



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: June 18, 2024 REPORT NO. HO-24-028

HEARING DATE: June 26, 2024

SUBJECT: Camino Maquiladora, Process Three Decision

PROJECT NUMBER: [PRJ-1099198](#)

OWNER/APPLICANT: HUSPP CONTINENTAL LP, a Delaware limited partnership

### SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit and an easement vacation to construct a new 173,500-square-foot industrial warehouse building with a first-floor office area of 4,000 square feet and a mezzanine level of 4,000 square feet, along with two new trash enclosures, site light poles, entry canopies and 157 parking spaces located at 7082 Camino Maquiladora in the Otay Mesa Community Plan Area?

### Staff Recommendation:

1. APPROVE Site Development Permit No. PMT-3231391 and Easement Vacation Permit No. PMT-3293667.

Fiscal Considerations: None. The applicant funds a deposit account that recovers all costs associated with processing the application.

Code Enforcement Impact: There are no open code enforcement actions on this site.

Community Planning Group Recommendation: On February 28, 2024, the Otay Mesa Community Planning Association voted 7-0-1 to recommend approval of the proposed project without conditions (Attachment 6).

### Environmental Impact:

The project site was previously analyzed within the certified Program Environmental Impact Report (PEIR) No. 30330/304032 /SCH No. 2004051076 for the Otay Mesa Community Plan. An evaluation was prepared to determine if conditions specified in the California Environmental Quality Act (CEQA) Guidelines section 15183 would require additional CEQA review. The evaluation determined that the

project did not result in any project-specific significant effects that are particular to the project or its site beyond that identified in the certified PEIR. A Mitigation Monitoring and Reporting Program for biological resources and paleontological resources will be implemented consistent with the PEIR Mitigation Framework. Based on the CEQA Guidelines section 15183 evaluation, the project is exempt from further environmental review.

## BACKGROUND

The 8.2-acre site is a previously graded, undeveloped parcel at 7082 Camino Maquiladora, south of Otay Mesa Road and west of Continental Street (Attachment 1) in the IBT-1-1 zone. The site is also located in the Airport Land Use Compatibility Overlay Zone (Brown Field), Airport Influence Area (Review Area 1), Airport FAA Part 77 Noticing Area (531-541 AMSL), Airport Safety Zone (zone 6) Community Plan Implementation Overlay Zone (Type A), Brush Management Zone, Very High Fire Hazard Severity Zone, Prime Industrial Lands, the Transit Priority Area and contains Environmentally Sensitive Lands (sensitive biological resources) in the Otay Mesa Community Plan. The site is a rectangular lot bordered by industrial development to the west, east, and south with Brown Field Municipal Airport to the north.

## DISCUSSION

### Project Description:

The project proposes the construction of a new 173,500-square-foot industrial warehouse building with a 4,000-square-foot first-floor office area and a 4,000-square-foot mezzanine level, two trash enclosures, light poles, and entry canopies.

The Otay Mesa Community Plan (OMCP) designates the site as Business and International Trade (Figure 2-1, Page 21), and the San Diego General Plan designates the site as Industrial Employment (Figure LU-2, Page 15). The proposed warehouse includes approximately 4,000 square feet of office and 4,000 square feet of mezzanine and provides 157 parking spaces. The site is zoned IBT-1-1, which is to "provide for a wide variety of base sector industrial and office uses. "It is intended to apply in portions of communities adjacent to the international border, other ports of entry, and areas in transition to higher-intensity industry.

### Permits Required:

A Process Three Site Development Permit (SDP) per SDMC Section [126.0502\(c\)\(1\)](#) is required for development in the Community Plan Implementation Overlay Zone-Type A (CPIOZ-A) where the development does not comply with the development standards in the applicable community plan and per SDMC Section [126.0502\(a\)\(4\)](#) industrial development on a premises containing environmentally sensitive lands.

Easement Vacation: Pursuant to SDMC Section [125.1030\(b\)](#) an Easement Vacation shall be made in accordance with a Process Two Decision by the Development Services Department which is appealable to the City Council.

Applications containing more than one permit, map or other approval for a single development shall Be consolidated for processing and shall be reviewed by a single decision maker per SDMC section [112.0103](#).

Community Plan Implementation Overlay Zone-Type A (CPIOZ-A):

Per [SDMC Table 132-14B](#), Line 3, development in CPIOZ-A must comply with the four following provisions of the OMCP, beginning on [Page LU-28](#) and if not then a SDP is required.

1. Development on properties that have not been previously graded, or have been graded but have not otherwise developed, and which have determined that there are no archaeological, paleontological, or biological resources onsite.

The project site does not comply with this provision since sensitive biological resources are present. Staff reviewed site-specific studies and found no archeological or paleontological resources on site. However, biological resources are present on site, so the project requires a Process Three SDP per [SDMC Section 126.0502\(c\)\(1\)](#) and compliance with the CPIOZ Type A Procedures on [OMCP Page LU-29](#), as well as a Process Three SDP SDMC Section [126.0502\(a\)\(4\)](#) for industrial development on a premises containing environmentally sensitive lands.

2. Development on properties that have been previously graded and developed with structures and conform to the following policies of the Urban Design Element of the Otay Mesa Community Plan.

The project complies with this provision. The Otay Mesa Community Plan Urban Design element outlines the goal of creating functional industrial corridors with a high-quality design standard. The proposed industrial building complies with the Business and International Trade land use designation and Policy 4.1-11 of the Otay Mesa Community Plan by ensuring complementing industrial development along Otay Mesa Road. The site will also provide landscaping as a condition of the permit, complying with Land Use Element policy LU-4.2-6, promoting landscape as a major element of the project. Additionally, the project is contained entirely within the parcel and will not encroach or impact any view corridors or gateways as outlined in OMCP Figure 4-1.

3. Development that includes construction of the abutting street(s) to the street classification identified in the Mobility Element of the Otay Mesa Community Plan.

The project complies with this provision. Abutting streets include Otay Mesa Road, Continental Street, and Camino Maquiladora. These streets have all been identified in the

OMCP and the City of San Diego's Bicycle Master Plan. Conditions have been placed on the permit requiring dedications and improvements to meet the requirements of these plans.

4. Documentation from a California Registered Traffic Engineer, confirmed and accepted by the City Engineer, stating that the proposed project's traffic volumes are based on the City's trip generation rated and are less than 1,000 ADTs.

The project complies with this provision. A traffic analysis was included with the proposed development which estimated the projected traffic at 997 average daily trips under the 1,000 per day threshold.

Access to the site will be taken off Camino Maquiladora and Continental Street. Street frontage improvements will be consistent with the City of San Diego's Street Design Manual and the policies of the Otay Mesa Community Plan.

#### Environmentally Sensitive Lands:

The Biological Technical Report for the site prepared by Alden Environmental indicated that sensitive biological resources in the form of non-native grasslands are present on site. Non-native grassland impacts are approximately 8 acres, resulting in the need to mitigate for 8 acres. These impacts were anticipated in the Otay Mesa Community Plan (OMCP) Program Environmental Impact Report and mitigation is to be addressed through payment to the City's Habitat Acquisition Fund (HAF). In accordance with the San Diego Municipal Code section [143.0141\(a\)\(1\)\(C\)](#) payment into the HAF for impact is an accepted mitigation measure per the Multiple Species Conservation Program.

Additionally, as outlined in the Biological Technical Report, a preconstruction Survey for Burrowing Owls will be conducted consistent with Burrowing Owl protocols.

#### Conclusion:

City staff has determined that the project is consistent with the Community Plan and regulations of the Land Development Code, as described above. Staff has provided draft findings and conditions to support approval of the project (Attachments 4 and 5) and recommends that the Hearing Officer approve the Site Development Permit and Easement Vacation as proposed.

#### ALTERNATIVES

1. Approve Site Development Permit No. PMT-3231391 and Easement Vacation PMT-3293667, with modifications.
2. Deny Site Development Permit No. PMT-3231391 and Easement Vacation PMT-3293667, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

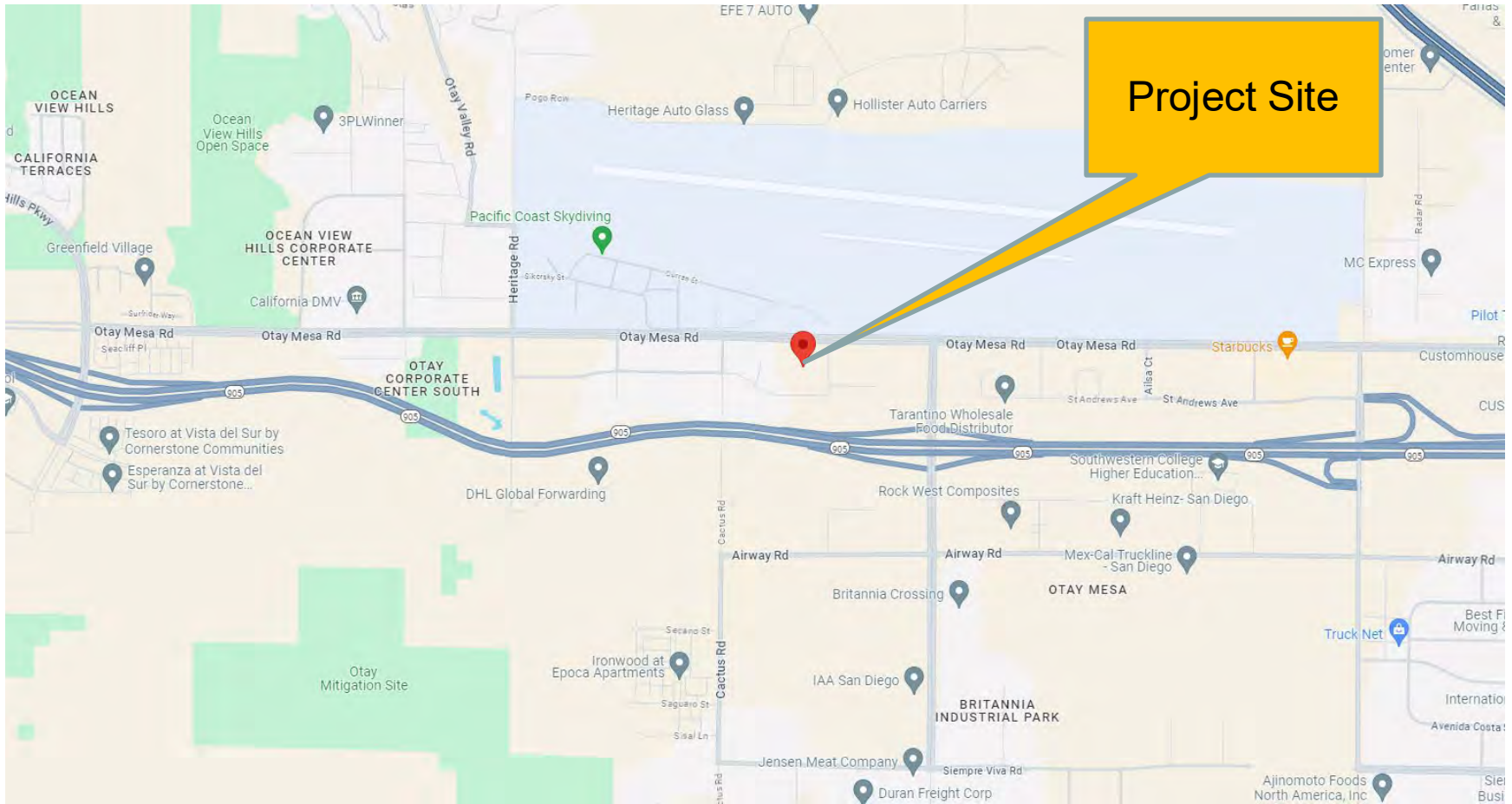
*Christian Hoppe*

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Christian Hoppe  
Development Project Manager  
Development Services Department

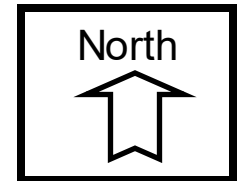
Attachments:

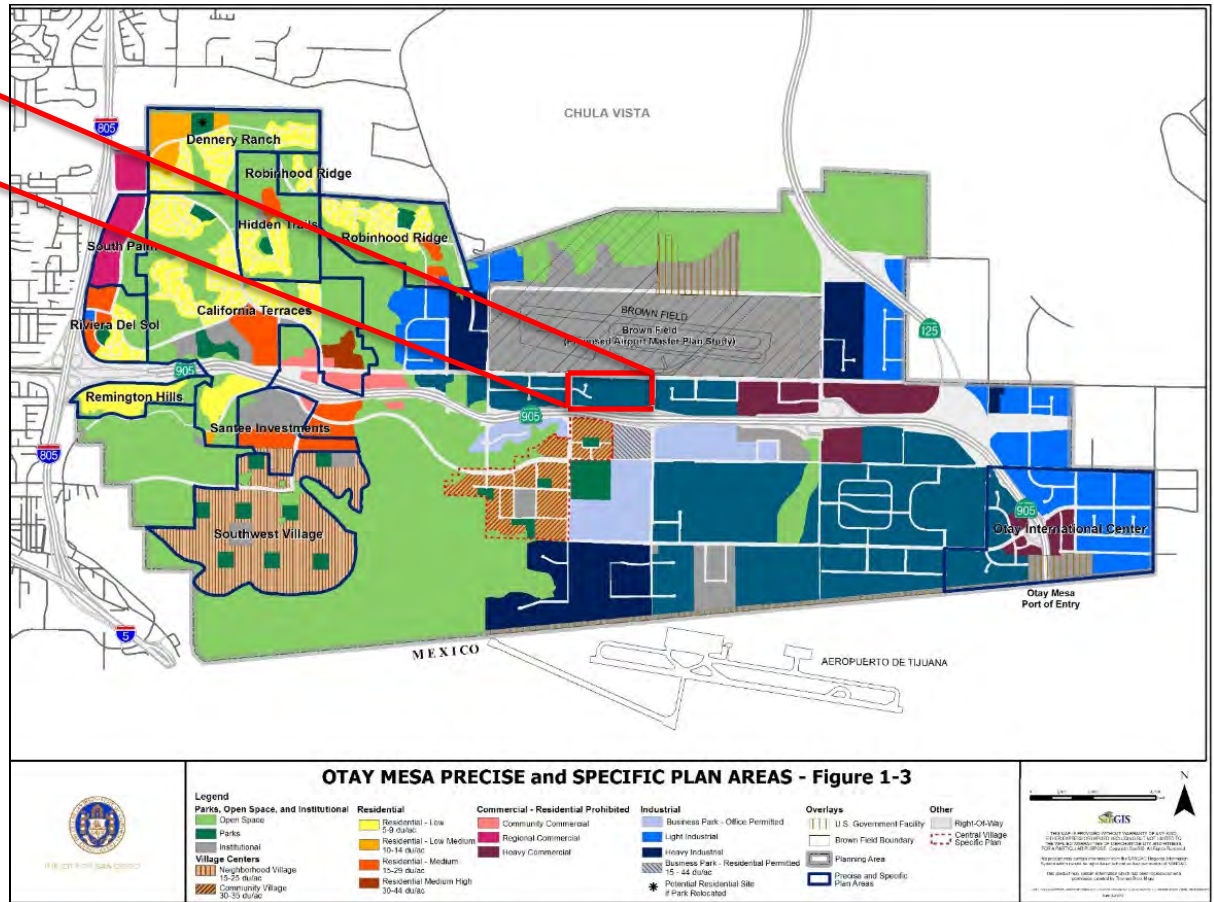
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Easement Vacation Resolution
7. Community Planning Group Recommendation
8. CEQA Statment
9. Ownership Disclosure Statement
10. Project Plans



## Project Location Map

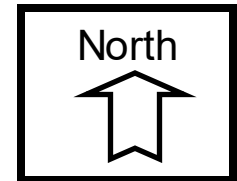
Camino Maquiladora SDP & EV  
Project No. 1099198 - 7082 Camino Maquiladora





# Land Use Map

Camino Maquiladora SDP & EV  
 Project No. 1099198 - 7082 Camino Maquiladora



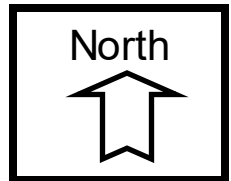


Project Site



## Aerial Photograph

Camino Maquiladora SDP & EV  
Project No. 1099198 - 7082 Camino Maquiladora





HEARING OFFICER RESOLUTION NO. HO-XXX  
SITE DEVELOPMENT PERMIT NO. PMT-3231391  
**CAMINO MAQUILADORA PROJECT NO. PRJ-1099198**

WHEREAS, HUSPP CONTINENTAL LP, a Delaware limited liability, Owner/Permittee, filed an application with the City of San Diego for a permit to develop a 173,500-square-foot industrial warehouse building with a first-floor office area of 4,000 square feet, a mezzanine of 4,000 square feet, two trash enclosures, light poles and entry canopies (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3231391) on portions of a 8.2-acre site;

WHEREAS, the project site is located at 7082 Camino Maquiladora in the IBT-1-1 Zone, Airport Land Use Compatibility Overlay Zone (Brown Field), Airport Influence Area (Review Area 1), Airport FAA Part 77 Noticing Area (531-541 AMSL), Airport Safety Zone (zone 6) Community Plan Implementation Overlay Zone (Type A), Brush Management Zone, Very High Fire Hazard Severity Zone, Prime Industrial Lands, the Transit Priority Area and the site contains Environmentally Sensitive Lands in the Otay Mesa Community Plan.

WHEREAS, the project site is legally described as PARCEL 2 AS SHOWN ON PARCEL MAP RECORDED IN BOOK OF PARCEL MAPS AT PAGE 6564, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1977.

WHEREAS, on June 26, 2024, the Hearing Officer of the City of San Diego considered Site Development Permit No. PMT-3231391 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. PMT-3231391.

**A. Site Development Permit [SDMC Section 126.0505]**

**1. Findings for all Site Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 7082 Camino Maquiladora on a previously graded vacant 8.2-acre site south of Otay Mesa Road and west of Continental Street in the Otay Mesa Community Plan Area. The surrounding uses include industrial to the west, east and south with Brown Field Municipal Airport to the north.

The Otay Mesa Community Plan (OMCP) designates the site as International Business and Trade (IBT) (Figure 2-1 Page 21) and the San Diego General Plan designates the site as Industrial Employment (Figure LU-2 Page 15) and Prime Industrial (Figure EP-1). The project's proposed 173,500-square-foot warehouse includes approximately 4,000 square feet of office and 4,000 square feet of mezzanine and provides 157 parking spaces.

Per [SDMC Table 132-14B](#), Line 3, development in CPIOZ-A must comply with the four following provisions of the OMCP, beginning on [Page LU-28](#) and if not then a SDP is required.

1. Development on properties that have not been previously graded, or have been graded but have not otherwise developed, and which have determined that there are no archaeological, paleontological, or biological resources onsite.

The project site does not comply with this provision since sensitive biological resources are present. Staff reviewed site-specific studies and found no archeological or paleontological resources on site. However, biological resources are present on site, so the project requires a Process Three SDP per [SDMC Section 126.0502\(c\)\(1\)](#) and compliance with the CPIOZ Type A Procedures on [OMCP Page LU-29](#), as well as a Process Three SDP SDMC Section [126.0502\(a\)\(4\)](#) for industrial development on a premises containing environmentally sensitive lands.

2. Development on properties that have been previously graded and developed with structures and conform to the following policies of the Urban Design Element of the Otay Mesa Community Plan.

The project complies with this provision. The Otay Mesa Community Plan Urban Design element outlines the goal of creating functional industrial corridors with a high-quality design standard. The proposed industrial building complies with the Business and International Trade land use designation and Policy 4.1-11 of the Otay

Mesa Community Plan by ensuring complementing industrial development along Otay Mesa Road. The site will also provide landscaping as a condition of the permit, complying with Land Use Element policy LU-4.2-6, promoting landscape as a major element of the project. Additionally, the project is contained entirely within the parcel and will not encroach or impact any view corridors or gateways as outlined in OMCP Figure 4-1.

3. Development that includes construction of the abutting street(s) to the street classification identified in the Mobility Element of the Otay Mesa Community Plan.

The project complies with this provision. Abutting streets include Otay Mesa Road, Continental Street, and Camino Maquiladora. These streets have all been identified in the OMCP and the City of San Diego's Bicycle Master Plan. Conditions have been placed on the permit requiring dedications and improvements to meet the requirements of these plans.

4. Documentation from a California Registered Traffic Engineer, confirmed and accepted by the City Engineer, stating that the proposed project's traffic volumes are based on the City's trip generation rated and are less than 1,000 ADTs.

The project complies with this provision. A traffic analysis was included with the proposed development which estimated the projected traffic at 997 average daily trips under the 1,000 per day threshold.

The project is consistent with the underlying land use designation per the Otay Mesa Community Plan which sites the area as International Business and Trade (IBT) (Figure 2-1 Page 21) and the city of San Diego's municipal code which sites the purpose of IBT (International-Business and Trade) to provide for a wide variety of base sector industrial and office uses. Access to the site will be taken off Camino Maquiladora and Continental Street. Street frontage improvements will be consistent with the City of San Diego's Street Design Manual and the policies of the OMCP. Therefore, the proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed development is consistent with the relevant City of San Diego's codes policies and regulations whose primary focus is the protection of the public's health, safety, and welfare. The permit for the project includes various conditions and referenced exhibits of the approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for the project. Such conditions within the permit have been determined necessary to avoid adverse impacts upon the public health, safety, and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to the issuance of any building permit for the proposed development, the plans shall be reviewed for

compliance with all building, electrical, mechanical, plumbing, and fire code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Compliance with these regulations during and after construction will be enforced through building inspections completed by the City's building inspectors.

Furthermore, the project has been reviewed pursuant to the California Environmental Quality Act, and the environmental analysis did not find any significant impacts to public health, safety, and welfare. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The previously graded and vacant 8.2-acre site is located south of Otay Mesa Road, west of Continental Street, and north of Camino Maquiladora. The surrounding uses are existing industrial to the west, east, and south. To the north is Brown Field Municipal Airport. The site is zoned IBT-1-1, which is to "provide for a wide variety of base sector industrial and office uses." It is intended to apply in portions of communities adjacent to the international border, other ports of entry, and areas in transition to higher-intensity industry.

The proposed project meets all applicable zoning and development regulations. A proposed Floor Area Ratio of 0.47 is proposed where a 0.50 maximum is allowed and a proposed structure height of 46 feet where the base zone designates no maximum structure height, except as limited by regulations in overlay zones. No deviations are being requested. The use is consistent with the OMCP Land Use element as shown in Figure 2-2 LU-7. Access to the site will be taken off Camino Maquiladora and Continental Street. Street frontage improvements will be implemented consistent with the City's Street Design Manual and the OMCP. Therefore, the proposed development complies with the applicable zoning and development regulations of the Land Development Code.

**2. Supplemental Findings (Section 126.0404(b) - Environmentally Sensitive Lands**

**a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The project site is a previously graded vacant site and the development of the new building will occur entirely within the established footprint of the parcel. The site is located south of Otay Mesa Road, west of Continental Street and north of Camino Maquiladora. The surrounding uses are existing industrial to the west, east, south

and Brown Municipal Airport to the north. The project site has been analyzed within the Program Environmental Impact Report (PEIR) No. 30330/304032, SCH No. 2004051076 prepared for the OMCP updated and certified by the San Diego City Council on March 11, 2014, per Resolution No. R-308809. The PEIR identified Mitigation Framework to address significant impacts. The Mitigation Framework included Land Use, Air Quality, Biological Resources, Historical resources, Human Health/Public Safety/Hazardous Materials, Hydrology/Water Quality, Geology/Soils, Noise, Paleontological Resources, Traffic/Circulation, Utilities, and Greenhouse Gas Emissions.

Site-specific technical studies (archeological, paleontological, local mobility access, and biological resources) were prepared to address the project's environmental impacts. They did not identify constraints that would prevent the site from being physically suitable for the project.

Although the site is previously graded, the Biological Technical Report prepared by Alden Environmental (February 2024) indicated that sensitive biological resources in the form of non-native grasslands are present on site. Non-native grassland impacts are approximately 8 acres, resulting in the need to mitigate for 8 acres. These impacts were anticipated in the PEIR. Mitigation is to be addressed through payment in the City's Habitat Acquisition Fund (HAF). In accordance with the Biology Guidelines (City 2018), non-native grassland impacts would be mitigated at a 1:1 ratio considering the location of the mitigation lands may be outside of the Multi-habitat Planning Area (MHPA). In accordance with the San Diego Municipal Code section 143.0141(i)(3), payment into the HAF is an accepted mitigation measure.

Additionally, as outlined in the Biological Technical Report (Alden Environmental 2024) and the Mitigation Monitoring and Report Program (MMRP), a preconstruction survey for burrowing owls will be conducted consistent with burrowing owl protocols (Staff Report on Burrowing Owl Mitigation, State of California Natural Resources Agency Department of Fish and Game. March 7, 2012). Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

**b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The project site is flat with little elevation gain or loss within the envelope of the parcel. The elevations of the parcel range from 505 feet above mean sea level (AMSL) to 513 feet above mean sea level. The development will maintain these elevations and drainage patterns, and the project will not be subject to undue geologic risk as no known active faults traverse the site. The site does not contain nor is near any bodies of water and is not located in an active flood hazard area. The site is surrounded on three sides by existing industrial facilities and the Brown Field Municipal Airport to the north resulting in undue risk from fire hazards. Therefore, the proposed development will minimize the alteration of natural landforms and will

not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

**c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

The project site is located on Environmentally Sensitive land in the form of non-native grassland. Mitigation is to be addressed through payment in the city's HAF, as described above. Additionally, the site is not located within or adjacent to the MMHPA. The surrounding uses of the site are existing industrial buildings to the west, east, and south. To the north of the site, across Otay Mesa Road, is Brown Field Municipal Airport. The adjacent properties do not contain environmentally sensitive lands. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

**d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).**

The project site does contain ESL in the form of non-native grasslands, and the project would impact 8 acres; however the site does not contain nor is it adjacent to the MHPA lands. Mitigation for impacts to non-native grassland would be provided in accordance with the Biology Guidelines (2018), as described above. According to the Biology Technical Report prepared by Alden Environmental (February 2024), the site also does not contain nor is it adjacent to vernal pool habitat and, as such, would not impact any vernal pools or their habitat. Therefore, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan and VPHCP.

**e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The proposed development is located approximately 10 miles from the Pacific Ocean shoreline. The on-site development will not contribute to the erosion of public beaches or adversely impact shoreline sand supply in that all current water quality and erosion control measures will be required of the project through Best Management Practices (BMPs). With the use of BMPs, impacts associated with Hydrology and Water Quality would be less than significant. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate negative impacts created by the proposed development.**

The project site has been analyzed within the PEIR. The PEIR identified a Mitigation Framework to address significant impacts, and appropriate measures have been carried forward into the project MMRP. A Biological Technical Report prepared by

Alden Environmental indicated that sensitive biological resources in the form of non-native grasslands are present on site. Non-native grassland impacts are approximately 8 acres resulting in the need to procure 8 acres of mitigation. The impacts were anticipated in the PEIR. Mitigation is to be addressed through payment in the HAF in accordance with the San Diego Municipal Code section 143.0141(i)(3). All mitigation is related to and calculated to alleviate impacts created by the proposed development and has been incorporated into the MMRP.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. PMT-3231391 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3231391, a copy of which is attached hereto and made a part hereof.

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Christian Hoppe  
Development Project Manager  
Development Services

Adopted on: June 26, 2024

IO#: 24009615

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

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INTERNAL ORDER NUMBER: 24009615

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3231391  
**CAMINO MAQUILADORA PROJECT NO. PRJ-1099198**  
HEARING OFFICER

This Site Development Permit No. PMT-3231391 is granted by the Hearing Officer of the City of San Diego to HUSPP CONTINENTAL LP, a Delaware limited liability, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0505. The 8.2-acre site is located at 7082 Camino Maquiladora in the IBT-1-1 Zone, Airport Land Use Compatibility Overlay Zone (Brown Field), Airport Influence Area (Review Area 1), Airport FAA Part 77 Noticing Area (531-541 AMSL), Airport Safety Zone (Zone 6) Community Plan Implementation Overlay Zone (Type A), Brush Management Zone, Very High Fire Hazard Severity Zone, Prime Industrial Lands, and the Transit Priority Area in the Otay Mesa Community Plan. The project site is legally described as: PARCEL 2 AS SHOWN ON PARCEL MAP RECORDED IN BOOK OF PARCEL MAPS AT PAGE 6564, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1977.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to develop a 169,500-square-foot industrial warehouse building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 26, 2024, on file in the Development Services Department.

The project shall include:

- a. 173,500-square-foot industrial warehouse building with a first-floor office area of 4,000 square feet, a mezzanine of 4,000 square feet, two trash enclosures, light poles and entry canopies;
- b. Landscaping (planting, irrigation and landscape-related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act



[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by July 11, 2027.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
9. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid"

conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

10. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

11. The mitigation measures specified in the MMRP and outlined in Resolution Number R- \_\_\_\_\_, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

12. The Owner/Permittee shall comply with the MMRP as specified in Resolution Number R- \_\_\_\_\_, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Paleontological Resources

**ENVIRONMENTAL SERVICES REQUIREMENTS:**

13. The Owner/Permittee shall comply with the Waste Management Plan prepared by Atlantis Group Land Use Consultants dated December 2023 and shall be enforced and implemented to the satisfaction of the Environmental Services Department.

**AIRPORT REQUIREMENTS:**

14. Prior to issuance of grading, right-of way or building permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

15. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

16. Prior to the issuance of any building permit, File Notices of Proposed Construction and Alteration (from 7460-1) with the FAA and obtain Obstruction Evaluations for the building and any

proposed equipment, including cranes and other equipment taller than the proposed building structure.

17. Prior to the issuance of any building or photovoltaic permit any solar panels to be installed will need to undergo a reflectivity study to be submitted to FAA prior to installation.

18. All outdoor trash bins shall have lids and be closed to avoid the attraction of wildlife, including mammals, rodents, and birds into the airport environment.

19. Within five days after the structure reaches its greatest height, the proponent is required to file on line the Supplemental Notice, FAA form 7460-2, with actual construction details, at the OE/AAA website (<https://oeaaaa.faa.gov/oeaaa>). Detailed instructions are available under the Instructions link. This Supplemental Notice notification will be the source document detailing the site location, site elevation, structure height, and date structure was built for the FAA to map the structure on aeronautical charts and update the national database.

**ENGINEERING REQUIREMENTS:**

20. Prior to the certificate of occupancy, the Owner/Permittee shall dedicate additional right-of-way on Otay Mesa Road to provide a 22-foot curb-to-property-line distance, satisfactory to the City Engineer.

21. Prior to the certificate of occupancy, the Owner/Permittee shall dedicate additional right-of-way on Continental Street to provide a 14-foot curb-to-property-line distance, satisfactory to the City Engineer.

22. Prior to the certificate of occupancy, the Owner/Permittee shall dedicate additional right-of-way on Camino Maquiladora to provide a 14-foot curb-to-property-line distance, satisfactory to the City Engineer.

23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new City Standard non-contiguous sidewalk along the property frontage, satisfactory to the City Engineer.

24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new City Standard curb and gutter along the property frontage, satisfactory to the City Engineer.

25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new City Standard curb ramps at the intersection of Otay Mesa Road and Continental Street, satisfactory to the City Engineer.

26. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new City Standard curb ramps at the intersection of Continental Street and Camino Maquiladora, satisfactory to the City Engineer.

27. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, for the private storm drains, landscape & irrigation within the City's right-of-way, satisfactory to the City Engineer.
28. Prior to the issuance of any building permit, the Owner/Permittee shall obtain a Hold Harmless Agreement for public runoff entering the private property, satisfactory to the City Engineer.
29. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
30. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
31. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
32. The drainage system proposed for this development is private and subject to approval by the City Engineer.
33. The State Construction General Permit (CGP), Order No. 2022-0057-DWQ, NPDES No. CAS000002, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. A Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
34. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2022 -0057-DWQ and a copy shall be submitted to the City.

**LANDSCAPE REQUIREMENTS:**

35. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
36. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development

Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

37. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

38. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

39. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

40. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

41. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

42. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

43. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized

for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

44. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the provision of half-width improvements to include a new curb and gutter at 49 feet centerline to curb width and construct a non-contiguous sidewalk within a 22-foot parkway along the project's frontage on Otay Mesa Road, satisfactory to the City Engineer. All improvements shall be complete and operational prior to first occupancy.

45. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate 10 feet to provide 22 feet of parkway along the project's frontage on Otay Mesa Road, satisfactory to the City Engineer

46. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the provision of half-width improvements to include new curb and gutter at 37 feet centerline to curb width, and construct non-contiguous sidewalk within 14-foot parkway along the project's frontage on Continental Street , satisfactory to the City Engineer. All improvements shall be complete and operational prior to first occupancy.

47. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond then provision of half-width improvements to include a new curb and gutter at 25 feet centerline to curb width and construct non-contiguous sidewalk within the 14-foot parkway along the project's frontage on Camino Maquiladora, satisfactory to the City Engineer. All improvements shall be complete and operational prior to first occupancy.

48. Prior to issuance of any building permit, the Owner/Permittee shall install an approximately 300-foot center lane at the proposed driveway on Camino Maquiladora that is satisfactory to the City Engineer.

49. Prior to issuance of any building permit, the Owner/Permittee shall install appropriate pavement marking and striping along the project's frontage on Otay Mesa Road, Continental Street and Camino Maquiladora, satisfactory to the City Engineer.

50. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a City standard 30-foot-wide northern driveway along the project's frontage on Continental Street in the location shown on Exhibit "A", satisfactory to the City Engineer. All improvements shall be complete and operational prior to first occupancy.

51. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a City standard 26-foot-wide southern driveway along the project's frontage on Continental Street in the location shown on Exhibit "A", satisfactory to the City Engineer. All improvements shall be complete and operational prior to first occupancy.

52. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a City standard 30-foot-wide driveway along the project's frontage on

Camino Maquiladora in the location shown on Exhibit "A", satisfactory to the City Engineer. All improvements shall be complete and operational prior to first occupancy.

53. The Owner/Permittee shall provide and maintain a 10-foot by 10-foot visibility triangle area on both sides of the driveways measured along the property line on Continental Street. No obstacles higher than 36 inches shall be located within this area, e.g., shrubs, landscape, hardscape, walls, columns, signs, etc.

54. The Owner/Permittee shall provide and maintain a 10-foot by 10-foot visibility triangle area on both sides of the driveway measured along the property line on Camino Maquiladora Street. No Obstacles higher than 36 inches shall be located within this area, e.g., shrubs, landscape, hardscape, walls, columns, signs, etc.

55. The Owner/Permittee shall provide and maintain a 25-foot by 25-foot visibility triangle area measured along the property line at the southwest corner of the intersection of Otay Mesa Road and Continental Street. No obstacles higher than 36 inches shall be located within this area, e.g., shrubs, landscape, hardscape, walls, columns, signs, etc.

56. The Owner/Permittee shall provide and maintain a 25-foot by 25-foot visibility triangle area measured along the property line at the northwest corner of the intersection of Continental Street and Camino Maquiladora. No obstacles higher than 36 inches shall be located within this area, e.g., shrubs, landscape, hardscape, walls, columns, signs, etc.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

57. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

58. Prior to the issuance of any construction permit for building, the Owner/Permittee shall assure, by permit and bond, the design and construction of new sewer service outside of any driveway or drive aisle and the abandonment of any existing unused sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

59. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.

60. The Owner/Permittee shall design and construct all proposed public sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Sewer Facility Design Guidelines and City regulations, standards, and practices.

61. Prior to the issuance of any construction permit for building or engineering, including grading, the Owner/Permittee shall provide evidence to the Development Project Manager indicating that approval has been obtained from the Otay Water District for water service to the site.

**GEOLOGY:**

62. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared per the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at final inspection of completed buildings.

APPROVED by the Hearing Officer of the City of San Diego on June 26, 2024 and Resolution No. HO--  
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**ATTACHMENT 5**

Site Development Permit No. PMT-3231391  
Date of Approval: June 26, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Christian Hoppe  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**HUSPP CONTINENTAL LP, a Delaware  
limited partnership**  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NUMBER \_\_\_\_\_

DATE OF FINAL PASSAGE \_\_\_\_\_

A RESOLUTION VACATING AN 875-SQUARE-FOOT DRAINAGE EASEMENT AND A 625-SQUARE-FOOT SEWER EASEMENT LOCATED 7082 CAMINO MAQUILADORA - EASEMENT VACATION NO. PMT-3293667

WHEREAS, San Diego Municipal Code section 125.1010(a) provides a procedure for the vacation of public service easements by City staff designated by the City Manager; and

WHEREAS, HUSPPP CONTINENTAL LP filed an application to vacate Public Service Easements, located at 7082 Camino Maquiladora in the Otay Mesa Community Planning Area; and

WHEREAS, it is proposed that an 825-square-foot drainage easement and a 625-square-foot sewer easement (Easement Vacation No. PMT-3293667) be vacated; and

WHEREAS, the project site was previously analyzed within the certified Program Environmental Impact Report (PEIR) No. 30330/304032 /SCH No. 2004051076 for the Otay Mesa Community Plan. An evaluation was prepared to determine if conditions specified in the California Environmental Quality Act (CEQA) Guidelines Section 15183 would require additional CEQA review. The evaluation determined that the project did not result in any project-specific significant effects that are particular to the project or its site beyond that identified in the certified PEIR. A Mitigation Monitoring and Reporting Program for biological resources and paleontological resources will be implemented consistent with the PEIR Mitigation Framework. Based on the CEQA Guidelines section 15183 evaluation, the project is exempt from further environmental review.

BE IT RESOLVED, by the Hearing Officer of the City of San Diego, that with respect to Easement Vacation No. PMT-3293667 the Hearing Officer finds that:

- (a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.**

The existing 875-square-foot drainage easement and 625-square-foot sewer easement were granted to the City of San Diego in 1993 for drainage facilities and incidental purposes and in 2009 for sewer facilities and incidental purposes, respectively. The easements are not currently being used by the City, nor planned for use by the City. Therefore, there is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or any other public use of a like nature that can be anticipated.

- (b) The public will benefit from the action through improved utilization of the land made available by the vacation.**

Removal of the easement will serve the public by facilitating the construction of a new 173,500-square-foot industrial warehouse building (PMT-3231391) over a portion of the existing easement location. No portion of the easement vacation is within the existing public right-of-way and removing the encumbrance will allow the development of a project consistent with City plans, policies and regulations.

The land made available by the vacation will be within future public right-of-way consistent with the Otay Mesa Community Plan, in that the vacation would allow the development of Business and International Trade (Figure 2-1, Page 21), and the San Diego General Plan designates the site as Industrial Employment (Figure LU-2, Page 15). The site is zoned IBT-1-1, which is to "provide for a wide variety of base sector industrial and office uses." This designation is intended to apply in portions of communities adjacent to the international border, other ports of entry, and areas in transition to higher-intensity industry.

Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

- (c) The vacation is consistent with any applicable land use plan.**

The Otay Mesa Community Plan (OMCP) designates the site as Business and International Trade. The project will facilitate the development of the site in conjunction with this designation. The surrounding uses include industrial to the west, east and south with Brown Field Municipal Airport to the north. No portion of the easement vacation is within the existing public right-of-way. Removing the encumbrance is consistent with the adopted Otay Mesa Community Plan. Therefore, the vacation is consistent with the applicable land use plan.

- (d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.**

The existing easements were granted to the City of San Diego in 1993 for drainage facilities along with incidental purposes and in 2009 for sewer facilities along with incidental purposes. The easements are not active and are no longer needed. No public facilities will be impacted by the following easement vacations as none exist. No portion of the easement vacations are within the existing public right-of-way and removing the encumbrance will removing the potential liability associated with an unutilized and unneeded easement within the future public right-of-way. Therefore, the public facility or purpose for which the easements were originally acquired will not be detrimentally affected by the vacation and the purpose for which the easements were acquired no longer exists.

BE IT FURTHER RESOLVED, that the City of San Diego drainage easement and sewer easement located at 7082 Camino Maquiladora, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 101589-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.


BE IT FURTHER RESOLVED, that the Development Services Department shall record a quitclaim deed with an attached copy of this resolution and any exhibits, in the Office of the County Recorder releasing to the property owner, all rights title and interest in said easement.

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Christian Hoppe  
Development Project Manager  
Development Services

Adopted on: June 26, 2024

IO No.: 24009615

	<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101	<h1>Community Planning Committee Distribution Form</h1>	
Project Name: Qua Industrial		Project Number: 1099198	
Community: Otay Mesa			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote:  February 28, 2024	
# of Members Yes  7	# of Members No  0	# of Members Abstain  1	
Conditions or Recommendations: Recommend for approval			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Rob Hixson, III			
TITLE: Otay Mesa Planning Group, Chair		DATE: February 29, 2024	

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



**THE CITY OF SAN DIEGO**

**M E M O R A N D U M**

DATE: May 30, 2024

TO: Environmental/Project File, Development Services Department

FROM: Dawna Marshall, Senior Planner, Development Services Department

SUBJECT: 7082 Camino Maquiladora (PRJ-1099198) California Environmental Quality Act – Section 15183 Consistency Review

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The Development Services Department (DSD) has completed a California Environmental Quality Act (CEQA) Guidelines section 15183 – Projects Consistent with a Community Plan, General Plan, or Zoning evaluation for the proposed 7082 Camino Maquiladora (project, aka “Qua Industrial”). See Title 14 California Code of Regulations §15183.

The Otay Mesa Community Plan (OMCP) Program Environmental Impact Report (PEIR) No. 30330/304032 (SCH No. 2004051076) was certified by the San Diego City Council on March 11, 2014, per Resolution No. R-308809. This evaluation was performed to determine if conditions specified in CEQA Guidelines section 15183 would require the preparation of additional CEQA review for the proposed project. As outlined in the evaluation, DSD has determined that the proposed project amendments are consistent with the development density established by existing zoning, community plan, or general plan policies for which an Environmental Impact Report (EIR) was certified. In addition, this evaluation determined the project would not result in any project-specific significant effects that are particular to the project or its site beyond that identified in the OMCP PEIR. The project would require the adoption of a Mitigation Monitoring and Reporting Program (MMRP) consistent with the PEIR Mitigation Framework. Based on the CEQA Guidelines section 15183 consistency analysis herein, the proposed project would not require any additional environmental review.

