



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 2, 2024 REPORT NO. HO-24-025
HEARING DATE: July 10, 2024
SUBJECT: 5150 University Self Storage, Process Three Decision
PROJECT NUMBER: PRJ-0682266
OWNER/APPLICANT: George Hicker

SUMMARY

Issue: Should the Hearing Officer approve a Variance and a Public Service Easement Vacation for a new 141,450-square-foot, two-story self-storage building with a full basement located at 5150 University Avenue in the City Heights neighborhood of the Mid-City Communities Plan?

Proposed Actions:

1. ADOPT Negative Declaration No. PRJ-0682266;
2. APPROVE Variance No. PMT-3262478; and
3. APPROVE Easement Vacation No. PMT-2520357.

Fiscal Considerations: Project processing is paid from a deposit account funded by the applicant.

Community Planning Group Recommendation: On July 11, 2022, the City Heights Area Planning Committee recommended approval of the project by a vote of 8-4, with no conditions (Attachment 8).

Environmental Impact: Negative Declaration No. PRJ-0682266 has been prepared for the project in accordance with the California Environmental Quality Act (CEQA) Guidelines. The Negative Declaration did not identify any significant environmental effects (Attachment 6).

BACKGROUND

The 2.17-acre project site is located at 5150 University Avenue in the CC-5-4 zone. It is designated Mixed Use Commercial by the Mid-City Communities Plan within City Council District 9. The site is

located at the northwest corner of 52nd Street and University Avenue, with 51st Street to the west and northwest and a mixture of businesses and single-dwelling units to the north.

The site was previously developed with buildings owned by the San Diego Rescue Mission, which were demolished in 2021. It is currently vacant. The surrounding area contains a mixture of land uses, with single-dwelling units, multiple-dwelling units, commercial uses along University Avenue, Fay Elementary School to the north, and Colina Del Sol Park to the east and northeast.

Project Description:

The project will construct a new 141,450-square-foot, two-story self-storage building with basement, landscape, hardscape, and a relocated storm drain. The self-storage use is allowed by right in the CC-5-4 zone. The project requests a variance for setback compliance along University Avenue and 51st Street and requires the vacation of existing sewer and storm drain easements, which the project will rededicate as it relocates and reconstructs the storm drain as a part of the project.

Permits Required:

- A Process Three Variance per [SDMC Section 126.0802](#) is required to allow relief from setback requirements along University Avenue (front setback) and 51st Street (street side setback); and
- A Process Two Public Service Easement Vacation per [SDMC Section 125.1030\(b\)](#) is required to vacate existing sewer and storm drain easements.

The two approvals are consolidated for Hearing Officer approval per [SDMC Section 112.0103](#).

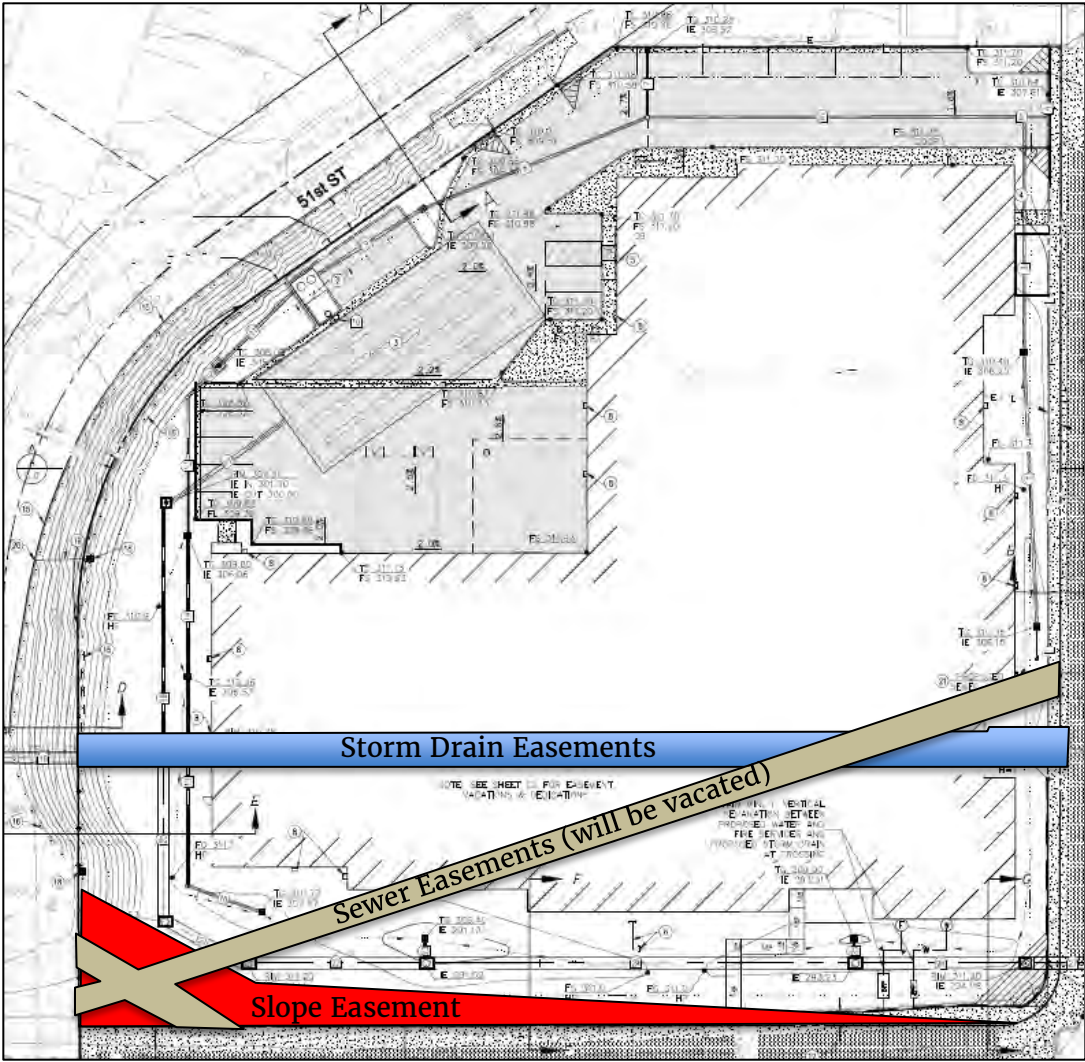
Other than the front setback on University Avenue and street side setback on 51st Street, the project will meet all requirements of the CC-5-4 zone, including (but not limited to): Floor Area Ratio (1.0 where 1.0 is allowed), lot coverage (49.4% where at least 35% is required, rear setback (39 feet six inches where at least 10 feet is required), and requirements for building articulation, transparency, and pedestrian paths. The building will contain approximately 1,120 climate-controlled storage units of various sizes, as well as an 861-square-foot office area. It will also provide 17 parking spaces for employees and tenants, meeting the requirements of the Land Development Code. The front and street side yards, as well as the parking area at the northwest portion of the site, will be extensively landscaped. Architectural relief will be provided via colors and textures, offsetting planes, a horizontal blade, recessed windows, and landscaping boxes.

Variance

The project requests a variance for setback requirements along University Avenue and 51st Street, as outlined below:

Setback	CC-5-4 Zone Requirement	Variance Request	Reason
Front (University Avenue)	10-foot maximum	37 feet, 11 inches	Existing slope easement precludes development within 10 feet of the property line
Street Side (51 st Street)	10-foot maximum	44 feet, 6 inches	Site topography and requirements for storm drain easements preclude development within 10 feet of the property line

The project has been designed to comply with applicable zone regulations where feasible. However, the property has constraints peculiar to the site that have not resulted from any act of the applicant, making a variance appropriate.



1. There is a slope easement on the site, granted to the City on December 24, 1963, as Instrument No. 228423 of Official Records, along the south (front) and southwest (street side) portion of the property for approximately 50% of the length of the property line. This easement restricts the ability to place development a maximum of 10 feet from the southern or southwestern property lines.
2. The elevation difference between the site (average 311-foot elevation) and 51st Street (varies between 310 feet at the project driveway and 294 feet at the dead end of 51st Street). Development of the site requires that a manufactured slope be graded to ensure the stability of the project site. The new slope runs along the 51st Street frontage and would encroach into the project site approximately 10 feet, the entirety of the maximum setback area.
3. An existing 30" reinforced concrete pipe (RCP) public storm drain that traverses the property, tying into the 52nd Street curb inlet on the east side, and into a public curb inlet on 51st Street on the west side. The storm drain facility is located within an easement granted to the City and prohibits development to be located over the easement area.

Due to the location of the storm drain easement, the project must relocate the storm drain outside the location of its proposed structures. The City requires the new storm drain to be upsized to 48 inches to upgrade the public utility infrastructure to current standards per the current City of San Diego Drainage Design Manual. The increase in pipe size requires the establishment of a 20-foot drainage easement, measured 10 feet from the centerline on both sides of the pipeline. The rerouted storm drain facility would be re-aligned to the south, between University Drive and the proposed building, to allow for any future maintenance of the public utility infrastructure. Combining the existing slope easement and the regulatory requirement for the drainage easement creates a 24 to 31-foot area along University Avenue in which no structures can be placed.

Due to the need to have the storm drain follow the site's natural slope to facilitate gravity flow, the pipeline must be realigned as proposed and maintain its connection into the existing inlet on the west side of 51st Street. This requires the pipe to turn at the southwest corner of the site and be brought north approximately 51 feet, where it will tie into an existing catch basin and continue to the west to tie into the inlet on 51st Street. When the required 20-foot easement (in which no structures can be located) is placed on this portion of the site, it creates a minimum setback of approximately 36 feet.

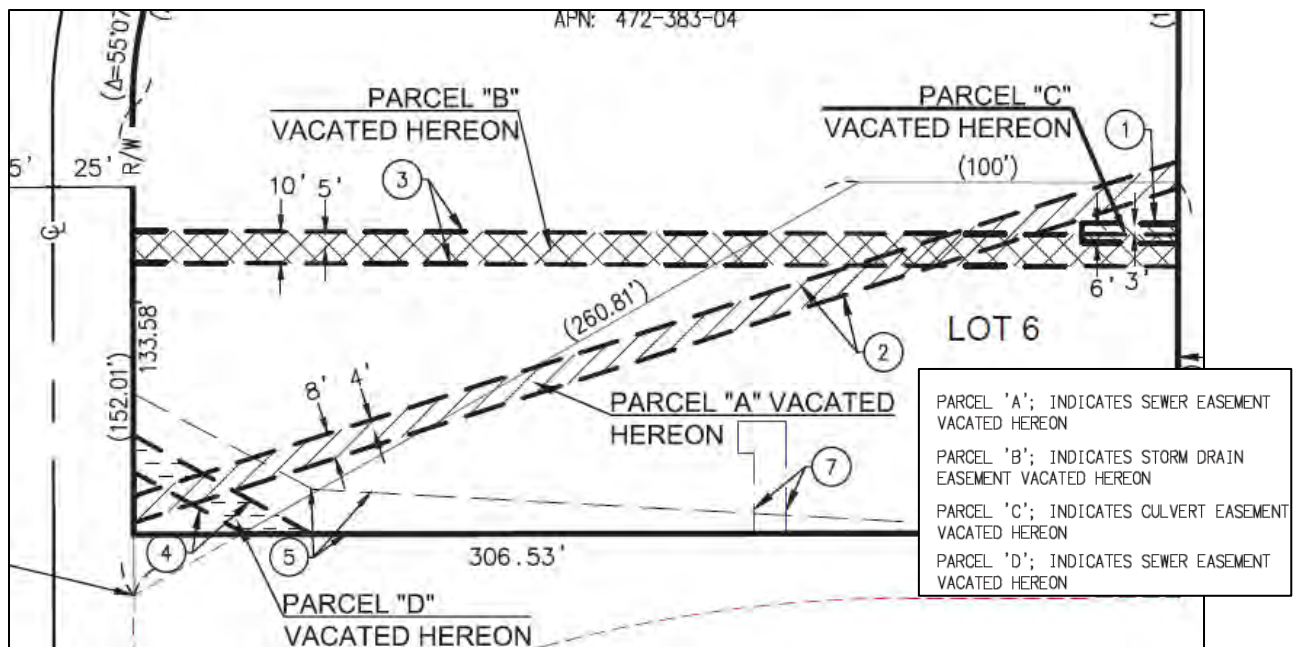
Furthermore, the necessary alignment of the public storm drain system, in turn, constricts the feasible placement options for the necessary private stormwater capture system. The private system must be designed to connect with the public system at fixed locations, cannot be placed underneath any structures, and must be designed to the slope of the site for water flow. Therefore, it is designed to be placed in line with the public system or perpendicular to and in between the public storm drain and the proposed structure. This creates a minimum setback of 40 feet from the street side property line on 51st Street.

The special conditions described above are peculiar to the site, do not generally apply to other

properties or premises in the surrounding neighborhood, and have not resulted from any act of the applicant after the adoption of the applicable regulations.

The project requests a variance because the site constraints outlined above are such that the strict application of the front (e.g., along University Avenue) and street side (e.g., along 51st Street) setback regulations of the land development code would deprive this applicant of the reasonable use of the land or premises because they make observing the front and side yard setbacks of the CC-5-4 zone impossible, precluding development of the premises. The variance from the setback requirements will permit the reasonable use of the land or premises.

Easement Vacations



The project proposes to vacate existing sewer and storm drain easements on the property. The property contains two sewer easements to be vacated. The first easement is approximately 8 feet wide and 340 feet long, and crosses the site diagonally, beginning approximately five feet north of the southwest corner of the site and ending at the eastern property line, approximately 120 feet north of University Avenue. This easement contains abandoned sewer facilities no longer used by the City. The second sewer easement is approximately 10 feet wide and 50 feet long and crosses the extreme southwestern corner of the site from northwest to southeast. This easement contains abandoned sewer facilities no longer used by the City. This easement is no longer required for the purpose for which it was granted.

The storm drain easement is approximately ten feet wide and 300 feet long, crossing the site from east to west approximately 100 feet north of University Avenue, along with an adjacent culvert easement at the eastern property line. The project will relocate and rebuild City storm drains currently located in this easement. Therefore, the project proposes to vacate the existing easement and dedicate a new easement for the relocated storm drain.

Community Plan Analysis

The Mid-City Communities Plan identifies the project within the City Heights community and designates the site for Commercial and Mixed Use allowing up to 29 du/ac. The proposed storage facility is consistent with the commercial designation.

The goal of the Community Plan's Commercial Element is "to provide a full range of commercial goods and services to the Mid-City population." The project meets this goal by providing a mini storage facility close to existing residential uses.

The Mid-City Communities Plan also contains the following recommendations, which the project supports:

Recommendation	How project supports
Page 76: Improve the pedestrian experience with street trees, attractive bus stops, and specially designed directional signage.	The project provides a pedestrian plaza along 52 nd Street, and landscaping along project frontages.
Page 76: Encourage new development to provide plazas and public seating areas at major intersections.	The project provides a pedestrian plaza along 52 nd Street.
Page 89: New building or remodeling projects in the commercial zones should contribute landscaped areas. Major projects should include permanent public seating areas or mini-plazas.	The project provides a pedestrian plaza along 52 nd Street, and landscaping along project frontages.
Page 103: Provide an expanded array of commercial goods and services in neighborhoods that lack them, through appropriate regulatory and promotional activities.	The project provides a use that is generally not found within the neighborhood, offering a service nearby that residents would otherwise have to travel further to reach.
Page 111: Encourage pedestrian activity and the use of public transit through public and private investment in quality streetscape improvements including landscaping, crosswalk paving, lighting, and other pedestrian-oriented enhancements. The City's storefront improvement program should be maintained and expanded.	The project provides a pedestrian plaza along 52 nd Street, and landscaping along project frontages.

Environmental Analysis:

The City of San Diego has conducted an Initial Study and determined that the proposed project will not have a significant environmental effect and the preparation of an Environmental Impact Report will not be required. Negative Declaration No. PRJ-0682266 was prepared and circulated for public review from May 6, 2024, to May 28, 2024. No comments were received.

Conclusion:

Staff has reviewed the project per the requirements of the San Diego Municipal Code, Mid-City Communities Plan, and the City's General Plan, and all issues identified during review have been addressed. Staff recommends that the Hearing Officer approve Variance No. PMT-3262478 and Easement Vacation No. PMT-2520357 and adopt Negative Declaration No. PRJ-0682266 as proposed.

ALTERNATIVES

1. Adopt Negative Declaration No. PRJ-0682266 and approve Variance No. PMT-3262478 and Easement Vacation No. PMT-2520357, with modifications.
2. Not adopt Negative Declaration No. PRJ-0682266 and deny Variance No. PMT-3262478 and Easement Vacation No. PMT-2520357, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Travis Cleveland
Development Project Manager
Development Services Department

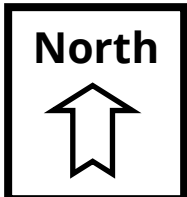
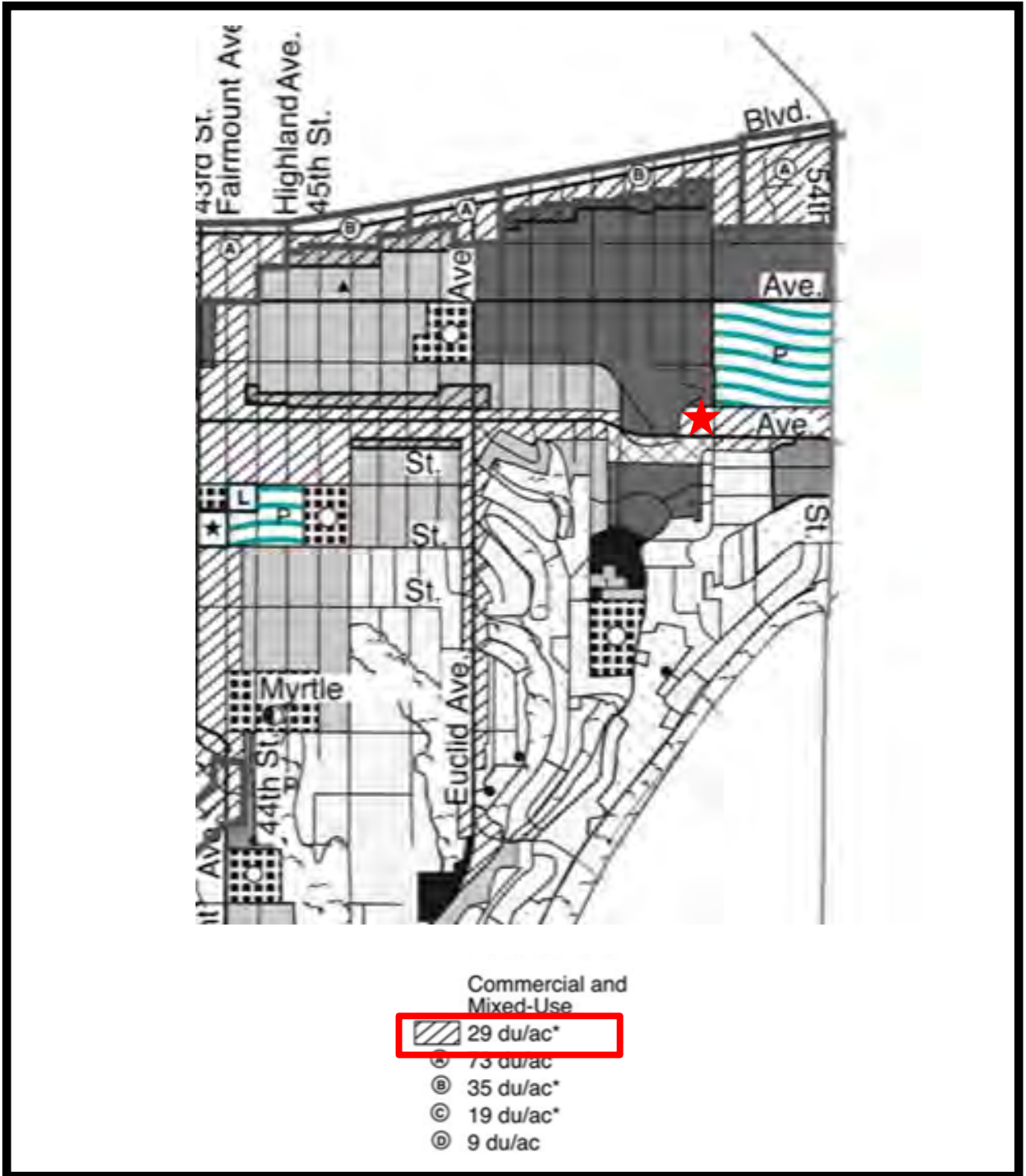
1. Aerial Photograph/Map
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Draft Easement Vacation Resolution and Exhibits
6. Draft Environmental Resolution (ND)
7. Negative Declaration PRJ-0682266
8. Ownership Disclosure Statement
9. Community Planning Group Recommendation
10. Project Plans



Project Location

5150 University Self Storage
Project No. PRJ-0682266





HEARING OFFICER RESOLUTION NO. [REDACTED]
VARIANCE NO. PMT-3262478
5150 UNIVERSITY SELF STORAGE – PROJECT NO. PMT-0682266

WHEREAS, GEORGE HICKER, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a new 141,450-square-foot, two-story self-storage building with a full basement (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3262478), on portions of a 2.17-acre site;

WHEREAS, the project site is located at 5150 University Avenue in the CC-5-4 zone within the Colina Park Neighborhood of the City Heights Community of the Mid-City Communities Plan area;

WHEREAS, the project site is legally described as LOTS 3, 4, 5 AND 6, BLOCK "E" OAK PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF, CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND WHICH LIES SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EASTERLY LINE OF SAID LOT 6, DISTANT THEREOF NORTH 00°00'30" WEST, 40.01 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT 6, SAID POINT ALSO BEING THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY A RADIAL OF WHICH SAID CURVE BEARS NORTH 89°59'30". EAST TO SAID POINT; THENCE SOUTHERLY, SOUTHWESTERLY AND WESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°02'00", A DISTANCE OF 31.43 FEET; THENCE NORTH 89°58'30" WEST, 306.06 FEET TO A TERMINUS IN AN INTERSECTION WITH THE WESTERLY LINE OF SAID LOT 5.;

WHEREAS, on July 10, 2024, the Hearing Officer of the City of San Diego considered Variance No. PMT-3262478 pursuant to the Land Development Code of the City of San Diego, NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Variance No. PMT-3262478:

Variance Findings [SDMC Section 126.0805]

- There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.**

The irregularly shaped 2.17-acre project site is located at 5150 University Avenue in the CC-5-4 zone. It is designated Mixed Use Commercial by the Mid-City Communities Plan and is within City Council District 9. The site is located at the northwest corner of 52nd Street and University Avenue, with 51st Street to the west and northwest and a mixture of businesses and single-dwelling units to the north.

The site was previously developed with buildings owned by the San Diego Rescue Mission, which were demolished in 2021. It is currently vacant. The surrounding area contains a mixture of land uses, with single-dwelling units, multiple-dwelling units, commercial uses along University Avenue, Fay Elementary School to the north, and Colina Del Sol Park to the east and northeast.

The project proposes to develop the vacant site with a new 141,450-square-foot, two-story self-storage building providing approximately 1,120 climate-controlled storage units. The project will also have a full basement, landscape, hardscape, and a relocated storm drain. The self-storage use is permitted by right in the CC-5-4 zone; however, the project requests a variance for setback compliance along University Avenue and 51st Street and requires the vacation of existing, abandoned sewer easements and an existing storm drain easement, which the project will rededicate as it relocates and reconstructs the storm drain as a part of the project.

The project requests a variance for setback requirements along University Avenue and 51st Street, as outlined below:

Setback	CC-5-4 Zone Requirement	Variance Requests	Reason
Front (University Avenue)	10-foot maximum	37 feet, 11 inches	Existing slope easement precludes development within 10 feet of the property line
Street Side (51 st Street)	10-foot maximum	44 feet, 6 inches	Site topography and requirements for storm drain easements preclude development within 10 feet of the property line

The project has been designed to comply with applicable zone regulations where feasible. However, the property has constraints peculiar to the site that have not resulted from any act of the applicant, making a variance appropriate.

1. There is a slope easement on the site, granted to the City on December 24, 1963, as Instrument No. 228423 of Official Records, along the south (front) and southwest (street side) portion of the property for approximately 50% of the length of the property line. This easement restricts the ability to place development a maximum of 10 feet from the southern or southwestern property lines.
2. The elevation difference between the site (average 311-foot elevation) and 51st Street (varies between 310 feet at the project driveway and 294 feet at the dead end of 51st Street). The site's development requires that a manufactured slope be graded to ensure its stability. The new slope runs along the 51st Street frontage and would encroach into the project site approximately 10 feet, the entirety of the maximum setback area.
3. An existing 30" Reinforced Concrete Pipe (RCP) public storm drain that traverses the property, tying into the 52nd Street curb inlet on the east side, and into a public curb inlet on 51st Street on the west side. The storm drain facility is located within an easement granted to the City and prohibits development to be located over the easement area.

Due to the location of the storm drain easement, the project must relocate the storm drain outside the location of its proposed structures. The City requires the new storm drain to be upsized to 48 inches to upgrade the public utility infrastructure to current standards per the current City of San Diego Drainage Design Manual. The increase in pipe size requires the establishment of a 20-foot drainage easement, measured 10 feet from the centerline on both sides of the pipeline. The rerouted storm drain facility would be re-aligned to the south, between University Avenue and the proposed building, to allow for any future maintenance of the public utility infrastructure. Combining the existing slope easement and the regulatory requirement for the drainage easement creates a 24- to 31-foot area along University Avenue in which no structures can be placed.

Due to the need to have the storm drain follow the site's natural slope to facilitate gravity flow, the pipeline must be realigned as proposed and maintain its connection into the existing inlet on the west side of 51st Street. This requires the pipe to turn at the southwest corner of the site and be brought north approximately 51 feet, where it will tie into an existing catch basin and continue to the west to tie into the inlet on 51st Street. When the required 20-foot easement (in which no structures can be located) is placed on this portion of the site, it creates a minimum setback of approximately 36 feet.

Furthermore, the necessary alignment of the public storm drain system, in turn, constricts the feasible placement options for the necessary private stormwater capture system. The private system must be designed to connect with the public system at fixed locations, cannot be placed underneath any structures, and must be designed to the slope of the site for water flow. Therefore, it is designed to be placed in line with the public system or perpendicular to and in between the public storm drain and the

proposed structure. This creates a minimum setback of 40 feet from the street side property line on 51st Street.

The special conditions described above are peculiar to the site and do not generally apply to other properties or premises in the surrounding neighborhood and have not resulted from any act of the applicant after the adoption of the applicable regulations. The variance from the setback requirements will permit the reasonable use of the land or premises. This variance would permit the continued commercial use of the site that would otherwise not be feasible with strict compliance with the setback requirements of the SDMC.

2. The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

Due to the site constraints described in Finding 1, incorporated here by reference, the project requests a variance to the following:

Setback	CC-5-4 Zone Requirement	Variance Request
Front (University Avenue)	10-foot maximum	37 feet, 11 inches
Street Side (51 st Street)	10-foot maximum	44 feet, 6 inches

This variance is requested because the strict application of the CC-5-4 zone setback regulations would deprive the property of reasonable use of the land or premises. Site constraints make it impossible to observe these setbacks because they are maximum setbacks, but unique site constraints prevent development in the setback area, precluding the development of the premises. Any development on this site would need to contend with these constraints and would not be able to meet the maximum 10-foot front and street-side yard setback requirements.

The requested variance from the setback requirements is necessary to allow reasonable use of the land or premises. Given current constraints, structures on site have been located as close to the property line as is feasible.

This variance would permit the continued commercial use of the site that would otherwise not be feasible with strict compliance with the setback requirements of the SDMC.

3. The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

The purpose of the CC zones is to accommodate community-serving commercial services, retail uses, and limited industrial uses of moderate-intensity and small to medium scale.

The project proposes developing the site as a two-story self-storage building with approximately 1,120 climate-controlled units. This is a permitted use in the CC-5-4 zone and

is consistent with the land use designation identified in the Mid-City Communities Plan as shown in Finding 4 below, incorporated here by reference.

The existing topography and the previously discussed public easements severely constrain the site's development. The site would remain vacant if a variance is not granted. Therefore, a variance facilitates the purpose and intent of the CC-5-4 zone; a relaxation of the setback requirements in constrained areas allows the site to be developed. Other than the front setback on University Avenue and street side setback on 51st Street, the project will meet all requirements of the zone, including (but not limited to): Floor Area Ratio (1.0 where 1.0 is allowed), lot coverage (49.4% where at least 35% is required, rear setback (39 feet six inches where at least 10 feet is required), and requirements for building articulation, transparency, and pedestrian paths.

The permit controlling this site's development and continued use contains specific regulatory conditions of approval. These conditions require upgrading the existing public improvements throughout the project site to current City standards, including easement dedications, construction of curb, gutter, and sidewalk, right-of-way dedications, and planting of street trees. Public and private water, fire, and sewer services will also be upgraded to current City standards.

These conditions, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large. Construction of the project authorized through this Variance and subsequent permits will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors.

Furthermore, the City has conducted an Initial Study and determined that the proposed project will not have a significant environmental effect and the preparation of an Environmental Impact Report will not be required. Negative Declaration No. PRJ-0682266 was prepared and circulated for public review from May 6, 2024, to May 27, 2024. No comments were received.

The granting of the variance will be in harmony with the general purpose and intent of the regulations, and will not be detrimental to the public health, safety, or welfare, and will not result in adverse impacts to the neighborhood.

4. The granting of the variance will not adversely affect the applicable land use plan.

The Mid-City Communities Plan identifies the project within the City Heights community and designates the site for Commercial and Mixed Use allowing up to 29 du/ac. The proposed storage facility is consistent with this designation.

The Mid-City Communities Plan contains the following goals and recommendations, which the project supports:

Page 76: Improve the pedestrian experience with street trees, attractive bus stops, and specially designed directional signage.

The project provides a pedestrian plaza along 52nd Street, and extensive landscaping along project frontages.

Page 76: Encourage new development to provide plazas and public seating areas at major intersections.

The project provides a pedestrian plaza along 52nd Street.

Page 89: New building or remodeling projects in the commercial zones should contribute landscaped areas. Major projects should include permanent public seating areas or mini plazas.

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The project provides a use that is generally not found within the neighborhood, offering a service nearby that residents would otherwise have to travel further to reach.

Page 111: Encourage pedestrian activity and the use of public transit through public and private investment in quality streetscape improvements including landscaping, crosswalk paving, lighting and other pedestrian-oriented enhancements. The City's storefront improvement program should be maintained and expanded.

The project provides a pedestrian plaza along 52nd Street, and landscaping along project frontages.

Therefore, the granting of the variance will not adversely affect the applicable land use plan.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Variance No. PMT-3262478 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3262478, a copy of which is attached hereto and made a part hereof.

Travis Cleveland
Development Project Manager
Development Services

Adopted on: July 10, 2024

IO#: 24008812

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008812

SPACE ABOVE THIS LINE FOR RECORDER'S USE

VARIANCE NO. PMT-3262478
5150 UNIVERSITY AVENUE - PROJECT NO. PRJ-0682266
HEARING OFFICER

This Variance No. PMT-3262478 is granted by the Hearing Officer of the City of San Diego to GEORGE HICKER, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0805. The 2.17-acre project site is located at 5150 University Avenue in the CC-5-4 zone within the Mid-City Communities Plan. The project site is legally described as: LOTS 3, 4, 5 AND 6, BLOCK "E" OAK PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF, CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND WHICH LIES SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EASTERLY LINE OF SAID LOT 6, DISTANT THEREOF NORTH 00°00'30" WEST, 40.01 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT 6, SAID POINT ALSO BEING THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY A RADIAL OF WHICH SAID CURVE BEARS NORTH 89°59'30". EAST TO SAID POINT; THENCE SOUTHERLY, SOUTHWESTERLY AND WESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°02'00", A DISTANCE OF 31.43 FEET; THENCE NORTH 89°58'30" WEST, 306.06 FEET TO A TERMINUS IN AN INTERSECTION WITH THE WESTERLY LINE OF SAID LOT 5

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new 141,450-square-foot, two-story self-storage building with basement, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 10, 2024, on file in the Development Services Department.

The project shall include:

- a. A new 141,450-square-foot, two-story self-storage building with a full basement;
- b. A variance to allow an approximately 37-foot, 11-inch front setback on University Avenue where a maximum setback of ten feet is otherwise allowed by the CC-5-4 zone, and a variance to allow an approximately 44-foot, 6-inch street side setback on 51st Street where a maximum setback of ten feet is otherwise allowed by the CC-5-4 zone;

- c. Landscaping (planting, irrigation, and landscape related improvements);
- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 24, 2027.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations, or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the proposed wall, the storm drain connection, landscape, and irrigation located within the City's right-of-way, satisfactory to the City Engineer.

12. Prior to removal of the existing storm drain and vacation of the drainage easement, the new storm drain and easement dedication shall be required, per the Exhibit A, satisfactory to the City Engineer.
13. Prior to the issuance of any building permit, the Owner/Permittee shall vacate the existing storm drain easement, per Exhibit "A", satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate the proposed storm drain easement, per Exhibit "A", satisfactory to the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new 25-foot-wide City Standard driveway adjacent to the site on 51st Street, per Exhibit "A", satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of non-utilized driveways, with City Standards curb and gutter, and sidewalk, adjacent to the site on 52nd Street per the Exhibit "A", satisfactory to the City Engineer.
17. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new City Standard driveway, adjacent to the site on 52nd Street, per the Exhibit "A", satisfactory to the City Engineer.
18. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of new 48 inches reinforced concrete pipe (RCP) storm drain, between 51st Street and 52nd Street, adjacent to the site, per the Exhibit "A", satisfactory to the City Engineer.
19. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
20. Prior to the issuance of any Grading permit, a Drainage Study shall be prepared to assess 50 and 100-year pre-development and post-development peak flows from the project site, including assessment of upstream offsite flows draining to the project, storm drain routing of offsite flows through the site, and storm drain routing of combined onsite and offsite peak flows to the receiving storm drain system in the public ROW downstream of the project site (including assessment of the hydraulic grade lines at the connection to the receiving storm drain system downstream of the project site in the public ROW accounting for the full contributing watershed draining to the public storm drain system), to the satisfaction of the City Engineer.
- 6
21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
24. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report (Stormwater Quality Management Plan) that will be subject to final review and approval by the City Engineer, based on the City's Stormwater Standards Manual in effect at the time of the construction permit issuance.
25. Development of this project shall comply with all stormwater construction requirements of the State Construction General Permit Order No. 2022-0057-DWQ. In accordance with Order No. 2022-0057-DWQ or subsequent order, a Risk Level Determination shall be calculated for the site and a Stormwater Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
26. Development of this project shall comply with all permanent stormwater requirements of Municipal Stormwater Permit No. 2013-0001, or subsequent order, and the current version of the City of San Diego's Stormwater Standards Manual.
27. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2022-0057 -DWQ and a copy shall be submitted to the City.

ENVIRONMENTAL REQUIREMENTS:

28. Prior to the issuance of any building permit, a concurrence letter from the local office of the Regional Water Quality Control Board shall be provided for the project.
29. The project is subject to SDMC Section 142.0151 and paleontological monitoring shall be required as outlined therein.

LANDSCAPE REQUIREMENTS:

30. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
31. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-

foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water, and sewer laterals shall be designed so as not to prohibit the placement of street trees.

32. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC §142.0403(b)6.

33. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

34. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

ENVIRONMENTAL SERVICES REQUIREMENTS/WASTE MANAGEMENT PLAN:

36. The Owner/Permittee shall comply with the Waste Management Plan dated Oct. 26, 2023, and shall be enforced and implemented to the satisfaction of the Environmental Services Department.

PLANNING/DESIGN REQUIREMENTS:

37. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

39. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

40. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional 0-6.5 feet on University Avenue to provide a 22 to 24-foot parkway (16 to 18-foot landscaping with 6-foot non-contiguous sidewalk), satisfactory to the City Engineer.

41. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional 4 feet on 52nd Street to provide a 14-foot parkway (8-foot landscaping with 6-foot non-contiguous sidewalk), satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

43. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

44. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

45. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

46. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private sewer lateral encroaching into the public right-of-way.

47. Prior to the issuance of any building construction permits, the Owner/Permittee is required to vacate the public sewer easements as shown on the approved Exhibit "A," in a manner satisfactory to the Public Utilities Department and City Engineer.

GEOLOGY REQUIREMENTS:

48. Prior to the issuance of any construction permits (either grading or building), the Owner/ Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

49. The Owner/ Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 10, 2024, and [Approved Resolution Number].

Variance No. PMT-3262478
Date of Approval: July 10, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Travis Cleveland
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

George Hicker
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. _____
EASEMENT VACATION NO. PMT-2520357
A RESOLUTION VACATING SEWER AND STORM DRAIN EASEMENTS AT
5150 UNIVERSITY AVENUE, PROJECT NO. PRJ-0682266

WHEREAS, San Diego Municipal Code section 125.1010(a) provides a procedure for the vacation of public easements by City staff designated by the City Manager; and

WHEREAS, GEORGE HICKER filed an application to vacate public service easements located at 5150 University Avenue (Easement Vacation No. PMT-2520357); and

WHEREAS, it is proposed that sewer and storm drain easements located at 5150 University Avenue (Easement Vacation No. PMT-2520357) be vacated; NOW, THEREFORE,

BE IT RESOLVED, by the Hearing Officer, that with respect to public service easements located at 5150 University Avenue (Easement Vacation No. PMT-2520357), the Hearing Officer adopts the following findings:

Easement Vacation Findings [SDMC Section 125.1040]

- 1. There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.**

The project proposes to vacate existing sewer and storm drain easements at a 2.17-acre site located at 5150 University Avenue and legally described as shown in Exhibit "A" to this resolution. The property contains two sewer easements to be vacated. The first easement is approximately 8 feet wide and 340 feet long, and crosses the site diagonally, beginning approximately five feet north of the southwest corner of the site and ending at the eastern property line, approximately 120 feet north of University Avenue. This easement contains abandoned sewer facilities no longer used by the City. The second sewer easement is approximately 10 feet wide and 50 feet long and crosses the extreme southwestern corner of the site from northwest to southeast. This easement contains abandoned sewer facilities no longer used by the City. These sewer easements are no longer required for the purpose for which they were granted and no other public use of a like nature can be anticipated for these easements.

The storm drain easement is approximately ten feet wide and 300 feet long, crossing the site from east to west approximately 100 feet north of University Avenue, along with an adjacent culvert easement at the eastern property line.

While the storm drain easement is presently in use, in order to develop the project site, the applicant proposes to relocate and rebuild City storm drains currently located in this easement with easements vacated and rededicated during project site development to accommodate existing stormwater flow and the anticipated drainage from the project site itself. The relocation and rebuilding of the storm drains and rededication of easements are conditions in the accompanying permit. Therefore, the project proposes to vacate the existing easement and dedicate a new easement for the relocated storm drain as further described in the accompanying Variance Resolution and findings incorporated here by reference.

Therefore, there is no prospective public use for the storm drain easement at its specific current location, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

2. The public will benefit from the action through improved utilization of the land made available by the vacation.

The project site is currently vacant and constrained by easements. The property owner proposes to develop the vacant site with a new 141,450-square-foot, two-story self-storage building with a full basement, along with landscape, hardscape, and a relocated storm drain (Variance No. PMT-3262478). By vacating unnecessary, abandoned sewer easements and vacating an existing stormwater easement and rededicating a new stormwater easement for drainage facilities, the public will benefit from the action through improved utilization of the land made available by the vacation in the form of increased property taxes on new improvements, as well as the ability to use the goods and/or services provided by the business that will occupy the newly developed land.

3. The vacation is consistent with any applicable land use plan.

Sewer and storm drain facilities at 5150 University Avenue are not addressed by the Mid-City Communities Plan, which designates the site for Mixed Use Commercial. By removing constraints on the physical development of the project site, the vacation facilitates development of the site in support of this land use designation, as further described by Finding 4 of the resolution of approval for Variance No. PMT-3262478.

4. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

As mentioned in finding 1. above, incorporated here by reference, the sewer easements proposed for vacation contain facilities that have been abandoned and/or are no longer required for the purpose for which they were originally acquired. Storm drain facilities on the site will be relocated, with easements vacated and rededicated during project site

development, and will no longer be required for the purpose for which they were originally acquired. Therefore, the public facility or purpose for which the easements were originally acquired will not be detrimentally affected by the vacation or the purpose for which the easements were acquired no longer exists.

BE IT FURTHER RESOLVED, that the sewer and storm drain easements located at 5150 University Avenue (Easement Vacation No. PMT-2520357) as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. B-42300, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, are ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a quitclaim deed with an attached copy of this resolution and any exhibits, in the Office of the County Recorder releasing to the property owner, all rights title and interest in said easement.

Travis Cleveland
Development Project Manager
Development Services

Adopted on: July 10, 2024

IO No.: 24008812

EXHIBIT "A"

LEGAL DESCRIPTION SEWER, STORM DRAIN, DRAIN PIPE/CULVERT EASEMENTS VACATION

PARCEL "A"

ALL OF THAT SEWER EASEMENT GRANTED TO THE CITY OF SAN DIEGO AS DESCRIBED IN DEED BOOK NO. 1112, PAGE 360, RECORDED JANUARY 13, 1941 LYING WITHIN LOTS 5 AND 6, IN_BLOCK E OF OAK PARK SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922 OF OFFICIAL RECORDS.

CONTAINING AN AREA OF 0.063 ACRES (2,744 SQUARE FEET), MORE OR LESS

PARCEL "B"

ALL OF THAT STORM DRAIN EASEMENT GRANTED TO THE CITY OF SAN DIEGO AS DESCRIBED IN DEED INSTRUMENT NO. 111603, RECORDED JUNE 29, 1961 LYING WITHIN LOTS 5 AND 6, IN_BLOCK E OF OAK PARK SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922 OF OFFICIAL RECORDS.

CONTAINING AN AREA OF 0.075 ACRES (3,270 SQUARE FEET), MORE OR LESS

PARCEL "C"

ALL OF THAT DRAIN PIPE OR CULVERT EASEMENT GRANTED TO THE CITY OF SAN DIEGO AS DESCRIBED IN DEED BOOK NO. 1658, PAGE 217, RECORDED JULY 11, 1929 LYING WITHIN LOT 6, IN_BLOCK E OF OAK PARK SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922 OF OFFICIAL RECORDS.

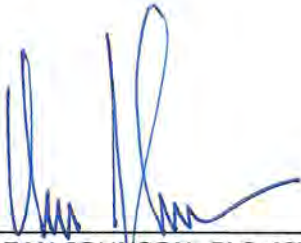
CONTAINING AN AREA OF 0.004 ACRES (180 SQUARE FEET), MORE OR LESS

PARCEL "D"

ALL OF THAT SEWER EASEMENT GRANTED TO THE CITY OF SAN DIEGO AS DESCRIBED IN INSTRUMENT NO. 228421, RECORDED DECEMBER 24, 1963 LYING WITHIN LOTS 5 AND 6, IN BLOCK E OF OAK PARK SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922 OF OFFICIAL RECORDS.

CONTAINING AN AREA OF 0.012 ACRES (520 SQUARE FEET), MORE OR LESS

ATTACHED HERETO IS DRAWING NO. 42300-B LABELED EXHIBIT "B" AND BY THIS REFERENCE MADE A PART HEREOF.

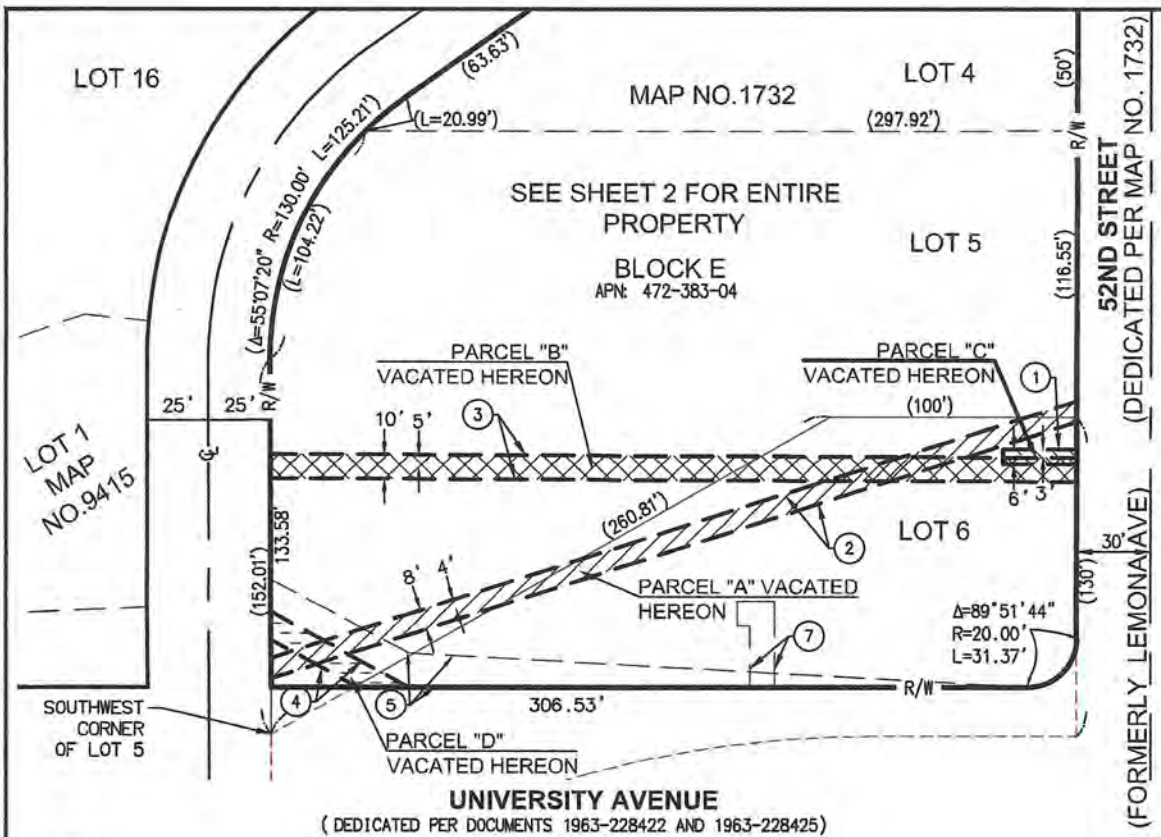


DEAN JOHNSON, PLS 4878

DWG. NO. 42300-B
P.T.S. NO. 682266

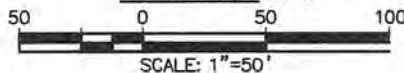
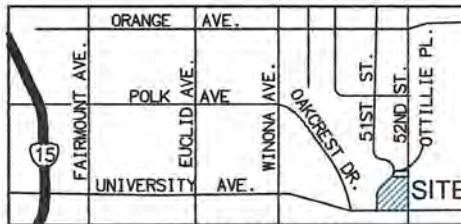


EXHIBIT "B"



LEGEND

- PARCEL 'A'; INDICATES SEWER EASEMENT VACATED HEREON
- PARCEL 'B'; INDICATES STORM DRAIN EASEMENT VACATED HEREON
- PARCEL 'C'; INDICATES CULVERT EASEMENT VACATED HEREON
- PARCEL 'D'; INDICATES SEWER EASEMENT VACATED HEREON
- () INDICATES RECORD DATA PER MAP 1732



REFERENCE DRAWINGS
SUBDIVISION MAP 1732, 9415; R.O.S. 19654

NOTES
SEE SHEET 3 FOR EASEMENT KEY NOTE DEFINITIONS

NOVA ENGINEERING
4373 VIENRIDGE AVE., SUITE A
SAN DIEGO, CALIFORNIA 92123
(619) 296-1010

DEAN JOHNSON PLS 4878 DATE
REGISTRATION EXPIRES: 09/30/2024



RESOLUTION NO.: _____
DOCUMENT NO.: _____
RECORDED: _____
DOCUMENT NO.: _____

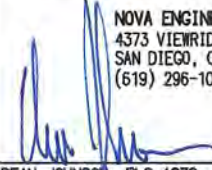

STORM DRAIN, DRAIN PIPE/CULVERT AND SEWER EASEMENT VACATIONS
WITHIN LOTS 5 & 6, BLOCK E, MAP 1732

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA	PTS NO. 682266
ORIGINAL	NOVA ENGINEERING				SHEET 1 OF 3 SHEETS	I.O. NO. N/A
						1640-6303 CCS83
					DATE	212-1743 LAMBERT COORDINATES
					STATUS	42300-1-B

EXHIBIT "B"

PLOTTABLE EASEMENTS

- ① AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT
 GRANTED TO: CITY OF SAN DIEGO
 PURPOSE: PUBLIC DRAIN PIPE OR CULVERT
 RECORDED: JULY 11, 1929 IN BOOK 1658, OF DEEDS, PAGE 217
 AFFECTS: LOT 6, MAP NO. 1732; VACATED HEREON.
- ② AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT
 GRANTED TO: CITY OF SAN DIEGO
 PURPOSE: PUBLIC SEWER
 RECORDED: JANUARY 13, 1941 IN BOOK 1112, PAGE 360 OF OFFICIAL RECORDS
 AFFECTS: LOT 5 & 6, MAP NO. 1732; VACATED HEREON.
- ③ AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT
 GRANTED TO: CITY OF SAN DIEGO
 PURPOSE: STORM DRAIN OR DRAINS
 RECORDED: JUNE 29, 1961 AS INSTRUMENT NO. 111603 OF OFFICIAL RECORDS
 AFFECTS: LOT 5 & 6, MAP NO. 1732; VACATED HEREON.
- ④ AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT
 GRANTED TO: CITY OF SAN DIEGO
 PURPOSE: A PUBLIC SEWER OR SEWERS
 RECORDED: DECEMBER 24, 1963 AS INSTRUMENT NO. 228421 OF OFFICIAL RECORDS
 AFFECTS: LOT 5, MAP NO. 1732; VACATED HEREON.
- ⑤ AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT
 GRANTED TO: CITY OF SAN DIEGO
 PURPOSE: A RIGHT OF WAY FOR AN EARTH EXCAVATION OR EMBANKMENT, SLOPE OR SLOPES
 RECORDED: DECEMBER 24, 1963 AS INSTRUMENT NO. 228423 OF OFFICIAL RECORDS
 AFFECTS: LOT 5 & 6, MAP NO. 1732; TO REMAIN.
- ⑦ AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT
 GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
 RECORDED: MAY 3, 1977 AS INSTRUMENT NO. 1977-0166849 OF OFFICIAL RECORDS
 AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN.

<p>NOVA ENGINEERING 4373 VIEWRIDGE AVE, SUITE A SAN DIEGO, CALIFORNIA 92123 (619) 296-1010</p>  <p>DEAN JOHNSON PLS 4878 DATE REGISTRATION EXPIRES: 09/30/2024</p>		RESOLUTION NO.: _____ DOCUMENT NO.: _____ RECORDED: _____ DOCUMENT NO.: _____
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STORM DRAIN, DRAIN PIPE/CULVERT AND SEWER EASEMENT VACATIONS
 WITHIN LOTS 5 & 6, BLOCK E, MAP 1732

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA	PTS NO. 682266
ORIGINAL	NOVA ENGINEERING				SHEET 3 OF 3 SHEETS	I.O. NO. N/A
					DATE	1640-6303 CCS83
						212-1743 LAMBERT COORDINATES
STATUS						42300-3-B

RESOLUTION NUMBER R- _____

ADOPTED ON _____

**A RESOLUTION OF THE HEARING OFFICER OF THE CITY
OF SAN DIEGO ADOPTING NEGATIVE DECLARATION
NO. PRJ-682266/SCH NO. 2024050216**

WHEREAS, on March 5, 2021, George Hicker submitted an application to the Development Services Department for a Variance and Public Service Easement Vacation for a new 141,450 square-foot, two-story self-storage building with a full basement located at 5150 University Avenue (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on July 10, 2024; and

WHEREAS, the Hearing Officer considered the issues discussed in Negative Declaration No. PRJ-682266/ SCH No. 2024050216 (Declaration) prepared for the Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

ATTACHMENT 6

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101

BE IT FURTHER RESOLVED, that Development Services Department staff or the City Clerk, or designee, is directed to file a Notice of Determination in accordance with CEQA with the Clerk of the Board of Supervisors for the County of San Diego and the State Clearinghouse in the Office of Planning and Research regarding the project.

By: _____
Travis Cleveland
Development Project Manager

DRAFT



THE CITY OF SAN DIEGO

NEGATIVE DECLARATION

Project No. 682266
SCH No. 2024050216

SUBJECT: **STORAGE VARIANCE/EV 5150 UNIVERSITY AVENUE:** The project proposes a Variance and Public Service Easement Vacation for a new 140,935 square-foot (sf), two-story self-storage building with basement along with the vacation of a sewer easement, on a vacant 2.17-acre site. The project is addressed at 5150 University Avenue in the CC-5-4 zone within the Mid-City: City Heights Community Plan area, Redevelopment District, Very High Fire Hazard Severity Zones, Transit Area Overlay Zone, Residential Tandem Parking Overlay Zone, Parking Standards Transit Priority Area, and the Transit Priority Area. (LEGAL DESCRIPTION: APN 472-383-04.)
APPLICANT: Sally Schifman.

I. PROJECT DESCRIPTION:

See attached Initial Study.

II. ENVIRONMENTAL SETTING:

See attached Initial Study.

III. DETERMINATION:

The City of San Diego has conducted an Initial Study and determined that the proposed project will not have a significant environmental effect and the preparation of an Environmental Impact Report will not be required.

IV. DOCUMENTATION:

The attached Initial Study documents the reasons to support the above Determination.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

NONE REQUIRED

VI. PUBLIC REVIEW DISTRIBUTION:

Draft copies or notice of this Negative Declaration were distributed to:

State of California

State Clearinghouse (46)

State Water Resources Control Board (55)

City of San Diego

Mayor's Office

Councilmember Sean Elo-Rivera-District 9

City Attorney's Office

San Diego Central Library (81A)

City Heights/Weingart Branch Library (81G)

Development Services

Development Project Manager

Senior Environmental Planner

Associate Planner, Environmental

Associate Planner, Planning Review

Associate Engineer, Engineering Review

Associate Planner, Landscape

Associate Engineer, Transportation

Senior Engineer, Geology

Assistant Engineer, Water and Sewer

Fire Plan Review

Environmental Services Department

Senior Planner

Planning Department

Program Manager, Facilities Financing

Senior Planner Long Range Planning

Other

City Heights Area Planning Committee (287)

City Heights Business Improvement Association (286)

Theresa Quiroz

Fox Canyon Neighborhood Association Inc.

Fairmount Park Neighborhood Association

John Stump

Richard Drury, Lozeau Drury LLP

Molly Greene, Lozeau Drury LLP

VII. RESULTS OF PUBLIC REVIEW: (CHECK BOX)

No comments were received during the public input period.

Comments were received but did not address the accuracy or completeness of the draft environmental document. No response is necessary and the letters are incorporated herein.

Comments addressing the accuracy or completeness of the draft environmental document were received during the public input period. The letters and responses are incorporated herein.

Copies of the Negative Declaration and associated project-specific technical appendices, if any, may be accessed on the City's CEQA webpage at <https://www.sandiego.gov/ceqa/final>.

Courtney Holowach
Courtney Holowach
Senior Planner
Development Services Department

5/6/24
Date of Draft Report

5/29/24
Date of Final Report

Analyst: Rhonda Benally

Attachments: Initial Study Checklist
Figure 1: Location Map
Figure 2: Site Plan

INITIAL STUDY CHECKLIST

1. Project title/Project number: Storage Variance/EV 5150 University Avenue / PRJ-0682266
2. Lead agency name and address: City of San Diego, 1222 First Avenue, MS-501, San Diego, California 92101
3. Contact person and phone number: Rhonda Benally / (619) 446-5468
4. Project location: 5150 University Avenue, San Diego, CA 92105
5. Project Applicant/Sponsor's name and address: Sally Schifman, 2888 Loker Avenue East, Suite 217, Carlsbad, CA 92010
6. General/Community Plan designation: The General Plan designates the site as Multiple Use. Mid-City Communities Plan: City Heights designates the site as Commercial and Mixed-Use (29 du/ac).
7. Zoning: CC-5-4 (Commercial-Community) zone
8. Description of project (Describe the whole action involved, including but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation.):

The project proposes a Variance and Public Service Easement Vacation for a new 140,935 square-foot (SF), two-story self-storage building over the basement, along with the vacation of sewer easement, at 5150 University Avenue, San Diego, California. A 6-foot high concrete masonry wall would be provided around the trash enclosure. A 4-foot wide path of travel from the building to the public right of way. The project proposes a setback variance from CC-5-4 zone requirements on two sides of the property. The project proposes improvements to associated pavement, landscaping, and utilities.

