



Old San Diego

ARCHITECTURAL AND SITE DEVELOPMENT STANDARDS AND CRITERIA

Old San Diego

ARCHITECTURAL AND SITE DEVELOPMENT STANDARDS AND CRITERIA

On October 26, 1972 the OLD SAN DIEGO PLANNED DISTRICT REVIEW BOARD adopted the OLD SAN DIEGO ARCHITECTURAL AND SITE DEVELOPMENT STANDARDS AND CRITERIA for application in the OLD SAN DIEGO PLANNED DISTRICT, pursuant to sections 103.0202.1, 103.0206.2 and 103.0206.3 of the San Diego Municipal Code.

After a duly authorized public hearing: On February 22, 1973 the City Council approved the OLD SAN DIEGO ARCHITECTURAL AND SITE DEVELOPMENT STANDARDS AND CRITERIA by resolution No. 207413 and rescinded the architectural standards and criteria previously adopted and filed as Documents No. 715752 and 722068.

The OLD SAN DIEGO ARCHITECTURAL AND SITE DEVELOPMENT STANDARDS AND CRITERIA is on file in the office of the City Clerk as Document No. 742763.

Prepared by the

OLD SAN DIEGO
PLANNED DISTRICT REVIEW BOARD

and the

CITY OF SAN DIEGO

September, 1972
Reprint July, 1982

OLD SAN DIEGO PLANNED DISTRICT REVIEW BOARD

Mr. Robert Ferris, Chairman
Mr. Raymond F. Hall, Jr.
Senator James R. Mills
Mr. Joseph W. Parker
Mr. Michael A. Theilacker
Mrs. Lester L. Wittenberg

FORMER BOARD MEMBERS

Mrs. Frances Bardacke
Mr. David L. Blair
Mr. F. K. Cardwell
Mr. Richard E. Geissler
Mr. Robert M. Michetti
Mr. Archie O'Neal
Mr. William H. Porter
Mr. Lewis W. Redmore

CONTENTS

I. Introduction and Summary	3
II. Objectives	7
III. Standards and Criteria	15
A. Architectural Criteria	19
B. Signs	51
C. Lighting	69
D. Street Design	79
E. Street Furniture	85
F. Landscaping	105
G. Parking Lots	121
H. Interior Circulation Systems	129
IV. Appendix	
A. Application Procedure	133
B. Planned District Ordinance	135
C. Bibliography	155

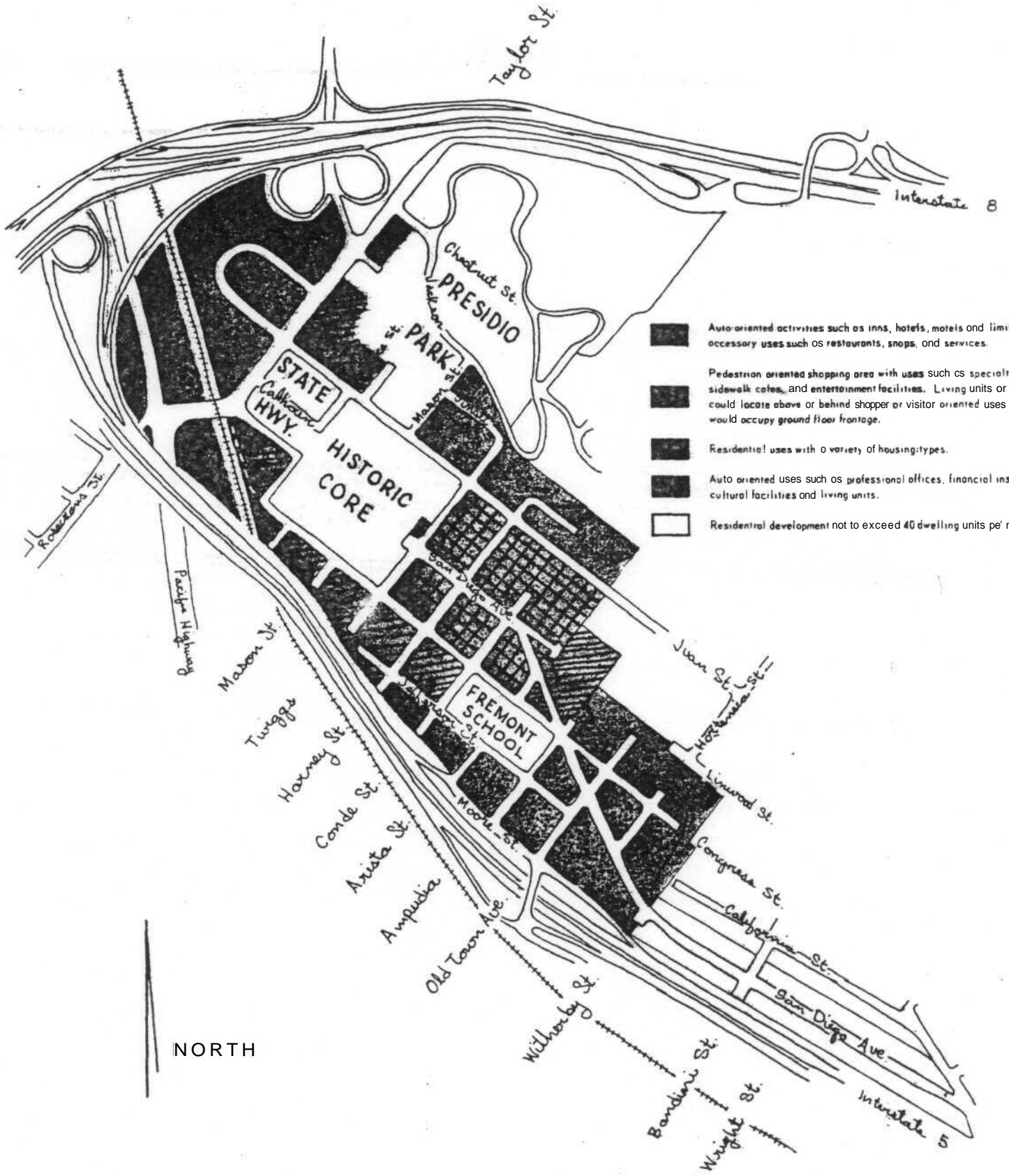
I INTRODUCTION AND SUMMARY

I. Introduction and Summary

Old San Diego is unique in its origin and architectural heritage. This **quality** affords an opportunity to **realize** social, economic, aesthetic and educational benefits for the people of San Diego and the nation. This potential requires that property situated within Old San Diego be redeveloped and preserved as an economically viable historical monument of national **significance**. The buildings of historical, aesthetic interest and value include primarily the structures that were **built** prior to 1871 and are located within the boundaries of the area designated in Ordinance No. 10608 as the Old San Diego Planned District (adopted June 30, 1971). If we are to create a significant **feeling** of this character, present day development must generally conform to the **architectural** style of the **Mexican-Early American** period **characteristic** to this area prior to **1871**. To promote and control orderly development of the Old San Diego area, it is therefore necessary to impose reasonable restrictions upon the erection of new structures and the alteration or relocation of existing structures. Cooperation in retaining **and handsomely** expanding the environment **will** restore and perpetuate the basic character of **California's** first city.

The City Council in **1966** adopted an Old San Diego **Architectural** Control District Ordinance. This ordinance established the basic standard that all "Forms, materials, textures and colors shall be in general accord with the appearance of the structures built in Old San Diego prior to 1871." The **Architectural** Control Board, now the Planned District Review Board, appointed by the City Council to administer the ordinance subsequently developed more specific criteria to further assist builders in **Old San Diego**. In **general**, these criteria stress the following **considerations** regarding **old, new** or moved-in buildings within the District: Buildings should be limited to three stories or 30 feet in height; a multiplicity of advertising signs is to be discouraged; free-standing or ground signs should not exceed the roof **line** height nor should they be moving or flashing; there should be uniformity in historical marker signs; landscaping should be provided with an emphasis upon the traditional Southern California garden; and the use of **rock** clusters, native California or Mexican native plant materials and pottery or wooden planters is encouraged.

II OBJECTIVES



OLD SAN DIEGO COMMUNITY PLAN

CITY PLANNING DEPARTMENT • SAN DIEGO, CALIFORNIA

II Objectives

In addition to the **Architectural** Control provisions, in 1968 the City of San Diego also adopted a Community Plan for the **Old** San Diego area. The following objectives contained in that plan were developed to provide additional guidance in improving the environment of Old San Diego.

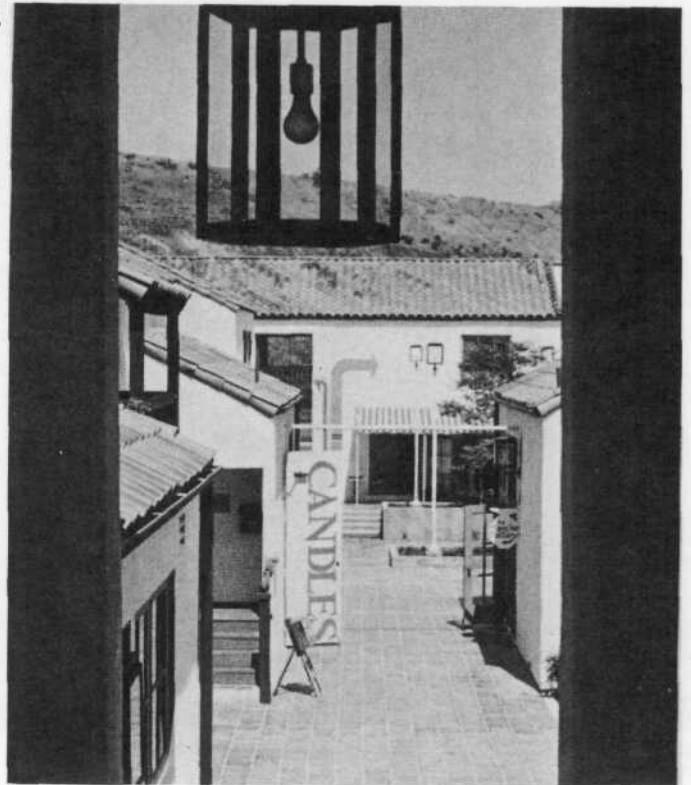
- TO ADVANCE THE ORDERLY DEVELOPMENT OF AN ENVIRONMENT BASED ON THE HISTORY OF OLD SAN DIEGO WHICH WILL PROVIDE VISUAL ENJOYMENT TO ALL.
- TO CREATE THROUGH SENSITIVE URBAN DESIGN **CONSIDERATIONS** AN ENVIRONMENT FEATURING GROUNDS, PAVEMENTS, PEDESTRIAN PATHS, AND OTHER BASE SURFACES THAT ARE HANDSOMELY COLORED AND TEXTURED.
- TO PROMOTE THE LIBERAL USE OF LANDSCAPING MATERIALS UTILIZING A RECOMMENDED SELECTION OF PLANT MATERIALS AND TREATMENTS TO INSURE SIMPLICITY AND UNIFORMITY THROUGHOUT THE AREA.
- TO ENCOURAGE ATTRACTIVE **TOWNSCAPE FURNITURE**, INCLUDING **BENCHES**, STANDARDS AND POLES, **PECEPTACLES**, KIOSKS, PLANT HOLDERS, BOOTHS AND STANDS.
- TO PROMOTE THE SENSITIVE USE AND PLACEMENT OF WELL-CRAFTED ADVERTISING SIGNS AND ADVERTISING SYMBOLS TO COMPLEMENT THE **UNIQUE HISTORIC CHARACTER** OF THE **COMMUNITY**.
- TO DEVELOP DESIGN CRITERIA AND A PROCEDURE FOR LOCATING ALL NECESSARY PUBLIC INFORMATION, TRAFFIC, DIRECTIONAL OR OTHER SIGNS OF A SERVICE **NATURE**.
- TO PROVIDE A NIGHT ILLUMINATION SYSTEM CONSISTING OF SMALL SCALE, LOW-INTENSITY LIGHTING STANDARDS AND FIXTURES THAT MEET MINIMUM PUBLIC SAFETY STANDARDS AND ARE COMPATIBLE WITH THE HISTORIC CHARACTER OF OLD SAN **DIEGO**.

The initial provisions adopted by the **Architectural** Control Ordinance of 1965 have been expanded and slightly modified to more clearly define criteria for the planning, design and execution of all signs, buildings and other structures to be located or relocated in "Old San Diego Planned District." However, additional design criteria and standards are needed to achieve the type of environment envisioned in the Old San Diego Community Plan. This report presents criteria for design evaluation of nine **elements: signs**, lighting, street furniture, street design, **landscaping**, parking lots, interior circulation, and **architectural standards**.

The Old San Diego community is the **site** of initial settlement in the City and the birthplace of the State of California. The rich heritage of this community is of incalculable value to the **present** and future generations. However, the area lacks **an** overall appearance reflective of its historical background. Historic structures, many in need of restoration and **repair**, are **lost amidst** incompatible commercial, industrial or residential **developments**. A profusion of signs and billboards distract from the few existing historic buildings and sites. These **criteria** have been developed to **guide** the restoration of Old San Diego so that it may attain its **full** potential.

EXAMPLES OF SIMILAR DEVELOPMENTS

The following photos are examples of developments that have an architectural character similar to that desired in "Old San Diego." They are presented to show what can be done when architectural and sign controls and related street furniture are used to guide the growth of a planned district.



Mercado, Rancho Bernardo,
California



Santa Barbara, California



Carmel-by-the-Sea, California

The cities of Monterey and Columbia in California have historical background that are **similar** to Old San Diego in many respects. They have both **rehabilitated** their historically significant sites and have made the **architectural** character of their early days a guide for present and future development.

The Monterey State Historical Monument consists of nine buildings and **sites** that were a part of the history of early California in Monterey. Many of the old buildings have disappeared, but, through the cooperation of individuals, patriotic **groups**, the **city** and the State, fine examples of the heritage are preserved for the enjoyment of **all**.

In its heyday Columbia was called "Gem of the Southern Mines." Like so many other California gold rush towns, it occupied a brief but spectacular period in history **until its** gold . . . and **its** reason for being. . . was gone.

Columbia, however, never was completely deserted and through the years had managed to retain much of **its** original appearance. There are a number of period store and business exhibits, such as the Chinese herb shop, newspaper office, carpenter shop, drug-store, and others.

Businesses operating at Columbia include several **oldtime** saloons, a grocery **store**, blacksmith shop, harness and saddlery shop, dry goods store, barbership, stagecoach ride, gift shops, restaurant, snack bar and **confectionery**, candy store, antique shop, and a **newspaper**.

Fallon Theater
Columbia State Historic Park



Custom House
Monterey State
Historic Park



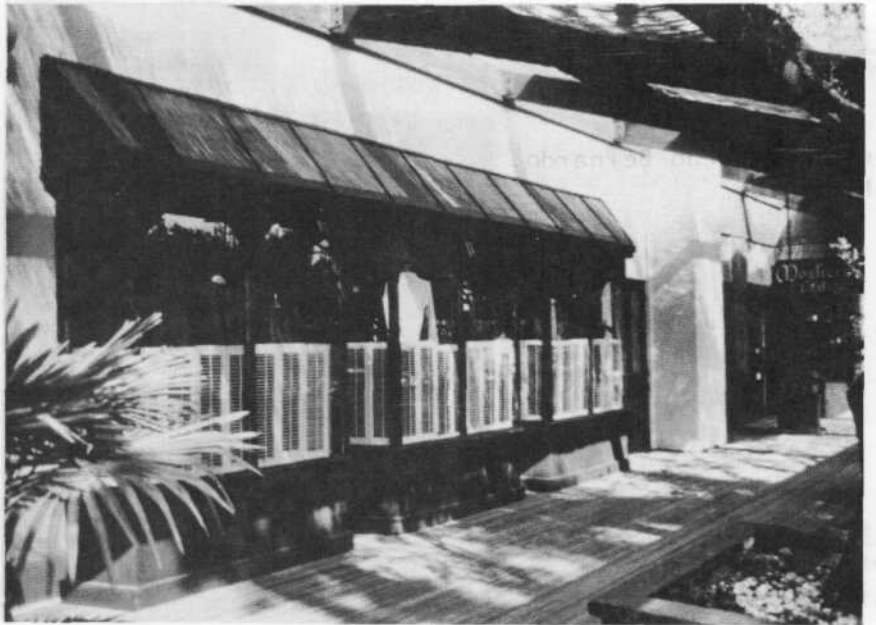
Monterey, California



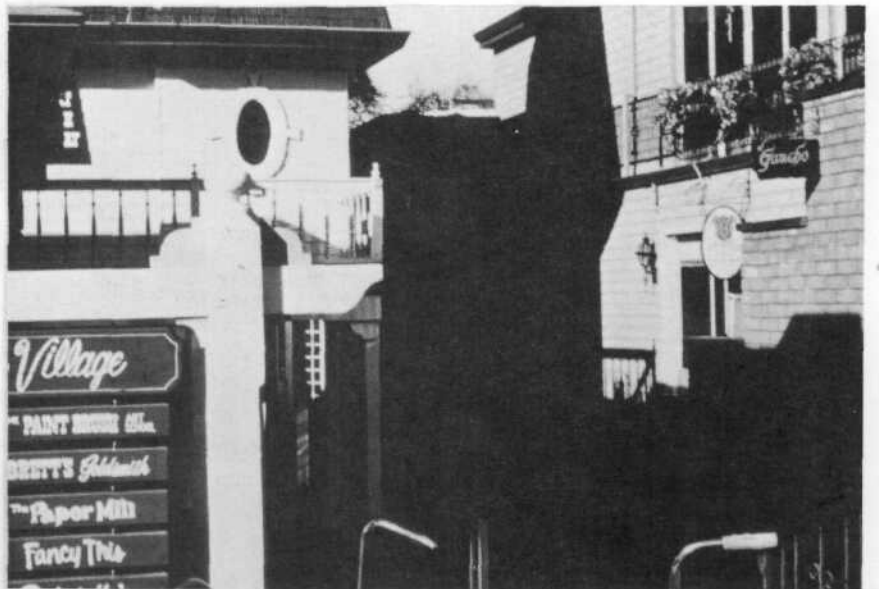
Los Gatos, California



Los Gatos, California



Saratoga, California



El Pueblo de los Angeles
State Historic Park

El Pueblo de los Angeles State Historic Park is a popular tourist attraction with an estimated 2.5 million visitors annually*

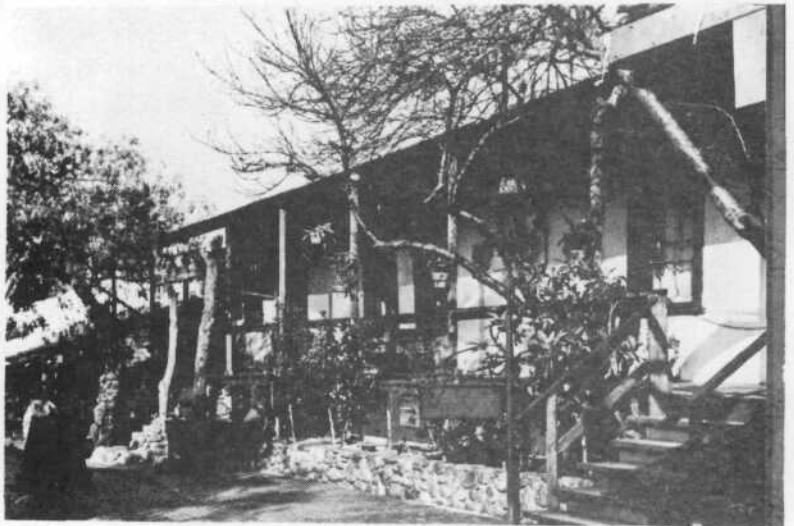
Most physical reminders of Los Angeles' colorful past and Mexican heritage are to be found within the boundaries of the Park. Considerable restoration has been completed on historical buildings notably the Pico-Gamier Block, and plans are underway to continue these efforts.

The focal point of the Park is the Plaza and Olvera Street. Along these major pedestrian areas are most of the historically significant buildings. In addition Olvera Street contains shops and restaurants offering a variety of Mexican goods and foods.

Shopping in Olvera Street*

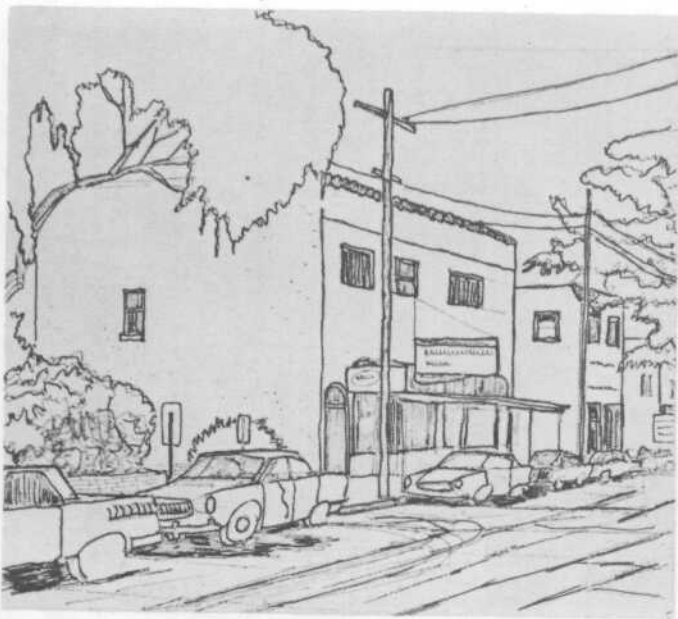
Avila Adobe - after restoration*

Olvera Street

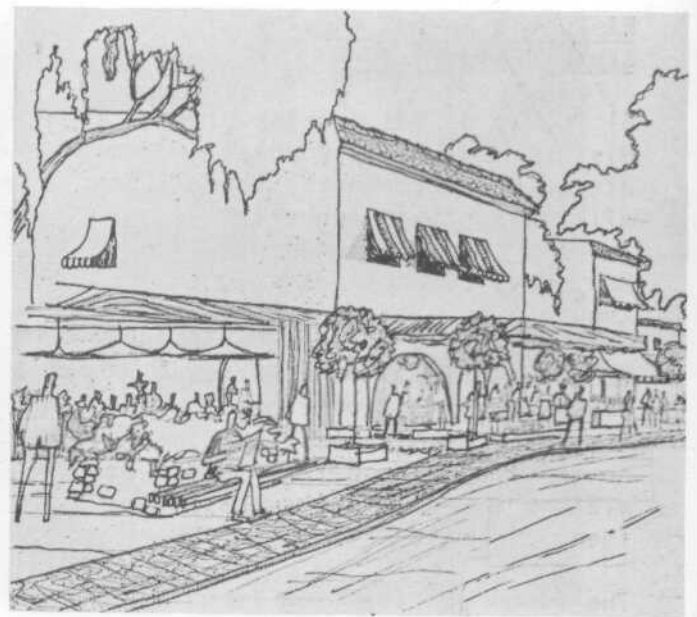


The examples on the following page show store buildings in Old San Diego, before and after the creation of the Old Town San Diego State Park.

*El Pueblo de Los Angeles State Historic Park, Proposed Comprehensive Development Plan, July 1969



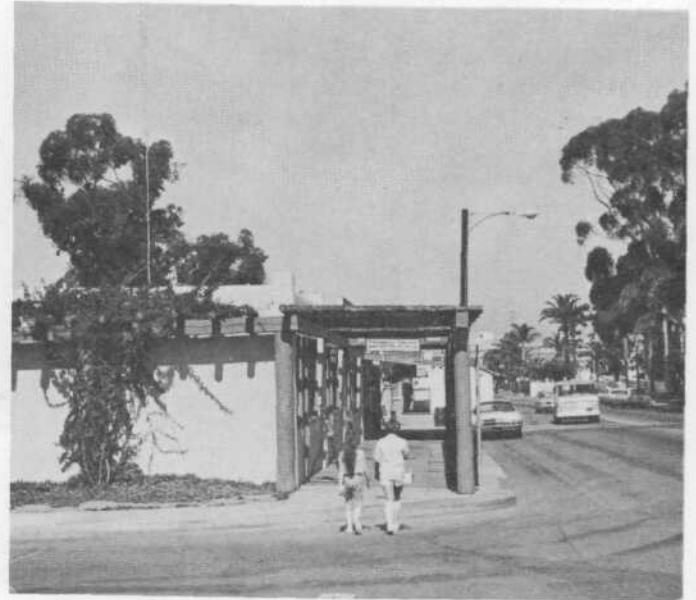
before



after



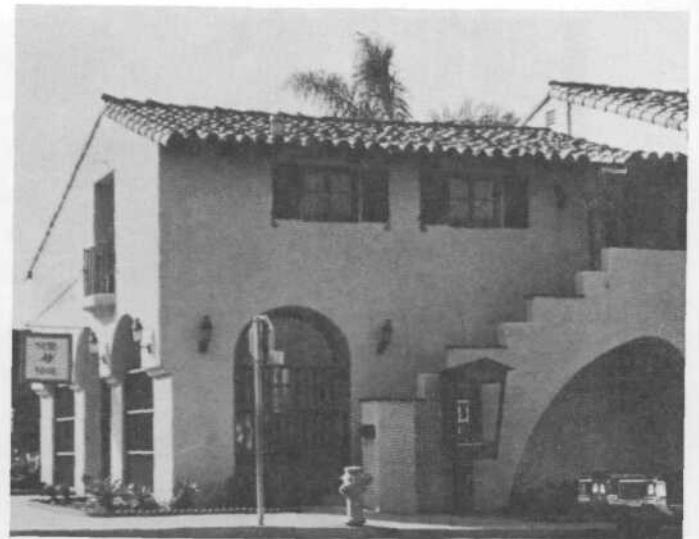
before



after



before



after

Store buildings in Old San Diego, before and after the creation of the State Park

III STANDARDS AND CRITERIA

A. Architectural Criteria



A. Architectural Criteria

The **architecture** of a place and period tells the story of the inhabitants. **It tells** of their needs, their aspirations, **their** heritage, skills and ingenuity. It tells of the adaptations that result from use of the materials, native craftsmen and labor indigenous to the region, in executing buildings of another culture or **civilization**. And it accurately depicts the fusing of immigrant cultures with that of the natives even as it depicts the merging of the **populations**.

So it was in Old San Diego. The Indian residents, using available ways and means, had devised tools, utensils, fabrics, shelters. When the Spanish came, they brought with them a more highly developed knowledge of building and government but found it necessary to rely to some extent upon local materials, native labor and skills -- for example the soil, making and placing of adobe bricks and the lashing together with raw-hide strips the beams, rafters and other parts of the roof structure.

In the early days development and changes came slowly, and the visual results for the most part were plain, even meager at times. The unique character **stems** from the **builders'** inherent tendency to build as their predecessors had built, coupled with the advantages and **limitations** of the natural environment.

In the period **following** the influx of Americans after 1846, the rate of change and variety of building styles and methods quickened, as shown in the examples that **remain** today.

The unique distinctive character and atmosphere of the Old San Diego area require that property situated therein be preserved as an historical site and monument having statewide, national and **international significance**.

The buildings of historical or aesthetic interest or value primarily include houses dating up to 1871 located within the boundaries of the area designated in Ordinance No. **9511** as the **Architectural** Control District for the Old San Diego area.

If we are to retain a **significant feeling** of the character and appearance of Old San Diego up to 1871, then we must recognize certain controlling elements upon present day development.

To promote and control orderly development of the Old San Diego area it is therefore necessary to impose reasonable restrictions upon the erection of new buildings and structures and the **alteration** of relocation of existing buildings and structures.

Voluntary cooperation in retaining and handsomely expanding the **environment** will restore and perpetuate the **basic** character of **California's first** city.

The Planned **District** Review Board is concerned with old, new or **moved-in** buildings **within** the Planned **District** of Old San Diego. **The** following suggestions are offered for the purpose of **illustrating the unique** distinctive **architectural character** of the Old San Diego Area.

Periods included are **the Spanish**, Mexican and American to 1871. The **diagrams**, photographs and written descriptions are intended to present some typical material with adaptations from the basic periods. There are volumes of additional reference material on file in the **Research** Library of the Junipero Serra Museum.

These criteria **were** initially adopted September 12, **1967** by the San Diego City Council, Resolution No. **191556**, Document No. **715752**.

In addition these criteria were incorporated in the Planned District Ordinance **adopted** June 30, 1971 by Ordinance No. 10608.

Criteria for Evaluation

Applications are to be evaluated on the following bases:

- Forms (height, number of stories, etc.)
- Materials
- Textures
- Colors

All of the above shall be in **generall** accord with the appearance of structures **built** in Old San Diego prior to 1871. To this end they shall be in general accord with the designs prevailing during the principal recognized historical periods of Old San Diego commonly known as the Spanish Period, Mexican **Period**, and American Period,

NOTE: The Spanish and **Mexican** Periods are covered together, due to underlying similarities and extensive overlapping of details which make it virtually impossible in most cases to adopt an "either - or" approach.

Height Limitations

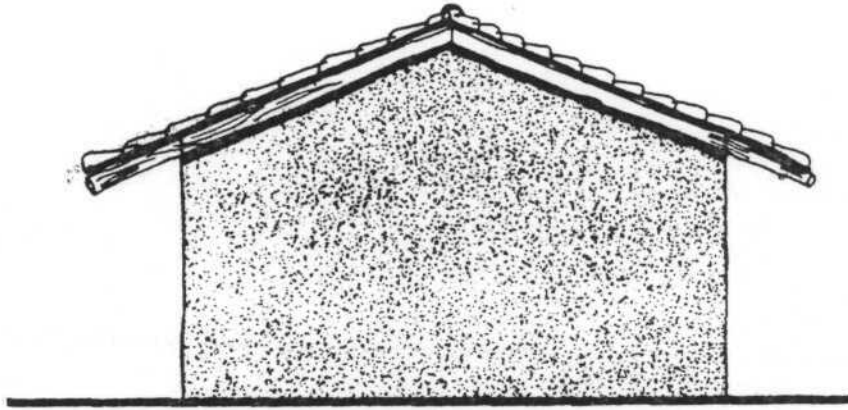
All buildings in the Planned District shall be limited to three **stories**, but not to exceed thirty feet unless otherwise approved by the Board.

The height of the building or structure as used herein is the vertical distance from the grade to the highest point of the coping of a **flat** roof or to the average height of the highest gable of a pitch or hip roof or to the highest point of any structure. Grade is the **arithmetical** mean of the finished ground level elevations adjacent to the exterior walls of a building or structure. Finished ground level at any point along the wall shall be taken as the lowest elevation of the surface of the ground within a distance of five (5) feet from the wall or the lowest elevation of the **surface** of the ground between the wall and the property **line** if it is less than five (5) feet distance from the wall.

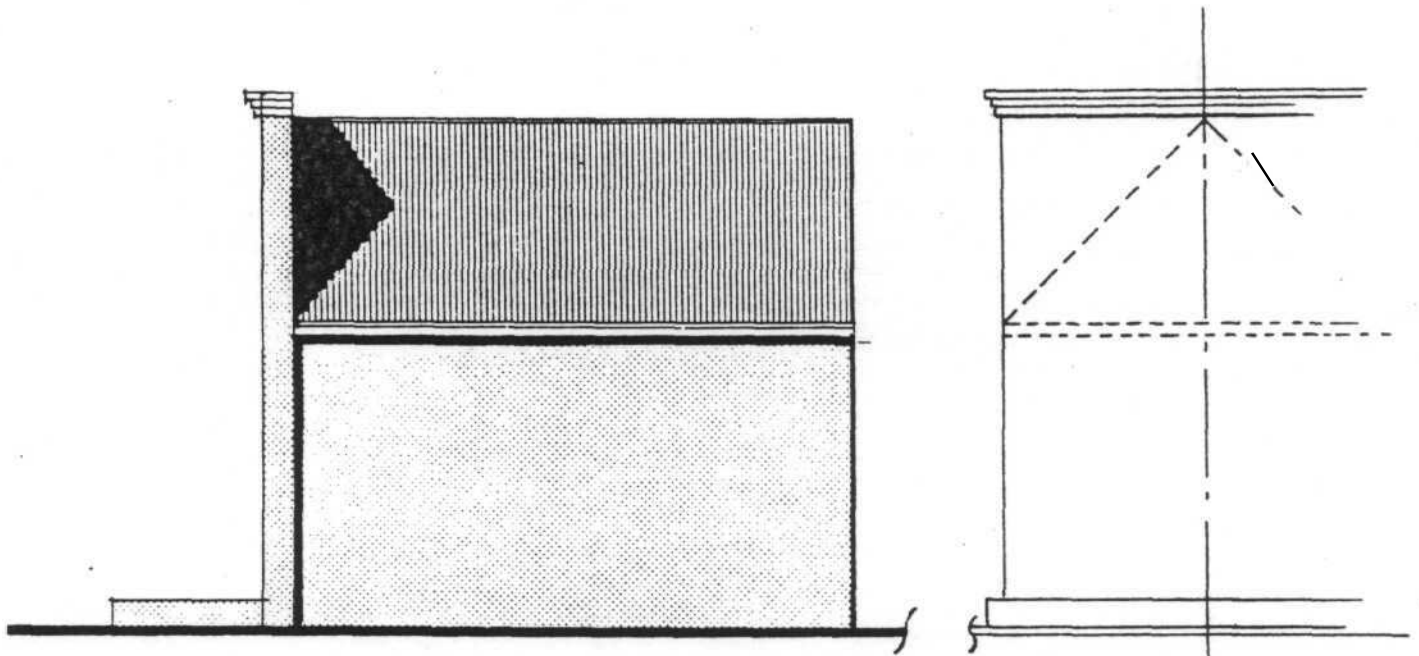
Exterior building colors shall be based on historical **usage** and be consistent with the pre-1871 period.

Roof styles and roofing materials shall also be consistent with those in use during the pre-1871 period.

Suggested Roof Types



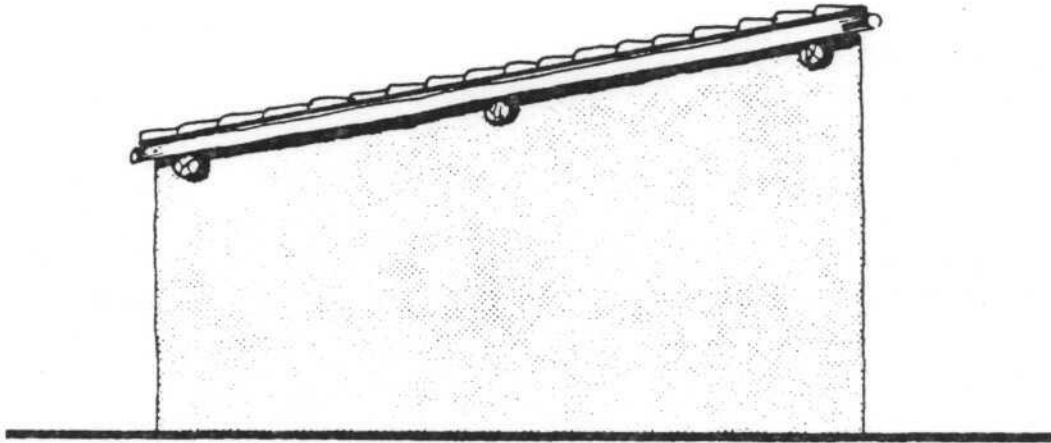
GABLE ROOF



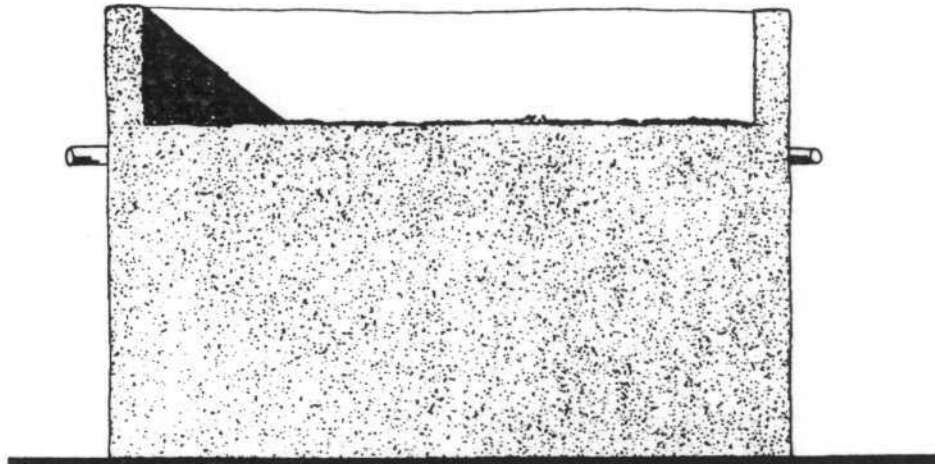
GABLE ROOF WITH FALSE FRONT

OLD SAN DIEGO

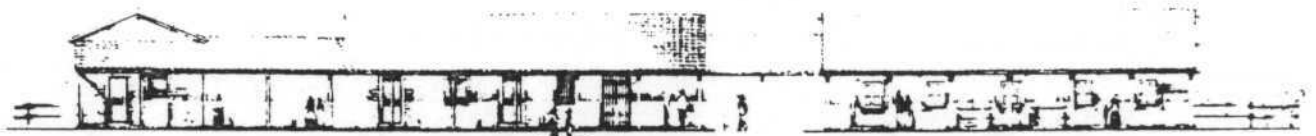
During the Spanish-Mexican period, sloped roofs were most always covered with clay-tile. A minimum slope of $4\frac{1}{2}$ " and 12" was used to prevent leakage. It is recommended that this minimum roof slope be adhered to in order to be consistent with pre-1871 conditions.



