	05/01/23	KM		
C	CLIENT COMMENTS	05/12/23	KM		
D	CLIENT COMMENTS	09/29/23	YK		
E	CLIENT COMMENTS	10/18/23	KM		
F	CLIENT COMMENTS	01/15/24	KM		

CA45583  
 CITY HEIGHTS

4735 MYRTLE AVE  
 SAN DIEGO, CA 92105

DRAWN BY: KM  
 CHECKED BY: RM  
 DATE: 08/26/22  
 PROJECT #: -

SHEET TITLE  
 PROPOSED SITE ELEVATION

SHEET NUMBER  
**ANT-4**



## GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES. THE CONTRACTORS SHALL FURNISHED AND PAY FOR ALL PERMITS AND RELATED FEES.
- ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
- CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
- ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- ALL INTERIOR CONDUITS AND BUSHINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER
- CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER. ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDERWRITERS LABORATORIES (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC., AS INDICATED ON ELECTRICAL DRAWINGS AND/OR AS REQUIRED BY GOVERNING CODES.
- PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ARCHITECTURE AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN HIS BID.
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
- ALL WIRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600 VOLTS INSULATION.
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- SERVICE CONDUITS SHALL HAVE NO MORE THAN (2) -90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS.
- ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 100 M.P.H. WIND SPEED AND DESIGNED FOR EXPOSURE C.
- ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" RADIUS SWEEPS TO EQUIPMENT, PULLBOXES, MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- FUSE TYPE SHALL BE BUSSMAN RK1 LOW PEAK FUSE (LPU-RK-100).
- CONTRACTOR TO PROVIDE GUTTER TAP(S) AS REQUIRED.
- CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (B PHASE), RED (A PHASE), WHITE (NEUTRAL), AND GREEN (GROUND).

## CODES AND STANDARDS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
NEC	NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
UL	UNDERWRITERS LABORATORIES, INC.

## UTILITY PROVIDE INFORMATION

POWER COMPANY: POWER COMPANY NAME  
CONTACT: CONTACT NAME  
PHONE: (XXX) XXX-XXXX

FIBER COMPANY: FIBER COMPANY NAME  
CONTACT: CONTACT NAME  
PHONE: (XXX) XXX-XXXX

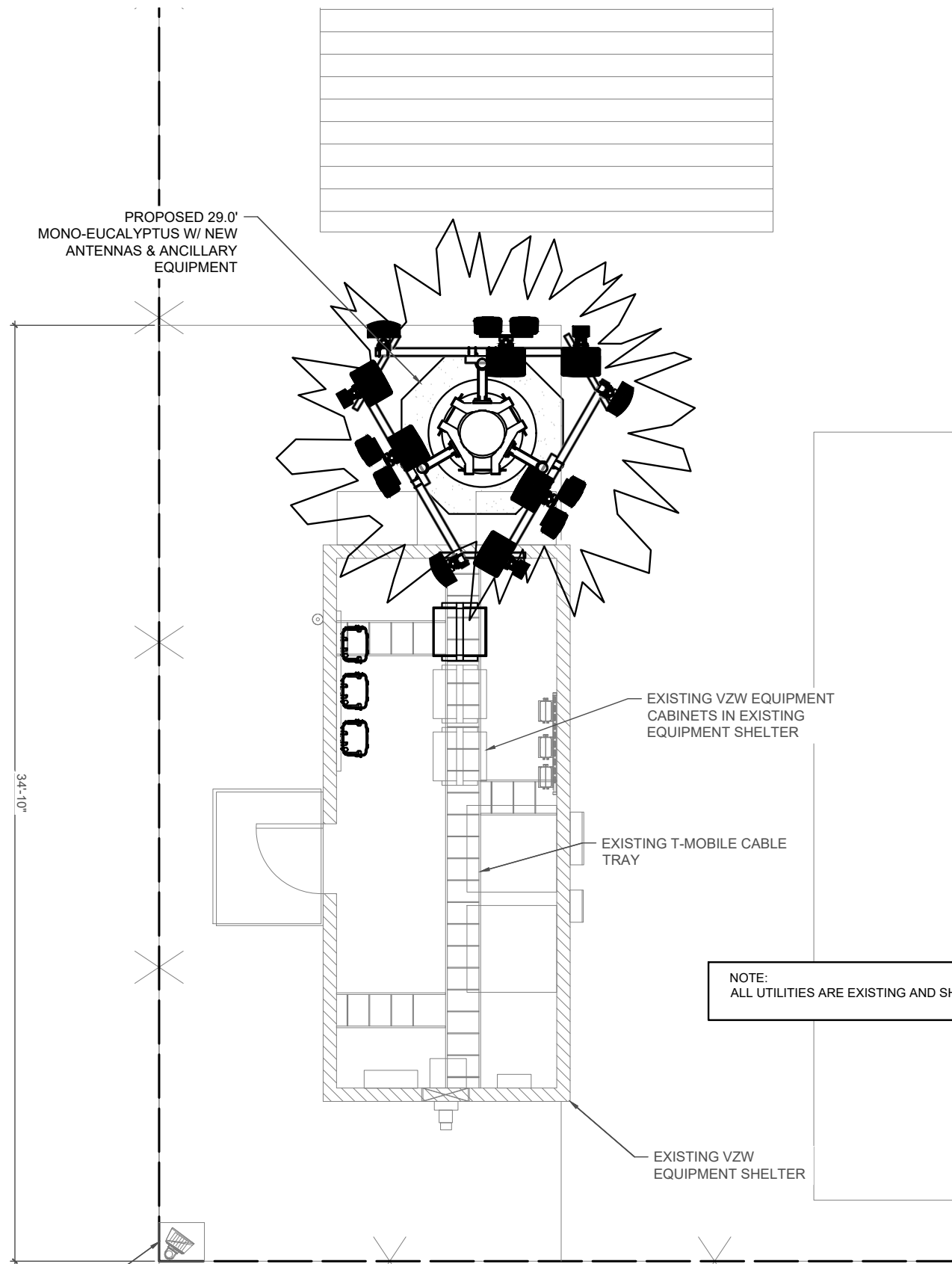


1 UTILITY ROUTING PLAN

EXISTING SBA CHAIN LINK EQUIPMENT COMPOUND

15'-0"  
(E) SBA EQUIPMENT COMPOUND

PROPOSED 29.0'  
MONO-EUCALYPTUS W/ NEW ANTENNAS & ANCILLARY EQUIPMENT



NOTE:  
ALL UTILITIES ARE EXISTING AND SHALL NOT BE MODIFIED

NOTE:  
LINES SHOWN DO NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT RUNS CONTRACTOR TO VERIFY SERVICE LOCATIONS w/ACTUAL FIELD CONDITIONS.

22"x34" SCALE: 1/32" = 1'-0"  
32' 24' 16' 8' 0' 32'

22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

SBA STRUCTURES, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483

NO.	DESCRIPTION	DATE	BY
A	ISSUED FOR REVIEW	08/29/22	KM
B	CLIENT COMMENTS	05/01/23	KM
C	CLIENT COMMENTS	05/12/23	KM
D	CLIENT COMMENTS	09/29/23	YK
E	CLIENT COMMENTS	10/18/23	KM
F	CLIENT COMMENTS	01/15/24	KM