The project proposes the removal of the existing storm drain and the vacation of the drainage easement. The project proposes the construction of a new 25-foot wide driveway adjacent to 51 Street and a new driveway adjacent to the site on 52nd Street. Construction of a non-contiguous sidewalk adjacent to 52nd Street and a non-contiguous sidewalk adjacent to the site on University Avenue. The project proposes to construct 48-inch reinforced concrete pipe (RCP) storm drain between 51st and 52nd Street, adjacent to the site.

The proposed floor area ratio (FAR) above ground is .99 and the allowable FAR is 1 in the CC-5-4 Zone. The highest point of the building would be approximately 29 feet and 4 inches in height, where the maximum permitted height limit above grade in this zone is 75 feet.

Project implementation would involve the grading of approximately 29,200 cubic yards (cy) of cut at a maximum depth of 15 feet, 105 cy of fill at a maximum height of 1 foot, and the export of 29,095 cy. An approximately 78-foot long retaining long at a maximum height of 3.3 feet would be located along the south and east side of the building.

Construction of the building would consist of wood frame construction, vertical metal

siding, horizontal metal panel, aluminum composite panel over steel structure, storefront glazing, wall-mounted light fixture, automatic entrance door system, and steel framed canopy, and standing seam metal roof.

The minimum parking spaces required is 17 spaces, and a total of 17 parking spaces would be provided (including 16 standard, 1 accessible space) and two motorcycle parking spaces. The project would provide a total of 15 short-term bicycle parking spaces and 1 long-term bicycle parking space. The project would provide one electrical vehicle parking space.

9. Surrounding land uses and setting:

The 2.17-acre parcel is located at 5150 University Avenue, San Diego, California in the CC-5-4 (Commercial-Community) Zone of the Mid-City Communities Plan: City Heights. The site is currently developed with remnant pavement areas, landscaping and utilities. The site is located north of University Avenue, east of 51st Street, south of Nando's Hauling and Demolition, and west of 52nd Street.

The site is zoned CC-5-4 to the north and west, zoned CC-5-3 to the east and zoned RM-2-5 (Residential Multiple Unit) Zone to the south. The existing ground level averages 313 mean sea level.

In addition, the site is located within the City Heights Neighborhood of the Mid-City Communities Plan: City Heights, Redevelopment District, Very High Fire Hazard Severity Zones, Transit Area Overlay Zone, Residential Tandem Parking Overlay Zone, Parking Standards Transit Priority Area, and the Transit Priority Area. The site is served by existing public services and utilities.

10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):

None required.

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun?

On August 3, 2022, AB 52 Notification was sent to Tribal representatives. EAS did not receive any concerns about tribal cultural resources. Consultation is closed for this project.

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|--|--|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities/Service System |
| <input type="checkbox"/> Energy | <input type="checkbox"/> Noise | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Mandatory Findings Significance |

DETERMINATION: (To be completed by Lead Agency)

On the basis of this initial evaluation:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (a) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (b) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis.)
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses”, as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or (mitigated) negative declaration. *Section 15063(c)(3)(D)*. In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are “Less Than Significant With Mitigation Measures Incorporated”, describe the mitigation measures that were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
 - a. The significance criteria or threshold, if any, used to evaluate each question; and
 - b. The mitigation measure identified, if any, to reduce the impact to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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I. AESTHETICS – Except as provided in Public Resources Code Section 21099, would the project:

- a) Have a substantial adverse effect on a scenic vista?

There are no designated view corridors or scenic vistas on or near the project site. The project is not located within a designated view corridor and there are no scenic vistas on or near the project site. Therefore, implementation of the project would not result in a substantial adverse effect on a scenic vista. No such impacts, therefore, would occur.

- b) Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

There are no state scenic highways or scenic resources, including trees, rocks, historic buildings or outcroppings, on, near or adjacent to the project site. No impact would occur.

- c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

Refer to I(a), above. The project site is currently developed with asphalt surfacing for parking. The site is bounded on the south by University Avenue, on the north by single-family residences, on the west by 51st Street, and on the east by 52nd Street. The project proposes a new 140,935 square-foot (sf), two-story self-storage building over a basement within the allowable height and bulk regulations of the underlying zone. As such, the project would not exceed the height and/or bulk regulations, would not contrast with the development in the surrounding neighborhood, and would not conflict with the existing patterns of development in the vicinity by a substantial margin. The proposed exterior improvements would not significantly alter the visual character of the site and would not substantially degrade the visual character or quality of the site or its surroundings. The project is consistent with the community plan and underlying zone designations and would be compatible with the surrounding neighborhood and development. No such impacts, therefore, would occur.

- d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

In compliance with M.O. Code Provisions (SDMC Section 141.0504 (b)), the project would provide lighting to illuminate the interior, façade and immediate surroundings, with all lighting oriented to deflect light away from adjacent properties. In addition, the project would comply with the outdoor lighting standards contained in Municipal Code Section 142.0740 that require all outdoor lighting be

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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installed, shielded and adjusted so that the light is directed in a manner that minimizes negative impacts from light pollution, including trespass, glare, and to control light falling onto surrounding properties. Therefore, lighting installed with the project would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area. No such impacts, therefore, would occur.

II. AGRICULTURAL AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. - Would the project::

- a) Converts Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

The project is located a vacant site with no existing or past agricultural uses and is mapped as Urban and Built-Up Land, under the Farmland Mapping and Monitoring Program of the California Resources Agency. Therefore, implementation of the project would not convert any farmland to a non-agricultural use. No impact would occur.

- b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

The project site is not designated or zoned agricultural use, and no Williamson Act Contract land occur onsite. Implementation of the project would not conflict with any agricultural use. No impact would occur.

- c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 1220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?

Refer to II(a). The project would not result in rezoning for forestland or timberland (as defined by Government Code Section 51104(g)). Forest lands are not present on the site. No impact would occur.

- d) Result in the loss of forest land or conversion of forest land to non-forest use?

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Refer to II(a). The project would not involve in any changes that would affect or result in the loss of forest land or conversion of forest land to forest land uses. Therefore, implementation of the project would not convert any forest land to a non-forest use. No impact would occur.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

See response to II(a) and II(c), above. No impact would occur.

III. AIR QUALITY – Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied on to make the following determinations – Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|--------------------------|

The San Diego Air Pollution Control District (SDAPCD) is the agency that regulates air quality in the San Diego Air Basin, in which the project site is located. The SDAPCD prepared the Regional Air Quality Strategy (RAQS) in response to the requirements set forth in the California Clean Air Act (CAA) Assembly Bill (AB) 2595 (SDAPCD 1992) and the federal CAA. As such, the RAQS is the applicable regional air quality plan that sets forth the SDAPCD’s strategies for achieving the National Ambient Air Quality Standards (NAAQS) and the California Ambient Air Quality Standards (CAAQS).

The growth projections used by the SDAPCD to develop the RAQS emissions budgets are based on the population, vehicle trends, and land use plans developed in general plans and used by the San Diego Association of Governments (SANDAG) in the development of the Regional Transportation Plan (RTP) and Sustainable Communities Strategy (SCS). As such, the proposed storage facility is consistent with the growth anticipated by SANDAG’s growth projections and/or the general plan, and the project would not conflict with the RAQS.

The project site is located within the Mid-City Communities Plan: City Heights and would be consistent with the land use designation of General Plan Multiple Use, which allows commercial and mixed-use. As such, the project would be consistent with the growth forecasts developed by SANDAG and used in the RAQS. Therefore, the project would not conflict with the goals and strategies in the RAQS or obstruct their implementation. No such impacts, therefore, would occur.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Construction

Sources of construction-related air emissions include fugitive dust from grading activities; construction equipment exhaust; construction-related trips by workers, delivery trucks, and material-

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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hauling trucks; and construction-related power consumption. The project includes minor exterior, interior and driveway improvements. The project does require grading or earthwork. However, construction-related activities would be considered minor, temporary, short-term sources of air emissions. Construction impacts would be less than significant.

Operation

Long-term operational air emission impacts are those associated with stationary sources and mobile sources related to any change caused by a project. The project is consistent with the General Plan, Community Plan and the zoning designation. Therefore, project emissions over the long-term are not anticipated to violate any air quality standard or contribute substantially to an existing or projected air quality violation. Operational impacts would be less than significant.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be consistent with the General Plan, Community Plan and the zoning designation. Construction emissions could temporarily increase the emissions of dust and other pollutants. However, any construction emissions would be temporary and short-term in duration with the implementation of Best Management Practices (BMPs) to reduce any potential impacts to a less than significant level. Construction of the project in the region is not anticipated to result in significant emissions of any pollutants and would not create considerable contributions of any criteria pollutant for which the region is non-attainment. Therefore, the project would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable federal or state ambient air quality standards. Impacts would be less than significant.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not be associated with the creation of objectionable odors affecting people. No impact, therefore, would occur.

IV. BIOLOGICAL RESOURCES – Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The vacant 2.17-acre project site has been previously graded and is located in an urban setting, is immediately surrounded by existing development to the east, north, west, and south. Furthermore, based on the location of the subject site there is no connectivity with other habitats, and the site is not in proximity to other biological resources. No sensitive plants or animals are on, or adjacent to

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the site, and therefore no substantial adverse effects to any species would result. No such impacts, therefore, would occur.

- b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site does not contain riparian habitat; therefore, no adverse effect would result. Please refer also to IVa. No such impacts, therefore, would occur.

- c) Have a substantial adverse effect on federally protected wetlands (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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There are no federally protected wetlands on the project site; therefore no adverse effects would result. No such impacts, therefore, would occur.

- d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site does not contain any sensitive habitat, or any native resident or migratory resident or migratory fish or wildlife species; therefore no interference with wildlife movement or corridors, or impede the use of native wildlife nursery sites would occur.

- e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is located in an urban neighborhood, and it is not adjacent to the Multi-Habitat Planning Area (MHPA) as established in the City's MSCP Subarea Plan. Therefore, the project would not conflict with any local policies and/or ordinances protecting biological resources, including the Environmentally Sensitive Lands Ordinance.

- f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is located within an urbanized neighborhood and it is not adjacent to the MHPA as established by the City’s MSCP Subarea Plan. Therefore, the project would not conflict with any adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan.

V. CULTURAL RESOURCES – Would the project:

- a) Cause a substantial adverse change in the significance of an historical resource as defined in §15064.5?

The purpose and intent of the Historical Resources Regulations of the Land Development Code (Chapter 14, Division 3, and Article 2) is to protect, preserve and, where damaged, restore the historical resources of San Diego. The regulations apply to all proposed development within the City of San Diego when historical resources are present on the premises. Before approving discretionary projects, CEQA requires the Lead Agency to identify and examine the significant adverse environmental effects which may result from that project. A project that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (sections 15064.5(b) and 21084.1). A substantial adverse change is defined as demolition, destruction, relocation, or alteration activities, which would impair historical significance (sections 15064.5(b)(1)). Any historical resource listed in, or eligible to be listed in the California Register of Historical Resources, including archaeological resources, is considered to be historically or culturally significant.

Archaeological Resources

According to a review of the archaeology maps in the City’s Environmental Analysis Section (EAS) library, the site is a moderately sensitive area for archaeological resources. On June 23, 2022, Qualified City staff (QCS) conducted a record search of the California Historic Resources Information System (CHRIS) digital database to determine the presence or absence of potential resources within the project site. QCS conducted the CHRIS search, and a trash deposit was recorded (24260) at the rear of the property in 1975. However, this site was not significant, and it was more of a modern trash dump. Other than that no sites were recorded in the area. Based on the background research and previously disturbed nature of the project site QCS did not recommend any archaeological evaluation for the project. On August 3, 2022, AB 52 Notification was sent to Tribal representatives. EAS did not receive any concerns about tribal cultural resources. Consultation is closed for this project. Therefore, the project is not expected to cause a substantial adverse change to significant archaeological resources, because the site has been disturbed by past development. Therefore, the project would not result in a substantial adverse effect on any archaeological resources. No impact would occur.

Built Environment

The site is vacant of any structures, except for remnant asphalt on the site. Since the site does not contain any structure 45 years old or older, it did not require review for potential historical resources. No impacts would occur.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

According to the archaeological maps in the Environmental Analysis Section library, the site is located in a moderately sensitive area for archaeological resources. The project proposes improvements in a previously disturbed area of the site. Therefore, the project is not expected to cause a substantial adverse change in the significance of an archaeological resources pursuant to §15064.5, because the site has been disturbed by past development. Therefore, the project would not result in a substantial adverse effect on any archaeological resources. No impact would occur.

c) Disturb any human remains, including those interred outside of dedicated cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Refer to V. (a) above, no formal cemeteries or human remains are known to exist on-site or in the vicinity. No such impacts, therefore, would occur.

VI. ENERGY – Would the project:

a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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During project construction, the California Air Resources Board (CARB) regulates idling for commercial motor vehicles to reduce unnecessary consumption of energy under 13 CCR § 2485, *Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling*. Through implementation of this measure, energy consumption during construction would be less than significant.

The proposed storage facility would not result in wasteful, inefficient, or unnecessary consumption of energy resources during operation. Energy usage may incrementally increase once the storage facility is built and occupied; however, energy use would be commensurate with commercial consumption and would not be excessive. The proposed project would be required to meet energy standards of the current California Energy Code (Title 24). In addition, the proposed project would be conditioned to meet building design measures per SDMC that incorporate energy conservation features (window treatments, efficient HVAC systems, etc.). The project would also be required to implement energy-reducing Climate Action Plan (CAP) strategies, such as the use of cool/green roofing materials. Development under the most intense use that could occur with the proposed CC-5-4 zone would require adherence to City regulations and polices directed at reducing GHG emissions. That, together with meeting the CAP's land use strategy of supporting transit by increasing density in a TPA, would ensure that future development would result in less than significant GHG impacts. See also Section VIII, Greenhouse Gas Emissions. Energy impacts would be minimal and less than significant. No mitigation would be required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

See Section VIII, Greenhouse Gas Emissions. The City of San Diego’s General Plan identifies the site as Multiple Use. The General Plan’s multiple use category allows for various densities of multiple use development. The project site is currently zoned CC-5-4 (Commercial Community). The project site’s existing land use designation, as outlined by the Mid City Communities: City Heights Community Plan Area, is Commercial and Mixed-Use (29 du/ac). The project would be consistent with the General Plan and Community Plan.

The project, as well as development under the most intense use that could occur with the proposed CC-5-4 zone, would require adherence to and appropriately implement the CAP Consistency regulations. Because neither the project nor development under the most intense use conflict with or obstruct the CAP, no impact would occur.

VII. GEOLOGY AND SOILS – Would the project:

a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project site is not located within an Alquist-Priolo Earthquake Fault Zone and is not traversed by any known earthquake faults. According to the City of San Diego Safety Seismic Study Maps, the project is assigned geologic risk category 53. Geologic Risk Category 53 is characterized by level or sloping terrain, unfavorable geologic structure, low to moderate risk. According to the Geotechnical Investigation (2020) prepared by NOVA, active, potentially active, or in active faults are not shown on the seismic safety study traversing the property and none are known to exist. The nearest mapped active fault is the Rose Canyon fault zone located approximately 5.1 miles west of the site. Additionally, according to the geotechnical report, the potential for surface rupture at the site is considered low.

The project would be required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction practices to be verified at the building permit stage would ensure that the potential for impacts from regional geologic hazards would be less than significant, and no mitigation measures are deemed necessary.

ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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As noted in VII.(a) the project would be required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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practices to be verified at the building permit stage would ensure that the potential for impacts from regional geologic hazards would be less than significant, and no mitigation measures are deemed necessary.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| iii) Seismic-related ground failure, including liquefaction? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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According to the geotechnical report, there is no risk of liquefaction or related seismic phenomena. Proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts from geologic hazards would be less than significant.

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|-----------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| iv) Landslides? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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See VII(a)(i). The project would be required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction practices to be verified at the building permit stage would ensure that the potential for impacts from regional geologic hazards would be less than significant, and no mitigation measures are deemed necessary. Impacts would be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Result in substantial soil erosion or the loss of topsoil? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project site does propose grading or excavation activities. The project would implement Best Management Practices (BMPs). With implementation of BMPs, the project would not result in substantial soil erosion or the loss of topsoil. Impacts would be less than significant.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to responses IV (a), above. The project would be required to comply with the seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction practices to be verified at the building permit stage would ensure that the potential for impacts from regional geologic hazards would be less than significant, and no mitigation measures are deemed necessary. Impacts would be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to responses VII (a), above. The project is not located on a site subject to expansive soil, as defined in Table 18-1-B of the Uniform Building Code and would not create substantial risks to life or property. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project site is located in an area that is already developed with existing available utility infrastructure, including water and sewer lines. The project would not require the use of any septic systems. No impact would occur.

f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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According to the Geology of the San Diego Metropolitan Area, the site is underlain by the Quarternary-aged very old paralic deposits and Mission Valley Formation is highly sensitive, and the Quarternary-aged very old paralic formation is moderately sensitive for paleontological resources. The City of San Diego CEQA Significance Determination Thresholds states that impacts to paleontological resources may occur when a project requires over 1,000 cubic yards of grading/excavation at a depth of 10 feet or greater in high resource potential geologic formation, or over 2,000 cubic yards at a depth of 10 feet or greater of grading/excavation in moderate resource potential geologic formation. Project implementation would involve the grading of approximately 29,200 cubic yards (cy) of cut at a maximum depth of 15 feet, 105 cy of fill at a maximum height of 1 foot and the export of 29,095 cy. Therefore, the project would meet the thresholds for impacts to paleontological resources; therefore, monitoring for paleontological resources is required. With the implementation of monitoring, the project would not directly or indirectly destroy any paleontological resources or unique geologic features. Monitoring would be a condition of approval of the project. Impacts would be less than significant.

VIII. GREENHOUSE GAS EMISSIONS – Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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The City's GHG Emissions CEQA Significance Thresholds (GHG Thresholds) is compliance with the Climate Action Plan (CAP) Consistency regulations under Chapter 14, Article 3, Division 14. All current projects are subject to these regulations. The project is compliant with all applicable CAP regulations. Therefore, the project's direct and cumulative GHG emissions would have a less than significant impact.

b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project is compliant with all applicable CAP regulations, and the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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project would not conflict with City's CAP or another applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHG, and impacts would be less than significant.

IX. HAZARDS AND HAZARDOUS MATERIALS – Would the project:

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|---|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
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As part of the environmental review process, steps must be taken to disclose and address the safe removal, disposal, and/or remediation of hazardous materials.

The project site is listed as having one closed case, and one open site assessment on the Geotracker database for hazardous materials. The Geotracker Global ID (San Diego County LOP Case# DEH2022-LSAM-000713) for this project is case no. T10000020060.

The City of San Diego's CEQA Significance Determination Thresholds states, "These cases are especially important where excavation (e.g., basements, below grade parking, sewer/water pipeline projects) is involved." Because of the potential to expose people to a site that historically contained contamination of hazardous materials, the applicant was advised by EAS to contact the County of San Diego's Department of Environmental Health (DEH) and participate in the Voluntary Assistance Program (VAP). However, during this project's review, the Regional Water Quality Control Board (RWQCB, Region 9) is the lead agency, and they reviewed the proposed project.

On March 1, 2024, a letter was issued to the applicant by the California RWQCB. The RWQCB stated that they reviewed a Soils Management Plan (SMP) prepared by WEIS Environmental, LLC, dated September 28, 2020. The SMP describes the technical approach that will be followed for soil segregation and management for the protection of human health during the proposed Site redevelopment activities. The site redevelopment activities include grading and contaminant source removal activities within the construction footprint in preparation for a new site development. Further, the SMP describes the methods for excavation, characterization, handling, stockpiling, transportation, disposal, and monitoring of soil material impacted with petroleum hydrocarbons and/or chemicals of concern that may potentially be encountered during grading and construction activities at the Site. The San Diego Water Board reviewed the SMP and found it complete.

In conclusion, the applicant would address the site per the SMP, and the RWQCB, as the lead agency, would continue to provide oversight for this location. Therefore, as a condition of the project, the applicant is required to provide a concurrence letter to the City. Compliance and implementing this condition would reduce potentially significant impacts on Hazardous Materials/Public Health and Safety to below significance.

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| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Refer to IX(a), above. No hazardous materials are proposed for use as part of the project. The applicant will address any grading and contaminant source removal activities encountered during excavation per the soil management plan. Therefore, the project would not result in a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to IX(a), above. Fay Elementary School is within a quarter mile from the project site and is approximately 0.1 mile to the north of the subject site. However, the project would address grading and contaminant source removal activities encountered during excavation per the soil management plan. The project would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.

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| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

As part of the environmental review for the project, a review of hazardous materials databases, compiled pursuant to Government Code Section 65962.5 (also known as the Cortese List), were reviewed. The project site is included on hazardous materials site compiled pursuant to Government Code section 65962.5.

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| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two mile of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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The project site is not located within two miles of a public airport. The project is located approximately 10 miles to the east of the San Diego International Airport. Therefore, the project would not result in a safety hazard for people residing or working in the project area. No impact would occur.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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The project is located on a developed site within an urban area that is currently served by emergency services and would not interfere with the implementation of or physically interfere with an adopted

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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emergency response or evacuation plan. No roadway improvements are proposed that would interfere with circulation or access. As part of the project, an existing driveway adjacent to 51st Street and 52nd Street would be re-constructed adjacent to the site to meet city standards. Therefore, implementation of the project would not interfere with any adopted emergency response or evacuation plan. Impacts would be less than significant.

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| g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is located in an urban environment and not adjacent to or intermixed with wildlands. The project, therefore, would not significantly expose people or structures to a significant risk of loss, injury, or death involving wildland fires. No impact would occur.

X. HYDROLOGY AND WATER QUALITY - Would the project:

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

A Storm Water Pollution Prevention Plan (November 2, 2020) and Drainage Study (February 11, 2023) was completed by NOVA Engineering. The project would be considered a Priority Development Project. The project would implement site design, source control, and structural pollutant control BMPs and a Stormwater Pollution Prevention Plan. Therefore, the project would not result in a violation of any water quality standards or waste discharge requirements. Impacts would be less significant.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project does not propose the use of local groundwater supplies or the construction of groundwater wells. The project is located in an urban neighborhood where all infrastructure exists. The project would not substantially deplete groundwater supplies or interfere substantially with groundwater recharge. No impact would occur.

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| c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or through the addition of impervious surfaces, in a manner which would: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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The project would not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river. No impact, therefore, would occur.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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| i) result in substantial erosion or siltation on- or off-site; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

See X(a.) A Storm Water Pollution Prevention Plan (November 2, 2020) and Drainage Study (February 11, 2023) was completed by NOVA Engineering. Additionally, the project would implement source control BMPs, and a Storm Water Pollution Prevention Plan. Therefore, the project would not result in erosion or siltation on or off-site. No impact would occur.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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See X. (c.) The project would not substantially alter the existing drainage pattern or amount of surface runoff in the site or area, nor would the project result in flooding on- or off-site.

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| iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be required to comply with all stormwater quality standards during construction, and appropriate Best Management Practices (BMPs) will be utilized that would ensure that project runoff would not exceed the existing or planned capacity of the stormwater system. While the project would involve some development of impervious surface, the drainage would be directed into appropriate storm drain systems designated to carry surface runoff, which has been reviewed and accepted by City Engineering staff. Therefore, impacts would be less than significant.

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|-------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| iv) impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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The project site is not located within a 100-year flood hazard area, structures therefore, would not impede or redirect flood flows.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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The project site is not located within a FEMA designated flood zone. According to the geotechnical report, the project is in an area of minimal flood risk. Further, according to the geotechnical report, the altitude and distance of the site from the ocean preclude a threat from Tsunami and the site is not located near a body of water that could generate a seiche. Therefore, the project would not be a risk of release of pollutants due project inundation. No impact would occur.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Conflict with or obstruct implementation of a water quality | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
control plan or sustainable groundwater management plan?				

The project was reviewed by City staff. The project would not conflict with or obstruct implementation or a water quality control plan.

XI. LAND USE AND PLANNING – Would the project:

- a) Physically divide an established community?

The project would be located within a previously developed site and would not physical divide an established community. No impact would occur.

- b) Cause a significant environmental impact due to a conflict with any applicable land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

The project is in the CC-5-4 (Commercial Community) Zone of the Mid-City Communities Plan: City Heights, and the City Heights Redevelopment Project. The Community Plan designates the site as Commercial and Mixed-Use (29 du/ac), and the General Plan designates the site as Multiple Use. The project would not significantly increase the intensity of the allowed land use. The project site is developed with an existing remnant asphalt surface parking. The project proposes the construction of a new 140,935 square-foot (sf), two-story self-storage building over basement, within the allowable height and bulk regulations of the underlying zone. As such, the project would not exceed the height and/or bulk regulations and would not significantly contrast with surrounding development. The project would not conflict with the land use designations of the General and Community Plan, and the underlying zone. The project would not conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project. No such impacts, therefore, would occur.

XII. MINERAL RESOURCES – Would the project:

- a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

The project site is not being used for mineral resource extraction and is zoned for commercial mixed use. There are no such resources located on the project site. No impact would occur.

- b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

Refer to XII (a), above.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIII. NOISE – Would the project result in:

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| <p>a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Short-term noise impacts would occur from the demolition, grading and construction activities from the project. Construction-related short-term noise levels would be higher than existing ambient noise levels in the project area but would no longer occur once construction is completed. Sensitive receptors (e.g. residential uses) is located in the area to the south across the street and may be temporarily affected by construction noise; however, construction activities would be required to comply with the construction hours specified in City's Municipal Code, (Section 59.5.0404, Construction Noise), which are intended to reduce potential adverse effects resulting from construction noise. With compliance to the City's construction noise requirements, project construction noise levels would be reduced to less than significant, and no mitigation measures are deemed necessary.

For the long-term, typical noise levels associated with the commercial uses are anticipated, however, the project would not increase the existing ambient noise levels. Further, the project would comply with the City's General Plan and Noise Ordinance. Therefore, the project would not result in noise levels in excess of the standards established in the City of San Diego General Plan or Noise Ordinance. No significant long-term impacts would occur, and no mitigation measures are deemed necessary.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <p>b) Generation of, excessive groundborne vibration or groundborne noise levels?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project does not propose any major construction activities, such as pile driving or rock blasting, which have the potential to result in ground borne vibration or ground borne noise. Therefore, no ground borne vibrations would be generated. Potential effects from construction noise would be reduced through compliance with Section 59.5.0404 of the Municipal Code. Therefore, the project would not expose people to excessive generation of groundborne vibration or noise levels. No impact would result.

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| <p>c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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Refer to XIII.a. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIV. POPULATION AND HOUSING – Would the project:

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project does not include the construction of any new homes however the project proposes the construction of new storage facility, which is already served by established roads and other infrastructures. The project is unlikely to cause significant growth as there are no new homes, businesses, roadways or significant infrastructures proposed. Therefore, implementation of the project would not directly or indirectly induce substantial population growth in the area. No impact would occur.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not displace people or any existing housing or require the construction of housing elsewhere. No impact would occur.

XV. PUBLIC SERVICES

- a) Would the project result in substantial adverse physical impacts associated with the provisions of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services:

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|---------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| i) Fire protection; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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The project site is located in an urbanized and developed area where fire protection services are already provided. The closest fire station to the project site is the San Diego Fire Department Station 17, located approximately one mile to the northwest. The project would not adversely affect existing levels of fire protection services in the area and would not require the construction of any new fire facilities. No impact would occur.

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| ii) Police protection; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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The project site is located in an urbanized and developed area where police protection services are already provided. The closest police station to the project site is the San Diego Police Mid-City Division Station, located approximately 1.3 miles to the southwest. The project would not adversely affect existing levels of police protection services to the area and would not require the construction of any new police facilities. No impact would occur.

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| iii) Schools; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project would not result in the addition of any school aged children that would require school facilities. Therefore, the project would not necessitate the construction of new or physically altered school facilities. No impact would occur.

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|------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| iv) Parks; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located in an urbanized and developed area where City-operated park services are already provided. The project does not include the construction of any residences that would require the use of park facilities and would not significantly increase the demand on existing neighborhood or regional parks, or other recreational facilities over that which presently exists for parks or other offsite recreational facilities. Therefore, the project would not necessitate the construction of new or physically altered offsite park facilities. No impact would occur.

- | | | | | |
|-----------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| v) Other public facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located in an urbanized and developed area where City services are already available. The project would not adversely affect existing levels of public services and not require the construction or expansion of an existing governmental facility. Therefore, no new public facilities beyond existing conditions would be required.

XVI. RECREATION

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project does not include the construction of any residences that would require the use of recreational facilities and would not significantly increase the demand on existing recreational facilities over that which presently exists. Therefore, the project would not adversely affect the availability of and/or need for new or expanded recreational resources and would not require the construction or expansion of an existing recreational facility. The project would not result in the use of available parks or facilities such that substantial deterioration occurs, or that would require the construction or expansion of recreational facilities to satisfy demand. As such, no impact related to recreational facilities would occur.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Refer to XVI (a) above. The project does not propose recreation facilities nor require the construction or expansion of any such facilities. No impact would occur.

XVII. TRANSPORTATION-

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Would the project or plan/policy conflict with an adopted program, plan, ordinance or policy addressing the transportation system, including transit, roadways, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project was reviewed by City Transportation staff. The proposed 140,935 square-foot storage facility is estimated to generate approximately 282 average daily trips (ADT) including 16 trips (8 in, 8 out) during the AM peak hour and 26 trips (13 in, 13 out) during the PM peak hour, based on a rate of 2 trips/1,000 SF for Rental Storage. A Local Mobility Analysis will not be required. The project is presumed to have a less than significant VMT impact due to its estimated trip generation of 282 ADT, which is under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). The project would not conflict with an adopted program, plan, ordinance or policy addressing the transportation system, including transit, roadways, bicycle and pedestrian facilities. Impacts would be less than significant.

b) Would the project or plan/policy result in VMT exceeding thresholds identified in the City of San Diego Transportation Study Manual?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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See XVII(a). The project is presumed to have a less than significant VMT impact due to its estimated trip generation of 282 ADT, which is under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). Therefore, the project is not expected to exceed the VMT Thresholds as identified in the City of San Diego Transportation Manual.

c) Would the project or plan/policy substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project will be designed to City and industry standards and would not include any elements that could potentially create a hazard to the public. Impacts would be less than significant.

d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project includes the re-construction of two driveways to meet City standards. All project improvements would be made to meet City standards and the project would not result in inadequate emergency access. No impact would occur.

XVIII. TRIBAL CULTURAL RESOURCES – Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project would not cause a substantial adverse effect to tribal cultural resources, as there are no recorded sites listed or sites eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k). No such impacts, therefore, would occur.

b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Tribal Cultural Resources include sites, features, places, cultural landscapes, and sacred places or objects that have cultural value or significance to a Native American Tribe. Tribal Cultural Resources include “non-unique archaeological resources” that, instead of being important for “scientific” value as a resource, can also be significant because of the sacred and/or cultural tribal value of the resource. Tribal representatives are considered experts appropriate for providing substantial evidence regarding the locations, types, and significance of tribal cultural resources within their traditionally and cultural affiliated geographic area (PRC § 21080.3.1(a)). The City, as lead agency, determined that Tribal Cultural Resources pursuant to subdivision Public Resources Code Section 5024.1(c) would not be potentially impacted through project implementation. No significant impacts, therefore, would occur.

XIX. UTILITIES AND SERVICE SYSTEMS – Would the project:

a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project is not anticipated to generate significant amount of wastewater or stormwater. As discussed in VI (a), the project would not result in a significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources. Wastewater facilities used by the project would be operated in accordance with the applicable wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). Existing sewer infrastructure exists within roadways surrounding the project site and adequate services are available to serve the project. Thus, impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The 2020 City Urban Water Management Plan (UWMP) serves as the water resources planning document for the City’s residents, businesses, interest groups, and public officials. The UWMP assesses the current and future water supply and needs for the City. The 2020 UWMP emphasizes a cross functional, systems approach that is intended to better guide and integrate any subsequent water resources studies, facilities master planning, and various regulatory reporting and assessment activities at the City, regional and state levels beyond a basic profiling of the City’s water system. (City of San Diego 2020). The project does not meet Senate Bill 610 requirements for the project to prepare a water supply assessment. Implementation of the project would not result in new or expanded water entitlements from the water service provider, as the project is consistent with existing demand projections contained in the UWMP (which are based on the allowed land uses for the project site). Therefore, the project would not require new or expanded entitlements. No impacts would result.

c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s demand in addition to the provider’s existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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A site-specific Sewer Study was prepared by NOVA Engineering (February 2022) for the project. Implementation of the project would not interrupt existing sewer service to the project site or other surrounding development. The project is not anticipated to generate significant amount of wastewater. Wastewater facilities used by the project would be operated in accordance with the applicable wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). Existing sewer infrastructure exists within roadways surrounding the project site and adequate services currently serve the project site. Therefore, the project would not exceed wastewater treatment requirements of the RWQCB. No such impacts, therefore, would occur.

d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project meets the City’s CEQA Significance Determination Thresholds for cumulative impacts to solid waste; therefore, a Waste Management Plan was prepared by HWL Planning and Engineering, May 2022. The California Public Resources Code (Assembly Bill 939) requires each city in the state to divert at least 50 percent of its solid waste from landfill disposal through source reduction, recycling, composting, and transformation. Subsequent approvals, (Assembly Bill 341) require a 75 percent solid waste diversion by the year 2020. The City has enacted codes and policies aimed at helping it achieve this diversion level, including the Refuse and Recyclable Materials Storage Regulations (Municipal Code Chapter 14, Article 2 Division 8), Recycling Ordinance (Municipal Code Chapter 6, Article 6, Division 7), and the Construction and Demolition (C&D) Debris Deposit Issue Potentially

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Significant Impact Less Than Significant with Mitigation Incorporated Less Than Significant Impact No Impact 41 Ordinance (Municipal Code Chapter 6, Article 6, Division 6). The project would comply with these codes. As prescribed in the project’s Waste Management Plan (WMP), the project would comply with all applicable City ordinances regarding collection, diversion, and disposal of waste generated from C&D, grading, and occupancy. Of the 40,414 tons estimated to be generated (2,354 tons from demolition and 212 tons from construction), 37,103.25 tons would be diverted (2,347 tons from demolition and 178.2 from construction). This would result in the diversion and reuse of 92 percent of the waste material generated from the project from the landfill, which would meet the City’s current 75 percent waste diversion goal. During occupancy, the storage facility would generate approximately 5 tons of waste per year. As such, the applicant would be required to implement the ongoing WMP measures to ensure maximum diversion from landfills. Storage space for refuse, recyclable, and landscape/green waste materials would be provided consistent with SDMC requirements. With implementation of the strategies outlined in the WMP and compliance with all applicable City ordinances, solid waste impacts would be reduced to below a level of significance. Impacts associated with solid waste generation and landfill capacity would be less than significant.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

A site-specific Waste Management Plan was completed for the project. The project would comply with all federal, state and local statues and regulations related to solid waste. No impact would occur.

XX. WILDFIRE – If located in or near state responsibility area or lands classified as very high fire hazard severity zones, would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Substantially impair an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The 2017 San Diego County Multi-Jurisdictional Hazard Mitigation Plan (SDHMP) is the San Diego region’s plan toward greater disaster resilience in accordance with section 322 of the Disaster Mitigation Act of 2000. The project would not conflict with the goals, objectives, and actions of the SDHMP. The project site is in a previously developed area, with existing public service infrastructure serving the site. In addition, the project was reviewed by the City staff. No negative impact to ingress and egress on adjacent streets would result. Therefore, the proposed project would not substantially impair an adopted emergency response or evacuation plan. Impacts would be less than significant.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of wildfire? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

The project is located in an urbanized neighborhood of similar urban and residential development and is located in a Very High Fire Hazard Severity Zone. Brush Management Regulations in not required for this project. Therefore, the project would not have the potential to expose occupants to pollutant concentrations from a wildfire or the uncontrolled spread of wildfire. No impact would occur.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project is currently serviced by existing infrastructure which would service the site during and after construction. The project area has adequate fire hydrant services and street access. No new infrastructure is proposed to support the project that may exacerbate fire risk. Impacts would be less than significant, and no mitigation is required.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project area is within developed land and an urban neighborhood. The project would comply with the City's Landscape Regulations and Land Development Code. No new infrastructure is proposed. The project would not expose people or structures to significant risk from flooding or landslide as a result of runoff, and post-fire instability, or drainage changes.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE –

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

As documented in this Initial Study, the project would not have the potential to degrade the quality of the environment or eliminate important examples of the major periods of California history or prehistory. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Does the project have impacts that are individually limited but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

As documented in this Initial Study, the project would not have the potential to degrade the quality of the environment. As such, no mitigation measures would be required because all impacts would be less than significant. Therefore, the project does not have the potential to result in cumulative considerable environmental effects. Impacts would be less than significant.

c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

As documented in this Initial Study, it is not anticipated that implementation of the project and construction activities associated with the renovation of the storage facility would create conditions that would significantly directly or indirectly impact human beings. No such impacts, therefore, would occur.

**INITIAL STUDY CHECKLIST
REFERENCES**

I. Aesthetics / Neighborhood Character

- City of San Diego General Plan
- Community Plans: Mid-City: City Heights Community Plan

II. Agricultural Resources & Forest Resources

- City of San Diego General Plan
- U.S. Department of Agriculture, Soil Survey - San Diego Area, California, Part I and II, 1973
- California Agricultural Land Evaluation and Site Assessment Model (1997)
- Site Specific Report:

III. Air Quality

- California Clean Air Act Guidelines (Indirect Source Control Programs) 1990
- Regional Air Quality Strategies (RAQS) - APCD
- Site Specific Report:

IV. Biology

- City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997
- City of San Diego, MSCP, "Vegetation Communities with Sensitive Species and Vernal Pools" Maps, 1996
- City of San Diego, MSCP, "Multiple Habitat Planning Area" maps, 1997
- Community Plan - Resource Element
- California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered, Threatened, and Rare Plants of California," January 2001
- California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered and Threatened Animals of California," January 2001
- City of San Diego Land Development Code Biology Guidelines
- Site Specific Report:

V. Cultural Resources (includes Historical Resources and Built Environment)

- City of San Diego Historical Resources Guidelines
- City of San Diego Archaeology Library
- Historical Resources Board List
- Community Historical Survey:
- Site Specific Report:

VI. Energy

- City of San Diego Climate Action Plan (CAP), (City of San Diego 2022)
- City of San Diego Climate Action Plan Consistency Checklist –
- City of San Diego Climate Action Plan Consistency Regulations (SDMC 143.140)

VII. Geology/Soils

- City of San Diego Seismic Safety Study

- U.S. Department of Agriculture Soil Survey - San Diego Area, California, Part I and II, December 1973 and Part III, 1975
- City of San Diego Paleontological Guidelines
- Deméré, Thomas A., and Stephen L. Walsh, "Paleontological Resources City of San Diego," Department of Paleontology San Diego Natural History Museum, 1996
- Kennedy, Michael P., and Gary L. Peterson, "Geology of the San Diego Metropolitan Area, California. Del Mar, La Jolla, Point Loma, La Mesa, Poway, and SW 1/4 Escondido 7 1/2 Minute Quadrangles," *California Division of Mines and Geology Bulletin* 200, Sacramento, 1975
- Kennedy, Michael P., and Siang S. Tan, "Geology of National City, Imperial Beach and Otay Mesa Quadrangles, Southern San Diego Metropolitan Area, California," Map Sheet 29, 1977
- Site Specific Report: Updated Geotechnical Investigation Proposed University Self Storage 5150 University Avenue, San Diego, prepared NOVA, May 20, 2020.
- Site Specific Report: Updated Geotechnical Report Proposed University Self Storage 5150 University Avenue, San Diego, prepared NOVA, May 20, 2020.
- Site Specific Report: Soils Management Plan, prepared by Weis Environmental, September 28, 2020.

VIII. Greenhouse Gas Emissions

- Site Specific Report: CAP Consistency Checklist.

IX. Hazards and Hazardous Materials

- San Diego County Hazardous Materials Environmental Assessment Listing, Geotraker
- San Diego County Hazardous Materials Management Division
- FAA Determination
- State Assessment and Mitigation, Unauthorized Release Listing, Public Use Authorized
- Airport Land Use Compatibility Plan
- Site Specific Report: Health and Safety Plan prepared by WEIS Environmental, LLC, September 29, 2020.

X. Hydrology/Drainage

- Flood Insurance Rate Map (FIRM)
- Federal Emergency Management Agency (FEMA), National Flood Insurance Program-Flood Boundary and Floodway Map
- Clean Water Act Section 303(b) list, http://www.swrcb.ca.gov/tmdl/303d_lists.html
- Site Specific Report: Storm Quality Management Plan, prepared by Nova Engineering, January 28, 2021.
- Site Specific Report: Drainage Study, prepared by NOVA Engineering, prepared by NOVA Engineering, February 11, 2023.
- Site Specific Report: Stormwater Pollution Prevention Plan for 51st and University Self Storage, prepared by NOVA Engineering, November 2, 2020.

XI. Land Use and Planning

- City of San Diego General Plan
- Community Plan
- Airport Land Use Compatibility Plan
- City of San Diego Zoning Maps

- FAA Determination:
- Other Plans:

XII. Mineral Resources

- California Department of Conservation - Division of Mines and Geology, Mineral Land Classification
- Division of Mines and Geology, Special Report 153 - Significant Resources Maps
- City of San Diego General Plan: Conservation Element
- Site Specific Report:

XIII. Noise

- City of San Diego General Plan
- Community Plan
- San Diego International Airport - Lindbergh Field CNEL Maps
- Brown Field Airport Master Plan CNEL Maps
- Montgomery Field CNEL Maps
- San Diego Association of Governments - San Diego Regional Average Weekday Traffic Volumes
- San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- Site Specific Report:

XIV. Population / Housing

- City of San Diego General Plan
- Community Plan
- Series 11/Series 12 Population Forecasts, SANDAG
- Other:

XV. Public Services

- City of San Diego General Plan
- Community Plan

XVI. Recreational Resources

- City of San Diego General Plan
- Community Plan
- Department of Park and Recreation
- City of San Diego - San Diego Regional Bicycling Map
- Additional Resources:

XVII. Transportation / Circulation

- City of San Diego General Plan
- Community Plan:
- San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- San Diego Region Weekday Traffic Volumes, SANDAG
- Site Specific Report: Traffic Study-University Self Storage-Driveway Sight Distance Assessment, October 20, 2023.

XVIII. Tribal Cultural Resources

- City of San Diego Historical Resources Guidelines
- City of San Diego Archaeology Library
- Historical Resources Board List
- Community Historical Survey
- Site Specific Report:

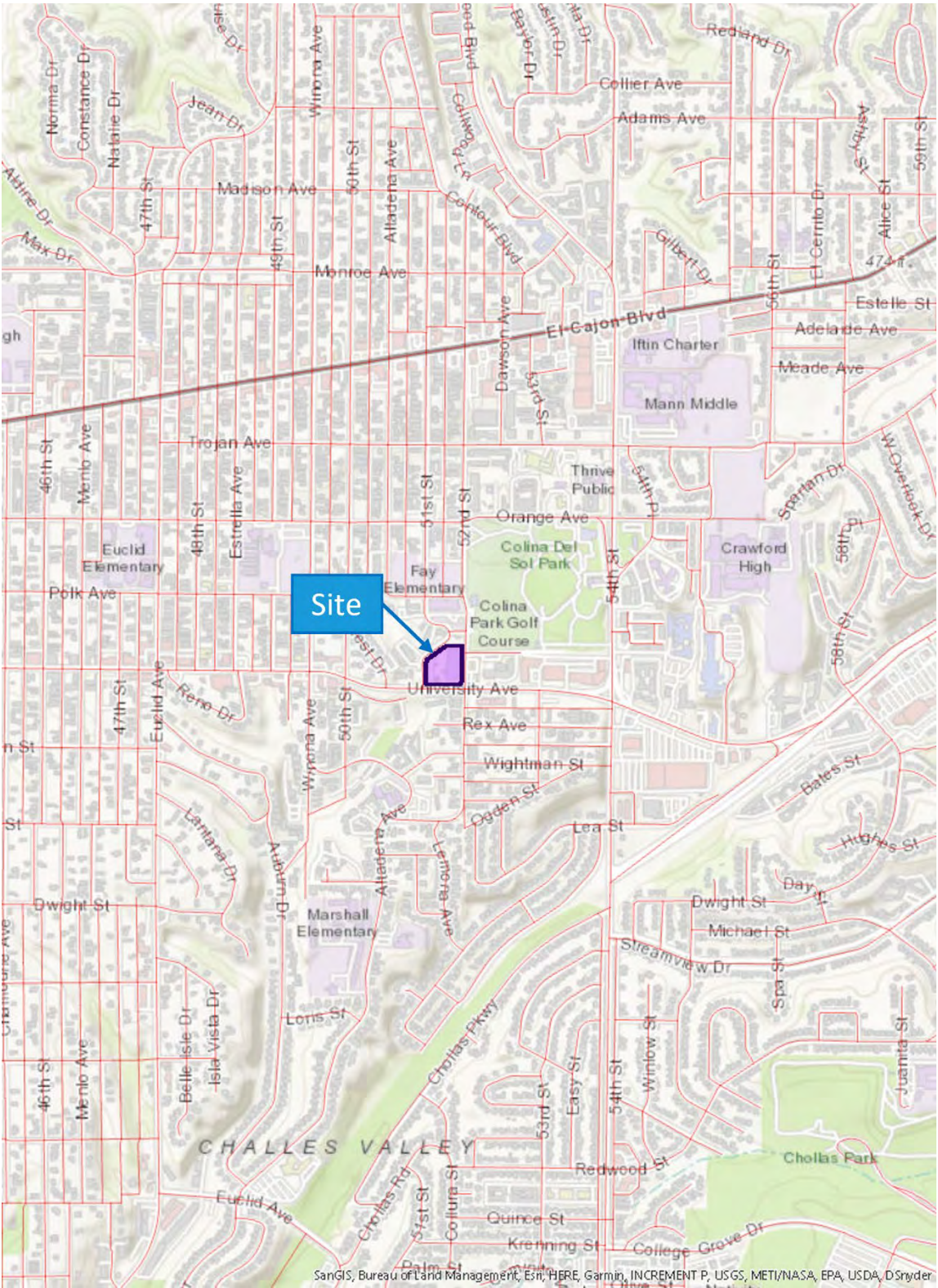
XIX. Utilities and Service Systems

- City of San Diego General Plan
- Community Plan:
- Site Specific Report:

XX. Wildfire

- City of San Diego General Plan
- Community Plan:
- San Diego County Multi-Jurisdictional Hazard Mitigation Plan
- Very High Fire Severity Zone Map, City of San Diego
- City of San Diego Brush Management Regulations, Landscape Regulations (SDMC 142.0412)
- Site Specific Report:

Revised: January 2023



SanGIS, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, USGS, METI/NASA, EPA, USDA, D/Snyder



LOCATION MAP

Storage Variance/EV 5150 University Avenue,

PROJECT NO. 682266

Development Services Department

**FIGURE
No. 1**

NOTES:

1. PEDESTRIAN PATHS PROVIDED TO THE BUILDING FROM 51st ST, 52nd, AND UNIVERSITY PER SDMG 1810250
2. VISIBILITY AREA IS PROVIDED AT STREET CORNERS AND DRIVEWAYS PER SECTION 1810218. NO OBJECTS HIGHER THAN 24' ALLOWED.

GAP CONSISTENCY ITEMS:

1. ELECTRIC VEHICLE CHARGING: OF THE TOTAL LISTED GAS NETS BOXES OR ENCLOSURES 50% WILL HAVE THE NECESSARY ELECTRIC VEHICLE EQUIPMENT INSTALLED TO PROVIDE ACTIVE ELECTRIC VEHICLE CHARGING STATIONS READY FOR USE.
2. THE PROJECT WILL PROVIDE MORE SHORT AND LONG TERM BICYCLE PARKING SPACES THAN REQUIRED IN THE CITY'S MUNICIPAL CODES (CHAPTER 14, ARTICLE 2, DIVISION 5).
3. PROJECT PROVIDES DESIGNATED PARKING FOR A COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VANPOOL VEHICLES. SEE CALC. AT BOTTOM OF SHEET.

DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT, AND CARPOOL / VANPOOL VEHICLES TABLES 5106.5.2 & 5106.5.5.3 2014 CA GREEN BUILDING STANDARDS (CODE)

TOTAL NUMBER OF PARKING SPACES ON-SITE (FOR 1 SPACE ON-SITE) 17 STALLS
 TOTAL REQUIRED- CLEAR AIR VEHICLE PER TABLE 5106.5.2 (1 CLEAR AIR VEHICLE STALL (CAV))

TOTAL NUMBER OF PARKING SPACES ON-SITE (FOR 1 SPACE ON-SITE) 17 STALLS
 TOTAL REQUIRED- EV CAPABLE PER TABLE 5106.5.5.3 (EV CAPABLE STALL (EV))

PARKING TABULATION:

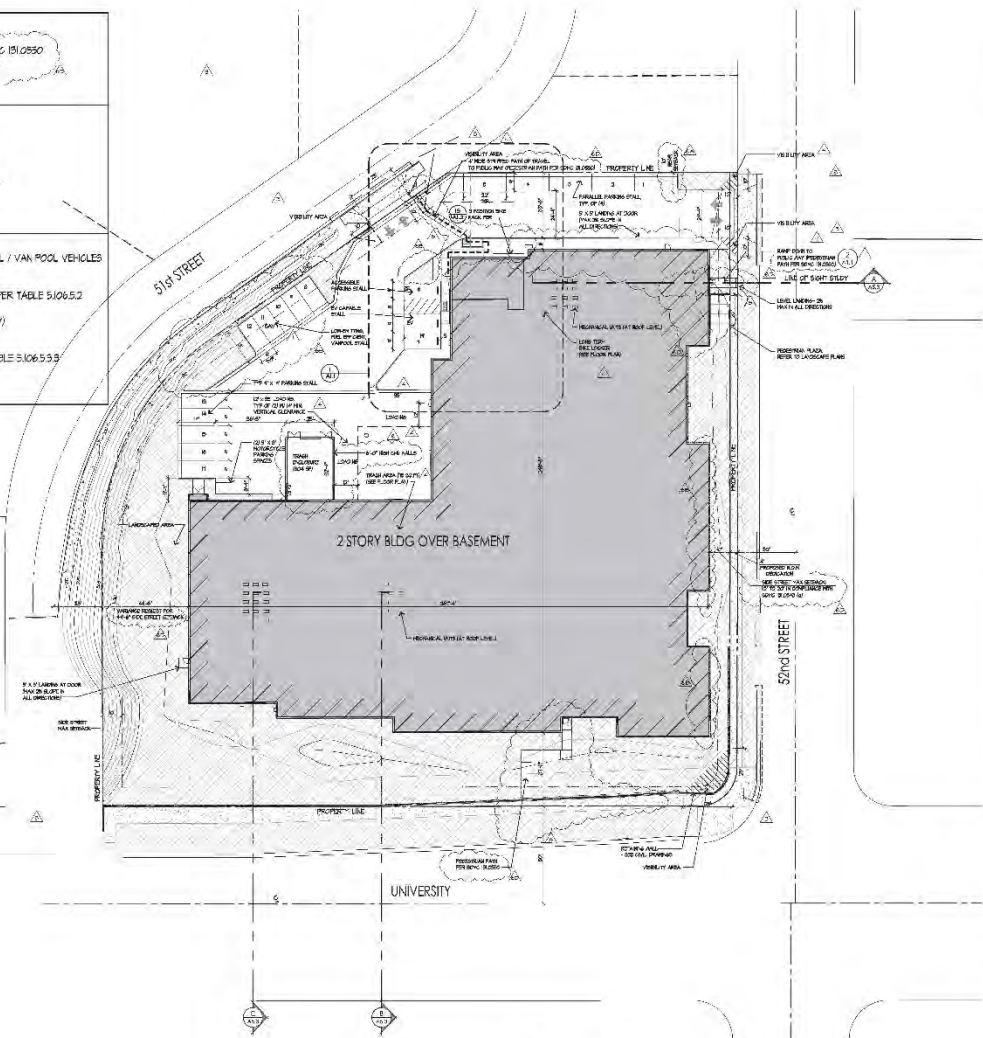
PARKING REQUIRED:
 SELF STORAGE: 140, 504 SF / 10,000 = 14.06 STALLS
 OFFICE: 261, 571 SF per 1,000 = 2.64 STALLS
 TOTAL REQUIRED: 16.7 STALLS

PARKING PROVIDED:
 STANDARD: 6 STALLS
 DISABLED: 1 STALL
 TOTAL: 7 STALLS

MOTORCYCLE PARKING:
 REQUIRED: 17X22 = 374 STALLS
 PROVIDED: 2 STALLS (MIN REQ. RED)

BICYCLE PARKING:
 SHORT TERM REQUIRED (41450 SF / 1000 X 1) = 41.4 SPACES REQ. RED
 SHORT TERM PROVIDED: 15 SPACES

LONG TERM REQUIRED: 11 X .05 = 0.55 SPACE
 LONG TERM PROVIDED: 1 SPACE



CLIENT:
 RDS CONTRACTING INC.
 1204 WOODSIDE AVE STE 102
 LAKESIDE, CA 92040

PROJECT TITLE:
 UNIVERSITY SELF STORAGE
 5150 UNIVERSITY AVE
 SAN DIEGO, CA

SHEET TITLE:
 SITE PLAN



REV.	REVISION	DATE
1	PLAN CHECK	06/08/20
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

DRAWN/CHECK BY: JGV/VAC
 DATE: 06/08/20
 JOB NO.:
 SHEET NUMBER:


A1.0



SITE PLAN

Storage Variance/EV 5150 University Avenue, Project No. 682266
 Development Services Department

FIGURE No. 2

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin:0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: University Self Storage **Project No. For City Use Only:** _____
Project Address: 5150 University Ave. San Diego, CA 92105

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? CA Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
 Name of Individual: George Hickler Owner Tenant/Lessee Successor Agency
 Street Address: 15260 Ventura Blvd, Suite 1120
 City: Sherman Oaks State: CA Zip: 91403
 Phone No.: (619) 775-5000 Fax No.: _____ Email: george@cardindust.com
 Signature: [Signature] Date: 12-22-2020
 Additional pages Attached: Yes No

Applicant
 Name of Individual: George Hickler Owner Tenant/Lessee Successor Agency
 Street Address: 15260 Ventura Blvd, Suite 1120
 City: Sherman Oaks State: CA Zip: 91403
 Phone No.: (619) 775-5000 Fax No.: _____ Email: george@cardindust.com
 Signature: [Signature] Date: 12-22-2020
 Additional pages Attached: Yes No

Other Financially Interested Persons
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

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Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: University Self Storage		Project Number: 682266	
Community: Mid-City:City Heights			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: July 06, 2022
# of Members Yes 8	# of Members No 4	# of Members Abstain 0	
Conditions or Recommendations: N/A			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Brenden Sickler			
TITLE: Chairman		DATE: July 11, 2022	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

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DS-5620 (08-18) ONLINE FORM



VALLI ARCHITECTURAL GROUP

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CLIENT
RDS
CONTRACTING INC.

12064 WOODSIDE AVE, STE 102
LAKESIDE, CA
92040

PROJECT TITLE
UNIVERSITY
SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
GENERAL NOTES
& SHEET INDEX



Table with columns: DELTA, REVISION, DATE. Includes entries for PLAN CHECK, PLANNING PLAN CHECK, and PLANNING PG.

DRAWN/CHK BY: JG/VAG
DATE: 06/05/20
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SHEET INDEX

Table listing architectural and civil notes, including sections for ARCHITECTURAL, CIVIL (FOR REFERENCE ONLY), and LANDSCAPE (FOR REFERENCE ONLY).

PROJECT DATA

Project data including APN 472-383-04, zoning CC-5-4, and a storage building tabulation diagram showing 140,589 sq. ft. storage and 861 sq. ft. office space.

FIRE DEPARTMENT DATA

1. FIRE SPRINKLER SYSTEM DESIGN IS UNDETERMINED, PROVIDE SHOP DRAWINGS AND CALC'S FOR REVIEW AND APPROVAL BY FIRE DEPARTMENT PRIOR TO THE BEGINNING OF WORK. FIRE SPRINKLER SYSTEM SHALL PROVIDE A DESIGN DENSITY OF ORDINARY HAZARD GROUP I.

