



**THE CITY OF SAN DIEGO**

**M E M O R A N D U M**

DATE: June 3, 2021

TO: Hearing Officer

FROM: Benjamin Hafertepe, Development Project Manager, Project Submittal and Management Division

SUBJECT: LEIDY RESIDENCE CDP – PROJECT NO. 639782

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The subject project's Exhibit "A" has been updated to include the following:

- Renamed the Guest Quarters to an Accessory Dwelling Unit (ADU).
- Revised the Gross Floor Area (GFA) calculation to include the Basement Level ADU and removed the area which was once crawlspace to slab on ground.
  - Updated Sheet A1.0e to show area not exempt from GFA.
- Reduced height for the retaining wall and added retaining wall labels.

Should you have any questions, please contact me at (619)446-5086 or email [BHafertepe@sandiego.gov](mailto:BHafertepe@sandiego.gov).

Thank you,

Attachments:

Exhibit A

CC: File  
Hearing Officer Legislative Recorder  
Office of the City Attorney



CONTENTS	PROJECT DATA	PROJECT TEAM	GENERAL NOTES																																										
<p>T1.0 TITLE SHEET</p> <p>T1.0a EXHIBIT 'A'</p> <p>T1.1a GENERAL NOTES</p> <p>T1.1b CAP</p> <p>T1.1c PROJECT FORMS AND APPROVALS</p> <p>T1.1d PROJECT FORMS AND APPROVALS</p> <p>T1.2a TITLE 24 FORMS</p> <p>T1.2b TITLE 24 FORMS</p> <p>T1.2c TITLE 24 FORMS</p> <p>T1.3a DOOR SCHEDULE</p> <p>T1.3b WINDOW SCHEDULE</p> <p>T1.4a GREEN SHEET</p> <p>T1.4b GREEN SHEET</p> <p>T1.5a WALL SCHEDULE</p> <p>T1.5b WALL SCHEDULE</p> <p>SURVEY</p> <p>A1.0 SITE PLAN</p> <p>A1.0a SITE PLAN DETAILS</p> <p>A1.0b SITE PLAN COASTAL</p> <p>A1.0c PLAN DIAGRAMS</p> <p>A1.0d SITE PLAN EXCERPTS</p> <p>A1.0e GFA EXEMPTION DIAGRAM</p> <p>A1.1 BASEMENT FLOOR PLAN</p> <p>A1.2 GROUND FLOOR PLAN</p> <p>A1.3 SECOND FLOOR PLAN</p> <p>A1.4 ROOF PLAN</p> <p>A2.0 NORTH ELEVATION</p> <p>A2.1 EAST ELEVATION</p> <p>A2.2 SOUTH ELEVATION</p> <p>A2.3 WEST ELEVATION</p> <p>A3.1 BUILDING SECTION</p> <p>A3.2 BUILDING SECTION</p> <p>A3.3 BUILDING SECTION</p> <p>A3.4 BUILDING SECTION</p> <p>A3.5 BUILDING SECTION</p> <p>A3.6 BUILDING SECTION</p> <p>A3.7 BUILDING SECTION</p> <p>A3.8 BUILDING SECTION</p> <p>A3.9 BUILDING SECTION</p> <p>A3.10 BUILDING SECTION</p> <p>A3.11 BUILDING SECTION</p> <p>A3.12 BUILDING SECTION</p> <p>A3.13 BUILDING SECTION</p> <p>A3.14 STAIRWAY SECTION</p> <p>A9.0a PLAN CHECK DETAILS - WINDOW AND SLIDER HEADS</p> <p>A9.0b PLAN CHECK DETAILS - WINDOW AND SLIDER JAMBS</p> <p>A9.0c PLAN CHECK DETAILS - WINDOW AND SLIDER JAMBS</p> <p>A9.0d PLAN CHECK DETAILS - WINDOW AND SLIDER SILLS</p> <p>A9.0e PLAN CHECK DETAILS - WINDOW AND SLIDER SILLS</p> <p>A9.0f PLAN CHECK DETAILS - SKYLIGHTS</p> <p>A9.1a PLAN CHECK DETAILS - EXTERIOR DETAILS</p> <p>A9.1b PLAN CHECK DETAILS - EXTERIOR DETAILS</p> <p>A9.1c PLAN CHECK DETAILS - EXTERIOR DETAILS</p> <p>A9.2a PLAN CHECK DETAILS - INTERIOR DETAILS</p> <p>1-D TITLE SHEET</p> <p>2-D NOTES</p> <p>3-D DRIVEWAY SECTIONS AND STANDARD DRAWINGS</p> <p>4-D TOPOGRAPHIC MAP</p> <p>5-D GRADING PLAN</p> <p>6-D EROSION CONTROL PLAN</p> <p>1-D TITLE SHEET</p> <p>2-D WATER POLLUTION CONTROL PLAN</p> <p>3-D STORM WATER REQUIREMENTS ACCESSIBILITY CHECKLIST</p>	<p>OWNER: David and Pam Leidy 6216 Avenida Cresta La Jolla, CA 92037</p> <p>PROJECT ADDRESS: 6216 Avenida Cresta La Jolla, CA 92037</p> <p>APN: 357 012 13 00</p> <p>LEGAL: LOT 14, BLK 3 MAP 1810, LA JOLLA HERMOSA</p> <p>YEAR BUILT: 1980 (ADDITION IN 2000)</p> <p>ZONE: RS-1.5</p> <p>DENSITY: 8,000.00 SQ. FT. / DU.</p> <p>MAX. FAR: 0.54 [54%] 10,544.00' 0.54 = 5,699.16 SQ. FT.</p> <p>CURB TO PROPERTY LINE: 13 FT.</p> <p>SETBACKS: (PER SDMC TABLE 131-04D) FRONT YARD: 20 FT. LOT WIDTH + 0.08 SIDE YARD: (PER SDMC 113.0243(c)(1)) AVERAGE WIDTH OF FIRST 50'-0" 82.64 + 70.97 = 153.61 153.61 / 172 = 76.8 (AVG. WIDTH) 76.8 FT. 0.008 = 6.14 FT.</p> <p>REAR YARD: 20 FT.</p> <p>MAX. HEIGHT: 24'-0" / 30'-0" SITE SUBJECT TO 30° ANGLED TO BUILDING ENVELOPE PLAN (LOT WIDTH - 75 FT. - 150 FT. PER SDMC TABLE 131-04H) 30° FRONT YARD ENCROACHMENT PLANE NOT REQUIRED AS STRUCTURE DOES NOT EXCEED OVERALL STRUCTURE HEIGHT OF 27' + GRADE DIFFERENTIAL AS PER 113-02LL SEE A3.7</p> <p>HEIGHT EXCEPTION:</p> <p>NR. OF STORIES: THIRD STORY ALLOWED STORY MAX. WIDTH = 70% OF LOT STORY MAX. DEPTH = 50% OF LOT</p> <p>LOT SIZE: 10,544.00 SQ. FT.</p> <p>EXISTING BUILDING: 1,876.00 SQ. FT. (17.7% FAR)</p> <p>MAX. LOT PAVING: 60% FRONT YARD</p> <p>GEOLOGIC HAZARD CAT.: S3</p> <p>TYPE OF CONSTRUCTION: TYPE V NON RATED</p> <p>OCCUPANCY CLASS.: RESIDENTIAL GROUP R-3 / U</p> <p>EXISTING USE: SFR (SINGLE FAMILY RESIDENCE)</p> <p>PROPOSED USE: SFR (SINGLE FAMILY RESIDENCE)</p> <p>OVERLAYS: COASTAL HEIGHT LIMIT OVERLAY ZONE (NON-APPEALABLE), COASTAL CITY OVERLAY ZONES (NON-APPEALABLE), PARKING IMPACT ZONE, RESIDENTIAL TANDEM PARKING ZONE, TRANSIT AREA ZONE</p> <p>SCOPE OF WORK: A NEW 6,592.00 SQ. FT. SINGLE FAMILY RESIDENCE, + 405.00 SQ. FT. GARAGE, + 661.00 COMPANION UNIT TOTAL: 7,648.00 SQ. FT.</p> <p>PROPOSED STORIES: (2) STORY + BASEMENT</p> <p>PROPOSED BLDG. HGT.: 33'-2" (LOWEST ADJACENT GRADE TO HIGHEST POINT OF BUILDING) SEE A3.7 AND A1.0</p> <p>PARKING: (2) CAR ENCLOSED GARAGE STANDARD SPACES</p> <p>SPRINKLERED: BUILDING TO BE FULLY SPRINKLERED</p> <p>LOT COVERAGE: 3,144.00 SQ. FT. 3,144.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2979 (29.79%)</p> <p>LOT AREA FRONT YARD: 1,369.00 SQ. FT.</p> <p>HARD SCAPE FRONT YARD: 371.00 SQ. FT. 371.00 SQ. FT. / 1,369.00 SQ. FT. = 0.2710 (27.10%)</p> <p>BASEMENT QUALIFICATION: VERTICAL DISTANCE BETWEEN NATURAL GRADE OR FINISHED GRADE AND FINISHED FLOOR ABOVE AT NO POINT GREATER THAN 5' SEE A1.0 AND A2.0</p> <p>GROSS FLOOR AREA BREAKDOWN:</p> <table border="1"> <thead> <tr> <th>ITEM</th> <th>EXISTING</th> <th>PROPOSED</th> <th>CREDIT</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>BASEMENT</td> <td>0.00</td> <td>2,762.00</td> <td>2,460.00</td> <td>302.00</td> </tr> <tr> <td>FIRST FLOOR</td> <td>0.00</td> <td>2,809.00</td> <td>0.00</td> <td>2,809.00</td> </tr> <tr> <td>SECOND FLOOR</td> <td>0.00</td> <td>2,077.00</td> <td>0.00</td> <td>2,077.00</td> </tr> <tr> <td>AT GRADE</td> <td>0.00</td> <td>335.00</td> <td>0.00</td> <td>335.00</td> </tr> <tr> <td>TOTAL</td> <td>0.00</td> <td>7,983.00</td> <td>2,460.00</td> <td>5,523.00</td> </tr> </tbody> </table> <p>SEE A1.0b FOR FLOOR AREA CALCULATION SEE A1.0c FOR CREDITED AREA</p> <p>GROSS FLOOR AREA CALCULATIONS:</p> <p>BASEMENT FLOOR AREA: 2,762.00 SQ. FT. (2,460.00 SQ. FT. EXEMPT)</p> <p>FIRST FLOOR AREA: 2,809.00 SQ. FT.</p> <p>SECOND FLOOR AREA: 2,077.00 SQ. FT.</p> <p>AT GRADE AREA: 335.00 SQ. FT.</p> <p>TOTAL GROSS FLOOR AREA = PROPOSED FAR: 5,502.00 SQ. FT.</p> <p>LANDSCAPE AREA:</p> <table border="1"> <thead> <tr> <th>LOT SIZE:</th> <th>10,544.00 SQ. FT. (100.00%)</th> </tr> </thead> <tbody> <tr> <td>POOL AREA:</td> <td>860.00 SQ. FT. (8.15%)</td> </tr> <tr> <td>ROOF AREA:</td> <td>3,652.00 SQ. FT. (34.60%)</td> </tr> <tr> <td>PERMIABLE AREA:</td> <td>3,022.00 SQ. FT. (28.63%)</td> </tr> <tr> <td>IMPERMIABLE AREA:</td> <td>3,020.00 SQ. FT. (28.61%)</td> </tr> </tbody> </table>	ITEM	EXISTING	PROPOSED	CREDIT	TOTAL	BASEMENT	0.00	2,762.00	2,460.00	302.00	FIRST FLOOR	0.00	2,809.00	0.00	2,809.00	SECOND FLOOR	0.00	2,077.00	0.00	2,077.00	AT GRADE	0.00	335.00	0.00	335.00	TOTAL	0.00	7,983.00	2,460.00	5,523.00	LOT SIZE:	10,544.00 SQ. FT. (100.00%)	POOL AREA:	860.00 SQ. FT. (8.15%)	ROOF AREA:	3,652.00 SQ. FT. (34.60%)	PERMIABLE AREA:	3,022.00 SQ. FT. (28.63%)	IMPERMIABLE AREA:	3,020.00 SQ. FT. (28.61%)	<p>DESIGN: Daryl Olesinski, Principal O+L BUILDING PROJECTS, LLC 1509 Grandview Blvd. Los Angeles, CA 90066 p. (310) 390 1650 e. darylo@oplus.com</p> <p>STRUCTURAL ENGINEER: Eric McCullum McCullum Engineering 727 2nd Street Hermosa Beach, CA 90254 p. (562) 856 2380 e. mccullumengineering.com</p> <p>CIVIL ENGINEER (SURVEY) Rinehart Engineering 6431 Cleve Way San Diego, CA 92117 p. (858) 268 8401 e. FDR@Rinehart-Engineering.com</p> <p>CIVIL ENGINEER Bill Dick, PE, LS, Civil Engineer Kappa Surveying &amp; Engineering Inc. 8707 La Mesa Blvd La Mesa, CA 91942 p. (619) 465 8948</p> <p>GEOLOGICAL ENGINEER: Catherine C. O'Hern TerraVitalis Consultants Inc. 4010 Moreno Blvd. Ste. 108 San Diego, CA 92117 p. (858) 521 1190</p> <p>LANDSCAPE ARCHITECT: Trace Wilson Materia LLC p. 310.903.2635 e. wilsont@materia-llc.com</p> <p>ENERGY COMPLIANCE ENGINEER: Troy Lindquist Alternative Energy System 2325 N. Verlujo Road Glendale, CA 93550 p. 818.957.7733 e. troy@the2energy.com</p> <p>PLANCHER CONSULTANT: Chandra Sloven, AICP p. 619-316-7645 e. chandra.sloven@gmail.com</p> <p>Tim Seaman Champion Permits P.O. Box 5955 Chula Vista, CA 91912 p. 619-993-8846 e. tim@championpermits.com</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> <li>DURING CONSTRUCTION, AT LEAST ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEETS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT (CFC CHAPTER 35).</li> <li>BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.</li> <li>BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS EMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE MIN. 4 IN. HIGH WITH A MIN. STROKE WIDTH OF 0.5 IN. FOR RESIDENTIAL BUILDINGS COMPLYING WITH THE PROTECTIVE DEVICE. NUMBERS SHALL BE MIN. OF 6 IN. HIGH WITH A MIN. STROKE WIDTH OF 0.5 IN. (CFC, SEC. 505.1 AND SDMC SEC. 35.9050)</li> <li>SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2</li> </ol> <p>EVC GENERAL NOTES</p> <ol style="list-style-type: none"> <li>A LISTED RACEWAY SHALL BE PROVIDED TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGER IN NEW ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES</li> <li>RACEWAY SHALL BE NOT LESS THAN TRADE SIZE 1" (NOMINAL 1-IN INSIDE DIAMETER) TO ACCOMMODATE A DEDICATED 208/240V BRANCH CIRCUIT</li> <li>THE EVC'S RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV SPACE</li> <li>THE EVC'S RACEWAY SHALL BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREA AND SPACES</li> <li>THE EVC'S SERVICE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DERATED BRANCH CIRCUIT AND SPACES REFERRED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE</li> <li>THE EVC'S SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTLY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACES FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE AND THE RACEWAY TERMINATION LOCATION AS EV CHARGE</li> </ol> <p>CALGREEN GENERAL NOTES</p> <ol style="list-style-type: none"> <li>THE CALIFORNIA GREEN BUILDING CODE (CALGREEN) APPLIES TP A; RESIDENTIAL BUILDINGS WHICH ARE UNDER THE JURISDICTION OF HCD</li> <li>CALGREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE</li> <li>A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT</li> <li>NEW RESIDENTIAL DEVELOPMENTS WITH A LANDSCAPE AREA OVER 500 SF SHALL COMPLY WITH ONE OF THE FOLLOWING (CALGREEN 4.304.4): 1.) LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) 2.) LANDSCAPE AREA LESS THAN 2500 SF MAY COMPLY WITH MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION</li> <li>JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CALGREEN 4.406.1)</li> <li>BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PLACED IN THE BUILDING. A SAMPLE OF THE MANUAL IS AVAILABLE ON THE HOUSING AND COMMUNITY DEVELOPMENT (HCD) WEBSITE. THE MANUAL SHOULD INCLUDE THE ITEMS LISTED IN 2016 CALGREEN 4.4.10.1</li> <li>ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION WITH TAPE, PLASTIC OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIP. (CALGREEN 4.504.1)</li> <li>PAINTS, STAINS, COATINGS, ADHESIVES, SEALANTS AND CALIKS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2016 CALGREEN SECTION 4.504.2</li> <li>THE VOC CONTENT VERIFICATION SHALL BE MADE AVAILABLE TO THE CITY STAFF UPON REQUEST</li> <li>ALL NEW CARPET AND CARPET CUSHIONS INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: 1.) CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM, 2.) CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION D1350, 3.) NSF/ANSI 40 AT THE GOLD LEVEL, 4.) SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE TM GOLD 21. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING (CALGREEN 4.504.4): 1.) VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE, 2.) CERTIFIED UNDER UL GREENGUARD GOLD, 3.) CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (IFCI) FLOOR SCORE PROGRAM, 4.) MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION D1350</li> <li>NEW HARDWOOD FLOORING, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) COMPOSITE WOOD PRODUCT USED IN THE BLDG. SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN 2016 CALGREEN TABLE 4.504.5</li> <li>THE FORMALDEHYDE EMISSIONS VERIFICATION SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST</li> <li>BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT (CALGREEN 4.504.6)</li> <li>NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANCE AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 TO 80% (2016 CALGREEN 4.506.1)</li> </ol> <p>VHFSZ GENERAL NOTES</p> <ol style="list-style-type: none"> <li>ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN GUTTERS. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS PER CRC R337.5.4; SDMC 149.0327f(6) (1)</li> <li>DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE PER SDMC 149.0327f(6) (2)</li> <li>VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 IN. (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8 IN WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY PER CRC R337.5.3</li> <li>CHIMNEYS, FLUES OR STOVEPIPPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SNARK ARRESTOR PER SDMC 149.0327f(6)</li> <li>TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS PER SDMC 149.0327f(6) (3)</li> <li>GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AMA/NWDDA 101A.5.2 STRUCTURAL REQUIREMENTS PER SDMC 149.0327f(6)</li> </ol>	<p>ADDITIONAL GENERAL NOTES</p> <p>ENVIRONMENTAL/MITIGATION REQUIREMENTS: PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER/OWNER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMCC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDERS REPRESENTATIVES, JOBITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS: QUALIFIED PALEONTOLOGIST; CONTACT INFORMATION: a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION 858-627-3200, b) FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS, IT IS ALSO REQUIRED TO CALL RE AND MMCC AT 858-627-3360. MMPR COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) NO. 437916 AND/OR ENVIRONMENTAL DOCUMENT NO. 437916 EHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT 437916 AND IMPLEMENTED TO THE SATISFACTION OF THE DSD'S ENVIRONMENTAL DESIGNER (EMDC) AND THE CITY ENGINEER (RE). THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTED (i.e. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.) ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (i.e. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.)</p> <p>UNDER SEPARATE PERMIT</p> <ol style="list-style-type: none"> <li>THE POOL AND SPA SHOWN ON THE FOLLOWING DRAWINGS ARE SHOWN FOR COORDINATION WITH THE STRUCTURE OF THE HOME ONLY AND SHALL BE UNDER A SEPARATE PERMIT 2. SOLAR/PANELS AND SYSTEM: SHALL BE UNDER A SEPARATE PERMIT</li> <li>DEMOLITION OF EXISTING STRUCTURES ON SHEET A.D1 IS FOR REFERENCE ONLY. ALL DEMOLITION SHALL BE UNDER A SEPARATE PERMIT</li> <li>ALL CONCRETE AND/OR CMU SITE WALLS SHOWN AS PART OF THIS DRAWINGS SET SHALL BE FOR COORDINATION AND INFORMATION ONLY IN ORDER TO CONVEY DESIGN INTENT AND SHALL BE UNDER A SEPARATE PERMIT AS INDICATED THROUGHOUT THE DRAWING SET U.N.O.</li> </ol> <p>DEFERRED SUBMITTALS</p> <p>PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION OR CITY REVIEW AND APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL (SDMC 129.0205). THE REGISTERED AND RESPONSIBLE PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL WITH ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING (SDMC 129.0205). DEFERRED SUBMITTAL SHALL BE AS FOLLOWS:</p> <ol style="list-style-type: none"> <li>FIRE SPRINKLERS: THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 (NFPA 130) HAS BEEN DEFERRED. IN ORDER TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROOF/CEILING INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS</li> <li>CUSTOM SKYLIGHT ABOVE KITCHEN AREA SHALL BE DEFERRED</li> <li>TRUSS DRAWINGS AND CALCULATIONS</li> <li>INTERIOR STAIR GLASS RAIL SYSTEM. DETAILS AND STRUCTURAL CALCULATIONS FOR THE INTERIOR GLASS RAIL SYSTEM TO BE PROVIDED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER</li> </ol> <p>AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)</p> <p>IN ACCORDANCE WITH RWQCR RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:</p> <ol style="list-style-type: none"> <li>THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB.</li> <li>THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND</li> <li>THE DISCHARGES: <ol style="list-style-type: none"> <li>ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;</li> <li>ARE DESIGNED TO PREVENT SOIL EROSION;</li> <li>OCCUR ONLY DURING WET WEATHER; AND</li> <li>ARE COMPOSED OF ONLY STORM WATER RUNOFF.</li> </ol> </li> </ol> <p>NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS ARE PROHIBITED AS DEFINED IN ORDER NO. 89-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.</p>	<p>SITE WALL NOTES</p> <p>EAST - PROPERTY LINE WALLS:</p> <ol style="list-style-type: none"> <li>RETAINING WALL #7: STUCCOED CMU, MAX. 4'-3" HIGH ABOVE FINISH GRADE AND 15'-9" LONG. SEE F1.1c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #8: STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 115'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #9: STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 35'-5" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #10: STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 15'-9" LONG. SEE F2.1b ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #11: STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 24'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #12: STUCCOED CMU, MAX. 5'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> </ol> <p>WEST - PROPERTY LINE WALLS:</p> <p>NOTE: ALL SITE WALLS SHALL BE UNDER A SEPARATE PERMIT</p> <p>NORTH - PROPERTY LINE WALLS:</p> <ol style="list-style-type: none"> <li>RETAINING WALL #1: STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 115'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #2: STUCCOED CMU SCREEN WALL, MAX. 3'-0" ABOVE FINISH GRADE AND 5'-10" LONG. SEE F2.1b ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN.</li> <li>RETAINING WALL #3: STUCCOED CMU SCREEN WALL, MAX. 3'-0" ABOVE FINISH GRADE AND 28'-6" LONG. SEE F2.1b ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN.</li> <li>RETAINING WALL #4: 12" THICK BOARD FORM CONCRETE WALL, MAX. 4'-0" HIGH ABOVE FINISH GRADE AND 17'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #5: STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 24'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #6: STUCCOED CMU, MAX. 5'-0" HIGH ABOVE FINISH GRADE AND 43'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> </ol> <p>SOUTH - FRONT YARD WALLS:</p> <ol style="list-style-type: none"> <li>SCREEN WALL #1: STUCCOED CMU SCREEN WALL, MAX. 3'-0" ABOVE FINISH GRADE AND 5'-10" LONG. SEE F2.1b ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN.</li> <li>SCREEN WALL #2: STUCCOED CMU SCREEN WALL, MAX. 3'-0" ABOVE FINISH GRADE AND 28'-6" LONG. SEE F2.1b ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN.</li> <li>RETAINING WALL #3: 12" THICK BOARD FORM CONCRETE WALL, MAX. 4'-0" HIGH ABOVE FINISH GRADE AND 17'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #4: 12" THICK BOARD FORM CONCRETE WALL, MAX. 4'-0" HIGH ABOVE FINISH GRADE AND 8'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #5: STUCCOED CONCRETE WALL, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 69'-0" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> <li>RETAINING WALL #6: STUCCOED CMU, MAX. 4'-3" HIGH ABOVE FINISH GRADE AND 43'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> </ol> <p>SOUTH - YARD WALLS:</p> <ol style="list-style-type: none"> <li>SCREEN WALL #3: 12" THICK BOARD FORM CONCRETE WALL, MAX. 4'-0" HIGH ABOVE FINISH GRADE AND 14'-6" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.</li> </ol>
ITEM	EXISTING	PROPOSED	CREDIT	TOTAL																																									
BASEMENT	0.00	2,762.00	2,460.00	302.00																																									
FIRST FLOOR	0.00	2,809.00	0.00	2,809.00																																									
SECOND FLOOR	0.00	2,077.00	0.00	2,077.00																																									
AT GRADE	0.00	335.00	0.00	335.00																																									
TOTAL	0.00	7,983.00	2,460.00	5,523.00																																									
LOT SIZE:	10,544.00 SQ. FT. (100.00%)																																												
POOL AREA:	860.00 SQ. FT. (8.15%)																																												
ROOF AREA:	3,652.00 SQ. FT. (34.60%)																																												
PERMIABLE AREA:	3,022.00 SQ. FT. (28.63%)																																												
IMPERMIABLE AREA:	3,020.00 SQ. FT. (28.61%)																																												
<p>VICINITY MAP</p> 	<p>MEAN HIGH TIDE MAP</p> 	<p>HYDRANT LOCATION MAP</p> 	<p>TRANSIT STOPS</p> 	<p>ADDITIONAL GENERAL NOTES</p> <p>ENVIRONMENTAL/MITIGATION REQUIREMENTS: PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER/OWNER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMCC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDERS REPRESENTATIVES, JOBITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS: QUALIFIED PALEONTOLOGIST; CONTACT INFORMATION: a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION 858-627-3200, b) FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS, IT IS ALSO REQUIRED TO CALL RE AND MMCC AT 858-627-3360. MMPR COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) NO. 437916 AND/OR ENVIRONMENTAL DOCUMENT NO. 437916 EHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT 437916 AND IMPLEMENTED TO THE SATISFACTION OF THE DSD'S ENVIRONMENTAL DESIGNER (EMDC) AND THE CITY ENGINEER (RE). THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTED (i.e. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.) ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (i.e. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.)</p> <p>UNDER SEPARATE PERMIT</p> <ol style="list-style-type: none"> <li>THE POOL AND SPA SHOWN ON THE FOLLOWING DRAWINGS ARE SHOWN FOR COORDINATION WITH THE STRUCTURE OF THE HOME ONLY AND SHALL BE UNDER A SEPARATE PERMIT 2. SOLAR/PANELS AND SYSTEM: SHALL BE UNDER A SEPARATE PERMIT</li> <li>DEMOLITION OF EXISTING STRUCTURES ON SHEET A.D1 IS FOR REFERENCE ONLY. ALL DEMOLITION SHALL BE UNDER A SEPARATE PERMIT</li> <li>ALL CONCRETE AND/OR CMU SITE WALLS SHOWN AS PART OF THIS DRAWINGS SET SHALL BE FOR COORDINATION AND INFORMATION ONLY IN ORDER TO CONVEY DESIGN INTENT AND SHALL BE UNDER A SEPARATE PERMIT AS INDICATED THROUGHOUT THE DRAWING SET U.N.O.</li> </ol> <p>DEFERRED SUBMITTALS</p> <p>PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION OR CITY REVIEW AND APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL (SDMC 129.0205). 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DETAILS AND STRUCTURAL CALCULATIONS FOR THE INTERIOR GLASS RAIL SYSTEM TO BE PROVIDED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER</li> </ol> <p>AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)</p> <p>IN ACCORDANCE WITH RWQCR RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:</p> <ol style="list-style-type: none"> <li>THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB.</li> <li>THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND</li> <li>THE DISCHARGES: <ol style="list-style-type: none"> <li>ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;</li> <li>ARE DESIGNED TO PREVENT SOIL EROSION;</li> <li>OCCUR ONLY DURING WET WEATHER; AND</li> <li>ARE COMPOSED OF ONLY STORM WATER RUNOFF.</li> </ol> </li> </ol> <p>NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS ARE PROHIBITED AS DEFINED IN ORDER NO. 89-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.</p>																																									

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LA JOLLA RESIDENCE # 1806



O+L BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

06.09.2021: CDP Hearing

05.12.2021: CDP Documents

11.19.2020: Bid Documents

12.10.2019: La Jolla Permit Review Committee Meeting

05.20.2019: Issue to Consultants

05.10.2019: Design Development 1

02.11.2019: Preliminary Design Presentation

02.11.2019: Original Drawing Preparation Date

PROJECT LOG:

TITLE SHEET

NO SCALE

T1.0

Sheet No. 1a / 62

**Leidy Residence**

6216 Avenida Cresta, La Jolla, CA 92037

TITLE SHEET

NO SCALE

T1.0

Sheet No. 1a / 62



EXHIBIT "A" PLAN CHECK CORRECTION NOTES

MITIGATION MONITORING AND REPORTING PROGRAM

COASTAL DEVELOPMENT PERMIT NO. 2308398  
EASEMENT VACATION NO. 2335513  
LEIDY RESIDENCE CDP PROJECT NO. 0639782

THIS MITIGATION MONITORING AND REPORTING PROGRAM IS DESIGNED TO ENSURE COMPLIANCE WITH PUBLIC RESOURCES CODE SECTION 21081.6 DURING IMPLEMENTATION OF MITIGATION MEASURES. THIS PROGRAM IDENTIFIES AT A MINIMUM THE DEPARTMENT RESPONSIBLE FOR THE MONITORING, WHAT IS TO BE MONITORED, HOW THE MONITORING SHALL BE ACCOMPLISHED, THE MONITORING AND REPORTING SCHEDULE, AND COMPLETION REQUIREMENTS. A RECORD OF THE MITIGATION MONITORING AND REPORTING PROGRAM WILL BE MAINTAINED AT THE OFFICES OF THE ENTITLEMENTS DIVISION, 1222 FIRST AVENUE, FIFTH FLOOR, SAN DIEGO, CA, 92101. ALL MITIGATION MEASURES CONTAINED IN THE MITIGATED NEGATIVE DECLARATION NO. 003740 SHALL BE MADE CONDITIONS OF THE COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT AS MAY BE FURTHER DESCRIBED BELOW.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. GENERAL REQUIREMENTS – PART I

PLAN CHECK PHASE (PRIOR TO PERMIT ISSUANCE)

1. PRIOR TO THE ISSUANCE OF A NOTICE TO PROCEED (NTP) FOR A SUBDIVISION, OR ANY CONSTRUCTION PERMITS, SUCH AS DEMOLITION, GRADING OR BUILDING, OR BEGINNING ANY CONSTRUCTION RELATED ACTIVITY ON-SITE, THE DEVELOPMENT SERVICES DEPARTMENT (DSD) DIRECTOR'S ENVIRONMENTAL DESIGNEE (ED) SHALL REVIEW AND APPROVE ALL CONSTRUCTION DOCUMENTS (CD), (PLANS, SPECIFICATION, DETAILS, ETC.) TO ENSURE THE MMPR REQUIREMENTS ARE INCORPORATED INTO THE DESIGN.

2. IN ADDITION, THE ED SHALL VERIFY THAT THE MMPR CONDITIONS/NOTES THAT APPLY ONLY TO THE CONSTRUCTION PHASES OF THIS PROJECT ARE INCLUDED VERBATIM, UNDER THE HEADING, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."

3. THESE NOTES MUST BE SHOWN WITHIN THE FIRST THREE (3) SHEETS OF THE CONSTRUCTION DOCUMENTS IN THE FORMAT SPECIFIED FOR ENGINEERING CONSTRUCTION DOCUMENT TEMPLATES AS SHOWN ON THE CITY WEBSITE:

HTTP://WWW.SANDIEGO.GOV/DEVELOPMENT-SERVICES/INDUSTRYSTANDTEMP.SHTML

4. THE TITLE INDEX SHEET MUST ALSO SHOW ON WHICH PAGES THE "ENVIRONMENTAL/MITIGATION REQUIREMENTS" NOTES ARE PROVIDED.

5. SURETY AND COST RECOVERY – THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER MAY REQUIRE APPROPRIATE SURETY INSTRUMENTS OR BONDS FROM PRIVATE PERMIT HOLDERS TO ENSURE THE LONG-TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OFFSET THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING PROJECTS.

B. GENERAL REQUIREMENTS – PART II  
POST PLAN CHECK (AFTER PERMIT ISSUANCE/PRIOR TO START OF CONSTRUCTION)

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER/OWNER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OR THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDER'S REPRESENTATIVE(S), JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS:

QUALIFIED PALEONTOLOGIST

NOTE: FAILURE OF ALL RESPONSIBLE PERMIT HOLDER'S REPRESENTATIVES AND CONSULTANTS TO ATTEND SHALL REQUIRE AN ADDITIONAL MEETING WITH ALL PARTIES PRESENT.

CONTACT INFORMATION:  
A) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION – 858-627-3200  
B) FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS, IT IS ALSO REQUIRED TO CALL RE AND MMC AT 858-627-3360

2. MMPR COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) #603740 AND, OR ENVIRONMENTAL DOCUMENT # 603740, SHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT AND IMPLEMENTED TO THE SATISFACTION OF THE DSD'S ENVIRONMENTAL DESIGNEE (MMC) AND THE CITY ENGINEER (RE). THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTATED (I.E. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.). ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (I.E., SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.).

NOTE: PERMIT HOLDER'S REPRESENTATIVES MUST ALERT RE AND MMC IF THERE ARE ANY DISCREPANCIES IN THE PLANS OR NOTES, OR ANY CHANGES DUE TO FIELD CONDITIONS. ALL CONFLICTS MUST BE APPROVED BY RE AND MMC BEFORE THE WORK IS PERFORMED.

3. OTHER AGENCY REQUIREMENTS: EVIDENCE OF COMPLIANCE WITH ALL OTHER AGENCY REQUIREMENTS OR PERMITS SHALL BE SUBMITTED TO THE RE AND MMC FOR REVIEW AND ACCEPTANCE PRIOR TO THE BEGINNING OF WORK OR WITHIN ONE WEEK OF THE PERMIT HOLDER OBTAINING DOCUMENTATION OF THOSE PERMITS OR REQUIREMENTS. EVIDENCE SHALL INCLUDE COPIES OF PERMITS, LETTERS OF RESOLUTION OR OTHER DOCUMENTATION ISSUED BY THE RESPONSIBLE AGENCY.

NONE REQUIRED

4. MONITORING EXHIBITS  
ALL CONSULTANTS ARE REQUIRED TO SUBMIT, TO RE AND MMC, A MONITORING EXHIBIT ON A 11X17 REDUCTION OF THE APPROPRIATE CONSTRUCTION PLAN, SUCH AS SITE PLAN, GRADING, LANDSCAPE, ETC., MARKED TO CLEARLY SHOW THE SPECIFIC AREAS INCLUDING THE LIMIT OF WORK, SCOPE OF THAT DISCIPLINE'S WORK, AND NOTES INDICATING WHEN IN THE CONSTRUCTION SCHEDULE THAT WORK WILL BE PERFORMED. WHEN NECESSARY FOR CLARIFICATION, A DETAILED METHODOLOGY OF HOW THE WORK WILL BE PERFORMED SHALL BE INCLUDED.

NOTE: SURETY AND COST RECOVERY – WHEN DEEMED NECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER, ADDITIONAL SURETY INSTRUMENTS OR BONDS FROM THE PRIVATE PERMIT HOLDER MAY BE REQUIRED TO ENSURE THE LONG-TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OFFSET THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING PROJECTS.

5. OTHER SUBMITTALS AND INSPECTIONS:  
THE PERMIT HOLDER/OWNER'S REPRESENTATIVE SHALL SUBMIT ALL REQUIRED DOCUMENTATION, VERIFICATION LETTERS, AND REQUESTS FOR ALL ASSOCIATED INSPECTIONS TO THE RE AND MMC FOR APPROVAL PER THE FOLLOWING SCHEDULE:

C. SPECIFIC MMPR ISSUE AREA CONDITIONS/REQUIREMENTS

PALEONTOLOGICAL MONITORING PROGRAM

I. PRIOR TO PERMIT ISSUANCE  
A. ENTITLEMENTS PLAN CHECK  
1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, INCLUDING BUT NOT LIMITED TO, THE FIRST GRADING PERMIT, DEMOLITION PLANS/PERMITS AND BUILDING PLANS/PERMITS OR A NOTICE TO PROCEED FOR SUBDIVISIONS, BUT PRIOR TO THE FIRST PRE-CONSTRUCTION MEETING, WHICHEVER IS APPLICABLE, THE ASSISTANT DEPUTY DIRECTOR (ADD) ENVIRONMENTAL DESIGNEE SHALL VERIFY THAT THE REQUIREMENTS FOR PALEONTOLOGICAL MONITORING HAVE BEEN NOTED ON THE APPROPRIATE CONSTRUCTION DOCUMENTS.

B. LETTERS OF QUALIFICATION HAVE BEEN SUBMITTED TO ADD  
1. THE APPLICANT SHALL SUBMIT A LETTER OF VERIFICATION TO MITIGATION MONITORING COORDINATION (MMC) IDENTIFYING THE PRINCIPAL INVESTIGATOR (PI) FOR THE PROJECT AND THE NAMES OF ALL PERSONS INVOLVED IN THE PALEONTOLOGICAL MONITORING PROGRAM, AS DEFINED IN THE CITY OF SAN DIEGO PALEONTOLOGY GUIDELINES.  
2. MMC WILL PROVIDE A LETTER TO THE APPLICANT CONFIRMING THE QUALIFICATIONS OF THE PI AND ALL PERSONS INVOLVED IN THE PALEONTOLOGICAL MONITORING OF THE PROJECT.  
3. PRIOR TO THE START OF WORK, THE APPLICANT SHALL OBTAIN APPROVAL FROM MMC FOR ANY PERSONNEL CHANGES ASSOCIATED WITH THE MONITORING PROGRAM.  
OF OCCUPANCY AND/OR FINAL MAPS TO ENSURE THE SUCCESSFUL COMPLETION OF THE MONITORING PROGRAM.

II. PRIOR TO START OF CONSTRUCTION  
A. VERIFICATION OF RECORDS SEARCH  
1. THE PI SHALL PROVIDE VERIFICATION TO MMC THAT A SITE-SPECIFIC RECORDS SEARCH HAS BEEN COMPLETED. VERIFICATION INCLUDES BUT IS NOT LIMITED TO A COPY OF A CONFIRMATION LETTER FROM SAN DIEGO NATURAL HISTORY MUSEUM, OTHER INSTITUTION OR, IF THE SEARCH WAS IN-HOUSE, A LETTER OF VERIFICATION FROM THE PI STATING THAT THE SEARCH WAS COMPLETED.  
2. THE LETTER SHALL INTRODUCE ANY PERTINENT INFORMATION CONCERNING EXPECTATIONS AND PROBABILITIES OF DISCOVERY DURING TRENCHING AND/OR GRADING ACTIVITIES.

B. PI SHALL ATTEND PRECON MEETINGS  
1. PRIOR TO BEGINNING ANY WORK THAT REQUIRES MONITORING, THE APPLICANT SHALL ARRANGE A PRECON MEETING THAT SHALL INCLUDE THE PI, CONSTRUCTION MANAGER (CM) AND/OR GRADING CONTRACTOR, RESIDENT ENGINEER (RE), BUILDING INSPECTOR (BI), IF APPROPRIATE, AND THE QUALIFIED PALEONTOLOGIST SHALL ATTEND ANY GRADING/EXCAVATION RELATED PRECON MEETINGS TO MAKE COMMENTS AND/OR SUGGESTIONS CONCERNING THE PALEONTOLOGICAL MONITORING PROGRAM WITH THE CONSTRUCTION MANAGER AND/OR GRADING CONTRACTOR.  
A. IF THE PI IS UNABLE TO ATTEND THE PRECON MEETING, THE APPLICANT SHALL SCHEDULE A FOCUSED PRECON MEETING WITH MMC, THE PI, RE, CM OR BI, IF APPROPRIATE, PRIOR TO THE START OF ANY WORK THAT REQUIRES MONITORING.  
2. IDENTIFY AREAS TO BE MONITORED  
PRIOR TO THE START OF ANY WORK THAT REQUIRES MONITORING, THE PI SHALL SUBMIT A PALEONTOLOGICAL MONITORING EXHIBIT (PME) BASED ON THE APPROPRIATE CONSTRUCTION DOCUMENTS (REDUCED TO 11X17) TO MMC IDENTIFYING THE AREAS TO BE MONITORED INCLUDING THE DELINEATION OF GRADING/EXCAVATION LIMITS. THE PME SHALL BE BASED ON THE RESULTS OF A SITE-SPECIFIC RECORDS SEARCH AS WELL AS INFORMATION REGARDING EXISTING KNOWN SOIL CONDITIONS (NATIVE OR FORMATION).  
3. WHEN MONITORING WILL OCCUR  
A. PRIOR TO THE START OF ANY WORK, THE PI SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE TO MMC THROUGH THE RE INDICATING WHEN AND WHERE MONITORING WILL OCCUR.  
B. THE PI MAY SUBMIT A DETAILED LETTER TO MMC PRIOR TO THE START OF WORK OR DURING CONSTRUCTION REQUESTING A MODIFICATION TO THE MONITORING PROGRAM. THIS REQUEST SHALL BE BASED ON RELEVANT INFORMATION SUCH AS REVIEW OF FINAL CONSTRUCTION DOCUMENTS WHICH INDICATE CONDITIONS SUCH AS DEPTH OF EXCAVATION AND/OR SITE GRADED TO BEDROCK, PRESENCE OR ABSENCE OF FOSSIL RESOURCES, ETC., WHICH MAY REDUCE OR INCREASE THE POTENTIAL FOR RESOURCES TO BE PRESENT.

III. DURING CONSTRUCTION  
A. MONITOR SHALL BE PRESENT DURING GRADING/EXCAVATION/TRENCHING  
1. THE MONITOR SHALL BE PRESENT FULL-TIME DURING GRADING/EXCAVATION/TRENCHING ACTIVITIES AS IDENTIFIED ON THE PME THAT COULD RESULT IN IMPACTS TO FORMATIONS WITH HIGH AND MODERATE RESOURCE SENSITIVITY. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR NOTIFYING THE RE, PI, AND MMC OF CHANGES TO ANY CONSTRUCTION ACTIVITIES SUCH AS IN THE CASE OF A POTENTIAL SAFETY CONCERN WITHIN THE AREA BEING MONITORED. IN CERTAIN CIRCUMSTANCES COMMON SAFETY REQUIREMENTS MAY NECESSITATE MODIFICATION OF THE PME.  
2. THE PI MAY SUBMIT A DETAILED LETTER TO MMC DURING CONSTRUCTION REQUESTING A MODIFICATION TO THE MONITORING PROGRAM WHEN A FIELD CONDITION SUCH AS TRENCHING ACTIVITIES THAT DO NOT ENCOUNTER FORMATIONAL SOILS AS PREVIOUSLY ASSUMED, AND/OR WHEN UNIQUE/UNUSUAL FOSSILS ARE ENCOUNTERED, WHICH MAY REDUCE OR INCREASE THE POTENTIAL FOR RESOURCES TO BE PRESENT.  
3. THE MONITOR SHALL DOCUMENT FIELD ACTIVITY VIA THE CONSULTANT SITE VISIT RECORD (CSVIR). THE CSVIR'S SHALL BE FAXED BY THE CM TO THE RE THE FIRST DAY OF MONITORING, THE LAST DAY OF MONITORING, MONTHLY (NOTIFICATION OF MONITORING COMPLETION), AND IN THE CASE OF ANY DISCOVERIES. THE RE SHALL FORWARD COPIES TO MMC.  
B. DISCOVERY NOTIFICATION PROCESS  
1. IN THE EVENT OF A DISCOVERY, THE PALEONTOLOGICAL MONITOR SHALL DIRECT THE CONTRACTOR TO TEMPORARILY DIVERT TRENCHING ACTIVITIES IN THE AREA OF DISCOVERY AND IMMEDIATELY NOTIFY THE RE OR BI, AS APPROPRIATE.  
2. THE MONITOR SHALL IMMEDIATELY NOTIFY THE PI (UNLESS MONITOR IS THE PI) OF THE DISCOVERY.  
3. THE PI SHALL IMMEDIATELY NOTIFY MMC BY PHONE OF THE DISCOVERY AND SHALL ALSO SUBMIT WRITTEN DOCUMENTATION TO MMC WITHIN 24 HOURS BY FAX OR EMAIL WITH PHOTOS OF THE RESOURCE IN CONTEXT, IF POSSIBLE.  
C. DETERMINATION OF SIGNIFICANCE  
1. THE PI SHALL EVALUATE THE SIGNIFICANCE OF THE RESOURCE.  
A. THE PI SHALL IMMEDIATELY NOTIFY MMC BY PHONE TO DISCUSS SIGNIFICANCE DETERMINATION AND SHALL ALSO SUBMIT A LETTER TO MMC INDICATING WHETHER ADDITIONAL MITIGATION IS REQUIRED. THE DETERMINATION OF SIGNIFICANCE FOR FOSSIL DISCOVERIES SHALL BE AT THE DISCRETION OF THE PI.  
B. IF THE RESOURCE IS SIGNIFICANT, THE PI SHALL SUBMIT A PALEONTOLOGICAL RECOVERY PROGRAM (PRP) AND OBTAIN WRITTEN APPROVAL FROM MMC. IMPACTS TO SIGNIFICANT RESOURCES MUST BE MITIGATED BEFORE GROUND DISTURBING ACTIVITIES IN THE AREA OF DISCOVERY WILL BE ALLOWED TO RESUME.  
C. IF RESOURCE IS NOT SIGNIFICANT (E.G., SMALL PIECES OF BROKEN COMMON SHELL FRAGMENTS OR OTHER SCATTERED COMMON FOSSILS) THE PI SHALL NOTIFY THE RE, OR BI, AS APPROPRIATE, THAT A NON-SIGNIFICANT DISCOVERY HAS BEEN MADE. THE PALEONTOLOGIST SHALL CONTINUE TO MONITOR THE AREA WITHOUT NOTIFICATION TO MMC UNLESS A SIGNIFICANT RESOURCE IS ENCOUNTERED.  
D. THE PI SHALL SUBMIT A LETTER TO MMC INDICATING THAT FOSSIL RESOURCES WILL BE COLLECTED, CURATED, AND DOCUMENTED IN THE FINAL MONITORING REPORT. THE LETTER SHALL ALSO INDICATE THAT NO FURTHER WORK IS REQUIRED.

IV. NIGHT AND/OR WEEKEND WORK  
A. IF NIGHT AND/OR WEEKEND WORK IS INCLUDED IN THE CONTRACT  
1. WHEN NIGHT AND/OR WEEKEND WORK IS INCLUDED IN THE CONTRACT PACKAGE, THE EXTENT AND TIMING SHALL BE PRESENTED AND DISCUSSED AT THE PRECON MEETING.  
2. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:  
A. NO DISCOVERIES  
IN THE EVENT THAT NO DISCOVERIES WERE ENCOUNTERED DURING NIGHT AND/OR WEEKEND WORK, THE PI SHALL RECORD THE INFORMATION ON THE CSVIR AND SUBMIT TO MMC VIA FAX BY 8AM ON THE NEXT BUSINESS DAY.  
B. DISCOVERIES  
ALL DISCOVERIES SHALL BE PROCESSED AND DOCUMENTED USING THE EXISTING PROCEDURES DETAILED IN SECTIONS III - DURING CONSTRUCTION.  
C. POTENTIALLY SIGNIFICANT DISCOVERIES  
IF THE PI DETERMINES THAT A POTENTIALLY SIGNIFICANT DISCOVERY HAS BEEN MADE, THE PROCEDURES DETAILED UNDER SECTION II - DURING CONSTRUCTION SHALL BE FOLLOWED.  
D. THE PI SHALL IMMEDIATELY CONTACT MMC, OR BY 8AM ON THE NEXT BUSINESS DAY TO REPORT AND DISCUSS THE FINDINGS AS INDICATED IN SECTION II.B, UNLESS OTHER SPECIFIC ARRANGEMENTS HAVE BEEN MADE.  
B. IF NIGHT WORK BECOMES NECESSARY DURING THE COURSE OF CONSTRUCTION  
1. THE CONSTRUCTION MANAGER SHALL NOTIFY THE RE, OR BI, AS APPROPRIATE, A MINIMUM OF 24 HOURS BEFORE THE WORK IS TO BEGIN.  
2. THE RE, OR BI, AS APPROPRIATE, SHALL NOTIFY MMC IMMEDIATELY.  
C. ALL OTHER PROCEDURES DESCRIBED ABOVE SHALL APPLY, AS APPROPRIATE.

V. POST CONSTRUCTION  
A. PREPARATION AND SUBMITTAL OF DRAFT MONITORING REPORT  
1. THE PI SHALL SUBMIT TWO COPIES OF THE DRAFT MONITORING REPORT (EVEN IF NEGATIVE), PREPARED IN ACCORDANCE WITH THE PALEONTOLOGICAL GUIDELINES WHICH DESCRIBES THE RESULTS, ANALYSIS, AND CONCLUSIONS OF ALL PHASES OF THE PALEONTOLOGICAL MONITORING PROGRAM (WITH APPROPRIATE GRAPHICS) TO MMC FOR REVIEW AND APPROVAL WITHIN 90 DAYS FOLLOWING THE COMPLETION OF MONITORING.  
A. FOR SIGNIFICANT PALEONTOLOGICAL RESOURCES ENCOUNTERED DURING MONITORING, THE PALEONTOLOGICAL RECOVERY PROGRAM SHALL BE INCLUDED IN THE DRAFT MONITORING REPORT.  
B. RECORDING SITES WITH THE SAN DIEGO NATURAL HISTORY MUSEUM THE PI SHALL BE RESPONSIBLE FOR RECORDING (ON THE APPROPRIATE FORMS) ANY SIGNIFICANT OR POTENTIALLY SIGNIFICANT FOSSIL RESOURCES ENCOUNTERED DURING THE PALEONTOLOGICAL MONITORING PROGRAM IN ACCORDANCE WITH THE CITY'S PALEONTOLOGICAL GUIDELINES, AND SUBMITTAL OF SUCH FORMS TO THE SAN DIEGO NATURAL HISTORY MUSEUM WITH THE FINAL MONITORING REPORT.  
2. MMC SHALL RETURN THE DRAFT MONITORING REPORT TO THE PI FOR REVISION OR, FOR PREPARATION OF THE FINAL REPORT.  
3. THE PI SHALL SUBMIT REVISED DRAFT MONITORING REPORT TO MMC FOR APPROVAL.  
4. MMC SHALL PROVIDE WRITTEN VERIFICATION TO THE PI OF THE APPROVED REPORT.  
5. MMC SHALL NOTIFY THE RE OR BI, AS APPROPRIATE, OF RECEIPT OF ALL DRAFT MONITORING REPORT SUBMITTALS AND APPROVALS.  
B. HANDLING OF FOSSIL REMAINS  
1. THE PI SHALL BE RESPONSIBLE FOR ENSURING THAT ALL FOSSIL REMAINS COLLECTED ARE CLEANED AND CATALOGUED.  
2. THE PI SHALL BE RESPONSIBLE FOR ENSURING THAT ALL FOSSIL REMAINS ARE ANALYZED TO IDENTIFY FUNCTION AND CHRONOLOGY AS THEY RELATE TO THE GEOLOGIC HISTORY OF THE AREA; THAT FAUNAL MATERIAL IDENTIFIED AS TO SPECIES; AND THAT SPECIALTY STUDIES ARE COMPLETED, AS APPROPRIATE.  
C. CURATION OF FOSSIL REMAINS: DEED OF GIFT AND ACCEPTANCE VERIFICATION  
1. THE PI SHALL BE RESPONSIBLE FOR ENSURING THAT ALL FOSSIL REMAINS ASSOCIATED WITH THE MONITORING FOR THIS PROJECT ARE PERMANENTLY CURATED WITH AN APPROPRIATE INSTITUTION.  
2. THE PI SHALL INCLUDE THE ACCEPTANCE VERIFICATION FROM THE CURATION INSTITUTION IN THE FINAL MONITORING REPORT SUBMITTED TO THE RE OR BI AND MMC.  
D. FINAL MONITORING REPORTS  
1. THE PI SHALL SUBMIT TWO COPIES OF THE FINAL MONITORING REPORT TO MMC (EVEN IF NEGATIVE), WITHIN 90 DAYS AFTER NOTIFICATION FROM MMC THAT THE DRAFT REPORT HAS BEEN APPROVED.  
2. THE RE SHALL, IN NO CASE, ISSUE THE NOTICE OF COMPLETION UNTIL RECEIVING A COPY OF THE APPROVED FINAL MONITORING REPORT FROM MMC WHICH INCLUDES THE ACCEPTANCE VERIFICATION FROM THE CURATION INSTITUTION.

THE ABOVE MITIGATION MONITORING AND REPORTING PROGRAM WILL REQUIRE ADDITIONAL FEES AND/OR DEPOSITS TO BE COLLECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS, CERTIFICATES OF OCCUPANCY AND/OR FINAL MAPS TO ENSURE THE SUCCESSFUL COMPLETION OF THE MONITORING PROGRAM.