CA45583  
CITY HEIGHTS

4735 MYRTLE AVE  
SAN DIEGO, CA 92105

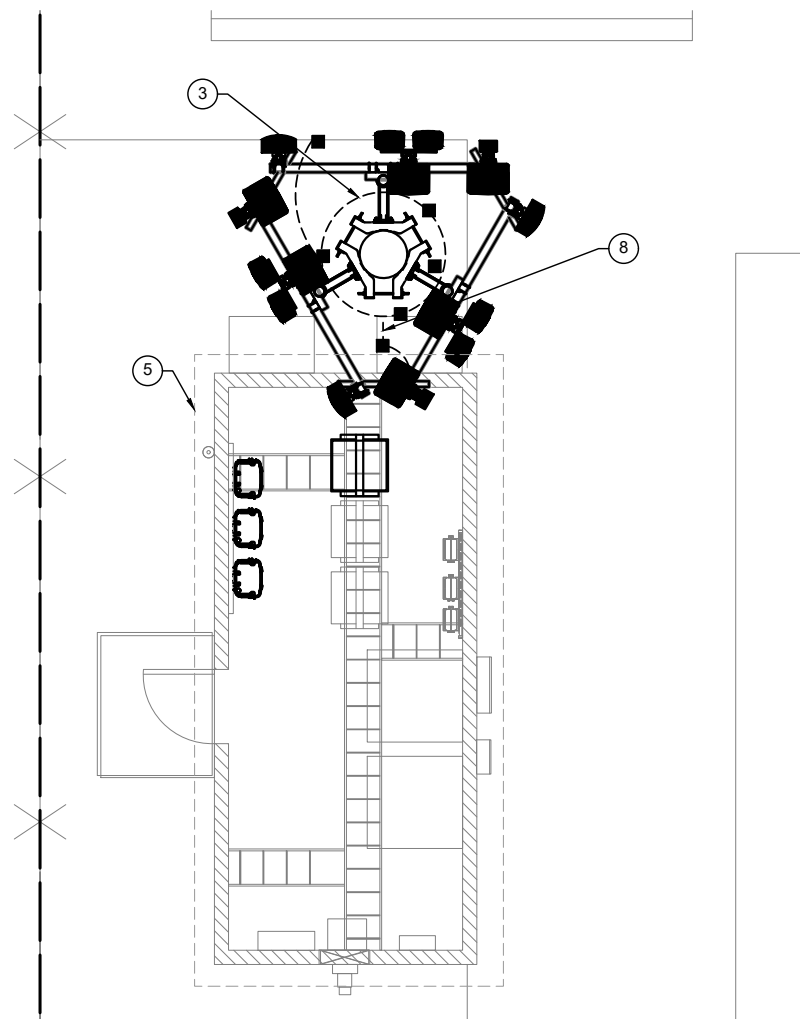
DRAWN BY:	KM
CHECKED BY:	RM
DATE:	08/26/22
PROJECT #:	-

SHEET TITLE  
UTILITY ROUTING PLAN

SHEET NUMBER  
**E-1**

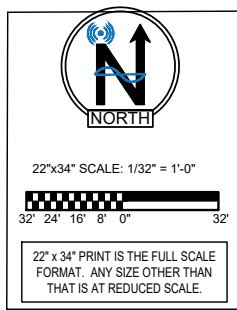
UTILITY NOTES:  
1. POWER IS EXISTING AND WILL NOT BE MODIFIED

FIBER NOTES  
1. FIBER IS EXISTING AND WILL NOT BE MODIFIED



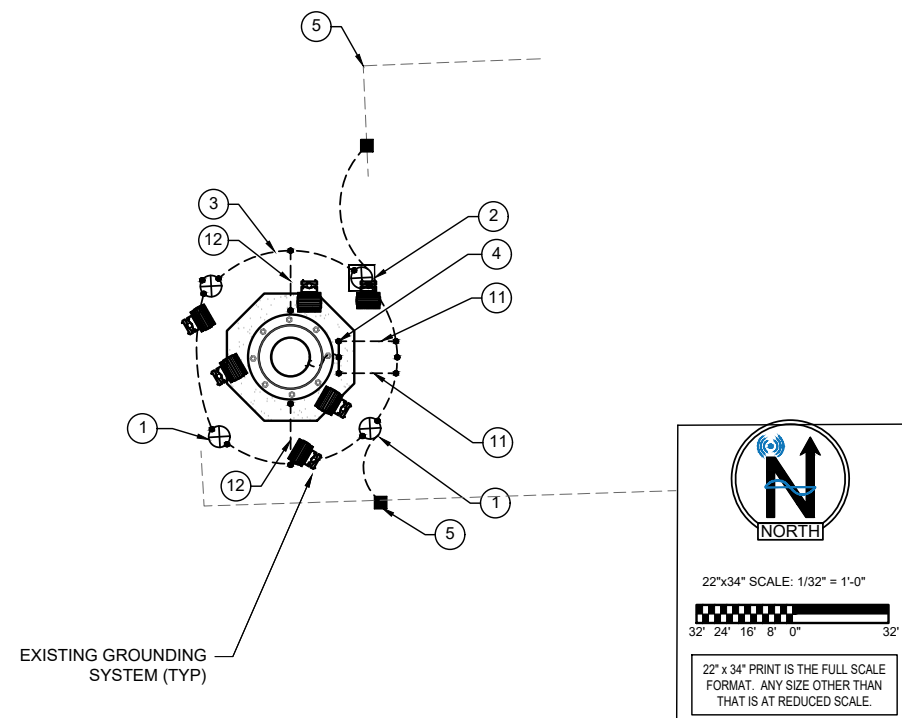
NOTE:  
THE GROUNDING SYSTEM IS EXISTING. CONTRACTOR SHALL TIE THE NEW TOWER GROUND RING INTO THE EXISTING SYSTEM PER SBA GROUNDING STANDARDS

1 SITE GROUNDING PLAN  
SCALE: N.T.S.



### SYMBOLS LEGEND

- |  |                        |  |                       |
|--|------------------------|--|-----------------------|
|  | GROUND ROD WITH ACCESS |  | MECHANICAL CONNECTION |
|  | GROUND ROD             |  | GROUND BAR            |
|  | EXOTHERMIC CONNECTION  |  | GROUND WIRE           |



2 PROPOSED MONO-PINE TOWER BASE GROUNDING

### BALLOON REFERENCE NOTES:

- |   |   |
|---|---|
| <p>① 5/8"Øx8' COPPER CLAD GROUND ROD BURIED 42" BELOW GRADE (MIN.)</p> <p>② GROUND ROD ACCESS WELL (MIN. OF 2 EACH PER COMPOUND)</p> <p>③ #2 SOLID, TINNED, BARE COPPER WIRE TOWER GROUND RING (CONTINUOUS STRAND). TOWER GROUND RING SHOULD BE INSTALLED A MINIMUM TWO FEET OFF OF ANY STRUCTURE</p> <p>④ 1/4"X4"X20" TINNED COPPER GROUND BAR. 2 TYP, AT BASE AND TOP OF TOWER. MOUNT DIRECT TO TOWER, DO NOT ISOLATE.</p> <p>⑤ EXISTING COMPOUND GROUND RING</p> <p>⑥ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO ANTENNA</p> <p>⑦ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO RRU</p> <p>⑧ PROVIDE #2 SBTC BOND FROM ICE BRIDGE TO EXISTING GROUND RING</p> | <p>⑨ PROVIDE (1) #2 SBTC GROUND LEAD FROM PROPOSED MONO-PINE TOWER RING TO STEEL ICE BRIDGE POST PER GROUNDING STANDARDS. BOND ALL ADJACENT POSTS.</p> <p>⑩ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO DIPLEXERS</p> <p>⑪ #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT MONO-PINE TOWER BASE TO GROUND RING. ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END. (2 TYPICAL)</p> <p>⑫ #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM MONO-PINE TOWER BASE TO GROUND RING. (2 TYPICAL, 180° SEPARATION)</p> <p>⑬ PROVIDE #2 SBTC BOND FROM ANTENNA GROUND BAR TO TMA'S</p> |
|---|---|



REVISIONS	
NO.	DESCRIPTION
A	ISSUED FOR REVIEW
B	CLIENT COMMENTS
C	CLIENT COMMENTS
D	CLIENT COMMENTS
E	CLIENT COMMENTS
F	CLIENT COMMENTS