SHED ROOF



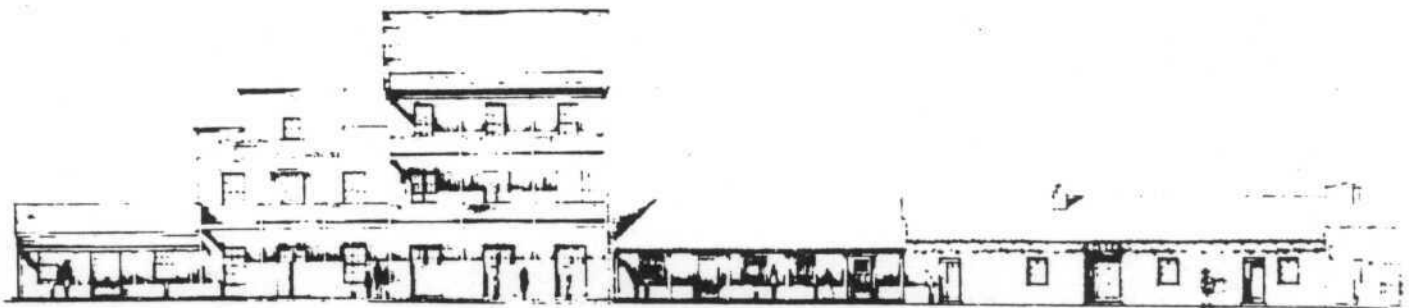
FLAT ROOF WITH PARAPET



CASA DE JUAN MICHALL

CASA DE ALVARO

CALHOON STREET ELEVATIONS



JOSHUA BEAN
OFFICE

COLORADO HOUSE

FRANKLIN HOTEL

CASA DE RODRIGUEZ

CASA DE MACHADO SILVAS

SAN DIEGO AVENUE
ELEVATIONS



O'NEILL BUILDING

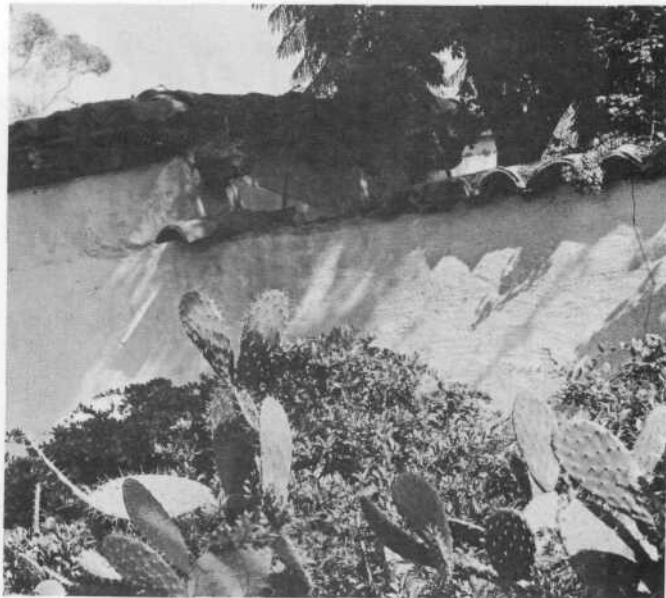
AMERICAN HOTEL

CASA DE WRIGHTINGTON

Proposed Building Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK
by the Resources Agency of California, Department of Parks and Recreation.

Spanish - Mexican Period

Junction of tile-capped garden wall showing tile-covered shed roof. Both walls are of adobe bricks plastered over.

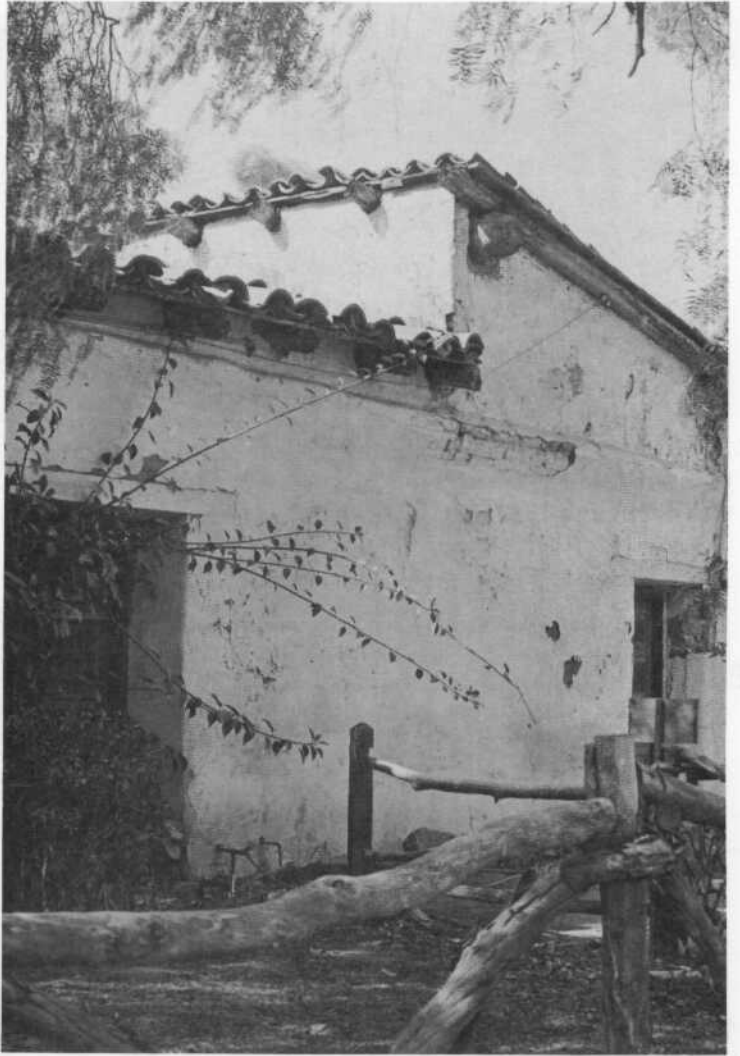


Typical double-hung wood window with wood head, jamb, and sill in plastered adobe wall. Note deep reveal of window, wood shutters, and plain chimney showing above the tile roof and pole rafters.

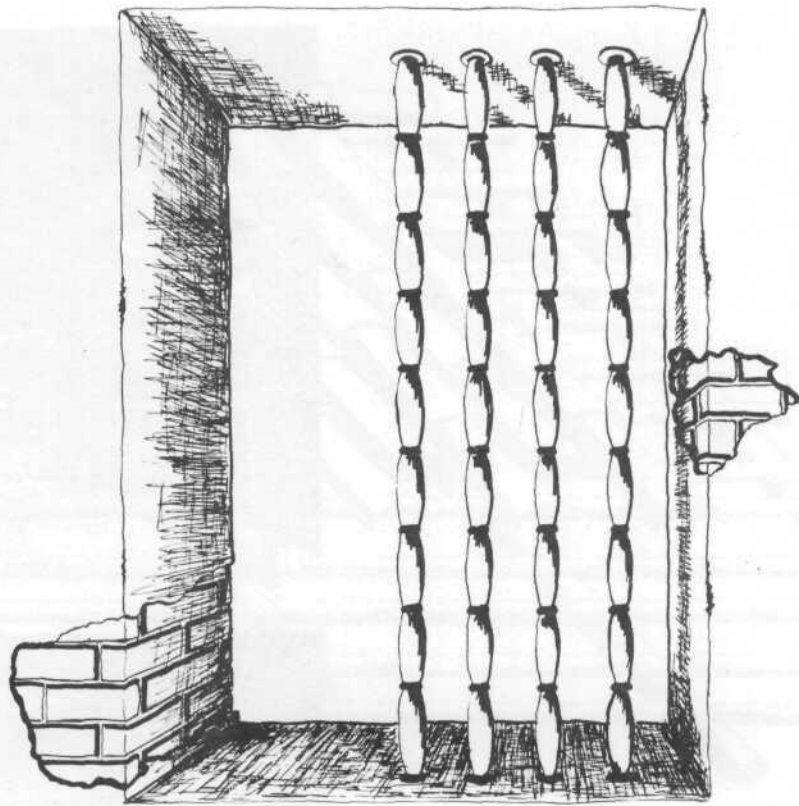


Typical window showing open and closed shutters.



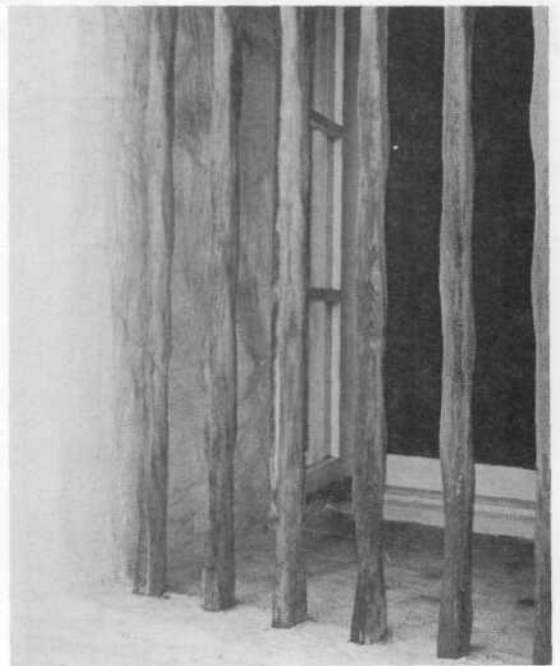
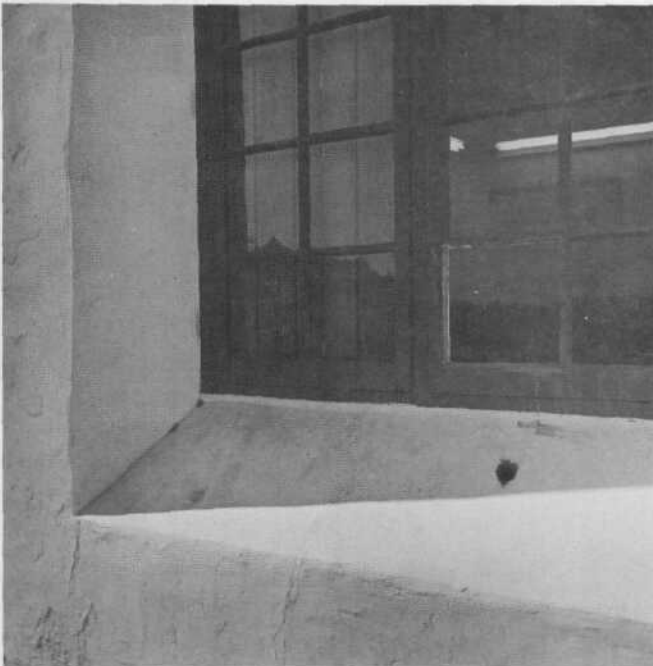


The "altito" effect, where roofs of different levels adjoin. Note also, deep reveal in doorway and wood lintel at head.



Window Casing Inset

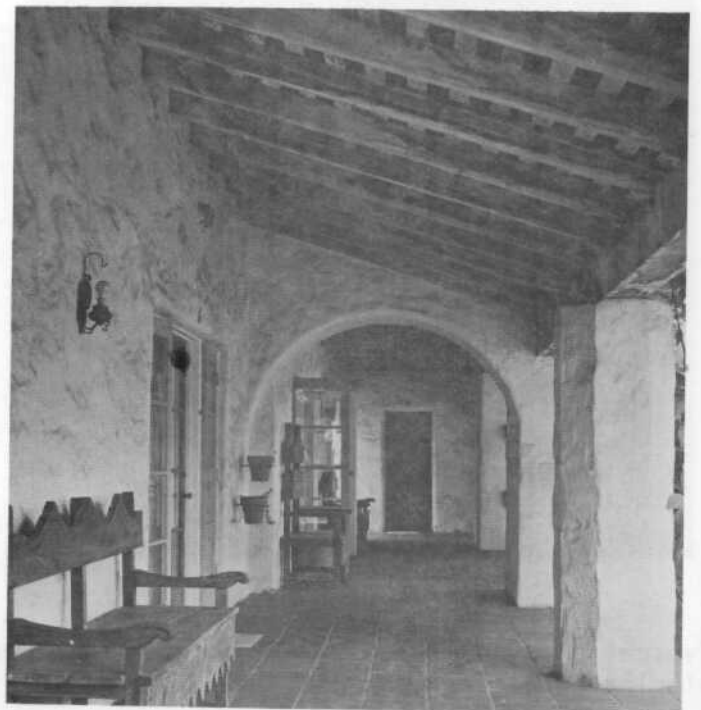
Showing construction of building of adobe bricks plaster coating outside over the adobe. Inset of windows widening outward through thickness of walls - sloping flange. Windows protected by turned bars of wood as shown. Thickness of outer walls - 3'-3" or one meter.



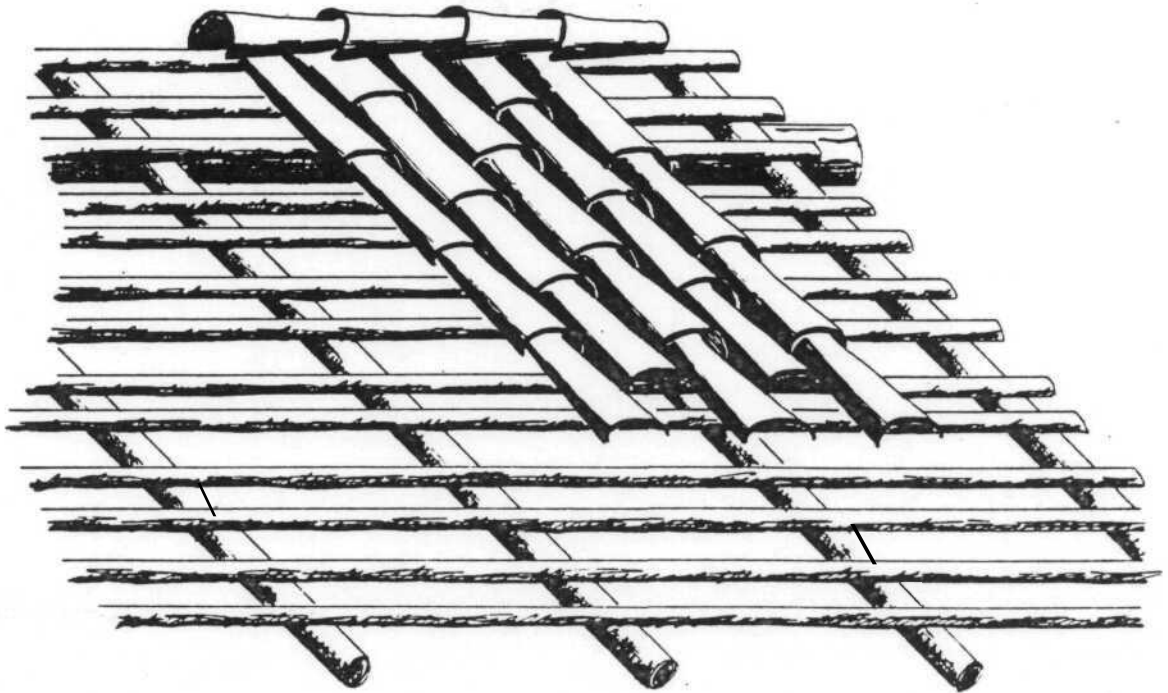
Typical splayed window reveal in thick plastered adobe wall (or frame stucco simulating plastered adobe).



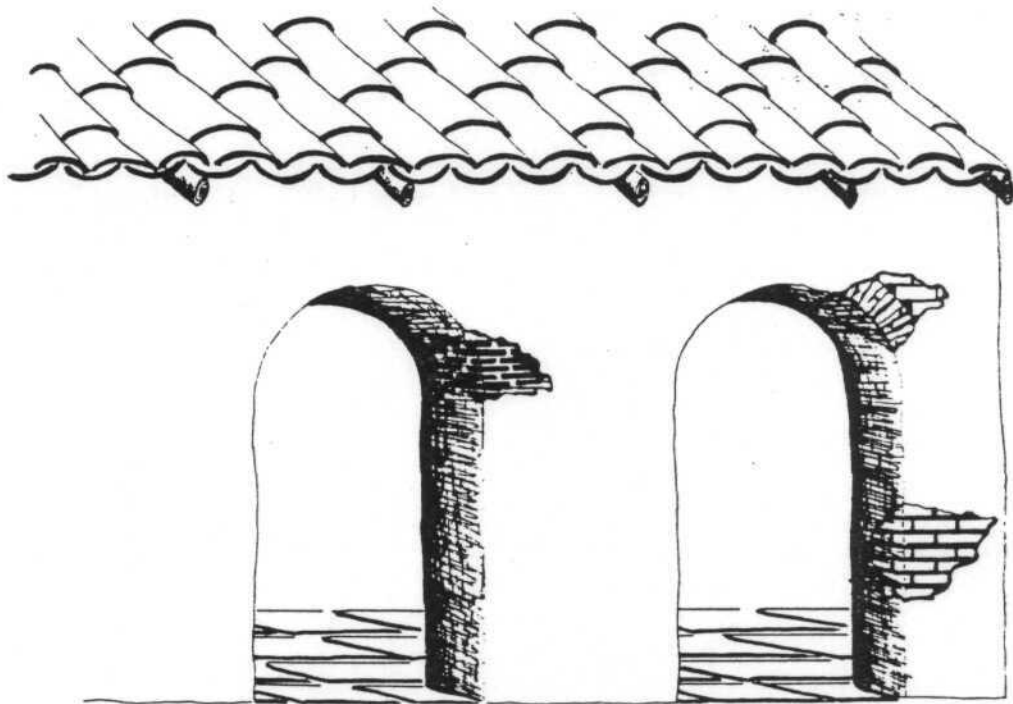
Two portico views showing the simple, heavy structure with wood or masonry posts, each with a type of paving tile rectangular or square, and each with a distinctive type of roof treatment. In the first case, round poles for rafters support the willow-like reeds lying across them, which in turn support the tile roof.



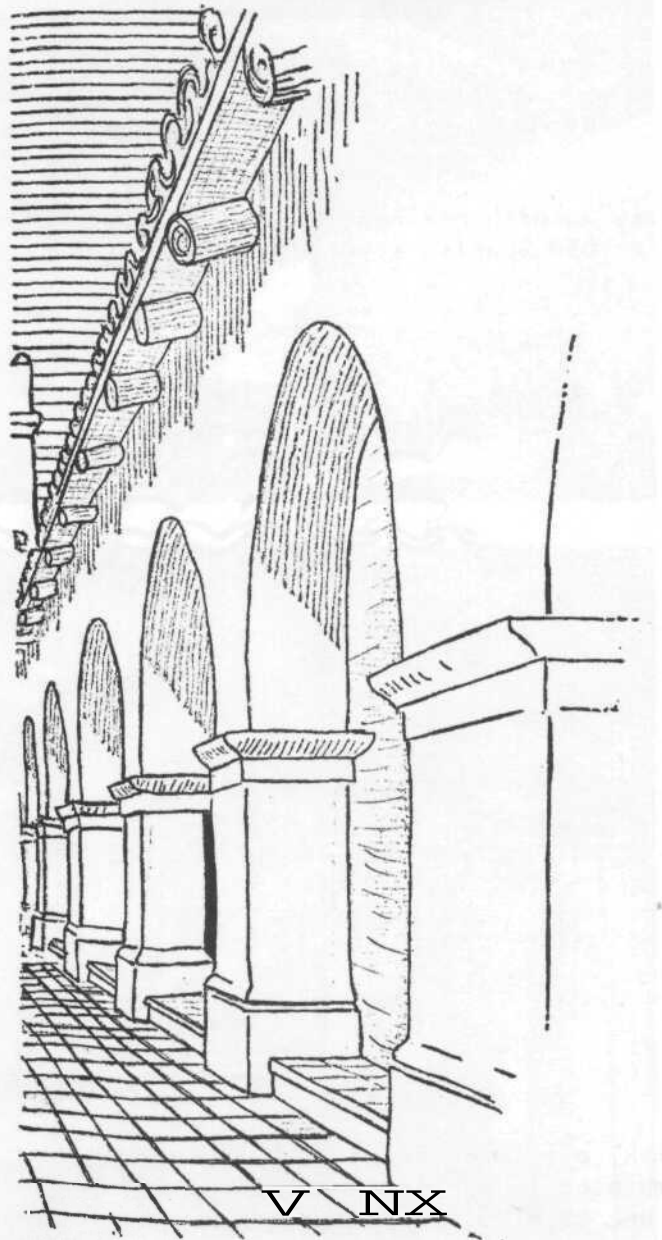
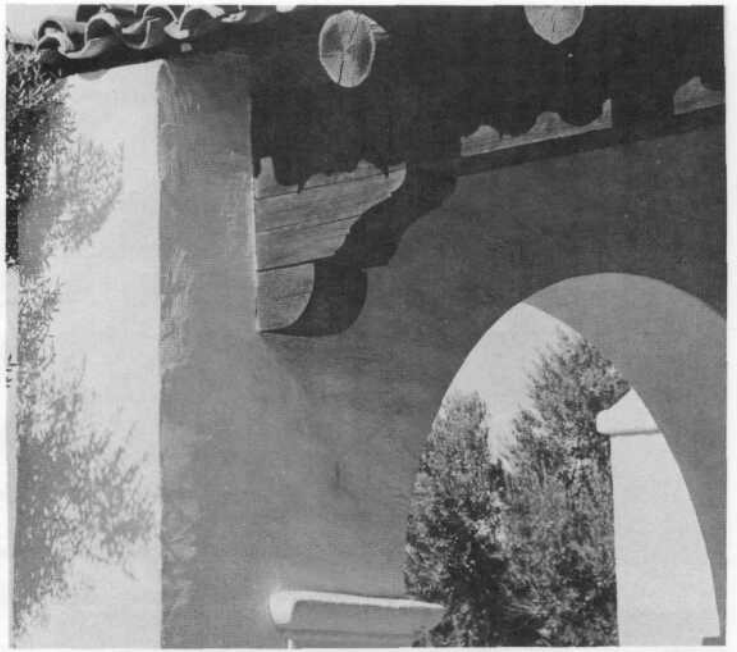
The other example shows a later treatment using handworked (perhaps with an adz) beams, rafters and tile supporting sheathing strips.



Early Spanish-Mexican methods of construction are clearly indicated in this diagram of an old Spanish structure.

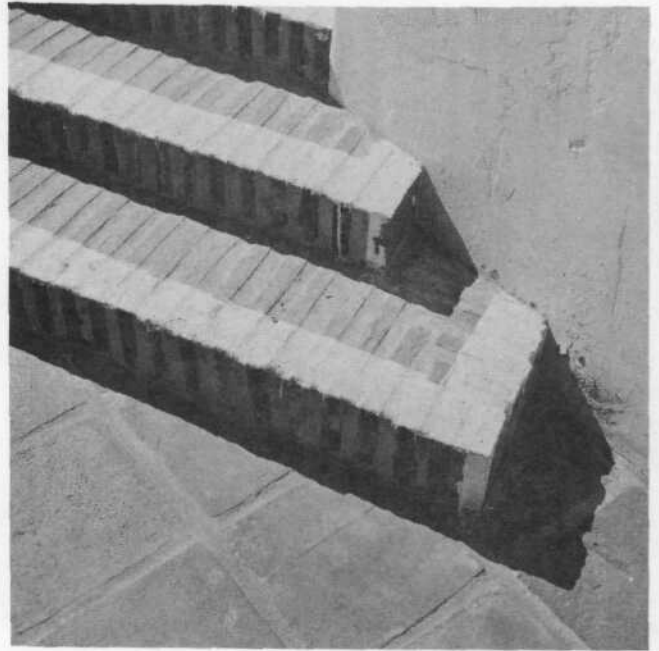


Thick, plastered adobe wall with splayed simple arches and massive piers. This is simulated in present day frame stucco construction with the massive effect achieved by use of a hollow furred treatment.

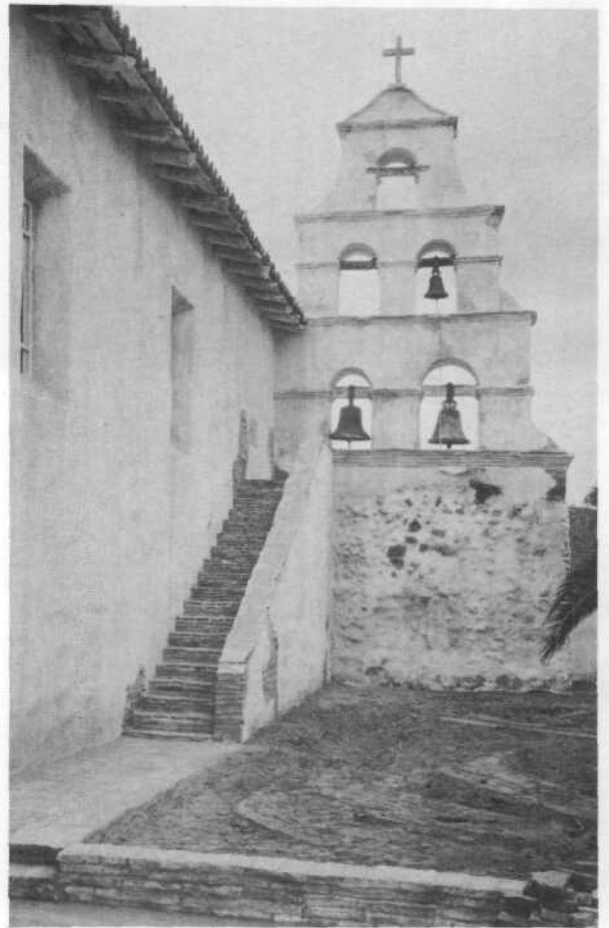


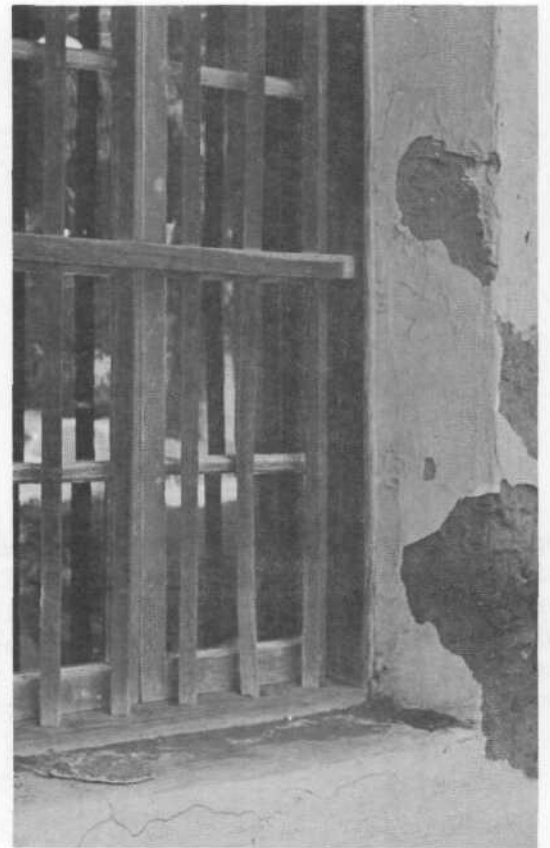
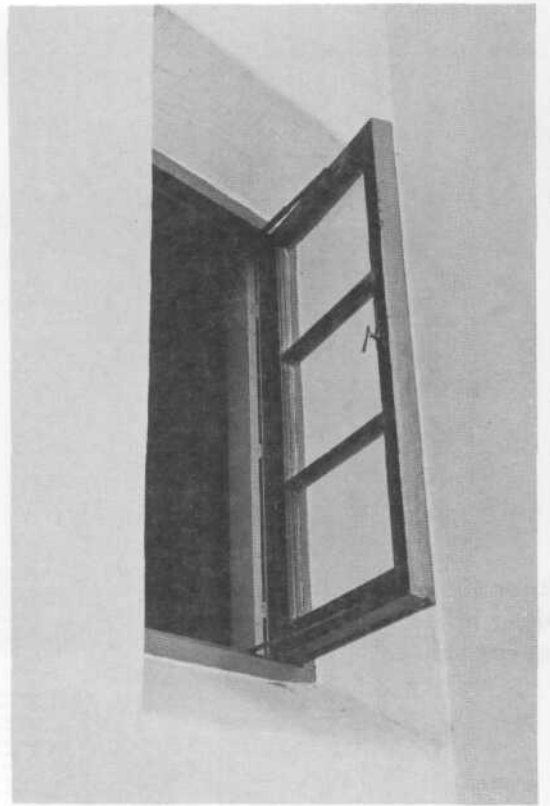
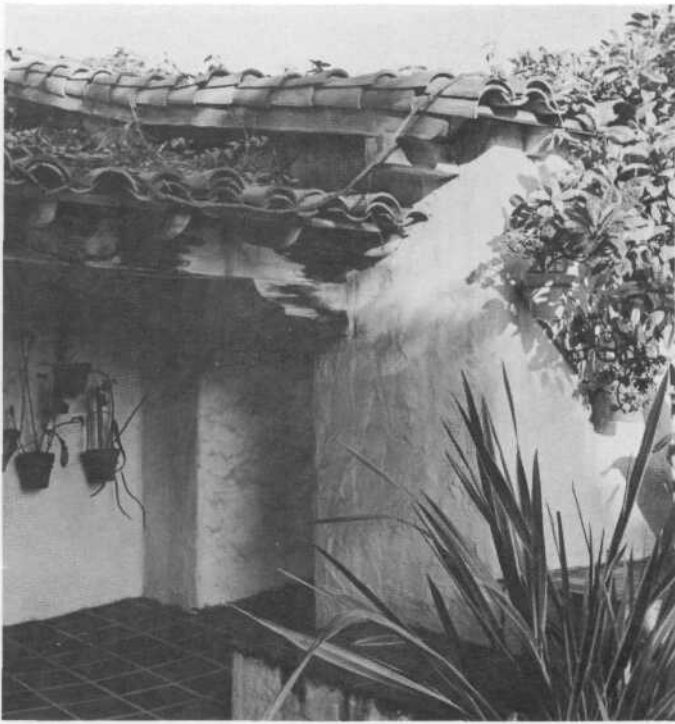
Note the more elaborate arch treatment in which their support is provided by rectangular columns of sturdy proportion, the uppermost molding of which serves as impost mold from which the arches spring.

Steps using 6" x 12" paving tiles on edge; also showing typical 12" x 12" paving tiles.



Typical adobe and stone wall construction with tiled steps to bell tower whose ornamental treatment includes arches, moldings and curving shapes, all plastered. Note deep reveal, splayed window in thick adobe wall with tile roof overhang carried on pole rafters and rough sheathing.





Some present day details reminiscent of earlier types showing door, window, balcony and roof treatment.

Spanish restoration in the Monterey mode. Of particular note is the harmonious blending of architectural and landscaping details.



View into courtyard shows good use of planting indigenous to area.





COSMOPOLITAN HOTEL
(BANDINI HOUSE)

Proposed Building Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK
by the Resources Agency of California, Department of Parks and Recreation.

Shops and Offices

Texture of the plastering has a hand-worked effect. Simple arch molding surrounding window. Decorative use of tile contributes interesting shadow effect in direct sunlight.



Arched entryway. Tile roof overhang carried on simple arch and column supports. Note molding beneath rafters. This is a characteristic treatment.



View through entry into inner courtyard shows diversified possibilities for shops and stores in an off-the-street location.



Street scene showing effect of a combined effort to maintain style and flavor of a period throughout a commercial area.

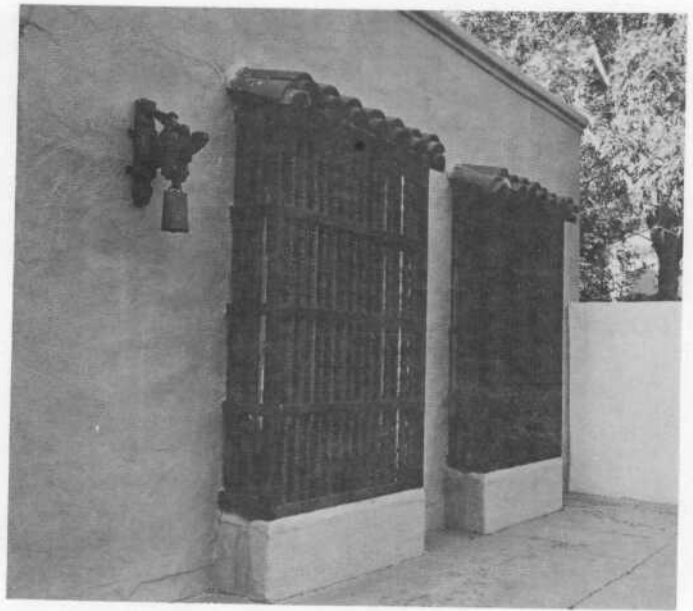


View from interior parking area looking toward entrance from street (center right). Good example of off-street parking treatment as well as dual entrance into stores and shops.

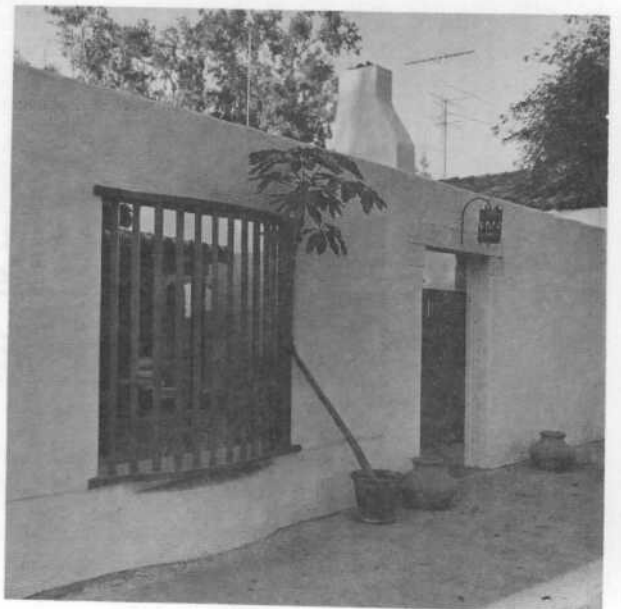


A pronounced and highly successful effort to bring a commercial building into harmony with a community of style characteristics.