PLAN CHECK CORRECTION NOTES

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LA JOLLA RESIDENCE # 1806



PROJECT LOG:

06.09.2021: CDP Hearing  
05.12.2021: CDP Hearing  
11.19.2020: Bid Documents  
12.10.2019: La Jolla Permit Review Committee Meeting  
05.20.2019: Issue to Consultants  
05.10.2019: Design Development 1  
02.11.2019: Preliminary Design Presentation  
02.11.2019: Original Drawing Preparation Date

**EXHIBIT A**

NO SCALE

**T1.0a**

Sheet No. 1b / 62

**Leidy Residence**  
6216 Avenida Cresta, La Jolla, CA 92037



NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THESE NOTES AND NOTES WITHIN THE PROJECT MANUAL, THE NOTES WITHIN THE PROJECT MANUAL SUPERCEDE DRAWINGS NOTES.	
<p>1. The word "Contractor" means the General Contractor, and where applicable by trade, Subcontractors.</p> <p>2. Contractor shall be responsible for reviewing all notes prior to finalizing construction contract.</p> <p>3. The specifications, general conditions and all issued addenda and change orders are part of the design drawings.</p> <p>4. All construction and details shall be completed in full compliance with the California uniform building code and all other applicable codes and requirements.</p> <p>5. The General Contractor shall maintain a full set of drawings and specifications and all required permits on the job site at all times. They shall be made available to the Designer and Owner at request.</p> <p>6. Prior to finalizing contract prices, Contractor shall be responsible for reviewing and coordinating all notes and drawings to include any subcontract requirements or information which may not be indicated on subcontractor's sheets or notes, but which are indicated elsewhere in the construction documents.</p> <p>7. The contractor (and his sub-contractors) shall study and compare the contract documents and shall at once report to the architect in writing all errors, inconsistencies or omissions discovered and verify all dimensions on site prior to commencing the work. If the contractor proceeds with any of the work so affected without written instructions of the Designer, the contractor shall make good at his own cost any resulting error, damage, defects, or time delays so caused. The contractor shall perform no portion of the work without contract documents or, where required, approved shop drawings, product data or samples for such portions of the work.</p> <p>8. Contractor shall provide a blanket one-year guarantee for the total job with the separate guarantee for specific trades/equipment items, with the names of local representatives to be contracted for service. Provide operating and maintenance brochures as required.</p> <p>9. Contractor shall provide one worked up print drawing indicating all differences, changes, etc., actual locations of concealed work, before final inspection.</p> <p>10. Where specified items are mentioned, the contractor may submit alternate materials for approval by the architect. Package to contain brochure, cut sheets, specifications, costs, availability, references, etc., contractor to reimburse Designer for time spent evaluating alternatives or substitutions.</p> <p>11. Written dimensions on drawings shall take precedence over dimensions scaled from drawings.</p> <p>12. The Designer will submit contract documents for "plan check" and make any necessary corrections. The owner will pay charges, fees and assessments levied by public authorities for connection to the city sewer.</p> <p>13. Contractor shall consult with representatives of applicable utilities, including gas, water, power, sewer, telephone, and cable television and determine exact locations and availability of utilities and determine the condition of existing service prior to commencing work or connecting utilities.</p> <p>14. Contractor shall provide all walls, terraces, walls, and be driven as shown on plans and also provide any expansion joints, curbs, etc. that may be required for durable construction to be approved by the Design Professional.</p> <p>15. Contractor to stake out all works as shown on plans, confirm existing conditions and property line locations, and verify compliance with setbacks and clearances required by code.</p> <p>16. Improvements on the site, work in progress, stored materials, and public and private improvements on property adjacent to the site, shall be protected by the contractor from damage arising from the work. All damage so occurring shall be repaired or replaced by the contractor at no cost to the owner.</p> <p>17. Submittal documents for deferred submittal items shall be submitted to the Design Professional or engineer of record who shall review them and forward them to the building official with a notation indicating what the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall not be installed until their design and submittal documents have been approved by the building official.</p> <p>18. Structural observation by the engineer shall be performed. A statement in writing shall be given to the building official, stating that site visits have been made and whether or not any observed deficiencies have been corrected to conform to the approved plans and specifications.</p> <p>19. Contractor shall correlate work between design drawings and specifications and consultant drawings and specifications.</p> <p>20. Contractor shall confirm any discrepancies between drawings or specs and job site conditions with Design Professional prior to starting portions of the work affected.</p> <p>21. Written dimensions shall prevail over scaled dimensions on drawings. In no event is dimension to be scaled off the drawings without prior approval from the Design Professional.</p> <p>22. Dimensions marked "clear" are not adjustable without the authorization of the architect.</p> <p>23. Details are intended to show final effect of parts of construction. Minor modifications may be required to suit particular job site dimensions or conditions and shall be included within the scope of the work and Construction Contract. Any modifications required in details are to be first reviewed and confirmed with the Design Professional prior to construction.</p> <p>24. Contractor shall review all items noted "verify or confirm with subcontractor" and Designer" which might affect costs prior to finalizing construction contract and subcontractors, and shall confirm final decisions regarding selection, materials, color, finish or other specifications not yet decided regarding these items. Contractor shall include the cost of these items within the original contract price.</p> <p>25. Unless items are specifically itemized as not included in contract (NIC), they will be assumed to be included in the estimate or contract price.</p> <p>26. The Design Professional, prior to the commencement of the work must approve all change orders in writing. Otherwise the contractor will take full responsibility for all the costs. Contractor shall immediately notify the Owner of any extra costs arising from the execution of his contract or subcontracts and shall receive Owner's written approval of it prior to doing the work.</p> <p>27. Design work is the responsibility of the architect and any design changes made by the contractor shall be the full responsibility and liability of the contractor.</p> <p>28. Contractor shall be responsible for supervising that all general and subcontract work is being accomplished according to the most current construction documents, including revisions. The contractor shall also be responsible for the coordination of work of subcontractors under separate contract with the owner.</p>	<p>29. Four sets of shop drawings shall be submitted to the Design Professional for approval. All shop drawings will require at least 10 working days for design review.</p> <p>30. Contractor shall provide proper ventilation, clearances, and fire protection for all new fireplaces, ovens, hot water heaters, furnaces, vents and flues as required by the drawings, specifications and code.</p> <p>31. Details marked "typical" shall apply in all cases, unless specifically noted otherwise. Where no detail is shown, construction shall be as shown for other similar work.</p> <p>32. All unspecified materials shall be new first line products of a recognized manufacturer. No substitutions from specifications shall be used unless approved by the architect. If available, manufacturers guarantee shall be provided in writing.</p> <p>33. A separate permit shall be secured for all electrical, plumbing and heating-ventilating work.</p> <p>34. Licenses and permits necessary to the performance completion and approval of the work, and all inspection and other applicable fees (excluding building permit fees) shall be secured and paid for by the contractor.</p> <p>35. Contractor shall have evidence of current workmen's compensation insurance coverage on file with the Department of Building and Safety in compliance with Section 3800 of the California Labor Code.</p> <p>36. Contractor shall submit Haul Route Memo to Department of Building and Safety for approval.37. The Contractor shall submit structural calculations, signed by a State Licensed Engineer, for skylight, and store front assemblies for review and approval.</p> <p>38. Dimensions are to face of plywood, face of masonry, face of concrete, and to grid lines unless otherwise noted.</p> <p>39. All insulation materials shall be certified by the manufacturer as complying with the California Quality Standards of Insulating Material.</p> <p>40. No door except bathroom doors in the path of travel of a means of escape shall be less than 32 inches (71.12 cm) wide.</p> <p>41. Every bathroom door lock shall be designed to permit the opening of the locked door from the outside in an emergency.</p> <p>42. Interior wall finishes shall have a minimum flame spread classification of IT (I-24-2).</p> <p>43. Overflow drains shall be connected to drain lines independent from the roof drains.</p> <p>44. Mechanical ventilation system in lieu of operable windows in bathroom/hall room/ laundry to furnish five air changes per hour direct to the outside is required. (1205-a)</p> <p>45. Glazing and insulation shall conform to the State Energy Insulation Standards.</p> <p>46. Provide a 1-hour fire resistive occupancy separation per Building Code Table 5B or Title 24, Table 5B.</p> <p>47. Fire resistive assemblies for protection of openings to comply with Building Code #4306 or Title 24, #4306.</p> <p>48. Exit doors shall be operable from the inside without use of a key or any special knowledge or effort. Building Code #3304(c), Fire Code #12.104, or Title 24, #2-3303 (c).</p> <p>49. Width and height of required exit doorways to comply with Building Code #3304(e) or Title 24, #2-3303(e).</p> <p>50. Comply with Building Code #1210(a) regarding fire warning system smoke detectors. Hard wired.</p> <p>51. Comply with Building Code #1204 regarding access.</p> <p>52. Clearance of brush and vegetative growth will be maintained per Fire Code #11.502 and #11.503.</p> <p>53. A permit from the Dept. of Public Works is required for a protection fence or canopy on or over any street or public space (91.4407).</p> <p>54. No trenches or excavations 5 feet or more in depth into which a person is required to descend.</p> <p>55. Contractor shall erect and maintain temporary barricades as needed for protection against accident, and shall continuously maintain adequate protection of his work and the owner's property from damage or loss arising in connection with construction.</p> <p>56. G.C. shall clean glass, remove stains, spots, marks and dirt from all work, clean all hardware, remove paint spots from all surfaces, clean all fixtures and doors.</p> <p>57. Temporary electric power and sanitary facilities are to be provided and paid for by the contractor.</p> <p>58. No part of the structure shall be overloaded beyond its safe carrying capacity by the placing of materials, equipment, tools, machinery or any other item.</p> <p>59. Contractor shall protect all floor surfaces from damage and equip mobile equipment with pneumatic tires.</p> <p>60. All metal flashing, gutter, and downspout joints shall be lapped, joined, and sealed so that they are water tight and provide for positive water flow.</p> <p>61. Contractor shall arrange with the necessary utility companies to connect utilities underground.</p> <p>62. When demolition is required on site all debris must be removed from the site at the expense of the contractor and a demolition permit must be obtained by a licensed wrecking contractor (class c-21), or by a licensed general contractor (class b-1) who is also the contractor for a new building to be erected on the same site. Contractor's license shall be verified prior to issuance of permit.</p> <p>FRAMING</p> <p>63. In addition to any structural grade requirements, all exposed wood beams and posts shall be selected for best appearance grade, with a minimum of knots, cracks and checks.</p> <p>64. Contractor shall provide access to all attic areas and plumbing as required by code and shall conform access locations with Design Professional prior to framing.</p> <p>65. Contractor shall coordinate framing with proposed locations of electrical, mechanical and plumbing work so as to avoid changes in framing which might conflict with proposed equipment, fixture or diffuser locations.</p> <p>66. Provide framed openings for medicine cabinets during rough framing, conforming size, location and heights of openings with Design Professional prior to construction.</p>
<p>67. Provide blocking as required for cabinets, toilet paper holders, towel bars and other specialty items.</p> <p>68. All exposed wood beams, decking or other members installed prior to enclosing the building envelope and completing roof membrane shall be protected during construction against moisture, staining and other damage by protecting with waterproof plastic wrappers and additional protective measures as may be required.</p> <p>STRUCTURAL</p> <p>69. All welding to be done by welders certified by the appropriate city building department.</p> <p>70. Glued-laminated lumber shall be fabricated in accordance with uniform building code standard no. 25-10. Exposed structural glued-laminated lumber shall be moisture-resistant treated wood or wood of natural resistance to decay.</p> <p>71. All posts, plates, sleepers, etc. bearing on or embedded in concrete or masonry shall be pressure treated lumber.</p> <p>ROOF, ROOF FLASHING AND DRAINAGE</p> <p>72. Contractor and Roofing Contractor shall furnish an unconditional written guarantee to Owner covering all materials and installation of new roofing, flashings and membranes for a period of 10 years following final completion of construction.</p> <p>73. Contractor shall employ a qualified independent inspection service for inspection of the roof installation, including any insulation and flashings, and shall conform arrangements with Owner, Design Professional, manufacturer's representative and roofing contractor prior to construction.</p> <p>74. All built up or single-ply membrane roof areas shall have minimum 1/4" per foot pitch to drains for spans up to 20'-0", 1/2" per foot for spans over 20'-0". Emergency overflow scuppers or drains shall be installed with outlets 2' above principal roof drains, and shall be independent of principal roof drains or gutters.</p> <p>75. All roofs, parapets, chimney and other flashings shall be installed so that they are watertight. Notify Design Professional of any points where water or moisture may penetrate for additional water protective measures.</p> <p>76. All scuppers, gutters, downspouts, leader boxes or other sheet metal work shall be properly flashed and shall have welded or sealed waterproof joints. All bends, seams, splices, or other connections shall be straight, smooth and continuous without dimples or dents. Unless specified, sheet metal gauge shall be sufficient to withstand denting or bending.</p> <p>77. Provide galvanic or bituminous insulation as approved by Design Professional between dissimilar metals.</p> <p>78. Unless otherwise noted, all concealed interior roof drain downspouts shall be PVC schedule 40, min. 4" diameter or larger as specified sufficient to handle roof areas. All connections shall be watertight..</p> <p>DOORS, WINDOWS</p> <p>79. Exit doors must open over a landing not more than 1/2' below the threshold.</p> <p>80. Glazed openings within 40" of a door lock shall be tempered glass.</p> <p>81. All glazing in shower areas shall be of approved shatter resistant material.</p> <p>82. Shower areas shall be finished with a hard non-absorptive surface to a height of 70" above drain inlet.</p> <p>83. See ENERGY section for additional information regarding weather-stripping, etc.</p> <p>84. Glass doors, adjacent panels, and all glazed openings within 18" of the adjacent floor shall be of glass approved for impact hazard 91.1711(d) (sec 25997 etf. 3/4/72). All glazing to be fully tempered glass with no bugs or long marks and should be accompanied by written certificates indicating tempering.</p> <p>85. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. 91.6709.1 -Door stops of in-swinging doors shall be one-piece construction with the jamb or joined by rabbet at the jamb. 91.6709.4</p> <p>86. All pin-type door hinges accessible from the outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for the latches and the holding devise for the projecting dead bolts in wood construction wall shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. 91.6709.5, 91.6709.7</p> <p>87. Provide dead bolts with hardened inserts: deadlocking latch with key-operated locks on exterior. Locks must be operable from inside without key, special knowledge or special effort (latch not required in B, F, and S occupancies. 91.6709.2</p> <p>88. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lobed dead bolt shall have a minimum throw of 3/4". 91.6709.2</p> <p>89. The use of a locking system which consists of a deadlocking latch operated by a doorknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwellings. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.</p> <p>90. Wood panel type doors must have panels of least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered part of adjacent panels except mullions not over 18 in. long may have an overall width not less than 3 inches in width.</p> <p>91. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 91.6710</p> <p>92. Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6717.1</p> <p>93. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hosps, metal slide bolt, or equivalent device unless secured electrically operated. 91.6711</p>	<p>94. Provide metal guides at top and bottom of metal accordion grate or grill-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. 91.6712</p> <p>95. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 91.6715.1</p> <p>96. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6717.2</p> <p>MISCELLANEOUS</p> <p>97. Contractor shall provide temporary toilet facilities at the job as necessary and required by code.</p> <p>98. All grading shall be accomplished in accordance with the uniform building code. All excess excavated material resulting from grading shall be removed from the site by the contractor.</p> <p>99. All glass doors and windows shall be certified and labeled to show compliance with air infiltration standards of 1972 ans o134.1, o134.2, o134.3, and o134.4.</p> <p>SECURITY NOTES</p> <p>All openings marked by the symbol "*" on the door/window schedule are security openings and the following requirements shall apply:</p> <p>100. Sliding doors and windows shall be provided with a device in the upper channel or the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.</p> <p>101. Swinging doors.</p> <p>102. Doorstops of in-swinging doors shall be of one-piece construction with the jamb or be provided with some device to prevent the door from being opened should the stop be removed.</p> <p>103. Stops of out-swinging doors to be one-piece construction or fastened with 3/4" screws 6" o. c.</p> <p>104. All pin-type hinges that are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have a minimum 1/4" diameter steel jamb stud with 1/4" minimum protection.</p> <p>105. The strike plate (min. 1.6 us gauge, stud, bronze or brass) for latches and the holding device for projecting deadbolts shall be secured to the jamb and wall framing with 2" long screws.</p> <p>106. All exterior doors shall be flush-type wood doors 1-3/4" thick with solid core construction, or fully tempered glass if glass, and shall be installed with dead lockback latches. Deadbolts shall have a minimum 1" throw and a minimum 5/8" embedment (straight type) and shall contain hardened inserts. Locks shall be flush, key-operated cylinders on the exterior and shall be operable without key, special knowledge, or special effort on the interior.</p> <p>107. Jambis shall be installed with solid backing for a 6" vertical distance on each side of the lock strike area.</p> <p>108. Trimmers shall be full door length with solid backing against sole and header plates.</p> <p>109. Horizontal blocking shall be placed between studs at lock strike height for 3 stud spaces.</p> <p>110. All security doors shall be equipped with locks that incorporate the following features: deadbolt with minimum 1" projection and minimum 5/8" embedment in strike plate, cylinder guard and minimum 5 pin tumbler locks, and minimum 1/4" diameter connecting screws.</p> <p>111. Double doors (inactive leafs) shall be secured with both head and base flush bolts with a minimum 5/8" embedment.</p> <p>112. Window provisions</p> <p>113. Sliding glass windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the test specified in 91.5731 and 91.6732, LA city building code.</p> <p>114. Windows and openings within 12 feet of ground level with over a 96 sq.in. area are deemed "accessible."</p> <p>115. Glazing and glazed assemblies for "accessible" openings shall be certified as meeting test provisions of ubc 41-2</p> <p>116. Glazing in exterior doors or within 40" of any locking mechanism shall be tempered or burglary resistant.</p> <p>ENERGY NOTES</p> <p>117. The requirements of title 24, part 2, chapter 2-53 have been reviewed and the design submitted conforms with these regulations signed by the Design Professional.</p> <p>118. The contractor shall provide the original occupant a list of heating, cooling, water heating, lighting, and conservation of solar devices installed in the building and instructions on how to use them efficiently.</p> <p>119. A maintenance label shall be affixed to all equipment requiring preventative maintenance, and a copy of the maintenance instructions shall be provided for the owners use.</p> <p>120. Insulation shall be certified by the manufacturer to comply with the California quality standards for insulating material.121. After installing insulation, the installer shall post in a conspicuous location a certificate signed by the installer stating that the installation is consistent with the plans and specifications for which the building permit was issued, and conforms with the requirements of chapter 2-53. The certificate shall also state the manufacturer's name and material identification, the installed "r-value," and, if loose-fill insulation, the minimum installed weight per sq. ft. consistent with the manufacturer's labeled installed design density for the desired "r value."</p> <p>122. Ceiling/roof shall be insulated (as per 2-5352 [a]) between framing members with insulation having an installed thermal resistance of r-19 or greater.</p> <p>123. Wood-framed walls shall be insulated between framing members with insulation having an installed thermal resistance r-11 or greater. Framed foundation walls of heated basements or heated crawl spaces shall be insulated above the adjacent outside ground line with insulation having an installed thermal resistance of r-7.</p>
<p>124. All doors and windows between conditioned and unconditioned space shall be fully weather-stripped.</p> <p>125. All openings in the building envelope such as frame, framing and panel joints, electrical and plumbing line openings, and masonry/wood framing joints shall be caulked or otherwise sealed to limit infiltration.</p> <p>126. Manufactured doors and windows shall be certified and labeled indicating that they meet the infiltrations standards listed in table 2-53c, 1-24, section2.</p> <p>127. Fan or other exhaust systems exhausting air from conditioned space to the outside shall be provided with backdraft dampers to prevent air leakage.</p> <p>128. Thermostatically controlled heating or cooling systems shall have an automatic thermostat with a clock mechanism which the building occupant can manually program to automatically set back the thermostat points for at least two periods within 24 hours.</p> <p>129. Specify water heater size, fuel type, and that it is state listed.</p> <p>130. Storage type water heaters shall be externally wrapped with insulation having an installed thermal resistance of r-12 or greater.</p> <p>131. All showerheads, lavatory faucets and sink faucets shall be certified by the manufacturer as complying with the applicable California appliance efficiency standards.</p> <p>132. Lamps used in luminaires for general lighting in kitchens and bathrooms shall have an efficiency of not less than 25 lumens per watt (i.e. fluorescent). Luminaries which are the only lighting in a kitchen or bathroom will be considered general lighting. Lighting to be used only for specific visual tasks or decorative effect are exempt from this requirement. Such exempt lighting includes luminaries that are meant to light only a specific task area such as a kitchen counter or sink, a dining table, or a bathroom mirror.</p> <p>FINISHES, CABINETRY, RAILINGS, ETC.</p> <p>133. Contractor shall submit actual material samples for Design Professional's review of all finish materials, paint and stains prior to ordering materials.</p> <p>134. All window door and other opening corners shall be reinforced with expanded metal lath nailed diagonally across corner.</p> <p>135. Stucco surfaces shall be straight and plumb with no wobble, wave or irregularities over the course of the wall plane.</p> <p>136. Confirm stucco finish and color with Design Professional prior to finalizing estimate.</p> <p>137. Unless noted otherwise, all plaster and drywall materials and installation shall be according to current U.S. Gypsum Handbook specifications and applicable code requirements. Use waterproof drywall in all bathrooms, kitchens, janitor's closets, and wet areas.</p> <p>138. Interior gypsum board shall be 5/8" thickless in all areas taped and finished smooth for wall paint. All gypsum board shall be installed using flathead drywall screws only. Countersink all screw heads.</p> <p>139. The use of gypsum board for tiled walls or ceilings in showers and other wet areas is prohibited.</p> <p>140. The use of Wonder Board or Durock will be acceptable for backing only with Architect's written approval, and only if a waterproof membrane is installed behind board over studs. Use full sheets wherever possible to eliminate joints. Where joints are unavoidable, hold boards apart 1/8" and use 2" fiberglass tape to reinforce joints. Apply min. 1/2" thick mortar bed plus 1/8" bonding over backing surfaces.</p> <p>141. Contractor shall be responsible for ordering all ceramic tile and other finish materials with enough lead time so that ordered material can be confirmed as acceptable, and any unacceptable material replaced, without delaying construction.</p> <p>142. Contractor shall include in construction contract installation of all finish hardware, including but not limited to cabinet pulls, knobs, door stops, towel bars, toilet paper holders and other miscellaneous items, regardless of whether those items are supplied by Owner or an allowance.</p> <p>See PAINTING section for painting notes.</p> <p>PAINTING</p> <p>143. Contractor shall include within the scope of his work preparation, priming, and finish painting of exterior walls affected by additions and remodeling and interior walls and ceilings, including doors, soth and trim work. Confirm any exposed beams, decking, cabinets or wood to be stained and/or clear sealed prior to ordering. Confirm paint, stain and finish selections and specifications with Architect, submit color samples and apply sample colors on actual surfaces to be painted for Design Professional's review prior to ordering material.</p> <p>144. Before beginning, inspect all work to be painted and report to Design professional any conditions which will prevent a quality finish from being accomplished. Commencing of work by the Contractor indicates his acceptance of the surfaces.</p> <p>UTILITIES, PLUMBING, DRAINAGE, ETC.</p> <p>145. Contractor shall consult representatives of local utilities, including gas, water, power, sewer, telephone and TV where applicable, concerning locations and availability of utilities prior to commencing work or connecting utilities, and shall be responsible for any damage to existing utility lines. Locations and elevations of all existing and new mains and meters shall be confirmed on the record drawings.</p> <p>146. Plastic drain, waste or vent pipe, where permitted, shall be A.B.S. as approved per ASTM Standard D2261-73. Waste lines inside the structure shall be fully wrapped with insulation to reduce sound through walls and ceilings.</p> <p>147. Flush out new and old water supply lines prior to connecting fixtures.</p> <p>148. Contractor shall maintain adequate and constant water supply to all existing plumbing fixtures, hose bibs and sprinklers systems desired by Owner during construction.</p> <p>149. General Contractor shall confirm arrangements for any temporary power and telephone service with Owner prior to finalizing contract. See Electrical Plans for electrical work.</p> <p>150. All plumbing lines in ceiling &amp; walls to be cast iron.</p> <p>151. Showers are to be provided with pressure balancing valves.</p>	<p>152. Contractor shall verify that copper water supply lines are sized to provide acceptable pressure and volume. Contractor shall connect waste lines to sewer and provide clean-outs and ventilation as required by the uniform plumbing code. All copper used shall be type k.</p> <p>153. Access panel (12"x12") or utility space to be provided for all plumbing fixtures having slip joint connections.</p> <p>154. Seismic gas shut off valve to be installed on each fuel gas line for new buildings. For permit information contact the plumbing division at (213) 485-2311.</p> <p>155. Gas piping shall not be installed in or on the ground under any building or structure.</p> <p>156. Low consumption water closets shall be installed.</p> <p>157. Contractor shall provide low flush toilets (1.6 gallons/flush) and low flow showerheads.</p> <p>158. Water heater must be strapped to wall, with approved strapping per UPC 510.5, strap shall be ICBO approved.</p> <p>MECHANICAL, SHEET METAL NOTES</p> <p>159. All sheet metal work shall be in accordance with SHAMA Manual standards and applicable codes. 160. The Contractor shall provide the Owner a list of the heating, cooling, ventilating, water heater and lighting systems and conservation or solar devices installed in the building and instruction on how to use them efficiently.</p> <p>161. Furnish complete maintenance information. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. Label shall be affixed to all equipment requiring preventive maintenance, and a copy of the maintenance instruction shall be provided for the Owner's use. Contractor to provide Owner complete maintenance instructions, i.e., belt replacement, oil and lubricating along with installer's name, address and telephone number.</p> <p>162. Provide submittal shop drawings and manufacturer's specifications for Design Professional's review, if equipment deviates from that specified.</p> <p>163. Contractors to thoroughly clean all portions of their work, remove all debris and leave installation in perfect condition, ready for use.</p> <p>164. EER rating and heating combustion efficiency rating of each HVAC unit shall comply with state requirements.</p> <p>165. All furnaces, condensers, fans or other noise-producing equipment to be installed inside or on the building structure shall be removed and insulated so as to minimize sound transmission to usable areas. Use ribbed neoprene pads, sound isolators, spring hangers and/or equivalent vibration reducing devices to isolate equipment from structure.</p> <p>166. Condenser refrigerant piping in the structure shall be installed so as not to touch structure, framing or wall surfaces. Install foam rubber cushions at penetrations to separate piping from wall surfaces.</p> <p>167. Insulation lining must be approved by the building department and shall meet or exceed NFPA standards.</p> <p>168. Controls shall be adjustable to provide a temperature range of up to 10 degrees between full heating and cooling.</p> <p>169. All bathroom and exhaust fans, range vents and built-in ovens shall be vented to the outside. Confirm all vent locations with Design Professional prior to ducting.</p> <p>See ENERGY Section for additional information regarding thermostats, insulation, etc.</p> <p>ELECTRICAL NOTES</p> <p>170. Unless noted otherwise, all conduits shall be concealed in structure, attic spaces or underground. Any exceptions are to be reviewed and confirmed in writing to the Design Professional.</p> <p>171. Contractor shall confirm all electrical loads and requirements for existing and new appliances, heating and air conditioning systems and other electrical equipment and fixtures prior to finalizing contract.</p> <p>172. Contractor to verify that any existing service, meter, main, panel, conduits and wiring to remain are adequate. Advise Owner prior to finalizing contract of any changes required.</p> <p>173. Contractor to verify clearances for all recessed fixtures and advise Design Professional of any conflicts prior to ordering.</p> <p>174. Confirm fixture trim selection, diffuser and finish options with Design Professional prior to ordering.</p> <p>175. All recessed fixture trims shall be gasketed and tight fitting to prevent light leaks.</p> <p>176. All wiring shall be copper, in flexible or rigid conduit as specified by code. No "Romeo" or other non-conducted wiring permitted when permitted by code.</p> <p>177. Confirm material and color of all switches, outlets and cover plates with Design Professional prior to ordering.</p> <p>178. Contractor shall provide Title 24, Form 5, if required.</p> <p>179. Light controls shall be 3-10' to center above finished floor, unless noted otherwise.</p> <p>180. All wall duplex receptacles, telephone, TV, and other outlets shall be mounted 15' to top of box above finished floor, except at counters and where otherwise noted.</p> <p>181. Ground fault interrupter required for all exterior outlets, bathrooms, temporary panels and other wet areas provided by code.</p> <p>182. Every dwelling unit shall be provided with smoke detectors conforming to U.B.C. standard 43-6. Smoke detectors shall be located in every room used for sleeping purpose and in corridors or areas giving access to such rooms. Detectors shall be mounted on the ceiling or on a wall within twelve (12) inches of the ceiling when located in a room and in the ceiling or wall at a point centrally located in the corridor or area giving access to such rooms. In an efficiency dwelling unit, the detector shall be located on the ceiling of the main room. Where sleeping rooms are on upper level, a detector shall be placed at the center of the ceiling directly above the stairway. All detectors shall be located in accordance with approved manufacturer's instructions. When actuated, the detector shall provide an alarm in the dwelling unit. Confirm type and locations of all devices with Owner prior to ordering and wiring.</p> <p>183. Contractor to verify fire alarm system, computer system, security system, lighting control system, stereo wiring, intercom system, low voltage landscape lighting, and other special systems or electrical requirements with Design Professional and Owner prior to finalizing contract.</p> <p>184. The indoor storage of combustible materials shall be regulated in relation to arrangement, location, size of areas, height, separations and housekeeping.</p>

All the material contained within these documents are property to O+ L BUILDING PROJECTS LLC and Daryl Olesinski and are furnished in confidence for the purpose of evaluation, bidding and construction of the building described. All other uses are prohibited and any reuse or release required written permission by O+ L BUILDING PROJECTS LLC and Daryl Olesinski. Any discrepancies found between the existing and described information provided shall be reported to O+ L BUILDING PROJECTS LLC.

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LA JOLLA RESIDENCE # 1806



O+ L BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

06.09.2021: CDP Hearing  
 05.12.2021: CDP Hearing  
 11.19.2020: Bid Documents  
 12.10.2019: La Jolla Permit Review Committee Meeting  
 05.20.2019: Issue to Consultants  
 05.10.2019: Design Development 1  
 02.11.2019: Preliminary Design Presentation  
 02.11.2019: Original Drawing Preparation Date

PROJECT LOG:

**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

<b>GENERAL NOTES</b>
NO SCALE
<b>T1.1a</b>
Sheet No. 2a / 62



**CLIMATE ACTION PLAN CONSISTENCY CHECKLIST INTRODUCTION**

In December 2015, the City adopted a Climate Action Plan (CAP) that outlines the actions that City will undertake to achieve its proportional share of State greenhouse gas (GHG) emission reductions. The purpose of the Climate Action Plan Consistency Checklist (Checklist) is to, in conjunction with the CAP, provide a streamlined review process for proposed new development projects that are subject to discretionary review and trigger environmental review pursuant to the California Environmental Quality Act (CEQA).

Analysis of GHG emissions and potential climate change impacts from new development is required under CEQA. The CAP is a plan for the reduction of GHG emissions in compliance with CEQA Guidelines Section 15183.5. Pursuant to CEQA Guidelines Sections 15064(h)(3), 15130(d), and 15183(b), a project's incremental contribution to a cumulative GHG emissions effect may be determined not to be cumulatively considerable if it complies with the requirements of the CAP.

This Checklist is part of the CAP and contains measures that are required to be implemented on a project-by-project basis to ensure that the specified emissions targets identified in the CAP are achieved. Implementation of these measures would ensure that new development is consistent with the CAP's assumptions for relevant CAP strategies toward achieving the identified GHG reduction targets. Projects that are consistent with the CAP as determined through the use of this Checklist may rely on the CAP for the cumulative impacts analysis of GHG emissions. Projects that are not consistent with the CAP must provide a comprehensive project-specific analysis of GHG emissions, including quantification of existing and projected GHG emissions and incorporation of the measures in this Checklist to the extent feasible. Cumulative GHG impacts would be significant for any project that is not consistent with the CAP.

The Checklist may be updated to incorporate new GHG reduction techniques or to comply with later amendments to the CAP or local, State, or federal law.

**CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION**

- The Checklist is required only for projects subject to CEQA review?
- If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in [Chapter 11, Land Development Procedures](#) of the City's Municipal Code.
- The requirements in the Checklist will be included in the project's conditions of approval.
- The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application Information	
<b>Contact Information</b>	
Project No./Name:	Leidy Residence
Property Address:	6216 Avenida Cresta, La Jolla CA 92037
Applicant Name/Co.:	Daryl Olesinski / O+ L building projects LLC
Contact Phone:	310 390 1650
Contact Email:	daryl@oplusL.com
Was a consultant retained to complete this checklist?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, complete the following
Consultant Name:	
Consultant Phone:	
Company Name:	
Contact Email:	

<b>Project Information</b>	
1. What is the size of the project (acres)?	10, 554 sq. ft. (.24 acre)
2. Identify all applicable proposed land uses:	
Residential (indicate # of single-family units):	(1) SFR w/ (1) Companion Unit
Residential (indicate # of multi-family units):	
Commercial total square footage:	
Industrial total square footage:	
Other (describe):	
3. Is the project or a portion of the project located in a Transit Priority Area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

4. Provide a brief description of the project proposed:  
 A NEW 7,172 sq. ft. two story over basement single family dwelling with an attached 788 sq. ft. garage located in the basement, 629 sq. ft. Guest Quarters located in the basement and a 423 sq. ft. Companion Unit, as per the documents submitted.

**CAP CONSISTENCY CHECKLIST QUESTIONS**

**Step 1: Land Use Consistency**

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

Step 1: Land Use Consistency		Yes	No
<b>Checklist Item</b> (Check the appropriate box and provide explanation and supporting documentation for your answer)			
A. Is the proposed project consistent with the existing General Plan and Community Plan land use and zoning designations? <sup>1</sup> OS	<input type="checkbox"/>	<input type="checkbox"/>	
B. If the proposed project is not consistent with the existing land use plan and zoning designations, and includes a land use plan and/or zoning designation amendment, would the proposed amendment result in an increased density within a Transit Priority Area (TPA) and implement CAP Strategy 3 actions, as determined in Step 1 to the satisfaction of the Development Services Department? <sup>2</sup> OS	<input type="checkbox"/>	<input type="checkbox"/>	
C. If the proposed project is not consistent with the existing land use plan and zoning designations, does the project include a land use plan and/or zoning designation amendment that would result in an equivalent or less GHG-intensive project when compared to the existing designations?	<input type="checkbox"/>	<input type="checkbox"/>	

If "Yes" proceed to Step 2 of the Checklist. For question B above, complete Step 3. For question C above, provide estimated project emissions under both existing and proposed designations for comparison. Compare the maximum buildout of the existing designation and the maximum buildout of the proposed designation.

If "No" in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts unless the decision maker finds that a measure is infeasible in accordance with CEQA Guidelines Section 15091. Proceed and complete Step 2 of the Checklist.

The existing 1,876 sq. ft. Single Family Residence is to be demolished and replaced with a new 7,172 sq. ft. two story over basement single family dwelling with an attached 788 sq. ft. garage located in the basement, 629 sq. ft. Guest Quarters located in the basement and a 423 sq. ft. Companion Unit. As per the documents submitted, the proposed development is consistent with the standards set forth in the General Plan, Community Plan and all Land Use and Zoning Designations. The project proposed will require a Certificate of Occupancy from the Building Official and therefore is subject to Step 2 of this check list. The project agrees to implement best management practices (BMP's) for construction activities as set forth in the Greenbook.

<sup>1</sup> This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.  
<sup>2</sup> This category applies to all projects that answered in the affirmative to question 3 on the previous page. Is the project or a portion of the project located in a transit priority area.

**Step 2: CAP Strategies Consistency**

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that involve permits that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures. All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the [Greenbook](#) for public projects.

Step 2: CAP Strategies Consistency		Yes	No	N/A
<b>Checklist Item</b> (Check the appropriate box and provide explanation for your answer)				
<b>Strategy 1: Energy &amp; Water Efficient Buildings</b>				
1. Cool/Green Roofs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<ul style="list-style-type: none"> <li>Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under <a href="#">California Green Building Standards Code</a> (Attachment A)? <sup>1</sup> OS</li> <li>Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot as specified in the voluntary measures under <a href="#">California Green Building Standards Code</a>? <sup>2</sup> OS</li> <li>Would the project include a combination of the above two options?</li> </ul>				
The building utilizes both a "Green Roof" for the Companion Unit roof as well as a Roofing Membrane on the main dwelling that meets or exceeds the 3 year solar reflection. As per A1.4 (Roof Plan), the roofing specification calls out for a Class A Topcoat Membrane Roofing, REF. 0.85 / Emissivity 0.90 / SRI-99.				

<sup>1</sup> Actions that are not subject to Step 2 would include, for example: 1) discretionary map actions that do not propose specific development, 2) permits allowing wireless communication facilities, 3) special events permits, 4) use permits or other permits that do not result in the expansion or enlargement of a building (e.g., decks, porches, etc.) and 5) non-building infrastructure projects such as roads and pipelines. Because such actions would not result in new occupancy buildings from which GHG emissions reductions could be achieved, the items contained in Step 2 would not apply.

<sup>1</sup> Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial review. See Supplemental Development Regulations in the project's community plan to determine applicability.

<sup>1</sup> Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial review. See Supplemental Development Regulations in the project's community plan to determine applicability.

City Council Approved July 12, 2016

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**Strategy 2: Bicycling, Walking, Transit & Land Use**

3. Electric Vehicle Charging	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multiple family projects of 17 dwelling units or less: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents?			
Multiple family projects of more than 17 dwelling units: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents?			
Non-residential projects: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use?			
Check "N/A" only if the project is a single-family project or would not require the provision of listed cabinets, boxes, or enclosures connected to a conduit linking the parking spaces with electrical service, e.g., projects requiring fewer than 17 parking spaces.			
As per A1.1, an EV charging is to be provided in the garage parking area within a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations.			

5. Shower facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include charging/shower facilities in accordance with the voluntary measures under the <a href="#">California Green Building Standards Code</a> as shown in the table below?																					
<table border="1"> <thead> <tr> <th>Number of Tenant Occupants (Employee)</th> <th>Shower/Charging Facilities Required</th> <th>Two-Tier (12' x 10' x 7') Personal Lockers Required</th> </tr> </thead> <tbody> <tr> <td>0-10</td> <td>0</td> <td>2</td> </tr> <tr> <td>11-50</td> <td>1 shower stall</td> <td>3</td> </tr> <tr> <td>51-100</td> <td>1 shower stall</td> <td>4</td> </tr> <tr> <td>101-200</td> <td>1 shower stall</td> <td>4</td> </tr> <tr> <td>Over 200</td> <td>1 shower stall plus 1 additional shower stall for each 200 additional tenant occupants</td> <td>1 locker for each 50 additional tenant occupants</td> </tr> </tbody> </table>				Number of Tenant Occupants (Employee)	Shower/Charging Facilities Required	Two-Tier (12' x 10' x 7') Personal Lockers Required	0-10	0	2	11-50	1 shower stall	3	51-100	1 shower stall	4	101-200	1 shower stall	4	Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant occupants	1 locker for each 50 additional tenant occupants
Number of Tenant Occupants (Employee)	Shower/Charging Facilities Required	Two-Tier (12' x 10' x 7') Personal Lockers Required																			
0-10	0	2																			
11-50	1 shower stall	3																			
51-100	1 shower stall	4																			
101-200	1 shower stall	4																			
Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant occupants	1 locker for each 50 additional tenant occupants																			
Check "N/A" only if the project is a residential project, or if it does not include nonresidential development that would accommodate over 10 tenant occupants (employees).																					
Not required for Residential Use																					

6. Designated Parking Spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
If the project includes a nonresidential use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?																					
<table border="1"> <thead> <tr> <th>Number of Required Parking Spaces</th> <th>Number of Designated Parking Spaces</th> </tr> </thead> <tbody> <tr> <td>0-5</td> <td>0</td> </tr> <tr> <td>6-25</td> <td>2</td> </tr> <tr> <td>26-50</td> <td>4</td> </tr> <tr> <td>51-75</td> <td>6</td> </tr> <tr> <td>76-100</td> <td>9</td> </tr> <tr> <td>101-150</td> <td>11</td> </tr> <tr> <td>151-200</td> <td>18</td> </tr> <tr> <td>201 and over</td> <td>At least 10% of total</td> </tr> </tbody> </table>				Number of Required Parking Spaces	Number of Designated Parking Spaces	0-5	0	6-25	2	26-50	4	51-75	6	76-100	9	101-150	11	151-200	18	201 and over	At least 10% of total
Number of Required Parking Spaces	Number of Designated Parking Spaces																				
0-5	0																				
6-25	2																				
26-50	4																				
51-75	6																				
76-100	9																				
101-150	11																				
151-200	18																				
201 and over	At least 10% of total																				
This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.																					
Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be designated eligible for designated parking spaces. The required designated parking spaces are to be provided within the overall minimum parking requirement, not in addition to it.																					
Check "N/A" only if the project is a residential project, or if it does not include nonresidential use in a TPA.																					
Not required for Residential Use																					

7. Transportation Demand Management Program	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes:			
At least one of the following components:			
<ul style="list-style-type: none"> <li>Parking cash out program</li> <li>Parking management plan that includes charging employees market rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools</li> <li>Unbundled parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the development</li> </ul>			
And at least three of the following components:			
<ul style="list-style-type: none"> <li>Commitment to maintaining an employer network in the SANDAG iCommute program and promoting its RideShare service to tenants/employees</li> <li>On-site carsharing (vehicle) or bike-sharing</li> <li>Flexible or alternative work hours</li> <li>Telework program</li> <li>Transit, carpool, and vanpool fares and bicycle commute costs</li> <li>Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either on-site or within 1,500 feet (1/4 mile) of the structure(s)</li> </ul>			
Check "N/A" only if the project is a residential project or if it would not accommodate over 50 tenant-occupants (employees).			
Not required for Residential Use			

<sup>1</sup> Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the projects bicycle parking requirements.

City Council Approved July 12, 2016

City Council Approved July 12, 2016

City Council Approved July 12, 2016

City Council Approved July 12, 2016  
 Revised June 2017

**CLIMATE ACTION PLAN CONSISTENCY CHECKLIST ATTACHMENT A**

This attachment provides performance standards for applicable Climate Action Plan (CAP) Consistency Checklist measures.

Land Use Type	Roof Slope	Minimum 3 Year Aged Solar Reflectance	Thermal Emittance	Solar Reflective Index
Low-Rise Residential	< 2:12	0.55	0.75	64
High-Rise Residential Buildings, Hotels and Motels	> 2:12	0.20	0.75	36
Non-Residential	< 2:12	0.55	0.75	64
Non-Residential	> 2:12	0.20	0.75	36

Fixture Type	Maximum Flow Rate
Showerheads	1.8 gpm @ 80 psi
Laundry Faucets	0.35 gpm @ 60 psi
Kitchen Faucets	1.6 gpm @ 60 psi
Wash Fountains	1.6 (1m spacing) / 2.0 (2m @ 60 psi)
Misting Faucets	0.18 gpm per type
Misting Fountains for Wash Fountains	0.18 (1m spacing) / 2.0 (2m @ 60 psi)
Gravity Tank-type Water Closets	1.12 gallons/flush
Flushometer Tank Water Closets	1.12 gallons/flush
Flushometer Valve Water Closets	1.12 gallons/flush
Electromechanical Hydraulic Water Closets	1.12 gallons/flush
Urinals	0.5 gallons/flush

Appliance/Fixture Type	Standard
Clothes Washers	Maximum Water Factor (WF) that will reduce the use of water by 10 percent below the California Energy Commission's WF standards for commercial clothes washers listed in Title 20 of the California Code of Regulations.
Conveyor-type Dishwashers	0.70 maximum gallons per rack (2.6 L) (High Temperature) L (Chemical) 0.62 maximum gallons per rack (4.4 L) (Chemical)
Door-type Dishwashers	0.85 maximum gallons per rack (3.0 L) (High Temperature) L (Chemical) 1.16 maximum gallons per rack (2.6 L) (Chemical)
Undercounter-type Dishwashers	0.80 maximum gallons per rack (3.4 L) (High Temperature) L (Chemical) 0.88 maximum gallons per rack (3.7 L) (Chemical)
Combination Ovens	Consume no more than 10 gallons per hour (38 L) in the full operational mode. Function at equal to or less than 1.6 gallons per minute (0.10 L/s) at 60 psi (4.14 MPa) and seconds per plate: • Be capable of cleaning 60 plates in an average time of not more than 30 seconds per plate. • Be equipped with an integral automatic shutoff. • Operate at static pressure of at least 30 psi (207 kPa) when designed for a flow rate of 1.2 gallons per minute (0.08 L/s) or less.

/Users/klhokur/Dropbox/2018 Projects/1806 Archival Files/1806 La Jolla Residence.pln 05/28/2017

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LA JOLLA RESIDENCE # 1806

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

PROJECT LOG:

06.09.2021: CDP Hearing  
 05.12.2021: CDP Hearing  
 11.19.2020: Bid Documents  
 12.10.2019: La Jolla Permit Review Committee Meeting  
 05.20.2019: Issue to Consultants  
 05.10.2019: Design Development 1  
 02.11.2019: Preliminary Design Presentation  
 02.11.2019: Original Drawing Preparation Date

O+ L BUILDING PROJECTS LLC

Leidy Residence  
 6216 Avenida Cresta, La Jolla, CA 92037

CAP  
 NO SCALE

T1.1b

Sheet No. 2b / 62







FRAMELESS GLASS RAIL APPROVAL DATA

Edward C. Robison, P.E.

27 March 2013

C.R. Laurence Co., Inc.  
ATTN: Chris Hanstad  
2503 East Vernon  
Los Angeles, CA 90058

SUBJ: CRL SRS STANDOFF RAILING SYSTEM  
GLASS BALUSTRADE GUARDS

The SRS Standoff Railing System is an engineered guardrail system that utilizes point supported glass balustrades. When constructed in accordance with the attached details and installation guidelines the guardrail will safely support the following loading conditions:  
200 pound point load on top rail, vertical or horizontal  
50 plf load on top rail, vertical or horizontal or  
25 psf uniform load on glass panel horizontal or  
50 lb conc load on 1 sf

Wind load 25 psf or higher loads in accordance with the wind load tables herein.  
For single family residential construction only the 200# concentrated top rail load, 50# concentrated load and wind load are applicable.

The SRS is to be used with tempered glass only, laminated or monolithic. Laminated glass shall be made with DuPont SentryGlas+ interlayer.

Glass light stresses may be evaluated using either the simplified methods shown herein or by finite element analysis models for the specific proposed installation.

For these conditions the railing meets applicable requirements of the 2006, 2009 and 2012 International Building Code and state codes adopted from the IBC codes, SEI/ASCE 8-02 and all requirements of ASTM E 2358-04.

Edward Robison, P.E.

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Typical Installation:  
For **single family residential**:  
1/2" tempered glass  
2 pairs of standoffs:  
Interior installation, 5' maximum width and 44" maximum height above standoffs.  
Exterior installation 4' maximum width and 44" maximum height above standoffs, 15.3 psf.

3 pairs of standoffs:  
Interior installation, 7' maximum width and 44" maximum height above standoffs.  
Exterior installation 5' maximum width and 44" maximum height above standoffs, 15.9 psf.

For **commercial and other applications**:  
3/4" tempered glass  
2 pairs of standoffs:  
5'-6" maximum width and 44" maximum height above standoffs, 30.8 psf.

3 pairs of standoffs:  
7' maximum width and 44" maximum height above standoffs, 28 psf.  
For other light sizes and wind loads refer to the equations and figures herein.

Signature Page Signed 03/28/2013



GLASS BALUSTRADE GUARD RAIL

**GLASS STRENGTH**  
All glass is fully tempered glass conforming to the specifications of ANSI Z97.1, ASTM C 1048-97b and CPSC 16 CFR 1201. For the 1/2" glass the typical Modulus of Rupture, F, is 24,000 psi. The applicable safety factor against glass rupture is 4.0 in accordance with IBC 2407.1.1  
Allowable glass bending stress: 24,000/4 = 6,000 psi. - Tension stress calculated.

Bending strength of glass for the given thickness:  
 $S = 12^{3/4} U^2 = 2^4 (U^2) \text{ in}^3/\text{ft}$

Use the minimum glass thickness for stress calculations:  
Figure 1  
For 1/2" glass,  $t_{min} = 0.469"$ ; Weight = 6.5 psf  
 $S = 2^4(0.469)^2 = 0.44 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 0.44 \text{ in}^3/\text{ft} = 2,640 \text{ #}/\text{ft} = 220"$

For 5/8" glass,  $t_{min} = 0.595"$ ; Weight = 9.8 psf  
 $S = 2^4(0.595)^2 = 0.708 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 0.708 \text{ in}^3/\text{ft} = 4,248 \text{ #}/\text{ft} = 354"$

For 3/4" glass,  $t_{min} = 0.719"$ ; Weight = 9.8 psf  
 $S = 2^4(0.719)^2 = 1.034 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 1.034 \text{ in}^3/\text{ft} = 6,204 \text{ #}/\text{ft} = 517"$

The allowable moments are based on the minimum glass thickness allowed for the nominal thickness. The section properties and allowable moments may be calculated based on the actual glass thickness supplied.

Laminated glass shall be evaluated based on the effective thickness determined in accordance with ASTM E1300 or the DuPont online laminated glass calculator.

For wind loading the allowable glass stress may be increased in accordance with ASTM E1300. It is recommended that a maximum allowable stress of 9,600 psi be used for wind loads. For wind loads the allowable moment may be taken as:  
 $M_{allow} = M_{allow} * 9,600 / 6,000 = 1.6 M_{allow}$

For cantilevered elements basic beam theory for cantilevered beams is used.

$M_u = \chi W^2 h^2 / 2$  for uniform load u or  
 $M_u = \chi P^2 h / B$  for concentrated load P or  
 $M_u = \chi U^2 h$  for uniform top rail load U or  
 $M_u = \chi W^2 h^2 / 0.55$  for uniform wind load W

Where  $\chi$  is the moment amplification factor accounting for the increased maximum moment caused by the point supports. Where:  
 $\chi = f(\alpha)$  where the function is derived from FEA models and  
 $\alpha = B/h$

**MOMENT AMPLIFICATION FACTORS:**

The moment amplification factors were derived from a series of FEA models. The equations are applicable for the geometric configurations shown. In lieu of using the amplification factors shown herein the glass light stresses may be evaluated using either the simplified methods shown or by finite element analysis models for the specific proposed installation.

**GLASS PANELS LOADS:**

From IBC 1607.7  
On hand rail or top of glass - 200lb concentrated or 50 plf  
Any direction

Or On panel - 25 psf horizontal load  
Or Wind load horizontal to glass either direction.

For vertical glass dead loads will not cause glass bending stress and glass bearing stresses are small and may be ignored.

**ALLOWABLE WIND LOAD**

Allowable wind load pressure may be calculated from:  
 $W = 1.6 * M_{allow} / (\chi * 0.55 * h^2) = 2.9 * M_{allow} / (\chi * h^2)$

**WIND LOADING**

For wind load surface area is full area of guard:  
Calculated in accordance with SEI/ASCE 7 Section 6.5.13 Design Wind Loads on Open Buildings and Other Structures. This section is applicable for free standing building guardrails, wind walls and balcony railings that return to building walls. Section 6.5.12.4 Parapets may be applicable when the rail is along a roof perimeter. **Actual wind loads must be determined by a qualified individual for a specific installation.**  
 $p = q_s(GC_p) = q_s(GC_p)$  (SEI/ASCE 7-05 eq. 6-26)  
For guardrails the coefficients have the following values:  
 $G = 0.925$  from section 6.5.8.2 for a very flexible structure.  
 $C_f = 2.5 * 0.8 * 0.6 = 1.2$  Figure 6-20 with reduction for solid and end returns, will vary.  
 $Q_z = K_z K_d K_e V^2$  Where:  
 $I = 1.0$   
 $K_z$  from Table 6-3 at the height z of the railing centroid and exposure.  
 $K_d = 0.85$  from Table 6-4  
 $K_e$  from Figure 6-4 for the site topography, typically 1.0  
 $V = \text{Wind speed (mph) 3 second gust, Figure 6-1 or per local authority.}$

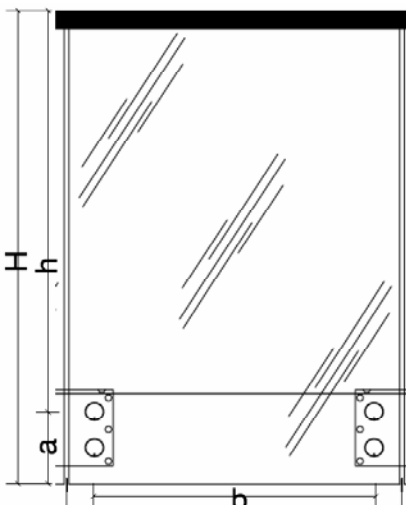
Exp B	Exp C				Exp D						
Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
120	1	0.85	1.11	120	1	0.85	1.11	120	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	21.9	24.3	15	0.85	26.6	29.6	15	1.03	32.3	35.8
40	0.76	23.8	26.4	20	0.9	28.2	31.3	20	1.08	33.8	37.6

Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
130	1	0.85	1.11	130	1	0.85	1.11	130	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	25.7	28.6	15	0.85	31.3	34.7	15	1.03	37.9	42.0
40	0.76	27.9	31.0	20	0.9	33.1	36.7	20	1.08	39.7	44.1

Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
140	1	0.85	1.11	140	1	0.85	1.11	140	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	29.9	33.1	15	0.85	36.3	40.2	15	1.03	43.9	48.8
40	0.76	32.4	36.0	20	0.9	38.4	42.6	20	1.08	46.1	51.1

Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
150	1	0.85	1.11	150	1	0.85	1.11	150	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	34.3	38.0	15	0.85	41.6	46.2	15	1.03	50.4	56.0
40	0.76	37.2	41.3	20	0.9	44.1	48.9	20	1.08	52.9	58.7

For free standing guards and wind walls that do not return to a building wind loads shall be determined in accordance with SEI/ASCE 7-05 section 6.15.14 and figure 6-20.

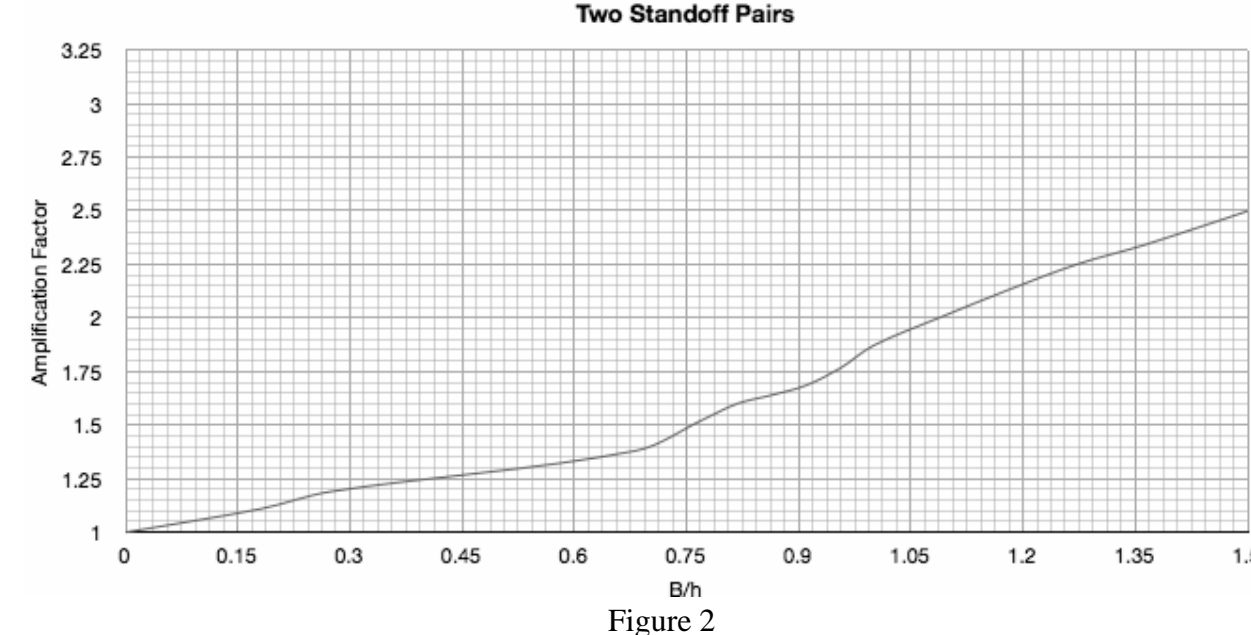


CR Laurence Standoff Rail System - SRS

**CALCULATE PEAK GLASS MOMENT**

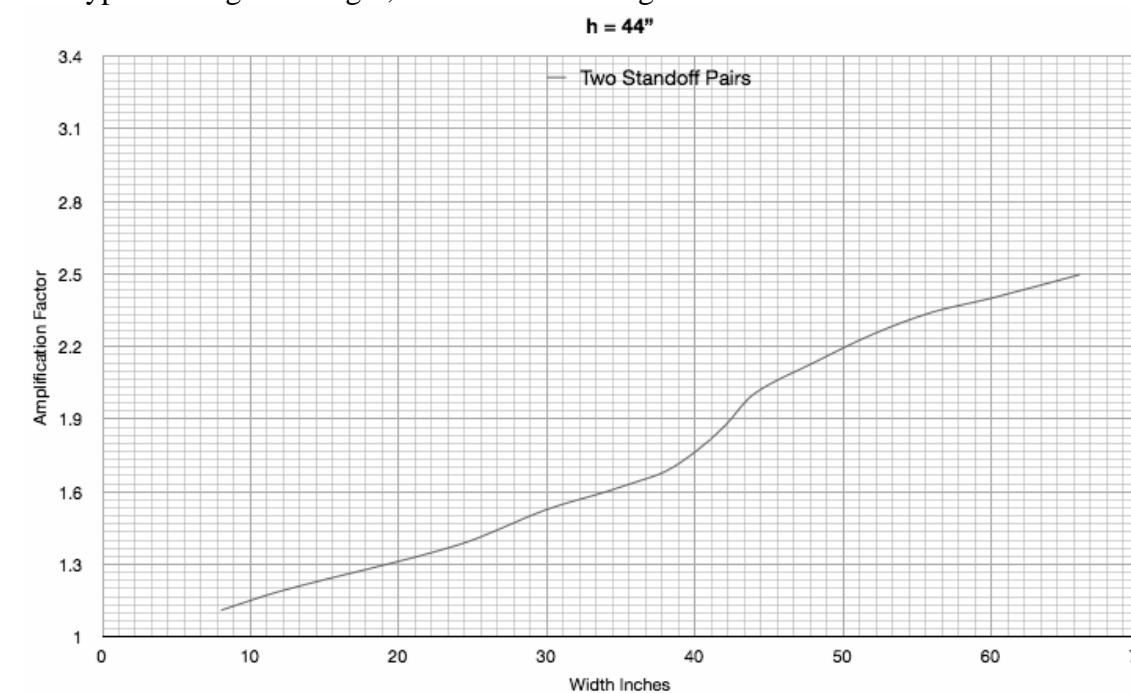
**DETERMINATION OF  $\chi$ :**  
For two pairs of standoffs:  
Applicability - Light Geometry  
Standoffs in pairs are located 4" apart.  
a:  $6" \leq a \leq 2h$   
b:  $12" \leq b \leq 60"$   
c:  $3" \leq c \leq h$   
d:  $2" \leq d \leq 10"$   
h: limited by glass stress  
 $\alpha = b/h$   
 $\beta = b/2d$   
 $\alpha = B/h$ ;  $0.1 < \alpha \leq 2.0$   
Example:

Glass light width B = 48" and h = 48"  
 $\alpha = B/h = 48/48 = 1.0$   
 $\chi = 1.85$  Determine value of  $\chi$  from graph, figure 2  
Load = 50 plf or 200# or 25 psf:  
 $M_u = \chi U^2 h^2 / 2 = 1.90 * 25 \text{ psf}^2 * 4^2 / 2 = 380 \text{ #}/\text{ft}$   
 $M_u = \chi P^2 h / B = 1.90 * 200 \text{ #}^2 * 4^2 / 48 = 380 \text{ #}/\text{ft}$   
 $M_u = \chi U^2 h = 1.90 * 50 \text{ plf}^2 * 4 = 380 \text{ #}/\text{ft}$



For 200# concentrated load on 1 sf of glass (at top corner for worst case) the moment is distributed across the panel width of the standoffs so that moment is essentially the same as for a top rail applied load. C = lesser of B or h  
 $M_u = \chi P^2 (h-b) / C = 1.90 * 200 \text{ #}^2 * (4-5) / 4 = 332.5 \text{ #}/\text{ft}$

For typical 42" guard height, h = 44": Figure 5



**1/2" Glass Applications**

Acceptable light sizes for 1/2" glass:  
For 1/2" glass,  $t_{min} = 0.469"$   
 $S = 2^4(0.469)^2 = 0.44 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 0.44 \text{ in}^3/\text{ft} = 2,640 \text{ #}/\text{ft} = 220"$   
For single family residential applications apply 200# concentrated top rail load - 50 plf load is not applicable.  
With top rail distributing concentrated load to two lights minimum - 100# each light

**For Two Support Pairs:**

Try minimum light size of 32", height 44";  $\alpha = 32/44 = 0.727$   
 $\chi = 1.57$  for 2 pairs  
 $M_u = 1.57 * 100 \text{ #}^2 * 44 = 6,908 \text{ #}/\text{ft} \leq 2.667 * 2,640 \text{ #}/\text{ft} = 7,041 \text{ #}/\text{ft}$

For interior residential applications infill load = 5 psf for differential pressure:  
 $M_u = 1.57 * 5 \text{ psf} * 3.667^2 / 2 = 52.78 \text{ #}/\text{ft}$  for 32" light width  
Maximum uniform load =  $W = 2.9 * M_{allow} / (\chi * h^2) = 2.9 * 2,640 / (2.5 * 3.667^2) = 19 \text{ psf}$  okay for 85 mph 3 sec gust exposure B below 30"

Check maximum light width of 66" x 44" high  
 $\chi = 2.5$  for 2 pairs  
 $M_u = 2.5 * 5 \text{ psf} * 3.667^2 / 2 = 84.04 \text{ #}/\text{ft}$  for 32" light width  
Maximum wind load =  $W = 2.9 * M_{allow} / (\chi * h^2) = 2.9 * 2,640 / (2.5 * 3.667^2) = 19 \text{ psf}$  okay for 85 mph 3 sec gust exposure B below 30"

Check wind load for a standard light width, B = 48" and h = 44"  
 $\chi = 48/44 = 1.091$   
 $\chi = 2.133$  for 2 pairs  
 $M_u = 2.133 * 5 \text{ psf} * 3.667^2 / 2 = 14.9 \text{ #}/\text{ft} \leq 22.3 \text{ psf}$

**General Equation for 1/2" glass and 2 support pairs:**

Allowable wind load =  $640 \text{ #}/(\chi^2 * h^2)$

For Non-single family residential applications guard must be designed for 50 plf top rail load:  
For  $\chi = 2.4$ , a = 1.364 determine the maximum height:  
 $h = 220 / (2.4 * 5) = 1.833'$  (1'-10")  
 $B = 1.833 * 1.364 = 2.5'$  (30")

Typically 1/2" Glass is not to be used in Non-single family residential applications.

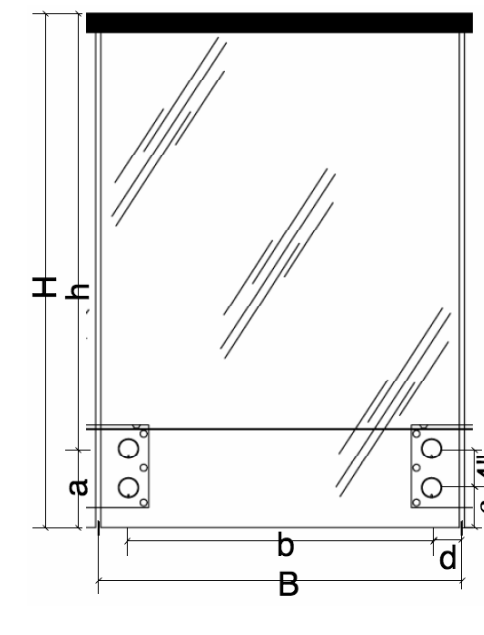
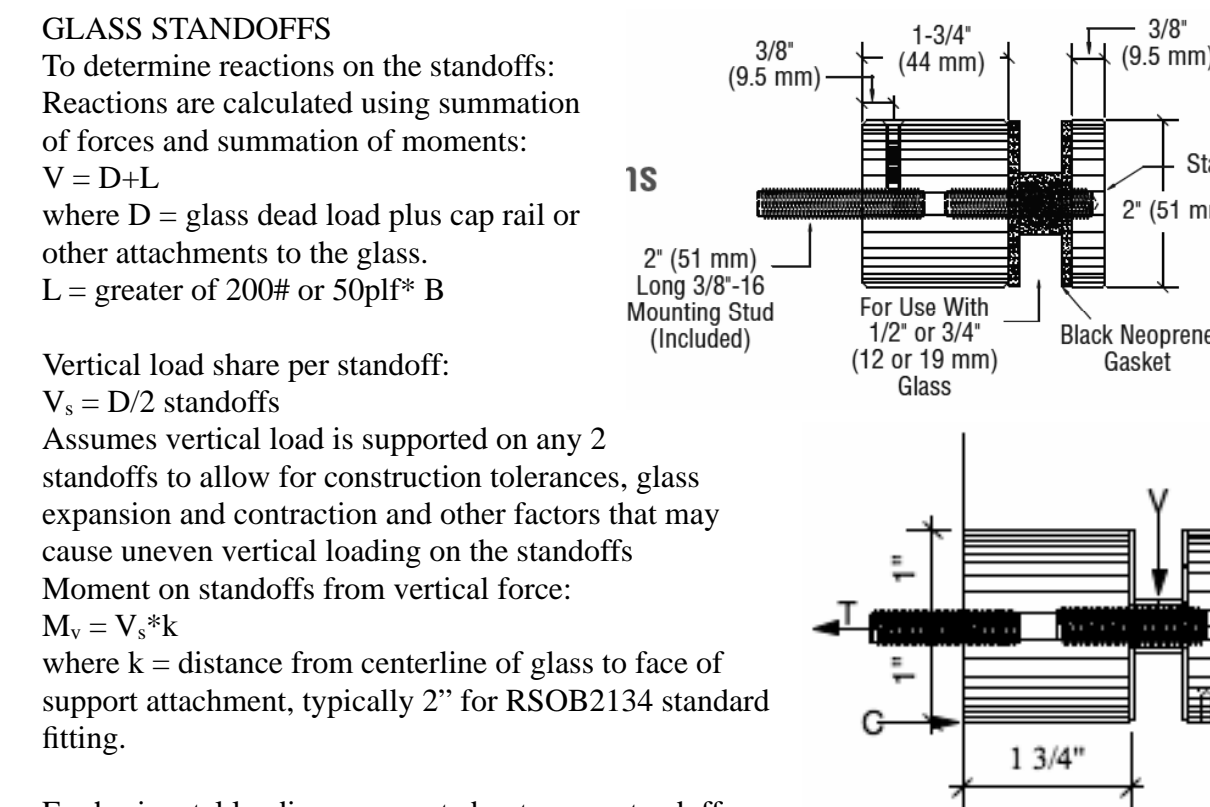
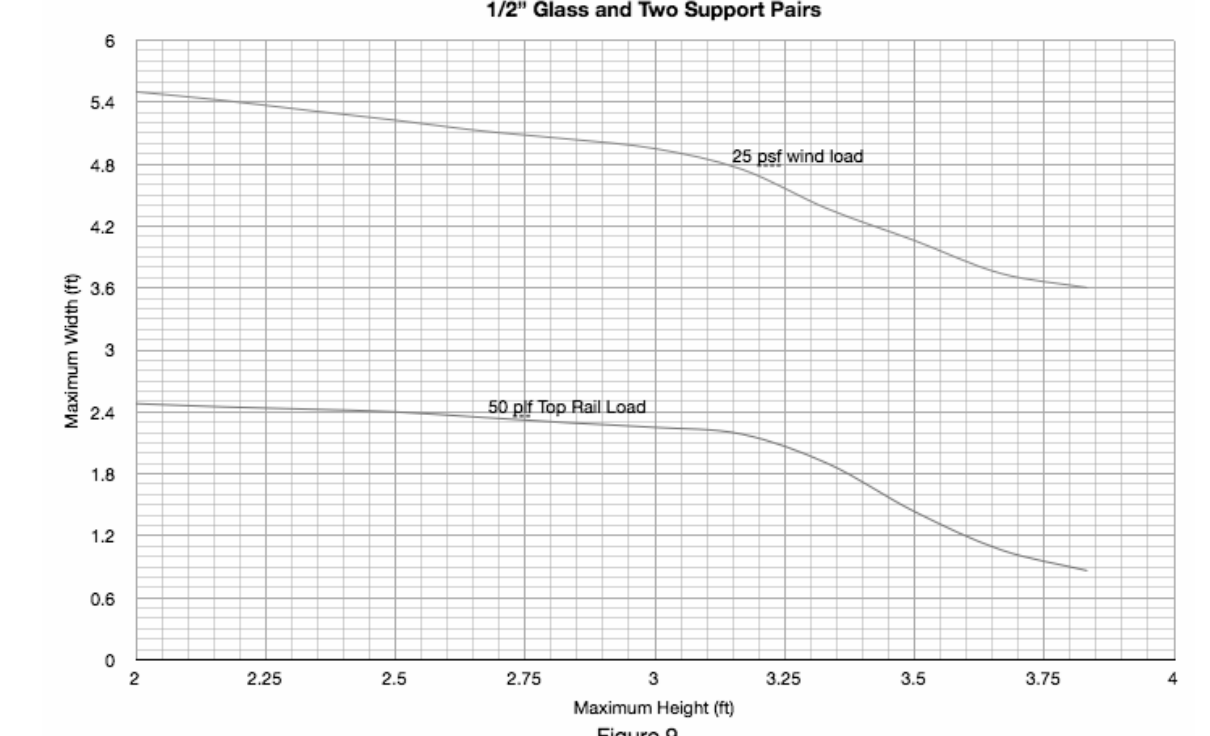


Figure 1



For horizontal loading, moment about upper standoffs:  
 $M_u = 50 \text{ plf} * B^2 * h = 200 \text{ #}^2 * h$   
 $M_u = w * B^2 * h * 0.55$   
 $W = w * B^2 * h$   
 $M_r = \text{greater of } (M_u \text{ or } M_w) + M_r$

Glass standoffs resist loading by forming a couple (tension and compression reactions)  
Two pairs of standoffs per panel  
Calculate  $R_b$  by  $\Sigma M$  about  $R_a$   
 $\Sigma M = M_r + (a-c) * R_b = 0$   
 $R_b = M_r / (a-c)$   
Typically  $a-c = 4"$   
Load share to individual standoff:  
 $R_a = R_b / n$  where n = number of standoff pairs, 2 or 3.