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH: 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA ELECTRIC CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA FIRE CODE, 2019 TITLE 24 ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING CODE, 2019 NFPA FIRE SPRINKLER.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS NOTES: 1. PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL.

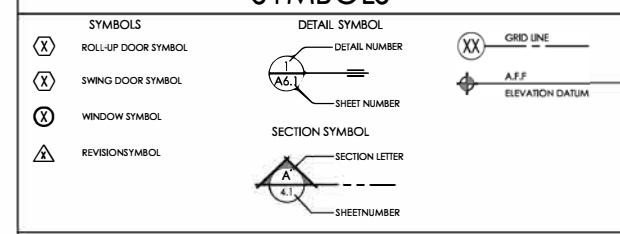
CODE ANALYSIS

Code analysis table for 2019 CALIFORNIA BUILDING CODE, detailing occupancy types, allowable stories, and storage building requirements.

OCCUPANT LOADS

Table showing occupant loads for various areas: Office (8.1 occupants), Storage Building Basement (94.7 occupants), Storage Building 1st Floor (91.9 occupants), and Storage Building 2nd Floor (93.6 occupants).

SYMBOLS



MATERIAL STORAGE

NO STORAGE OF CLASS I, II, III LIQUIDS ALLOWED WITHIN ANY BUILDING. NOTE: STORAGE OF HAZARDOUS MATERIALS IN THIS PROJECT IS PROHIBITED.

ABBREVIATIONS

Table of abbreviations for construction terms such as ANCHOR BOLT, AIR CONDITIONING, ADJACENT, ALUMINUM, BUILDING, BLOCKING, BEAM, BOARD, CENTERLINE, CEILING, CLEAR, CONCRETE, CONTINUOUS, CARPET, DOUBLE, DETAIL, DRINKING FOUNTAIN, DIAMETER, DISPOSAL, DOWN, DOOR, SACH, ELEVATION, EQUAL, EXTERIOR, EXISTING, FINISH FLOOR, FLOOR, FACE OF CONCRETE, FACE OF MASONRY, FACE OF STUD, FACE OF WALL, FIRE RATED, FOOTING, GAUGE/GAGE, GYPSUM BOARD, HOSE BIBB, HOLLOW CORE OR HANDICAPPED, HEADER, HOLLOW METAL, HORIZONTAL, INTERIOR, LAMINATED, LAVATORY, MAXIMUM, MEDICINE CABINET, MINIMUM, METAL, NATURAL, NOT IN CONTRACT, ON CENTER, OUTSIDE AIR, PLATE LINE OR PROPERTY LINE, PLYWOOD, PAR, REFRIGERATOR OR REFERENCE, REQUIRED, ROOM, RIGHT OFWAY, SOLID CORE, SHELF & POLE, SQUARE FEET, SHEET, SHEATHING, SIMILAR, SPECIFICATIONS, SURFACE FOUR SIDES, TOP OF CURB OR TOP OF CONCRETE, TOP OF MASONRY, TOP OF PARAPET, TOP OF WALL, TYPICAL, UNLESS NOTED OTHERWISE, VERTICAL, WATER CLOSET, WOOD, WROUGHT IRON.

GENERAL NOTES

- 1. ALL WORK AND CONSTRUCTION TO BE EXECUTED IN STRICT ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND ALL LOCAL CODES AND ORDINANCES ADOPTED BY THE AGENCIES HAVING JURISDICTION OVER THE LOCATION.

FIRE NOTES

- 1. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.



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CLIENT RDS CONTRACTING INC.

12064 WOODSIDE AVE, STE 102 LAKESIDE, CA 92040

PROJECT TITLE UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE SAN DIEGO, CA

SHEET TITLE

GENERIC ACCESSIBILITY REQUIREMENTS



02/03

Table with 3 columns: DELTA, REVISION, DATE

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GN.2

INTERIOR ACCESSIBLE ROUTES

INTERIOR ACCESSIBLE ROUTES SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL NOT BE LESS THAN 44 INCHES (1118 MM) IN WIDTH...

DOORS

118-404.1 GENERAL DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 118-404.1...

118-404.2.1 MANUEVERING CLEARANCES: MINIMUM MANUEVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH SECTION 118-404.2.1...

118-404.2.2 DOORS IN SERIES AND GATES IN SERIES: THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 INCHES (1219 MM) MINIMUM...

118-404.2.3 DOOR OPENING FORCE: THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE AS FOLLOWS: INTERIOR HINGED DOORS AND GATES 5 POUNDS (22.2 N) MAXIMUM...

118-404.2.4 DOOR AND GATE SURFACES: SWINGING DOOR AND GATE SURFACES SHALL NOT INCHES (254 MM) OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE...

118-404.3 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.1 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.2 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.3 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.4 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.5 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.6 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.7 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.8 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.9 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.10 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.11 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.12 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-404.3.13 CLEAR WIDTH: DOORWAYS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES (813 MM) MINIMUM IN POWER-ON/AND POWER-OFF MODE...

118-505.4 HEIGHT: TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34 INCHES (864 MM) MINIMUM AND 38 INCHES (965 MM) MAXIMUM VERTICALLY ABOVE WALKING SURFACES...

118-505.5 CLEARANCE: CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/2 INCHES (38.1 MM) MINIMUM...

118-505.6 GRIPPING SURFACE: HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES...

118-505.7 CROSS SECTION: HANDRAIL GRIPPING SURFACES SHALL HAVE A CROSS SECTION COMPLYING WITH SECTION 118-505.7.1...

118-505.8 ISLANDS: RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES...

118-505.9 SURFACES: HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE EDGES AND SHALL HAVE ROUNDED EDGES...

118-505.10 HORIZONTAL EXTENSION: HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS...

118-505.11 ASSEMBLY AREAS: EXTENSIONS SHALL NOT BE REQUIRED FOR RAMP HANDRAILS IN AISLES SERVING SEATING WHERE THE HANDRAILS ARE DISCONTINUOUS TO PROVIDE ACCESS TO SEATING AND TO PERMIT CROSSING THROUGH AISLES...

118-505.12 CROSS SECTION: HANDRAIL GRIPPING SURFACES SHALL HAVE A CROSS SECTION COMPLYING WITH SECTION 118-505.7.1...

118-505.13 ISLANDS: RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES...

118-505.14 SURFACES: HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE EDGES AND SHALL HAVE ROUNDED EDGES...

118-505.15 HORIZONTAL EXTENSION: HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS...

118-505.16 WEI CONDITIONS: CURB RAMPS AND BLENDED TRANSITIONS SHALL COMPLY WITH SECTION 118-405.10...

118-505.17 CROSS SLOPE: THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 MAXIMUM...

118-505.18 DETECTABLE WARNINGS: CURB RAMPS AND BLENDED TRANSITIONS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH SECTION 118-705...

118-505.19 ISLANDS: RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES...

118-505.20 SURFACES: HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE EDGES AND SHALL HAVE ROUNDED EDGES...

118-505.21 HORIZONTAL EXTENSION: HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS...

118-505.22 CROSS SECTION: HANDRAIL GRIPPING SURFACES SHALL HAVE A CROSS SECTION COMPLYING WITH SECTION 118-505.7.1...

118-505.23 ISLANDS: RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES...

118-505.24 SURFACES: HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE EDGES AND SHALL HAVE ROUNDED EDGES...

118-505.25 HORIZONTAL EXTENSION: HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS...

118-505.26 CROSS SECTION: HANDRAIL GRIPPING SURFACES SHALL HAVE A CROSS SECTION COMPLYING WITH SECTION 118-505.7.1...

118-505.27 ISLANDS: RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES...

PROTRUDING OBJECTS

118-307 PROTRUDING OBJECTS: CURB RAMPS AND BLENDED TRANSITIONS SHALL COMPLY WITH SECTION 118-405.10...

118-307.2 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.3 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.4 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.5 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.6 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.7 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.8 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.9 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.10 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.11 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

118-307.12 PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES (686 MM) AND NOT MORE THAN 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 MM) HORIZONTALLY...

ELEVATORS

3003.1 STANDBY POWER IN BUILDINGS AND STRUCTURES WHERE STANDBY POWER IS REQUIRED OR FURNISHED TO OPERATE AN ELEVATOR...

3003.1.1 MANUAL TRANSFER STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BANK...

3003.1.2 ONE ELEVATOR: WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 40 SECONDS AFTER FAILURE OF NORMAL POWER...

3003.1.3 MANUAL TRANSFER STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BANK...

3003.1.4 VENDING: WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM OR LOCATION OF AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE...

3003.1.5 FIRE-FIGHTERS EMERGENCY OPERATION: ELEVATORS SHALL BE PROVIDED WITH PHASE 1 EMERGENCY RETRIEVAL OPERATION AND PHASE 2 EMERGENCY IN-CAR OPERATION...

3003.1.6 MANUAL TRANSFER STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BANK...

3003.1.7 ONE ELEVATOR: WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 40 SECONDS AFTER FAILURE OF NORMAL POWER...

3003.1.8 MANUAL TRANSFER STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BANK...

3003.1.9 VENDING: WHERE STANDBY POWER IS CONNECTED TO ELEVATORS, THE MACHINE ROOM OR LOCATION OF AIR CONDITIONING SHALL BE CONNECTED TO THE STANDBY POWER SOURCE...

3003.1.10 FIRE-FIGHTERS EMERGENCY OPERATION: ELEVATORS SHALL BE PROVIDED WITH PHASE 1 EMERGENCY RETRIEVAL OPERATION AND PHASE 2 EMERGENCY IN-CAR OPERATION...

3003.1.11 MANUAL TRANSFER STANDBY POWER SHALL BE MANUALLY TRANSFERABLE TO ALL ELEVATORS IN EACH BANK...

3003.1.12 ONE ELEVATOR: WHERE ONLY ONE ELEVATOR IS INSTALLED, THE ELEVATOR SHALL AUTOMATICALLY TRANSFER TO STANDBY POWER WITHIN 40 SECONDS AFTER FAILURE OF NORMAL POWER...



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CLIENT RDS CONTRACTING INC.

12064 WOODSIDE AVE, STE 102 LAKESIDE, CA 92040

PROJECT TITLE UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE SAN DIEGO, CA

SHEET TITLE

ZONING REQUIREMENTS



SDMC SECTION 155.0244 COMPLIANCE. Table with 3 columns: CATEGORY, ARCHITECTURAL FEATURE OPTIONS, ARCHITECTURAL FEATURE(S) CHOSEN. Rows include (A) TRANSPARENCY, (B) OFFSETS, MATERIAL, AND SECURITY BARS, (C) DETAILING AND SHADING, (D) ROOF TREATMENTS AND LANDSCAPING, (E) SIGNS, and TOTAL ARCHITECTURAL FEATURES CHOSEN.



CAP STRATEGIES CONSISTENCY

STRATEGY 1: ENERGY & WATER EFFICIENT BUILDINGS. 1. COOL/GREEN ROOFS: THE PROJECT WOULD INCLUDE ROOFING MATERIALS WITH MINIMUM 3- YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE PER CG8SC...

2. PLUMBING FIXTURES & FITTINGS: THE PROJECT WOULD INCLUDE THE FOLLOWING PLUMBING FIXTURES AND THEY WOULD NOT EXCEED THE FOLLOWING MAXIMUM FLOW RATES, IN ACCORDANCE WITH TABLE 2 OF ATTACHMENT 'A' AND IN COMPLIANCE WITH CG8SC AND CPC:

- LAVATORY FAUCETS = 0.35 GPM @ 60 PSI
KITCHEN FAUCETS = 1.6 GPM @ 60 PSI
GRAVITY TANK-TYPE WATER CLOSETS = 1.12 GALLONS/FLUSH
FLUSHOMETER TANK WATER CLOSETS = 1.12 GALLONS/ FLUSH
FLUSHOMETER VALVE WATER CLOSETS = 1.12 GALLONS/ FLUSH

REFER TO NOTE ON SHEET A2.4 & PLUMBING FIXTURES ON SHEET A2.5

STRATEGY 3: BICYCLING, WALKING, TRANSIT & LAND USE

3. ELECTRIC VEHICLE CHARGING: AS A NON-RESIDENTIAL PROJECT, THE DEVELOPMENT WOULD INCLUDE ONE (1) FUTURE EV SPACE [EV CAPABLE], AS REQUIRED PER GBC TABLE 5.106.5.3.3, WITH A 40-AMP MINIMUM SERVICE PANEL WITH RACEWAY FOR FUTURE INSTALLATION OF EVSE PER GBC 5.106.5.3. REFER TO SITE PLAN SHEET A1.0 FOR LOCATION OF EV CAPABLE STALL, EV STALL REQUIREMENT CALCULATION & NOTES.

4. BICYCLE PARKING SPACES: THIS PROJECT IS NON-RESIDENTIAL WITH FEWER THAN 10 EMPLOYEES, SO IT IS NOT REQUIRED TO PROVIDE LONG-TERM BICYCLE PARKING SPACES. THE PROJECT WOULD PROVIDE A TOTAL OF 15 SHORT TERM AND 1 LONG TERM BICYCLE PARKING SPACES. THEREFORE, THE PROJECT WOULD PROVIDE MORE BICYCLE PARKING SPACES THAN REQUIRED. REFER TO SITE PLAN A1.0 FOR BICYCLE PARKING CALCULATION & LOCATION (BOTH SHORT AND LONG TERM).

5. SHOWER FACILITIES: NOT APPLICABLE

6. DESIGNATED PARKING SPACES: THE PROJECT IS NOT WITHIN A TPA. HOWEVER, THE PROJECT WOULD PROVIDE FOR 17 STANDARD PARKING SPACES, WHICH WOULD INCLUDE 1 DESIGNATED PARKING SPACE FOR USE BY LOW-EMITTING FUEL-EFFICIENT, AND/ OR CARPOOL/ VANPOOL VEHICLES. REFER TO SHEET A1.0 FOR CALCULATION AND LOCATION OF FUEL-EFFICIENT STALL.

7. TRANSPORTATION DEMAND MANAGEMENT PROGRAM: NOT APPLICABLE.



TABLE 131 - 05E DEVELOPMENT REGULATIONS FOR CC ZONES. Table with 4 columns: REQUIRED, PROVIDED, COMPLIANCE. Rows include MAX PERMITTED RESIDENTIAL DENSITY, SUPPLEMENTAL RESIDENTIAL REGULATIONS, LOT AREA, LOT DIMENSIONS, SETBACK REQUIREMENTS, MAX STRUCTURE HEIGHT, MIN LOT COVERAGE, MAX FLOOR AREA RATIO, GROUND FLOOR HEIGHT, PEDESTRIAN PATHS, TRANSPARENCY, BUILDING ARTICULATION, PARKING LOT ORIENTATION, REFUSE AND RECYCLABLE MATERIAL STORAGE, LOADING DOCK AND OVERHEAD DOOR SCREENING REGULATIONS.

FOOTNOTES

- 1. A VARIANCE IS BEING REQUESTED FOR SETBACK COMPLIANCE ALONG UNIVERSITY AVE AND 51ST STREET.
2. OVERHEAD DOORS ARE NOT PROPOSED FOR THIS PROJECT. BUILDING LOADING AND ACCESS IS THROUGH STOREFRONT GLASS DOORS.

Revision table with columns: DELTA, REVISION, DATE. Rows include PLAN CHECK #1, PLANNING PLAN CHECK, PLANNING PG #2, PLANNING PG #4, PLANNING PG #4, PLANNING PG #4.

DRAWN/CHK BY: JG/ VAG

DATE: 06/05/20

JOB NO.:

SHEET NUMBER

GN.5



DELTA	REVISION	DATE
▲	PLAN CHECK	8/16/2022
▲	PLANNING PLAN CHECK	10/29/2022
▲	PLANNING P.G. #2	10/29/2022
▲	PLANNING P.G. #3	8/22/2022
▲	PLANNING P.G. #4	10/12/2022
▲	PLANNING P.G. #4	10/11/2022
▲	PLANNING P.G. #4	6/28/2022
▲	PLANNING P.G. #4	12/18/2022

DRAWN/CHK BY: JG/VAG

DATE: 06/05/20

JOB NO.:

SHEET NUMBER

NOTES:

1. PEDESTRIAN PATHS PROVIDED TO THE BUILDING FROM 51ST, 52ND, AND UNIVERSITY PER SDMC 131.0550
2. VISIBILITY AREA IS PROVIDED AT STREET CORNERS AND DRIVENAYS PER SECTION 113.0213. NO OBJECTS HIGHER THAN 24" ALLOWED.

CAP CONSISTENCY ITEMS:

1. ELECTRIC VEHICLE CHARGING: OF THE TOTAL LISTED CABINETS, BOXES OR ENCLOSURES 50% WILL HAVE THE NECESSARY ELECTRIC VEHICLE EQUIPMENT INSTALLED TO PROVIDE ACTIVE ELECTRIC VEHICLE CHARGING STATIONS READY FOR USE.
2. THE PROJECT WILL PROVIDE MORE SHORT AND LONG TERM BICYCLE PARKING SPACES THAN REQUIRED IN THE CITY'S MUNICIPAL CODE (CHAPTER 14, ARTICLE 2, DIVISION 5).
3. PROJECT PROVIDES DESIGNATED PARKING FOR A COMBINATION OF LOW-EMITTING, FUEL EFFICIENT AND CARPOOL/ VANPOOL VEHICLES. SEE CALC AT BOTTOM OF SHEET.

DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT, AND CARPOOL / VAN POOL VEHICLES (TABLES 5.106.5.2 & 5.106.5.3.3 2019 CA GREEN BUILDING STANDARDS CODE)

TOTAL NUMBER OF PARKING SPACES ON-SITE (FOR 17 SPACE ON-SITE) 17 STALLS
TOTAL REQUIRED- CLEAR AIR VEHICLE PER TABLE 5.106.5.2 1 CLEAR AIR VEHICLE STALL (CAV)

TOTAL NUMBER OF PARKING SPACES ON-SITE (FOR 17 SPACE ON-SITE) 17 STALLS
TOTAL REQUIRED- EV CAPABLE PER TABLE 5.106.5.3.3 1 EV CAPABLE STALL (EV)

PARKING TABULATION:

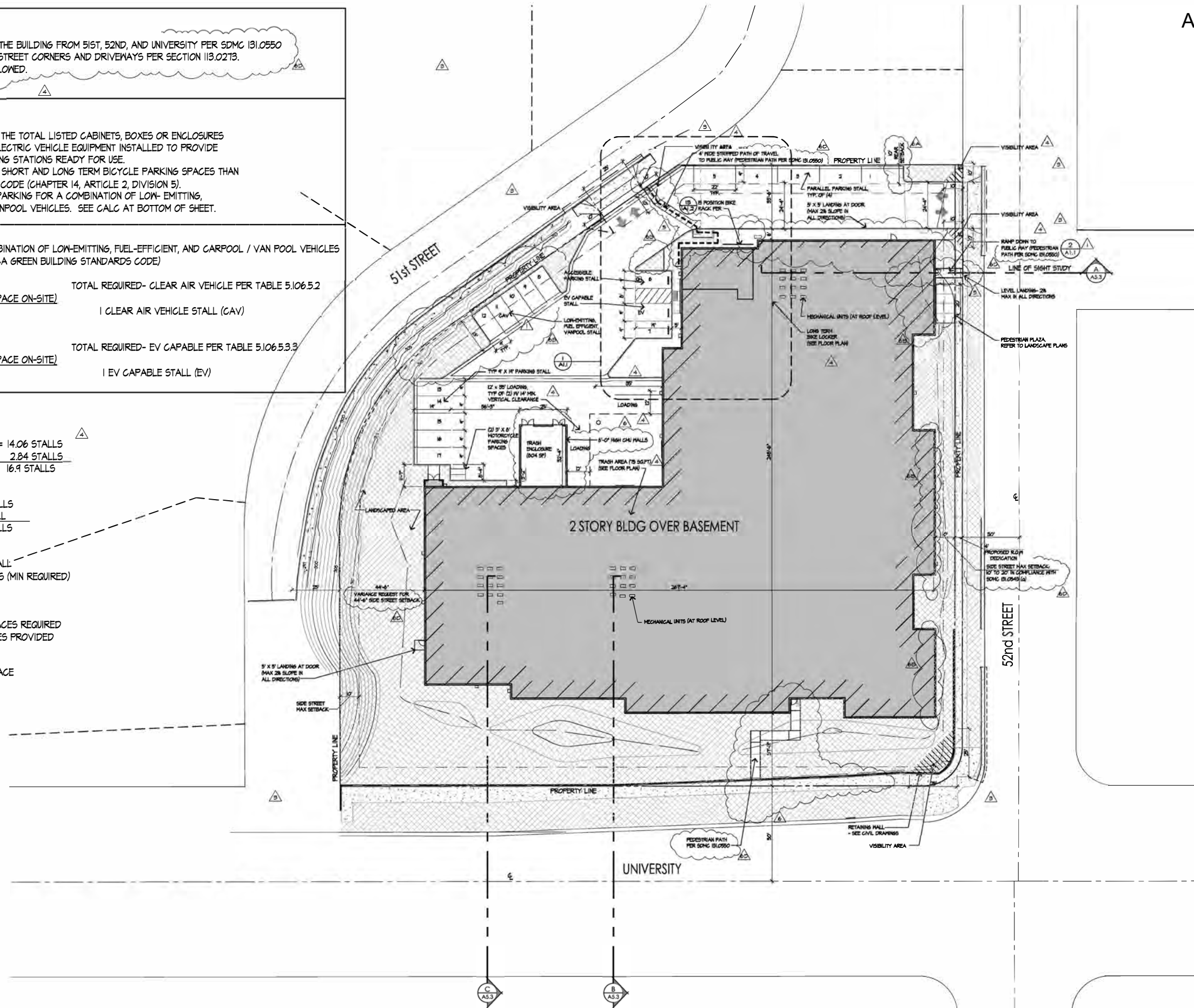
PARKING REQUIRED:
SELF STORAGE: 140,589 SF / 10,000 = 14.06 STALLS
OFFICE: 861 SF / 3.3 per 1000 = 2.84 STALLS
TOTAL REQUIRED: 16.9 STALLS

PARKING PROVIDED:
STANDARD: 16 STALLS
DISABLED: 1 STALL
TOTAL: 17 STALLS

MOTORCYCLE PARKING:
REQUIRED: 17X.02 = .034 STALL
PROVIDED: 2 STALLS (MIN REQUIRED)

BICYCLE PARKING:
SHORT TERM REQUIRED (141,450 SF / 1,000 X .1 = 14.14 SPACES REQUIRED)
SHORT TERM PROVIDED= 15 SPACES PROVIDED

LONG TERM REQUIRED: 17 X .05 = 0.85 SPACE
LONG TERM PROVIDED: 1 SPACE



LEGEND:

PEDESTRIAN PATH:
----- 48" WIDE MIN. WITH 5% MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE





VALLI
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GROUP

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IVINS, UT 84738
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CLIENT
RDS
CONTRACTING INC.

12064 WOODSIDE AVE, STE 102
LAKEVILLE, CA
92040

PROJECT TITLE
UNIVERSITY
SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
ENLARGED
SITE PLAN

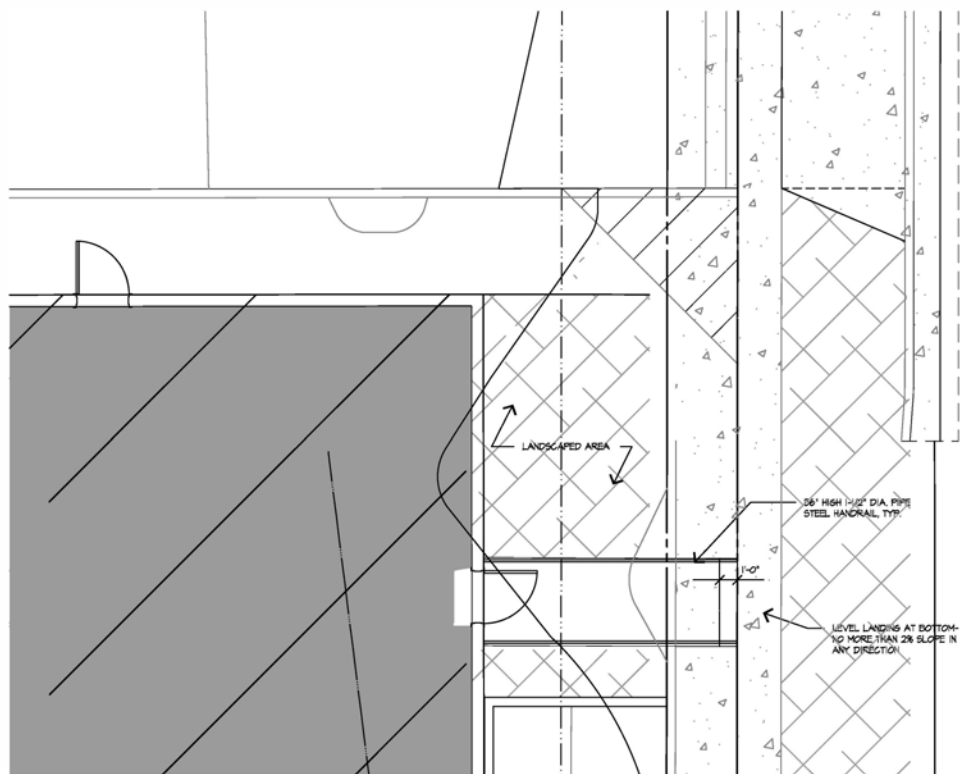


DELTA	REVISION	DATE
△	PLAN CHECK 8/4/2020	
△	PLANNING P.C #2 1/20/2022	
△	PLANNING P.C #3 8/22/2022	

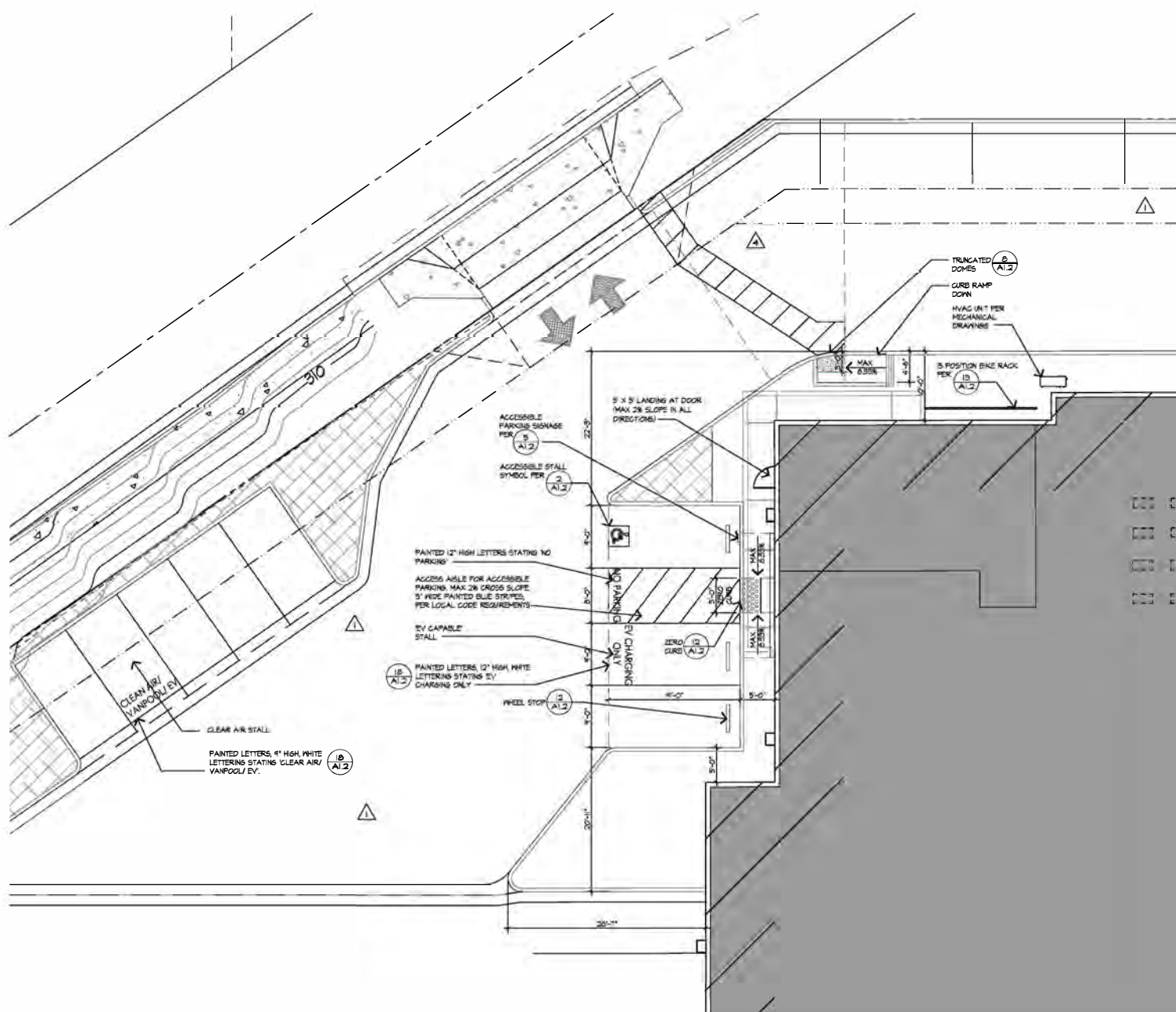
DRAWN/CHK BY: JG/VAG
DATE: 06/05/20
JOB NO.:

SHEET NUMBER

A1.1



ENLARGED RAMP
SCALE: 1/4" = 1'-0" ②



ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0" ①



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LAKEVILLE, CA 92040

PROJECT TITLE
UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

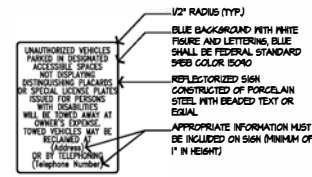
SHEET TITLE
SITE DETAILS



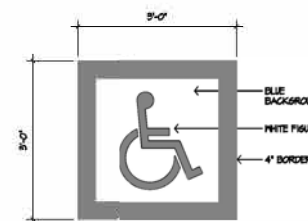
DATE	REVISION	DATE
8/4/2022	PLAN CHECK	
12/20/2022	PLANNING PC #2	

DRAWN/CHK BY: JG/VAG
DATE: 06/05/20
JOB NO.:
SHEET NUMBER

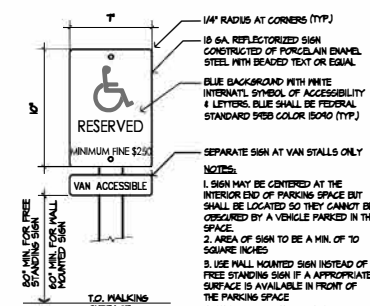
A1.2



SITE ENTRY HANDICAPPED SIGN 1 SCALE: 1" = 1'-0"



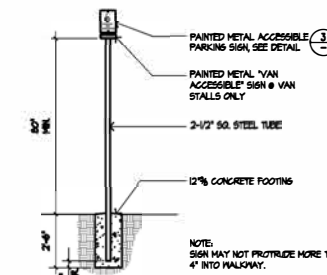
ACCESSIBLE STALL SYMBOL 2 SCALE: 5/8" = 1'-0"



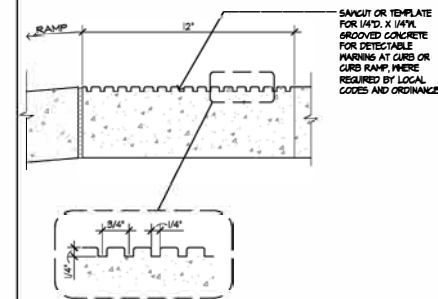
ACCESSIBLE PARKING SIGN 3 SCALE: 2" = 1'-0"



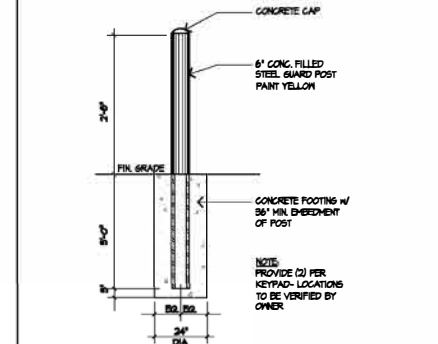
FIRE SIGN 4 SCALE: 2" = 1'-0"



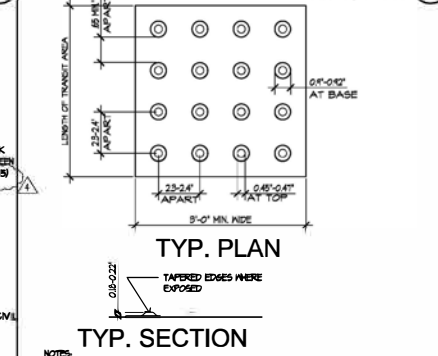
FREE STANDING PARKING STALL SIGN 5 SCALE: 3/4" = 1'-0"



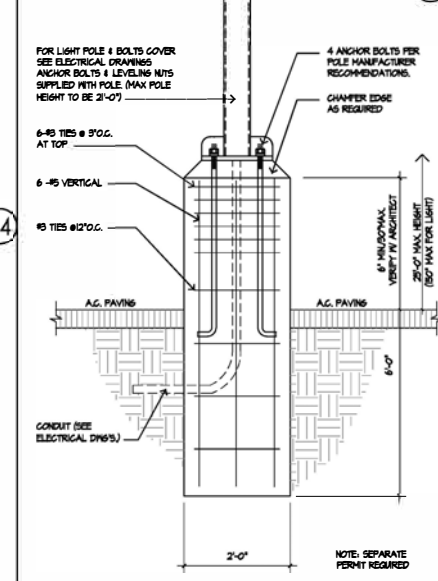
WARNING STRIP 6 SCALE: 3" = 1'-0"



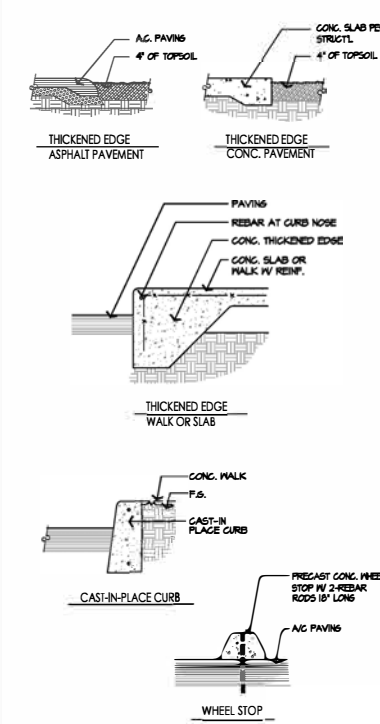
GUARD POST 7 SCALE: 1/2" = 1'-0"



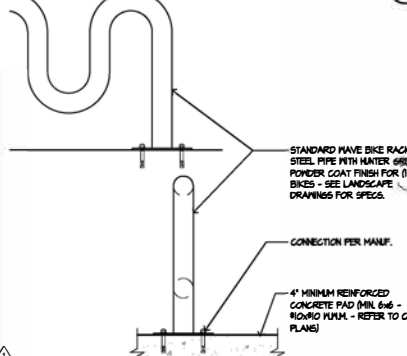
TRUNCATED DOMES 8 SCALE: 3" = 1'-0"



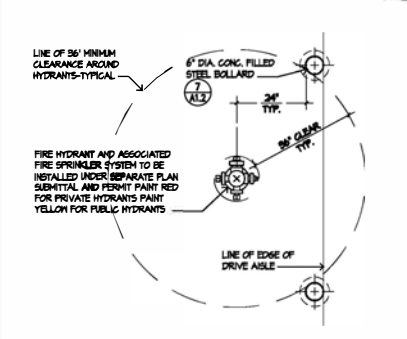
SITE POLE LIGHT BASE 10 SCALE: 5/4" = 1'-0"



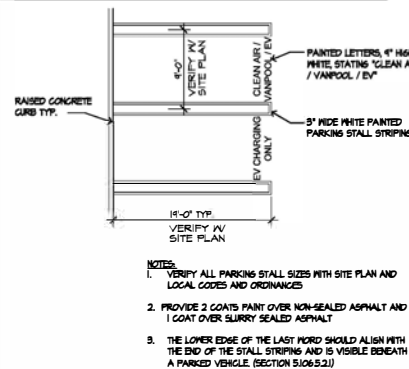
CURB & EDGE OF PAVING DETAILS 12 SCALE: 3/4" = 1'-0"



BIKE RACK 13 SCALE: 1/2" = 1'-0"



FIRE HYDRANT 14 SCALE: 1/2" = 1'-0"

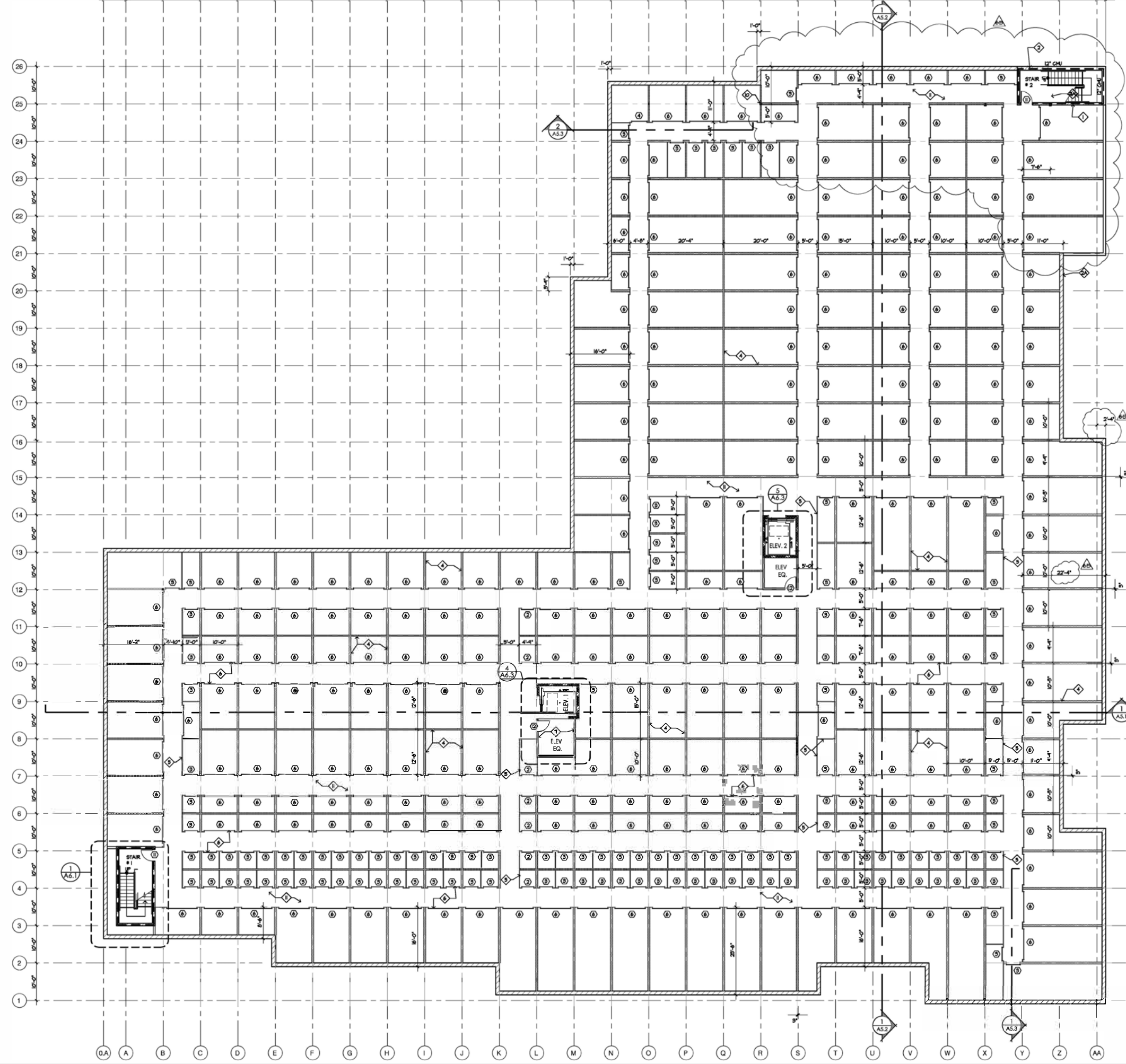


EV/CLEAR AIR STALL MARKING 18 SCALE: 1/2" = 1'-0"



EV/CLEAR AIR STALL MARKING 18 SCALE: 1/2" = 1'-0"

0A A B C D E F G H I J K L M N O P Q R S T U V W X Y Z AA



GENERAL NOTES

- HALLWAY PARTITIONS - JANS CORRUGATED HALLOWAY SYSTEM W/ FLUSH HEADERS TO A HEIGHT OF 8'-0" A.F.F. COLOR: GLOSSY WHITE. INSTALL BRISLAR BARS OVER HALLOWAY SYSTEM @ 8" O.C. TO A HEIGHT OF 36" MAX. MESH OVER STORAGE UNITS.
- INTERNAL STORAGE UNIT PARTITIONS SHALL EXTEND FROM FLOOR TO CEILING. ANY DEVIATION FROM THIS INSTRUCTION THAT MIGHT BE REQUIRED TO ACCOMMODATE STRUCTURAL BEAMS, FILING, TOWER SLOPE OF ROOF, OR OTHER CIRCUMSTANCES MUST BE APPROVED BY OWNER.
- ALL SCREWS PROTRUDING THROUGH PARTITION WALLS MUST BE COVERED WITH PLASTIC CAP.
- CONTRACTOR WILL SUBMIT PRIOR TO INSTALLATION FOR OWNER REVIEW AND APPROVAL A HVAC PLAN AND FIRE SPRINKLER PLAN FOR LOCATION AND PLACEMENT OF DUCTS AND PIPES.
- CONCRETE FLOORS IN HALLWAYS SHALL BE MAILED. USE FINISH JOB 35 (AVAILABLE THROUGH ESS HART)
- HALLWAY SYSTEM TO HAVE DIAMOND PLATE CORNER GUARD TO FULL HEIGHT OF HALLWAY SYSTEM (8'-0" A.F.F.)
- PROVIDE SEMI RECESSED PORTABLE FIRE EXTINGUISHER CABINETS AT INTERIOR HALLS AT LOCATIONS FOR PATH OF TRAVEL TO NOT EXCEED SEVENTY-FIVE FEET. VERIFY TYPE AND LOCATION WITH FIRE DISTRICT.
- BOLLARDS ARE TO BE LOCATED @ EXTERIOR CORNERS OF BUILDING TO PROTECT AGAINST VEHICLE DAMAGE.
- EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH AND BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
- NO SMOKING SIGNS SHALL BE PROVIDED AT ALL POINTS OF ENTRY. SIGNAGE SHALL HAVE THE NO SMOKING SYMBOL WITH LETTERS 4" SYMBOL NOT LESS THAN 5" IN HEIGHT. LETTERS SHALL READ THIS IS A NON-SMOKING ESTABLISHMENT. SEE LOCATIONS ON FLOORPLANS.

LEGEND

- 1 HR CHU WALL, 1 HOUR FIRE RATED 8" X 8" X 16" CONCRETE BLOCK WALL AT STAIR & ELEVATOR SHAFTS. (UNLESS NOTED AS 12" CHU AT RETAINING WALLS) (4) (AT.5)
- 12" CHU RETAINING WALL
- METAL PARTITION SYSTEM (NON BEARING) BY DOOR MANUFACTURER TO BE EQUAL TO JANS INTERNATIONAL. CORRUGATED HALLOWAY SYSTEM W/ FLUSH HEADERS TO A HEIGHT OF 8'-0". WHITE COLOR. PROVIDE GALVALUME HORIZONTAL CORRUGATED SIDING AT STORAGE UNIT PARTITION OR METAL SHEAR WALL PER STRUCT. PROVIDE GALVALUME HORIZONTAL CORRUGATED SIDING AT STORAGE UNIT PARTITION. SEE STRUCT. FOR SPACING.
- METAL STUD WALL PER STRUCTURAL, PROVIDE 266 PBU PANEL ONE SIDE -SEE STRUCT.
- 1 HOUR FIRE RATED G6 STUD WALL W/ 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD @ EACH SIDE OF STUD - SEE DETAIL (30) (AT.5)
- SEE SHEET A2.6 FOR DOOR SCHEDULE
- SEE SHEET A2.1 FOR WINDOW SCHEDULE

KEYNOTES

- 8" X 8" X 16" 1 HOUR CHU WALL
- 12" X 8" X 16" 1 HOUR CHU WALL
- 12" X 8" X 16" RETAINING WALL
- METAL STUD WALL W/ R-4 BATT INSULATION
- METAL STUD SHEAR WALL W/ 266 GA PBU PANEL PER STRUCTURAL
- METAL PARTITION SYSTEM BY JANS INTERNATIONAL (SEE LEGEND)
- METAL ROLL UP DOOR PER DOOR SCHEDULE
- 1 HOUR RATED METAL STUD WALL
- NOT USED THIS FLOOR
- NOT USED THIS FLOOR
- COLUMN PER STRUCTURAL
- CONCRETE FLOORING IN HALLWAYS TO BE MAILED PER NOTE 5



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LAKESIDE, CA 92040

PROJECT TITLE
UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
FLOOR PLAN BASEMENT



DATE	REVISION	DATE
01/14/2020	PLAN CHECK	
02/22/2025	PLANNING PC #4	
11/22/2025	PLANNING PC	

DRAWN/CHK BY: JG/VAG
DATE: 06/05/20
JOB NO.:
SHEET NUMBER

BASEMENT
SCALE: 1" = 10'-0"

A2.1

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LAKESIDE, CA 92040

PROJECT TITLE
UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
FLOOR PLAN
1st FLOOR



DATE	REVISION	DATE
6/4/2020	PLAN CHECK	
10/3/2021	PLANNING PLAN CHECK	
1/20/2022	PLANNING PC #2	
10/11/2022	PLANNING PC #4	
6/22/2023	PLANNING PC #4	
1/22/2023	PLANNING PC	

DRAWN/CHK BY: JG/VAG

DATE: 06/05/20

JOB NO.:

SHEET NUMBER

A2.2

GENERAL NOTES

- HALLWAY PARTITIONS: JAMES CORRUGATED HALLWAY SYSTEM W/ FLUSH HEADERS TO A HEIGHT OF 8'-0" A.F.F. COLOR: GLOSSY WHITE. INSTALL BRISLAR BARS OVER HALLWAY SYSTEM @ 8" O.C TO A HEIGHT OF 36" MAX. MESH OVER STORAGE UNITS.
- INTERNAL STORAGE UNIT PARTITIONS SHALL EXTEND FROM FLOOR TO CEILING. ANY DEVIATION FROM THIS INSTRUCTION THAT MIGHT BE REQUIRED TO ACCOMMODATE STRUCTURAL BEAMS, PILING, TOWER SLOPE OF ROOF, OR OTHER OBSTRUCTIONS MUST BE APPROVED BY OWNER.
- ALL SCREWS PROTRUDING THROUGH PARTITION WALLS MUST BE COVERED WITH A PLASTIC CAP.
- CONTRACTOR WILL SUBMIT PRIOR TO INSTALLATION FOR OWNER REVIEW AND APPROVAL A HVAC PLAN AND FIRE SPRINKLER PLAN FOR LOCATION AND PLACEMENT OF DUCTS AND PIPES.
- CONCRETE FLOORS IN HALLWAYS SHALL BE MAILED. USE FINISH JOB 35 (AVAILABLE THROUGH ESS HART)
- HALLWAY SYSTEM TO HAVE DIAMOND PLATE CORNER GUARD TO FULL HEIGHT OF HALLWAY SYSTEM @ -0" A.F.F.
- PROVIDE SEMI RECESSED PORTABLE FIRE EXTINGUISHER CABINETS AT INTERIOR HALLS AT LOCATIONS FOR PATH OF TRAVEL TO NOT EXCEED SEVENTY-FIVE FEET. VERIFY TYPE AND LOCATION WITH FIRE DISTRICT.
- BOLLARDS ARE TO BE LOCATED @ EXTERIOR CORNERS OF BUILDING TO PROTECT AGAINST VEHICLE DAMAGE.
- EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH AND BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
- NO SMOKING SIGNS SHALL BE PROVIDED AT ALL POINTS OF ENTRY. SIGNAGE SHALL HAVE THE NO SMOKING SYMBOL WITH LETTERS 4" SYMBOL NOT LESS THAN 3" IN HEIGHT. LETTERS SHALL READ THIS IS A NON-SMOKING ESTABLISHMENT SEE LOCATIONS ON FLOORPLANS

LEGEND

- 1 HR. CHU MALL: 1 HOUR FIRE RATED 8' X 8' X 16' CONCRETE BLOCK MALL AT STAIR & ELEVATOR SHAFTS.
- 6" EXTERIOR METAL STUD MALL W/ R-H BATT INSULATION
- METAL PARTITION SYSTEM (NON BEARING) BY DOOR MANUFACTURER TO BE EQUAL TO JAMES INTERNATIONAL. CORRUGATED HALLWAY SYSTEM W/ FLUSH HEADERS TO A HEIGHT OF 8'-0" WHITE COLOR. PROVIDE GALVALUME HORIZONTAL CORRUGATED SIDING AT STORAGE UNIT PARTITION OR METAL SHEAR WALL PER STRUCT. PROVIDE GALVALUME HORIZONTAL CORRUGATED SIDING AT STORAGE UNIT PARTITION. SEE STRUCT. FOR SPACING
- METAL STUD SHEAR WALL PER STRUCTURAL. PROVIDE 266 PBI PANEL ONE OR BOTH SIDES - REFER TO STRUCTURAL FOR SHEAR WALL TYPE
- SEE SHEET A2.6 FOR DOOR SCHEDULE
- SEE SHEET A2.1 FOR WINDOW SCHEDULE

KEYNOTES

- 8' X 8' X 16' 1 HOUR CHU MALL
- 12' X 8' X 16' 1 HOUR CHU MALL
- METAL STUD MALL W/ R-H BATT INSULATION
- METAL STUD SHEAR WALL W/ 266 PBI PANEL PER STRUCTURAL
- METAL PARTITION SYSTEM BY JAMES INTERNATIONAL
- METAL ROLL UP DOOR PER DOOR SCHEDULE
- NOT USED THIS FLOOR
- METAL ROLL UP DOOR (DISPLAY ONLY) ATTACHED TO FACE OF METAL HALLWAY PANEL
- VISION GLASS
- COLUMN PER STRUCTURAL
- CONCRETE FLOORING IN HALLWAYS TO BE MAILED PER NOTE 5
- METAL ROOF ABOVE
- DECORATIVE METAL COMPOSITE SIDING WRAPPED BEAM ABOVE
- SPANDREL GLASS W/ 3'-0" METAL STUD MALL ON INTERIOR SIDE
- LONG TERM BIKE STORAGE (8 BIKE)
- TRASH AREA: 96 SQ. FT MINIMUM (12 SQ. FT TRASH + 12 SQ. FT RECYCLING + 12 SQ. FT FOOD WASTE) - (75 SQ. FT PROVIDED)

ACCESSIBLE UNITS LEGEND:

ACCESSIBLE UNIT COUNT AND NOTES:
PER TABLE 1B-225.5
A = ACCESSIBLE UNITS REQUIRED
AN 10M OF 2001 + 28 UNITS OVER 2001
AN 10 + 28(121-200)
AN 10 + 14
24 ACCESSIBLE UNITS REQUIRED

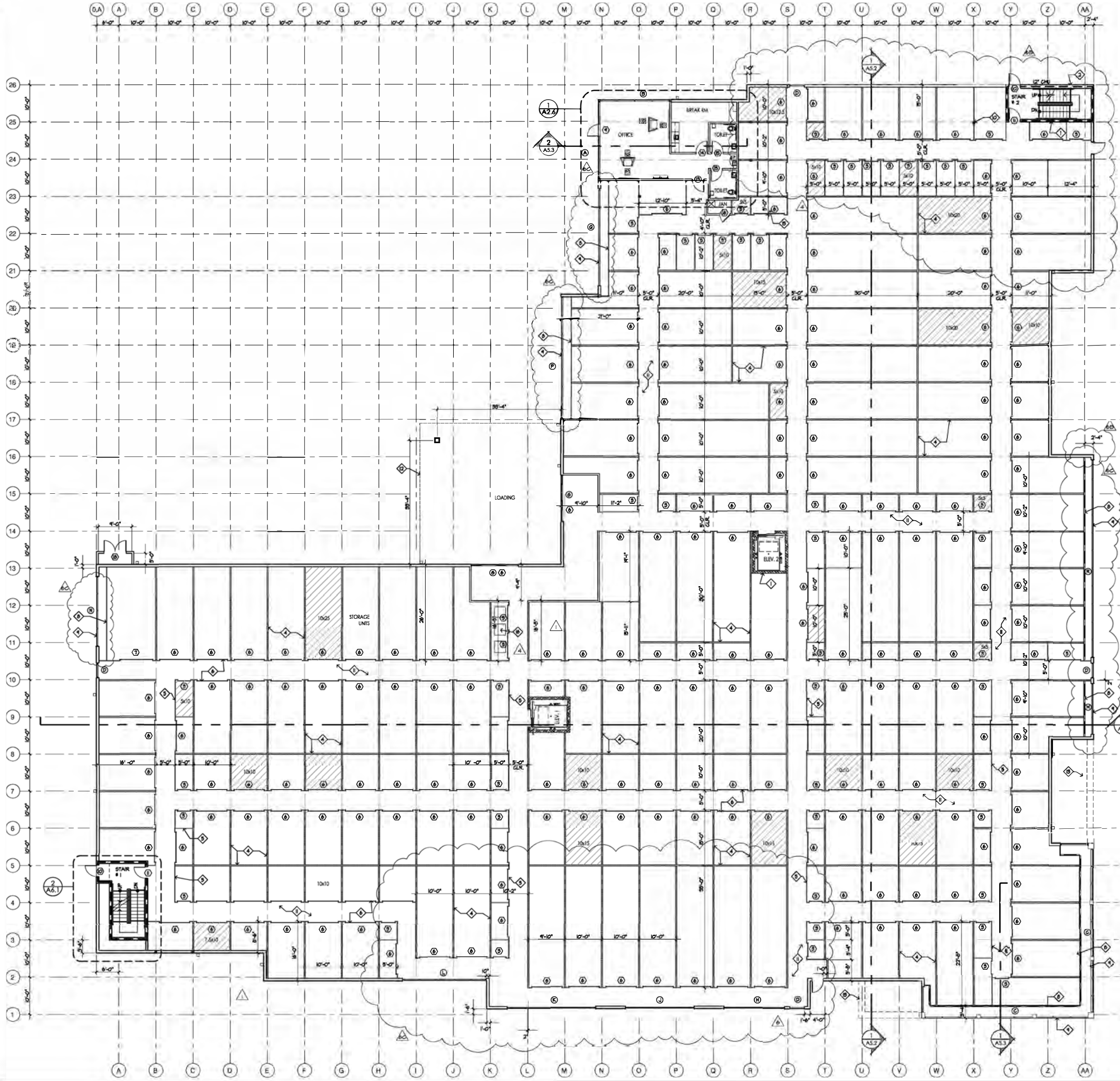
PLEASE SEE DETAIL 1 ON A2.6 AND DOOR TYPE H2 FOR ACCESSIBLE DOOR DETAILS.