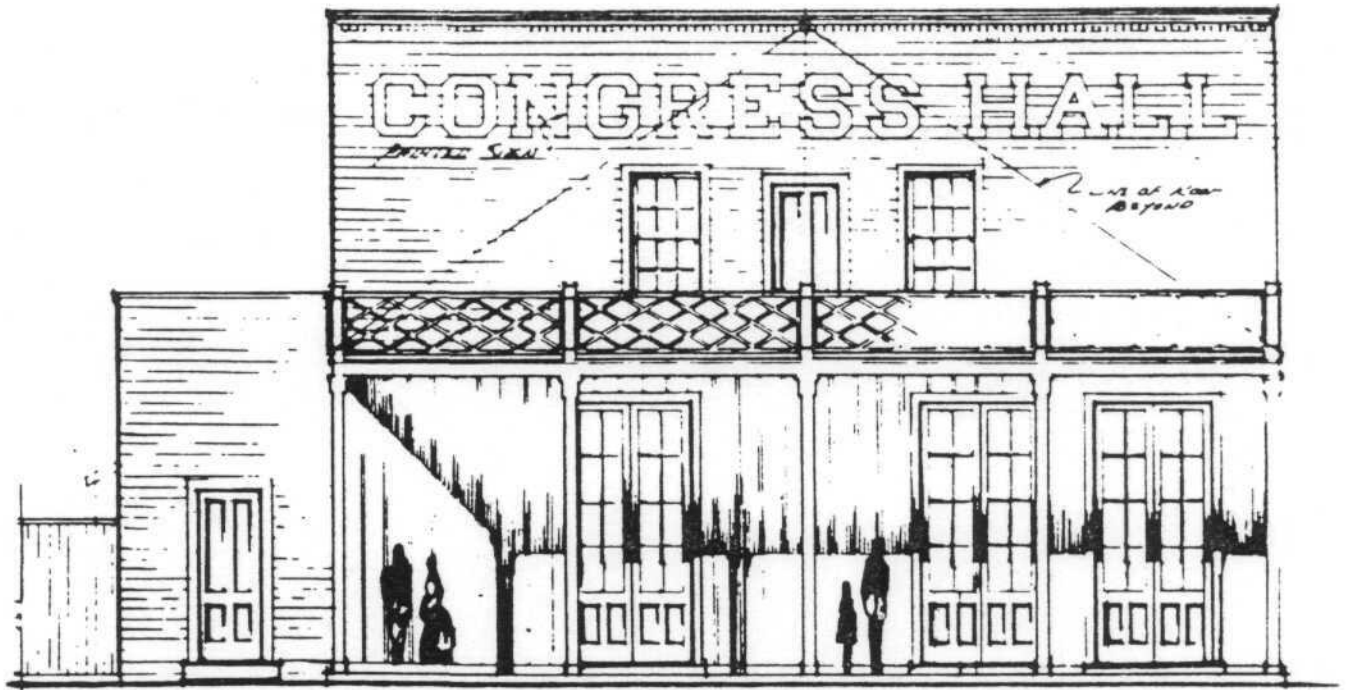




Varied street treatment. Characteristic coping treatment without tile roof decoration or overhang, yet is very effective. Tile treatment above window. Spool design wood grille over window is typical of Spanish influence. Note pleasing effect of shadows over 12" paving tiles of type used during Spanish-Mexican period.



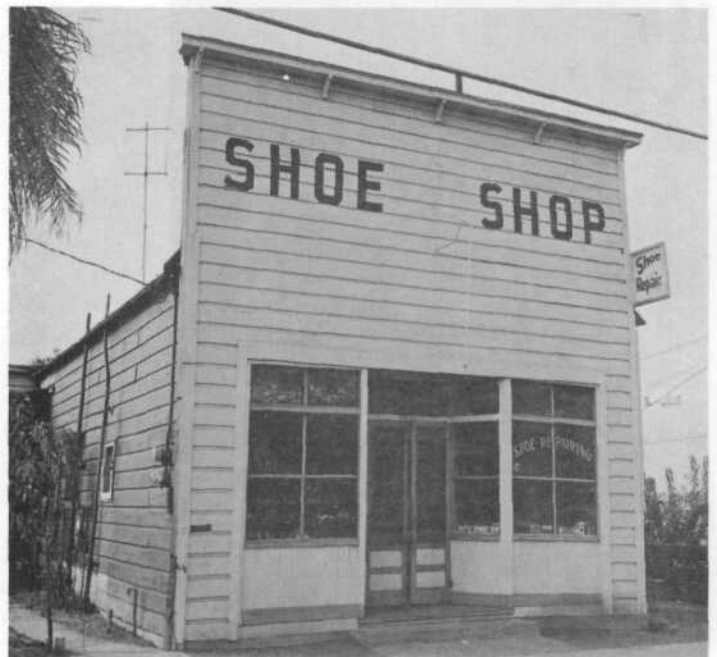
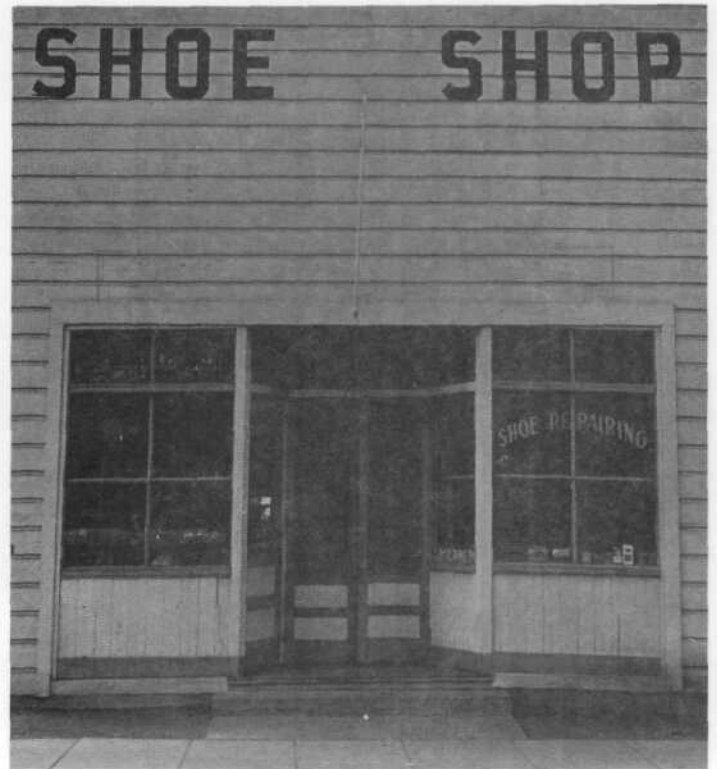
Wood grille looking into forecourt. Wood lintel over gate.



CONGRESS HALL

Proposed Building Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK
by the Resources Agency of California, Department of Parks and Recreation.

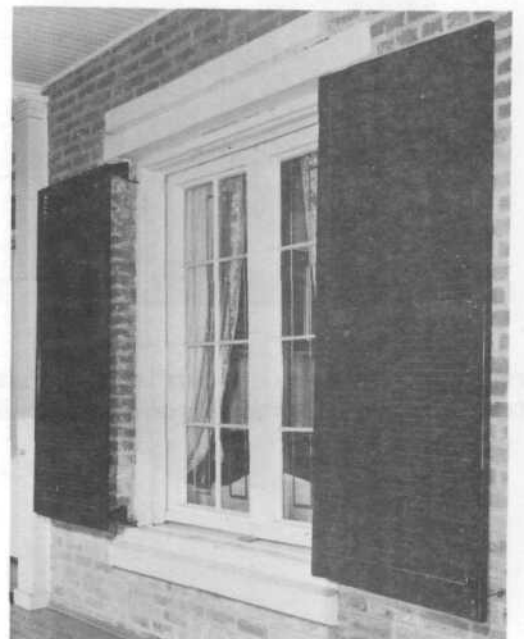
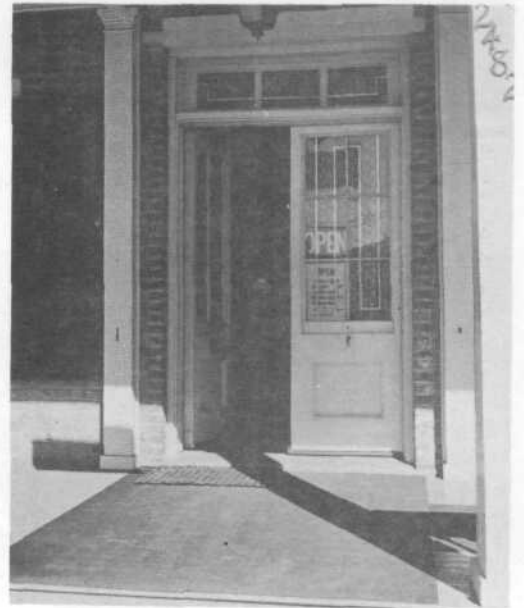
American Period



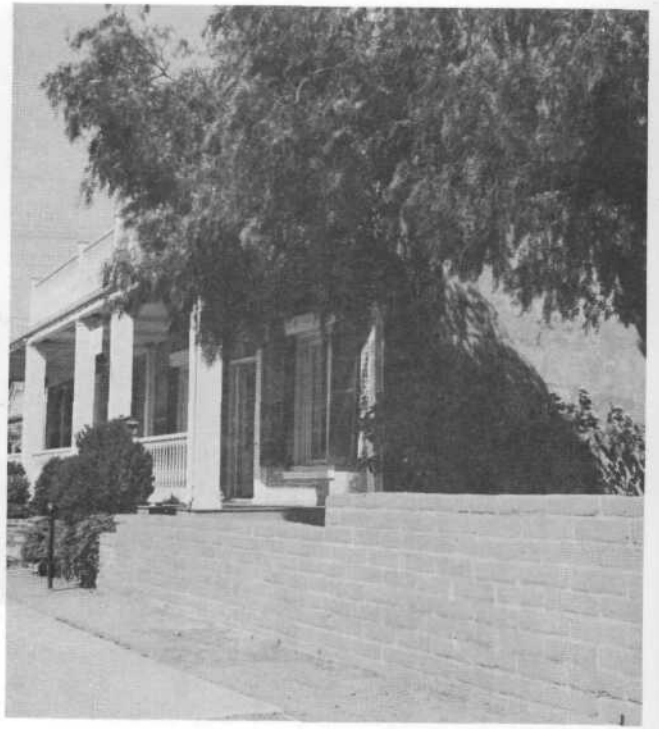
Typical small pitched-roof building with false front, used as office and residence (dwelling in rear portion). American influence is evident throughout, as indicated on following page.



Note wood siding, door and windows and trim, and small cornice effect carried on brackets.



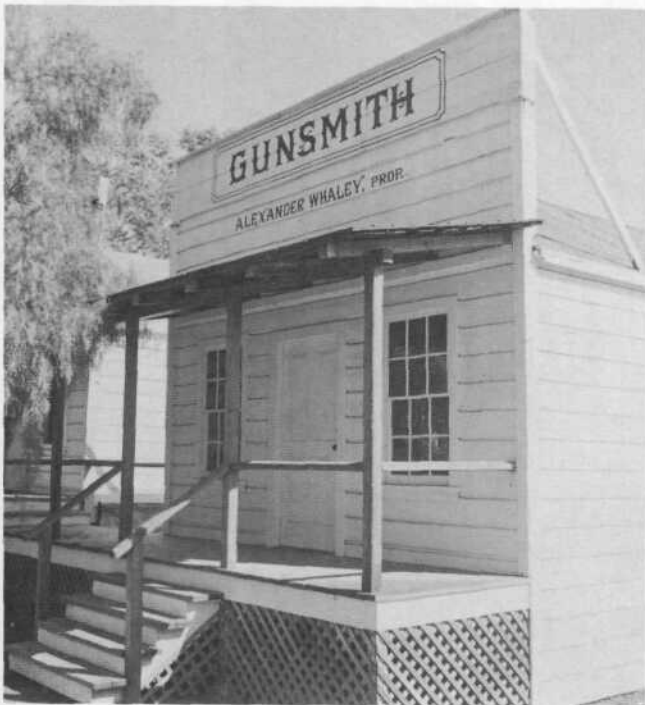
Details of an elegant building for its day (American period). Note particularly the door, window, and column details and balusters, and roof parapet treatment.



Markings on plaster exterior walls are intended to simulate masonry. The effect is quite good.



"Imported" Colonial details; both materials and ideas reflect New England influence.



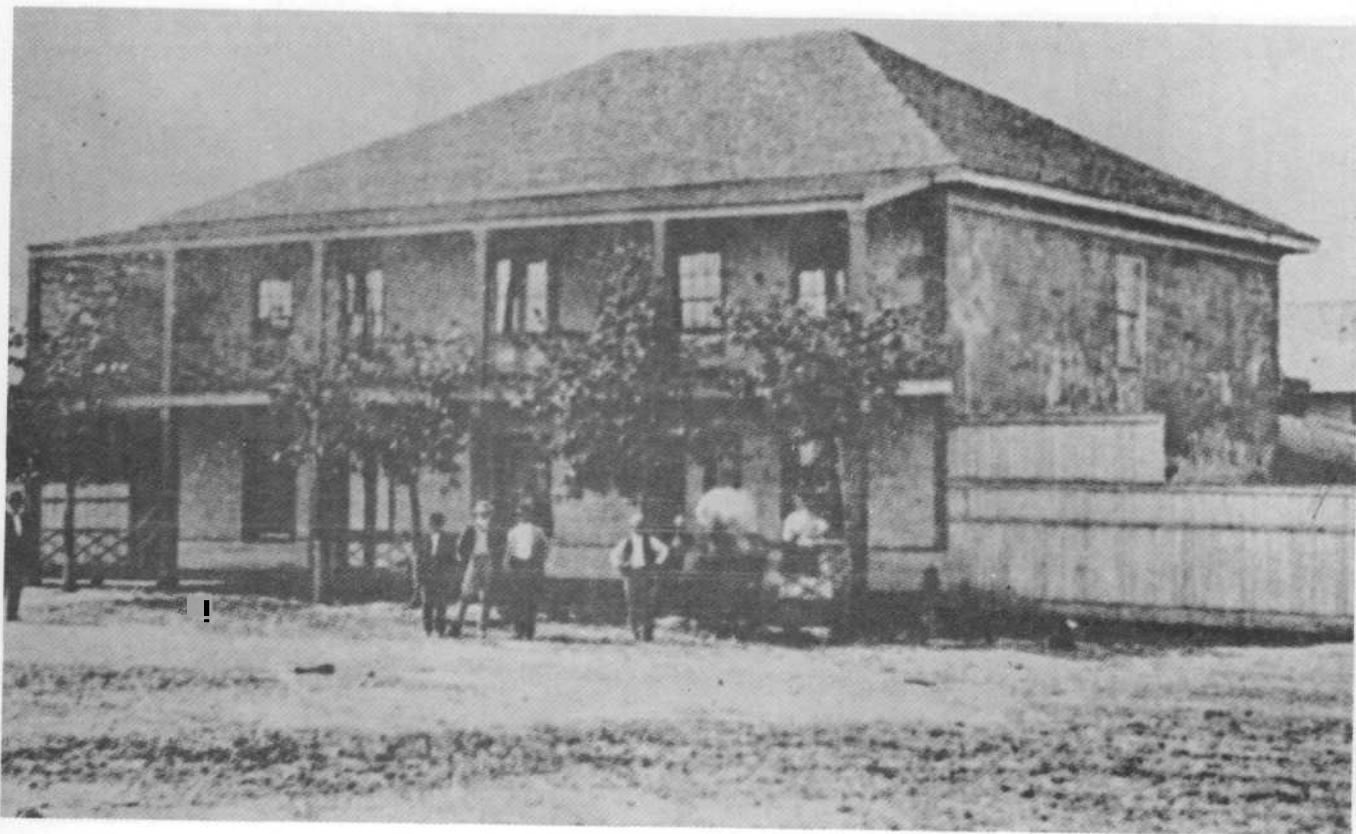
One of the characteristic small buildings with covered entrance (center) and false front which usually indicated a business establishment. Note double-hung wood sash, wood siding, pitched roof (usually shingled).



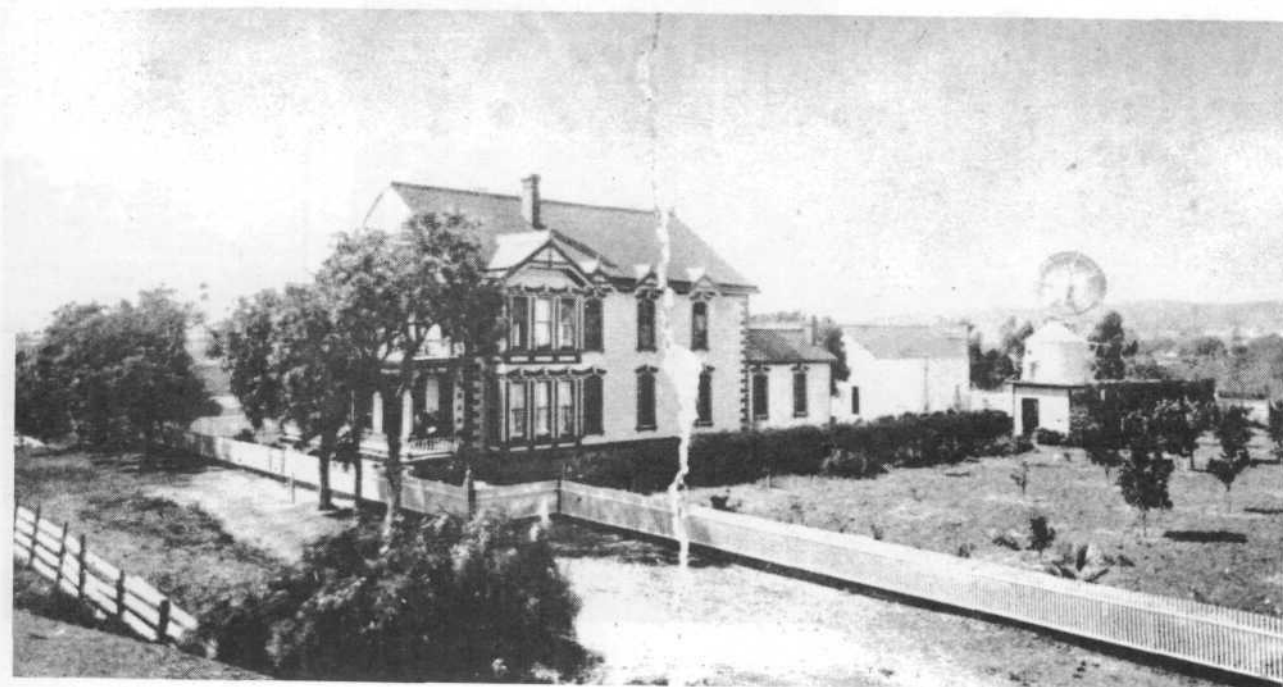
Close-up view of 1yp double-hung window, door and wall siding.



Two views showing details typical of American period -- particularly siding, doors, windows, eave, and rake of the shingle roof.



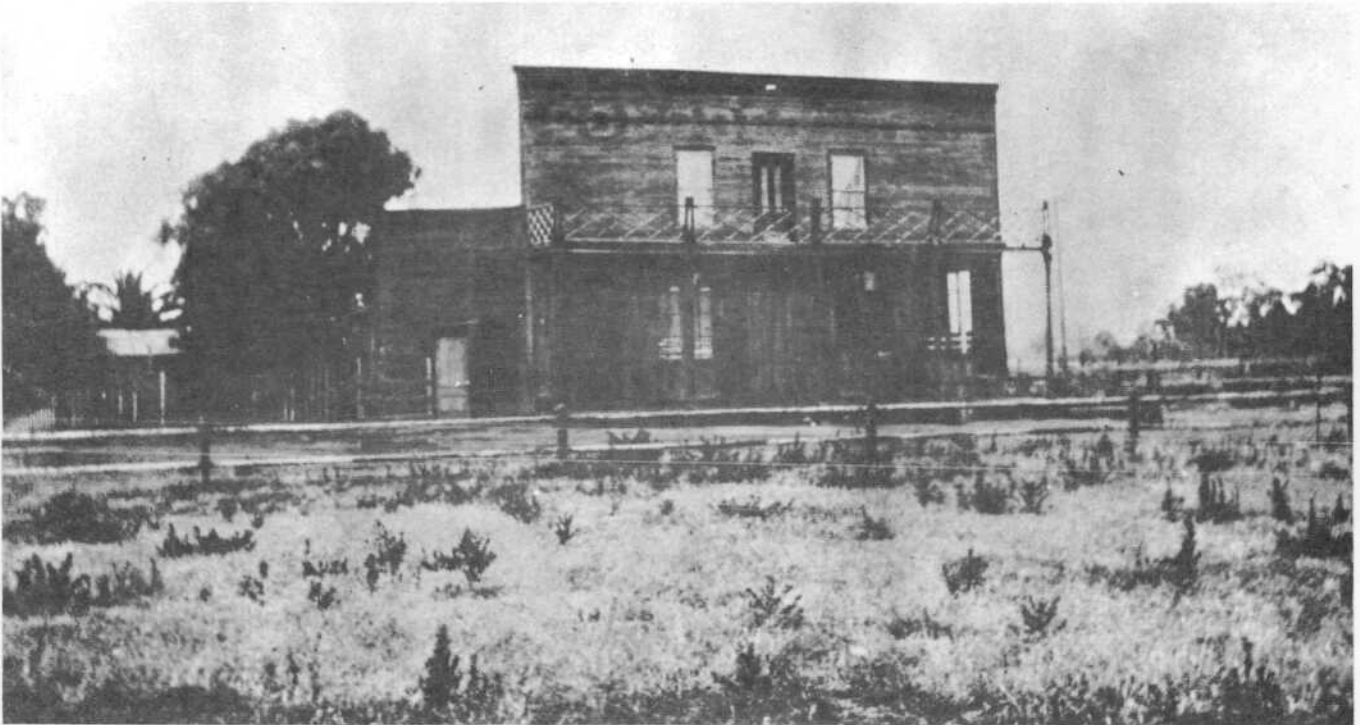
ROSE ROBINSON HOUSE



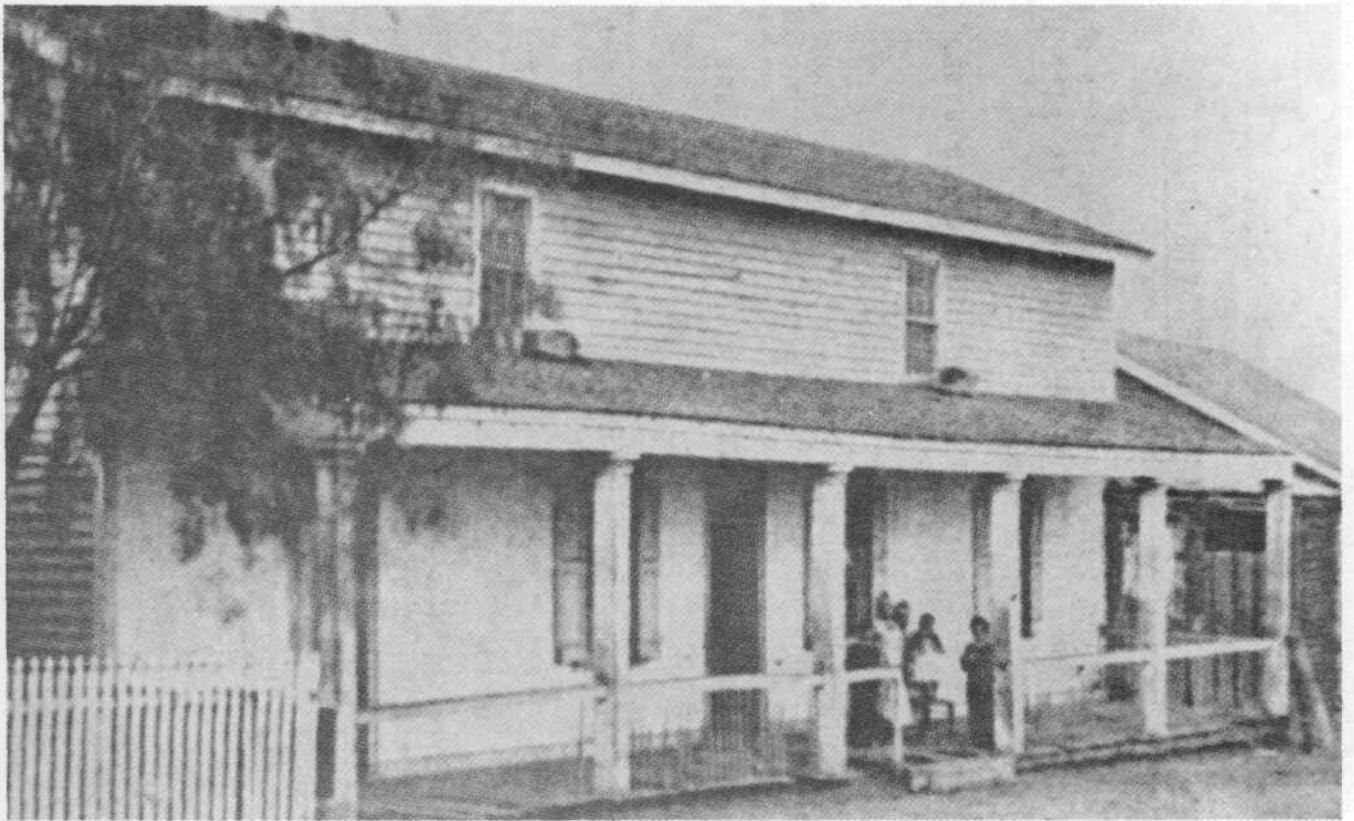
McCOY HOME
Taylor Street Old Town, about 1868



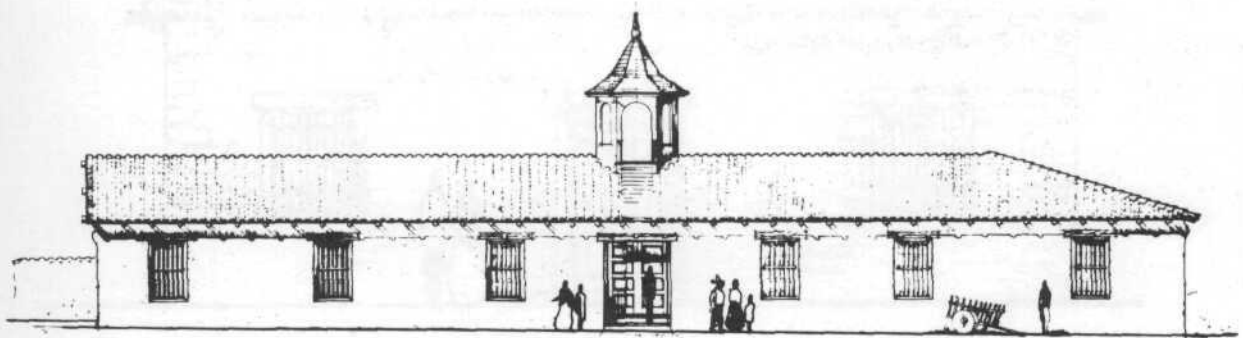
CASA DE LORENZO SOTO
Front S.W. View



CONGRESS HALL - 1867-68
Built by Geo. DeWitt Clinton Robertson
Saloon-Billiard Parlor and Gambling House
North Side of Plaza



SERRANO HOUSE



CASA DE ESTUDILLO

Proposed Building Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK
by the Resources Agency of California, Department of Parks and Recreation.



JAIL

Proposed Building Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK
by the Resources Agency of California, Department of Parks and Recreation.

B. Signs



Identification Sign
Rancho Santa Fe, California



Directional Signs
Old Town San Diego State
Historic Park



Historic Signs
Columbia California

B. Signs

Signs in Old San Diego should advertise a place of business or provide directions and information and shall be **archi-** tecturally attractive and contribute to the retention or restoration of the historical character of the area. Some consistency or similarity of **signs** is important to obtain the desired appreciation that all areas and uses are a part of an early California village.

Unless signs are controlled they will tend to compete with each other and with the historical character of the area. Without reasonably **applied** design criteria signs will distract and dominate the setting via height, shape, **size**, number, lighting and movement.

Sign standards assure the merchant that all other establishments are similarly **restricted**. He is protected against overpowering advertising structures **from** competitors and/or **adjacent** properties in the district.

The rules and regulations pertaining to sign control in the Old San Diego Planned District are as follows:

1. Definitions

- a.) **Advertising Sign** (hereinafter referred to as **identification signs**) is any sign that designates the name of the owner or occupant of the premises upon which such signs **are** placed, or identifies such premises; or **describes** or defines goods offered, manufactured or produced, or services rendered on the premises.
- b.) **Directional Sign** is any sign that is designed primarily to point the way or **identify** any particular feature or facility including private as **well** as public signs.
- c.) **Historic Sign** is any sign being used to recreate a replica or restore a historic structure that **existed** prior to 1871. Documentary evidence of the existence of such a sign must be available.

2. General Regulations

- a.) The approval of a sign or signs in the Old San Diego District **shall** be granted by the Planned District Review Board only when such signs conform to the distinctive character of the Old San Diego District and do not injuriously affect the same.
- b.) No signs or portions of signs shall project over the public right-of-way except as noted herein.

- c.) All sign permit applications in the Old San Diego Planned District shall be submitted to the Board for approval.
- d.) Application for a permit to display signs in the Old San Diego District shall be accompanied by sketches and drawings to scale and dimensioned showing details of construction as required by the City of San Diego building code, and shall delineate the size, shape, design, material, coloring, lighting and position in relation to the building from Or upon which it shall be displayed. Scaled sketches of existing signs on the premises, including signs for which valid permits exist, whether or not such signs are in existence, shall accompany the application.
- e.) Application must also comply with all other relevant provisions of the City of San Diego Municipal Code.
- f.) Applications for temporary signs shall be forwarded to the Board for their consideration. The Building Inspection Department may issue permits for installation of temporary signs if the need for such signs appears urgent. These sign permits shall expire 72 hours following the next Board meeting unless extended by the Board.
- g.) Placement Prohibitions
No sign shall be placed upon a balcony or gallery, or placed in any manner whatsoever so as to disfigure or conceal any architectural feature or details of any building or historical site.
- h.) Colors shall be consistent with the pre-1871 period.
- i.) The typeface used on all signs in the Old San Diego shall be consistent with the pre-1871 period. Acceptable type faces include the following examples:

PLAYBILL
 WAGON TRAIN
 BOOKMAN BOLD ITALIC W/SWASH
 CIVIL WAR SERIES
 ALTERNATE GOTHIC
 GOUDY MEDIEVAL
 GARAMOND

- j.) Lighting. No sign that flashes or blinks effects change in hues or intensity of illumination is permitted. In addition, no visible bulbs, neon tubing, exposed wiring, luminous paints or plastics shall be permitted as any part of any sign. Illumination for the sign shall be hidden from view.

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
1234567890

PLAYBILL

A B C D E F G H I J
K L M N O P Q R S T
U V W X Y Z
abcdefghijklmnopqrstuvwxyz
pqrstuvwxyz
1234567890

WAGON TRAIN

A B C C D E E F G G H I J K K
K L L M M N N O P P Q R R R R S
S S T T U U V V W W X X Y Y Z
a b c d e f g h i j k l m n o p q r s t u v w x y z
1234567890

BOHMA BOLD ITALIC
WISWIS

A B C D E F G H I J K L M N
O P Q R S T U V W X Y Z
abcdefghijklmnopqrstuvwxyz
yz 1234567890

PEC. E. A.

A B C D E F G H I J K L M N
O P Q R S T U V W X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

GARFANT

ABCDEFGHIJKLMNOPQRSTUVWXYZ
XYZ
abcdefghijklmnopqrstuvwxyz
1234567890

ALTERNATE LETTERS

A B C D E F G H I J K L
M N O P Q R S T U V W
X Y Z
1 2 3 4 5 6 7 8 9 0

... 51-104

A B C D E F G H I
J K L M N O P Q
R S T U V W X Y
Z
1 2 3 4 5 6 T 8 9 0

A B C D E F G H I J K L M N
O P Q R S T U V W X Y Z
1 2 3 4 5 6 7 8 9 0

A B C D E F G I I J K L M
N O P Q R S T U V W X Y Z

A B C D E F G H I J
K L M N O P Q R S T
U V W X Y Z
abcdefghijklmnopqrstuvwxyz
opqrstuvwxyz
1 2 3 4 S © 7 8 9 0

... 10-10

SIGN LETTERING STYLES - OLD SAN DIEGO



Projecting Sign



Freestanding Sign
Rancho Santa Fe, California



Signs
Los Gatos, California

k.) **Materials.** The effort of **design** in the district is to keep a moderate and attractive and compatible styling so as not to cause erratic or disturbing distractions from the **architectural** character of Old San Diego. Materials and details of appearance **shall** be in accord with those **characteristic** of the pre-1871 period. The choice of materials are left to the discretion of the **applicant**, subject to the approval of the Planned District Review Board; however, the following materials are acceptable and **desirable**:

1. Sign face, supports and standards made of resawn or rough sawn wood and/or wrought **iron** with painted backgrounds and lettering.
2. Sign face, supports and standards made of smooth wood trimmed with Georgian Colonial mouldings with painted backgrounds and lettering.
3. Sign painted directly on the face of the building.
4. Use of wood cutouts or wrought **iron silhouettes** further identifying the business on any of the **above**.

The following materials and **details** are not acceptable:

1. Contemporary **finish** materials such as plastics, porcelain enamel, aluminum and stainless **steel**.
2. Sheet metal.
3. Imitation wood or imitation marble.
4. Bright **gloss** enamel, fluorescent paint or **reflecting** surfaces.
5. Exposed metal supports in extruded, **rolled** or tubular sections.

1.) Public signs shall be limited to those absolutely necessary for:

- a. **good traffic flow**
- b. **safety**
- c. **information transmittal**

and shall be executed and placed in a manner compatible with the **architectural** character of Old San Diego.

m.) Area of **Sign Defined.** The area of a **sign** shall be the area of the **smallest parallelogram** that can be drawn around the sign.

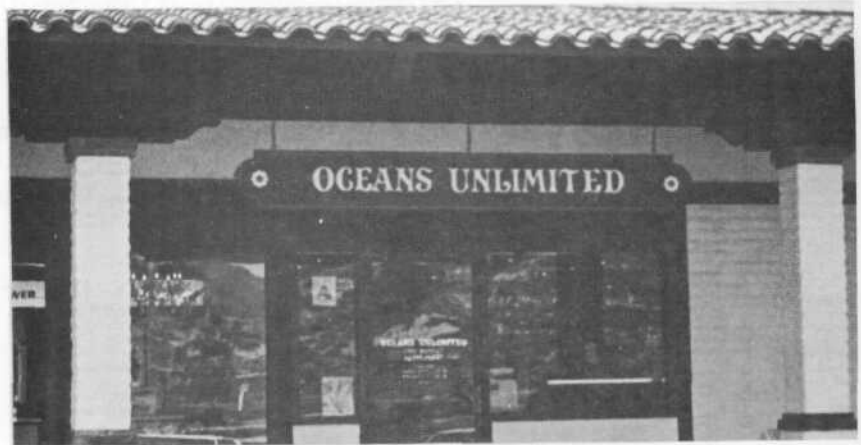
Rancho Santa Fe



Rancho California



Solana Beach



Rancho Bernardo



Identification Signs

- n.) Temporary **Signs** and Posters made of cardboard or **similar** temporary material advertising coming events of importance to the community will be permitted in Areas **A, B,** and C of the Old San Diego Planned District. It is encouraged that the appearance of such signs conform to that defined in these regulations. If the **size** does not exceed four **(4)** square **feet**, submission to the Planned District Review Board will not be required. Temporary Signs and Posters should not be placed more than three weeks prior to the event and shall be removed no later than one week after the advertised event.
- o.) Exception clause: A sign not conforming fully to these regulations may be approved by the Planned District Review Board providing that there is reasonable justification for the exception and that the sign particularly contributes to the distinctive character of the Old San Diego Planned District.