**BACKGROUND**

The project site has been analyzed within PEIR No. 30330/304032 (SCH No. 2004051076) prepared for the OMCP certified by the San Diego City Council on March 11, 2014, per Resolution No. R-308809. The PEIR conducted a program-level analysis that would require the implementation of the associated Mitigation Framework. The Mitigation Framework contains mitigation measures for land use, air quality (RAQS, stationary sources/collocation), biological resources, historical resources, human health/public safety/hazardous materials, hydrology/water quality, geology/soils, noise (traffic/stationary sources), paleontological resources, transportation/circulation, utilities (solid waste), and greenhouse gas emissions.

Per Section 15183 of the CEQA Guidelines, CEQA mandates that projects that are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Where the prior EIR relied upon by the lead agency was prepared for a general plan or community plan that meets the requirements of this section, any rezoning action consistent with the general plan or community plan shall be treated as a project subject to this section.

“Consistent” means that the density of the proposed project is the same or less than the standard expressed for the involved parcel in the general plan, community plan or zoning action for which an EIR has been certified and that the project complies with the density-related standards contained in that plan or zoning. Where the zoning ordinance refers to the general plan or community plan for its density standard, the project shall be consistent with the applicable plan. In approving a project meeting the requirements of Section 15183 of the CEQA Guidelines, DSD limited its examination of environmental effects that:

- (1) *Are peculiar to the project or the parcel on which the project would be located;*
- (2) *Were not analyzed as significant effects in in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent,*
- (3) *Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan or zoning action, or*
- (4) *Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR.*

If an impact is not peculiar to the parcel or to the project, has been addressed as a significant effect in the prior EIR, or can be substantially mitigated by the imposition of uniformly applied development policies or standards, then an additional EIR need not be prepared for the project solely on the basis of that impact.

The project must be consistent with a community plan adopted as part of a general plan, a zoning action that zoned or designated the parcel on which the project would be located, or a general plan of a local agency. Additionally, an EIR must be certified by the Lead Agency for the zoning action, the community plan, or the general plan. Where the prior EIR relied upon by the City (Lead Agency) was prepared for a general plan or community plan that meets the requirements of this section, any rezoning action consistent with the general plan or community plan shall be treated as a project subject to CEQA Guidelines section 15183.

The consistency analysis shall be limited to only those significant environmental effects for which each public agency with authority to mitigate any of the significant effects on the environment identified in the EIR on the planning or zoning action undertakes or requires others to undertake mitigation measures specified in the EIR which the lead agency found to be feasible. The City, as Lead Agency, must make a finding at a public hearing as to whether feasible mitigation measures will be undertaken.

Environmental/Project File, Development Services Department  
May 30, 2024

The consistency review analysis is presented in the CEQA Guidelines section 15183 consistency review checklist attachment.

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Dawna Marshall  
Senior Planner  
Development Services Department

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Date of Final Report

Attachment: CEQA Section 15183 Consistency Review Checklist



## ATTACHMENT - CEQA SECTION 15183 CONSISTENCY REVIEW CHECKLIST

1. Project Title/Project Number: 7082 Camino Maquiladora/ PRJ-1099198
2. Lead agency name and address: City of San Diego, 1222 First Avenue, MS-501, San Diego, California 92101
3. Contact person and phone number: Dawna Marshall, 619-687-5904
4. Project Location: 7082 Camino Maquiladora, San Diego, California, 92154
5. Project Applicant/Sponsor's name: HUSPP Continental LP, Hines, 600 West Broadway, Suite 1150, San Diego, CA 92101, 858-435-4000
6. Community Plan designation: International Business and Trade
7. Zoning: International Business and Trade (IBT-1-1) Community Plan Implementation Overlay Zone A (CPIOZ A)
8. Description of project:

A request for a SITE DEVELOPMENT PERMIT (SDP) and EASEMENT VACATIONS for the construction of a warehouse consisting of 169,500 square-feet of a single-story concrete tilt-up warehouse with 4,000 square-feet of mezzanine office space for a total of 173,500 square feet on an 8.21-acre lot (Figure 2 – Site Plan). The project would vacate 875 square feet of a City drainage facilities and incidental purposes easement (County Recorder of San Diego County, Document Recorded January 8, 1993 as Doc. No. 1997-0011784) and 625 feet of a City sewer facilities and incidental easement (County Recorder of San Diego County, Document Recorded July 15, 2009 as Doc. No. 2009-0388421), as those easements would no longer be needed. The project includes loading areas, a truck ramp, two tilt-up concrete trash enclosures, 177 surface parking spaces (including seven accessible spaces), and four motorcycle parking spaces. The project also includes stormwater, utility, lighting, and hardscaping improvements within the project site and adjacent right-of-way frontage.

### Site Access

Access to the site is proposed via three driveways: one full-access driveway on Camino Maquiladora and two full-access driveways along Continental Street between Otay Mesa Road and Camino Maquiladora.

### Landscaping

The site would include 52,055 square feet of landscaping, designed in accordance with the City's Municipal Code Chapter 14, Article 2, Division 4, and the Land Development Code Landscape Standards.

### Lighting

The proposed project would include outdoor security lighting on the buildings and in the parking lots, which would be directed downward onto the project site and installed in accordance with applicable City lighting ordinances.

#### Road Improvements

Consistent with the Otay Mesa Road ultimate classification of a 6-lane Prime Arterial, the project would widen Otay Mesa Road along the Project frontage to provide half-width improvements to a 49-foot centerline-to-curb width and a 22-foot parkway per the City of San Diego Street Design Manual. The 22-foot parkway would include a 16-foot landscape buffer and 6-foot non-contiguous sidewalk.

The project would also widen Continental Street to provide half-width improvements, including a new curb and gutter at 37 feet centerline to curb width and construct a non-contiguous sidewalk within a 14-foot parkway along the project's frontage on Continental Street.

Also, the project would widen Camino Maquiladora to provide half-width improvements to include a new curb and gutter at 25 feet centerline to curb width and construct a non-contiguous sidewalk within a 14-foot parkway along the project's frontage on Camino Maquiladora.

#### Sewer improvements

The project would include connections to existing water infrastructure in the public right of way and on-site private infrastructure for fire flow, domestic water, and irrigation.

#### Grading

Total grading for the project would entail 10,556 cubic yards of cut at a depth of 4.3 feet and 39,103 cubic yards of fill to a max depth of 9.9 feet with 28,547 cubic yards of imported soil.

#### Construction Schedule

Construction is expected to take approximately 12 months. For conservative purposes, it was assumed that the entire development would be constructed in one phase following initial site preparation activities. This environmental analysis assumes an opening year of 2025.

#### 9. Surrounding land uses and setting:

The 8.21-acre project site is located on the south side of Otay Mesa Road, north of Camino Maquiladora, west of Continental Street and east of Cactus Road in the Otay Mesa Community in the City of San Diego. Industrial/commercial development borders the site to the west, south, and east. To the north, across Otay Mesa Road, is vacant land associated with the Brown Field Municipal Airport. Public services and utilities exist within the adjacent roadways.

The site is currently undeveloped and supports non-native and naturalized vegetation along with developed land. Figure 1: Regional Location Map, depicts the project site in a regional context. The project site is in the Airport District and is designated as Industrial, Business and International Trade, in the Otay Mesa Community Plan. The project site is zoned International Business and Trade, IBT-1-1. Additionally, the project is located in the Community Plan Implementation Overlay Zone (CPIOZ Type A), Airport Influence Area (AIA) Review Area 1 and 2 (Brown Field), Airport Compatibility Overlay Zone (Brown Field), Federal Aviation Administration (FAA) Part 77 Noticing Area (Brown Field), Safety Zone 6 (Brown

Field), and within the Very High Fire Hazard Severity Zone. The project site supports mesa topography, and elevations on the site range from 505 to 520 feet above mean sea level.

10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):  
None required.
11. Community Plan Update program EIR Information (Name of CPU PEIR, Project No., EIR SCH if applicable, Approving Body with Certification Date, and Resolution Number): Final Program Environmental Impact Report for the Otay Mesa Community Plan Update (PEIR), Project No. 30330/304032, SCH No. 2004051076, Certified by City Council March 11, 2014, Resolution 308809.
11. Consistency with the density established by community plan, zoning action, or general plan:  
Yes

**CONSISTENCY REVIEW: (To be completed by Lead Agency)**

In approving a project meeting the requirements of section 15183 of the CEQA Guidelines, the City of San Diego Development Services Department (DSD) made the following determinations:

- There are no significant environmental effects that are peculiar to the project or the parcel on which the project would be located;
- There are no significant environmental effects of the project that were not analyzed as significant effects in the EIR;
- There are no potentially significant off-site impacts or cumulative impacts which were not discussed in the EIR; and
- There are no previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR.

In approving a project meeting the requirements of section 15183 of the CEQA Guidelines, the City of San Diego Development Services Department (DSD) finds:

- The project shall implement feasible mitigation measures (see Appendix A).
- The project requires no mitigation measures.

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Dawna Marshall  
Senior Planner  
Development Services Department

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Date of Final Report

Attachments: Figure 1: Location Map  
Figure 2: Aerial Map  
Figure 3: Site Plan  
Attachment A: Mitigation Monitoring and Reporting Program

## EVALUATION OF ENVIRONMENTAL IMPACTS UNDER SECTION 15183 OF THE CEQA GUIDELINES:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis.)
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If an impact is not peculiar to the parcel or to the project, has been addressed as a significant effect in the prior EIR, or can be substantially mitigated by the imposition of uniformly applied development policies or standards, then an additional EIR need not be prepared for the project solely on the basis of that impact pursuant to section 15183 of the CEQA Guidelines. Answers of “Potentially Significant Impact” shall provide an explanation of whether the impacts:
  - a. Are peculiar to the project or the parcel on which the project would be located;
  - b. Were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent,
  - c. Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan or zoning action, or
  - d. Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR.
- 4) “Less Than Significant With Mitigation Incorporated” applies where the incorporation of Mitigation Framework from the referenced EIR has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the Mitigation Framework as they appear in the EIR, and briefly explain how they reduce the effect to a less than significant level. In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by Mitigation Framework based on the earlier analysis.
  - c. Mitigation framework. For effects that are “Less Than Significant With Mitigation framework Incorporated”, describe the Mitigation Framework that were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 5) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 6) The explanation of each issue should identify:
  - a. The significance criteria or threshold, if any, used to evaluate each question; and
  - b. The mitigation measure identified, if any, to reduce the impact to less than significant.

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

**LAND USE**

Would:

- |   |            |                          |                          |                          |                                     |
|---|------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) The CPU conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction of the project? | <b>LTS</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

PEIR Analysis

The PEIR identified that implementation of the Otay Mesa CPU is consistent with applicable land use plans (General Plan, San Diego Association of Governments (SANDAG) Regional Comprehensive Plan, SANDAG 2050 Regional Transportation Plan, Brown Field Master Plan and Airport Land use Compatibility Plan (ALUCP) and the City’s Multiple Species Conservation Plan (MSCP) Subarea Plan). The Otay Mesa CPU is consistent with the General Plan, including implementing the City of Villages strategy and implementing the 10 elements of the CPU that are consistent with the General Plan. The Otay Mesa CPU is consistent with the Land Development Code (LDC) and with the adopted ALUCP for Brown Field Airport Land Use Compatibility Plan. The Otay Mesa CPU requires future development to follow policies of the General Plan and Municipal code for land use compatibility and to demonstrate consistency with the ALUCP. The Otay Mesa CPU incorporates the multi-modal strategy of both the SANDAG Regional Comprehensive Plan and Regional Transportation Plan through the development of high-density mixed-use villages and implementing policies that promote smart growth strategies. The PEIR identified the impacts as less than significant and no mitigation is required.

Project Analysis

The project site is in the Central Planning District within the Otay Mesa CPU and is designated as Business and International Trade in the CPU. Description of uses under this designation include single- and multi-tenant office, research and development, light manufacturing, and storage and distribution uses. It is intended for communities adjacent to the border, other ports of entry, or areas in transition to higher-intensity industries. The project site is zoned International Business and Trade, IBT-1-1. The IBT-1-1 zone allows for a combination of business park and light industrial uses.

A warehouse project with associated site improvements would be consistent with both the land use designation in the CPU and is a permitted use in the IBT-1-1 zone. The project proposes no deviations from the development regulations of the zone.

Review of the Brown Field Municipal Airport, Airport Land Use Compatibility Plan (ALUCP San Diego County Regional Airport Authority 2010) Exhibit 111-1 Noise determined that the project site is located outside of the 65 A-weighted decibels [dB(A)] Community Noise Equivalent Level (CNEL) noise contour, and therefore would be exposed to aircraft noise levels less than 65 dB(A) CNEL. Review of the Brown Field Municipal Airport ALUCP Exhibit 111-2 Safety determined that the project site is located within Safety Zone 6. The project site is located within the Airport Influence Area - Review Area 1 for Brown Field Municipal Airport and within the Federal Aviation Administration (FAA)

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

Part 77 Notification Area for Brown Field Municipal Airport. The project building's maximum height of 46 feet and exceeds the applicable height surface notification for the Airport Influence Area and may have been hazard related to air navigation. The project required FAA notification. The project filed to the FAA and received a Determination of No Hazard on December 6, 2023 (Appendix A). Therefore, project land uses would be compatible with the applicable airport compatibility plan, and impacts would be less than significant.

The project would not affect the ability for multi-modal strategies of the RCP and RTP to be implemented. The project site is not located within one of the two high-density mixed-use villages and is not along the existing South Bay Bus Rapid Transit corridor. The project site is currently served by the Metropolitan Transit Service (MTS) Routes 905 and 909. Northbound and southbound bus stops for MTS Route 909 are located on the east side and west side of Britannia Boulevard approximately 150 feet south of Otay Mesa Road. Eastbound and westbound bus stops for MTS Route 905 are located on the north side and south side of Otay Mesa Road at Cactus Road and Britannia Boulevard. Future employees of the proposed project would be able to utilize transit to travel to the facility.

As such, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

<p>b) The collocation of residential and industrial land uses and/or conversion of industrial to residential land uses, proposed as part of the CPU, create land use incompatibilities or result in physical changes as a result of precluding achievement of regional economic development objectives/policies for industrial development?</p>	<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR identified that implementation of the Otay Mesa CPU will place residential and industrial uses in proximity to one another, which will have potential impacts associated with collocation and conversion. The Otay Mesa CPU contains policies and performance standards to avoid and/or reduce potential impacts associated with collocation. Compliance with the Otay Mesa CPU and General Plan policies, along with local, state, and federal regulations, reduce potential impacts of collocation to below a level of significance. The Otay Mesa CPU PEIR identified conversion of industrial and agricultural lands to residential and other mixed uses will result in potential for exposure of sensitive receptors to hazardous materials. With the human health/public safety/hazardous materials Mitigation Framework HAZ-3, the impacts will be less than significant.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

Project Analysis

The project site is zoned International Business and Trade, IBT-1-1. The IBT-1-1 zone allows for a combination of business park and light industrial uses. The project is limited to a warehouse project with associated site improvements and proposes no collocation with residential uses. The project proposes no deviations from the development regulations of the zone. In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- c) The CPU result in a conflict with the purpose and intent of the ESL Regulations, the Historical Resources Regulations, and the Brush Management Regulations of the LDC?

**LTSM**



PEIR Analysis

The PEIR identified that implementation of the Otay Mesa CPU is consistent with the Environmentally Sensitive Lands (ESL) Regulations, the Historical Resources Regulations, and the Brush Management Regulations with implementation of the Mitigation Framework. Community Plan Implementation Overlay Zone (CPIOZ) Type A development must implement Mitigation Framework LU-1a, in which development consistent with the Otay Mesa CPU, base zone regulations, and supplemental regulations for CPIOZ Type A will be processed ministerially. Projects that do not comply with the CPIOZ Type A supplemental regulations will be subject to discretionary review in accordance with CPIOZ Type B and the applicable Mitigation Framework LU-1a and LU-1b. As applicable, Mitigation Framework LU-1a Mitigation Framework BIO-1 through BIO-4 and LU-2 will be required to address biological resources. Similarly, if applicable, Mitigation Framework LU-1b requires Mitigation Framework HIST-1 in Section 5-5, Historical Archaeological Resources, to address impacts to Historical Resources. The Otay Mesa CPU also requires compliance with the City's Brush Management Regulations and associated impacts will be less than significant. The PEIR identified the impacts less than significant with Mitigation Framework LU-1a and LU-1b.

Project Analysis

The project would result in significant direct impacts to non-native grassland. The project has moderate potential for burrowing owl to occupy the site prior to construction, and there is a potential for significant direct impacts to burrowing owl if burrowing owls were to occupy the site prior to construction. Non-native grassland is a sensitive Tier IIIb habitat and is considered ESL subject to City regulations. The site is not located within or adjacent to the City's Multiple Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) conservation lands. As discussed under the Biological Resources section of this CEQA Guidelines Section 15183 Checklist, applicable mitigation measures from the OMCPU PEIR, BIO 1-2 and LU-2 have been satisfied with the preparation of the project's biological resources report (Appendix B) and identification and implementation of site-specific mitigation measures.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

The project would not result in impacts to Historical Resources. As discussed in the Historical Resources section of this CEQA Guidelines Section 15183 Checklist, the project implemented Mitigation Measure HIST-1 by completing a site-specific archaeological survey report (Appendix C) that identified no impacts to Historical resources would occur.

Although the site is located within a Very High Fire Severity Zone, the site is already developed and is surrounded by existing industrial and heavy commercial land uses; the site is not located adjacent to a wildlands interface. As discussed in the Otay Mesa CPU PEIR, the General Plan contains policies regarding brush management which is intended to" reduce the risk of wildfire hazards. In addition, the City's Land Development Code (LDC) Section 142.0412 et seq. requires brush management on publicly or privately owned premises that are within 100 feet of a structure and contain native or naturalized vegetation. The project site is surrounded by mostly developed land. Compliance with policies and regulations would reduce the impacts related to exposure of people or structures to a significant risk of loss, injury, or death from wildland fires to less than significant. The site is not adjacent to areas of natural vegetation that would result in a need for brush management in accordance with the Brush Management Regulations. Brush Management Regulations are not applicable to the project. Impacts would be less than significant. No mitigation measures are required.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- d) The CPU result in a conflict with adopted environmental plans, including the City of San Diego's MSCP Subarea Plan and the MHPA adopted for the purpose of avoiding or mitigating an environmental effect for the area?

**LTSM**





PEIR Analysis

The Otay Mesa CPU PEIR identified that the Otay Mesa CPU results in a conflict with the City's MSCP Subarea Plan and MHPA, and a Mitigation Framework LU-2 was identified. Mitigation Framework LU-2 requires implementing the MHPA Land Use Adjacency Guidelines (LUAG) for projects adjacent to the MHPA. Implementation of the Otay Mesa CPU policies and compliance with MSCP Management Policies and Directives and Area Specific Management Directives, as well as MHPA boundary line equivalency analysis will reduce the impacts related to inconsistencies with adopted environmental plans. The PEIR identified the impacts will be less than significant with Mitigation Framework LU-2.



Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

Project Analysis

The project site is not located within or adjacent to the MHPA and would be consistent with the MSCP Subarea Plan (City of San Diego 1997). As the project is not adjacent to the MHPA, Mitigation Framework LU-2 would not apply to the project.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**VISUAL EFFECTS AND NEIGHBORHOOD CHARACTER**

Would the CPU:

- a) Affect the visual quality of the area, particularly with respect to views from public viewing areas, vistas, or open spaces?
 

<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR identified that the Otay Mesa CPU will not block public views from designated open space areas, road, or parks or to significant visual landmarks or scenic vistas. No scenic roadways, vistas, or viewing areas are identified within the previously adopted OMCP. Visual resources in the Otay Mesa CPU area include open mesas and canyons. While not designated as scenic in the previously adopted OMCP, the majority of existing views of canyons and mesas will be preserved under the 2014 OMCP and the 2014 OMCP includes designated view corridors and gateways. Urban Design Policies 4.12-1 through 4.12-4 and project design features are part of the Otay Mesa CPU to implement the view corridors and gateways. The PEIR identified the impact less than significant and no mitigation is required.

Project Analysis

There are no scenic vistas identified in the previously adopted community plan, but the currently adopted 2014 Otay Mesa CPU identifies Otay Mesa Gateway and View Corridor Opportunities that include scenic views. As shown in Figure 4-1, Otay Mesa Gateway and View Corridor Opportunities, of the approved community plan, the closest designated view corridor opportunity is located at the intersection of Heritage Road and Otay Mesa Road. The proposed project would include the construction of a warehouse building and associated site improvements, at similar elevations as the surrounding development. No deviations are proposed to height or density, and the proposed project is consistent with the Otay Mesa CPU PEIR development assumptions for the site. As such, the proposed project would not obstruct views from the designated view corridor opportunity.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

b) Land use changes be compatible with surrounding development in terms of bulk, scale, materials, or style? Would adverse aesthetic impacts result from the CPU?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The land use and development design guidelines and policies in the Otay Mesa CPU are intended to ensure that development within the Otay Mesa CPU area will not result in architecture, urban design, landscaping, or landforms that will negatively affect the visual quality of the area, or strongly contrast with the surrounding development or natural topography through excessive bulk, signage, or architectural projection. Future development will be required to comply with the relevant land use and development design guidelines and policies of the General Plan and CPU, including the Urban Design Element. The PEIR identified the impact less than significant and no mitigation is required.

Project Analysis

The proposed project would include the construction of a warehouse building at similar elevations as surrounding development. The site is located adjacent to existing industrial uses and just south of the Brown Field Municipal Airport. The project has been designed with appropriate setbacks and would introduce landscaping along the frontages with Otay Mesa Road, Camino Maquiladora and Continental Street that would improve the visual quality of the project site. The project is within the Corridor (Central District) in an area that is planned for industrial uses. The project would comply with applicable land use and development design guidelines and policies of the OMCP which are intended to ensure that future development within the Otay Mesa CPU area would not result in architecture, urban design, landscaping, or landforms that would negatively affect the visual quality of the area, or strongly contrast with the surrounding development. The project would be compatible with the scale and design of surrounding development, and impacts would be less than significant.

As discussed in the Otay Mesa CPU PEIR, the Airport District is developed with industrial uses and the construction of an industrial building on a vacant lot would not result in a significant impact on the visual character of the surrounding area. Thus, upon completion of construction, the visual character of the project site would be similar to the surrounding area and no significant visual impacts would result.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)
c) Result in a substantial change to natural topography or other ground surface relief feature?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in a significant alteration of the natural landform. Future development will be required to comply with the relevant land use and development design guidelines and policies of the General Plan and CPU. This includes the ESL Regulations, Steep Hillside Regulations, and City Grading Regulations. In addition, projects must be consistent with the Otay Mesa CPU Conservation Element Policy 8.1-3 that requires grading to be minimized and conform to the natural topography. The PEIR identified the impact as less than significant and no mitigation is required.

Project Analysis

The project site consists of approximately 8.21 acres of vacant, previously disturbed land designated and zoned for industrial uses. Project development would not result in the alteration of the natural landform of the site, as the site was previously graded. Impacts associated with the alteration of the natural landform would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

d) Result in a negative visual appearance due to the loss, covering, or modification of any unique physical features such as a natural canyon or hillside slope in excess of 25 percent gradient?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in the creation of a negative visual appearance. Future development will be required to comply with the City’s relevant land use and development regulations, including ESL Regulations, Grading Regulations, as well as policies of the General Plan, pertaining to the preservation and enhancement of natural landforms, and the policies of the Otay Mesa CPU, pertaining to landform alteration. The Otay Mesa CPU includes Conservation Element Policies 8.1-1 through 8.1-3 related to landform alteration that require the implementation of the ESL Regulations related to biological resources and steep hillsides for all new development. With compliance with these regulations and policies, the PEIR identified impacts will be less than significant and no mitigation is required.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

Project Analysis

The project site does not contain any unique physical features such as a natural canyon or natural hillside slopes. The project would not meet any of the conditions that would result in a significant impact related to landform alteration. There are no steep hillsides on the project site due to the gently to moderately sloping site topography, with elevations ranging from 505 to 520 feet above mean sea level. Similarly, the project would not require mass terracing of natural slopes. Furthermore, the project would not create manufactured slopes higher than 10 feet or steeper than 2:1 (50 percent) slope gradient. Therefore, the project would not result in a substantial change in the existing landform or loss of unique physical features, and impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**AIR QUALITY/ODOR**

Would the CPU:

- a) Obstruct or conflict with the implementation of the San Diego RAQS or applicable portions of the SIP?
 

<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will not obstruct or conflict with the San Diego Regional Air Quality Strategy (RAQS) or applicable portions of the State Implementation Plan (SIP). The land uses identified in the Otay Mesa CPU and the traffic generated from buildout of the Otay Mesa CPU will result in fewer emissions than the adopted community plan upon which the current RAQS is based. The PEIR identified the impact as less than significant and no mitigation is required.

Project Analysis

The project site is located in the San Diego Air Basin (SDAB), which is under the jurisdiction of the San Diego Air Pollution Control District (SDAPCD). The SDAPCD is required, pursuant to the Federal Clean Air Act (FCAA), to reduce emissions of criteria pollutants for which the SDAB is in nonattainment and is responsible for the administration and enforcement of air quality regulations in San Diego County. The SDAB is designated non-attainment for the federal and State ozone standard. In compliance with state law, the SDAPCD prepares and adopts the RAQS to reduce ozone emissions; the 2022 RAQS (SDAPCD 2022), was adopted in 2023. The growth projections used by the SDAPCD to develop the RAQS emissions budgets are based on the population, vehicle trends, and land use plans developed in general plans and used by the San Diego Association of Governments (SANDAG) in the development of the regional transportation plans and sustainable communities strategy. As the project is consistent with the land use and zoning, the project is consistent with SANDAG growth projections and would not conflict with the RAQS or the SIP.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

b) Result in emissions that would violate any air quality standard or contribute substantially to an existing or projected air quality violation? Would the CPU result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment under an applicable federal or state AAQS (including the release of emissions which exceed quantitative thresholds for ozone precursors)?	SU	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

Air emissions from future development allowed by the Otay Mesa CPU could not be adequately quantified in the EIR. The PEIR identified the Otay Mesa CPU will result in emissions that potentially violate air quality standards, and a Mitigation Framework was identified. Mitigation Framework AQ-1 requires projects that would exceed daily construction emissions thresholds established by the City of San Diego to use best available control measures/technology. Mitigation Framework AQ-2 requires projects that would significantly impact air quality per City thresholds to be conditioned with reasonable mitigation to address impacts of air quality violations. While the Mitigation Framework will reduce emissions, future projects may not be able to reduce air emissions below a level of significance. The PEIR identified the impact as significant and unavoidable.

Project Analysis

Construction associated with the proposed project would generate short-term emissions of criteria air pollutants. The criteria pollutants of primary concern within the project area include ozone-precursor pollutants (i.e., reactive organic gases [ROG] and nitrous oxide [NOx], coarse particulate matter [PM10], and fine particulate matter (PM2.5). Construction-generated emissions are short-term and of temporary duration, lasting only as long as construction activities occur.

Based upon review of the Otay Mesa PEIR Appendix C Construction Emissions, the project site (8.21 acres and an under 200,000 square-foot industrial building on a relatively flat site with typical grading) would not result in significant construction emissions in exceedance of City of San Diego Air Quality Significance Determination Thresholds. Further, due to the anticipated relatively short duration of construction (12 months) of a single warehouse building and associated site improvements, project location in a substantially built-out industrial area, absence of sensitive receptors and required compliance with SDAPCD Rule 55, Fugitive Dust Control, the project is not

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

expected to result in air quality impacts associated with construction. Mitigation Framework AQ-1 and AQ-2 would not apply.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects, which are peculiar to the project or its site would occur. No additional analysis is necessary.

c) Expose sensitive receptors to substantial pollutant concentration, including air toxics such as diesel particulates?	<b>SU</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR concludes the Otay Mesa CPU will possibly expose sensitive receptors to substantial pollutant concentration and a Mitigation Framework was identified. Mitigation Framework AQ-3, where prior to the issuance of building permits for any new facility that will have the potential to emit toxic air contaminants, an emissions inventory and health risk assessment will be prepared, and Mitigation Framework AQ-4, where prior to the issuance of building permits for any project containing a facility identified in Table 5.3-7, or locating air quality sensitive receptors closer than the recommended buffer distances, a health risk assessment shall be prepared to address impacts of exposure of sensitive receptors to substantial pollutant concentration. While the Mitigation Framework will reduce the potential impacts associated with exposure to air toxics, it cannot be determined whether the mitigation will reduce all impacts below a level of significance. The PEIR identified the impact as significant and unavoidable.

Project Analysis

There are no sensitive receptors in the vicinity of the project site. Nearby facilities where people would be working are Brown Field Municipal Airport to the north, and surrounding industrial and commercial buildings to the east, west, and south of the project site. The project site is designated International Business and Trade which allows single and multi-tenant office, research and development, light manufacturing, and storage and distribution uses. Therefore, sensitive receptors would not be exposed to Toxic Air Contaminants (TAC) emissions that would substantially impact human health and no significant impacts would result. Mitigation Framework AQ-3 and AQ-4 would not apply.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

d) Create objectionable odors affecting a substantial number of people?	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not create objectionable odors. Although the Otay Mesa CPU area is adjacent to numerous industrial operations, there are no known sources of specific, long-term odors. None of the identified land uses within the Otay Mesa CPU are associated with the creation of objectionable odors. The PEIR identified the impact as less than significant and no mitigation is required.

Project Analysis

The project is not anticipated to include land uses that are typically associated with objectionable odors. Proposed warehouse uses are not anticipated to generate substantial odors, and any odors generated would be required to comply with the SDAPCD Rules. Odors may be generated during construction activities such as equipment diesel exhaust, architectural coatings volatile organic compounds, and paving activities. However, these odors would be temporary, are not expected to affect a substantial number of people and would disperse rapidly. Therefore, impacts related to odors associated with the project's construction-related activities would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**BIOLOGICAL RESOURCES**

Would the CPU:

- a) Result in a reduction in the number of any unique, rare, endangered, sensitive, or fully protected species of plants or animals?
 

<b>LTSM</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in a reduction in the number of sensitive species and a Mitigation Framework was identified. Mitigation Framework BIO-1 requires future projects to complete site-specific environmental review, analysis of potential impacts to biological resources, and recommendations for mitigation to reduce significant project-level biological resource impacts to below a level of significance. The PEIR identified the impact as less than significant with mitigation.

Project Analysis

Consistent with the Otay Mesa CPU PEIR mitigation framework, a site-specific Biological Technical Report was prepared by Alden Environmental, Inc. dated February 2024 (Appendix B). The following is based on the information in Appendix B.

The site is within the City's Multiple Species Conservation Program (MSCP) Subarea but is not within or adjacent to the Multi-habitat Planning Area (MHPA), which is the City's preserve (City of San Diego 1997). The site is currently undeveloped and supports non-native and naturalized vegetation along with developed land. Industrial/commercial development borders the site to the west, south, and

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

east, and to the north past Otay Mesa Road is Brown Field Municipal Airport. The site has been heavily disturbed in the past with apparent agricultural uses, grading, dumping, and regular discing going back to at least the mid-1960s (Nationwide Environmental Title Research, LLC [NETR] 2023). More recent disturbance has occurred along the southern boundary of the site in association with adjacent development and construction of Camino Maquiladora in the early 1990s and in 2016.

#### Methodology

On May 16, 2022, Alden conducted its first site visit to map vegetation communities and record locations of sensitive plant and animal species observed (if any). No focused surveys for sensitive species were conducted by Alden on that date, but the site was evaluated for the potential for such species to occur.

A focused burrowing owl (*Athene cunicularia*) survey with four site visits on separate days between March and May 2023 was conducted according to the survey methods in the Staff Report on Burrowing Owl Mitigation (California Department of Fish and Game 2012).

A focused survey for the Crotch's bumble bee (*Bombus crotchii*) with four site visits was conducted during the period May 18 through July 15, 2023. Prior to beginning the survey, a habitat assessment was conducted that included reviewing the California Natural Diversity Database and available Bee Atlas data to identify any reported Crotch's bumble bee observations in the project site vicinity. Recent vegetation mapping prepared for the project and site photographs taken in April 2023 were also reviewed to help determine areas on site with suitable foraging resources (flowering plants) for the Crotch's bumble bee.

On May 16, 2022, Alden also assessed the site for wetland/riparian features that could be under the jurisdiction of the U.S. Army Corps of Engineers (Corps), California Regional Water Quality Control Board (RWQCB), California Department of Fish and Wildlife (CDFW), and City. No formal jurisdictional delineation was conducted.

On April 27, 2023, Alden revisited the site to field check/update the vegetation mapping from 2022. Sensitive plant species were searched for opportunistically during the May 2022 site visit and a focused survey for sensitive plant species was conducted on April 27, 2023. The focused sensitive plant survey involved walking transects across the site to ensure complete coverage.

#### Analysis

##### Sensitive Plant Species

No sensitive plant species were observed on site and their potential to occur on the site was determined to be either low or not expected due to the disturbed site conditions.

##### Sensitive Animal Species

No sensitive animal species were observed. Protocol surveys for burrowing owl and Crotch's bumble bee were completed, and the results are discussed below.



Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

### Burrowing Owl

Focused burrowing owl surveys for this species were negative; therefore, the non-native grassland habitat on-site is considered to be non-occupied. There are burrowing owls known to occur on the Brown Field airport property to the north of the project site past the 140-foot-wide Otay Mesa Road. While this roadway has heavy traffic, the burrowing owl could fly over this road to forage on the project site. Thus, the burrowing owl is considered to have moderate potential to forage on site and impacts could occur.

The project would be required to provide habitat-based mitigation consistent with the Biology Guidelines (2018) for the loss of 8-acres of non-native grasslands. Considering the project site is small and isolated with lower long-term conservation value, as detailed in the biological report (Appendix B), it meets the requirements to utilize the Habitat Acquisition Fund (HAF) program. Implementation of mitigation measure MM-BIO-1 (Non-Native Grassland) would reduce this impact to a level less than significant by providing payment into the HAF. Implementation of MM-BIO-1 as detailed in the MMRP (Attachment A) would provide compensatory mitigation in accordance with the City's Biology Guidelines (City of San Diego 2018a). Direct impacts would be less than significant after mitigation. MM-BIO-1 would be consistent with OMCPU Final PEIR Mitigation Framework measure BIO-1.

In addition, burrowing owl is also known to be transient in nature and is known to nest within disturbed sites. Burrowing owl is known to occur in the immediate vicinity on the airport to the north and, therefore, has the potential to relocate to the site. If this species begins nesting on the project site prior to the start of construction, impacts to burrowing owl would be potentially significant. The project would provide MM-BIO-2 that requires pre-construction burrowing owl surveys and associated avoidance measures in accordance with CDFW-established requirements (Staff Report on Burrowing Owl Mitigation, State of California Natural Resources Agency Department of Fish and Game, March 7, 2012). Implementation of MM-BIO-2 as detailed in the MMRP (Attachment A) would mitigate this potential impact to below a level of significance. Implementation of MM-BIO-2 Sensitive Species – BUOW would be consistent with OMCPU Final PEIR mitigation framework measure BIO-1.

### Crotch's Bumble Bee

No Crotch's bumble bee, nor any other *Bombus* species, was observed. No burrows were observed that could provide potential Crotch's bumble bee nest sites, and while flowering plants were found on site, they are very limited in number and diversity. A complete Crotch's bumble bee survey was completed in accordance with the CDFW guidance (CDFW 2023). No Crotch's bumble bee was located or is expected to occur on site. No impacts to Crotch's bumble bee would occur.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)
b) Result in an interference with the nesting/foraging/movement of any resident or migratory fish or wildlife species?	LTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in an interference with the movement of resident or migratory species and a Mitigation Framework was identified. Mitigation Framework BIO-2 requires future projects to implement mitigation identified in site-specific biological resources surveys prepared in accordance with City of San Diego Biology Guidelines as detailed in Mitigation Framework BIO-1. Future development will also be required to comply with Otay Mesa CPU policies, and established development standards and regulations, including ESL, MSCP, and the City’s Biology Guidelines. The PEIR identified the impact as less than significant with mitigation.

Project Analysis

The MHPA includes core biological resource areas and corridors targeted for conservation that preserve local and regional corridor functions. The site is not within or adjacent to the MHPA and is surrounded by existing development that severely limits, or even precludes, it from connecting to any surrounding habitat areas. The site may provide some resources such as food for wildlife, but due to its long history of agricultural and mechanical disturbance those resources are of low quality and limited. No impacts would occur.

Focused burrowing owl surveys for this species were negative; therefore, the non-native grassland habitat on-site is considered to be non-occupied, and there is low potential for burrowing owl nesting to occur. However, the burrowing owl is considered to have moderate potential to forage on site (Appendix B). Therefore, potential impacts to the species could occur, which would be significant. Mitigation would be required. Implementation of Mitigation Measure BIO-2 Sensitive Species – burrowing owl would be consistent with Otay Mesa CPU PEIR mitigation framework measure BIO-1. As the project would not interfere with wildlife movement, Mitigation Framework BIO-2 would not apply. See Attachment A – Mitigation, Monitoring and Reporting Program.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

c) Result in an impact to sensitive habitat, including, but not limited to streamside vegetation, oak woodland, vernal pools, wetlands, coastal sage scrub, or chaparral?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in impacts to sensitive habitat and a Mitigation Framework was identified. Mitigation Framework BIO-3 would require compliance with CPU policies and the City's LDC ESL Regulations, Biology Guidelines, and the MSCP Subarea Plan to reduce impacts to sensitive habitat. Note that Mitigation Framework BIO-3 refers to BIO-1. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

Sensitive Upland Vegetation Communities

Non-native grassland comprises 8.0 acres of the site (Appendix B). Non-native grassland on site is characterized by non-native grass species such as slender wild oat (*Avena barbata*), common ripgut grass (*Bromus diandrus*), and foxtail chess (*Bromus madritensis ssp. Rubens*). Non-native grassland is recognized as a Tier IIIB upland habitat (common upland) by the City. According to the City's Biology Guidelines (City 2018), lands containing Tier IIIB habitats are considered sensitive and declining. Therefore, the project's impacts to 8.0 acres of Tier IIIB non-native grassland would be significant, and mitigation would be required. The City's Biology Guidelines (City 2018) state, "In some cases, developments with small impacts may compensate by payment into a fund...intended to be used only for mitigation of impacts to small, isolated sites with lower long-term conservation value. For purposes of this fund, small is generally considered less than 5 acres, but could, in some cases, be considered up to 10 acres."

The site is surrounded by development and is not located within or adjacent to the MHPA. The project site is, therefore, substantially isolated, and its long-term conservation value is low because of its past disturbance and lack of connection to a large area of habitat. Therefore, monetary compensation for the project's impacts to 8.0 acres of non-native grassland is appropriate because the impacts would occur on an isolated site with low long-term conservation value. Implementation of mitigation measure MM-BIO-1 Non-Native Grassland would reduce this impact to a level less than significant. MM-BIO-1 would be consistent with Otay Mesa CPU PEIR Mitigation Framework measure BIO-1.

Wetland and Non-wetland Waters

Waters of the U.S., Waters of the State, and City Wetlands are sensitive habitats per the City Biology Guidelines. No evidence of the presence of Waters of the U.S., Waters of the State, or City Wetlands was found on site (Appendix B). There is an area in the southwest corner of the site where site drainage is directed toward an existing, constructed stormwater inlet. This inlet was constructed in or around 1994, in conjunction with adjacent development. It is after this year that backed up water is visible in some of the historic aerial photographs. Subsequent construction of Camino Maquiladora has placed further dependence on this stormwater inlet.

The inlet has been repeatedly filled up with trash and debris, causing water to back up on the site following rain events. Despite repeated efforts to keep the inlet trash free, dumping at this location continues to be a persistent problem. During the 2022-2023 field visits, this area was wet, but didn't exhibit any evidence of being a vernal pool (no vernal pool associated species present) or a

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

jurisdictional feature. As such, the wet area reflects a need for improved storm drain inlet maintenance and not a jurisdictional feature.

The project would be consistent with the CPU policies, LDC ESL Regulations, Biology Guidelines and the MSCP Subarea Plan. No impacts would occur.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

d) Affect the long-term conservation of biological resources as described in the MSCP? Would the CPU meet the provisions of the MSCP Subarea Plan's Land Use Adjacency Guidelines or conflict with the provisions of the MSCP Subarea Plan, or other approved local, regional, or state conservation plans?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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#### PEIR Analysis

The PEIR identified the Otay Mesa CPU will affect the long-term conservation of biological resources as described in the MSCP, and a Mitigation Framework was identified. Mitigation Framework LU-2 requires future projects to comply with the LUAG of the MSCP, as well as provide consistency with the MHPA Boundary Adjustments and the Specific Management Directives for Otay Mesa. The PEIR identified impacts will be less than significant with mitigation.

#### Project Analysis

The project site does not contain any MHPA designated lands, nor is the site adjacent to the MHPA. The project would be consistent with the MSCP and the associated Specific Management Directives for Otay Mesa. In accordance with the specific management directives, burrowing owl surveys were completed (Appendix B). None was detected. Due to the lack of MHPA on or adjacent to the site, Mitigation Framework LU-2 would not apply.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

e) Result in the introduction of invasive species of plants into the area?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

PEIR Analysis

The PEIR identified the Otay Mesa CPU future projects will potentially result in the introduction of invasive plant species and a Mitigation Framework was identified. Mitigation Framework LU-2 requires projects to implement the MHPA LUAG and prohibits the use of exotic plant/invasive species in landscape plans. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

The project is located on a vacant site surrounded by industrial and heavy commercial development. It does not contain any MHPA designated lands, nor is the site adjacent to the MHPA. No change in landscape is proposed by the project. Mitigation Framework LU-2 would not apply. The project would remove all vegetation from the site during construction and would not introduce invasive or exotic species. Consequently, the project would not impact the MHPA or introduce invasive species, and Otay Mesa CPU PEIR Mitigation Framework LU-2 would not apply to the project.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

f) Result in an impact on City, state, or federally regulated wetlands (including, but not limited to, salt marsh, vernal pool, lagoon, riparian habitat, etc.) through direct removal, filling, hydrological interruption, or other means?	<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR concludes the Otay Mesa CPU will result in an impact to wetlands and a Mitigation Framework was identified. Mitigation Framework BIO-4 requires all future projects to comply with federal, state, and local regulations that minimize impacts to wetlands. In addition, Mitigation Framework BIO-4 requires future projects to comply with CPU policies that require preservation of restoration, management, and monitoring of vernal pool areas. Mitigation Framework BIO-4 also requires projects comply with ESL Regulations, the MSCP Subarea Plan, and the City's Biology Guidelines to reduce impacts to wetlands. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

The project is located on a developed site and does not contain any wetlands, vernal pools, or any other jurisdictional water resources. While the PEIR identified potential impacts to jurisdictional resources, the project would not impact such resources and Mitigation Framework BIO-4 would not apply.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

g) Result in temporary construction noise from the CPU or permanent noise generators (including roads) that adversely impacts sensitive species (e.g., coastal California gnatcatcher) within the MHPA?	LTSM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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### PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in the potential for temporary construction noise to adversely impact sensitive species and a Mitigation Framework was identified. Mitigation Framework BIO-1 through BIO-4, and Mitigation Framework LU-2 that are mentioned above will ensure future projects comply with ESL Regulations, MHPA LUAG, and the City's Biology Guidelines (2018). The PEIR concludes the impact will be less than significant with mitigation.