ALL ROLL UP DOORS WILL BE OPENABLE OR CLOSEABLE WITH A FORCE NOT TO EXCEED 5 LBS

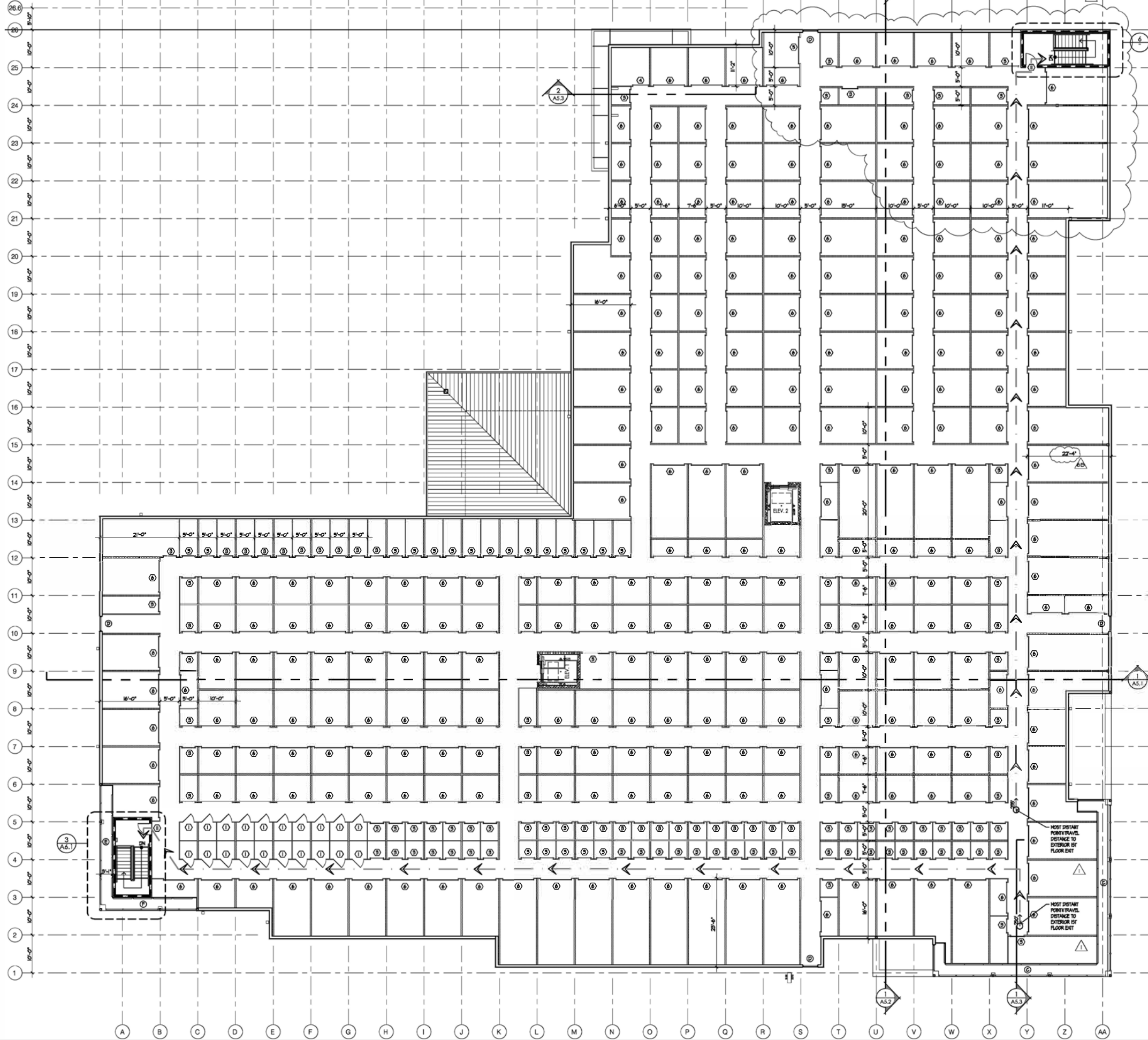
UNITS COUNT:

S15	=	4 UNITS
S10	=	6 UNITS
6S10+	=	1 UNIT
T510+	=	1 UNIT
L010	=	6 UNITS
L015+	=	1 UNIT
L015	=	4 UNITS
L015+	=	1 UNIT
L020	=	3 UNITS
L025	=	1 UNIT
TOTAL	=	24 TOTAL ACCESSIBLE UNITS

1ST FLOOR
SCALE: 1" = 10'-0"



0A A B C D E F G H I J K L M N O P Q R S T U V W X Y Z AA



GENERAL NOTES

ATTACHMENT 10

1. HALLWAY PARTITIONS: JAMES CORRUGATED HALLWAY SYSTEM W/ FLUSH HEADERS TO A HEIGHT OF 8'-0" A.F.F. COLOR: GLOSSY WHITE. INSTALL BRISLAR BARS OVER HALLWAY SYSTEM # 8" O.C. TO A HEIGHT OF 36" MAX. MESH OVER STORAGE UNITS.
2. INTERNAL STORAGE UNIT PARTITIONS SHALL EXTEND FROM FLOOR TO CEILING. ANY DEVIATION FROM THIS INSTRUCTION THAT MIGHT BE REQUIRED TO ACCOMMODATE STRUCTURAL BEAMS, FILING, TOWER SLOPE OF ROOF, OR OTHER CIRCUMSTANCES MUST BE APPROVED BY OWNER.
3. ALL SCREENS PROTRUDING THROUGH PARTITION WALLS MUST BE COVERED WITH A PLASTIC CAP.
4. CONTRACTOR WILL SUBMIT PRIOR TO INSTALLATION FOR OWNER'S REVIEW AND APPROVAL A HVAC PLAN AND FIRE SPRINKLER PLAN FOR LOCATION AND PLACEMENT OF DUCTS AND PIPES.
5. CONCRETE FLOORS IN HALLWAYS SHALL BE MAILED. USE FINISH JOB 35 (AVAILABLE THROUGH ESS HART).
6. HALLWAY SYSTEM TO HAVE DIAMOND PLATE CORNER GUARD TO FULL HEIGHT OF HALLWAY SYSTEM (8'-0" A.F.F.).
7. PROVIDE SEMI RECESSED PORTABLE FIRE EXTINGUISHER CABINETS AT INTERIOR HALLS AT LOCATIONS FOR PATH OF TRAVEL TO NOT EXCEED SEVENTY-FIVE FEET. VERIFY TYPE AND LOCATION WITH FIRE DISTRICT.
8. BOLLARDS ARE TO BE LOCATED @ EXTERIOR CORNERS OF BUILDING TO PROTECT AGAINST VEHICLE DAMAGE.
9. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH AND BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
10. NO SMOKING SIGNS SHALL BE PROVIDED AT ALL POINTS OF ENTRY. SIGNAGE SHALL HAVE THE NO SMOKING SYMBOL WITH LETTERS 4" SYMBOL NOT LESS THAN 9" IN HEIGHT. LETTERS SHALL READ THIS IS A NON-SMOKING ESTABLISHMENT. SEE LOCATIONS ON FLOORPLANS.

LEGEND

- 1 HR. CHU WALL: 1 HOUR FIRE RATED 8 X 8 X 16 CONCRETE BLOCK WALL AT STAIR & ELEVATOR SHAFTS.
- 6" EXTERIOR METAL STUD WALL W/ R-R BATT INSULATION
- METAL PARTITION SYSTEM (NON BEARING) BY DOOR MANUFACTURER TO BE EQUAL TO JAMES INTERNATIONAL. CORRUGATED HALLWAY SYSTEM W/ FLUSH HEADERS TO A HEIGHT OF 8'-0". WHITE COLOR. PROVIDE GALVALUME HORIZONTAL CORRUGATED SIDING AT STORAGE UNIT PARTITION OR METAL SHEAR WALL PER STRUCT. PROVIDE GALVALUME HORIZONTAL CORRUGATED SIDING AT STORAGE UNIT PARTITION. SEE STRUCT. FOR SPACING.
- METAL STUD WALL PER STRUCTURAL, PROVIDE 266 PBU PANEL ONE SIDE -SEE STRUCT.
- SEE SHEET A2.6 FOR DOOR SCHEDULE
- SEE SHEET A2.1 FOR WINDOW SCHEDULE



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RDS
CONTRACTING INC.

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LAKESIDE, CA
92040

PROJECT TITLE
UNIVERSITY
SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
FLOOR PLAN
2nd FLOOR



DELTA	REVISION	DATE
	PLAN CHECK	6/4/2020
	PLANNING PG. #4	6/22/2023

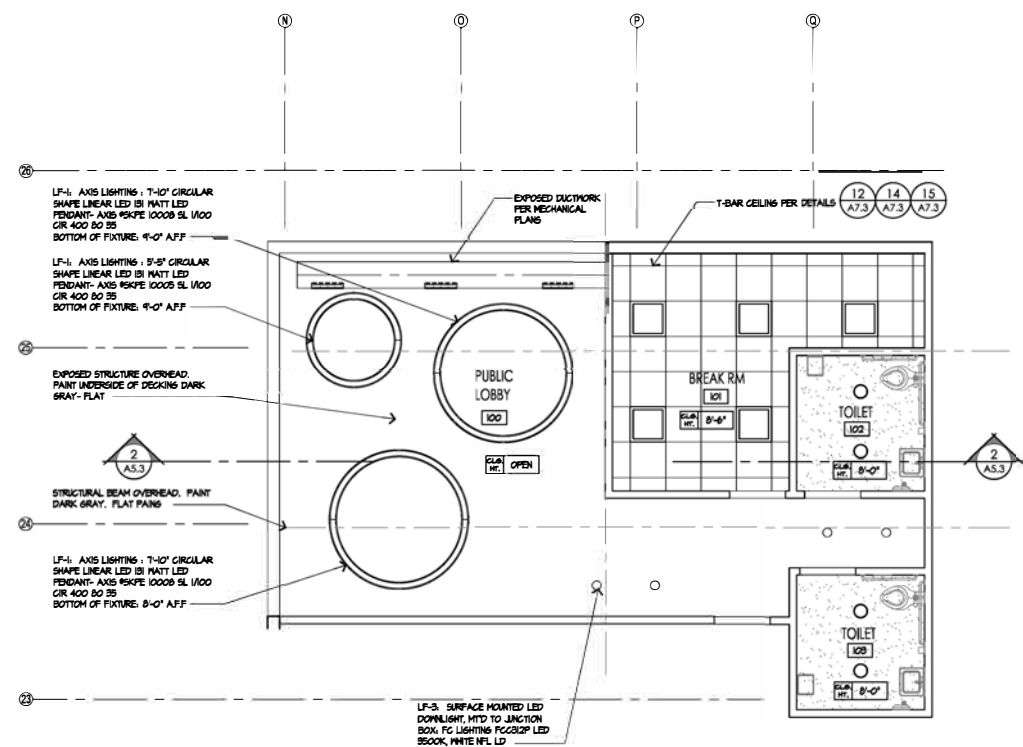
DRAWN/CHK BY: JG/VAG
DATE: 06/05/20
JOB NO.:
SHEET NUMBER

2nd FLOOR
SCALE: 1" = 10'-0"

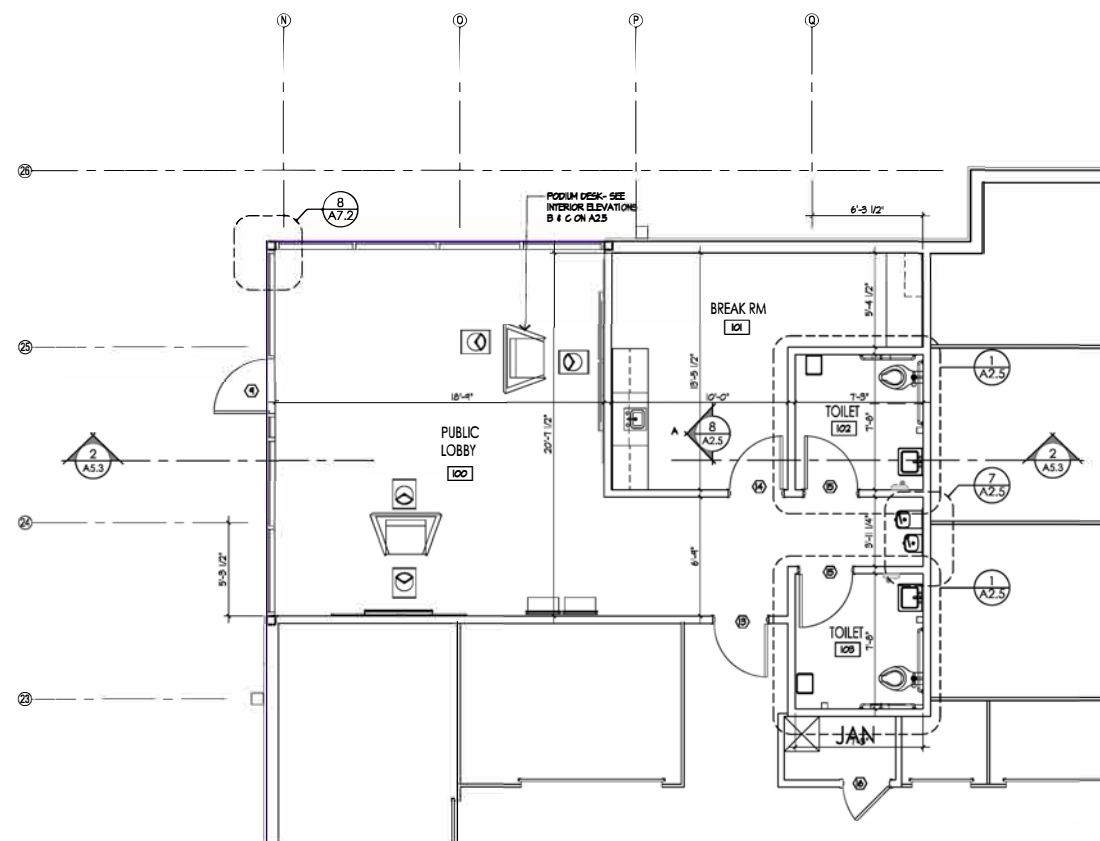
A2.3



CAP NOTE: (STRATEGY 2). THE PROJECT WILL INCLUDE PLUMBING FIXTURES AND FITTINGS THAT DO NOT EXCEED THE MAXIMUM FLOW RATE IN TABLE A8.305.2.B.1 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE. REFER TO PLUMBING DRAWINGS FOR PLUMBING SPECS.



OFFICE- REFLECTED CEILING PLAN
SCALE: 1" = 10'-0"



OFFICE
SCALE: 1" = 10'-0"

DELTA	REVISION	DATE

DRAWN/CHK BY: JG/ VAG

DATE: 06/05/20

JOB NO.:

SHEET NUMBER

A2.4



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LAKEVIEW, CA
92040

PROJECT TITLE
UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
OFFICE TOILET DETAILS & INTERIOR ELEVATIONS



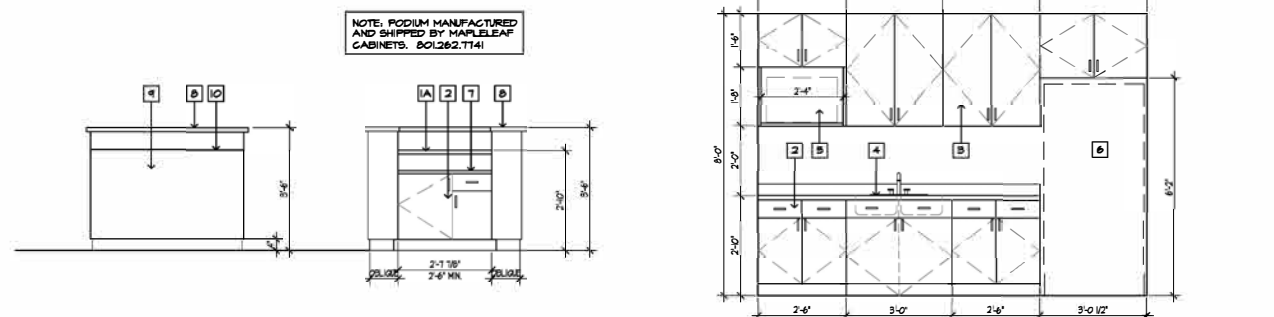
DELTA	REVISION	DATE

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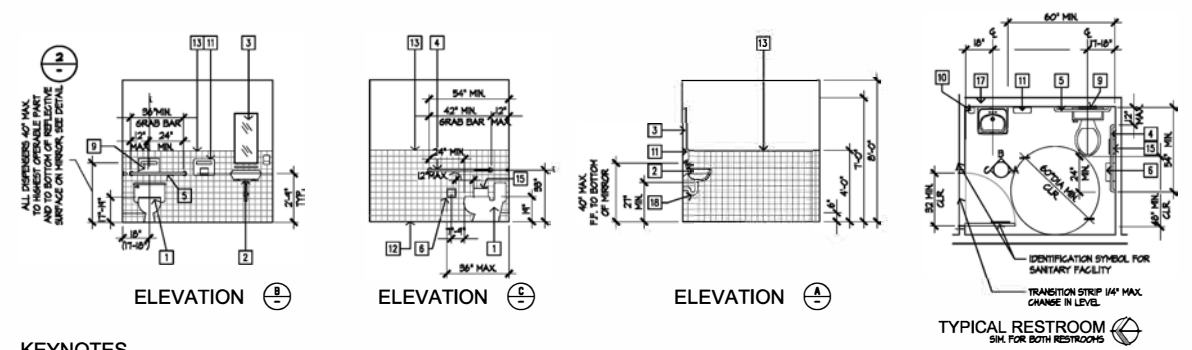
A2.5

H.C. TOILET PLAN AND ELEVATIONS



- KEYNOTES**
- 1 54" HIGH PLASTIC LAMINATE COUNTERTOP WITH 4" BACKSLASH
 - 2 24" D PLASTIC LAMINATE BASE CABINETRY IV 4" WIRE PULLS
 - 3 12" D PLASTIC LAMINATE UPPER CABINETRY IV 4" WIRE PULLS
 - 4 ADA COMPLIANT DROP-IN STAINLESS STEEL KITCHEN SINK IV GARBAGE DISPOSAL
 - 5 P-LAM MICROWAVE SHELF IV 20" DEEP BOTTOM SHELF
 - 6 REFRIGERATOR TO BE SUPPLIED BY TENANT
 - 7 PULL OUT FOR KEYBOARD
 - 8 42" HIGH PLASTIC LAMINATE COUNTERTOP
 - 9 PLASTIC LAMINATE FINISH
 - 10 1/2" ALUMINUM REVEAL

INTERIOR ELEVATIONS 8



- KEYNOTES**
- 1 TOILET, 16 GAL. MAX. PER FLUSH W/ FLUSH ACTIVATOR ON 20" CLEAR ACCESS SIDE
 - 2 LAVATORY - SEE HIC NOTES 4 DETAIL
 - 3 PLATE MIRROR - 18" W X 36" H X 1/4" D
 - 4 40" GRAB BAR - 1 1/2" DIAMETER. SEE NOTES, PROVIDE BACKING TRACK (SEE NOTE 2).
 - 5 36" GRAB BAR - 1 1/2" DIAMETER. INTD. 1/2" CLEAR OF WALL. PROVIDE BACKING TRACK (SEE TIA SCHED. NOTE 2).
 - 6 TOILET TISSUE DISPENSER
 - 7 PROVIDE SOUND BATT INSULATION IN WALL
 - 8 STAINLESS STEEL SHELF
 - 9 SURFACE MOUNTED TOILET SEAT COVER DISPENSER
 - 10 SOAP DISPENSER
 - 11 SURFACE MOUNTED ELECTRIC HAND DRYER
 - 12 FLOOR SURFACES TO BE COMMERCIAL GRADE CERAMIC TILE. FLOOR TO BE SMOOTH, HARD AND NON-ABSORBANT. PROVIDE INTEGRAL COVERED BASE.
 - 13 RESTROOM IMPACT RESISTANT WALLS - CERAMIC TILE MANSOFT TRIMSET OVER 5/8" WATER RESISTANT GYPSUM BOARD TO A MINIMUM HEIGHT OF 48" ABOVE FINISH FLOOR. WALL ABOVE TO BE PAINTED PER FINISH LESSON. BALLSTONE TILE AT TOP. INTEGRALLY COVERED BASE AT FLOOR. ALL WALLS SHALL HAVE A SMOOTH, EASILY CLEANABLE NON-ABSORBANT FINISH.
 - 14 IDENTIFICATION SYMBOLS FOR SANITARY FACILITIES, SEE DETAIL 24.8 (SIB)
 - 15 SANITARY NAPKIN DISPOSAL
 - 16 9"-Ø DIAMETER ACCESSIBLE CLEAR TURNING RADII.
 - 17 2x6 PLUMBING WALL
 - 18 INSL. MIN. 4" DRAIN PIPE PER ADA/2010 CHAP. II

TOILET / ACCESSORIES SCHEDULE

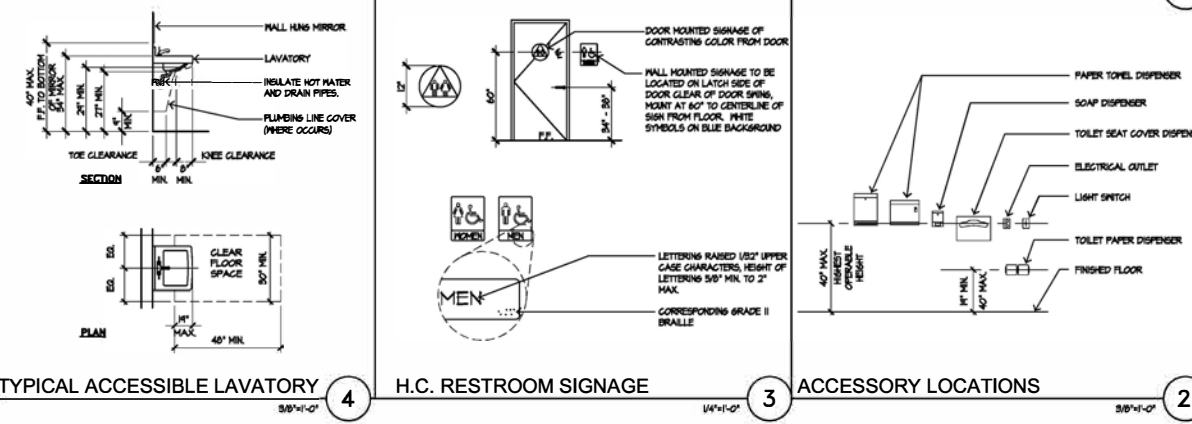
ITEM	HFG.	REMARKS
TOILET PAPER HOLDER	BOBRICK B-2880	TYPE 504 55 / SATIN FINISH
ELEC. HAND DRYER	BOBRICK B-7029	SURFACE MOUNTED
ADA GRAB BARS	BOBRICK B-8008	48" L X 1 1/2" D, 55/ NON-SLIP FINISH (SEE NOTE 2)
MIRROR	BOBRICK B-2910	24" X 36"
SOAP DISPENSER	BOBRICK B-4112	55/ SATIN FINISH
TOILET SEAT COVER DISPENSER	BOBRICK B-221	16" X 11" 55/ SATIN FINISH

(NOTE: 55 = STAINLESS STEEL)
(NOTE 2: PROVIDE BLOCKING TO RESIST 250' LBS. LOAD)

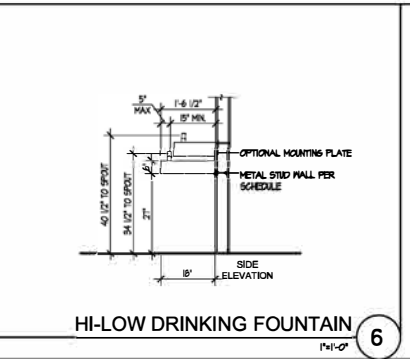
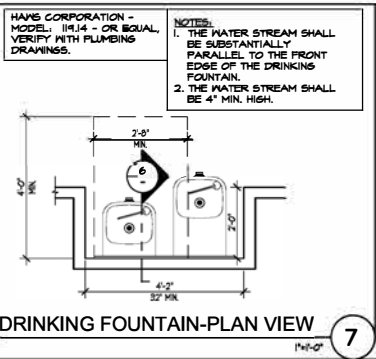
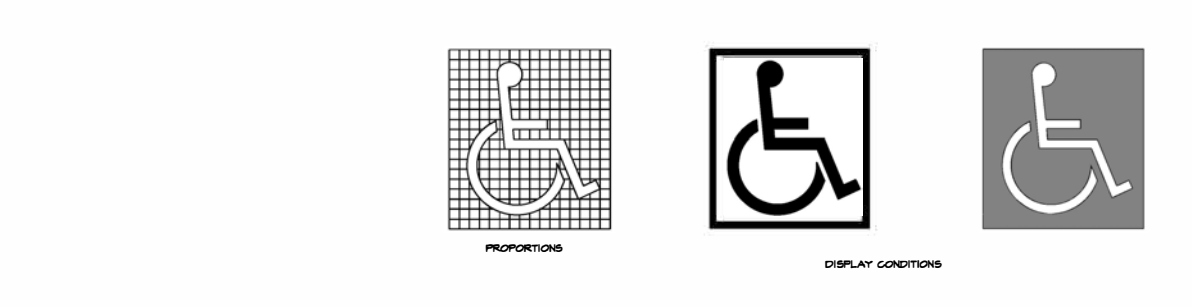
PLUMBING / FIXTURE SCHEDULE

FIXTURE	HFG.	REMARKS
TOILET	KOHLER	112 GALLONS/ FLUSH PER CAP STRATEGIES CONSISTENCY
HAND SINK	KOHLER	0.35 GPM @ 80 PSI PER CAP STRATEGIES CONSISTENCY
HAND SINK FAUCET	SYMONS	WEL-8000-9
55 HGR. HAND SINK	ELKAY	ELKAY
HGR. HAND SINK FAUCET	MOEN	1.6 GPM @ 80 PSI PER CAP STRATEGIES CONSISTENCY
FLOOR SERVICE SINK	FLORESTONE	34"X24"X10" MOLDED STONE HGR2424

(NOTE: ALL PLUMBING TO COMPLY WITH LOCAL CODE AND ADA REQUIREMENTS.)



H.C. SYMBOLS



DRINKING FOUNTAIN-PLAN VIEW 7 **HI-LOW DRINKING FOUNTAIN** 6

ELEVATION KEYNOTES

MATERIAL:		COLOR:
1. HORIZONTAL METAL PANEL: MBCI 7.2 PANEL, COVER WIDTH 36"	11. STANDING SEAM METAL ROOF, SLOPE 1:12	A. COLOR TO MATCH SHERWIN WILLIAMS SW 7508 LOGGON
2. HORIZONTAL METAL PANEL: MBCI PBD PANEL, COVER WIDTH 32"	12. INTERNALLY ILLUMINATED SIGNAGE BY OWNER, GC TO PROVIDE ELECTRICAL CIRCUIT AND COORDINATE FINAL CONNECTIONS.	B. MBCI POLAR WHITE, FINISH: SILICONIZED POLYESTER.
3. VERTICAL METAL SIDING: MBCI 7.2 PANEL, COVER WIDTH 36"	13. BLADE SIGN, WITH INTERNALLY ILLUMINATED SIGNAGE BY OWNER, GC TO PROVIDE STRUCTURAL CONNECTION TO BUILDING COLUMN AND FLASH ALL WALL PENETRATIONS. PROVIDE ELECTRICAL	C. COLOR TO MATCH SHERWIN WILLIAMS SW 7633 TAUPE TONE.
4. VERTICAL METAL SIDING: MBCI PBC PANEL, COVER WIDTH 32"	14. WALL MOUNTED LIGHT FIXTURE.	D. COLOR TO MATCH SHERWIN WILLIAMS SW 7508 TAVERN TAUPE
5. HORIZONTAL METAL SIDING: MBCI DESIGNER SERIES 12" WIDE FLAT, SMOOTH SURFACE	15. CONTINUOUS GUTTER AT ROOF PERIMETER, LEADERS LOCATED ON COLUMNS.	E. NOTUSED
6. ALUMINUM COMPOSITE PANEL OVER STEEL STRUCTURE, MANUFACTURER: ALPOLIC, PRODUCT: ALPOLICPE.	16. STEEL FRAMED CANOPY, STEEL CHANNEL FASCIA, EXPOSED METAL DECK BELOW, TPO MEMBRANE ROOFING, PROVIDE SURFACE MOUNTED UNDER LIGHTING CANOPY.	F. KYNAR 500 OR EQUAL, LIGHT GRAY
7. PREFINISHED METAL SCUPPER WITH COLLECTOR HEAD & DOWNSPOUT, PROVIDE SPLASH BLOCK AT LEADERS IN LANDSCAPE AREA.	17. HOLLOWMETAL DOOR	G. PPG VISTACOLOR AZURIA (2) + CLEAR WITH ARCADIA STOREFRONT SYSTEM, CLEAR ALUMINUM AC-2
8. PREFINISHED METAL COPING, WALL CAP.	18. 1-1/2" FRY REGLET REVEAL	H. HIGH PERFORMANCE COATING SYSTEM, TNEMEC OR EQUAL, COLOR: WHITE.
9. VISION STOREFRONT GLAZING	19. WALL LOUVER PER MECHANICAL DRAWINGS	
9a. SPANDREL STOREFRONT GLAZING		
10. AUTOMATIC ENTRANCE DOOR SYSTEM		

VALLI ARCHITECTURAL GROUP

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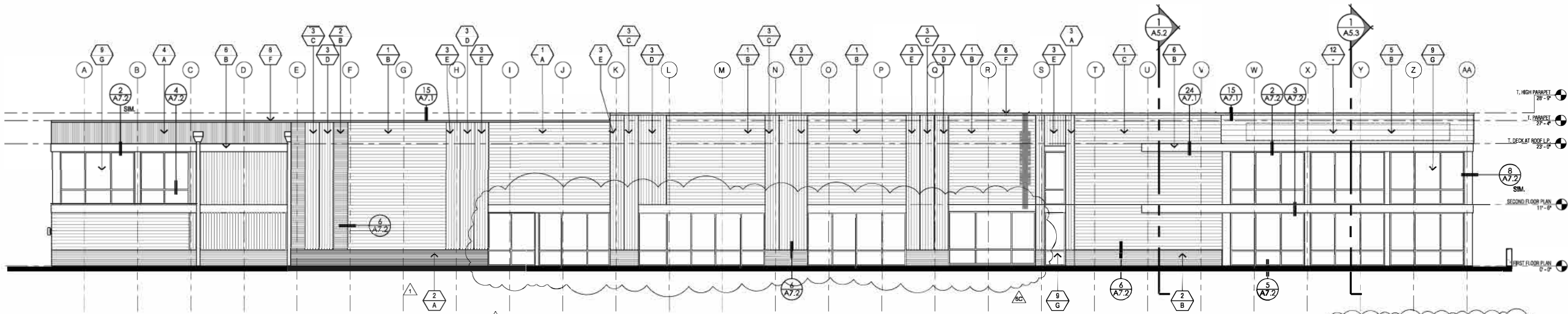
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RDS CONTRACTING INC.

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LAKESIDE, CA 92040

PROJECT TITLE
UNIVERSITY SELF STORAGE

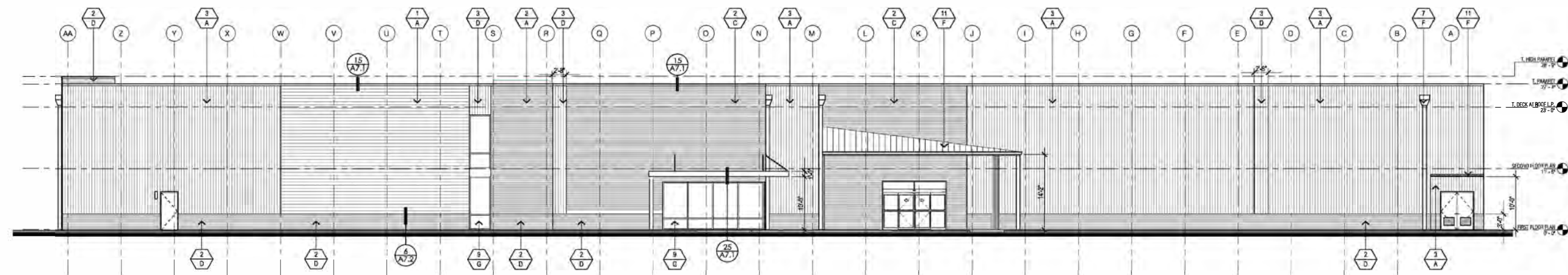
5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE
ELEVATIONS



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

TRANSPARENCY REQUIREMENTS/ CALC:
TOTAL OF ALL GLAZING FROM 3'-10" = 1,603"
TOTAL OF STREET ELEVATION = 3,206"
TOTAL % OF TRANSPARENCY (GLAZING) = 50%



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



DEL. IN	REVISION	DATE
△	PLAN CHECK	04/20/20
△	PLANNING PC #4	10/11/2022
△	PLANNING PC	11/22/2023
△	PLANNING PC	03/04/2024

DRAWN/CHK BY: JG/ VAG
DATE: 06/05/20
JOB NO.:

SHEET NUMBER

A4.1

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SHEET TITLE

BUILDING
ARTICULATION
EXHIBIT

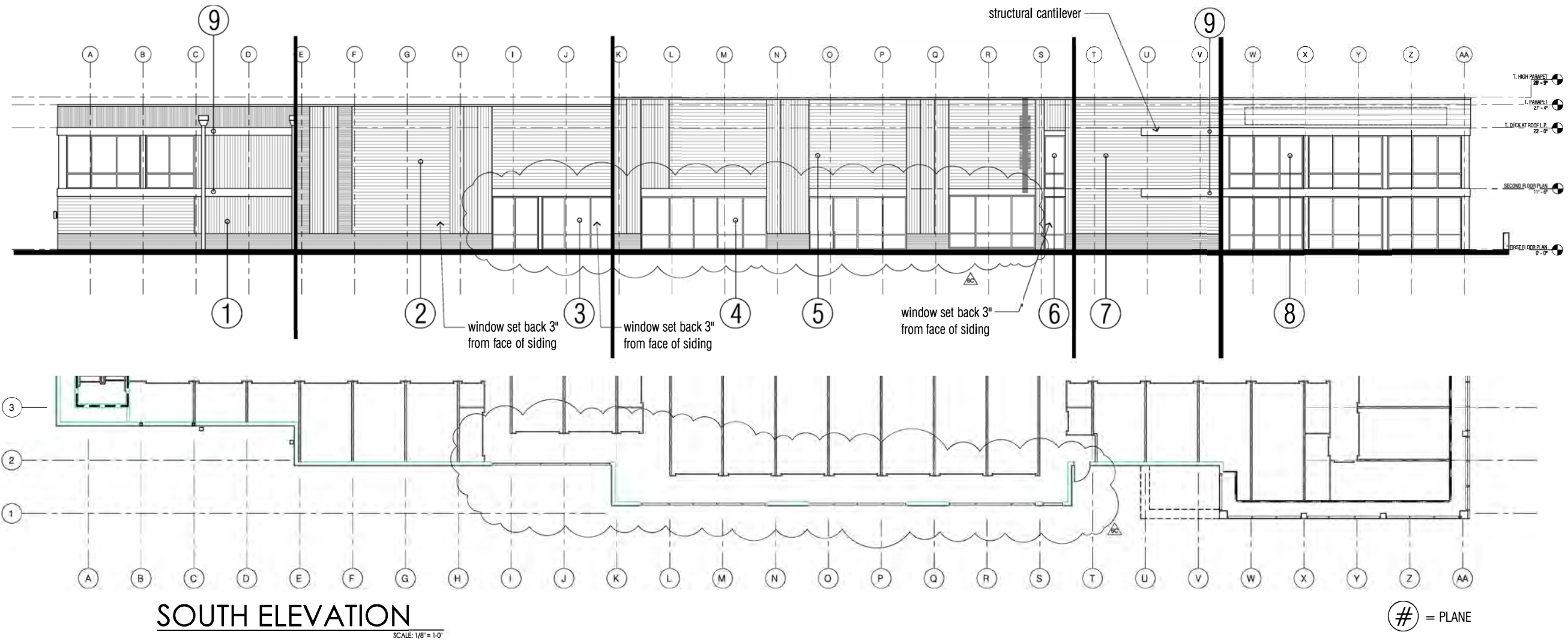
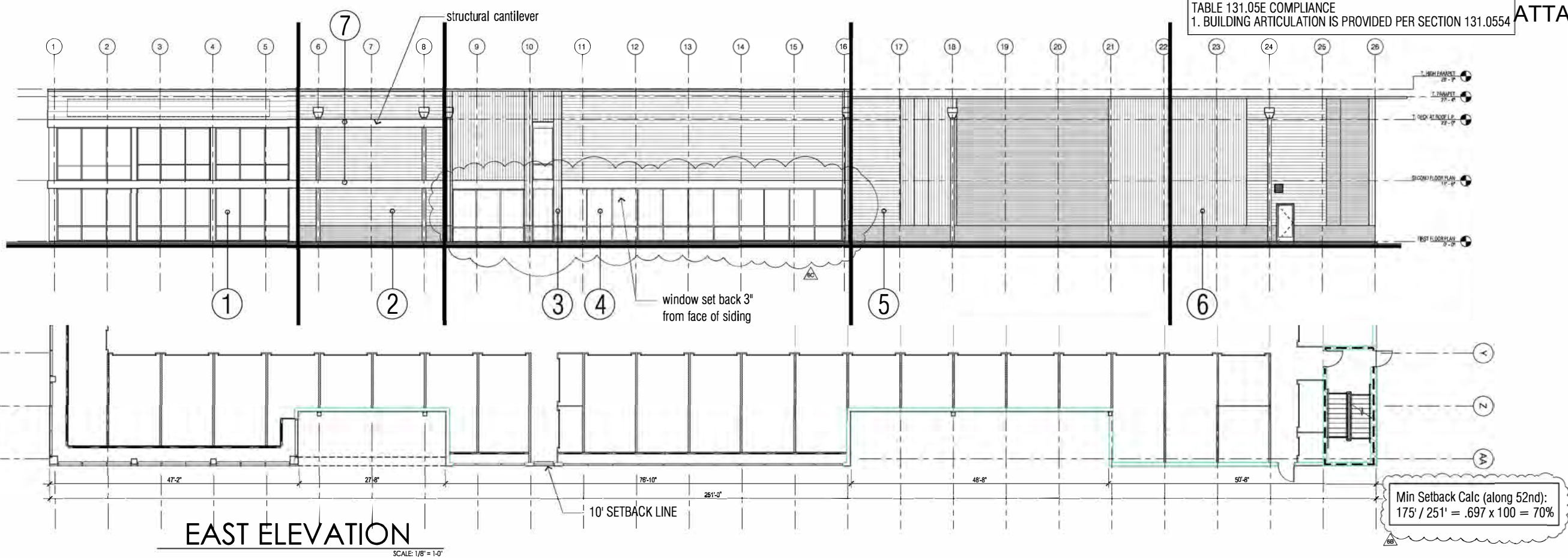


DEL. TN	REVISION	DATE
1	PLANNING PLAN CHECK 10/06/2021	
2	PLANNING PC 4 09/22/2023	
3	PLANNING PC 11/22/2023	

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DATE: 06/05/20
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SHEET NUMBER

A4.3



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SHEET TITLE
SECTIONS



DELTA	REVISION	DATE
AC	PLANNING PC #4	1/22/2023

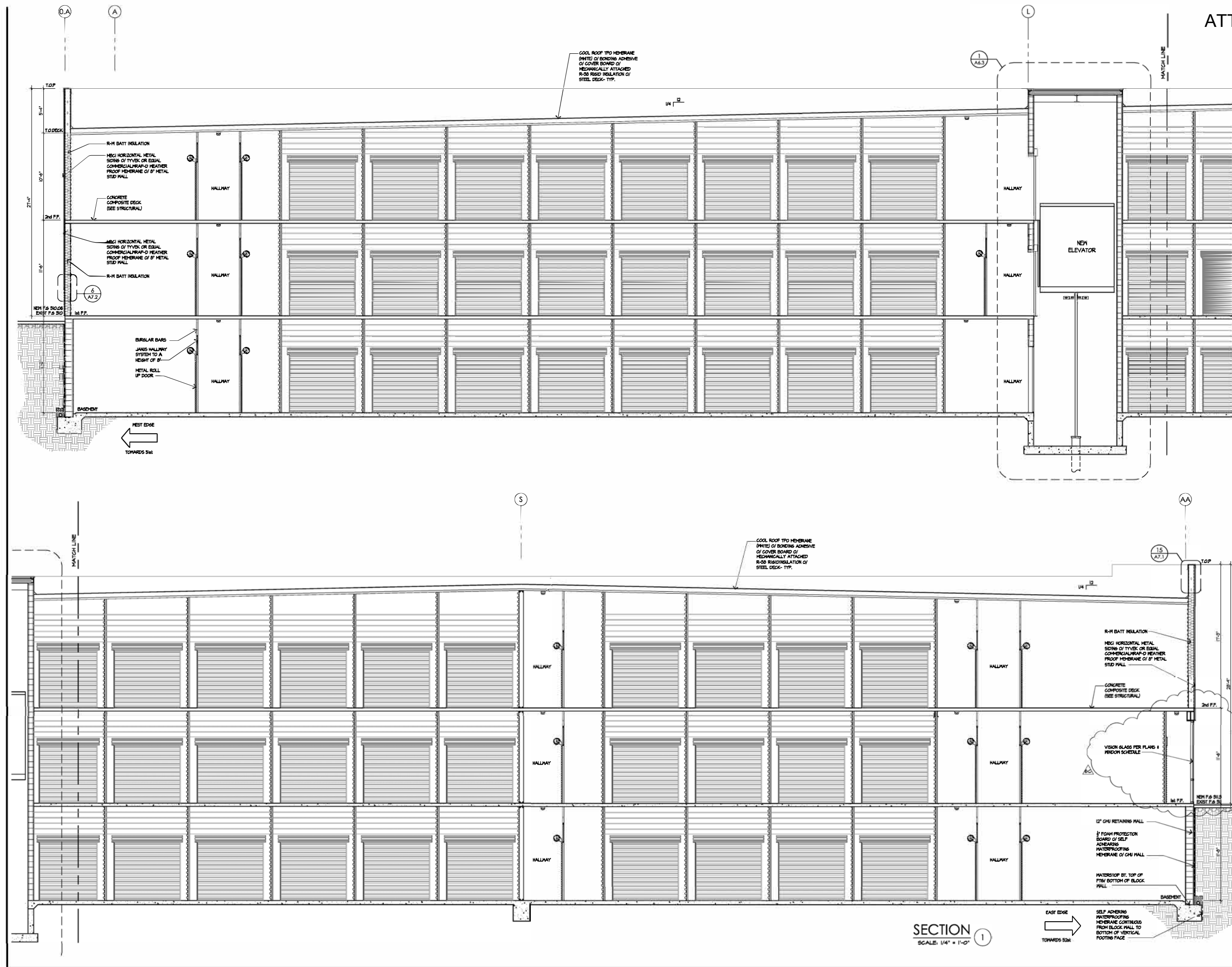
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DATE: 06/05/20

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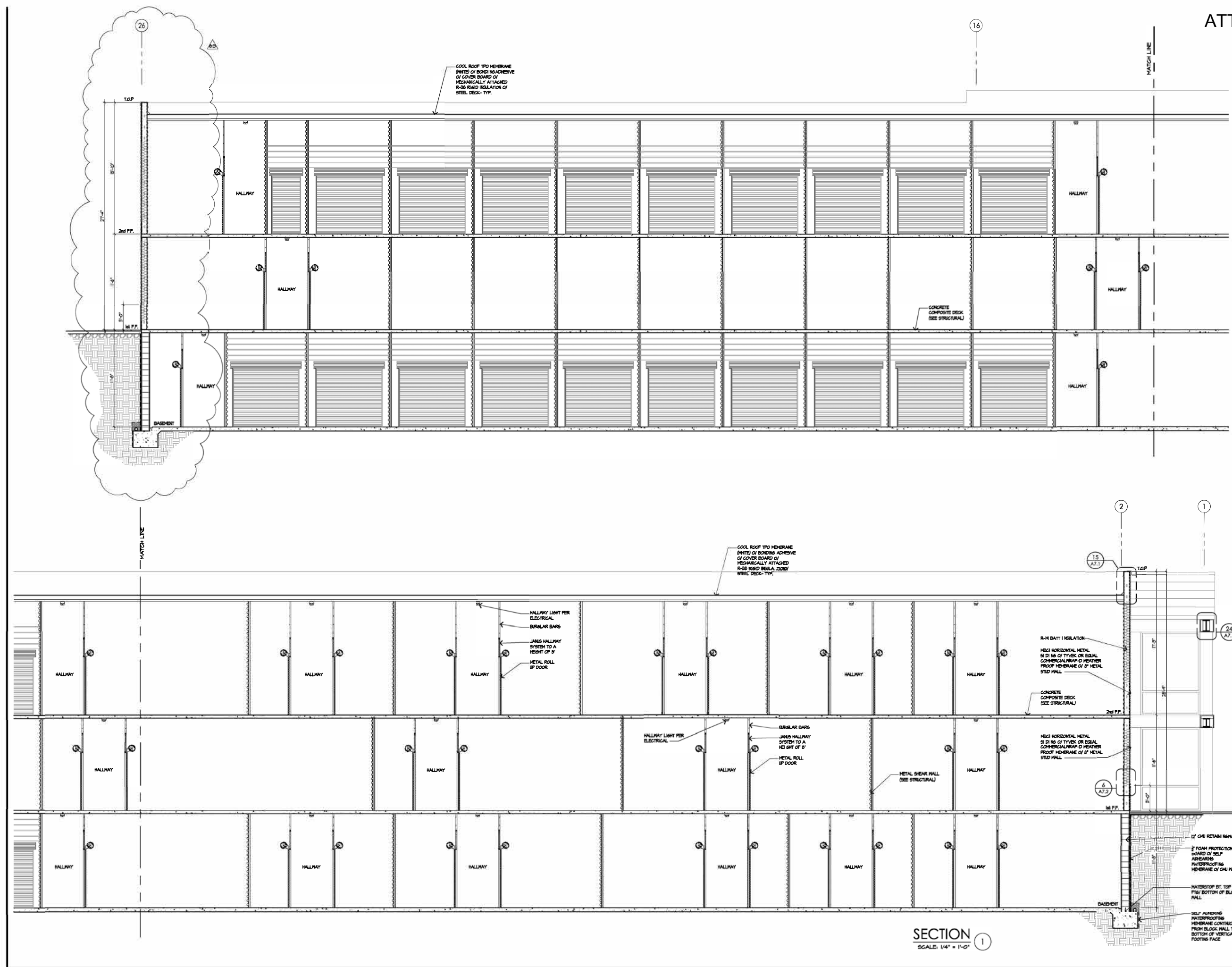
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NO.	REVISION	DATE
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DRAWN/CHK BY: JG/VAG
 DATE: 06/05/20
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A5.2



SECTION 1
 SCALE: 1/4" = 1'-0"



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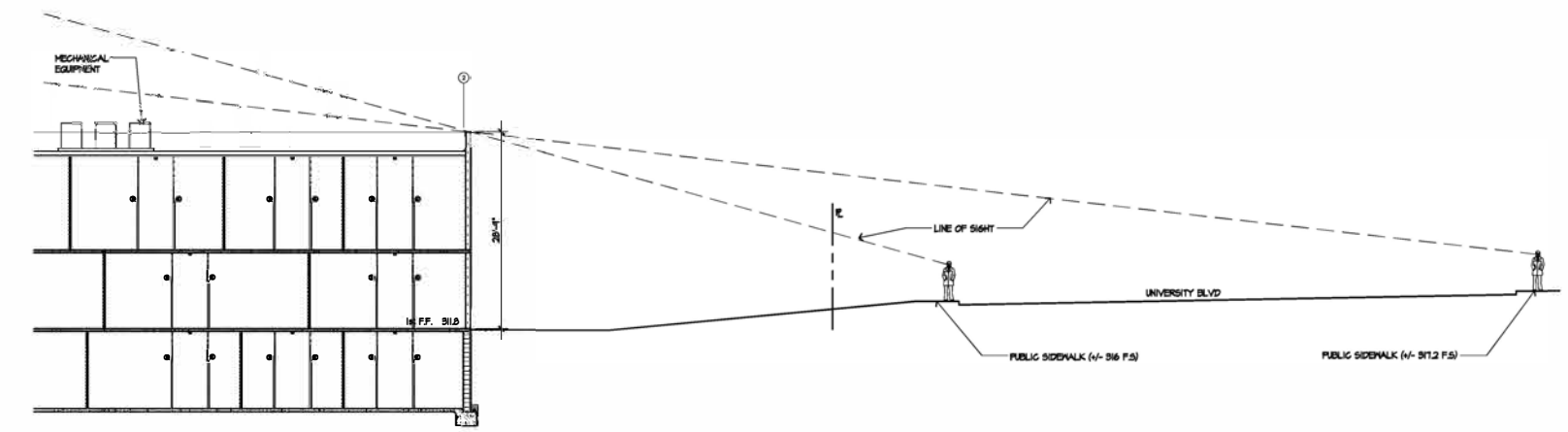
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**SECTIONS
LINE OF SIGHT
SECTIONS**



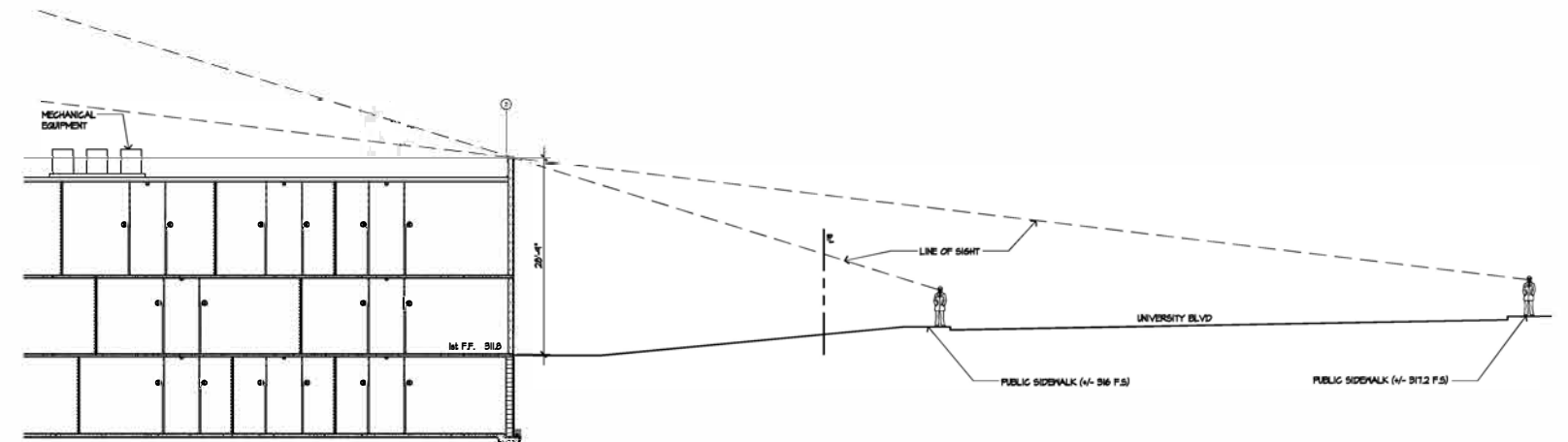
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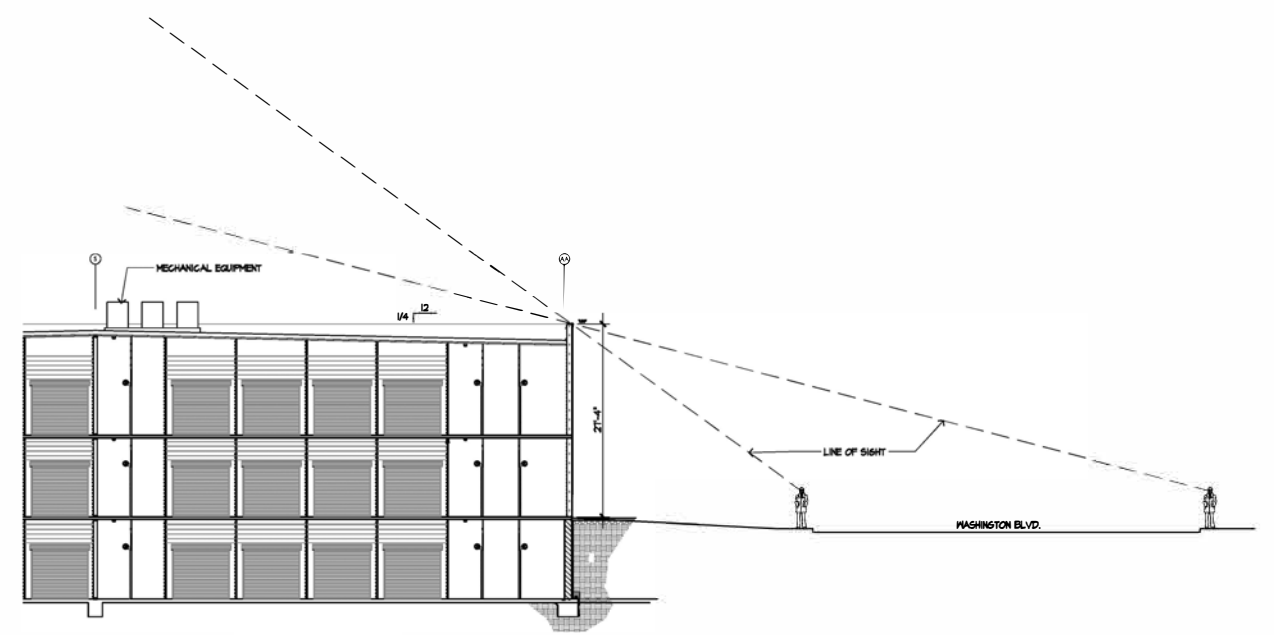
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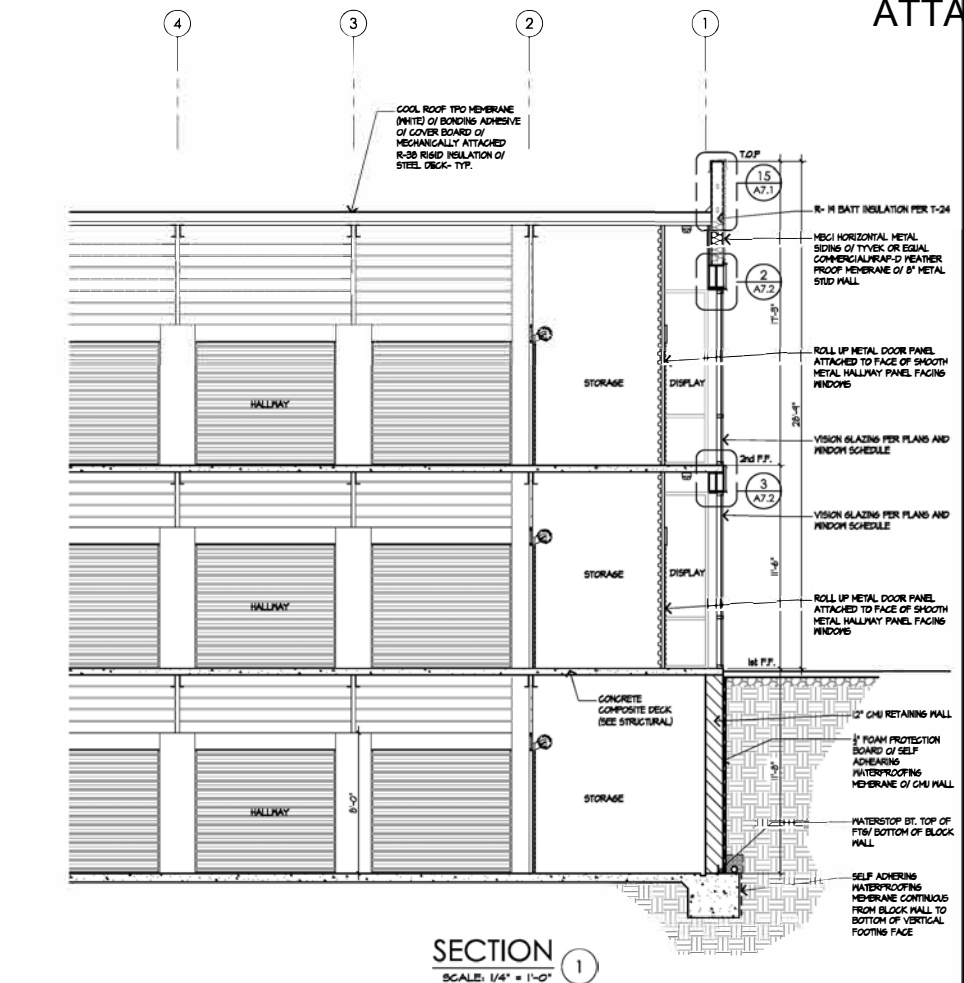
SECTION C
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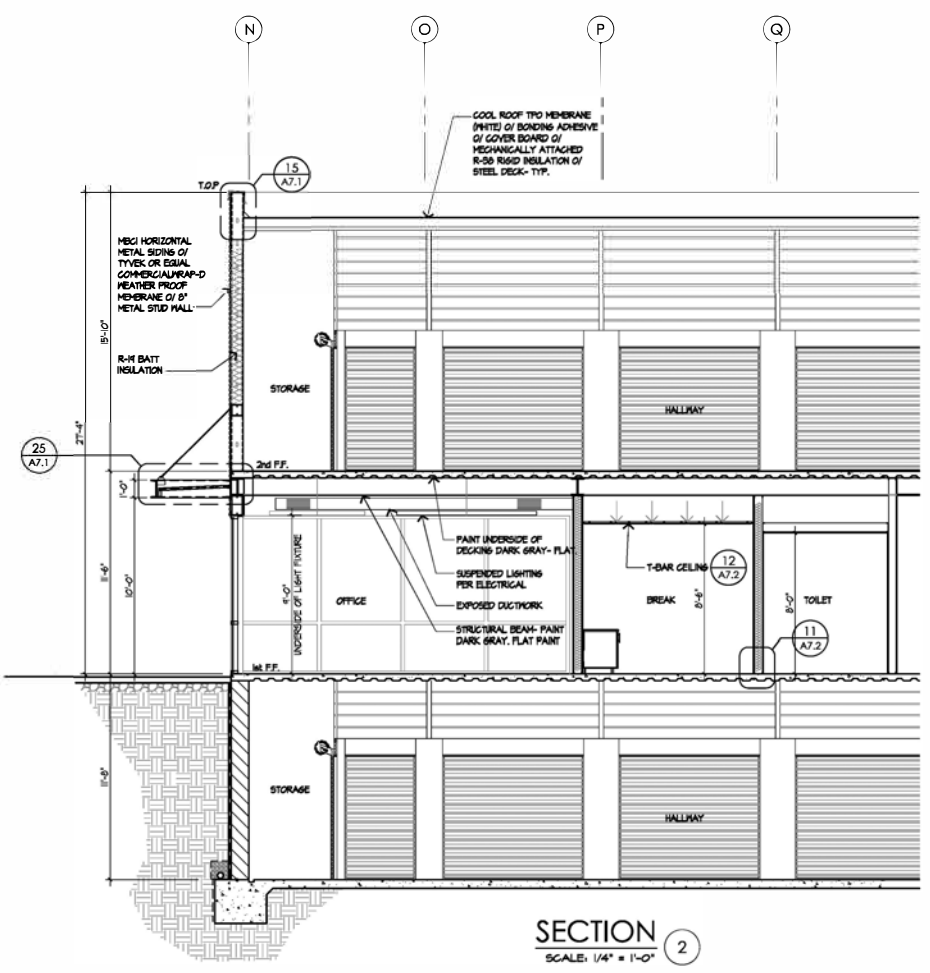
SECTION B
SCALE: 1" = 10'-0"