3. Identification Signs

- a.) Signs are permitted on the faces of each business **establishment** provided that no such sign shall project above the nearest parapet or eave of the building and signs parallel to the face of a building shall not project more than twelve (12) inches from the building to which the **signs** are attached.
- b.) Signs (one permitted) on the front or primary face of a business **establishment shall** not exceed one square foot for each linear foot of frontage or (16) sixteen square feet, whichever is smaller, provided that the sign of any one premises need not be less than ten (10) square feet in area.
- c.) Signs on the side or rear wall of an **establishment** shall not exceed twelve and one-half ($12\frac{1}{2}$) square feet or one-half ($\frac{1}{2}$) square foot for each **linear** foot of street or dedicated walkway frontage along **those walls.**
- d.) One (1) perpendicular (30° or greater) projecting **hanging sign** not to exceed **six (6) square feet will** be permitted on the front or primary face of each **establishment** provided however that the sign face is designed as a graphic **representation** of the goods or services provided at the particular **establishment**, e.g. a boot to **advertise** a shoe repair shop.
- e.) No free standing or roof top **identification** signs shall be permitted with the following exceptions: **Establishments** located within arcade, court, office building Or similar structure not on the public

right-of-way may **collectively** place a single free standing sign at the entrance to said court or arcade to identify the **establishments** within. Maximum height of such signs shall not **exceed four (4)** feet above average adjacent grade and **maximum size** for **identification** of each individual **establishment shall** not exceed 1.5 square feet.

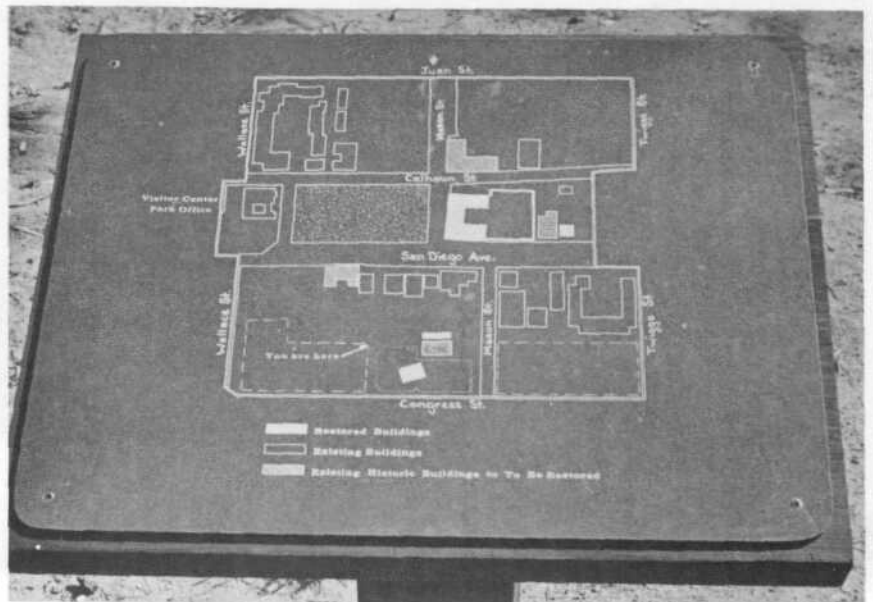
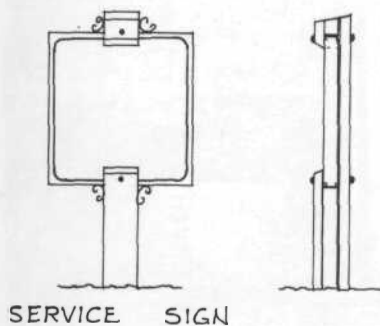
- f.) All signs which are determined by the Building Inspector to be unsafe, corroded, dilapidated, or in some other similar condition shall be removed or repaired. **All** abandoned signs **shall** be removed.
- g.) Animated signs, including, but not limited to, those signs which rotate, move, flash, reflect, blink or effect changes in hue or intensity of illumination are **prohibited**.

Flags, pennants, banners and streamers are permitted as defined below provided, however, that they are not utilized for purposes of **identification**, except where they identify events of importance to the **community**.

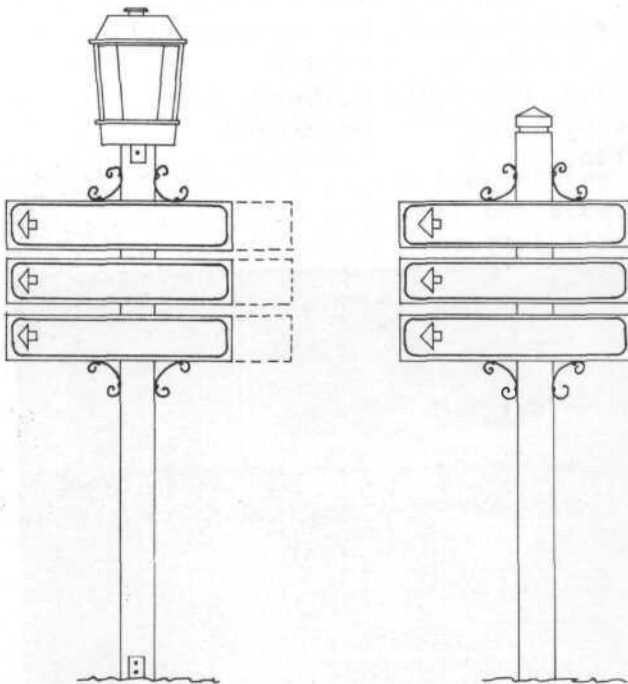
- a. Officially adopted and **recognized national**, state and local flags, flags of **international organizations**, official military flags and historically significant flags.
- b. Flags of groups, **organizations**, societies and **corporations** provided there are not more than two (2) per premises.
- c. Personal flags provided there is not more than one (1) per premises.
- h.) Signs that identify goods or services not available on the premises upon which the sign is placed **shall** not be permitted.
- i.) Signs placed within a building against an exterior window intended to be viewed from the outside of **the building shall** not be **allowed**.
- j.) Standard copyrighted **signs** offering **information** on incidental services or **recommendations**, e.g. AAA, **BankAmericard**, Carte Blanche, etc. shall not be visible from the **public right of way**.

4. Directional Signs

- a.) Directional signs are permitted on the faces of buildings or structures provided that such signs shall not be placed higher than eight (8) feet above the immediately adjacent ground level or above the eave line whichever is the lesser.
- b.) Directional signs are permitted to locate on a separate freestanding ground structure provided that the structure and/or sign affixed to same does not exceed six (6) feet in height.
- c.) Maximum size shall be that which is necessary to convey the necessary information, not to exceed a maximum of four (4) square feet.
- d.) Total number of signs to be used for this purpose shall not exceed four (4) per establishment.
- e.) Residence and establishment name signs, occupants' name plates and address numbers are those signs which, by their nature and wording, of lettering identify and locate either the house, establishment, or its occupant, or both. Such signs may include pictorial and decorative designs as well as words and numbers, and may be in any shape or form, but shall not exceed one (1) square foot in area.



Location Markers
Old Town San Diego State Park

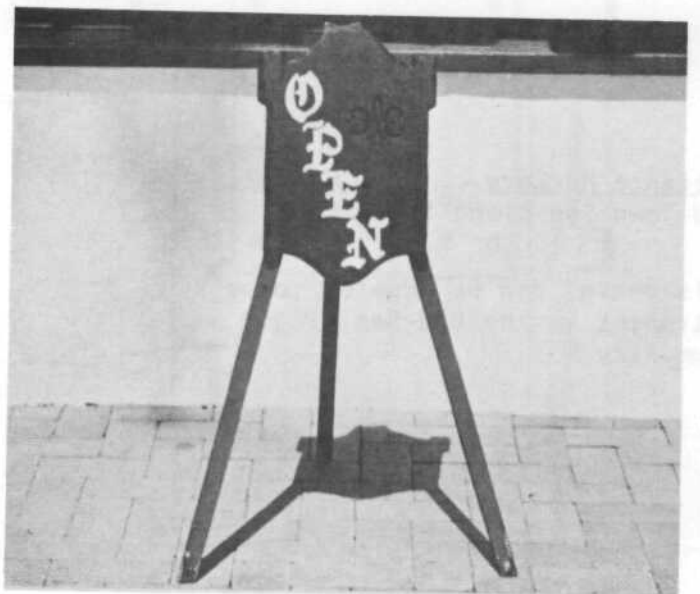


Directional Signs
Old Town San Diego State Park

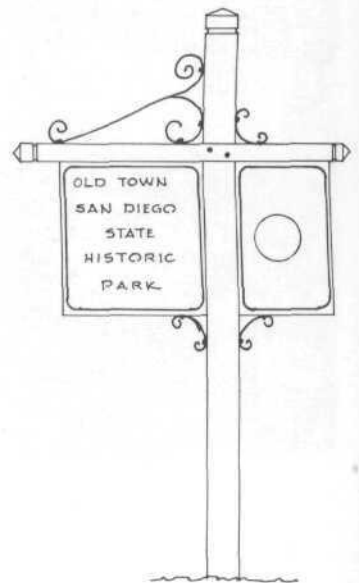
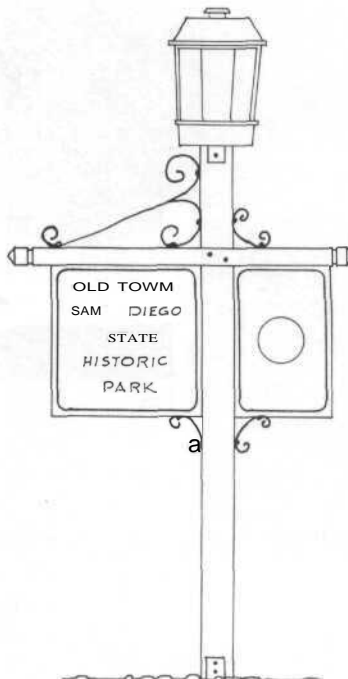
Street Sign
Rancho California

These can be adapted for use as street signs in the Old San Diego Community

Entrance Marker
Plaza de las Cuatro Banderas
Solana Beach, California



Private Directional Signs
Rancho Santa Fe, California

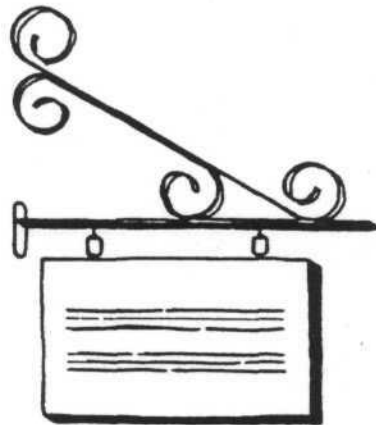
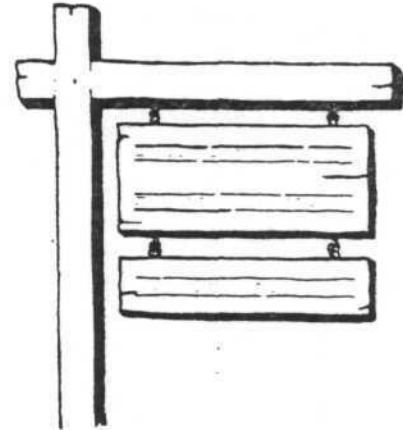
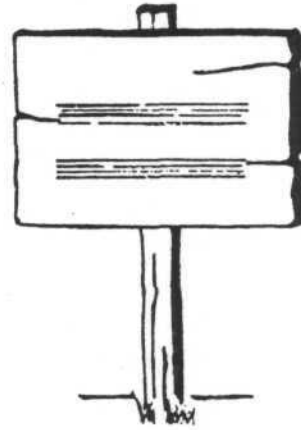


Entrance Markers
 Old Town San Diego State Park

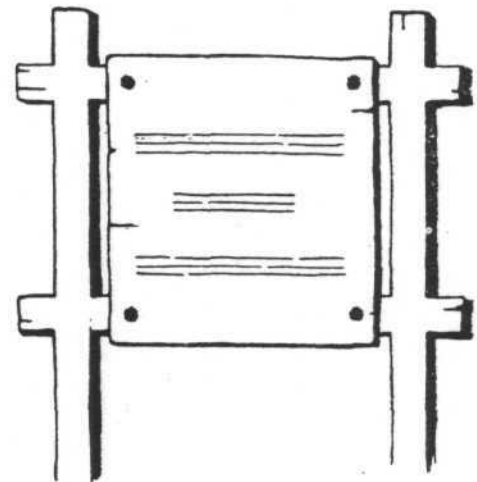
This design can be adapted to mark entrances to the Old San Diego Community



wall plaque



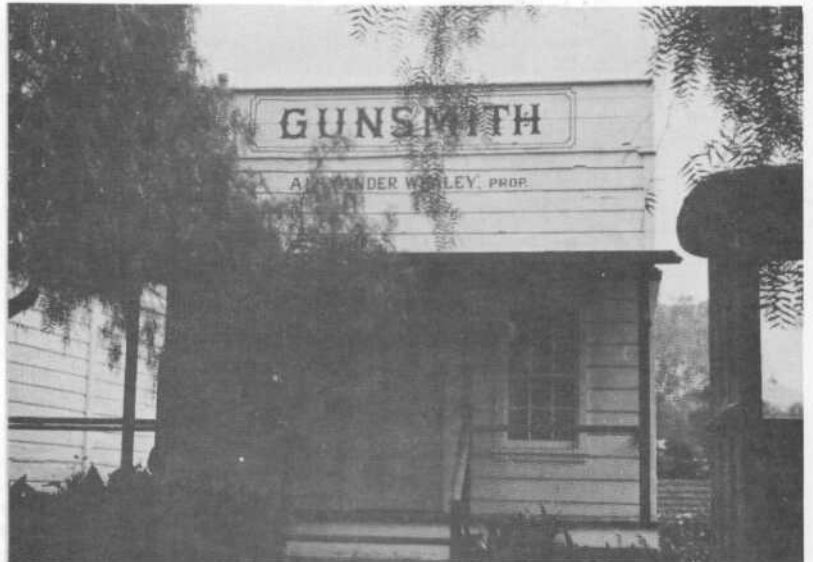
projecting sign



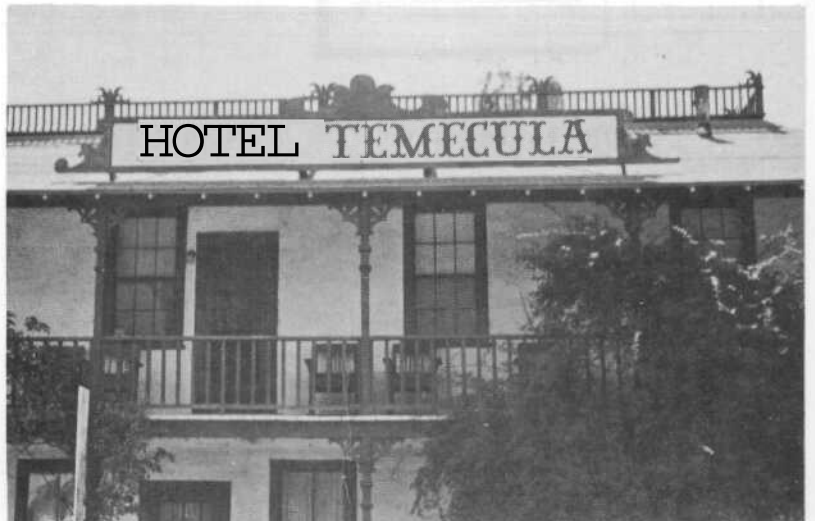
ground signs

5. Historical Signs

For businesses of the type existing prior to 1871, the maximum size of sign shall not exceed the size which was in use, for this type of business, in California and the Southwest United States prior to 1871. All requests for signs in excess of sixteen (16) square feet shall be accompanied by documentary evidence that signs of such size and advertising such a business were in use in the area prior to 1871. Signs must conform in size, shape, design, material, coloring, lighting and location to the pre-1871 period. Documentary evidence must be approved by the City of San Diego Historical Site Board.

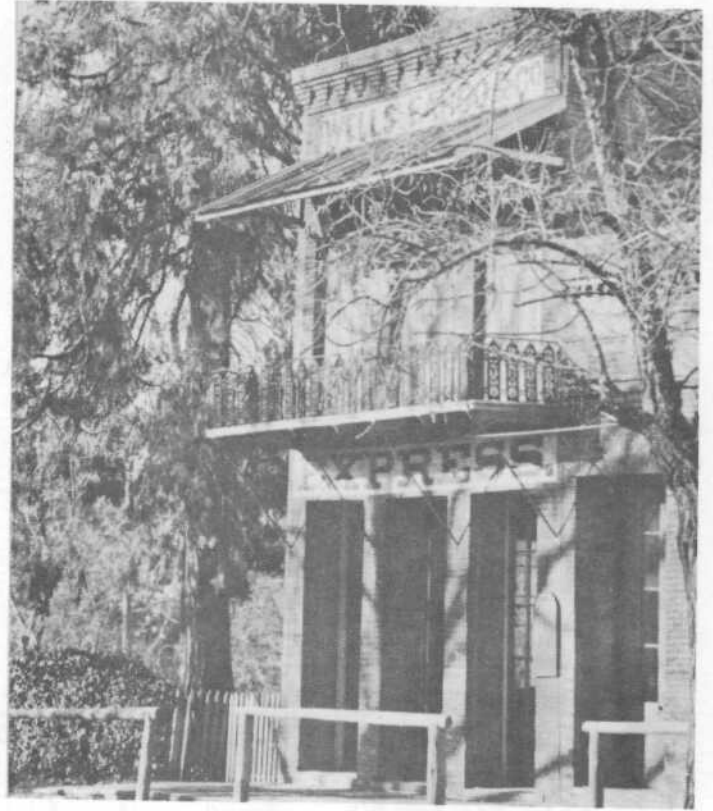


Whaley Gunsmith Shop
Old San Diego



Temecula, California

Cosmopolitan Hotel
Old San Diego



Wells Fargo Company
Columbia, California



Temecula, California



ROSE ROBINSON BUILDING

Proposed Building Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK
by the Resources Agency of California, Department of Parks and Recreation.

C. Lighting

Pacific Garden Mall
Santa Cruz, California



Society Hill Historic Preservation
Philadelphia, Pennsylvania



Balboa Park
San Diego, California



C. Lighting

"Light is the medium through which most of us perceive and experience the world around us."* Light can create a climax: to show up a monument as we come from a narrow street onto a great plaza; to make it worth our while to stroll to the far end of a garden; to call our attention to a significant feature of the landscape; to create interesting reflections.

The street light by its very number is one of the most ubiquitous pieces of street hardware, but the practice of street lighting evokes much controversy. There is a conflict between lighting engineers on the one hand, who feel that the intensity of light is the only important factor in doing the job. And on the other hand the environmental design professionals who question the environment that the high intensity light produces and the choice of fixtures which are usually unattractive and out of scale.

Light quality must be geared to the specific use of the area. A district such as "Old Town" requires a warm, simple lighting geared to its distinctive character. The lighting must be more human in scale, closer spaced and lower than is usually found in other areas. Each light must also be attractive to look at during the day when the pole, base, and light add another dimension to the urban scene.

The current rules and regulations with respect to illumination are as follows:

1. The public sidewalks, places and alleys, exteriors, roofs, outer walls and fences of buildings and other constructions and signs visible from any public street, place or position in the Old San Diego District shall not be illuminated by privately controlled lights or any other illumination except as permitted herein.
2. Building or roof outline tube lighting shall not be acceptable. Use of luminescent or reflective wall surfaces shall not be acceptable. Building or wall lighting shall be indirect. A limited number of lights may be used to create shadow, relief or outline effects when such lighting is concealed or indirect.
3. It is encouraged that interior building lighting shall be left on at night to enhance pedestrian activity on the street.

In order to expand the current Rules and Regulations in lighting, it is suggested that the following goals and standards be considered.

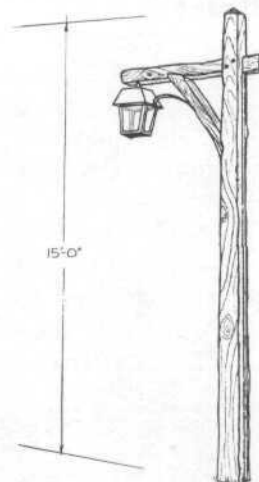
1. Develop a lighting system that shall express the unique character of the area. Do not use neon, mercury vapor, exposed fluorescent, or exposed high intensity lights.

CITIES, Lawrence Halprin, Reinhold, New York 1963.

Old Town San Diego
along Congress and Juan Streets



Parking Lot Lights, Old Town
San Diego State Park



Old Town State Park Lighting
proposed by Department of Parks
and Recreation

2. Define the organization of streets and circulation. Lighting of **intersections**, pedestrian **walks**, plazas, and in special cases **buildings** should be well **lighted** with numerous **small** fixtures. If flood **lighting** is used their sources should be well hidden. Light sources should be low and closely spaced to maintain pedestrian scale. The maximum height, with the exception of safety lights at intersections, should be approximately 12 feet. **Intersections** might have increased wattage for definition and to alleviate **automobile/pedestrian conflicts**. The effect would be one of **varying-size** pools of light. Either gas or **electric lights** would be suitable.
3. Parking areas should be well lighted but with numerous small fixtures or **lights** from hidden sources.
4. Large developments should use the same fixtures throughout.
5. The lighting system should contribute to the overall **orientation** of the **public** in order to enable people to find their way around Old San Diego, **Traffic lights** and signs should be integrated with safety lighting of **auto/pedestrian interfaces**.

Decorative Aspects of Lighting

Building Exterior Lighting

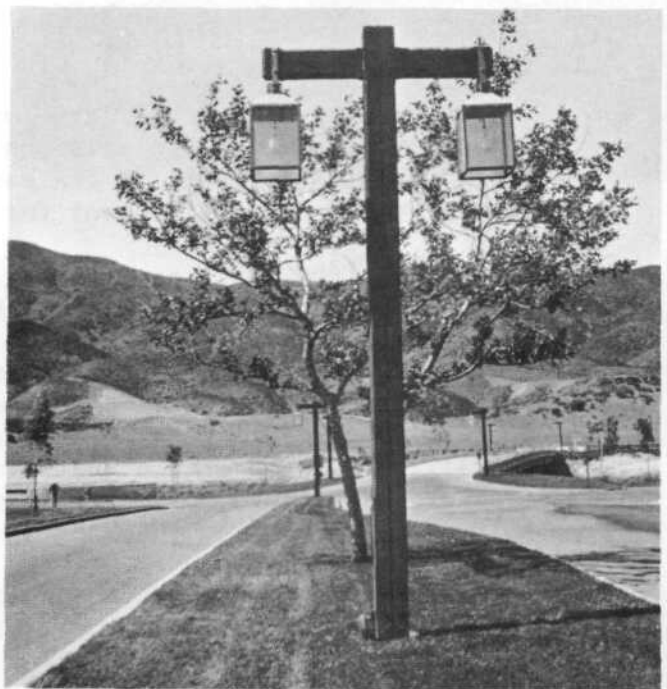
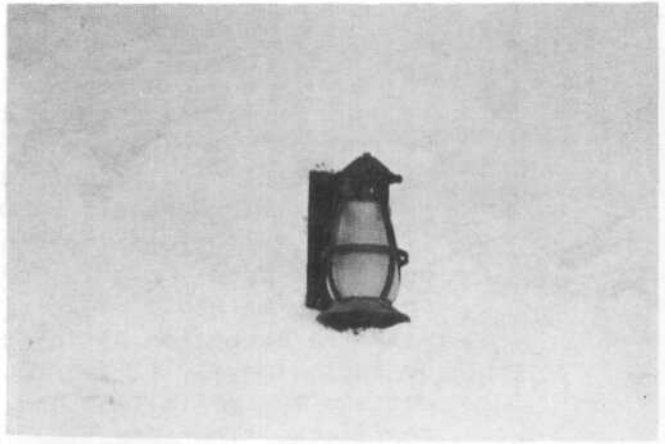
The exterior lighting of public use buildings is intended to give full time **visual** appreciation and to attract attention to these buildings during the night hours as **well** as during **daylight** hours. The **lighting** must always create a favorable impression with passersby. In this sense, the lighting of these buildings is often a subtle and **dignified**, yet highly effective, form of advertising.

Public buildings, churches, and monuments are generally lighted as an expression of civic pride, although here, too, the **advertising** aspect is present if the end result is to create an attractive evening environment for the community.

Decorative lighting is essentially an art rather than a science. While calculations of luminance (**photometric** brightness) will generally be necessary, successful **lighting** depends to a large extent on the **designer's** ability to manipulate brightness relationships, textures, to enhance the color of buildings. Thus, lighting is part of the **architectural** vocabulary and as such can be **utilized** to help create and dramatize a **nighttime** image of a structure, sculpture, or garden thereby extending the hours of their **usefulness**.

Exterior lights should be located and shielded so that units do not **light** adjacent units thereby **revealing** their presence.

Wall-Fixture
Mission San Diego de Alcala
San Diego, California



Light Standards
Rancho California
Temecula, California

Illumination Level

To serve as a design and calculation **guide, acceptable illumination** levels for building exterior lighting are given in the table below. These should be considered as acceptable **levels**. Because **of** the decorative and advertising nature of **building lighting**, variation from these levels is to be expected depending on the type of **building**, its location, and the ultimate purpose for **floodlighting**.

Illumination Levels for Building Exterior Lighting

Surface Material	Reflectance (percent)	Bright Acceptable Level (footcandles)	Dark Level
Light marble, white or cream terra cotta, white plaster	70-85	15	5
Concrete, tinted stucco, light gray and buff lime- stone, buff face brick	45-70	20	10
Medium gray limestone, common tan brick, sandstone	20-45	30	15
Common red brick, brownstone, stained wood shingles, dark gray brick	10-20	50	20

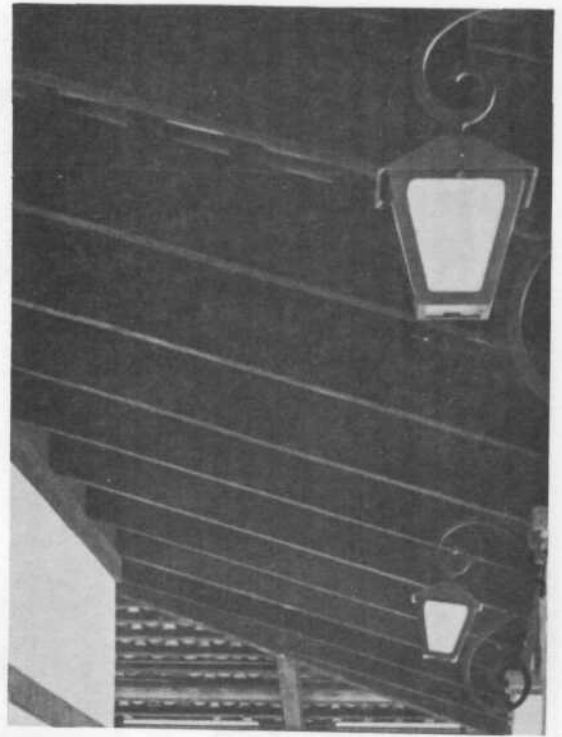
Probably the most important single rule that should be followed in decorative as well as functional type lighting installations is to **conceal the light source**.

(Discussion and Table taken from Section 17 of the Illuminating Engineering Society Handbook)



Jackson Square
San Francisco, California

Plaza de las Cuatro Banderas
Solana Beach, California

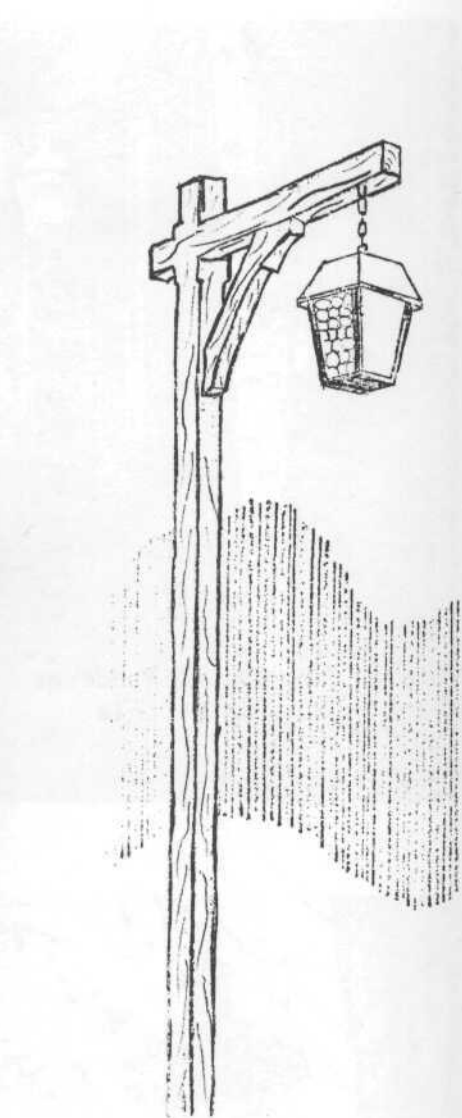
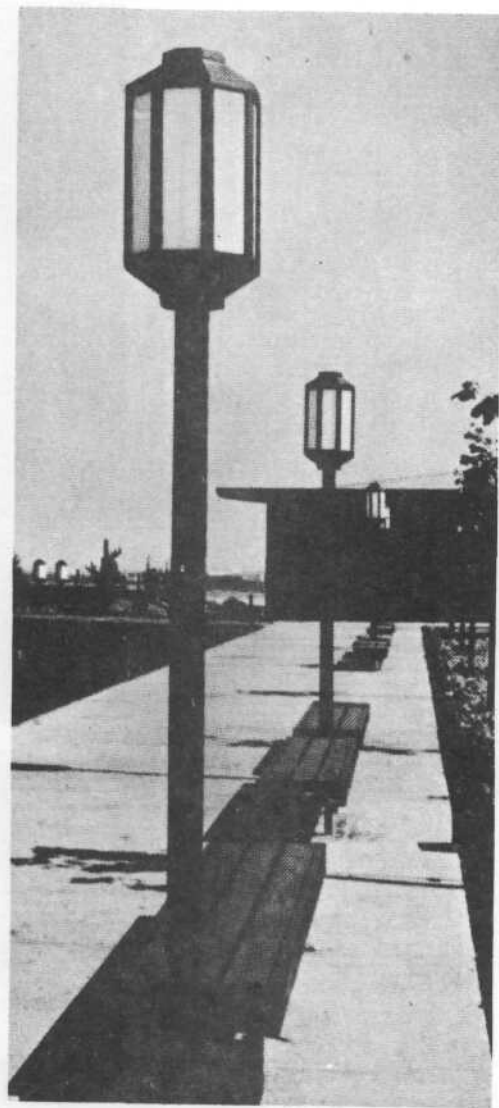


Wall mounted fixture



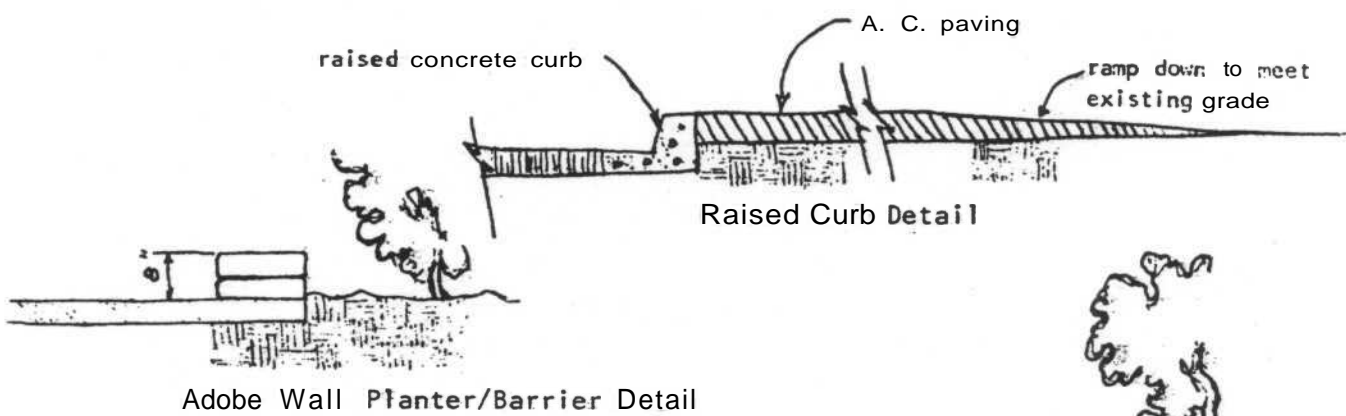
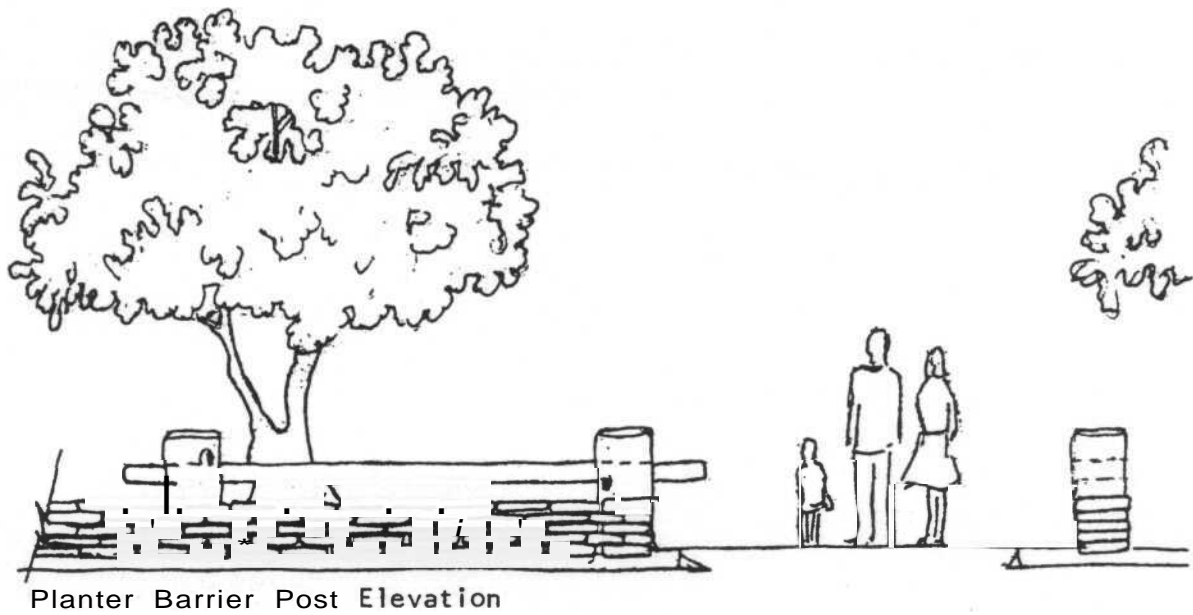
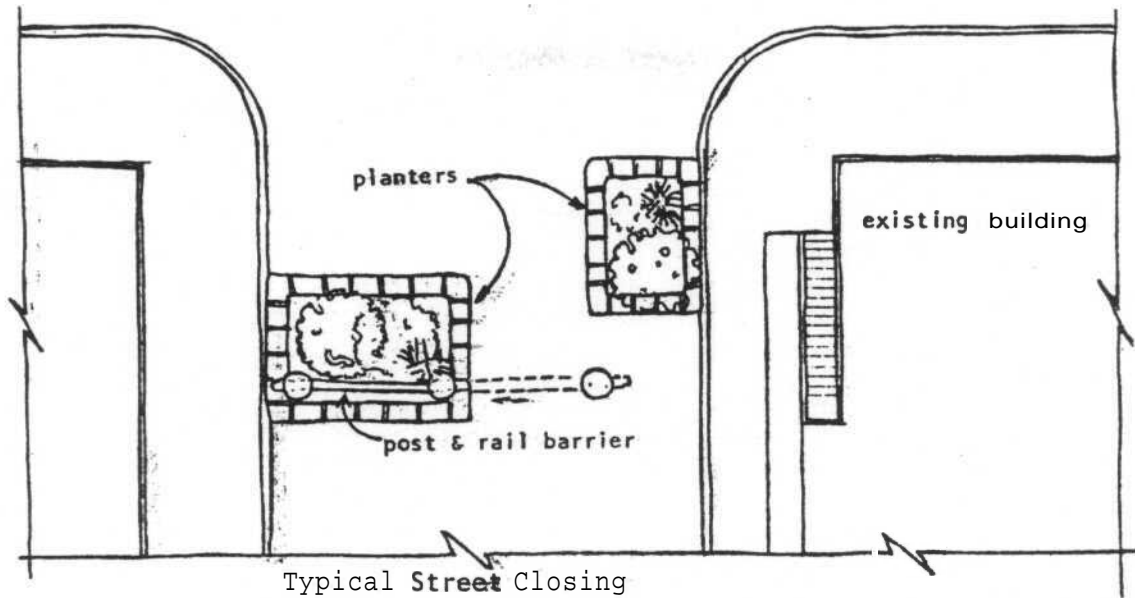
Mercado at Rancho Bernardo
San Diego, California



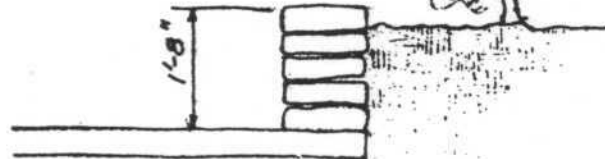


Commercially Available
Lighting Fixtures

D. Street Design



STREET CLOSING DESIGN STUDIES
 Prepared for Old Town San Diego
 State Park by State of California
 Department of Parks and Recreation



D. Street Design

"Urban spaces that have beautiful pavings make **walking** an aesthetic experience. The floor underfoot is a very immediate and personal **kind** of experience for pedestrians.