$R_u = R_v * F$  where F = either wind force or live load depending on which produced the greatest moment.  
 $R_u = R_v / n$

Standoff anchors - 3/8" stainless steel threaded rod to standoff and 3/8" rod to steel support.

Tensile area of 3/8" threaded rod (UNC) = 0.0775 in<sup>2</sup>  
Rod strength = (0.6\*75ksi) \* 0.0775 in<sup>2</sup> = 3.487#  
Check thread strength into standoff - minimum thread embed = 3/8"  
Internal thread stripping area = 0.828 in<sup>2</sup> for 3/8 - 16 threads  
Allowable load on threads = 0.58 \* A<sub>st</sub> \* F<sub>u</sub> / 3 = 0.58 \* 0.828 \* (3/8) \* 45ksi / 3 = 2,700#  
Allowable shear strength = 0.3\*75 ksi \* 0.0775 in<sup>2</sup> = 1,744#

Standoff welded to plate - 1/8" fillet weld: (welded option)  
 $T_u = 0.9 * 1/8" * \pi * 2^2 * 40 \text{ ksi} / 1.6 = 17.7 \text{ k}$   
 $V_u = 0.3 * 17.7 \text{ k} = 5.3 \text{ k}$

For welded standoff case the button attachment strength limits the loading.

Determine tension and shear on mounting stud:  
From  $\Sigma$  forces:  
Vertical loads will increase tension force in mounting stud:  
 $T = T_{st} * V^2 / 1"$

Check Interaction of shear and tension.  
Check combined tension and shear on anchors:  
 $H_u + V_{st} = 0.44 < 1.2 \text{ OK}$   
2,700# + 1,744

Example for a glass light, 3/4" x 52" tall x 84" long with 25 psf wind loading:  
 $D = 9.8' (7 * 4.333') / 2 = 149\text{#} < 1,744\text{#}$   
Tension component of reaction  
 $W = 25 \text{ psf} * 3.667^2 / 2 = 321\text{#}$  to standoff  
 $M_u = 25 \text{ psf} * 3.667^2 / 2 / 0.55 = 647.1\text{#}$   
 $R_b = (647.1 * 12) / 4 = 1,941\text{#}$   
 $T = 2,262 + 149 * 2^2 / 1" = 2,560 < 2,700$

Combined tension and shear:  
 $2,560\text{#} + 149\text{#} = 1.03 < 1.2 \text{ OK}$   
 $2,700\text{#} = 1,744$

STANDOFF STRENGTH IS ADEQUATE FOR ALL ACCEPTABLE LIGHT SIZES.

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PRODUCT DATA: ROOFING MEMBRANE GREEN ROOF

Product Data Sheet  
Edition 11.2013.v1

**Sarnafil® G410 EnergySmart Roof Membrane**  
▲ 1.2 mm (48 mil) ▲ 1.5 mm (60 mil) ▲ 1.8 mm (72 mil)  
▲ 2.0 mm (80 mil) ▲ Feltback

**Description**  
The Sarnafil® G410 EnergySmart Roof membrane is a heat-weldable membrane produced with an integral fiberglass mat reinforcement for excellent dimensional stability, for use in a Sika® Sarnafil® Adhered System.

**Composition**  
The G410 EnergySmart Roof membrane is a high-quality, thermoplastic PVC membrane with a fiberglass reinforcement. The Sarnafil G410 roof membrane has a unique lacquer coating applied to the top of the membrane to reduce dirt pick up.  
Sika® Canada's EnergySmart Roof colour family consists of White, Tan, Light Grey, and Prime Green.

**Features**  
• Excellent dimensional stability  
• Meets LEED/Green Globe Requirements for Cool Roofing (see chart)  
• Awarded Platinum Certification under NSF/ANSI 347 Sustainable Single Ply Roofing  
• Recycled content (see chart)  
• Lacquer coating to reduce dirt pick up  
• Hot-air welded seams for long-term performance.  
• Proven membrane performance.

**Codes and Approvals:**  
Sika® Canada's Adhered Systems using G410 PVC membranes are classified by Underwriters Laboratories, Inc., Underwriters Laboratories of Canada, FIA Global, Miami-Dade and Florida Building Code. Sarnafil® membranes also meet the material requirements of the International Building Code. For more information, please visit the "technical downloads" section of our website.

**Packaging/Storage**  
Membrane rolls are wrapped in a protective film and strapped to a wood pallet.  
• Dimensions:  
EnergySmart Prime Green is available as 2 x 3 m (10 ft) wide.  
EnergySmart White, Tan and Light Grey are available as 3 m (10 ft) wide.  
• Thickness:  
1.2 mm (48 mil) / 1.5 mm (60 mil) / 1.8 mm (72 mil) / 2.0 mm (80 mil)  
• Weight (depending on thickness of membrane and feltbacking)  
2 m (10 ft) rolls weigh between 75 - 88 kg (165 - 195 lb)  
3 m (10 ft) rolls weigh between 120 - 170 kg (265 - 375 lb)

**Installation**  
G410 is installed by a Sika® Canada Authorized Applicator. After proper preparation of the substrate G410 is installed by Sarnafil adhesive in accordance with Sika Canada's Technical requirements and then pressed into place with a minimum 100 lb pressure roller. The G410 is then finished with Sarnafil® membranes using Sika® Sarnafil® hot air welding equipment. Different Sarnafil® adhesives require different application methods. Please consult Sika Canada's Adhesive Handbook for detailed installation procedures.

**Availability**  
The G410 roof membrane is available directly from Sika Canada Authorized Applicators when used with a Sarnafil® Roofing or Waterproofing System. Contact Sika Canada or visit www.sika.ca for further information.

**Warranty**  
Upon successful completion of the installed roof by the Sika Canada Authorized Applicator, Sika Canada can provide a Warranty to the Building Owner via the Authorized Applicator.



Maintenance  
The G410 roof membrane requires no maintenance. As a prudent preventative measure, Sika Canada recommends that the Owner or that the Owner's designated representative inspect the installed roof system for damage, plugged drains, weathered sealants, etc. at least twice a year and after storms.

Technical Support  
Sika Canada provides technical support. Technical staff is available to advise applicators as to the proper installation method.

**Technical Data** (in metric unless noted)

Parameters	ASTM Test Method	Requirement	1.2 mm (48 mil)	1.5 mm (60 mil)	1.8 mm (72 mil)	2.0 mm (80 mil)
Membrane Material			2.000	2.000	2.000	2.000
Overall Thickness	DOCS 1.14 (M1)	2.2 (M1)	1.5 (M1)	1.7 (M1)	2.0 (M1)	2.0 (M1)
Thickness Above Seams, min (mm)		0.41 (M1)	0.41 (M1)	0.76 (		



ENERGY COMPLIANCE FORMS

**CERTIFICATE OF COMPLIANCE**  
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01	02	03	04	05	06	07	08	09	10	11	12
01	Project Name	Leidy Residence									
02	Run Title	Title 24 Analysis									
03	Project Location	6216 Avenida Cresta									
04	City	La Jolla									
05	Standards Version	2019									
06	Zip code	92037									
07	Software Version	EnergyPro 8.1									
08	Climate Zone	7									
09	Front Orientation (deg / Cardinal)	0									
10	Building Type	Single family									
11	Number of Dwelling Units	1									
12	Project Scope	New Construction									
13	Number of Bedrooms	4									
14	Addition Cond. Floor Area (ft²)	0									
15	Number of Stories	3									
16	Existing Cond. Floor Area (ft²)	n/a									
17	Fenestration Average U-factor	0.41									
18	Total Cond. Floor Area (ft²)	8123									
19	Glazing Percentage (%)	38.78%									
20	ADU Bedroom Count	0									
21	ADU Conditioned Floor Area	0									
22	Is Natural Gas Available?	Yes									

**COMPLIANCE RESULTS**

01	Building Complies with Computer Performance	Yes
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.	Yes
03	This building incorporates one or more Special Features shown below	Yes

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 HERS Provider: CHEERS  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance  
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01	02	03	04	05	06	07	08	09	10	11	12
01	Energy Design Rating										
02	Standard Design	38.9	19.9								
03	Proposed Design	36.1	12	2.8		7.9					

**REQUIRED SPECIAL FEATURES**  
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.  
 • Battery System: 5 kWh (Self Utilization Credit taken)  
 • Indoor air quality, balanced fan  
 • Cool roof  
 • Window overhangs and/or fins  
 • Non-standard duct location (any location other than attic)

**HERS FEATURE SUMMARY**  
 The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF3s and CF3s are required to be completed in the HERS Registry.  
 Building-level Verifications:  
 • Quality insulation installation (QII)  
 • Indoor air quality verification  
 Cooling System Verifications:  
 • Minimum Airflow  
 • Verified SEER  
 • Verified SEER  
 • Verified Refrigerant Charge  
 • Fan Efficiency Watts/CFM  
 Heating System Verifications:  
 • None  
 HVAC Distribution System Verifications:  
 • Duct leakage testing  
 • Ducts located entirely in conditioned space confirmed by duct leakage testing  
 Domestic Hot Water System Verifications:  
 • None

**ENERGY USE SUMMARY**

Energy Use (kWh/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	9.97	8.08	1.89	19
Space Cooling	2.36	0.59	1.77	75
IAQ Ventilation	7.79	9.44	-1.65	-21.2
Water Heating	3.27	3.86	-0.59	-18
Self Utilization Credit	n/a	-1.4	1.4	n/a
Compliance Energy Total	23.39	20.57	2.82	12.1

**REQUIRED PV SYSTEMS - SIMPLIFIED**

01	02	03	04	05	06	07	08	09	10	11	12
01	DC System Size (kWdc)										
02	Exception	NA									
03	Module Type	Standard									
04	Array Type	Fixed (roof mount)									
05	Power Electronics	none									
06	CFI	false									
07	Azimuth (deg)	180									
08	Tilt Input	Degrees									
09	Array Angle (deg)	22									
10	Tilt: (k x 12)	4.85									
11	Inverter Eff. (%)	96									
12	Annual Solar Access (%)	100									

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01	02	03	04	05	06	
01	Control	Capacity (kW)	Charging Efficiency	Rate (kW/Rate (kW)	Discharging Efficiency	Rate (kW/Rate (kW)
02	Basic	5	0.95	n/a	0.95	n/a

**REQUIRED SPECIAL FEATURES**  
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 • Minimum Airflow  
 • Verified SEER  
 • Verified SEER  
 • Verified Refrigerant Charge  
 • Fan Efficiency Watts/CFM  
 Heating System Verifications:  
 • None  
 HVAC Distribution System Verifications:  
 • Duct leakage testing  
 • Ducts located entirely in conditioned space confirmed by duct leakage testing  
 Domestic Hot Water System Verifications:  
 • None

**ENERGY USE SUMMARY**

Energy Use (kWh/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	9.97	8.08	1.89	19
Space Cooling	2.36	0.59	1.77	75
IAQ Ventilation	7.79	9.44	-1.65	-21.2
Water Heating	3.27	3.86	-0.59	-18
Self Utilization Credit	n/a	-1.4	1.4	n/a
Compliance Energy Total	23.39	20.57	2.82	12.1

**REQUIRED PV SYSTEMS - SIMPLIFIED**

01	02	03	04	05	06	07	08	09	10	11	12
01	DC System Size (kWdc)										
02	Exception	NA									
03	Module Type	Standard									
04	Array Type	Fixed (roof mount)									
05	Power Electronics	none									
06	CFI	false									
07	Azimuth (deg)	180									
08	Tilt Input	Degrees									
09	Array Angle (deg)	22									
10	Tilt: (k x 12)	4.85									
11	Inverter Eff. (%)	96									
12	Annual Solar Access (%)	100									

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01	Project Name	Leidy Residence				
02	Run Title	Title 24 Analysis				
03	Project Location	6216 Avenida Cresta				
04	City	La Jolla				
05	Standards Version	2019				
06	Zip code	92037				
07	Software Version	EnergyPro 8.1				
08	Climate Zone	7				
09	Front Orientation (deg / Cardinal)	0				
10	Building Type	Single family				
11	Number of Dwelling Units	1				
12	Project Scope	New Construction				
13	Number of Bedrooms	4				
14	Addition Cond. Floor Area (ft²)	0				
15	Number of Stories	3				
16	Existing Cond. Floor Area (ft²)	n/a				
17	Fenestration Average U-factor	0.41				
18	Total Cond. Floor Area (ft²)	8123				
19	Glazing Percentage (%)	38.78%				
20	ADU Bedroom Count	0				
21	ADU Conditioned Floor Area	0				
22	Is Natural Gas Available?	Yes				

**REQUIRED SPECIAL FEATURES**  
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.  
 • Battery System: 5 kWh (Self Utilization Credit taken)  
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 • Indoor air quality verification  
 Cooling System Verifications:  
 • Minimum Airflow  
 • Verified SEER  
 • Verified SEER  
 • Verified Refrigerant Charge  
 • Fan Efficiency Watts/CFM  
 Heating System Verifications:  
 • None  
 HVAC Distribution System Verifications:  
 • Duct leakage testing  
 • Ducts located entirely in conditioned space confirmed by duct leakage testing  
 Domestic Hot Water System Verifications:  
 • None

**REQUIRED PV SYSTEMS - SIMPLIFIED**

01	02	03	04	05	06	07	08
01	Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)
02	South 12 Concrete Wall	Basement Floor Zone - Unit	12 Concrete Wall w/ R-15	0	Front	126	27
03	West 12 Concrete Wall	Basement Floor Zone - Unit	12 Concrete Wall w/ R-15	90	Left	234	226.391

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01	02	03	04	05	06	07	08
01	Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)
02	South 12 Concrete Wall	Basement Floor Zone - Unit	12 Concrete Wall w/ R-15	180	Back	41	37.5
03	West 12 Concrete Wall	Basement Floor Zone - Unit	12 Concrete Wall w/ R-15	270	Right	272	0
04	North Wall	Ground Floor Zone - Unit	R-21 Wall	0	Front	216	123.25
05	East Wall	Ground Floor Zone - Unit	R-21 Wall	90	Left	118	0
06	South Wall	Ground Floor Zone - Unit	R-21 Wall	180	Back	216	123.15
07	West Wall	Ground Floor Zone - Unit	R-21 Wall	270	Right	118	0
08	South 12 Concrete Wall 2	Basement Floor Zone - Unit	12 Concrete Wall w/ R-15	180	Back	287	29.5
09	West Wall 2	Basement Floor Zone - Unit	R-21 Wall	270	Right	249	0
10	North Wall 2	Ground Floor Zone - Unit	R-21 Wall	0	Front	394	104.86
11	East Wall 2	Ground Floor Zone - Unit	R-21 Wall	90	Left	50	0
12	South Wall 2	Ground Floor Zone - Unit	R-21 Wall	180	Back	394	264.36
13	West Wall 3	Ground Floor Zone - Unit	R-21 Wall	270	Right	279	213.526
14	North Wall 3	2nd Floor Zone - Unit 2	R-21 Wall	0	Front	352	58.47
15	East Wall 3	2nd Floor Zone - Unit 2	R-21 Wall	90	Left	38	0
16	South Wall 3	2nd Floor Zone - Unit 2	R-21 Wall	180	Back	430	212.196
17	West Wall 4	2nd Floor Zone - Unit 2	R-21 Wall	270	Right	285	179
18	North Wall 4	Basement Floor Zone - Unit	R-21 Wall	0	Front	144	56.3

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01	02	03	04	05	06	07	08
01	Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)
02	East Wall 4	Basement Floor Zone - Unit	R-21 Wall	90	Left	212	0
03	South 12 Concrete Wall 3	Basement Floor Zone - Unit	12 Concrete Wall w/ R-15	180	Back	452	27.25
04	West Wall 5	Basement Floor Zone - Unit	R-21 Wall	270	Right	49	0
05	North Wall 5	Ground Floor Zone - Unit	R-21 Wall	0	Front		



ENERGY COMPLIANCE FORMS (CONTINUED)

**CERTIFICATE OF COMPLIANCE**  
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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board
12 Concrete Wall w/ R-151	Underground Walls	Concrete / ICF / Brick	None	n/a	R-15 / None	0.061	Inside Finish: Gypsum Board Insulation/Furring: R-15 / no furring Mass Layer: 12 in. Concrete
R-19 Roof No Attic	Interior Ceiling	Wood Framed Ceiling	2x8 @ 16 in. O. C.	R-19	None / None	0.046	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-19 / 2x8 Ceiling Below Finish: Gypsum Board
R-0 Roof No Attic	Interior Ceiling	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-0	None / None	0.202	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no insul. / 2x4 Ceiling Below Finish: Gypsum Board

**BUILDING ENVELOPE - HERS VERIFICATION**

01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Required	Not Required	Not Required	n/a

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01	02	03	04	05	06	07
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (3)	n/a	None	n/a

01	02	03	04	05	06	07	08	09	10	11	12
Name	Heating Element Type	Tank Type	# Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff.	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition
DHW Heater 1	Gas	Consumer Instantaneous	3	0	0.97-UEF	200000-Btu/Hr	0	n/a	n/a	n/a	n/a

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/3	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

**SPACE CONDITIONING SYSTEMS**

01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count	
HVAC - Unit 11	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	Setback	New	NA	1	1	

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01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC - Unit 22	Heating and cooling system other	Heating Component 2	Cooling Component 2	HVAC Fan 2	Air Distribution System 2	Setback	New	NA	1	1
HVAC - Unit 33	Heating and cooling system other	Heating Component 3	Cooling Component 3	HVAC Fan 3	Air Distribution System 3	Setback	New	NA	1	1

01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-98
Heating Component 2	Central gas furnace	1	AFUE-98
Heating Component 3	Central gas furnace	1	AFUE-98

**HVAC - HEATING UNIT TYPES**

01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	13	20.5	Not Zonal	Single Speed	Cooling Component 1-hers-cool
Cooling Component 2	Central split AC	1	13	20.5	Not Zonal	Single Speed	Cooling Component 2-hers-cool
Cooling Component 3	Central split AC	1	13	20.5	Not Zonal	Single Speed	Cooling Component 3-hers-cool

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01	02	03	04	05	06
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge
Cooling Component 1-hers-cool	Required	350	Required	Required	Required
Cooling Component 2-hers-cool	Required	350	Required	Required	Required
Cooling Component 3-hers-cool	Required	350	Required	Required	Not Required

01	02	03	04	05	06	07	08	09	10	11	12
Name	Type	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification
Air Distribution System 1	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist
Air Distribution System 2	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 2-hers-dist
Air Distribution System 3	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 3-hers-dist

**HVAC - DISTRIBUTION SYSTEMS**

01	02	03	04	05	06	07	08	09	10	11	12
Name	Type	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification
Air Distribution System 1	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist
Air Distribution System 2	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 2-hers-dist
Air Distribution System 3	Conditioned space-entirely	Non-Verified	R-6	R-6	Conditioned Zone	Conditioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 3-hers-dist

Registration Number: 420-P010053416A-000-000-0000000-0000  
 Registration Date/Time: 05/20/2020 11:47  
 HERS Provider: CHEERS  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Report Version: 2019.1.108  
 Schema Version: rev 20200101  
 Report Generated: 2020-05-19 14:46:01

**CERTIFICATE OF COMPLIANCE**  
 Project Name: Leidy Residence  
 Calculation Date/Time: 2020-05-19T14:44:15-07:00  
 Calculation Description: Title 24 Analysis  
 Input File Name: 200661\_BL low glazing values.rbd19x

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01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	5.0	Required	Not Required	Not Required	Credit not taken	Not Required	No
Air Distribution System 2-hers-dist	Yes	5.0	Required	Not Required	Not Required	Credit not taken	Not Required	No
Air Distribution System 3-hers-dist	Yes	5.0	Required	Not Required	Not Required	Credit not taken	Not Required	No

**HVAC - FAN SYSTEMS**

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	HVAC Fan 1-hers-fan
HVAC Fan 2	HVAC Fan	0.45	HVAC Fan 2-hers-fan
HVAC Fan 3	HVAC Fan	0.45	HVAC Fan 3-hers-fan

**HVAC FAN SYSTEMS - HERS VERIFICATION**

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan 1-hers-fan	Required	0.45
HVAC Fan 2-hers-fan	Required	0.45
HVAC Fan 3-hers-fan	Required	0.45

Registration Number: 420-P010053416A-000-000-0000000-0000  
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CF1R-PRF-01E  
 (Page 18 of 19)

01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness (%)	IAQ Recovery Effectiveness - SRE/IAQ Recovery Effectiveness SRE
Sfam IAQVentRpt 1-1	118	0.898305	Balanced HRV	61	n/a
Sfam IAQVentRpt 2-1	118	0.898305	Balanced HRV	61	n/a
Sfam IAQVentRpt 3-1	118	0.898305	Balanced HRV	61	n/a

**RESPONSIBLE DESIGNER'S DECLARATION STATEMENT**

I certify the following under penalty of perjury under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Daryl Olesinski  
 Company: O + L Building Projects LLC  
 Address: 4509 Grand View Blvd.  
 City/State/Zip: Los Angeles, CA 90066  
 Date Signed: 05/20/2020  
 License: (310) 390-1650

Registration Number: 420-P010053416A-000-000-0000000-0000  
 Registration Date/Time: 05/20/2020 11:47  
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**CERTIFICATE OF COMPLIANCE**  
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CF1R-PRF-01E  
 (Page 19 of 19)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Brandon Lindquist  
 Signature Date: 05/20/2020  
 Address: 3235 N. Verdugo Rd.  
 City/State/Zip: Glendale, CA 91208  
 Phone: 818-957-7733

Registration Number: 420-P010053416A-000-000-0000000-0000  
 Registration Date/Time: 05/20/2020 11:47  
 HERS Provider: CHEERS  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Report Version: 2019.1.108  
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LA JOLLA RESIDENCE # 1806



O+ L BUILDING PROJECTS LLC  
 4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

06.09.2021: CDP Hearing  
 05.12.2021: CDP Hearing  
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 05.20.2019: Issue to Consultants  
 05.10.2019: Design Development 1  
 02.11.2019: Preliminary Design Presentation  
 02.11.2019: Original Drawing Preparation Date

PROJECT LOG:

Leidy Residence  
 6216 Avenida Cresta, La Jolla, CA 92037

TITLE 24  
 NO SCALE  
 T1.2b

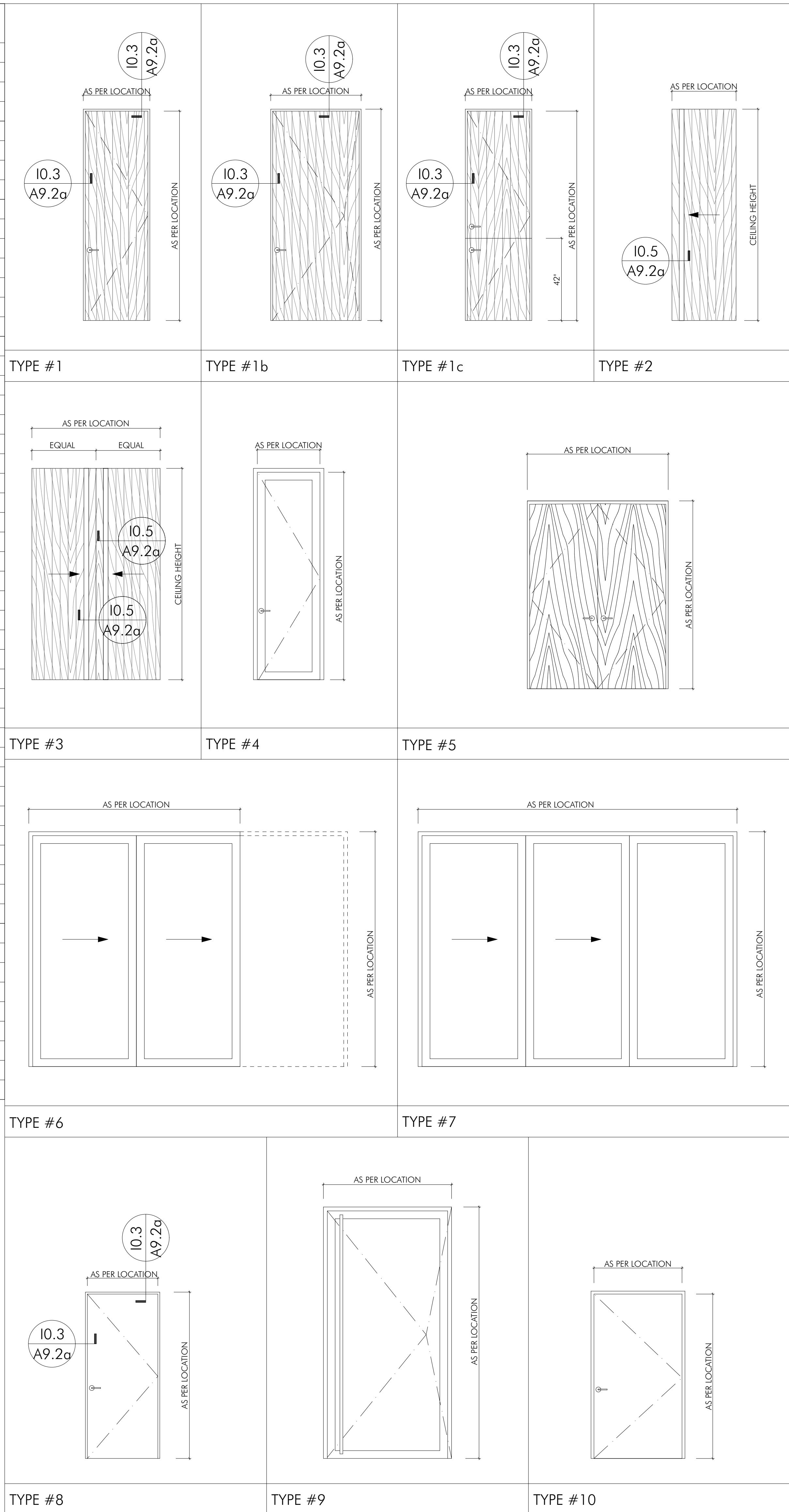
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DOOR SCHEDULE																		
MARKER	ROOM NAME	TYP #	SIZE			MANUF.	DESCRIPTION	DOOR	FRAME	FINISH		HARDWARE: HINGE		HARDWARE: HANDLE / PULL	GLAZING	DETAILS		REMARKS
			W	H	T					DOOR	FRAME	MANUF / #	MANUF / #			HEAD	JAMB	
1/001	HALL	#4	35"	97"	4"	FLEETWOOD	SINGLE LIGHT FRENCH 3200-T	PAINT	PAINT	PAINT	PAINT	AS PER MANUF.	SEE REMARKS	DUAL / TEMP				FSB NML-B-1076-RA-S-6204-200-NI
2/001	HALL	#1	36"	105"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					20 MINUTE RATED DOOR ASSEMBLY W/ SELF CLOSING HINGES AND Q-LON GASKET
1/002	WORKSHOP	#1	32"	99"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/003	GARAGE		21'4"	95"														
1/004	ELEVATOR EQUIPMENT	#1	32"	105"	1 3/4"	CUSTOM		STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/005	UTILITY	#1	36"	105"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/006	MECHANICAL	#1	36"	105"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/007	W. Q. LIVING/ BEDROOM	#1	36"	98"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					20 MINUTE RATED DOOR ASSEMBLY W/ SELF CLOSING HINGES AND Q-LON GASKET
2/007	W. Q. LIVING/ BEDROOM	#4	50"	94"	4"	FLEETWOOD	SINGLE LIGHT FRENCH 3200-T	PAINT	PAINT	PAINT	PAINT	AS PER MANUF.	SEE REMARKS	DUAL / TEMP				FSB NML-B-1076-RA-S-6204-200-NI
1/008	BATH	#2	32"	95"	1 3/4"	CUSTOM	S.C. SLAB POCKET	STAIN GRADE	STAIN GRADE	STAIN	STAIN	TEKTRIM	FSB 42 4255					
2/008	BATH	#1	32"	94"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/007	W. Q. LIVING/ BEDROOM	#1	36"	98"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/101	FAMILY ROOM	#4	36"	106"	4"	FLEETWOOD	SINGLE LIGHT FRENCH 3200-T	PAINT	PAINT	PAINT	PAINT	AS PER MANUF.	SEE REMARKS	DUAL / TEMP				FSB NML-B-1076-RA-S-6204-200-NI
2/101	FAMILY ROOM	#6	241 1/2"	120"	4"	FLEETWOOD	POCKET SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT							
3/101	FAMILY ROOM	#6	332"	120"	4"	FLEETWOOD	POCKET SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT							
1/102	KITCHEN	#4	36"	106"	4"	FLEETWOOD	SINGLE LIGHT FRENCH 3200-T	PAINT	PAINT	PAINT	PAINT	AS PER MANUF.	SEE REMARKS	DUAL / TEMP				FSB NML-B-1076-RA-S-6204-200-NI
1/103	DINING	#6	106"	114"	4"	FLEETWOOD	POCKET SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT							
1/104	ENTRY	#9	109"	116 1/2"	4"	FLEETWOOD	OFFSET PIVOT	PAINT	PAINT	PAINT	PAINT	RIXSON	CUSTOM	DUAL / TEMP				
2/104	ENTRY	#1	36"	117 1/2"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					20 MINUTE RATED DOOR ASSEMBLY W/ SELF CLOSING HINGES AND Q-LON GASKET
1/105	BATH	#1	36"	117 1/2"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/106	CLOSET	#1	32"	117 1/2"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/107	BEDROOM	#1c	36"	117 1/2"	1 3/4"	CUSTOM	DUTCH DOOR	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/108	POWDER	#1	32"	117 1/2"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/109	LIVING	#7	238"	118 1/2"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
2/109	LIVING	#7	238"	118 1/2"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
1/110	GARDEN EQUIPMENT	#7	95 1/2"	102"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
2/110	GARDEN EQUIPMENT	#7	95 1/2"	102"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
1/111	BATH	#1	32"	101"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/112	COMPANION UNIT	#7	143"	102"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
2/112	COMPANION UNIT	#7	143"	102"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
1/202	MASTER BEDROOM	#6	156"	108"	4"	FLEETWOOD	POCKET SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
2/202	MASTER BEDROOM	#6	180"	108"	4"	FLEETWOOD	POCKET SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
3/202	MASTER BEDROOM	#1b	52"	107"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/204	TOILET	#1	32"	107"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/207	BATH	#1	32"	107"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/208	TOILET	#2	32"	108"	1 3/4"	CUSTOM	S.C. SLAB POCKET	STAIN GRADE	STAIN GRADE	STAIN	STAIN	TEKTRIM	FSB 42 4255					
1/209	BEDROOM	#1	36"	107"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/210	STUDY	#2	40"	108"	1 3/4"	CUSTOM	S.C. SLAB POCKET	STAIN GRADE	STAIN GRADE	STAIN	STAIN	TEKTRIM	FSB 42 4255					
1/211	PLAY ROOM	#7	264"	120"	4"	FLEETWOOD	SLIDER 4070-T	PAINT	PAINT	PAINT	PAINT			DUAL / TEMP				
2/211	PLAY ROOM	#1	36"	119"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					20 MINUTE RATED DOOR ASSEMBLY W/ SELF CLOSING HINGES AND Q-LON GASKET
1/212	BATH	#1	32"	101"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/213	CLOSET	#1	32"	101"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/214	BEDROOM	#1	36"	119"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					
1/215	POWDER	#1	32"	119"	1 3/4"	CUSTOM	S.C. SLAB	STAIN GRADE	STAIN GRADE	STAIN	STAIN	SOSS 41855	FSB 10 1108 09					



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LA JOLLA RESIDENCE # 1806

O+ L BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

PROJECT LOG:

06.09.2021: CDP Hearing  
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 02.11.2019: Original Drawing Preparation Date

**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

DOOR SCHEDULE

NO SCALE

**T1.3a**

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/Users/klhokur/Dropbox/2018 Projects/1806 La Jolla Residence/1806 Archical Files/1806 La Jolla Residence.pln 05/28/2021

WINDOW SCHEDULE																	
MARKER	ROOM NAME	TYP #	SIZE			TYPE		MATERIAL	FINISH		HARDWARE		GLAZING	DETAILS			REMARKS
			W	H	T	MANUF	DESCRIPTION		INT.	EXT.	MANUF	TYPE		HEAD	JAMB	SILL	
A/001	HALL		58"	108"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/001	HALL		58"	130"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/001	HALL		47 3/4"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/001	HALL		47 3/4"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
E/001	HALL		47 3/4"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
F/001	HALL		47 3/4"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
G/001	HALL		49"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
H/001	HALL		49"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
I/001	HALL		49"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
J/001	HALL		49"	96"	4"		FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/007	W. Q. LIVING/ BEDROOM		55 1/2"	96"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/007	W. Q. LIVING/ BEDROOM		57"	96"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/007	W. Q. LIVING/ BEDROOM		57"	96"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/007	W. Q. LIVING/ BEDROOM		57"	96"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
E/007	W. Q. LIVING/ BEDROOM		57"	96"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/101	FAMILY ROOM		15'	108"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/101	FAMILY ROOM		44"	22"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/101	FAMILY ROOM		85"	22"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/101	FAMILY ROOM		85"	22"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/102	KITCHEN		85"	22"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/102	KITCHEN		85"	22"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/103	DINING		18"	114"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/104	ENRTY		38"	118 1/2"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/104	ENRTY		58"	140"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/104	ENRTY		58"	118"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/104	ENRTY		64"	94 1/2"	4"	ARCADIA / FLEETWOOD	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/105	BATH		36"	118 1/2"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/107	BEDROOM		115"	24"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/107	BEDROOM		35 1/2"	24"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/107	BEDROOM		36"	118 1/2"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/108	POWDER		18"	118 1/2"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/109	LIVING		70 3/4"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/109	LIVING		70 3/4"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/109	LIVING		70 3/4"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/109	LIVING		70 3/4"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/202	MASTER BEDROOM		139"	84"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/202	MASTER BEDROOM		36"	84"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/203	MASTER BATH		24"	78"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/203	MASTER BATH		53"	78"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/203	MASTER BATH		24"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/203	MASTER BATH		111"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
E/203	MASTER BATH		55"	20"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
F/203	MASTER BATH		55"	20"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/204	TOILET		36"	20"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/205	CLOSET		82 1/2"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/205	CLOSET		82 1/2"	20"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/207	BATH		41"	84"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/207	BATH		21"	20"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/208	TOILET		78"	20"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/209	BEDROOM		60"	84"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/209	BEDROOM		38"	84"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/210	STUDY		38"	78"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/210	STUDY		57 1/2"	78"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/211	PLAY ROOM		38"	120"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/211	PLAY ROOM		38"	120"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/211	PLAY ROOM		36"	124"	4"	ARCADIA / FLEETWOOD	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
D/211	PLAY ROOM		84"	124"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
E/211	PLAY ROOM		76"	42"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
F/211	PLAY ROOM		44"	42"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
G/211	PLAY ROOM		60"	16"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
H/211	PLAY ROOM		60"	16"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
I/211	PLAY ROOM		60"	16"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
J/211	PLAY ROOM		60"	16"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
K/211	PLAY ROOM		60"	16"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/212	BATH		36"	71 1/2"	4"	FLEETWOOD	CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/212	BATH		48"	24"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/214	BEDROOM		36"	120"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
B/214	BEDROOM		81"	120"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
C/214	BEDROOM		34"	120"	4"	ARCADIA / FLEETWOOD	FIXED / CASEMENT 450-T	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				
A/215	POWDER		18"	120"	4"	ARCADIA	FIXED	ALUMINUM	PAINTED	PAINTED	AS PER MANUF.	AS PER MANUF.	DUAL / TEMP.				

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LA JOLLA RESIDENCE # 1806



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PROJECT LOG:

WINDOW SCHEDULE

NO SCALE

T1.3b

Sheet No. 9 / 62

Leidy Residence  
 6216 Avenida Cresta, La Jolla, CA 92037

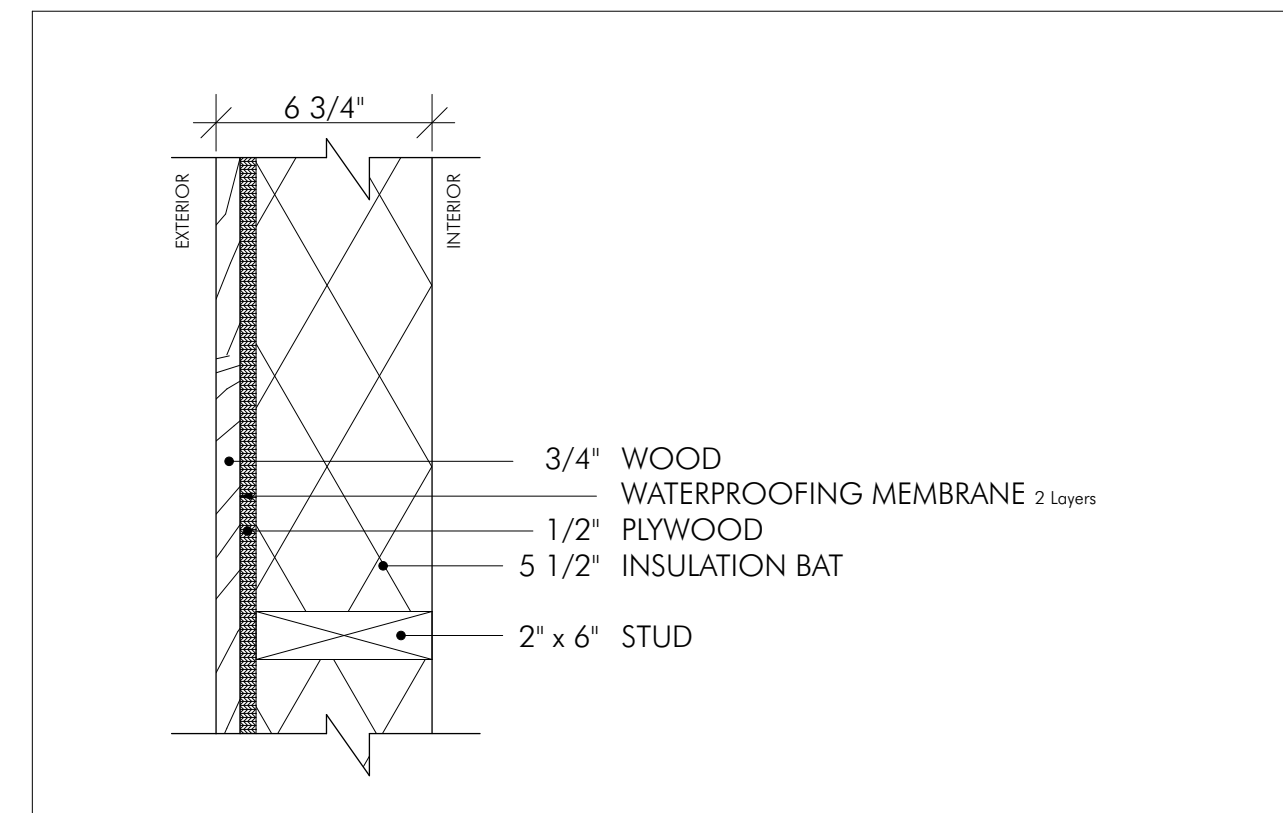
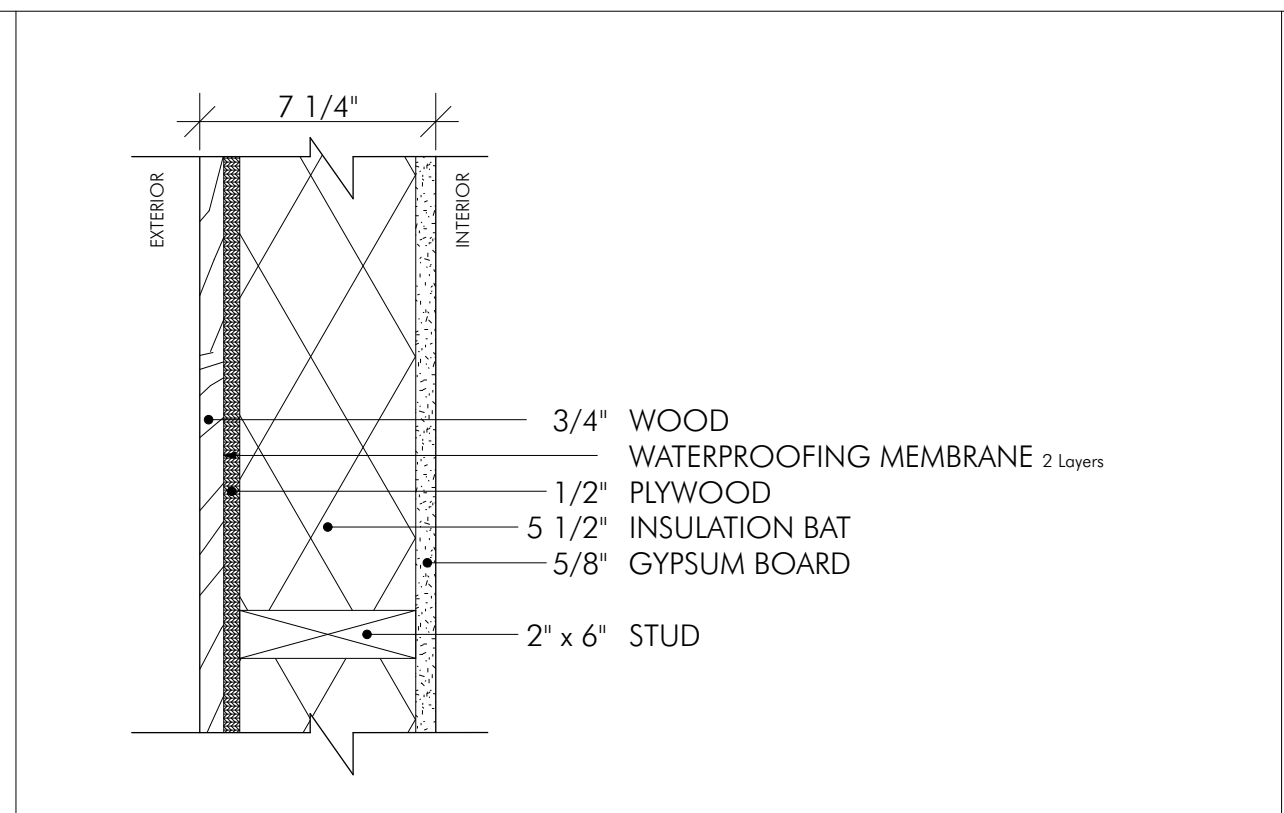
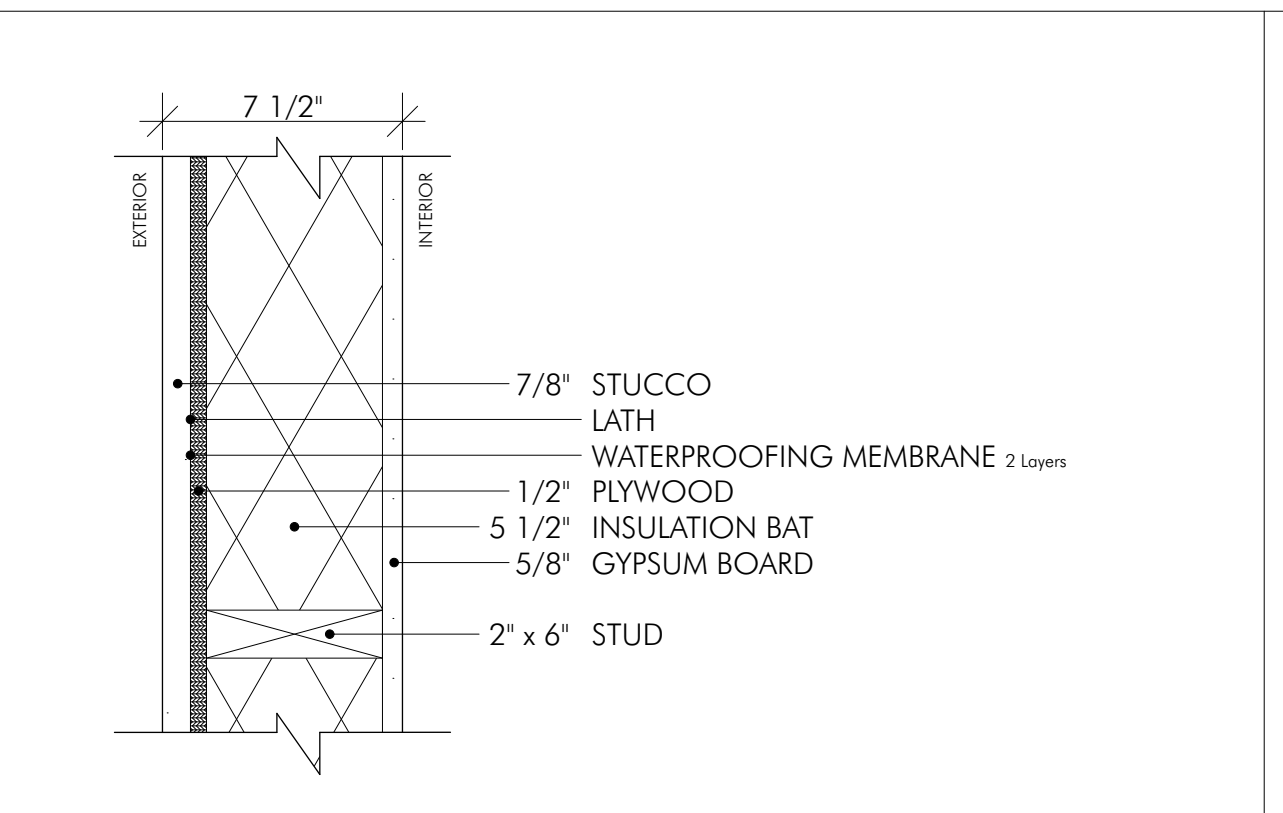
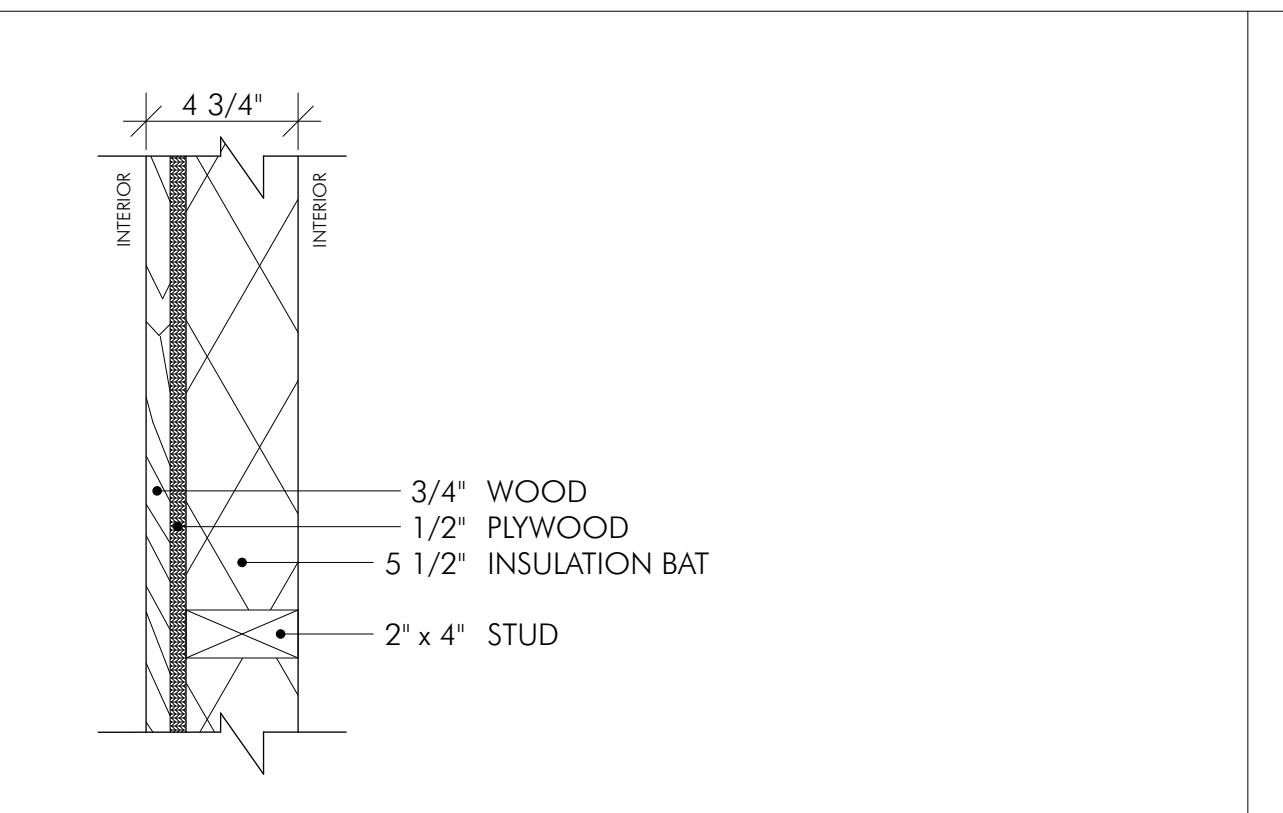
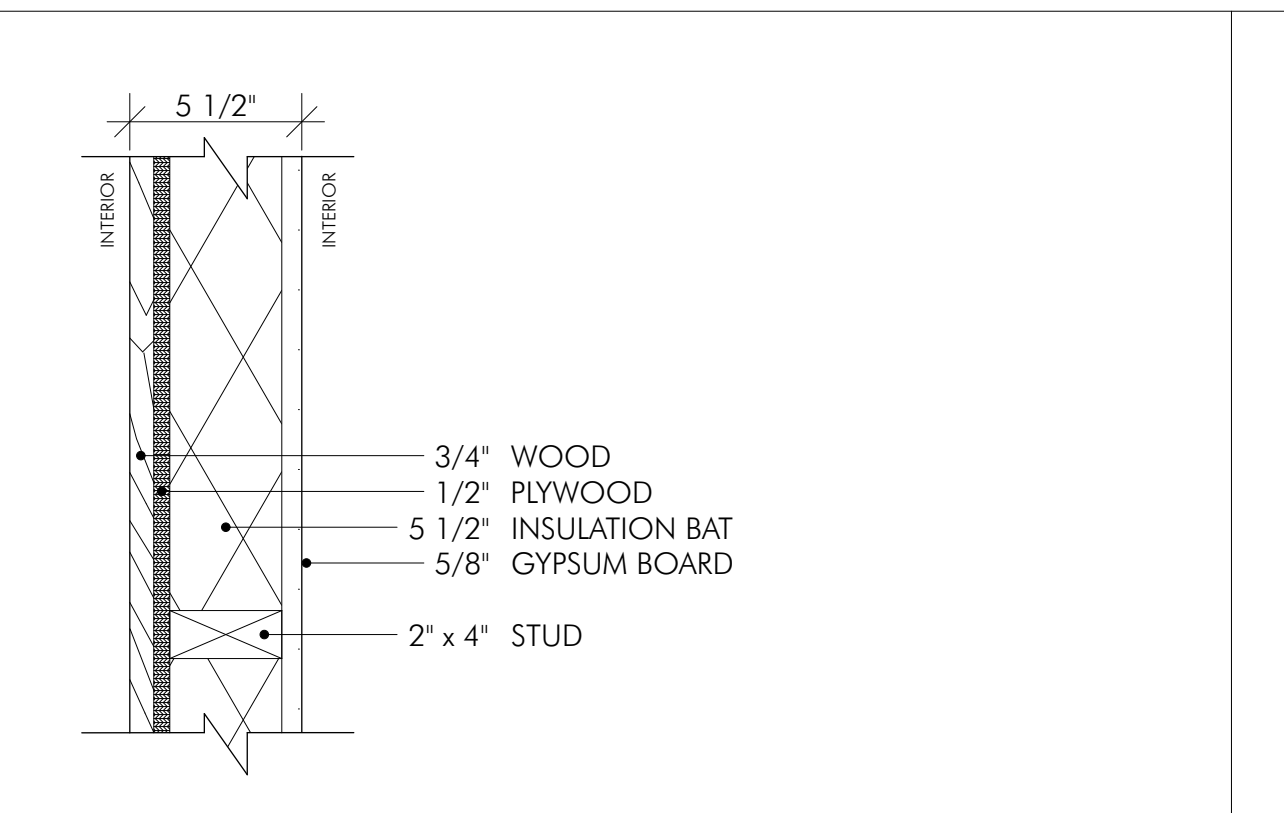
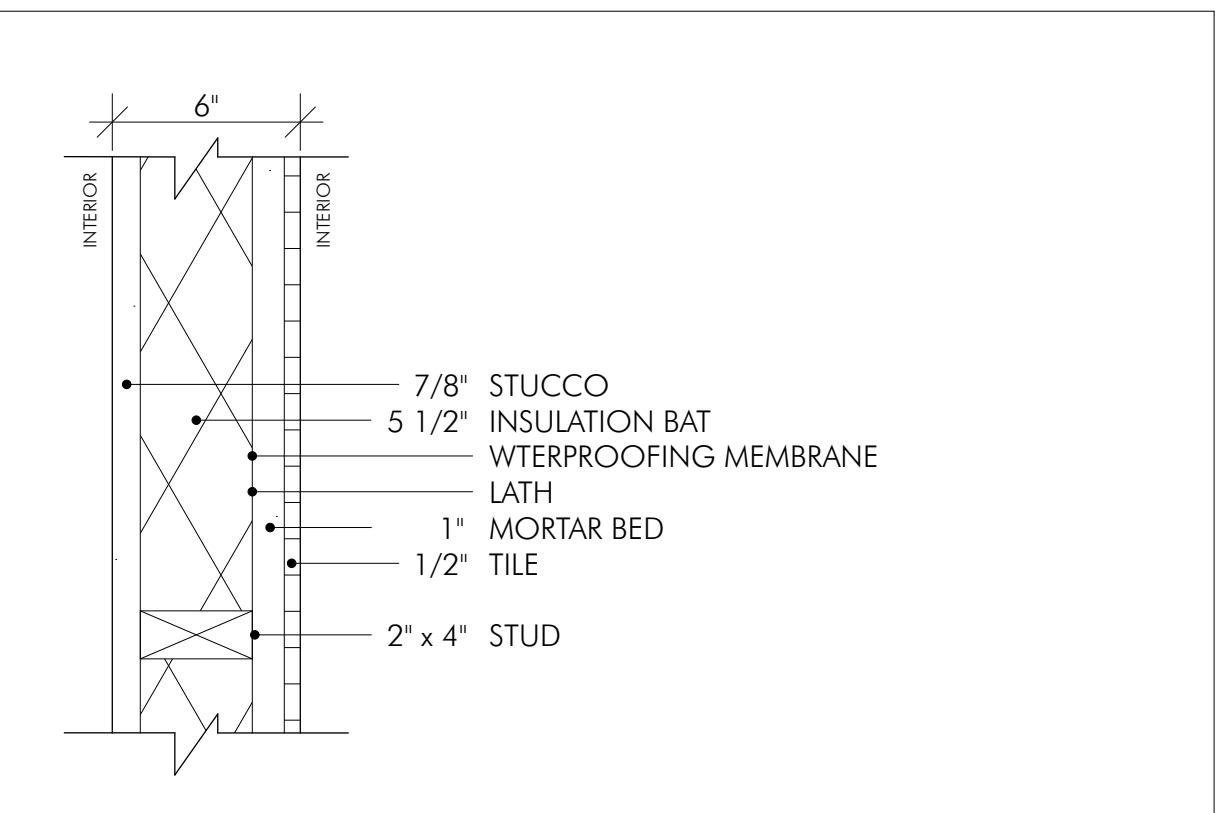
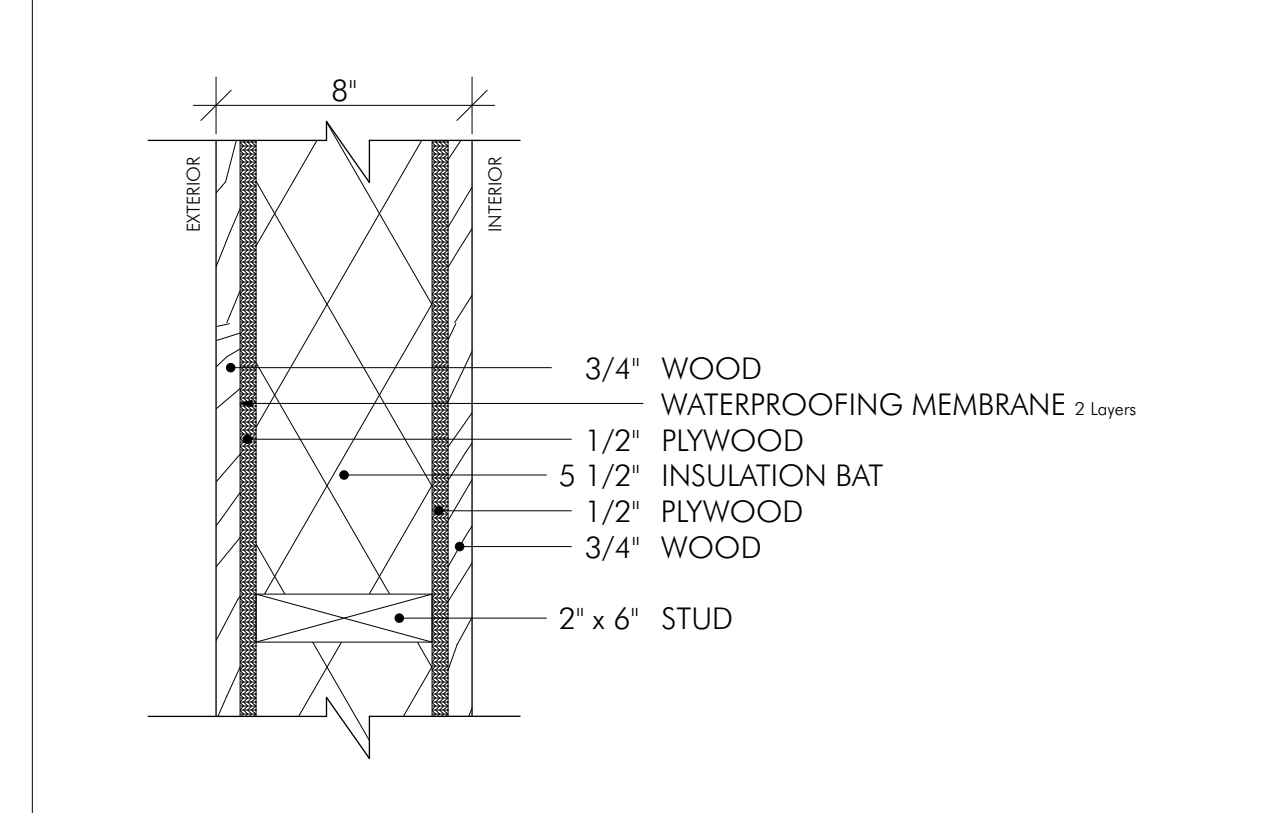
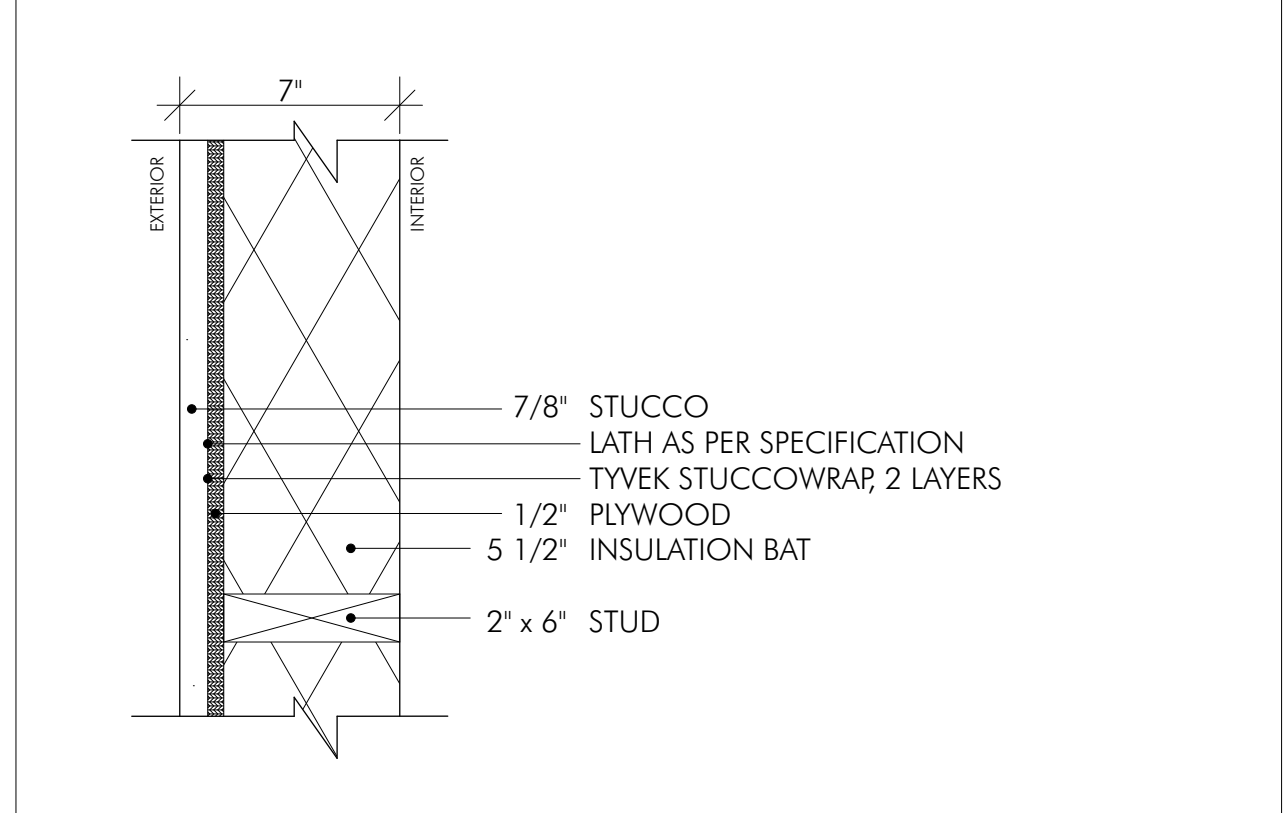
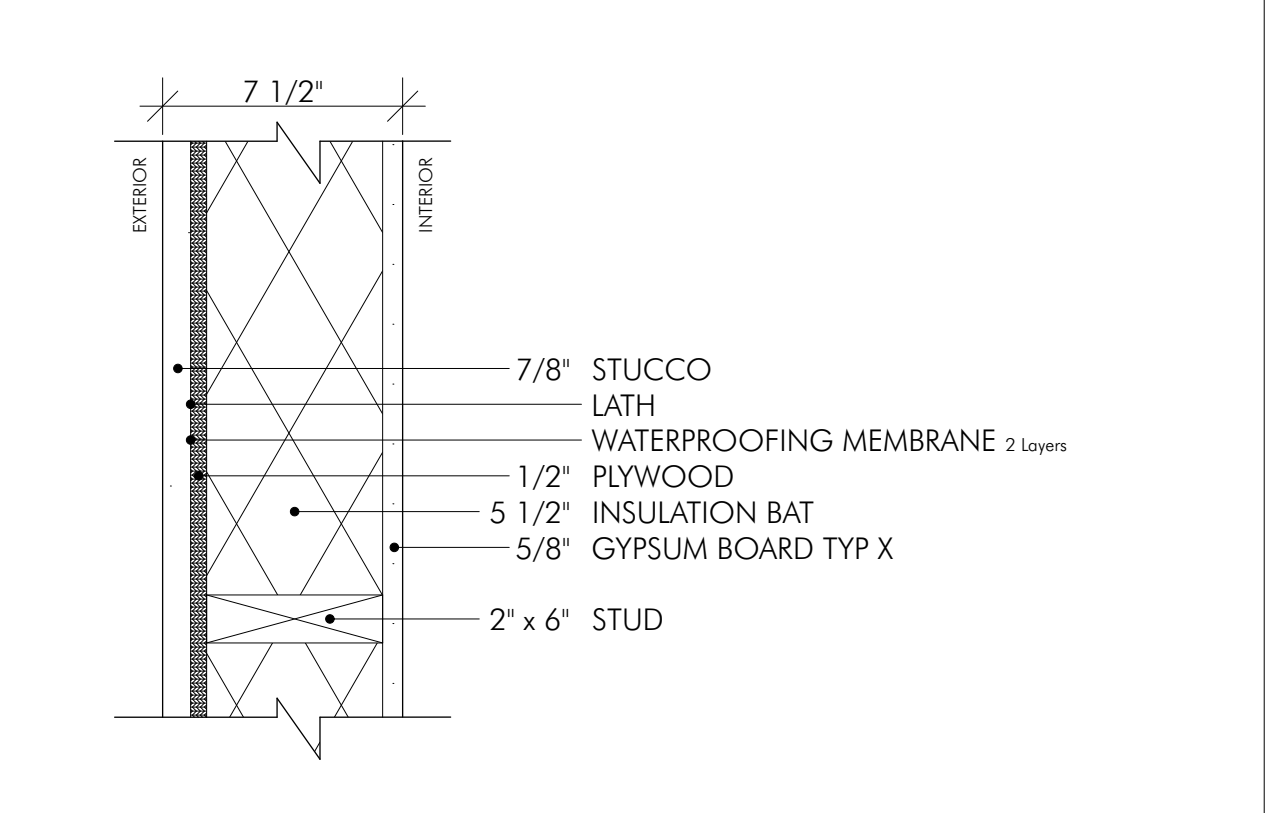
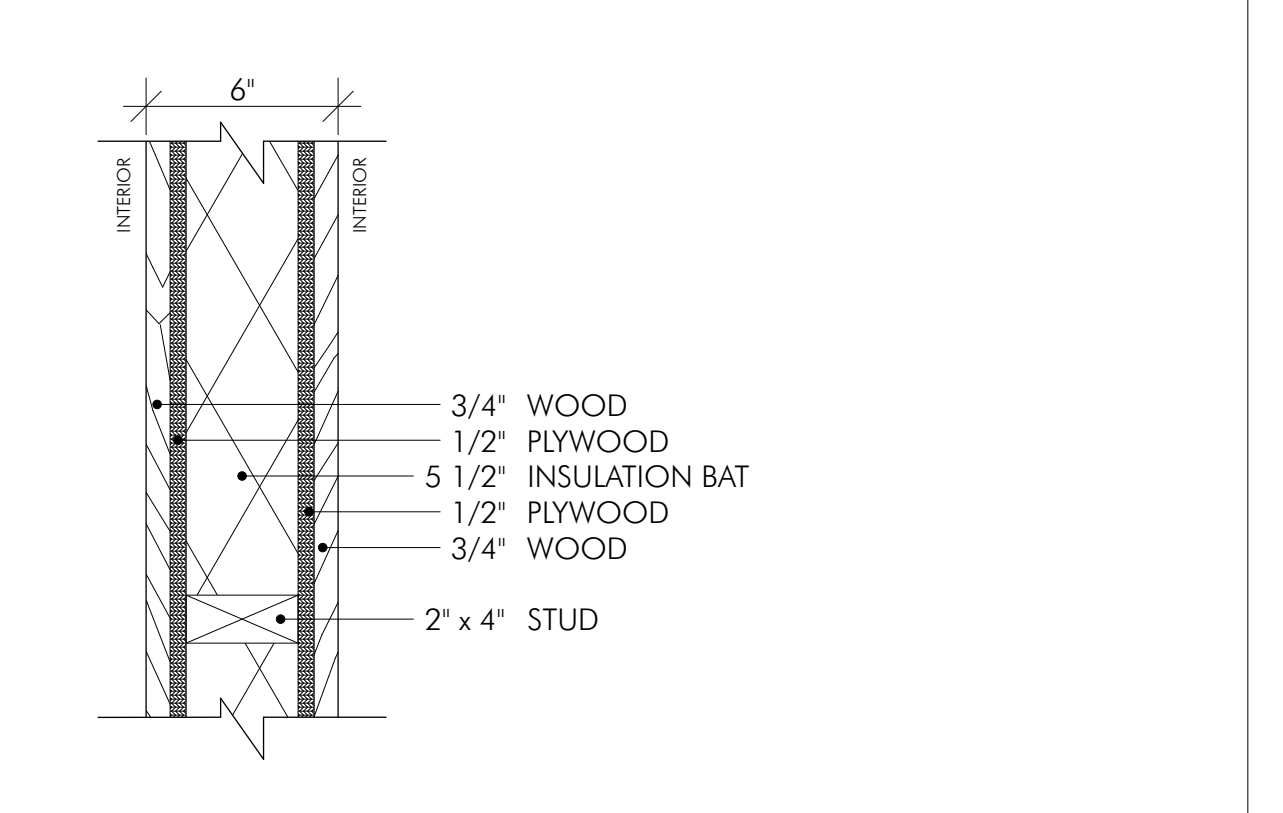
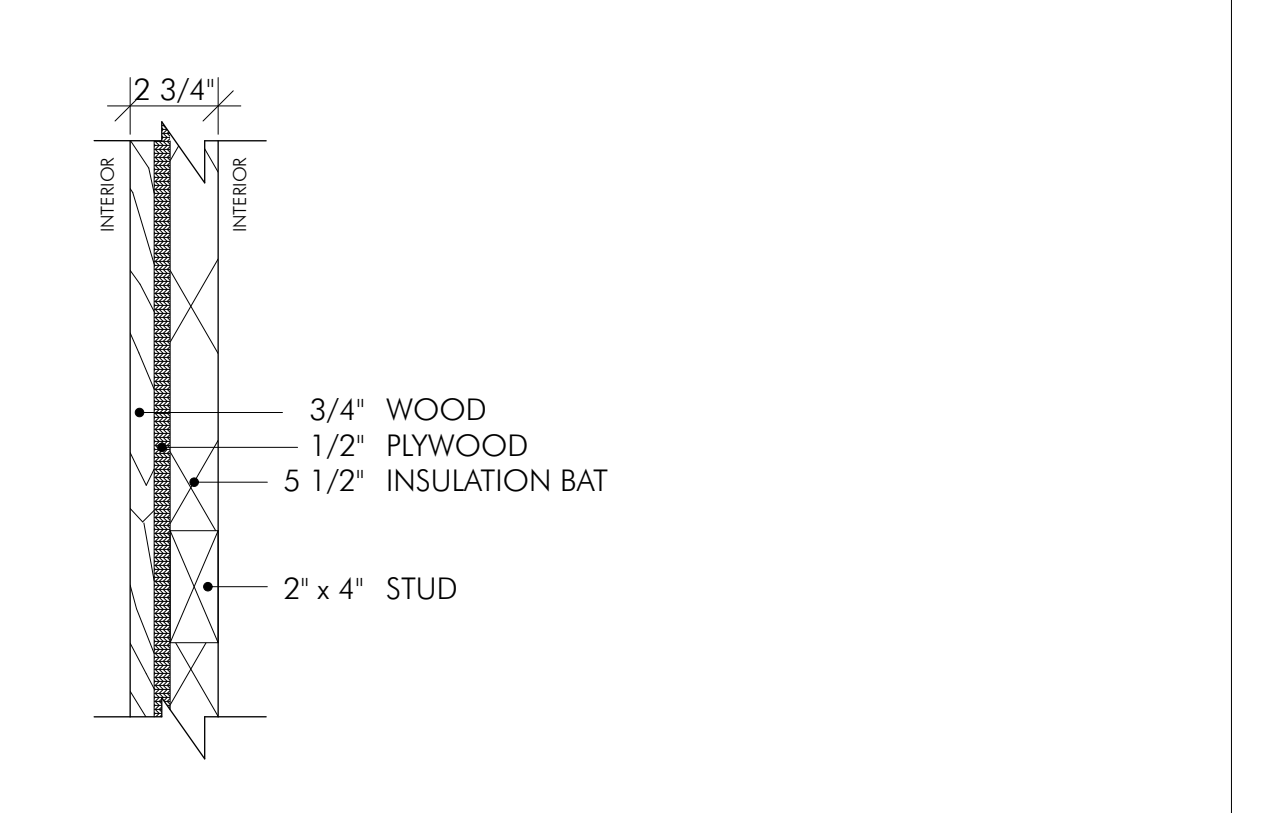
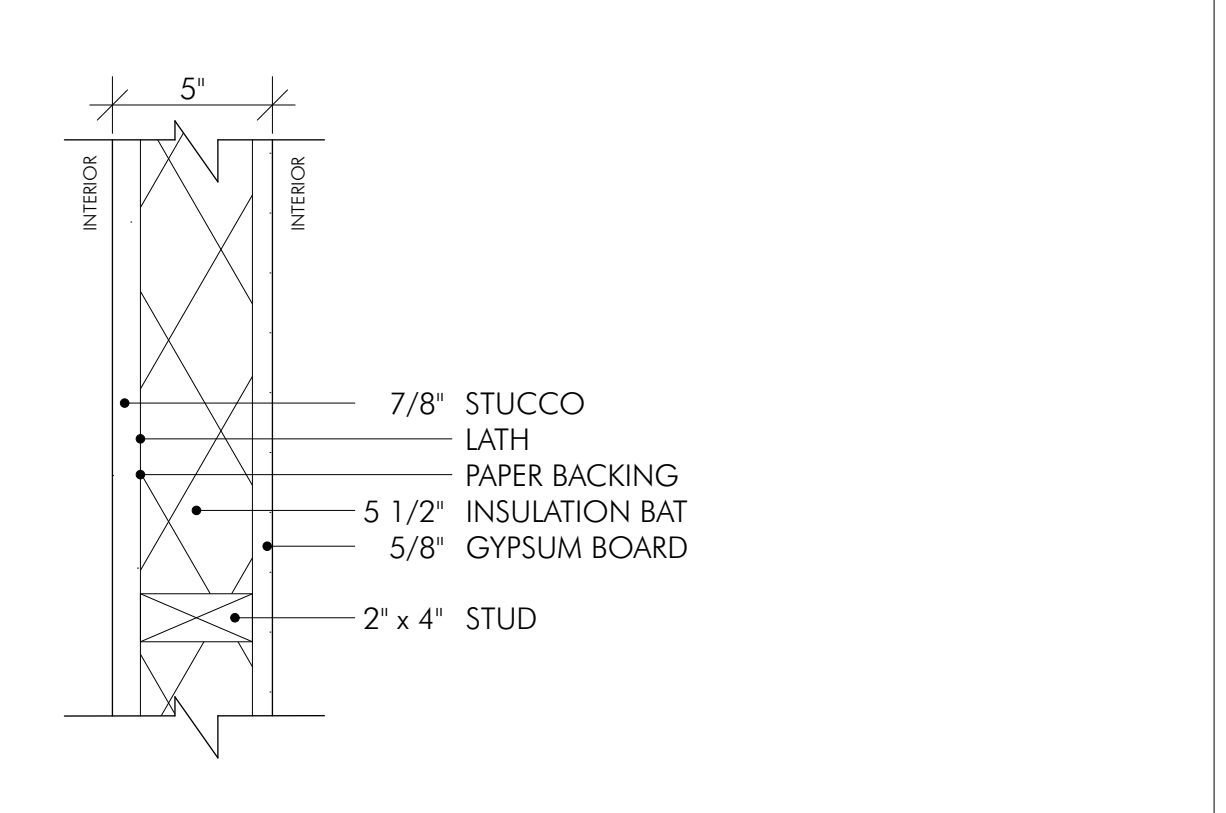
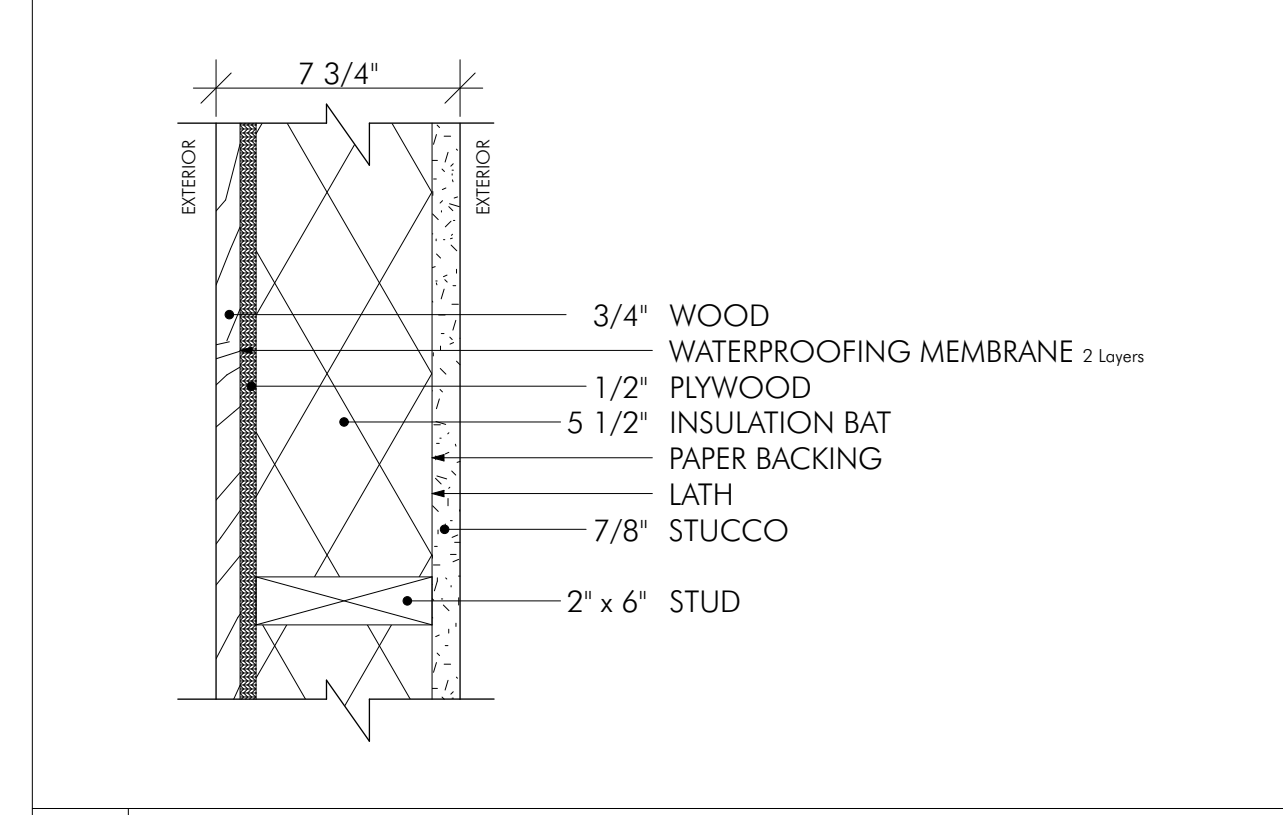
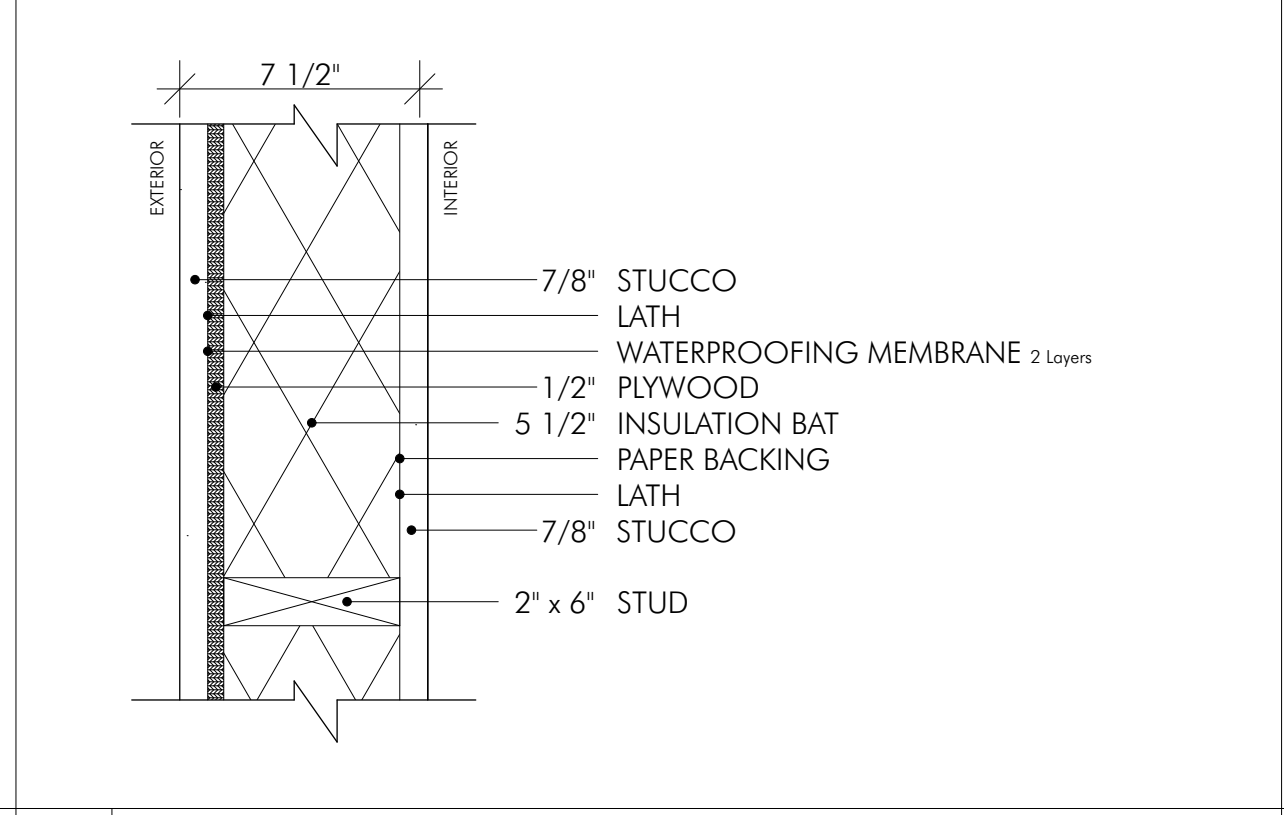
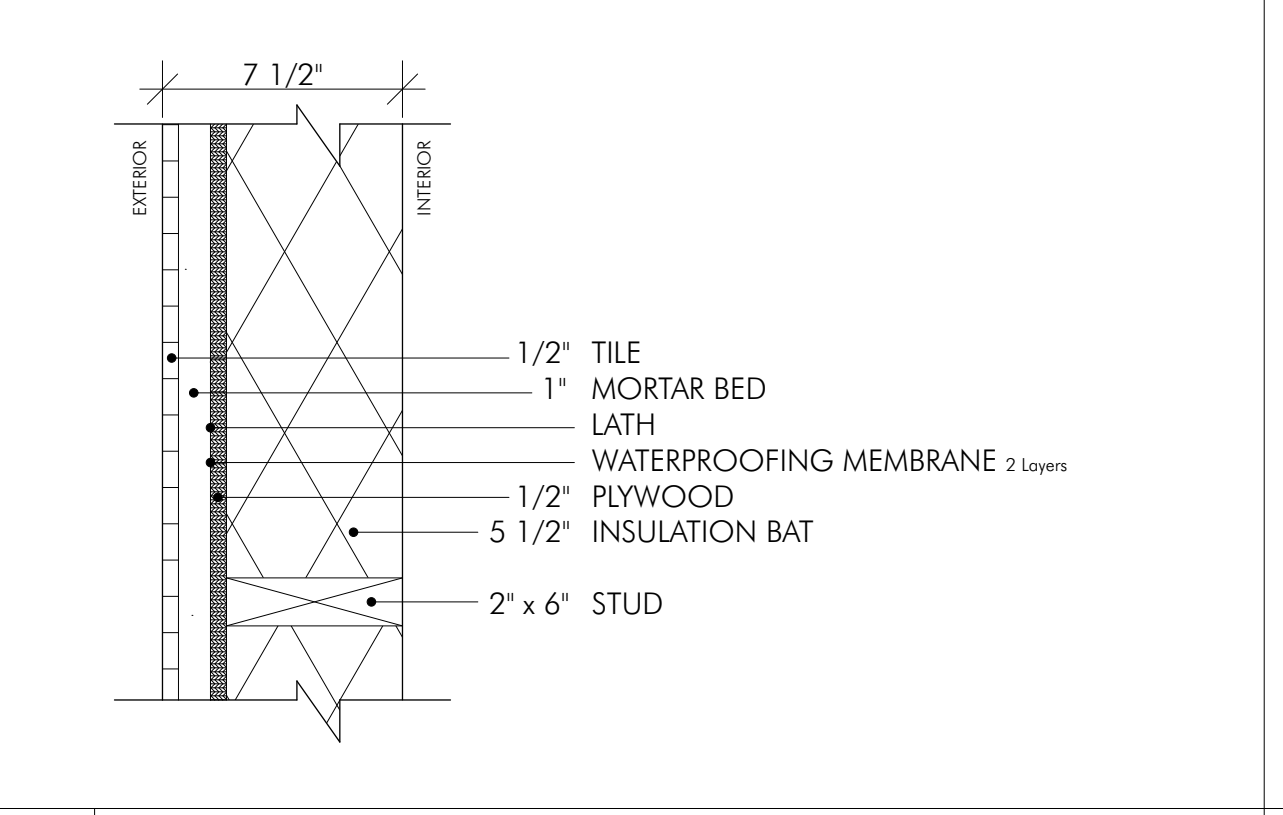
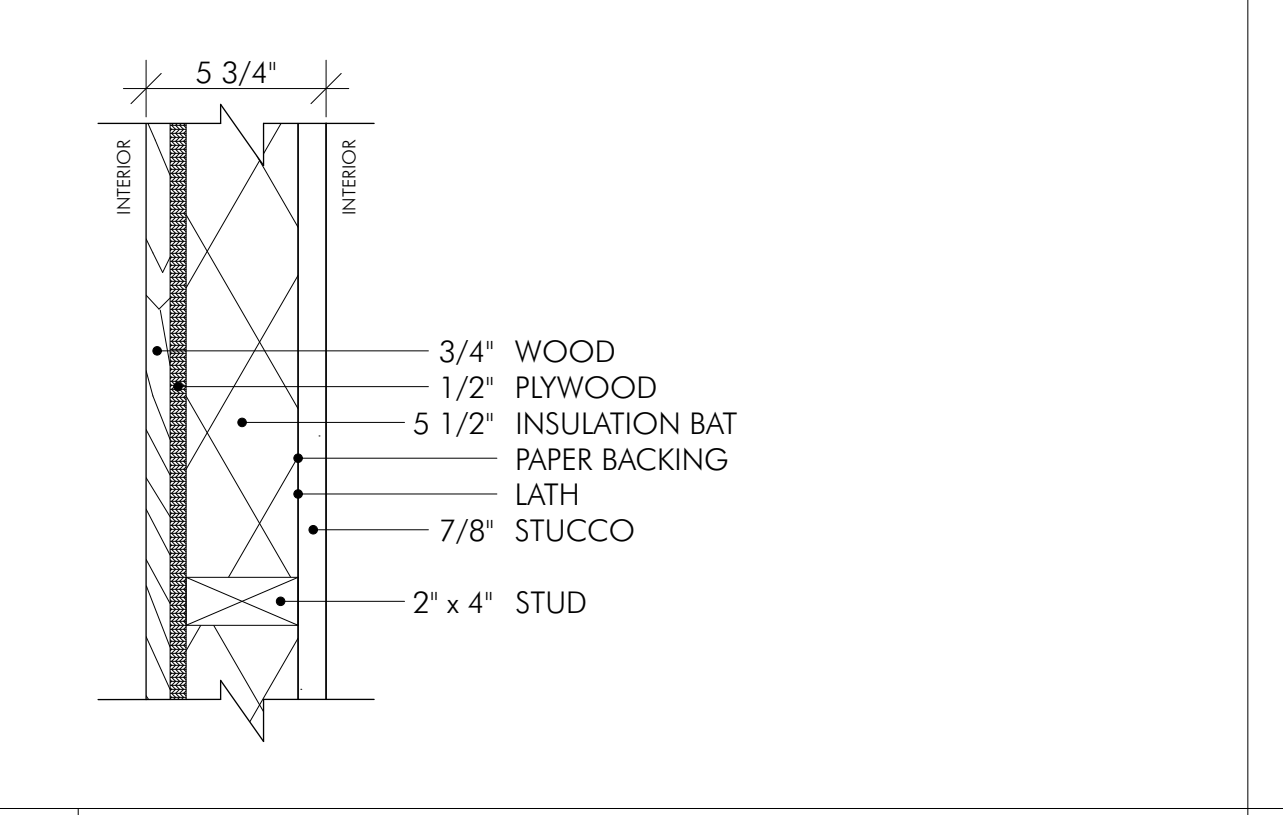
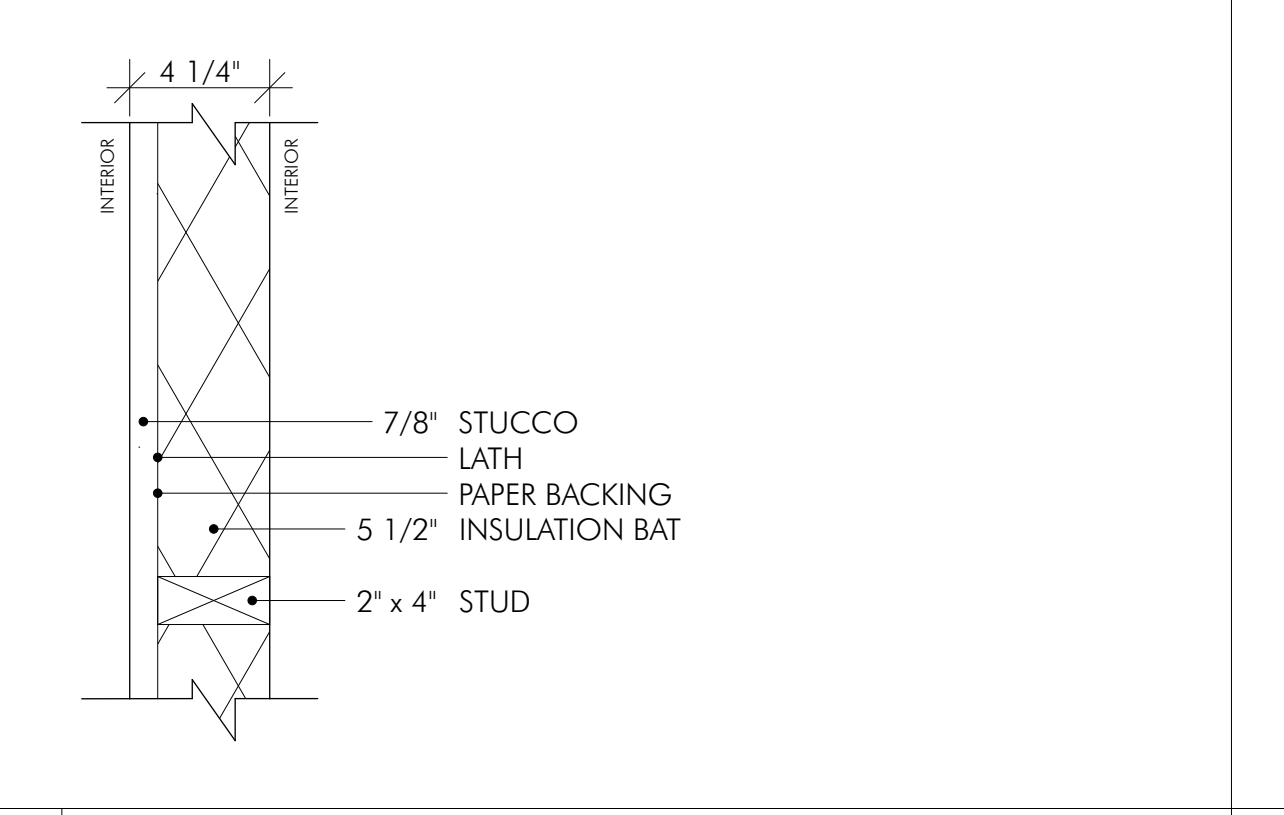
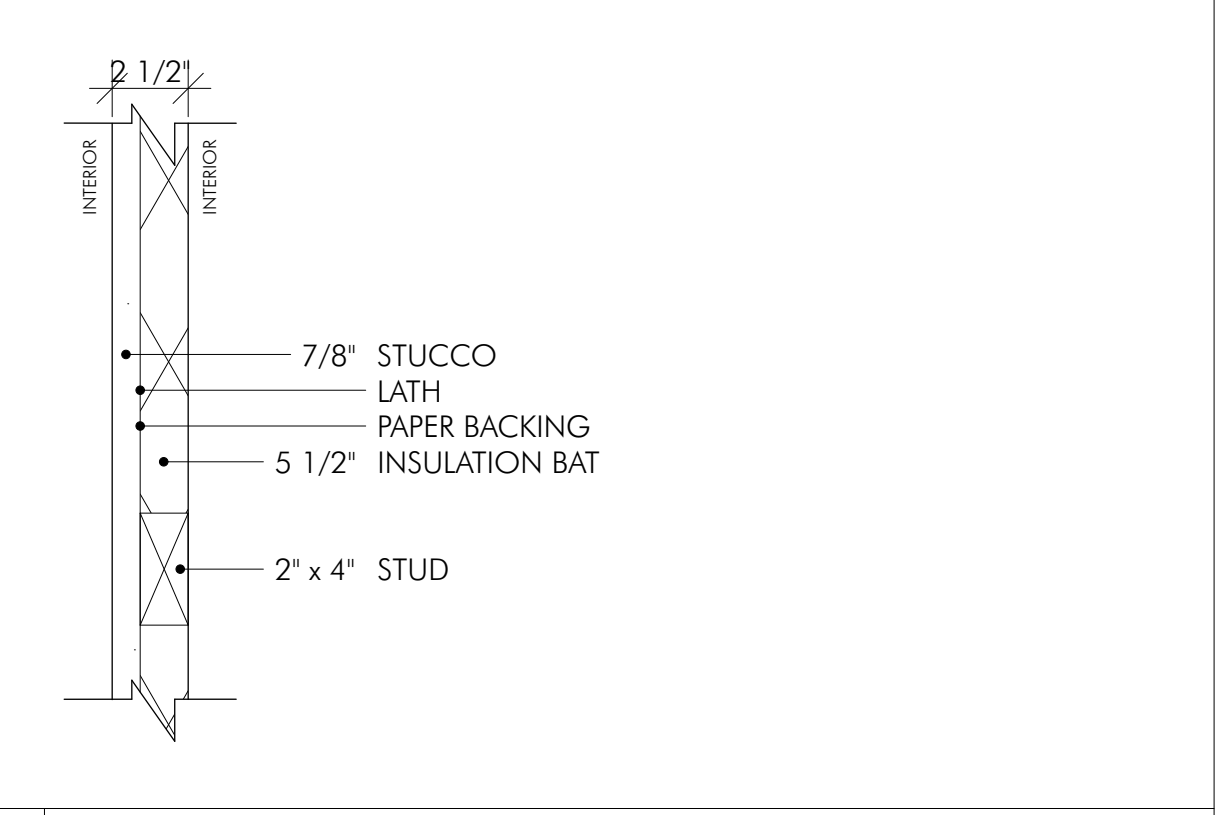
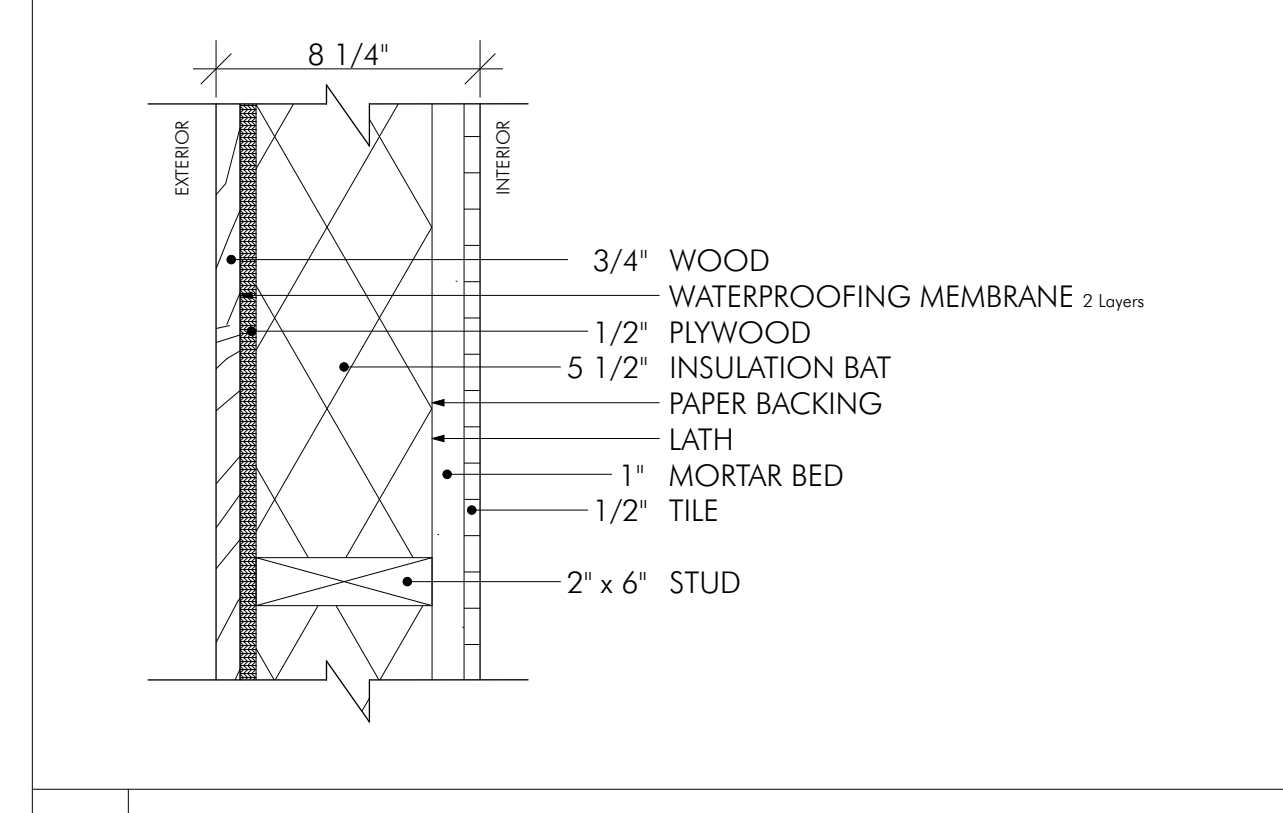
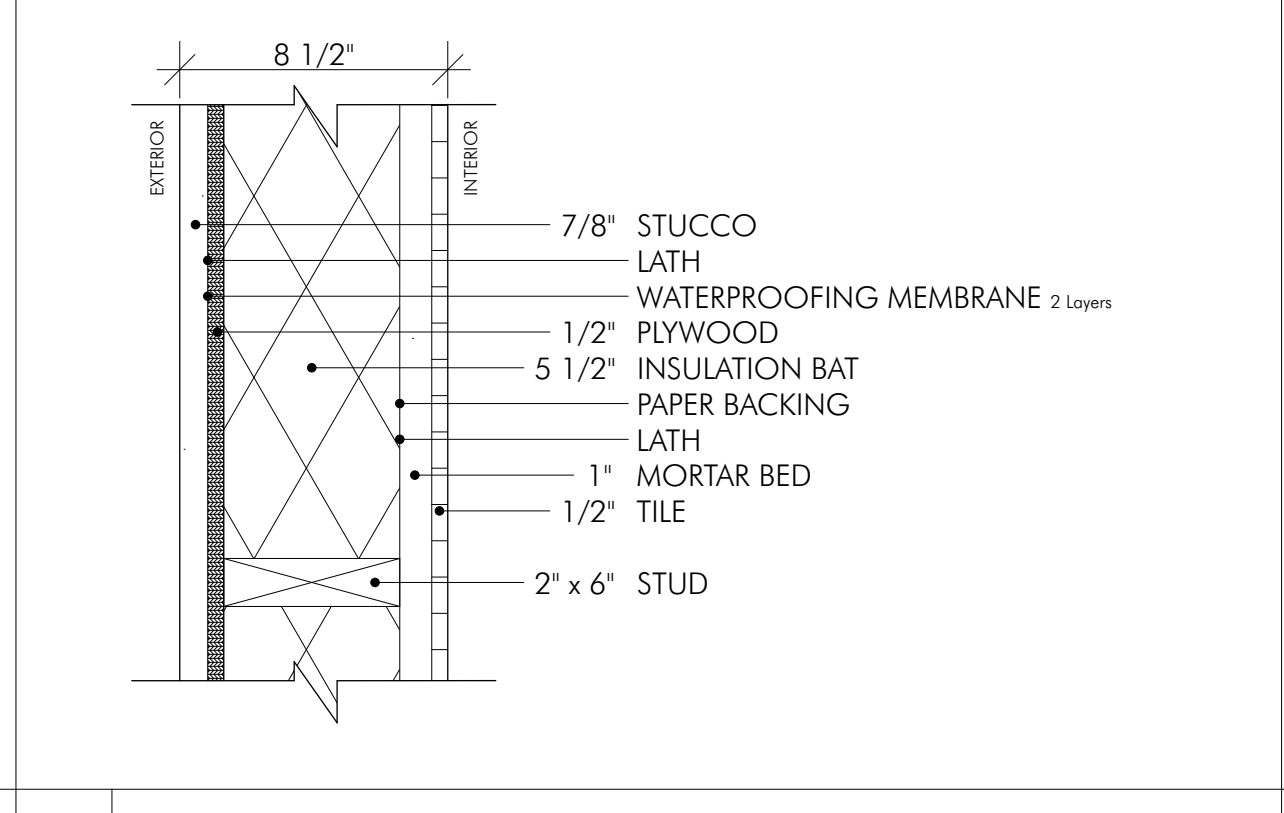
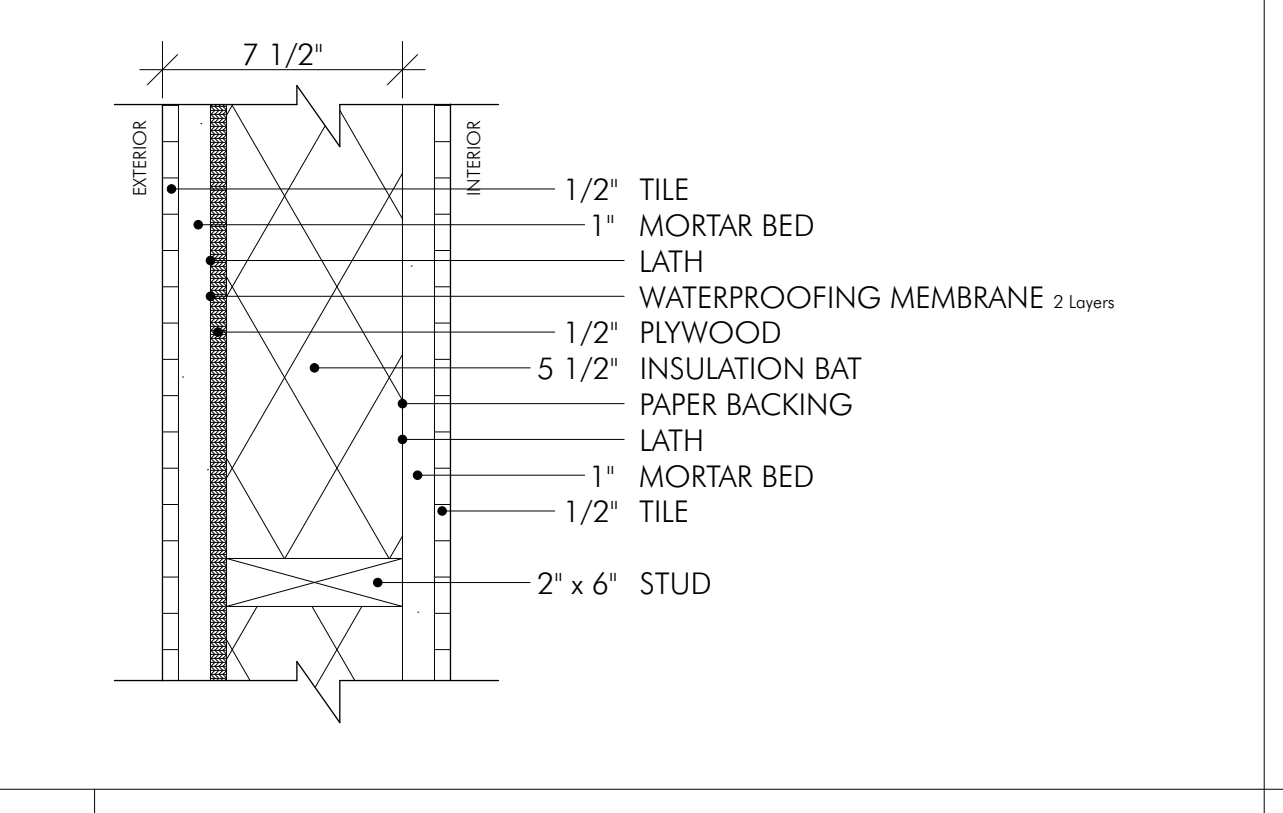
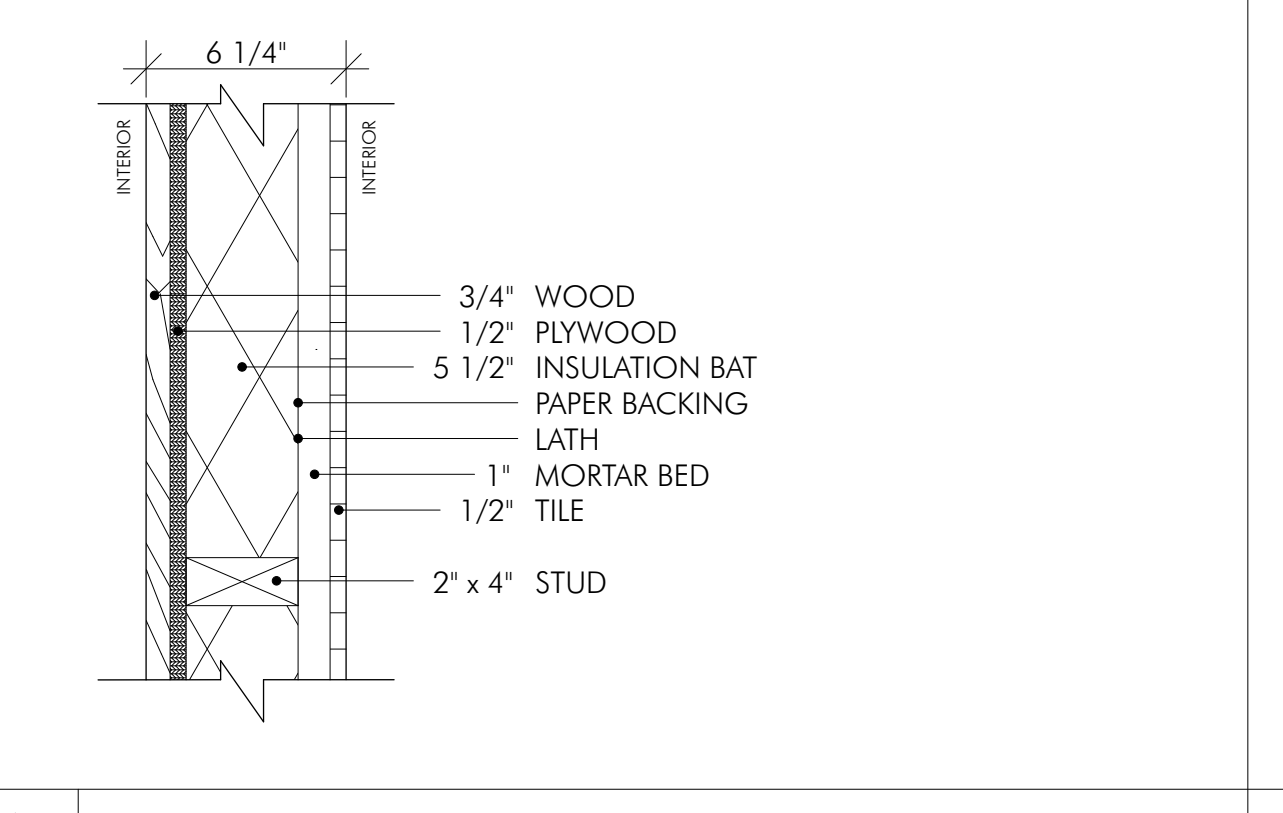
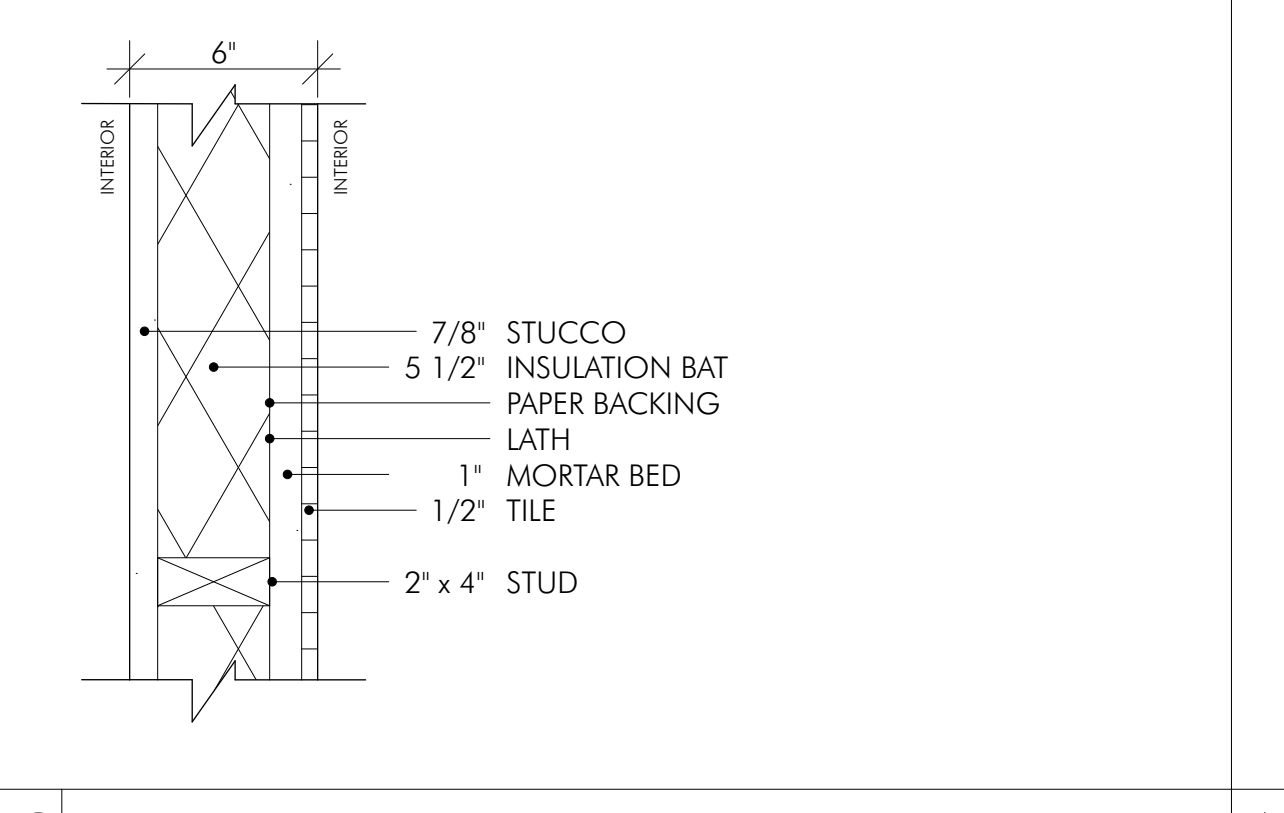
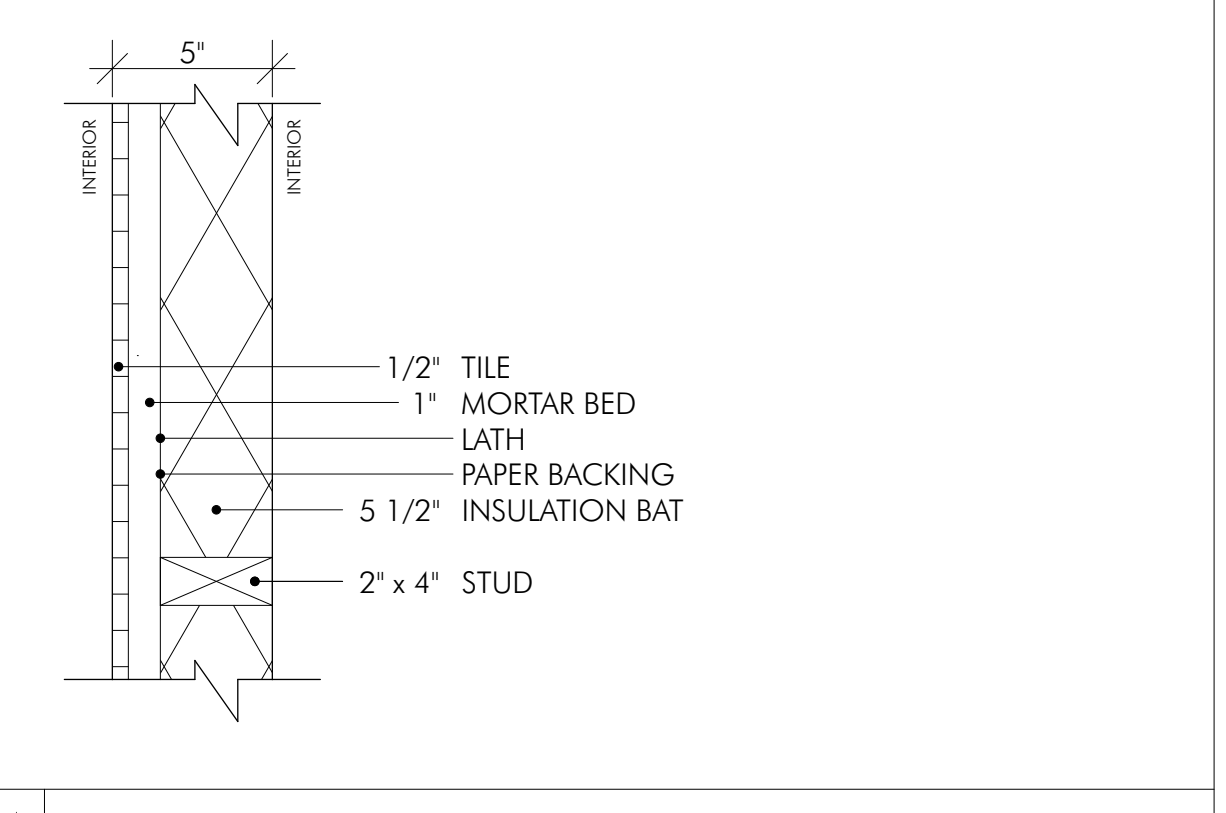
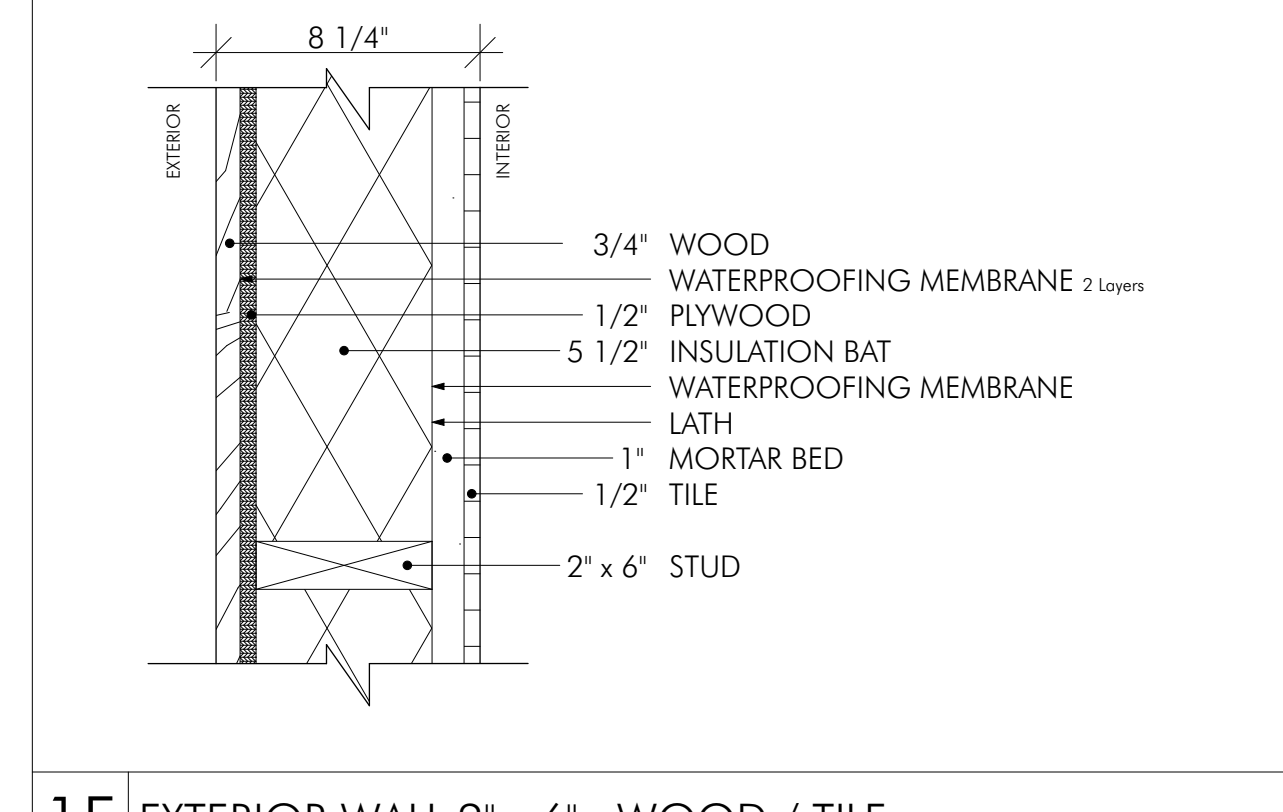
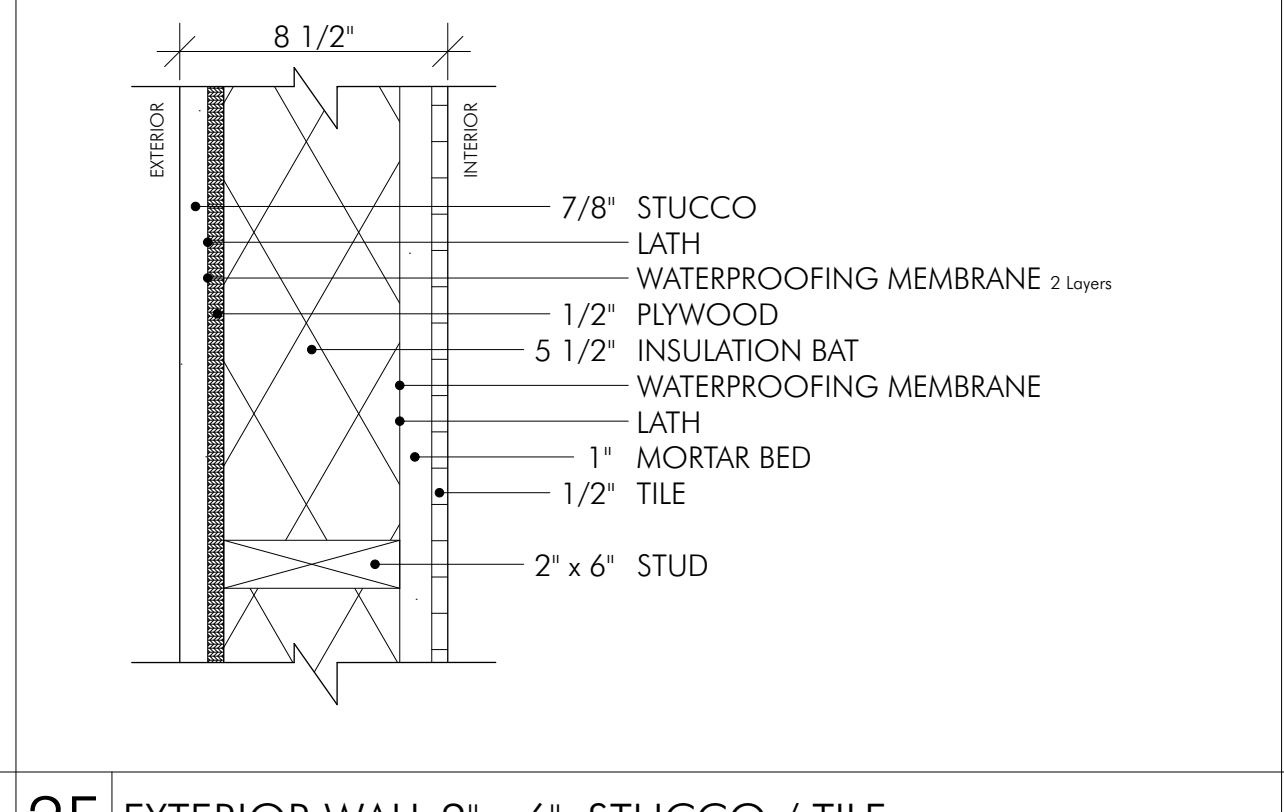
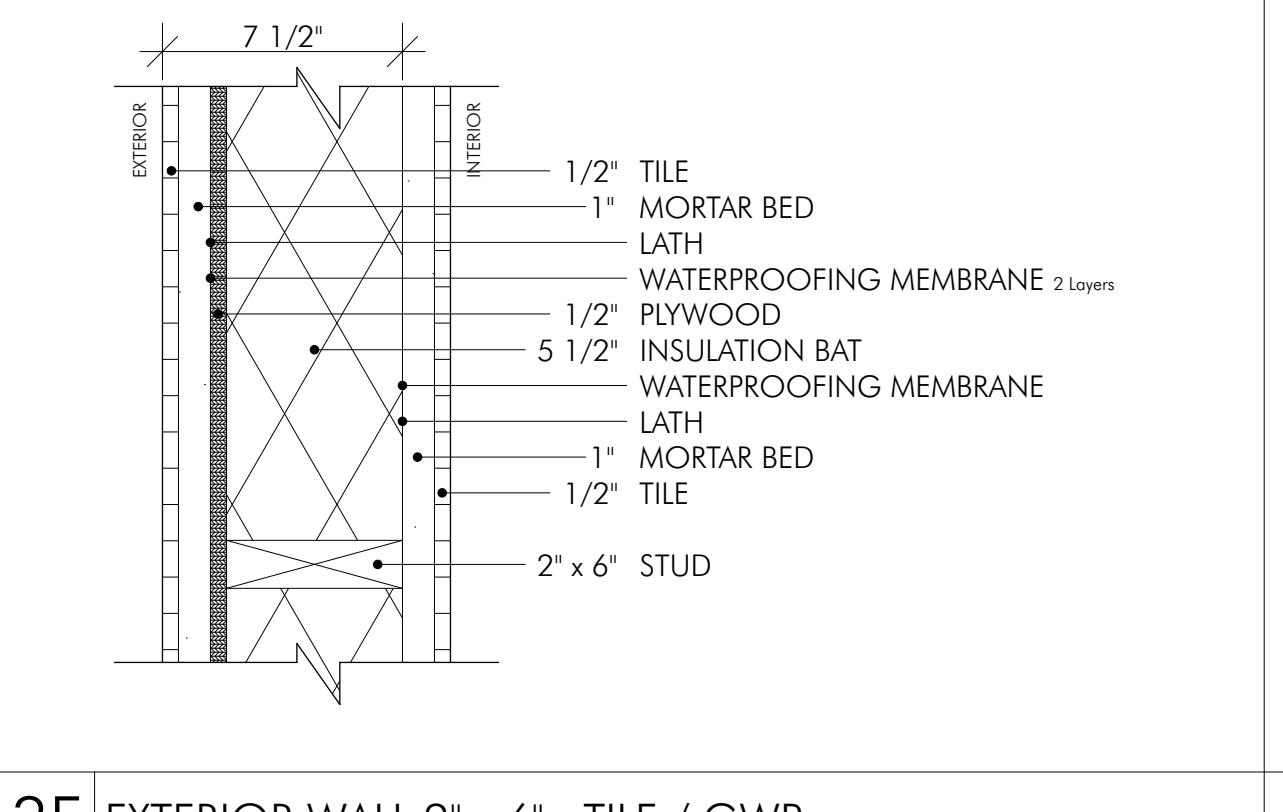
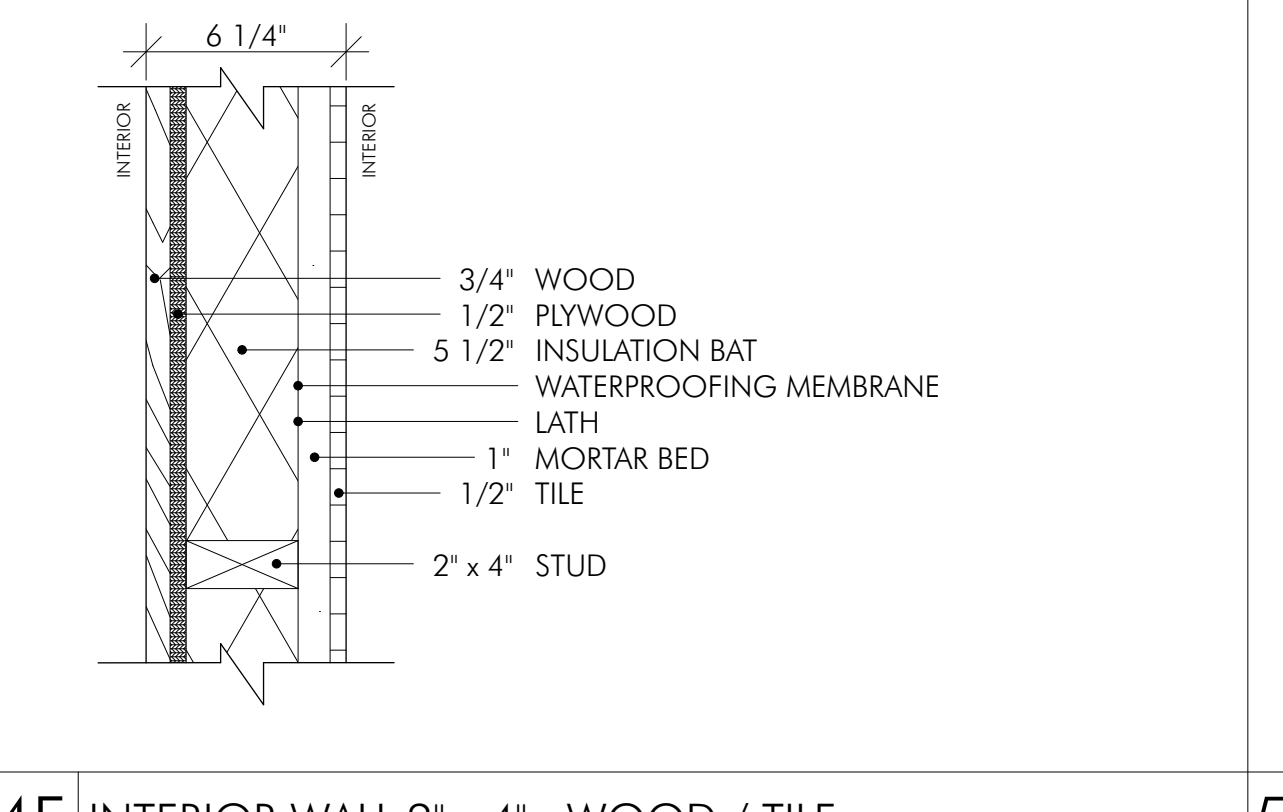
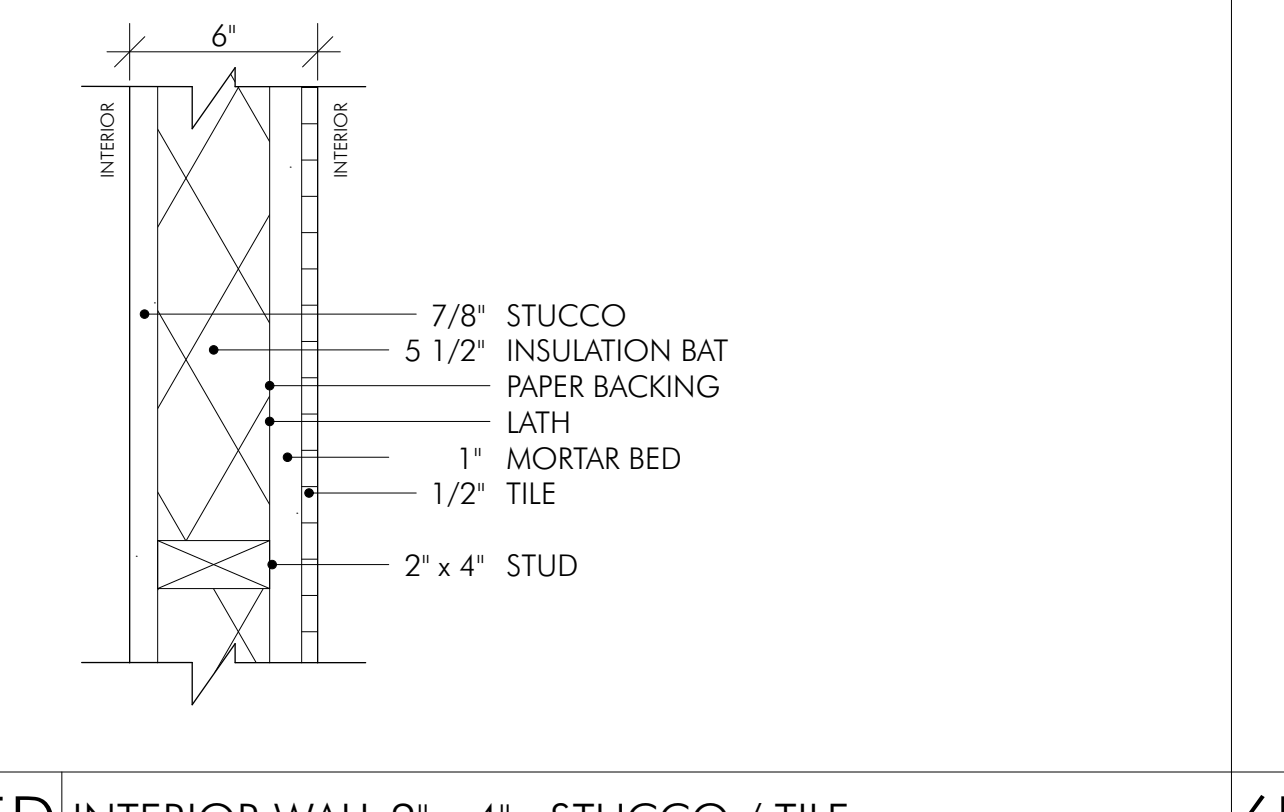
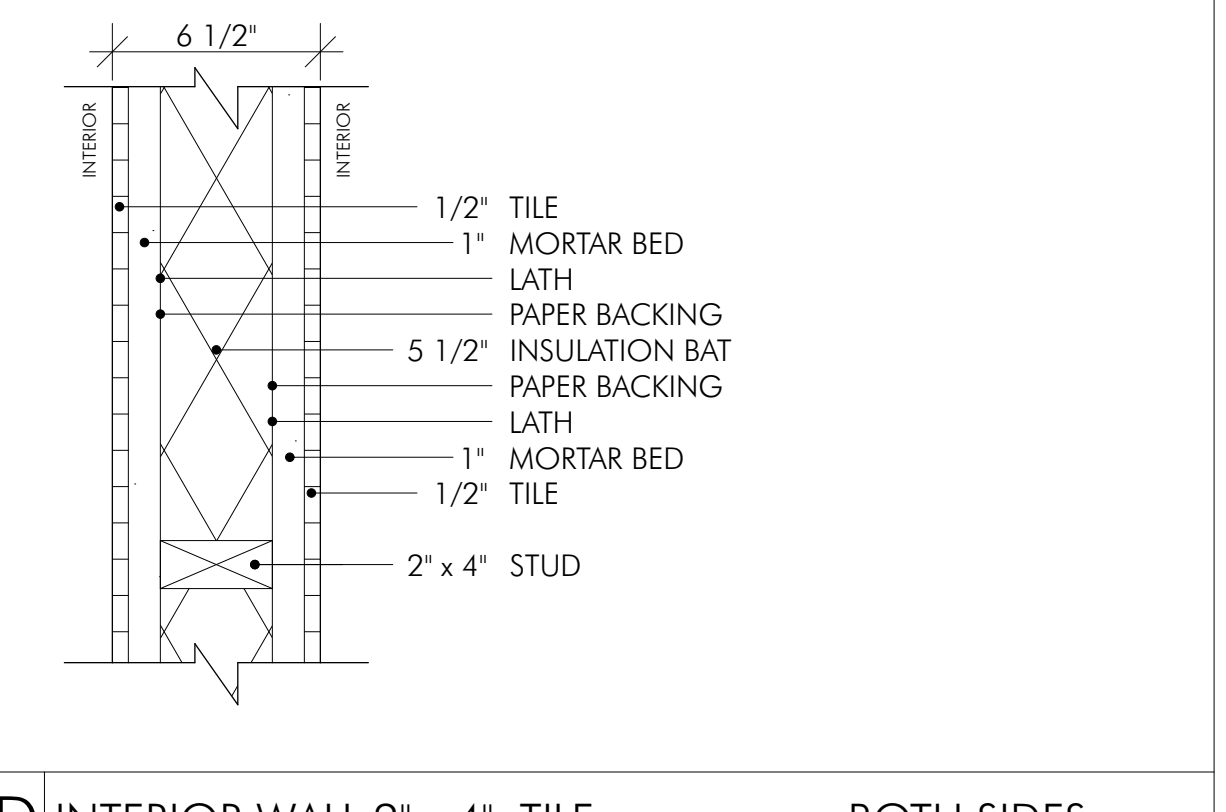