SECTION A
SCALE: 1" = 10'-0"



SECTION 1
SCALE: 1/4" = 1'-0"



SECTION 2
SCALE: 1/4" = 1'-0"

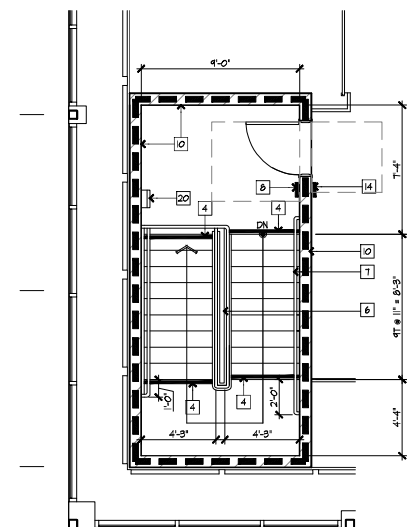


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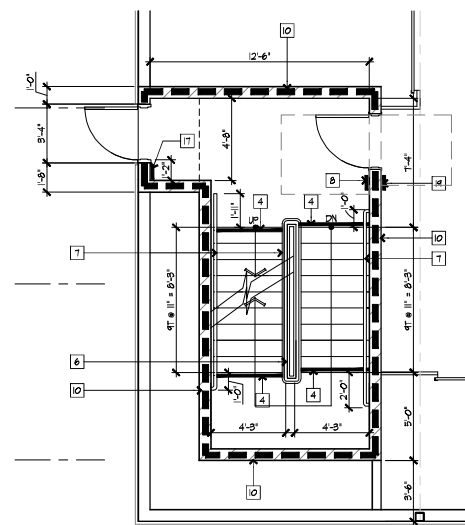
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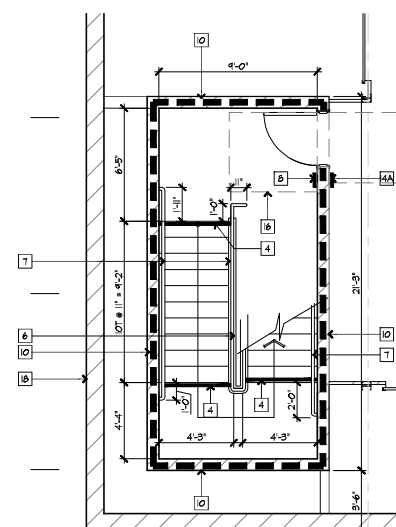
STAIR 1- 2nd FLOOR

SCALE: 1/4" = 1'-0"



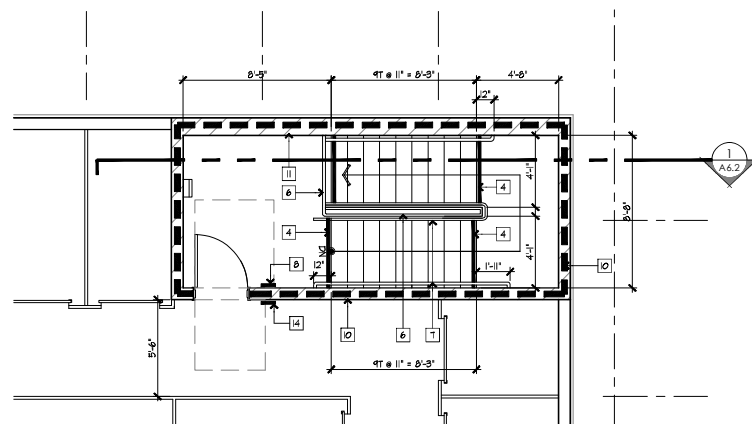
STAIR 1- 1st FLOOR

SCALE: 1/4" = 1'-0"



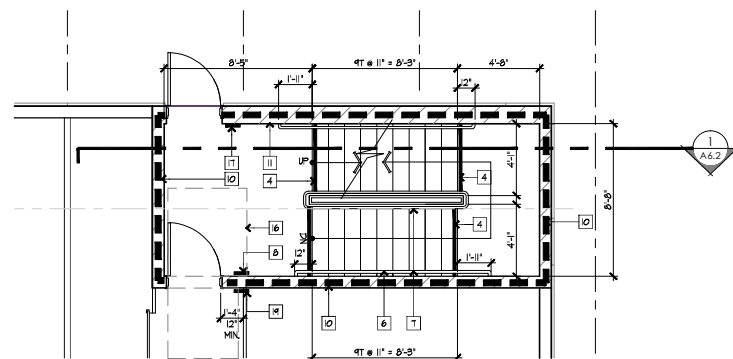
STAIR 1- BASEMENT

SCALE: 1/4" = 1'-0"



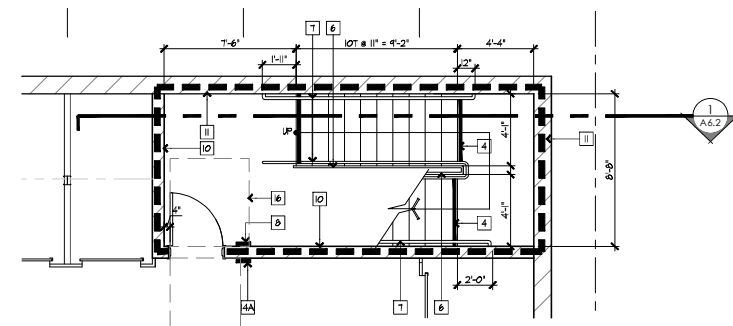
STAIR 2- 2nd FLOOR

SCALE: 1/4" = 1'-0"



STAIR 2- 1st FLOOR

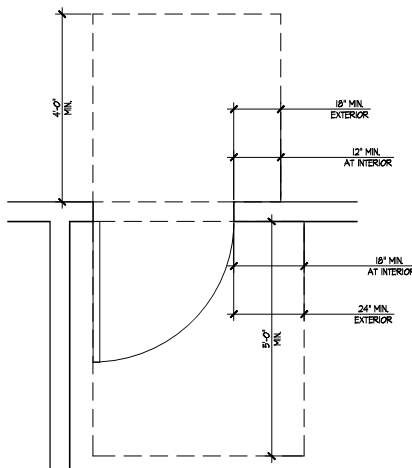
SCALE: 1/4" = 1'-0"



STAIR 2- BASEMENT

SCALE: 1/4" = 1'-0"

TYP. DOOR CLEARANCE



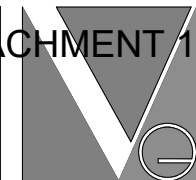
- NOTES:
1. MINIMUM CLEARANCES AT DOORS
INTERIOR: 12" LATCH SIDE (PUSH), 18" STRIKE SIDE (PULL)
EXTERIOR: 18" LATCH SIDE (PUSH), 24" STRIKE SIDE (PULL)
2. AT DOOR THRESHOLDS, THE CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED AT 1:2 MAXIMUM SLOPE.

WALL LEGEND

- 1 HR FIRE RATED 8 X 8 X 16 CONCRETE BLOCK WALL AT 1ST FLOOR WALLS, U.L. 425 - SEE DETAIL
- 1 HR FIRE RATED 12 X 8 X 16 CONCRETE BLOCK WALL AT 1ST FLOOR WALLS, U.L. 425 - SEE DETAIL
- 12 X 8 X 16 CONCRETE BLOCK WALL OR PIER PRECISION CMU (UNO) AT 1ST FLOOR WALLS.
- 6" EXTERIOR METAL STUD WALL W/ R-25 BATT INSULATION
- METAL STUD SHEAR WALL PER STRUCTURAL, PROVIDE 260 PSF PANEL, ONE OR BOTH SIDES - REFER TO STRUCTURAL FOR SHEAR WALL TYPE

STAIR KEYNOTE

- 1 SLIP RESISTANT 1/4" MIN. DIAMOND PLATE W/ STEEL FRAMING @ INTERMEDIATE LANDING
- 2 RISER - SMOOTH STEEL DIAMOND PLATE (PRIMED & PAINTED)
- 3 RATED METAL DOOR (SEE DOOR SCHEDULE)
- 4 2" WIDE STRIP OF CONTRASTING COLOR (LIGHT-DARK STAIR OR DARK-LIGHT STAIR) SET 1" BEHIND RISER FACE AT TOP & BOTTOM OF TREAD NOSING EACH FLIGHT
- 5 REINFORCED CONCRETE COMPOSITE STEEL DECK AT FIRST & SECOND FLOORS (SEE STRUCTURAL)
- 6 3'-6" HIGH GUARDRAIL: 1/2" DIA. STEEL PIPE TOP RAIL, W/ 3/4" SQ. MIN. PICKETS @ 4'-0" O.C. (3'-10" MAX. GAPS) GRIND WELDS SMOOTH
- 7 1/4" DIA. MIN. (1/2" DIA. MAX.) NOMINAL STEEL PIPE HANDRAIL - HANDRAILS & SUPPORTS TO BE SMOOTH, FREE OF ABRASIONS OR SHARP EDGES.
- 8 STAIRWAY IDENTIFICATION SIGN W/ NO ROOF ACCESS NOTE- SEE DETAIL
- 9 SLIP RESISTANT STEEL DIAMOND PLATE TREADS (PRIMED & PAINTED)
- 10 1 HOUR FIRE RATED 8 X 8 X 16 MASONRY WALL
- 11 1 HOUR FIRE RATED 12 X 8 X 16 MASONRY WALL
- 12 3/4" MIN. PICKETS LESS THAN 4" OPENINGS BETWEEN, GRIND WELDS SMOOTH
- 13 CONCRETE SLAB
- 14 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT STAIR DOWN' PER DETAIL
- 15 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT STAIR UP' PER DETAIL
- 16 NON RATED 12 X 8 X 16 MASONRY WALL
- 17 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT ROUTE' PER DETAIL
- 18 ROOF ACCESS LADDER PER DETAIL



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PROJECT TITLE
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SHEET TITLE

STAIR SECTIONS
& DETAILS

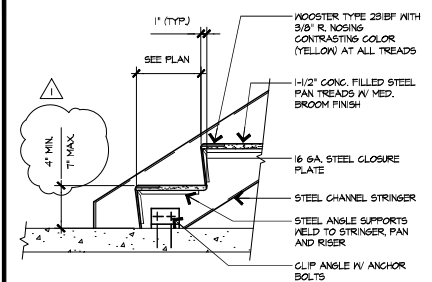


REVISION	DATE
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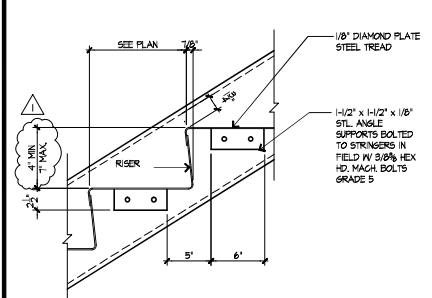
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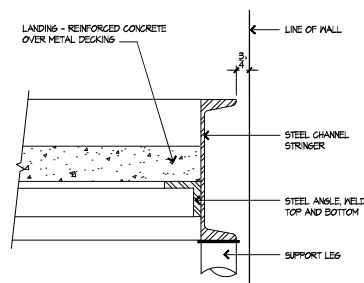
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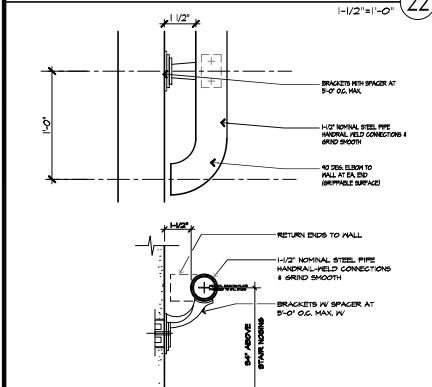
STAIR AT BASE (21)
SCALE: 1/4" = 1'-0"



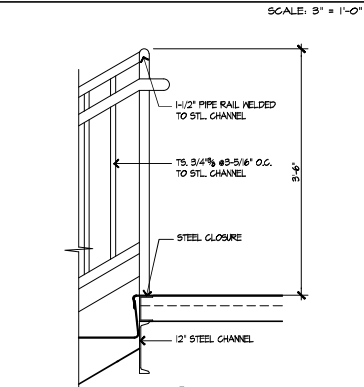
STAIR TREAD / RISER DETAIL (22)
SCALE: 1/2" = 1'-0"



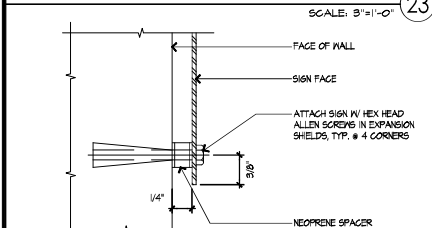
STAIRS AT WALL (17)
SCALE: 3/4" = 1'-0"



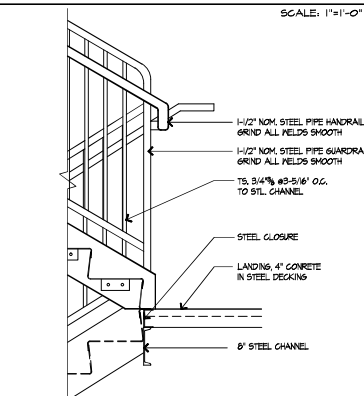
HANDRAIL DETAIL (23)
SCALE: 3/4" = 1'-0"



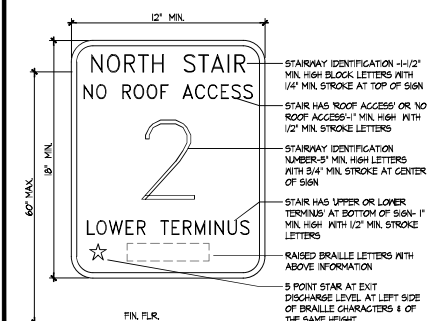
GUARDRAIL DETAIL (18)
SCALE: 1" = 1'-0"



SIGN ATTACHMENT

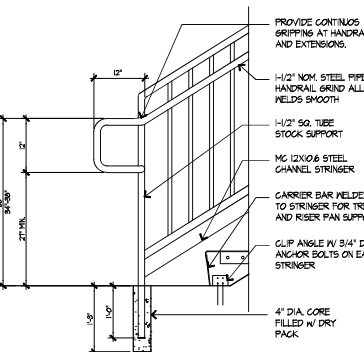


GUARDRAIL DETAIL (18)
SCALE: 1" = 1'-0"



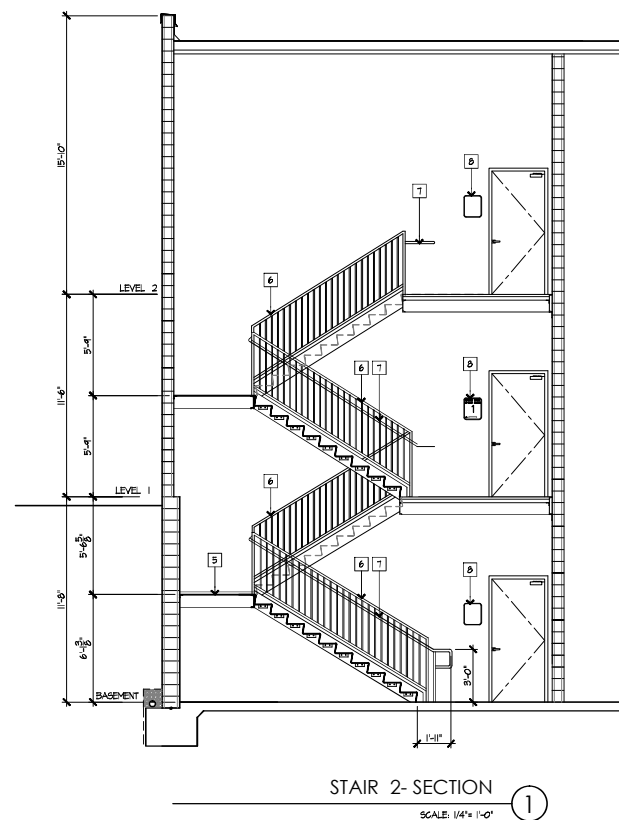
NOTE:
1. SIGN SHALL COMPLY WITH CBC SECTION 10B - 304.6
2. SIGN TO HAVE NON-GLARE FINISH ON ALL COMPONENTS
3. CHARACTERS SHALL CONTRAST WITH BACKGROUND EITHER LIGHT CHARACTERS ON DARK BACKGROUND OR DARK CHARACTERS ON LIGHT BACKGROUND
4. SIGN TO BE ON EACH FLOOR LANDING ADJACENT TO LATCH SIDE OF EXIT DOOR
5. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE HIGHEST RAISED CHARACTERS

STAIRWAY IDENTIFICATION SIGN (25)
SCALE: 3/4" = 1'-0"



STAIR KEYNOTE

- 1 SLIP RESISTANT 1/4" MIN. DIAMOND PLATE W/ STEEL FRAMING @ INTERMEDIATE LANDING
- 2 RISER - SMOOTH STEEL DIAMOND PLATE (PRIMED & PAINTED)
- 3 RATED METAL DOOR (SEE DOOR SCHEDULE)
- 4 2" WIDE STRIP OF CONTRASTING COLOR (LIGHT-DARK STAIR OR DARK-LIGHT STAIR) SET 1" BEHIND RISER FACE AT TOP & BOTTOM OF TREAD NOSING EACH FLIGHT
- 5 REINFORCED CONCRETE COMPOSITE STEEL DECK (SEE STRUCTURAL)
- 6 3/4" HIGH GUARDRAIL, 1/2" DIA. STEEL PIPE TOP RAIL, W/ 3/4" SQ. MIN. PICKETS @ 4-5/8" O.C. (3-10" MAX. GAPS) GRIND WELDS SMOOTH
- 7 1/4" DIA. MIN. (1/2" DIA. MAX.) NOMINAL STEEL PIPE HANDRAIL - HANDRAILS & SUPPORTS TO BE SMOOTH, FREE OF ABRASIONS OR SHARP EDGES.
- 8 STAIRWAY IDENTIFICATION SIGN W/ NO ROOF ACCESS NOTE- SEE DETAIL (25)
- 9 SLIP RESISTANT STEEL DIAMOND PLATE TREADS (PRIMED & PAINTED)
- 10 1 HOUR FIRE RATED 12 X 8 X 16 MASONRY WALL
- 11 1 HOUR FIRE RATED 12 X 8 X 16 MASONRY WALL
- 12 3/4" MIN. PICKETS LESS THAN 4" OPENINGS BETWEEN GRIND WELDS SMOOTH
- 13 CONCRETE SLAB
- 14 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT STAIR DOWN' PER DETAIL (2) (A2.5)
- 15 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT STAIR UP' PER DETAIL (2) (A2.5)
- 16 TPO SINGLE PLY ROOFING O/ R-30 RIGID INSULATION
- 17 REQUIRED CLEARANCE AT DOOR PER DETAIL 1
- 18 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT' PER DETAIL (2) (A2.5)
- 19 NON RATED 12 X 8 X 16 MASONRY WALL
- 20 TACTILE EGRESS SIGN WITH THE WORDS 'EXIT ROUTE' PER DETAIL (2) (A2.5)
- 21 ROOF ACCESS LADDER PER DETAIL (17) (A7.1)



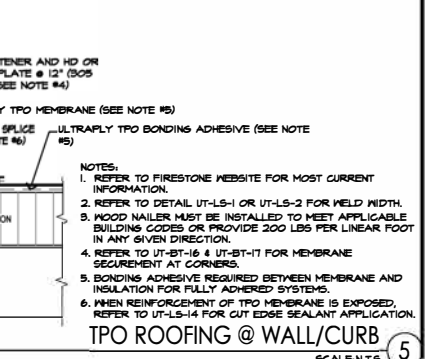
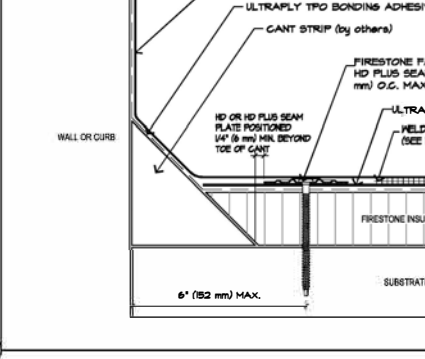
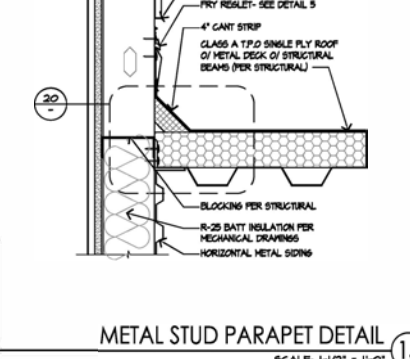
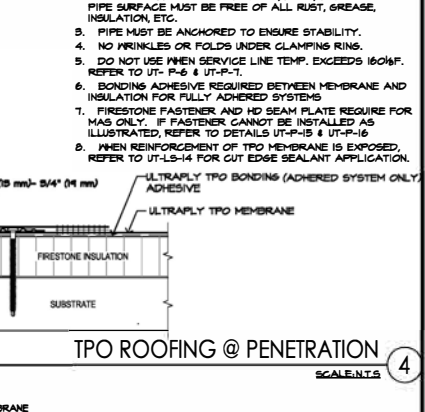
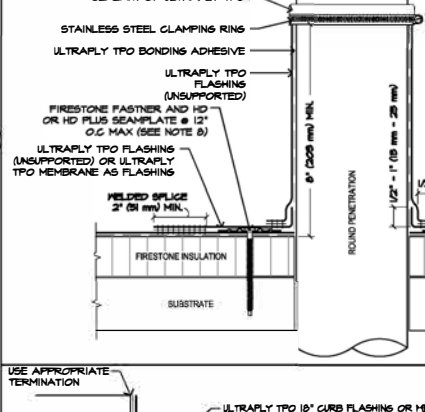
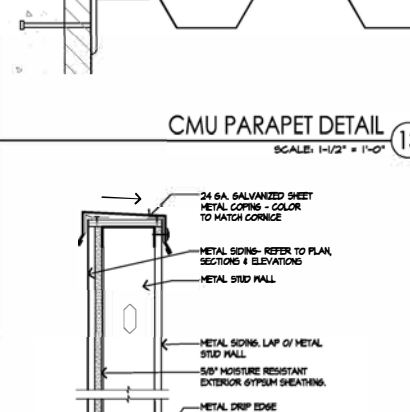
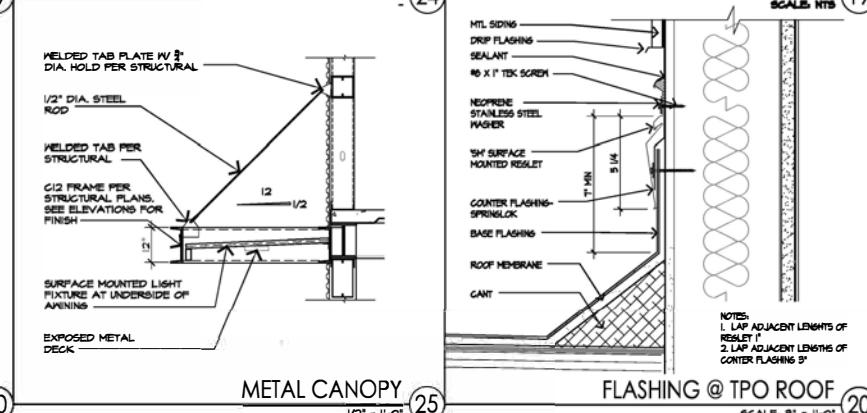
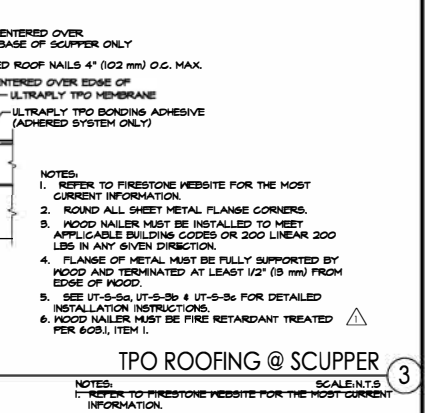
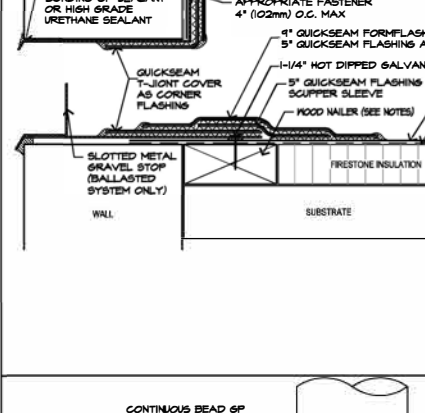
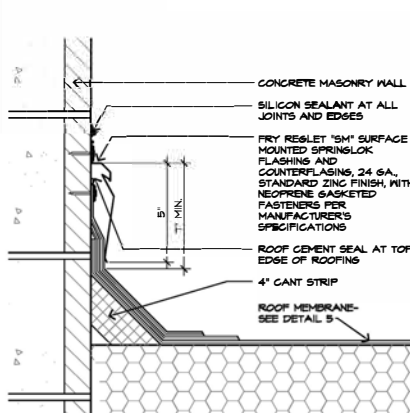
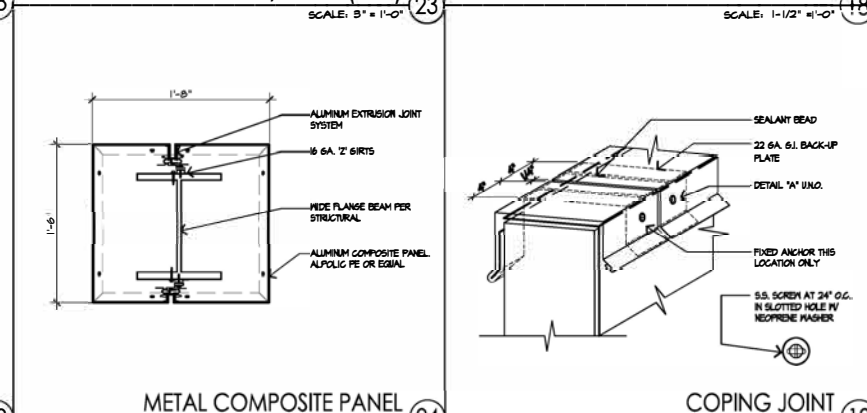
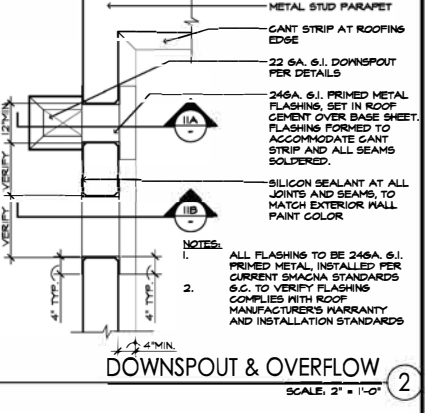
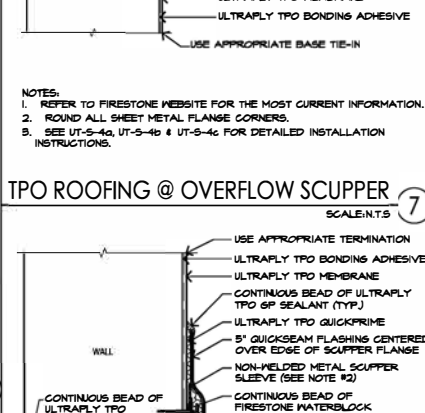
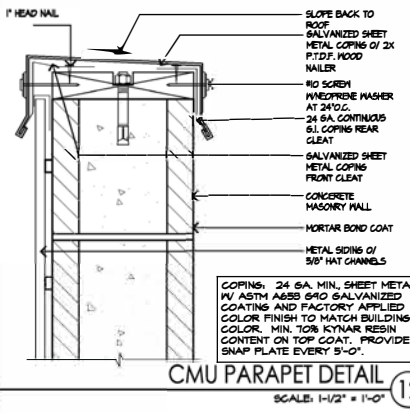
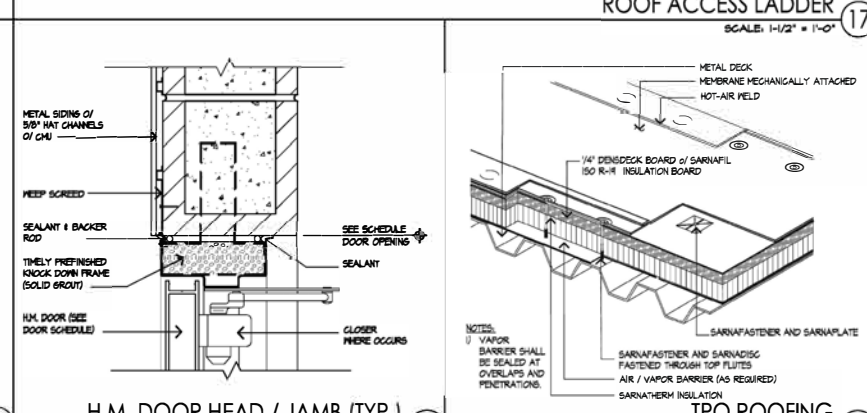
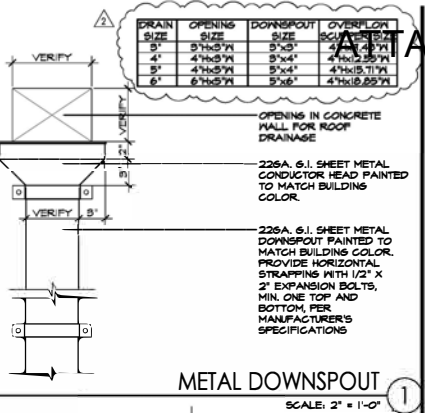
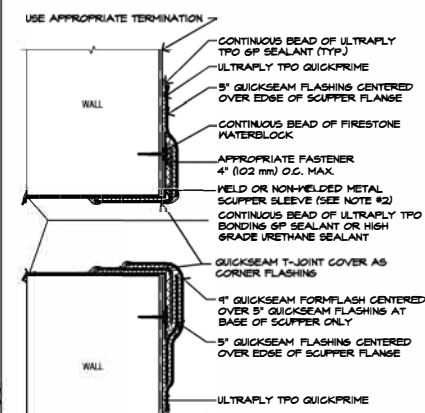
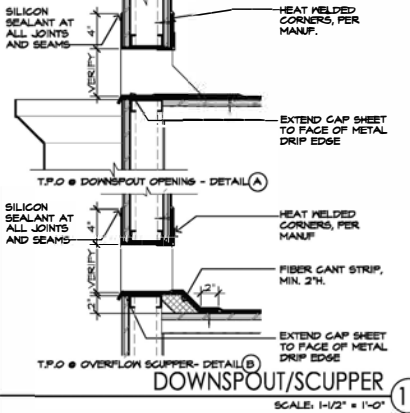
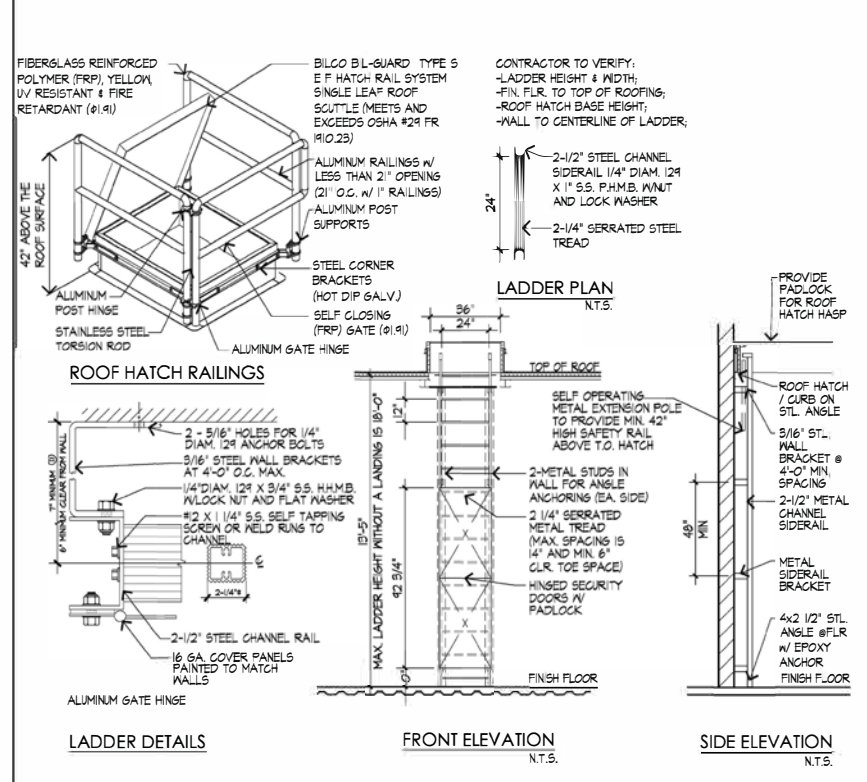
STAIR 2-SECTION (1)
SCALE: 1/4" = 1'-0"



DELTA	REVISION	DATE
Δ	PLAN CHECK	8/4/2020
Δ	PLAN CHECK	11/8/2020

DRAWN/CHK BY: JG/VAG
DATE: 06/05/20
JOB NO.:

SHEET NUMBER



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CLIENT
RDS CONTRACTING INC.

12064 WOODSIDE AVE, STE 102
LAKESIDE, CA 92040

PROJECT TITLE
UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

SHEET TITLE

DETAILS



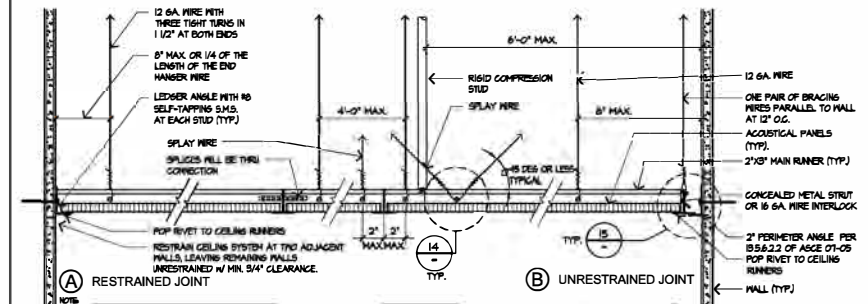
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Δ	PLAN CHECK	1/10/2019

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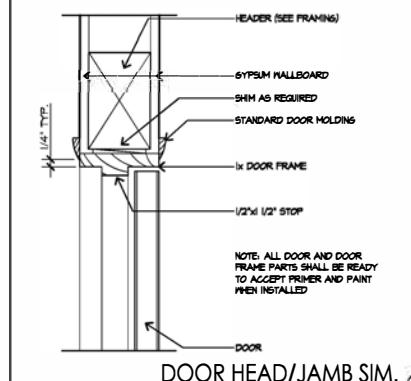
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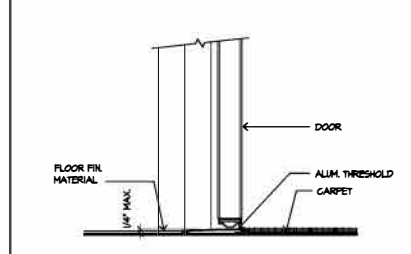
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NOTE:
1-ARMSTRONG SYSTEM R PANEL IS ARMSTRONG DESIGN BY CONFORMING TO ALL ARMSTRONG SP-4 DESIGN REQUIREMENTS.
2-GRID MUST BE ATTACHED TO 2 ADJACENT WALLS WITH TWO OPPOSING WALLS HAVING MINIMUM 5/16" CLEARANCE. SIDES OF MAIN BEAM & CROSS TIES MUST BE TIED TOGETHER TO PREVENT SPREADING.
3-CEILING PANELS OVER 2000 SF MUST HAVE HORIZONTAL RESTRAINT WIRE OR BRAD BRACING.
4-CEILING AREAS OVER 2000 SF MUST HAVE SEISMIC SEPARATION OR FULL HEIGHT PARTITIONS.
5-CEILING PANELS MUST HAVE POSITIVE BRACING. DOUBLE FRAMING AND SUBSTRATE CONNECTIONS MUST BE INDICATED BY DASHES AND BRACES.
6-PERIMETER SUPPORT WIRE WITHIN 8" OF WALL.
7-CEILING IN CEILING PLANE MUST HAVE POSITIVE BRACING. DOUBLE FRAMING AND SUBSTRATE CONNECTIONS MUST BE INDICATED BY DASHES AND BRACES.
8-PERIMETER SUPPORT WIRE WITHIN 8" OF WALL.
9-CEILING PANELS MUST BE SUBJECT TO SPECIAL INSPECTION.



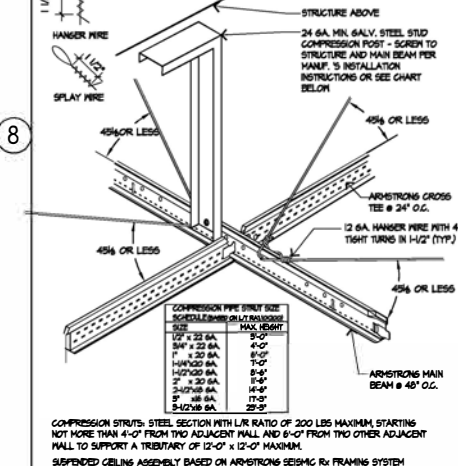
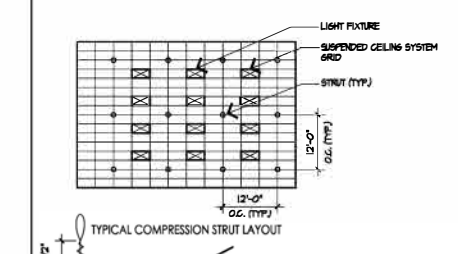
NOTE: ALL DOOR AND DOOR FRAME PARTS SHALL BE READY TO ACCEPT PRIMER AND PAINT WHEN INSTALLED.



COMPRESSION STRUTS: STEEL SECTION WITH L/R RATIO OF 200 LBS MAXIMUM STARTING NOT MORE THAN 4'-0" FROM TWO ADJACENT WALL AND 8'-0" FROM TWO OTHER ADJACENT WALL TO SUPPORT A TRIBUTARY OF 12'-0" x 12'-0" MAXIMUM.

SUSPENDED CEILING ASSEMBLY BASED ON ARMSTRONG SEISMIC R/F FRAMING SYSTEM CONFORMING TO IBC CATEGORY 17 REQUIREMENTS & ASTM C655 & C656. INSTALL PER MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

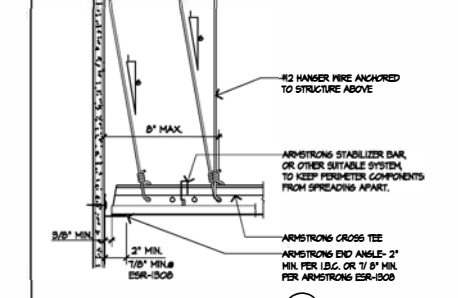
SUSPENDED CEILING ASSEMBLY SHALL COMPLY WITH IBC SECTION 508.1.1



COMPRESSION STRUTS: STEEL SECTION WITH L/R RATIO OF 200 LBS MAXIMUM STARTING NOT MORE THAN 4'-0" FROM TWO ADJACENT WALL AND 8'-0" FROM TWO OTHER ADJACENT WALL TO SUPPORT A TRIBUTARY OF 12'-0" x 12'-0" MAXIMUM.

SUSPENDED CEILING ASSEMBLY BASED ON ARMSTRONG SEISMIC R/F FRAMING SYSTEM CONFORMING TO IBC CATEGORY 17 REQUIREMENTS & ASTM C655 & C656. INSTALL PER MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

SUSPENDED CEILING ASSEMBLY SHALL COMPLY WITH IBC SECTION 508.1.1



SEE DETAIL FOR ADDL. INFO.

GENERAL NOTES

- 1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE, (800) 422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR POtholing AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (658) 627-3200.
10. CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE RECLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHAMPEAKE DRIVE, SAN DIEGO, CA 92123.
14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
15. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
16. CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SOAK, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

MONUMENT PRESERVATION CERTIFICATION

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO DEMOLITION/CONSTRUCTION.

- THE TYPE OF CONSTRUCTION WILL NOT AFFECT ANY SURVEY MONUMENTS (THIS LINE IS FOR PROJECTS THAT ARE PROPOSING NO DEMOLITION, TRENCHING, ASSOCIATED WITH A CIP, ETC)

Table with columns: NAME, DATE

PRIOR TO PERMIT ISSUANCE, THE PERMITTEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, IF APPLICABLE. (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)

I HAVE INSPECTED THE SITE AND DETERMINED THAT:

- NO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK
SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE
SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED
(NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
OTHER AGENCY SURVEY MONUMENT (CORNER RECORD OR RECORD OF SURVEY MAY NOT BE REQUIRED). AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY
A DRAFT PRE-CONSTRUCTION CORNER RECORD (OR RECORD OF SURVEY) FOR SURVEY MONUMENTS FOUND WITHIN THE LIMITS OF WORK HAS BEEN FILED.
CORNER RECORD # _____ OR RECORD OF SURVEY # _____

Table with columns: NAME, P.L.S. NO., EXP., DATE

POST CONSTRUCTION CORNER RECORD (AS-BUILT ITEM)

- POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION AND REPLACED AFTER CONSTRUCTION.
CORNER RECORD # _____ OR RECORD OF SURVEY # _____

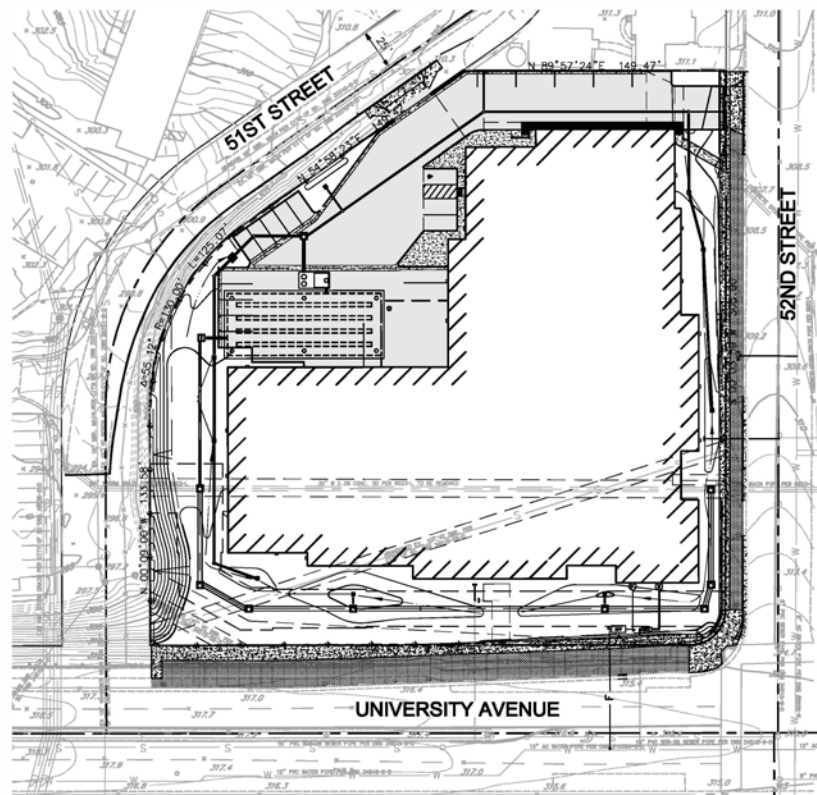
Table with columns: NAME, P.L.S. NO., EXP., DATE

CONSTRUCTION STORM WATER PROTECTION NOTES

- 1. TOTAL SITE DISTURBANCE AREA (ACRES): 2.18
WATERSHED: PUEBLO SAN DIEGO
HYDRAULIC SUB AREA NAME AND NUMBER: CHOLLAS, 908.22
2. THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
MPCP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS.
SWPPP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-0009-DWO AS AMENDED BY ORDER 2010-0014 DWO AND 2012-0006-DWO
TRADITIONAL: RISK LEVEL 1 2 3
LUP: RISK LEVEL 1 2 3
WTD NO:
3. CONSTRUCTION SITE PRIORITY
ASBS HIGH MEDIUM LOW

SEWER NOTES

- 1. SEWER LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND THE CURRENT CALIFORNIA PLUMBING CODE.
2. ONLY PVC (POLYVINYL CHLORIDE SDR35) SEWER MAINS AND LATERALS SHALL BE INSTALLED.
3. APPROVAL OF PLANS BY THE CITY DOES NOT CONSTITUTE RESPONSIBILITY FOR ACCURACY OF INFORMATION NOR LOCATIONS OF OTHER EXISTING FACILITIES.



KEY MAP SCALE: 1"=40'

OWNER/APPLICANT

GEORGE HUCKER 15260 CENTURA BLVD, SUITE 1120 SHERMAN OAKS, CA 91403

REFERENCE DRAWINGS

6923-L, 34515-09-0

SITE ADDRESS

5150 UNIVERSITY AVE, SAN DIEGO, CA 92105

TOPOGRAPHY SOURCE

AERIAL TOPOGRAPHY FOR THIS SURVEY IS BY: SAN-LO AERIAL SURVEYS. JOB NO. 12851, DATED: SEPTEMBER 8, 2006. AERIAL TOPOGRAPHY HAS BEEN SUPPLEMENTED BY NOVA ENGINEERING FIELD SURVEY ON 7-25-2019

BENCHMARK

SEEP 52ND ST. & UNIVERSITY AVE. ELEVATION 314.926 FEET M.S.L. DATUM

BASIS OF BEARINGS

THE SOUTHERLY LINE OF LOT 1 AS SHOWN ON MAP NO. 9415. I.E. N 87°23'26" E

ASSESSORS PARCEL NUMBER

472-383-04

EXISTING LEGAL DESCRIPTION

BLOCK E, LOTS 3, 4, 5 AND 6, ONK PARK, MAP 1732

SHEET INDEX

Table with columns: SHEET DESCRIPTION, SHEET #

ZONING

ZONE: CC-5-4
OVERLAY ZONES: TRANSIT AREA OVERLAY ZONE, RESIDENTIAL TANDEM PARKING OVERLAY ZONE

AREAS

GROSS SITE AREA: 94,731 SQ. FT.
FLOOR AREA: 47,486 SQ. FT.
FLOOR AREA RATIO: 0.50

PARKING DATA

PARKING REQUIRED: 17 STALLS
PARKING PROVIDED: 16 STANDARD STALLS, 1 ACCESSIBLE STALL, 17 TOTAL STALLS

PROJECT TEAM

CONTRACTOR: RES CONTRACTING, INC. ROBERT STADOKS (619) 577-4010
LANDSCAPE ARCHITECT: ALES LANDSCAPE ARCHITECTURE STEVEN ALES (658) 756-8963
ARCHITECT: VALLI ARCHITECTURAL GROUP ARIEL VALLI (949) 349-1777
GEOTECHNICAL ENGINEER: NOVA SERVICES JOHN O'BRIEN, PE, GE (619) 296-1010
CIVIL ENGINEER: NOVA ENGINEERING, INC. MEL LANDY, RCE, PLS (619) 296-1010
PLUMBING ENGINEER: MALSH ENGINEERS DAVID PHELPS (658) 541-0788

PROJECT SCOPE

- EXISTING CONDITIONS: VACANT PROPERTY WITH REMNANT PAVEMENT AREAS, LANDSCAPING, AND UTILITIES.
PROPOSED DEVELOPMENT: APPROXIMATELY 141,000 SQ. FT. TWO STORY SELF STORAGE BUILDING WITH BASEMENT. DEVELOPMENT INCLUDES ASSOCIATED PAVEMENT, LANDSCAPING, AND UTILITIES
PROPOSED VARIANCE: SETBACK VARIANCE FROM THE CC-5-4 ZONING REQUIREMENTS ARE PROPOSED ON 2 SIDES OF THE PROPERTY.
EASEMENT VACATIONS: THREE EASEMENT VACATIONS ARE PROPOSED. SEE SHEET C3.0 FOR EASEMENT INFORMATION.
DISCRETIONARY APPROVALS SOUGHT:
** EASEMENT VACATION APPROVAL FOR THE EASEMENTS TO BE VACATED

OCCUPANCY TYPE/ CONSTRUCTION TYPE

PER THE CALIFORNIA BUILDING CODE, THE OCCUPANCY CLASS IS S-1 - STORAGE AND B - OFFICE. THE CONSTRUCTION TYPE IS II-B

USES

EXISTING USE: VACANT
PROPOSED USE: SELF-STORAGE BUILDING

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

MELLOR R. LANDY R.C.E. NO. 81085 EXP. 09-30-25 DATE



ABBREVIATIONS

Table of abbreviations: AC/ASPH, APPX, BLDG, CB, CD, EL/ELEV, DI, FG, FS, FH, FL, GB, H, IE, L, LP, MAX, MH, MIN, NTS, NO, PVT, R, RIM, R/W, SD, S, SHT, TG, TYP, W, LOW POINT, MAXIMUM, MANHOLE, MINIMUM, NOT TO SCALE, NUMBER, PRIVATE, RADIUS, RIM, RIGHT OF WAY, STORM DRAIN, SEWER, SHEET, TOP OF GRATE, TOP OF PIPE, TYPICAL, WATER

EXISTING UTILITY DISCLAIMER

PRIVATE ENGINEER'S NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATIONS OF UTILITY PIPES, CONDUITS, STRUCTURES, POLES, WIRES, OR ANY OTHER FACILITIES SHOWN ON THESE DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS AND ARE INDICATED HEREON WITH THEIR APPROXIMATE LOCATION(S). THE ENGINEER OF WORK MAKES NO GUARANTEES OR WARRANTIES THAT THE UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF WORK OF ANY DISCREPANCIES. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES AND/OR ANY ASSOCIATED APPURTENANCES RESULTING DIRECTLY OR INDIRECTLY FROM THEIR OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

THE CONTRACTOR, BY ACCEPTING THESE PLANS AND/OR PROCEEDING WITH THE IMPROVEMENTS HEREON, AGREES TO ASSUME SOLE LIABILITY AND HOLD THE ENGINEER OF WORK HARMLESS FOR ANY DAMAGES RESULTING FROM OR TO THE EXISTING UTILITIES.

"DIG ALERT NOTICE"

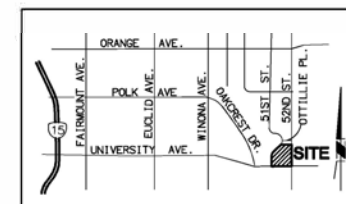
SECTION 4216 OF THE CALIFORNIA GOVERNMENT CODE REQUIRES THAT A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT AT 8-1-1 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

COORDINATION NOTE

- 1. ALL GRADING REQUIREMENTS ARE ADDRESSED UNDER PTS 668875, DWG NO. 42015-6-D.
2. ALL PUBLIC IMPROVEMENT REQUIREMENTS ARE ADDRESSED UNDER PTS 668875, APPROVAL NUMBER 2442785.
3. ALL CONSTRUCTION BMP REQUIREMENTS ARE ADDRESSED UNDER PTS 668875, WQID NO. XXXXX.
4. ALL POST-CONSTRUCTION BMP'S ARE ADDRESSED UNDER PTS 668875, SWMCOM APPROVAL NO. XXXXX.

AREA CALCULATIONS

TOTAL DISTURBANCE AREA: 94,731 SF
EXISTING AMOUNT OF IMPERVIOUS AREA: 89,507 SF
PROPOSED AMOUNT OF "CREATED" IMPERVIOUS AREA: 903 SF
PROPOSED AMOUNT OF "REPLACED" IMPERVIOUS AREA: 66,698 SF
TOTAL PROPOSED IMPERVIOUS AREA: 67,601 SF



VICINITY MAP N.T.S

CLIENT UNIVERSITY LLC

PROJECT TITLE UNIVERSITY SELF STORAGE

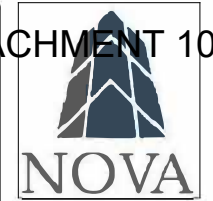
5150 UNIVERSITY AVE SAN DIEGO, CA

SHEET NAME CIVIL NOTES

Table with columns: NO., REVISION, DATE

DRAWN/CHK BY: DATE: 07/28/2023 JOB NO.:





NOVA ENGINEERING, INC. 4373 VIEWRIDGE AVE SUITE A SAN DIEGO, CA 92123 PHONE: (619) 296-1010

CLIENT UNIVERSITY LLC

PROJECT TITLE UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE SAN DIEGO, CA

SHEET NAME EASEMENT VACATION AND DEDICATION

Table with columns: DELTA, REVISION, DATE

DRAWN/CHK BY: DATE: 07/28/2023 JOB NO.:

C-3.0

LEGAL DESCRIPTION

PARCEL 1: LOTS 3, 4, 5 AND 6, BLOCK E OF OAK PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1732, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 22, 1922.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND WHICH LIES SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF SAID LOT 6, DISTANT THEREON NORTH 00° 00'30" WEST, 40.01 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT 6, SAID POINT ALSO BEING THE BEGINNING OF A TANGENT 20.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY A RADIAL OF WHICH SAID CURVE BEARS NORTH 89°59'30" EAST TO SAID POINT; THENCE SOUTHERLY, SOUTHWESTERLY AND WESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°02'00", A DISTANCE OF 31.43 FEET; THENCE NORTH 89°58'30" WEST, 306.06 FEET TO A TERMINUS IN AN INTERSECTION WITH THE WESTERLY LINE OF SAID LOT 5.