It can be patterned, **textured**, colored, and thrown like a rich rug underfoot. In addition, the materials of floors strongly **influences useability** and **comfort**, as well as aesthetic qualities. The textures of **pavings** can guide the activities and movements of pedestrians, can even channel their direction, or prevent **their** encroaching on specific areas, or slow them down. Smooth materials encourage walking, rough surfaces inhibit **walking.**"*

Street Closings

All streets closed to **vehicular** traffic within Old San Diego should have **PERMANENT** barricades which still allow passage of service and emergency vehicles. Design and location of street closing barricades **will** be **given SPECIAL consideration** with the objective of **inviting** pedestrian traffic to proceed into the area.

Streets and Walks

1.) Paving **materials**

Many modern paving materials can be poured in place permitting large areas to be covered quickly at relatively low cost. Suitable materials include concrete, **asphalts**, terrazzos and **stabilized** earths. Primary objectives in the selection of a paving material and the technique used for **its** surface furnishing include:

Asphalt with special gravel aggregate surface: "PARK PAVING"

Use of **stabilized** earth (decomposed granite and portland cement mix) wherever possible

Minimize or refurbish existing "sidewalks": extend outdoor shop porticos, cover with **stabilized** earth, textured asphalt, or Mexican paving tile, bricks, etc.

Consider the addition of plank walks

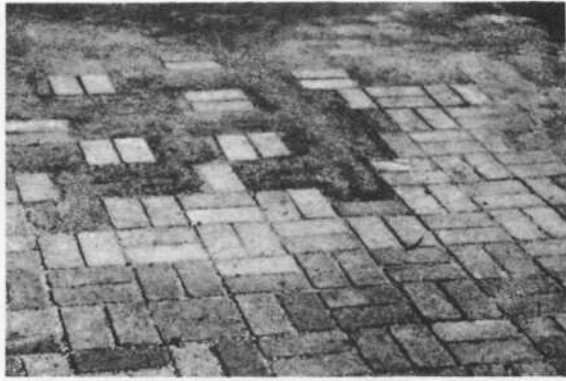
Limit the number of paving materials or patterns used in any one place

***CITIES**, Lawrence Halprin, Reinhold, New York 1963.

PAVING MATERIALS

COBBLES

Belgian **blocks** called cobbles paved most of the streets of Europe, 12" x 8" x 4" dimensions. They were the usual road surfacing material in early years of the new world.



PRECAST PAVERS

Precast concrete paving units allow a much closer and uniform control of surface textures than **concrete** poured in place. Their cost is **halfway** between stone and poured concretes, and they are particularly useful in areas where settlement of the base is a concern.



BRICK

There are innumerable patterns which can be used as well as wide gradations in the color and texture of brick surfaces.

CONCRETE

It is inexpensive and **easily** poured and can be imprinted in a wide variety of textures, colors, and patterns at a very economical cost.

Brick in Asphalt
Lawrence Halprin and Associates

Brick Pavers
Monterey, California

Stone Curb Detail
Presidio Park, San Diego



Changes in patterns or materials may be used to indicate a change in direction.

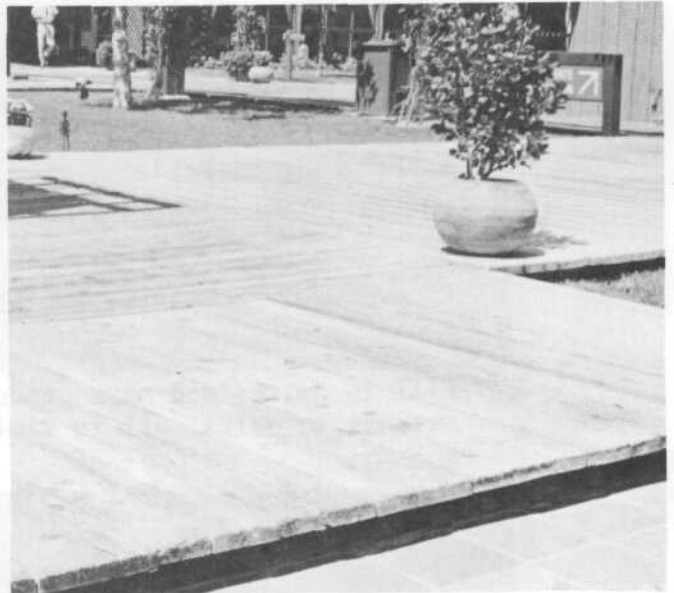
2.) Street Curbs

Remove where possible and **replace** with rolled curb or **swale**

Fill in gutter and make gradual transition from existing streets to **walks, all in similar paving materials.**



Rancho Santa Fe, California



Rancho California



Monterey State Historic Park



Los Gatos, California

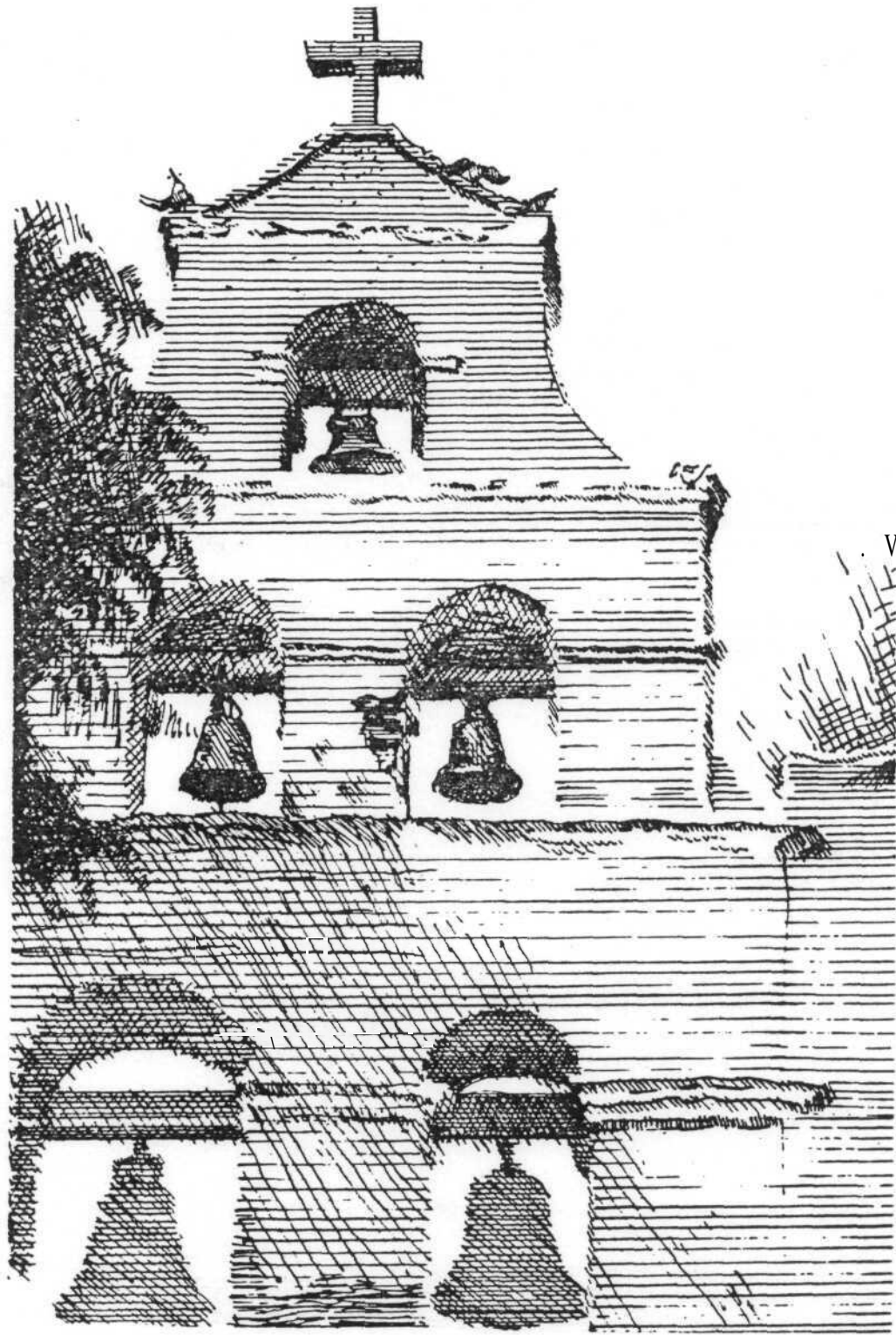


Los Gatos, California



Imprinted concrete

E. Street Furniture



E. Street Furniture

"In the urban spaces between buildings is the **paraphernalia** of urban **living--the** furniture which makes these spaces inhabitable. They are the small scaled elements which we constantly use and see; they set the dominant quality of streets and **plazas**, and by their ubiquity, they become the **street.**"*

Street furniture in most U.S. cities, **including** San Diego suffers from an absence of design and a **failure** to coordinate the location of the different items. All **items** of street furniture must be carefully studied and selected or designed to maintain the general character of Old Town. This section will attempt to provide design criteria and establish standards for street furniture in Old Town, however, further design study is encouraged and **desired.**

Some of the items of street furniture to be **considered** for Old Town are:

- a. Benches
- b. Kiosks
- c. Phone Booths
- d. Trash Cans
- e. Drinking Fountains
- f. Fountains & Sculpture
- g. Hitching **Rails**
- h. Watering Troughs
- i. Fire hydrants and fire alarm boxes
- j. Fence & **walls**
- k. Bollards
- l. Pots & planters

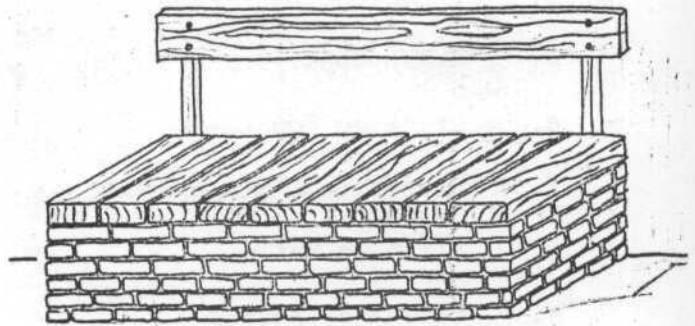
*CITIES, Lawrence Halprin, Reinhold Publishing Corp., 1963.

a. Benches

Benches are for people watching. Benches in an area are a focus of activity. They can be many things to many people, for the elderly it can be a place to pass the time of day sitting in the sun, for students a place to study, for lovers to embrace, for mothers to watch their children at play, for shoppers to rest their feet. The design and availability of benches may be an indication of a city's concern for its citizens comfort.

A bench should support the body properly by distributing body weight evenly over the surface of the seating area. An optimum seat-to-foot distance must be present so that the feet can rest easily on the ground and the back of the sitter is supported comfortably.

The location of benches and their relationship to one another is of prime importance. Normal park seating parallel to walks are a barrier to social contact. Benches should be arranged in groups to promote contact and form interesting spaces from which to watch the world go by.



Double Bench, Florence

(Photo-Donald Ray Carter in CITIES, Lawrence Halprin)

Adobe Bench - Early California Missions

Wrought Iron Bench, Mexico

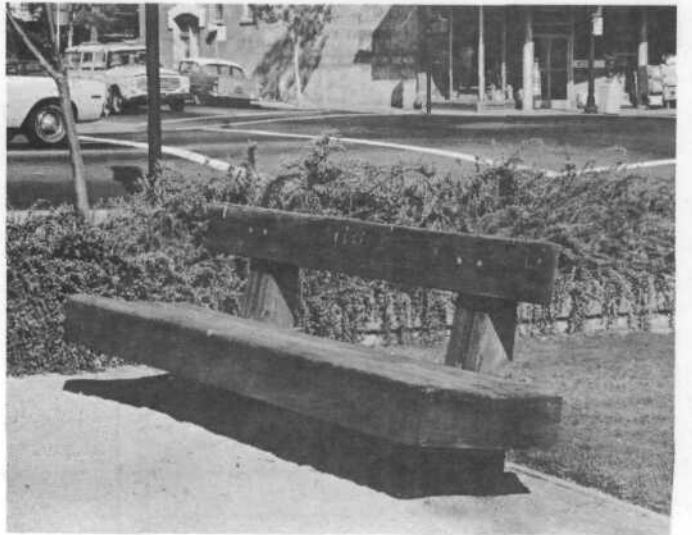
(Photo - John Evans in CITIES, Lawrence Halprin)



Los Gatos, California

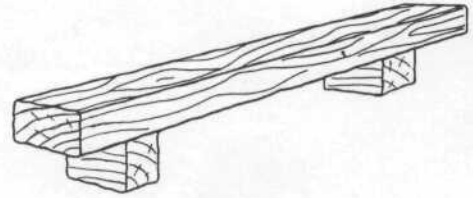


Los Gatos, California



Rancho California





Bench - type 1



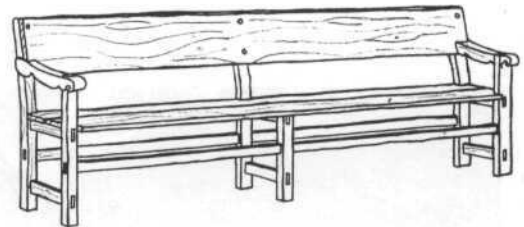
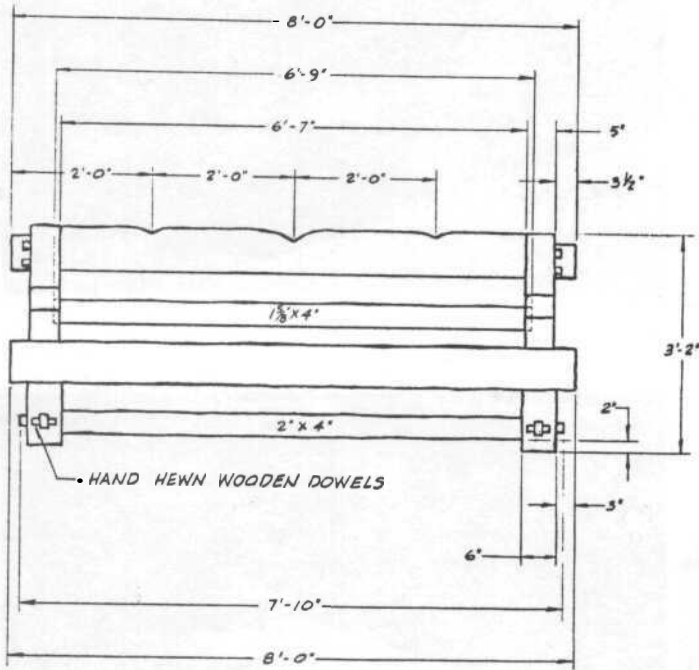
Bench - type 2



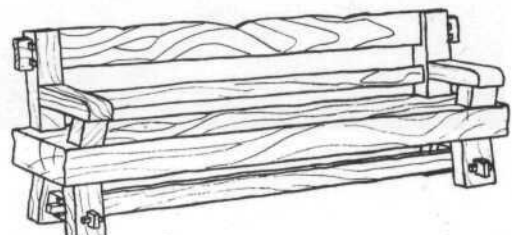
Bench - type 3



Bench - type 4



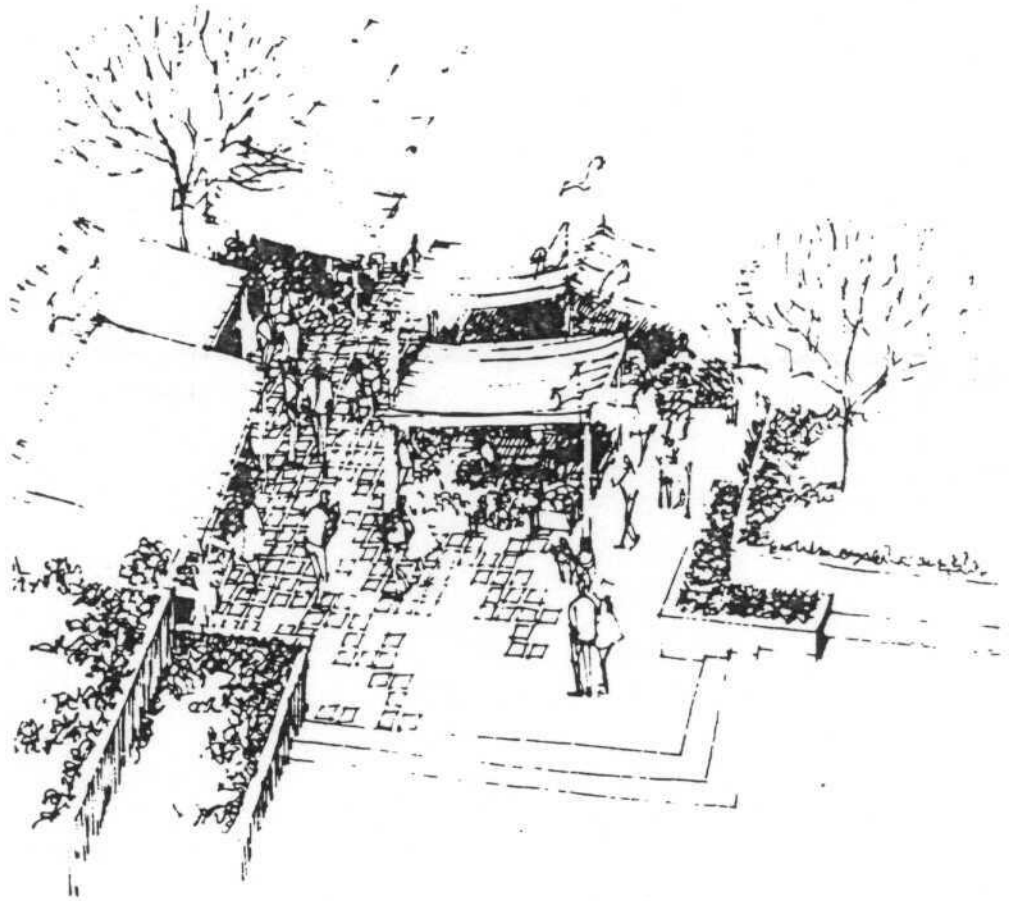
Bench - type 5



Bench - type 6

Bench designs prepared for Old San Diego State Historic Park by State of California, Department of Parks and Recreation

b. Kiosks

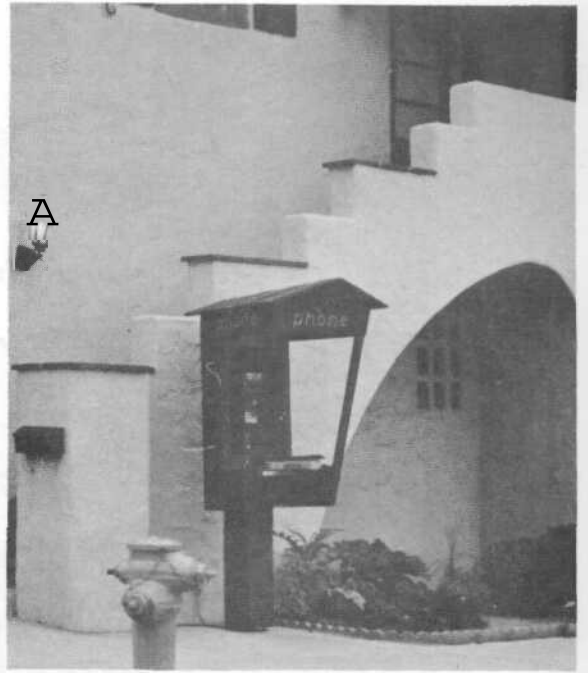


Kiosk comes from the old Turkish word "Kiusck" which means pavilion. In addition to the structures used for advertising and public notices commonly associated with Paris there are other kiosks a city should **have** to allow it to function and produce an interesting environment. Telephone booths, news-stands, candy vending areas, flower **stands**, bus shelters, ticket and information booths, etc. Each performs a special function on the urban scene. These small structures can add interest to or clutter and create visual chaos on our streets. Kiosks **can** also reduce to pedestrian scale a street that has been closed to automobile traffic.

c. Phone Booths

Telephone units can and should be integrated with the other street furniture and with the architectural character of Old Town. Study should be given to placing the majority of telephones in public places off the sidewalk.

Phone Booth. Old Town State Park,
San Diego



Mail Box - Rancho California



Newstand. Santa Barbara,
California



d. Trash Cans

Public trash receptacles must be seen to be used. Design should be based on performance **criteria** and be modest and **utilitarian**. They must fit with the **architectural** criteria for Old Town. The performance standards should be derived from public refuse needs and the City procedures for trash collection and disposal.

Containers must conform to national standards. The acceptable methods of removing trash from a receptacle are by; **disposable** interlining, the self dumping unit with hinged bottom or side, and the inner **liner** which is removed, dumped and replaced. The size of the container should be determined by the frequency and means of **litter removal**, installation technique, degree of weather protection and odor containment **desired** and choice of material and industrial process.

Enough trash containers should be provided to be immediately available. Receptacles should be available near major path **intersections** and placed near benches and areas of rest and recreation.



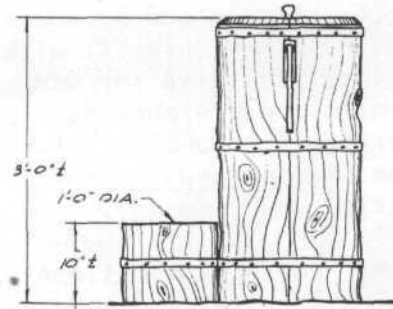
Trash Barrel
Old San Diego, State Historic Park

e. Drinking Fountains

In ancient cities, the well was a center of social life and gossip; today the drinking fountain is not only a generous civic gesture but can be an esthetic experience as well.

Drinking Fountain

designed by State of California,
Dept. of Parks and Recreation



Drinking Fountain - Washington
Square, Old Town San Diego

f. Fountains and Sculpture

"Sculpture has always peopled our cities' squares with universal images of man's heroic idealized qualities. Sculpture should be seen outside; there it becomes an architectonic element more than decoration. It can symbolize all of man's aspirations; in fact, it can become so identified with a city that its image is the city."*

For centuries, men have brought water into their cities for aesthetic displays as well as for drinking and bathing. The earliest water courses in the cities of the East were channels for irrigation, running down from the mountains along the curb lines of the streets into cool, green gardens enclosed by walls. On their way, they watered the palms and citrus groves, and cooled the air by their sound as much as their evaporative sprays. Each culture since then has had a strongly expressed attitude about water and the way it has been used.*

Fountain - The Mercado at
Rancho Bernardo
San Diego, California



Fountain Cuernavaca, Morelos,
Mexico



(Photo - THE MEXICAN HOUSE OLD AND
NEW, Shipway, 1960)

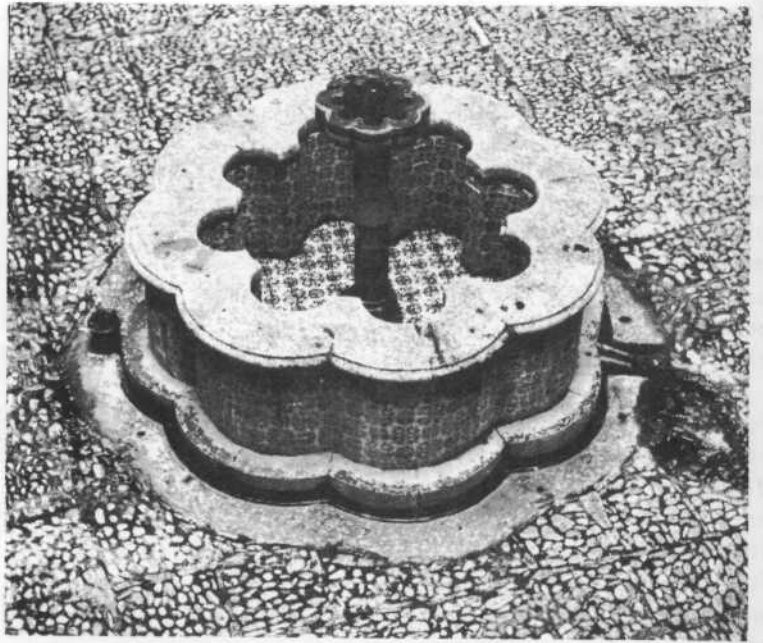
Fountain - Plaza de los Cuatro
Banderas
4 Flags Shopping Center
Solana Beach, California

*CITIES, Lawrence Halprin, Reinhold,
1963

Fountain, San Miguel de Allende,
Guanajuato, Mexico

Patio fountain of an old colonial
town house. Glazed tiles were
frequently used for both exterior
surfacing and interior linings.

(Photo - THE MEXICAN HOUSE OLD AND
NEW, Shipway, 1960)



Balboa Park
San Diego, California



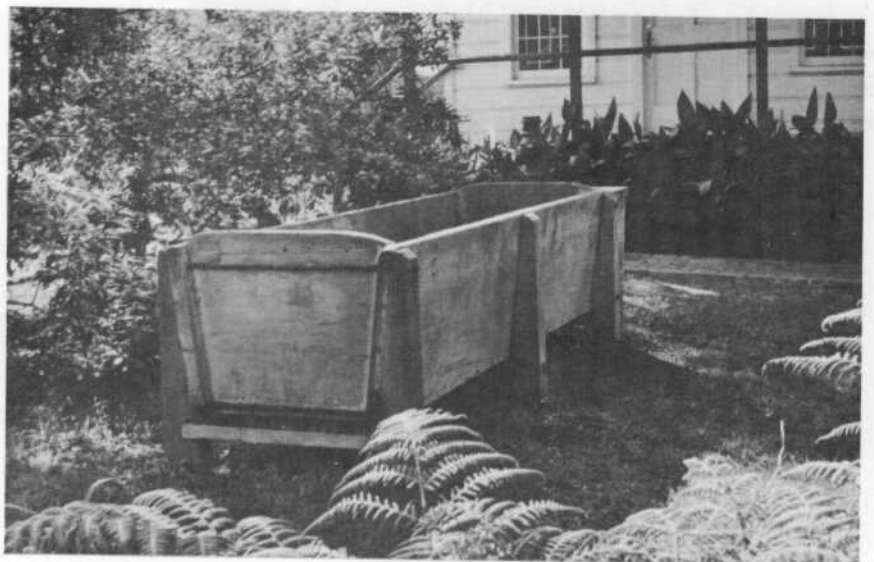
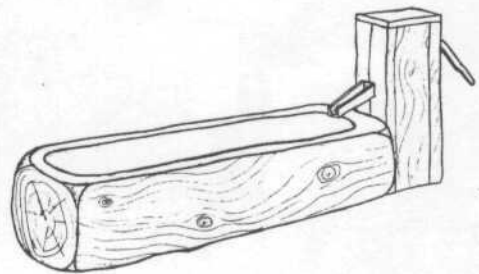
g. Hitching Rails



Hitching Rail - Estudillo House
Old Town San Diego

h. Watering Troughs

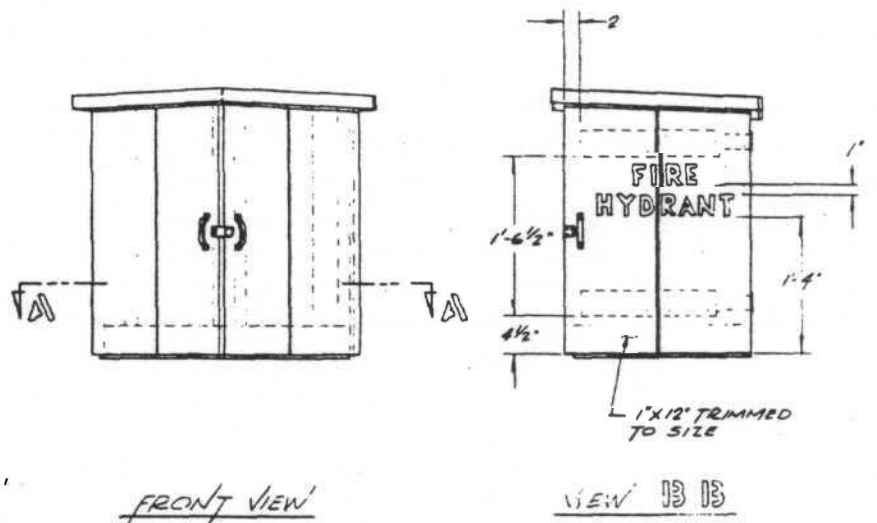
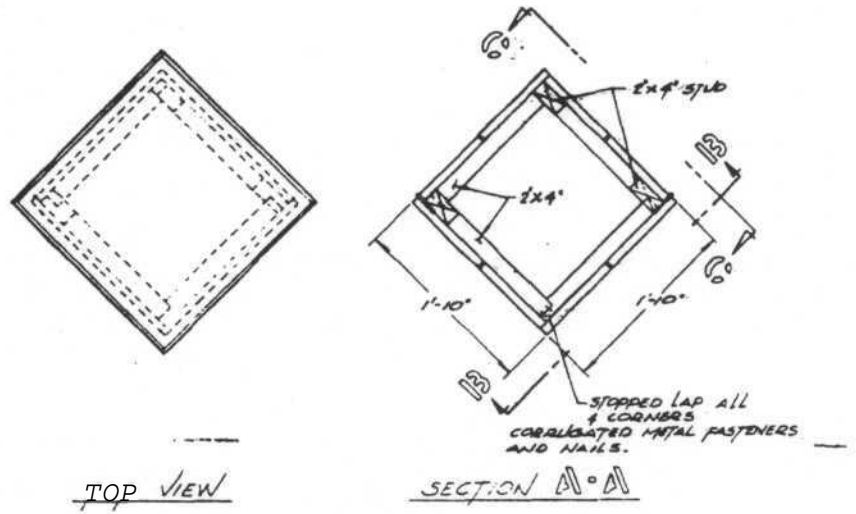
Water Trough and Hand Pump
designed by State of California,
Dept. of Parks and Recreation



Whaley House
Old San Diego

i. Fire Hydrants

These are to be given special consideration and disguised insofar as compatible with Fire Department requirements.



Wood Fire Hydrant House
designed by State of California,
Dept. of Parks and Recreation

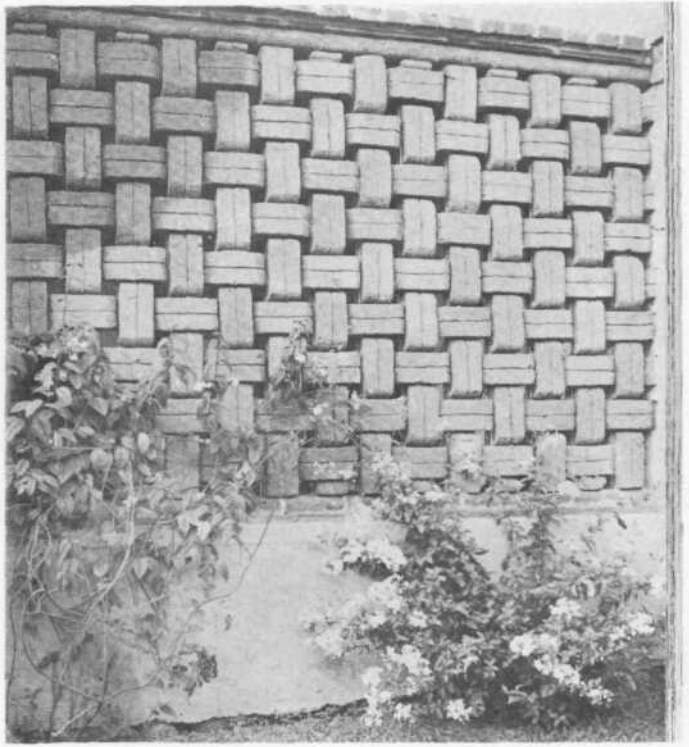
j. Fences and Walls

Transparent fences allow the passerby to look through and enjoy the view without permitting intrusion.

Walls - barriers must sometimes be more **solid** than fences. A wall screens off areas from noise and view and separates it from more **public** spaces, heavily trafficked by **pedestrians**.