### Project Analysis

The project is located on a developed site and is not located within or adjacent to the MHPA. While the PEIR identified potential noise impacts to sensitive biological resources, the project would not impact such resources and noise measures related to Mitigation Framework BIO-1 through BIO-4, and LU-2, would not apply.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

## HISTORICAL RESOURCES

### Would the CPU:

a) Result in the alteration or destruction of a prehistoric or historical archaeological site? Would the CPU result in any adverse physical or aesthetic effects on a prehistoric or historic building, structure, object or site?	LTSM	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in the potential for an adverse effect of a historic resource and a Mitigation Framework was identified. Mitigation Framework HIST-1, where if there is evidence that the site contains historical resources, requires preparation of a historic evaluation and possible mitigation monitoring, and Mitigation Framework HIST-2, where prior to issuance of any permit for future development that may affect a building in excess of 45 years of age, the City shall determine the historical significance and possible Mitigation Framework, will reduce impacts to historic resources. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

Consistent with Otay Mesa CPU PEIR Mitigation Framework HIST-1, a site-specific Historical Resources Survey Report of the Qua Industrial Project was prepared by ASM Affiliates in June 2023 (Appendix C). ASM Affiliates requested a search of existing records held by the South Coastal Information Center at San Diego State University (SCIC), part of the California Historical Resources Information System (CHRIS). The study included a record search of the California Historical Resources Information System and of the Sacred Lands File held by the Native American Heritage Commission, a literature review, and a review of historic maps and aerial photographs. In addition, because the project area is entirely undeveloped, an archeological survey was performed on June 5, 2023, by ASM Affiliates archaeologist Michael Buxton and Grey Wolf Tribal Monitor Ed Mercado. A record search of the Sacred Lands File (SLF) held by the Native American Heritage Commission (NAHC) was requested by ASM Affiliates on May 9, 2023. On June 27, 2023 the NAHC responded that the results were positive and provided a list of 20 Native American contacts which may have additional information. ASM sent information request letters to the 20 contacts on June 28, 2023. On June 28, 2023, Ray Teran of the Viejas Band of Kumeyaay Indians responded to request the project description and plans and anticipated ground disturbance which were provided. As of the date of the final report, September 29, 2023, no additional responses were received.

The record search identified 26 cultural resources that had been previously recorded within the project area and one-mile record search radius. CA-SDI-7208 was previously recorded within the project area, however the archaeological survey determined that the site was not identified within the project area. Based on the lack of artifacts identified during the archaeological survey, previous testing and evaluation of SDI-7208, outside of the project area, which identified the site as not eligible to the California Register of Historical Resources (CRHR), the guidelines provided in the Management Plan for Otay Mesa Prehistoric Resources, San Diego, California (Gallego & Associates 1998), and the Geotechnical Evaluation for the project showing that the ground disturbance for the project would take place within disturbed agricultural and fill soils (Ninyo & Moore 2022; Appendix D) no additional archaeological testing of CA-SDI-7208 is required. Based on the guidelines provided in the Management Plan for Otay Mesa Prehistoric Resources, San Diego, California (Gallego & Associates 1998), CA-SDI-7208 within the project area is not eligible for listing on the CRHR and not significant under CEQA.

Per the Otay Mesa CPU PEIR Mitigation Measure HIST-1 Step 3, archaeological and Native American monitoring during the initial ground disturbance could be recommended due to the presence CA-SDI-7208 being previously recorded within a portion of the project area. HIST-1 Step 3 requires

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

archaeological and Native American monitoring “if no significant resources are found, but results of the initial evaluation and testing phase indicates there is still a potential for resources to be present in portions of the property that could not be tested, then mitigation monitoring is required” and “A Native American observer must be retained for all subsurface investigations, including geotechnical testing and other ground-disturbing activities, whenever a Native American Traditional Cultural Property or any archaeological site located on City property or within the Area of Potential Effect of a City project would be impacted”. However, based on the Geotechnical Evaluation (Appendix D) for the project, the ground disturbance would take place within fill and agricultural soils, and therefore there is a low potential for inadvertent discoveries and no monitoring is recommended. No impacts would result from project implementation. No additional mitigation is required.

There are no historic buildings, structures, or objects on the project site. Therefore, Otay Mesa CPU PEIR Mitigation Framework HIST-2 would not apply.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- |   |             |                          |                          |                                     |                          |
|---|-------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Result in any impact to existing religious or sacred uses within the CPU area? | <b>LTSM</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|-------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in an impact to existing religious or sacred uses within the Otay Mesa CPU area and a Mitigation Framework was identified. Mitigation Framework HIST-1, where if there is evidence that the site contains historical resources, requires preparation of a historic evaluation and possible mitigation monitoring, will reduce impacts to religious or sacred uses within the CPU area. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

Refer to Historical Resources (a). The project site contains no evidence of religious or sacred uses. Impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- |   |             |                          |                          |                                     |                          |
|---|-------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Result in the disturbance of any human remains, including those interred outside of formal cemeteries? | <b>LTSM</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|-------------|--------------------------|--------------------------|-------------------------------------|--------------------------|



Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

PEIR Analysis

The PEIR concludes the Otay Mesa CPU will result in the disturbance of human remains and a Mitigation Framework was identified. Mitigation Framework HIST-1, where if there is evidence that the site contains historical resources, preparation of a historic evaluation and possible mitigation monitoring is required, as well as actions required if remains are discovered on site, will reduce impacts. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

No known burial sites or cemeteries exist within the project site, and it is not expected that human remains would be discovered during construction. In the unlikely event of the discovery of human remains during project grading, work shall halt in that area and the procedures set forth in the California Public Resources Code (Section 5097.98) and state Health and Safety Code (Section 7050.5) shall be undertaken. Conformance with the Public Resources Code and Health and Safety Code requirements would preclude significant impacts to human remains, and impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**HUMAN HEALTH/PUBLIC SAFETY/ HAZARDOUS MATERIALS**

Would the CPU:

- a) Expose people or property to health hazards, including wildfire and airport operations?
 

<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will expose people or structures to health hazards and a Mitigation Framework was identified. Mitigation Framework includes HAZ-1, where future projects implemented in accordance with the Otay Mesa CPU shall be required to incorporate sustainable development and other measures into site plans in accordance with the City's Brush Management Regulations and Landscape Standards. Mitigation Framework HAZ-2 requires that the City shall inform project applicants for future development concerning the existence of the Part 77 imaginary surfaces and FAA requirements to prevent the development of structures that may pose a hazard to air navigation. The Mitigation Framework will reduce impacts of health hazards. The PEIR concludes the impacts will be less than significant.

Project Analysis

**Wildfire Hazards**

As discussed in the Otay Mesa CPU and presented in Mitigation Framework HAZ-1, all future projects implemented in accordance with the Otay Mesa CPU shall be required to incorporate sustainable development and other measures into site plans in accordance with the City's Brush Management

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

Regulations, Landscape Standards pursuant to General Plan, and Otay Mesa CPU policies intended to reduce the risk of wildfires. The project site is directly bordered by Otay Mesa Road to the north, and to the southeast and west it is surrounded by industrial development. The project includes a Landscape Plan that features a mix of climate appropriate plants that are well adapted to the climate of San Diego, and also includes an irrigation system that conforms to the City of San Diego Landscape Ordinance and Land Development Manual Standards. The design of the irrigation system would provide adequate support for the vegetation to be added to the project site, reducing the potential for wildfires. In addition, the project would follow fire management policies, rules, and regulations established by the City of San Diego, County of San Diego Office of Emergency Services, and the California Department of Forestry and Fire Protection such as policies and regulations addressing wildfire evacuation and fire prevention. Compliance with those policies, rules, and regulations would reduce the impacts related to exposure of people or structures to a significant risk of loss, injury, or death from wildland fires to less than significant. Impacts would be less than significant. No mitigation measures are required.

#### Aircraft Hazards

As discussed in Section 5.6.3 of the Otay Mesa CPU, future projects developed in accordance with the OMCP have the potential to conflict with FAA requirements and result in a significant aircraft hazards impact. The project is located within Brown Field Review Area 2 and the FAA Part 77 Notification Area for Brown Field. In accordance with Otay Mesa CPU Mitigation Framework HAZ-2, an FAA No Hazard notification request was processed for the project. The FAA concluded that the project poses no hazard to air navigation in a letter dated December 6, 2023 (Appendix A). Additionally, the project site is located within safety zone 6. The proposed land uses, industrial warehouse and office space, are permitted within safety zone 6. The project complies with the maximum non-residential intensity regulations as measured in accordance with SDMC 132.1515(c) allowed within safety zone 6. Therefore, implementation of the project would not result in a safety hazard for people working in the project area. Impacts would be less than significant. No mitigation measures are required.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- b) Create a future risk of an explosion or the release of hazardous substances (including, but not limited to, gas, oil pesticides, chemicals, or radiation)? Would the CPU expose people or the environment to a significant hazard through the routine transport, use, or disposal of hazardous materials?

LTS

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not create a future risk of an explosion or the release of hazardous substances or expose people or the environment to a significant hazard. Implementation of the policies contained in the General Plan, Otay Mesa CPU, and regulations imposed by federal, state, and local agencies, including the U.S. Environmental Protection Agency (EPA), Resource Conservation and Recovery Act (RCRA), California Department of Health Services (DHS), County of San Diego Department of Environmental Health and Quality (DEH) and California Department of Transportation (Caltrans) will reduce potential impacts to below a level of significance. The PEIR identified the impacts will be less than significant.

Project Analysis

There are no existing or proposed schools located within 0.25 mile of the project site. Project construction may require the use of small amounts of common solvents and petroleum products. However, these materials would not be acutely hazardous, and use in small quantities would not result in a significant hazard to the public or environment. Construction of the project would involve the transport, use, and disposal of hazardous materials such as fuel, solvents, chemicals, and oils associated with operating construction equipment. Such transport, use, and disposal would be compliant with all applicable regulations and requirements. Project operation would consist of a warehouse/office facility that would not include uses such as gasoline service stations or automobile repair facilities that would require the routine transport, use or disposal of hazardous materials. The project would implement standard best management practices (BMPs) during cleaning and maintenance activities to ensure that all hazardous materials are handled and disposed of properly. The project would comply with applicable regulations pertaining to hazardous materials. Therefore, impacts associated with handling of hazardous materials would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- c) Uses be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5, and, as a result, create a significant hazard to the public or the environment?

**LTSM**





PEIR Analysis

The PEIR identified the Otay Mesa CPU will possibly create a significant hazard to the public or the environment and a Mitigation Framework was identified. Mitigation Framework HAZ-3 requires future projects prepare a Phase I Site Assessment for sites located on the list of hazardous materials sites, consult with the appropriate regulatory agency, and verify that health risks have been

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

remediated in accordance with all applicable local, state and federal regulations. In addition, Mitigation Framework HAZ-3 requires future projects implement the policies contained in the General Plan, Otay Mesa CPU, including guidelines for residential-industrial interface areas, and regulations imposed by federal, state, and local agencies, including the U.S. EPA, RCRA, DHS, County of San Diego DEH and Caltrans. The PEIR identified the impact will be less than significant with mitigation.

Project Analysis

City staff review of the State Water Resources Control Board Geotracker and Department of Toxic Substances Control Envirostor databases in June 2023 determined that there are no contaminated sites on the project site. Furthermore, the project site was not identified on the Department of Toxic Substance Control Cortese List. There are twenty-two listed sites within 1,000 feet of the project site, however, based upon a review of the listed nearby sites, they do not pose a hazard to the project and the project would not exacerbate these issues. Consequently, the project is not required to prepare a Phase I ESA, and OMCPU Final PEIR Mitigation Framework HAZ-3 does not apply to the project. Impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**HYDROLOGY/WATER QUALITY**

Would the CPU:

- a) Result in an increase in impervious surfaces and associated increased runoff? Would the CPU result in substantial alteration to on-and off-site drainage patterns due to changes in runoff flow rates or volumes?
 

<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in an increase in runoff and a Mitigation Framework was identified. Mitigation Framework HYD/WQ-1 requires future projects comply with the Regional Water Quality Control Board (RWQCB), the City Storm Water Runoff and Drainage Regulations, as well as the LDC, and General Plan and Otay Mesa CPU policy for reducing storm water runoff. The PEIR identified impacts will be less than significant with mitigation.

Project Analysis

Consistent with the Otay Mesa CPU Final PEIR Mitigation Framework HYD/WQ-1, HYD/WQ-2, and City regulations, site-specific Priority Development Project (PDP) Storm Water Quality Management Plan

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

(SWQMP) Otay Qua Industrial PRJ-10999198 and Drainage Report for Qua Industrial PRJ-1099198 were completed by K&S Engineering (Appendix E and F, respectively).

There is currently one discharge point to one existing 18-inch storm drainpipe which conveys the existing runoff across Camino Maquiladora. Existing on-site drainage consists of natural sheet flows to one drainage area. Sheet flows in a southwesterly direction into an existing headwall located at the southwest corner of the site. There is no off-site flow conveyed through the site. The SWQMP determined that the development of the project would convert 7.98 acres of the project site to impervious surfaces (Appendix E). In order to address this increase of impervious surfaces, the project would install one Modular Wetland Unit and one system underground detention chambers for purposes of water quality, hydromodification, and peak flow detention. The detention chambers would be located along the western half of the subject project boundary. The project would also introduce an underground system of storm drainpipes and inlets to convey runoff to the existing point of compliance (POC) located in the southwest corner of the project site that would be retained.

A site-specific Drainage Report (Appendix F) was prepared for the project that evaluated the existing and proposed drainage patterns. The overall existing drainage pattern on the subject property flows towards the southwest corner of the site. Existing peak flows for the 100-year storm event was calculated to be 9.62 cubic feet per second. There is only one existing discharge point to an 18 inch storm drainpipe that conveys the existing runoff across Camino Maquiladora. The project would maintain the same discharge point.

The project would maintain the existing drainage pattern of the site and will not result in any erosion or siltation. The project will not result in flooding on-site or off-site due to the installation of storm drains and the previously mentioned detention basins. Proposed area storm drains would be installed to collect the runoff from this area and route it to the basins. Additional drainage structures such as curb inlets, storm drainpipes and brow ditch will be implemented to manage the runoff generated by the project. No adverse impact will occur to the downstream properties as result of the proposed development since the proposed are being mitigated on-site.

The proposed basin would store the required fraction of the designed captured volume and regulate flows to the proposed downstream. The outlet structure has been sized to drain the basin within 96 hours.

The proposed project is not in the close vicinity of navigable waters or wetland. The proposed construction and any associated runoff will not impact navigable waters and is therefore exempt from the Regional Water Quality Control Board under Federal Clean Water Act (CWA) Section 401 or 404.

The Preliminary Drainage Report (Appendix F) utilized the rational method hydrology program CIVILCADD/CIVILDESIGN which is based on the City of San Diego Drainage Design Manual, to document that project would reduce flow rates under the 5-, 10-, 25-, 50-, and 100-year storm events as follows:

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

- Reduce the 5-Year flow rate from 5.70 cubic feet per second (cfs) in the existing condition to 5.43 cfs in the post-project condition.
- Reduce the 10-Year flow rate from 6.72 cubic feet per second (cfs) in the existing condition to 5.61 cfs in the post-project condition.
- Reduce the 25-Year flow rate from 7.59 cubic feet per second (cfs) in the existing condition to 5.63 cfs in the post-project condition.
- Reduce the 50-Year flow rate from 8.82 cubic feet per second (cfs) in the existing condition to 5.81 cfs in the post-project condition.
- Reduce the 100-Year flow rate from 9.62 cubic feet per second (cfs) in the existing condition to 6.59 cfs in the post-project condition.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional mitigation is required.

b) What modifications to the natural drainage system would be required for implementation of the CPU? Would there be an effect on the Otay or Tijuana River Valley drainage basins with implementation of the CPU?

**LTSM**





PEIR Analysis

The PEIR identified the Otay Mesa CPU will have the potential to modify the natural drainage systems and a Mitigation Framework was identified. Mitigation Framework HYD/WQ-1 requires future projects to comply with the RWQCB regulations, City Storm Water Runoff and Drainage Regulations, LDC, General Plan and Otay Mesa CPU policy compliance for reducing storm water runoff. The PEIR identified the impacts will be less than significant with mitigation.

Project Analysis

Consistent with the Otay Mesa CPU PEIR Mitigation Framework HYD/WQ-1, HYD/WQ-2, and City regulations, site-specific Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) Otay Qua Industrial PRJ-10999198 and Drainage Report for Qua Industrial PRJ-1099198 were completed by K&S Engineering (Appendix E and F). Refer to the analysis in Hydrology/Water Quality a) above.

The runoff from the proposed site drains into a public storm drain system on Camino Maquiladora draining south towards the Tijuana River and eventually discharges to the Tijuana Estuary and into the Pacific Ocean. As the site drains to Tijuana River, then into the Pacific Ocean, there are no areas of special biological significance receiving waters downstream of the project discharge locations. There are no impaired or sensitive areas near the project outfall. There are no MHPA or environmentally sensitive lands near the project post-construction stormwater BMP's.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

The project would comply with the regulations indicated in Mitigation Framework HYD/WQ-1 and HYD/WQ-2 and impacts related to hydrology and water quality would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional mitigation is required.

c) Result in alterations to the course or flow of flood waters?	<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in alterations to the course or flow of flood waters and a Mitigation Framework was identified. Mitigation Framework HYD/WQ-1 requires future projects to comply with the RWQCB regulations, City Storm Water Runoff and Drainage Regulations, LDC, General Plan and Otay Mesa CPU policies related to hydrology. The PEIR identified the impacts will be less than significant with mitigation.

Project Analysis

Consistent with the Otay Mesa CPU PEIR Mitigation Framework HYD/WQ-1, HYD/WQ-2, and City regulations, a site-specific Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) Otay Qua Industrial PRJ-10999198 and Drainage Report for Qua Industrial PRJ-1099198 were completed by K&S Engineering (Appendix E and F). Refer to the analysis in Hydrology/Water Quality a) and b) above.

The project site is not located within mapped floodplains, flood zones, or active floodways per Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM).

Ultimate rational method flows were used to size the permanent drainage hydrology study structures proposed by this development; therefore, the project would not create or contribute runoff water which would exceed the capacity of any existing or planned storm water drainage system and would not expose people or structure to a significant risk of loss, injury or death involving flooding as a result of the failure of a levee or dam.

The project will maintain the existing drainage pattern of the site and will not result in any erosion or siltation. The project will not result in flooding on-site or off-site due to the installation of peak flow detention basins. No adverse impact would occur to the downstream properties as result of the proposed development since the proposed are being mitigated on-site.

The project would comply with the regulations indicated in Mitigation Framework HYD/WQ-1 and HYD/WQ-2 and impacts related to hydrology and water quality would be less than significant.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional mitigation is required.

d) Create discharges into surface or ground water, or any alteration of surface or ground water quality, including but not limited to temperature, dissolved oxygen or turbidity? Would there be increases in pollutant discharges including downstream sedimentation?	LTSM	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will create discharges into surface water and result in increases in pollutant discharges and a Mitigation Framework was identified. Mitigation Framework HY/WQ-2 requires future projects comply with the City’s Storm Water Runoff and Drainage Regulations, as well as the City’s Storm Water Standards. The PEIR identified the impacts will be less than significant with mitigation.

Project Analysis

Consistent with the Otay Mesa CPU PEIR Mitigation Framework HYD/WQ-1, HYD/WQ-2, and City regulations, site-specific Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP) Otay Qua Industrial PRJ-10999198 and Drainage Report for Qua Industrial PRJ-1099198 were completed by K&S Engineering (Appendix E and F). Refer to the analysis in Hydrology/Water Quality a), b) and c) above.

Groundwater was not encountered during the exploratory percolation test pits and was estimated at depths greater than 100 feet below the site. A proprietary BMP was chosen to perform the pollutant removal generated by the development. The Modular Wetland system satisfies the site’s pollutant control requirements.

The project would comply with the regulations indicated in Mitigation Framework HYD/WQ-1 and HYD/WQ-2 and impacts related to hydrology and water quality would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.



Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

**GEOLOGY/SOILS**

Would the CPU:

<p>a) Expose people or property to geologic hazards such as earthquakes, landslides, mudslides, liquefaction, ground failure, or similar hazards?</p>	<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will expose people or property to geologic hazards and a Mitigation Framework was identified. Mitigation Framework GEO-1 requires future projects to adhere to the City's Seismic Safety Study; prepare site-specific geotechnical report in accordance with the City's Geotechnical Report Guidelines; and comply with engineering standards of the City's Municipal Code and the California Building Code. The PEIR identified the impacts will be less than significant with mitigation.

Project Analysis

Consistent with Otay Mesa CPU PEIR Mitigation Framework GEO-1 and City regulations, a site-specific Geotechnical Investigation was prepared for the project by Ninyo & Moore in 2023 (Appendix D). Geologic Hazards Review of the City's Seismic Safety Study, Geologic Hazards and Faults, 2008 Edition, Sheet 4, determined that the project site is designated as Hazard Category 53: Level or Sloping Terrain, unfavorable geologic structure, low to moderate risk. The Geotechnical Investigation determined that there are no mapped Quaternary faults crossing or trending toward the property, and the project site is not located within an established Alquist-Priolo Earthquake Fault Zone. No active faults are known to exist at the site. Therefore, the risk associated with fault rupture is considered low. Site topography is gently to moderately sloping, with elevations ranging from 505 to 520 feet above mean sea level. Additionally, review of published geologic maps during preparation of the Geotechnical Investigation determined there were no mapped landslide areas on or adjacent to the project site. Therefore, risks associated with landslides are considered low. The Geotechnical Investigation also determined that risk associated with liquefaction is considered low due to the dense nature of soils underlying the project site, proposed grading, and lack of permanent shallow groundwater. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts would be reduced to an acceptable level of risk. The project would comply with comply engineering standards of the City's Municipal Code and the California Building Code. Impacts would be less than significant.

The Geotechnical Investigation determined that onsite soils possess a medium to very high potential for expansion. The report identified remedial grading recommendations consisting of either import/export or lime treatment of onsite soils. Adherence to this recommendation would ensure that impacts related to expansive soils would be reduced to a level less than significant. The project would comply with comply engineering standards of the City's Municipal Code and the California

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

Building Code. Furthermore, adherence to all recommendations presented in the Geotechnical Investigation would ensure that the potential impacts related to geologic hazards would be reduced to an acceptable level of risk, therefore impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

b) Would the land use and circulation modifications proposed in the CPU increase the potential for erosion of soils on-or off-site?	<b>LTSM</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will increase the potential for erosion of soils and a Mitigation Framework was identified. Mitigation Framework GEO-2 requires future projects to comply with the LDC Grading Regulations and National Pollutant Discharge Elimination System (NPDES) General Construction Storm Water permit requirements. The PEIR identified the impacts will be less than significant with mitigation.

Project Analysis

Regarding erosion, the site-specific SWQMP prepared by K&S Engineering (Appendix E) documented that the detention basin included in the project design would mitigate the increased runoff caused by project implementation. Additionally, the proposed project flow rates after installation would be reduced relative to the existing flows. The project would not create or contribute runoff water which would exceed the capacity of any existing or planned storm water drainage system. The project would maintain the existing drainage pattern of the site and would not result in any erosion or siltation. Further, the project would adhere to the requirements of the City's grading regulations and National Pollutant Discharge Elimination System (NPDES) permit consistent with the requirements of Otay Mesa CPUPEIR Mitigation Framework GEO-2. Therefore, impacts related to erosion would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**ENERGY CONSERVATION**

Would the CPU:

a) Result in the use of excessive amounts of electricity or fuel and other forms of energy (e.g., natural gas, oil)?	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in the use of excessive amounts of electricity or fuel or other forms of energy. Future development will be required to comply with state and local mandates for energy conservation and the energy reduction measures set forth in the Otay Mesa CPU policies. The PEIR identified the impact as less than significant and no mitigation was required.

Project Analysis

Energy usage during construction of the project would be short-term and not considered significant. The project is consistent with the adopted land use designation and zone for the site, and would generate emissions consistent with what was assumed in the City's adopted citywide Climate Action Plan (CAP). Development of the project would not result in any new or more severe impacts related to electric power or fuel consumption in comparison to what was analyzed in the Otay Mesa CPU PEIR. Therefore, long-term operational impacts would not be considered significant. The project would adhere to all State and local mandates for energy conservation. At a minimum, future projects implemented in accordance with the OMCP are required to meet the mandatory energy standards of the current California energy code (Title 24 Building Energy Standards of the California Public Resources Code). Some efficiencies associated with the Energy Standards under Title 24 include the building HVAC mechanical system, water heating system, and lighting system.

Within the Climate Change and Sustainability section of the Otay Mesa CPU Conservation Element, a policy states that in order to reduce project-level GHG emissions to acceptable levels through project design, application of site-specific mitigation measures or adherence to standardized measures outlined in the City's adopted citywide CAP should take place. The project would be required to meet the mandatory energy standards of Title 24 Building Energy Standards of the California Public Resources Code. The project implements the CAP through its compliance with the CAP Consistency Regulations (SMDC Chapter 14, Article 3, Division 14, Climate Action Plan Consistency Regulations). The project would not result in excessive energy use during construction or operation and would not result in new or more severe impacts related to electrical power or fuel consumption. Additionally, the project would be served by San Diego Gas & Electric, which currently has an energy mix that includes 39 percent renewable energy (California Public Utilities Commission 2020) and is on track to achieve 60 percent renewable energy content by 2030 as required by the State of California's Renewable Portfolio Standards. Therefore, the project would not result in the use of excessive amounts of energy, create unnecessary energy waste, or conflict with any adopted plan for renewable energy efficiency, and impacts would be less than significant. No mitigation is required.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

**NOISE**

Would the CPU:

- |  |           |                          |                          |                                     |                          |
|--|-----------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Result in significant increase in the existing ambient noise level? | <b>SU</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|-----------|--------------------------|--------------------------|-------------------------------------|--------------------------|

PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in the exposure of people to noise levels that will exceed standards and a Mitigation Framework was identified. Mitigation Framework NOI-1 requires future projects to complete site-specific exterior noise analyses prior to the issuance of building permits and, as needed, to incorporate noise reduction measures implemented to address residential receptors. Mitigation Framework NOI-2 requires future projects to complete site-specific interior noise analyses prior to the issuance of building permits and, as needed, noise control measures for noise-sensitive receptors to demonstrate compliance with standards. The impacts will not be reduced to below a level of significance. The PEIR identified the impact significant and unavoidable.

Project Analysis

Vehicle Traffic Noise

The project would increase traffic volumes on local roadways. However, the project would not alter the speed on an existing roadway or create a new roadway. Thus, the primary factor affecting offsite noise levels would be increased traffic volumes. While changes in noise levels would occur along any roadway where project-related traffic occurs, the project traffic would not double traffic on a roadway (LLG 2024, Access Analysis Table 2) or otherwise expected to increase traffic noise levels by 3 decibels (db). Therefore, impacts associated with the increase in ambient vehicle traffic noise levels would be less than significant.

Construction Noise

The project is required to comply with the construction noise level limits specified in the Noise Abatement and Control Ordinance. As construction activities associated with the project would comply with noise level limits from Noise Abatement and Control Ordinance Section 59.5.0404, temporary increases in noise levels from construction activities would be less than significant.

Stationary Sources

The project site is located within an industrial area surrounded by existing industrial/heavy commercial uses. Brown Field Municipal Airport is located to the north of the site. Noise-sensitive uses are not located within or adjacent to the project site. Impacts associated with stationary sources would be less than significant.

The site is designated and zoned for industrial uses. It is surrounded by industrial and heavy commercial development, and Brown Field Municipal Airport to the north of the project site. Considering the scope of the project, a warehouse building with office uses, and the distance from sensitive receptors, the project would not have potential to exceed noise standards and would result

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

in less than significant noise impacts. As such, Noise Mitigation Framework NOI-1 - NOI-2 would not be applicable.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

b) Could the proposed collocation of residential and commercial or industrial land uses result in the exposure of people to noise levels which exceed the City's Noise Abatement and Control Ordinance?	SU	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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#### PEIR Analysis

The PEIR identified the Otay Mesa CPU will allow collocation of residential and commercial or industrial uses where exposure of people to noise levels will exceed the City's Noise Abatement and Control Ordinance and a Mitigation Framework was identified. Mitigation Framework NOI-3 requires future projects to prepare a site-specific acoustical/noise analysis to demonstrate compliance with the City's Noise Abatement and Control Ordinance. The impacts cannot be reduced to below a level of significance. The PEIR identified the impact as significant and unavoidable.

#### Project Analysis

The project proposes a warehouse use and associated site improvements. No collocation of industrial with residential or other noise-sensitive land use is proposed. No impact would occur. Mitigation Framework NOI-3 is not applicable.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

c) Result in an exposure of people to current or future noise levels which exceed standards established in the land use compatibility guidelines in the Brown Field Municipal Airport Land Use Plan Compatibility Plan?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in the exposure of future residents to excessive noise levels from airport and aircraft operations as existing land uses are currently exposed to conditionally acceptable noise levels from operations at Brown Field and the General Abelardo L. Rodriguez International Airport. The PEIR identified the impact as less than significant and mitigation was required.

Project Analysis

The project would comply with the Airport Land Use Compatibility Plan for Brown Field as well as applicable airport regulations. The proposed uses would be consistent with the Otay Mesa CPU land use and zoning designation for the site. Impacts related to noise land use compatibility would be less than significant as identified in the PEIR.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- d) Would temporary construction noise from the proposed neighborhood developments or permanent noise generations (including roads) adversely impact sensitive receptors or sensitive bird species (e.g., coastal California gnatcatcher) within the MHPA?

<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in an adverse impact to sensitive species within the MHPA due to construction noise, and identified a Mitigation Framework. Mitigation Framework NOI-4 requires future projects comply with the City’s Noise Abatement and Control Ordinance. Mitigation Framework LU-2 requires future projects comply with the MHPA LUAG to reduce noise impacts to sensitive species. While the Mitigation Framework will reduce the impact, it cannot reduce the impact to below a level of significance. The PEIR identified the impact as significant and unavoidable.

Project Analysis

The project is not located within or adjacent to the MHPA, nor is the project site or directly adjacent areas occupied by noise-sensitive wildlife species. Project noise impacts to sensitive receptors or sensitive birds would not occur. No noise-sensitive land uses are located adjacent to the site, as the site is surrounded by industrial and commercial uses. Mitigation Framework NOI-4 and Mitigation Framework LU-2 would not apply.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**PALEONTOLOGICAL RESOURCES**

Would the CPU:

- a) Allow development to occur that could significantly impact a unique paleontological resource or a geologic formation possessing a moderate to high fossil bearing potential?
 

<b>LTSM</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU has the potential to result in significant impacts to paleontological resources and a Mitigation Framework was identified. Mitigation Framework PALEO-1 requires future projects to be sited and designed to minimize impacts on paleontological resources, as well as monitoring during grading to halt activities in the event of a find to resources being properly recovered and curated. The PEIR identified the impact as less than significant with mitigation.

Project Analysis

According to Figure 5.11-2, *Paleontological Resource Impact Areas*, in the Otay Mesa CPU PEIR, the project site is located in an area of moderate paleontological sensitivity and would potentially be impacted by implementation of the Otay Mesa CPU. Based upon the potential for the project to result in paleontological impacts, a Paleontological Resources Technical Report (Appendix G), dated June 20, 2023, revised September 2023, was prepared by the Department of Paleo Services, San Diego Natural History Museum in accordance with the Mitigation Framework PALEO-1. The report concluded that the project site is underlain by geologic units with moderate paleontological sensitivity (the Lindavista Formation). Project excavation activities within the Lindavista Formation would have the potential to result in impacts to paleontological resources. It is anticipated that the Lindavista Formation would potentially be impacted during earthwork extending deeper than 2 feet bgs, and would, therefore, have the potential to result in impacts to paleontological resources.

To mitigate potential project impacts to paleontological resources, the project would implement Otay Mesa CPU PEIR Mitigation Framework PALEO-1. This mitigation measure requires a paleontological monitoring program during grading to collect and preserve information regarding significant paleontological resources. Implementation of MM-PALEO-1 as detailed in the MMRP (Attachment A) would mitigate the potential paleontological impact to below a level of significance.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

## TRANSPORTATION/CIRCULATION

Would the CPU:

- |  |           |                          |                          |                                     |                          |
|--|-----------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Result in an increase in projected traffic that is substantial in relation to the capacity of the circulatory system? | <b>SU</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|-----------|--------------------------|--------------------------|-------------------------------------|--------------------------|

### PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in an increase in projected traffic circulation and a Mitigation Framework was identified. Mitigation Framework TRF-1, where intersections shall be improved per the intersection lane designations identified in the Otay Mesa CPU, will reduce traffic circulation impacts. Even with the implementation of the Mitigation Framework, impacts will not be reduced to below a level of significance. The PEIR identified the impact as significant and unavoidable.

### Project Analysis

Consistent with the OMCPU Final PEIR Mitigation Framework, a site-specific Access Analysis was completed by Linscott Law & Greenspan Engineers (LLG, January 2024; Appendix H). The following is a brief summary of the analysis and conclusions of the technical study.

The project site is located on the south side of Otay Mesa Road, north of Camino Maquiladora, west of Continental Street and east of Cactus Road in the Otay Mesa Community in the City of San Diego. Access to the site is proposed via three (3) driveways: one (1) full access driveway on Camino Maquiladora and two (2) full access driveways along Continental Street between Otay Mesa Road and Camino Maquiladora.

Potential traffic impacts were analyzed using the Highway Capacity Manual 6th Edition (HCM 6), with the assistance of the Synchro 11 computer software and compared to the City Level of Service (LOS) criteria for intersections and roadway segments.

Based on the proposed land uses, the rates found in the City of San Diego's Trip Generation Manual, May 2003 were used for the proposed Project. The project is calculated to generate approximately 997 ADT with 148 trips (108 inbound / 40 outbound) during the AM peak hour and 157 trips (58 inbound / 99 outbound) during the PM peak hour. Project traffic was distributed and assigned to the street system based on existing traffic patterns in the area, anticipated traffic patterns to and from the site, and the project's proximity to the freeways.

Cumulative transportation impacts related to LOS were calculated based on the comparison of daily traffic volumes (ADTs) to the City of San Diego's *Roadway Classification, Level of Service, and ADT Table*. The Access Analysis (Appendix H) developed a study area based on the anticipated distribution of project traffic that included the following intersections and street segments:



Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

Intersections

1. Otay Mesa Road / Cactus Road
2. Otay Mesa Road / Continental Street
3. Otay mesa Road / Britannia Boulevard
4. Cactus Road / Camino Maquiladora
5. Camino Maquiladora / South Project Driveway
6. Continental Street / East Project Driveway #1
7. Continental Street / East Project Driveway #2
8. Britannia Boulevard / SR-905 Westbound Ramps
9. Britannia Boulevard / SR-905 Eastbound Ramps

Street Segments

1. Otay Mesa Road
  - a. West of Cactus Road
  - b. Cactus Roat to Continental Street
  - c. Continental Street to Britannia Boulevard
  - d. East of Britannia Boulevard
2. Cactus Road
  - a. Otay Mesa Road to Camino Maquiladora
3. Camino Maquiladora
  - a. Cactus Road to Otay Heights Court
4. Continental Street
  - a. Otay Mesa Road to Camino Maquiladora
5. Britannia Boulevard
  - a. Otay Mesa Road to SR-905 Westbound Ramps
  - b. SR-905 Westbound Ramps to SR-905 Eastbound Ramps

Existing weekday daily street segment counts and AM and PM peak hour (7:00-9:00 AM and 4:00-6:00 PM) intersection counts (including bicycle and pedestrian counts) were conducted on Thursday, May 11, 2023.

Under the Existing and Existing Plus Project Scenarios, the access analysis evaluated all intersections under the study area and they are expected to operate at an acceptable LOS C or better. The study also evaluated all street segments and they are expected to operate at an acceptable LOS D or better.

The study evaluated the potential impacts based on the addition of project traffic in Opening Year 2026 scenarios that included a total of 22 cumulative projects. All study intersections are expected to operate at an acceptable LOS D or better. All study street segments are expected to operate at an acceptable LOS D or better.

Based on the impact analysis described above, the project would not result in any significant intersection or roadway impacts, and no mitigation would be required. However, the project

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

would make the following frontage improvements listed below (also identified on Exhibit A) and will be assured as permit conditions:

- Consistent with the Otay Mesa Road ultimate classification of a 6-lane Prime Arterial, per the City of San Diego Street Design Manual, the Project is proposing to widen Otay Mesa Road along the Project frontage to provide half-width improvements to include a 49 feet centerline-to-curb width and a 22-foot parkway. The 22-foot parkway will include a 16-foot landscape buffer and 6-foot non-contiguous sidewalk.
- The ultimate classification of Continental Street per the Otay Mesa Community Plan is a 2-lane Collector. Per the City of San Diego Street Design Manual, the total required right-of-way width is calculated 64-foot, which includes a 14-foot parkway. Therefore, the total required centerline to curb width is calculated as 18-foot. However, the existing roadway is constructed with a centerline to curb width at 37-foot, which the Project proposes to maintain. The Project proposes to provide a 14-foot parkway, which would accommodate an 8' landscape buffer and a 6-foot non-contiguous sidewalk.

All roadway improvements would be designed and constructed consistent with the requirements of the City's CPU Mobility Element policies and City Street Design Manual design requirements. Therefore, the project would not result in traffic hazards, and impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

b) Result in an increase in traffic hazards for motor vehicles, bicyclists, or pedestrians? **LTS**

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not substantially increase traffic hazards for motor vehicles, bicyclists, or pedestrians, as all roadway improvements that will occur as part of the Otay Mesa CPU implementation will be required to conform with applicable City standards, including standards for sight distance, turning radii, speed limits, etc. Furthermore, roadway improvements will be designed and constructed in accordance with the CPU Mobility Element roadway network, which includes policies that reduce potential conflicts between vehicles, pedestrians, and bicyclists. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

Refer to the analysis in Transportation a) above.

The project would make roadway improvements that would increase circulation capacity and access for vehicles, bicycles, and pedestrians. The project would utilize a traffic control plan in accordance

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

with City policy during construction to maintain access on Otay Mesa Road, Continental Street, and Camino Maquiladora. Therefore, impacts related to circulation and access would be less than significant.

Along the project frontages, there are no existing sidewalks on the south side of Otay Mesa Road, on Continental Street or on Camino Maquiladora. As part of the project frontage improvements, the project would provide half-width improvements that would include a 6-foot non-contiguous sidewalk along the full project frontages of Otay Mesa Road, Continental Street, and Camino Maquiladora. Therefore, the project would improve pedestrian access.

Class III bike route signs are provided in both directions within an 8-foot wide striped area on Otay Mesa Road. Bike lanes are not provided on Continental Street or Camino Maquiladora and none are planned per the Otay Mesa Community Plan.

The following two existing bus stops are located within a 0.25-mile walking distance from the project site:

- An eastbound bus stop for San Diego Metropolitan Transit System (MTS) Route 905 is located on Otay Mesa Road at the northeast intersection with Cactus Road. Route 905 provides service between the Iris Avenue Transit Center and Otay Mesa Transit Center. Weekday service begins at 4:10 a.m. with 30-minute headways and ends at 10:00 p.m.
- A southbound bus stop for San Diego Metropolitan Transit System (MTS) Route 909 is located on Britannia Boulevard at the northwest intersection with Otay Mesa Road. Route 909 provides service between Southwestern Higher Education Center Otay Mesa and the Otay Mesa Transit Center. Weekday service begins at 5:05 a.m. with 1-hour headways and ends at 7:46 p.m.

The project would not physically impact any of these bus stops and would improve access through construction of the frontage improvements. Therefore, the project would improve access to transit.

All roadway improvements would be designed and constructed consistent with the requirements of the City's CPU Mobility Element policies and City Street Design Manual design requirements. Therefore, the project would not result in traffic hazards, and impacts would be less than significant. No mitigation is required.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

c) Create alterations to present circulation movements in the area including effects on existing public access points?	LTS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not create alterations to present circulation movements in the area, including effects on existing public points. Buildout of the Otay Mesa CPU will result in increased circulation capacity and access for vehicles, bicycles, and pedestrians. Temporary closures with detours may be required during street improvements and will be addressed through traffic control plans in accordance with City policy as construction plans for future projects are processed through the City. No existing points will be permanently closed as part of the Otay Mesa CPU implementation. The PEIR identified the impacts will be less than significant and no mitigation will be required.

Project Analysis

Refer to the analysis in Transportation a) and b) above.

The proposed frontage improvements would be consistent with the City's CPU Mobility Element policies and City Street Design Manual design requirements. The project does not propose any actions that would affect existing public access points. Impacts would be less than significant consistent with the conclusions of the PEIR.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- |  |            |                          |                          |                                     |                          |
|--|------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>d) Conflict with the adopted policies, plans, or programs supporting alternative transportation modes (e.g., bus turnouts, trolley extensions, bicycle lands, bicycle racks, etc.)?</p> | <b>LTS</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not conflict with the adopted policies, plans, or programs supporting alternative transportation modes. The Otay Mesa CPU policies and goals will be consistent with the City of San Diego's General Plan which promotes alternative transportation through design and policies. These goals include pedestrian sidewalk and trails network, effective transit network, a complete and interconnected street system, a bicycle commuter network, transportation infrastructure and operations investments, and support for public health goals to increase potential for walking. The PEIR identified the impacts will be less than significant and no mitigation will be required.

Project Analysis

Refer to the analysis in Transportation a), b), and c) above.