ASSESSOR'S PARCEL NO.: 472-383-04-00

ADDRESS: 5150 UNIVERSITY AVENUE, SAN DIEGO, CA

PLOTTABLE ITEMS:

- 1. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: CITY OF SAN DIEGO PURPOSE: DRAIN PIPE OR CULVERT RECORDED: JULY 11, 1929 IN BOOK 1658, OF DEEDS, PAGE 217 AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN. 2. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: CITY OF SAN DIEGO PURPOSE: PUBLIC SEWER RECORDED: JANUARY 13, 1941 IN BOOK 1112, PAGE 360 OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN. 3. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: CITY OF SAN DIEGO PURPOSE: STORM DRAIN OR DRAINS RECORDED: JUNE 29, 1961 AS INSTRUMENT NO. 111603 OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN. 4. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: CITY OF SAN DIEGO PURPOSE: A PUBLIC SEWER OR SEWERS RECORDED: DECEMBER 24, 1963 AS INSTRUMENT NO. 228421 OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN. 5. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: CITY OF SAN DIEGO PURPOSE: A RIGHT OF WAY FOR AN EARTH EXCAVATION OR EMBANKMENT, SLOPES OR SLOPES RECORDED: DECEMBER 24, 1963 AS INSTRUMENT NO. 228423 OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN. 7. AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED: MAY 3, 1977 AS INSTRUMENT NO. 1977-0166849 OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN.

NON-PLOTTABLE ITEMS:

- 6. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: A RESOLUTION NO. 217940 ESTABLISHING AN UNDERGROUND UTILITY DISTRICT TO BE KNOWN AND DENOMINATED AS THE UNIVERSITY AVENUE (54TH STREET TO WINONA AVENUE) UNDERGROUND UTILITY DISTRICT RECORDING DATE: MARCH 25, 1977 RECORDING NO: 1977-0110526 OF OFFICIAL RECORDS 8. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT. REDEVELOPMENT AGENCY: THE REDEVELOPMENT AGENCY OF THE CITY OF SAN DIEGO RECORDING DATE: MAY 22, 1992 RECORDING NO: 1992-0314187 OF OFFICIAL RECORDS AND RECORDING DATE: APRIL 29, 1996 AND RECORDING NO: 1996-0211859 OF OFFICIAL RECORDS AND RECORDING DATE: JULY 16, 2007 AND RECORDING NO: 2007-0474324 OF OFFICIAL RECORDS 9. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON MAP: RECORD OF SURVEY NO. 19654 10. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: AGREEMENT BETWEEN THE CITY AND THE PRIVATE PROPERTY OWNER TO PROVIDE CONSTRUCTION OF PRIVATE SEWER LATERAL RECORDING DATE: JANUARY 25, 2011 RECORDING NO: 2011-0046269 OF OFFICIAL RECORDS

LEGEND

EXISTING IMPROVEMENTS

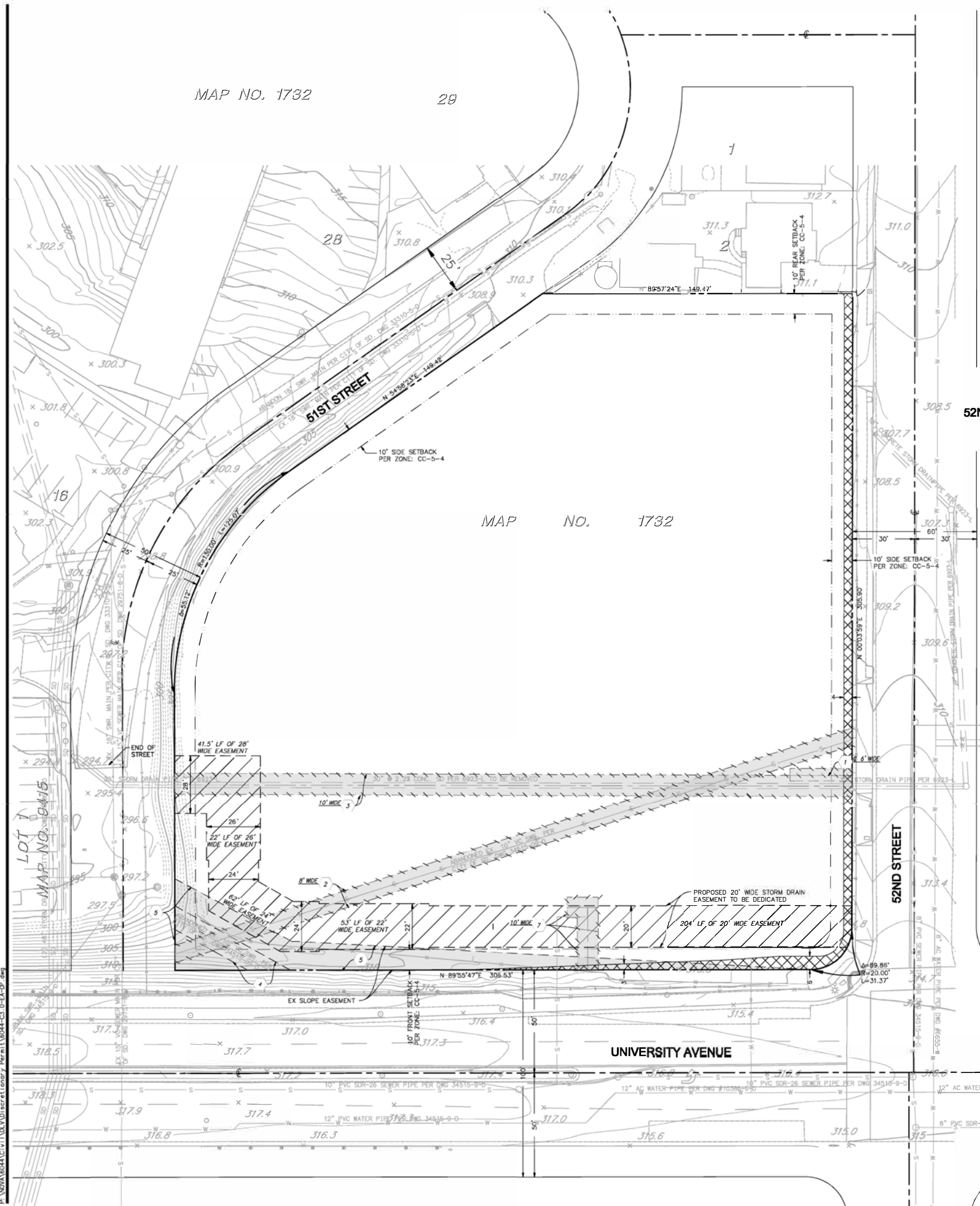
- EX WATER - W -
EX SEWER - S -
EX STORM DRAIN - SD -
EX GAS - G -
EX COMMUNICATION - COMM -
EX CABLE/TELEVISION - CATV -
EX FENCE - F -
EX QUADRAIL - Q -
EX CONTOUR - C -
EX BUILDING - B -
EX SPOT ELEVATION - 340 -
PROPERTY/RIGHT-OF-WAY LINE - 344.7± -
SETBACK -
EX EASEMENT -
EX LOT LINES -
EX ROAD CENTERLINE -
EXISTING EASEMENT TO BE VACATED -

PROPOSED IMPROVEMENTS

- PROPOSED DEDICATION -
PROPOSED EASEMENT -

GENERAL NOTES

- 1. THE AREA WITHIN THIS SURVEY : PARCEL 1 = 94,732 S.F. (2.145 AC.)
2. THE FOLLOWING COMMITMENT FOR TITLE INSURANCE WAS USED IN PREPARATION OF THIS PLAN: FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1030735-042, EFFECTIVE DATE: SEPTEMBER 18 2020
REFERS TO THE PLOTTED ITEM NUMBERS IN SAID COMMITMENT REPORT.
@ REFERS TO THE NON-PLOTTABLE ITEM NUMBERS IN SAID COMMITMENT REPORT.
3. THE BENCHMARK FOR THIS SURVEY IS: SEBP 52ND ST. & UNIVERSITY AVE. ELEVATION 314.926 FEET M.S.L. DATUM
4. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF LOT 1 AS SHOWN ON MAP NO. 9415. I.E. N 87°23'26"E
5. AERIAL TOPOGRAPHY FOR THIS SURVEY IS BY: SAN-LO AERIAL SURVEYS JOB NO.: 12881 DATED: SEPTEMBER 8, 2006 AERIAL TOPOGRAPHY HAS BEEN SUPPLEMENTED BY NOVA ENGINEERING FIELD SURVEY ON 7-25-2019, AND 10-29-2020.
6. THE PROPERTY LIES WITHIN FEMA FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN) PER FIRM COMMUNITY PANEL NO. 06073C1902G, EFFECTIVE MAY 16, 2012.

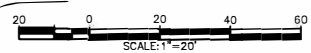


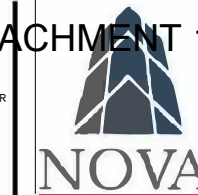
COLINA DEL SOL PARK

52ND PLACE

52ND STREET

UNIVERSITY AVENUE





NOVA ENGINEERING, INC. 4373 VIEWRIDGE AVE SUITE A SAN DIEGO, CA 92123 PHONE: (619) 296-1010

CLIENT UNIVERSITY LLC

PROJECT TITLE UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE SAN DIEGO, CA

SHEET NAME GRADING AND DRAINAGE PLAN

Table with 3 columns: DELTA, REVISION, DATE. Multiple rows for revision tracking.

DRAWN/CHK BY: DATE: 07/28/2023 JOB NO.:

- LEGEND EXISTING IMPROVEMENTS SYMBL EX WATER EX SEWER EX STORM DRAIN EX GAS EX COMMUNICATION EX CABLE/TELEVISION EX FENCE EX GUARDRAIL EX CONTOUR EX BUILDING EX SPOT ELEVATION PROPERTY/RIGHT-OF-WAY LINE SETBACKS PROPOSED IMPROVEMENTS IMPROVEMENT REFERENCE SYMBL PROP BUILDING FINISH SPOT ELEVATION MATCH EXISTING SPOT ELEVATION FINISH MINOR CONTOUR FINISH MAJOR CONTOUR GRADE BREAK LIMITS OF GRADING (DAYLIGHT LINE) ACCESSIBLE PATH OF TRAVEL PROPOSED EASEMENT PROP CONCRETE PAVING SDG-155 PROP AC PAVING SDG-130 PROP TRUNCATED DUMPS SDG-130 PROP CURB PROP CURB AND GUTTER PROP RETAINING WALL PROP EARTHEN SWALE PROP FLOW ARROW PROP TYPE A-4 CLEANOUT D-09 PROP CATCH BASIN PROP STORM DRAIN CLEANOUT PROP STORM DRAIN PROP TRENCH DRAIN PROP WEIR STRUCTURE PER SEPARATE GRADING PERMIT PROP MODULAR WETLAND SYSTEM PER SEPARATE GRADING PERMIT

WATER FLOW DATA table: STATIC: 84.0 PS, RESIDUAL: 73.0 PS, FLOW: 1329 GPM, DATE: 03/27/2020, BY: CITY OF SAN DIEGO DEVELOPMENT SERVICES

- GRADING AND DRAINAGE NOTES 1 NOT USED 2 PROPOSED MODULAR WETLAND SYSTEM MWS-L-B-16'-6"-V-UC UNIT PER DETAIL C ON SHEET 5.0 3 PROPOSED IMP-2 48" UNDERGROUND STORAGE SYSTEM (V=8767 CF) PER DETAIL D ON SHEET 5.0 4 PROPOSED ACCESSIBLE PATH OF TRAVEL FROM THE BUILDING TO THE RIGHT-OF-WAY (52ND STREET) 5 INSTALL MODIFIED TYPE C-1 CURB RAMP PER CITY OF SAN DIEGO STANDARD DRAWING SDG-135 6 ABANDON EXISTING SEWER LATERAL AT PROPERTY LINE 7 PROPOSED SPLASH PAD UNDERNEATH ROOF DRAIN 8 PROPOSED ROOF DRAIN 9 PROPOSED 6" PVC FIRE SERVICE 10 EXISTING 1" PVC DOMESTIC SERVICE AND EXISTING WATER METER TO REMAIN 11 PROPOSED LANDSCAPE PER PARKWAY REQUIREMENTS 12 EXISTING 10' STORM DRAIN EASEMENT TO BE REMOVED 13 PROPOSED TYPE B5 MANHOLE PER D-10 14 PROPOSED CURB AND GUTTER PER SDG-150 15 PROPOSED BROW DITCH PER SDG-106, TYPE 'B' 16 PROPOSED 1' WIDE CURB OPENING 17 PROPOSED 8" X 8" DRAIN INLET 18 PROPOSED 3" PVC STORM DRAIN PIPE 19 PROPOSED 3" DIAMETER CURB CORE 20 PROPOSED PVT SEWER LATERAL PER EMRA

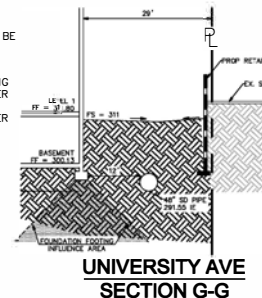
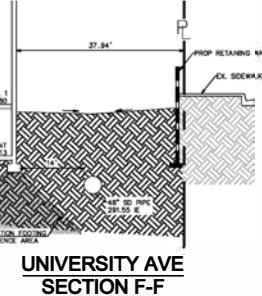
STORM DRAIN DATA TABLE with columns: NO, BEARINGS/Delta, LENGTH, SLOPE, NOTE. Lists 30 storm drain segments with bearings, lengths, slopes, and notes like '10" PVC' or '6" WIDE TRENCH DRAIN'.

GENERAL NOTES

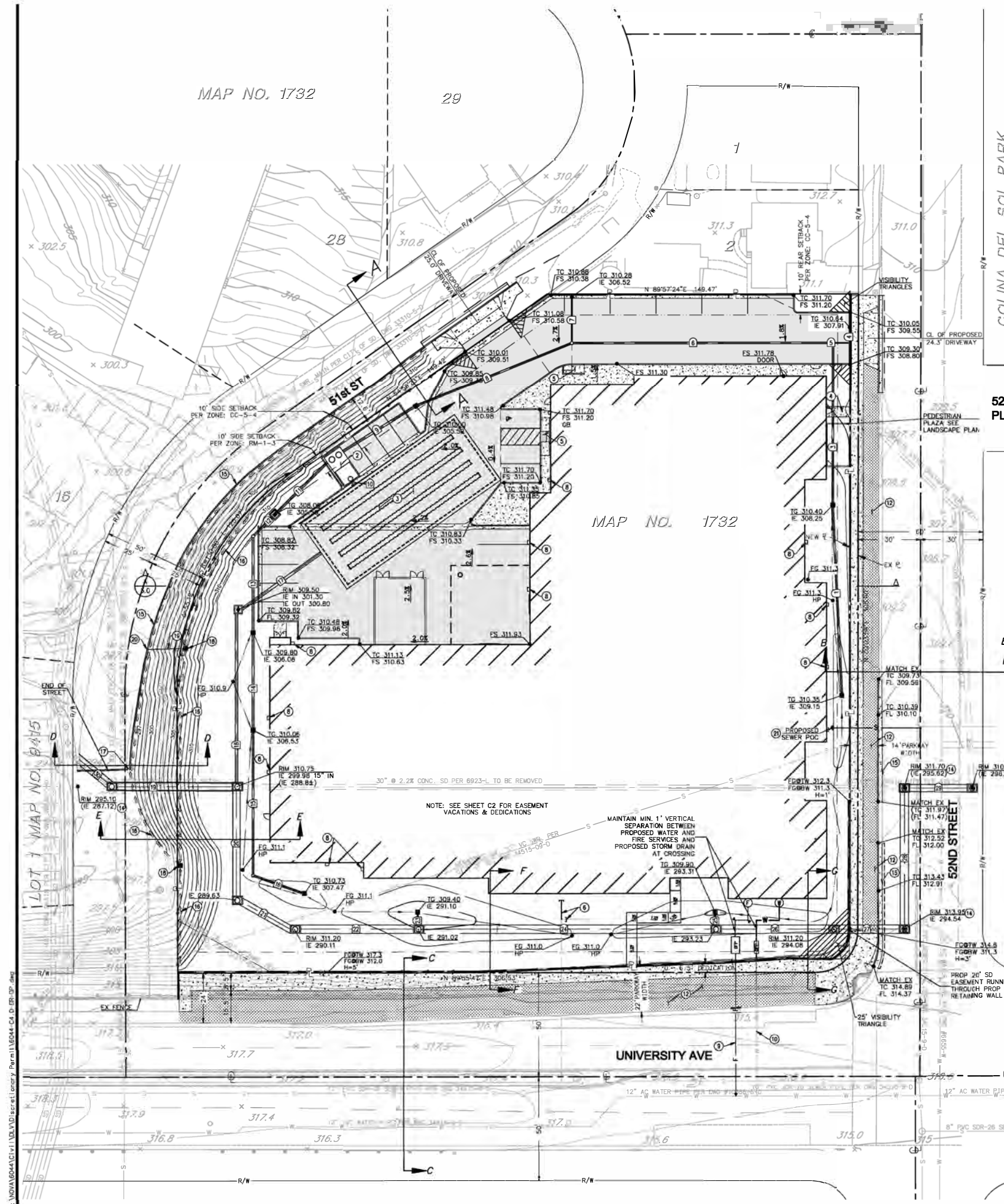
- 1. THE AREA WITHIN THIS SURVEY: PARCEL 1 = 94,732 S.F. (2,145 AC.) 2. THE BENCHMARK FOR THIS SURVEY IS: SEBP 52ND ST. & UNIVERSITY AVE. ELEVATION 314.926 FEET M.S.L. DATUM 3. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF LOT 1 AS SHOWN ON MAP NO. 9415. I.E. N 87°23'26"E 4. AERIAL TOPOGRAPHY FOR THIS SURVEY IS BY: SAN-LO AERIAL SURVEYS JOB NO.: 12861 DATED: SEPTEMBER 8, 2006 AERIAL TOPOGRAPHY HAS BEEN SUPPLEMENTED BY NOVA ENGINEERING FIELD SURVEY ON 7-25-2019, AND 10-29-2020. 5. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMG SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ADJUTING. 6. THE PROPERTY LIES WITHIN FEMA FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN) PER FIRM COMMUNITY PANEL NO. 06073C1902G, EFFECTIVE MAY 16, 2012. 7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER. 8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS. 9. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS. 10. IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER. 11. UTILIZATION OF EXISTING SEWER LATERALS IS AT THE SOLE RISK AND RESPONSIBILITY OF THE DEVELOPER TO ENSURE THE LATERALS ARE FUNCTIONAL AND CONNECTED TO A PUBLIC SEWER FACILITY. PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL, THE LATERAL SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY THE LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS. 12. REFER TO SHEET C3 FOR EASEMENT VACATION AND DEDICATIONS INFORMATION.

GRADING QUANTITIES

GRADED AREA: 2.17 ACRES MAX. CUT DEPTH: 15 FT. CUT QUANTITIES: 29,200 CYD MAX CUT SLOPE RATIO: 1:1 MAX. FILL QUANTITIES: 105 CYD MAX. FILL DEPTH: 1 FT. EXPORT: 29,095 CYD MAX FILL SLOPE RATIO: 2:1 MAX. *THIS PROJECT PROPOSES TO EXPORT 29,095 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT. *NO UNDOCUMENTED FILL IS TO REMAIN ON SITE UPON COMPLETION OF GRADING.



- EMRA NOTE THE FOLLOWING ITEMS SHALL BE INCLUDED IN AN EMRA: PVT STORM DRAIN PIPING AND CONNECTIONS, PVT WATER SERVICE PIPING AND BACKFLOW PREVENTER, PVT FIRE SERVICE PIPING AND BACKFLOW PREVENTER, PVT RAMP, PVT DOOR, PVT 3' RETAINING WALL.





NOVA
ENGINEERING, INC.
4373 VIEWRIDGE AVE
SUITE A
SAN DIEGO, CA 92123
PHONE: (619) 296-1010

CLIENT
UNIVERSITY LLC

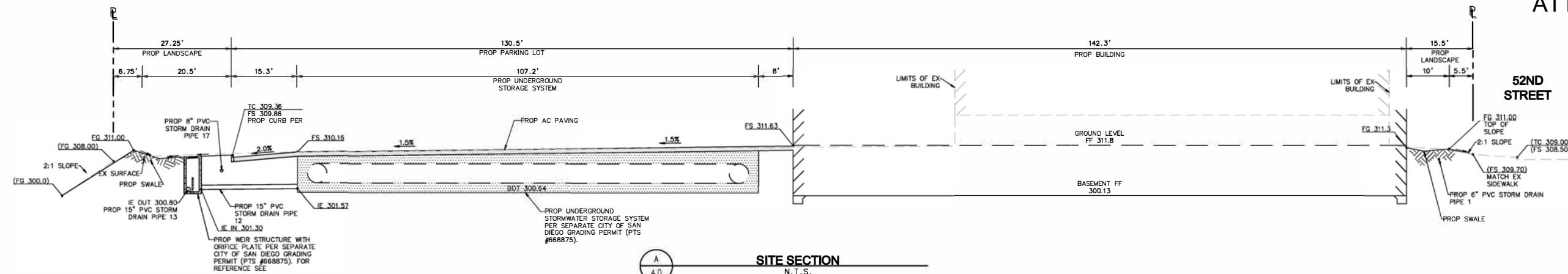
PROJECT TITLE
UNIVERSITY SELF STORAGE

5150 UNIVERSITY AVE
SAN DIEGO, CA

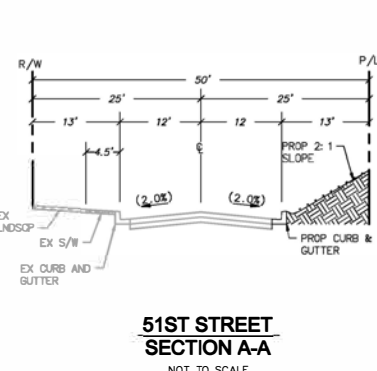
SHEET NAME
CROSS SECTIONS AND DETAILS

DRAWN/CHK BY:
DATE: 07/28/2023
JOB NO.:

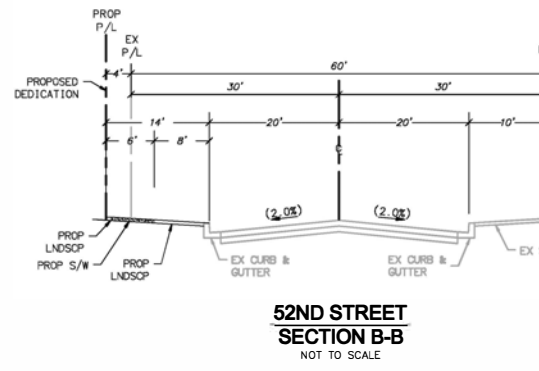
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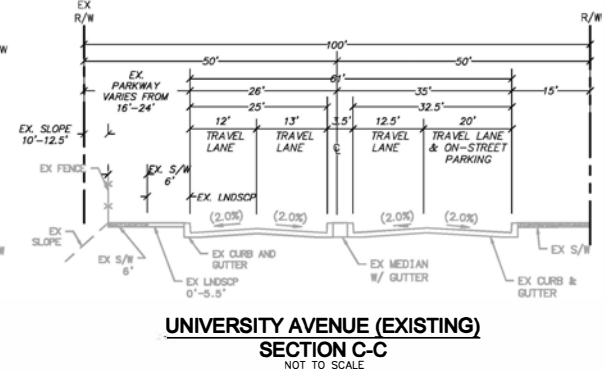
A
4.0
SITE SECTION
N.T.S.



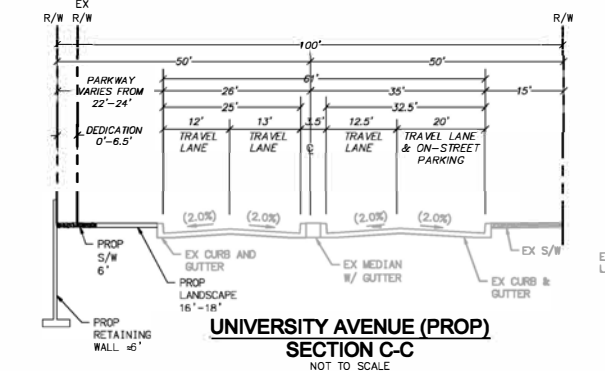
51ST STREET SECTION A-A
NOT TO SCALE



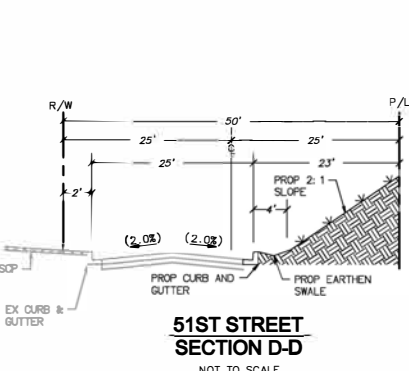
52ND STREET SECTION B-B
NOT TO SCALE



UNIVERSITY AVENUE (EXISTING) SECTION C-C
NOT TO SCALE



UNIVERSITY AVENUE (PROP) SECTION C-C
NOT TO SCALE



51ST STREET SECTION D-D
NOT TO SCALE

SITE SPECIFIC DATA			
PROJECT NUMBER	10918		
PROJECT NAME	UNIVERSITY SELF STORAGE		
PROJECT LOCATION	SAN DIEGO, CA		
TREATMENT REQUIRED	FLOW BASED (FS)		
WELLING BASED (WT)	0.437		
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	7.15		
PIPE DATA	LINE	MATERIAL	DIAMETER
INLET PIPE 1	304.88	PVC	15"
OUTLET PIPE	301.88	PVC	15"
PRE-TREATMENT	BIOPRE-TREATMENT DISCHARGE		
RIM ELEVATION	308.64	308.64	308.64
SURFACE LOAD	LOAD LEVEL 5 PER ASTM C1083		
FRAME & COVER	25A 48" X 30"	25A 30" X 48"	48"
WELLING VOLUME (C)	6.92		
ORIFICE SIZE (DIA. INCHES)	3 DIA #1.67"		
NOTES: PRELIMINARY NOT FOR CONSTRUCTION			

PLAN VIEW

LEFT END VIEW

ELEVATION VIEW

RIGHT END VIEW

INTERNAL BYPASS DISCLOSURE:	
TREATMENT FLOW (CFS)	0.462
OPERATING HEAD (FT)	3.4
PRE-TREATMENT LOADING RATE (GPM/SF)	2.0
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-8-16.5'-2" V-UG
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

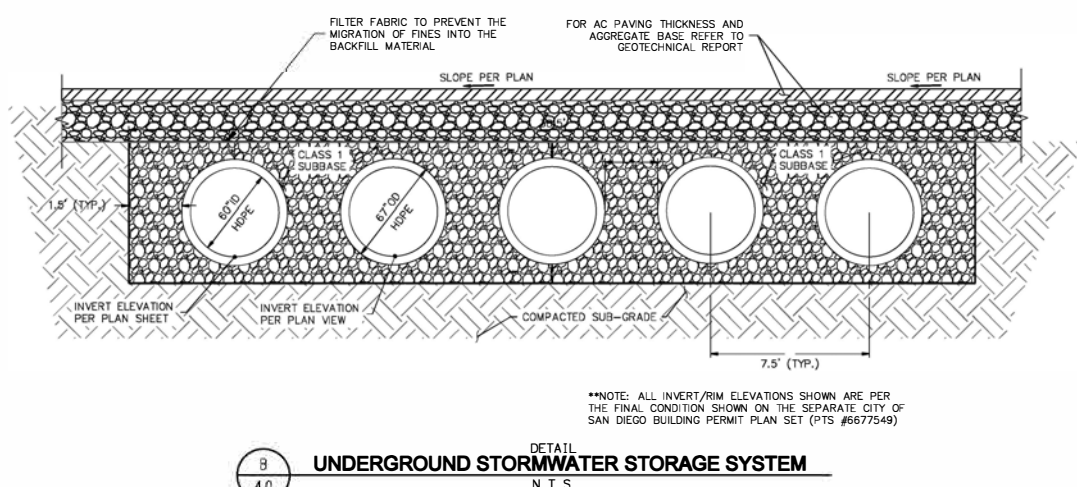
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND ACCESSORIES REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPROPRIATELY IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S MANUAL.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED W/EPIC SEAL PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE. VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DIRT OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTINUING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITH PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.

INTERNAL BYPASS DISCLOSURE:
THE DESIGN AND CAPACITY OF THE PEAK CONFORMANCE METHOD TO BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD. HO(S) AT PEAK FLOW SHALL BE ASSESSED TO ENSURE NO UPSTREAM FLOODING. PEAK HGL AND BYPASS CAPACITY SHOWN ON DRAWING ARE USED FOR GUIDANCE ONLY.

PROPERTY AND CONFIDENTIAL:
NO INFORMATION CONTAINED IN THIS DOCUMENT IS TO BE RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF BIO CLEAN.



B
4.0
DETAIL
UNDERGROUND STORMWATER STORAGE SYSTEM
N.T.S.

- CONT. PERFORMANCE:**
- WATER TIGHT (WT) W/IB PIPE SHALL BE JOINED USING A BELL AND SPIGOT JOINT. THE JOINT SHALL BE WATER TIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. 12-60 INCH (300-1500 MM) DIAMETERS SHALL HAVE A BELL REINFORCED WITH A POLYMER COMPOSITE BAND. THE BELL TOLERANCE DEVICE SHALL BE INSTALLED BY THE MANUFACTURER.
 - PIPE AND FITTING CONNECTIONS SHALL BE WITH A BELL AND SPIGOT CONNECTION UTILIZING A SPUN-ON OR WELDED BELL AND VALLEY OR SADDLE GASKET. THE JOINT SHALL MEET THE WATER TIGHT REQUIREMENTS OF ASTM D3212, AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477.
 - A GEOTEXTILE FABRIC SHALL BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 - WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- BEDDING:**
- SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 6" FOR 48 INCH DIAMETER PIPES.
- INITIAL BACKFILL:**
- SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" (152 MM) ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- COVER:**
- FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 24" FOR 48" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. MAXIMUM FILL HEIGHT LIMITED TO 8 FT OVER FITTINGS FOR STANDARD INSTALLATIONS. CONTACT GEOTECHNICAL ENGINEER FOR ADDITIONAL INFORMATION AND GUIDANCE.

**NOTE: ALL INVERT/RIM ELEVATIONS SHOWN ARE PER THE FINAL CONDITION SHOWN ON THE SEPARATE CITY OF SAN DIEGO BUILDING PERMIT PLAN SET (PTS #6677549)

DELTA	REVISION	DATE



Landscape Construction Plans for: UNIVERSITY SELF STORAGE

5150 University Avenue
San Diego, California

LANDSCAPE ARCHITECTURE INC.

P.O. Box 1503
Rancho Santa Fe, California 92067
858.756.8963



PROJECT NO.: 2014

LANDSCAPE
CONSTRUCTION
PLAN

UNIVERSITY
SELF
STORAGE

5150 University Ave.
San Diego, California

REFERENCE: PROJ. NO. - x

SHEET:

L-1

DRAWING INDEX

SHEET	CONTENTS
L-1	TITLE SHEET, NOTES
L-2	LANDSCAPE DEVELOPMENT PLAN
L-3	LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE CALCULATIONS
L-4	WATER CONSERVATION PLAN

SITE ADDRESS

5150 UNIVERSITY AVENUE
SAN DIEGO, CALIFORNIA

NOTES

DESIGN STATEMENT

LANDSCAPE FOR THIS BUILDING FEATURES A DROUGHT TOLERANT PLANTING WITH STREET SIDE CANOPY TREES, PARKING LOT TREE PLANTING, ACCENT PLANTING ZONES, AND GRADED SLOPE PLANTING. STORM WATER TREATMENT IS ACCOMMODATED WITH BIO RETENTION BASINS AND OTHER IMPROVEMENTS COORDINATED WITH THE PROJECT'S CIVIL ENGINEER.

LANDSCAPE REGULATION CONFORMANCE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

R-O-W PERMIT REQUIRED

A PUBLIC RIGHT-OF-WAY PERMIT IS REQUIRED FOR ANY PLANTING GREATER THAN 30 INCHES IN HEIGHT IN THE PUBLIC RIGHT-OF-WAY.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE:	
TRAFFIC SIGNALS (STOP SIGN)-	20 FEET
UNDERGROUND UTILITY LINES-	5 FEET
UNDERGROUND SEWER LATERALS-	10 FEET
ABOVE GROUND UTILITY STRUCTURES-	10 FEET
DRIVEWAY (ENTRIES)-	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)-	25 FEET

VERIFY MINIMUM SEPARATION DISTANCE IN FIELD PRIOR TO PLANTING. UPON IDENTIFICATION OF CONFLICT, CONTACT LANDSCAPE ARCHITECT AND ADJUST TREE LOCATION AS DIRECTED.

EXISTING LANDSCAPE NOTE

NO NEW LANDSCAPING IS PROPOSED FOR SITE AREAS NOT OTHERWISE DEVELOPED, INDICATED ON THE PLANS AS "EXISTING TO REMAIN".

EXISTING TREES TO REMAIN ON SITE WITHIN 10 FT. OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

- 1- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
- 2- STOCKPILING, TOPSOIL DISTURBANCES, VEHICLE USE AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE
- 3- A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
- 4- ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

CITY INSPECTION

OBTAIN A FINAL INSPECTION OF THE COMPLETED LANDSCAPE PLANTING AND IRRIGATION INSTALLATION BY CITY LANDSCAPE INSPECTOR. SCHEDULE INSPECTOR AND LANDSCAPE ARCHITECT AT LEAST ONE WEEK IN ADVANCE OF INSPECTION. CITY FEES PROVIDE FOR ONLY ONE INSPECTION, ADDITIONAL INSPECTIONS WILL REQUIRE ADDITIONAL FEES.

CURB NOTE:

ALL LANDSCAPE AREAS ARE SEPARATED FROM VEHICULAR DRIVES AND PARKING BY 6 IN. CONCRETE CURBS- CONSTRUCTED PER SITE IMPROVEMENT PLANS ALL PARKING SPACES FACING LANDSCAPE AREAS 5 FT. OR LESS IN WIDTH SHALL HAVE WHEEL STOPS PROVIDED AT LEAST TWO FEET FROM THE LANDSCAPE AREA

ROOT ZONE

MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMG 142.0403(B)(5).

ROOT BARRIER

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER SHALL NO WRAP AROUND THE ROOT BALL. (SDMG 142.0409(A)(1)).

MULCH

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMG 142.0411.

IRRIGATION

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.'

A COMBINATION OF IRRIGATION TYPES- DRIP IRRIGATION (FOR SMALL PLANTERS AND ACCENT PLANTING AREAS), INDIVIDUAL TREE BUBBLERS (FOR TREES LOCATED WITHIN DRIP ZONES), ROTATOR TYPE OVERHEAD IRRIGATION (FOR BIO-RETENTION BASINS AND LARGE MANUFACTURED SLOPES)- IS ANTICIPATED. SOME AREAS OF EXISTING VEGETATION WILL REMAIN UN-IRRIGATED.

THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MNELO) IN ACCORDANCE WITH STATE LAW AND THE LAND DEVELOPMENT CODE SECTION 142.0413(h) AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN HEALTHY CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(B)(10).

DRAINAGE BEST MANAGEMENT PRACTICES

NO IRRIGATION RUN OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PUMPS. ALL ROOF DISCHARGE TO BE TO SURFACE DRAINAGE. REFER TO STORM WATER PLANS.

PREPARED BY:	REVISION 14: _____
NAME: AHLES LANDSCAPE ARCHITECTURE	REVISION 13: _____
PO BOX 1503	REVISION 12: _____
RANCHO SANTA FE, CA 92061	REVISION 11: _____
PHONE #: 858.756.8963	REVISION 10: _____
	REVISION 9: _____
	REVISION 8: _____
PROJECT ADDRESS:	REVISION 7: _____
5150 UNIVERSITY AVENUE	REVISION 6: _____
SAN DIEGO, CA 92120	REVISION 5: _____
	REVISION 4: 10 NOV 2023
PROJECT NAME:	REVISION 3: 31 JUL 2023
UNIVERSITY SELF STORAGE	REVISION 2: 4 MAY 2022
	REVISION 1: 25 JUL 2020
SHEET TITLE:	ORIGINAL DATE: 24 MAY 2020
LANDSCAPE PLANS	SHEET 10 OF 10
TITLE SHEET, NOTES	DEF# _____



CITY OF SAN DIEGO
AREA AND POINT CALCULATIONS

STREET YARD- COMMERCIAL ZONE AREA

TOTAL STREET YARD AREA		42,942
REQUIRED LANDSCAPE AREA	25.0%	10,736
PROVIDED LANDSCAPE AREA		26,134
PLANTING AREA 26,134 (NON INCLUDED)		
POINTS		
REQUIRED POINTS	• 05	2,147
REQUIRED TREE POINTS	• 100%	2,147
PROVIDED TREE POINTS		2,150

STREET TREES- UNIVERSITY AVENUE

QUANTITY		
REQUIRED	325 FT. @ 1/30	11
PROVIDED		11

STREET TREES- SAND STREET

QUANTITY		
REQUIRED	325 FT. @ 1/30	11
PROVIDED		11

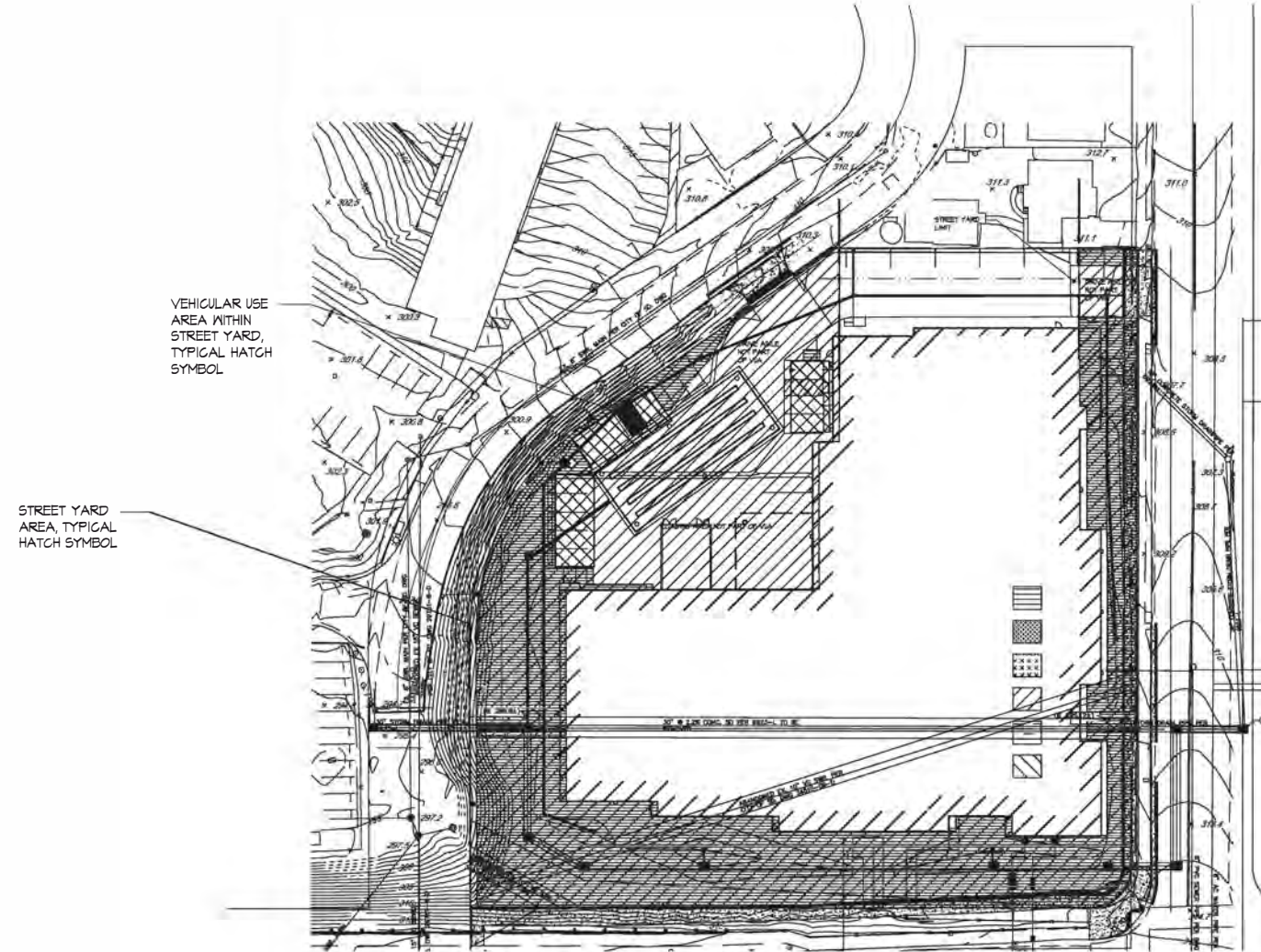
STREET TREES- 51ST STREET

QUANTITY		
REQUIRED	300 FT. @ 1/30	10
PROVIDED		11

VEHICULAR USE AREA- STREET YARD AREA

TOTAL STREET YARD VIA	2464
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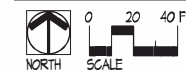
1 TREE IS REQUIRED (AND PROPOSED PER PLAN) WITHIN 30 FEET OF EACH PARKING SPACE



VEHICULAR USE AREA WITHIN STREET YARD, TYPICAL HATCH SYMBOL

STREET YARD AREA, TYPICAL HATCH SYMBOL

AREA KEY MAP



LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

REFERENCE: PROJ. NO.- x

SHEET:

L-2

PREPARED BY:	REVISION 14:
NAME: AHLES LANDSCAPE ARCHITECTURE	REVISION 13:
PO BOX 1503	REVISION 12:
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PHONE #: 858.756.8963	REVISION 10:
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	REVISION 8:
PROJECT ADDRESS:	REVISION 7:
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SHEET TITLE:	ORIGINAL DATE: 24 MAY 2020
LANDSCAPE PLANS	SHEET _____ OF 10
LANDSCAPE CALCULATIONS	DEF# 2

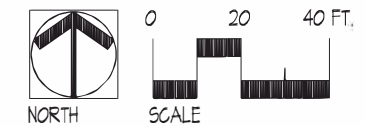


LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

SEE SHEET L-4 FOR PLANTING SCHEDULE
SEE SHEET L-4 FOR PLANTING NOTES
SEE SHEET L-5 FOR PLANTING DETAILS AND SPECIFICATIONS



PLANTING PLAN

REFERENCE: PROJ. NO. - x

SHEET:

L-3

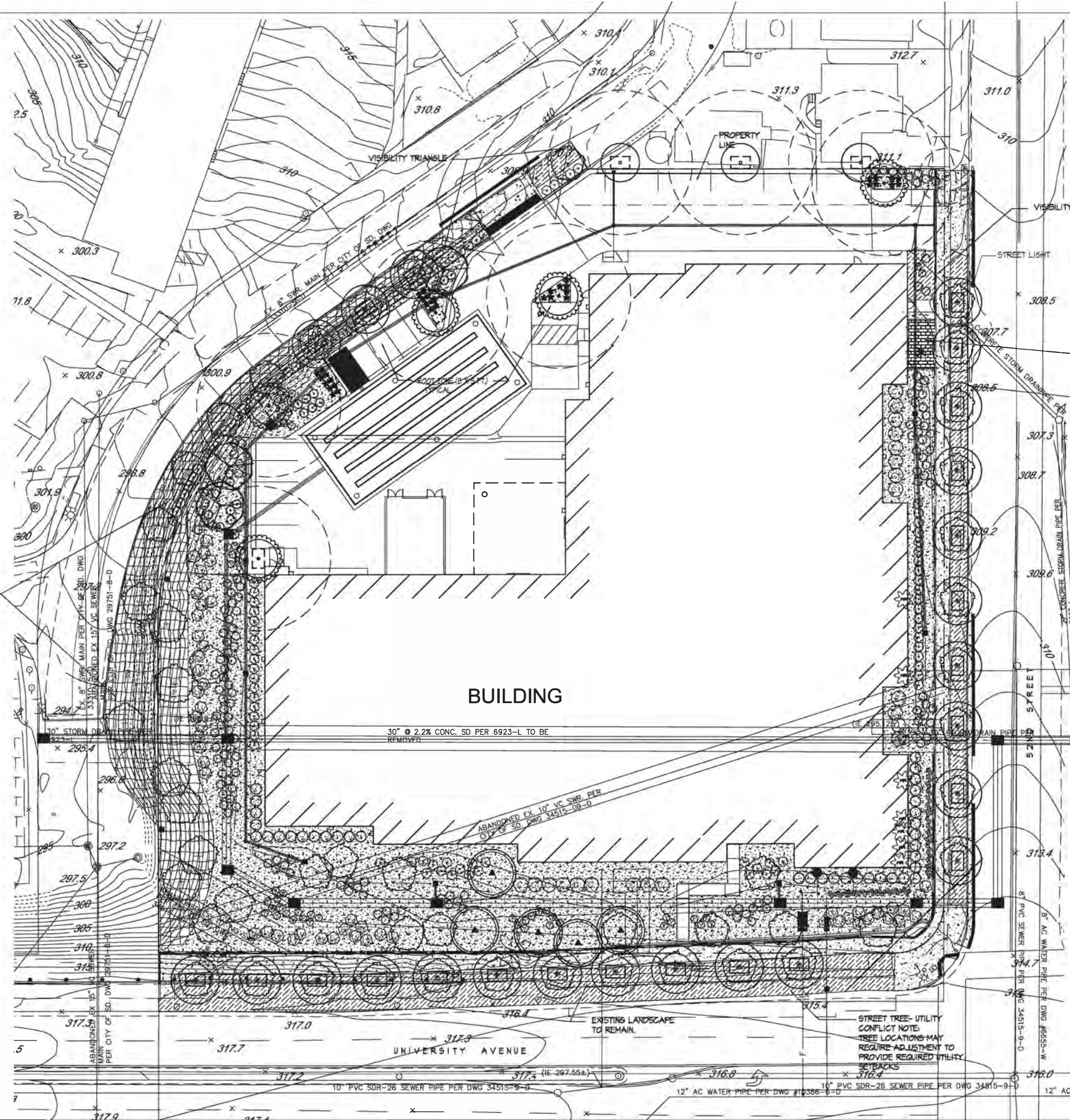
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PROJECT NAME:
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SHEET TITLE:
LANDSCAPE PLANS
PLANTING PLAN

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ORIGINAL DATE:	24 MAY 2020
SHEET	3 OF 10
DEP#	_____



EXISTING LANDSCAPE TO REMAIN.
REPAIR AND REPLACE AS NECESSARY

PUBLIC PLAZA WITH ENHANCED PAVING AND PUBLIC ART

EXISTING LANDSCAPE TO REMAIN.

BUILDING

UNIVERSITY AVENUE

STREET LIGHT

VISIBILITY TRIANGLE

PROPERTY LINE

STREET TREE- UTILITY CONFLICT NOTE:
TREE LOCATIONS MAY REQUIRE ADJUSTMENT TO PROVIDE REQUIRED UTILITY SETBACKS

EXISTING LANDSCAPE TO REMAIN.

VISIBILITY TRIANGLE

EXISTING LANDSCAPE TO REMAIN.
REPAIR AND REPLACE AS NECESSARY



LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

REFERENCE: PROJ. NO. - x

SHEET:

L-4

PLANTING NOTES

1. THE PLANTING PLAN IS DIAGRAMMATIC AND SHALL BE USED AS A GUIDE FOR SETTING OUT PLANTS. PRIOR TO PLANTING, THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO APPROVE ALL PLANT LOCATIONS AND DIRECT ADJUSTMENTS.
2. PLANT MATERIALS SHALL CONFORM TO NURSERYMAN'S STANDARDS FOR SIZE AND HEALTH. ALL PLANTS ARE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT IF SUBSTANDARD IN SIZE, QUALITY OR HEALTH.
3. PLANT COUNTS ARE FOR THE CONVENIENCE OF CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN.
4. IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS THOROUGHLY SOAKED PRIOR TO PLANTING.
5. LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 2% DRAINAGE AWAY FROM ALL BUILDINGS AND FINISH GRADES SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
6. REMOVE ALL EXISTING VEGETATION (EXCEPT INDIVIDUAL PLANTS TO REMAIN PER PLAN AND AS IDENTIFIED BY LANDSCAPE ARCHITECT.) TRASH, CLIPPINGS AND OTHER DEBRIS IN PLANTING AREAS. ERADICATE BERMUDA GRASS AND NOXIOUS WEEDS AS FOLLOWS:
 - A. UPON INSTALLATION OF IRRIGATION SYSTEM, CUT WEEDS AND APPLY AN ALL PURPOSE FERTILIZER, SUCH AS 250 LBS/AC OF 16-6-8 AND IRRIGATE FOR TWO TO FOUR WEEKS.
 - B. WHEN WEEDS AND GRASSES ARE APPROXIMATELY ONE TO TWO INCHES IN HEIGHT, SPRAY WITH A NON SELECTIVE HERBICIDE.
 - C. PLANT AS SPECIFIED.
7. PRIOR TO START OF PLANTING WORK, PLANTING AREAS SHALL BE FREE OF WEEDS AND SURFACE ROCKS, AND CONTRACTOR SHALL ESTABLISH FINISHED GRADES. AFTER COMPLETION OF PLANTING WORK, CONTRACTOR SHALL FINE GRADE ALL PLANTING AREAS AND REMOVE SURFACE ROCKS, CLODS AND DEBRIS.
8. PROVIDE TREE WATERS FOR EACH TREE. PERFORM WATER FILL TEST PRIOR TO PLANTING. ALL BOXED TREES NOT DRAINING ARE TO HAVE A 4" DIAMETER AUGER HOLE DRILLED THROUGH ANY HARDFAN OR COMPACTED EARTH AS REQUIRED TO PROVIDE DRAINAGE.
9. PLANTING PITS SHALL BE TWICE THE CONTAINER WIDTH AND OF EQUAL DEPTH.
10. PLANTING PITS AND PLANTERS SHALL BE BACKFILLED WITH EXISTING SITE SOIL AND 1/3 (BY VOLUME) NITRIFIED SOIL CONDITIONER MIX.
11. DOUBLE STAKE 15 GALLON AND 24" BOX TREES. BUY LARGER TREES AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE STABILITY FOR THE LENGTH OF THE GUARANTEE.
12. LOCATE STREET TREES (PALMS) 6 INCHES OUTSIDE THE SEWER EASEMENT AND RIGHT OF WAY, GENERALLY EQUALLY SPACED EXCEPT AS ADJUSTED FOR UTILITY CONFLICTS.
13. NOTE RELATIONSHIP TO PLANTINGS TO IRRIGATION, PARTICULARLY IN LINEAR CONFIGURATIONS. COORDINATE WHERE PLANTING AND IRRIGATION HEAD SPACING CORRESPOND TO MAINTAIN UNIFORM SPACING BETWEEN PLANTS AS WELL AS PLANTINGS AND IRRIGATION.
14. CONTAINER PLANTS SHALL NOT BE PLACED WITHIN 2 FT. OF SPRAY HEAD, 4 FT. OF LARGE RADIUS ROTOR, UNLESS OTHERWISE INDICATED ON PLAN.
15. SHRUBS & TREES SHALL BE UNDER PLANTED WITH GROUND COVER OR HYDROSEED AS SHOWN BY ADJACENT SYMBOL.
16. PROVIDE THREE (3") IN. DEPTH SHREDDED BARK MULCH (NO RECYCLED GREEN OR CONSTRUCTION WASTE- SEE SPECIFICATION) IN ALL NON-TURF PLANTING AREAS LESS THAN 3:1 IN SLOPE. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT AND LOCAL INSPECTOR FOR APPROVAL PRIOR TO BULK DELIVERY. HOLD BARK MULCH 1 FT. FROM EXTERIOR WALL OF STRUCTURES, PROVIDING RAKED BARE EARTH IN THIS AREA (FOR FIRE PROTECTION).
17. CONTRACTOR SHALL PROVIDE A WEED FREE LANDSCAPE THROUGH THE ESTABLISHMENT MAINTENANCE PERIOD. PRE-EMERGENT HERBICIDE MAY BE APPLIED TO ALL PLANTING AREAS PRIOR TO SPREADING MULCH. HERBICIDES SHALL BE USED IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
18. PROVIDE POST PLANTING FERTILIZATION SHALL BE PERFORMED AT 30 AND 75 DAYS AFTER PLANTING.
19. PROVIDE ESTABLISHMENT MAINTENANCE OF ALL LANDSCAPE FOR NINETY (90) DAYS AFTER INITIAL ACCEPTANCE OF COMPLETION. KEEP ALL AREAS CLEAN, WATERED AND WEED-FREE. ALL DEAD OR DYING PLANTS SHALL BE REPLACED DURING THE MAINTENANCE PERIOD. SEE MAINTENANCE NOTES.
20. CONTRACTOR SHALL GUARANTEE PLANT LONGEVITY FOR ONE YEAR.

SOIL MANAGEMENT

PROVIDE SOIL TEST OF CHEMICAL AND AGRICULTURAL ANALYSIS BY AN INDEPENDENT AGRONOMIC SOILS TESTING LABORATORY. REPRESENTATIVE SOIL SAMPLES SHALL BE TAKEN IN THE FIELD AND A WRITTEN REPORT SHALL BE PREPARED BY THE AGRONOMIST AND SHALL INCLUDE RECOMMENDATIONS FOR SOIL AMENDMENTS AND APPLICATION RATES FOR SOIL PREPARATION FERTILIZATION, PLANTING BACKFILL MIX, HYDRO MULCH SLURRY (AS APPLICABLE) AND A POST MAINTENANCE FERTILIZATION PROGRAM.

PROVIDE TWO COPIES OF THE ANALYSIS TO THE LANDSCAPE ARCHITECT. PROVIDE ACTUAL SOIL AMENDMENTS PER SOIL ANALYSIS RECOMMENDATIONS. FOR BIDDING PURPOSES ASSUME THE APPLICATION OF THE FOLLOWING AMENDMENTS AND FINISH GRADINGS:

- 50 LBS./1000 SF. AGRICULTURAL GYPSUM
- 25 LBS./1000 SF. 12-12-12 FERTILIZER
- 150 LBS./1000 SF. 'GROWPOWER PLUS W/ SULFER'
- 3 CU. YDS./1000 SF. NITROFIED ORGANIC SOIL AMENDMENT (PER SPEC.)
- ROTOTILL IN THE TOP 6" OF SOIL:

THEREAFTER FOR ALL AREAS:
RAKE AND FINE GRADE ALL PLANTING AREAS, MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM ALL BUILDINGS AND STRUCTURES, AND 5% WITHIN FIVE FEET OF BUILDING OR STRUCTURE. SMOOTH FINISH GRADES TO ELIMINATE PUDDLING AND STANDING WATER. COORDINATE WITH OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION. APPLY SOIL LEACHING AS ANALYSIS INDICATES

PLANTING PITS AND PLANTERS SHALL BE BACKFILLED WITH AMENDMENTED EXISTING SITE SOIL AND 1/3 (BY VOLUME) NITROFIED ORGANIC SOIL AMENDMENT.

FERTILIZE TREES, SHRUBS AND GROUND COVERS AT TIME OF PLANTING WITH ASGRIFORM TABLET(S) PER SPECIFICATIONS AT THE FOLLOWING RATES:

- FLAT MATERIAL - 1 (5 GRAM) TABLET
- 1 GAL SIZE - 1 TABLET
- 5 GAL SIZE - 3 TABLETS
- LINERS - 2 (5 GRAM) TABLETS
- 15 GAL - 5 TABLETS
- 24' BOX - 8 TABLETS

ADDITIONAL CITY PLANTING NOTES

ROOT BARRIER REQUIREMENT

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOTBALL.

TREE SETBACK

- MINIMUM TREE SEPARATION DISTANCE
- TRAFFIC SIGNALS/ STOP SIGNS - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
- ABOVE GROUND UTILITY STRUCTURES - 1- FEET
- DRIVEWAY (ENTRIES) - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

EXISTING TREES TO REMAIN ON SITE WITHIN 10 FT OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED.

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET.

EXISTING TREES TO REMAIN ON SITE WITHIN 10 FT OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED.