1. remove chain **link** and other type fences
2. use fences only where **contributing** to general character

Home of Hans-Joachim von Block
Cuernavaca Morales Mexico
(Photo - MEXICAN HOMES OF TODAY, The Shipways)

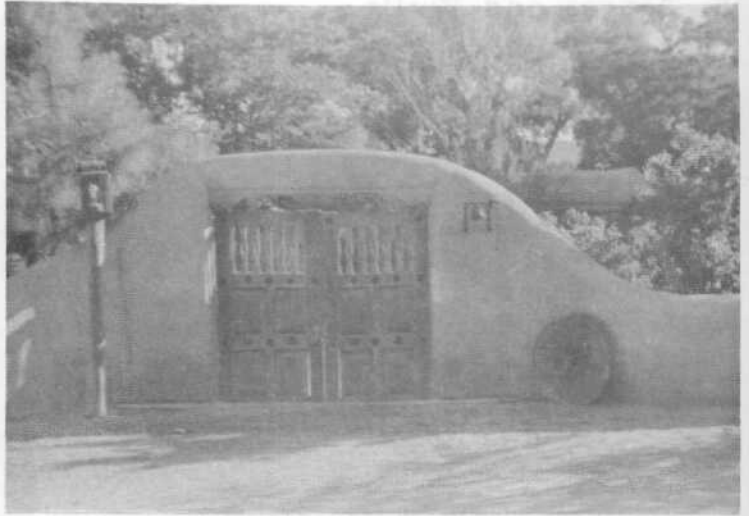


Rancho Santa Fe



Old Town State Park, San Diego

Santa Fe, New Mexico

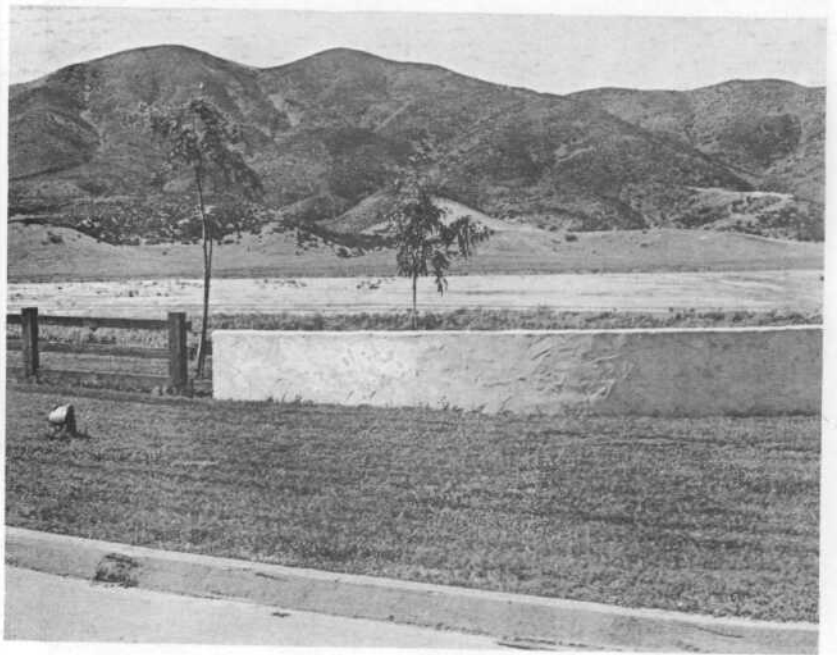
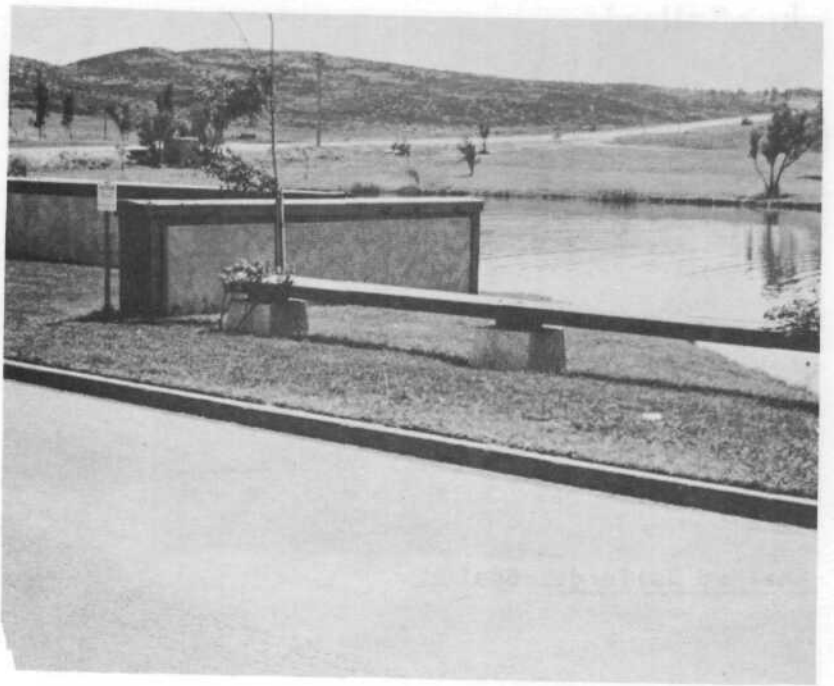


Casa de Estudillo
Old San Diego



El Campo Santo
(Old Spanish Cemetery)
Old San Diego





Rancho California

k. Bollards

Small scaled sculptures called bollasters or, more commonly, bollares are used to channel movement on ramps and streets and to exclude wheeled vehicles in a polite way. They do not say "stay out"; they say, "come in on your feet."*

Bollards may be in some cases used interchangeably with plantings, both may be used as "punctuation marks" as well as barriers depending on their location and number.

Chained Bollards, Spain



Bollards, Pisa



Bollards, E.U.R., Rome

*(Photos - CITIES, Lawrence Halprin, Reinhold Publishers, 1963)

1. Pots and Planters

Flowers and shrubs planted in pots and **containers** can do much to add liveliness and color to the urban scene.

There are many materials that can be used for planters including: cast stone, glazed or unglazed **clay**, wood, metal cement asbestos mixtures and **fiberglass**.

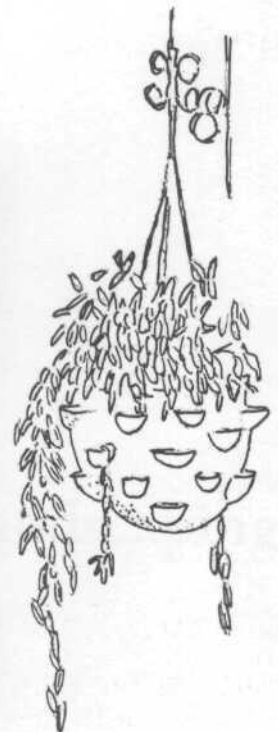
The size of the pot or container should be geared to the plants to be placed in them. In most cases containers are **inappropriate** for trees unless they are large enough to support them adequately. It is usually best to plant them directly into the ground.



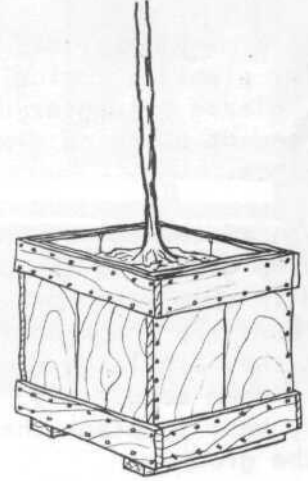
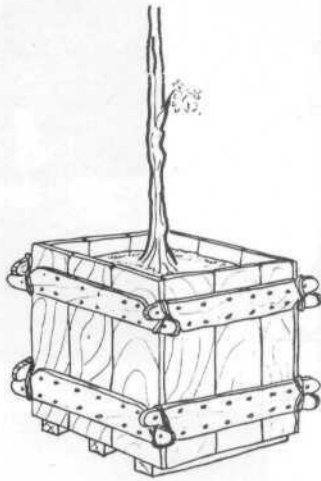
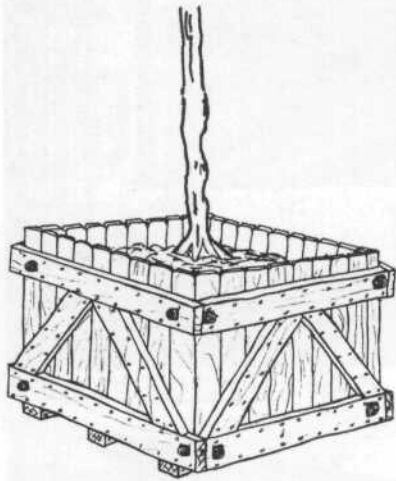
Los Gatos, California



Tree Planters
Santa Cruz, California



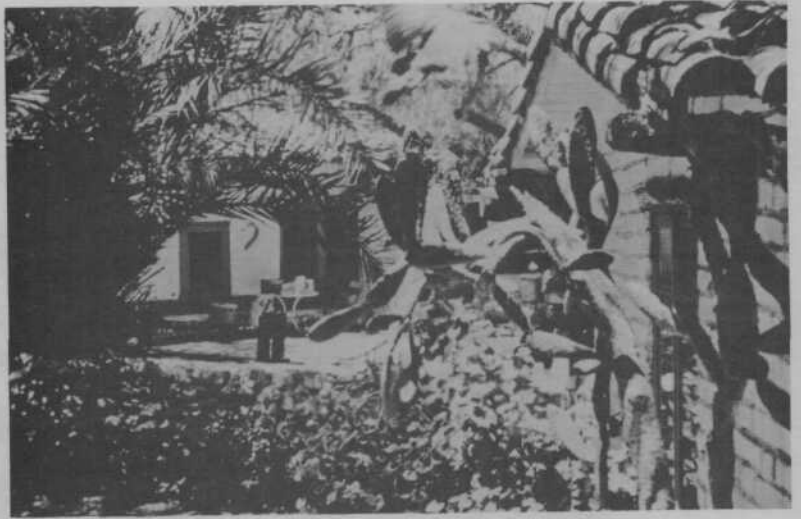
Hanging Pots



Tree Planter Boxes for Old Town San Diego State Historic Park by State of California, Department of Parks and Recreation



F. Landscaping



F. Landscaping

Emphasis should be placed on **historical** and Mexican and early California landscapes and gardens. Californian and Mexican native plantings, courtyards, courtyard **gardens**, vines, and the use of **fountains**, statuary, and wooden containers typical of the **Spanish** or Mexican **periods will** be encouraged.

It is the intent of these standards to offer the prospective developer as much latitude as possible within the limits and intents of these criteria when designing his required **landscaping**. The design should take into **consideration** and be compatible with the shape and **topography** of the area, the **architecture** of the project, the **architectural characteristics** of adjacent structures **and** the character of existing adjacent landscaping and topography.

The policy regarding plantings for Old San Diego is that only plants of a variety which evidence records as existing or were planted in San Diego prior to 1871, be accepted for planting unless otherwise **approved**. A listing of **all** type plants used prior to 1871 is given in the resource data researched to date (see **bibliography**).

In **addition** to providing **environmental** enhancement, the functional aspects of **landscaping** are:

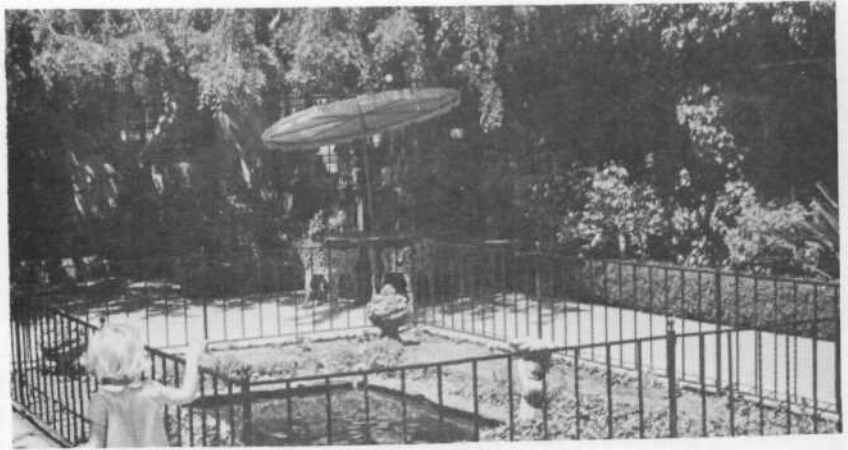
1. Screening for storage, parking and other utility or unattractive areas and of those land use elements which do not contribute to the enhancement of the surrounding **area**;
2. Erosion prevention;
3. Wind barriers;
4. **Traffic** control ;
5. Providing shade;
6. Dust **abatement**;
7. Sound absorption.

This chapter contains the standards as they apply to various aspects of landscape development and a planting **list** of materials recommended for use in the Old San Diego Planned District.

The landscaping standards are presented in two categories - (1) development and (2) maintenance.

Development Standards

The development standards are set forth to promote proper design of landscaped areas by designating placement, types and **relationship** of plant **materials-to** surrounding features and to each other.



Rancho Santa Fe, California



Washington Square,
Old Town San Diego State
Historic Park



Estudillo House,
Old Town San Diego State
Historic Park



Whaley House
Old Town San Diego

General Standards

The soil in **all areas** requiring landscaping shall be soil properly amended and tilled to provide a medium suitable for the healthy vigorous growth of ornamental plants. **Specifications** shall be submitted with landscaping plans showing that adequate soil and the preparation of the soil will be undertaken prior to planting.

All trees, shrubs and plants shall be in accordance with the California State Department of **Agriculture's** regulations for **nursery** inspections, rules and grading. All **plants** shall have a habit of growth normal to that species and shall be sound, healthy, vigorous, and free of insect **infestations**, plant diseases and **objectionable disfigurements**. All plants shall have **normally well-developed** branch systems and vigorous and fibrous root systems which are not root or pot bound. The size of the plants will correspond with that normally expected for species and varieties of **commercially** available nursery stock. All **plants** shall be adaptable to the climatic conditions of the **area** in which they are to be planted.

Earthwork

1. Following extensive earthwork, recontour the terrain in a natural way with no slopes greater than 2:1. (two horizontal to one vertical)
2. Insure that the entire **site** will surface drain and correct any existing drainage problems.
3. Consider lowering grade where excessive fill has been placed.
4. Stockpile acceptable topsoil where excavations **were made**.
5. Condition and fertilize soil to provide suitable planting medium. Make soil tests for soil chemistry and texture and correct deficiencies accordingly.

Planting

1. Save existing trees **where** possible (some may be moved **and transplanted**, i.e. palms, pines etc.). Approval must be obtained for removal of **all** trees over 50 feet **tall** and/or over 50 years old.
2. Provide shade trees in large paved and parking areas.
3. Use specimen trees (boxed trees) for immediate effect and accent.
4. Consider **reconstruction** of a small orchard with fruit trees typical of the **era** or with ornamental flowering

trees for a spectacular landmark.

5. Give consideration to rapidly growing trees.
6. Maximize shrub use to screen parking and storage **areas**, undesirable buildings, and utility features.
7. Emphasize use of varieties which require low maintenance in public and commercial areas and in large landscape **areas**.
8. Use boxed and tubbed plants in clay or wood containers, **especially** for enhancement of sidewalk shops.
9. Give preference to ground covers which require little maintenance. "Authentic" flower and vegetable gardens may be developed to add to the character of Old San Diego or in conjunction with a restored house.

Irrigation. Provide complete sprinkler irrigation system for **all** commercial projects and for **all** large planting areas. Hose bibb systems may be used for smaller areas and planters.

Maintenance. Keep **all** plantings healthy and growing with **all** planting areas free of weeds and debris.

Area Boundaries. The required landscaping is stated within each **applicable** area as set forth as a condition of Chapter X, Article 3, Division 1, Section 103.02, Old San Diego Planned District.

Required Planting. **All** areas requiring landscaping shall be planted with a compatible combination of shrubs, trees, vines and ground covers.

Architectural Features. Landscaped areas may include such **architectural** features as rock groupings, sculptures, decorative paving and gravel or decomposed granite areas. However, gravel or decomposed granite areas shall in no case exceed 25 percent of the required landscaped area unless otherwise approved in order to prevent too large an area from **being** devoted to inert ground cover. Additional features, such as raised planters, curbs, wheelstops, bollards and headers and other devices should be utilized to protect the planted areas from damage by pedestrian and/or automobile traffic where necessary.

Landscaped Area Ratio. A minimum of one **tree** (25 feet in height or more at maturity) for every 200 square feet of landscaping, a approved equal, and one shrub or vine for every 20 square feet of landscaping or approved **equal**, are considered necessary in order to **give** the desired planting effect emphasis to the planted area; to soften and screen the hard surface of adjacent structures and pavement; and to reduce adverse effects of noise, light and glare from adjacent property.

Trees, shrubs and vines. All required trees shall be 15-gallon size having a minimum height of five feet at time of planting and all required shrubs shall be 1-gallon size at time of planting in order to produce within a reasonable period of time the effect for which landscaping is provided. The tree shall be adequate in trunk diameter to support the top. Trees, shrubs and vines shall have body and fullness that is typical of the species.

Ground Cover. The ground cover shall be healthy, densely foliated, and well-rooted cuttings, or one-gallon-container plants. Herbaceous and flat plant ground covers shall be planted no more than 18 inches on center and woody shrubs ground cover shall be planted no more than four feet on center. Hydro-seeding of hillside areas shall be permitted. However, the evaluation of such proposals shall be subject to special review based on plans submitted by landscape architects or competent technicians in the field.

Watering Basin. All trees and shrubs in areas not under irrigation shall be surrounded with an irrigation basin a minimum of two feet in diameter and a minimum of six inches deep.

Adequate Support. Trees and large shrubs shall be adequately supported using wood or metal stakes or wire guys. Such supports should be so designed that they will protect trees and shrubs from injury. Trees and shrubs shall be fastened to the supports with an acceptable commercial tree tie of plastic or hose covered wire. Vines shall be adequately supported or tied to walls, fences or trellis.

Spacing. The spacing of trees and shrubs shall be appropriate to the species used. The plant materials shall also be spaced so that they do not interfere with the adequate lighting of the premises or restrict access to emergency apparatus such as fire hydrants or fire alarm boxes. Proper spacing shall also insure unobstructed access for vehicles and pedestrians in addition to providing clear vision of the intersections from approaching vehicles.

(Plant material spacing shall conform to the following standards:)

1. A minimum of 25 feet from the property corner at street intersection to the center of the first tree or large shrub.
2. A minimum of 10 feet between center of trees and large shrubs to light standards.
3. A minimum of 15 feet between center of trees or large shrubs and fire hydrants.
4. A minimum of 5 feet between center of trees or large shrubs and edge of driveway.

Planting Lists. The following pages contain a **planting list** which shall be **utilized** in selecting plant materials for the **required landscaped areas**. When it is impossible to secure species **listed**, other species of the same genus **may** be **used** subject **to** the approval of the Planned District Review Board.

Watering System. Except as noted below, a permanent underground sprinkler system shall be **installed** in **all** required landscaped areas which **shall** be **capable** of providing the proper amount of **precipitation** for the particular type of plant materials used.

In cases **where** trees, shrubs and plants are provided in raised **planters** or containers (tubs or urns for example) and these cannot be adequately watered by an underground sprinkler system, hose bibs shall be **installed** and so located as to permit watering of **containers** by a 50 foot **hose**.

Maintenance Standards

The maintenance standards shall be **followed** in the upkeep of the **landscaped** areas after they have been developed and planted.

Growth Control. All plant growth in required landscaped areas shall be **controlled** by pruning, trimming or otherwise, so that the plant material will not:

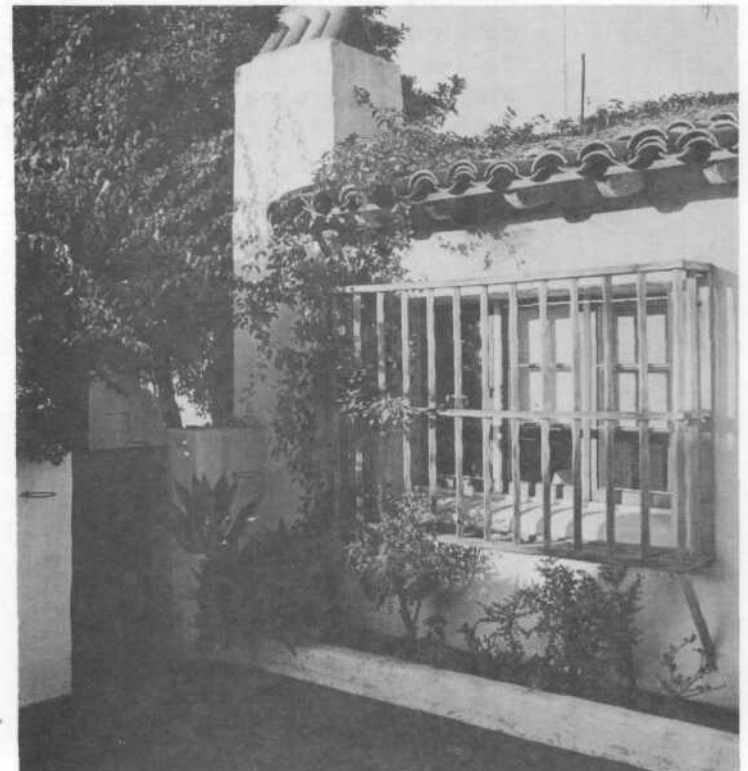
1. Interfere with the **installation**, maintenance and **repair** of any **public utilities**;
2. Restrict pedestrian or vehicular access;
3. Constitute a traffic hazard.

Cultivation and Watering. All planted areas **shall** be watered sufficiently to promote **vigorous** growth of **all** trees, shrubs, vines and ground cover plants. Planted areas **shall** be maintained in a relatively weed-free condition. All plantings shall be periodically pruned, trimmed, edged and fertilized in accordance **with** generally accepted **horticultural** practices.

Replanting. All required trees, shrubs and plants which have **been** planted and **which**, **due** to accident, **damage**, disease or other cause, fail to **show** a healthy growth, **shall** be replaced. Replacement plants shall conform to all standards that govern the original planting **installation**.

SUBTROPICAL REGIONS

SPANISH PATIO PLANTS--for use in connection with Mediterranean types of architecture...largely a reconstruction. They will be representative of the species known to have been used about the early habitations, together with more recent material of like character. They may help in reproducing that special atmosphere of repose and simplicity, that unhurried pace so characteristic of the time. This, however, takes more than plants to attain. In the main, these are subtropical in flavor, playing to warm walls with color and cool greenery. Sun-odors prevail. Water adds a sparkling touch. The floor may be left to dirt or imported decomposed granite. It is usually paved, and there is no grass in the strictly Spanish patio. Planting beds will be depressed, rather than raised, to catch the surface water, while pots of flowering plants will be everywhere to arrange, move about and rearrange to suit any vagrant fancy that the place should produce. Yellow through orange-red predominates and species with a Mediterranean background of dryness ...could be prelude and unpleasant taste of a future California garden.



PLANT MATERIAL

Abies concolor
Acer **negundo**
Alnus rhombifolia
Arctostaphylos **species**
Bursera microphylla
Cercidium floridum
Chilopsis Penearis
Dalea spinosa
Fraxinus velutina coriacea
Heteromeles **arbutifolia**
Juniperus California
Libocedrus decurrens
Olneya tesota
Photinia **arbutifolia**
Pinus coulteri
Pinus jeffreyi
Pinus monophylla
Pinus quadrifolia
Pinus torreyana
Platanus racemosa
Populus fremontii
Populus trichocarpa
Prosopis juliflora
Prosopis pubescens
Prunus ilicifolia
Pseudotsuga **macrocarpa**
Quercus agrifolia
Quercus chrysolepis
Quercus Engelmannii
Quercus Kelloggii
Salix species
Sallyx Exigua
Sambucus coerulea
Washintonia filifera

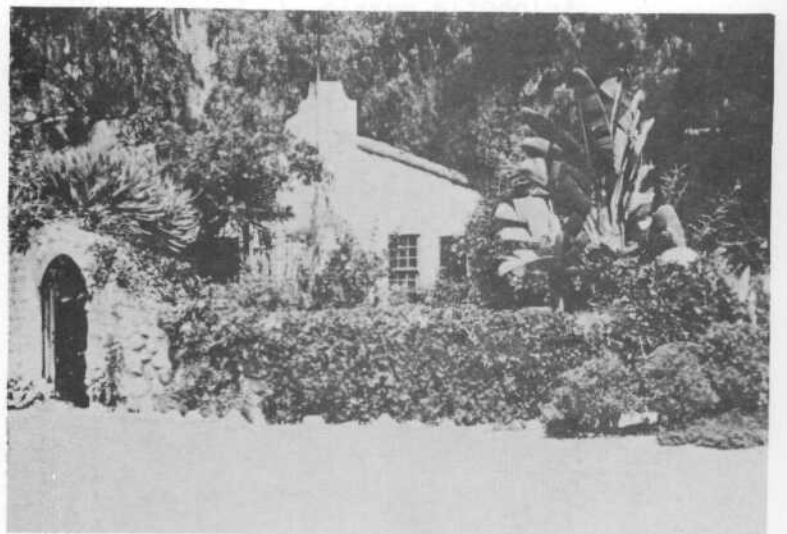
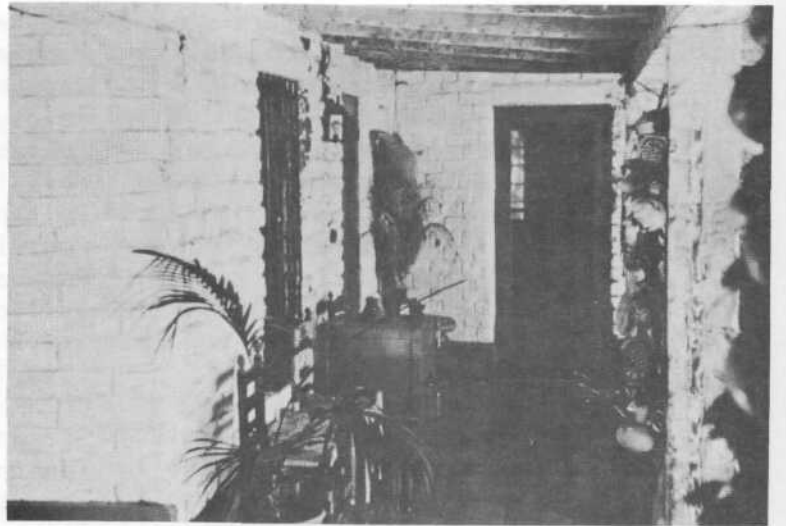
White **Fir**
Box Elder
White Alder
Manzanita
Elephant Tree
Palo Verde
Desert **Willow**
Smoke Tree
Arizona Ash

California Juniper
Incense Cedar
Desert **Ironwood**
Toyon: Christmas Berry
Coulter Pine
Jeffrey Pine
Single-leaf Pine: One-leaf Pinon
Parry Pinon: Mexican Pinon
Torrey Pine
Western Sycamore
Fremont **Cottonwood**
Black Cottonwood
Honey Mesquite
Screwbean
Hollyleaf Cherry: Islay
Big Cone Spruce

Gold Cup Oak: Canyon Oak
Engelmann Oak: Mesa Oak
Kellogg Oak: Black Oak
Willows
Slender Willow: Coyote Willow
Blueberry Elder
California Fan Palm

HERBACEOUS PLANTS

Acanthus **mollis**
Agapanthus species
Althaea rosea
Alyssum **maritimum**
Anyelonia grandiflora
Argemone mexicana
Arum **italicum**
Asphedelus albus
Beaucarnia recurvata
Begonia **sutherlandi**
Beuardia humboldti
Bravea **geminiflora**
Brunsvigia rosea
Canarina **campanulata**
Capsicum frutescens
Cedronelia canariensis
Cheiranthus mutabilis
Cherizante staticoides
Cladanthus **arabicus**
Clivia species
Cortaderia **seliosna**
Cryptanthus beuckeri
Cyclamen **indicum**
Davallia canariensis
Delphinium ajacis
Dianthus caryophyllus
Echium fastuosum
Epidendrum obrienianum
Frankenia capitata laevis
Gaillardia aristata
Gazania species
Gypura **aurantiaca**
Helleborus lividus
Heuchera sanguinea
Iris unguicularis
Iris xiphium
Kalanchoe flammula
Kniphofia **uvaria**
Lathyrus splendens
Lavatera **olbia**
Lavater **trimestris**
Lilium candidum
Limonium (species)
Liriope species
Lotus **formosissimum**
Malvastrum coccineum
Mathiola incana
Mentha spicata
Mesembryanth aurantiacum
Mesembryanth speciosum
Milla biflora
Mirabilis jalapa
Morisia monantha
Narcissus pseudo-narcissus
Nepetamussini
Nicotiana **alata**
Oliveranthus elegans
Oxypetaium caeruleum
Pancratium (species)
Papaver **rheas**
Papaver **rupifragum**
Pelargonium (species)
Pellaea (species)
Petasitis fragrans
Polianthes tuberosa
Portulaca grandiflora
Rochea coccinea
Scilia hispanicum
Sisyrinchium bellum
Sisyrinchium bermudianum
Solanum **pseudo-capsicum**
Streptanthera cuprea
Tagetes erecta
Thymus (species)
Tithonia rotundifolia
Tritonia crocosmaeflora
Trochaeolum majus
Tulipa clusiana
Venidium fastuosum
Vinca species
Viola cornuta
Woodwardia (species)
Zantedeschia aethiopica
Zingiber **officinale**



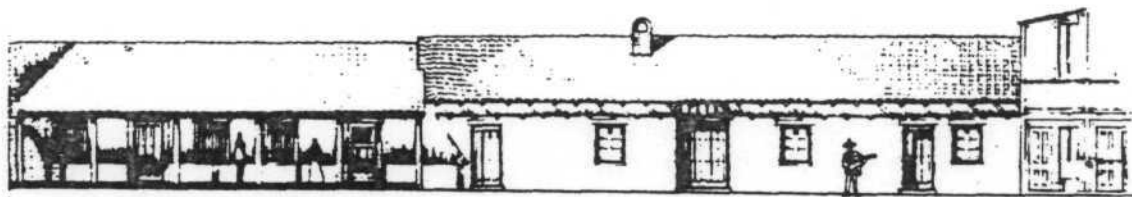
TREES

Acacia **farnesiana**
Acalypha California
Allamanda hendersoni
Anisacanthus **wright**
Antingonon leptopus
Arbutus unedo
Batura suaveoiens
Bauhinia gaipini
Belonix regia
Boubentonia (**species**)
Bougainvillea (varieties)
Boussingaultia baselloides
Brachychiton acerifolium
Buxus **microphylla**
Calocephalis brown
Cestrum nocturnum
Chorizema cordatum
Cissus species
Citrus (check species)
Clematis balearica
Convolvulus **cneorum**
Cuphea **reazli**
Cupressus **sempervirens**
Cystiscanariensis
Danae racemosa
Diospyros kaki
Erica **melanthera**
Eriogonum giganteum
Erythina crista-gaili
Erythrina **humeana**
Ficus carica
Fortunella japonica
Fouquieria splendens
Fremontia mexicana
Fuchsia triphylla
Genista **monosperma**
Grevillea robusta
Hedera species
Heteromeles arbutifolia
Holmskioldia sanguinea
Hylocereus **triangularis**
Hyrzine atricana
Ilex perado
Jasminum grandiflorum
Juniperus excelsar
Kennedyia rubicunda
Laurus nobilis
Lavandula (species)
Lavatera **assurgentiflora**
Leonotis leonurus
Lippia citriodora
Littonia modestra
Mahonia nevini
Mamordica charantia
Manettia bicolor
Melia **axederech**
Mimulus puniceus
Mimusopa elengi
Mirabilis californica
Hitriostigma axillare
Musa sapientum
Nerium oleander
Parkinsonia aculeata
Persea americana
Phaseolus coccineus
Philadelphus mexicans
Phlomis fruticosa
Phoenix **dactylifera**
Phygelius capensis
Phytolaccadioica
Pinus pinea
Poinciana **gilliesi**
Prunus **ilicifolia**
Punica **granatum**
Quamoclit lobata
Quercus agrifolia
Quercus **ilex**
Quercus **suber**
Quercus **Virginiana**
Rini
Romneya couiteri
Rosa **gallica**
Rosa laevigata
Rosmarinus **officinalis**
Salvia **sessel**
Senecio **confusus**
Senecio **petasitis**
Schinus molle
Solanandra guttata
Solanum rantonneti
Spartium junceum
Strelitzia nicholai
Streptosolen jamesoni
Tamarix africana
Teucrium fruticans
Tipuana tipu
Ungnadia speciosa
Viburnum tinus
Vi **rgilia capensis**
Visnea mocanera
Vitex agnus-castus
Vitis (check species)
Yucca (check species)

Landscape **Bibliography**

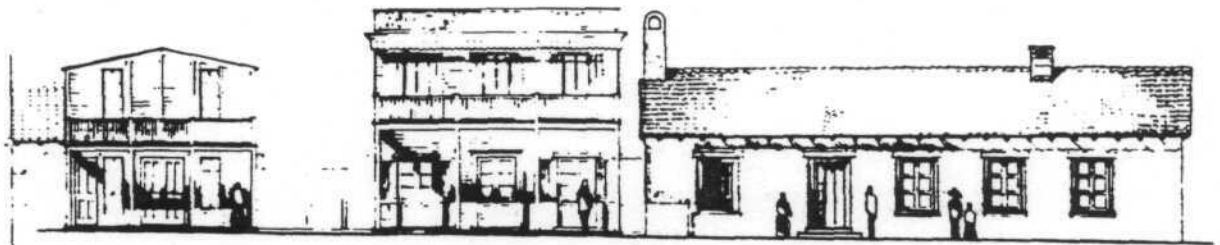
- a. San Diego City Library, photographs at jail 1851 — two trees which looked like California pepper trees were growing next to the jail.
- b. Trees of San Diego by Patricia Waldron — "The Natives" page 5-7.
- c. Interview with Mr. Russell A. Ruiz, artist, illustrator of Old Spanish Santa Barbara by Walter A. Tompkins, "with painstaking research into the history of his forebears is the reason why Ruiz drawings are scrupulously accurate in such details as period costumes, architectural motifs and geography."
- d. Interview with Miss Pearl Chase, Plans and Planting Committee, Santa Barbara.
- e. History of San Diego County by Carl H. Heilbron, editor-in-chief. Published by the San Diego Press Club, San Diego, 1936. Page 206 "Agriculture in San Diego County" by R. R. McLean, County Agricultural Commissioner.
- f. California Garden. October - November 1967, volume 58, No. 5 - "200th Anniversary Celebration to be Centered Around Old Town" by Virginia M. Innis.
- g. Mission Memories, 0979.402M14 -- San Diego Mission in 1769 first palm (date) and olive trees.
- h. Journal of California Horticultural Society, volume XX, July-September 1959, No. 3.
- i. History of San Diego by William E. Smythe, volume 1, Old Town, pages 99, 132.
- j. Golden Gardens, volume 4, April 1936, page 2, "A California Pioneer's Garden" by H. M. Butterfield.
- k. Planting in San Diego prior to 1850. (Research by State to date)
- l. "Cultivated Plants Grown at California Missions" Spanish period and Early Mexican 1769-1835. Prepared by Plans and Planting Committee of the Community Arts Association, Santa Barbara, California.
- m. Subtropical Regions by Roland S. Hoyt - "Native Plants, The Arid Southwest, page 15; "Old Fashioned Gardens", page 167; and "Spanish Patio Plants", pages 168-169.

- n. Contents of a garden of the **late** Mexican or early American period in Southern **California**. California, by Mary **Austin**, Chapter V "Old Spanish Gardens".
- o. A garden of the **late** Mexican or early American period in the San Gabriel area. Trees and Shrubs of California Gardens by Charles Francis Saunders.
- p. "Introduced Plants" mentioned by E. **D. Rowe** in correspondence, **radio address**, and various reports.
- q. "Original List of Plants", La **Purisima** Mission Garden, **Lompoc, California**. Includes all those plants introduced by Mr. E. D. Rowe during the original planting operation after 1933.
- r. "**Bibliography**" used for La Purisima Mission State Historic Park for checking or expanding their plant **list** in further research.
- s. "Flowers, Shrubs, **Trees**, etc., in the Gardens of Monterey State Historical Monument as of April 1967."
- t. "A California **Pioneer's** Garden" by H. M. **Butterfield**.
- u. **Plant list** from Pioneer American Gardening by Elvenia Slosson.



CASA DE RODRIGUEZ

CASA DE MACHADO SILVAS



O'NELL BUILDING

AMERICAN HOTEL

CASA OE WRIGHTINGTON

Proposed **Building** Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK by the Resources Agency of **California**, Department of Parks and Recreation.

G. Parking Lots



JOSHUA BEAN
OFFICE

COLORADO HOUSE

FRANKLIN HOUSE

Proposed Building **Restorations** for the OLD TOWN SAN DIEGO STATE **HISTORIC** PARK by the Resources Agency of **California**, Department of Parks and Recreation.

G. Parking Lots

LOCATIONAL CRITERIA, DEVELOPMENTAL STANDARDS AND OPERATIONAL STANDARDS

OFFSTREET PARKING LOTS

(Revised in accordance with Old San Diego Planned District Regulations)

Purpose and Intent

This chapter, which is in accordance with Section 103.0205, Division 1, Article 3, Chapter X of the San Diego Municipal Code, is intended to provide to the developers of offstreet parking lots in Old San Diego information **and guidance** regarding the requirements for the dimensioning and landscaping of parking lots which **are** permitted or required in the subareas.

It **will** also be used by the Planned District Review Board in considering plans for proposed offstreet parking lots which are submitted to the Board as required by the **Division 1** referred to **above**.

Locational Criteria

The locational criteria set forth below are not mandatory under Section 103.0205, but should prove helpful to the developer of offstreet parking **facilities** in locating and planning the parking lot.

1. **Accessibility.** Parking lots should, when possible, be located so as to have direct access from two streets or from a street and an **alley**. Such a location will make possible lot layouts which tend to evenly distribute the traffic load and reduce circulation conflicts by creating fewer instances where one vehicle must cross the path of another. Lots should not have access from predominantly residential streets except when the lot is serving a residential use. Lots should be **designed to avoid** or minimize the backing of vehicles into public streets.
2. **Minimum Lot Exposure.** Parking lots should be located and screened so that parked vehicles present the least possible exposure to **public** view. This can be done by providing landscaped screening; by placing the lot at the rear of buildings or behind **architectural** features; or by taking advantage of natural topography or planned grading to create parking spaces which are below or above adjacent street and property grades.