The project does not propose any actions that would conflict with adopted policies supporting alternative transportation modes. The proposed frontage improvements would be consistent with

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

the City's CPU Mobility Element policies and City Street Design Manual design requirements. Impacts would be less than significant consistent with the conclusions of the PEIR.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**PUBLIC SERVICES**

<p>a) In order to maintain acceptable service ratios, response times, or other performance objectives, would the CPU promote growth patterns resulting in the need for the provisions of new or altered public facilities, the construction of which could cause physical impacts?</p>	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will not cause physical impacts resulting from new or physically altered public facilities promoted by the Otay Mesa CPU. Future development of facilities will be subject to separate environmental review at the time design plans are available. The PEIR concludes the impacts will be less than significant and no mitigation will be required.

Project Analysis

The project would be limited to the development of a warehouse facility. The project would not result in development beyond that anticipated under the Otay Mesa CPU and would not increase the demand for fire protection within the service area. Furthermore, the project would pay Development Impact Fees prior to building permit issuance, which would be used to maintain and fund future fire protection facilities. Therefore, the project would not require the construction of any new or expanded fire protection facilities, and impacts would be less than significant.

The project would be limited to the development of a warehouse facility. The project would not result in development beyond that anticipated under the Otay Mesa CPU and would not increase the demand for police protection within the service area. Therefore, the project would not require the construction of any new or expanded police protection facilities, and impacts would be less than significant.

The project is limited to development of a warehouse facility and would not construct any housing that could result in an increase in population beyond what was anticipated by the Otay Mesa CPU. The project would be consistent with growth projections that were utilized to forecast demand for future school services, park and recreation facilities, libraries, and other public services that were analyzed in the Otay Mesa CPU PEIR. Therefore, the project would not result in population growth

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

that could increase demand for school services, park and recreation facilities, libraries, or other public services and would not require construction of additional infrastructure beyond what was anticipated in the Otay Mesa CPU. No impact would occur.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

## UTILITIES

Would the CPU:

- a) Result in a need for new systems, or require substantial alterations to existing utilities, including water, wastewater, reclaimed water, solid waste disposal, storm water infrastructure, and communication systems?

**SU**

### PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in substantial alterations to existing utilities and a Mitigation Framework was identified. Mitigation Framework UTIL-1, the preparation of a Waste Management Plan (WMP), for future discretionary projects that will generate 60 tons of waste or more during construction and/or operation, will reduce the impacts of solid waste disposal. Even with implementation of the Mitigation Framework, impacts will not be reduced below a level of significance. The PEIR identified the impact as significant and unavoidable.

### Project Analysis

#### Water, Wastewater, and Reclaimed Water

The project would develop a warehouse facility, and associated site improvements limited to a 169,500 square foot building with a 4,000 square foot mezzanine for office uses. The project is consistent with the adopted land use designation and zoning on the site and would not exceed growth projections that were utilized to forecast demand for sewer and water service that was analyzed in the Otay Mesa CPU PEIR. Site-specific connections to existing water and wastewater infrastructure would be located within the project footprint (Sewer Study; Appendix I) evaluated throughout this CEQA Guidelines Section 15183 Checklist. Therefore, the project would not increase demand for sewer and water service within the service area that would necessitate the construction of new off-site facilities, and impacts would be less than significant.

The project would develop a warehouse facility, and associated site improvements limited to a 169,500 square foot building with a 4,000 square foot mezzanine for office uses. The project is consistent with the adopted land use designation and zoning on the site and would not exceed growth projections that were utilized to forecast demand for future reclaimed water that was analyzed in the Otay Mesa CPU PEIR. Site-specific connections to existing recycled water

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

infrastructure would be located within the project footprint evaluated throughout this CEQA Guidelines Section 15183 consistency checklist. Therefore, the project would not result in development beyond that anticipated under the OMCPU and would not increase the demand for reclaimed water within the service area.

#### Solid Waste

Consistent with Otoy Mesa CPU PEIR Mitigation Framework UTIL-1, a site-specific WMP was prepared for the project by Atlantis Group Land Use Consultants in 2023 (Appendix J). The project site is currently undeveloped and would not require demolition requiring disposal. The project would require a net import of approximately 28,547 cubic yards of soil, and all green waste would be recycled for 100 percent diversion during grading. Structures on-site would be limited to 169,500 square feet of a warehouse building with a 4,000 square feet mezzanine office space. Construction waste is anticipated to be minimal as no demolition or soil export is proposed. Therefore, the project would not conflict with the City's current 75 percent waste diversion goal. The project would be required to provide a minimum of 325 square feet refuse storage area, a minimum of 325 square feet recyclable material storage area and a minimum of 325 square feet organic waste storage area for a total of 975 square feet minimum exterior refuse and recyclable material storage area. Implementation of the Waste Reduction Measures documented in the WMP would reduce operational impacts related to solid waste to a level less than significant.

#### Stormwater Infrastructure

Refer to the Hydrology/Water Quality Section a) b) and c) of this CEQA Guidelines Section 15183 Checklist. The project would not require the construction of off-site stormwater infrastructure facilities. Additionally, as described in the Biological Resource Section c) of this CEQA Guidelines Section 15183 Checklist, there are no jurisdiction drainages or wetlands on-site. The project would not require permits from the RWQCB or ACOE under federal CWA Section 401 or 404. Therefore, construction of stormwater infrastructure would not result in any environmental impacts that have not been evaluated throughout this CEQA Guidelines Section 15183 Checklist, and impacts would be less than significant.

#### Communications Systems

The project would develop a warehouse facility, and the structure on-site would be limited to a 169,500 square foot building with a 4,000 square foot mezzanine for office uses. The project would not exceed growth projections that were utilized to forecast demand for future communications systems that was analyzed in the Otoy Mesa CPU PEIR. Site-specific connections to existing communications infrastructure would be located within the project footprint evaluated throughout this CEQA Guidelines Section 15183 Checklist. Therefore, communications services connections would not result in any environmental impacts that have not been previously evaluated, and impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

**WATER SUPPLY**

Would the CPU:

b) Affect the ability of the water-serving agencies (City of San Diego, SDCWA, and OWD) to provide water?	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in the use of excessive amounts of potable water that will affect water-serving agencies. The City of San Diego Public Utilities Department (PUD) prepared a Water Supply Assessment to provide certification that there was sufficient water supply available to support the Otay Mesa CPU within the PUD service area and the Otay Water District service area. The WSA completed for the OMCPU Final PEIR determined that future water supply within the City PUD and the OWD’s service area would be sufficient to meet the projected water demands under buildout of the OMCP, as well as existing and other reasonably foreseeable planned development projects within the OWD for a 20-year planning horizon, in normal and in single and multiple dry years. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

The project did not meet the City’s CEQA threshold of industrial, manufacturing, or processing plants, or industrial parks planned to house more than 1,000 people or having more than 650,000 square feet of floor space, which would require preparation of a Water Supply Assessment (WSA). The WSA completed for the Otay Mesa CPU PEIR considered the development of the project site based on the existing land use and zoning designations. The project is consistent with the adopted land use and zoning designation for the site. Structures on-site would be limited to a 169,500 square foot building with 4,000 square feet of mezzanine office space that would not increase demand for water supply beyond what was considered for the project site in the Otay Mesa CPU PEIR. Therefore, the project would not result in development beyond that anticipated under the OMCP or increase demand for water supply, and impacts would be less than significant.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

b) Allow for the use of predominantly non-drought resistant landscaping and excessive water usage for irrigation and other purposes?	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not allow for the use of predominantly non-drought resistant landscaping and excessive water usage. All future development must conform with existing regulations, as well as the General Plan and Otay Mesa CPU policies, such as requiring the use of sustainable landscape practices, including water conservation and stormwater management, which will ensure the use of predominantly drought-resistant landscaping and water conservation for landscape maintenance. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

The project would conform with existing landscape plan regulations, as well as the General Plan and Otay Mesa CPU policies pertaining to landscaping, which would ensure the use of predominantly drought resistant landscaping and water conservation for landscape maintenance. Impacts would be less than significant. No mitigation measures would be required.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**POPULATION/HOUSING**

Would the land use modifications associated with the CPU:

- a) Induce substantial population growth in the area? **LTS**

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in substantial population growth. The Otay Mesa CPU will implement SANDAG’s Regional Comprehensive Plan and Regional Housing Element and the City’s General Plan and Housing Element by providing a mix of housing types within mixed-used centers linked to public transportation. The Otay Mesa CPU will increase the City’s and region’s supply of needed housing consistent with SANDAG’s regional growth forecast and focus increased housing supply within compact villages conducive to supporting frequent transit service in accordance with the RCP and General Plan goals and policies. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

The project is limited to development of a warehouse facility and would not construct any housing that could result in an increase population beyond that anticipated in the Otay Mesa CPU. Structures on-site would be limited to a 169,500 square foot building with 4,000 square feet of mezzanine office space that would not require construction of additional infrastructure beyond what was anticipated in the Otay Mesa CPU that could induce growth. Therefore, the project would not result in substantial population growth or growth inducement. No impact would occur.

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

b) Not comply with the City's Inclusionary Affordable Housing Ordinance?	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU is in compliance with the City's Inclusionary Affordable Housing Ordinance. The land use designations and design guidelines contained in the Otay Mesa CPU, such as providing multi-family units and affordable housing, are intended to foster the development of housing for all income levels. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

The project site is currently vacant and does not include any structures. The project is limited to the development of a warehouse facility and would not remove or construct any housing. Structures onsite would be limited to a 169,500 square foot building with 4,000 square feet of mezzanine office space. The project would not result in any land use modifications that would affect the City's Inclusionary Affordable Housing Ordinance.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**AGRICULTURAL AND MINERAL RESOURCES**

a) Would the land use modifications associated with the CPU result in the conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<b>LTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PEIR Analysis

The PEIR identified the Otay Mesa CPU will not convert a substantial amount of Farmland to non-agricultural use due to land use modifications. Although the CPU will convert additional Important Farmland to non-agricultural uses, these areas are fragmented and are surrounded by urban land uses and MHPA lands. Rising land values, water costs, increasing taxes, habitat management

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

planning, and other land use conflicts have contributed to a significant reduction in future agricultural viability within the CPU area. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

The site is located in an established industrial area and is surrounded by existing industrial development. No significant agricultural resources exist on the site. The project does not propose any land use modifications that would convert Farmland to non-agricultural use. The project proposes the development of the site that is consistent with the current adopted community plan land use designation and current zoning. Therefore, the site is not considered a significant mineral resource. Impacts would be less than significant consistent with the conclusions of the PEIR.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- b) Would the CPU result in changes to the existing environment, which due to their location or nature, could result in the conversion of farmland to non-agricultural uses?
- |            |                          |                          |                                     |                          |
|------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <b>LTS</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

PEIR Analysis

The PEIR identified the Otay Mesa CPU will result in the conversion of all existing agriculture in the Otay Mesa CPU area. However, viability of the area for agricultural use is limited, and the amount of existing farmland is minimal relative to the regional total. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

As discussed above, the project does not propose any development that would convert farmland to non-agricultural use. Impacts would be less than significant consistent with the conclusions of the PEIR.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

- c) Would implementation of the CPU result in the loss of availability or prevention of future extraction of sand or gravel, and/or mineral resources as identified in the Open File Report 96-04, Update of Mineral Land Classification:
- |            |                          |                          |                                     |                          |
|------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <b>LTS</b> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Issue	Prior EIR Determination	Project Determination			
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	No Impact (NI)

Aggregate Materials in the Western San Diego County Production-Consumption Region, 1996, Department of Conservation, California Department of Geological Survey?

PEIR Analysis

The PEIR identified the Otay Mesa CPU will not result in the loss of availability of a significant mineral resource. Portions of the Otay Mesa CPU area where MRZ-2 “regionally significant” aggregate resources areas exist are currently developed or entitlements have already been approved for future development. The majority of the acreage designated as MRZ-2 contains existing residential uses, which will be incompatible with extraction operations even under the current adopted community plan. No mining activities are currently present within the Otay Mesa CPU area and development will not have any indirect impacts to extraction operations in the vicinity. The PEIR identified the impacts will be less than significant and no mitigation was required.

Project Analysis

As discussed above, the site is a vacant site designated and zoned for industrial and heavy commercial uses. No significant mineral resources exist on the site. The project does not propose any development that would result in the loss of a significant mineral resource. Impacts would be less than significant consistent with the conclusions of the PEIR.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project or its site would occur. No additional analysis is necessary.

**GREENHOUSE GAS EMISSIONS**

Would the implementation of the CPU:

- a) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs?
 

<b>SU</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
-----------	--------------------------	--------------------------	-------------------------------------	--------------------------

PEIR Analysis

The PEIR identified the Otay Mesa CPU will potentially conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emission of GHGs and a Mitigation Framework was identified. Mitigation Framework GHG-1, where future projects implemented in accordance with the Otay Mesa CPU shall be required to incorporate GHG reducing features or Mitigation Framework to show a reduction in GHG emissions, will reduce impacts of GHG emissions. Even with implementation of the Mitigation Framework, impacts will not be reduced below a level of significance. The PEIR identified the impact significant and unavoidable.

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

Project Analysis

The City adopted the 2022 Climate Action Plan (CAP) and CAP Consistency Regulations in October 2022. This project was deemed complete on February 28, 2023. As such, the project is subject to the CAP Consistency Regulations that became effective October 23, 2022.

The City's current CEQA thresholds for project-level environmental documents require significance to be determined through (a) land use consistency and (b) project compliance with the regulations set forth in SDMC Chapter 14, Article 3, Division 14. The first step in determining CAP consistency for development projects is to assess the project's consistency with the growth projections used in the development of the CAP. Since the project would be consistent with the existing land use plan and zoning designations, the project would be consistent with the CAP. The second step in demonstrating CAP consistency is a review to ensure project consistency with the regulations set forth in SDMC Chapter 14, Article 3, Division 14. Projects that are consistent with the CAP as determined through compliance with the CAP Consistency Regulations may rely on the CAP for the cumulative impacts analysis of GHG emissions. In compliance with the regulations, the project would include a total of 60 street trees that provide at least 50% shade along the Throughway Zone, and six benches along the three street frontages, Camino Maquiladora, Otay Mesa Road, and Continental Street, to support alternative mobility options. The project would also provide at least 50 percent of the required bicycle parking spaces with individual outlets for electric charging at each bicycle parking space. Additionally, the project provides 128 trees on site in support of carbon sequestration, and enhancement of air quality and the urban tree canopy.

As indicated in the City Thresholds (City of San Diego 2022), GHG emission impacts of the project would be considered less than significant. Mitigation Framework GHG-1 would not apply to the proposed project.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project, or its site would occur. No additional analysis is necessary.

b) Generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment?	<b>SU</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	-----------	--------------------------	--------------------------	-------------------------------------	--------------------------

PEIR Analysis

The PEIR identified the Otay Mesa CPU will generate GHG emissions that may have a significant impact on the environment and a Mitigation Framework was identified. Mitigation Framework GHG-2, where future projects implemented in accordance with the Otay Mesa CPU shall be required to demonstrate their avoidance of significant impacts related to long-term operational emissions by implementing one or a combination of several effective and quantifiable GHG reduction measures, would reduce impacts of GHG emissions. Even with the implementation of the Mitigation Framework, impacts will not be reduced to below a level of significance. The PEIR identified the impact as significant and unavoidable.

Issue	Prior EIR Determination	Project Determination			No Impact (NI)
		Significant and Unavoidable (SU)	Less Than Significant with Mitigation Incorporated (LTSM)	Less Than Significant Impact (LTS)	

Project Analysis

As discussed above, Greenhouse Gas Emissions a), the project would comply with the CAP Consistency Regulations, which demonstrates compliance with the City's CAP. The project does not propose any new development that would generate GHG emissions that would have a significant impact on the environment. The project is also consistent with the land use designation and zoning, as discussed previously herein. As indicated in the City Thresholds (City of San Diego 2022), GHG emission impacts of the project would be considered less than significant. Mitigation Framework GHG-2 would not apply to the proposed project.

In conclusion, the proposed project and the associated impacts were addressed in the PEIR analysis. No project-specific significant effects which are peculiar to the project, or its site would occur. No additional analysis is necessary.

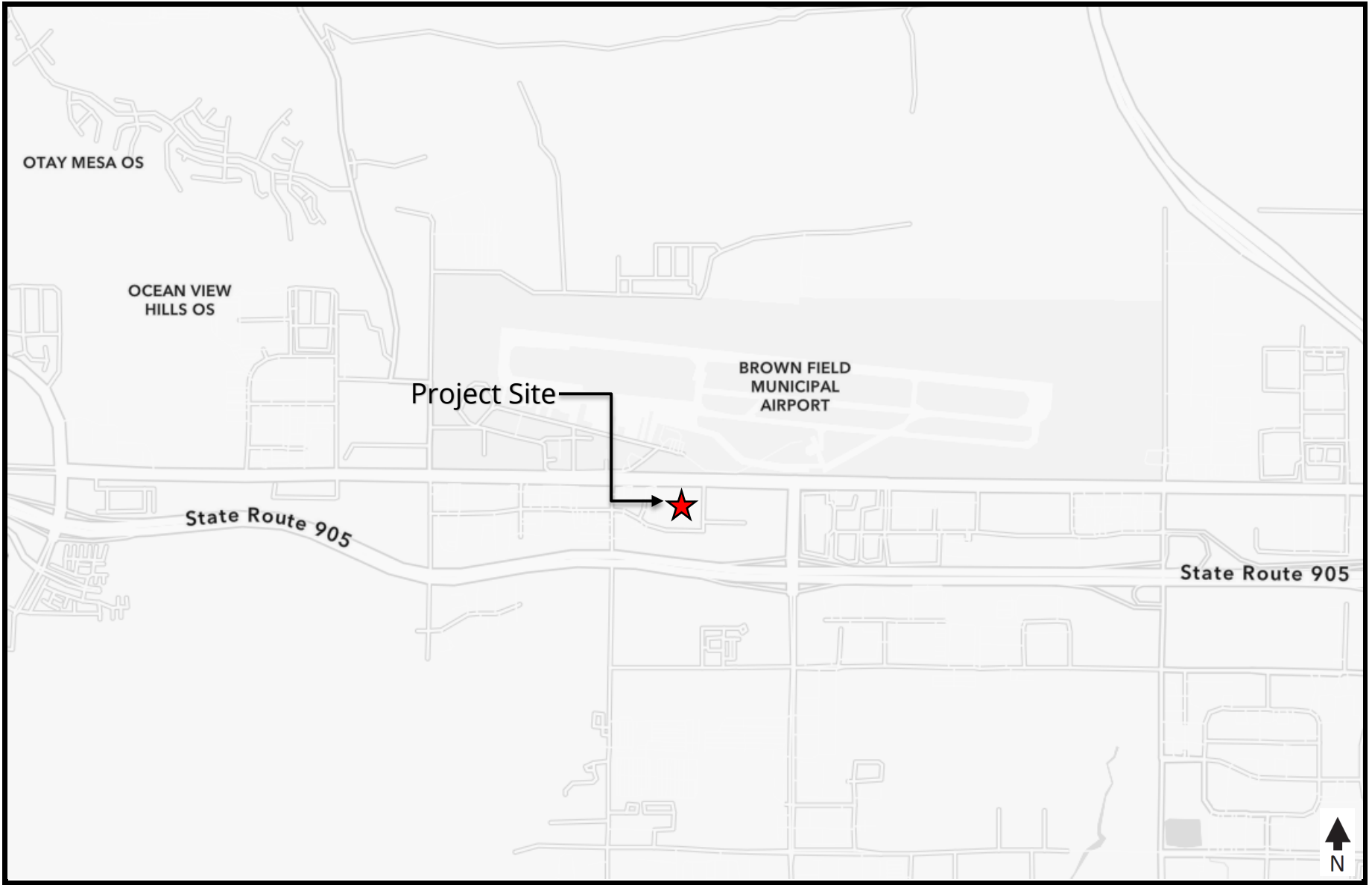
**APPENDICES**  
(Under Separate Cover)

Appendix A	FAA No Hazard Determination
Appendix B	Biological Technical Report
Appendix C	Archaeological Resources Report
Appendix D	Geotechnical Evaluation
Appendix E	Storm Water Quality Management Plan (SWQMP)
Appendix F	Drainage Report
Appendix G	Paleontological Resources Technical Report
Appendix H	Access Analysis
Appendix I	Sewer Study
Appendix J	Waste Management Plan

## REFERENCES

- City of San Diego. 1997. Multiple Species Conservation Program (MSCP), Subarea Plan. Available at: <https://www.sandiego.gov/sites/default/files/legacy/planning/programs/mscp/pdf/subareafullversion.pdf>
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- San Diego Air Pollution Control District (SDAPCD). 2020. 2020 Plan for Attaining the National Ambient Air Quality Standards for Ozone in San Diego County. October. Available at: [https://www.sdapcd.org/content/dam/sdapcd/documents/grants/planning/Att%20A%20\(Attainment%20Plan\)\\_ws.pdf](https://www.sdapcd.org/content/dam/sdapcd/documents/grants/planning/Att%20A%20(Attainment%20Plan)_ws.pdf).
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## Location Map

7082 Camino Maquiladora / PRJ-1099198

Development Services Department

**FIGURE  
No. 1**

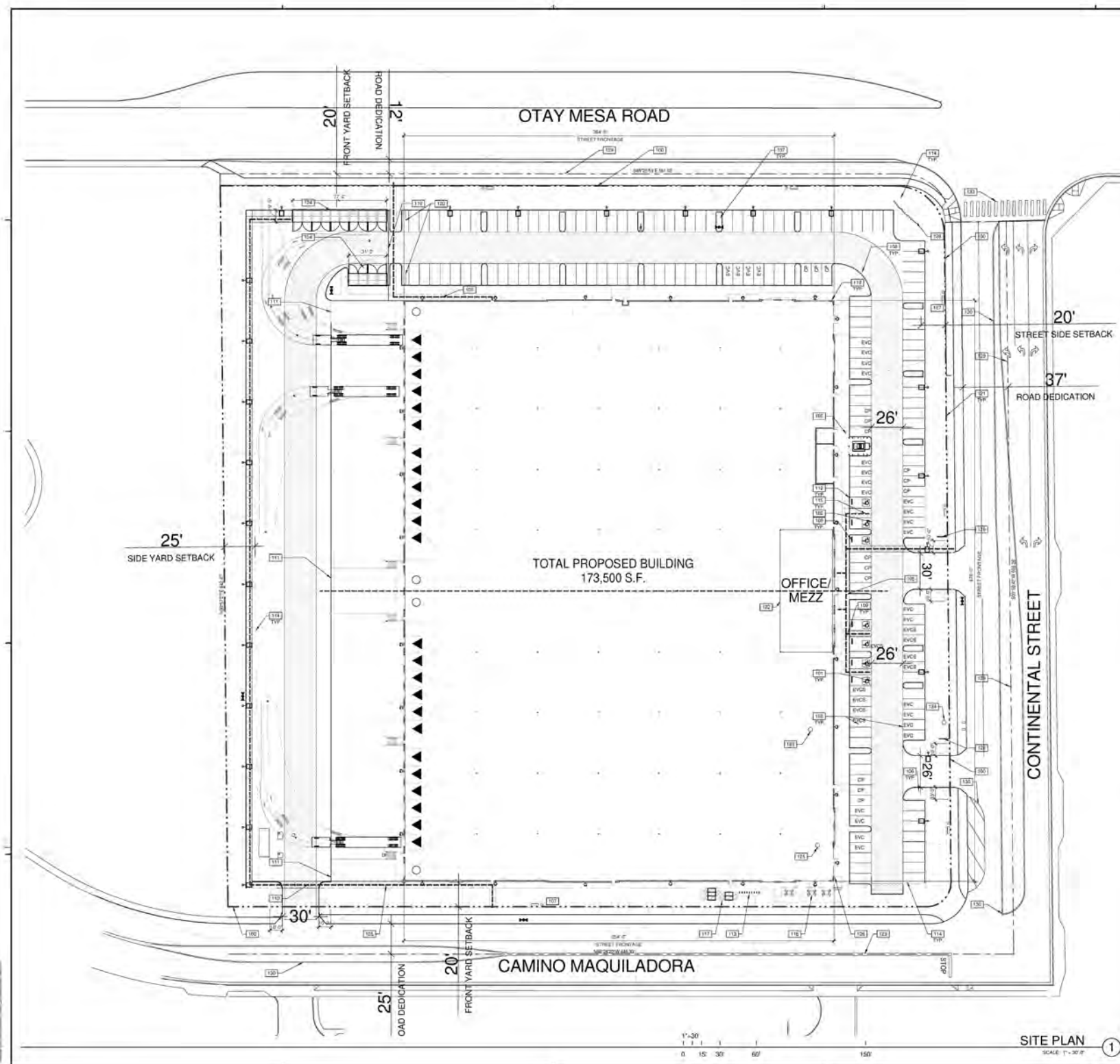


## Aerial Map

7082 Camino Maquiladora / PRJ-1099198

Development Services Department

**FIGURE  
No. 2**



- KEYNOTES**  
SEE SHEET A1.0 FOR GENERAL NOTES
- 100. PROPERTY LINE
  - 101. ACCESSIBLE PARKING STALL WITH SIGNAGE
  - 102. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE
  - 103. PAINTED PARKING STRIPES PER CITY STANDARD, 2" PARKING CURB/PARKING
  - 104. TRASH ENCLOSURE WITH BENCH FOR REUSE, ORGANIC WASTE AND RECYCLABLE MATERIALS
  - 105. ACCESSIBLE PATH OF TRAVEL, 1:20 MAX SLOPE, 0.1% MAX CROSS SLOPE
  - 106. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTIGUOUS CURB TO BE PAINTED RED
  - 107. LANDSCAPE AND IRRIGATION AREA
  - 108. PRECAST CONCRETE WHITE STOP
  - 109. ACCESSIBLE CURB RAMP WITH INDICATED DRIVE
  - 110. SLIDING CHAINLINK GATE THIS GATE TO REMAIN OPEN DURING BUSINESS HOURS
  - 111. CONCRETE RAMP
  - 112. CONCRETE PAVEMENT
  - 113. BIKE RACKS
  - 114. SETBACK LINE
  - 115. ACCESSIBLE LOADING ZONE
  - 116. TRUCK RAMP ZONES
  - 117. BIKE LOCKERS, SHALL BE SUPPLIED WITH INDIVIDUAL OUTLETS FOR ELECTRIC CHARGING AT EACH LOCKER. SEE ELECTRICAL DRAWINGS
  - 118. OUTDOOR AMENITY AREA
  - 119. PROVIDE BUS/SHUTTLE ACCESS AS APPLICABLE, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE POLICY P-03 & LFC 301.4.4
  - 120. MOTORCYCLE PARKING
  - 121. VISIBILITY AREA AND OBJECTS HIGHER THAN 24" WILL BE PROVIDED IN THIS AREA
  - 122. REALITY SIGN/DISPLAYING TRAFFIC, CARPOOL, AND HOV/SHARING INFORMATION
  - 123. DOMESTIC WATER LATERAL
  - 124. IRRIGATION LATERAL
  - 125. SEWER LATERAL
  - 126. ANCHOR BOLTS LOCATION
  - 127. NEAREST BUS STOP (30 FEET): TOTAL DISTANCE TO BUILDING ENTRY IS 1425'
  - 128. 4" TALL, 4" WIDE CONCRETE TILT PANEL MONUMENT SIGN
  - 129. ROAD DEDICATION
  - 130. STREETS/TURN CURE AND TRAFFIC PLANS

- SITE LEGEND**
- POLE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
  - WALLPACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
  - T TRANSFORMER WITH CONCRETE PAD. SEE ELECTRICAL DRAWINGS. PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS
  - FIRE LANE (HATCHED)
  - PARKING STALL COUNT TOTAL
  - ▲ DOCK-HIGH TRUCK DOOR
  - GRADE LEVEL TRUCK DOOR
  - FIRE HYDRANT VERIFY LOCATION WITH CIVIL DRAWINGS
  - 8" V WITH TAMPER RESISTIVE PROTECTION DRAWINGS
  - EVCs ELECTRIC VEHICLE CHARGING STATION
  - EVC ELECTRIC VEHICLE CHARGABLE
  - CP CARPOOL / ZERO EMISSIONS VEHICLE

**NOTES:**

- 1. SEND SECTION 1448 TABLE 145-16C: INTERIOR REUSE ORGANIC WASTE AND RECYCLABLE MATERIAL STORAGE AREA REQUIREMENTS
- AREA REQUIRED: 1,000 SF
- TRANSFORMER USE PER AREA CALCULATION: 3" x 17" x 23" SF
- WALLPACK USE PER AREA CALCULATION: 8" x 12" x 28" SF
- TOTAL AREA PROVIDED: 1,000 SF

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**QUA INDUSTRIAL**  
OTAY MESA ROAD  
SAN DIEGO, CALIFORNIA 92154

SITE PLAN	REVISIONS
DATE	

DATE: 10/20/2023  
DRAWN BY: AutoCAD  
JOB NO.: 2022-0100-01

SHEET  
**A1.0**



**Site Plan**  
7082 Camino Maquiladora / PRJ-1099198  
Development Services Department

**FIGURE No. 3**

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**ATTACHMENT A**  
**MITIGATION MONITORING AND REPORTING PROGRAM (MMRP)**  
**7082 Camino Maquiladora PRJ-1099198/SCH NO. 24004051076**

The project shall be required to comply with the applicable mitigation measures outlined within the Mitigation Monitoring and Reporting Program (MMRP) of the previously certified PEIR (No. 30330/304032/SCH No. 24004051076). The following MMRP identifies measures that specifically apply to this project.

**A. GENERAL REQUIREMENTS – PART I**

**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director’s Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **“ENVIRONMENTAL/MITIGATION REQUIREMENTS.”**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:  
  

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II**

**Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION

(MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

***Qualified Biologist***  
***Qualified Paleontologist***

**Note:**

**Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

- a. The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
  - b. For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
- 2. MMRP COMPLIANCE:** This Project, PRJ-1099198 shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.)

**Note:**

**Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

- 3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.
- 4. MONITORING EXHIBITS**  
All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE:**

**Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

**5. OTHER SUBMITTALS AND INSPECTIONS:**

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

***Verification Letter of retention of a Qualified Biologist prior to issuance of a Notice to Proceed (grading permit)***

***Verification Letter of retention of a Qualified Paleontologist prior to issuance of a Notice to Proceed (grading permit)***

***Verification of Habitat Acquisition Fund Payment for 8 acres of Non-native Grasslands prior to issuance of a Notice to Proceed (grading permit)***

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**Biological Resources**

**MM-BIO-1: Non-native Grassland**

Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Owner/Permittee shall make payment to the City Habitat Acquisition Fund (HAF) to mitigate for the loss of 8.0 acres of non-native grasslands (Tier IIIB) in accordance with the City’s Biology Guidelines (City of San Diego 2018). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 0.5:1 ratio if mitigation would occur inside of the MHPA and a 1:1 ratio should mitigation occur outside of the MHPA. The project shall mitigate for impacts to 8.0 acres of non-native grassland not occupied by the burrowing owl through monetary compensation to the City’s HAF at a 1:1 ratio requiring mitigation equal to 8.0 acres.

**MM-BIO-2: Biological Resource Protection During Construction**

**Species Specific Mitigation (Required to meet MSCP Subarea Plan Conditions of Coverage) for Potential Impacts to Western Burrowing Owl (BUOW) and Associated Habitat located outside the MHPA (BUOW and associated habitat impacts within the MHPA must be avoided)**

## **PRECONSTRUCTION SURVEY ELEMENT**

### **Prior to Permit or Notice to Proceed Issuance:**

1. As this project has been determined to be BUOW occupied or to have BUOW occupation potential, the Applicant Department or Permit Holder shall submit evidence to the ADD of Entitlements and Multiple Species Conservation Program (MSCP) staff verifying that a Biologist possessing qualifications pursuant "Staff Report on Burrowing Owl Mitigation, State of California Natural Resources Agency Department of Fish and Game. March 7, 2012 (hereafter referred as CDFG 2012, Staff Report), has been retained to implement a burrowing owl construction impact avoidance program.
2. The qualified BUOW biologist (or their designated biological representative) shall attend the pre-construction meeting to inform construction personnel about the City's BUOW requirements and subsequent survey schedule.

### **Prior to Start of Construction:**

1. The Applicant Department or Permit Holder and Qualified Biologist must ensure that initial pre-construction/take avoidance surveys of the project "site" are completed between 14 and 30 days before initial construction activities, including brushing, clearing, grubbing, or grading of the project site; regardless of the time of the year. "Site" means the project site and the area within a radius of 450 feet of the project site. The report shall be submitted and approved by the Wildlife Agencies (WAs) and/or City MSCP staff prior to construction or BUOW eviction(s) and shall include maps of the project site and BUOW locations on aerial photos.
2. The pre-construction survey shall follow the methods described in CDFG 2012, Staff Report - Appendix D
3. 24 hours prior to commencement of ground disturbing activities, the Qualified Biologist shall verify results of preconstruction/take avoidance surveys. Verification shall be provided to the City's Mitigation Monitoring and Coordination (MMC) and MSCP Sections. If results of the preconstruction surveys have changed and BUOW are present in areas not previously identified, immediate notification to the City and WAs shall be provided prior to ground disturbing activities.

### **During Construction:**

1. **Best Management Practices shall be employed as** BUOWs are known to use open pipes, culverts, excavated holes, and other burrow-like structures at construction sites. Legally permitted active construction projects which are BUOW occupied and have followed all protocol in this mitigation section, or sites within 450 feet of occupied BUOW areas, should undertake measures to discourage BUOWs from recolonizing previously occupied areas or colonizing new portions of the site. Such measures include, but are not limited to, ensuring that the ends of all pipes and culverts are covered when they are not being worked on, and covering rubble piles, dirt piles, ditches, and berms.
2. **On-going BUOW Detection** - If BUOWs or active burrows are not detected during the pre-construction surveys, Section "A" below shall be followed. If BUOWs or burrows are detected during the pre-construction surveys, Section "B" shall be followed. Neither the MSCP Subarea



Plan nor this mitigation section allows for any BUOWs to be injured or killed outside **OR** within the MHPA; in addition, impacts to BUOWs within the mHPA must be avoided.

**A. Post Survey Follow Up if Burrowing Owls and/or Signs of Active Natural or Artificial Burrows Are Not Detected During the Initial Pre-Construction Survey** - Monitoring the site for new burrows is required using CDFW Staff Report 2012 Appendix D methods for the period following the initial pre-construction survey, until construction is scheduled to be complete and is complete (*NOTE - Using a projected completion date (that is amended if needed) will allow development of a monitoring schedule*).

- 1) If no active burrows are found but BUOWs are observed to occasionally (1-3 sightings) use the site for roosting or foraging, they should be allowed to do so with no changes in the construction or construction schedule.
- 2) If no active burrows are found but BUOWs are observed during follow up monitoring to repeatedly (4 or more sightings) use the site for roosting or foraging, the City's MMC and MSCP Sections shall be notified and any portion of the site where owls have been sites and that has not been graded or otherwise disturbed shall be avoided until further notice.
- 3) If a BUOW begins using a burrow on the site at any time after the initial pre-construction survey, procedures described in Section B must be followed.
- 4) Any actions other than these require the approval of the City and the Wildlife Agencies.

**B. Post Survey Follow Up if Burrowing Owls and/or Active Natural or Artificial Burrows are detected during the Initial Pre-Construction Survey** - Monitoring the site for new burrows is required using Appendix D CDFG 2012, Staff Report for the period following the initial pre-construction survey, until construction is scheduled to be complete and is complete (*NOTE - Using a projected completion date (that is amended if needed) will allow development of a monitoring schedule which adheres to the required number of surveys in the detection protocol*).

- 1) This section (B) applies only to sites (including biologically defined territory) wholly outside of the MHPA – **all direct and indirect impacts to BUOWs within the MHPA SHALL be avoided.**
- 2) If one or more BUOWs are using any burrows (including pipes, culverts, debris piles etc.) on or within 300 feet of the proposed construction area, the City's MMC and MSCP Sections shall be contacted. The City's MSCP and MMC Section shall contact the Wildlife Agencies regarding eviction/collapsing burrows and enlist appropriate City biologist for on-going coordination with the Wildlife Agencies and the qualified consulting BUOW biologist. No construction shall occur within 300 feet of an active burrow without written concurrence from the Wildlife Agencies. This distance may increase or decrease, depending on the burrow's location in relation to the site's topography, and other physical and biological characteristics.

- a) **Outside the Breeding Season** - If the BUOW is using a burrow on site outside the breeding season (i.e., September 1 – January 31), the BUOW may be evicted after the qualified BUOW biologist has determined via fiber optic camera or other appropriate device, that no eggs, young, or adults are in the burrow. Eviction requires preparation of an Exclusion Plan prepared in accordance with CDFW Staff Report 2012, Appendix E (or most recent guidance available) for review and submittal to Wildlife Agencies. Written concurrence from the Wildlife Agencies is required prior to Exclusion Plan implementation.
- b) **During Breeding Season** - If a BUOW is using a burrow on-site during the breeding season (Feb 1-Aug 31), construction shall not occur within 300 feet of the burrow until the young have fledged and are no longer dependent on the burrow, at which time the BUOWs can be evicted. Eviction requires preparation of an Exclusion Plan prepared in accordance with CDFW Staff Report 2012, Appendix E (or most recent guidance available) for review and submittal to Wildlife Agencies. Written concurrence from the Wildlife Agencies is required prior to Exclusion Plan implementation.

**3. Survey Reporting During Construction** - Details of construction surveys and evictions (if applicable) carried out shall be immediately (within 5 working days or sooner) reported to the City's MMC, and MSCP Sections and the Wildlife Agencies and must be provided in writing (as by e-mail) and acknowledged to have been received by the required Agencies and DSD Staff member(s).

**Post Construction:**

- 1. Details of the all surveys and actions undertaken on-site with respect to BUOWs (i.e. occupation, eviction, locations etc.) shall be reported to the City's MMC Section and the Wildlife Agencies within 21 days post-construction and prior to the release of any grading bonds. This report must include summaries off all previous reports for the site; and maps of the project site and BUOW locations on aerial photos.

**Paleontological Resources**

**MM-PALE0- 1: Paleontological Monitoring**

**I. Prior to Permit Issuance**

- A. Entitlements Plan Check
  - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
  - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the

names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.

2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

## **II. Prior to Start of Construction**

### **A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

### **B. PI Shall Attend Precon Meetings**

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
  - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored  
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
  - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

## **III. During Construction**

### **A. Monitor Shall be Present During Grading/Excavation/Trenching**

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and

moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**

2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
  3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
  3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
    - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
    - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
    - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

#### **IV. Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
  1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.

- a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
  - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
  - c. Potentially Significant Discoveries  
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
  - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
    - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
    - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
  - C. All other procedures described above shall apply, as appropriate.

**V. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
  - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
    - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with the San Diego Natural History Museum  
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
  - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  - 4. MMC shall provide written verification to the PI of the approved report.
  - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
  - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
  - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area;

that faunal material is identified as to species; and that specialty studies are completed, as appropriate

- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
  - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
  - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
  - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.



**City of San Diego  
Development Services**  
1222 First Ave., MS 302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

**FORM  
DS-318**

October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other

**Project Title:** Qua Industrial **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** Intersection of Camino Maquiladora & Continental Street in Otay Mesa

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Bret C. Qua Successor Trustee, Trust "A", Robert D. Qua and Shirlee Qua Declaration of Trust dated April 15, 1991  Owner  Tenant/Lessee  Successor Agency

Street Address: 5328 Bragg St.

City: San Diego State: CA Zip: 92122

Phone No.: 619 964-2355 Fax No.: \_\_\_\_\_ Email: info@theupodfurniturefactory.com

Signature: Bret C. Qua - Trustee Date: 5/28/23

Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: HUSPP Continental LP c/o Eric Hepfer - Managing Director  Owner  Tenant/Lessee  Successor Agency

Street Address: 600 W Broadway Suite 1150

City: San Diego State: CA Zip: 92101

Phone No.: 408-335-8491 Fax No.: \_\_\_\_\_ Email: Eric.Hepfer@hines.com

Signature: Eric Hepfer Date: 6/8/23

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
 Upon request, this information is available in alternative formats for persons with disabilities.

PROJECT DATA

Table with 2 columns: Code/Category and Value. Includes sections for APPLICABLE CODES, SITE DATA, and PARKING.

SCOPE OF WORK

THE SCOPE OF THIS PROJECT IS A NEW GROUND UP DEVELOPMENT OF 169,500 S.F. CONCRETE TILT-UP INDUSTRIAL WAREHOUSE BUILDING WITH FUTURE FIRST FLOOR OFFICE AREA (4,000 S.F.), 2 NEW CONCRETE TILT-UP TRASH ENCLOSURES, SITE LIGHT POLES, ENTRY CANOPIES, LANDSCAPE AND ASSOCIATED SITE WORK, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL.