 <p>1A EXTERIOR WALL 2" x 6", WOOD ONE SIDE N.T.S.</p>	 <p>1F EXTERIOR WALL 2" x 6", WOOD / GWB N.T.S.</p>	 <p>2F EXTERIOR WALL 2" x 6", STUCCO / GWB N.T.S.</p>	 <p>4A INTERIOR WALL 2" x 4", WOOD ONE SIDE N.T.S.</p>	 <p>4F INTERIOR WALL 2" x 4", WOOD / GWB N.T.S.</p>	 <p>5E INTERIOR WALL 2" x 4", STUCCO / TILE WET CONDITION N.T.S.</p>
 <p>1B EXTERIOR WALL 2" x 6", WOOD BOTH SIDES N.T.S.</p>	 <p>2A EXTERIOR WALL 2" x 6", STUCCO ONE SIDE N.T.S.</p>	 <p>2M 1 HOUR RATED WALL 2" x 6" STUCCO / GWB N.T.S.</p>	 <p>4B INTERIOR WALL 2" x 4", WOOD BOTH SIDES N.T.S.</p>	 <p>4G FLAT STUD WALL 2" x 4", WOOD N.T.S.</p>	 <p>5F INTERIOR WALL 2" x 4", STUCCO / GWB N.T.S.</p>
 <p>1C EXTERIOR WALL 2" x 6", WOOD / STUCCO N.T.S.</p>	 <p>2C EXTERIOR WALL 2" x 6", STUCCO BOTH SIDES N.T.S.</p>	 <p>3A EXTERIOR WALL 2" x 6", TILE ONE SIDE N.T.S.</p>	 <p>4C INTERIOR WALL 2" x 4", WOOD / STUCCO N.T.S.</p>	 <p>5A INTERIOR WALL 2" x 4", STUCCO ONE SIDE N.T.S.</p>	 <p>5G FLAT STUD WALL 2" x 4", STUCCO N.T.S.</p>
 <p>1D EXTERIOR WALL 2" x 6", WOOD / TILE DRY CONDITION N.T.S.</p>	 <p>2D EXTERIOR WALL 2" x 6", STUCCO / TILE DRY CONDITION N.T.S.</p>	 <p>3D EXTERIOR WALL 2" x 6", TILE BOTH SIDES N.T.S.</p>	 <p>4D INTERIOR WALL 2" x 4", WOOD / TILE DRY CONDITION N.T.S.</p>	 <p>5C INTERIOR WALL 2" x 4", STUCCO BOTH SIDES N.T.S.</p>	 <p>6A INTERIOR WALL 2" x 4", TILE DRY CONDITION ONE SIDE N.T.S.</p>
 <p>1E EXTERIOR WALL 2" x 6", WOOD / TILE WET CONDITION N.T.S.</p>	 <p>2E EXTERIOR WALL 2" x 6", STUCCO / TILE WET CONDITION N.T.S.</p>	 <p>3F EXTERIOR WALL 2" x 6", TILE / GWB N.T.S.</p>	 <p>4E INTERIOR WALL 2" x 4", WOOD / TILE WET CONDITION N.T.S.</p>	 <p>5D INTERIOR WALL 2" x 4", STUCCO / TILE DRY CONDITION N.T.S.</p>	 <p>6D INTERIOR WALL 2" x 4", TILE DRY CONDITION BOTH SIDES N.T.S.</p>

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LA JOLLA RESIDENCE # 1806



O+L BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

PROJECT LOG:

06.09.2021: CDP Hearing  
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**Leidy Residence**  
6216 Avenida Cresta, La Jolla, CA 92037

varies

**T1.5a**

WALL SCHEDULE

varies

**T1.5a**

Sheet No. 12 / 62



<p>7E INTERIOR WALL 2" x 4", TILE WET CONDITION BOTH SIDES N.T.S.</p>	<p>8G FLAT STUD WALL 2" x 4", GWB N.T.S.</p>	<p>11B CONCRETE WALL 12" BOARDFORM BOTH SIDES N.T.S.</p>	

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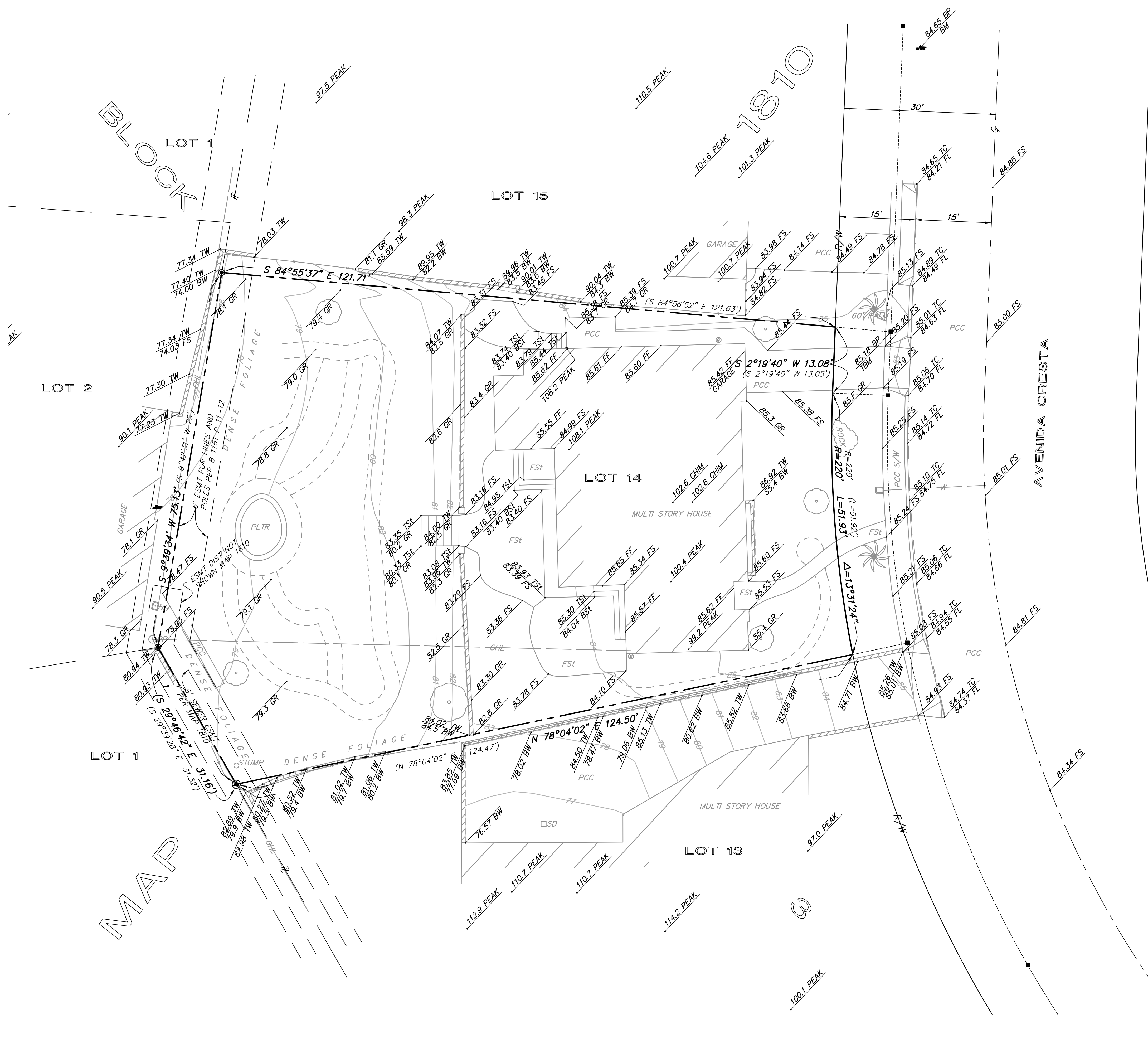
**WALL SCHEDULE**

varies

**T1.5b**

Sheet No. 13 / 62



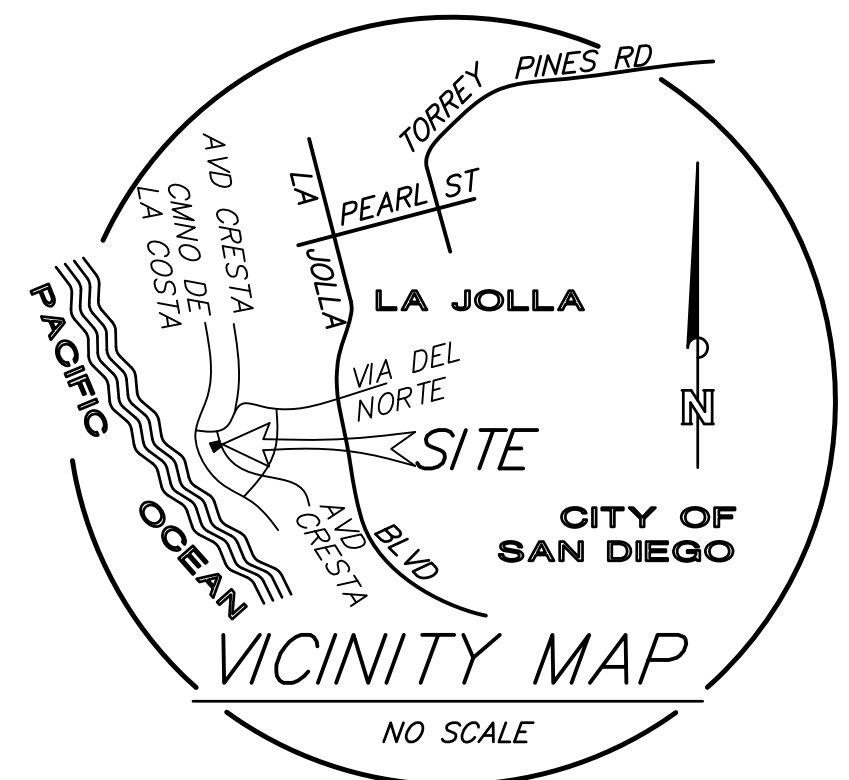


**LEGEND**

PARCEL BRG AND DIST	N 78°48'15" E 48.25'
RECORD DESCRIPTION	(N 78°48'15" E 48.25')
PROPERTY BOUNDARY	---
EASEMENT	-R/W-
CENTER LINE STREET	C
CABLE TV	-C-/-
TELEPHONE CABLE	-T-/-
ELECTRICAL CABLE	-E-/-
GAS MAIN	-G-/-
WATER MAIN (SIZE AS SHOWN)	-W-/-
SEWER (SIZE AS SHOWN)	-S-/-
RETAINING WALL / WALL	▨
EXISTING CONTOUR	(30)

**LEGAL**

LOT 14, BLOCK 3 OF MAP 1810



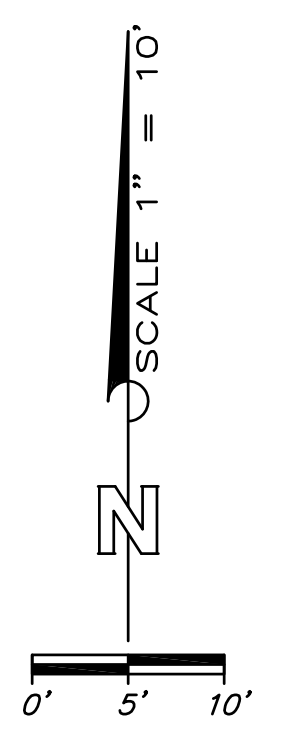
**NOTE**

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGN OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OR EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY AND REPRESENTS ONLY AVAILABLE INFORMATION RELATING TO THE BOUNDARY OF THE PARCEL AND/OR EASEMENTS LINES WHICH ARE INCLUDED TO SHOW THE APPROXIMATE RELATIVE LOCATION OF THESE LINES TO THE TOPOGRAPHIC FEATURES. THE LOCATION OF THE PARCEL AND THE BEARING AND DISTANCES SHOWN ARE BASED ON FOUND MONUMENTS, OR 11791 & MAP 1810 AND MAY VARY FROM THE DEED OR MAP DESCRIPTION. NO MONUMENTS WERE FOUND EXCEPT AS SHOWN AND NO MONUMENTS WERE SET.

EASEMENT INFORMATION PER CALIFORNIA TITLE COMPANY: TITLE REPORT No. 400-1936886-34 DATED 9-11-2018 AND MAP 1810

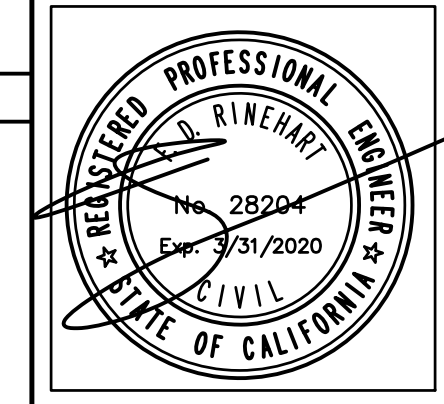
LOCATION OF UTILITIES SHOWN ON THIS PLAN IS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES AND/OR FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE EXACT LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION. PLEASE CONTACT THESE COMPANIES DIRECTLY FOR MARK-OUT AND LOCATIONS PRIOR TO EXCAVATION.



**RINEHART ENGINEERING**  
 6431 CLEEVE WAY SAN DIEGO, CA 92117  
 FDR@RINEHART-ENGINEERING.COM  
 (658) 288-8401

**TOPOGRAPHIC MAP OF LOT 14, BLOCK 3 OF MAP 1810**  
 6216 AVENIDA CRESTA APN: 357-012-13

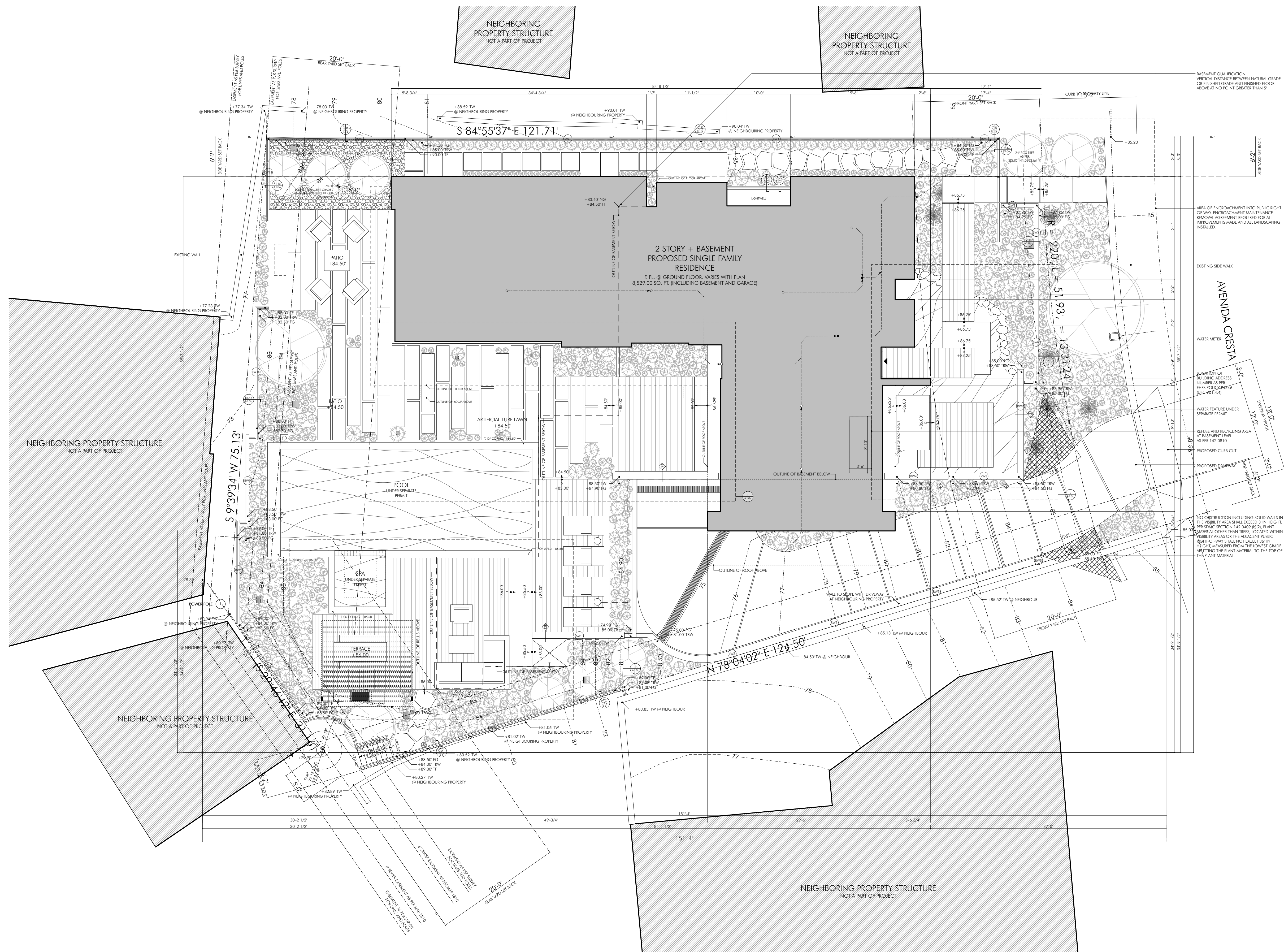
<b>BENCH MARK</b>	
DESCRIPTION:	BRASS PLUG TOP OF CURB
LOCATION:	SW'LY CORNER OF AVENIDA CRESTA AND VIA DEL NORTE
RECORD FROM:	CITY OF SAN DIEGO VERTICAL CONTROL
ELEVATION:	84.258 DATUM: SAN DIEGO MEAN SEA LEVEL



DATE OF SURVEY:	NOV 12, 2018
SURVEYOR:	F. DAN RINEHART
DRAWN BY:	FDR
SCALE:	1"=10'
JOB NUMBER:	18220T01.DWG
SHEET	1 OF 1

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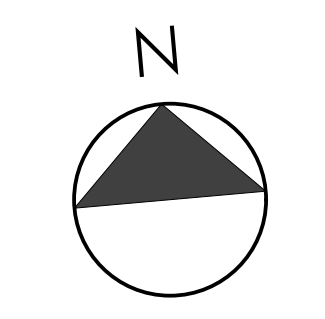


SITE PLAN LEGEND	
---	PROPERTY LINE
---	SET BACK LINE
---	LINE OF EASEMENT
---	LINE OF NATURAL GRADE
---	LINE OF FINISHED GRADE
---	OUTLINE OF FLOOR ABOVE
---	OUTLINE OF ROOF ABOVE
---	OUTLINE OF BASEMENT BELOW
---	OUTLINE OF EXISTING DRIVEWAY TO BE REMOVED
▲	ELEVATION MARKER
FG	FINISHED GROUND
NG	NATURAL GROUND
TW	TOP OF WALL
TFW	TOP OF RETAINING WALL
TF	TOP OF FENCE
TP	TOP OF PARAPET
RW	RETAINING WALL
SW	SCREEN WALL

- SITE PLAN NOTES**
- RECONSTRUCT THE DAMAGED EXISTING SIDEWALK AND CURB WITH CURRENT CITY STANDARD SIDEWALK, CURB AND GUTTER, ADJACENT TO SITE.
  - CLOSURE OF ALL NON-UTILIZED DRIVEWAYS WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 GRADING REGULATIONS OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
  - EXISTING WATER METER AND SEWER LATERAL SERVICES ARE TO REMAIN.

SITE PLAN DATA:	
LOT SIZE:	10,554.00 SQ. FT.
LOT COVERAGE:	3,123.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2968 (29.68 %)
LOT AREA FRONT YARD:	1,369.00 SQ. FT.
HARD SCAPE FRONT YARD:	371.00 SQ. FT. / 1,369.00 SQ. FT. = 0.2710 (27.10 %)
LANSCAPE AREA:	LOT SIZE: 10,554.00 SQ. FT. (100.00 %) POOL AREA: 860.00 SQ. FT. (8.15 %) ROOF AREA: 3,652.00 SQ. FT. (34.60 %) PERMIABLE AREA: 3,020.00 SQ. FT. (28.61 %) IMPERIABLE AREA: 3,022.00 SQ. FT. (28.63 %)

CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.



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LA JOLLA RESIDENCE # 1806

O+L BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

**PROJECT LOG:**

06.09.2021:	CDP Hearing
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02.11.2019:	Original Drawing Preparation Date

**Leidy Residence**  
6216 Avenida Cresta, La Jolla, CA 92037

**SITE PLAN**

1/8" = 1' - 0"

**A1.0**

Sheet No. 14 / 62



<p><b>F1.4a</b> TYP. FENCE SLATS - WOOD N.T.S.</p>	<p><b>F2.3a</b> TYP. GLASS RAIL STUCCO N.T.S.</p>				
<p><b>F1.4c</b> TYP. FENCE SLATS - WOOD N.T.S.</p>	<p><b>F2.3c</b> TYP. GLASS RAIL STUCCO N.T.S.</p>				
<p><b>F2.1a</b> TYP. SOLID WALL STUCCO N.T.S.</p>	<p><b>R2.9</b> TYP. HAND RAIL AT WALL - STUCCO N.T.S.</p>				
<p><b>F2.1b</b> TYP. SOLID WALL STUCCO N.T.S.</p>					

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**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

PLAN CHECK DETAILS  
**GUARD RAILS**

N.T.S.

**A1.0a**

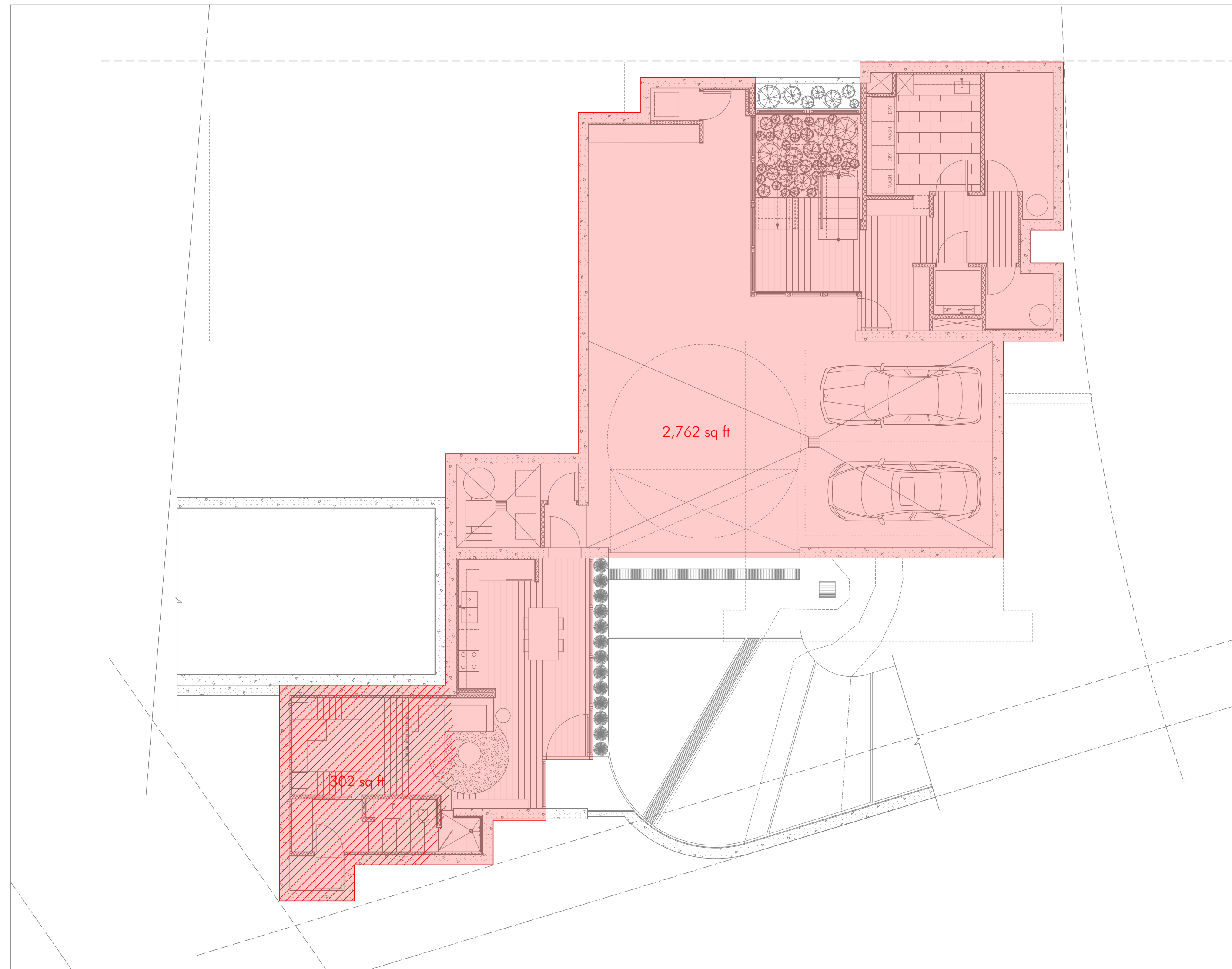
Sheet No. 15 / 62





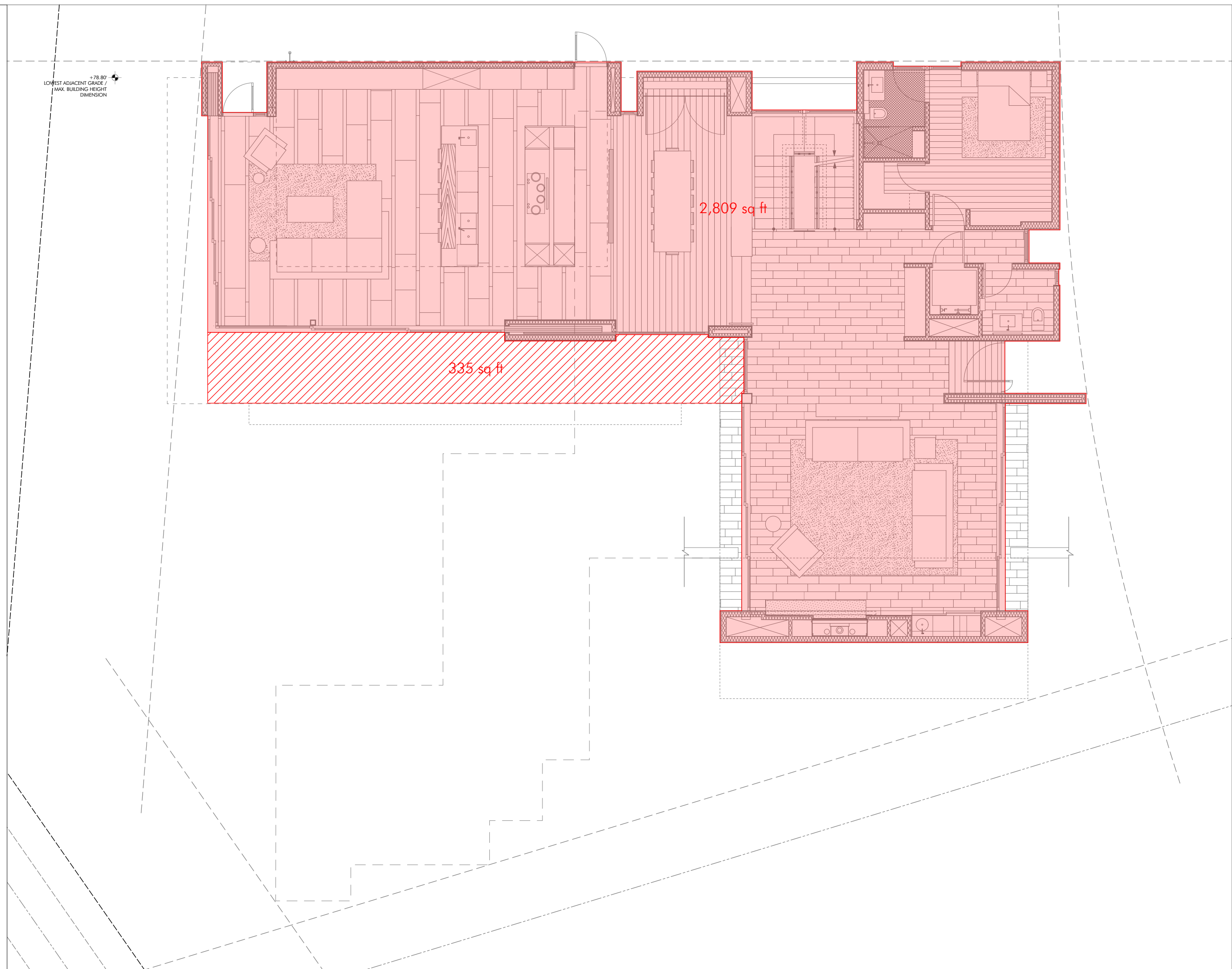


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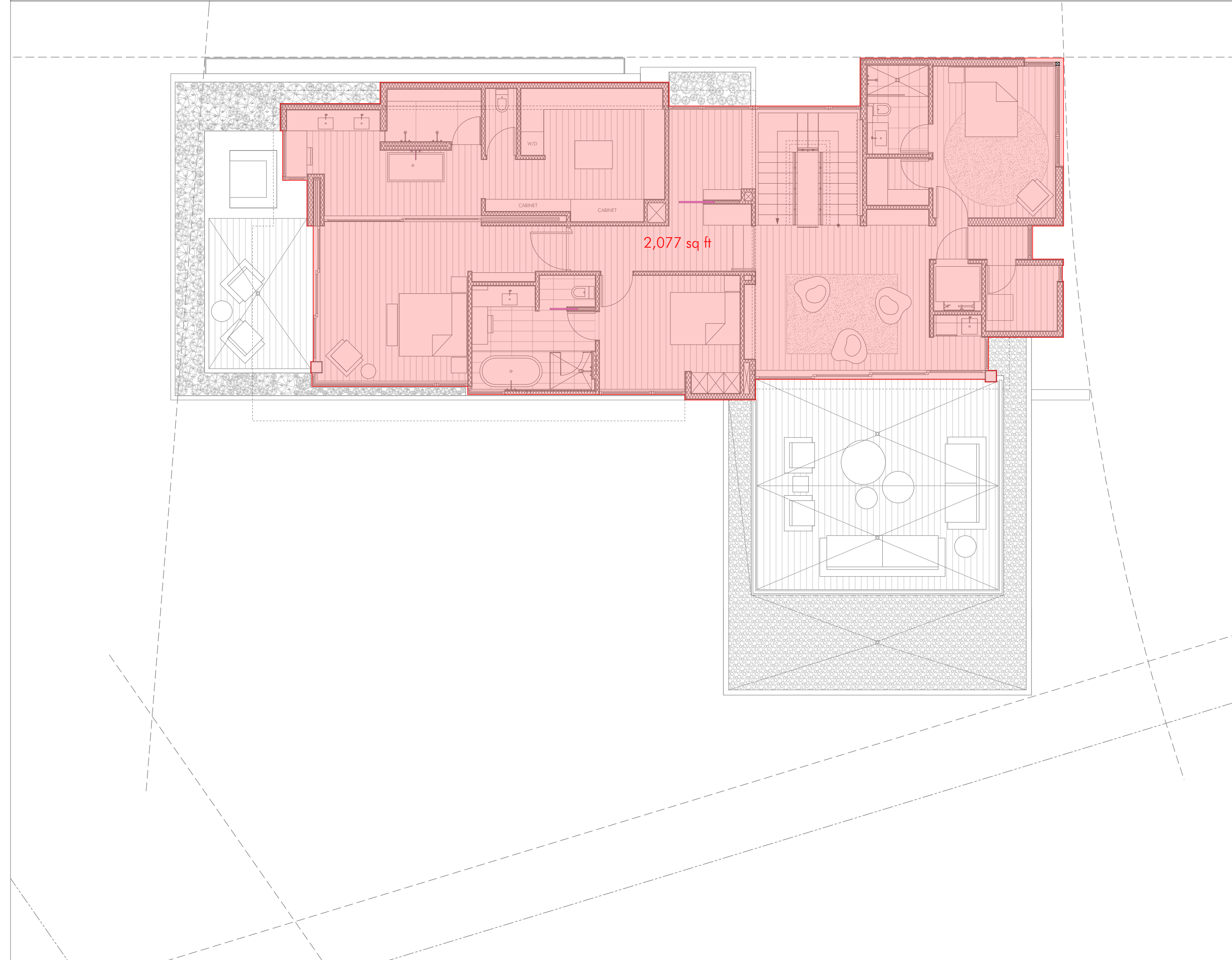
■ FLOOR AREA: 2,762.00 SQ. FT.  
■ FLOOR AREA, NOT GFA EXEMPT: 302.00 SQ. FT.  
 ► SEE A1.0e FOR CREDITED AREA

1 | GROSS FLOOR AREA BASEMENT



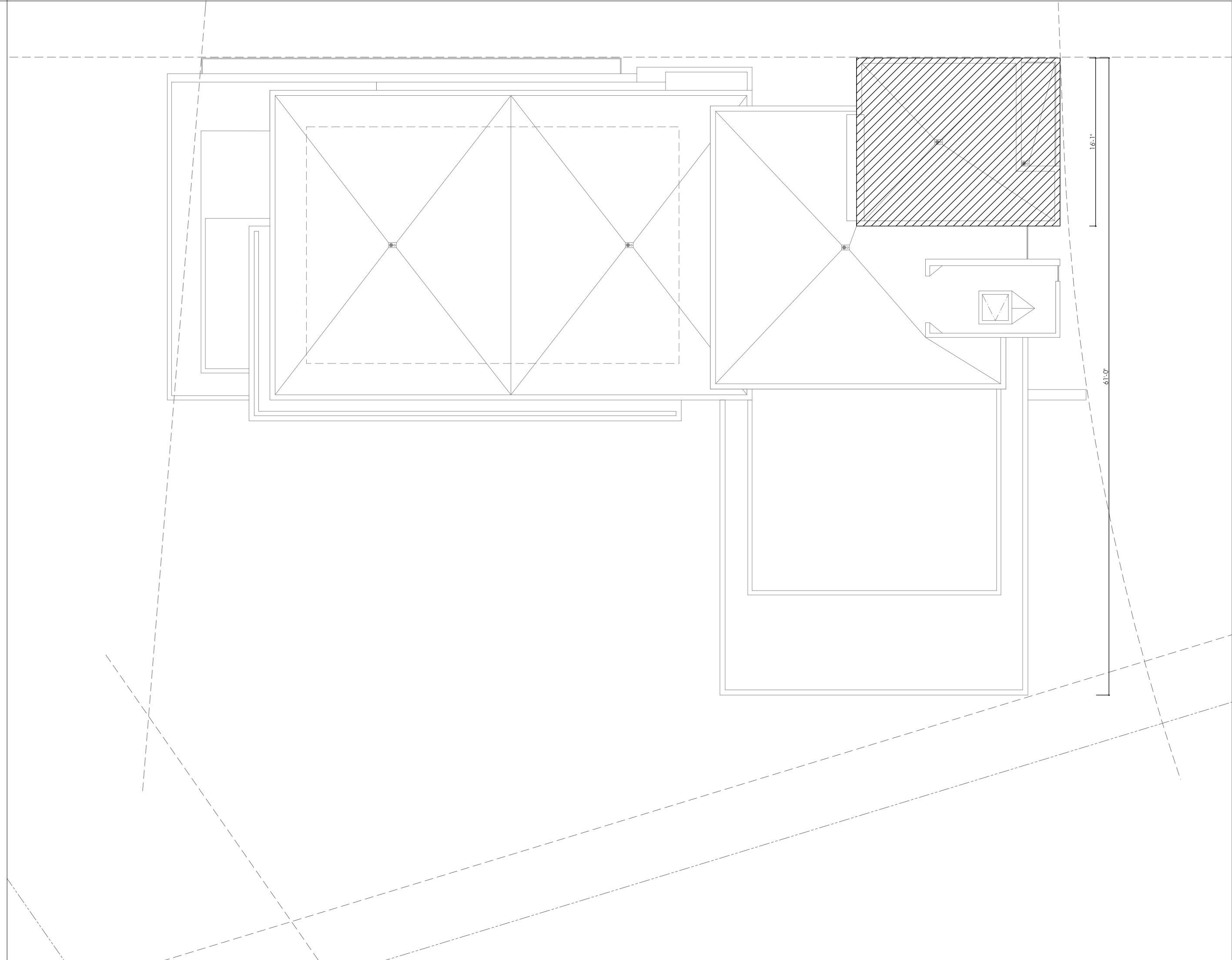
GFA:  
■ FLOOR AREA: 2,809.00 SQ. FT. (MAIN HOUSE)  
■ AT GRADE AREA: 335.00 SQ. FT.

2 | GROSS FLOOR AREA GROUND FLOOR



GFA:  
■ FLOOR AREA: 2,077.00 SQ. FT.

3 | GROSS FLOOR AREA SECOND FLOOR



OVERALL LENGTH OF BUILDING: 61'-0" (100.00%)  
 PENETRATING PART OF BUILDING: 16'-1" (26.35%)  
 PENETRATION ALLOWED IF < 33%  
 26.35% < 33.00%

4 | HEIGHT LIMIT EXCEPTION AS PER 131.0461 (a) (1) (D)

GROSS FLOOR AREA CALCULATION

ITEM:	PROPOSED:	CREDIT:	TOTAL:
BASEMENT:	2,762.00	2,460.00	302.00
FIRST FLOOR:	2,809.00	0.00	2,809.00
SECOND FLOOR:	2,077.00	0.00	2,077.00
AT GRADE:	335.00	0.00	335.00
<b>TOTAL:</b>	<b>7,983.00</b>	<b>2,460.00</b>	<b>5,523.00</b>

GROSS FLOOR AREA CALCULATIONS:  
 BASEMENT FLOOR AREA: 2,762.00 SQ. FT.  
 (2,460.00 SQ. FT. EXEMPT)  
 FIRST FLOOR AREA: 2,809.00 SQ. FT.  
 SECOND FLOOR AREA: 2,077.00 SQ. FT.  
 AT GRADE AREA: 335.00 SQ. FT.  
 TOTAL GROSS FLOOR AREA = PROPOSED FAR: 5,523.00 SQ. FT.  
 TOTAL LOT AREA: 10,544.00 SQ. FT.  
 MAX. FAR: 0.54 (54%)  
 $10,544.00 \times 0.54 = 5,699.16$  SQ. FT.  
 5,523.00 SQ. FT. < 5,699.16 SQ. FT.

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**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

**DIAGRAMS**  
 1/8" = 1' - 0"  
**A1.0c**  
 Sheet No. 17 / 62

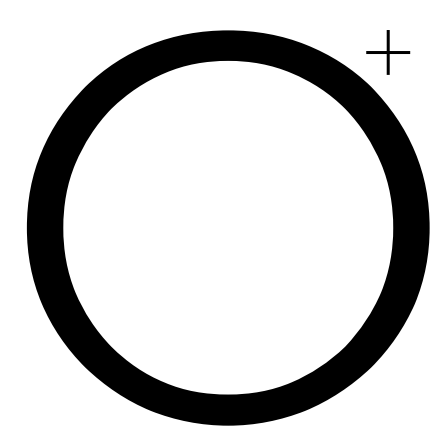








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O+L BUILDING PROJECTS LLC

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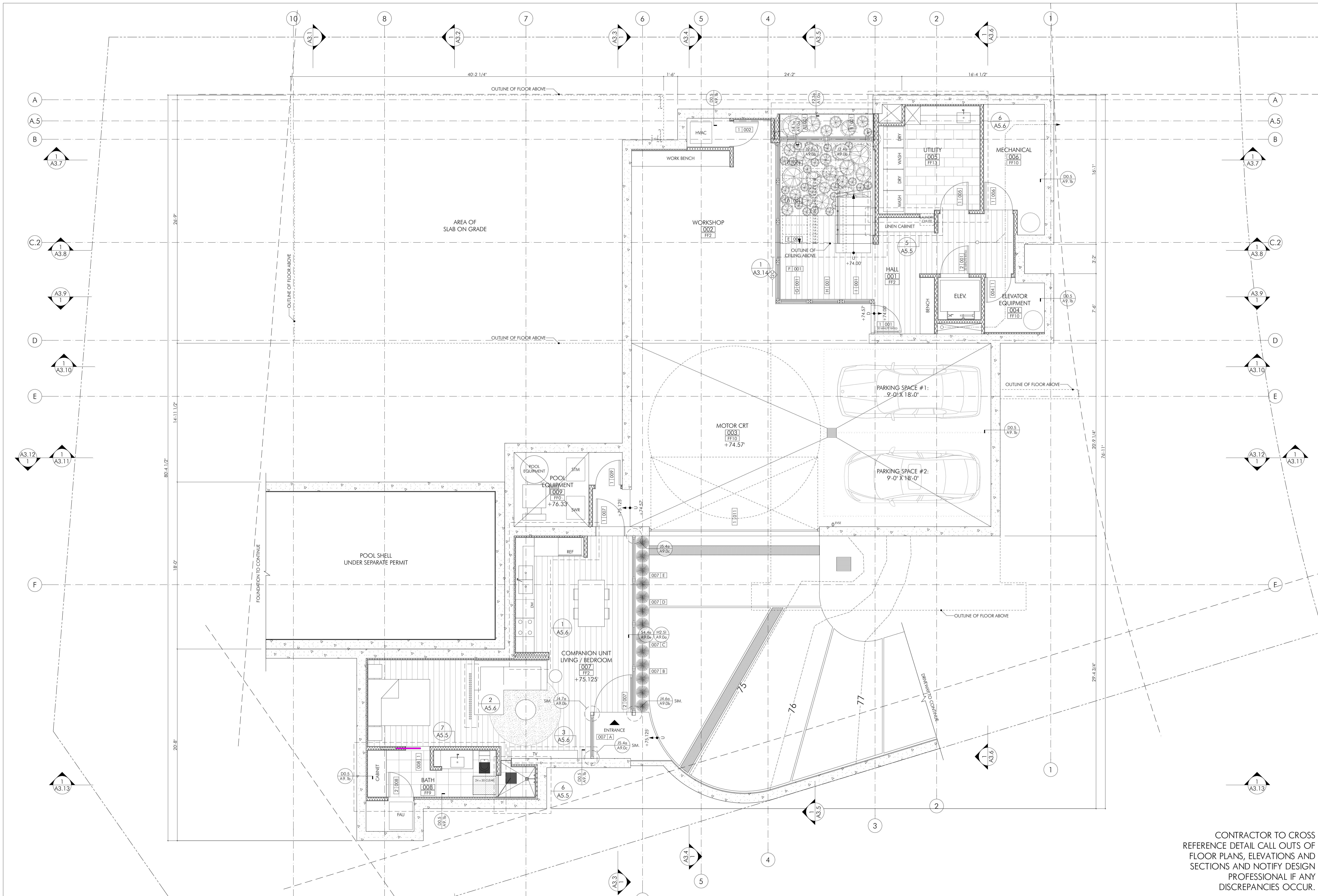
GFA EXEMPTION  
 DIAGRAM

N.T.S.

A1.0e



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**FLOOR PLAN NOTES**

1. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.
2. THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
3. WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5. ALL EXPOSED CONCRETE FLOOR FINISHES SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.
6. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
7. THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.
8. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS "FOR FUTURE SOLAR ELECTRICAL".
9. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
10. ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.2.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
11. ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
12. ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.

**ELECTRICAL SYMBOLS**

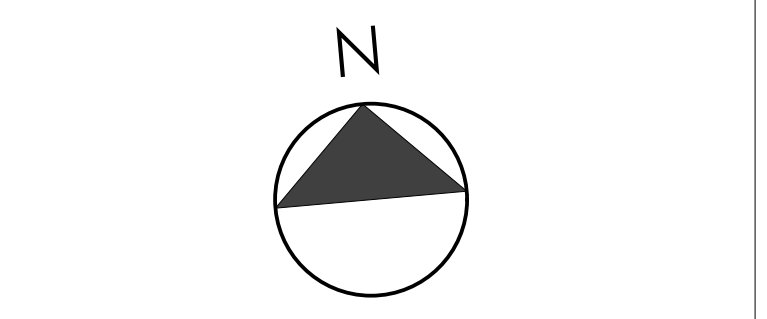
- COMBO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

**FLOOR PLAN LEGEND**

- Exhaust Fan
- Wall Tags, see T1.5a and T1.5b for Wall Schedule
- For Details see A9.0 and A9.1
  - Window Heads
  - Window Jambes
  - Window Sills
  - Parapets
  - Guard Rails
  - Site Walls and Fences
  - Skylights
- SIM. Similar
- TP Top of Parapet
- T.S. Top of Slope
- Steps Up
- Steps Down
- Drain
- Entry
- Combo Smoke / CO Detector
- KITCHEN: Room Label with Room Number, Finish Floor Material
- Door Label
- Window Label
- 1" = 1"
- Roof Drain from Floor above
- Roof Drain
- Interior Elevation Tag, see A5.0 to A5.5

**FLOOR PLAN DATA:**

BASEMENT FLOOR AREA: 2,762.00 SQ. FT.



CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

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**Leidy Residence**  
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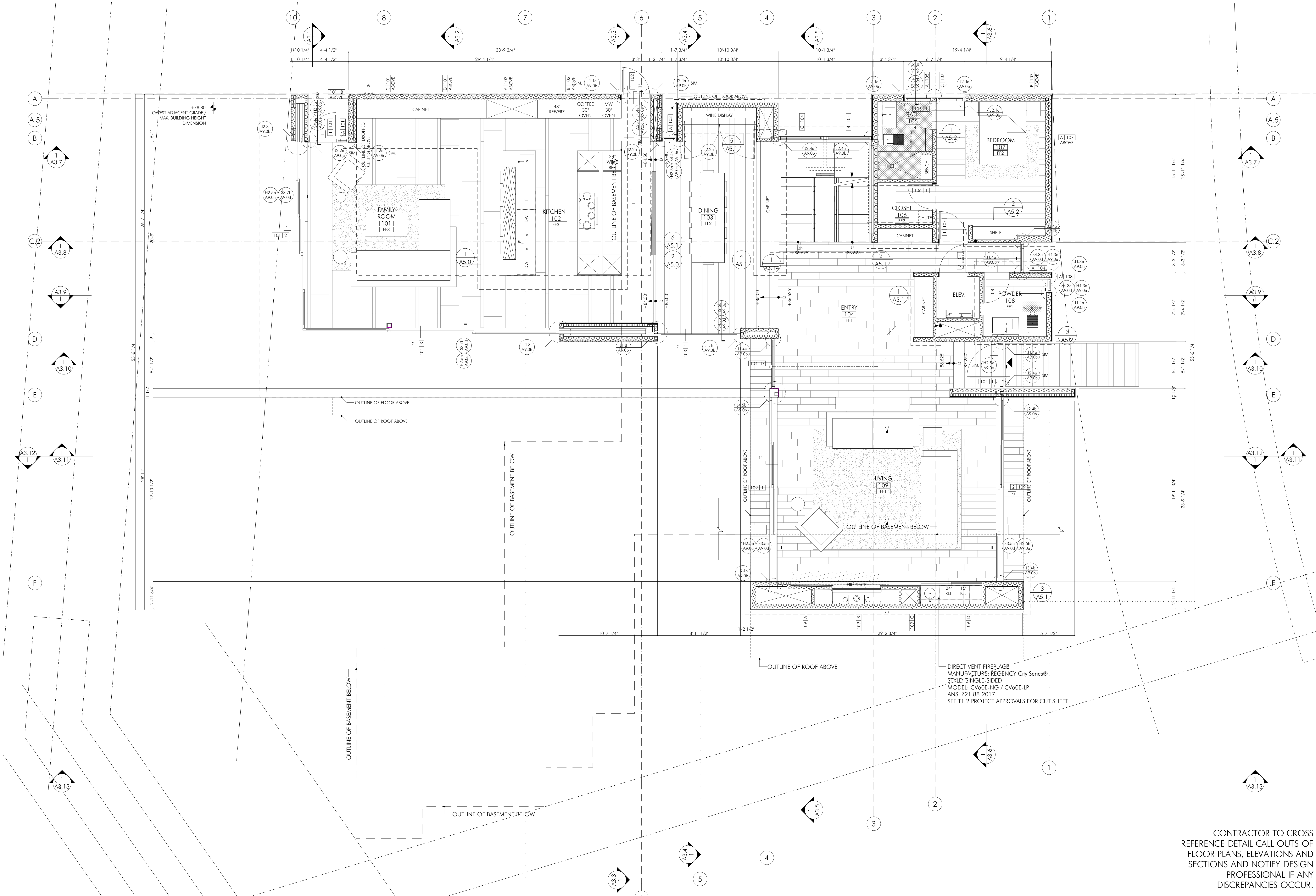
**BASEMENT FLOOR PLAN**

1/4" = 1' - 0"

**A1.1**

Sheet No. 19 / 62





FLOOR PLAN NOTES	
1.	THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.
2.	THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
3.	WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4.	FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5.	ALL EXPOSED CONCRETE FLOOR WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SFI OF 0.3 MIN.
6.	VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
7.	THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.
8.	THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS FUTURE SOLAR ELECTRICAL.
9.	ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
10.	ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.3.1 VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE.
11.	ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE.
12.	ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.
ELECTRICAL SYMBOLS	
(C)	COMBO SMOKE / CO DETECTOR. HARD WIRE AND BATTERY BACK UP - WITH LOW BATTERY SIGNAL
FLOOR PLAN LEGEND	
[Symbol]	Exhaust Fan
[Symbol]	Wall Tags, see T1.5a and T1.5b for Wall Schedule
[Symbol]	For Details see A9.0 and A9.1 1 Window Heads 2 Window Jambes 3 Window Sills 4 Parapets 5 Guard Rails 6 Site Walls and Fences 7 Skylights
[Symbol]	SIM, Similar
[Symbol]	T.P, Top of Parapet
[Symbol]	T.S, Top of Slope
[Symbol]	U, Step(s) Up
[Symbol]	D, Step(s) Down
[Symbol]	Drain
[Symbol]	Entry
[Symbol]	Combo Smoke / CO Detector
[Symbol]	KITCHEN Room Label with Room Number and Finish Floor Material
[Symbol]	Door Label
[Symbol]	Window Label
[Symbol]	1"
[Symbol]	Roof Drain from Floor above
[Symbol]	Roof Drain
[Symbol]	Interior Elevation Tag, see A5.0 to A5.5
FLOOR PLAN DATA:	
GROUND FLOOR AREA:	2,809.00 SQ. FT.
AT GRADE AREA:	335.00 SQ. FT.
CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.	

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## Leidy Residence

6216 Avenida Cresta, La Jolla, CA 92037

**GROUND FLOOR PLAN**

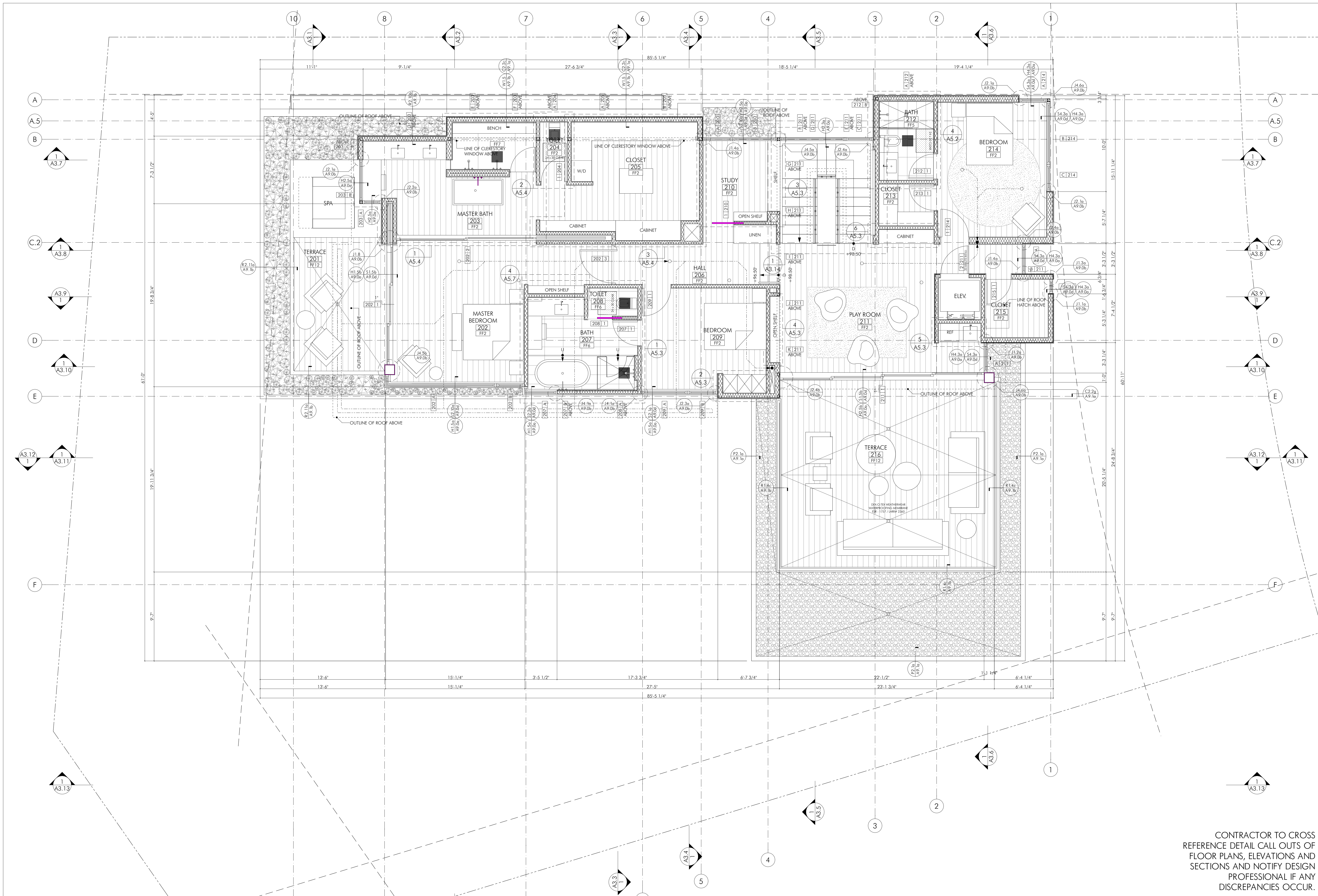
1/4" = 1' - 0"

**A1.2**

Sheet No. 20 / 62



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**FLOOR PLAN NOTES**

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5. ALL EXPOSED CONCRETE FLOOR WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.
6. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
7. THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.
8. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS "FOR FUTURE SOLAR ELECTRIC".
9. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
10. ALL LIGHTING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE A5.303.2.3.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
11. ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION A5.303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
12. ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.

**ELECTRICAL SYMBOLS**

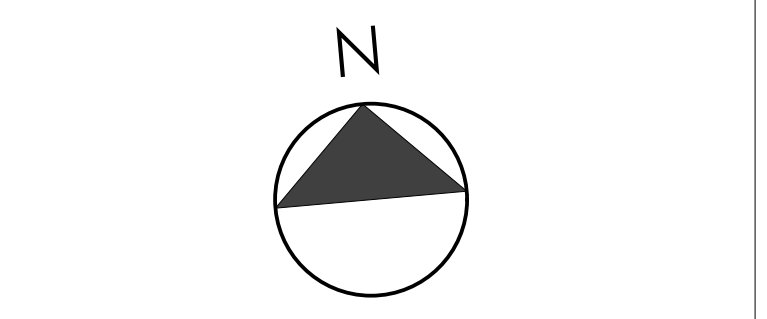
- (Symbol) COMBO SMOKE / CO DETECTOR. HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

**FLOOR PLAN LEGEND**

- (Symbol) Exhaust Fan
  - (Symbol) Wall Tags, see T1.5a and T1.5b for Wall Schedule
  - (Symbol) For Details see A9.0 and A9.1
    - 1 Window Heads
    - J Window Jambes
    - S Window Sills
    - P Parapets
    - R Guard Rails
    - W Site Walls and Fences
    - K Skylights
  - SIM. Similar
  - T.P. Top of Parapet
  - T.S. Top of Slope
  - U Step(s) Up
  - D Step(s) Down
  - Drain
  - Entry
  - Combo Smoke / CO Detector
- KITCHEN**
- Room Label with Room Number and Finish Floor Material
  - Door Label
  - Window Label
- 1" = 1"
  - Roof Drain from Floor above
  - Roof Drain
  - Interior Elevation Tag, see A5.0 to A5.5

**FLOOR PLAN DATA:**

GROUND FLOOR AREA: 2,077.00 SQ. FT.



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**LA JOLLA RESIDENCE # 1806**



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**Leidy Residence**  
6216 Avenida Cresta, La Jolla, CA 92037

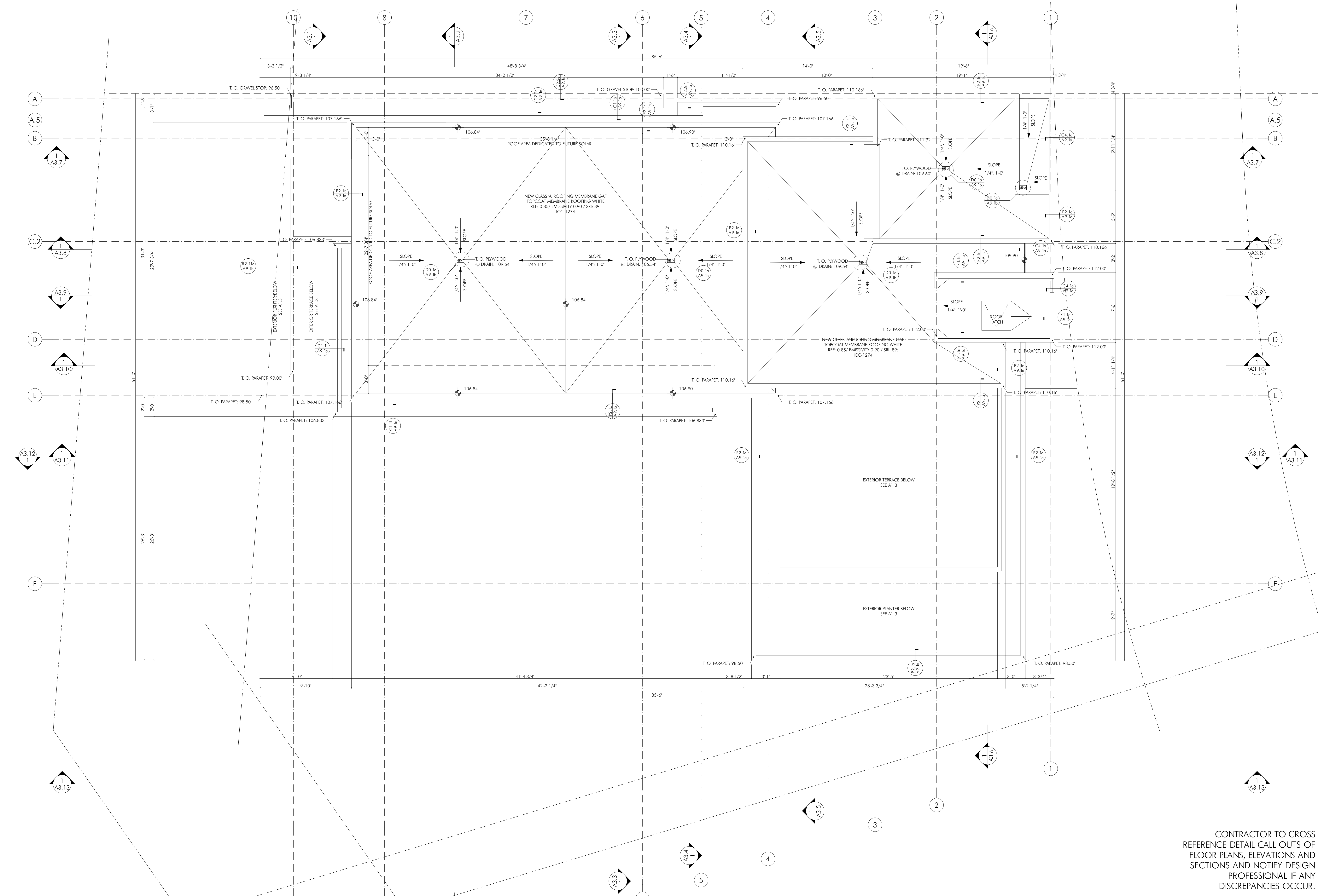
**SECOND FLOOR PLAN**

1/4" = 1' - 0"

**A1.3**

Sheet No.21a/ 62





### FLOOR PLAN NOTES

- THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT (AND SPACES) RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- ALL EXPOSED CONCRETE FLOOR WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
- THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR FUTURE SOLAR ELECTRICAL.
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
- ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.2.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
- ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
- ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.

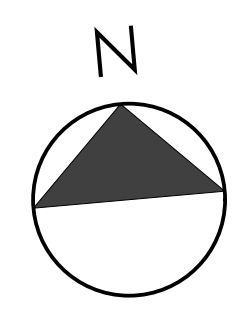
### ELECTRICAL SYMBOLS

- COMBO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

### FLOOR PLAN LEGEND

- Exhaust Fan
- Wall Tags, see T1.5a and T1.5b for Wall Schedule
- For Details see A9.0 and A9.1
  - Window Heads
  - Window Jambes
  - Window Sills
  - Parapets
  - Guard Rails
  - Site Walls and Fences
  - Skylights
- SIM. Similar
- TP Top of Parapet
- T.S. Top of Slope
- U Step(s) Up
- D Step(s) Down
- Drain
- Entry
- Combo Smoke / CO Detector
- KITCHEN Room Label with Room Number
- FF1 Finish Floor Material
- 1 | 000 Door Label
- A | 000 Window Label
- 1" Scale
- Roof Drain from Floor above
- Roof Drain
- Interior Elevation Tag, see A5.0 to A5.5

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LA JOLLA RESIDENCE # 1806

O+L BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

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## Leidy Residence

6216 Avenida Cresta, La Jolla, CA 92037

### ROOF TOP PLAN

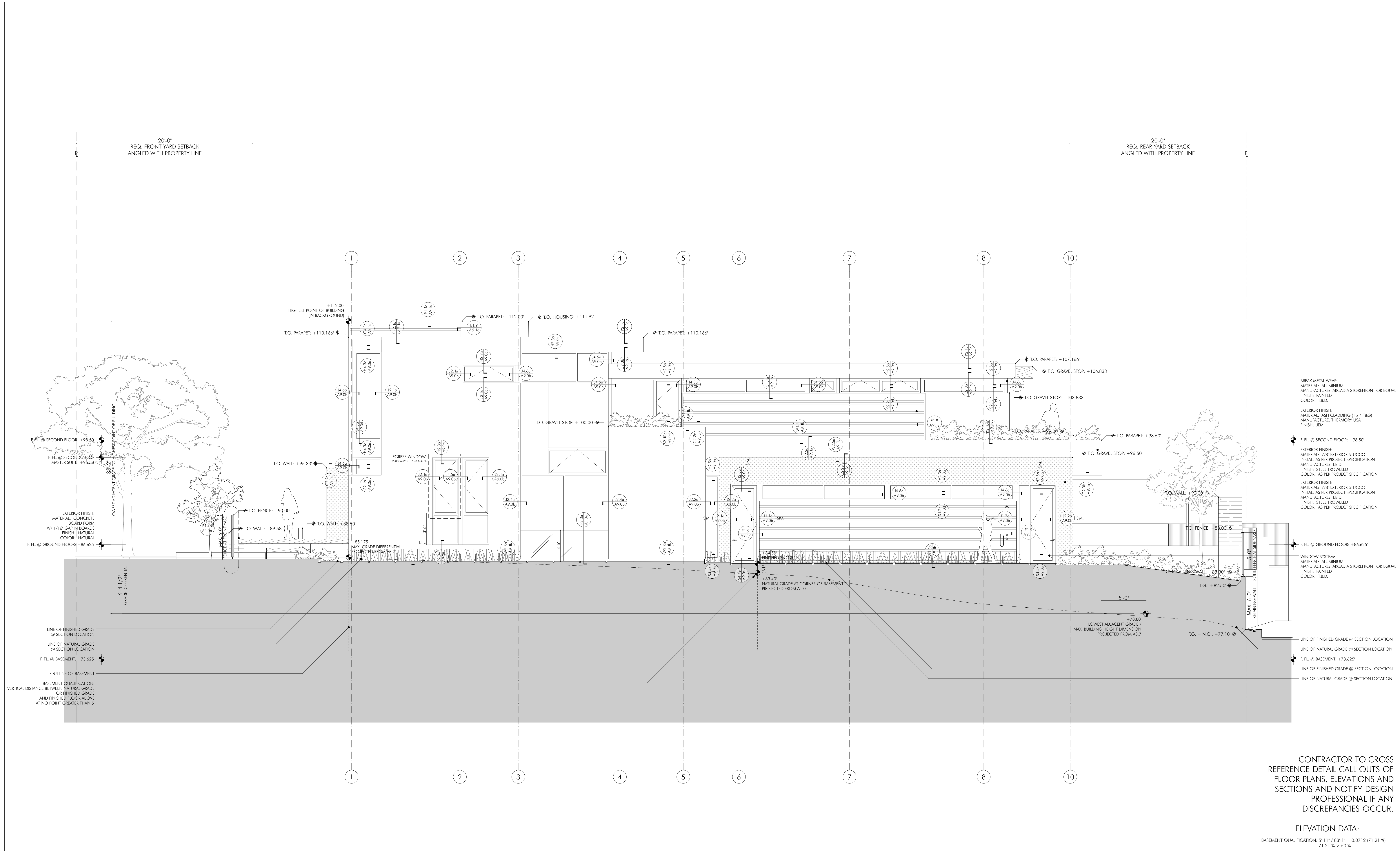
1/4" = 1' - 0"

## A1.4

Sheet No.21b/ 62



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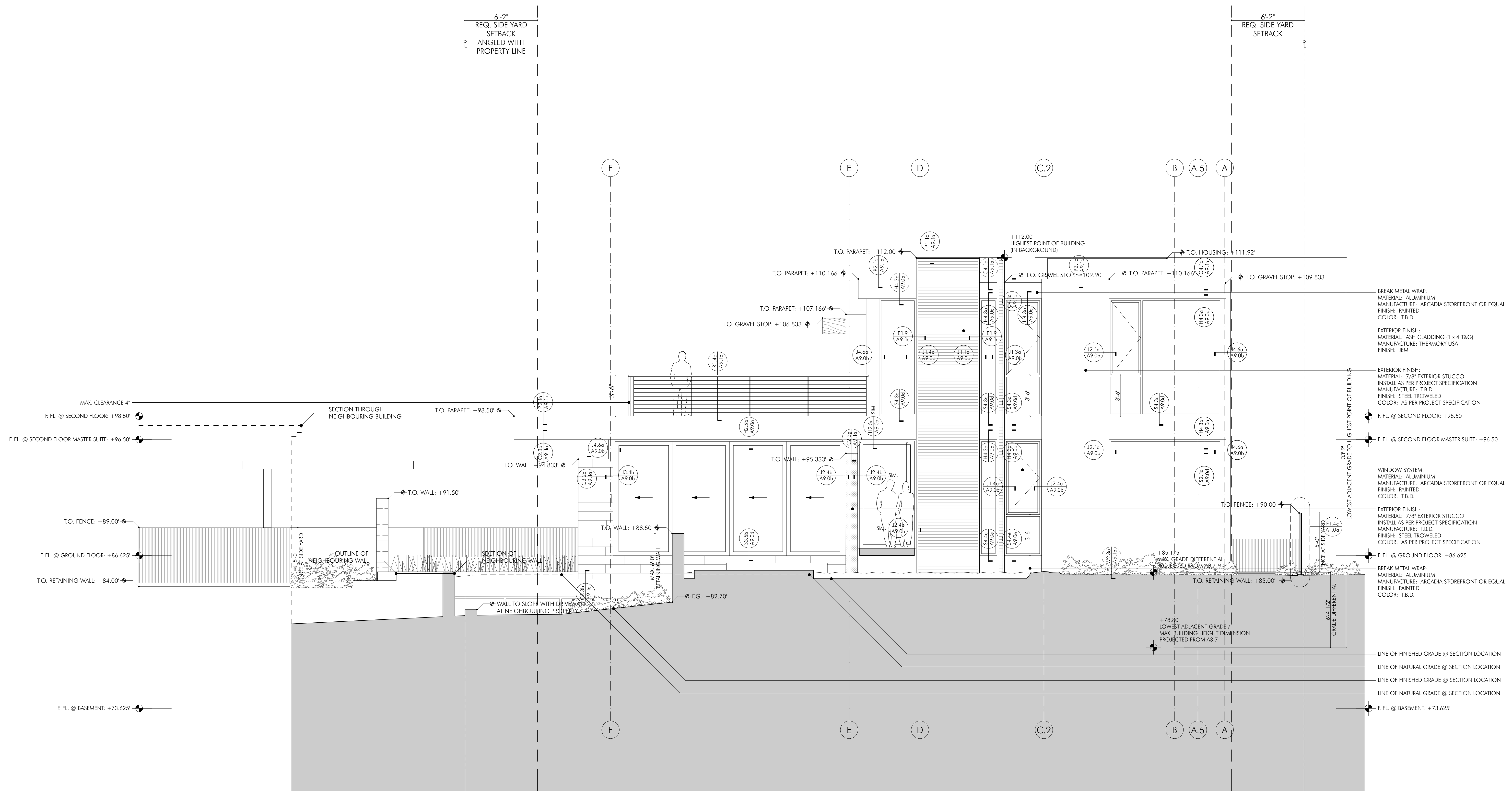
**NORTH ELEVATION**

1/4" = 1' - 0"

**A2.0**

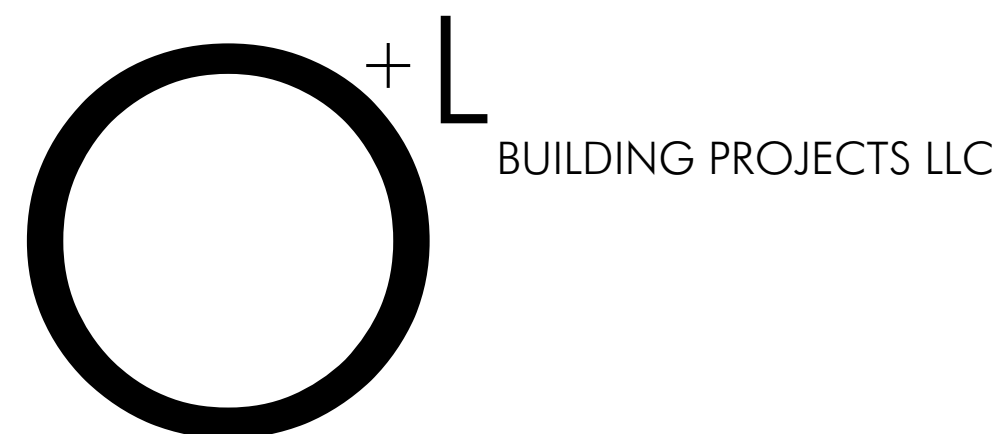
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**EAST ELEVATION**

1/4" = 1' - 0"

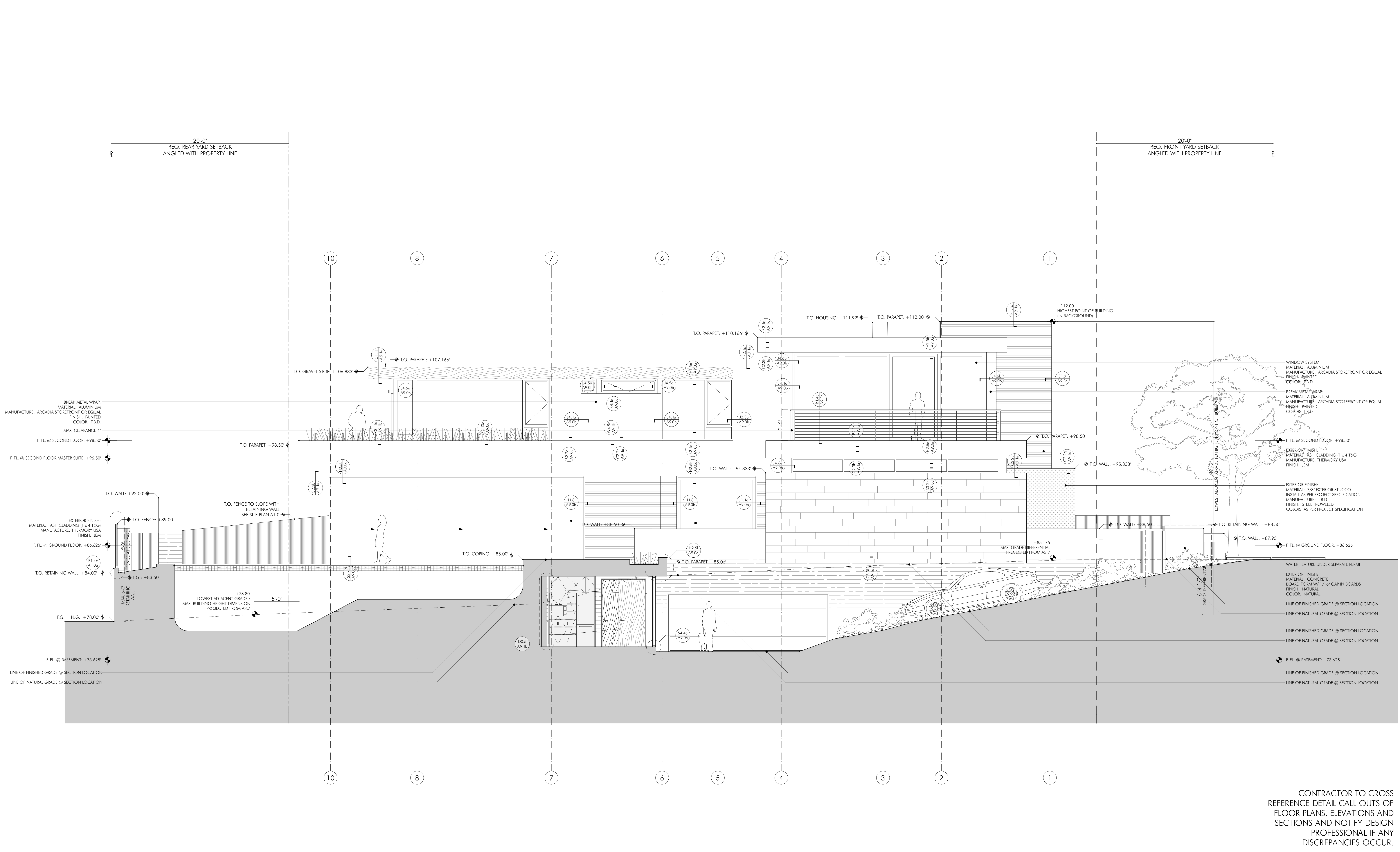
**A2.1**

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LA JOLLA RESIDENCE # 1806



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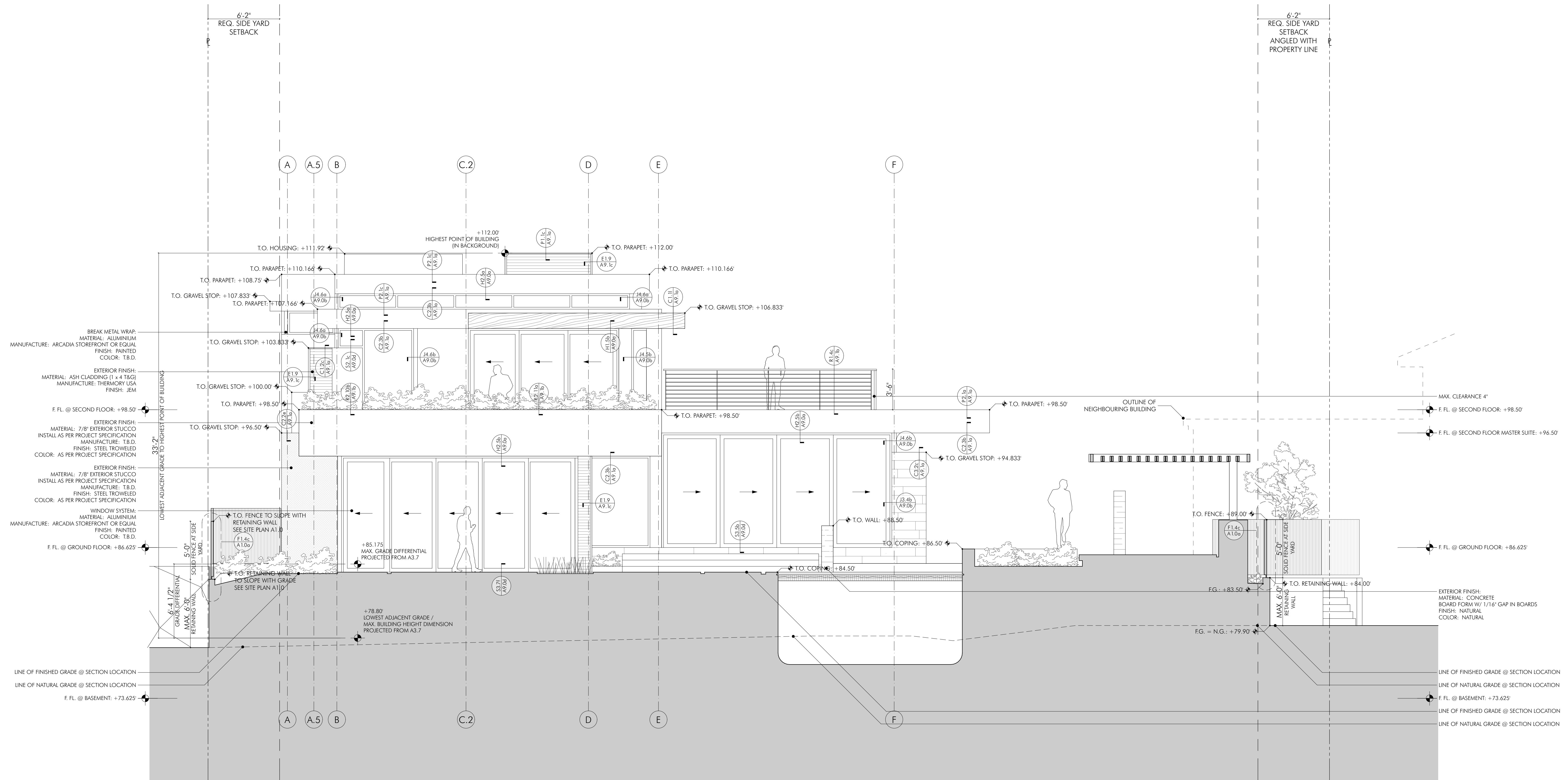
**SOUTH ELEVATION**

1/4" = 1' - 0"

**A2.2**

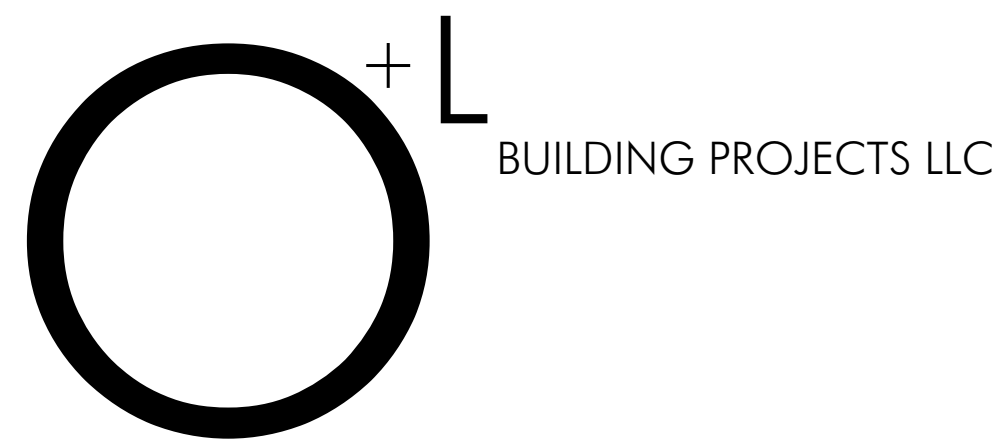
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6216 Avenida Cresta, La Jolla, CA 92037

**WEST ELEVATION**

1/4" = 1' - 0"

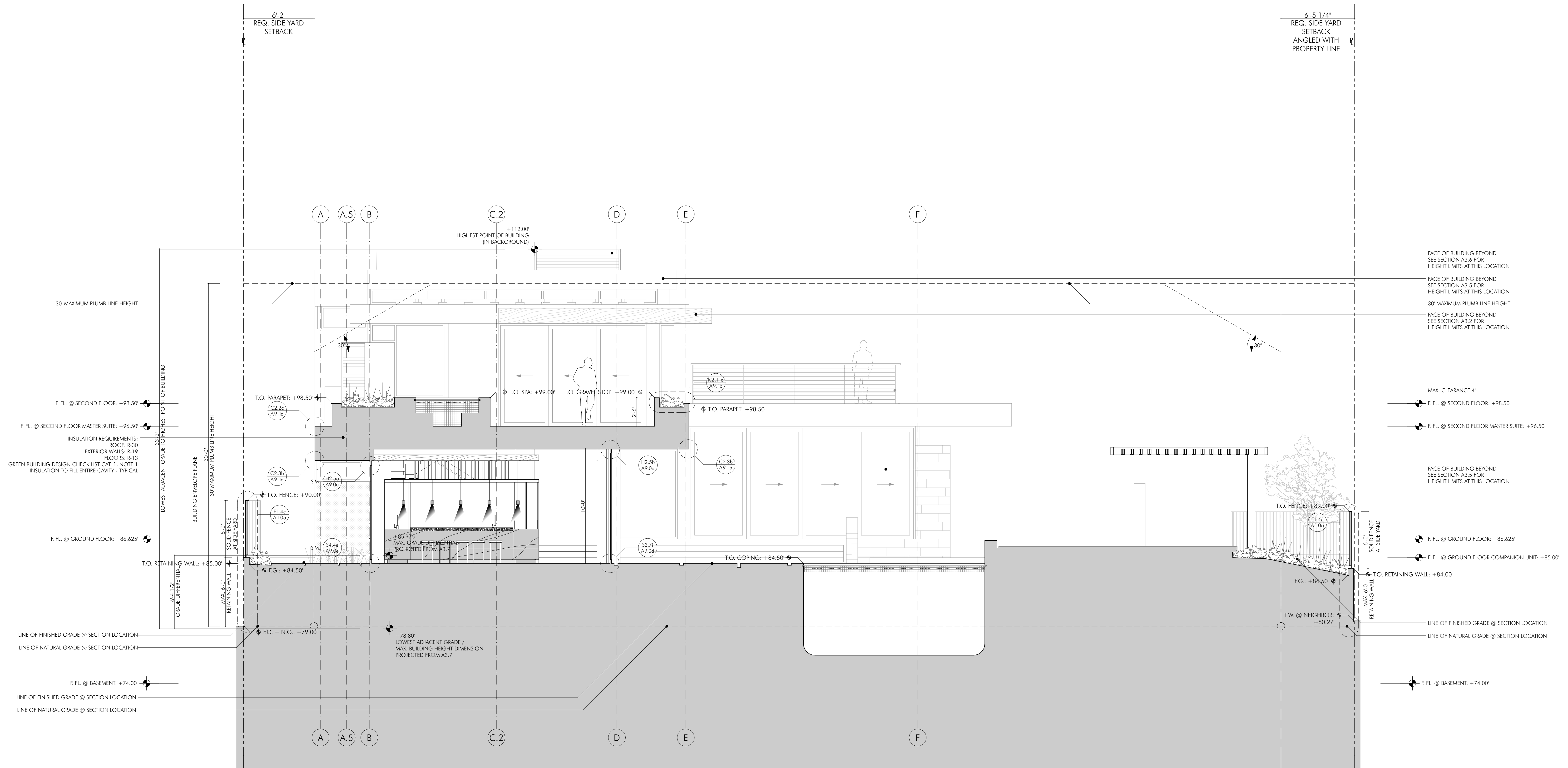
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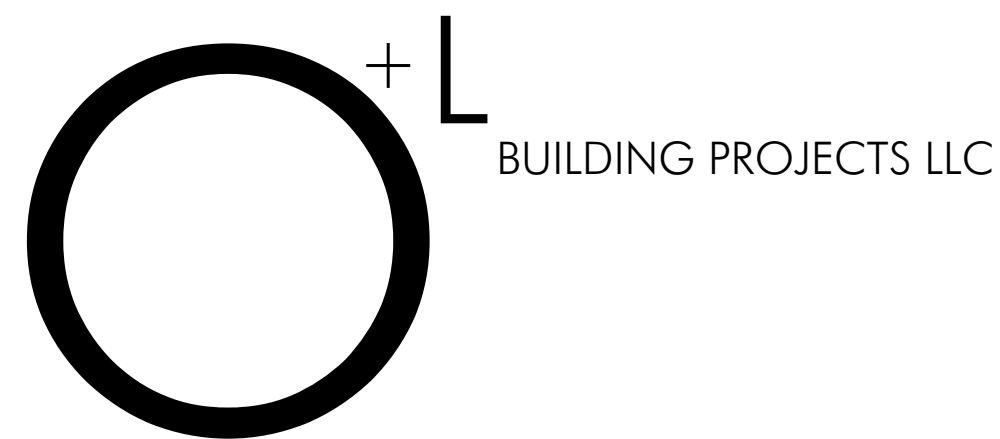
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**BUILDING SECTION**

1/4" = 1' - 0"

**A3.1**

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LA JOLLA RESIDENCE # 1806

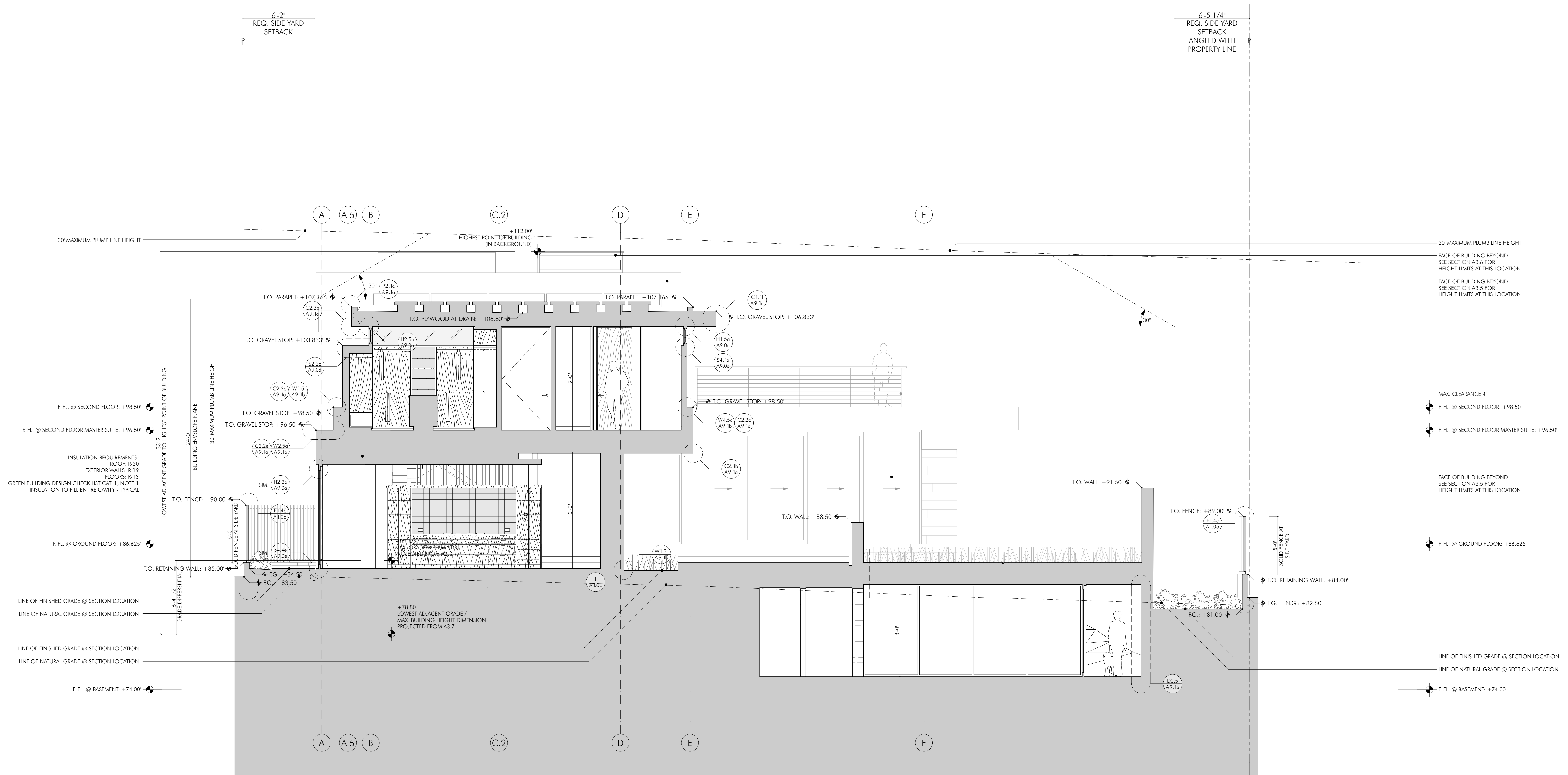
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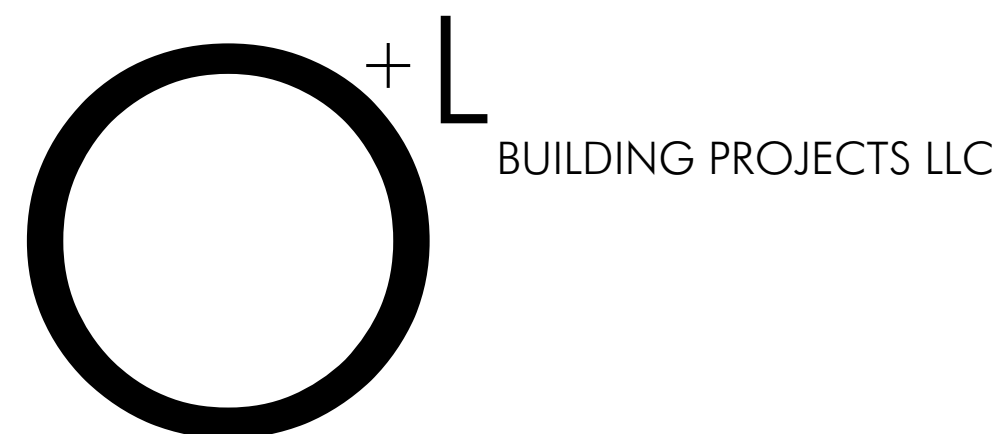


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**BUILDING SECTION**

1/4" = 1' - 0"

**A3.3**

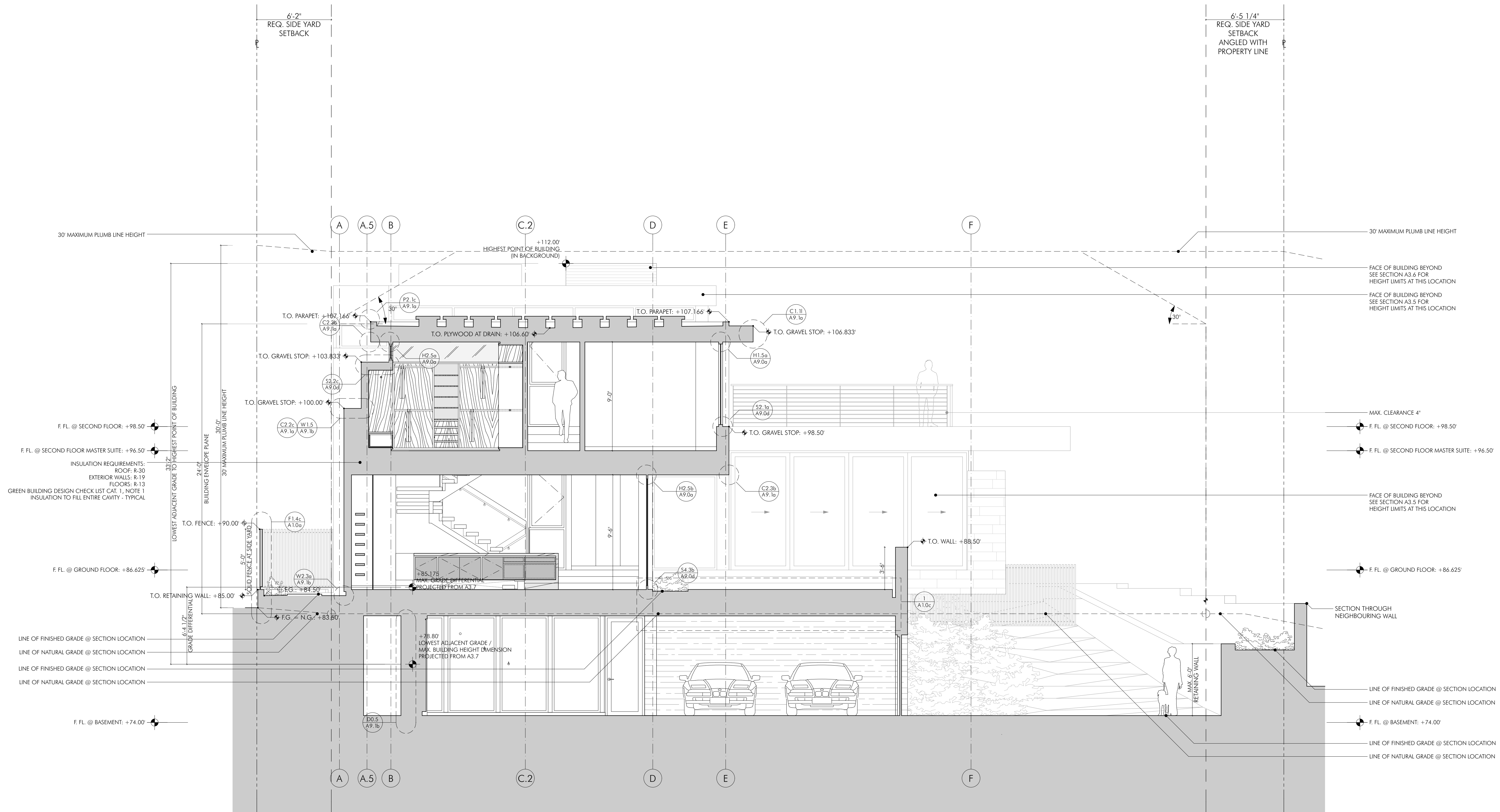
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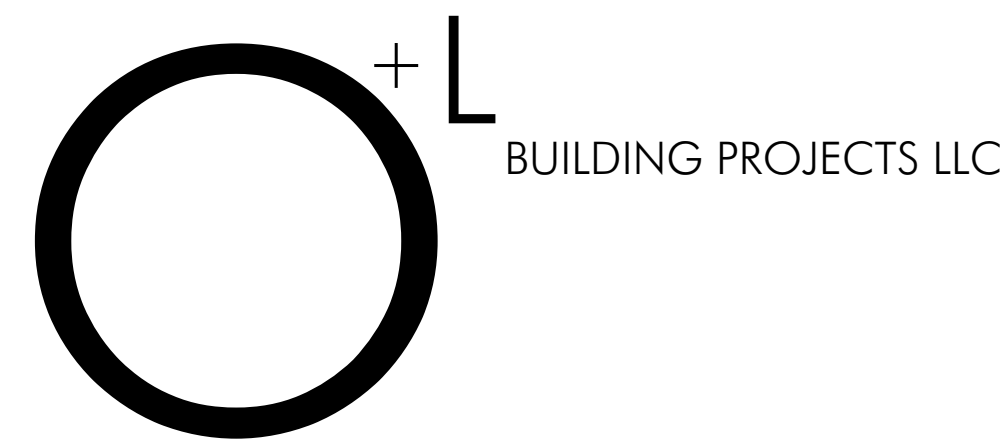


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BUILDING SECTION

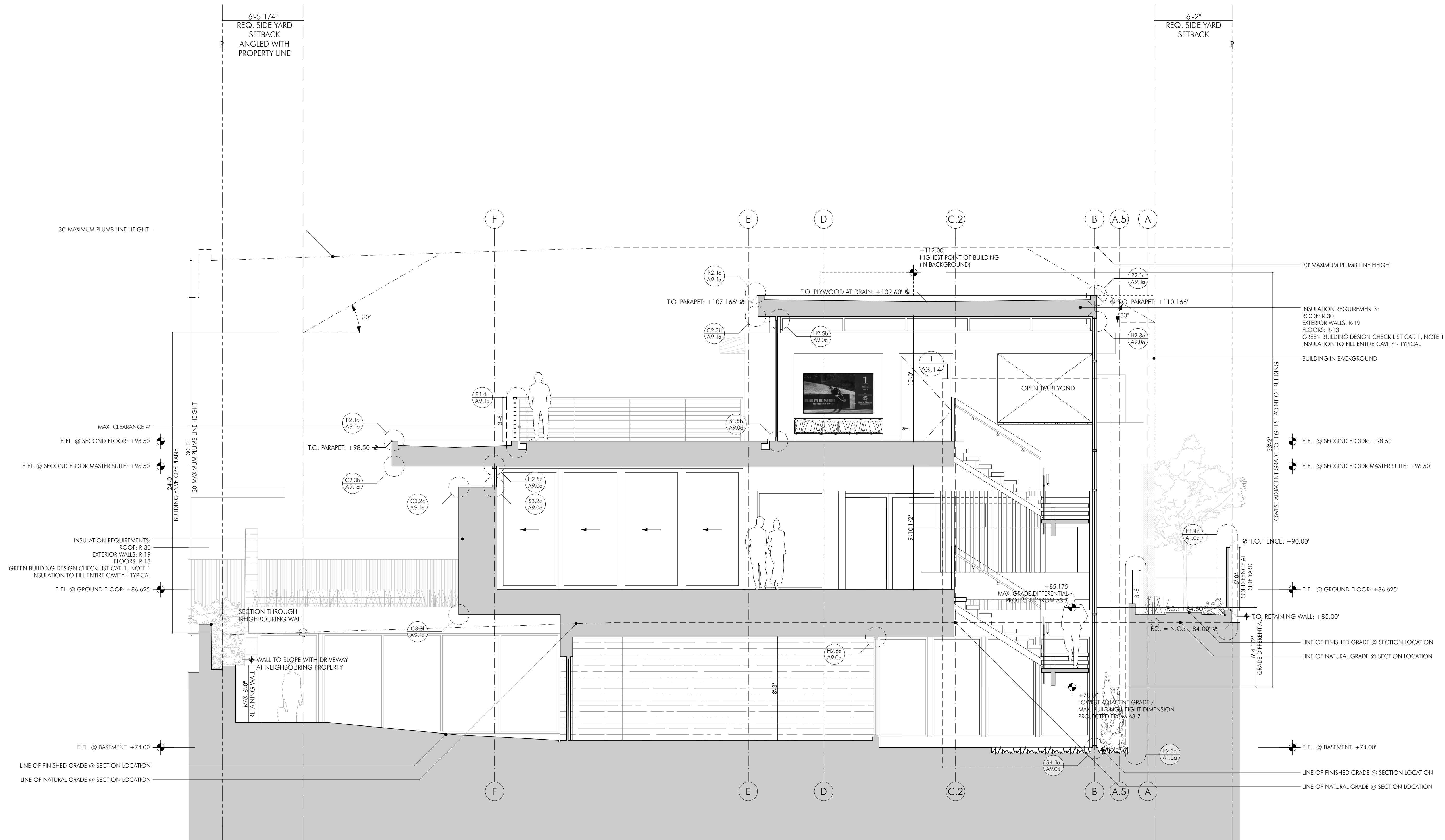
1/4" = 1' - 0"

A3.4

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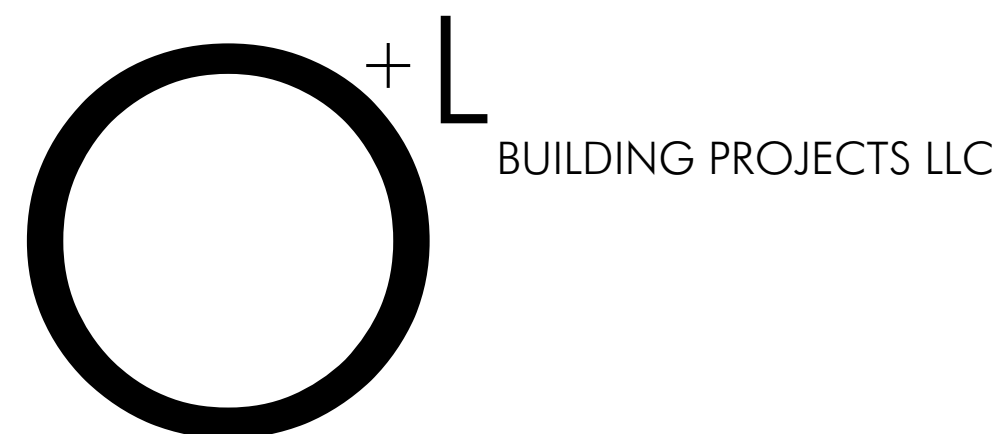


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BUILDING SECTION

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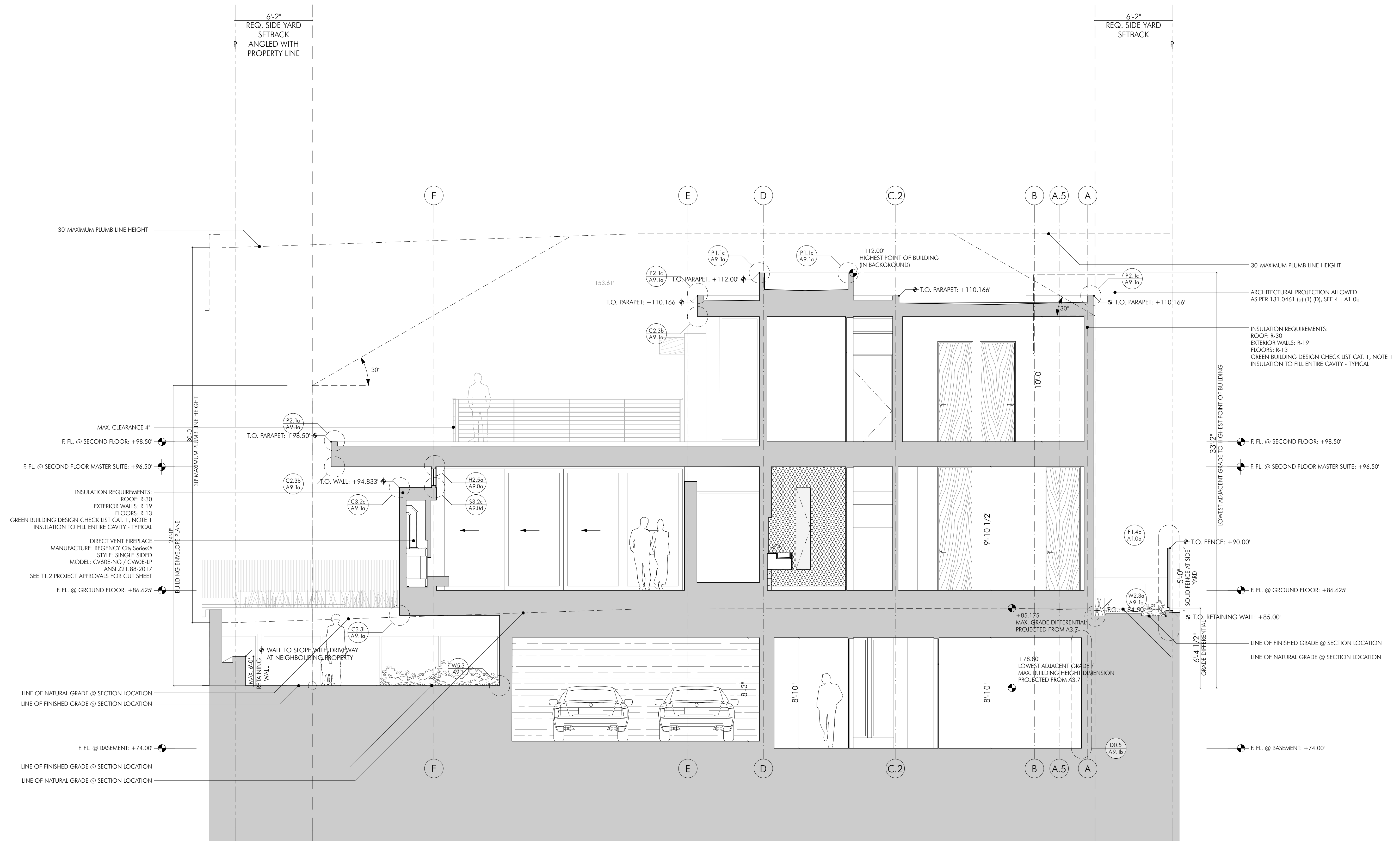
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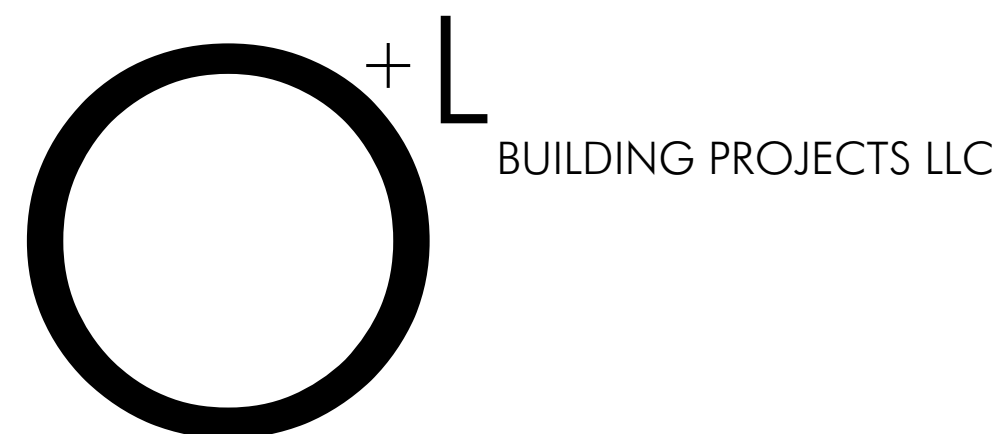