CA45583  
CITY HEIGHTS

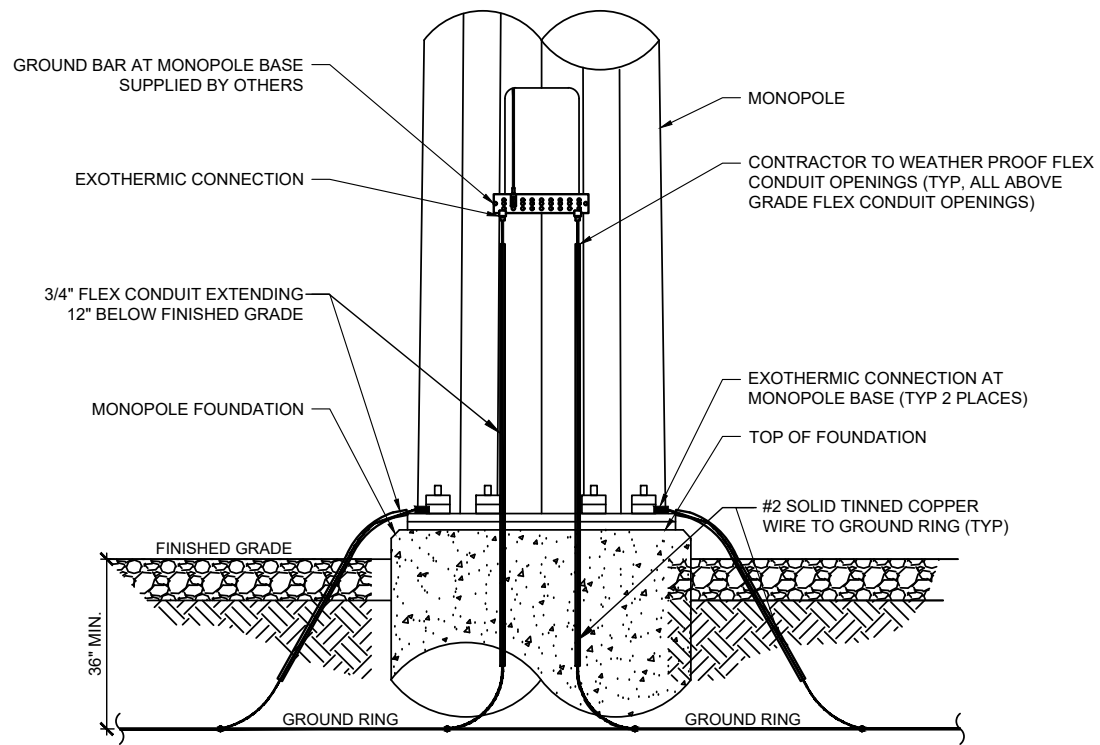
4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY:	KM
CHECKED BY:	RM
DATE:	08/26/22
PROJECT #:	-

SHEET TITLE  
SITE  
GROUNDING PLAN  
(MONO-EUCALYPTUS)

SHEET NUMBER

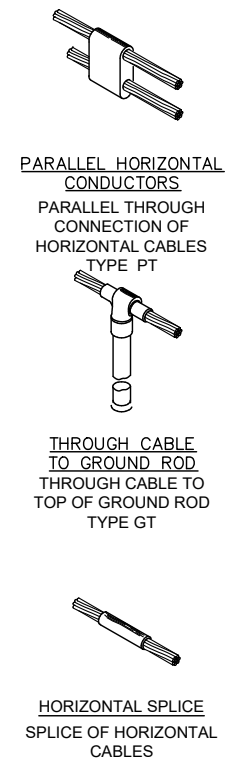
**E-2**



1 GROUNDING @ TOWER BASE  
N.T.S.

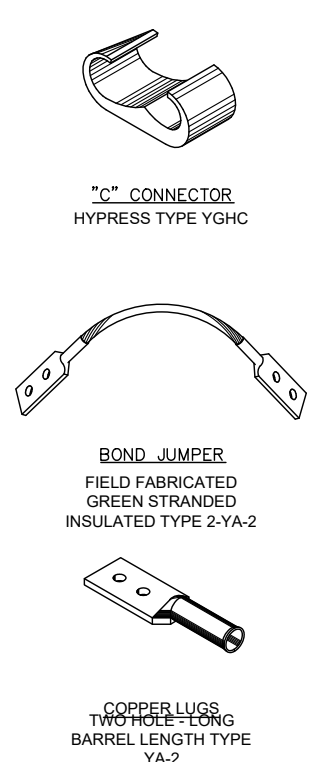
CADWELD CONNECTIONS

(OR APPROVED EQUAL)

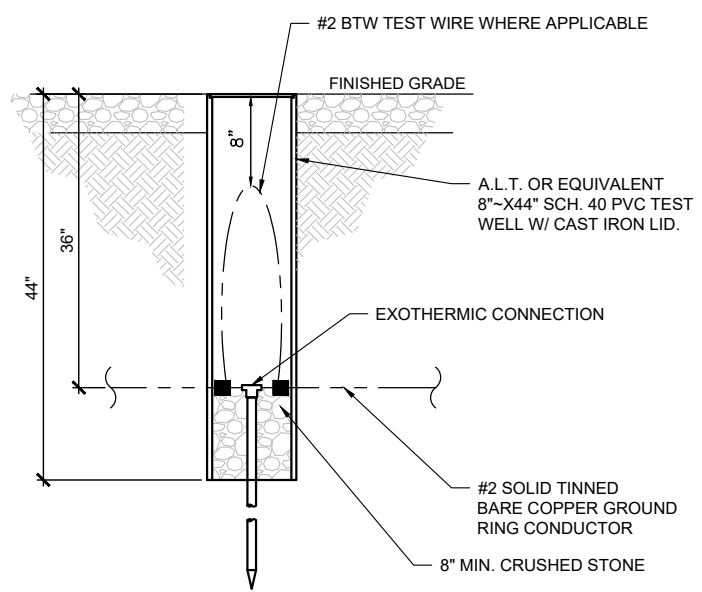


BURNDY CONNECTIONS

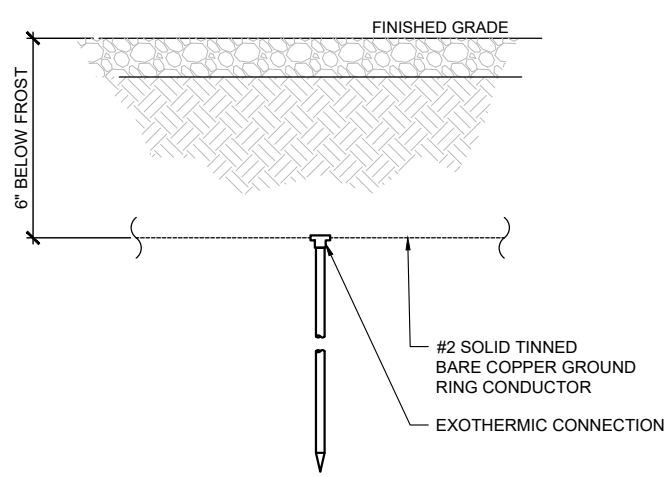
(OR APPROVED EQUAL)



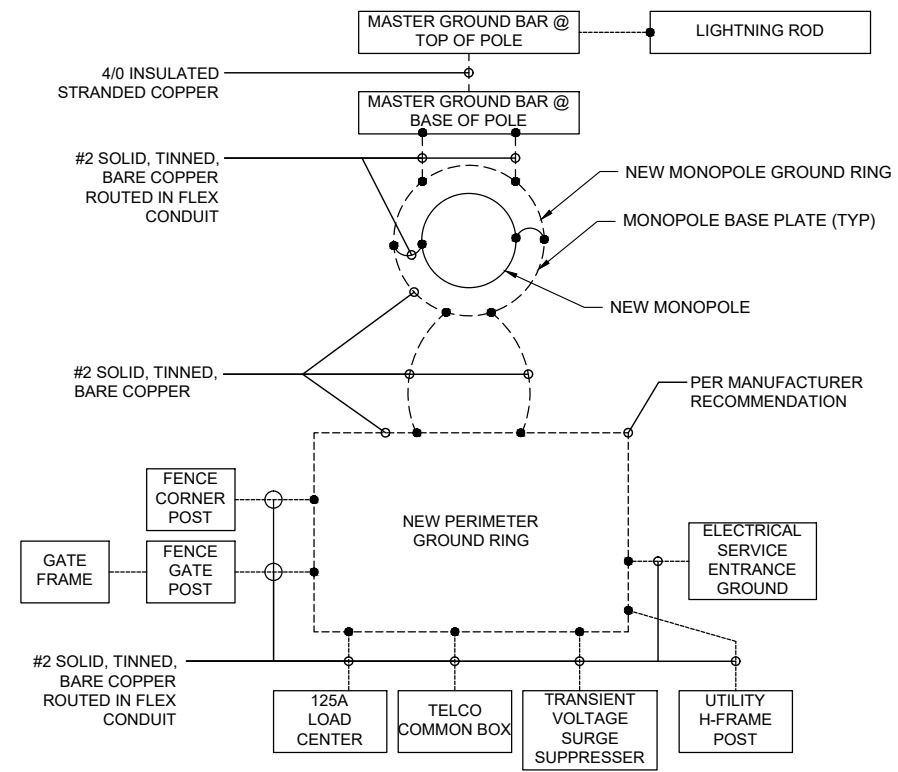
2 TYPICAL WELDING CONNECTIONS  
N.T.S.