VICINITY MAP

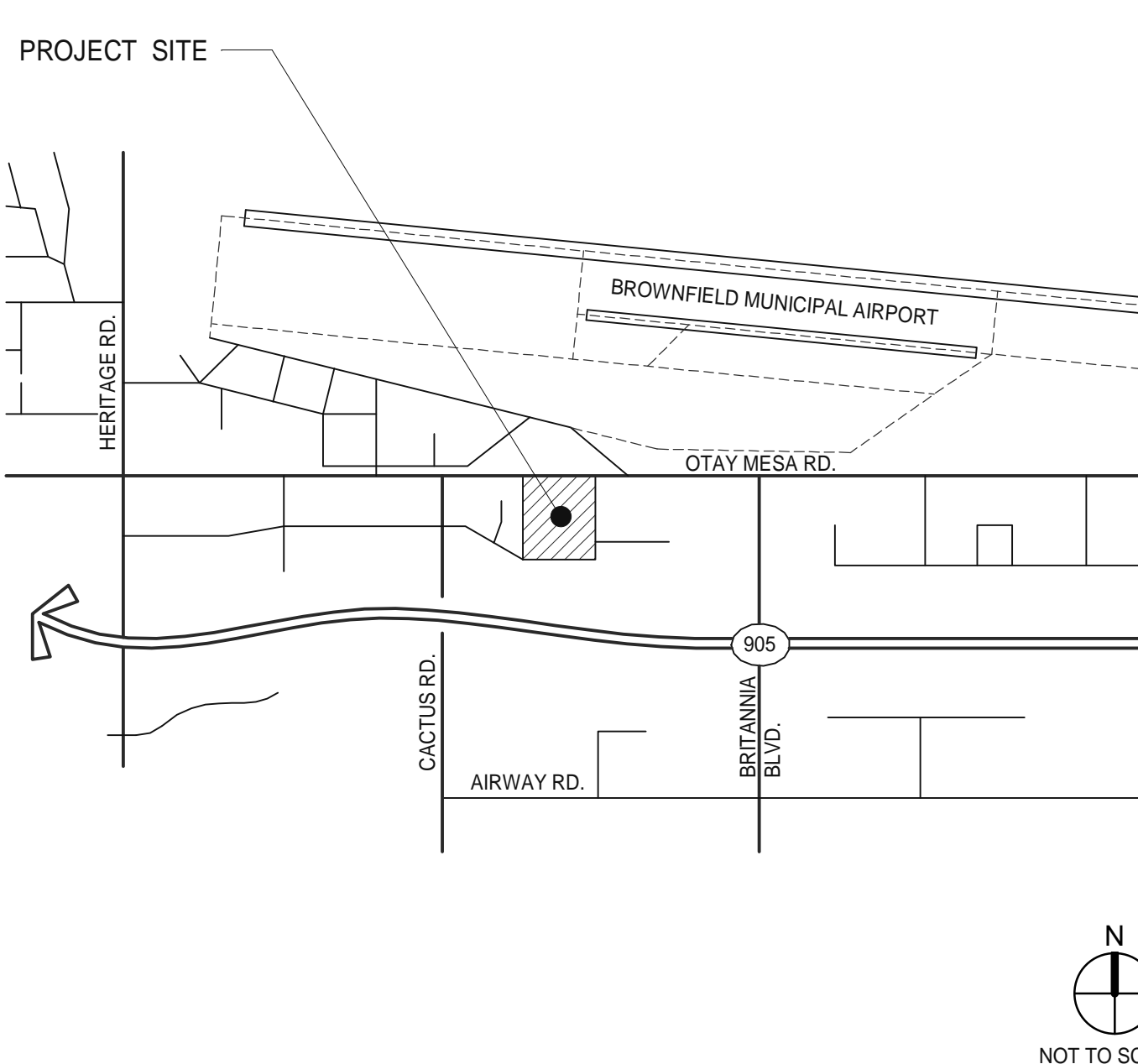


Table with 2 columns: Role and Contact Information. Lists Owner (HUSPP Continental LP), Applicant (Hines), and Architect (Ware Malcomb).

Table with 2 columns: Role and Contact Information. Lists Owner's Consultants (Civil and Geotechnical Engineers).

Table with 2 columns: Role and Contact Information. Lists Architect's Consultants (Structural, Mechanical, Plumbing, Electrical, and Landscape Architects).

QUA INDUSTRIAL
OTAY MESA ROAD
SAN DIEGO, CALIFORNIA 92154



SHEET INDEX

Table listing architectural and landscape sheets (A0.1 to A5.0 and L1.1 to L3.2) and their respective counts.



June 22, 2023

City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

RE: Qua Industrial Site Development Permit
Site Development Permit

I hereby acknowledge and certify that:

- 1. I am accountable for knowing and complying with the governing policies, regulations and...
2. I have performed reasonable research to determine the required approvals and decision process...
3. I have taken the Professional Certification for Development Permit Completeness Review...
4. Maintaining my Professional Certification for Development Permit Completeness Review...
5. Submitting incomplete documents and plans on a consistent basis may result in the revocation...
6. If required documents or plan content is missing, project review will be delayed; and
7. This submittal package meets all of the minimum submittal requirements contained in Land Development Manual, Volume 1, Chapter 1, Section 4.
8. For the proposed project, I have determined the appropriate process and approval types to be as follows:

Project Approvals Needed: Site Development Permit Project Process Level: Three

Responsible Certified Professional name:

Kathleen Riser

Kathleen Riser
Date: 6/22/2023

WARE MALCOMB logo and contact information: 3911 Sorrento Valley Blvd, Suite #120, San Diego, California 92121, P 858.638.7277

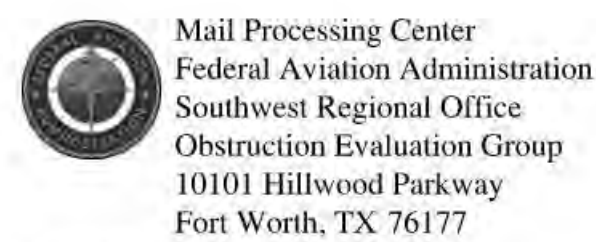
QUA INDUSTRIAL
OTAY MESA ROAD
SAN DIEGO, CALIFORNIA 92154

Table with 2 columns: DATE and REMARKS. Includes a title sheet label.

PAPM: Approver
DRAWN BY: Author
JOB NO.: SDG22-0039-01

SHEET
A0.1





Aeronautical Study No. 2023-AWP-15870-OE

Issued Date: 12/06/2023

Jaime Diaz Castro, Ware Malcomb, 3911 Sorrento Valley Blvd., Suite 120, San Diego, CA 92121

\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building NW Corner, Location: San Diego, CA, Latitude: 32-34-03.29N NAD 83, Longitude: 116-59-08.18W, Heights: 511 feet site elevation (SE), 43 feet above ground level (AGL), 554 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

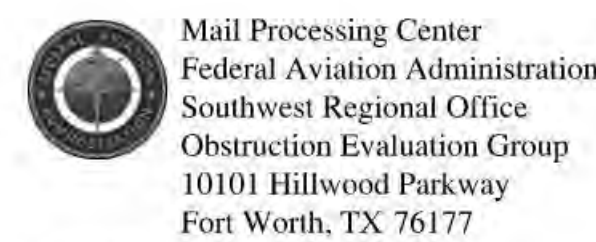
- At least 10 days prior to start of construction (7460-2, Part 1)
X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/06/2025 unless:



Aeronautical Study No. 2023-AWP-15872-OE

Issued Date: 12/06/2023

Jaime Diaz Castro, Ware Malcomb, 3911 Sorrento Valley Blvd., Suite 120, San Diego, CA 92121

\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building SW Corner, Location: San Diego, CA, Latitude: 32-33-58.56N NAD 83, Longitude: 116-59-08.29W, Heights: 511 feet site elevation (SE), 43 feet above ground level (AGL), 554 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

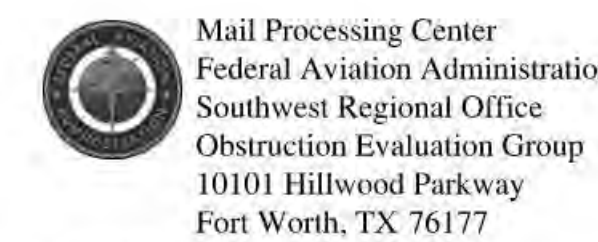
- At least 10 days prior to start of construction (7460-2, Part 1)
X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/06/2025 unless:



Aeronautical Study No. 2023-AWP-15873-OE

Issued Date: 12/06/2023

Jaime Diaz Castro, Ware Malcomb, 3911 Sorrento Valley Blvd., Suite 120, San Diego, CA 92121

\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building SE Corner, Location: San Diego, CA, Latitude: 32-33-58.48N NAD 83, Longitude: 116-59-04.15W, Heights: 511 feet site elevation (SE), 46 feet above ground level (AGL), 557 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/06/2025 unless:



Aeronautical Study No. 2023-AWP-15871-OE

Issued Date: 12/06/2023

Jaime Diaz Castro, Ware Malcomb, 3911 Sorrento Valley Blvd., Suite 120, San Diego, CA 92121

\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building NE Corner, Location: San Diego, CA, Latitude: 32-34-03.22N NAD 83, Longitude: 116-59-04.04W, Heights: 511 feet site elevation (SE), 46 feet above ground level (AGL), 557 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 06/06/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
(b) extended, revised, or terminated by the issuing office.
(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before January 05, 2024. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made.

This determination becomes final on January 15, 2024 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition: Antenna System Co-Location: Voluntary Best Practices, will void this determination.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed

structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Vivian Vilaro, at (847) 294-7575, or vivian.vilaro@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AWP-15871-OE.

Signature Control No: 60164622-606471476

David Maddox, Manager, Obstruction Evaluation Group

Attachment(s), Additional Information, Map(s)

(DNH)

Additional information for ASN 2023-AWP-15871-OE

NARRATIVE AERONAUTICAL STUDY NO 2023-AWP-15870-through-15873-OE

Abbreviations: AGL - above ground level, MSL - mean sea level, RWY - runway, IFR - instrument flight rules, VFR - visual flight rules, nm - nautical mile, AMSL - above mean sea level, Part 77 - Title 14 Code of Federal Regulations (CFR) Part 77, Safe, Efficient Use and Preservation of the Navigable Airspace

1. LOCATION OF PROPOSED CONSTRUCTION

Ware Malcomb is proposing to construct a Commercial Use Building that has been identified as an obstruction under Part 77 standards. The proposed structure would be located east of the Imperial Beach Nolf (Ream FLD) (NRS) in Imperial Beach, CA. NRS elevation is 23 feet MSL.

Table with columns: Aeronautical Study Number, AGL/AMSL, NRS ARP, Coordinates, Corners. Rows include 2023-AWP-15870-OE, 2023-AWP-15871-OE, 2023-AWP-15872-OE, 2023-AWP-15873-OE.

2. OBSTRUCTION STANDARDS EXCEEDED

Section 77.21(a)(3) - Military Outer Horizontal Surface - A plane, located 500 feet above the established airfield elevation, extending outward from the outer periphery of the conical surface for a horizontal distance of 30,000 feet. The proposed Building would exceed the outer horizontal surface by the values listed below:

Table with columns: Aeronautical Study Number, Outer Horizontal Surface Exceeds by. Rows include 2020-AWP-15870-OE, 2020-AWP-15871-OE, 2020-AWP-15872-OE, 2020-AWP-15873-OE.

3. EFFECT ON AERONAUTICAL OPERATIONS

a. The impact on arrival, departure, and en route procedures for aircraft operating under VFR follows: The VFR traffic pattern airspace (TPA) is not penetrated.

FAA Findings

There are no effects on any existing or proposed arrival, departure, or en route IFR operations or procedures. There are no effects on any existing or proposed arrival, departure, or en route VFR operations. There are no effects on any existing or proposed arrival, departure, or en route IFR/VFR minimum flight altitudes. There is no penetration into the VFR traffic pattern airspace. There are no physical or electromagnetic effects on the operation of air navigation and communications facilities. There are no effects on any airspace and routes used by the military.

b. The impact on arrival, departure, and en route procedures for aircraft operating under IFR follows: Aeronautical study disclosed that the proposed structure would have no effect on any existing or proposed arrival, departure, or en route IFR operations or procedures.

c. The impact on all planned public-use airports and aeronautical facilities as follows: Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities, nor would the proposed structure affect the capacity of any known existing or planned public-use or military airport.

d. The cumulative impact resulting from the proposed construction or alteration of a structure when combined with the impact of other existing or proposed structures is not considered to be significant.

4. CIRCULATION AND COMMENTS RECEIVED

The proposal was not circulated for public comment because it would only affect an airport that is operated by a military service of the United States. That service is responsible for determining the effect of the structure on the military's operations. The United States Navy indicated they have no objection to the proposed structure.

5. DETERMINATION - NO HAZARD TO AIR NAVIGATION

It is determined that the proposed structure would not have a substantial adverse effect on the safe and efficient use of navigable airspace by aircraft.

6. BASIS FOR DECISION

Study for possible VFR effect disclosed that the proposed structures would not have a substantial adverse effect on any existing or proposed arrival or departure VFR operations or procedures. In this case, the proposed structure would penetrate the NRS outer horizontal surface by the amounts shown above; however, it would not conflict with airspace require to conduct normal VFR traffic patterns operations. There are no IFR effects and no other VFR issues could be identified in the FAA internal study. The United States service is responsible for determining the effect of the structure on the military's operations. The United States Navy indicated that the proposed structure will not impact their operations therefore they have no objection. Marking and lighting was considered but deemed unnecessary.

7. CONDITIONS

Within five days after the structure reaches its greatest height, the proponent is required to file on line the Supplemental Notice, FAA form 7460-2, with actual construction details, at the OE/AAA website (https://oeaaa.faa.gov/oeaaa). Detailed instructions are available under the Instructions link. This Supplemental Notice notification will be the source document detailing the site location, site elevation, structure height, and date structure was built for the FAA to map the structure on aeronautical charts and update the national database.

WARE MALCOMB ARCHITECTURE CIVIL ENGINEERING PLANNING BUILDING MEASUREMENT 3911 Sorrento Valley Blvd., Suite #120 San Diego, California 92121 P 658.638.7277

QUA INDUSTRIAL OTAY MESA ROAD SAN DIEGO, CALIFORNIA 92154

Table with columns: DATE, REMARKS. Row for FAA DETERMINATION.

PAPM: Approver, DRAWN BY: Author, JOB NO.: SDG22-0039-01

SHEET A0.2 3/1/2024 9:54:26 AM

PLEASE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



SITE PLAN	
DATE	REMARKS

FAPM:	Approver
DRAWN BY:	Author
JOB NO.:	SDG22-0039-01

**KEYNOTES**

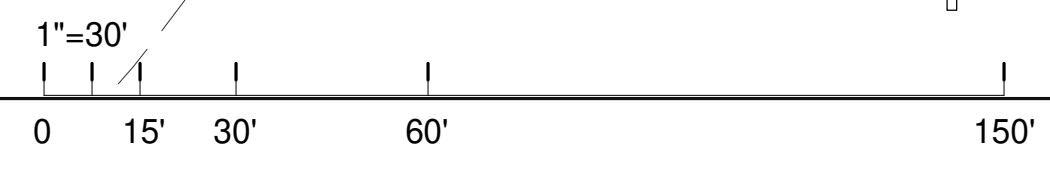
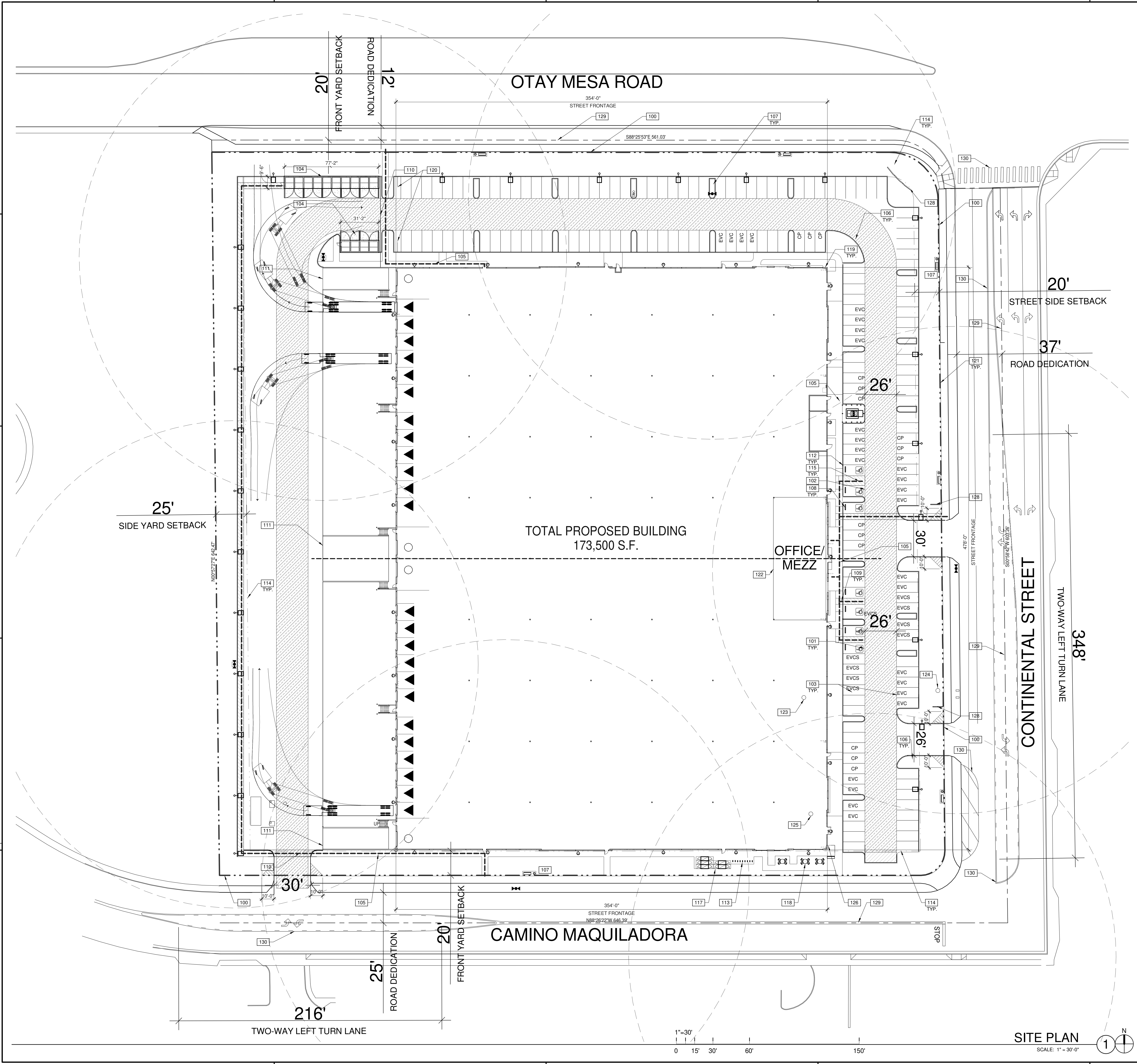
- SEE SHEET A010 FOR GENERAL NOTES
100. PROPERTY LINE.
  101. ACCESSIBLE PARKING STALL WITH SIGNAGE.
  102. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
  103. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
  104. TRASH ENCLOSURE WITH BINS FOR REFUSE, ORGANIC WASTE AND RECYCLABLE MATERIALS.
  105. ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
  106. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
  107. LANDSCAPE AND IRRIGATION AREA.
  108. PRECAST CONCRETE WHEEL STOP.
  109. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
  110. SLIDING CHAINLINK GATE. THIS GATE TO REMAIN OPEN DURING BUSINESS HOURS.
  111. CONCRETE RAMP.
  112. CONCRETE PAVEMENT.
  113. BIKE RACKS.
  114. SETBACK LINE.
  115. ACCESSIBLE LOADING ZONE.
  116. TRUNCATED DOMES.
  117. BIKE LOCKERS. SHALL BE SUPPLIED WITH INDIVIDUAL OUTLETS FOR ELECTRIC CHARGING AT EACH LOCKER. SEE ELECTRICAL DRAWINGS.
  118. OUTDOOR AMENITY AREA.
  119. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
  120. MOTORCYCLE PARKING.
  121. VISIBILITY AREA. NO OBJECTS HIGHER THAN 24" WILL BE PROPOSED IN THIS AREA.
  122. BULLETIN BOARD DISPLAYING TRANSIT, CARPOOL AND RIDESHARING INFORMATION.
  123. DOMESTIC WATER LATERAL.
  124. IRRIGATION LATERAL.
  125. SEWER LATERAL.
  126. KNOX BOX LOCATION.
  127. NEAREST BUS STOP (ID 60516). TOTAL DISTANCE TO BUILDING ENTRY IS 1435'.
  128. 4'-0" TALL X 8'-0" WIDE CONCRETE TILT PANEL MONUMENT SIGN.
  129. ROAD DEDICATION.
  130. STRIPING PER CIVIL AND TRAFFIC PLANS.

**SITE LEGEND**

- POLE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
- WALLPACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
- TRANSFORMER WITH CONCRETE PAD. SEE ELECTRICAL DRAWINGS. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.V. WITH TAMPER. SEE FIRE PROTECTION DRAWINGS
- EVCS ELECTRIC VEHICLE CHARGING STATION
- EVC ELECTRIC VEHICLE CAPABLE
- CP CARPOOL / ZERO EMISSIONS VEHICLE

**NOTES:**

1. SDMC SECTION 142.083 TABLE 142-08C. EXTERIOR REFUSE, ORGANIC WASTE AND RECYCLABLE MATERIAL STORAGE AREA REQUIREMENTS.  
AREA REQUIRED: 1,008 S.F.  
TRASH ENCLOSURE 1 AREA CALCULATION  
9'-6" x 77'-2" = 733 SF  
TRASH ENCLOSURE 2 AREA CALCULATION  
9'-6" x 31'-2" = 296 SF  
TOTAL AREA PROVIDED: 1,029 S.F.



**SITE PLAN**  
SCALE: 1"=30'-0"

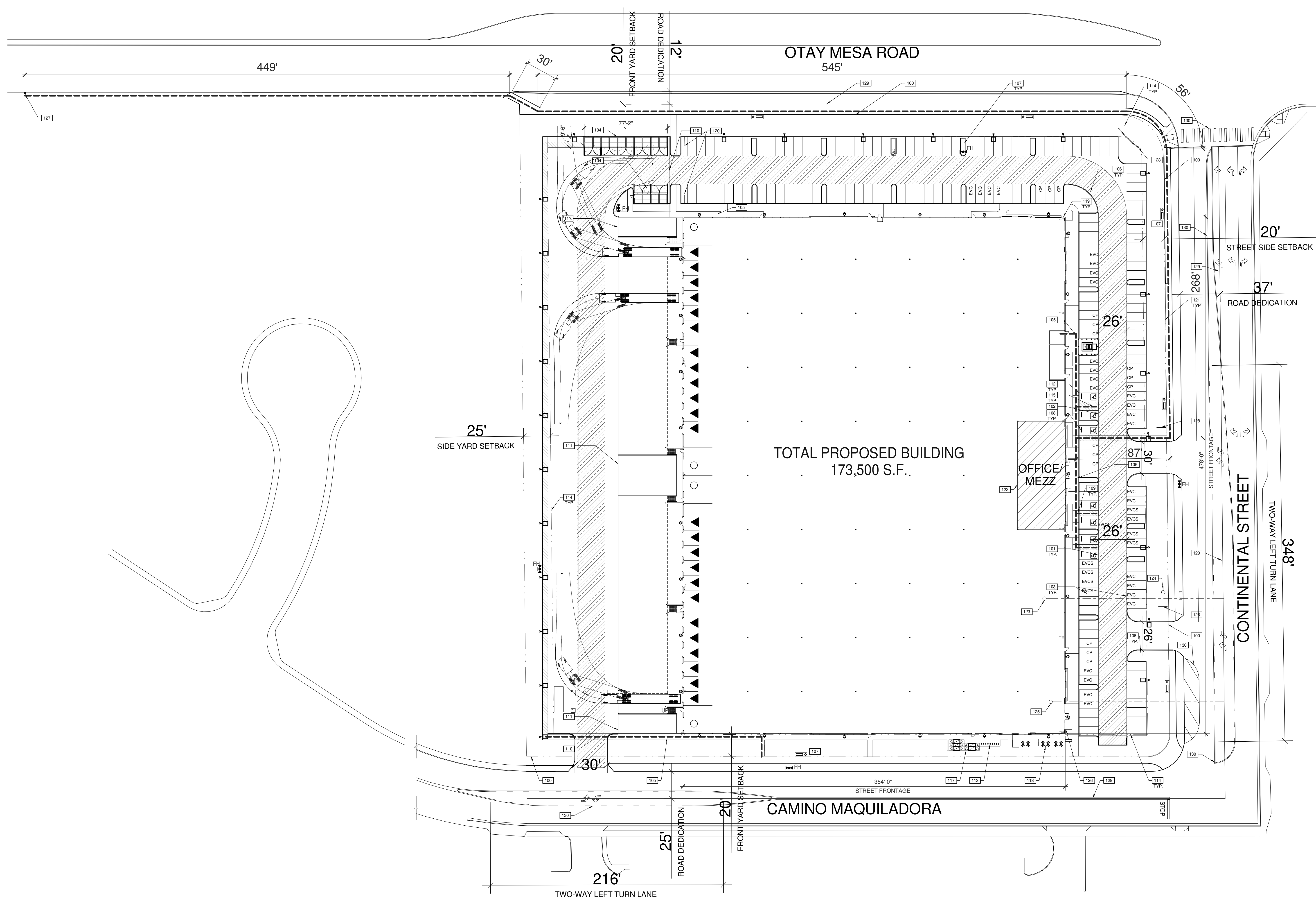
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 PLANNING  
 BRANDING  
 INTERIORS  
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**KEYNOTES**

- SEE SHEET A010 FOR GENERAL NOTES
100. PROPERTY LINE.
  101. ACCESSIBLE PARKING STALL WITH SIGNAGE.
  102. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
  103. PAINTED PARKING STRIPING PER CITY STANDARDS, 2' 0" PARKING OVERHANG.
  104. TRASH ENCLOSURE WITH BINS FOR REFUSE, ORGANIC WASTE AND RECYCLABLE MATERIALS.
  105. ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
  106. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
  107. LANDSCAPE AND IRRIGATION AREA.
  108. PRECAST CONCRETE WHEEL STOP.
  109. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
  110. SLIDING CHAINLINK GATE. THIS GATE TO REMAIN OPEN DURING BUSINESS HOURS.
  111. CONCRETE RAMP.
  112. CONCRETE PAVEMENT.
  113. BIKE RACKS.
  114. SETBACK LINE.
  115. ACCESSIBLE LOADING ZONE.
  116. TRUNCATED DOMES.
  117. BIKE LOCKERS. SHALL BE SUPPLIED WITH INDIVIDUAL OUTLETS FOR ELECTRIC CHARGING AT EACH LOCKER. SEE ELECTRICAL DRAWINGS.
  118. OUTDOOR AMENITY AREA.
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  127. NEAREST BUS STOP (ID 60516). TOTAL DISTANCE TO BUILDING ENTRY IS 1435'.
  128. 4'-0" TALL X 8'-0" WIDE CONCRETE TILT PANEL MONUMENT SIGN.
  129. ROAD DEDICATION.
  130. STRIPING PER CIVIL AND TRAFFIC PLANS.

**SITE LEGEND**

- POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.I.V. WITH TAMPERS, SEE FIRE PROTECTION DRAWINGS INFORMATION
- ELECTRIC VEHICLE CHARGING STATION
- ELECTRIC VEHICLE CAPABLE
- CARPOOL / ZERO EMISSIONS VEHICLE
- VAPOR BARRIER AREA FOR FUTURE OFFICE



**SITE PLAN** ①  
 SCALE: 1" = 40'-0"

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 OTAY MESA ROAD  
 SAN DIEGO, CALIFORNIA 92154

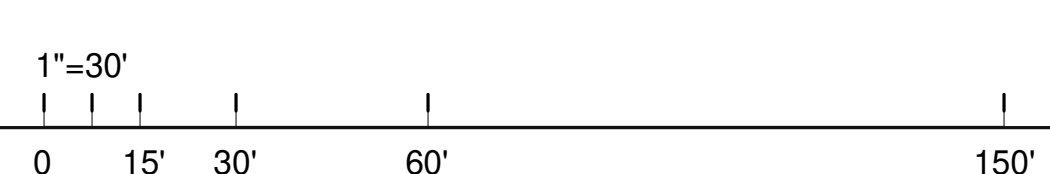
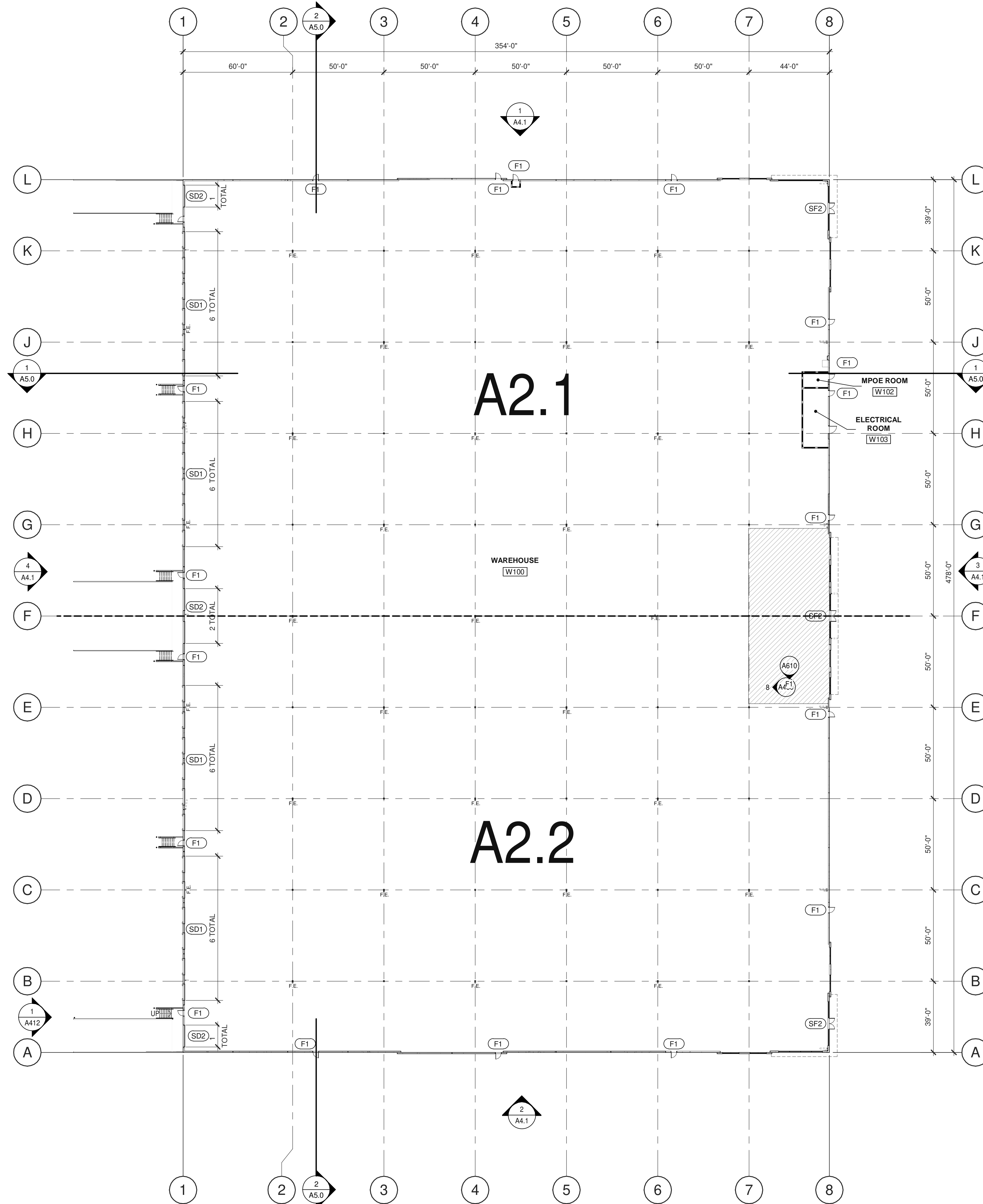
**SITE PLAN - BUS STOP EXHIBIT**

DATE	REMARKS

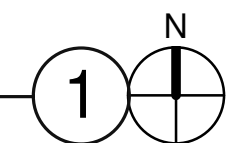
<b>FAPM:</b>	Approver
<b>DRAWN BY:</b>	Author
<b>JOB NO.:</b>	SDG22-0039-01

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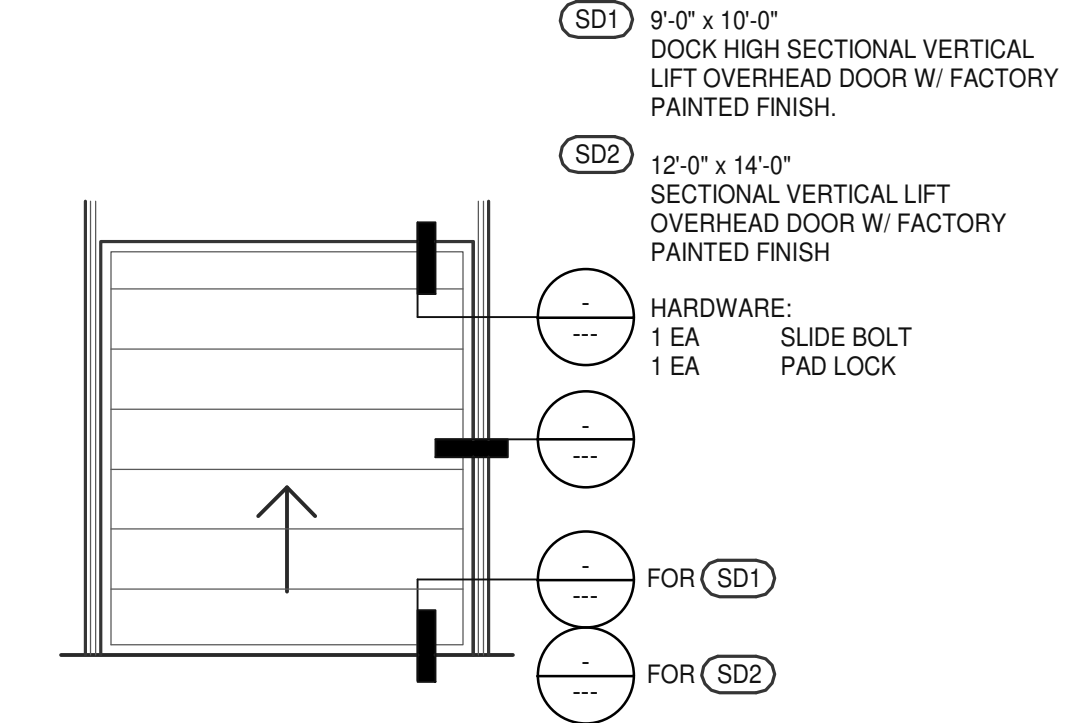
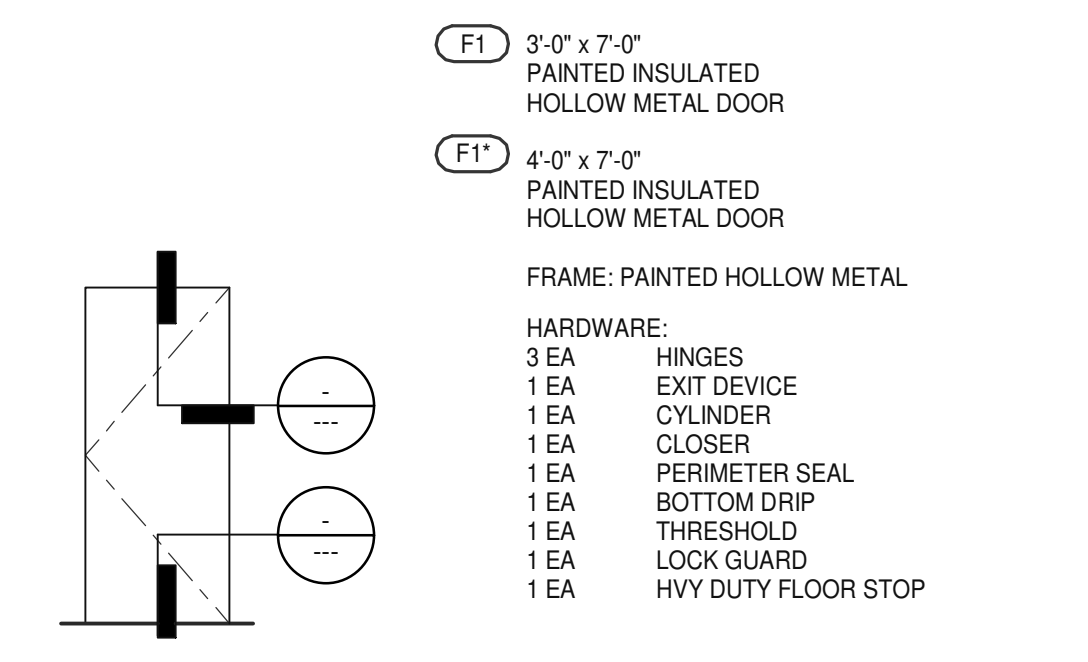
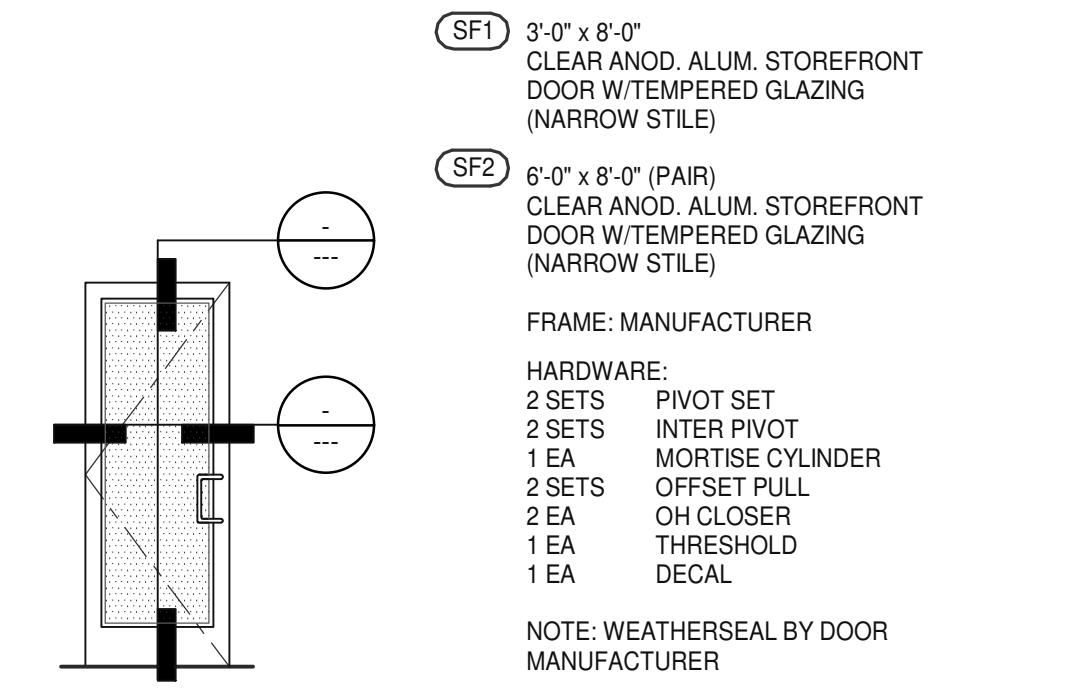
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**OVERALL FLOOR PLAN**



**DOOR TYPES**



**DOOR NOTES**

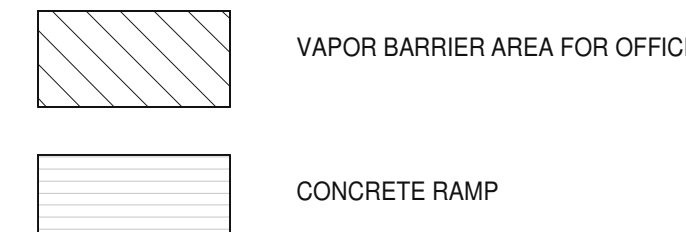
**BUTT HINGES:**  
SCS3 - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL.

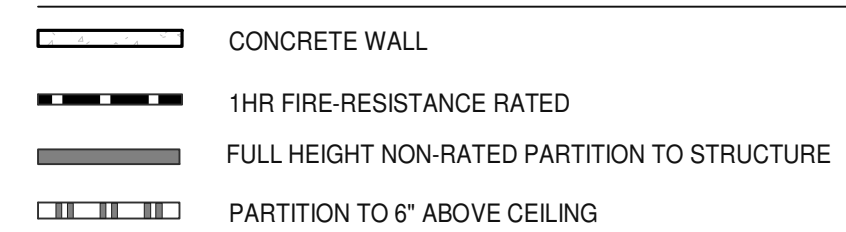
**STOPS:** TRIMCO W1200 SERIES DOOR STOP.