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

EROSION CONTROL FABRIC REQUIREMENT

PROVIDE SOIL STABILIZATION FABRIC, PER MANUFACTURER'S SPECIFICATION, ON ALL LANDSCAPED SLOPES OF 3:1 OR STEEPER GRADIENT. SEE CITY LANDSCAPE REQUIREMENTS AND COMPLY.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	WATER (KG)	QTY	
	FORM: SMALL UPRIGHT OVATE TREE -- FUNCTION: STREET TREE LAGERSTROEMIA X 'TUSCARORA' RED GRAPE MYRTLE STANDARD	24 IN. BOX		38	
	FORM: VERTICAL TREE -- FUNCTION: THEME AND SCREENING TREE PINUS CANARIENSIS CANARY ISLAND PINE	36 IN. BOX		5	
	FORM: LARGE SPREADING TREE -- FUNCTION: THEME SHADE TREE QUERCUS ILEX HOLLY OAK	36 IN. BOX		3	
	FORM: DENSE ROUNDED TREE -- FUNCTION: SCREENING TREE RHUS LANCEA AFRICAN SUMAC	24 IN. BOX	LOW 3	12	
	FORM: MEDIUM OVATE TREE -- FUNCTION: SHADE TREE X CHITALPA TASHKENTENSIS 'PINK DAWN' PINK DAWN CHITALPA	36 IN. BOX		5	
SHRUBS	FORM / FUNCTION	BOTANICAL / COMMON NAME	CONT	WATER (KG)	QTY
	ROSETTE / ACCENT PLANT	ASAVE ATTENUATA ASAVE	15 GALLON		36
	LOW / ACCENT	BULBINE BULBOSA BULBINE LILY	1 GAL	LOW 3	66
	UPRIGHT / ACCENT PLANT	CHONDROPETALUM TECTORUM CAPE RUSH	15 GALLON		164
	ROUNDED / SCREENING	GISTIA X PURPUREUS ORCHID ROCKROSE	5 GAL		21
	LOW / ACCENT	DIANELLA CAERULEA 'CASSA BLUE' CASSA BLUE FLAX LILY	5 GAL		36
	MEDIUM / ACCENT PLANT	HESPERALOE PARVIFLORA RED YUCCA	1 GAL		57
	SPREADING / GROUND COVER	LANTANA MONTEVIDENSIS 'YELLOW' TRAILING LANTANA	5 GAL		57
	MEDIUM / SCREENING PLANT	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GALLON		54
	MEDIUM / SCREENING PLANT	WESTRINGIA FRUTICOSA 'MORNING LIGHT' MORNING LIGHT COAST ROSEMARY	5 GALLON		51
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	WATER (KG)	SPACING	QTY
	SPREADING / GROUND COVER	BACCHARIS PILULARIS 'PIGEON POINT' COYOTE BRUSH W/ ROSEMARY 'PROSTRATUS' INTERPLANTED FROM FLATS AT 12 INCHES ON CENTER	1 GAL	LOW 3	36" oc. 747
	SENECIO SERPENS BLUE CHALKSTICKS	FLAT			6.819 SF
EXISTING	BOTANICAL / COMMON NAME	CONT	WATER (KG)	SPACING	QTY
	EXISTING TO REMAIN FOUNDATION	EXISTING			4.614 SF
NON LIVING GROUND COVER	BOTANICAL / COMMON NAME	CONT	WATER (KG)	SPACING	QTY
	BARK MULCH BARK MULCH	3 IN DEPTH			3.611 SF

PREPARED BY:	REVISION 14: _____
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PROJECT NAME:	REVISION 5: _____
UNIVERSITY SELF STORAGE	REVISION 4: 10 NOV 2023
	REVISION 3: 31 JUL 2023
	REVISION 2: 4 MAY 2022
	REVISION 1: 25 JUL 2020
SHEET TITLE:	ORIGINAL DATE: 24 MAY 2020
LANDSCAPE PLANS	SHEET 4 OF 10
PLANTING SCHEDULE	DEF# _____



LANDSCAPE
CONSTRUCTION
PLAN

UNIVERSITY
SELF
STORAGE

5150 University Ave.
San Diego, California

REFERENCE: PROJ. NO. - x

SHEET:

L-5

SOIL PREPARATION AND FINISH GRADING

PART 1 - GENERAL

1.1 DESCRIPTION

- A. WORK INCLUDED: PREPARATION OF SURFACE STRATA OF SOIL FOR PLANTING INCLUDING, BUT NOT NECESSARILY LIMITED TO:
 1. TOPSOIL PLACEMENT,
 2. SOILS TESTING,
 3. PLACEMENT AND INCORPORATION OF SOIL AMENDMENTS,
 4. FINISH GRADING,
 5. ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED WHICH CAN REASONABLY BE INFERRED AS PART OF WORK.
- B. RELATED WORK: PLANTING TREES, SHRUBS AND GROUND COVER

1.2 SUBMITTALS

- TEST RESULTS
- DELIVERY STATEMENTS

1.3 QUALITY ASSURANCE

- A. WORK SHALL BE PERFORMED PER BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES UNDER CONTINUOUS SUPERVISION OF COMPETENT FOREMAN, CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
- B. HERBICIDE APPLICATOR SHALL BE LICENSED BY STATE OF CALIFORNIA.

1.4 DELIVERY, STORAGE AND HANDLING. WORK SHALL BE PERFORMED PER BEST STANDARDS OF

- A. CONTAINERS SHALL BE UNOPENED AT DELIVERY AND RESPECTIVE LABELS SHALL SHOW CONTENTS.
- B. STORE CONTAINERS OFF THE GROUND AND PROTECT FROM THE WEATHER.

1.5 PROJECT SITE CONDITIONS

- A. WHEN EXISTING (STOCKPILED) SOIL IS AVAILABLE CONTRACTOR SHALL VERIFY THE QUANTITY, LOCATION AND WHEN SOIL CAN BE MOVED INTO THE PLANTING AREA.
- B. STOCKPILED SOIL IS TO MEET CONDITIONS DESCRIBED IN SECTION ON MATERIAL STANDARDS. NO SOIL SHALL BE MOVED INTO AREAS WHEN EITHER THE SOIL OR EXISTING GRADE IS TOO WET OR DRY, OR WHEN DELETERIOUS MATERIALS ARE PRESENT.

PART 2 - PRODUCTS

2.1 TOPSOIL

- A. SOURCE: OFF-SITE BORROW TAKEN FROM SOURCE ACCEPTABLE TO LANDSCAPE ARCHITECT.
- B. ACID-ALKALINE RANGE: pH 6.0 TO 7.0
- C. FREE OF PESTS, PEST LARVAE AND MATTER TOXIC TO PLANTS.
- D. PERCENT OF ORGANIC MATTER: 2% MINIMUM.
- E. MAXIMUM 5% BY VOLUME SLAS, CLINDERS, STONES OR OTHER EXTRANEIOUS MATERIAL OVER 1/2" DIAMETER.
- F. FREE OF NOXIOUS WEED SEED, PATHOGENIC VIRUSES, HERBICIDES, OR CHEMICALS THAT INHIBIT GROWTH.
- G. TESTS AND SAMPLING OF TOPSOIL:
 1. PROVIDE SOIL SAMPLING FROM THREE LOCATIONS AND SUBMIT TO CERTIFIED AGRONOMIC SOIL TESTING LABORATORY. SUBMIT LABORATORY TO PROVIDE TESTING TO CITY FOR APPROVAL PRIOR TO TESTING.
 2. TESTS: ORGANIC MATTER, NUTRIENT ANALYSIS, TEXTURAL ANALYSIS AND SALINITY TEST. PROVIDE TEST RESULTS AND AMENDMENT RECOMMENDATIONS BY TESTING LAB TO LANDSCAPE ARCHITECT AND CITY PRIOR TO AMENDMENT DELIVERY. CITY SHALL APPROVE TESTING LAB AND RECOMMENDATIONS PRIOR TO AMENDMENT DELIVERY.

2.2 SOIL CONDITIONERS

- A. PEAT: CANADIAN PEAT MOSS
- B. HERBICIDES: AS REQUIRED UPON LANDSCAPE ARCHITECT'S APPROVAL.
- C. FERTILIZER:
 1. PRE PLANTING FERTILIZER SHALL BE LONG LASTING, CONTROLLED RELEASE, UNIFORM, FREE FLOWING SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT AND SHALL CONTAIN THE FOLLOWING MINIMUM AVAILABLE PERCENTAGES BY WEIGHT OF PLANT FOOD: FOR LAWN AREAS: N-P-K RATIO AS REQUIRED FROM SOIL REPORT
 2. POST PLANTING FERTILIZER SHALL BE ORGANIC BASE, NON BURNING, SLOW RELEASE FREE FLOWING SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT WITH THE FOLLOWING MINIMUM AVAILABLE PERCENTAGES OF WEIGHT OF PLANT FOOD WITH TRACE MINERALS OF 3% IRON AND 3% SULFUR.
 3. FOR LAWN AND SHRUB AREAS: N-P-K RATIO OF 14-7-3
 4. PLANTING TABLETS SHALL BE TIGHTLY COMPRESSED CHIP TYPE COMMERCIAL PLANT TABLETS WITH THE FOLLOWING AVAILABLE PERCENTAGES OF WEIGHT OF PLANT FOOD: FOR 21 GRAM TABLETS: N-P-K RATIO OF 20-10-5
 5. FOR 5 OR 7 GRAM TABLETS: N-P-K RATIO OF 12-5-8
- D. ORGANIC SOIL AMENDMENTS: DERIVED FROM REDWOOD OR FIR BARK, WITH SEVERAL GRADIENT DEGREES OF BREAKDOWN, NON IONIC WETTING AGENT, STABILIZED WITH NITROGEN (0.5%) AS FOLLOWS:
 1. SALINITY: SATURATION EXTRACT CONDUCTIVITY (SEC) NOT TO EXCEED 1.75 AT 25 DEGREES CENTIGRADE.
 2. ORGANIC CONTENT: MINIMUM 40% BY WEIGHT.
 3. pH: 5.5 TO 6.0.
 4. CONTAINING NO SLUDGE OR ANIMAL MANURE.
- E. MINERALS:
 1. SOIL SULFUR (S) SHALL BE ELEMENTAL SULFUR (99.5%) MINIMUM.
 2. FERROUS SULFATE SHALL BE PELTED OR GRANULAR FORM CONTAINING NOT LESS THAN 18% METALLIC IRON. MATERIAL SHALL CONFORM TO THE AGRICULTURAL CODE OF THE STATE OF CALIFORNIA.
 3. AGRICULTURAL GYPSUM (CaSO4-2H2O) SHALL BE COMMERCIALY PROCESSED WITH MINIMUM 80% GRADE CONTAINING 14% MINIMUM COMBINED SULFUR.
 4. LIME (CaCO3) SHALL BE CALCIUM CARBONATES LIME.
- F. SOIL PENETRANT: "SARVON" BRAND.
- G. WATER:
 1. SOURCE: IRRIGATION SYSTEM P.O.C.

2.3 SOIL CONDITIONERS

- A. PEAT: CANADIAN PEAT MOSS
- B. HERBICIDES: AS REQUIRED UPON LANDSCAPE ARCHITECT'S APPROVAL.
- C. FERTILIZER:
 1. PRE PLANTING FERTILIZER SHALL BE LONG LASTING, CONTROLLED RELEASE, UNIFORM, FREE FLOWING SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT AND SHALL CONTAIN THE FOLLOWING MINIMUM AVAILABLE PERCENTAGES BY WEIGHT OF PLANT FOOD: FOR LAWN AREAS: N-P-K RATIO AS REQUIRED FROM SOIL REPORT
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2.4 SOIL CONDITIONERS

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- B. HERBICIDES: AS REQUIRED UPON LANDSCAPE ARCHITECT'S APPROVAL.
- C. FERTILIZER:
 1. PRE PLANTING FERTILIZER SHALL BE LONG LASTING, CONTROLLED RELEASE, UNIFORM, FREE FLOWING SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT AND SHALL CONTAIN THE FOLLOWING MINIMUM AVAILABLE PERCENTAGES BY WEIGHT OF PLANT FOOD: FOR LAWN AREAS: N-P-K RATIO AS REQUIRED FROM SOIL REPORT
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- F. SOIL PENETRANT: "SARVON" BRAND.
- G. WATER:
 1. SOURCE: IRRIGATION SYSTEM P.O.C.

PART 3 - EXECUTION

3.1 INSPECTION

- A. EXAMINE GRADE TO RECEIVE SOIL PREPARATION TO ASSURE WORK OF OTHER TRADES HAS BEEN COMPLETED.
- B. VERIFY GRADE WITH LANDSCAPE ARCHITECT PRIOR TO BEGINNING SOIL PERPETRATION.
- C. NO SOIL PREPARATION SHALL BE PERFORMED UNTIL ALL STRUCTURES AND WALLS AND CONSTRUCTION ITEMS (INCLUDING MAINS AND DRAINAGE LINES) HAVE BEEN INSTALLED.
- D. THE SITE SHALL BE FREE OF WEEDS, TRASH AND DELETERIOUS MATERIALS PRIOR TO SOIL PREPARATION.
- E. VERIFY THAT PLANTS TO REMAIN HAVE BEEN UNDISTURBED.
- F. DO NOT PROCEED WITH SOIL PREPARATION UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

3.2 SOILS TEST RESULTS

- PROVIDE TEST RESULTS TO LANDSCAPE ARCHITECT AND MUNICIPALITY/ LOCAL AGENCY INSPECTOR. CONFIRM SOIL AMENDMENTS PRIOR TO APPLICATION AND BACKFILL. (SEE PLANTING NOTES 9 & 12, SHEET)

3.3 PERFORMANCE

- A. SUBSOIL:
 1. SCARIFY SUBSOIL IN ALL AREAS (EXCEPT SLOPES 3:1 OR GREATER) TO BE PLANTED TO DEPTH OF 6 INCHES PRIOR TO PLACEMENT OF AMENDMENTS AND TOPSOIL. THE SOIL SURFACE SHALL BE MADE LOOSE AND FRAGILE.
 2. REMOVE ROCKS AND OTHER OBJECTS OVER 2 INCHES IN DIAMETER.
- B. TOPSOIL: (NOT APPLICABLE)
- C. INCORPORATION OF SOIL AMENDMENTS:
 1. PLACE ADDITIVES UNIFORMLY IN ACCORDANCE WITH SPECIFICATION AND SOIL TEST RESULTS, INCORPORATE TO DEPTH OF PLACEMENT OF AMENDMENTS AND TOPSOIL. THE SOIL SURFACE SHALL BE MADE LOOSE AND FRAGILE.
 2. RAKE DRAG, ROLL AND SMOOTH THE SURFACE UNTIL FREE OF HOLLOWES AND RIDGES AND IT CONFORMS TO ESTABLISHED GRADE PLUS OR MINIMUM 1 INCH IN 10 FEET.
 3. APPLY PRE-EMERGENT HERBICIDE IN ACCORDANCE WITH MANUFACTURERS AND AGENCY REQUIREMENTS.
- D. FINISH GRADE:
 1. UPON COMPLETION OF ROTOTILLING AND TOPSOIL PLACEMENT, ALL AREAS SHALL BE WATERED TO SETTLE SOIL.
 2. WHEN THE SOIL HAS DRIED SUFFICIENTLY TO BE READILY WORKED, ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO PREVIOUSLY ESTABLISHED GRADES.
 3. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORMLY LEVEL OR SLOPING BETWEEN GIVEN ELEVATIONS. FINISH GRADE SHALL BE SMOOTH, EVEN, UNIFORM PLANES WITHOUT ABRUPT CHANGE OF ELEVATION.
 4. SOIL AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM BUILDING TO ALLOW FOR A NATURAL RUN OFF OF WATER, AND SURFACE WATER SHALL BE DIRECTED AS INDICATED ON THE DRAWINGS BY REMODELING SURFACES TO FACILITATE NATURAL RUN OFF OF WATER.
 5. LOW SPOTS AND POCKETS SHALL BE GRADED TO DRAIN PROPERLY, MAINTAIN 2% MINIMUM SLOPE.
 6. FINISH GRADE OF ALL PLANTING AREAS SHALL BE BROUGHT FLUSH WITH CURBS AND PAVING TO ASSURE POSITIVE DRAINAGE OVER THE SURFACE.
 7. MAKE MINOR ADJUSTMENTS TO FINISH GRADE AS DIRECTED BY THE LANDSCAPE ARCHITECT.

- 2.3 SOIL CONDITIONS - SEE SECTIONS ON GRADING, DRAINAGE AND SOIL PREPARATION STANDARDS.

- 3.1 PLANTING - GENERAL
 - A. RELATIVE POSITION OF ALL TREES AND PLANTS IS SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND SHALL, IF NECESSARY, BE RELOCATED AS DIRECTED AS PART OF CONTRACT. PLANT PITS SHALL BE MINIMUM WIDTH 2X LARGER THAN ROOT BALL. IF WATER WILL NOT DRAIN FROM HOLE OVER NIGHT, TAKE CAUTION NOT TO OVER WATER PLANTS.
 - B. SET SO THAT, WHEN SETTLED, PLANTS ARE 1 IN. HIGHER THAN FINISH GRADE THAN THEY BORE TO CONTAINER. PLANT IN CENTER OF PIT, BACK FILL WITH MIX PER PLANTING NOTES. NO SOIL IN MUDDY CONDITION SHALL BE USED ON BACKFILLING. NO FILLINGS WILL BE PERMITTED AROUND TRUNKS OR STEMS. ALL BROKEN OR FRAYED ROOTS SHALL BE PROPERLY CUT.
 - C. DO NOT ALLOW PLANTS TO DRY BEFORE OR WHILE PLANTING. KEEP EXPOSED RTS MOIST BY MEANS OF NET SANDUST, PEAT MOSS, OR BURLAP AT ALL TIMES DURING PLANTING. DO NOT EXPOSE TO AIR WHILE BEING PLACED IN GROUND. WILTED PLANTS, IN PLACE OR NOT, WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - D. LANDSCAPE ARCHITECT SHALL MAKE PERIODIC INSPECTIONS DURING PLANTING. PLANTS NOT PROPERLY HANDLED, SPOTTED OR PLANTED SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT.
 - E. IN THE EVENT THAT UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED ALTERNATIVE LOCATIONS WILL BE SELECTED BY LANDSCAPE ARCHITECT. LOCATION OPERATION WILL BE DONE AT NO EXTRA COST TO OWNER.

- 3.2 PLANTING OF TREES
 - A. SPECIMEN TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT WITHIN 30 DAYS OF THE AWARD OF CONTRACT OR 48 HOURS BEFORE DELIVERY, WHICHEVER COMES FIRST. SPECIMEN TREES DELIVERED THAT ARE DAMAGED OR CHANGED FROM THE WRITTEN APPROVAL ARE SUBJECT TO REJECTION.
 - B. NO TREES 15 GALLONS AND OVER SHALL BE PLANTED IN A HOLE THAT WILL NOT NATURALLY DRAIN IN 24 HOURS AFTER BEING FILLED WITH WATER. CONDUCT TEST TO MAKE THIS DETERMINATION, AND NOTIFY LANDSCAPE ARCHITECT OF RESULT PRIOR TO PLANTING.
 - C. PLANT ALL SPECIMENS OCCURRING IN SODDED OR GROUND COVER AREAS BEFORE FINAL PREPARATION OF THOSE AREAS.

- 3.3 PLANTING SHRUBS AND GROUND COVER
 - A. REMOVE ALL VINES FROM STAKES, UNTIE, AND SECURELY FASTEN IN AN APPROVED MANNER TO WALL, FENCE, OR OTHER SURFACE NEAR TO WHICH THEY ARE PLANTED.
 - B. SET IN CENTER OF PIT, IN VERTICAL POSITION, SO THAT AFTER ALLOWING FOR WATERING AND SETTLING, CROWN OF ROOT BALL IS 1 IN. ABOVE SURROUNDING FINISH GRADE TO PREVENT WATER ACCUMULATION.

- 3.4 INSTALLATION OF GROUND COVER
 - A. PLANT GROUND COVER IN AREAS DESIGNATED ON PLANS.
 - B. KEEP GROUND COVER STORED ON THE SITE MOIST AND FREE OF INSECTS AND WEEDS.
 - C. DO NOT PLANT GROUND COVER UNTIL INSPECTED BY LANDSCAPE ARCHITECT.
 - D. PLANT FLATTED GROUND COVER WITH FLAT SOIL. INTACT WITH ROOTS.

- 3.5 FERTILIZER
 - INSTALL CHIP TYPE FERTILIZER TABLETS PER THE PLANTING NOTES.

- 3.6 WATER BASINS
 - PREPARE RAISED WATER BASIN AS WIDE AS PLANT BALL AT EACH PLANT. WATER THOROUGHLY, BACK FILLING ANY VOIDS WITH ADDITIONAL PREPARED PLANTING MIX. DO NOT BASIN FLAT SIZED PLANTS. REMOVE ALL BASINS PRIOR TO PLANTING OF LAWN AND GROUND COVER.

- 3.7 WATERING
 - A. APPLY WATER IMMEDIATELY AFTER PLANTING, TO EACH TREE, SHRUB, VINE AND GROUND COVER AREA BY HOSE. APPLY WATER IN A MODERATE STREAM IN PLANTING HOLES UNTIL THE MATERIAL ABOUT THE ROOTS IS MOIST FROM BOTTOM OF HOLE TO TOP OF THE GROUND.
 - B. FOLLOWING THE PLANTING OF GROUND COVER PLANTS, IMMEDIATELY AND THOROUGHLY WATER EACH PLANT.
 - C. WATER PLANTS NOT EFFICIENTLY WATERED WITH EXISTING IRRIGATION SYSTEM WITH HOSE.
 - D. APPLY WATER IN SUFFICIENT QUANTITIES, AS OFTEN AS SEASONAL CONDITIONS REQUIRE TO KEEP THE GROUND MOIST AT ALL TIMES TO THE DEPTH OF THE ROOT SYSTEM OF GRASS AND PLANTS.

- 3.8 PROTECTION
 - CAREFULLY AND CONTINUOUSLY PROTECT AREAS INCLUDED IN CONTRACT, INCLUDING PLANT MATERIALS, FENCE SUPPORTS, ETC., UNTIL FINAL ACCEPTANCE.

- 3.9 CLEAN UP
 - UPON COMPLETION OF WORK, REMOVE RUBBISH, TRASH, AND DEBRIS RESULTING FROM OPERATION. REMOVE EQUIPMENT AND IMPLEMENTS OF SERVICE AND LEAVE ENTIRE AREA INVOLVED IN A NEAT, ACCEPTABLE CONDITION SUCH AS TO MEET APPROVAL OF LANDSCAPE ARCHITECT.

- 3.10 MAINTENANCE
 - A. MAINTAIN ALL PLANTING AREAS IN VIGOROUS, THRIVING CONDITION BY WATERING, CULTIVATING, SPRAYING, WASHING OFF WALKS, AND ANY OTHER NECESSARY OPERATIONS DURING THE ENTIRE PERIOD OF INSTALLATION AND ESTABLISHMENT MAINTENANCE UNTIL FINAL ACCEPTANCE.
 - B. CALENDAR: MAINTENANCE PERIOD SHALL BE CALCULATED FROM INITIAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
 - C. IMPROPER MAINTENANCE WHICH MAY CAUSE THE POOR CONDITION OF PLANTED MATERIAL AT TERMINATION OF SCHEDULED CONTRACT PERIOD WILL CAUSE POSTPONEMENT OF FINAL ACCEPTANCE OF WORK. CONTINUE MAINTENANCE OF SUCH AREAS AT NO ADDITIONAL COST TO OWNER UNTIL WORK IS ACCEPTED.
 - D. KEEP ALL AREAS FREE OF DEBRIS, WEEDS AND CULTIVATED AT INTERVALS OF NOT GREATER THAN TEN (10) DAYS AFTER INITIAL ACCEPTANCE OF ANY AREA.
 - E. MAINTAIN ADEQUATE PROTECTION OF ALL AREAS. DAMAGED AREAS SHALL BE REPAIRED IMMEDIATELY.
 - F. POST FERTILIZE ALL AREAS AFTER THIRTY (30) DAYS AND EACH SIXTY (60) DAYS THEREAFTER OF MAINTENANCE.
 - G. REMOVE ALL WEEDS BY HAND, AFTER WATERING, AT THIRTY (30) DAYS AFTER INITIAL ACCEPTANCE. APPLICATION OF OF DYMID OR TREFLAN OR APPROVED PRE EMERGENCE WEED CONTROL SHALL BE MADE WHEN, IN LANDSCAPE ARCHITECT'S OPINION, PROJECT IS INFESTED WITH WEED SEED AND FURTHER WEEDING WILL BECOME AN UNNECESSARY BURDEN TO OWNER.
 - H. CALL FOR INSPECTION AFTER EACH THIRTY (30) DAYS OF MAINTENANCE.
 - I. MAINTENANCE SHALL CONTINUE FOR PERIOD SPECIFIED IN PLANTING NOTES.

- 3.11 GUARANTEE AND REPLACEMENT
 - ALL PLANTS SHALL BE GUARANTEED FOR PERIOD SPECIFIED IN PLANTING NOTES. ANY PLANT NOT GROWING PROPERLY DURING THIS PERIOD SHALL BE REPLACED WITHIN SEVEN (7) DAYS OF WRITTEN NOTICE. GUARANTEE MAY BE EXTENDED IN CASES IF PLANTS ARE SLOW TO ESTABLISH. IF CONTRACTOR FAILS TO MAKE REPLACEMENTS WITHIN TIME LIMIT, OWNER MAY REPLACE THEM AT CONTRACTOR'S EXPENSE.

- 3.12 PLANTING TREES, SHRUBS AND GROUND COVER
- 1.1 DESCRIPTION
 - A. WORK INCLUDED: PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE WORK ON DRAWINGS, COMPLETE IN PLACE AND APPROVED, INCLUDING BY NOT NECESSARILY LIMITED TO:
 1. PURCHASE OF PLANTS
 2. ALL PLANTING, INCLUDING GROUND COVER
 3. INSPECTION AND CERTIFICATION
- 1.2 QUALITY ASSURANCE
 - PERFORM IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES UNDER CONTINUOUS SUPERVISION OF COMPETENT FOREMAN, CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
- 1.3 EXISTING SITE CONDITIONS
 - A. PRIOR TO EXCAVATION OR PLACING OF STAKES, LOCATE ALL ELECTRIC CABLES, CONDUITS, SPRINKLER VALVES, UTILITY LINES SO THAT PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH IMPROVEMENTS. IN EVENT OF CONFLICT BETWEEN SUCH LINES AND PLANT LOCATIONS, NOTIFY LANDSCAPE ARCHITECT. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON CONTRACTOR THE RESPONSIBILITY FOR MAKING ANY AND ALL REPAIRS FOR DAMAGE RESULTING FROM WORK HEREUNDER.
 - B. VERIFICATION OF DIMENSIONS: ALL SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING, CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES AND IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN DRAWINGS, SPECIFICATION AND ACTUAL CONDITIONS. PERFORM NO WORK IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY LANDSCAPE ARCHITECT.
- 1.4 SCHEDULING / SEQUENCING
 - A. AFTER SOIL HAS BEEN PREPARED PER SOIL PREPARATION SPEC., IRRIGATION SYSTEM IS INSTALLED AND CONDITIONS ARE FAVORABLE TO PLANT, REQUEST APPROVAL TO PLANT.
 - B. IRRIGATION AND PLANTING MAY BE DONE CONCURRENTLY, HOWEVER, PLANTING WORK MAY NOT START IN ANY SECTION PRIOR TO INSPECTION AND APPROVAL OF IRRIGATION WORK.
- 1.5 SUBSTITUTIONS
 - NO SUBSTITUTIONS FROM SPECIFIED PLANT MATERIALS WILL BE PERMITTED UNLESS SUBSTITUTE MATERIALS ARE APPROVED IN ADVANCE BY LANDSCAPE ARCHITECT AND MUNICIPALITY/ LOCAL AGENCY INSPECTOR, AND SUBSTITUTIONS ARE MADE AT NO ADDITIONAL CHARGE TO OWNER. IF ACCEPTED SUBSTITUTES ARE OF LESS VALUE THAN THOSE INDICATED OR SPECIFIED, CONTRACT PRICE WILL BE ADJUSTED IN ACCORDANCE WITH PROVISIONS OF CONTRACT.
- 1.6 SUBMITTALS
 - A. FURNISH SOURCE OF MATERIALS IF REQUESTED BY OWNER OR LANDSCAPE ARCHITECT
 - B. IN ADDITION TO ANY OTHER CERTIFICATES SPECIFIED, FURNISH A CERTIFICATE WITH EACH DELIVERY OF BULK MATERIAL STATING SOURCE, QUANTITY, TYPE OF MATERIAL, AND THAT MATERIAL CONFORMS TO SPECIFICATION. SUBMIT CERTIFICATES PRIOR TO START OF MAINTENANCE PERIOD.
- 1.7 GUARANTEE AND REPLACEMENT
 - ALL PLANTS SHALL BE GUARANTEED FOR PERIOD SPECIFIED IN PLANTING NOTES. ANY PLANT NOT GROWING PROPERLY DURING THIS PERIOD SHALL BE REPLACED WITHIN SEVEN (7) DAYS OF WRITTEN NOTICE. GUARANTEE MAY BE EXTENDED IN CASES IF PLANTS ARE SLOW TO ESTABLISH. IF CONTRACTOR FAILS TO MAKE REPLACEMENTS WITHIN TIME LIMIT, OWNER MAY REPLACE THEM AT CONTRACTOR'S EXPENSE.

PART 2 - PRODUCTS

- 2.1 PLANT QUANTITIES AND TYPES
 - FURNISH PLANT MATERIALS IN QUANTITIES AND SPACINGS SHOWN, OR NOTED FOR EACH LOCATION, OF SPECIES, KIND, SIZE, ETC. AS SYMBOLIZED AND DESCRIBED IN PLANT LEGEND.
- 2.2 PLANT MATERIAL STANDARDS:
 - A. NOMENCLATURE: PLANT NAMES LISTED IN PLANT LEGEND CONFORM TO "STANDARD PLANT NAMES" ESTABLISHED BY AMERICAN COMMITTEE ON HORTICULTURAL NOMENCLATURE, FOR NAMES NOT COVERED THEREIN FOLLOW LOCAL NURSERY CUSTOM.
 - B. CONDITION: SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE OF DISEASE, INSECT PESTS OR EGGS, HAVING HEALTHY, NORMAL ROOT SYSTEMS, WELL FITTING CONTAINERS BUT NOT TO POINT OF BEING ROOT BOUND. DO NOT PRUNE PRIOR TO DELIVERY. IN NO CASE SHALL TREES BE TOPPED BEFORE DELIVERY.

- C. DIMENSIONS: MEASURE HEIGHT AND SPREAD OF PLANT MATERIAL WITH BRANCHES IN NORMAL POSITION. MEASURE TREE CALIPER 2'-0" ABOVE GRADE. PROVIDE ALL PLANTS AT MINIMUM DIMENSIONS INDICATED ON PLANS, WHERE CALIPER OR OTHER DIMENSIONS OF ANY PLANT MATERIALS ARE OMITTED FROM PLANT LEGEND, IT SHALL BE AVERAGE STOCK FOR TYPE LISTED.
- D. INSPECTIONS: ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND APPROVAL BEFORE PLANTING. ALL PLANTS SUPPLIES TO PROJECT (WHETHER PLANTED OR NOT) ARE SUBJECT TO REJECTION.
- E. PLANT LIST: AS INDICATED ON PLANTING PLAN
- F. SIZES OF PLANTS: PER PLANT LEGEND. CONTAINER STOCK (1, 5, AND 15 GALLON) SHALL HAVE BEEN GROWN IN CONTAINERS FOR TIME SUFFICIENT TO DEVELOP ROOT GROWTH SUFFICIENT TO HOLD SOIL BALL TOGETHER TO SIDE AND BOTTOM OF CONTAINER IN WHICH IT WAS DELIVERED.
- G. PLANTS NOT APPROVED: REMOVE FROM SITE IMMEDIATELY AND REPLACE WITH SUITABLE PLANTS. LANDSCAPE ARCHITECT MAY REJECT ENTIRE LOT OF PLANTS REPRESENTED BY DEFECTIVE SAMPLES.

- 2.3 SOIL CONDITIONS - SEE SECTIONS ON GRADING, DRAINAGE AND SOIL PREPARATION STANDARDS.

- 3.1 PLANTING - GENERAL
 - A. RELATIVE POSITION OF ALL TREES AND PLANTS IS SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND SHALL, IF NECESSARY, BE RELOCATED AS DIRECTED AS PART OF CONTRACT. PLANT PITS SHALL BE MINIMUM WIDTH 2X LARGER THAN ROOT BALL. IF WATER WILL NOT DRAIN FROM HOLE OVER NIGHT, TAKE CAUTION NOT TO OVER WATER PLANTS.
 - B. SET SO THAT, WHEN SETTLED, PLANTS ARE 1 IN. HIGHER THAN FINISH GRADE THAN THEY BORE TO CONTAINER. PLANT IN CENTER OF PIT, BACK FILL WITH MIX PER PLANTING NOTES. NO SOIL IN MUDDY CONDITION SHALL BE USED ON BACKFILLING. NO FILLINGS WILL BE PERMITTED AROUND TRUNKS OR STEMS. ALL BROKEN OR FRAYED ROOTS SHALL BE PROPERLY CUT.
 - C. DO NOT ALLOW PLANTS TO DRY BEFORE OR WHILE PLANTING. KEEP EXPOSED RTS MOIST BY MEANS OF NET SANDUST, PEAT MOSS, OR BURLAP AT ALL TIMES DURING PLANTING. DO NOT EXPOSE TO AIR WHILE BEING PLACED IN GROUND. WILTED PLANTS, IN PLACE OR NOT, WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
 - D. LANDSCAPE ARCHITECT SHALL MAKE PERIODIC INSPECTIONS DURING PLANTING. PLANTS NOT PROPERLY HANDLED, SPOTTED OR PLANTED SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT.
 - E. IN THE EVENT THAT UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED ALTERNATIVE LOCATIONS WILL BE SELECTED BY LANDSCAPE ARCHITECT. LOCATION OPERATION WILL BE DONE AT NO EXTRA COST TO OWNER.

- 3.2 PLANTING OF TREES
 - A. SPECIMEN TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT WITHIN 30 DAYS OF THE AWARD OF CONTRACT OR 48 HOURS BEFORE DELIVERY, WHICHEVER COMES FIRST. SPECIMEN TREES DELIVERED THAT ARE DAMAGED OR CHANGED FROM THE WRITTEN APPROVAL ARE SUBJECT TO REJECTION.
 - B. NO TREES 15 GALLONS AND OVER SHALL BE PLANTED IN A HOLE THAT WILL NOT NATURALLY DRAIN IN 24 HOURS AFTER BEING FILLED WITH WATER. CONDUCT TEST TO MAKE THIS DETERMINATION, AND NOTIFY LANDSCAPE ARCHITECT OF RESULT PRIOR TO PLANTING.
 - C. PLANT ALL SPECIMENS OCCURRING IN SODDED OR GROUND COVER AREAS BEFORE FINAL PREPARATION OF THOSE AREAS.

- 3.3 PLANTING SHRUBS AND GROUND COVER
 - A. REMOVE ALL VINES FROM STAKES, UNTIE, AND SECURELY FASTEN IN AN APPROVED MANNER TO WALL, FENCE, OR OTHER SURFACE NEAR TO WHICH THEY ARE PLANTED.
 - B. SET IN CENTER OF PIT, IN VERTICAL POSITION, SO THAT AFTER ALLOWING FOR WATERING AND SETTLING, CROWN OF ROOT BALL IS 1 IN. ABOVE SURROUNDING FINISH GRADE TO PREVENT WATER ACCUMULATION.

- 3.4 INSTALLATION OF GROUND COVER
 - A. PLANT GROUND COVER IN



LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

REFERENCE: PROJ. NO. - x

SHEET:

L-6

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	10 NOV 2023
REVISION 3:	31 JUL 2023
REVISION 2:	4 MAY 2022
REVISION 1:	25 JUL 2020
ORIGINAL DATE:	24 MAY 2020
SHEET	OF 10
DE#	6

PREPARED BY:
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PROJECT ADDRESS:
5150 UNIVERSITY AVENUE
SAN DIEGO, CA 92120

PROJECT NAME:
UNIVERSITY SELF STORAGE

SHEET TITLE:
LANDSCAPE PLANS
WATER CONSERVATION PLAN

IRRIGATION CONCEPT

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AUTOMATICALLY CONTROLLED, PERMANENT UNDERGROUND SYSTEMS. ALL IRRIGATION, EITHER EXISTING OR PROPOSED, SHALL CONFORM TO CITY ORDINANCE LANDSCAPE ARTICLES AND LAND DEVELOPMENT MANUAL AND ALL OTHER APPLICABLE CITY AND REGIONAL STANDARDS FOR IRRIGATION AND MAINTENANCE. SYSTEM SHALL PROVIDE FOR THE PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. RUNOFF SHALL BE MINIMIZED TO THE EXTENT POSSIBLE PER THE REGULATIONS. WATER CONSERVATION IS PROMOTED THROUGH THE 'HYDROZONE' GROUPING OF PLANTS WITH SIMILAR IRRIGATION REQUIREMENTS.

DRIP IRRIGATION IS ANTICIPATED TO BE UTILIZED FOR ALL PLANTING AREAS, A SEPARATE BUBBLER SYSTEM WILL BE PROPOSED FOR STREET TREES.

Legend for MAWA Water Budget Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year), see Table 6 or ETo Map
CF	Conversion factor to gallons
ETAF	Evapotranspiration Adjustment Factor 0.55 for residential landscape areas 0.45 for non-residential landscape areas
LA	Landscape Area (square feet)
L-ETAF	Additional Evapotranspiration Adjustment Factor for Special Landscape Areas and Reclaimed Water 0.45 for residential landscape areas 0.55 for non-residential landscape areas
SLA	Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ETo for the calculation may be based on the precise location of the project using the ETo Map or based on the ETo for the Community Planning Area in Table 6 of the Landscape Standards, each of which follows.

MAWA Water Budget calculation = $(ET_o)(0.62) [(ETAF)(LA) + (L-ETAF)(SLA)] =$ gallons per year

MAWA = $(51.0)(0.62)(0.45)(30,966)$

MAWA = 440,900

but is not limited to: inspection, system time-up, system test with distribution uniformity or emission uniformity, reporting coverage or runoff that causes overland flow, and preparation of an irrigation schedule.

Landscape Area: The entire premises less the area of building footprints, non-irrigated portions of parking lots, driveways, hardscapes (as defined in Land Development Code Section 113.0103), and areas designated for habitat preservation or Brush Management Zone 2.

Maximum Applied Water Allowance (MAWA) Water Budget: The upper limit of annual applied water for the established landscaped area expressed in gallons per year. It is based upon the area's reference evapotranspiration (ETo), the evapotranspiration adjustment factor (ETAF), and the size of the landscape area.

Plant Factor: A factor that when multiplied by the average inches per year evapotranspiration rate, estimates the amount of water used by plants. Plant water use calculations are based on the current Water Use Classification of Landscape Species (WUCOLS) list published by the University of California Cooperative Extension and the California Department of Water Resources: http://www.cdfa.ca.gov/UCOLS/Download_WUCOLS_V.1.pdf

Plant Water Use	Plant Factor	Also includes
Very Low	0.0 to 0.1	
Low	0.1 to 0.3	Artificial Turf, Temporary Irrigation
Moderate	0.4 to 0.6	
High	0.7 to 1.0	Water features
Special Landscape Area	1.0	

Special Landscape Area: Areas used for active and passive recreation areas, areas solely dedicated to the production of fruits and vegetables, and areas irrigated with reclaimed water.

2. DETERMINE THE WATER BUDGET

MAWA Water Budget Calculation

The MAWA Water Budget is calculated using the following calculation formula:
MAWA Water Budget = $(ET_o)(0.62) [(ETAF)(LA) + (L-ETAF)(SLA)] =$ gallons per year

For residential landscape areas = $(ET_o)(0.62)(0.55)(LA) + (0.45)(SLA)$
For non-residential landscape areas = $(ET_o)(0.62)(0.45)(LA) + (0.55)(SLA)$

WATER BUDGET LANDSCAPE WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: UNIVERSITY SELF STORAGE Project #:
Project Address: 5150 UNIVERSITY AVENUE
Individual/Business Completing the Worksheet: STEVE AHLES/AHLES LAND.
Phone Number: 858-756-8963

1. DEFINITIONS:

Estimated Total Water Use (ETWU): The total water used for the landscape based on the plants used and irrigation method selected for the landscape design. The ETWU shall not exceed the MAWA.

Evapotranspiration: The quantity of water as measured in average inches per year that evaporated from adjacent soil surfaces and transpired by plants during a specific time period. [Evapotranspiration data may be found at www.cimis.ucsd.edu. You may obtain a free password from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.]

Evapotranspiration Adjustment Factor (ETAF): A factor that when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

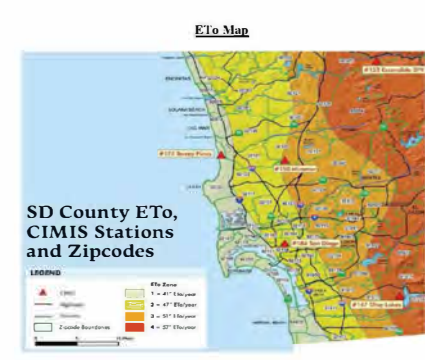
Hydrozone: A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated. For the purpose of the calculation, the surface area of non-manmade water features (see LDM Section 1.8) are included in the high water use hydrozone, and the surface area of artificial turf and temporary irrigation is included in the low water use hydrozone.

Irrigation Audit: An in-depth evaluation of the performance of an irrigation system conducted by a professional authorized by the State to perform such work. An irrigation audit includes:

San Diego Municipal Code
Land Development Code

Landscape Standards

Appendix E
Water Budget Landscape Worksheets



EVAPOTRANSPIRATION (ETo) TABLE BY COMMUNITY PLANNING AREA

Community Planning Area	Average Annual ETo (Inches/year)	Community Planning Area	Average Annual ETo (Inches/year)
Bonita Laguna	40	North City (TVA Solana II)	47
Black Mountain Ranch	47	Central Ranch	40
Central Mountain Ranch	47	Old San Diego	47
Carmel Valley	47	Old Mission	47
Contra Costa	40	Rancho Mission Viejo	40
City Heights	47	Pacific Beach	40
Charmant Mesa	47	Pacific Highlands Ranch	47
Colton Area	47	Pasadena	40
Del Mar Mesa	47	Palmdale Hermosa	47
East Foothill	47	Rancho Encinitas	47
Escondido Area	47	Rancho Pennington	47
Escondido	47	Water Spray	47
Escondido Country Club	47	San Marcos	47
Escondido North Park	47	San Marcos Ranch	47
Escondido Mesa	47	San Marcos Ranch	47
Escondido-Farmington	47	San Marcos Ranch	47
La Jolla	40	San Marcos San Diego	47
La Jolla	47	Vanderbilt	47
Midway-Pacific Highlands	40	Tijuana River Valley	40
Coronado	47	Tommy Highlands	47
Mar Vista	47	Vista Hills	47
Mountain Ranch North	47	Village Green	47
Mountain Ranch	47	Village Green	47
Mountain Valley	47	Village Green	47
Norway	47	Village Green	47
Normal Heights	47	Vista De La Valle	47

3. DETERMINE THE ESTIMATED TOTAL WATER USE (ETWU)

The Estimated Total Water Use (ETWU) is calculated using the following formula:
ETWU = $(ET_o)(0.62) [(ETAF)(LA) + (L-ETAF)(SLA)] =$ gallons per year

Then plug in the numbers from each controller hydrozone into the ETWU equation. Then total the gallons per year of each controller hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget MAWA.

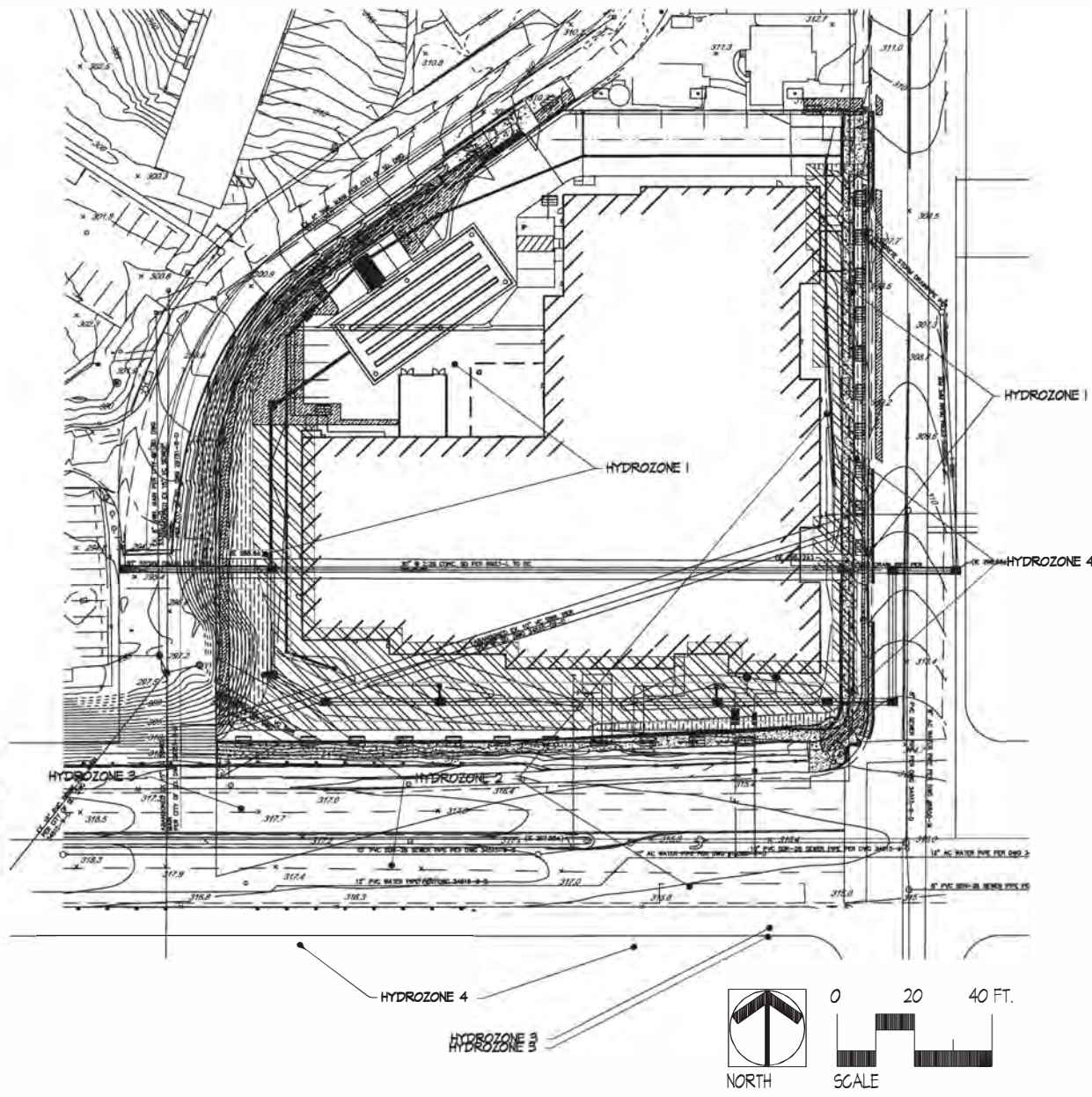
Controller No.	ETWU $[(ET_o)(0.62) [(ETAF)(LA) + (L-ETAF)(SLA)]]$	Result in Gallons per Year
214.5		67,713.6
241.6		265,973.9
1823.6		37,661.3
816.0		25,803.5
		417,523

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ETo	Evapotranspiration (inches per year)
CF	Conversion factor to gallons
PF	Plant Factor
LA	Hydrozone Area (square feet)
L-ETAF	Additional Evapotranspiration Adjustment Factor for Special Landscape Areas and Reclaimed Water (0.45 for Drip Systems devices) (0.75 for Overhead Sprinkler devices)
SLA	Special Landscape Area (square feet)

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in sq. ft. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	1	LOW DRIP	0.3	5782	D	0.81	18.7
2	2	LOW ROTATOR	0.3	14,621	R	0.7	69.3
3	3	SLOPE	0.3	4,255	R	0.7	19.7
4	4	TREES	0.5	1,322	D	0.81	4.3



WATER CONSERVATION PLAN

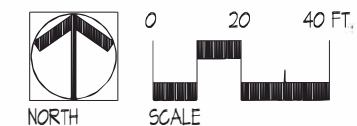


LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

SEE SHEET L-8 FOR IRRIGATION SCHEDULE
SEE SHEET L-8 FOR IRRIGATION NOTES
SEE SHEET L-9 AND L-10 FOR IRRIGATION DETAILS AND SPECIFICATIONS

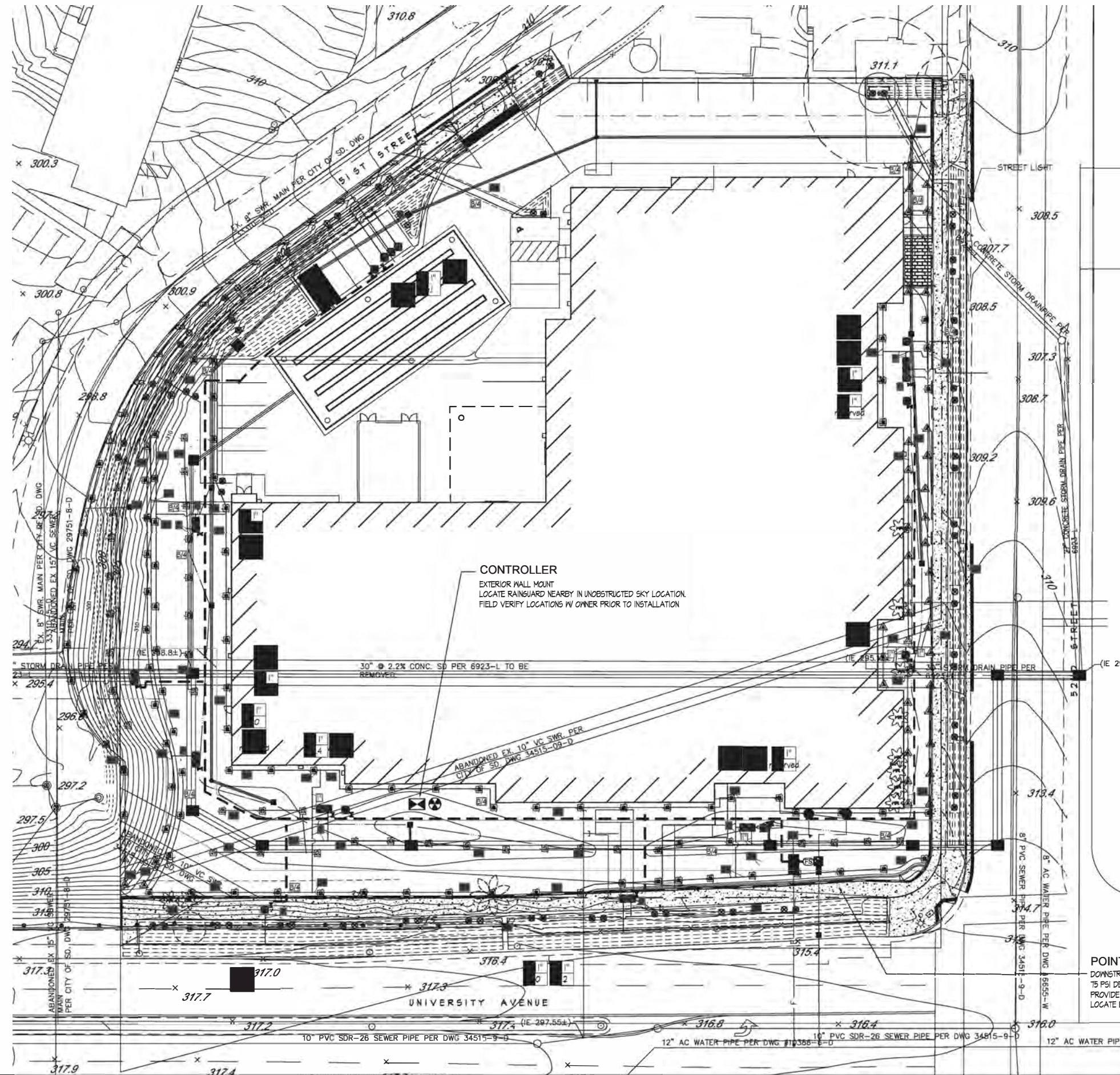


IRRIGATION PLAN

REFERENCE: PROJ. NO. - x

SHEET:

L-7



CONTROLLER
EXTERIOR WALL MOUNT
LOCATE RAINGUARD NEARBY IN UNOBSTRUCTED SKY LOCATION
FIELD VERIFY LOCATIONS IN OWNER PRIOR TO INSTALLATION

POINT OF CONNECTION

DOWNSIDE OF 1 IN. METER
75 PSI DESIGN PRESSURE-VERIFY PRIOR TO STARTING WORK
PROVIDE REGULATOR IF OVER 25 PSI.
LOCATE BACKFLOW IN SHURD AREA PER LOCAL CODE

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PROJECT NAME:
UNIVERSITY SELF STORAGE

SHEET TITLE:
LANDSCAPE PLANS
IRRIGATION PLAN

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REVISION 3:	31 JUL 2023
REVISION 2:	4 MAY 2022
REVISION 1:	25 JUL 2020
ORIGINAL DATE:	24 MAY 2020
SHEET	7 OF 10
DEF#	_____



LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

REFERENCE: PROJ. NO. - x

SHEET:

L-8

IRRIGATION NOTES

- IRRIGATION PLANS- PIPING, VALVES, HEADS, ETC. ARE DRAWN DIAGRAMMATICALLY. CONTRACTOR SHALL ADJUST TO PROVIDE ADEQUATE COVERAGE AS REQUIRED DUE TO MINOR SITE DRAWING DISCREPANCIES.
- IRRIGATION PLAN IS DIAGRAMMATIC. LOCATE ALL MAINLINES, EQUIPMENT AND APPURTENANCES WITHIN PROPERTY LINES AND OUTSIDE OF PUBLIC RIGHT OF WAY. LOCATE LATERALS WITHIN THE R.O.M. ONLY WHERE IRRIGATING THE R.O.M. LANDSCAPE. RED BRASS PIPE, MAINLINE, BACKFLOW PREVENTER MY BE LOCATED IN R.O.M.
- CONTRACTOR SHALL GUARANTEE THE ENTIRE SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.
- CONTRACTOR SHALL VERIFY WATER PRESSURE AT P.O.C PRIOR TO BEGINNING WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR'S POINT OF CONNECTION SHALL BE DOWNSTREAM OF WATER METER. PIPE BETWEEN METER AND BACKFLOW PREVENTER SHALL BE RED BRASS PIPE
- ELECTRICAL P.O.C. SHALL BE SPLICE TO 110 V POWER PROVIDED BY OWNER ADJACENT TO CONTROLLER LOCATION.
- PRESSURE MAINLINES SHALL BE INSTALLED EIGHTEEN (18") INCHES DEEP AND LATERALS TWELVE (12") INCHES DEEP.
- CONTRACTOR SHALL INSTALL THRUST BLOCKS (1 CUBIC FOOT OF CONCRETE) AT EACH CHANGE IN DIRECTION OF PRESSURE MAINLINE.
- PRESSURE TEST MAINLINE FOR 3 HOURS AT 150 P.S.I., HAVE INSPECTED AND APPROVED BY LAND ARCHITECT, CITY INSPECTOR PRIOR TO BACKFILL.
- LOCATE AUTOMATIC VALVES IN PLASTIC VALVE BOXES. PROVIDE ONE CUBIC FOOT OF PEA GRAVEL UNDER EACH VALVE. PROVIDE WATERPROOF VALVE IDENTIFICATION TAG ON EACH VALVE. BRAND EACH LID BY MELTING STATION NUMBER ONTO EACH LID.
- PROVIDE TWO EXTRA WIRES PLUS ONE EXTRA COMMON WIRE, CONTINUOUS FROM CONTROLLER TO FURTHEST VALVE IN EACH CLUSTER. PROVIDE WATERPROOF IDENTIFICATION TAG ON EXTRA WIRES.
- PROVIDE BALL VALVE IN SEPARATE PLASTIC BOX TO SEPARATE VALVE CLUSTER FROM MAINLINE (WHETHER SHOWN ON THE PLANS OR NOT).
- LOCATE VALVE BOXES, ETC. IN SHRUB PLANTING AREAS (NOT LAWN) WHERE POSSIBLE.
- PLACE QUICK COUPLERS NEAR VALVES AND SEPARATE FROM MAINLINE WITH BALL VALVE (WHETHER SHOWN ON PLANS OR NOT).
- OPEN
- ALL HEADS WITHIN 10 FEET OF PEDESTRIAN USE AREAS AND 5 FT. OF VEHICULAR PAVING SHALL BE POP UPS
- SPACE SPRAY HEADS OF SAME RADIUS UNIFORMLY ALONG LATERAL LINES. NOTE RELATIONSHIP TO PLANTINGS, PARTICULARLY IN LINEAR CONFIGURATIONS. COORDINATE WHERE PLANTING AND IRRIGATION HEAD SPACING CORRESPOND TO MAINTAIN UNIFORM SPACING BETWEEN PLANTS AND IRRIGATION.
- PROVIDE MINIMUM 2 FT. SPRAY HEAD, 4 FT. LARGE RADIUS ROTOR, SEPARATION FROM CONTAINER PLANT UNLESS OTHERWISE INDICATED ON PLAN.
- ADJUST HEADS TO PROVIDE EVEN COVERAGE AND AVOID THROWING WATER ON BUILDINGS, WALLS AND PAVEMENT. UTILIZE MATCHING SET VARIABLE ARC NOZZLES AS NECESSARY TO AVOID OVER SPRAY.
- PROVIDE LINE SIZE CHECK VALVE PER PLAN AND AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
- FLUSH ALL PIPE PRIOR TO INSTALLING HEADS.
- SHRUB RISERS TO BE GRAY SCH. 80 P.V.C., (NO WHITE PVC) SHRUB RISERS TO BE 1/2 IN. ABOVE FINISH GRADE, BUBBLERS 6 IN. UNLESS INDICATED BY DETAIL BELOW GRADE IN WATERING TUBE.
- OBTAIN AN IRRIGATION COVERAGE APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PLANTING. CONTACT LANDSCAPE ARCHITECT, CITY AND WATER DISTRICT INSPECTORS AT LEAST 12 HOURS IN ADVANCE OF INSPECTION.
- PROVIDE WATERPROOF COLOR- CODED CONTROLLER CHART IN CONTROLLER CABINET. REDUCE AS NECESSARY TO FIT, AND BE LEGIBLE. PROVIDE ADDITIONAL COPY WITH IRRIGATION RECORD DRAWING AND MANUAL SUBMITTAL.
- PROGRAM CONTROLLER AND PROVIDE RECORD DRAWING AND WRITTEN SCHEDULE TO LANDSCAPE ARCHITECT (SEE SPECIFICATIONS).
- ADJUST CONTROLLER PROGRAMS TO WATER AT A MORE CONSERVATIVE RATE AT 30 AND AGAIN AT 40 DAYS AFTER COMPLETION OF PLANTING.
- OWNER SHALL AGAIN ADJUST WATERING RATE DOWN ONE YEAR FROM COMPLETION DATE.
- IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF NINETY (90) DAYS OR UNTIL FINAL PLANTING ACCEPTANCE (WHICHEVER IS GREATER) AND OPERATE AS REQUIRED.