3 ACCESS WELL DETAIL  
N.T.S.



4 GROUNDING ROD DETAIL  
N.T.S.



5 GROUNDING SCHEMATIC  
N.T.S.



NO.	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	KM	08/29/22
B	CLIENT COMMENTS	KM	05/01/23
C	CLIENT COMMENTS	KM	05/12/23
D	CLIENT COMMENTS	YK	09/29/23
E	CLIENT COMMENTS	KM	10/18/23
F	CLIENT COMMENTS	KM	01/15/24

CA45583  
CITY HEIGHTS

4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY: KM  
CHECKED BY: RM  
DATE: 08/26/22  
PROJECT #:

SHEET TITLE  
ELECTRICAL AND GROUNDING DETAILS (MONOPOLE TOWER)

SHEET NUMBER  
E-3



## GENERAL NOTES

1. ALL REFERENCES TO OWNER HEREIN SHALL BE CONSTRUED TO MEAN SBA OR IT'S DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY. THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
3. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
5. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
6. ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE TESTING AGENCY PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
7. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
10. ALL PROPOSED CELLULAR EQUIPMENT AND FIXTURES SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
12. RADIO EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

## STRUCTURAL NOTES

1. DESIGN REQUIREMENTS PER LOCAL BUILDING CODE AND THE E1A/TIA-222-GH STRUCTURAL STANDARDS FOR STEEL ANTENNAS TOWERS AND SUPPORTING STRUCTURES.
2. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF A.I.S.C. SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN INCLUDING THE COMMENTARY AND THE A.I.S.C. CODE OF STANDARD PRACTICE.
3. STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36. ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53 GRADE 8. ALL STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE 8. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
4. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D.1.1-96. STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.
5. ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
6. NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND INFORM OWNER OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
7. ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND AC1 301, AND SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI (U.O.N.). CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
8. ALL REINFORCING STEEL SHALL CONFORM TO ASTM 615 GRADE 80, DEFORMED BILLET STEEL BARS. WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A185.
9. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS.
10. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
11. HOT-DIP GALVANIZE ITEMS SPECIFIED TO BE ZINC-COATED. AFTER FABRICATION WHERE PRACTICAL. GALVANIZING: ASTM A 123, ASTM A 153/A 153M OR ASTM A 653/A 653M, G90, AS APPLICABLE.
12. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A 780 OR BY APPLICATION OF STICK OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED, AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS. IN STICK OR PASTE, SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.
13. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS/ SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE MANUFACTURER'S SPECIFICATIONS ARE STRICTER.

## SPECIAL INSPECTION

1. IF REQUIRED, SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER CODE FOR THE FOLLOWING ITEMS:
  - A. CONTINUOUS DURING THE INSTALLATION OF EXPANSION AND/OR ADHESIVE ANCHORS, IF UTILIZED: INSPECT HOLE SIZE, DEPTH, CLEANLINESS, AND INSTALLATION PER ICC REPORT.
  - B. PERIODIC FOR HIGH STRENGTH BOLT INSTALLATIONS (A325), IF UTILIZED.
2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THEIR REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL AS EACH TEST IS COMPLETED. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION; THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
3. ANY MATERIAL WHICH FAILS TO MEET THE PROJECT SPECIFICATIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER. SPECIAL INSPECTION TESTING REQUIREMENTS APPLY EQUALLY TO ALL BIDDER DESIGNED COMPONENTS.
4. INSPECTION FOR PREFABRICATION CONSTRUCTION SHALL BE THE SAME AS FOR THE MATERIAL USED IF THE CONSTRUCTION TOOK PLACE ON SITE. CONTINUOUS INSPECTION WILL NOT BE REQUIRED DURING PREFABRICATION IF THE APPROVED AGENCY CERTIFIES THE CONSTRUCTION AND FURNISHES EVIDENCE OF COMPLIANCE.
5. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY BOTH HE AND HIS SUPERVISOR STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

## UTILITIES

1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.
3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. FOR GRASSED AREAS, SEED AND MULCH SHALL BE ACCEPTABLE..
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE OWNER'S REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

## PERMITS

1. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. (NOT SUPPLIED BY OWNER)
2. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS. (NOT SUPPLIED BY OWNER)
3. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE LATEST APPLICABLE CODES AND STANDARDS.
4. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. CONTRACTOR RESPONSIBLE FOR CLOSING AND FILING ALL PERMITS ASSOCIATED WITH SITE.

## GRADING

1. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
2. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
4. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PRE FORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

## PAINTING

1. CONTRACTOR TO COORDINATE PAINTING REQUIREMENTS WITH OWNER.
  2. PAINT COLORS SHALL BE SELECTED TO MATCH EXISTING COLORS AND TEXTURES.
  3. PROVIDE THE BEST QUALITY GRADE OF COATINGS AS REGULARLY MANUFACTURED BY APPROVED PAINT MATERIAL MANUFACTURERS. MATERIALS NOT DISPLAYING THE MANUFACTURER'S IDENTIFICATION AS A STANDARD, BEST-GRADE PRODUCT WILL NOT BE ACCEPTABLE.
  4. PROVIDE UNDERCOAT PAINT PRODUCED BY THE SAME MANUFACTURER AS THE FINISH COATS. USE ONLY THINNERS APPROVED BY THE PAINT MANUFACTURER AND USE ONLY WITHIN RECOMMENDED LIMITS.
  5. COMPLETELY COVER TO PROVIDE AN OPAQUE, SMOOTH SURFACE OF UNIFORM FINISH, COLOR, APPEARANCE, AND COVERAGE. CLOUDINESS, SPOTTINGS, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPINESS, OR OTHER SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE.
  6. ALL GRAFFITI ON ANY COMPONENT OF THE FACILITY SHALL BE REMOVED PROMPTLY IN ACCORDANCE WITH COUNTY REGULATIONS.
  7. THIS WIRELESS FACILITY SHALL BE KEPT CLEAN AND FREE OF LITTER.
  8. ALL EQUIPMENT CABINETS SHALL DISPLAY A LEGIBLE OPERATOR'S CONTACT NUMBER FOR REPORTING MAINTENANCE PROBLEMS.
  9. ALL SUPPORTING EQUIPMENT IN THE LEASE AREA WILL BE PAINTED / TEXTURED TO MATCH PROPOSED FAUX MONO-EUCALYPTUS.
- FERROUS METALS  
SHOP PRIMED  
TOUCH-UP COAT - RED OXIDE METAL PRIMER  
FINISH COATS - SEMI-GLOSS-ALKYD ENAMEL

## SBA CONSTRUCTION REQUIREMENTS

1. AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.
2. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
3. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
4. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONCRETE COMPRESSIVE TESTING AND REQUIRED TO SUBMIT FINAL TEST RESULTS WITH CLOSE OUT BOOK.
5. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
6. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION, AS WELL AS TELCO SERVICE BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC....).
7. CONTRACTOR WILL HAVE A REPRESENTATIVE ON A WEEKLY CONFERENCE CALL TO PROVIDE SBA WITH SITE SPECIFIC UPDATES. CURRENTLY, THIS CONFERENCE CALL IS HELD EACH AND EVERY THURSDAY AT 4 PM (EASTERN TIME).
8. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SBA SAFETY INSPECTIONS AT ALL TIMES.
9. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
10. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
11. CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING SBA'S REGIONAL SITE MANAGER'S SIGN-OFF/CHECKLIST APPROVAL ON THE SITE).
12. CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.
13. CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION SCHEDULE, CONSTRUCTION CLOSE-OUT LIST & TOWER HEIGHT VERIFICATION.
14. CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
15. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.



SBA STRUCTURES, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
5900 BROKEN SOUND PKWY NW  
BOCA RATON, FL 33487  
PHONE: 1-800-487-7483



NO		DESCRIPTION	DATE	BY
A			08/29/22	KM
B			08/01/23	KM
C			05/12/23	KM
D			08/29/23	YK
E			10/18/23	KM
F			01/15/24	KM

**CA45583**

**CITY HEIGHTS**

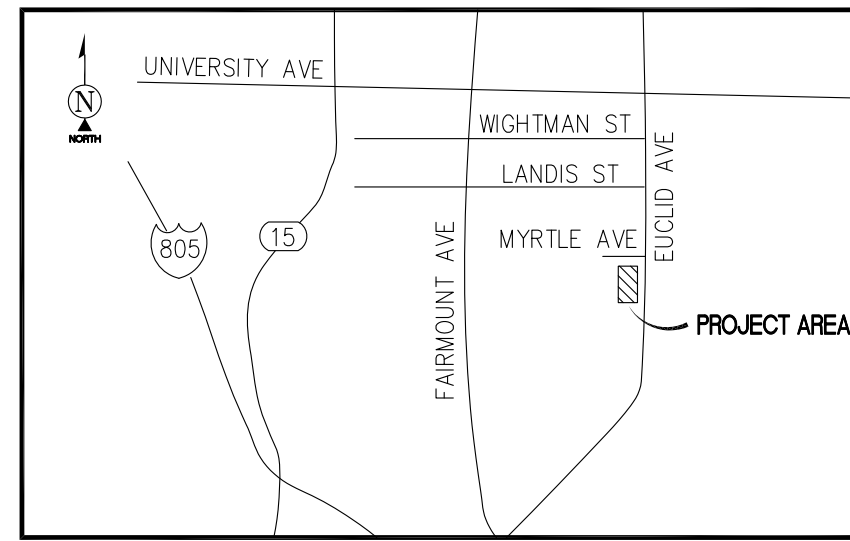
4735 MYRTLE AVE  
SAN DIEGO, CA 92105

DRAWN BY:	KM
CHECKED BY:	RM
DATE:	08/26/22
PROJECT #:	-

SHEET TITLE  
**GENERAL NOTES**

SHEET NUMBER  
**GN-1**





VICINITY MAP  
N.T.S.