The Old San Diego **Planned District Ordinance** states; **All** parking areas (excluding ingress and egress but including **areas** between **driveways**) shall be screened from **public** rights of way and **acjoining** properties by fences, walls, buildings, planting or a combination thereof. Said fences, walls, buildings or planting shall have a height of not less **than** six feet except that higher than six-foot fences, **walls**, buildings or planting may be required to provide adequate **screening** if the **adjoining** property is substantially higher than the parking area.

Developmental Standards

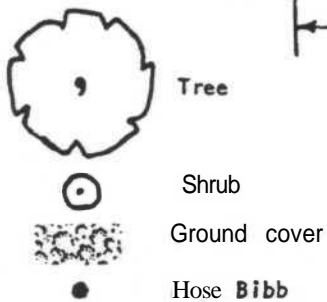
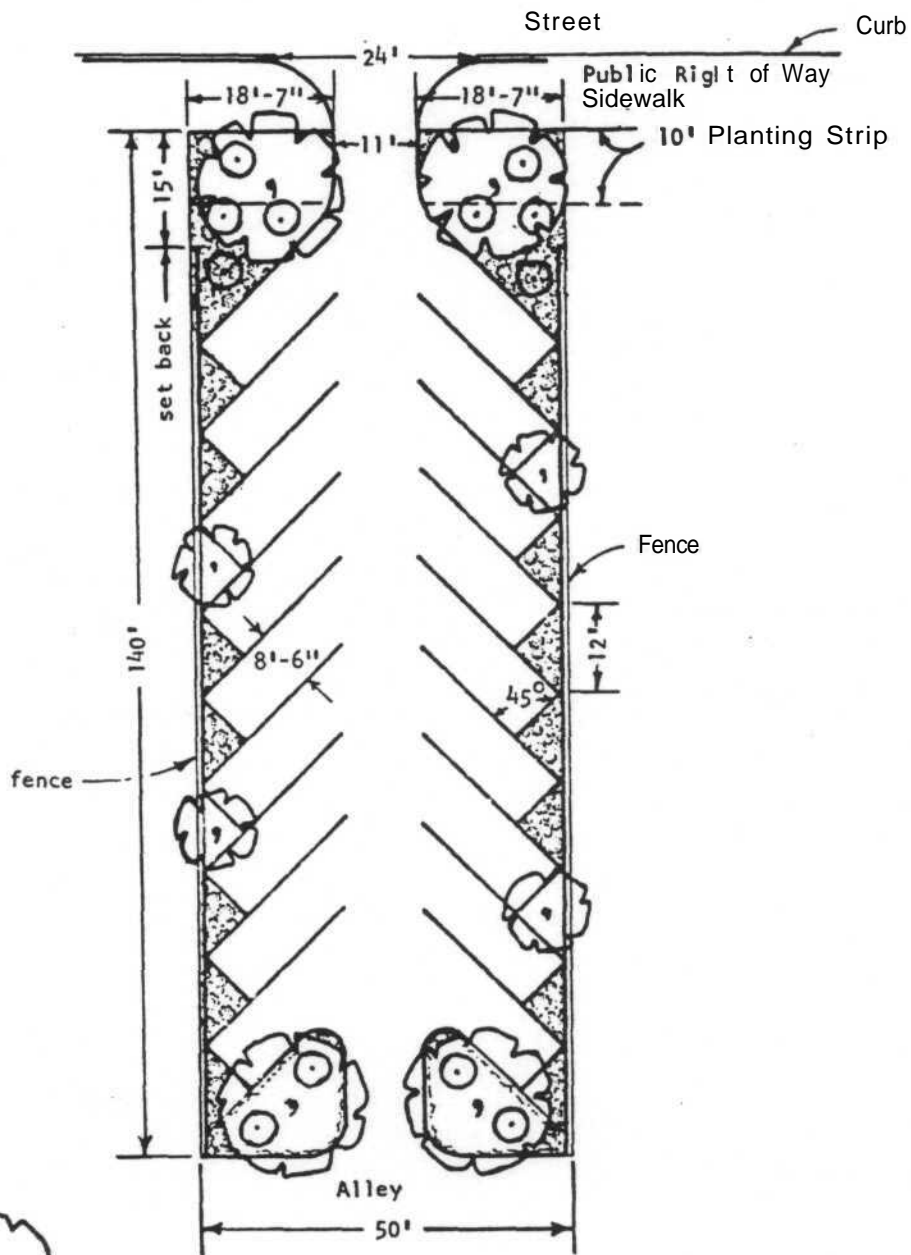
1. Aisle and Driveway Dimensions. Aisles and driveways in parking lots developed under Section 103.0205 of the Municipal Code shall be dimensioned in substantial **conformance** with the dimensions shown in Figure 1 included in this chapter. Deviations from these dimensions can be approved by the **Planned District Review Board** if such deviations appear necessary, reasonable and desirable and do not result in a **non-functional** lot.
2. Pedestrian Walkways. If **pedestrian walkways** are provided in parking lots they should have a minimum width of four feet; be **approximately** eight inches above the parking **lot surface** and be properly identified by directional **signs**. In those cases where raised walkways are not **feasible**, walkways should be **appropriately** marked so as to assist in the separation of **pedestrian** and vehicular traffic.
3. Signs. Signs in parking lots developed under Section 103.0205 must be sized and located in **conformance** with the **sign** regulations of the Old San **Diego Planned District**. It should be noted, however, that parking lot **signs** are intended to identify the parking facility and direct traffic rather than to advertise the facility which the lot serves. Accordingly, signs in parking lots should be only as large as **is** required to **make** the **public** aware of the lot location and to direct traffic to appropriate entrances and **exists**. (see sign criteria)
4. Marking of Spaces. Section 103.0205 **requires** that each parking space **shall** be clearly marked where five or **more** required spaces are provided on the lot. It will be necessary for the developer to seek a **variance** in accordance with Division 5, Article 1, Chapter X of the Municipal Code, in those cases where space marking may appear unnecessary because full or part time attendant parking is **proposed**.
5. Landscaping. Landscaping in the interior of the parking lot as required by Section 103.0205 may be developed in conformance with the suggested layouts **shown** on Figures **II**, and **III**, attached. **Trees**, shrubs, ground covers and

grasses installed in such required planted areas shall be selected from the planting list in Section E. A minimum area of two percent of the interior parking lots containing more than 20 parking spaces shall be landscaped and provided with an adequate permanent underground watering system. The Planned District Review Board may approve substitute materials not included in the planting list if they conform to the intent of the Old San Diego Landscaping regulations.

6. Watering System. The permanent underground watering system shall consist of underground piping and sprinkler heads except when planting is located in isolated raised planters or in relatively small plots. In such cases, hose bibs should be installed in locations so as to permit watering by a 50 foot garden hose.

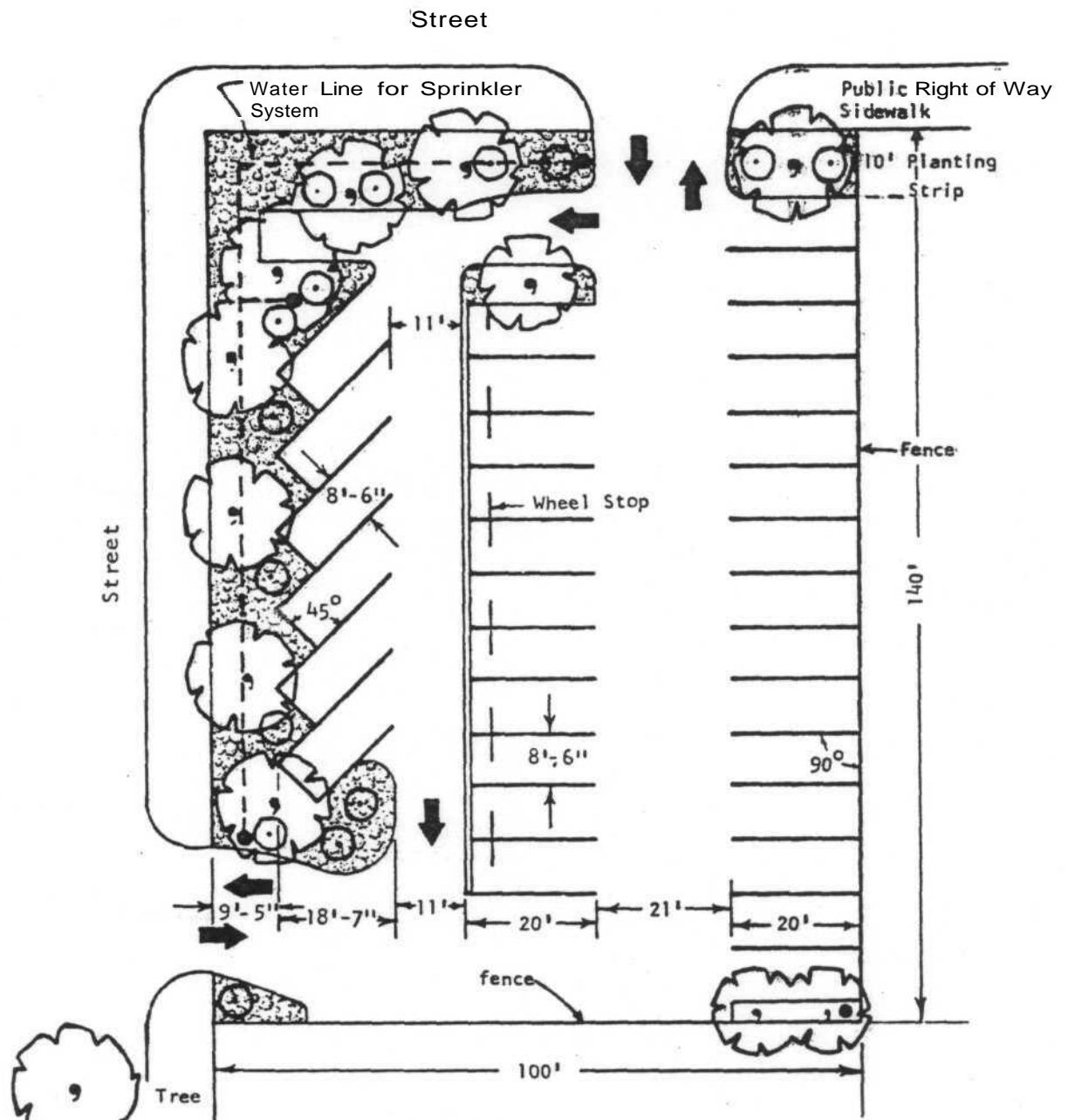
Operational Standards



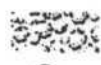

1. Cultivation and Watering. All trees, shrubs and plants in all landscaping within the interior of the parking lots shall be periodically and systematically watered, fertilized and maintained in a healthy, growing condition. Dead growth should be promptly replaced so as to maintain the designed plantingscheme.
2. Plant Growth Control. All growth in interior landscaped areas should be controlled by pruning, trimming or otherwise so that:
 - a. It will not interfere with the maintenance or repair of any public utility;
 - b. It will not restrict pedestrian or vehicular access;
 - c. It will not constitute a traffic hazard because of reduced visibility.
3. Lot Maintenance. All parking lots should be kept clean and in good repair at all times. Breaks in paved surfaces should be repaired promptly and broken or splintered wheel stops should be replaced so that their function will not be impaired.



18 Parking Spaces
 390 Sq. Ft. " Planting Strip
 130 Sq. Ft. - 2% Lot Area Landscaping
811 Sq. Ft. = Provided Landscaping
 Total Lot Area 7,000 Sq. Ft.
 Total Parking Area 6,500 Sq. Ft.

SAMPLE PLOT PLAN
 figure 11



-  Tree
-  Scrub
-  Ground cover
-  Hose Bibb

34 Parking Spaces
 2690 Sq. Ft. - 2% of Lot Area **Landscaping**
 762 Sq. Ft. = Provided Landscaping
 Total Lot Area = 14,000 Sq. Ft.

SAMPLE PLOT PLAN
 figure III

H. Interior Circulation Systems



Actual stagecoaches of a bygone era can provide **exciting** rides for those who wish to re-create the past.

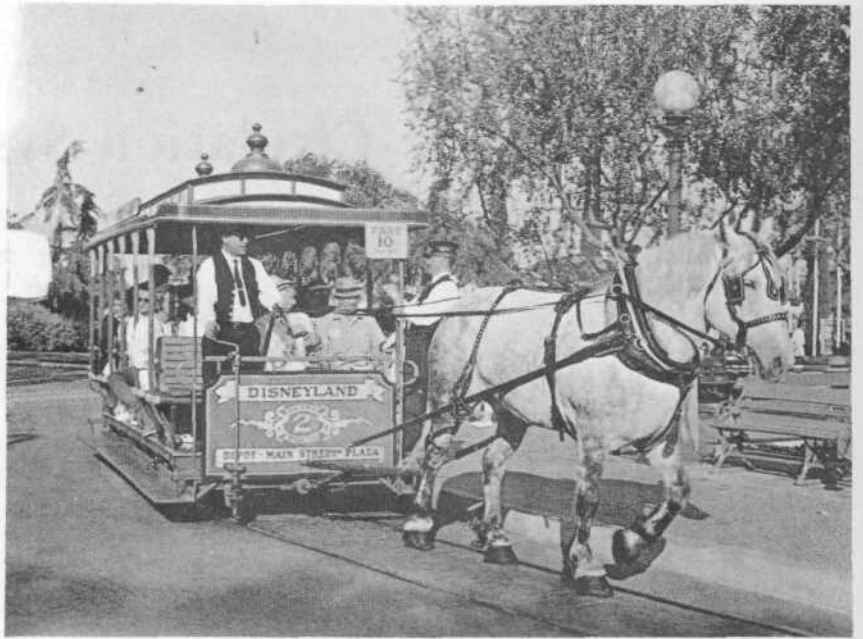
H. Interior Cirulation Systems

The Old San Diego **Community** Plan has **listed** the following objectives to provide guidance in the development of an adequate circulation system:

- TO CREATE AN ENVIRONMENT IN **OLD** SAN DIEGO THAT IS FUNDAMENTALLY THE PROVINCE OF THE PEDESTRIAN.
- TO ENCOURAGE THE DEVELOPMENT OF COMFORTABLE AND ATTRACTIVELY TEXTURED **WALKWAYS**, SEPARATED WHERE POSSIBLE, FROM VEHICULAR ROUTES.
- TO ENCOURAGE THE DEVELOPMENT OF A CIRCULATION SYSTEM THAT **WILL BRING** PEOPLE **INTO** THE AREA.
- TO **DISCOURAGE** THROUGH TRAFFIC.
- TO **ENCOURAGE** DEVELOPMENT OF AN **INTRA COMMUNITY** CIRCULATION SYSTEM OF SMALL PASSENGER VEHICLES TO MOVE PEOPLE WITHIN THE ENTIRE AREA ON ESTABLISHED ROUTES AND ON A REGULAR SYSTEM OF SCHEDULES.
- TO ENCOURAGE THE CREATION OF COMMON AUTOMOBILE PARKING FACILITIES AND TO PHASE OUT ON-STREET PARKING.

To implement these **objectives** and maintain the desired character in Old San Diego, the following modes of **transportation** could be employed and should be encouraged:

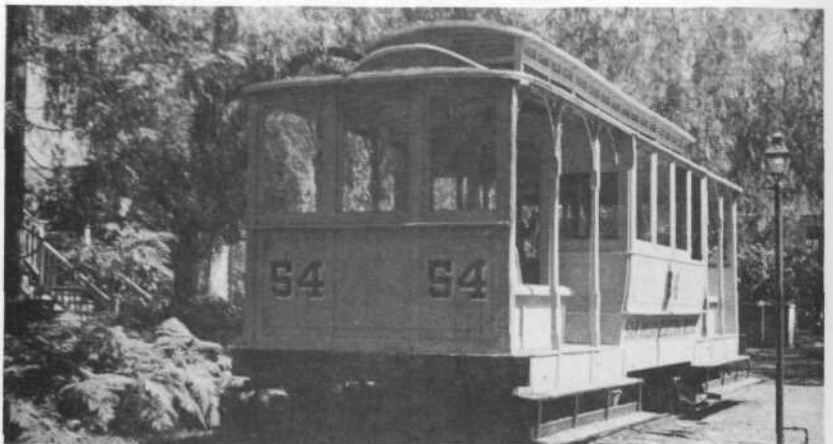
- a. Development of a pedestrian walkway system to **link** the historic core, **commercial-recreation** facilities and **public** recreation areas.
- b. Parking should be limited or prohibited on major streets.
- c. Use of bicycles, hand carts (street vendors), saddle horses, horse drawn carriages, wagons, buggies, horse cars, street cars and steam trains should be encouraged. These may be developed in conjunction with the proposed transportation museum.
- d. Circulation routes may connect "Old San Diego" with other major centers, Mission Bay, Mission Valley, Hotel Circle, etc., as well as serving the immediate area.



Horsecars at Disneyland, 5/8 actual size



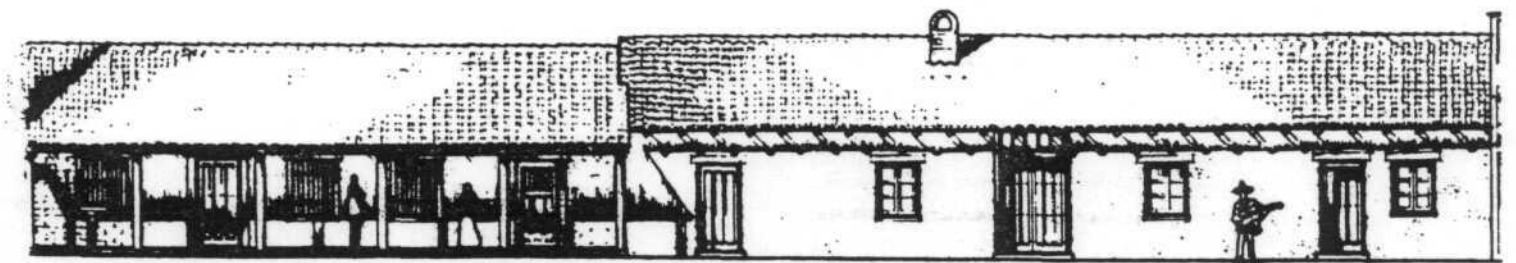
Steam Cars of the type that ran from "New Town" to "Old Town" circa 1880



(San Diego Electric Streetcar circa 1890's

- A. Application Procedure
- B. Planned District Ordinance
- C. Bibliography

IV APPENDIX



CASA DE RODRIGUEZ

CASA DE MACHADO SILVAS

Proposed **Building** Restorations for the OLD TOWN SAN DIEGO STATE HISTORIC PARK by the Resources Agency of California, **Department** of Parks and **Recreation**.

A. Application Procedure

103-1 BUILDING PERMIT **APPLICATIONS** FOR WORK IN THE OLD SAN DIEGO PLANNED DISTRICT

City Ordinance No. 10608 N.S., which **establishes** the Old San Diego Planned District, provides that the Inspection Department must refer building permit applications for work in the Old San Diego Planned District to the Old San Diego Planned District Review Board for their **consideration**. The Board considers permit **applications** referred to it at its regular monthly meetings, and may approve, modify, or disapprove any permit **application** based upon the **compliance** or **noncompliance** of the proposed work with the regulations and standards adopted for the Old San Diego Planned District. Building permit applications for work not subject to **public** view from the streets or alleys, or because of **its** character, not subject to regulations of the Planned District, will be processed by the Inspection Department without referral to, or approval, by the Board.

The Board feels that it can only approve permit applications which describe the proposed work in enough detail to allow the Board to determine that the work would comply with applicable regulations. If the Board is not able to determine from the permit **application** what the appearance and character of the proposed work is, it then must either disapprove or postpone action on the application pending receipt of more information. This may delay issuance of the building permit by at least One month. In order to avoid delay in obtaining Board approval and other processing of their permit **applications** to the Inspection Department not later than ten (10) days prior to the fourth (4th) Tuesday of each month, on which day the Board meets.

Building permit applications must include three (3) copies of all of the **following** where **applicable**:

1. A scale plot plan (1" = 20'-0" minimum) of the premises showing all existing buildings and structures and the proposed work.
2. A clear statement of the proposed work.
3. A **clear** statement of the proposed use of **the** property.
4. Plans describing the size, height, and appearance of the proposed work, and the exterior colors to be used.
5. Samples showing the color and texture of all exterior materials and surfaces, including **walls**, windows, roofs, fixtures, and hardware.

6. A **scale** (1" * 20'-0" minimum) parking plan showing the **location** and number of parking spaces to be **provided**. (This may be combined with the plot plan.) Outdoor parking **plans** should include details of fences or walls which **will** screen the parking area from the **streets**.
7. A **scale** (1" * 20'-0" minimum) landscaping plan is to be provided. (This may be combined with the plot plan.) Landscaping plans should include the location and **variety** of plantings to be used.
8. A **yard lighting** plan if **yard lighting** is to be provided. (This may be combined with the parking or landscape plans.)
9. Application for sign approval shall be accompanied by dimensioned sketches and drawings to an appropriate legible scale indicating the **following**:
 - a. **Design** of the sign, including **size**, materials, type face, color, method of **lighting**, standards or supports, and **specific** relationship to the **building** or buildings on the **premises**.
 - b. Details of **construction**.
 - c. Design of existing signs on the premises including signs not yet completed but for which permits have been secured.

B. Planned District Ordinance

DIVISION 2 OLD SAN DIEGO PLANNED DISTRICT

Ordinance No. 10608 Adopted by the City Council June 30, 1971

INDEX

Municipal Code Section		
103.0200	Purpose and Intent	137
.0201	Boundaries	137
.0202	Administrative Regulations	137
.0202.1	Review Board	137
.0202.2	Building Permits - Application and Review	138
.0202.3	Appeals to City Council	139
.0203	General Regulations	139
.0203.1	Planning, Zoning and Subdivision Regulations	139
.0203.2	Nonconforming Uses	140
.0204	Area Regulations	140
.0204.1	Purpose and Intent	140
.0204.2	Area A Regulations	141
.0204.3	Area B Regulations	143
.0204.4	Area C Regulations	144
.0204.5	Area D Regulations	146
.0204.6	State Historic Park Regulations	147
.0204.7	Presidio Park Area Regulations	147
.0205	Parking and Circulation Regulations	148
.0205.1	Purpose and Intent	148
.0205.2	Off-Street Parking - Maintenance and Operation	148
.0205.3	Congress Street Setback	150
.0206	Architectural Control Regulations	150
.0206.1	Purpose and Intent	151
.0206.2	Forms, Materials, Textures, Colors and Height	151
.0206.3	Signs	151
.0206.4	Public Facilities, Structures and Areas	152
.0207	Regulations for Historic and Architecturally Significant Structures	152
.0207.1	Purpose and Intent	152
.0207.2	Relocation of Historic Buildings	152
.0207.3	Exceptions	152
.0207.4	Deviations from Building Code	153
.0207.5	Removal of Damaged Historic Structures	153



NOTE:
 LEGAL DESCRIPTION OF BOUNDARIES IS
 HD IN THE OFFICE OF THE CITY CLERK
 OF THE CITY OF SAN DIEGO AS
 DOCUMENT NO 768044

213-1710
 DRAWN 2-22-71 DES
 REVISED 10-30-74 ACB
 AMENDED 7-15-77 ACB
 AMENDED 7-11-80
 REDRAWN 10-30-80 ACB
 AMENDED 11-14-80 ACB

OLD SAN DIEGO PLANNED DISTRICT		
15437 N.S.		
BEFORE _____	REQUEST _____	
EFF. DATE ORD 2-25-81	EFF. DATE ZONING _____	AREA 225.8 ACRES GROSS
ZONING SUBJECT TO _____	MAP NAME _____	CASE 80-00-0
P.L.A.N. COMM. RECOMMENDATION APPROVE	CITY PLANNING DIRECTOR _____	CITY OF SAN DIEGO
CITY COUNCIL ACTION APPROVE	SECRETARY OF COMMISSION _____	C-289.4

OLD SAN DIEGO PLANNED DISTRICT

SEC. 103.0200 PURPOSE AND INTENT

The public health, **safety**, and **welfare** require that property in Old San Diego shall be protected from impairment in value and that the distinctive character of the Old San **Diego** community that existed prior to 1871 shall be retained and enhanced.

The development of land in Old San Diego should be controlled so as to create an exciting and viable community capitalizing on the area's proud heritage and importance as California's **birthplace** and first settlement. The proper redevelopment of Old San Diego is in keeping with the objectives and proposals of the Progress Guide and General Plan for the City of San Diego and of the Old **San Diego** Community Plan.

SEC. 103.0201 BOUNDARIES

The Old San Diego Planned District is within the boundaries of the Old San Diego Area in the City of San Diego, California, designated on that certain Map Drawing No. C-289 and described in the appended boundary description, filed in the office of the City Clerk under Document No. 736382.

SEC. 103.0202 ADMINISTRATIVE REGULATIONS

The administrative regulations as defined herein shall apply in the Old San Diego Planned District.

SEC. 103.0202.1 OLD SAN DIEGO PLANNED DISTRICT REVIEW BOARD

A. OLD SAN DIEGO PLANNED DISTRICT REVIEW BOARD CREATED

1. The Architectural Control Board created by Ordinance No. 9511 (**New Series**) shall be redesignated the Old San Diego Planned District Review Board which shall be composed of seven members who shall serve without compensation. The members shall be appointed by the Mayor and confirmed by the Council. The member shall serve **two-year** terms and each member shall serve until his successor is duly appointed and qualified. The members shall be appointed in such a manner that the terms of not more than four members shall expire in any year. The expiration date shall be March **1**. During March of each year, the **Mayor** may designate one member as Chairman; however, in the absence of such designation, the **Board shall**, on or after April 15, select a Chairman from among its members.

2. All members shall be electors of the County of San Diego at the time of appointment and during incumbency. Members of the **Board** shall be persons who shall be specifically qualified by reason of training or experience in history, art, architecture, land **development**, landscape architecture, tourism, planning, or other relevant business or profession to judge the effects of a proposed development upon the desirability, property values, and development of surrounding areas. Three persons who are property owners in the Old San Diego Area shall be appointed as members of the Board. At least one member of such Board shall be a registered architect in the State of California.

3. The Board may **adopt** rules of procedure to supplement those contained within Division 2 of this Article. Four members shall constitute a quorum for the transaction of business and a **majority** vote, and not less than four **affirmative** votes shall be necessary to make any Board decision.

4. The Building Inspection Director or his designated representative shall serve as **Secretary** of the Board as an ex **officio** member. The **Secretary** shall not be entitled to vote.

5. All officers of the City shall cooperate with the Board and render all reasonable assistance to it.

6. The **Board** shall render a report annually, or on **request**, to the Mayor.

B. POWERS AND DUTIES

It is the **duty** of the Review Board to administer and ensure compliance with the regulations and procedures contained within Division 2 of this Article in the manner prescribed herein; to **recommend** to the Planning Commission **any** changes to the regulations, provided **such** changes are necessary for the proper execution of the adopted plan, and to adopt **rules** of procedure to supplement those contained within Division 2 of this Article. The Review Board shall adopt architectural criteria and standards to be used in evaluating the appropriateness of any development for which a permit is applied under Division 2 of this Article; such architectural criteria and standards shall first have been approved by resolution of the City Council and filed in the office of the City Clerk as a numbered document. The Review Board may approve, modify, or disapprove any application for a building permit **based** upon its condition of compliance or **noncompliance** with the **adopted** regulations and approved criteria and standards. It shall not be the responsibility of the Review Board to prepare or adopt precise, area or community plans.

SEC. 103.0202.2 PROCEDURES FOR BUILDING PERMITS APPLICATION AND REVIEW

A. Application for a building permit shall be made to the Building Inspection Director before the commencement of any work in the erection of **any** new building or structure, or repainting of exterior surfaces, remodeling or repair, **alteration**, addition to or demolition of any existing building or structure within the Planned District or any building which is relocated **into** the Planned District.

B. The application shall include the following:

1. The purpose for which the proposed **building**, structure or improvement is intended to be used,
2. Adequate plans and specifications indicating dwelling unit density, lot **area**, lot coverage and off-street **parking**;
3. Adequate plans and specifications for the building and improvements showing the exterior appearance, color and texture of **materials**, and architectural design of the exterior;
4. Adequate plans and specifications for any **outbuildings**, party walls, courtyards, fences, setbacks, landscaping, signs, lighting, **traffic** safety, or other dependency thereof; and
5. Any other **information** deemed necessary **by** the Review Board and the Building Inspection Director to **judge compliance** with the **regulations** contained herein and other applicable laws and regulations.

C. The Building Inspection Director shall refer all applications made under "A." above to the Review Board.

D. The Review Board may approve, **modify**, or disapprove any application for a building permit referred to it by the Building Inspection Director. Approval or disapproval shall be by a majority vote of

all of the members of the Review Board at any meeting where the vote is taken and shall include a statement that the Review Board finds that the building, structure, or improvement for which the permit was applied would or does not conform to the regulations contained herein.

E. Within 60 days after the submission of a complete application to the Building Inspection Director as required above, the Review Board shall send its decision in writing to the Director of Building Inspection with the application and documents, except when the applicant **requests** or agrees to an extension of time.

F. If the Review Board approves the application and the Building Inspection Director finds that the application conforms to all other regulations and ordinances of The City of **San** Diego, he shall then issue the permit for the work.

G. All other applications made under the Building Code and not under Section 103.0202.2 or involving interior work not subject to public view from the streets or alleys of the Planned District and not subject to any regulation contained within Division 2 of this Article shall be processed in the normal manner without referral to or approval by the Review Board.

SEC. 103.0202.3 APPEALS TO THE CITY COUNCIL

A. Any interested person may appeal from the decision of the Old San Diego Planned District Review Board to the City Council within ten days after the decision is filed with the City Clerk. The appeal shall be in writing and filed in duplicate with the City Clerk upon forms provided by the City Clerk. If an appeal is filed within the time specified, it automatically stays proceedings in the matter until a determination is made by the City Council.

B. Upon the filing of the appeal, the City Clerk **shall** set the matter for public hearing before the City Council giving the same notice as provided in Sections 103.0101 and 101.0206. The City Clerk shall send the Old San Diego Planned District Review Board a duplicate copy of the appeal and request the Board to transmit to the City Council a copy of its decision and **findings**, minutes of the hearing, and all other evidence, maps, papers and exhibits upon which the Review Board made its decision.

C. Decision of the City Council. Upon the **hearing** of such appeal, the City Council may, by resolution, affirm, **reverse**, or modify, in whole or in part, any determination of the Old San Diego Planned District Review Board.

SEC. 103.0203 GENERAL REGULATIONS

The general regulations as defined herein shall apply in the Old San Diego Planned District.

SEC. 103.0203.1 PLANNING, ZONING AND SUBDIVISION REGULATIONS WHICH SHALL APPLY

Chapter X, Article 1, Division 1 (**Definitions** and Interpretations), and Chapter X, Article 2 (Subdivisions) of the Municipal Code shall apply in the Old San Diego Planned District. All other Divisions of Chapter X, Article 1, are superseded in the Old San Diego Planned District by the regulations contained within Chapter X, Article 3, Division 2.

SEC. 103.0203.2 NONCONFORMING USES

A. The lawful use of land or buildings which existed at the time the Planned District Regulations became effective and which did not conform in every respect with said regulations may be continued except when specifically prohibited provided no enlargement or additions to such use or buildings is made except as hereinafter provided.

B. Any discontinuance of such a nonconforming use for a continuous period of 12 months shall be deemed to constitute abandonment of any nonconforming rights existing at the time of the enactment of the ordinance.

C. Any change from a nonconforming use of land or buildings to a conforming use shall constitute abandonment of such nonconforming rights.

D. Repairs and alterations which do not enlarge or increase the size of a nonconforming building, structure or improvement may be made provided that the aggregate value of all such repairs and alterations shall not exceed 100 percent of the assessed value of the building on the date the building first became a nonconforming building. The terms "repairs and alterations" do not include painting or replacement of exterior stucco siding or shingles.

E. If any nonconforming building be destroyed by fire, explosion, act of God, or act of the public enemy to the extent of 200 percent or more of the assessed value thereof, according to the assessment thereof by the County Assessor for the fiscal year during which such destruction occurs, then and without further action by the City Council the said building and the land on which said building was located or maintained shall from and after the date of such destruction be subject to all the regulations of Division 2 of this Article.

SEC. 103.0204 AREA REGULATIONS

The area regulations as defined herein shall apply in the Old San Diego Planned District.

SEC. 103.0204.1 PURPOSE AND INTENT

Various areas within the Old San Diego Planned District are physically and functionally well suited for certain types of development and grouping of activities because of the area's proximity to freeway access points, nearness to the State Historic Park or topographic conditions. Therefore, it is the purpose and intent of AREA REGULATIONS to present those controls which reflect the unique characteristics of the various areas within the Old San Diego Planned District.

While certain groupings of uses should be encouraged or emphasized, it is not the intent that the commercial, office, commercial recreation, and residential uses should be rigidly separated. Therefore, the regulations contained herein should develop combinations of uses and structures related to the historic and visitor-oriented pattern and environment desired in Old San Diego.

It is the further intent of these regulations to discourage the following types of uses which are not considered compatible with the development goals of Old San Diego: auto parts stores, auto repair garages, auto sales offices, auto trailer parks, boat sales offices, contractors yards, hospitals, large apartments, factories, large office buildings, large printing plants, lumber yards, machine shops, mortuaries, storage warehouses, unscreened automobile service stations, unscreened drive-in establishments, used car lots and wholesale distributors stores.

SEC. 103.0204.2 AREA A REGULATIONS

A. PURPOSE AND INTENT

Area A is located in the heart of the Old San Diego Area and is adjacent to the State Historic Park, a **pedestrian-oriented** visitors' attraction. The purpose and intent of Area A is to complement the State Historic Park by encouraging small-scale, pedestrian-oriented establishments, **architecturally** typical of San Diego prior to 1871, which provide goods, services and entertainment. Uses such as art galleries, variety **stores**, gift shops, sidewalk cafes and night clubs should be encouraged to occupy the ground floor frontage. Uses such as living units and offices should also be permitted but should be located above or behind the shopper and **visitor-oriented** uses to **avoid** inactive areas at street level. It is not the intent of these **regulations** to permit large-scale businesses such as supermarkets and **department stores** or drive-in establishments. To **encourage** and facilitate pedestrian traffic by **decreasing** auto traffic within the area and to permit maximum development of parcels, required off-street parking is encouraged to locate off-premises on sites adjacent to or near **Juan** and Congress Streets, the primary northwest-southeast routes through the community.

B. BOUNDARIES

Area A is within the boundaries of the Old San Diego Planned District in the City of San Diego, California, designated on Map Drawing No. C-289 and described in the appended boundary description, filed in the office of the City Clerk under Document No. 736382.

C. PERMITTED USES

In **Area A**, no building or improvement or portion thereof shall be erected, constructed, converted, established, altered, or enlarged, nor shall any premises be used except for one or more of the following purposes:

1. The following uses are permitted provided that the ground floor area of any establishment does not exceed 10,000 square feet:

- a. Variety stores, general stores.
- b. Grocery **stores**, candy stores, bakery shops, outdoor food markets, liquor stores, wineries.
- c. Dress shops, haberdasheries, clothing **stores**, tailor shops, shoe **stores**.
- d. Music **stores**, flower shops, jewelry stores, picture frame shops.
- e. Restaurants, sidewalk cafes, bars, night clubs, coffee houses, ice cream parlors, **snackbars** and other **entertainment** facilities.
- f. Barber shops, beauty shops, shoe repair shops.
- g. Art **galleries**, artist studios, art shops, antique shops, book stores, stationery stores, photography studios, photography shops, gift shops, newspaper and **magazine** shops, import shops, home furnishings shops, interior design studios.
- h. Pet **shops**, sporting goods stores, drug stores.
- i. Travel agencies, telegraph **offices**, **banks**.
- j. Museums.
- k. Motion picture theaters, legitimate theaters.
- l. Handicraft shops, including woodcraft shops, **leathercraft shops**, metalcraft shops.