**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD.

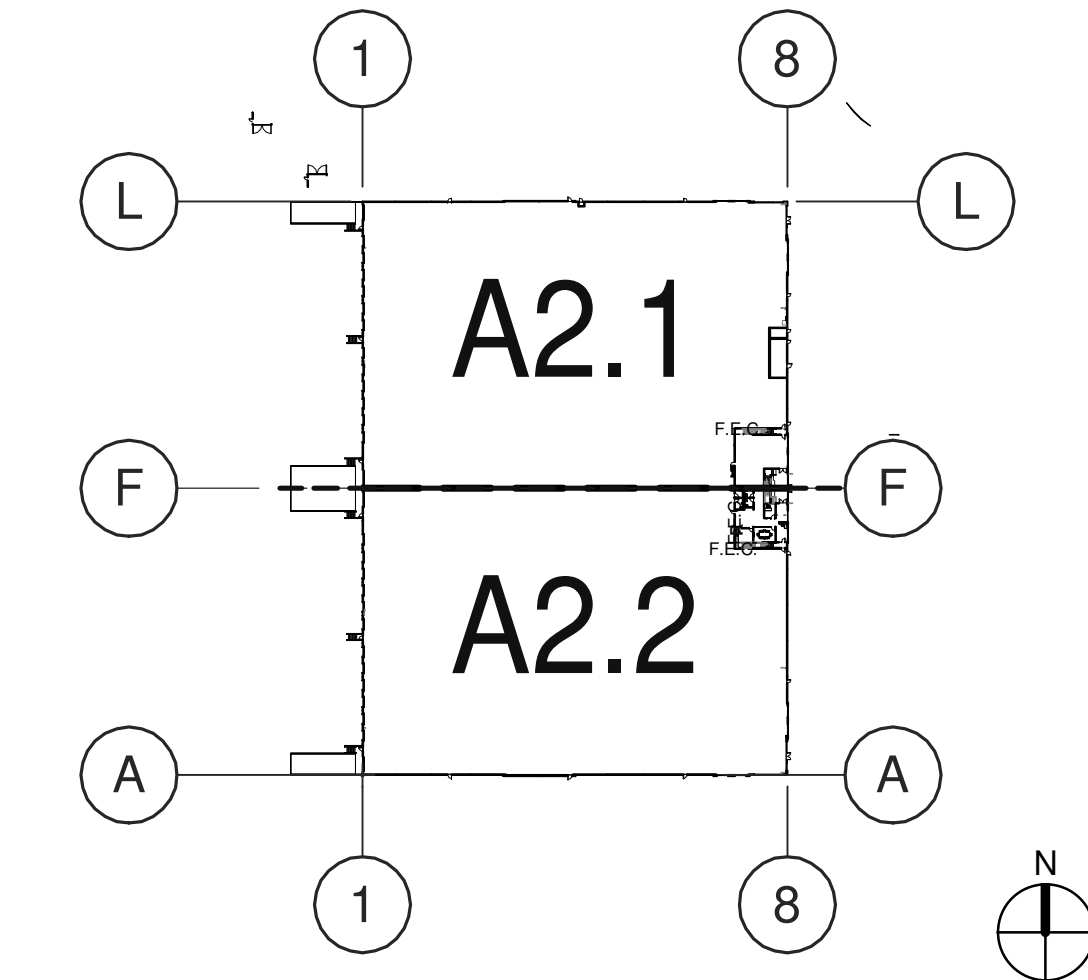
**LEGEND**



**WALL LEGEND**



**KEY PLAN**



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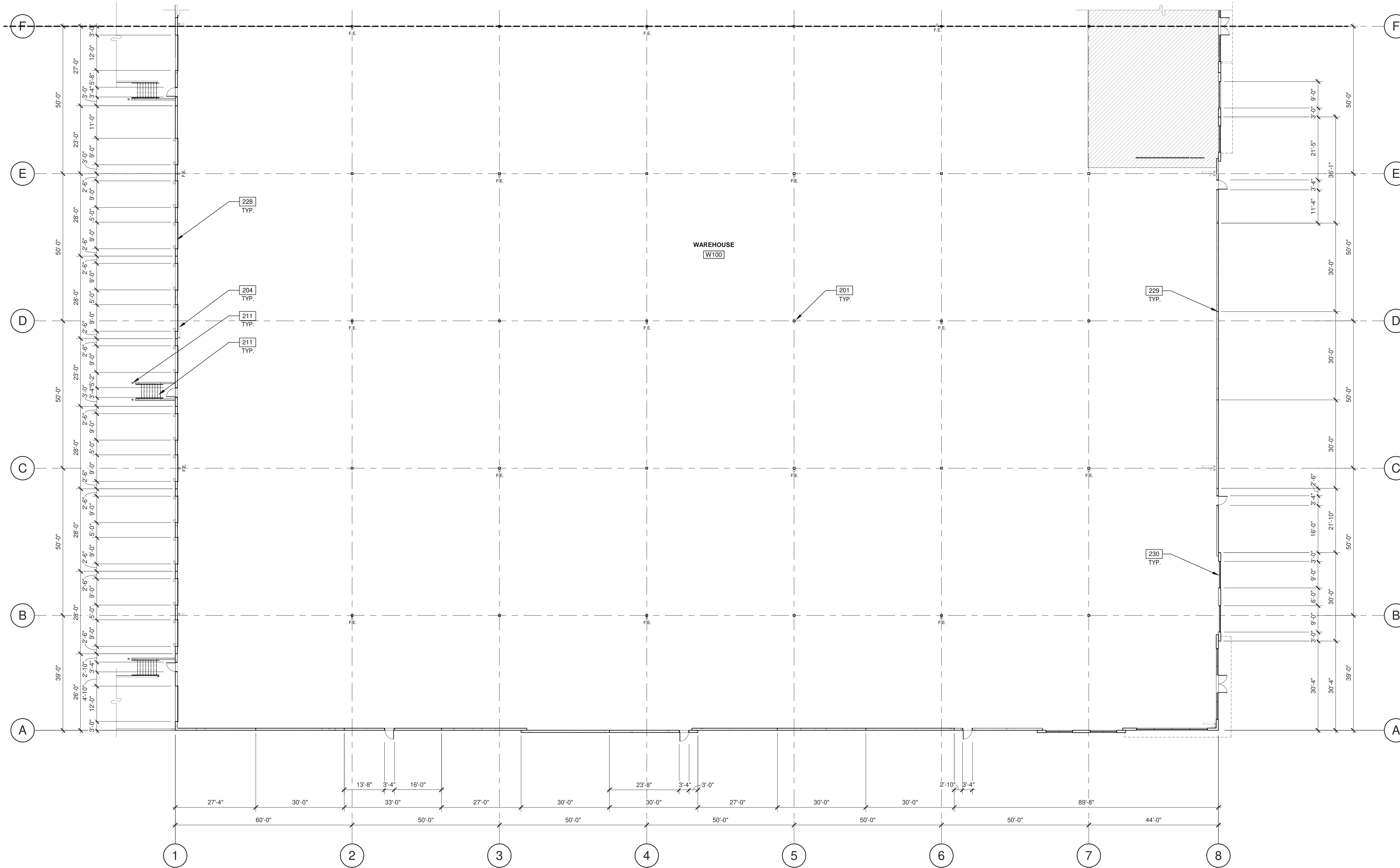
**QUA INDUSTRIAL**  
OTAY MESA ROAD  
SAN DIEGO, CALIFORNIA 92154

OVERALL FLOOR PLAN	
DATE	REMARKS

PA/PM:	Approver
DRAWN BY:	Author
JOB NO.:	SDG22-0039-01

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KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN, PAINT SAFETY YELLOW TO 10'-0" A.F.F.
- 204 PRIMARY AND SECONDARY ROOF DRAIN LEADERS, TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS. PROVIDE 48" HIGH STEEL GUARD.
- 211 EXTERIOR CONCRETE STAIR.
- 228 8'-0" W X 10'-0" H SECTIONAL OVERHEAD DOCK DOOR, FACTORY FINISHED. INSTALL SLIDE BOLT AND PULL ROPE ON RIGHT HAND SIDE OF DOOR AS VIEWED FROM INTERIOR.
- 229 CONCRETE WALL JOINT. SEE STRUCTURAL DRAWINGS.
- 230 THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM WITH 1" THICK GLAZING.

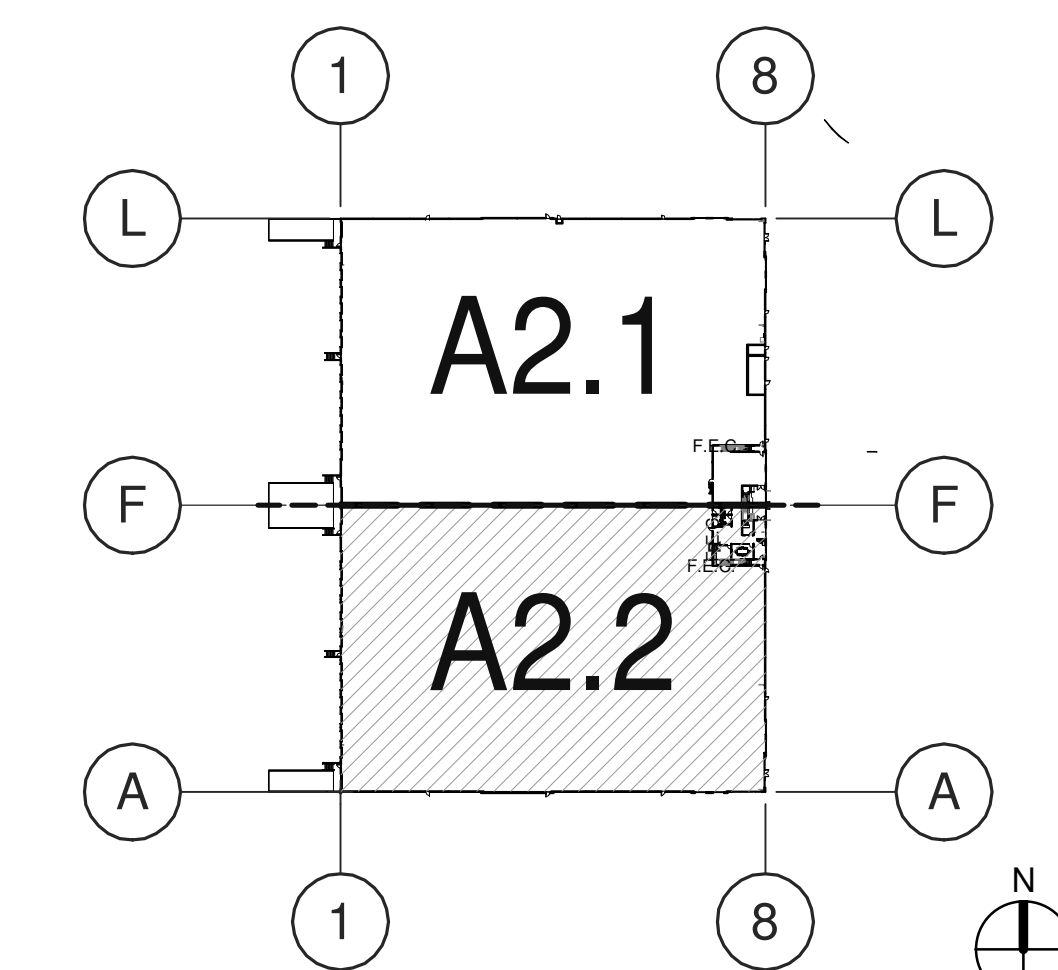
LEGEND

- VAPOR BARRIER AREA FOR OFFICE
- CONCRETE RAMP

WALL LEGEND

- CONCRETE WALL
- 1HR FIRE-RESISTANCE RATED
- FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
- PARTITION TO 6' ABOVE CEILING

KEY PLAN



PARTIAL FLOOR PLAN

SCALE: 1/16" = 1'-0"

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PARTIAL FLOOR PLAN	
DATE	REMARKS

PAPM: Approver  
 DRAWN BY: Author  
 JOB NO.: SDG22-0039-01

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**KEYNOTES:**

- 301 BUILT UP ROOFING OVER WOOD DECK.
- 303 PRIMARY AND SECONDARY DRAINS.
- 305 LINE OF STRUCTURAL FRAMING BELOW DECK (HIDDEN).
- 306 ROOF HATCH. VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
- 309 2'-6" HIGH PARAPET (MIN.) ABOVE ADJACENT ROOF. UPPER 18" SHALL BE OF NON COMBUSTIBLE MATERIALS.
- 310 SKYLIGHT.

**ABBREVIATIONS**

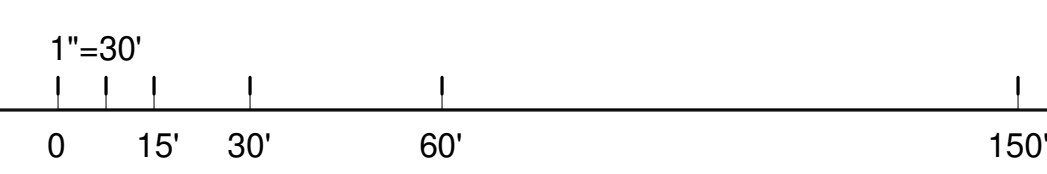
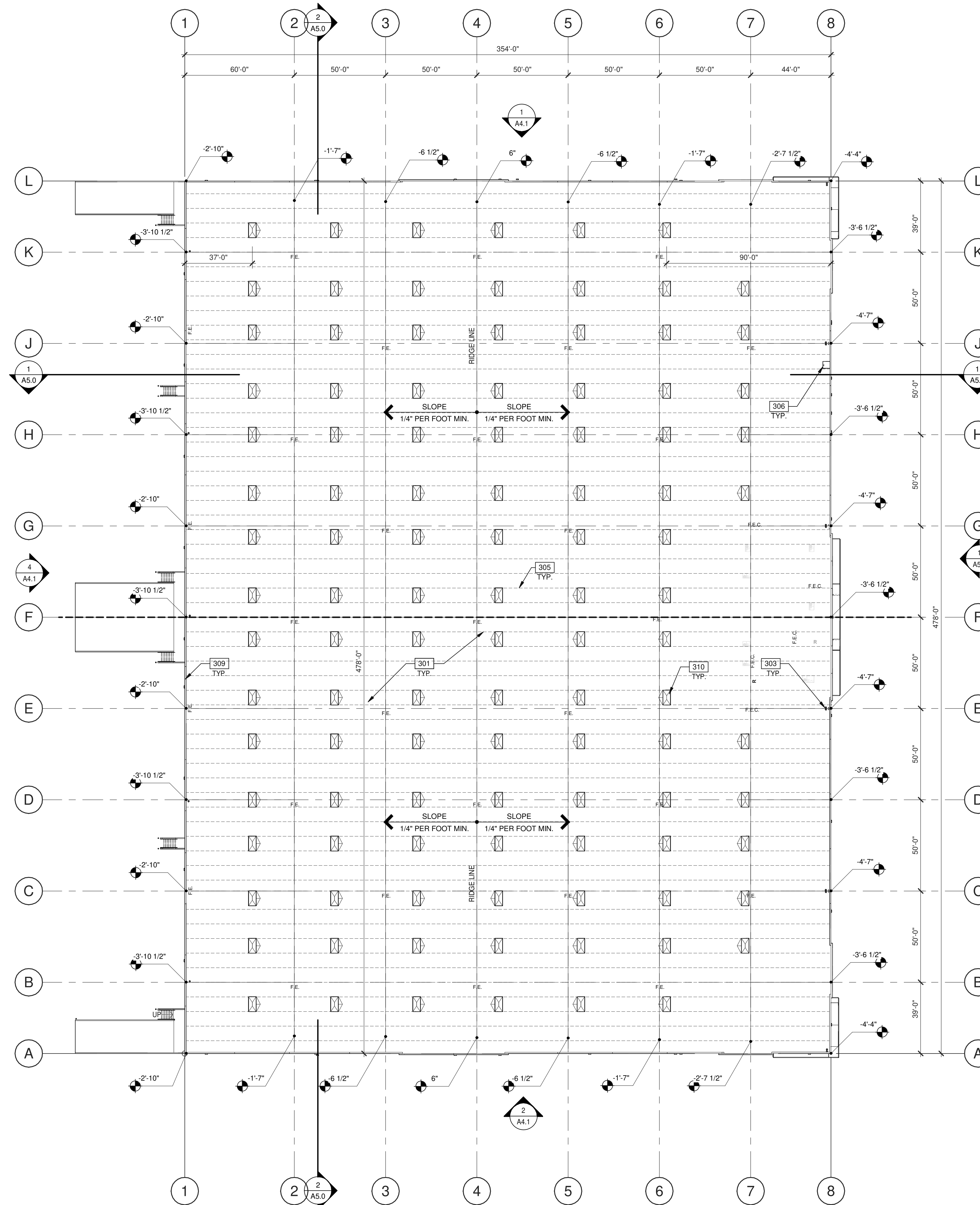
- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

**CALCULATIONS**

SKYLIGHTS:  
 SKYLIGHT SIZE: 48"x36"=32 S.F.  
 $\frac{168,350 \text{ S.F.} \times 2.0\%}{48 \times 36} = 3,367 \text{ S.F.}$   
 DESIRED: 106 SKYLIGHTS  
 PROVIDED: 106 SKYLIGHTS

**LEGEND**

- PRIMARY ROOF DRAIN
- SECONDARY ROOF DRAIN
- SKYLIGHT WITH BURGLAR BARS: (2%)  
COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.
- 4' x 8' SKYLIGHT BY SKYCO SKYLIGHTS, OR APPROVED EQUAL.
- PERFORMANCE DATA:  
 VLT: 0.60  
 U FACTOR: 0.50  
 SHGC: 0.50
- NOTE: ICC-ES REPORT #8837
- FUTURE SOLAR AREA (15%)



**ROOF PLAN**  
SCALE: 1" = 30'-0"

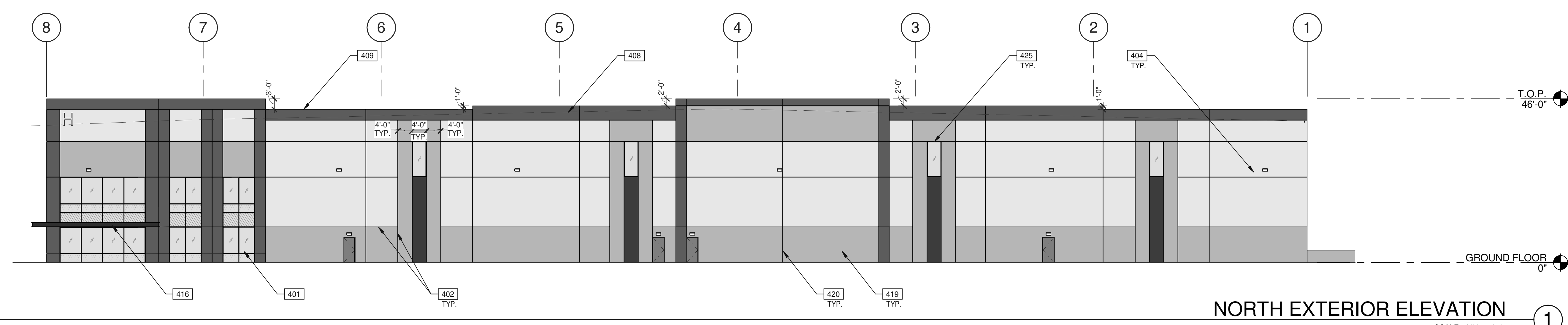
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ROOF PLAN	
DATE	REMARKS

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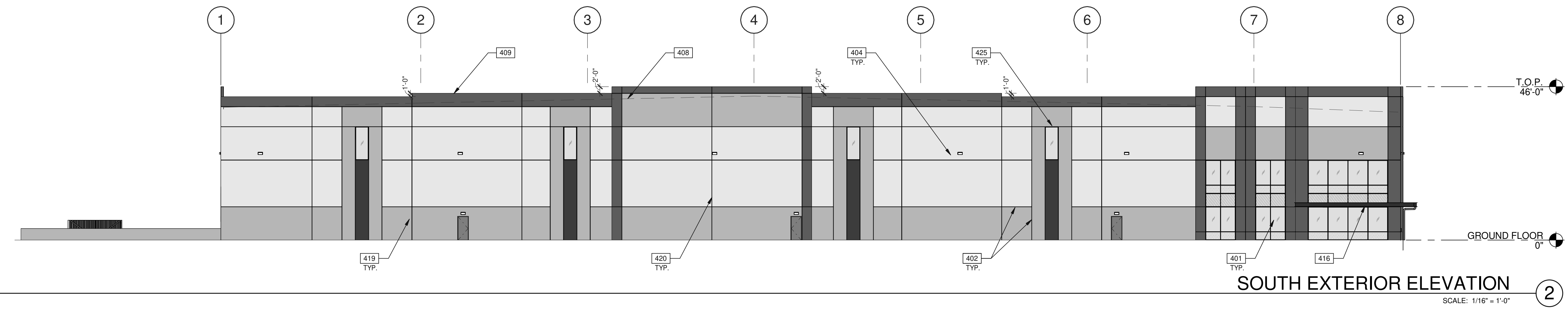
NORTH EXTERIOR ELEVATION 1  
SCALE: 1/16" = 1'-0"

- KEYNOTES:**
- 401 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
  - 402 3/4" V-REVEAL.
  - 404 WALL PACK MOUNTED.
  - 406 OVERFLOW DAYLIGHT.
  - 407 KNOX BOX, BLOCKOUT IN TILT PANEL TO INSTALL.
  - 408 LINE OF ROOF BEYOND.
  - 409 NOT USED.
  - 410 FINISH GRADE VARIES.
  - 411 SECONDARY SCUPPER.
  - 416 METAL CANOPY, PAINTED.
  - 419 CONCRETE WALL, PAINTED.
  - 420 CONCRETE WALL JOINT.
  - 422 DOCK BUMPER.
  - 425 4'-0" X 10'-0" CLERESTORY WINDOW.
  - 426 CONCRETE RAMP.
  - 427 CONCRETE FILLED EXTERIOR GALVANIZED STEEL BOLLARD, FACTORY PRIMED, PAINTED SAFETY YELLOW.

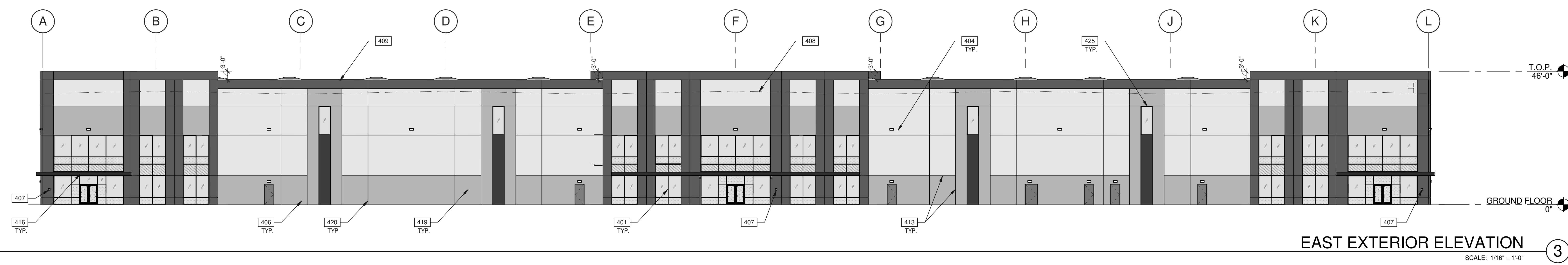
- LEGEND**
- GLASS:**
- VISION GLASS
  - SPANDREL GLASS
  - TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 VITRO SOLARBAN 60 (2) SOLARGRAY + CLEAR  
 U FACTOR = 0.25 AND SHGC = 0.25  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

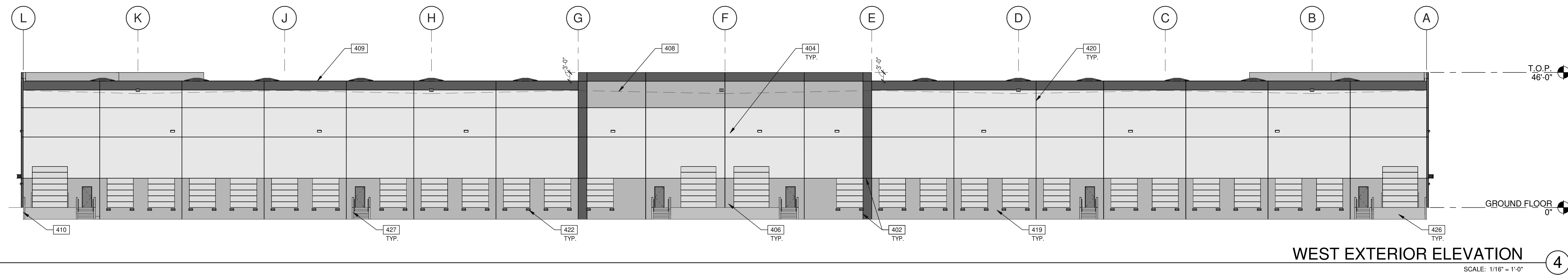
- COLORS:**  
 PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A SW 7058 - GRAY CLOUDS
  - B SW 6804 - DIGNITY BLUE (ACCENT)
  - C SW 7075 - WEB GRAY
  - D SW 7012 - CREAMY



SOUTH EXTERIOR ELEVATION 2  
SCALE: 1/16" = 1'-0"



EAST EXTERIOR ELEVATION 3  
SCALE: 1/16" = 1'-0"



WEST EXTERIOR ELEVATION 4  
SCALE: 1/16" = 1'-0"

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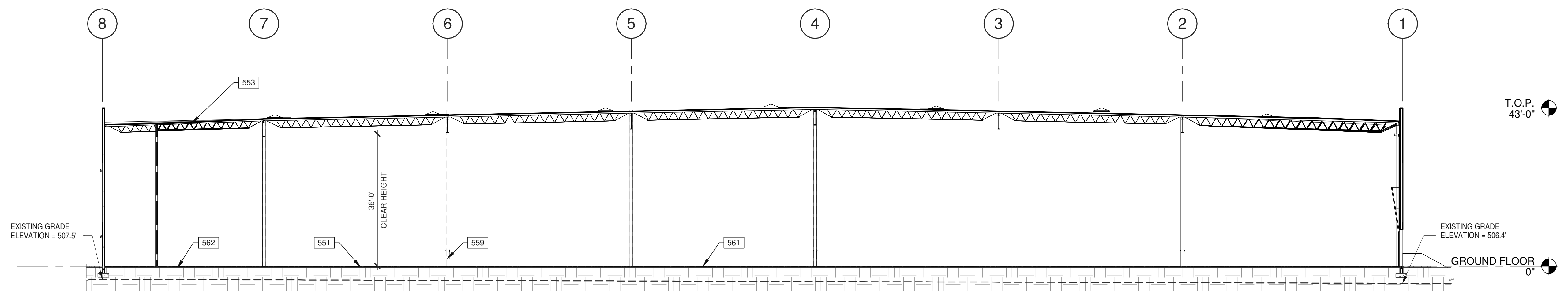
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 OTAY MESA ROAD  
 SAN DIEGO, CALIFORNIA 92154

**EXTERIOR ELEVATIONS**

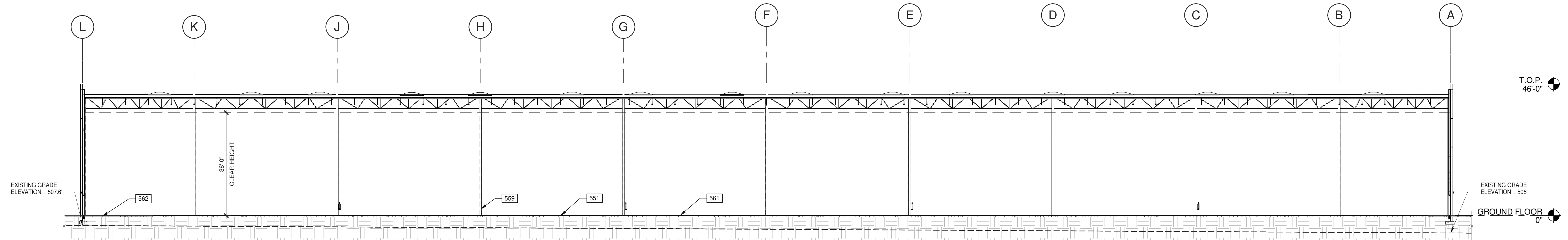
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**DRAWN BY:** Author  
**JOB NO.:** SDG22-0039-01

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**OVERALL BUILDING SECTION 1**  
SCALE: 1/16" = 1'-0"



**OVERALL BUILDING SECTION 2**  
SCALE: 1/16" = 1'-0"

**KEYNOTES:**

- 551 CONCRETE SLAB, PROVIDE VAPOR BARRIER OVER SAND PER SOILS REPORT. SEE FLOOR PLANS FOR EXTENT OF COVERAGE.
- 553 SINGLE-PLY 30 MILS. THICK ROOFING OVER WOOD DECK.
- 559 STRUCTURAL STEEL COLUMN, PAINT SAFETY YELLOW TO 12'-0" A.F.F.
- 561 PROPOSED FINISHED FLOOR AT 511.05'. SEE CIVIL DRAWINGS.
- 562 EXISTING GRADE. SEE CIVIL DRAWINGS.

**WALL LEGEND**

- CONCRETE WALL
- 1HR FIRE-RESISTANCE RATED
- FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
- PARTITION TO 6" ABOVE CEILING

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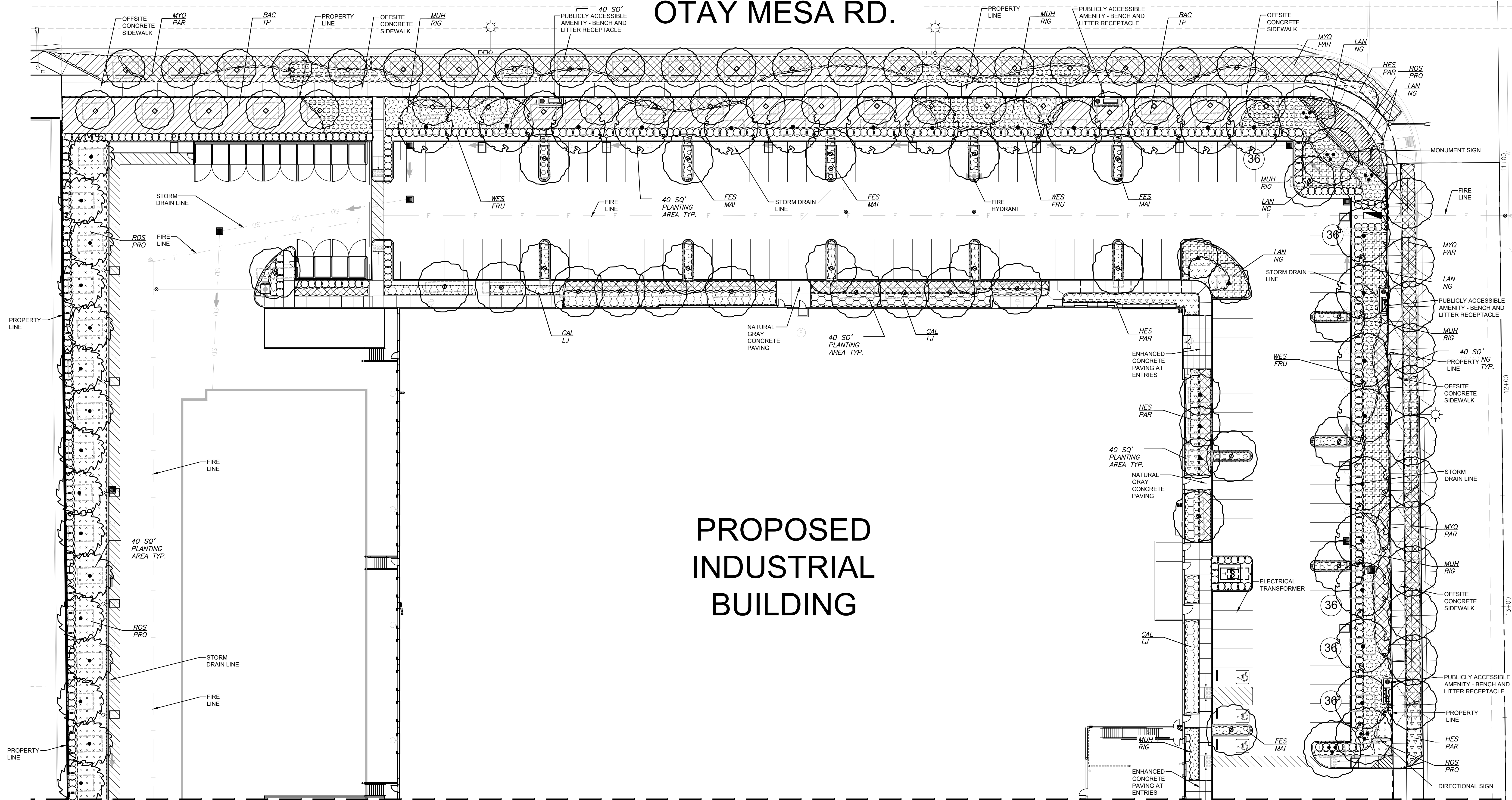
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BUILDING SECTIONS	
DATE	REMARKS

**PA/PM:** Approver  
**DRAWN BY:** Author  
**JOB NO.:** SDG22-0039-01

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**A5.0**

# OTAY MESA RD.



CONTINENTAL ST.

## PROPOSED INDUSTRIAL BUILDING

MATCHLINE - SEE SHEET L1.2

**STREET TREE CALCULATIONS**

OTAY MESA RD. STREETSCAPE L.F. = 557 L.F.  
 REQUIRED TREES = 19  
 PROVIDED TREES = 21

CONTINENTAL ST. STREETSCAPE L.F. = 543 L.F.  
 REQUIRED TREES = 19  
 PROVIDED TREES = 19

CAMINO MAQUILADORA STREETSCAPE L.F. = 579 L.F.  
 REQUIRED TREES = 20  
 PROVIDED TREES = 20

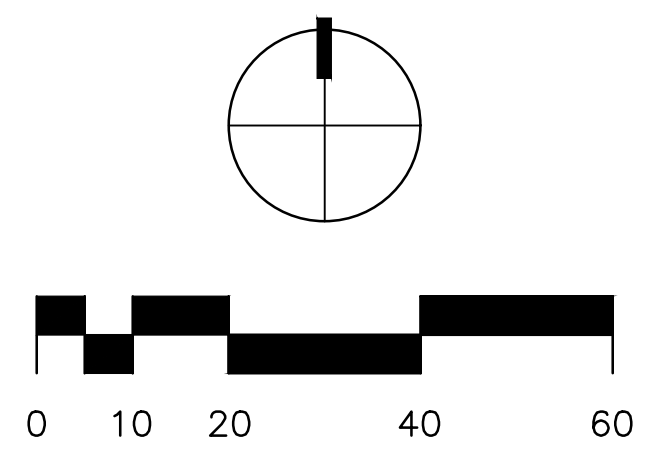
**LANDSCAPE CALCULATIONS**

ON-SITE:  
 TOTAL ON-SITE LANDSCAPE AREA: 50,460 SF.  
 TOTAL ON-SITE HARDSCAPE AREA: 6,307 SF.  
 TOTAL 24" BOX TREES: 56  
 TOTAL 36" BOX TREES: 58  
 TOTAL 48" BOX TREES: 14

OFF-SITE:  
 TOTAL OFFSITE LANDSCAPE AREA: 15,041 SF.  
 OFFSITE HARDSCAPE AREA: 10,582 SF.  
 TOTAL 24" BOX TREES: 60

**UTILITY LEGEND**

W — WATER LINE  
 SD — STORM DRAIN LINE  
 S — SEWER LINE  
 F — FIRE LINE



**MINIMUM TREE SEPARATION DISTANCE**

TRAFFIC SIGNALS / STOP SIGNS - 20 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)  
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
 DRIVEWAY (ENTRIES) - 10 FEET  
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

**MAINTENANCE NOTE**

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACE PER THE CONDITIONS OF THE PERMIT.

**CITY OF SAN DIEGO NOTES**

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(6).
- IN ALL LOCATIONS WHERE A FULL 5' WIDE PLANTING AREA CANNOT BE PROVIDED FOR TREES WITHIN THE VEHICULAR USE AREA, STRUCTURAL SOIL WILL BE PROVIDED UNDERNEATH THE PAVEMENT ADJACENT EACH PLANTING AREA CONSISTENTLY WITH APPLICATION STANDARDS.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

**PLANT SCHEDULE CONTINUED**

**FOREGROUND SHRUBS, GRASSES AND GROUNDCOVERS**

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	MATURE HEIGHT / SPREAD	QTY.
	FES MAI	FESTUCA MAIREI	ATLAS FESCUE	30" O.C.	5 GAL.	L	H: 18"-2' S: 18"-2'	278
	LAN NG	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	36" O.C.	5 GAL.	VL	H: 1'-1-1/2' S: 2'-4'	331
	ROS PRO	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	60" O.C.	5 GAL.	VL	H: 2' S: 4'-8"	349
<b>MIDGROUND SHRUBS AND GRASSES</b>								
	CAL LJ	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	36" O.C.	5 GAL.	L	H: 3' S: 5'	335
	HES PAR	HESPERALOE PARVIFOLIA 'BRAKE LIGHTS'	BRAKE LIGHTS RED YUCCA	36" O.C.	5 GAL.	VL	H: 3' S: 2'-3'	503
	MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	36" O.C.	5 GAL.	L	H: 4'-5' S: 4'-6"	853
<b>BACKGROUND SHRUBS</b>								
	WES FRU	WESTRINGIA FRUTICOSA	COAST ROSEMARY	36" O.C.	5 GAL.	L	H: 4'-6' S: 4'-5'	724
<b>SHRUBS AND GROUNDCOVERS (TRANSITIONAL BUFFER SPECIES)</b>								
	BAC TP	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	42" O.C.	5 GAL.	L	H: 2'-3' S: 4'-8"	1089
	MYO PAR	MYOPORUM PARVIFOLIUM	MYOPORIUM	36" O.C.	1 GAL.	L	H: 5'-8' S: 4'-6"	1877

WATER USE KEY:  
 VL = VERY LOW WATER USE, L = LOW WATER USE, M = MODERATE WATER USE, H = HIGH WATER USE. WATER USE STATED IS PER WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' (ALSO REFERRED TO AS WUCOLS IV) FOR THE COUNTY OF SAN DIEGO.

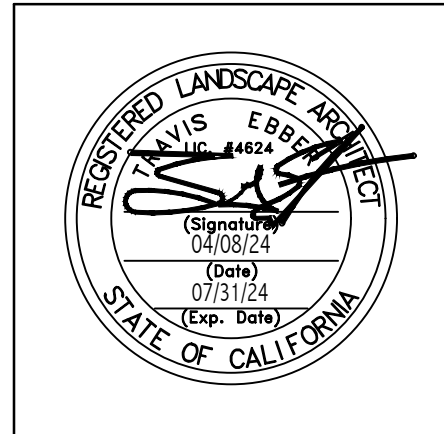
**PLANT SCHEDULE**

**TREES**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / FORM	HT. X SPRD. X CAL. (MIN)	WATER USE	MATURE HEIGHT / SPREAD	QTY.
	LAGERSTROEMIA INDICA 'DYNAMITE'	RED CRAPE MYRTLE	36" BOX / STD.	10'H X 4'W X 1-1/4" CAL.	M	H: 15'-20' S: 15'-20'	12
	(ALT) CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX / STD.	5'H X 4'W	L	H: 15'-20' S: 15'-20'	
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	48" BOX / MULTI-TRUNK	11'H X 5'W X 1-1/4" CAL.	VL	H: 15'-20' S: 20'-25'	14
	PINUS ELДАРICA	AFGHAN PINE	24" BOX / STD.	10'H X 5'W X 1-1/4" CAL.	VL	H: 30'-80' S: 15'-25'	40
	(ALT) PINUS HALEPENSIS	ALEPPO PINE	24" BOX / STD.	10'H X 5'W X 1-1/4" CAL.	L	H: 30'-60' S: 20'-40'	
	RHUS LANCEA	AFRICAN SUMAC	36" BOX / STD.	13'H X 6'W X 2" CAL.	L	H: 20'-30' S: 20'-35'	38
	(ALT) GEJERA PARVIFLORA	AUSTRALIAN WILLOW	36" BOX / STD.	14'H X 6'W X 2" CAL.	L	H: 30' S: 20'	
	QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	24" BOX / STD.	10'H X 4'W X 1-1/4" CAL.	VL	H: 20'-70' S: 20'-70'	18
	(ALT) QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	36" BOX / STD.	14'H X 6'W X 2" CAL.	VL	H: 20'-70' S: 20'-70'	8
	TRISTANIA CONFERTA	BRISBANE BOX	24" BOX / STD.	12'H X 5'W X 1-1/4" CAL.	M	H: 30'-45' S: 25'	42
	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX / STD.	11'H X 5'W X 1-1/4" CAL.	M	H: 25'-40' S: 15'-30'	19
	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	24" BOX / STD.	11'H X 5'W X 1-1/4" CAL.	L	H: 25' S: 20'	20

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 OTAY MESA ROAD  
 SAN DIEGO, CA 92154

**PRELIMINARY LANDSCAPE PLAN**

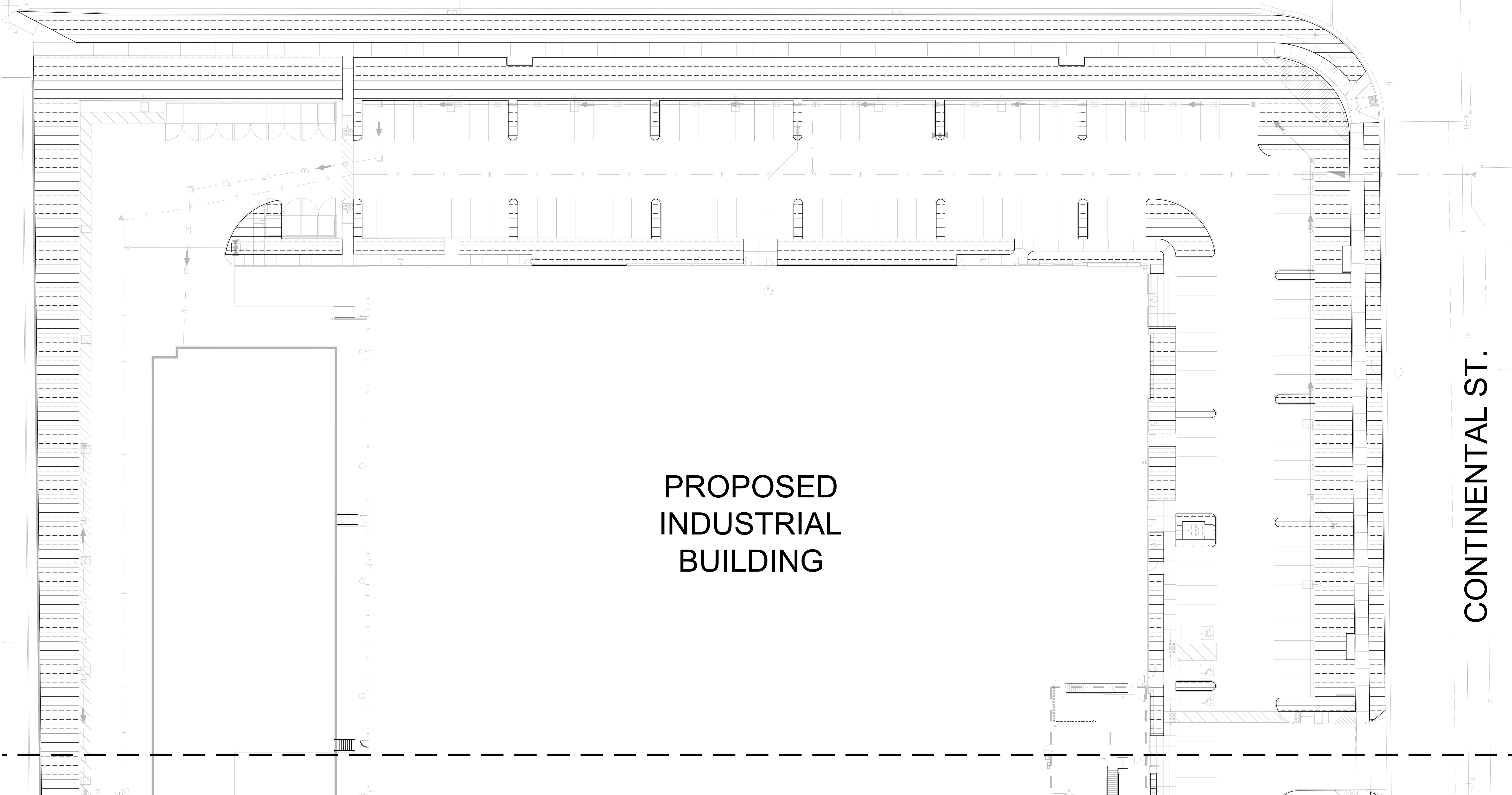
DATE	REMARKS

PA/PM: SWK  
 DRAWN BY: MCJ  
 JOB NO.: #23002

SHEET  
**L1.1**



# OTAY MESA RD.



## PROPOSED INDUSTRIAL BUILDING

CONTINENTAL ST.