**SURVEY DATE**  
09/16/2022

**BASIS OF BEARING**  
BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA ZONE SIX STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983(2011) (EPOCH 2019.25). DETERMINED BY GLOBAL POSITIONING SYSTEM EQUIPMENT ON THE SMARTNET REFERENCE NETWORK.

**BENCHMARK**  
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 12B" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE "SMARTNET" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

**GRID-TO-GROUND SCALE FACTOR NOTE**  
ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA SIX STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99999988

**FLOOD\_ZONE**  
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06073C1902G, DATED 05/16/2012

**UTILITY NOTES**  
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**SURVEYOR'S NOTES**  
CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS AND FOLLOW THE CURRENT NATIONAL MAP STANDARDS FOR VERTICAL ACCURACY.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY TO SBA TOWERS VIII, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, THE FOLLOWING:

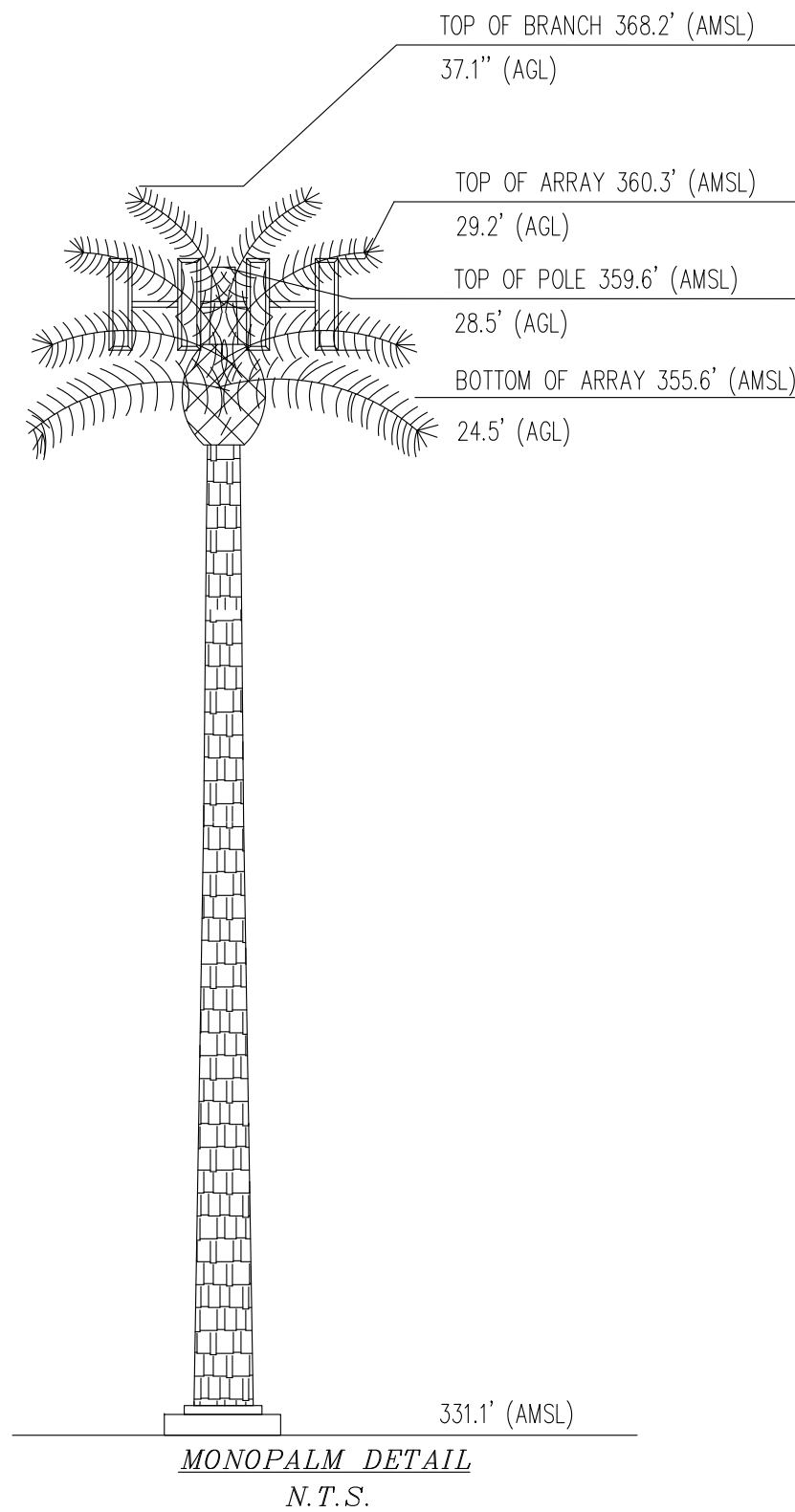
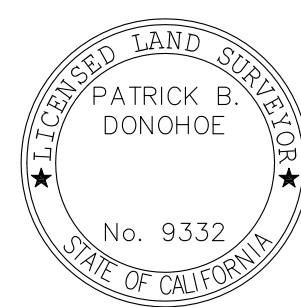
THIS SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE COMMITMENT NO. 01-22044797-01T, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, WITH A DATE OF 09/15/2022 WHICH PROPOSES TO INSURE THE LANDS DESCRIBED UNDER ITS SCHEDULE A.

THIS SURVEYOR KNOWS OF HIS OWN KNOWLEDGE THAT THE LANDS DESCRIBED UNDER SAID SCHEDULE A OF THE TITLE COMMITMENT CONTAIN OR INCLUDE THE LANDS DESCRIBED IN AND DEPICTED ON THIS SURVEY.