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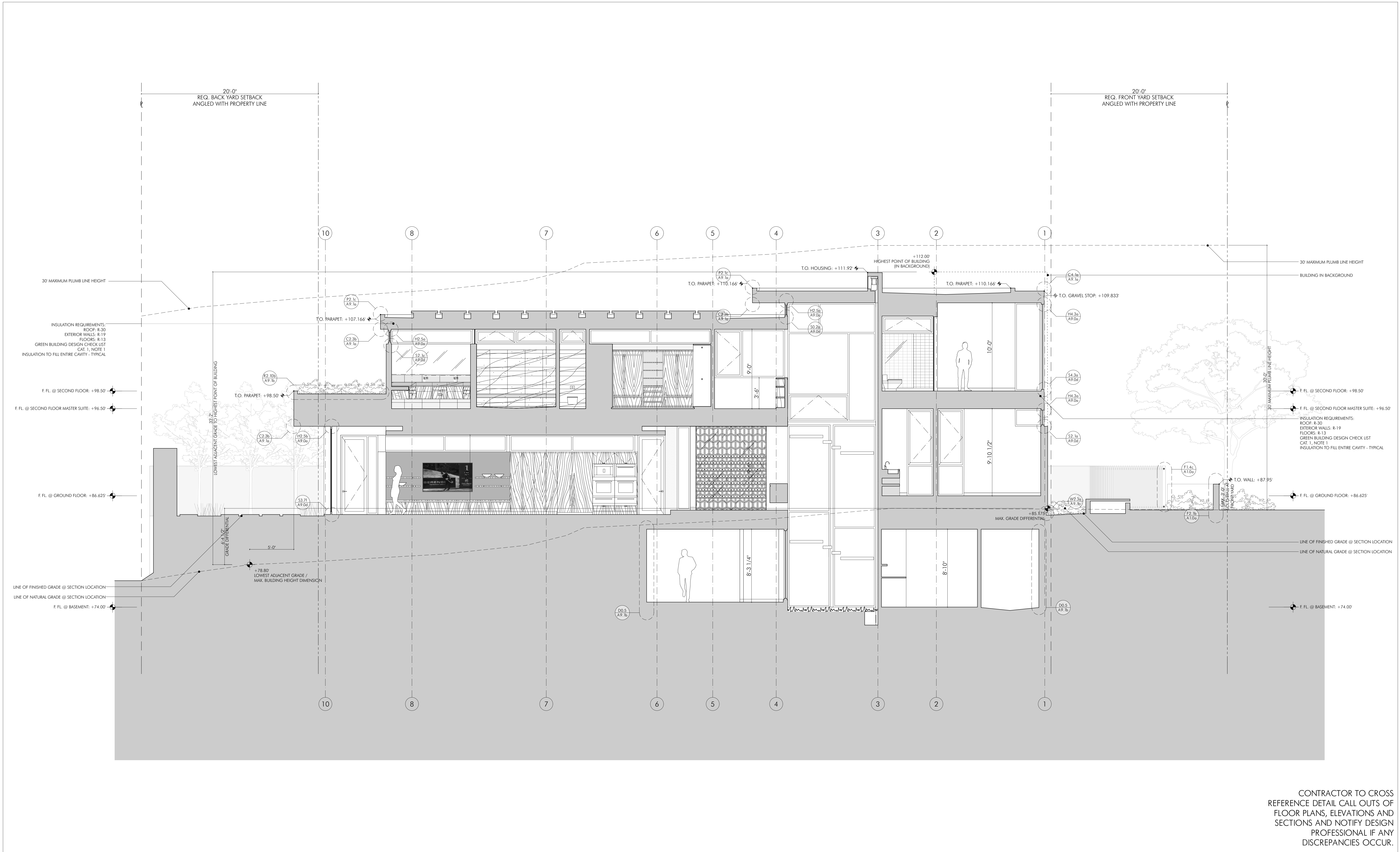
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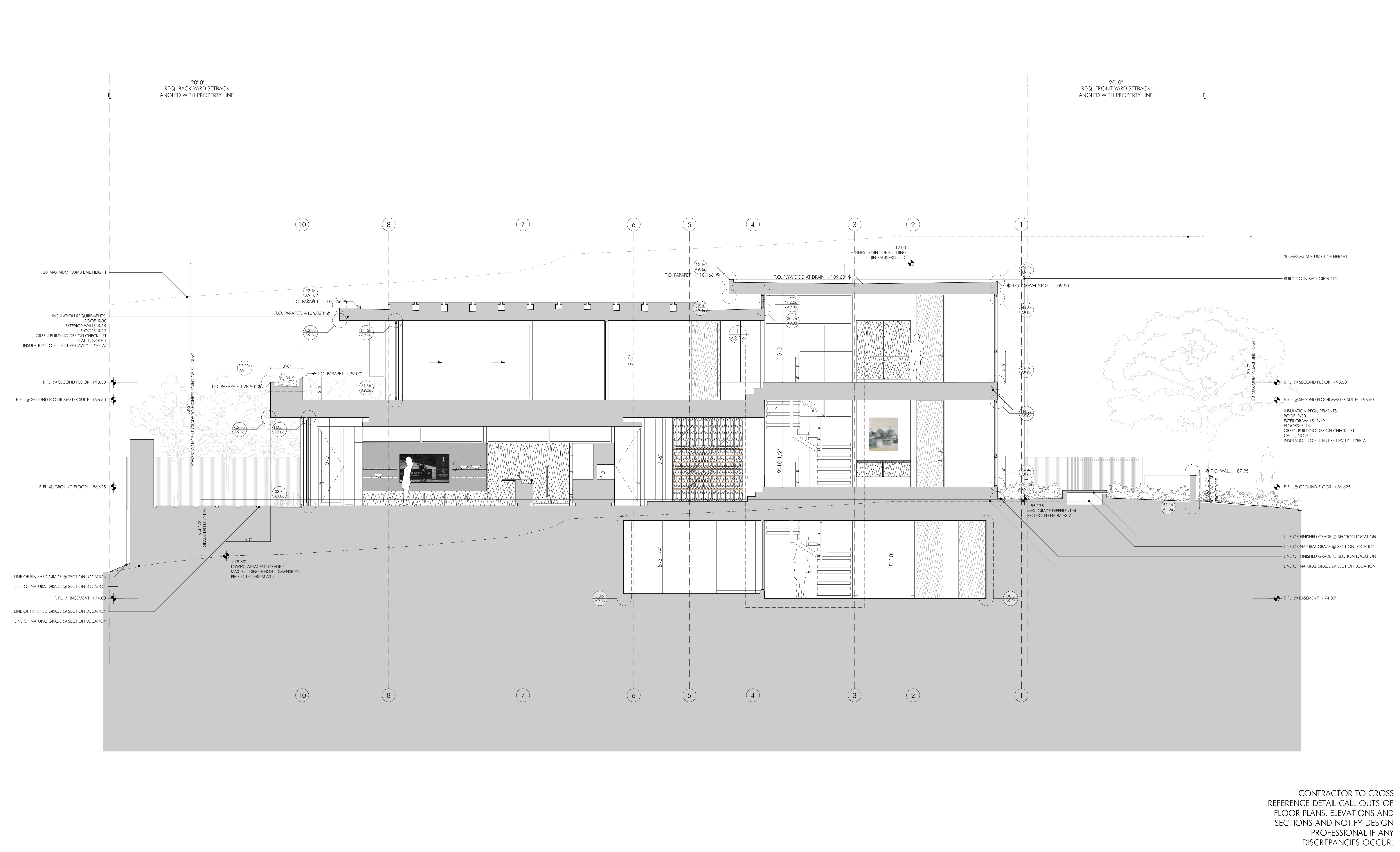
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**A3.7**

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**BUILDING SECTION**

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**A3.8**

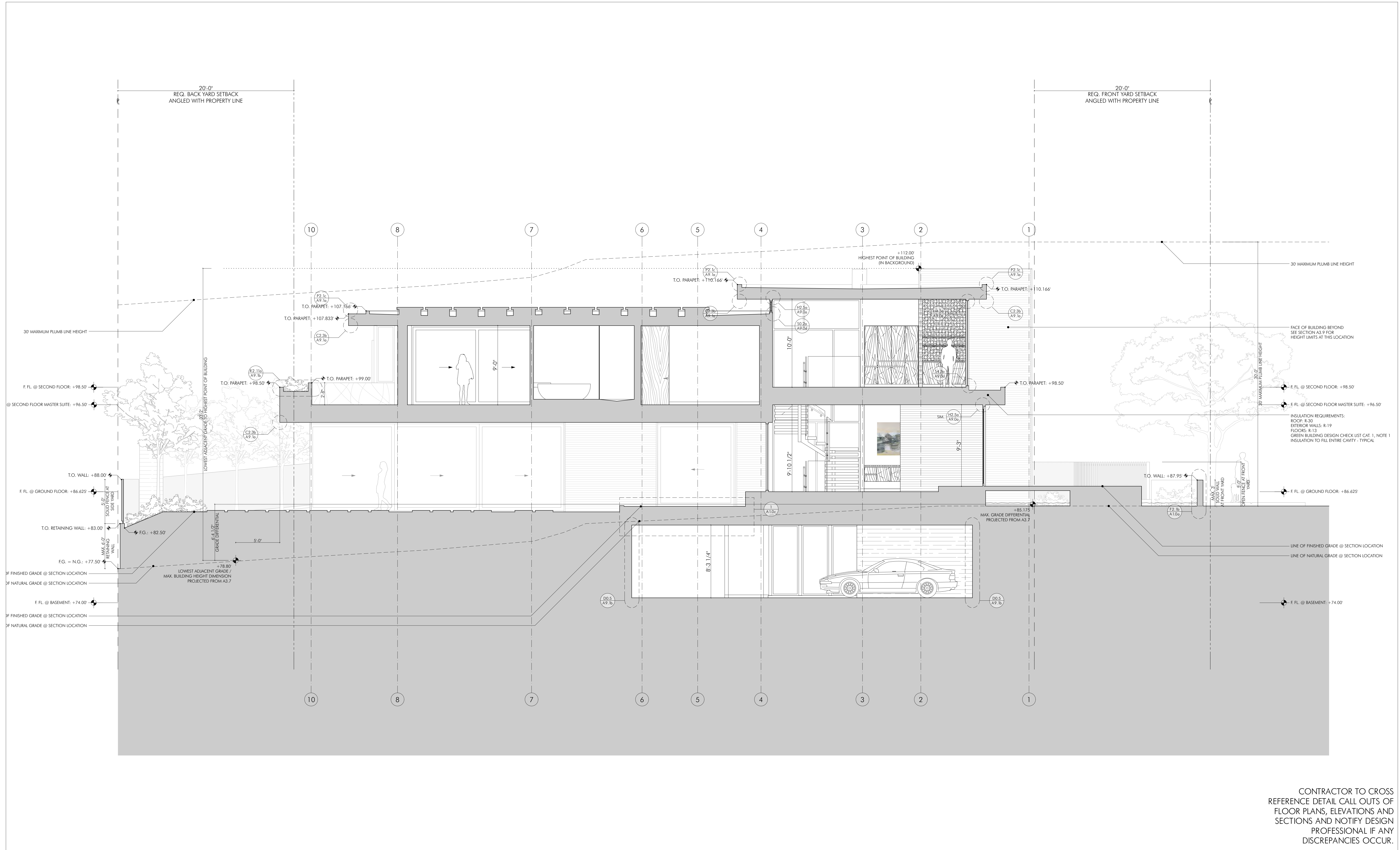
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06.09.2021: CDP Hearing  
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 02.11.2019: Original Drawing Preparation Date

PROJECT LOG:

**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

**BUILDING SECTION**

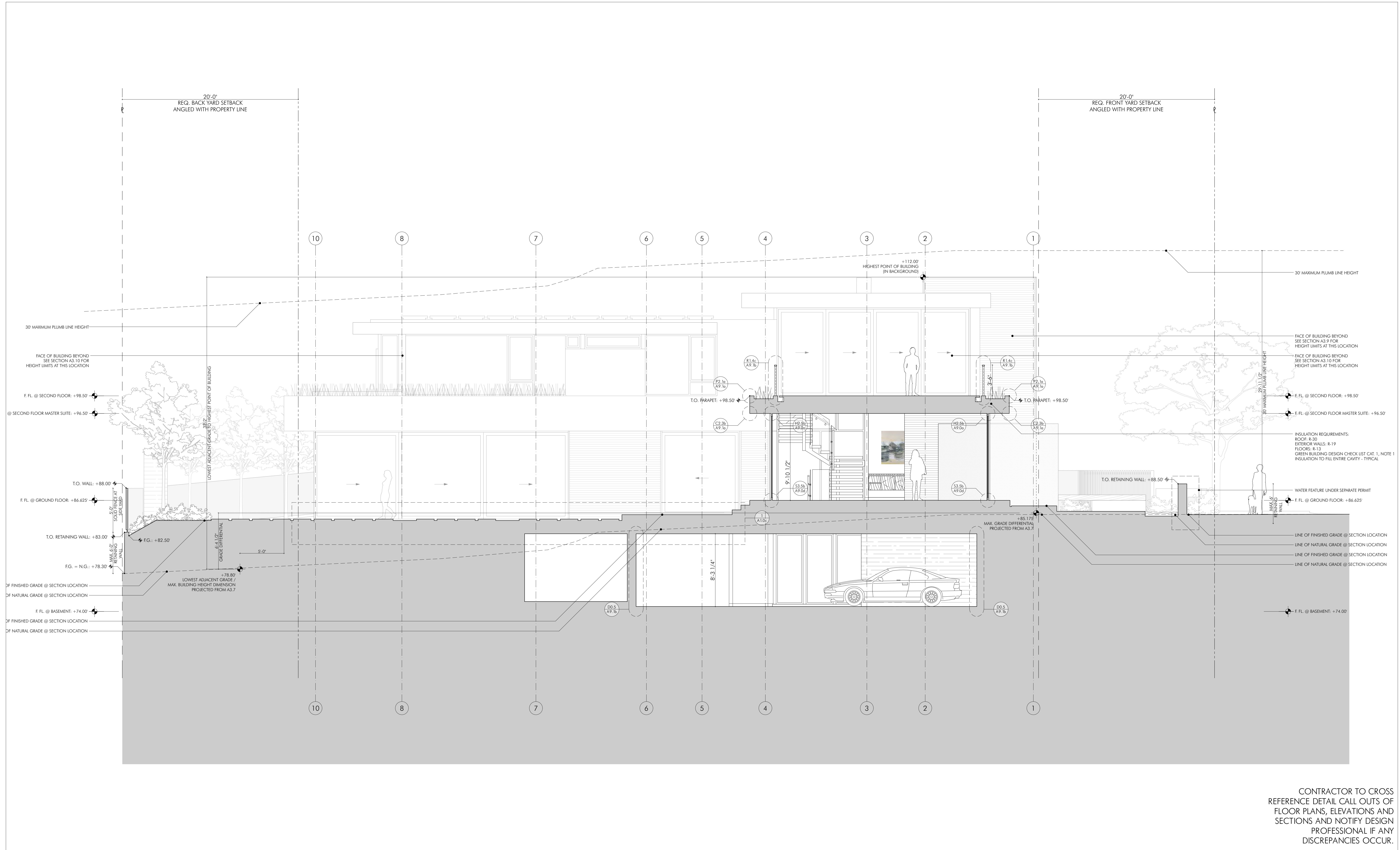
1/4" = 1' - 0"

**A3.10**

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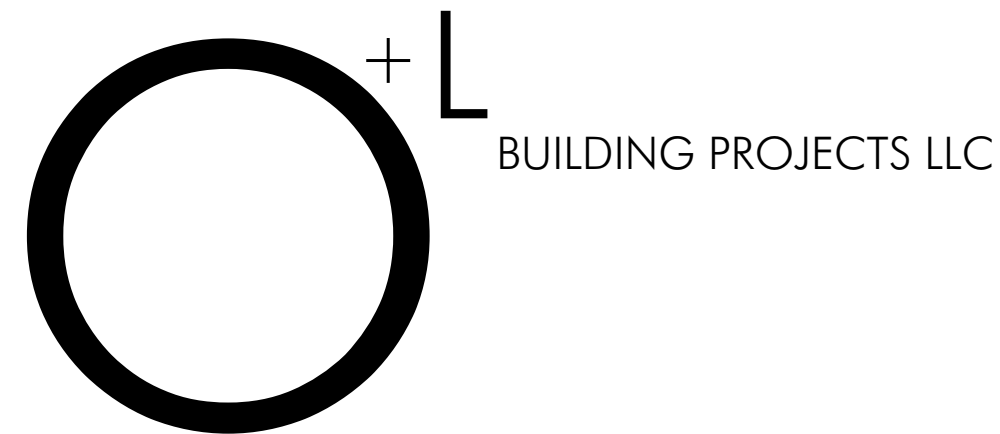


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CONTRACTOR TO CROSS  
REFERENCE DETAIL CALL OUTS OF  
FLOOR PLANS, ELEVATIONS AND  
SECTIONS AND NOTIFY DESIGN  
PROFESSIONAL IF ANY  
DISCREPANCIES OCCUR.

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PROJECT LOG:

**Leidy Residence**  
6216 Avenida Cresta, La Jolla, CA 92037

**BUILDING SECTION**

1/4" = 1' - 0"

**A3.11**

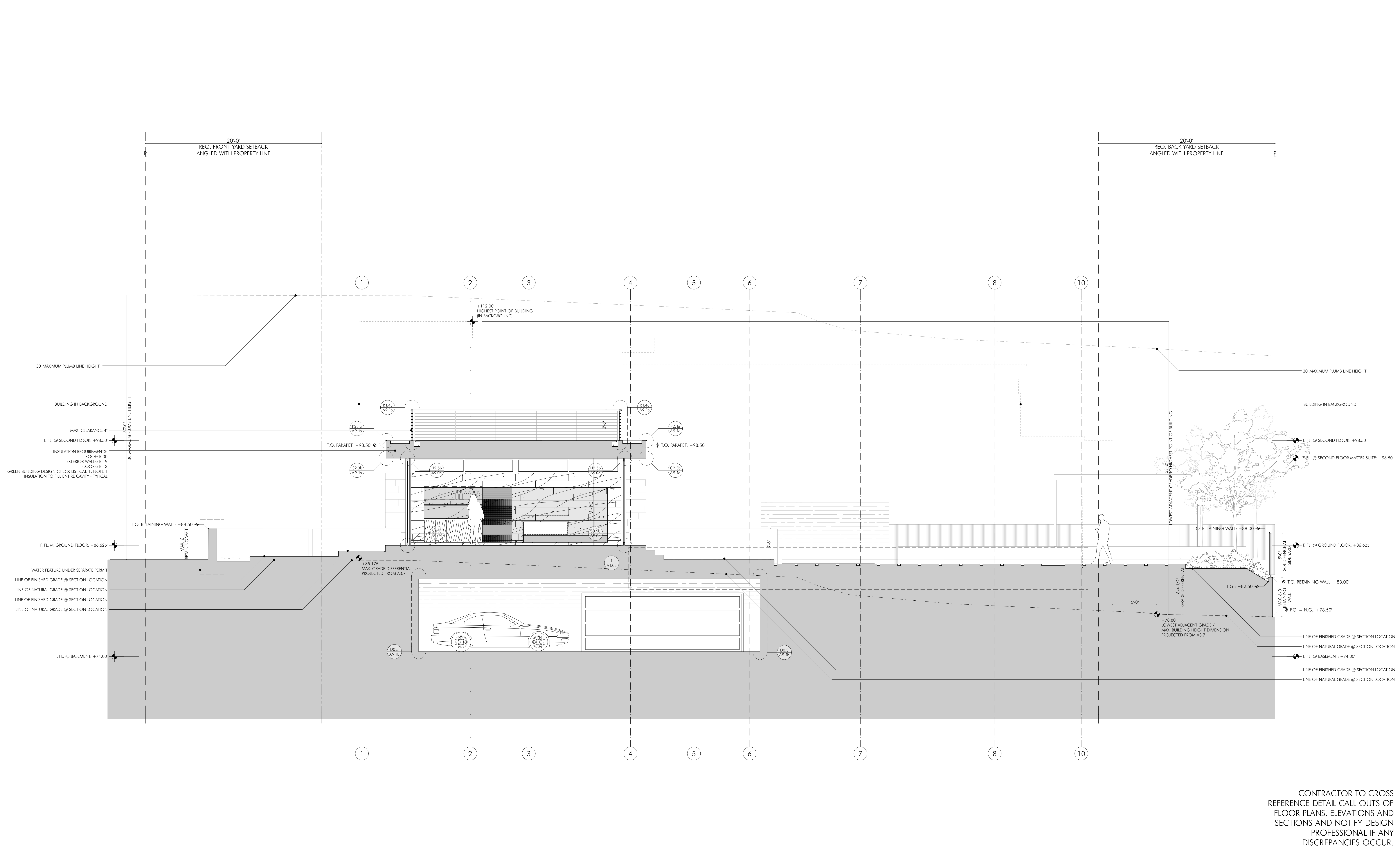
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LA JOLLA RESIDENCE # 1806

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PROJECT LOG:

Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

BUILDING SECTION

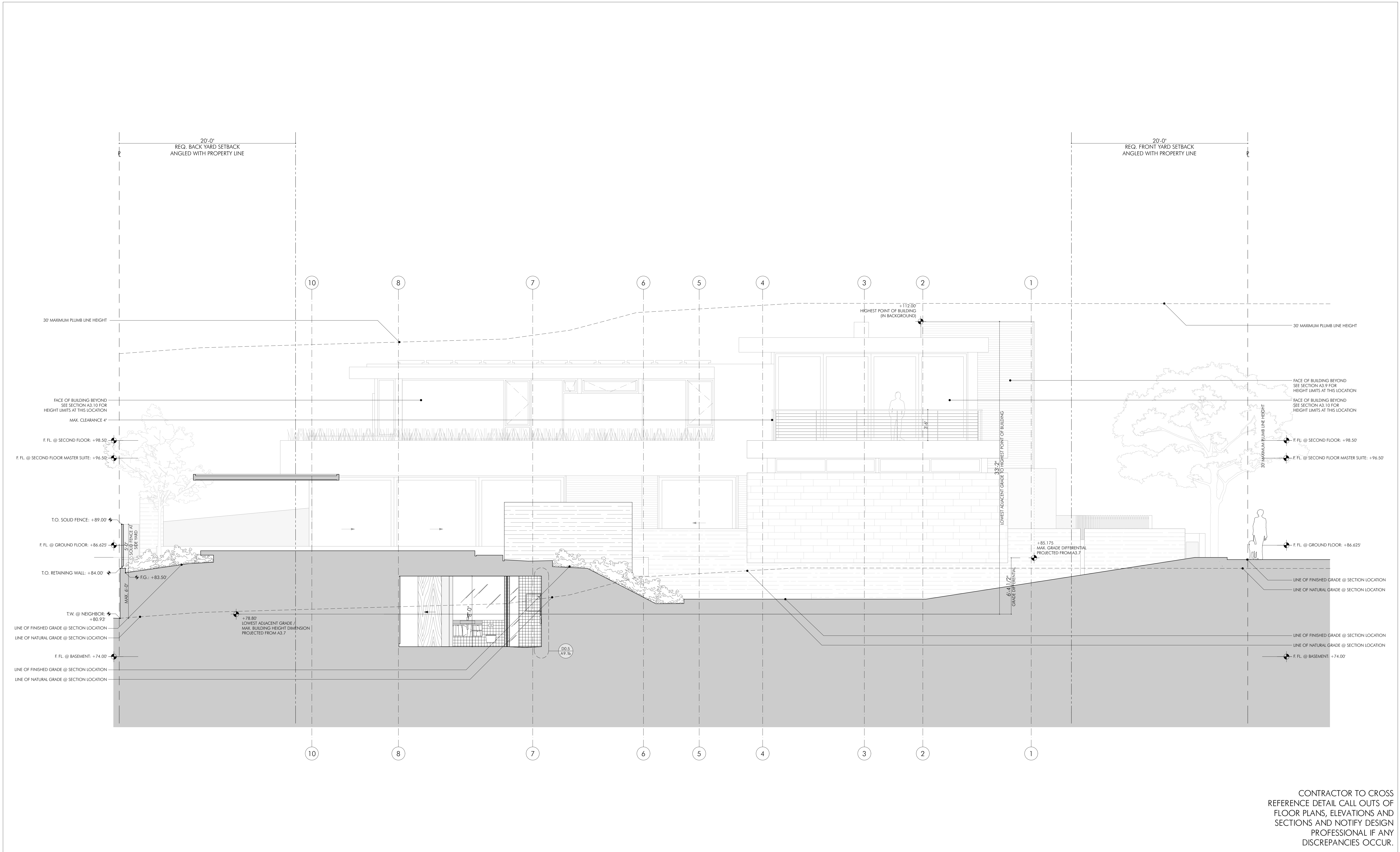
1/4" = 1' - 0"

A3.12

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CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

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**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

**BUILDING SECTION**

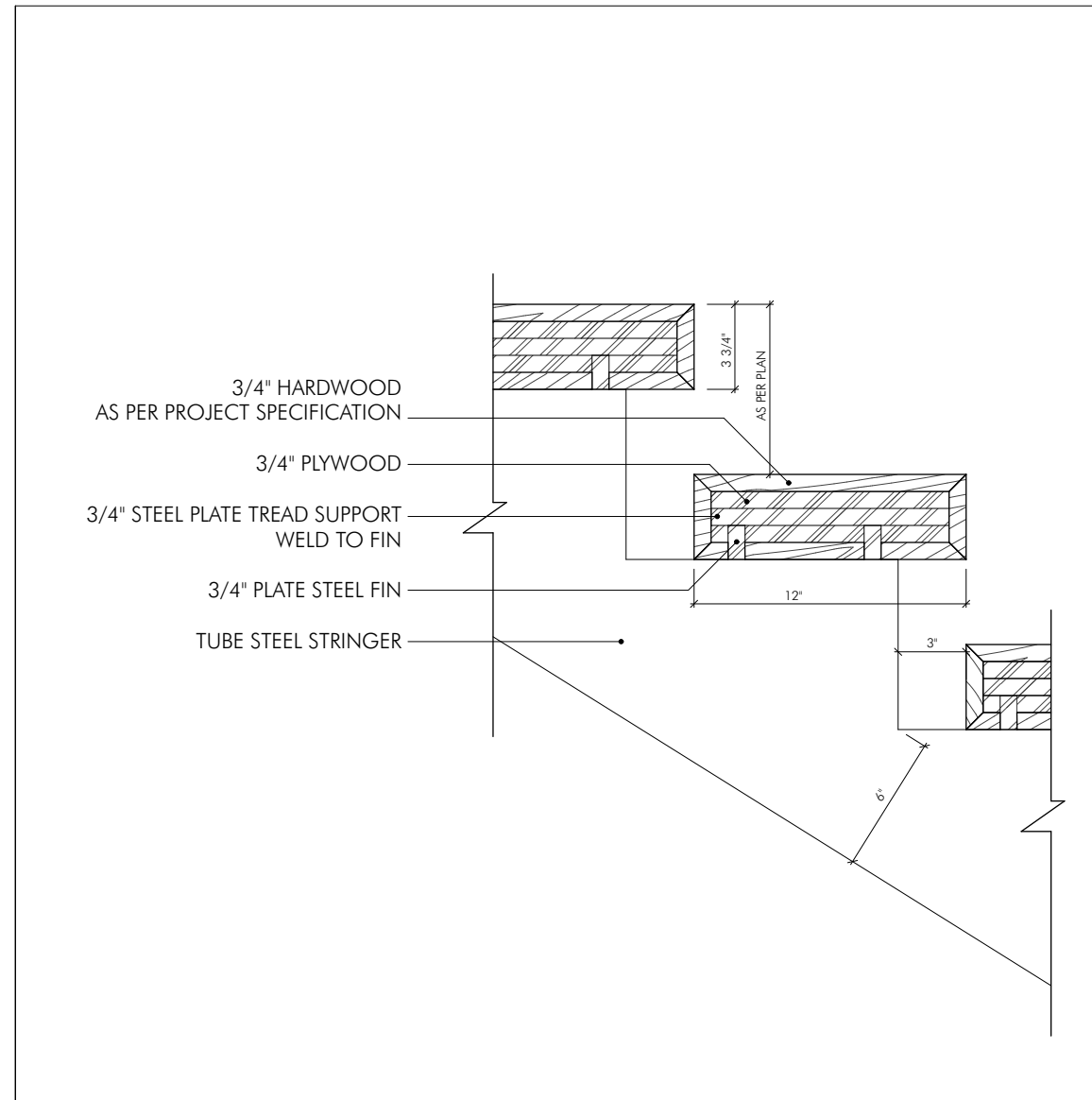
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**A3.13**

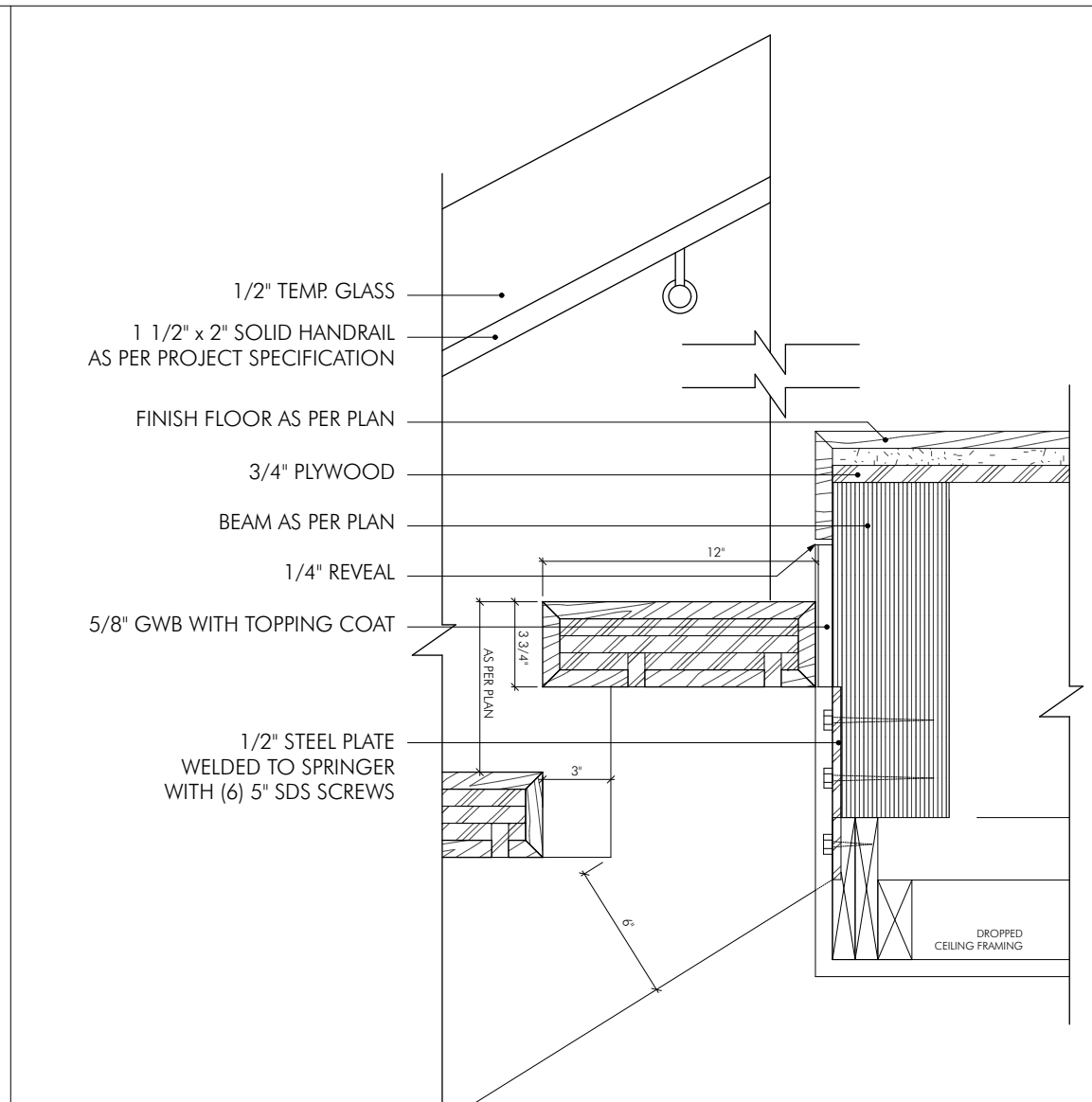
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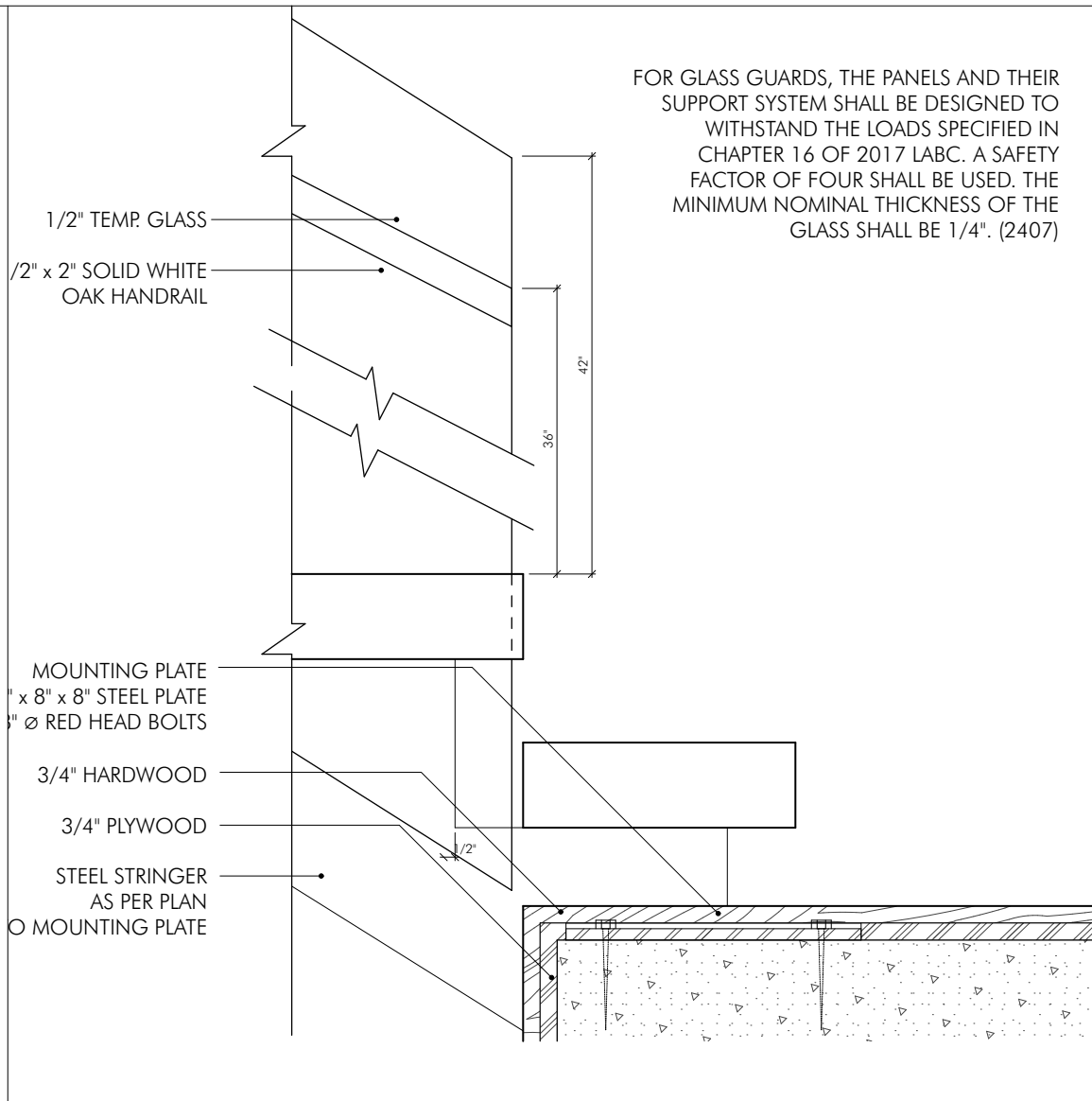
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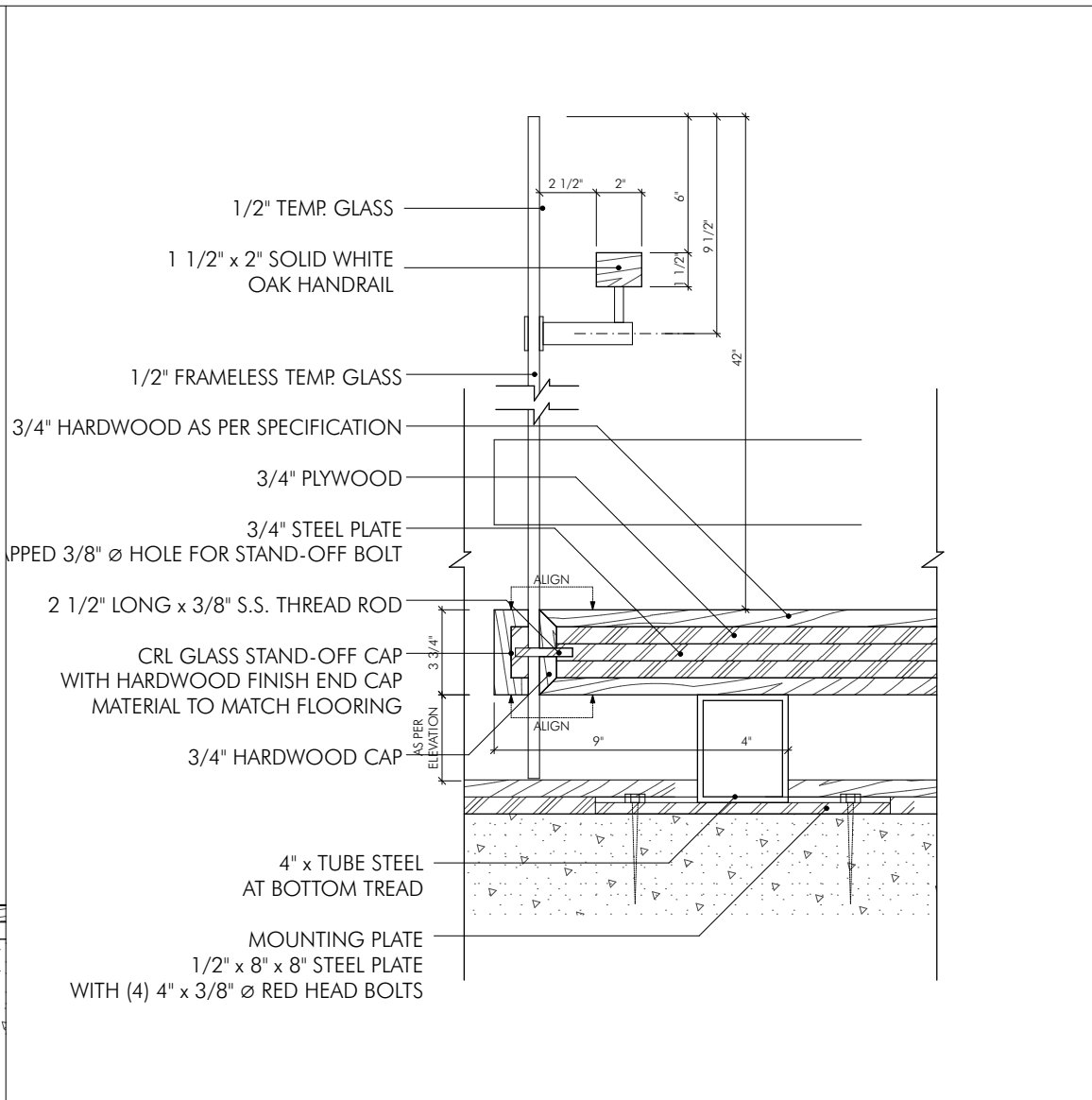
1 TYPICAL STAIR TREAD



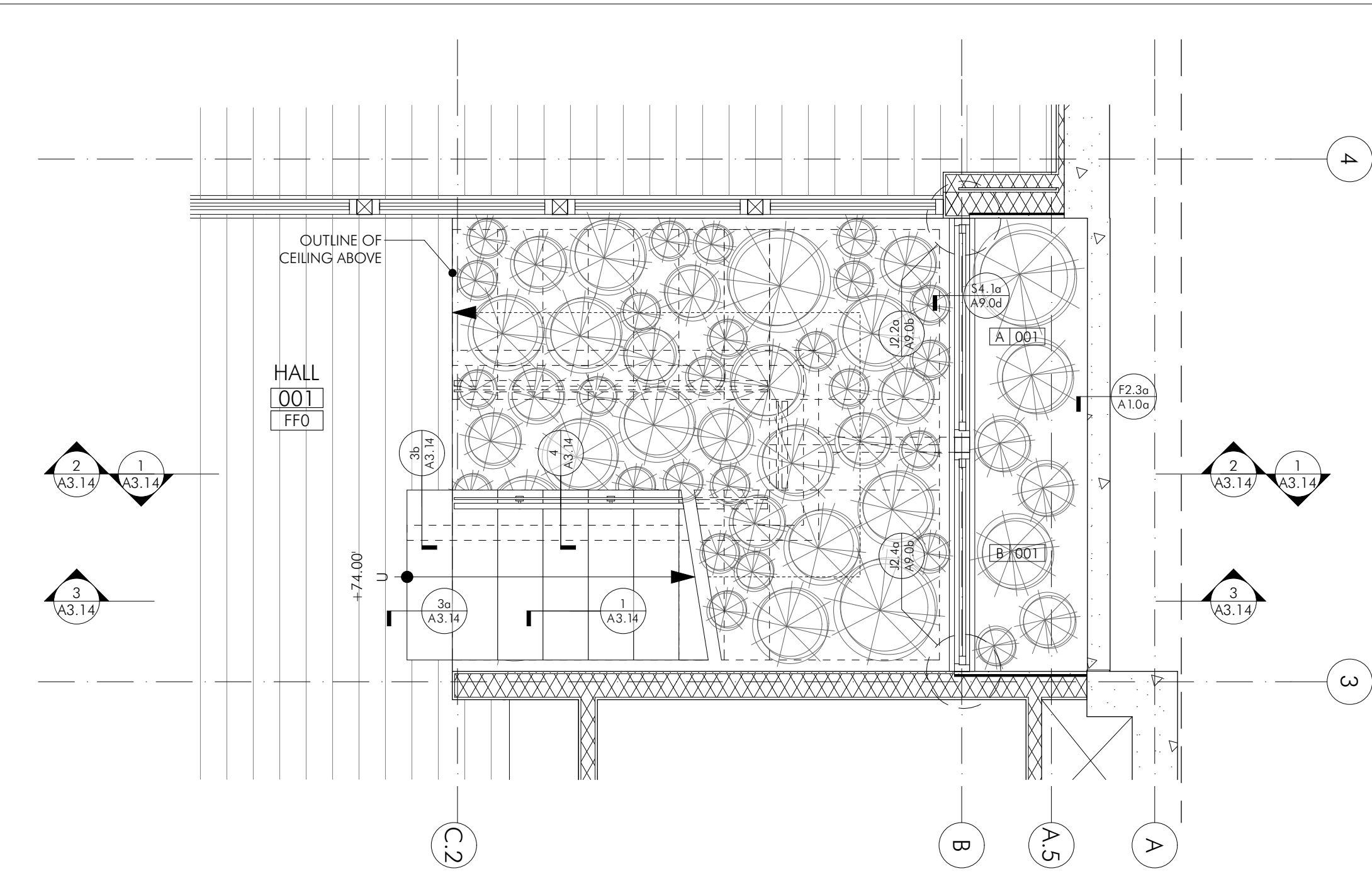
2 STAIR TOP @ FLOOR



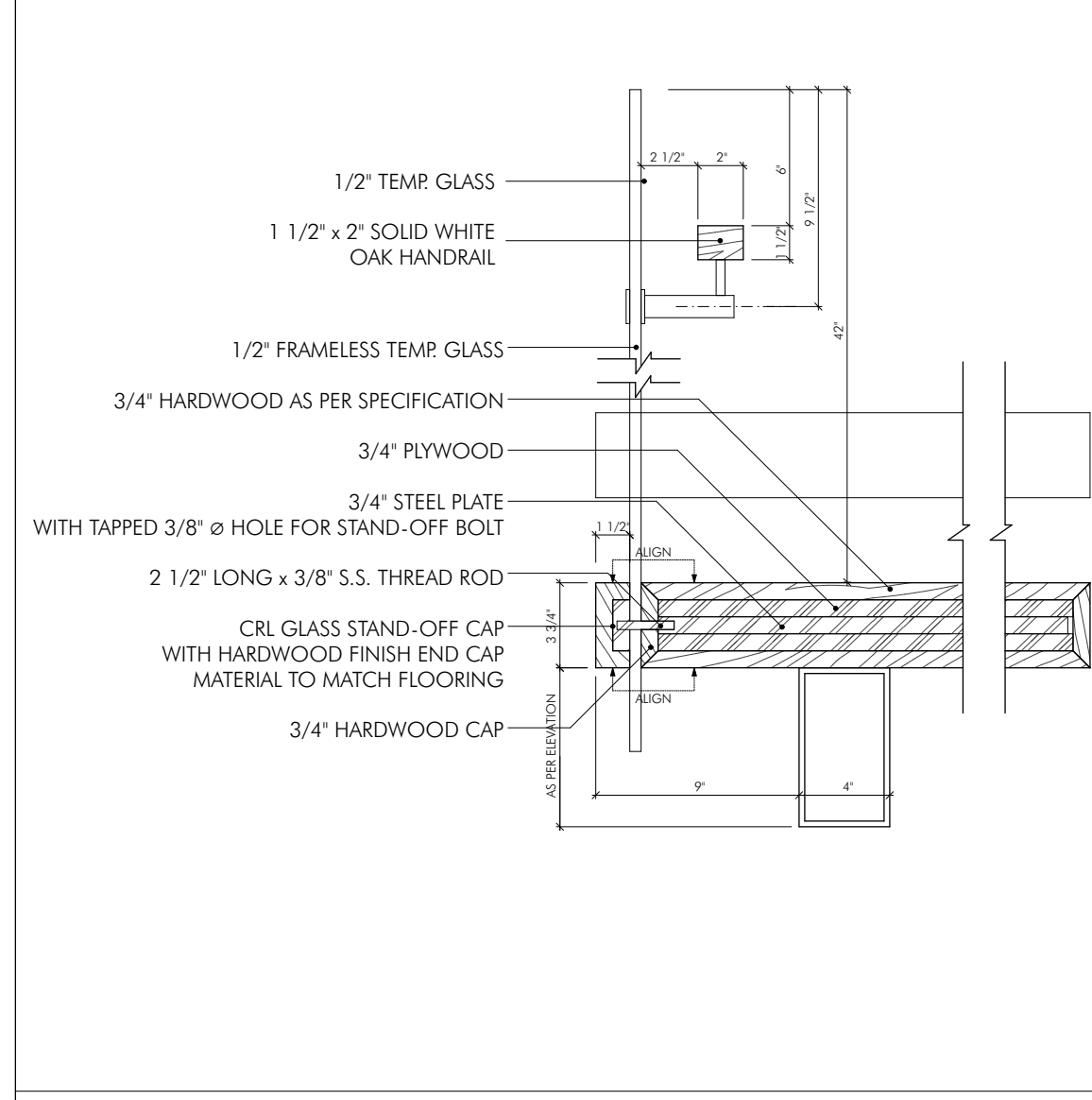
3a STAIR BOTTOM @ FLOOR



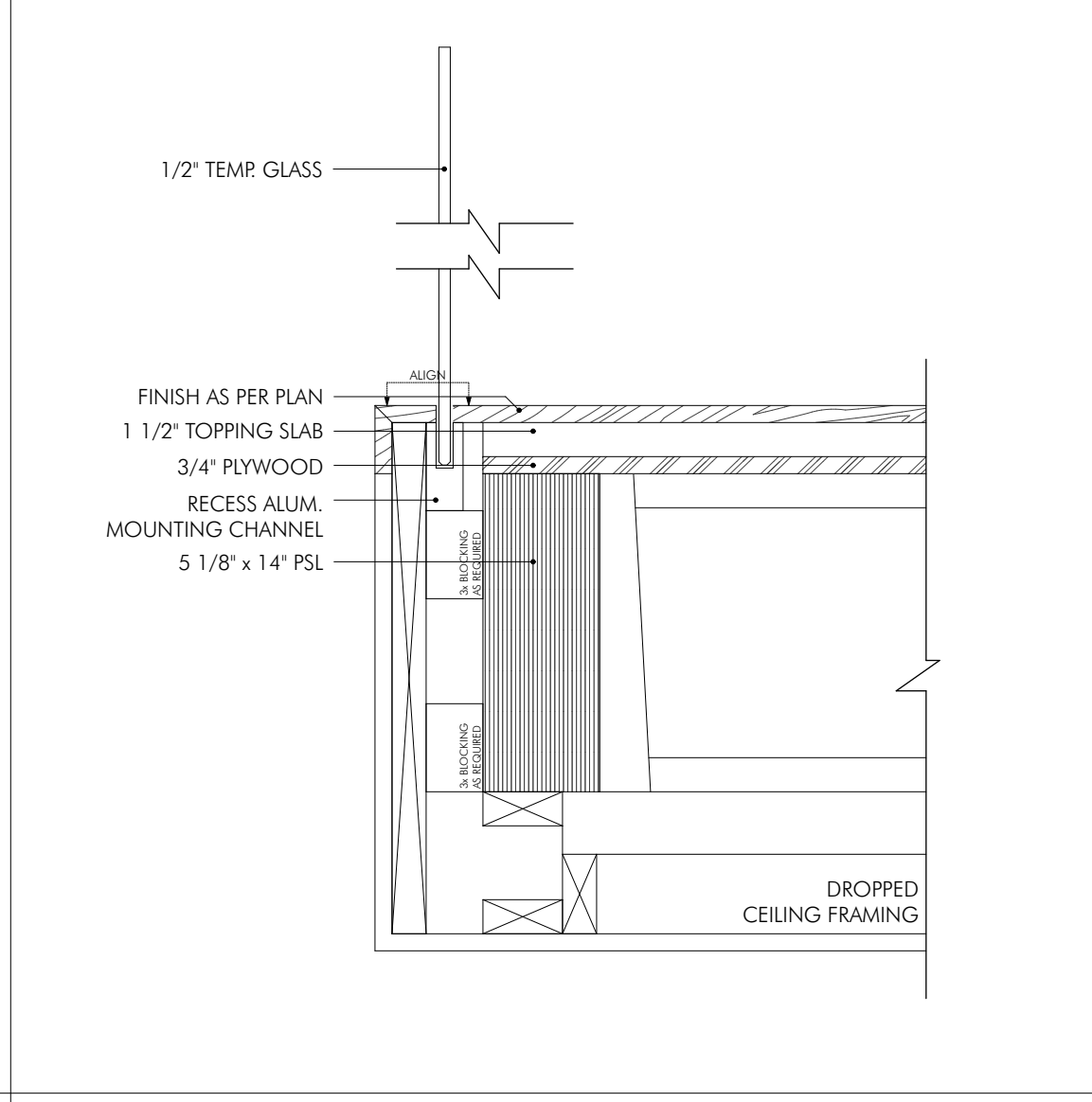
3b STAIR BOTTOM @ FLOOR



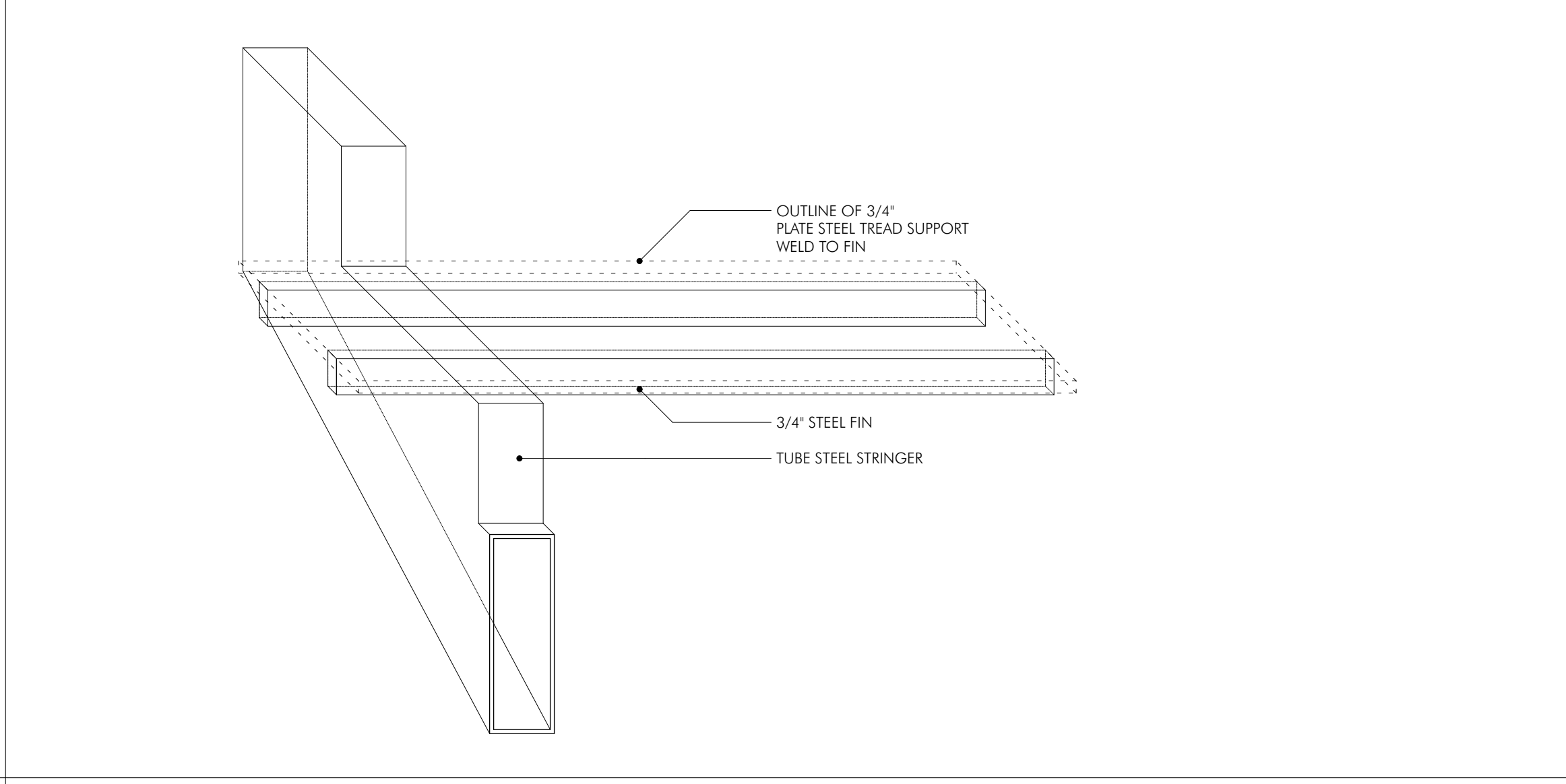
10 FLOOR PLAN BASEMENT



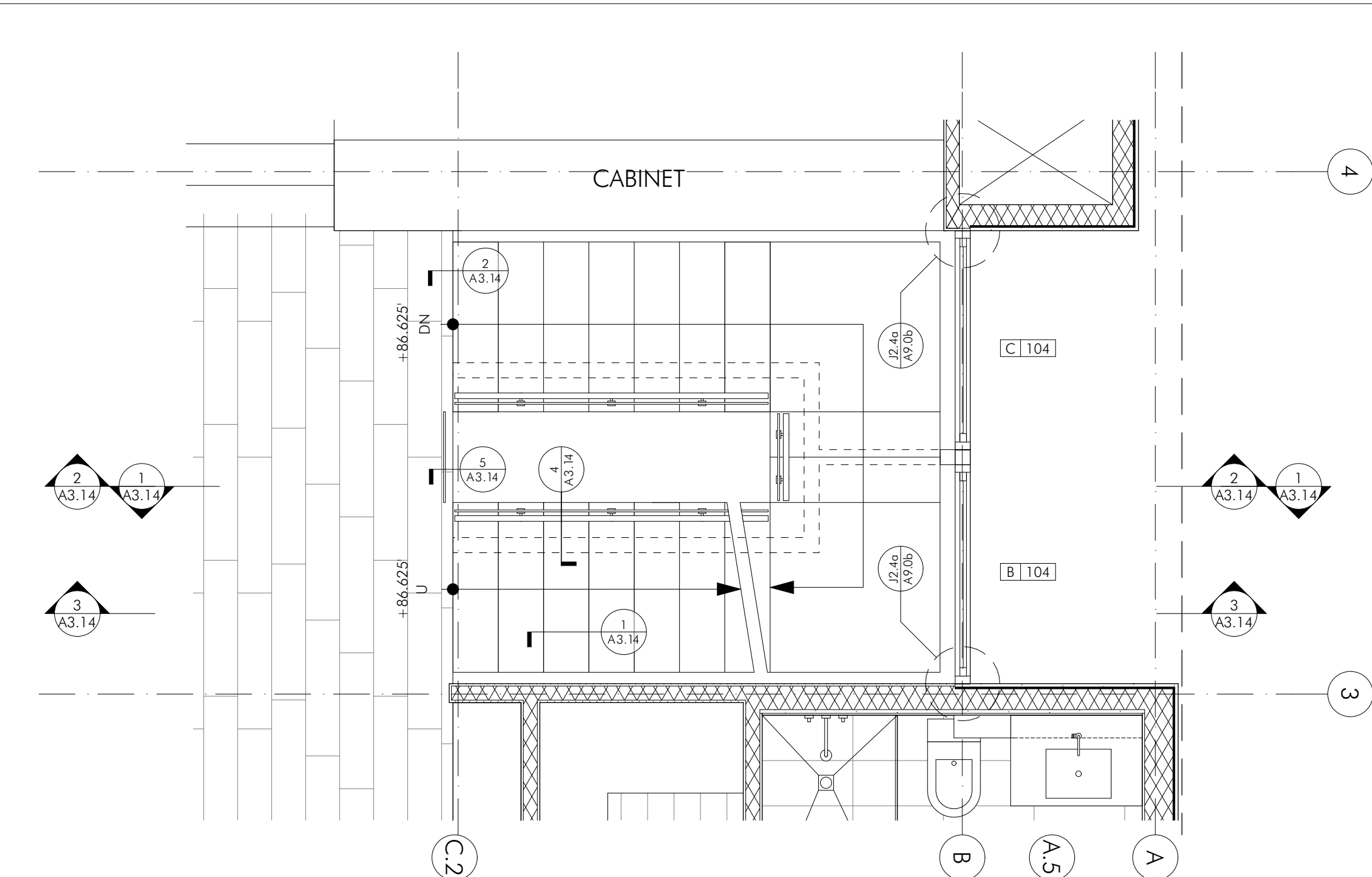
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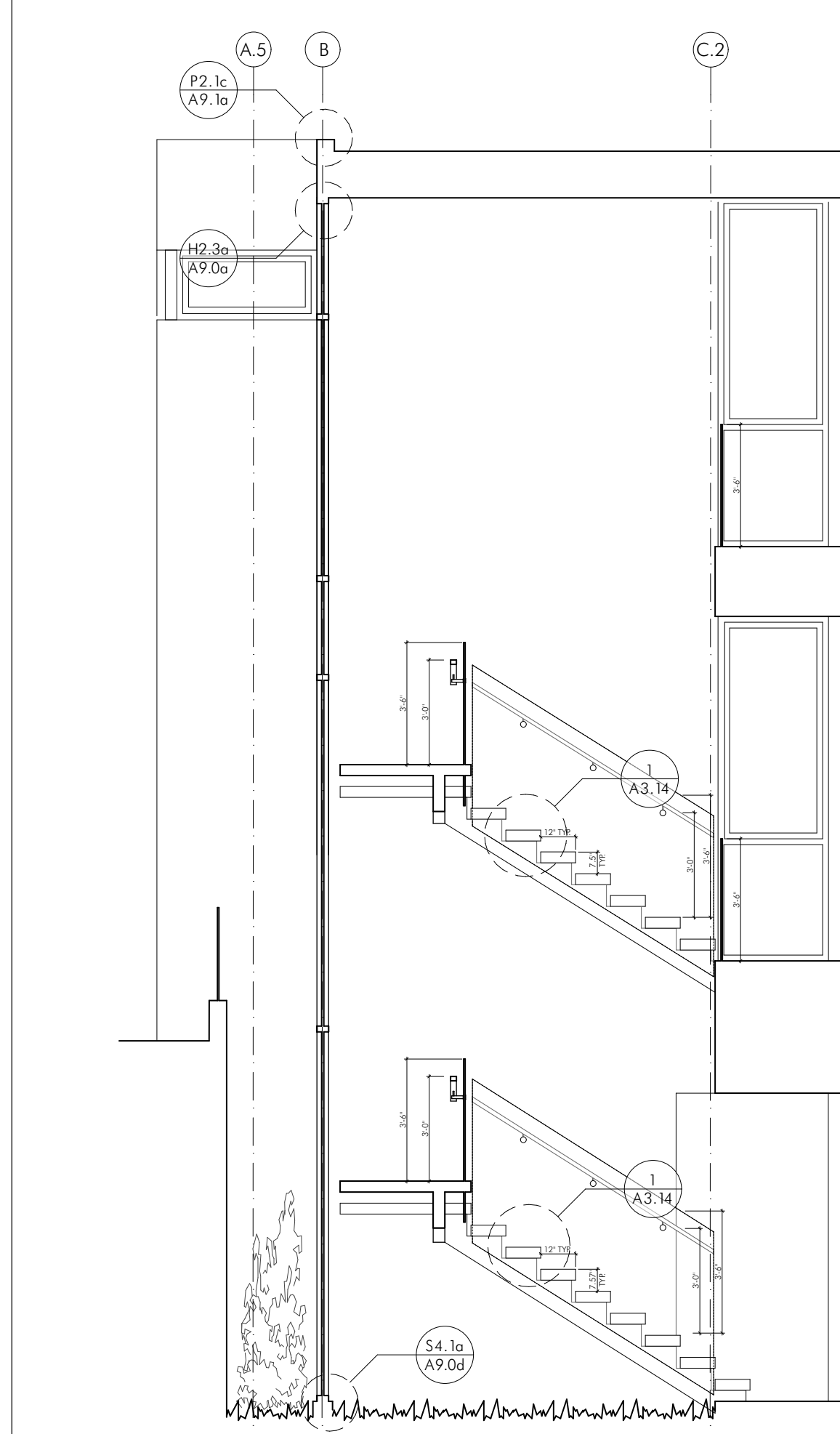
5 GUARDRAIL @ FLOOR SYSTEM