MATCHLINE - SEE SHEET L1.2

DRIP IRRIGATION LEGEND					
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION	GPH	PSI	RADIUS	PREC. RATE
[Symbol]	NETAFIM - TLHCVXR-RW-5-12, TECHLINE "HCVXR" SERIES 17mm "RECYCLED WATER" PURPLE STRIPE DRIPLINE WITH PRESSURE COMPENSATING, ANTI SIPHON CHECK VALVE AND COPPER INFUSED ROOT INTRUSION PROTECTION EMITTERS. INSTALL DRIP TUBING @ 16" MAXIMUM ROW SPACING WITH TRIANGULAR SPACED EMITTER LAYOUT.	0.53	30	N/A	0.64
[Symbol]	NETAFIM - DRIPLINE CONNECTIONS SHALL BE MADE USING TECHLINE 17mm DRIPLINE INSERT FITTINGS. INSTALL STAINLESS STEEL CLAMPS ON FITTINGS FOR ANY SYSTEM THAT EXCEEDS 50 PSI.				
[Symbol]	RAIN BIRD - RD-12-S-P30-F-NP, 12" POP-UP DRIP SYSTEM COMBINATION FLUSH VALVE / DRIP INDICATOR. INSTALL WITH "GPH" IRRIGATION PRODUCTS MODEL #GDFN-R, SERIES FLUSH VALVE.				
[Symbol]	NETAFIM - TLAVRV, AIR / VACUUM RELIEF VALVE. INSTALL AT HIGHEST POINT OF DRIP ZONE.				

TREE BUBBLER IRRIGATION LEGEND					
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION	GPM	PSI	RADIUS	PREC. RATE
[Symbol]	RAIN BIRD - RD-12-S-P30-F-NP, W/ HUNTER MSBN-25Q, MULTI-STREAM BUBBLER NOZZLE, TWO (2) PER TREE.	25 (50)	30	1 FT	1.8

IRRIGATION ROTOR HEAD SPRINKLER LEGEND							
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION	FLOW RATE GPM			PSI	RADIUS	PREC. RATE
		Q	H	F			
[Symbol]	SHRUB ROTOR HEAD WITH CHECK VALVE AND PRESSURE REGULATION						
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-.50SR/H-1.0SR/F-2.0SR	.43	.90	1.7	35	16 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-.75SR/H-1.5SR/F-3.0SR	.68	1.3	2.7	35	20 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-1.5/H-2.5/F-5.0	1.4	2.1	3.5	35	25 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-2.0/H-3.0/F-6.0	1.7	2.7	5.6	35	30 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-2.5/H-4.0/F-8.0	2.1	3.5	7.0	35	35 FT	0.46

NOTE: ALL SPRAY HEAD BODIES SHALL HAVE FACTORY INSTALLED RECLAIMED WATER IDENTIFICATION CAP.

IRRIGATION EQUIPMENT LEGEND					
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION				
[Symbol]	P.O.C. POINT OF CONNECTION - 1" RECYCLED WATER IRRIGATION METER. VERIFY SIZE, LOCATION, AND STATIC WATER PRESSURE IN FIELD.				
[Symbol]	YARDNEY - SB2-P-F-80, 2" (PURPLE) BASKET STRAINER WITH FLANGED CONNECTIONS AND 80 MESH FILTER ELEMENT. STRAINER ASSEMBLY SHALL BE INSTALLED WITHIN A V.I.T. STRONG BOX SBBC-30CR SMOOTH TOUCH ENCLOSURE INSTALLED ON A POURED IN PLACE CONCRETE PAD.				
[Symbol]	FEBCO - 825YA SERIES, 1-1/2" R/P BACKFLOW PREVENTION ASSEMBLY. R/P ASSEMBLY SHALL BE INSTALLED WITHIN A V.I.T. STRONG BOX SBBC-30CR BACKFLOW DEVICE ENCLOSURE INSTALLED ON A POURED IN PLACE CONCRETE PAD, PROVIDE PADLOCK AND TWO SETS OF KEYS.				
[Symbol]	SUPERIOR - 3200-RW, SERIES 1-1/2" NORMALLY CLOSED, RECYCLED WATER, MASTER CONTROL VALVE WITH PURPLE HANDLE.				
[Symbol]	FSF-150C, 1-1/2" FLOW SENSOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. WIRE TO CONTROLLER WITH "RAIN MASTER" EV-CAB-SEN CABLE INSTALLED WITHIN 1-1/4" PVC SCH. 40 GRAY ELECTRICAL CONDUIT WITH PULL BOXES LOCATED EVERY 250' AND AT ALL CROSSINGS. NO SPLICES ALLOWED. FLOW SENSOR IS SUPPLIED AS PART OF I.T.S. CONTROLLER ASSEMBLY.				
[Symbol]	EZ-FLO SYSTEMS - EZ-005-FX-CBV-xxx-FERTI-MAXX STARTER-25, 5 GALLON FERTILIZING SYSTEM WITH 25 LB BAG STARTER FERTILIZER.				
[Symbol]	SPEARS - 3621-xxxxSR, THREADED, TRUE UNION 2000 STANDARD PVC BALL VALVE, LINE SIZE.				
[Symbol]	RAIN BIRD - PESB-NP-HAN-PRS-D (1" OR 1-1/2") SERIES PLASTIC, RECYCLED WATER, PRESSURE REGULATING, REMOTE CONTROL VALVE WITH PURPLE HANDLE, SIZE AS SHOWN.				
[Symbol]	RAIN BIRD - PESB-NP-HAN (1" OR 1-1/2") SERIES PLASTIC RECYCLED WATER DRIP REMOTE CONTROL VALVE ASSEMBLY WITH PURPLE HANDLE, SIZE AS SHOWN. INSTALLED WITH RAIN BIRD MODEL # LCRBY1x0-D, (1" OR 1-1/2") LARGE CAPACITY DISC FILTER AND PSI-M40X-100 INLINE PRESSURE REGULATOR.				
[Symbol]	INSTALL 1" VALVE WITH 1" LCRBY100-D FILTER FOR DEMANDS (1 - 13) GPM. INSTALL 1-1/2" VALVE WITH 1-1/2" LCRBY100-D FILTER FOR DEMANDS (14 - 35) GPM.				
[Symbol]	SIGNATURE - 7645, 1" NON-ROTABLE, ACME THREAD QUICK COUPLER VALVE WITH PURPLE LOCKING COVER FOR RECYCLED WATER USE.				

IRRIGATION PIPE & WIRE LEGEND	
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION
[Symbol]	NON-PRESSURE LATERAL LINE (3/4" - 2") SCH. 40 PURPLE "RECYCLED WATER" PVC PIPE WITH WORDS "RECYCLED WATER-DO NOT DRINK" INSTALLED 12" BELOW GRADE.
[Symbol]	PRESSURE MAINLINE (1-1/2" SCH. 40) (2" - 2-1/2" CLASS 315) PURPLE "RECYCLED WATER" PVC PIPE WITH WORDS "RECYCLED WATER-DO NOT DRINK" INSTALLED 24" BELOW GRADE. INSTALL WITH 3" WIDE "RECYCLED WATER" METALLIC DETECTABLE WARNING TAPES.
[Symbol]	T. CHRISTY - TA-DT-3-PRW, 3" WIDE DETECTABLE PURPLE "RECYCLED WATER" METALLIC BACKED UNDERGROUND WARNING TAPE. INSTALL WARNING TAPE CONTINUOUSLY ALONG MAINLINE ROUTING, ONE (1) LOCATED IMMEDIATELY ON TOP OF MAINLINE ATTACHED EVERY 5' AND ONE (1) LOCATED 12" ABOVE MAINLINE.
[Symbol]	PIPE SLEEVE - PURPLE "RECYCLED WATER" SCH 40 PVC PIPE WITH WORDS "RECYCLED WATER-DO NOT DRINK". EXTEND 12" BEYOND EDGE OF HARDSCAPE. SLEEVE SHALL BE MINIMUM TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED, MINIMUM 2" SIZE.
[Symbol]	WIRE SLEEVE - PURPLE "SCH 40 PVC PIPE EXTEND 12" BEYOND EDGE OF HARDSCAPE. SLEEVE SHALL BE MINIMUM TWICE THE DIAMETER OF WIRE BUNDLE CARRIED, MINIMUM 2" SIZE.
[Symbol]	IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)
[Symbol]	3M - DBRY-6 DIRECT BURIAL WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS.

RECYCLED WATER IRRIGATION LEGEND	
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION
[Symbol]	RECYCLED WATER SIGNS, INSTALL QUANTITY AND LOCATIONS PER PER THE EASTERN MUNICIPAL WATER DISTRICT WATER RECYCLING REQUIREMENTS.
[Symbol]	AS APPROVED - CONTROLLER SHALL HAVE RECYCLED WATER PLACARD INSTALLED AS REQUIRED.
[Symbol]	T. CHRISTY'S - (PURPLE) "RECYCLED WATER" VALVE I.D. TAG INSTALL WITHIN EACH VALVE BOX TYP.
[Symbol]	AS APPROVED - ALL VALVE BOXES SHALL BE (PURPLE) "RECYCLED WATER" AND MARKED AS REQUIRED FOR RECYCLED WATER USE.

NOTE: ALL EQUIPMENT SHALL COMPLY WITH EMWD AND CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) REGULATIONS FOR RECYCLED WATER USE.

Appendix A Water Efficient Landscape Worksheet								
Reference Evapotranspiration (ET <sub>0</sub> )	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE) %	ETAF (PF*IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) *	
54.7	0.45	Non-Residential						
<b>Regular Landscape Areas</b>								
1- Shrub Drip (LOW)	0.2	Drip	0.81	0.25	65501	16173	548494	
2- Tree Bubblers (LOW)	0.4	Bubbler	0.77	0.52	1088	565	19168	
3- Tree Bubblers (MOD)	0.6	Bubbler	0.77	0.78	568	443	15010	
<b>Totals</b>						67157	17181	582672
<b>Special Landscape Areas</b>								
SLA-1	N/A				1	0	0	
<b>Totals</b>						0	0	0
<b>ETWU Total Gallons</b>							582,672	
<b>Maximum Allowed Water Allowance (MAWA) Gallons</b>							1,024,903	

\*Hydrozones / Planting Description e.g.  
 1) Drip Low water use planting  
 2) Spray Moderate water use planting  
 3) Tree Bubblers Moderate water use

\*Irrigation Method  
 1) Overhead Spray  
 2) Drip  
 3) Rotary  
 4) Rotor  
 5) Bubblers

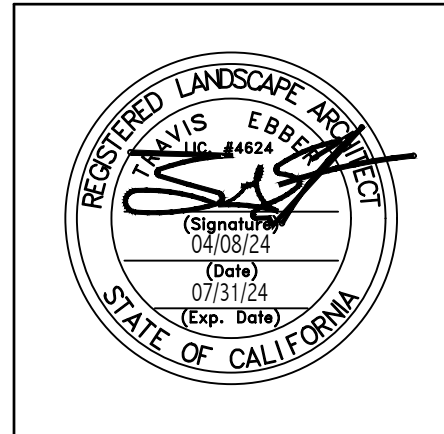
\*Irrigation Efficiency  
 1) 0.73 for Spray Head  
 2) 0.81 for Drip  
 3) 0.73 Rotary  
 4) 0.73 Rotor  
 5) 0.77 Bubblers

\*ETAF Calculations  
 Regular Landscape Areas  
 Total ETAF x Area = 17181  
 Total Area = 67157  
 Average ETAF = 0.26

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas  
 Total ETAF x Area = 17181 (B+D)  
 Total Area = 67157 (A+C)  
 Average ETAF = 0.26 (B+D) / (A+C)

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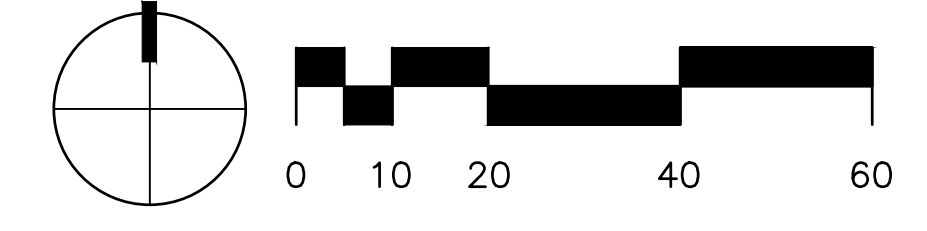
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 RIDGELA.COM

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 SAN DIEGO, CA 92154

**PRELIMINARY IRRIGATION PLAN**

DATE	REMARKS

PA/PM: SWK  
 DRAWN BY: MCJ  
 JOB NO.: #3002

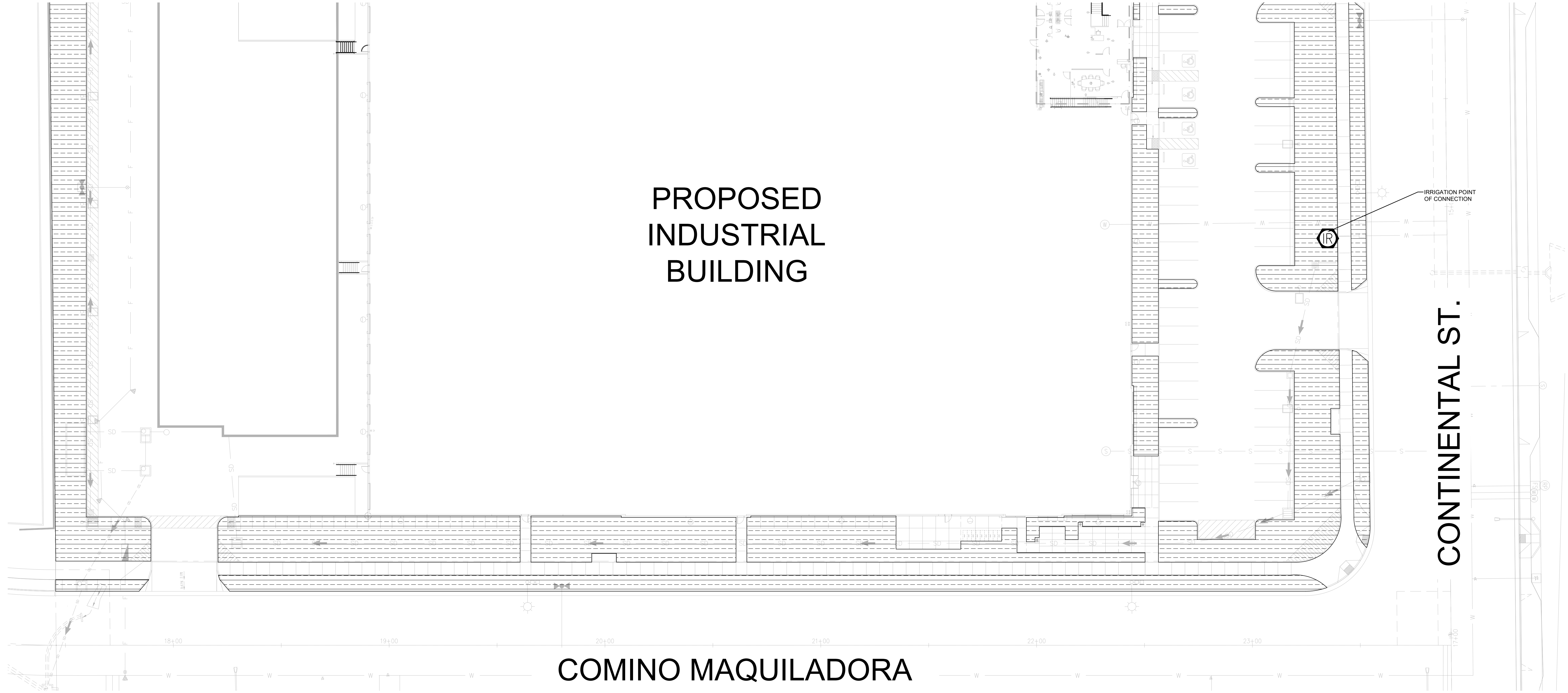


MATCHLINE - SEE SHEET L1.1

# PROPOSED INDUSTRIAL BUILDING

# COMINO MAQUILADORA

CONTINENTAL ST.



DRIP IRRIGATION LEGEND					
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION	GPH	PSI	RADIUS	PREC. RATE
[Symbol]	NETAFIM - TLHCVR-RW-5-12, TECHLINE "HCVR" SERIES 17mm "RECYCLED WATER" PURPLE STRIPE DRIFLINE WITH PRESSURE COMPENSATING, ANTI SIPHON CHECK VALVE AND COPPER INFUSED ROOT INTRUSION PROTECTION EMITTERS. INSTALL DRIP TUBING @ 16" MAXIMUM ROW SPACING WITH TRIANGULAR SPACED EMITTER LAYOUT.	0.53	30	N/A	0.64
[Symbol]	NETAFIM - DRIFLINE CONNECTIONS SHALL BE MADE USING TECHLINE 17mm DRIFLINE INSERT FITTINGS. INSTALL STAINLESS STEEL CLAMPS ON FITTINGS FOR ANY SYSTEM THAT EXCEEDS 50 PSI.				
[Symbol]	RAIN BIRD - RD-12-S-P30-F-NP, 12" POP-UP DRIP SYSTEM COMBINATION FLUSH VALVE / DRIP INDICATOR. INSTALL WITH "GPH" IRRIGATION PRODUCTS MODEL #GDFN-R, SERIES FLUSH VALVE.				
[Symbol]	NETAFIM - TLAVR, AIR / VACUUM RELIEF VALVE. INSTALL AT HIGHEST POINT OF DRIP ZONE.				

TREE BUBBLER IRRIGATION LEGEND					
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION	GPM	PSI	RADIUS	PREC. RATE
[Symbol]	RAIN BIRD - RD-12-S-P30-F-NP, W/ HUNTER MSBN 250, MULTI-STREAM BUBBLER NOZZLE, TWO (2) PER TREE.	25 (.50)	30	1 FT	1.8

IRRIGATION ROTOR HEAD SPRINKLER LEGEND							
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION	FLOW RATE GPM	PSI	RADIUS	PREC. RATE		
Q	H	F					
SHRUB ROTOR HEAD WITH CHECK VALVE AND PRESSURE REGULATION							
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-.50SR/H-1.0SR/F-2.0SR	.43	.90	1.7	35	16 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-.75SR/H-1.5SR/F-3.0SR	.68	1.3	2.7	35	20 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-1.5 / H-2.5 / F-5.0	1.4	2.1	3.5	35	25 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-2.0 / H-3.0 / F-6.0	1.7	2.7	5.6	35	30 FT	0.46
[Symbol]	HUNTER - PGP-12-CV-R, ULTRA SERIES, 12" POP-UP SHRUB ROTOR HEAD W/ NOZZLES Q-2.5 / H-4.0 / F-8.0	2.1	3.5	7.0	35	35 FT	0.46

NOTE: ALL SPRAY HEAD BODIES SHALL HAVE FACTORY INSTALLED RECLAIMED WATER IDENTIFICATION CAP.

IRRIGATION EQUIPMENT LEGEND					
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION				
[Symbol]	P.O.C. POINT OF CONNECTION - 1" RECYCLED WATER IRRIGATION METER. VERIFY SIZE, LOCATION, AND STATIC WATER PRESSURE IN FIELD.				
[Symbol]	YARDNEY - SB2-P-F-80, 2" (PURPLE) BASKET STRAINER WITH FLANGED CONNECTIONS AND 80 MESH FILTER ELEMENT. STRAINER ASSEMBLY SHALL BE INSTALLED WITHIN A V.I.T. STRONG BOX SBBC-30CR SMOOTH TOUCH ENCLOSURE INSTALLED ON A POURED IN PLACE CONCRETE PAD.				
[Symbol]	FEBCO - 825YA SERIES, 1-1/2" R/P BACKFLOW PREVENTION ASSEMBLY. R/P ASSEMBLY SHALL BE INSTALLED WITHIN A V.I.T. STRONG BOX SBBC-30CR BACKFLOW DEVICE ENCLOSURE INSTALLED ON A POURED IN PLACE CONCRETE PAD, PROVIDE PADLOCK AND TWO SETS OF KEYS.				
[Symbol]	SUPERIOR - 3200-RW, SERIES 1-1/2" NORMALLY CLOSED, RECYCLED WATER, MASTER CONTROL VALVE WITH PURPLE HANDLE.				
[Symbol]	FSF-150C, 1-1/2" FLOW SENSOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. WIRE TO CONTROLLER WITH "RAIN MASTER" EV-CAB-SEN CABLE INSTALLED WITHIN 1-1/4" PVC SCH. 40 GRAY ELECTRICAL CONDUIT WITH PULL BOXES LOCATED EVERY 250' AND AT ALL CROSSINGS, NO SPLICES ALLOWED, FLOW SENSOR IS SUPPLIED AS PART OF I.T.S. CONTROLLER ASSEMBLY.				
[Symbol]	EZ-FLO SYSTEMS - EZ-005-FX-CBV-xxx-FERTI-MAXX STARTER-25, 5 GALLON FERTILIZING SYSTEM WITH 25 LB BAG STARTER FERTILIZER.				
[Symbol]	SPEARS - 3621-xxxSR, THREADED, TRUE UNION 2000 STANDARD PVC BALL VALVE, LINE SIZE.				
[Symbol]	RAIN BIRD - PESB-NP-HAN-PRS-D (1" OR 1-1/2") SERIES PLASTIC, RECYCLED WATER, PRESSURE REGULATING, REMOTE CONTROL VALVE WITH PURPLE HANDLE. SIZE AS SHOWN.				
[Symbol]	RAIN BIRD - PESB-NP-HAN, (1" OR 1-1/2") SERIES PLASTIC RECYCLED WATER DRIP REMOTE CONTROL VALVE ASSEMBLY WITH PURPLE HANDLE. SIZE AS SHOWN. INSTALLED WITH RAIN BIRD MODEL # LCRBY1x0-D, (1" OR 1-1/2") LARGE CAPACITY DISC FILTER AND PSI-M40X-100 INLINE PRESSURE REGULATOR. INSTALL 1" VALVE WITH 1" LCRBY100-D FILTER FOR DEMANDS (1 - 13) GPM. INSTALL 1-1/2" VALVE WITH 1-1/2" LCRBY150-D FILTER FOR DEMANDS (14 - 35) GPM.				
[Symbol]	SIGNATURE - 7645, 1" NON-POTABLE, ACME THREAD QUICK COUPLER VALVE WITH PURPLE LOCKING COVER FOR RECYCLED WATER USE.				

IRRIGATION PIPE & WIRE LEGEND	
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION
[Symbol]	NON-PRESSURE LATERAL LINE (3/4" - 2") SCH. 40 PURPLE "RECYCLED WATER" PVC PIPE WITH WORDS "RECYCLED WATER-DO NOT DRINK" INSTALLED 12" BELOW GRADE.
[Symbol]	PRESSURE MAINLINE (1-1/2" SCH. 40) (2" - 2-1/2" CLASS 315) PURPLE "RECYCLED WATER" PVC PIPE WITH WORDS "RECYCLED WATER-DO NOT DRINK" INSTALLED 24" BELOW GRADE. INSTALL WITH 3" WIDE "RECYCLED WATER" METALLIC DETECTABLE WARNING TAPES.
[Symbol]	T. CHRISTY'S - TA-DT-3-PRW, 3" WIDE DETECTABLE PURPLE "RECYCLED WATER" METALLIC BACKED UNDERGROUND WARNING TAPE. INSTALL WARNING TAPE CONTINUOUSLY ALONG MAINLINE ROUTING, ONE (1) LOCATED IMMEDIATELY ON TOP OF MAINLINE ATTACHED EVERY 5' AND ONE (1) LOCATED 12" ABOVE MAINLINE.
[Symbol]	PIPE SLEEVE - PURPLE "RECYCLED WATER" SCH 40 PVC PIPE WITH WORDS "RECYCLED WATER-DO NOT DRINK", EXTEND 12" BEYOND EDGE OF HARDSCAPE. SLEEVE SHALL BE MINIMUM TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED, MINIMUM 2" SIZE.
[Symbol]	WIRE SLEEVE - "PURPLE" SCH 40 PVC PIPE EXTEND 12" BEYOND EDGE OF HARDSCAPE. SLEEVE SHALL BE MINIMUM TWICE THE DIAMETER OF WIRE BUNDLE CARRIED, MINIMUM 2" SIZE.
[Symbol]	IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)
[Symbol]	3M - DBRY-6 DIRECT BURIAL WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS.

RECYCLED WATER IRRIGATION LEGEND	
SYMBOL	MANUFACTURE / MODEL NO. / DESCRIPTION
[Symbol]	RECYCLED WATER SIGNS. INSTALL QUANTITY AND LOCATIONS PER PER THE EASTERN MUNICIPAL WATER DISTRICT WATER RECYCLING REQUIREMENTS.
[Symbol]	AS APPROVED - CONTROLLER SHALL HAVE RECYCLED WATER PLACARD INSTALLED AS REQUIRED.
[Symbol]	T. CHRISTY'S - (PURPLE) "RECYCLED WATER" VALVE I.D. TAG INSTALL WITHIN EACH VALVE BOX TYP.
[Symbol]	AS APPROVED - ALL VALVE BOXES SHALL BE (PURPLE) "RECYCLED WATER" AND MARKED AS REQUIRED FOR RECYCLED WATER USE.

NOTE: ALL EQUIPMENT SHALL COMPLY WITH EMWD AND CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) REGULATIONS FOR RECYCLED WATER USE.

Appendix A Water Efficient Landscape Worksheet									
Reference Evapotranspiration (ET <sub>e</sub> )	Hydrozone # / Planting Description *	Plant Factor (PF)	Irrigation Method <sup>3</sup>	Irrigation Efficiency (IE) <sup>4</sup>	ETAF (PF/IE)	Non-Residential Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>6</sup>	
0.45									
<b>Regular Landscape Areas</b>									
1- Shrub Drip (LOW)	0.2	Drip	0.81	0.25	0.25	65501	16173	548494	
2- Tree Bubblers (LOW)	0.4	Bubbler	0.77	0.52	1088	565	565	19168	
3- Tree Bubblers (MOD)	0.6	Bubbler	0.77	0.78	568	443	443	15010	
<b>Totals</b>							67157	17181	582672
<b>Special Landscape Areas</b>									
SLA-1	N/A					1	0	0	
<b>Totals</b>								0	0
<b>ETWU Total Gallons *</b>								582,672	
<b>Maximum Allowed Water Allowance (MAWA) Gallons *</b>								1,024,903	

\* Hydrozone<sup>1</sup> / Planting Description e.g. 1) Drip Low water use planting  
2) Spray Moderate water use planting  
3) Tree Bubblers Moderate water use

\* Irrigation Method  
1) Overhead Spray  
2) Drip  
3) Rotary  
4) Rotary  
5) Bubbler

\* Irrigation Efficiency  
1) 0.73 for Spray Head  
2) 0.81 for Drip  
3) 0.73 Rotary  
4) 0.73 Rotary  
5) 0.77 Bubbler

\* ETWU (Annual Gallons Required) = (ET<sub>e</sub> x LA) + ((ETAF x LA) x SLA)  
Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year. LA is the total regular landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas	Total ETAF x Area
Total ETAF x Area	17181
Total Area	67157
Average ETAF	0.26

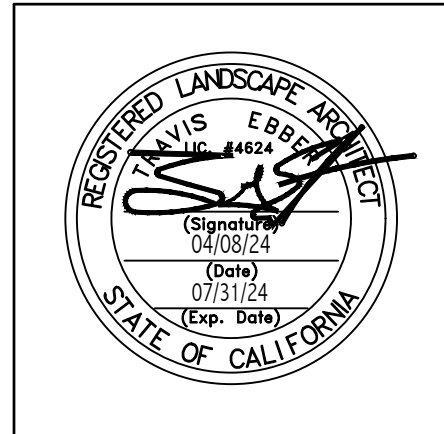
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)
Total Area	67157 (A+C)
Average ETAF	0.26 (B+D) ÷ (A+C)

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ARCHITECTURE CIVIL ENGINEERING  
PLANNING INTERIORS  
BUILDING MEASUREMENT

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San Diego, CA 92121  
P 858.538.7277



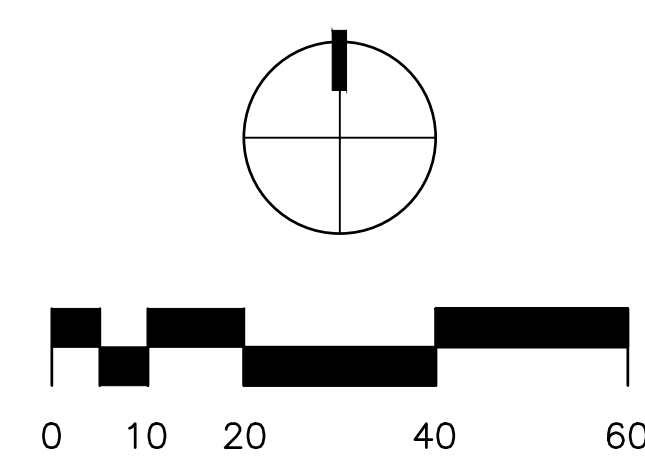
**QJA INDUSTRIAL**  
8841 RESEARCH DR  
SUITE 200  
IRVINE - CA 92618  
949.887.1323  
RIDGELA.COM

**QJA INDUSTRIAL**  
OTAY MESA ROAD  
SAN DIEGO, CA 92154

PRELIMINARY IRRIGATION PLAN	
DATE	REMARKS

PA/PM:	SWK
DRAWN BY:	MCJ
JOB NO.:	#23002

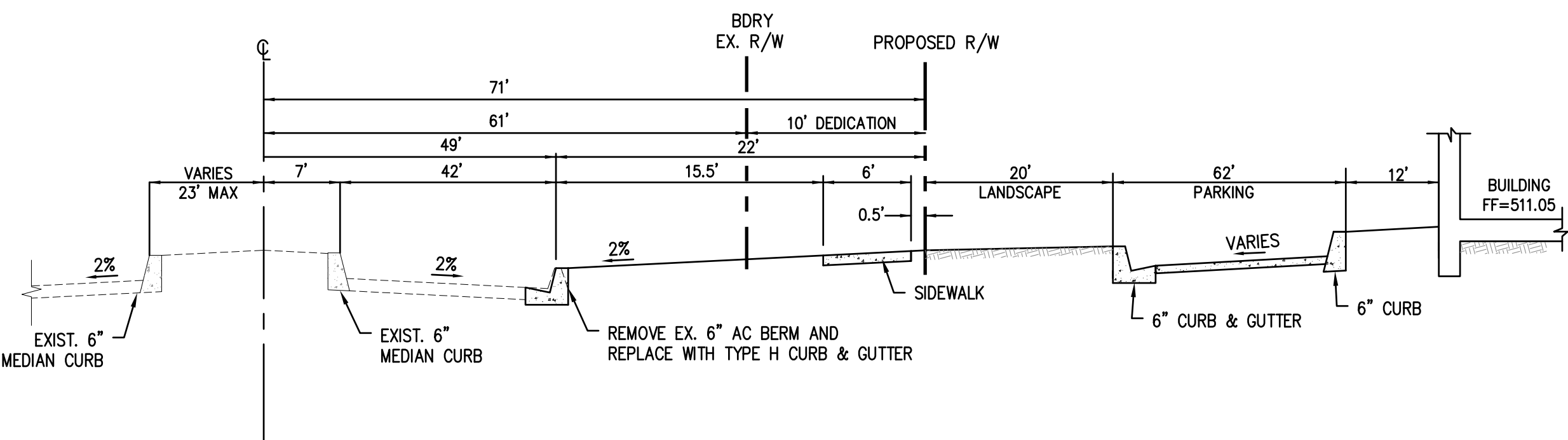
SHEET  
**L2.2**



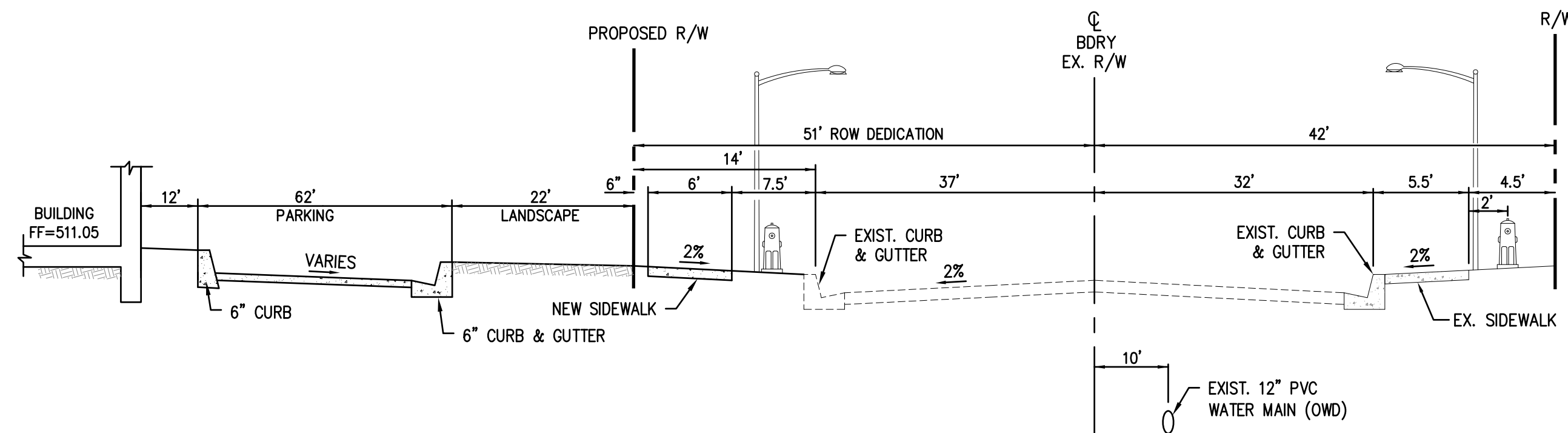




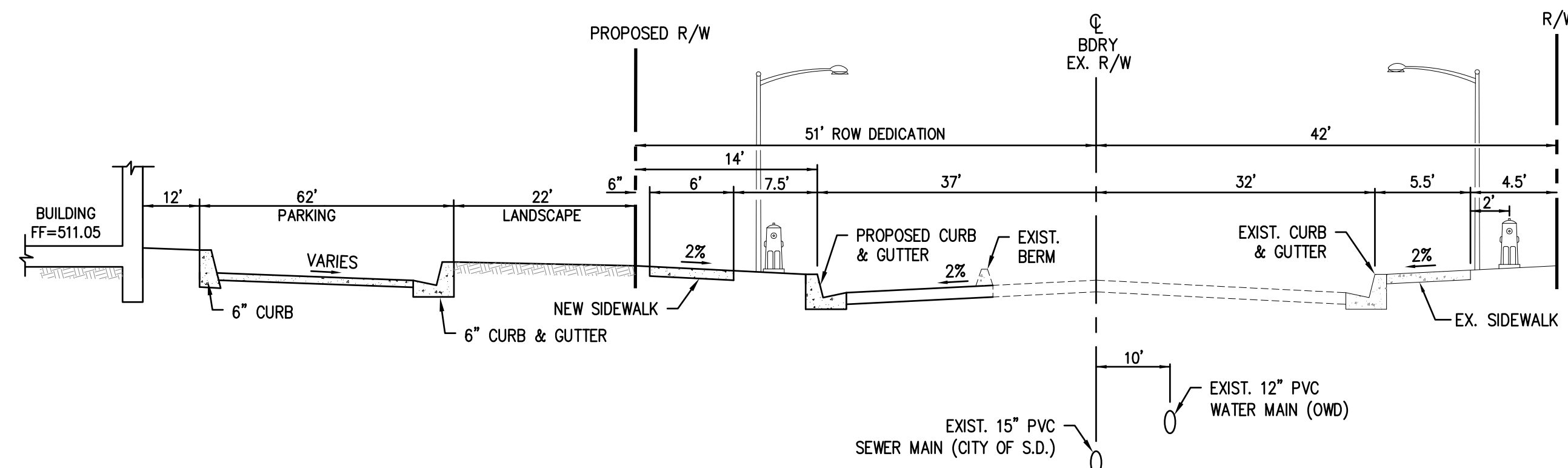




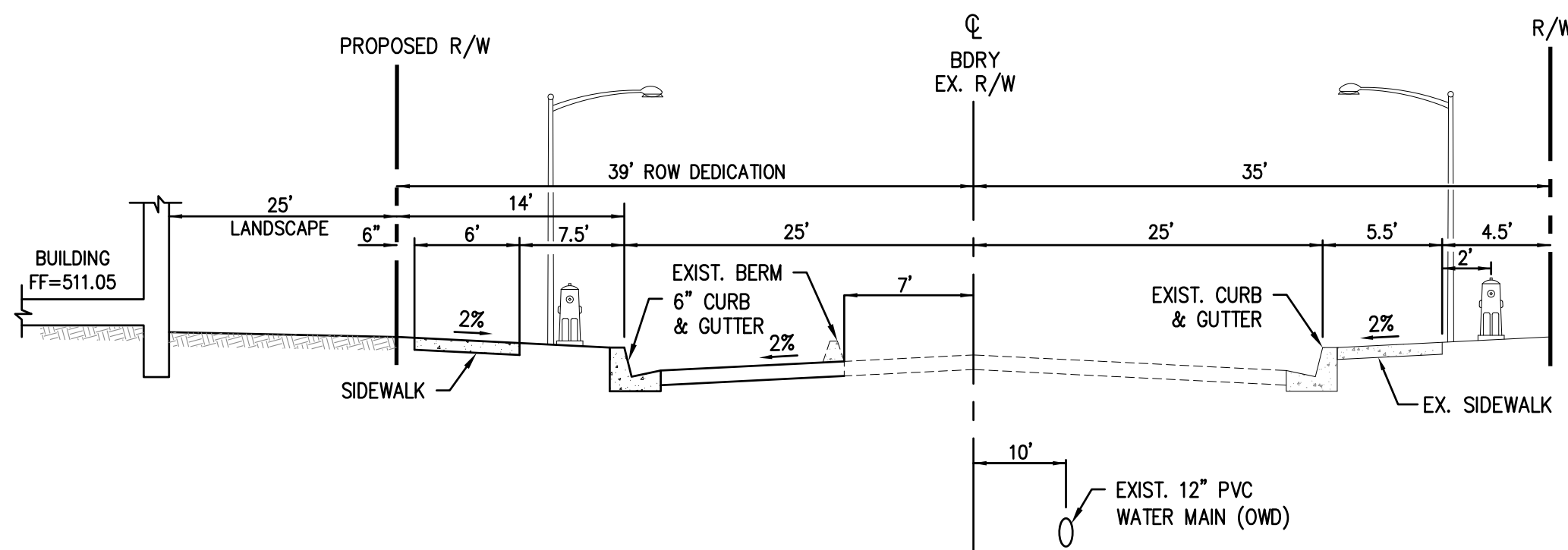
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TYPICAL SECTION ~ OTAY MESA ROAD  
NO SCALE



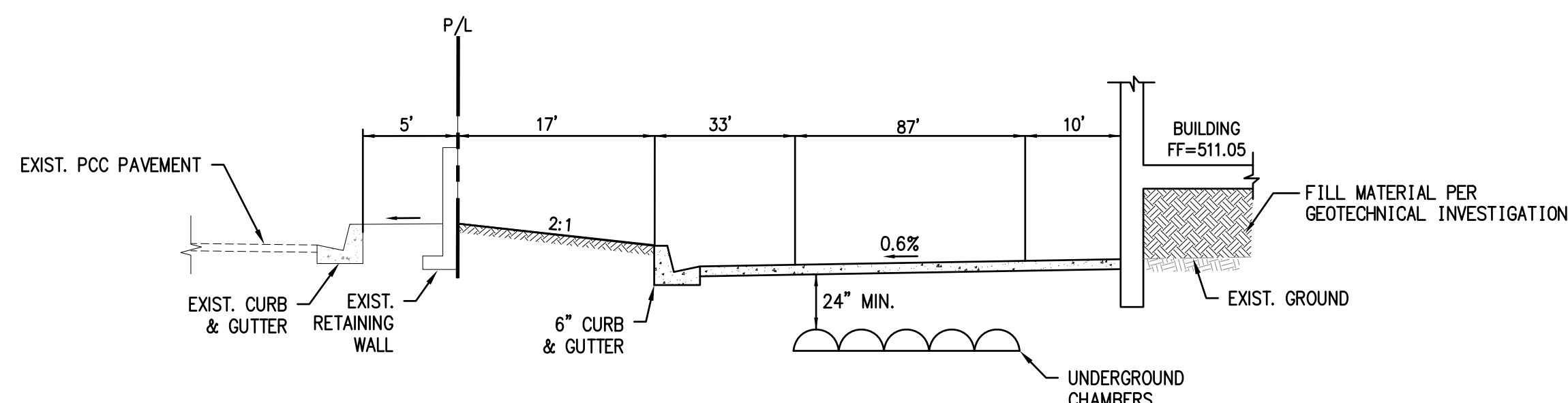
**SECTION "B-B"**  
TYPICAL SECTION ~ CONTINENTAL STREET  
STATION 11+88+50  
NO SCALE



**SECTION "C-C"**  
TYPICAL SECTION ~ CONTINENTAL STREET  
STATION 15+86.00  
NO SCALE



**SECTION "D-D"**  
TYPICAL SECTION ~ CAMINO MAQUILADORA  
NO SCALE



**SECTION "E-E"**  
NO SCALE

**GRADING QUANTITIES**

GRADED AREA 7.86 ACRES ; % TOTAL SITE TO BE GRADED 92.0 [%]  
CUT QUANTITIES 9,458 CY ; MAX DEPTH OF CUT: 6.5 [FT]  
FILL QUANTITIES 33,954 CY ; MAX DEPTH OF FILL 5.9 [FT]  
IMPORT SOIL 24,496 CY

EARTHWORK QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR SHOULD VERIFY QUANTITIES PRIOR TO BIDDING.

**LEGAL DESCRIPTION**

PARCEL 2 AS SHOWN ON PARCEL MAP RECORDED IN BOOK OF PARCEL MAPS AT PAGE 6564, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1977.

EXCEPTING THEREFROM THAT PORTION DESCRIBED IN A DEED TO THE CITY OF SAN DIEGO RECORDED JUNE 26, 1977 AS INSTRUMENT NO. 97-300227.