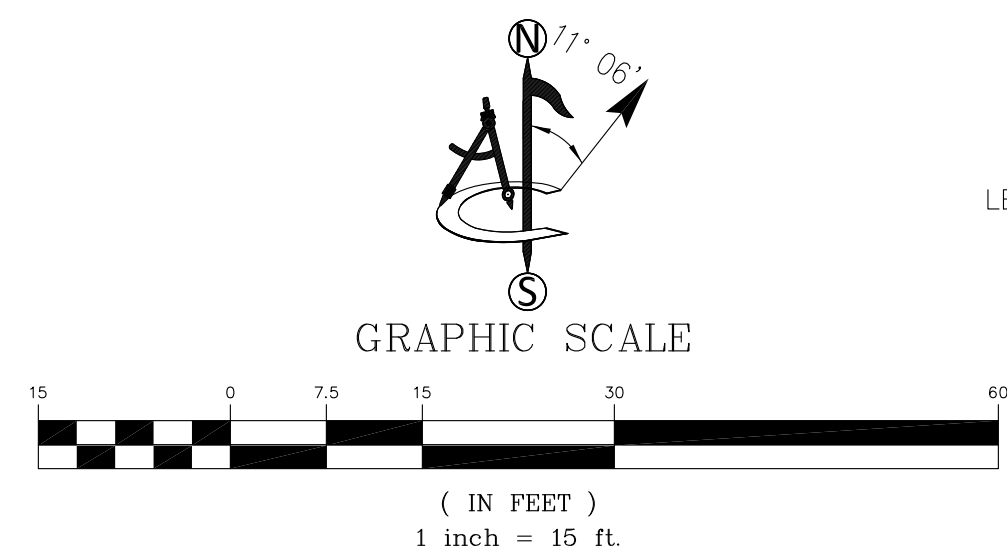
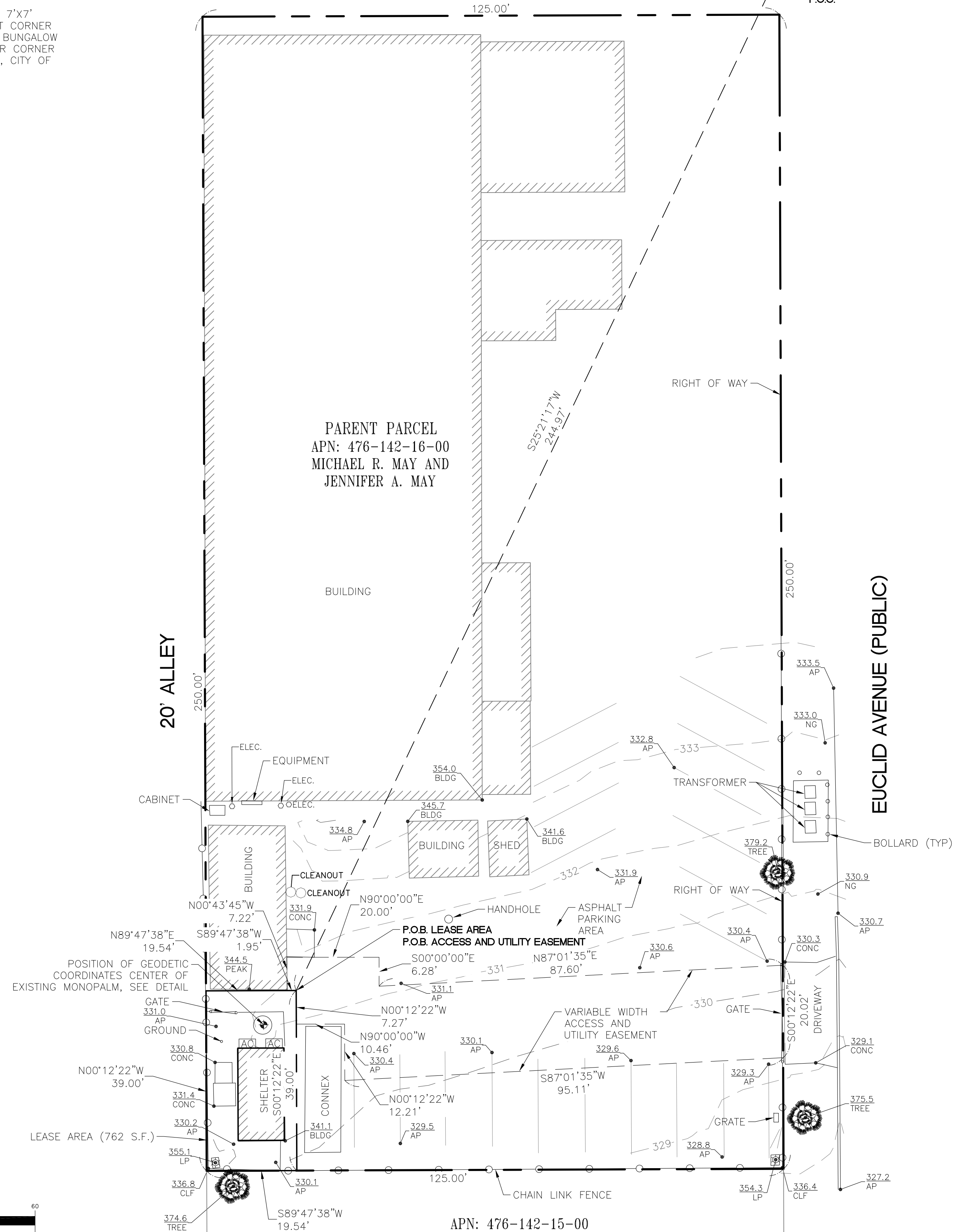
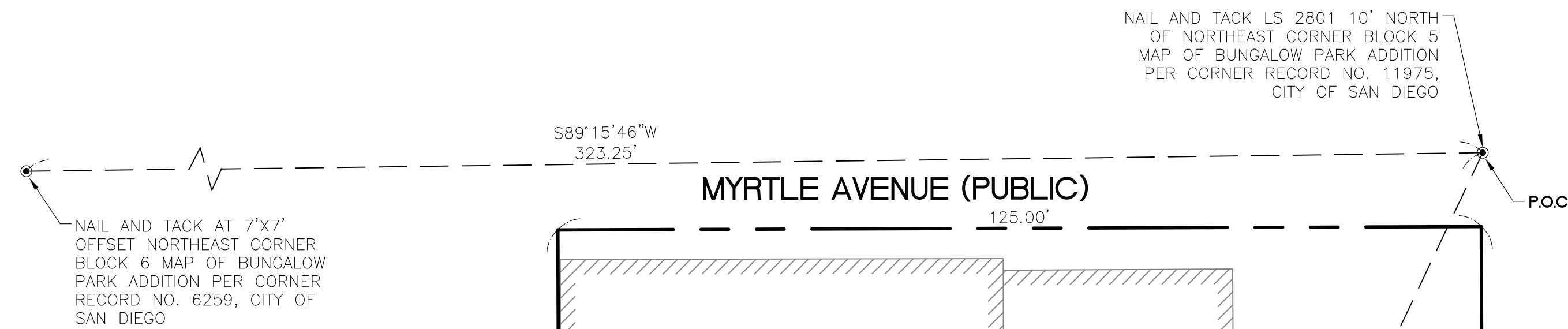
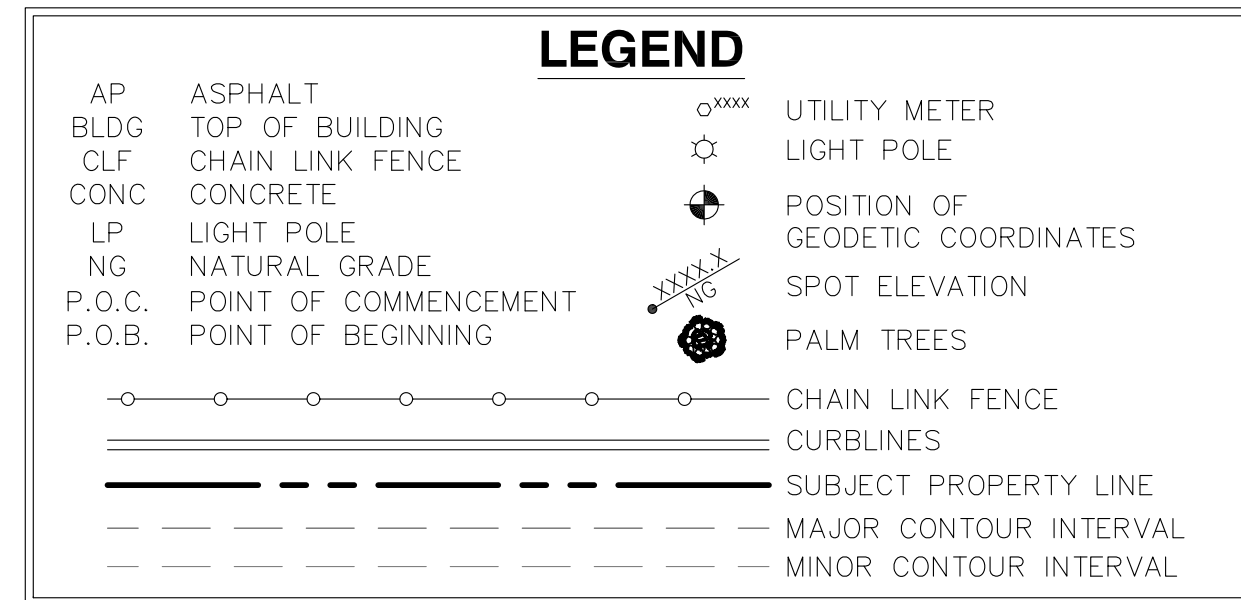
THIS SURVEYOR FURTHER KNOWS TO THE BEST OF HIS KNOWLEDGE THAT THE EASEMENTS OF RECORD AND IDENTIFIED UNDER SCHEDULE B-2 OF SAID TITLE COMMITMENT ENCUMBER THE LANDS DESCRIBED ON THIS SURVEY, BUT, EXCEPT WHERE NOTED HEREON, SAID EASEMENTS WILL NOT INTERFERE WITH THE LOCATION OF THE PROPOSED INSURED LANDS, INCLUDING THE LEASED AREA AND ANY AND ALL ACCESS, UTILITY AND GUY WIRE EASEMENT PARCELS.