2. The following uses are permitted provided they do not occupy ground floor frontage and are located above or behind a permitted use designated above:

- a. Dwelling units, including one and two-family dwellings, apartment houses, group dwellings, multiple **dwellings**, boarding and lodging houses provided that there are not more than two lodgers per

dwelling unit and not more than six children, including children of the operator on the same lot or premises.

b. Hotels **and** motels.

c. Offices for architects, landscape architects, physicians, dentists, attorneys, accountants, real estate brokers, insurance **agencies**, advertising **agencies**, contractors, engineers, surveyors, **securities** brokers.

d. Art, drama, music, dancing and language schools.

e. Automobile parking facilities, provided such facility is **accessory to** a permitted use located in Area A.

3. Storage of merchandise, material, or equipment shall be permitted only when incidental to a permitted use located on the same premises, and shall be completely enclosed within a building which shall consist of walls and a roof. No outdoor storage shall be permitted.

4. Any other use which the Planning Commission may find to be similar in character to the uses, including accessory uses, **enumerated** in "C." above and consistent with the purpose and intent of Area A and the Old San Diego Planned District. The adopted resolution embodying such finding shall be filed in the office of the **City Clerk**.

D. MINIMUM LOT AREA REGULATIONS

1. No building or portion thereof shall be erected, constructed, **converted**, established, altered, enlarged, nor shall any premises be used unless the lot has a minimum area of 3,000 **square** feet.

2. Exception. Any lot which qualifies under the definition of a lot as set forth in the Municipal Code and which does not comply with the minimum lot area specified herein may nevertheless be **used** as permitted and otherwise regulated by the provisions applicable to Area A.

E. OFF-STREET PARKING REGULATIONS

1. Every premise used for one or more of the **permitted uses** listed in "C." **above** shall be provided with a minimum of off-street parking spaces as follows:

a. For dwelling units, 1.3 parking spaces for each **dwelling** unit containing not more than one bedroom, and 1.6 parking **spaces** for each dwelling unit containing two or more bedrooms.

b. For hotels and motels, one parking space for **each** guest room.

c. For all other permitted uses, one parking space **for each** 400 square feet of gross floor area.

2. Required off-street parking for uses in Area A may be located in whole or in part on nearby land provided that all of the **following** facts prevail:

a. Some portion of the parking area is within 400 feet **horizontal** distance of the premises on which the use requiring off-street **parking** is located, and provided that said parking area is in Areas A, B or C of the Old San Diego Planned District. The **400-foot** distance factor shall not apply to establishments which participate in a parking district as defined in Chapter VI, Article 1, Division 18 of **the San** Diego Municipal Code.

b. Said land is owned or controlled by the owner or owners of the use requiring the off-street parking. In this connection, when parking is to be provided off the premises from where the use is located, **the** owner or lessee of record of the parking site **shall furnish** satisfactory evidence to the Review Board that he owns or has a sufficient interest in such property to provide and maintain the **minimum off-street parking** required by the Municipal Code. In no event shall parking facilities which are provided or maintained for a structure or use be considered as providing any of the required space for any other structure or use.

3. Where ambiguity exists in the application of these off-street parking requirements or where any use not specified in "C." above is found to be a permitted use, the off-street parking requirement shall be consistent with that for similar uses in Area A.

4. All off-street parking facilities including parking districts shall be constructed, operated and maintained in compliance with Section 103.0205.2.

SEC. 103.0204.3 AREA B REGULATIONS

A. PURPOSE AND INTENT

The purpose and intent of Area B is to encourage professional offices, financial institutions, cultural facilities, and residential units to locate in close proximity to the State Historic Park and the pedestrian-oriented shopping area. This area shall also accommodate selected commercial uses.

B. BOUNDARIES

Area B is within the **boundaries** of the Old San Diego Planned District in the City of San Diego, California, designated on Map Drawing No. **C-289** and described in the appended boundary description, filed in the office of the City Clerk under Document No. 736382.

C. PERMITTED USES

In Area B, no building or improvement or portion thereof shall be erected, constructed, established, altered **or enlarged** nor shall any premises be used except for one or more of the following purposes:

1. The following uses are permitted provided that the ground floor area of any establishment does not exceed 10,000 square feet:

a. Those uses enumerated in paragraph "C.1.," Section 103.0204.2.

b. Offices for architects, landscape **architects**, physicians, dentists, **attorneys**, accountants, real estate brokers, insurance agencies, advertising **agencies**, contractors, engineers, surveyors, securities brokers.

c. Savings and loan associations.

d. Laundries, dry cleaners, including self-service.

e. Bicycle sales and repair shops.

2. Cultural centers, meeting halls.

3. Churches.

4. Dwelling units, including one and two-family dwellings, **apartment houses**, group dwellings, multiple dwellings, boarding and lodging houses provided that there are not more than two lodgers per dwelling unit and not more than **six children**, including children of the operator on the same lot or premises.

5. Hotels, motels.

6. Automobile parking facilities.

7. In addition to any other use permitted in Area B, the existing elementary school shall be permitted in that area bounded by Jefferson Street, Conde Street, Congress Street **and** Ampudia Street.

8. Storage of merchandise, material or equipment shall be permitted only when incidental to a permitted use located on the same premises, and shall be completely enclosed within a building which shall consist of walls and a roof. No outdoor storage shall be permitted.

9. Any other use which the Planning Commission may find to be similar in character to the **uses, including accessory** uses, enumerated in "C." above and consistent with the purpose and intent of Area B and the Old San Diego Planned District. The adopted resolution embodying such finding shall be filed in the office of the City Clerk.

D. DENSITY REGULATION

No lot shall be occupied by more than one dwelling unit for each 1,000 square feet of lot area.

E. MINIMUM LOT AREA REGULATIONS

1. No building or portion thereof shall be erected, constructed, converted, **established**, altered, enlarged nor shall any premises be used **unless** the lot has a minimum area of 5,000 square feet.

2. Exception. Any lot which qualifies under the definition of a lot as set forth in the Municipal Code and which **does not comply** with the minimum lot area specified herein may nevertheless be **used** as permitted and otherwise regulated by the provisions applicable to **Area B**.

F. OFF-STREET PARKING REGULATIONS

1. **Every** premise used for one or more of the permitted uses listed in "C." above, shall be provided with a minimum of off-street parking spaces on the same lot or premise as follows:

a. For dwelling units, 1.3 parking spaces for each **dwelling unit** containing not more than one bedroom and 1.6 parking spaces for **each dwelling** unit containing two or more bedrooms.

b. For hotels and motels, one parking space for each **guest room**.

c. For each 100 square feet of floor **area** used for **dining**, dancing, or the serving of drinks, at least one parking space. When subject **facilities** are accessory to a **hotel** or **motel**, one parking **space** for **each** 150 square feet of floor area used for **dining**, dancing, or **the** serving of drinks.

d. For theaters, churches, meeting halls, one **parking space** for each three fixed seats, or one parking space for each 21 square feet of floor area where there are no fixed seats.

e. For kindergarten, primary and **elementary** schools, one and **one-half** parking spaces for each classroom when the **school** has: no auditorium, gymnasium, or other similar place for public **assembly**; or one **parking** space for each 35 square feet of floor **area** used for seating in the school auditorium, gymnasium, or similar **place** of assembly, whichever is greater.

f. For all other permitted uses, one parking space for **each** 400 square **feet** of gross floor area.

2. Where ambiguity exists in the application of these off-street parking requirements or where any use not specified in "C." **above is** found to be a permitted use, the off-street parking requirements **shall be** consistent with that for similar uses in Area B.

3. All off-street parking facilities shall be constructed, operated and maintained in compliance with Section 103.0205.2.

SEC. 103.0204.4 AREA C REGULATIONS

A. PURPOSE AND INTENT

The purpose and intent of Area C is to accommodate auto-oriented activities such as inns, hotels, motels, **restaurants**, offices **and** limited accessory uses such as shops and services on the **periphery** of Old San Diego and at the major ingress and egress points **to** the community.

B. BOUNDARIES

Area C is within the boundaries of the Old San Diego **Planned District** in **the City** of San Diego, **California**, designated on Map Drawing No. C-289 and described in the appended boundary description, filed in the office of the City **Clerk** under Document No. 736382.

C. PERMITTED USES

In Area C, no building or improvement or portion thereof, shall be **erected, constructed, converted, established**, altered or **enlarged**, nor shall any premises be used except for one or more of the following purposes:

1. Hotels and motels.
2. Business services customarily catering to hotel and motel **guests**, provided such **accessory** uses shall be located in the same complex as the hotel or motel and provided the combined gross floor **area** of all accessory uses shall not exceed 25 percent of the **gross** floor area of all uses on the premises. These uses **may** include sales of newspapers and magazines; sales of tobacco and packaged liquor; barber and **beauty** shops; florists and gift shops; **agencies** for laundering, dry cleaning and pressing; agencies for **tickets**, travel and car rentals.

3. Restaurants and accessory bar with incidental entertainment and dancing.

4. Automobile service stations provided such premises (**excluding** ingress and egress but including areas between driveways) **are** screened from public **rights-of-way** and adjoining properties **by** fences, walls, buildings, planting or a combination thereof which shall **have** a height of not less than six feet, except that higher than six-foot fences, **walls**, buildings, or planting may be **required** to provide adequate screening if the **adjoining** property is substantially higher than the service station site; and also provided that driveways serving the premises do not exceed a width of 30 feet measured at the property line and are not less than 31 feet apart measured at the property line.

5. Dwelling units, including one and two-family dwellings, apartment houses, group dwellings, multiple dwellings, boarding and lodging houses provided that there are no more than two lodgers per dwelling unit and not more than six **children**, including children of the operator on the same lot or premises.

6. Offices for architects, landscape **architects**, **physicians**, dentists, attorneys, accountants, real estate brokers, insurance agencies, advertising agencies, **contractors**, engineers, surveyors, securities brokers.

7. Automobile parking facilities.

8. Storage of merchandise, material or equipment shall be permitted only when incidental to a permitted use located on the same premises and shall be completely enclosed **within** a building which shall consist of walls and a roof. No outdoor storage shall **be** permitted.

9. Any other use which the Planning Commission may find to be similar in **character** to the uses, including accessory **uses**, enumerated in "C." above and consistent with the purpose and intent of Area C and the Old San Diego Planned District. The adopted resolution embodying such finding shall be filed in the office of the City Clerk.

D. DENSITY REGULATION

No lot shall be occupied by more than one dwelling unit for each 1,000 square feet of lot area.

E. MINIMUM LOT AREA REGULATIONS

1. No building or portion thereof shall be erected, **constructed**, converted, established, **altered**, enlarged, nor shall **any** premises be used unless the lot has a minimum area of 10,000 square feet.

2. Exception. Any lot which qualifies under the definition of a lot as set forth in the Municipal Code and which does not comply with the minimum lot area specified herein may nevertheless be used as permitted and otherwise regulated **by** the provisions applicable to Area C.

F. OFF-STREET PARKING REGULATIONS

1. Every premise used for one or more of the permitted uses listed in "C." above shall be provided with a minimum of **off-street** parking spaces on the same lot or premise **as** follows:

a. For dwelling units, 1.3 parking spaces for each dwelling unit containing not more than one bedroom and 1.6 parking spaces for **each dwelling** unit containing two or more bedrooms.

b. For hotels and motels, one parking space for each guest room.

c. For each 100 square feet of floor area used for **dining**, dancing, or the serving of **drinks**, at least one parking space. When subject facilities are accessory to a hotel or motel, one parking space for **each 150** square feet of floor area used for dining, **dancing**, or the **servicing** of drinks.

d. For service stations, at least three parking spaces for employees and one parking space for each service bay.

e. For offices, one parking space for each 400 square feet of gross floor area.

2. Where ambiguity exists in the application of these off-street **parking** requirements or where any use not specified in "C." above is found to be a permitted use, the off-street parking requirements shall be consistent with that for similar uses in Area C.

3. All off-street parking facilities shall be constructed, operated and **maintained** in compliance with Section 103.0205.2.

SEC. 103.0204.5 AREA D REGULATIONS

A. PURPOSE AND INTENT

The purpose and intent of Area D is to encourage **residential** uses **adjoining** an **established** residential development in Mission Hills. The area, which consists mostly of steep hillside, should contain a **variety** of housing types, but maximum densities should not exceed forty units per net acre.

B. BOUNDARIES

Area D is within the boundaries of the Old San Diego Planned District in the City of San Diego, California designated on Map **Drawing** No. **C-289** and described in the appended boundary description, filed in the office of the **City** Clerk under **Codument** No. 736382.

C. PERMITTED USES

In Area D, no building or improvement or portion thereof, shall be erected, constructed, converted, established, altered or enlarged, nor shall any premises be used except for one or more of the following purposes:

1. **Dwelling** units, including one and **two-family** dwellings, apartment houses, group dwellings, multiple dwellings, boarding and lodging houses provided that there are not more than two lodgers per dwelling unit and not more than six children, including **children** of the **operator**, on the same lot or premises.

2. Churches.

3. Storage of material or equipment shall be permitted only when incidental to a permitted use located on the same premises, and shall be completely enclosed within a building which shall consist of walls and a roof. No outdoor storage shall be permitted.

4. Any other use which the Planning Commission **may find** to be similar in character to the uses, including accessory uses, enumerated in "C." above and consistent with the purpose and intent of Area D and the Old San Diego Planned District. The adopted resolution embodying such finding shall be filed in the office of the City Clerk.

D. DENSITY REGULATION

No lot shall be occupied by more than one dwelling unit for each 1,000 square feet of lot area.

E. MINIMUM LOT AREA REGULATIONS

1. No building or portion thereof shall be erected, constructed, converted, established, altered, enlarged, nor shall any premises be used unless the lot has a minimum area of 5,000 square feet.

2. Exception. Any lot which qualifies under the definition of a lot as set forth in the Municipal Code and which does not comply with the minimum lot area specified herein may nevertheless be used as permitted and otherwise regulated by the provisions applicable to Area D.

F. MAXIMUM COVERAGE REGULATION

Lot coverage shall not exceed 60 percent of the lot area.

G. OFF-STREET PARKING REGULATIONS

1. Every premise used for one or more of the permitted uses listed in "C." above shall be provided with a minimum of off-street parking spaces on the same lot or premise as follows:

a. For dwelling units, 1.3 parking spaces for each dwelling unit containing not more than one bedroom, and 1.6 parking spaces for each dwelling unit containing two or more bedrooms.

b. For churches, one parking space for each three fixed seats, or one parking space for each 21 square feet of floor area where there are no fixed seats.

2. Where ambiguity exists in the application of these off-street parking requirements, or where any use not specified in "C." above is found to be a permitted use, the off-street parking requirements shall be consistent with that for similar uses in Area D.

3. All off-street parking facilities shall be constructed, operated and maintained in compliance with Section 103.0205.2.

SEC. 103.0204.6 STATE HISTORIC PARK REGULATIONS

A. PURPOSE AND INTENT

It is the intent of the State Historic Park to encourage development which strongly reflects the character of San Diego from its founding to 1871 by preserving, restoring, and re-creating historic sites, structures and activities on the original site of the town. The area should not be developed solely as a museum but as a living, viable community. Commerce and other activities historically associated with San Diego prior to 1871 should be an integral part of the State Historic Park.

B. BOUNDARIES

The State Historic Park is within the boundaries of the Old San Diego Planned District in the City of San Diego, California, designated on Map Drawing No. C-289 and described in the appended boundary description, filed in the office of the City Clerk under Document No. 736382.

C. PERMITTED USES

In the area defined in "B." above, no building or improvement or portion thereof shall be erected, constructed, established, altered, or enlarged, nor shall any premises be used except for a State Historic Park.

SEC. 103.0204.7 PRESIDIO PARK AREA REGULATIONS

A. PURPOSE AND INTENT

Presidio Park Area contains the historic sites of Fort Stockton and the Presidio, both of which preceded the first developments in Old San Diego by a few years, and the Serra Museum which houses

many artifacts of early San Diego and the Southwest. The park **also offers** both active and passive recreation facilities for use by local as well as city-wide **residents**. It is the intent that Presidio Park Area continue to provide historic and recreation facilities and that such facilities be fully **integrated** and consistent with the historic atmosphere being fostered in the **adjacent** State Historic Park **and** elsewhere in the community.

B. BOUNDARIES

Presidio Park Area is within the boundaries of the Old San Diego Planned District in the City of San Diego, **California**, designated on **Map** Drawing No. C-289 and described in the appended boundary **description**, filed in the office of the City Clerk under Document No. 736382.

C. PERMITTED USES

In the area defined in "B." above, no building or improvement or portion thereof shall be erected, constructed, converted, established, **altered**, or **enlarged**, nor shall **any** premises be used except for parks and recreation.

SEC. 103.0205 PARKING AND CIRCULATION REGULATIONS

The parking and circulation **regulations** as defined herein shall **apply** in the Old San Diego Planned District.

SEC. 103.0205.1 PURPOSE AND INTENT

The regulations contained herein shall provide an **adequate** parking and circulation system to accommodate the anticipated growth of the Old San Diego Area as a prime visitor center of San Diego by implementing the various objectives and proposals of the Old San Diego Community Plan.

SEC. 103.0205.2 OFF-STREET PARKING CONSTRUCTION, MAINTENANCE AND OPERATION REGULATIONS

The following off-street parking construction, maintenance **and** operation regulations shall **apply** to all parking in the Old San Diego Planned District. Off-street parking shall be in substantial **conformance** with standards adopted by the Planning Commission as set forth in a document entitled "**Locational** Criteria, Developmental Standards and Operational Standards - Off-Street Parking Lots," on file in the office of the Planning Department. **Off-street** parking shall also be in substantial conformance with the Architectural Controls as specified within Division 2 of this Article. Substantial conformance shall be determined by the Old San Diego Planned District Review Board; said determination shall be subject to appeal in the manner set forth in Section 103.0202.3.

A. WHEN REQUIRED

Off-street parking spaces and facilities required in any area shall be provided before the use requiring such parking facilities commences to operate and shall be maintained in good condition so long as the use for which it is provided exists.

B. EXISTING PARKING NOT TO BE REDUCED

Notwithstanding any other provisions of Division 2 of this Article, existing off-street parking facilities in any area which were provided on the same premises and maintained before parking was required and which serve a use now requiring off-street parking shall not be reduced in number, dimension or any other manner below the requirements of the use.

C. USE OF REQUIRED PARKING SPACES

Required off-street parking spaces shall be used **only** for the parking of usable vehicles of **residents**, employers, **employees**, customers and visitors.

D. EXISTING USES - ENLARGEMENT

Whenever an existing use which does not provide all the off-street parking spaces required by the Municipal Code on any premises is enlarged by an increase in dwelling units, floor area or otherwise, there shall be provided concurrently with such enlargement a minimum of twice the number of parking spaces as would be necessitated by the magnitude of said enlargement; provided, however, the total of the existing parking spaces and those required by this paragraph need not exceed the number of parking spaces required for the enlarged development computed at the rate provided in the Municipal Code.

E. REQUIREMENTS TOTALED

The **off-street** parking requirements for two or more uses on the same premises shall be the sum of the requirements for each use computed separately.

F. BEDROOMS DEFINED

For **the purpose** of calculating off-street parking requirements for dwelling **units**, the following shall be considered as bedrooms if they contain 90 square feet or more of superficial floor **area**:

1. Living rooms in studio, bachelor and **efficiency** apartments containing no bedrooms.
2. Dens.
3. Studies.
4. Family rooms.
5. Studios.

G. PARKING AND BUSINESS IMPROVEMENT AREA

If a parking and **business** improvement area is formed in accordance with Chapter VI, Article 1, Division 18 of the San Diego Municipal Code, the number of off-street parking spaces required for properties within the parking and business improvement area shall decrease in accordance with the following formula:

(Assessment against the subject **property**) divided by
(total assessment **against** all **property** in parking district)
multiplied by (parking spaces provided in the district
facility) multiplied by **1.25** equals parking **spaces** excepted.

The remainder of the off-street parking spaces required by the applicable regulations shall be provided on the lot or premises of the subject property or as otherwise provided in the particular area. Property located within more than one parking and business improvement area shall be entitled to an exception based on the sum of the exceptions calculated by the application of the formula referred to above to each parking and business improvement area.

H. COMPUTATION

In computing the required number of off-street parking spaces, a remaining fraction of one-half or more shall be deemed a whole unit of **measurement**; a remaining fraction of less than one-half may be disregarded.

I. MARKING OF SPACES

Where five or more required parking spaces are provided on a lot, each space shall be **clearly** marked with paint or any other more durable material contrasting in color with the surface to which applied.

J. COMPUTATION - UNMARKED AREAS

In an unmarked parking area containing less than five parking **spaces**, the number of spaces shall be the quotient of the total number of square feet in the usable parking area divided by 350 square feet.

K. DIMENSIONS

Parking spaces shall have a minimum width of eight and one-half feet and a minimum depth of 20 feet.

L. ACCESS

Each required parking space shall open directly upon an aisle or driveway of such width and design as to provide safe and efficient means of vehicular access to such parking space. All required parking facilities shall have convenient access to a public street or alley. Driveways shall not exceed a width of 30 feet measured at the property line and there shall be no less than 31 feet measured at the property line between driveways serving the same premises.

M. SURFACING

All parking spaces and driveways shall be surfaced with the structural equivalent of two inches of asphaltic concrete as determined by the City Engineer.

N. LIGHTING

Any artificial lighting shall be shaded so as not to fall on adjacent properties.

O. WHEEL STOPS

On premises containing five or more parking spaces, all such spaces within ten feet of the boundaries of abutting properties shall be equipped with wheel stops not less substantial than a six-inch square horizontal timber permanently anchored and located so as to confine vehicles entirely within said premises.

P. PARKING PROHIBITED

Off-street parking spaces shall not be located in any area lying between the public street and a setback line.

Q. SCREENING OF PARKING

All parking areas (excluding ingress and egress but including areas between driveways) shall be screened from public rights-of-way and adjoining properties by fences, walls, buildings, planting, or a combination thereof. Said fences, walls, buildings or planting shall have a height of not less than six feet except that higher than six-foot fences, walls, buildings or planting may be required to provide adequate screening if the adjoining property is substantially higher than the parking area.

R. LANDSCAPING

A minimum area of two percent of the interior parking lots containing more than 20 parking spaces shall be landscaped and provided with an adequate permanent underground watering system. This requirement is in addition to planting used for screening as permitted above. A site plan of interior landscaping and planting used for screening shall be submitted to the Review Board for approval prior to installation of any plant material. Landscaping and required watering systems shall be installed prior to the use of the parking lot. All landscaping material in required landscaped areas shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material.

SEC. 103.0206.3 CONGRESS STREET SETBACK

A five-foot setback shall be established along each side of Congress Street, between San Diego Avenue and Wallace Street, to provide for possible future street widening.

SEC. 103.0206 ARCHITECTURAL CONTROL REGULATIONS

The architectural control regulations as defined herein shall apply in the Old San Diego Planned District.

SEC. 103.0206.1 PURPOSE AND INTENT

The development of land in the Old San Diego Planned District should be controlled in order to develop the **unique**, distinctive character and atmosphere of Old San Diego prior to 1871. It is **necessary** to impose reasonable restriction upon erection of new buildings and structures and the alteration of existing and relocated buildings and structures. The regulations contained within Section 103.0206 are intended as a continuation of the Architectural Controls adopted on September 27, 1966 by Ordinance No. **9511** (New Series).

SEC. 103.0206.2 FORMS, MATERIALS, TEXTURES, COLORS AND HEIGHT OF STRUCTURES AND LANDSCAPING

Forms, materials, textures, colors and height of structures shall be in general accord with the appearance of structures **built** in Old San Diego prior to **1871**. To this end, they shall be in general accord with the designs prevailing during the principal recognized Old San Diego historical periods, commonly known as the Spanish period, Mexican period and American period as exemplified but not limited to the following existing structures:

- Casa Estudillo . . . 4000 Mason Street
- Casa de Machado . . . 2745 San Diego Avenue
- Casa de Bandini . . . 2660 Calhoun Street
- Altamarino House . . 2626 San Diego Avenue
- Casa de Pedrorena . . 2616 San Diego Avenue
- Whaley House . . . 2482 San Diego Avenue
- Pendleton House . . . **4017** Harney Street
- Gatewood House . . 2525 San Diego Avenue

Amplified and illustrated criteria for forms, materials, textures, colors, and height of structures **and** landscaping were approved September 12, 1967 by Resolution No. 191556 of the **City** Council and filed in the office of the City Clerk as Document No. **715752**. Said resolution shall apply in the Old San Diego Planned District except that the Old San Diego Planned District Review Board shall assume the powers and duties of the Architectural Control Board. Changes or additions to the criteria used in evaluating the appropriateness of forms, materials, textures, **colors**, and height of structures and landscaping may be adopted by the Review Board; such criteria shall first have been approved by resolution of the City Council and filed in the office of the City Clerk as a numbered document.

SEC. 103.0206.3 SIGNS

A. The structure, content, lettering, location, size, number, illumination, color, projection and other characteristics of all signs in the Old San Diego Planned District shall be subject to the criteria and standards approved March 26, 1968 by Resolution No. 193272 of the City Council and filed in the office of the City Clerk as Document 722068 except that the Old San Diego Planned District Review Board shall assume the powers and duties of the Architectural Control Board.

B. Within three years from the effective date of Resolution No. 193272 all signs in the Old San Diego Planned District which do not conform to the approved regulations, criteria and standards shall be altered to comply or shall be removed.

C. Changes or additions to the criteria and standards to be used in evaluating the **appropriateness** of any signs may be adopted by the Review Board; such criteria and standards shall **first have** been approved by resolution of the City Council and filed in the office of the City Clerk as a numbered document.

SEC. 103.0206.4 PUBLIC FACILITIES, STRUCTURES AND AREAS

All open spaces, streets, **sidewalks**, street **furniture**, street **signs**, lighting installations, and **any** incidental structures or monuments, shall conform to the intent of Division 2 of this Article which is to **re-create** the **history** of the character of Old San Diego in general accord with the period prior to 1871 and shall be subject to the same **regulations**, conditions and standards established herein.

SEC. 103.0207 REGULATIONS FOR HISTORIC AND ARCHITECTURALLY SIGNIFICANT STRUCTURES

The regulations as defined herein for historic and **architecturally significant** structures shall apply in the Old San Diego **Planned** District.

SEC 103.0207.1 PURPOSE AND INTENT

The provisions contained herein are intended to permit and encourage in Old San Diego the preservation and restoration of buildings, structures and sites having historic or architectural value for the benefit of the people of San Diego, the State of California and **all interested** in the record of the progress of western civilization.

SEC. 103.0207.2 RELOCATION OF HISTORIC BUILDINGS

Historic and/or architecturally significant **buildings**, as determined by the Historical Site Board, may be relocated into the Old San Diego Area. Relocation of such buildings shall be first authorized by permits issued by the Inspection Department as provided in Chapter IX, Article 1, of the Municipal Code. Upon receipt of **an** application for permit to relocate such a building, the Building Inspection Director shall refer the application to the Old San Diego Planned District Review Board for review and approval as provided in Section 103.0202.2. Any building approved for relocation into the Old San Diego District shall be subject to all the exceptions and other provisions contained herein.

SEC. 103.0207.3 EXCEPTIONS TO OLD SAN DIEGO PLANNED DISTRICT REGULATIONS

A. Section 103.0203.2, paragraphs "B." through "E.," concerning alterations of **nonconforming** uses, shall not apply to historic or architecturally significant buildings, structures, or sites as designated by the Historical Site Board.

B. The Old San Diego Planned District Review Board shall have the power to grant an exception to any regulation within Division 2 of this Article including permitted uses, when such exception is necessary to permit the preservation or restoration of a historic or architecturally significant building, structure or site. Such exception shall be subject to the following conditions:

1. The subject building, structure or site must be identified by the Historical Site Board as being historic or architecturally significant;
2. The proposed exception shall be referred to the Planning Department for a report **and** recommendation;
3. The Old San Diego Planned District Review Board, in granting an exception, shall **make** a finding that the exception is **necessary** to permit the preservation or restoration of a historic or **architecturally significant** building, structure or site; that strict application of **the** provisions contained within Division 2 of this Article would **result** in economic or other practical difficulties in securing the preservation

or restoration of a historic or architecturally **significant** building, structure or site; and that the granting of an exception will not be injurious to the **community** or detrimental to the public welfare; and

4. In granting any exception the Review Board shall make a written finding which shall specify facts relied upon in rendering its decision. A copy of this written finding, together with all evidence presented to the Board, including plans required elsewhere in Division 2 of this Article shall be filed with the Review Board's decision in the office of the **City** Clerk, the Department of Building Inspection and the Planning Department. The written finding and decision shall be mailed to the applicant and shall be subject to appeal by any interested person in the manner as provided in Section 103.0202.3.

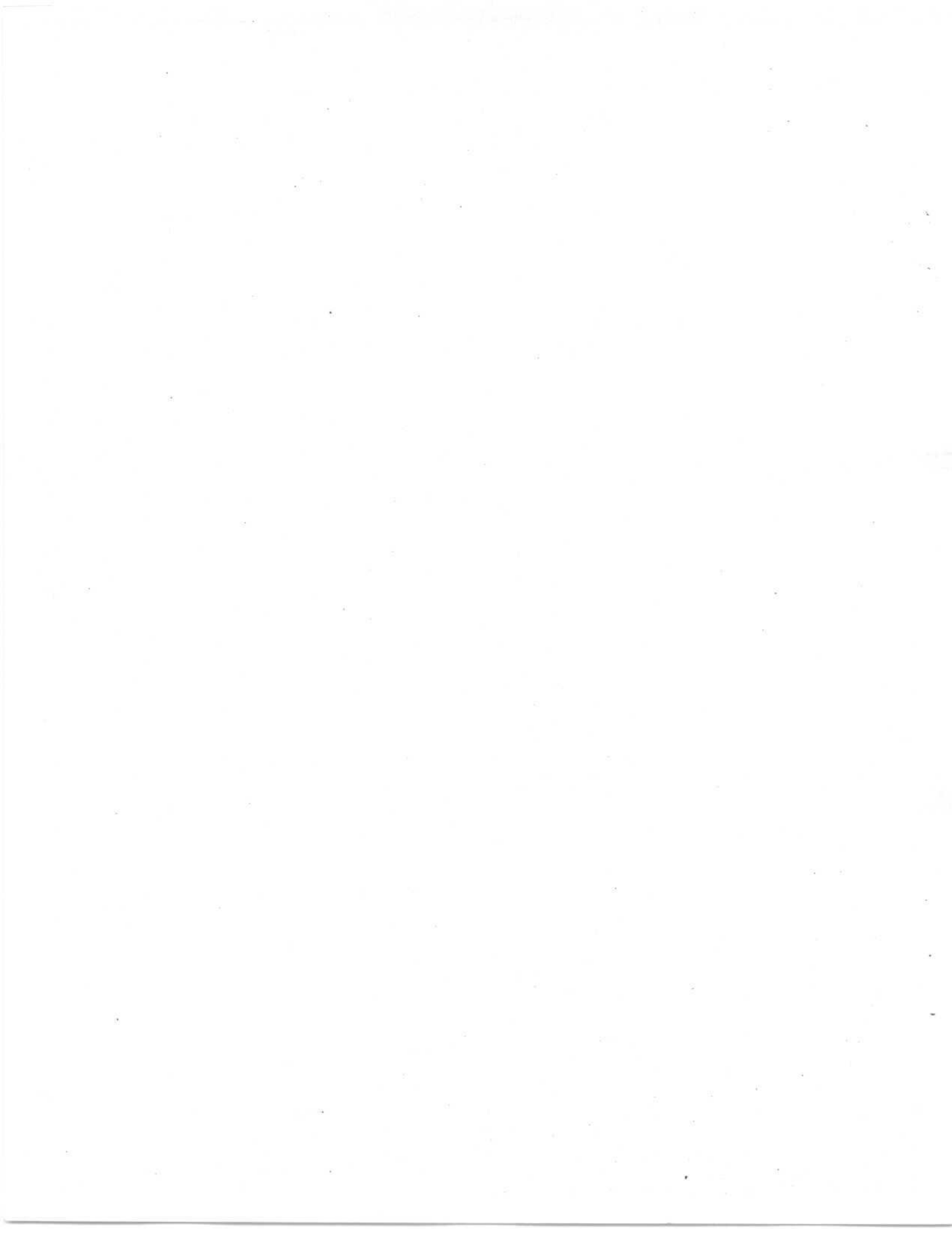
SEC. 103.0207.4 DEVIATIONS FROM BUILDING CODE ALLOWED

Notwithstanding the provisions of this ordinance or any other ordinance, it shall be lawful in the Old San Diego Planned District to repair, remodel or restore all historic or architecturally significant buildings or structures designated by the Historical Site Board in the same manner and with the same kind or similar materials with which they were originally constructed, provided that such building or structure shall be approved by the Old San Diego Planned District Review Board and the Building Inspection Director and such building or structure shall be safe and not hazardous to its occupants or the public. The Old San Diego Planned District Review Board and the Building Inspection Director shall require such repairs, modifications, and/or improvements to the building or structure as conditions to the permit, as are deemed necessary to preserve the architectural and historic character and provide minimum life and fire safety. **Re-**quirements of the Review Board and the Building Inspection Director may be appealed to the City Council **as** provided by Section 103.0202.3.

SEC. 103.0207.5 REMOVAL OF DAMAGED HISTORIC STRUCTURES

In the event any building or structure of architectural or historic value or interest shall be damaged by earthquake, fire, or act of God to such an extent that in the opinion of the Review Board it cannot reasonably be repaired and restored, the same may be removed upon issuance of a permit for said removal.

(Ord. 10608 N.S. - effective July 30, 1971.)



C. Bibliography

CASAS AND **COURTYARDS**, Historic Adobe Houses of **California**, Helen S. Giffen, 1955.

CITIES, Lawrence **Halprin**, 1963.

CRITERIA-OLD SAN DIEGO ARCHITECTURAL CONTROL DISTRICT, Adopted September 12, 1967 by the San Diego City Council resolution no. 191556.

FURNISHING THE **CITY**, Harold Lewis Malt, McGraw-Hill Book Co. 1970.

A GUIDE FOR THE DEVELOPMENT OF OLD SAN **DIEGO** STATE PARK FOR THE **BI-CENTENNIAL** CELEBRATION, Prepared by the **Mayor's** Committee for the **Establishment** of these **Guidelines**, October 1, 1967.

IN AND OUT OF THE OLD **MISSIONS OF CALIFORNIA**, An Historical and Pictorial Account of the Franciscan Missions, G. W. James, 1916.

MEXICAN **HOMES OF TODAY**, Verna Cook Shipway and Warren Shipway, Architectural Book **Publishing Co. Inc.**, New York **1964**.

OLD SAN DIEGO **COMMUNITY PLAN**, Old San Diego Community Planning **Committee**, **1968**.

OLD SAN DIEGO, Plans for Development, Report to the City Council, By the **City Planning Commission**, January **1946**.

REDWOOD SHORES STREET **FURNITURE**, Prepared for Redwood Shores **Urban Design** Committee, Redwood City, **California**. Michael **McDougall**, Urban Designer and Planner, 1968.

STREETS ARE FOR PEOPLE, Bernard Rudofsky, **1969**.

SAN DIEGO "OLD TOWN" STUDY, State of California, Department of Parks and Recreation, February 1966.

STREET GRAPHICS, a concept and a system by William R. **Ewald Jr.**, AIP, **AIGA** and Daniel R. **Mandelker**, **JSD**, American Society of Landscape Architects **Foundation**, Washington, D.C. 20005, 1971.

THE MEXICAN HOUSE OLD & NEW, Verna Cook Shipway and Warren Shipway, **Architectural Book Publishing Co., Inc.**, New York **1960**.

URBAN DESIGN MANUAL OF GOALS - SAN **DIEGO** BORDER AREA PROGRAM, **1966**.

There are **volumes** of **additional** reference material on file in the Research Library of the Junipero Serra Museum and the California Room of the Main **Branch** of the San Diego Public Library.