IRRIGATION LEGEND

SYMBOL	MAKE	MODEL	NOZZLE	PSI	GPM	R	ARC	DETAIL	DESCRIPTION
MP ROTORS									
▲	HUNTER	PROS-06-FRS 30-CV-R	30						POP UP STREAM ROTOR
		MP 1000		2 (@ 90)		8-12	ADJ.	6/L-8	
		MP 1000-90		4 (@ 180)			90-210		
		MP 1000-360		0.8			360		
■	HUNTER	PROS-12-FRS40-CV-R	40						
		MP 2000		4 (@ 90)		13-21	ADJ.	90-210	
		MP 2000-90		.74 (@ 180)			360		
		MP 2000-360		1.48					
■		MPLC5515		.22		5X15			LEFT CORNER STRIP
■		MPRC5515		.22		5X15			RIGHT CORNER STRIP
■		MPS5530		.44		44			
■		MFCORNER		.19 (@ 45)		8-15	ADJ.		
				.39 (@ 90)		45-105			
UTILIZE MATCHING ADJUSTABLE ARC AS NECESSARY TO PREVENT OVERSPRAY OF PLANTING AREA									
BUBBLER									
		PROVIDE TWO PER TREE (OPPOSITE SIDES OF TREE)							
■	RAINBIRD	1804-SAM		30	0.5			H/L-5	4 IN. POP UP
	HUNTER	MSBH-10F							W/ MULTI. STREAM BUBBLER NOZZLE
SOAKER LINE									
---	NETAFIM	TLCV6-12		25	0.6 GPH			J/L-4	TECHLINE LASER TUBING
					.0102 GPM/LF				WITH INTEGRAL CHECK VALVES
	NETAFIM	TLRW6-12		25	0.6 GPH			/I-1	TECHLINE LASER TUBING
					.0102 GPM/LF				FOR RECYCLED WATER
* INDICATES CONNECTION BETWEEN PVC AND SOAKER LINE									
[A]	NETAFIM	TLAVRV						L/L-4	AIR RELIEF VALVE
	NETAFIM	TLVF-1						K/L-4	FLUSH VALVE
OTHER EQUIPMENT									
■	HUNTER	IC-600-55							WALL MOUNT CONTROLLER W/STAINLESS CABINET A/L-5
									W/ EXPANSION MODULES TO ACCOMMODATE ALL STATIONS
■	W/ HUNTER	SOLAR SYNC							AUTOMATIC RAIN SHUT OFF
■	FEBCO	8251A	1 IN.						BACKFLOW PREVENTER
■	MILKENS	SC07	1 IN.						PRESSURE REGULATOR
■	MATTS	TTT	1 IN.						Y STRAINER
■	ZENNER PER.	PMOY	1 IN.						IRRIGATION SUB METER
■	RAINBIRD	PEB-NPHAN PRS-D	PER KEY						MASTER VALVE
■	RAINBIRD	DVF	PER KEY						CONTROL VALVE- POTABLE
■	RAINBIRD	PEB-NPHAN PRS-D	PER KEY						CONTROL VALVE- RECYCLED
■	RAINBIRD	XGZ-XXX-PRF	PER KEY						DRIP VALVE, FILTER, REGULATOR, BALL VALVE
■	VALVE KEY								K/L-4
			STATION NUMBER						
			VALVE SIZE						
			VALVE GPM						
■	RAINBIRD	44LRC	1"						QUICK COUPLER VALVE
■	KBI	BTU SERIES	LINE SIZE						"TRUE UNION" BALL VALVE
■	NELSON	#1645	1"						QUICK COUPLER VALVE
---		CL 315	1-1/2"						PVC PRESSURE MAINLINE
---		CL 200	PER PLAN						PVC LATERAL
---		SCH 40	1/2" ONLY						PVC LATERAL
---		SCH 80	2X LINE						PVC SLEEVE
---		SCH 40	2"						PVC ELECTRICAL SLEEVE
NOTE: SLEEVE TYPE AND DEPTH AS FOLLOWS: ALL SLEEVES UNDER VEHICLE PAVING- SCH 80 W/ 36 IN. COVER MAINLINE AND WIRE UNDER PEDESTRIAN PAVING- SCH 40 W/ 18 IN. COVER LATERALS UNDER PEDESTRIAN PAVING- SCH 40 W/ 12 IN. COVER NOTE: EXTEND ALL SLEEVES 12" BEYOND EDGE OF PAVING									
■	KBI	KSG-S SERIES	LINE SIZE						SPRING CHECK VALVE
■	KBI	CV-FF SERIES	LINE SIZE						SPRING CHECK VALVE

THIS SYSTEM DESIGNED FOR POTABLE WATER USE
SEE IRRIGATION NOTES AND DETAILS

PREPARED BY:
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SAN DIEGO, CA 92120

PROJECT NAME:
UNIVERSITY SELF STORAGE

SHEET TITLE:
LANDSCAPE PLANS

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	10 NOV 2023
REVISION 3:	31 JUL 2023
REVISION 2:	4 MAY 2022
REVISION 1:	25 JUL 2020
ORIGINAL DATE:	24 MAY 2020
SHEET _____ OF _____	
DEF# _____	



LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

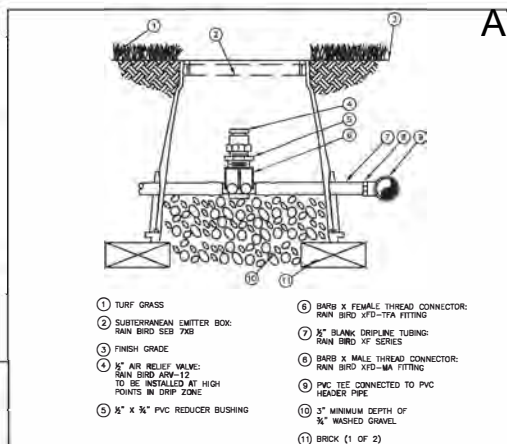
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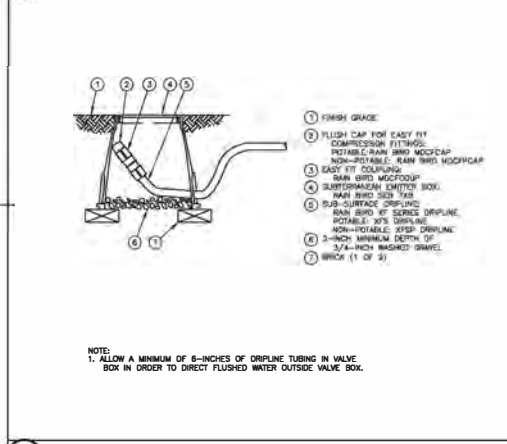
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IRRIGATION DETAILS & SPECIFICATIONS

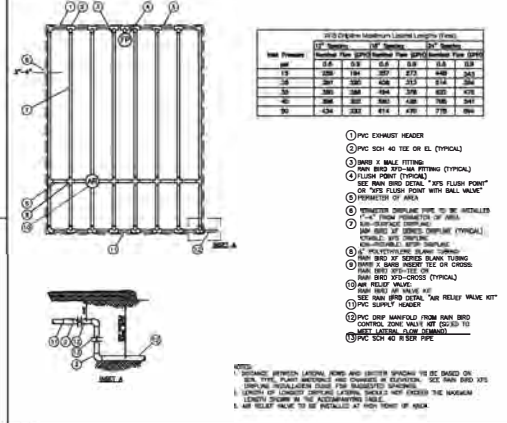
PREPARED BY:	NAME: AHLES LANDSCAPE ARCHITECTURE PO BOX 1503 RANCHO SANTA FE, CA 92061	PHONE #: 858.756.8963	PROJECT ADDRESS: 5150 UNIVERSITY AVENUE SAN DIEGO, CA 92120	PROJECT NAME: UNIVERSITY SELF STORAGE	REVISION 14: _____
REVISION 13: _____	REVISION 12: _____	REVISION 11: _____	REVISION 10: _____	REVISION 9: _____	REVISION 8: _____
REVISION 7: _____	REVISION 6: _____	REVISION 5: _____	REVISION 4: _____	REVISION 3: 31 JUL 2023	REVISION 2: 4 MAY 2022
REVISION 1: 25 JUL 2020	ORIGINAL DATE: 24 MAY 2020	SHEET TITLE: LANDSCAPE PLANS IRRIGATION DETAILS	SHEET 9 OF 10	DATE: _____	DESIGNER: _____



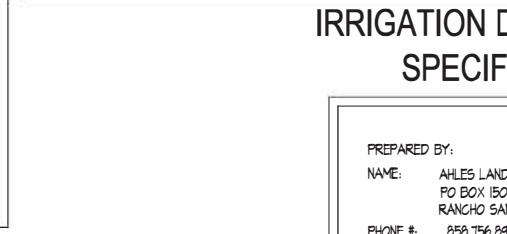
D) DRIP REMOTE CONTROL VALVE N.T.S.



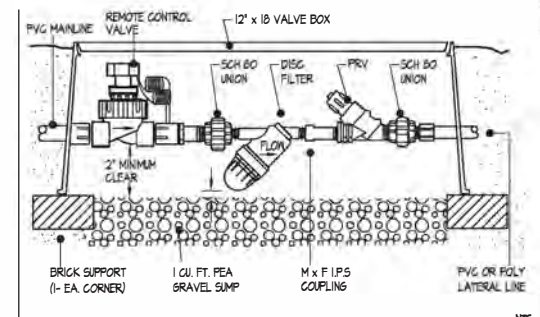
A) SUB-SURFACE DRIP LINE AIR RELIEF VALVE



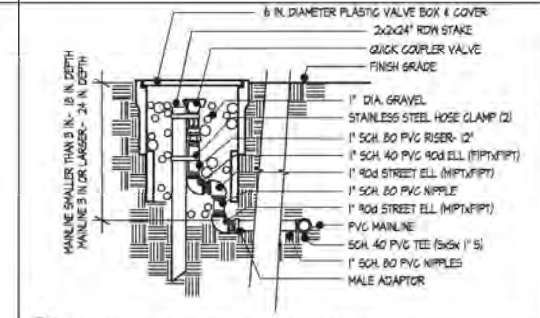
B) SUB-SURFACE DRIPLINE FLUSH POINT N.T.S.



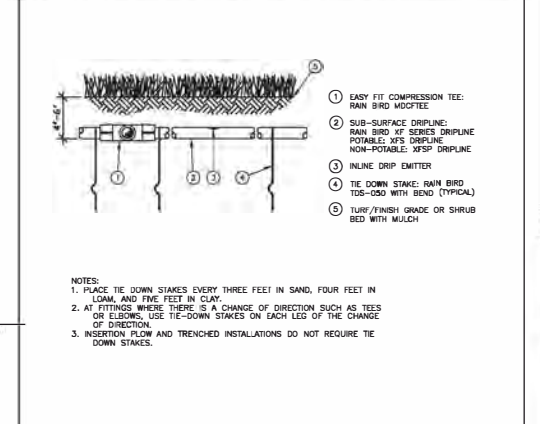
C) SUB-SURFACE DRIPLINE LAYOUT (END FEET)



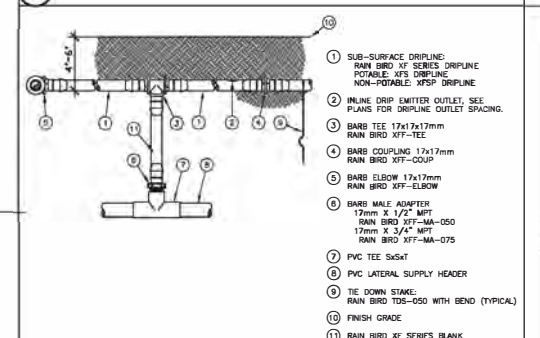
D) DRIP REMOTE CONTROL VALVE N.T.S.



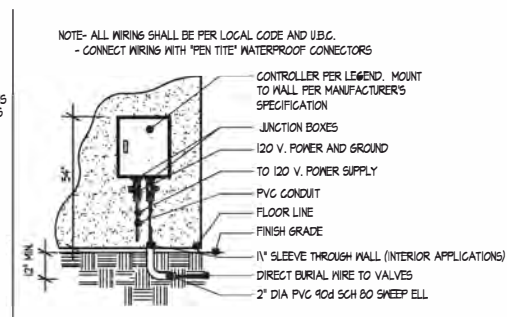
E) QUICK COUPLER VALVE N.T.S.



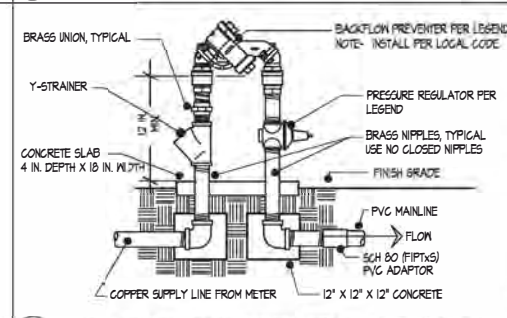
F) SUB-SURFACE DRIPLINE BURIAL N.T.S.



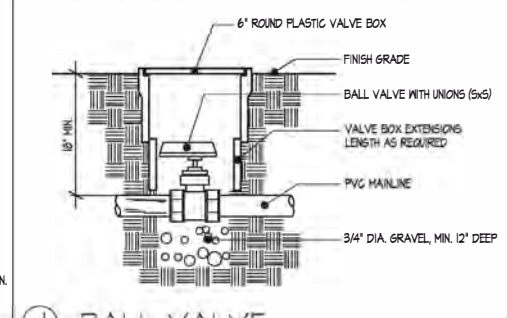
G) SUB-SURFACE DRIPLINE RISER ASSEMBLY N.T.S.



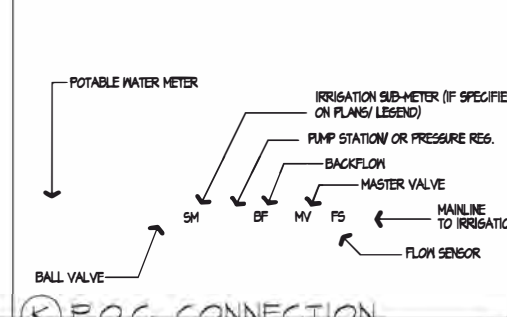
H) WALL MOUNT CONTROLLER N.T.S.



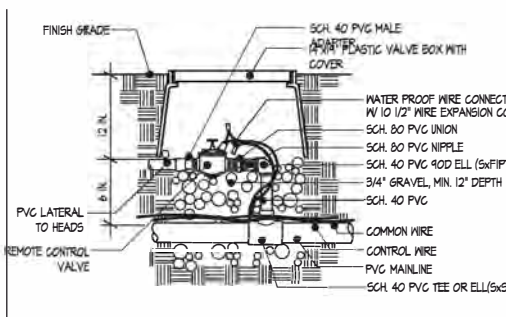
I) BACKFLOW PREVENTER W.P.R. N.T.S.



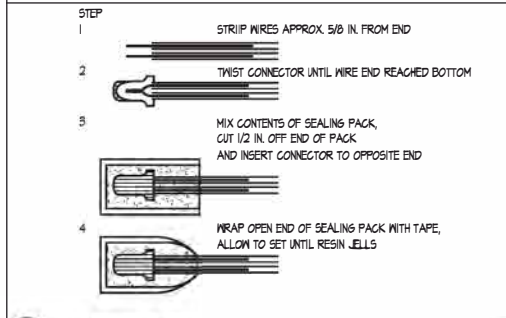
J) BALL VALVE N.T.S.



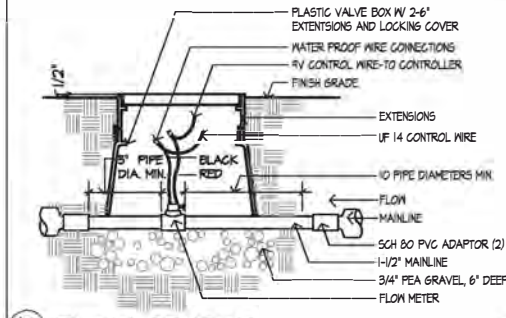
K) P.O.G. CONNECTION N.T.S.



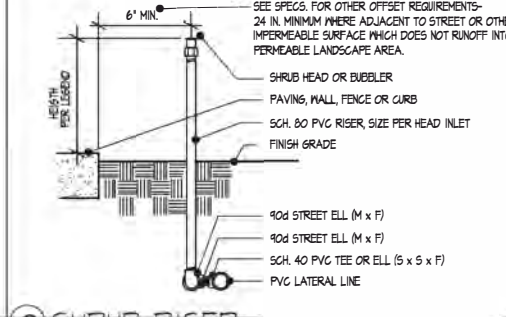
L) AUTOMATIC CONTROL VALVE N.T.S.



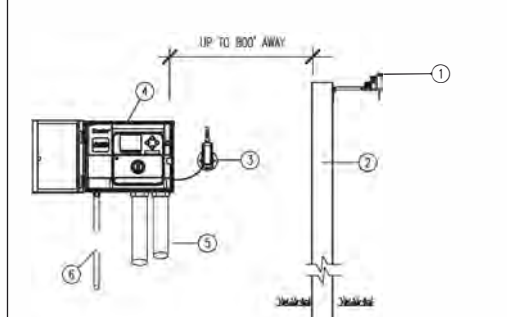
M) WIRE CONNECTOR N.T.S.



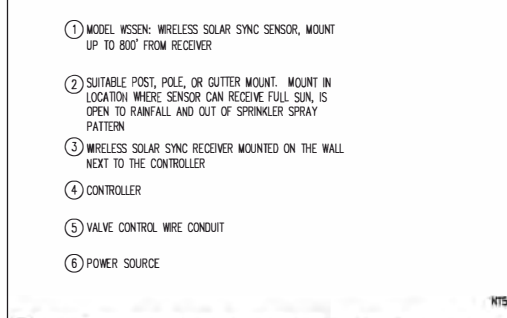
N) FLOW SENSOR N.T.S.



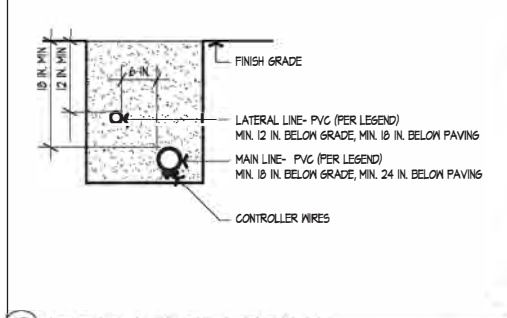
O) SHRUB RISER N.T.S.



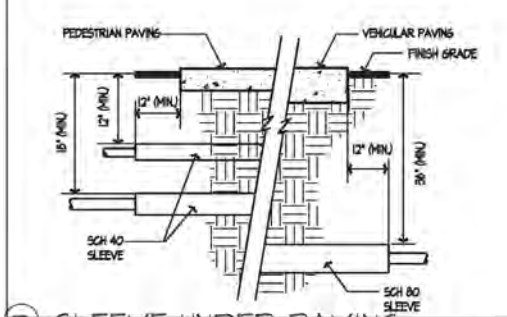
P) WIRELESS SOLAR SYNC SYSTEM N.T.S.



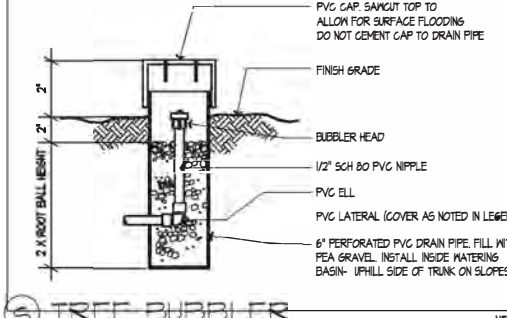
Q) IRRIGATION TRENCH N.T.S.



R) SLEEVE UNDER PAVING N.T.S.



S) TREE BUBBLER N.T.S.



T) TREE BUBBLER N.T.S.

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PROJECT NO.: 2014

LANDSCAPE CONSTRUCTION PLAN

UNIVERSITY SELF STORAGE

5150 University Ave.
San Diego, California

- 3.1 TESTING AND INSPECTION
A. DO NOT ALLOW OR CAUSE ANY WORK OF THIS SECTION TO BE COVERED OR ENCLOSED UNTIL IT HAS BEEN INSTALLED, TESTED, APPROVED BY LANDSCAPE ARCHITECT AND CITY INSPECTOR. REQUEST INSPECTIONS AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE WITH ADVANCE OF TESTING.
B. FLUSH PIPE BEFORE BACK FILLING MAINLINE WITH CONTROL VALVES PLACED BUT BEFORE LATERAL LINES ARE CONNECTED, COMPLETELY FLUSH AND TEST MAINLINE.
1. REPAIR LEAKS
2. FLUSH OUT EACH SECTION OF LATERAL PIPE BEFORE SPRINKLER HEADS ARE ATTACHED.
C. TESTING:
1. MAKE NECESSARY PROVISIONS TO THOROUGHLY BLEED LINE OF AIR AND DEBRIS.
2. AFTER VALVES HAVE BEEN INSTALLED, WHEN WELDED PLASTIC JOINTS HAVE CURED FOR 24 HOURS, TEST MAIN WATER LINES FOR LEAKS AT PRESSURE OF 125 P.S.I. FOR PERIOD OF 24 HOURS WITH COUPLINGS EXPOSED AND PIPE SECTIONS CENTER LOADED WITH SUFFICIENT BACK FILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. LATERAL LINES SHALL BE BACK FILL WITH RISERS CAPPED, FOR TWO HOURS UNDER NORMAL STATIC PRESSURE.
3. PROVIDE REQUIRED TESTING EQUIPMENT AND PERSONNEL.
4. REPAIR LEAKS, RE TEST UNTIL ACCEPTANCE BY LANDSCAPE ARCHITECT AND CITY INSPECTOR.
D. FINAL INSPECTION: CLEAN, ADJUST, BALANCE ALL SYSTEMS. VERIFY:
1. HEADS ARE PROPERLY ADJUSTED FOR RADIUS AND ARC OF COVERAGE.
2. INSTALLED SYSTEM IS WORKABLE, CLEAN, EFFICIENT.
E. RECYCLED WATER SYSTEMS: PROVIDE CROSS CONNECTION, COVERAGE, OTHER TESTING REQUIRED BY HEALTH DEPARTMENT OR WATER DISTRICT (SEE RECYCLED NOTES, SHEET L-1).
3.2 RECYCLED WATER SIGNAGE
INSTALL AS SHOWN ON DRAWINGS OR REQUIRED BY HEALTH DEPARTMENT OR WATER DISTRICT.
3.3 INSTRUCTIONS
A. ATTACH TYPEWRITTEN LEGEND INSIDE EACH CONTROLLER DOOR, STATING AREAS COVERED BY EACH VALVE. PROVIDE REDUCED, LAMINATED, COLOR CODED MAP OF AREA IRRIGATED BY CONTROLLER.
B. PROVIDE AN IRRIGATION SCHEDULE INCLUDING THE FOLLOWING:
- REFERENCE INFORMATION: ETO DATA UTILIZED TO DEVELOPE SCHEDULE, PROJECT SOIL CONDITIONS
- APPLICATION WINDOW FOR OVERHEAD IRRIGATION- LIMITED BETWEEN 10:00 AM AND 6:00 PM
- FOR EACH IRRIGATION STATION- RUN DAYS, RUN TIMES (UTILIZING MULTIPLE CYCLES TO AVOID RUNOFF)
- FOR EACH STATION- PLANT TYPE, SLOPE AND SHADE FACTORS
- SEPARATE SCHEDULES FOR PLANT ESTABLISHMENT (INCLUDING TEMPORARY AREAS) AND ESTABLISHED, PERMANENT LANDSCAPE
- SEASONAL OR MONTHLY ADJUSTMENTS
- ESTIMATED AMOUNT OF WATER TO BE APPLIED ON A MONTHLY BASIS.
C. AFTER SYSTEM HAS BEEN COMPLETED, TESTED, INSPECTED AND APPROVED, INSTRUCT OWNER OR MAINTENANCE PERSONNEL IN OPERATION AND MAINTENANCE OF SYSTEM.
3.4 IRRIGATION SCHEDULE
PROVIDE A WRITTEN SCHEDULE OF LONG TERM IRRIGATION PROGRAMING. GROUP STATIONS BY HYDROZONE AND SPECIFY FOR EACH ZONE-
- MINUTES PER START TIMES,
- START TIMES PER WEEK,
- TOTAL MINUTES PER WEEK.
PROVIDE A CHART OF MONTHLY RUN TIMES FOR THE ABOVE.
HYDROZONES SHALL BE AS ESTABLISHED PER THE WATER USE CALCULATIONS, ADJUST TO REFLECT ACTUAL FIELD CONDITIONS AND CONSTRUCTION. HYDROZONES SHALL BE BASED ON PLANT TYPE, IRRIGATION TYPE, SOILS, SLOPE ASPECT AND OTHER CONDITIONS.
INCLUDE A SEPARATE SCHEDULE FOR PLANT ESTABLISHMENT AND ANY AREAS OF TEMPORARY IRRIGATION. NOTE THAT THE SCHEDULE IS PROVIDED ONLY AS A GUIDE, AND ACTUAL WATER USE WILL VARY WITH WEATHER, PLANT MAINTENANCE AND OTHER FIELD CONDITIONS.
3.5 MAINTENANCE
MAINTAIN SYSTEM FOR PERIOD INDICATED IN IRRIGATION NOTES, OR LENGTH OF PLANTING MAINTENANCE PERIOD, WHICHEVER IS GREATER.
END OF SECTION

IRRIGATION DETAILS & SPECIFICATIONS

- IRRIGATION SYSTEM
PART 1 - GENERAL
1. DESCRIPTION
A. WORK INCLUDED: IRRIGATION SYSTEM SHOWN ON DRAWINGS AND SPECIFIED HEREIN COMPLETE IN PLACE, TESTED, APPROVED, INCLUDING BUT NOT NECESSARILY LIMITED TO:
1. CONNECTION OF SYSTEM TO EXISTING WATER SUPPLY.
2. REVIEW OF UTILITY PLANS SHOWING OTHER UNDERGROUND UTILITIES
3. TRENCHING AND BACK FILL
4. DRIP AND SPRAY IRRIGATION SYSTEM
5. AUTOMATIC CONTROLLER AND REMOTE CONTROL VALVES
6. RECORD DRAWING AND SCHEDULE SUBMITTALS
7. INCIDENTAL WORK NOT SHOWN OR SPECIFIED WHICH CAN REASONABLY BE INFERRED AS PART OF AND NECESSARY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM.
B. RELATED WORK: DOCUMENTS AFFECTING WORK OF THIS SECTION INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO GENERAL CONDITIONS AND OTHER SECTIONS OF THESE SPECIFICATIONS.
1.2 PERMITS, FEES AND CODES
A. OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAVING JURISDICTION. ON COMPLETION OF WORK, PRESENT SATISFACTORY EVIDENCE TO LANDSCAPE ARCHITECT THAT WORK IS IN ACCORDANCE WITH ORDINANCE AND CODE REQUIREMENTS. ARRANGE FOR INSPECTIONS REQUIRED BY LOCAL ORDINANCE DURING CONSTRUCTION.
B. CONFORM WITH APPLICABLE CODES, STANDARDS, LAWS AND REGULATIONS. NOTHING IN DRAWINGS OR SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT NON CONFORMING WORK. SHOULD CONSTRUCTION DOCUMENTS OR INSTRUCTIONS VARY FROM AFOREMENTIONED RULES AND REGULATIONS, NOTIFY LAND ARCHITECT, ASAP INSTRUCTIONS BEFORE PROCEEDING WITH AFFECTED WORK.
1.3 SAFETY ORDERS
MAINTAIN WARNING SIGNS, BARRIERS, SHORING REQUIRED BY LOCAL ORDINANCE OR OTHER AGENCY.
1.4 QUALITY ASSURANCE
A. A SUPERVISOR CAPABLE OF INTERPRETING THE DRAWINGS SHALL BE ON SITE ALL TIMES DURING CONSTRUCTION.
B. USE ADEQUATE NUMBER OF SKILLED WORKMEN, THOROUGHLY TRAINED, EXPERIENCED IN NECESSARY CRAFTS AND COMPLETELY FAMILIAR WITH SPECIFIC REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF WORK.
C. ALL MATERIALS SHALL BE NEW AND IN NEAR PERFECT CONDITIONS. DECISION OF LANDSCAPE ARCHITECT IS FINAL IN DETERMINATION OF QUALITY OF MATERIALS, EQUIPMENT, WORKMANSHIP.
1.5 EXISTING SITE CONDITIONS
A. ACQUAINT SELF WITH ALL SITE CONDITIONS. SHOULD UTILITIES NOT SHOWN ON PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY LANDSCAPE ARCHITECT FOR INSTRUCTIONS FOR FURTHER ACTION. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE THERETO ARISING FROM OPERATIONS, SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON DRAWINGS.
B. MAKE MINOR ADJUSTMENTS TO SPRINKLER SYSTEM LAYOUT AS MAY BE REQUIRED, AND WORK AROUND EXISTING CONSTRUCTION AT NO INCREASE IN COST TO OWNER.
1.6 DELIVERY, STORAGE AND HANDLING
PROTECT WORK AND MATERIALS UNDER THIS SECTION FROM DAMAGE DURING CONSTRUCTION AND STORAGE. POLY VINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE ESPECIALLY PROTECTED FROM DIRECT SUNLIGHT.
1.7 SUBSTITUTIONS
NO DEVIATIONS FROM SPECIFIED EQUIPMENT OR INSTALLATION PROCEDURES SHALL BE ALLOWED WITHOUT WRITTEN APPROVAL OF LANDSCAPE ARCHITECT AND CITY INSPECTOR.
1.8 SUBMITTALS
A. EQUIPMENT SUBMITTAL: PRIOR TO COMMENCEMENT OF CONSTRUCTION, SUBMIT FOR REVIEW A LIST OF ALL IRRIGATION EQUIPMENT TO BE USED, MANUFACTURER'S BROCHURES, MAINTENANCE MANUALS, WARRANTIES, AND OPERATION INSTRUCTIONS
B. PRESSURE DOCUMENTATION: PRIOR TO INSTALLATION OF ANY IRRIGATION MAIN OR LATERAL LINES, SUBMIT DOCUMENTATION OF FIELD TESTING OF STATIC WATER PRESSURE AT THE POINT OF CONNECTION
C. RECORD DRAWINGS: PRIOR TO CONDITIONAL ACCEPTANCE, SUBMIT REDLINE DRAWING OVER A CLEAN SET OF PLANS SHOWING DEVIATIONS FROM BID DOCUMENTS MADE DURING CONSTRUCTION AND LOCATING CONTROLLER, POC, MAINLINE PIPE, CONTROL QUICK COUPLER AND BALL VALVES AND ALL SLEEVINGS. ITEMS SHALL BE LOCATED BY WRITTEN DIMENSION FROM TWO FIXED CONSTRUCTION POINT (I.E. CURB, LIGHT STANDARD). DEVIATIONS IN SPRINKLER HEAD TYPES OR AREA OF COVERAGE SHALL BE FURTHER NOTED. RECORD DRAWINGS SHALL BE DELIVERED TO LANDSCAPE ARCHITECT AND LOCAL JURISDICTION (AS APPLICABLE) BEFORE PRIOR TO ACCEPTANCE.
D. CONTROLLER CHART, SCHEDULE AND INSTRUCTIONS: PRIOR TO FINAL ACCEPTANCE, PER PART 3.4
1.9 GUARANTEE
A. GUARANTEE ALL WORK FOR ONE YEAR FROM ACCEPTANCE DATE AGAINST DEFECTS IN MATERIAL EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL COVER DAMAGE REPAIR TO ANY PART OF PREMISES RESULTING FROM LEAKS OR DEFECTS IN MATERIAL, EQUIPMENT, WORKMANSHIP TO SATISFACTION OF LANDSCAPE ARCHITECT.
B. PROMPTLY MAKE REPAIRS UPON NOTIFICATION BY LANDSCAPE ARCHITECT AND AT NO COST TO OWNER.
PART 2- PRODUCTS
2.1 PIPE
A. PLASTIC PIPE
1. USE POLY VINYL CHLORIDE (PVC) TYPE 1120-1220 PIPE UNLESS OTHERWISE INDICATED ON PLANS. MAINLINE SHALL BE SCHEDULE 40 PVC FOR SIZES 1/2" AND SMALLER, CLASS 315 FOR SIZES 2" AND LARGER. LATERAL LINES CLASS 315 PVC FOR 1/2" SIZES, CLASS 200 FOR LARGER SIZES, SLEEVING SCH. 40 BENEATH PEDESTRIAN PAVING, SCH. 80 BENEATH VEHICULAR PAVING.
2. FITTINGS: SCHEDULE 40 PVC FITTINGS
3. SOLVENT CEMENT: AS RECOMMENDED BY PIPE MANUFACTURER AND OF PROPER CONSISTENCY. MAINLINE CEMENT SHALL BE A TWO STEP (PRIMER) PROCESS.
B. RECYCLED WATER SYSTEMS: PIPE SHALL BE PURPLE COLOR BY ALERT LINE OR PACIFIC GAL PIPE.
2.2 RISER
A. POP UP HEADS: USE SCHEDULE 80 PVC NIPPLES WITH STREET ELL SWING JOINTS PER DETAILS
B. RISER HEADS: USE GRAY SCHEDULE 80 PVC NIPPLES WITH SWING JOINTS BELOW GRADE PER DETAILS. MEASURE RISER HEIGHT FROM FINISH GRADE TO TOP OF RISER. RISER DIAMETER SHALL BE 1/2" EXCEPT WHERE HEAD INLET IS LARGER IN WHICH CASE RISER WILL MATCH INLET SIZE, UNLESS OTHERWISE NOTED ON DRAWINGS.
C. SLOPE HEADS: STAKE RISERS OF IMPACT AND GEAR DRIVEN HEADS ON SLOPES WITH NO. 6 STEEL REINFORCING BAR, SECURE WITH ADJUSTABLE STAINLESS STEEL GEARED CLAMP.
D. DRIP EMITTER RISERS: USE GRAY SCHEDULE 80 PVC NIPPLES PER DETAILS.
2.3 SPRINKLER HEADS
A. PROVIDE SPRINKLER HEADS SHOWN ON IRRIGATION LEGEND.
B. RECYCLED WATER SYSTEMS: HEADS SHALL BE SPECIFICALLY MADE FOR RECYCLED WATER APPLICATION WITH PURPLE COLOR CODING AND INTEGRAL CHECK VALVE.
2.4 VALVES
A. BALL VALVES, PROVIDE 125 P.S.I. RATED VALVES (LINE SIZE) PER LEGEND AND DETAILS ON DRAWINGS.
B. QUICK COUPLER VALVES: PROVIDE PER DRAWINGS AND DELIVER TO OWNER WHEN APPLICABLE.
1. TWO KEYS FOR LOCKED CAP
2. TWO COUPLERS
3. TWO HOSE SNIPELS
C. AUTOMATIC AND MANUAL CONTROL VALVES: PROVIDE PER LEGEND AND DETAILS ON DRAWINGS.
D. RECYCLED WATER SYSTEMS: VALVE SHALL BE SPECIFICALLY MADE FOR RECYCLED WATER APPLICATION, WITH REVERSED THREADING QUICK COUPLERS, PURPLE COLOR CODING AND DIRTY WATER " SCRUBBER" CONTROL VALVES.
2.5 DRIP IRRIGATION
A. TUBING- 0.125" I.D. POLYPROPYLENE "SPAGHETTI" TUBING.
B. EMITTERS- PER IRRIGATION LEGEND ON DRAWINGS.
C. STAKES- 4" POLYPROPYLENE EMITTER STAKES.
D. RECYCLED WATER SYSTEMS- PURPLE COLOR WITH INTEGRAL CHECK VALVES
2.6 BACK FLOW PREVENTER/PRESSURE REGULATOR
A. PROVIDE BACK FLOW PREVENTER SHOWN ON LEGEND AND INSTALL PER DETAIL ON DRAWINGS.
B. INCORPORATE PRESSURE REGULATOR AND FILTER DEVICE IN ASSEMBLY PER DETAILS AND DRAWINGS.

- 2.7 AUTOMATIC CONTROLLER
A. PROVIDE CONTROLLER SHOWN ON LEGEND ON DRAWINGS. PROVIDE ALL MOUNTING EQUIPMENT AND HARDWARE REQUIRED FOR PEDESTAL OR WALL MOUNTING AS INDICATED.
B. CONTROL WIRES: 24 VOLT SOLID IUL APPROVED FOR DIRECT BURIAL IN GROUND. BLACK #14 DIRECT LEAD AND WHITE #12 UF COMMON GROUND, UNLESS OTHERWISE NOTED ON DRAWINGS.
2.8 OTHER MATERIALS
A. BACK FILL: LOCAL SOIL, CLEAN, FREE OF RUBBISH AND ROCKS OVER 2 INCHES DIAMETER.
B. PLASTIC VALVE BOXES: PLASTIC VALVE BOXES WITH LIDS FOR BALL VALVES (ROUND) AND AUTOMATIC CONTROL VALVES (2 PER BOX MAXIMUM). PLACE 6" DEPTH PEA PEA GRAVEL AT BASE OF BOXES. FOR RECYCLED WATER APPLICATION LIDS SHALL BE PURPLE COLOR.
C. CHECK VALVES: PROVIDE SPRING IN-LINE CHECK VALVES (LINE SIZE) PER PLAN AND AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
D. RECYCLED WATER SYSTEMS: PROVIDE SITE AND CONTROLLER SIGNAGE AS INDICATED ON DRAWINGS.
E. PROVIDE OTHER MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE INSTALLATION AS SELECTED BY CONTRACTOR SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT.
PART 3 - EXECUTION
3.1 SURFACE CONDITIONS
A. VERIFY FINISH GRADES AND SURFACE DRAINAGE WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
B. EXAMINE AREAS AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. CORRECT CONDITIONS DETRIMENTAL TO TIMELY, PROPER COMPLETION OF WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
3.2 FIELD MEASUREMENTS
MAKE NECESSARY MEASUREMENTS IN FIELD, ENSURE PRECISE FIT OF ITEMS IN ACCORDANCE WITH DESIGN.
3.3 LAYOUT
A. LAYOUT WORK AS ACCURATELY AS POSSIBLE TO DRAWINGS. DRAWINGS, THOUGH CAREFULLY DRAWN ARE GENERALLY DIAGRAMMATIC TO EXTENT THAT SWING JOINTS, OFFSETS AND ALL FITTINGS ARE NOT SHOWN. SITE CONDITIONS WILL NOT ALWAYS PERMIT LOCATING PIPING, VALVES AND HEADS WHERE SHOWN. THIS SITUATION SHALL BE BROUGHT TO IMMEDIATE ATTENTION OF LANDSCAPE ARCHITECT AND RELOCATION DETERMINED IN JOINT CONFERENCE. CONTRACTOR IS RESPONSIBLE FOR RELOCATING ANY ITEMS INSTALLED WITHOUT FIRST OBTAINING LANDSCAPE ARCHITECT'S APPROVAL, AND SHALL REMOVE AND RELOCATE SUCH WORK AT OWN EXPENSE IF SO DIRECTED BY LANDSCAPE ARCHITECT.
B. WHERE PIPING IS SHOWN ON DRAWINGS TO BE UNDER PAVED AREAS BUT RUNNING PARALLEL, AND ADJACENT TO PLANTING AREAS, THE INTENTION IS TO INSTALL PIPING IN PLANTED AREA.
C. MINOR CHANGES IN EQUIPMENT LOCATION FROM THAT SHOWN ON DRAWINGS SHALL BE MADE AS DIRECTED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO OWNER, PROVIDING SUCH CHANGE IS ORDERED BEFORE COMMENCEMENT OF WORK, OR WORK DIRECTLY CONNECTED, AND NO ADDITIONAL MATERIALS ARE REQUIRED.
D. OFFSET ALL SPRAY HEADS A MINIMUM OF 24 IN. WHERE ADJACENT TO STREET OR OTHER IMPERMEABLE SURFACE WHICH DOES NOT RUNOFF INTO PERMEABLE LANDSCAPE AREA.
3.4 TRENCHING AND BACK FILL
A. PERFORM ALL EXCAVATIONS AS REQUIRED FOR INSTALLATION OR WORK INCLUDED UNDER THIS SECTION, INCLUDING SHORING OF EARTH BANKS TO PREVENT GAVE INS. RESTORE ALL SURFACES, EXISTING UNDERGROUND INSTALLATIONS, ETC. DAMAGED OR CUT AS A RESULT OF EXCAVATIONS TO ORIGINAL CONDITIONS IN MANNER APPROVED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO OWNER.
B. TRENCHES SHALL BE MADE WIDE ENOUGH TO ALLOW A MINIMUM OF 4 IN. BETWEEN PARALLEL PIPE LINES AND SHALL BE SUFFICIENT DEPTHS TO PROVIDE THE MINIMUM COVER FROM FINISH GRADE AS FOLLOWS:
1. 18 IN. MINIMUM COVER OVER MAINLINES LESS THAN 3 IN. IN SIZE TO REMOTE CONTROL VALVES.
2. 24 IN. MINIMUM COVER OVER MAINLINES 3 IN. OR GREATER IN SIZE TO REMOTE CONTROL VALVES.
3. 12 IN. MINIMUM COVER OVER LATERAL LINES TO HEADS.
4. 36 IN. MINIMUM COVER UNDER VEHICULAR DRIVES, PARKING AREAS, OR ROADS.
C. EXCAVATE FOR IRRIGATION SYSTEMS BY TRENCHING, WITH SIDES NEARLY VERTICAL AS POSSIBLE. ACCURATELY GRADE THE BOTTOM TO PROVIDE UNIFORM BEARINGS FOR LINE.
D. SHORT SECTIONS OF TRENCH MAY BE TUNNELED IF, IN LANDSCAPE ARCHITECT'S OPINION LINES CAN BE INSTALLED SAFELY AND BACK FILL CAN BE COMPACTED PROPERLY.
E. REMOVE BOLLIDERS AND OTHER INTERFERING OBJECTS, BACK FILL VOIDS REMAINING AFTER REMOVAL OF OBJECTS.
F. PROTECTION OF PERSONS AND PROPERTY:
1. BARRICADE AND OPERATE WARNING LIGHTS FROM DUSK TO DAWN AT OPEN HOLES, TRENCHES AND DEPRESSIONS OCCURRING AS PART OF WORK ON PROPERTY ADJACENT TO OR WITHIN PUBLIC ACCESS.
2. PROTECT STRUCTURES, UTILITIES, SIDEWALK, PAVEMENT AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, WASHOUT, OTHER HAZARDS CREATED BY WORK.
3. DO NOT TRENCH UNDER DRIP LINES OF EXISTING TREES.
6. DO NOT BACK FILL TRENCHES UNTIL REQUIRED PRESSURE AND LEAKAGE TESTS HAVE BEEN PERFORMED, AND UNTIL SYSTEMS AS INSTALLED CONFORM TO SPECIFICATIONS.
H. PRIOR TO BACK FILLING, REMOVE ALL SHEETING OR SHORING.
I. BACK FILL FOR ALL TRENCHES AND EXCAVATIONS SHALL BE COMPACTED TO 90% DENSITY.
J. BACK FILL TO LEVEL OF ADJACENT ELEVATIONS, ALLOWING FOR SETTLING AND COMPACTION.
3.5 INSTALLATION OF PIPING
A. PIPING DEPTH: INSTALL PIPING WITH AT LEAST THE FOLLOWING DEPTH OF COVER-
PVC MAINLINE LESS THAN 3 IN. DIA.- 18 INCHES
PVC LATERAL - 12 INCHES
POLYPROPYLENE TUBING - 3 INCHES
B. PIPING UNDER PAVEMENT: SLEEVE PIPING UNDER PAVED AREAS AS INDICATED ON DRAWINGS. EXTEND SLEEVINGS 12" BEYOND EDGE OF PAVING, CURBS, WALLS ETC.
C. INSPECTION OF MATERIALS: CAREFULLY INSPECT PIPE AND FITTINGS BEFORE INSTALLATION, REMOVING ALL DIRT, SCALE AND BURRS, REAMING AS REQUIRED. INSTALL PIPE WITH MARKINGS UP FOR VISUAL INSPECTION.
D. PLASTIC (PVC) PIPE
1. EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING PLASTIC PIPE AND FITTINGS.
A) STORE UNDER COVER FROM DIRECT SUNLIGHT UNTIL READY TO INSTALL.
B) TRANSPORT ONLY ON VEHICLE WITH BED LONG ENOUGH TO ALLOW PIPE TO LAY FLAT, TO AVOID UNDUE BENDING AND CONCENTRATED EXTERNAL LOAD.
2. REPAIR DENTED AND DAMAGED PIPE BY CUTTING ONLY AND DISCARDING DENTED OR DAMAGED SECTIONS, REJOINING WITH A COUPLING.
3. IN JOINING, USE ONLY SPECIFIED SOLVENT. MAKE JOINTS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST, MOISTURE BEFORE APPLYING SOLVENT. CLEAN OFF EXCESS SOLVENT. ALLOW SOLVENT WELDS AT LEAST 15 MINUTES SET UP TIME BEFORE MOVING OR HANDLING AND 24 HOURS DING TIME BEFORE FILLING WITH WATER.
4. SNAKE LINES FROM SIDE TO SIDE IN TRENCH TO ALLOW FOR EXPANSION AND CONTRACTION.
5. FOR PLASTIC TO METAL CONNECTIONS-
A) WORK METAL CONNECTIONS FIRST.
B) USE NON HARDENING PIPE DOPE ON THREADED PLASTIC TO METAL CONNECTIONS.
C) USE ONLY A LIGHT WRENCH PRESSURE.
D) USE CARE NOT TO OVERTIGHTEN METAL CONNECTIONS.
E. FLUSH JOINT CONNECTIONS QUAL WATER FROM ALL TRENCHES TO PREVENT ENTRANCE OF MATERIALS.
F. THOROUGHLY FLUSH ALL LINES, PERFORM HYDROSTATIC TESTING PER PARAGRAPH BELOW TESTING AND COMPACTION.
3.6 INSTALLATION OF EQUIPMENT
A. POP UP SPRAY HEADS
1. INSTALL WHERE INDICATED ON DRAWINGS IN ACCORDANCE WITH DETAILS AND MANUFACTURER RECOMMENDATION AS APPROVED BY LANDSCAPE ARCHITECT.
2. LOCATE POP UP 3" FROM PEDESTRIAN PAVING, 12" FROM AUTOMOBILE TRAFFIC WITHOUT CURBS, 6" FROM AUTO. TRAFFIC WITH CURBS AND 6" FROM ALL BUILDING AND WALL FOOTINGS UNLESS NOTED OTHERWISE. SET HEADS FLUSH TO ADJACENT PAVING OR GRADE ELEVATION.
3. UPON LINE TESTING COMPLETION, COMPLETE ASSEMBLY, ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION.

- B. RISER HEADS
1. INSTALL IN PLANTING AREAS WHERE INDICATED ON DRAWINGS.
2. LOCATE RISER HEADS NOT WITHIN 10 FEET OF PEDESTRIAN PAVING, AND 12" FROM AUTOMOBILE TRAFFIC WITHOUT CURBS, 6" FROM AUTO. TRAFFIC WITH CURBS AND 6" FROM ALL BUILDING AND WALL FOOTINGS UNLESS NOTED OTHERWISE. SET RISER HEADS EIGHTEEN (18) INCHES ABOVE FINISH GRADE UNLESS NOTED OTHERWISE (SEE DETAILS).
3. UPON LINE TESTING COMPLETION, COMPLETE ASSEMBLY, ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION.
C. OFFSET ALL SPRAY HEADS A MINIMUM OF 24 IN. WHERE ADJACENT TO STREET OR OTHER IMPERMEABLE SURFACE WHICH DOES NOT RUNOFF INTO PERMEABLE LANDSCAPE AREA.
D. VALVES: INSTALL BALL VALVES AND QUICK COUPLER VALVES PER DRAWINGS. PROVIDE BALL VALVES TO SEPARATE QUICK COUPLERS AND CONTROL VALVE CLUSTERS FROM MAINLINE.
E. CONTROL VALVES: INSTALL WHERE SHOWN ON DRAWINGS, LOCATING IN CLUSTERS IN PLANTING AREAS WHERE PRACTICAL. PLACE NO CLOSER THAN 12" AND PARALLEL TO WALK EDGES, BUILDINGS AND WALLS. HOSE IN VALVE BOXES WITH TOPS SET FLUSH TO GRADE. SEPARATE CLUSTERS FROM MAINLINE WITH BALL VALVE.
F. DRIP IRRIGATION: PROVIDE COMPLETE SYSTEMS WITH IRRIGATION TO EACH INDIVIDUAL PLANT WITHIN THE ZONE OF DRIP IRRIGATION.
1. ALL DRIP:
(A) PROVIDE STATION SPECIFIC FILTER AND PRESSURE REGULATOR DOWNSTREAM OF EACH INDIVIDUAL DRIP VALVE.
(B) COVER DRIP TUBING COMPLETELY WITH MULCH. WHERE NO MULCH IS SPECIFIED, BURY 2-3 INCHES IN SHOVEL CUT TRENCH.
2. POINT EMITTER SYSTEMS:
(A) PROVIDE PVC PIPING FROM VALVE WITH RISERS TO EACH INDIVIDUAL OR MULTI PORT EMITTER LOCATION.
(B) EMITTERS SHALL BE FLUSH WITH FINISH GRADE, EXCEPT WHERE INDICATED ON PLAN TO BE IN BELOW GRADE BOX.
(C) ROUTE POLY DISTRIBUTION TUBING TO EACH INDIVIDUAL PLANT, QUANTITY PER IRRIGATION LEGEND AND NOTES.
(1) PUNCH INTO LINES WITH MANUFACTURER APPROVED PUNCH, IF APPLICABLE.
(2) PLACE OUTLET AT EDGE OF WATER BASIN, A MINIMUM OF 6 INCHES FROM PLANT STEM OR TRUNK.
(3) FOR SLOPE CONDITIONS, LOCATE OUTLETS TO UPHILL SIDE OF PLANT STEM OR TRUNK.
(4) PLACE EMITTER BUS GAP ON OUTLET TUBING END.
(5) STAKE OUTLET TUBING NEAR END.
3. SOAKER TUBING SYSTEMS:
(A) PROVIDE PVC PIPING FROM VALVE TO MULTIPLE SOAKER TUBE CONNECTIONS AS INDICATED ON THE PLAN. MANIFOLD MULTIPLE CONNECTIONS TO FACILITATE UNIFORM FLOW INTO LINE.
(B) LAYOUT SOAKER TUBING TO UNIFORMLY COVER AREA OF IRRIGATION.
(C) PROVIDE AIR RELIEF AND FLUSH VALVES PER MANUFACTURER'S SPECIFICATIONS.
6. BACK FLOW PREVENTER: INSTALL WHERE INDICATED ON DRAWINGS AND IN ACCORDANCE WITH ALL PERTINENT CODES, REGULATIONS, AND MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT AND LOCAL MUNICIPAL WATER DISTRICT.
H. AUTOMATIC CONTROL SYSTEM
1. CONTROLLER
(A) INSTALL AS SHOWN ON DRAWINGS, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
(B) CONNECT REMOTE CONTROL VALVES TO CONTROLLER IN SEQUENCE CORRESPONDING TO THAT INDICATED ON DRAWINGS. WHERE TWO OR MORE VALVES HAVE SAME NUMBER, WIRE TOGETHER AT CONTROLLER. DO NOT GROUP DRIP AND SPRAY HEADS ON SAME STATION.
(C) ELECTRICAL SUPPLY TO POINT OF CONNECTION SHALL BE BY OTHERS. PROVIDE "HARD WIRE" SPLICE INTO EXISTING JUNCTION BOX NEAR CONTROLLER LOCATION.
2. AUTOMATIC CONTROL WIRING:
(A) INSTALL CONTROL WIRES, IRRIGATION MAINS AND LATERALS IN COMMON TRENCHES WHENEVER POSSIBLE.
(B) INSTALL CONTROL WIRES AT LEAST 18" BELOW FINISH GRADE AND LAY TO SIDE OF MAINLINE WHERE POSSIBLE. WIRES SHALL BE A MINIMUM 1" FROM ANY PIPE OR FITTING EXCEPT AT TERMINAL POINTS. PROVIDE LOOPED SLACK AT VALVES AND SNAKE WIRES IN TRENCH TO ALLOW FOR CONTRACTION OF WIRE. TIE WIRE IN BUNDLES AT 10' INTERVALS WITH PLASTIC ELECTRICAL TAPE.
(C) WIRE SPLICES WILL BE ALLOWED ONLY ON RUNS MORE THAN 500 FEET. GRMP WIRES TOGETHER WITH APPROVED WIRE CONNECTOR AND SEAL CONNECTION PLACE IN ABOVE GRADE PULL BOX PER SAN DIEGO REGIONAL STANDARD DRAWING #1-15.
(D) PROVIDE SEPARATE SLEEVING FROM IRRIGATION LINES FOR CONTROL WIRES BENEATH PAVING, WALLS, ETC.
(E) WIRES SHALL BE PLACED IN GRAY SCHEDULE 80 PVC ELECTRICAL SLEEVE FROM 18" BELOW GRADE TO CONTROLLER AT CONTROLLER LOCATION.
(F) PROVIDE EXTRA WIRES FROM CONTROLLER TO EACH VALVE CLUSTER PER IRRIGATION NOTES.
3. MEATHER CONTROLS:
(A) PROVIDE PER PLAN AND LEGEND. CONNECT AND MAKE FULLY OPERATIONAL PER MANUFACTURER'S SPECIFICATIONS.

Table with 2 columns: Revision/Sheet info and Date. Rows include Revision 14-1, Revision 13-1, Revision 12-1, Revision 11-1, Revision 10-1, Revision 9-1, Revision 8-1, Revision 7-1, Revision 6-1, Revision 5-1, Revision 4-1 (10 NOV 2023), Revision 3-1 (31 JUL 2023), Revision 2-1 (4 MAY 2022), Revision 1-1 (25 JUL 2020), ORIGINAL DATE: 24 MAY 2020, SHEET 10 OF 10, DEP#.

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