I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF CALIFORNIA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

*Patrick B. Donohoe* 02/09/2023  
PATRICK B. DONOHOE, P.L.S. 9332 DATE



POSITION OF GEODETIC COORDINATES  
LATITUDE 32° 44' 29.20" (32.741444°) NORTH (NAD83)  
LONGITUDE 117° 05' 34.01" (117.092781°) WEST (NAD83)  
GROUND ELEVATION @ 331.1' (NAVD88)



NO.	DATE	DESCRIPTION	(C)
A	10/05/22	REVIEW	(C)
0	10/20/22	TITLE AND DESIGN	(C)
1	02/02/23	LEGALS	(CK)
2	02/09/23	FINAL	(PD)

**SITE I.D.:**  
CA-45583A  
**SITE NAME:**  
CITY HEIGHTS  
**SITE ADDRESS:**  
4735 MYRTLE AVENUE  
SAN DIEGO, CA 92105

<b>DRAWN BY:</b>	CK
<b>CHECKED BY:</b>	PD
<b>DATE:</b>	10/05/22
<b>PROJECT #:</b>	TBD

**SHEET TITLE:**  
SITE SURVEY

**SHEET NO.:**  
LS-1



**LESSOR'S LEGAL DESCRIPTION**

SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA:

LOTS 39 THROUGH 48 INCLUSIVE IN BLOCK 5 OF BUNGALOW PARK ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1175, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 19, 1909.

TAX ID: 476-142-16-00

BEING THE SAME PROPERTY CONVEYED TO MICHAEL R. MAY AND DONNA L. MAY, HUSBAND AND WIFE AS JOINT TENANTS, GRANTEE, FROM PAUL R. MAY, SR. AND JENNIFER A. MAY, HUSBAND AND WIFE, GRANTOR, BY GRANT DEED RECORDED 1/29/1996, AS DOCUMENT NO. 1996-0042690, OF THE SAN DIEGO COUNTY RECORDS.

**SCHEDULE "B" NOTE**

REFERENCE IS MADE TO THE TITLE COMMITMENT #01-22044797-01T, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATED 09/15/2022. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

**ITEMIZED NOTES:**

- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I—REQUIREMENTS ARE MET.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- FACTS WHICH WOULD BE DISCLOSED BY A COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- RIGHTS OR CLAIMS OF PARTIES IN POSSESSION.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- MECHANICS', CONTRACTORS' OR MATERIAL MEN'S LIENS AND LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- ANY CHANGES IN TITLE OCCURRING SUBSEQUENT TO THE EFFECTIVE DATE OF THIS COMMITMENT AND PRIOR TO THE DATE OF ISSUANCE OF THE TITLE POLICY.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH MATTERS VIOLATE 42 USC 3604(C).  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- QUANTITY OF ACREAGE/SQUARE FOOTAGE AS SET FORTH IN SCHEDULE A, IF ANY.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- TAXES AND SPECIAL ASSESSMENTS FOR CURRENT TAX YEAR AND ALL SUBSEQUENT YEARS.  
(THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, SET BACK LINES, EASEMENTS AND RIGHTS OF WAYS, IF ANY, SET FORTH ON THE MAP OF BUNGALOW PARK ADDITION, RECORDED AS DOCUMENT 1175, OF THE SAN DIEGO COUNTY RECORDS. (NOTHING TO SHOW)
- DEED OF TRUST TO SECURE AN INDEBTEDNESS OF THE AMOUNT STATED BELOW AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS HEREOF,  
AMOUNT: \$293,250.00  
TRUSTOR: SHAUL COHEN AND MABEL COHEN  
TRUSTEE: CHICAGO TITLE INSURANCE COMPANY  
BENEFICIARY: GEORGIA CONFERENCE ASSOCIATION OF SEVENTH DAY ADVENTISTS  
AMOUNT: 05/09/1988  
RECORDED: 06/24/1988  
DOC# 88-302380  
ASSIGNMENT OF LEASE BY LESSOR FROM GEORGIA CONFERENCE ASSOCIATION OF SEVENTH DAY ADVENTISTS, ASSIGNOR, TO SHAUL COHEN AND MABEL COHEN, ASSIGNEE, RECORDED 06/24/1988, AS DOCUMENT NO. 88-302381, OF THE SAN DIEGO COUNTY RECORDS.  
(BLANKET IN NATURE)
- STATEMENT THAT REDEVELOPMENT PROCEEDINGS HAVE BEEN INSTITUTED, RECORDED 05/22/1992, AS DOCUMENT NO. 1992-0314187, OF THE SAN DIEGO COUNTY RECORDS.  
(BLANKET IN NATURE)
- MEMORANDUM OF PCS SITE AGREEMENT BY AND BETWEEN MICHAEL R. MAY AND JENNIFER A. MAY, AND COX PCS ASSETS, LLC, RECORDED 05/30/2000, AS DOCUMENT NO. 2000-0282312, OF THE SAN DIEGO COUNTY RECORDS.  
(EASEMENT UNDEFINED - NOT SHOWN)
- MEMORANDUM OF LEASE BY AND BETWEEN MICHAEL R. MAY AND JENNIFER A. MAY, LANDLORD, AND AT&T WIRELESS PCS, LLC, D/B/A AT&T WIRELESS, TENANT, RECORDED 12/20/2002, AS DOCUMENT NO. 2002-1168168, OF THE SAN DIEGO COUNTY RECORDS.

NOTE: QUIT CLAIM DEED FROM AT&T WIRELESS PCS, LLC, TO MICHAEL R. MAY AND JENNIFER A. MAY, HUSBAND AND WIFE AS JOINT TENANTS, RECORDED 09/14/2005, AS DOCUMENT NO. 2005-0793975, OF THE SAN DIEGO COUNTY RECORDS.  
(EASEMENT UNDEFINED - NOT SHOWN)

**SCHEDULE "B" NOTE CONTINUED**

- DEED OF TRUST TO SECURE AN INDEBTEDNESS OF THE AMOUNT STATED BELOW AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS HEREOF,  
AMOUNT: \$590,000.00  
TRUSTOR: MICHAEL R. MAY AND JENNIFER A. MAY  
TRUSTEE: PRLAP, INC.  
BENEFICIARY: BANK OF AMERICA, N.A.  
DATE: 09/08/2005  
RECORDED: 09/14/2005  
DOC#: 2005-0793976  
NOTE: SUBORDINATION AGREEMENT - LEASE BY AND BETWEEN DECISIVE TESTING, INC.; MICHAEL R. MAY AND JENNIFER A. MAY; AND, BANK OF AMERICA, N.A., RECORDED 09/14/2005, AS DOCUMENT NO. 2005-0793977, OF THE SAN DIEGO COUNTY RECORDS.  
(BLANKET IN NATURE)
- CITY HEIGHTS REDEVELOPMENT PROJECT AREA STATEMENT, RECORDED 07/16/2007, AS DOCUMENT NO. 2007- 0474324, OF THE SAN DIEGO COUNTY RECORDS.  
(BLANKET IN NATURE)
- UNRECORDED LEASE EVIDENCED BY ASSIGNMENT AND ASSUMPTION OF GROUND LEASE FROM NEXTEL OF CALIFORNIA, INC., ASSIGNOR, TO TOWER ENTITY 7 LLC, ASSIGNEE, RECORDED 03/04/2009, AS DOCUMENT NO. 2009-0106982, OF THE SAN DIEGO COUNTY RECORDS.  
  