**ASSESSOR PARCEL NUMBER**

646-102-01-00

**TOPOGRAPHY SOURCE**

AERIAL TOPOGRAPHY BY: K&S ENGINEERING, INC.  
7801 MISSION CENTER COURT, SUITE 100  
SAN DIEGO, CALIFORNIA 92108  
DATE FLOWN: MAY 26, 2022

**BENCHMARK**

THE NORTHEAST BRASS PLUG LOCATED IN THE TOP OF THE CURB AT THE INTERSECTION OF AIRWAY ROAD AND BRITANNIA BOULEVARD. ELEVATION = 498.428 DATUM: MEAN SEA LEVEL.

**EASEMENT NOTE**

THERE ARE NO EXISTING OR PROPOSED EASEMENTS WITHIN THE PROPOSED BOUNDARY. THE EXISTING EASEMENTS ARE NOTED ON SHEETS C1.2 AND C1.3 AND FALL OUTSIDE OF THE ULTIMATE BOUNDARY LIMITS.

**FIRE NOTE**

PROJECT WILL FOLLOW 2022 CALIFORNIA FIRE CODE REQUIREMENTS FROM CHAPTER 33 FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.

**QUA INDUSTRIAL**  
OTAY MESA ROAD  
SAN DIEGO, CA 92154

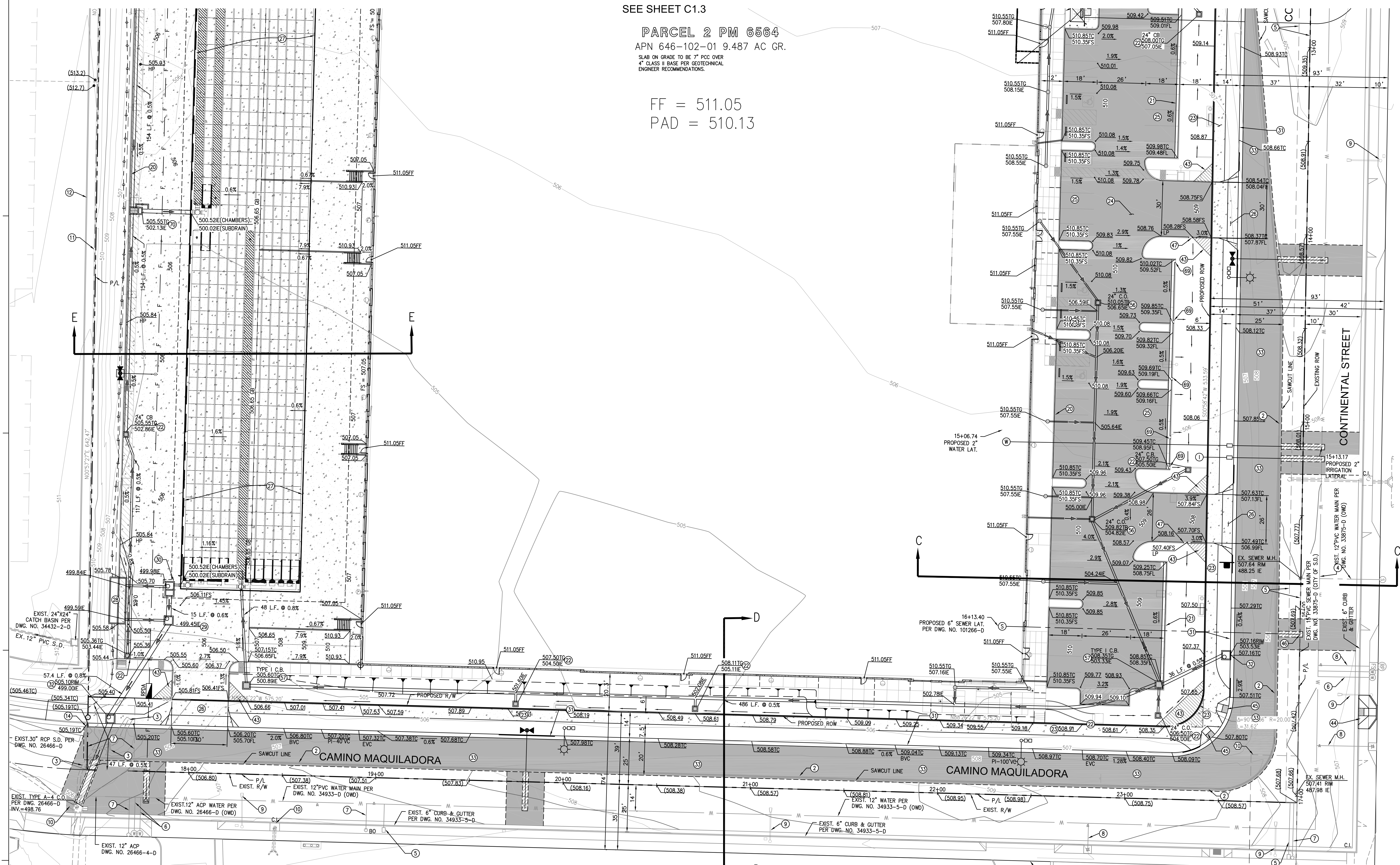
SHEET TITLE	
DATE	REMARKS

PA/PM:	G.M.D.
DRAWN BY:	D.C.
JOB NO.:	22-022

SHEET  
**C1.1**

PARCEL 2 PM 6564  
APN 646-102-01 9.487 AC GR.  
SLAB ON GRADE TO BE 7" P.C.C. OVER  
4" CLASS II BASE PER GEOTECHNICAL  
ENGINEER RECOMMENDATIONS.

FF = 511.05  
PAD = 510.13



PRIVATE CONSTRUCTION NOTES

- (1) EXIST. 6" AC BERM TO BE REMOVED.
(2) EXIST. STORM DRAIN, HEADWALL AND SPILLWAY TO BE REMOVED.
(3) EXIST. SEWER LATERAL TO REMAIN
(4) EXIST. 2" A.V. ASSEMBLY PER WAS WB-01 TO REMAIN
(5) EXIST. 2" WATER SERVICE PER WAS WS-02 TO REMAIN
(6) EXIST. 2" B.O. ASSEMBLY PER WAS WB-01 TO REMAIN
(7) EXIST. FIRE HYDRANT ASSEMBLY PER WAS WF-01 & WF-04 TO REMAIN
(8) EXIST. STREET LIGHT TO REMAIN
(9) EXIST. STORM DRAIN TO REMAIN
(10) EXIST. RETAINING WALL
(11) EXIST. 6" CURB
(12) JOIN EXISTING CURB, GUTTER
(13) PROPOSED PRIVATE 6" CURB PER SDG-150
(14) PROPOSED PRIVATE TYPE G CURB & GUTTER PER SDG-151
(15) INSTALL 24" X 24" PRECAST CONCRETE GRATED INLET
(16) PROPOSED CONCRETE SIDEWALK PER SDG-155
(17) MAIN DRIVE AISLE PAVEMENT TO BE 3" A.C. OVER 14" AGGREGATE BASE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. FOR REFERENCE ONLY.
(18) PARKING PAVEMENT TO BE 3" A.C. OVER 10" AGGREGATE BASE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. FOR REFERENCE ONLY.
(19) PROPOSED CONCRETE DRIVEWAY PER SDG-163. SEE DETAIL ON SHEET 10.
(20) PROPOSED PRIVATE STORMTECH CHAMBERS
(21) PROPOSED MODULAR WETLAND UNIT
(22) PROPOSED TYPE A STORM DRAIN CLEANOUT PER D-09
(23) PROPOSED TYPE H CURB & GUTTER PER SDG-151
(24) PROPOSED PUBLIC CURB INLET PER SDD-116 AND SDG-110.
(25) INSTALL A.C. PAVING PER SCHEDULE J SDG-113
(26) SITE CORNER VISIBILITY TRIANGLES PER MUNICIPAL CODE 113.0273. AT DRIVEWAYS THE DIMENSIONS ARE 10' X 10'. AT STREET INTERSECTIONS THE DIMENSIONS ARE 25' X 25'.
(27) PROPOSED CURB RAMP PER SDG-133
(28) PROPOSED DUAL CURB RAMPS PER SDG-134. SEE DETAIL ON SHEET 10.
(29) PROPOSED 6" SEWER LATERAL PER SDS-105.
(30) PROPOSED 4" CURB OPENING.
(31) LOADING DOCK PAVEMENT TO BE 8" P.C.C. OVER 8" CLASS II AGGREGATE BASE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. FOR REFERENCE ONLY.

EASEMENT NOTES

- (32) AN EASEMENT FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED JULY 22, 1953 AS INSTRUMENT NO. 98966 IN BOOK 4930, PAGE 330 OF O.R. IN FAVOR OF SDG&E.
(33) AN EASEMENT FOR DRAINAGE FACILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 8, 1993 AS INSTRUMENT NO. 1993-011784 OF O.R. IN FAVOR OF CITY OF SAN DIEGO. AN EASEMENT VACATION WILL BE PREPARED DURING FINAL ENGINEERING.
(34) BUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM OTAY MESA ROAD HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED JUNE 26, 1997 AS INSTRUMENT NO. 1997-300227 OF O.R.
(35) AN EASEMENT FOR SEWER FACILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 15, 2009 AS INSTRUMENT NO. 2009-0388421 OF O.R.

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
REGISTERED PROFESSIONAL ENGINEERS
STATE OF CALIFORNIA

QUA INDUSTRIAL
OTAY MESA ROAD
SAN DIEGO, CA 92154

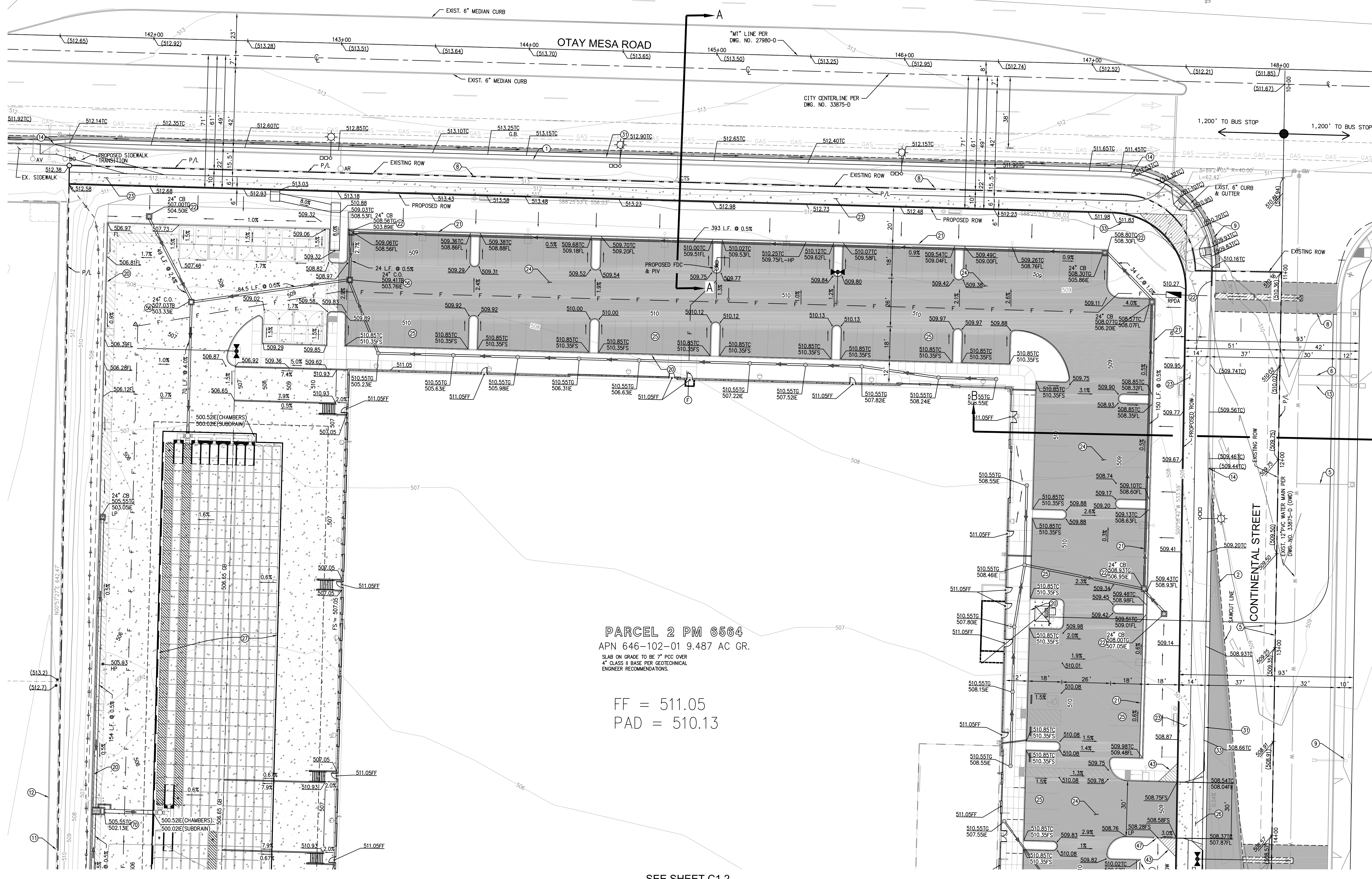
SHEET TITLE
REMARKS
DATE
PAJPM: G.M.D.
DRAWN BY: D.C.
JOB NO.: 22-022

SHEET
C1.2
SCALE: 1"=20'

K&S ENGINEERING, INC.
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7801 Mission Center Court, Suite 100 San Diego, CA 92108
(619) 296-5565 Fax: (619) 296-5564

DATE	REMARKS

PA/PM:	G.M.D.
DRAWN BY:	D.C.
JOB NO.:	22-022



**PARCEL 2 PM 6564**  
APN 646-102-01 9.487 AC GR.  
SLAB ON GRADE TO BE 7" PCC OVER  
4" CLASS II BASE PER GEOTECHNICAL  
ENGINEER RECOMMENDATIONS.

FF = 511.05  
PAD = 510.13

SEE SHEET C1.2

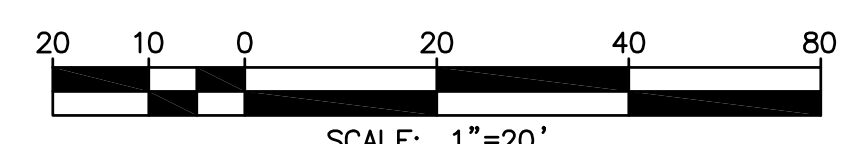
**PRIVATE CONSTRUCTION NOTES**

- ① EXIST. 6" AC BERM PER DWG. NO. 26466-D TO BE REMOVED AND REPLACE WITH 6" TYPE H CURB & GUTTER
- ② EXIST. 6" AC BERM TO BE REMOVED
- ③ EXIST. 2" A.V. ASSEMBLY PER WAS WB-01 TO REMAIN
- ④ EXIST. 2" WATER SERVICE PER WAS WS-02 TO REMAIN
- ⑤ EXIST. FIRE HYDRANT ASSEMBLY PER WAS WF-01 & WF-04 TO REMAIN
- ⑥ EXIST. STREET LIGHT TO REMAIN
- ⑦ EXIST. RETAINING WALL
- ⑧ EXIST. 6" CURB
- ⑨ EXIST. 2" IRRIGATION SERVICE TO REMAIN
- ⑩ JOIN EXISTING CURB, GUTTER
- ⑪ PROPOSED PRIVATE 6" CURB PER SDG-150
- ⑫ PROPOSED PRIVATE TYPE G CURB & GUTTER PER SDG-151
- ⑬ INSTALL 24" X 24" PRECAST CONCRETE GRATED INLET
- ⑭ PROPOSED CONCRETE SIDEWALK PER SDG-155

- ⑮ MAIN DRIVE AISLE PAVEMENT TO BE 3" A.C. OVER 14" AGGREGATE BASE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. FOR REFERENCE ONLY.
- ⑯ PARKING PAVEMENT TO BE 3" A.C. OVER 10" AGGREGATE BASE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. FOR REFERENCE ONLY.
- ⑰ PROPOSED CONCRETE DRIVEWAY PER SDG-163. SEE DETAIL ON SHEET 10.
- ⑱ PROPOSED PRIVATE STORMTECH CHAMBERS
- ⑲ PROPOSED TYPE H CURB & GUTTER PER SDG-151
- ⑳ INSTALL A.C. PAVING PER SCHEDULE J SDG-113
- ㉑ SITE CORNER VISIBILITY TRIANGLES PER MUNICIPAL CODE 113.0273. AT DRIVEWAYS THE DIMENSIONS ARE 10' X 10'. AT STREET INTERSECTIONS THE DIMENSIONS ARE 25' X 25'.
- ㉒ PROPOSED 4' CURB OPENING.
- ㉓ LOADING DOCK PAVEMENT TO BE 8" P.C.C. OVER 8" CLASS II BASE WITH REBAR PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. FOR REFERENCE ONLY.
- ㉔ INSTALL 24" X 24" PRECAST CONCRETE JUNCTION BOX WITH TRAFFIC RATED SOLID COVER.
- ㉕ PROPOSED SPILL CONTAINMENT VAULT.

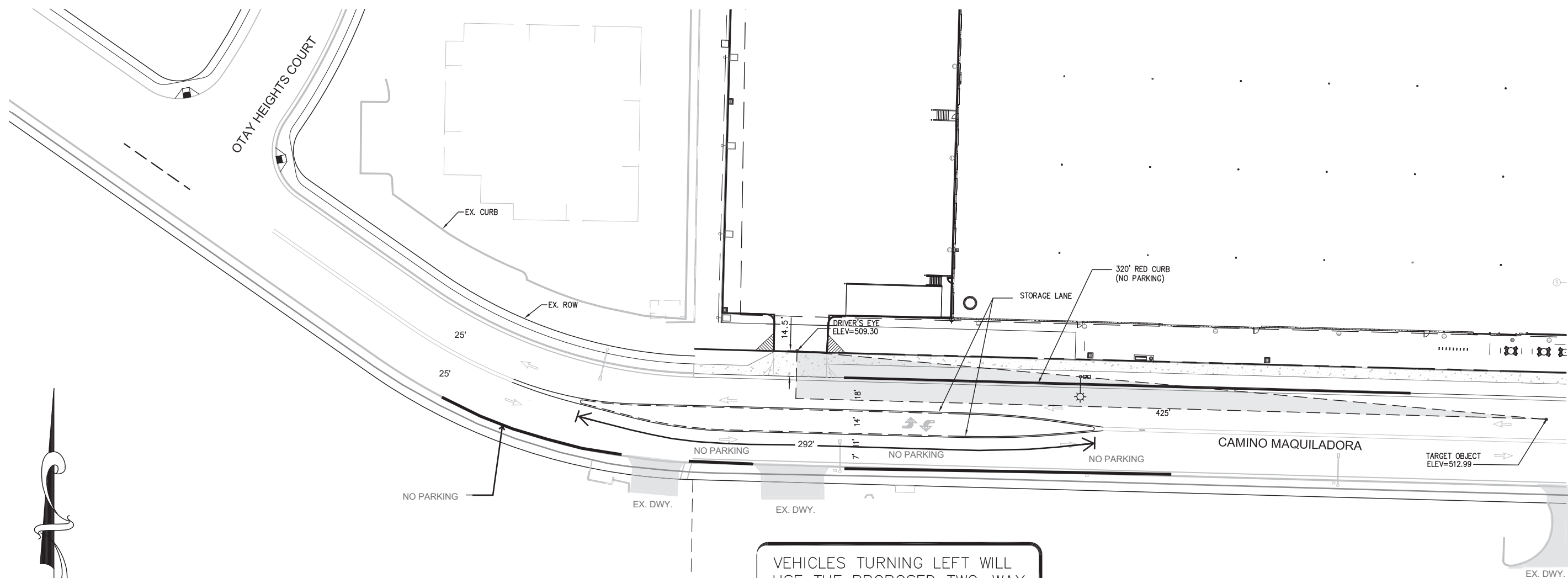
**EASEMENT NOTES**

- ① AN EASEMENT FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED JULY 22, 1953 AS INSTRUMENT NO. 98966 IN BOOK 4930, PAGE 330 OF O.R. IN FAVOR OF SDG&E.
- ② AN EASEMENT FOR DRAINAGE FACILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 8, 1993 AS INSTRUMENT NO. 1993-0011784 OF O.R. IN FAVOR OF CITY OF SAN DIEGO.
- ③ ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM OTAY MESA ROAD HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED JUNE 26, 1997 AS INSTRUMENT NO. 1997-300227 OF O.R.
- ④ AN EASEMENT FOR SEWER FACILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 15, 2009 AS INSTRUMENT NO. 2009-0368421 OF O.R.



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VEHICLES TURNING LEFT WILL USE THE PROPOSED TWO-WAY LEFT-TURN LANE TO CROSS CAMINO MAQUILADORA. SEE ATTACHED PAGE 9-46 OF AASHTO STANDARDS.



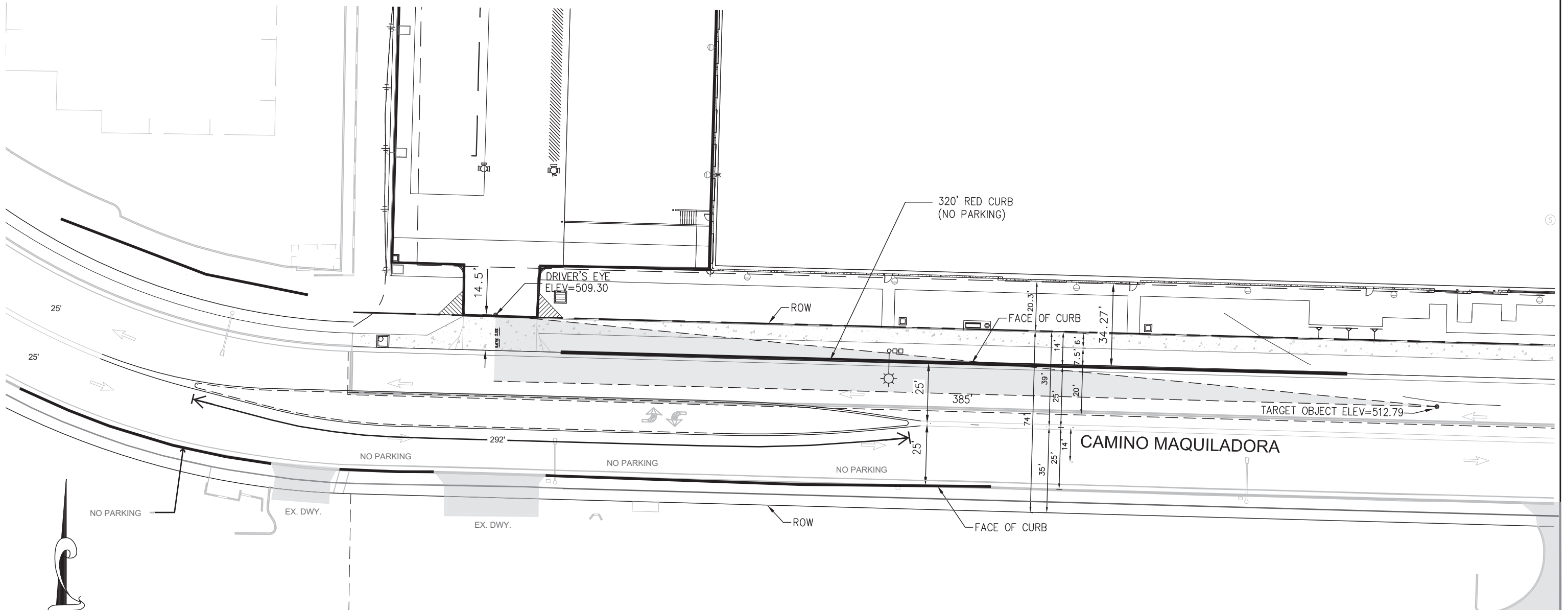
**AASHTO CASE B1  
LEFT TURN FROM STOP  
DESIGN SPEED = 25 MPH**



SCALE: 1"=60'

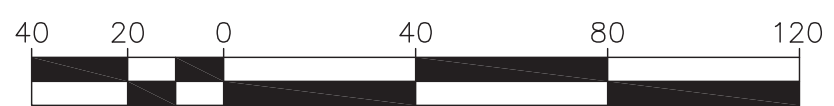
**K&S ENGINEERING, INC.**  
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 7801 Mission Center Court, Suite 100 San Diego, CA 92108  
 (619) 296-5565 Fax: (619) 296-5564

**CITY OF SAN DIEGO**  
 SIGHT DISTANCE  
 CAMINO MAQUILADORA  
 DATE: 2/27/2024 SHEET 1 OF 7



REGISTERED PROFESSIONAL ENGINEER  
 KAMAL S. SWEIS  
 No. 48592  
 EXP 6/30/24  
 CIVIL  
 STATE OF CALIFORNIA

**AASHTO CASE B2**  
**RIGHT TURN FROM STOP**  
**DESIGN SPEED = 25 MPH**

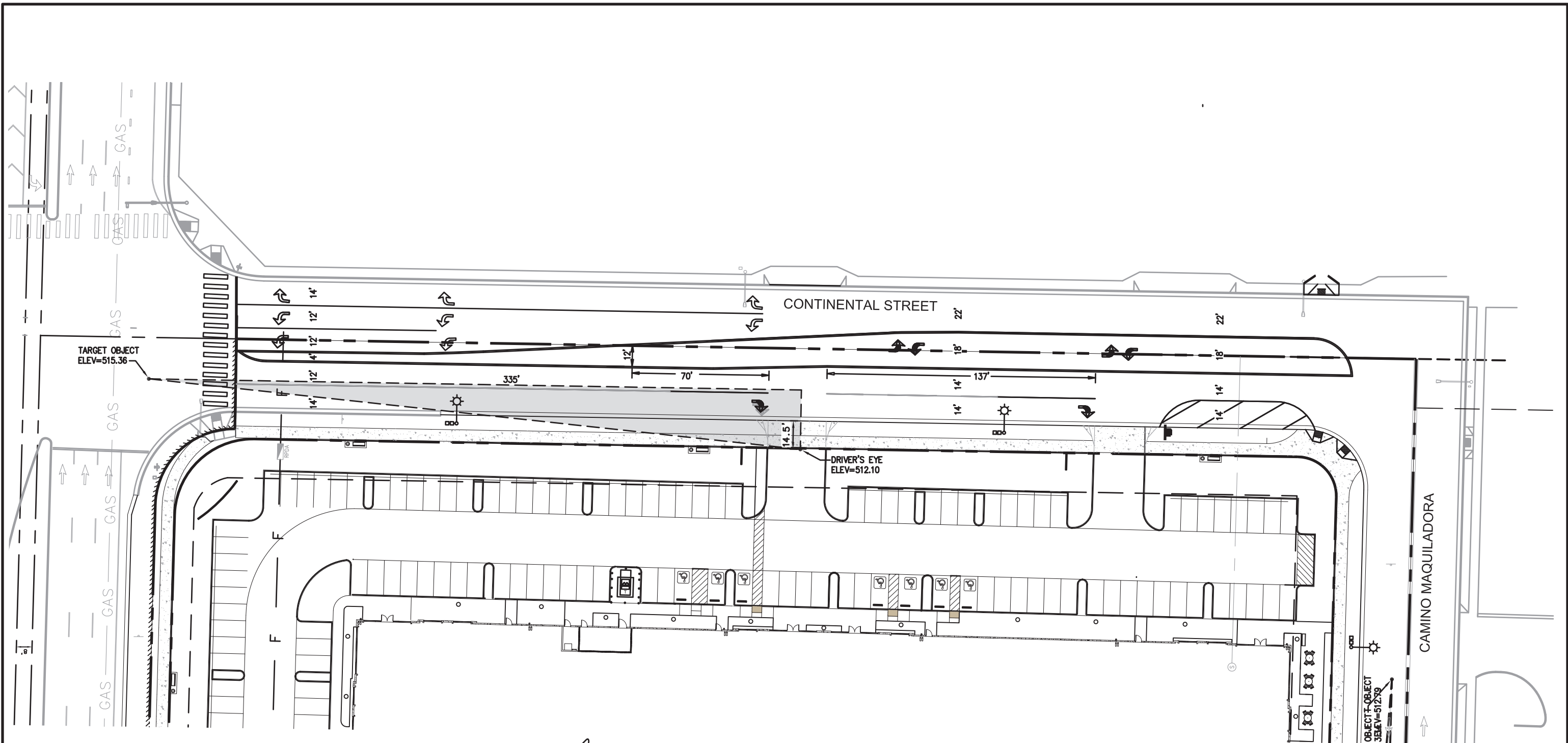


SCALE: 1" = 40'

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CITY OF SAN DIEGO  
 SIGHT DISTANCE  
 CAMINO MAQUILADORA  
 DATE: 2/27/2024 SHEET 2 OF 7



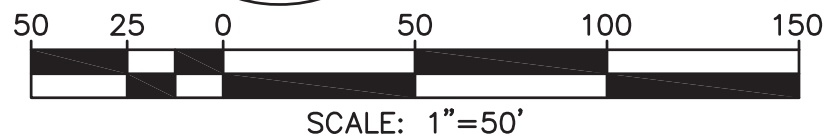


**AASHTO CASE B2  
RIGHT TURN FROM STOP  
DESIGN SPEED = 35 MPH**



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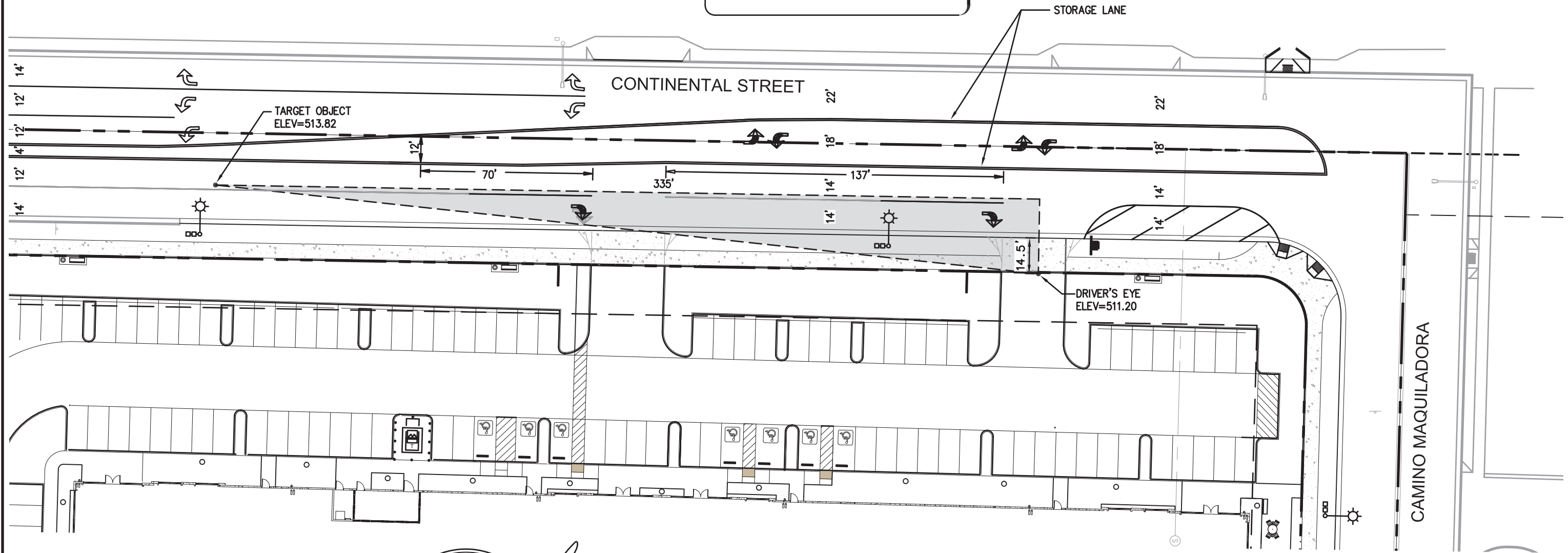


**CITY OF SAN DIEGO**  
SIGHT DISTANCE  
CONTINENTAL STREET

DATE: 2/27/2024 SHEET 4 OF 7

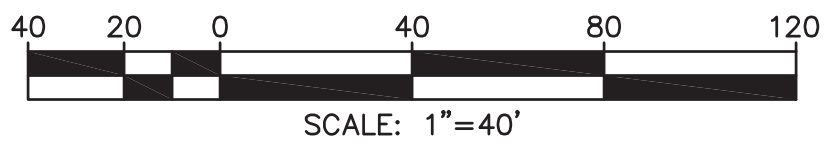


VEHICLES TURNING LEFT WILL USE THE PROPOSED TWO-WAY LEFT-TURN LANE TO CROSS CONTINENTAL STREET. SEE ATTACHED PAGE 9-46 OF AASHTO STANDARDS.

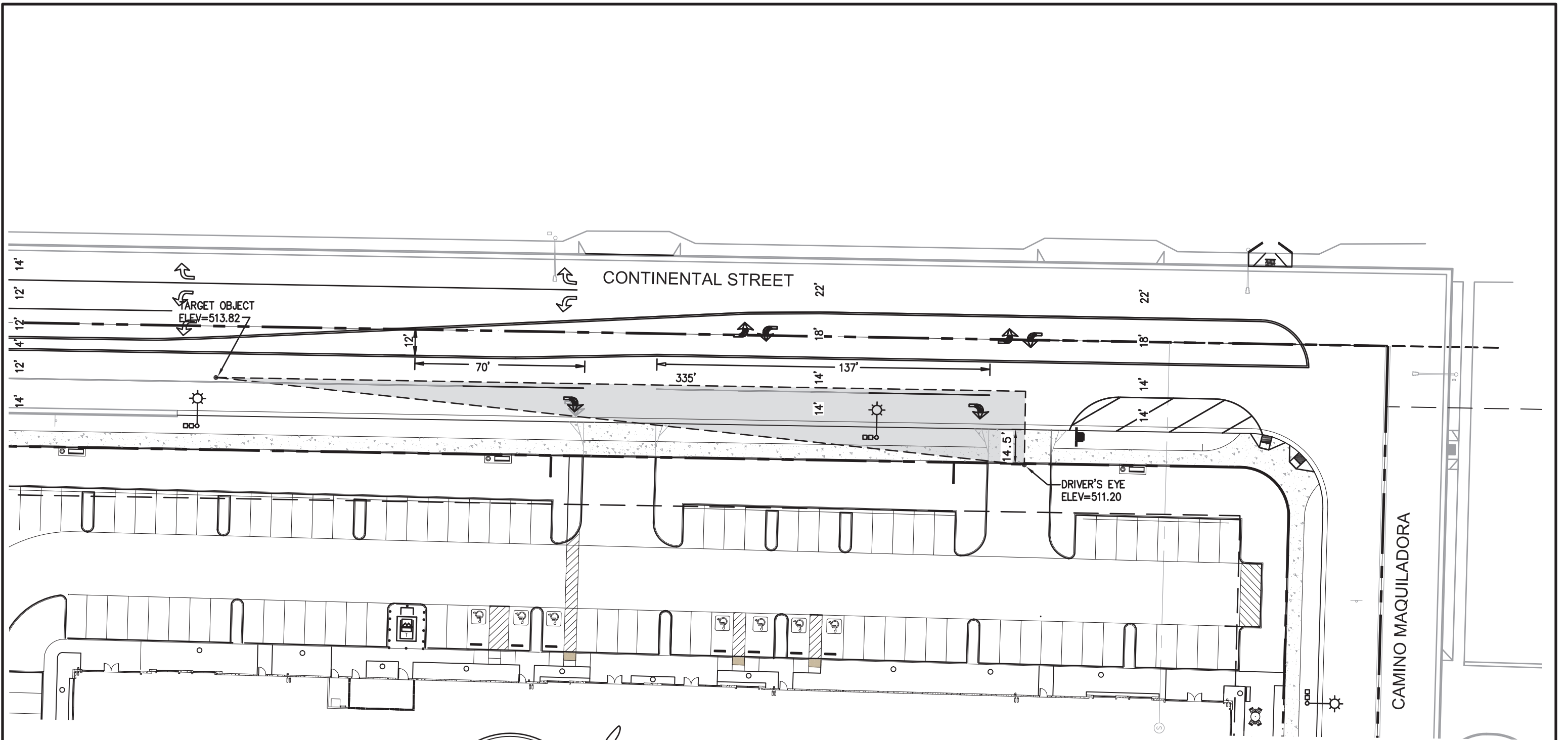


AASHTO CASE B1  
LEFT TURN FROM STOP  
DESIGN SPEED = 35 MPH

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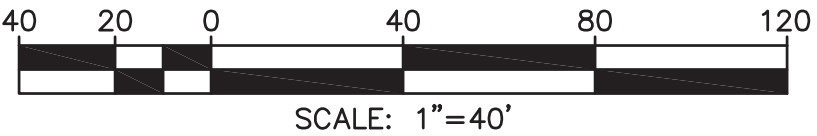


CITY OF SAN DIEGO  
SIGHT DISTANCE  
CONTINENTAL STREET  
DATE: 2/27/2024 SHEET 5 OF 7



AASHTO CASE B2  
 RIGHT TURN FROM STOP  
 DESIGN SPEED = 35 MPH

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CITY OF SAN DIEGO  
 SIGHT DISTANCE  
 CONTINENTAL STREET  
 DATE: 2/27/2024 SHEET 6 OF 7

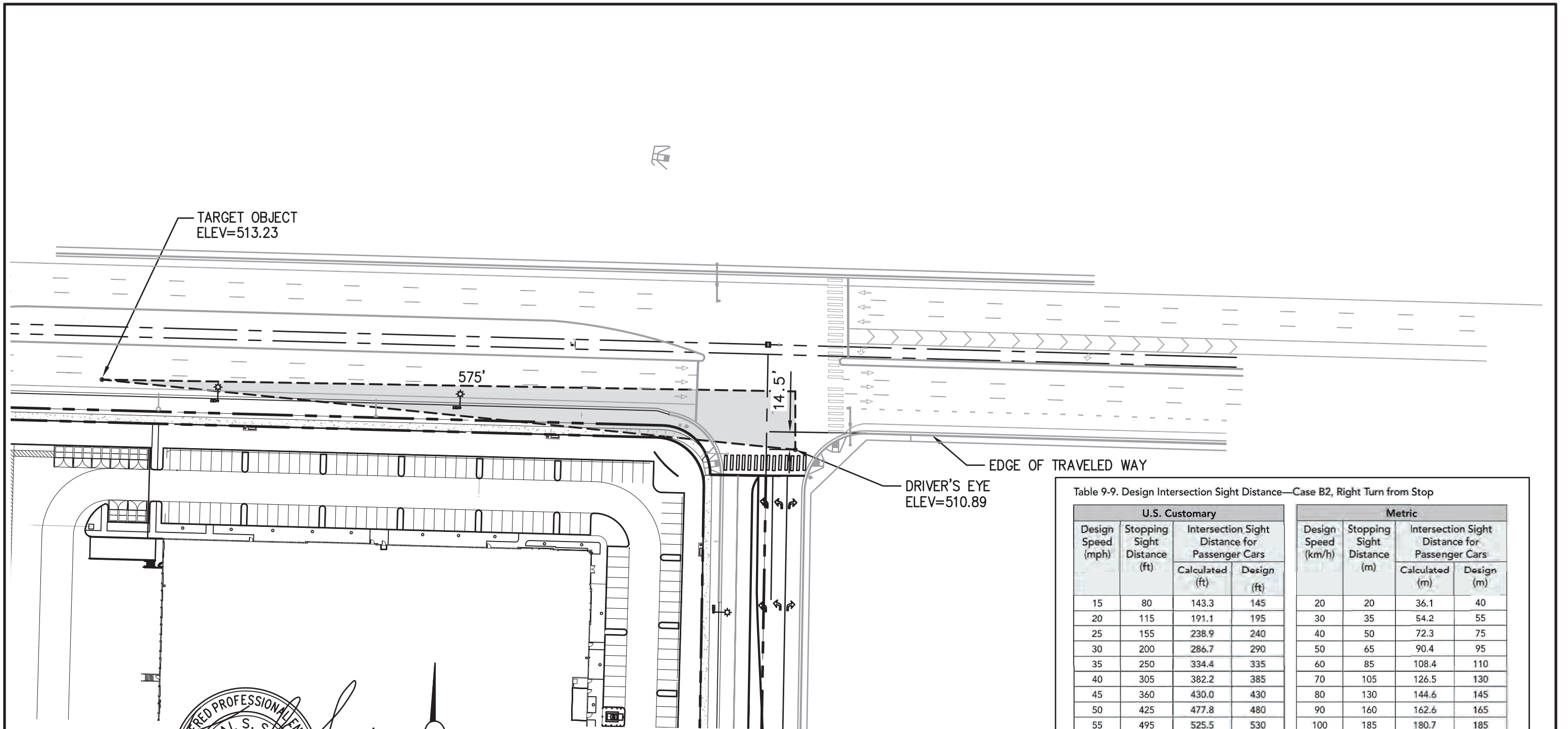


Table 9-9. Design Intersection Sight Distance—Case B2, Right Turn from Stop

Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars		Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars	
		Calculated (ft)	Design (ft)			Calculated (m)	Design (m)
15	80	143.3	145	20	20	36.1	40
20	115	191.1	195	30	35	54.2	55
25	155	238.9	240	40	50	72.3	75
30	200	286.7	290	50	65	90.4	95
35	250	334.4	335	60	85	108.4	110
40	305	382.2	385	70	105	126.5	130
45	360	430.0	430	80	130	144.6	145
50	425	477.8	480	90	160	162.6	165
55	495	525.5	530	100	185	180.7	185
60	570	573.3	575	110	220	198.8	200
65	645	621.1	625	120	250	216.8	220
70	730	668.9	670	130	285	234.9	235
75	820	716.6	720				
80	910	764.4	765				

Note: Intersection sight distance shown is for a stopped passenger car to turn right onto or to cross a two-lane roadway with no median and with grades of 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

AASHTO CASE B2  
 RIGHT TURN FROM STOP  
 85TH PERCENTILE SPEED = 58 MPH



SCALE: 1"=80'

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 Planning . Engineering . Surveying

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 (619) 296-5565 Fax: (619) 296-5564

CITY OF SAN DIEGO  
 SIGHT DISTANCE  
 OTAY MESA ROAD  
 CASE B2

DATE: 2/27/2024 SHEET 7 OF 7