NOTE: MEMORANDUM OF ASSIGNMENT FROM SBA 2012 TC ASSETS, LLC, F/K/A TOWERCO ASSETS LLC, ASSIGNOR, TO SBA STEEL II, LLC, ASSIGNEE, RECORDED 06/20/2014, AS DOCUMENT NO. 2014-0640929, OF THE SAN DIEGO COUNTY RECORDS.  
(EASEMENT UNDEFINED - NOT SHOWN. SURVEYOR'S NOTE THAT IT APPEARS TITLE INTENDED FOR MEMORANDUM OF ASSIGNMENT TO BE DOC 2014-0256539, NOT 2014-0640929)
- ABSTRACT OF SUPPORT JUDGMENT FILED BY YOLANDA LINDOR, AGAINST MICHAEL MAY, RECORDED 11/19/2010, AS DOCUMENT NO. 2010-0640929, OF THE SAN DIEGO COUNTY RECORDS.  
(NOTHING TO PLOT)
- RESOLUTION NUMBER R-306567, RECORDED 02/25/2011, AS DOCUMENT NO. 2011-0107258, OF THE SAN DIEGO COUNTY RECORDS.  
(NOT A SURVEY MATTER - NOT SHOWN)
- PLANNED DEVELOPMENT PERMIT NO. 872418 TOWERCO CITY HEIGHTS PROJECT NO. 224500 PLANNING COMMISSION, RECORDED 06/27/2012, AS DOCUMENT NO. 2012-0373667, OF THE SAN DIEGO COUNTY RECORDS.  
(EASEMENT UNDEFINED - NOT SHOWN)
- DEED OF TRUST TO SECURE AN INDEBTEDNESS OF THE AMOUNT STATED BELOW AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS HEREOF,  
NOTE: \$450,000.00  
TRUSTOR: MICHAEL R. MAY AND JENNIFER A. MAY  
TRUSTEE: PRLAP, INC.  
BENEFICIARY: BANK OF AMERICA, N.A.  
DATE: 07/13/2012  
RECORDED: 07/17/2012  
DOC#: 2012-0412248  
(BLANKET IN NATURE)
- MEMORANDUM OF ANTENNA SITE AGREEMENT BY AND BETWEEN SBA STEEL II, LLC, AND VERIZON WIRELESS LLC D/B/A VERIZON WIRELESS, RECORDED 03/30/2015, AS DOCUMENT NO. 2015-0150199, OF THE SAN DIEGO COUNTY RECORDS.  
(EASEMENT UNDEFINED - NOT SHOWN)
- ABSTRACT OF SUPPORT JUDGMENT FILED BY THE COUNTY OF SAN DIEGO, AGAINST MICHAEL RYAN MAY, RECORDED 07/10/2019, AS DOCUMENT NO. 2019-0273115, OF THE SAN DIEGO COUNTY RECORDS.  
(NOTHING TO PLOT)
- CERTIFICATE OF TAX LIEN FIELD BY THE SAN DIEGO COUNTY TREASURER - TAX COLLECTOR, AGAINST MICHAEL MAY, RECORDED 10/26/2021, AS DOCUMENT NO. 2021-0732741, OF THE SAN DIEGO COUNTY RECORDS, IN THE AMOUNT OF \$2,498.18, PLUS COSTS AND INTEREST, IF ANY.  
(NOT A SURVEY MATTER - NOT SHOWN)

**LEASE AREA LEGAL DESCRIPTION**

A PORTION OF THAT CERTAIN PROPERTY CONVEYED TO MICHAEL R. MAY AND DONNA L. MAY, HUSBAND AND WIFE AS JOINT TENANTS, GRANTEE, FROM PAUL R. MAY, SR. AND JENNIFER A. MAY, HUSBAND AND WIFE, GRANTOR, BY GRANT DEED RECORDED 1/29/1996, AS DOCUMENT NO. 1996-0042690, OFFICIAL RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, BEING LOTS 39 THROUGH 48 INCLUSIVE IN BLOCK 5 OF BUNGALOW PARK ADDITION, ACCORDING TO MAP NO. 1175, OFFICIAL RECORDS OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NAIL AND TACK 10 FEET NORTH OF THE NORTHEAST CORNER OF BLOCK 5 OF SAID PLAT MAP, AS SHOWN ON CORNER RECORD RECORDED AS DOCUMENT NO. 11975, OFFICIAL RECORDS OF SAID COUNTY; FROM WHICH A NAIL AND TACK AT A 7 FOOT BY 7 FOOT OFF SET OF THE NORTHEAST CORNER OF BLOCK 6 OF SAID PLAT MAP, AS SHOWN ON CORNER RECORD RECORDED AS DOCUMENT NO. 6259, OFFICIAL RECORDS OF SAID COUNTY BEARS SOUTH 89°15'46" WEST, 323.25 FEET; THENCE FROM SAID POINT OF COMMENCEMENT SOUTH 25°21'17" WEST, 244.97 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°12'22" EAST, 39.00 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF SAID PARCEL; THENCE SOUTH 89°47'38" WEST ALONG SAID SOUTHERLY BOUNDARY, 19.54 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL; THENCE NORTH 00°12'22" WEST ALONG THE WESTERLY BOUNDARY OF SAID PARCEL, 39.00 FEET; THENCE DEPARTING SAID WESTERLY BOUNDARY NORTH 89°47'38" EAST, 19.54 FEET TO THE POINT OF BEGINNING.

CONTAINING 762 SQUARE FEET (0.017 ACRES) OF LAND, MORE OR LESS.

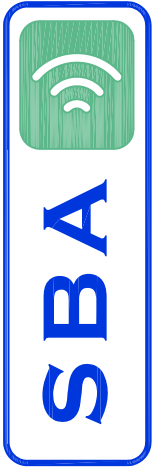
**ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION**

A PORTION OF THAT CERTAIN PROPERTY CONVEYED TO MICHAEL R. MAY AND DONNA L. MAY, HUSBAND AND WIFE AS JOINT TENANTS, GRANTEE, FROM PAUL R. MAY, SR. AND JENNIFER A. MAY, HUSBAND AND WIFE, GRANTOR, BY GRANT DEED RECORDED 1/29/1996, AS DOCUMENT NO. 1996-0042690, OFFICIAL RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, BEING LOTS 39 THROUGH 48 INCLUSIVE IN BLOCK 5 OF BUNGALOW PARK ADDITION, ACCORDING TO MAP NO. 1175, OFFICIAL RECORDS OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

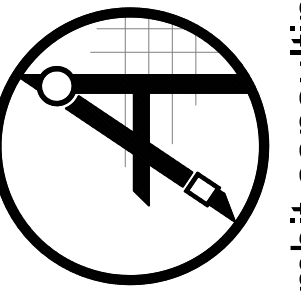
COMMENCING AT A NAIL AND TACK 10 FEET NORTH OF THE NORTHEAST CORNER OF BLOCK 5 OF SAID PLAT MAP, AS SHOWN ON CORNER RECORD RECORDED AS DOCUMENT NO. 11975, OFFICIAL RECORDS OF SAID COUNTY; FROM WHICH A NAIL AND TACK AT A 7 FOOT BY 7 FOOT OFF SET OF THE NORTHEAST CORNER OF BLOCK 6 OF SAID PLAT MAP, AS SHOWN ON CORNER RECORD RECORDED AS DOCUMENT NO. 6259, OFFICIAL RECORDS OF SAID COUNTY BEARS SOUTH 89°15'46" WEST, 323.25 FEET; THENCE FROM SAID POINT OF COMMENCEMENT SOUTH 25°21'17" WEST, 244.97 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 89°47'38" WEST, 1.95 FEET; THENCE NORTH 00°43'45" WEST, 7.22 FEET; THENCE NORTH 90°00'00" EAST, 20.00 FEET; THENCE SOUTH 00°00'00" EAST, 6.28 FEET; THENCE NORTH 87°01'35" EAST, 87.60 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF EUCLID AVENUE; THENCE SOUTH 00°12'22" EAST ALONG SAID RIGHT OF WAY, 20.02 FEET; THENCE DEPARTING SAID RIGHT OF WAY SOUTH 87°01'35" WEST, 95.11 FEET; THENCE NORTH 00°12'22" WEST, 12.21 FEET; THENCE NORTH 90°00'00" WEST, 10.46 FEET; THENCE NORTH 00°12'22" WEST, 7.27 FEET TO THE POINT OF BEGINNING.

CONTAINING 2117 SQUARE FEET (0.049 ACRES) OF LAND, MORE OR LESS.



SBA TOWERS VIII LLC.  
A DELAWARE LIMITED LIABILITY COMPANY  
8051 CONGRESS AVE.  
BOCA RATON, FL 33487



ambit consulting  
428 MAIN STREET SUITE 206  
HUNTINGTON BEACH, CALIFORNIA 92646  
PH: (480) 699-4072

NO.		DATE	DESCRIPTION	REVISIONS
A	10/05/22	REVIEW	(C)	
0	10/20/22	TITLE AND DESIGN	(C)	
1	02/02/23	LEGALS (C)	(CK)	
2	02/09/23	FINAL (C)	(PD)	

**SITE I.D.:**  
**CA-45583A**

**SITE NAME:**  
**CITY HEIGHTS**

**SITE ADDRESS:**  
**4735 MYRTLE AVENUE  
SAN DIEGO, CA 92105**

**DRAWN BY:** CK

**CHECKED BY:** PD

**DATE:** 10/05/22

**PROJECT #:** TBD

**SHEET TITLE:**  
**SITE SURVEY**

**SHEET NO.**  
**LS-2**