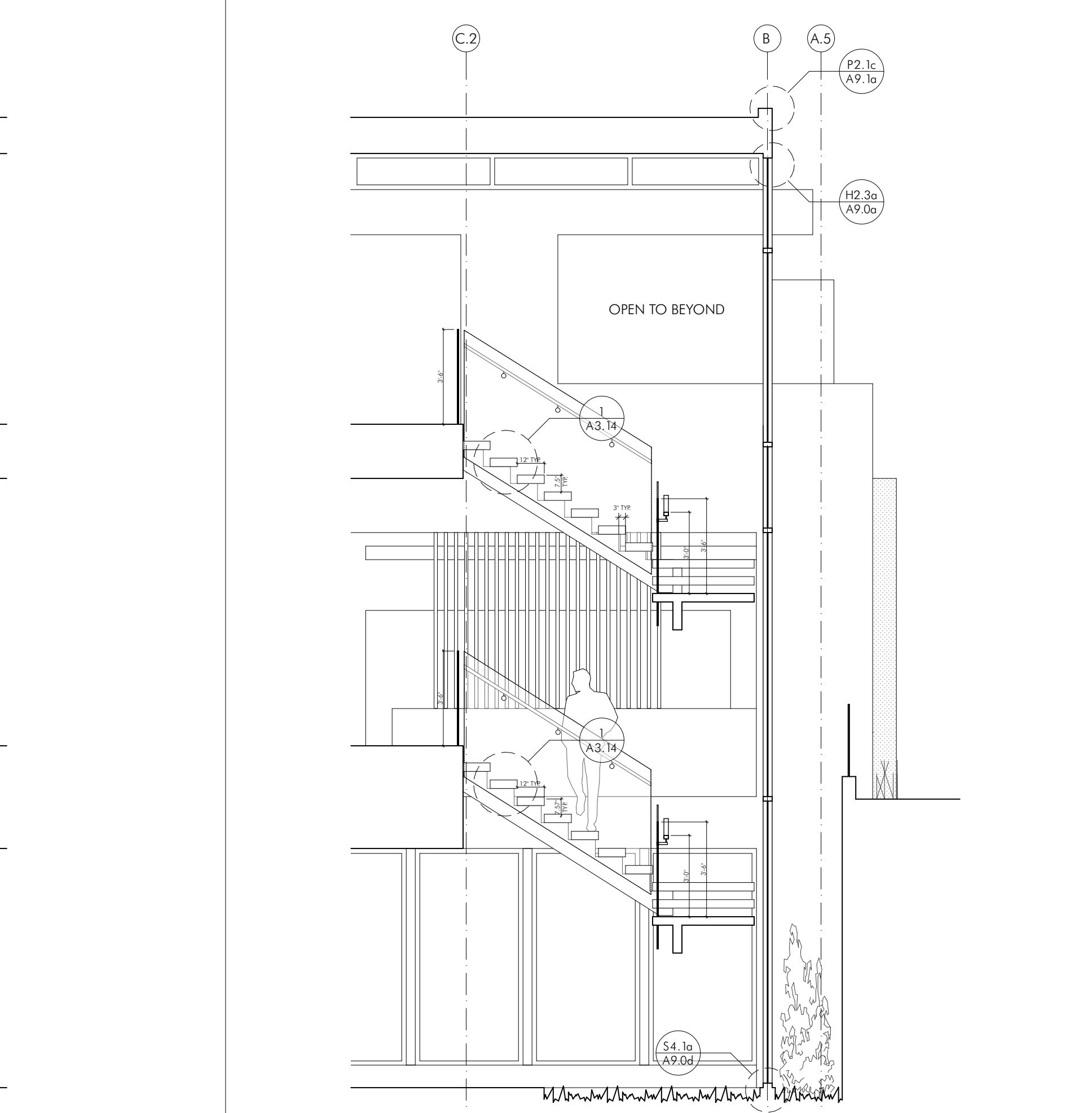
6 STEEL SUPPORT



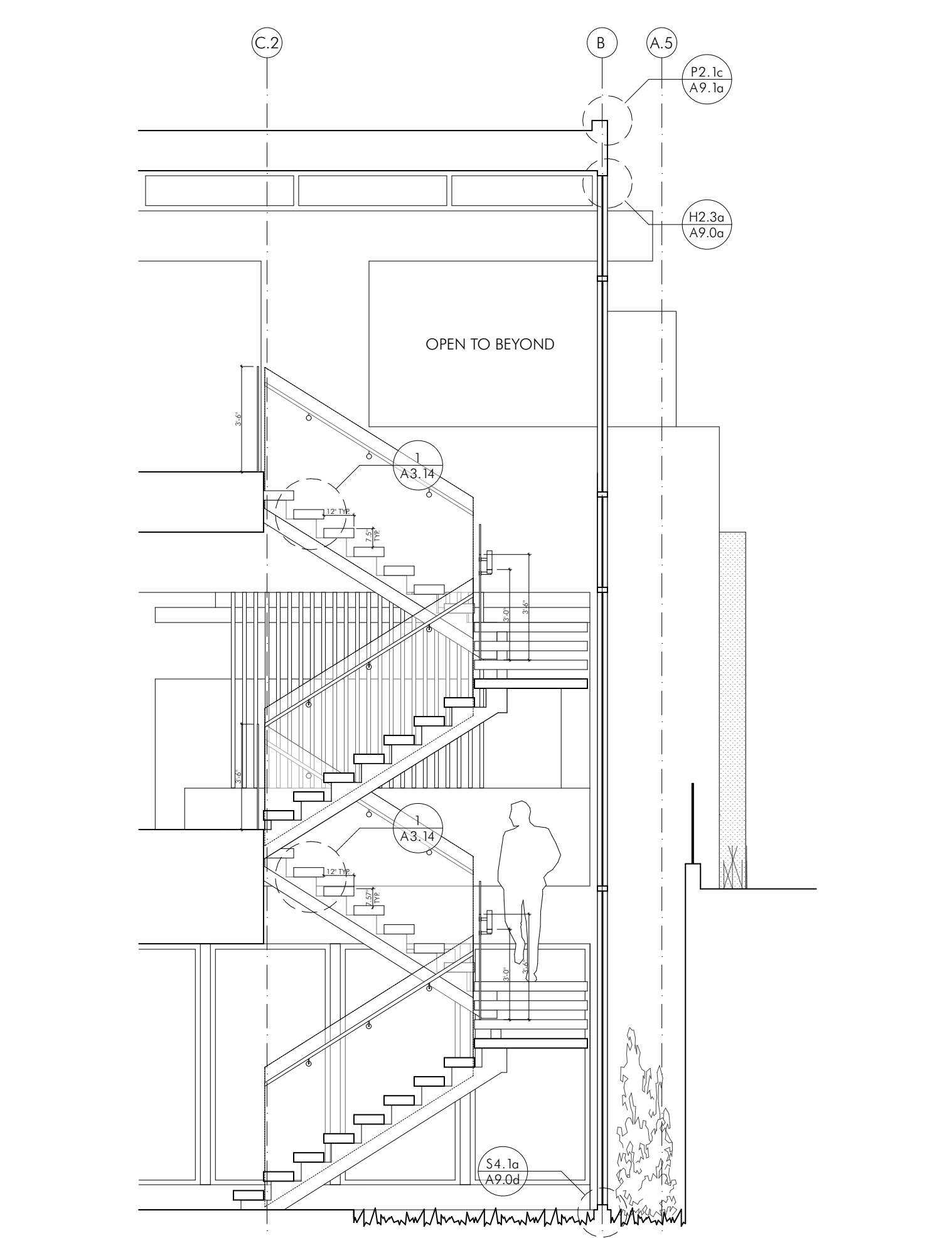
11 FLOOR PLAN GROUND FLOOR



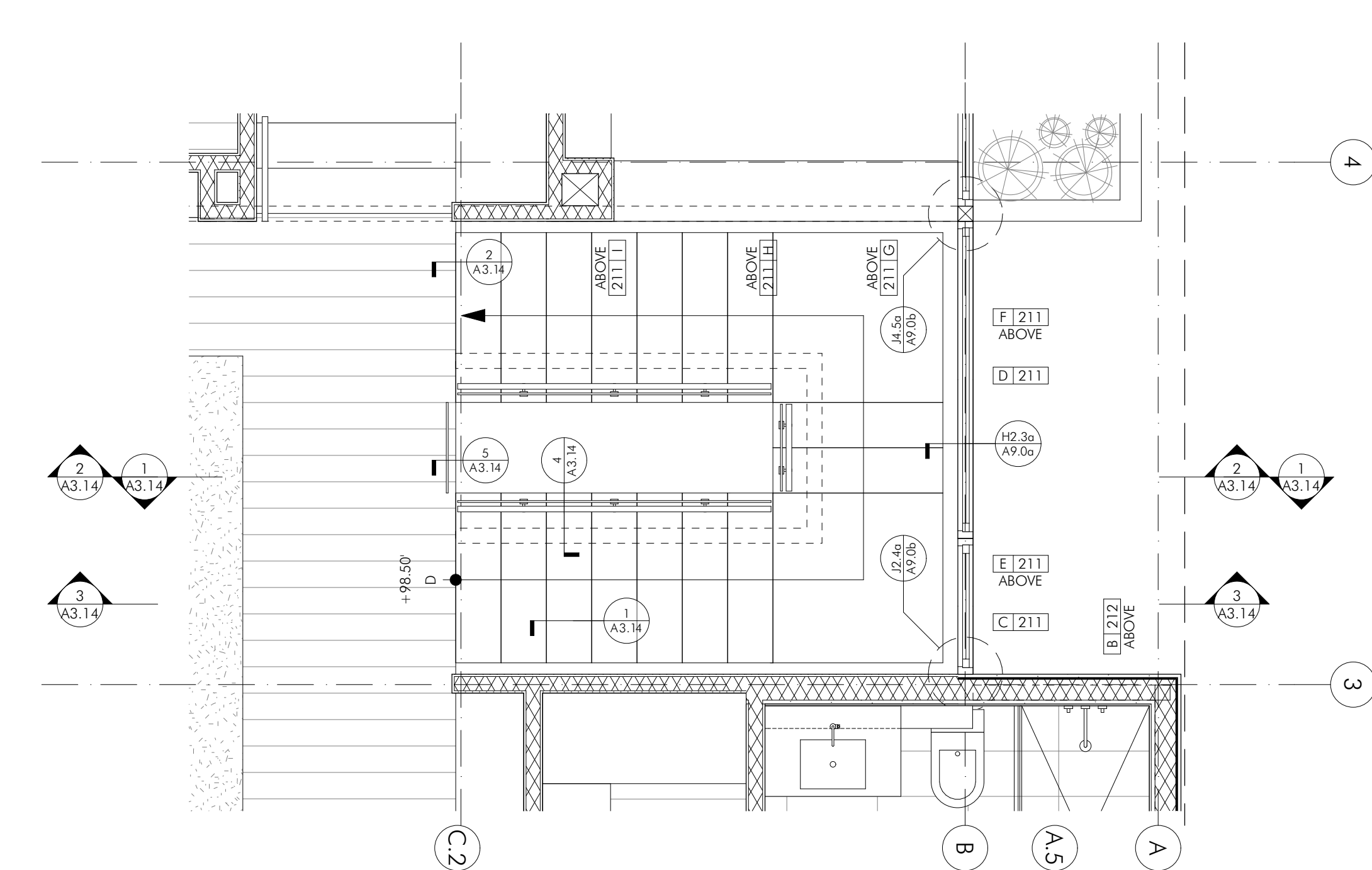
7 STAIR SECTION 1



8 STAIR SECTION 1



9 STAIR SECTION 3



12 FLOOR PLAN SECOND FLOOR

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**STAIR SECTION**

VARIES

**A3.14**

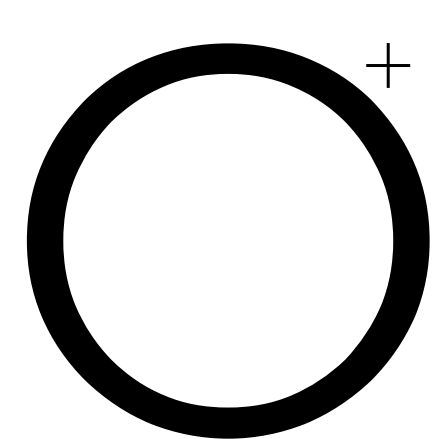
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HEADS							
	H2.5a	TYP. WINDOW HEAD AT SOFFIT (FRAMING) - STUCCO	N.T.S.	H4.3a	TYP. WINDOW HEAD AT CEILING - BRAKE METAL	N.T.S.	
	H1.5a	TYP. WINDOW HEAD AT SOFFIT - WOOD	N.T.S.		H2.5b	TYP. SLDIER HEAD AT SOFFIT (FRAMING) - STUCCO	N.T.S.
	H1.5b	TYP. SLIDER HEAD AT SOFFIT - WOOD	N.T.S.		H2.5l	TYP. WINDOW HEAD AT SOFFIT (FRAMING) - STUCCO	N.T.S.
	H2.3a	TYP. WINDOW HEAD AT CEILING - STUCCO	N.T.S.		H2.6a	TYP. WINDOW HEAD AT SOFFIT (SLAB) - STUCCO	N.T.S.

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**Leidy Residence**  
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PLAN CHECK DETAILS  
**WINDOWS & SLIDERS**  
**HEADS**  
 N.T.S.

A9.0a

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<p><b>J4.7b</b> TYP SLIDER JAMB AT INTERIOR CORNER POST - BRAKE METAL N.T.S.</p>					
<p><b>J4.7c</b> TYP SLIDER JAMB AT INTERIOR CORNER POST - BRAKE METAL N.T.S.</p>					
<p>FOR BOARD FORM CONCRETE WALLS AT WINDOW/ DOOR FRAME LOCATION: BOARD FORM OVER POUR TO BE REMOVED PRIOR TO WINDOW/ DOOR FRAME INSTALLATION</p>					
<p><b>J5.1a</b> TYP WINDOW JAMB AT WALL - CONCRETE N.T.S.</p>					
<p><b>J5.4a</b> TYP WINDOW JAMB AT WALL - CONCRETE N.T.S.</p>					

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PLAN CHECK DETAILS  
**WINDOWS & SLIDERS**  
JAMBS  
N.T.S.

**A9.0c**

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SILLS


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PLAN CHECK DETAILS  
 WINDOWS & SLIDERS  
 SILLS  
 N.T.S.  
 A9.0d

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<p>S4.4a TYP WINDOW SILL AT SLAB - BRAKE METAL N.T.S.</p>					
<p>S4.4e TYP WINDOW SILL AT SLAB - BRAKE METAL N.T.S.</p>					

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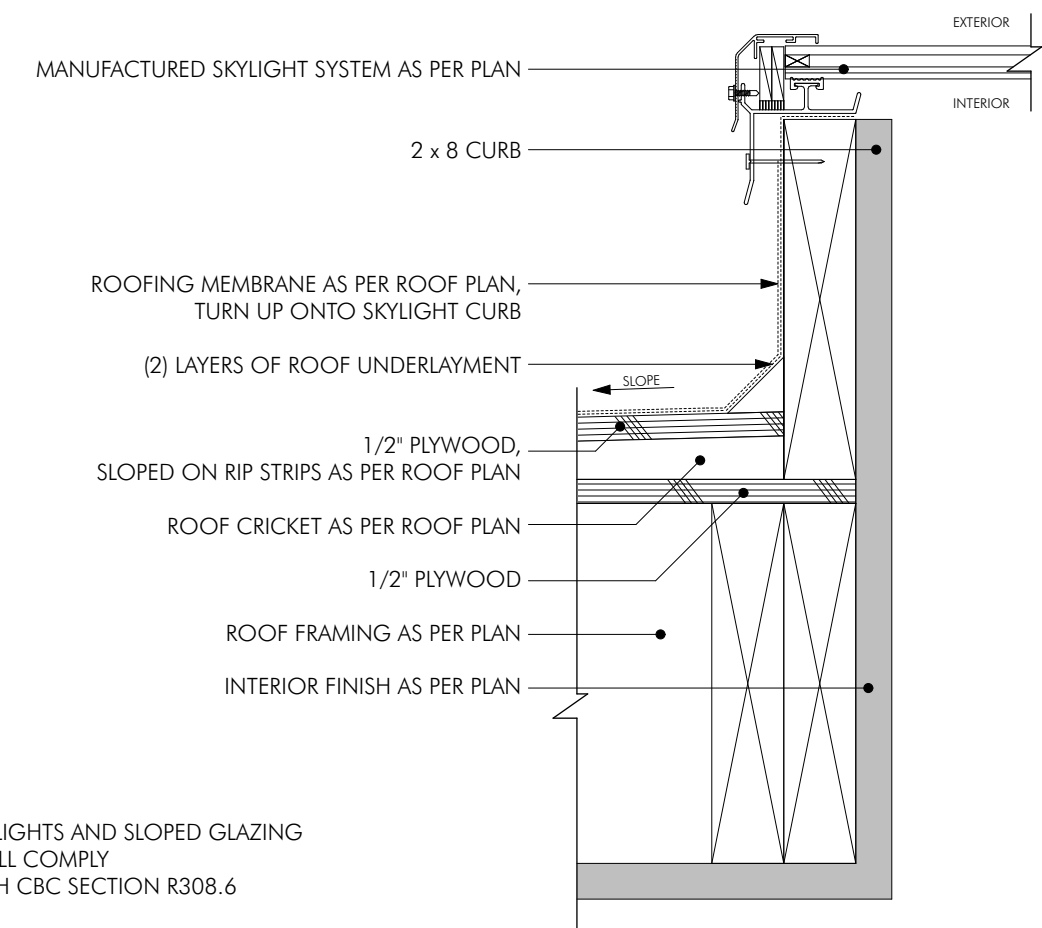
PLAN CHECK DETAILS  
**WINDOWS & SLIDERS**  
 SILLS  
 N.T.S.

**A9.0e**

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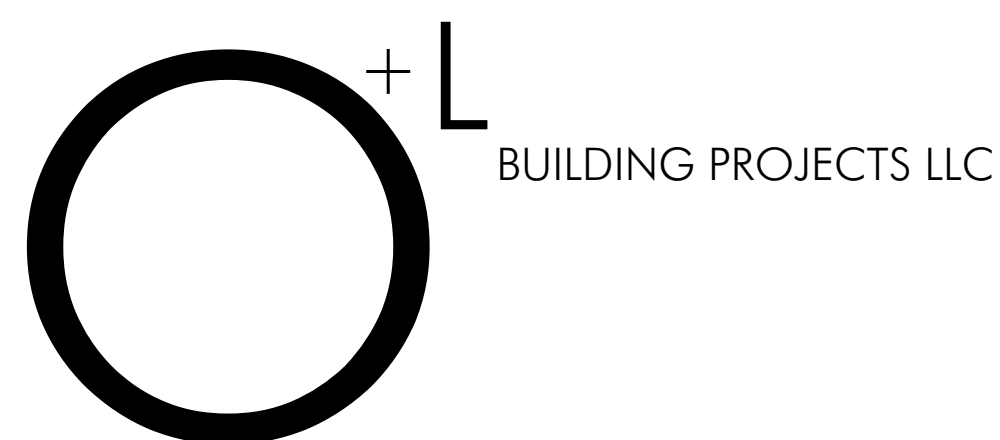
SKYLIGHT FRAMES



K0.2a TYP. SKYLIGHT FRAME AT CURB N.T.S.

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WINDOWS & SLIDERS  
SKYLIGHTS

N.T.S.

A9.0f

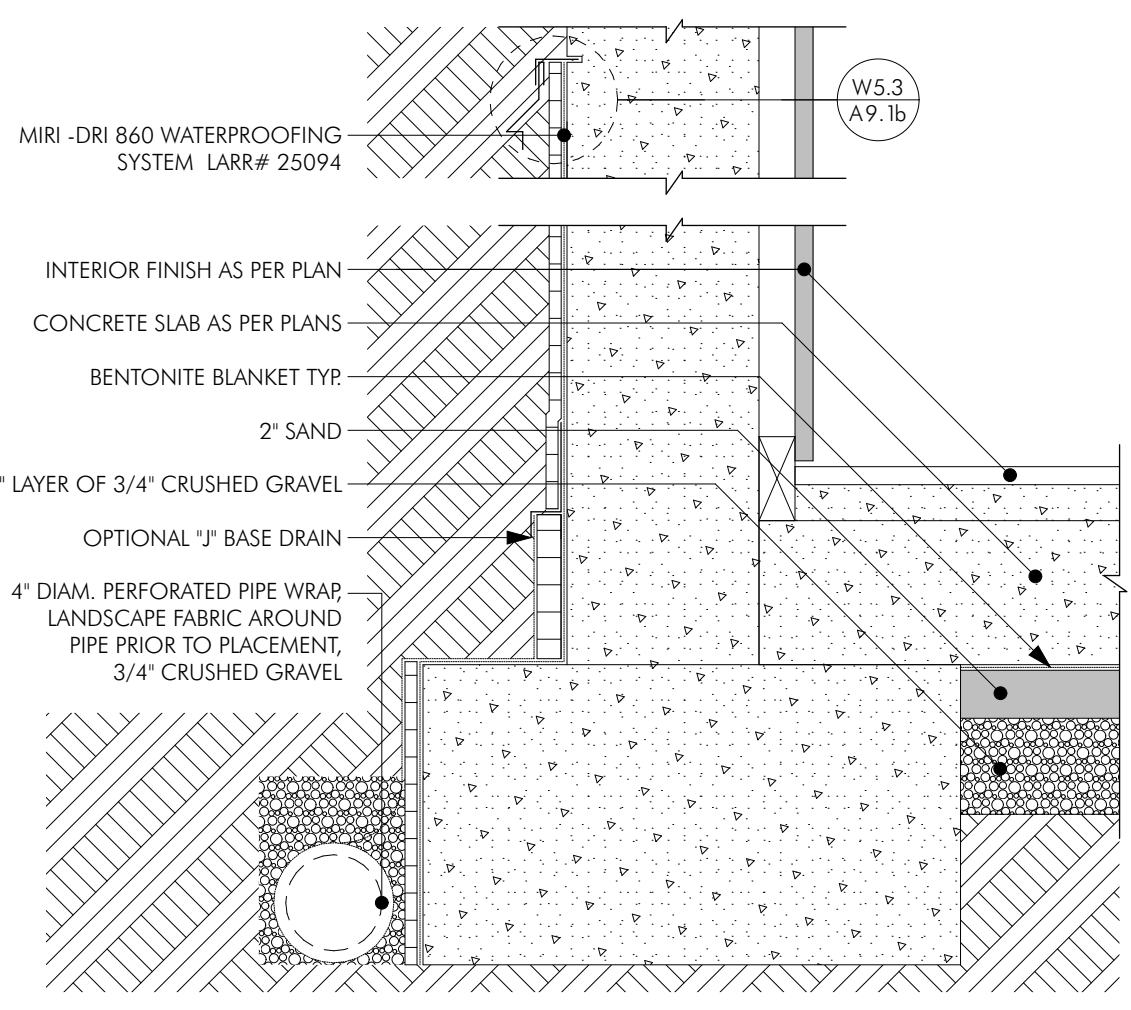
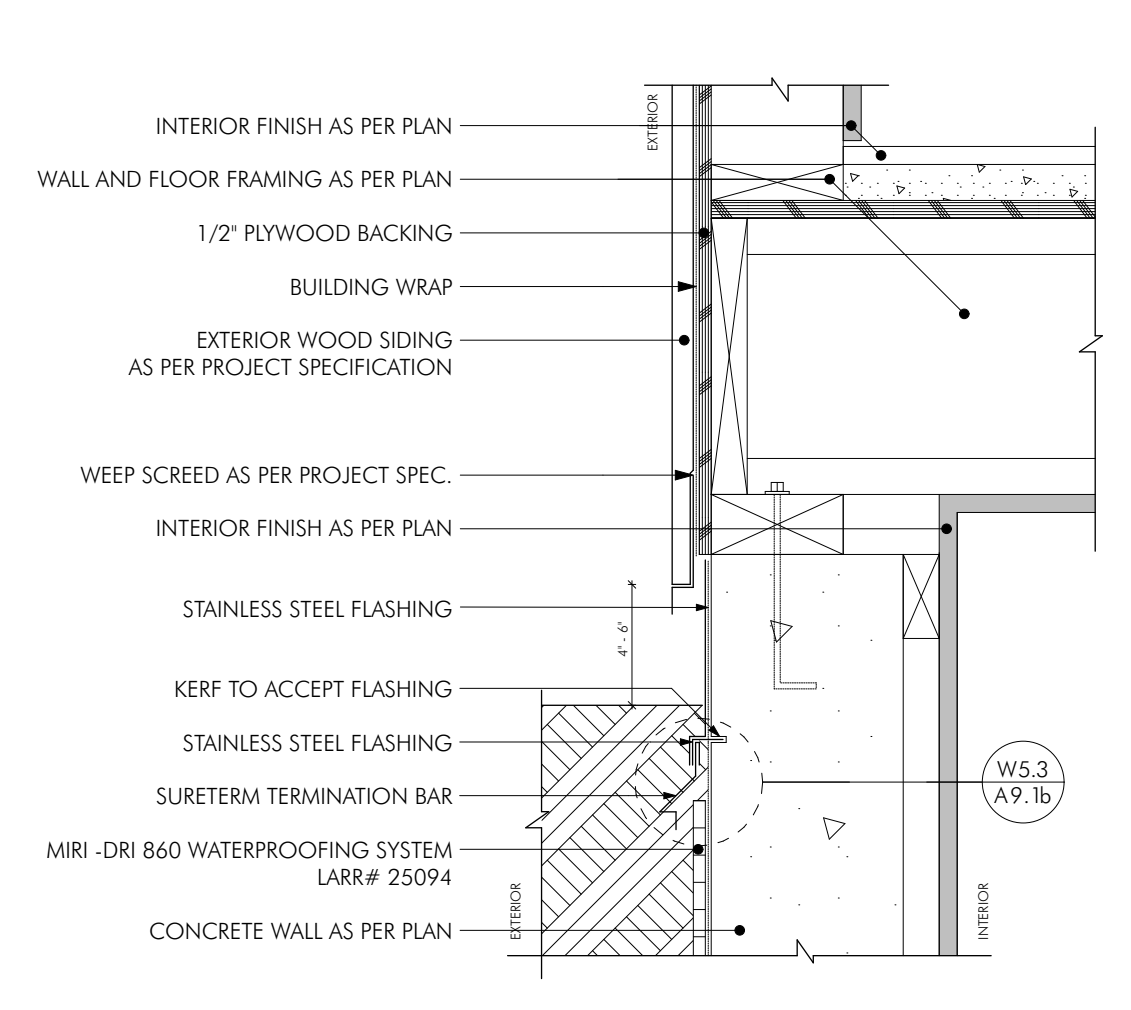
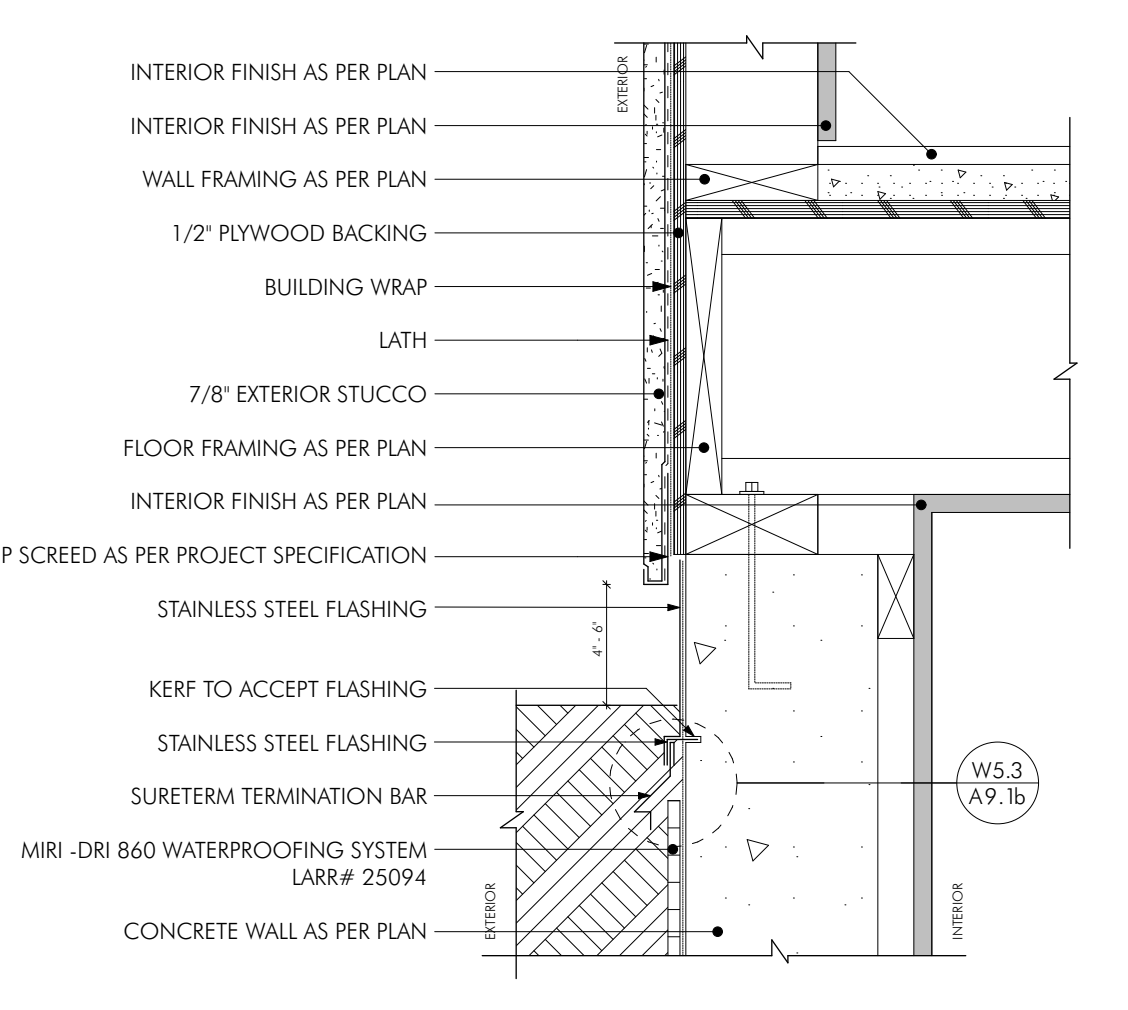
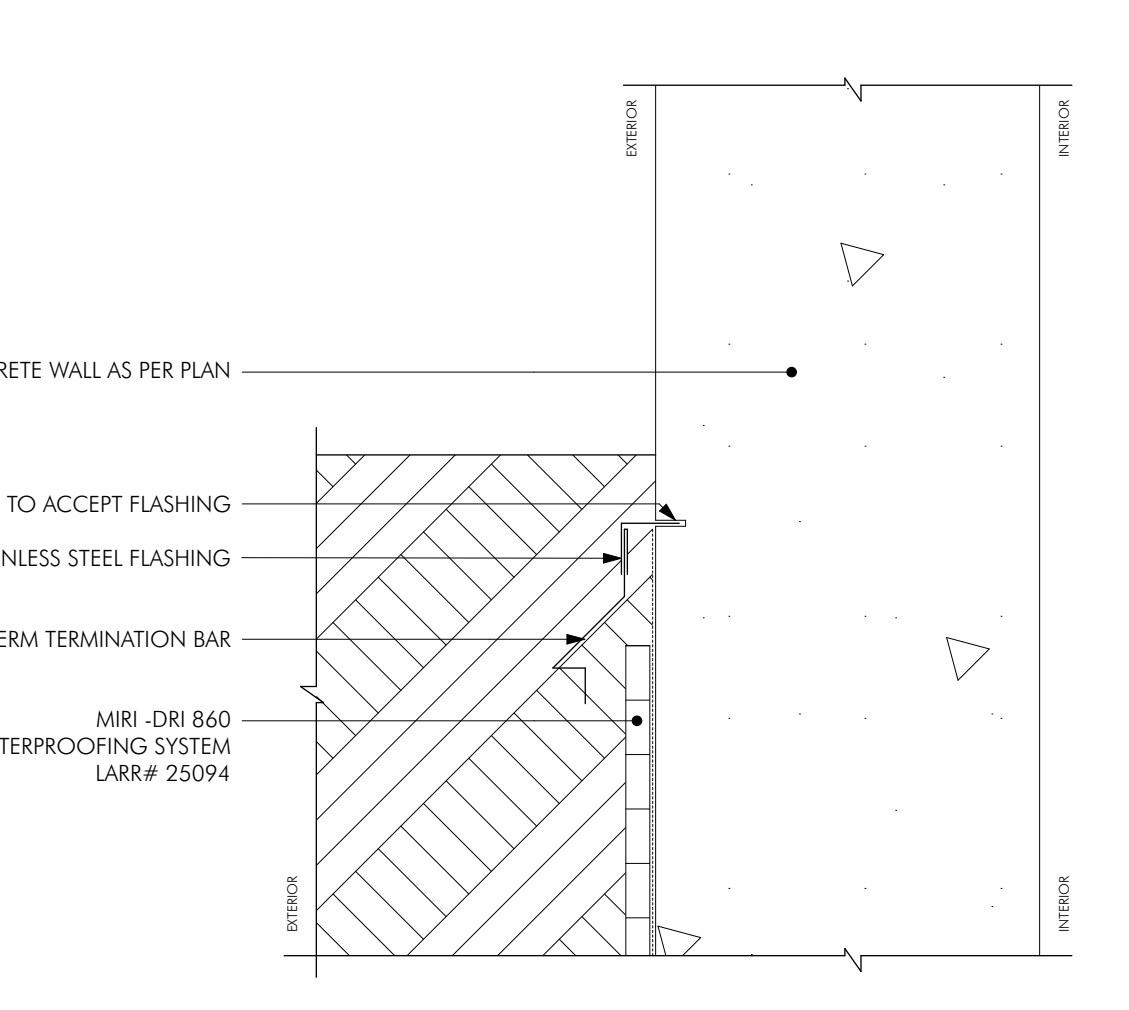
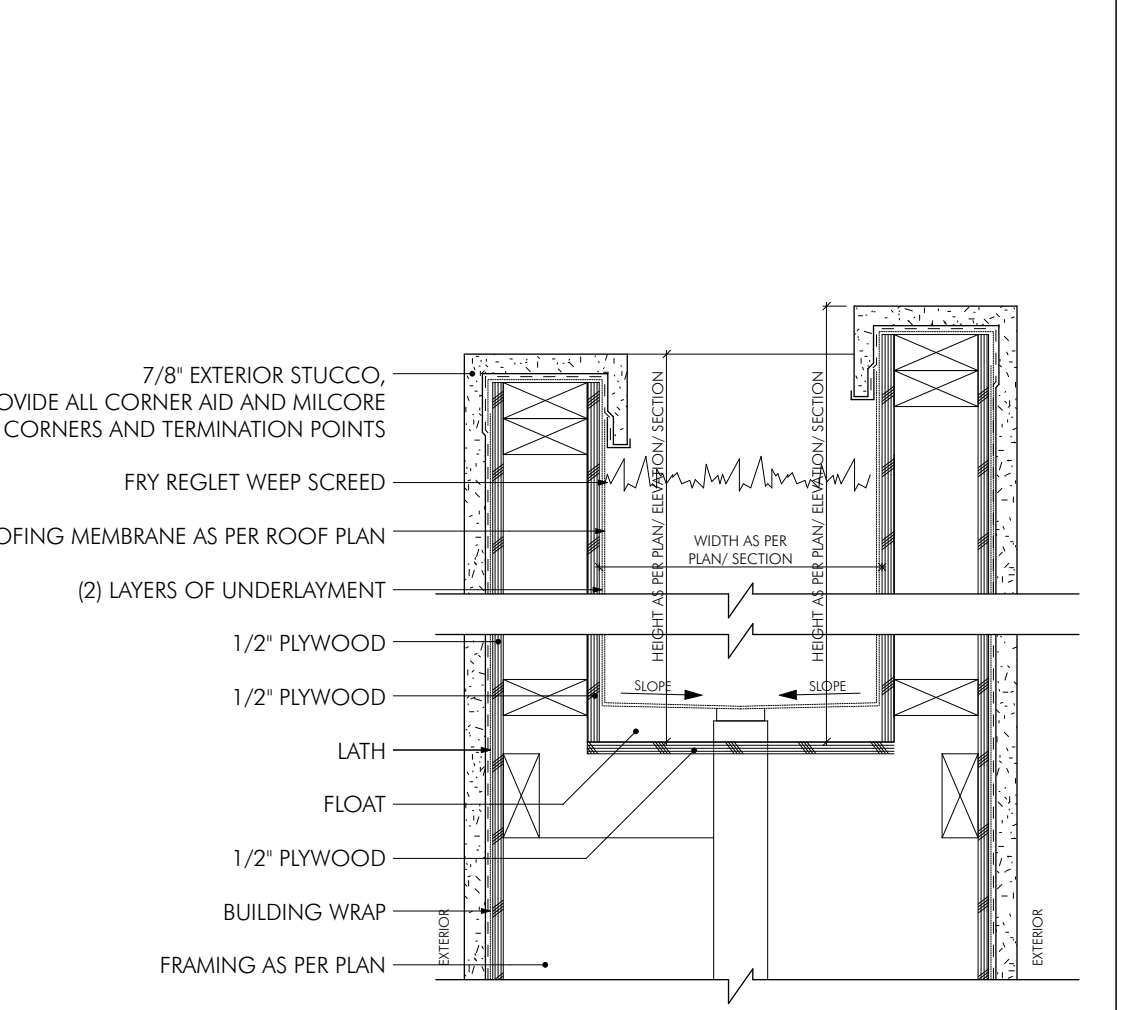
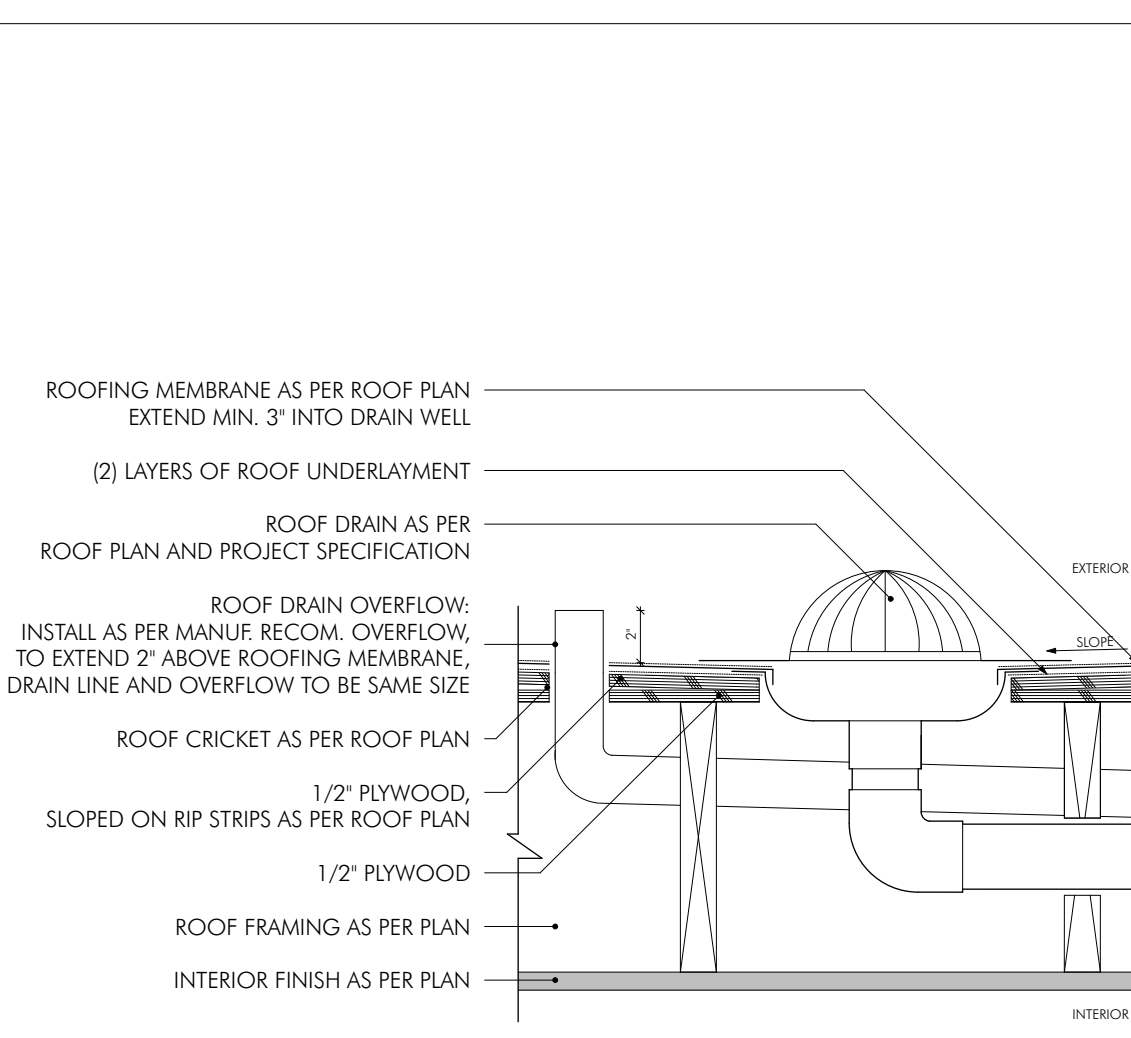
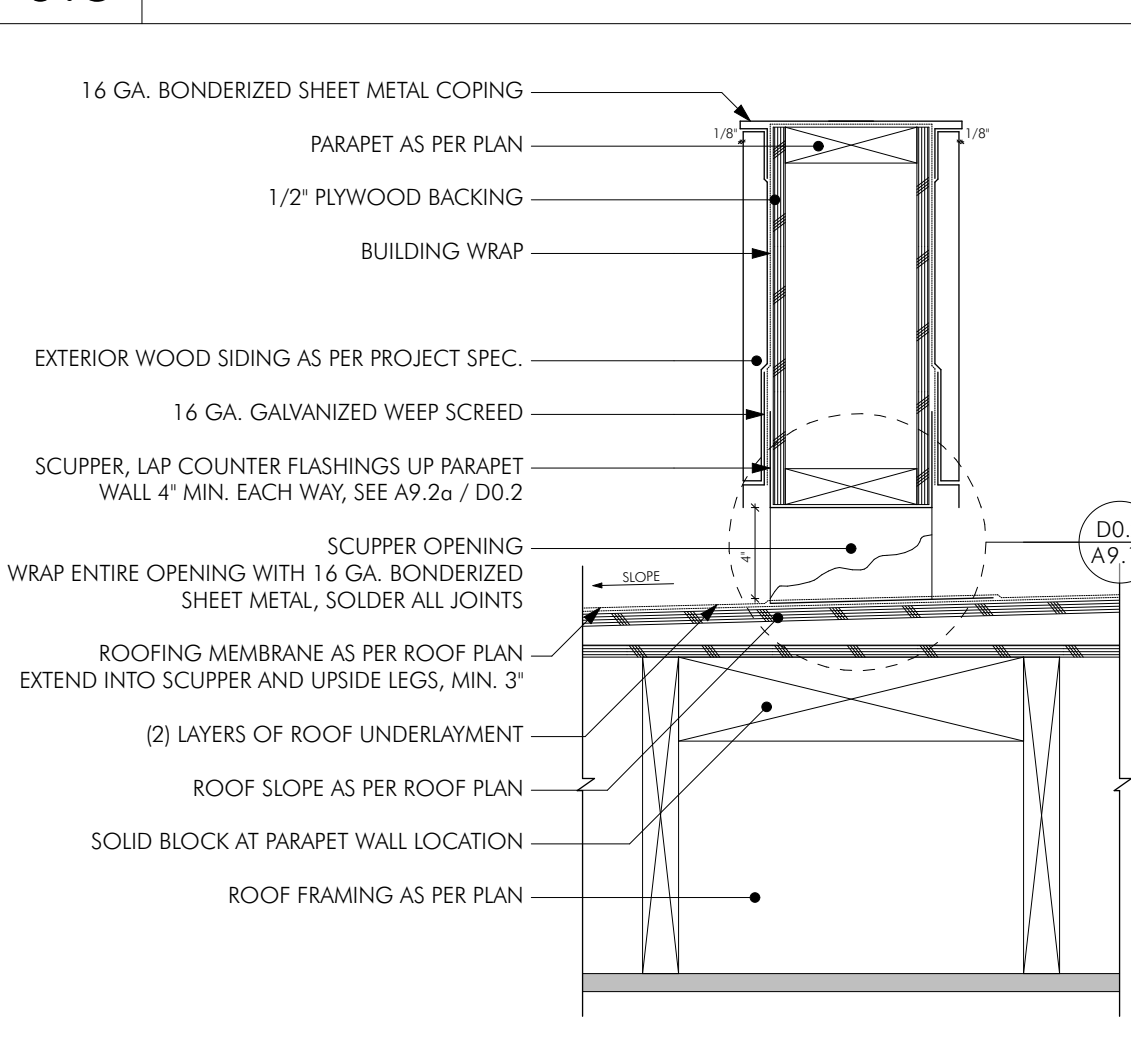
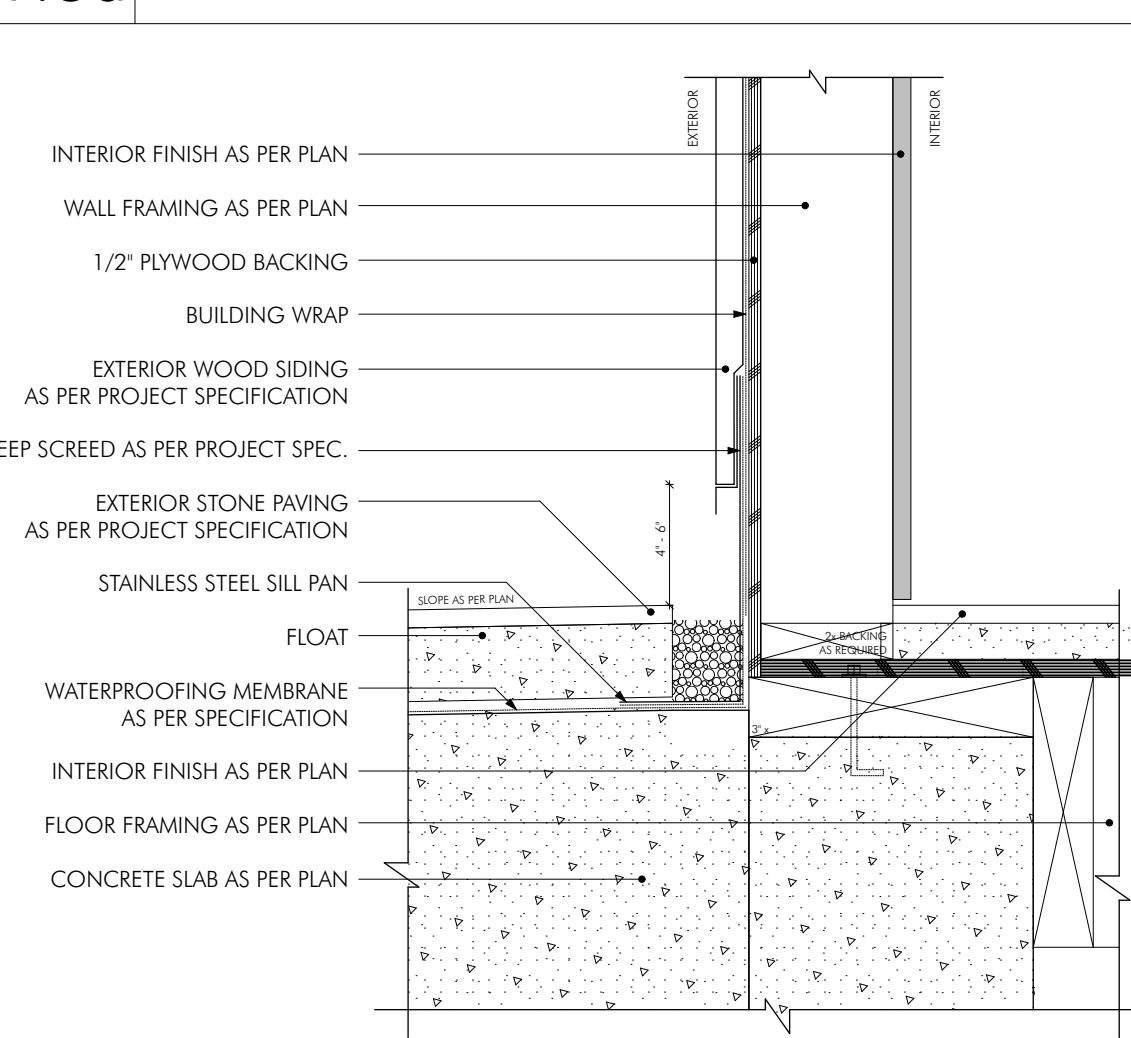
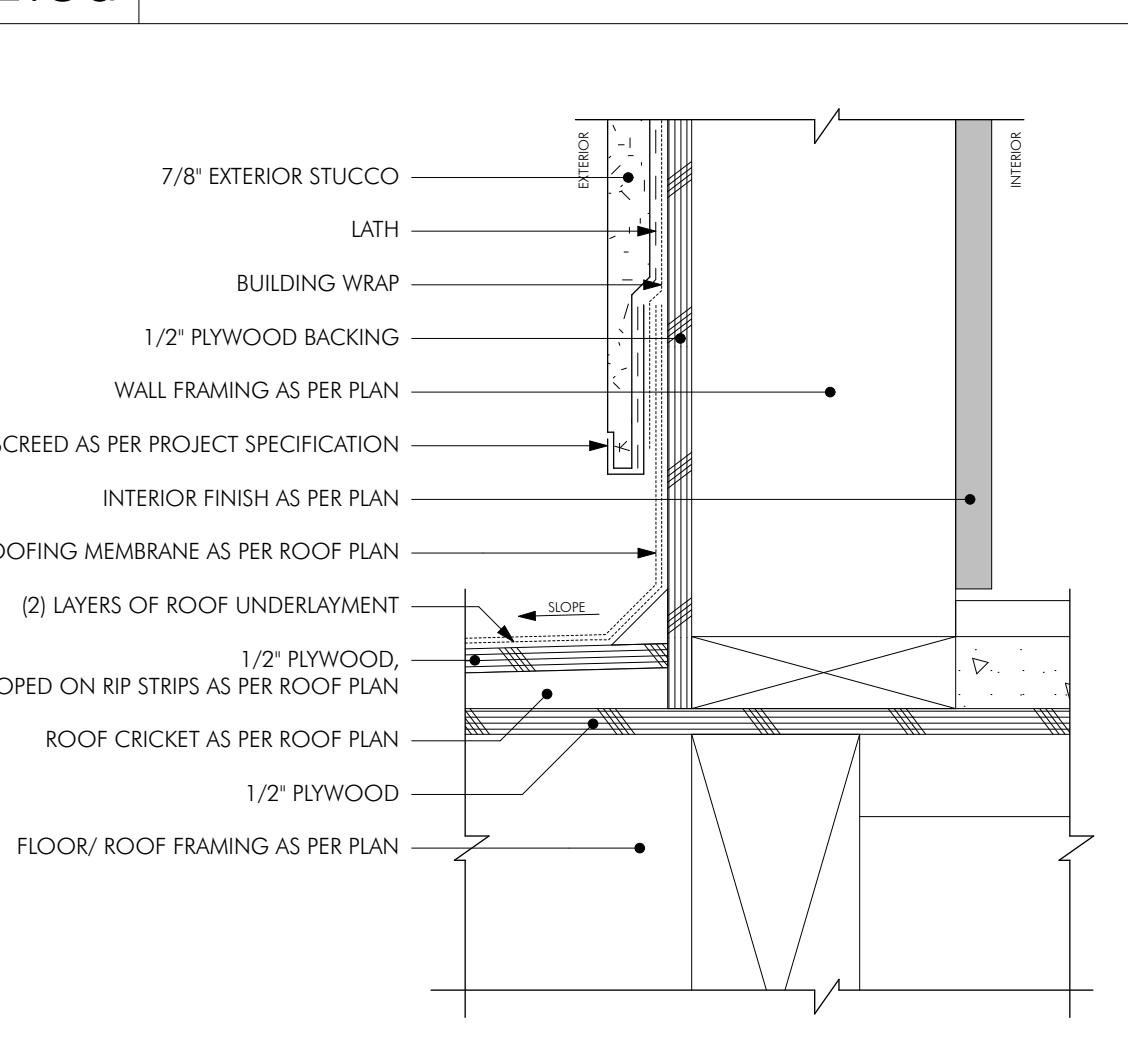
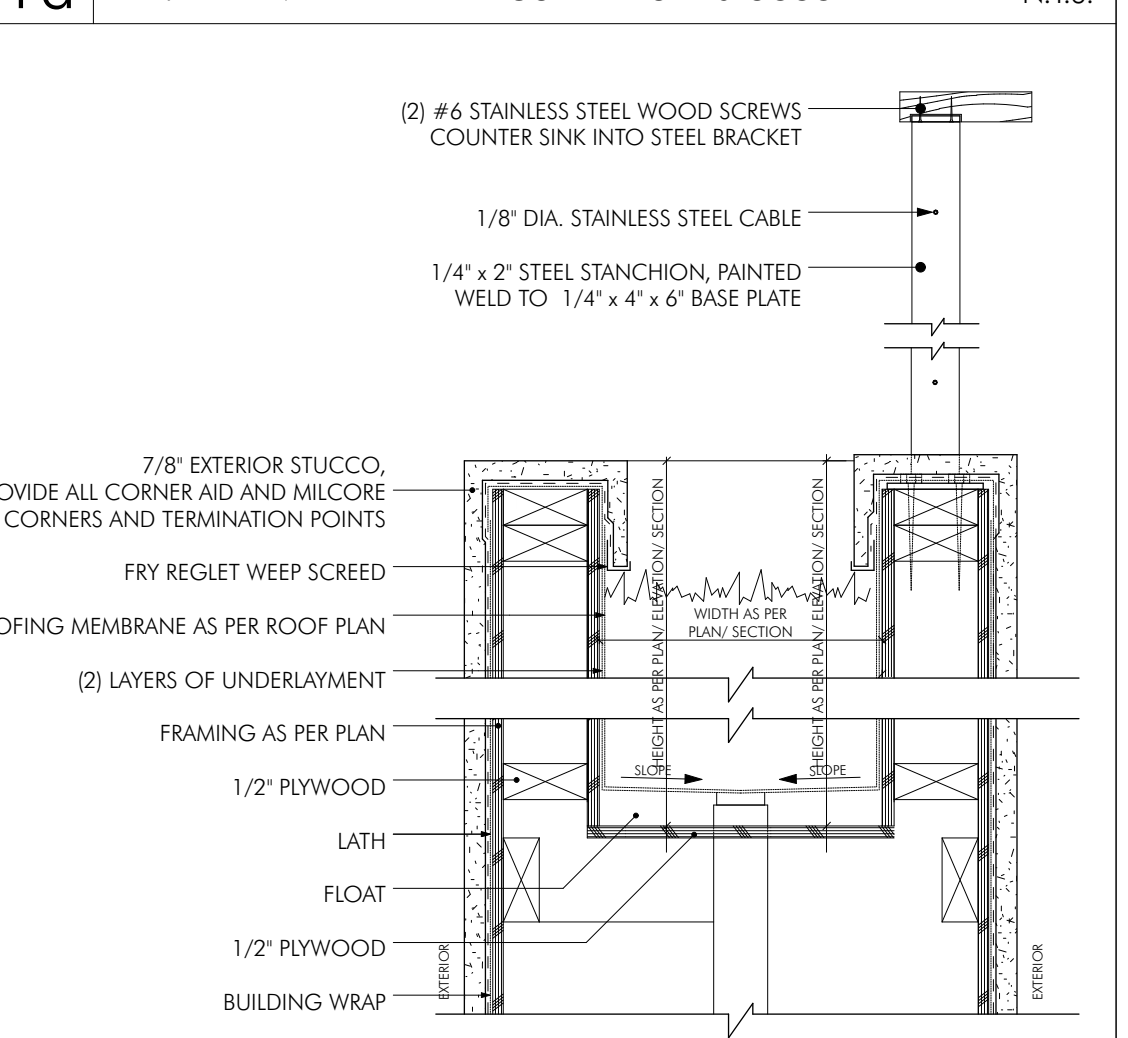
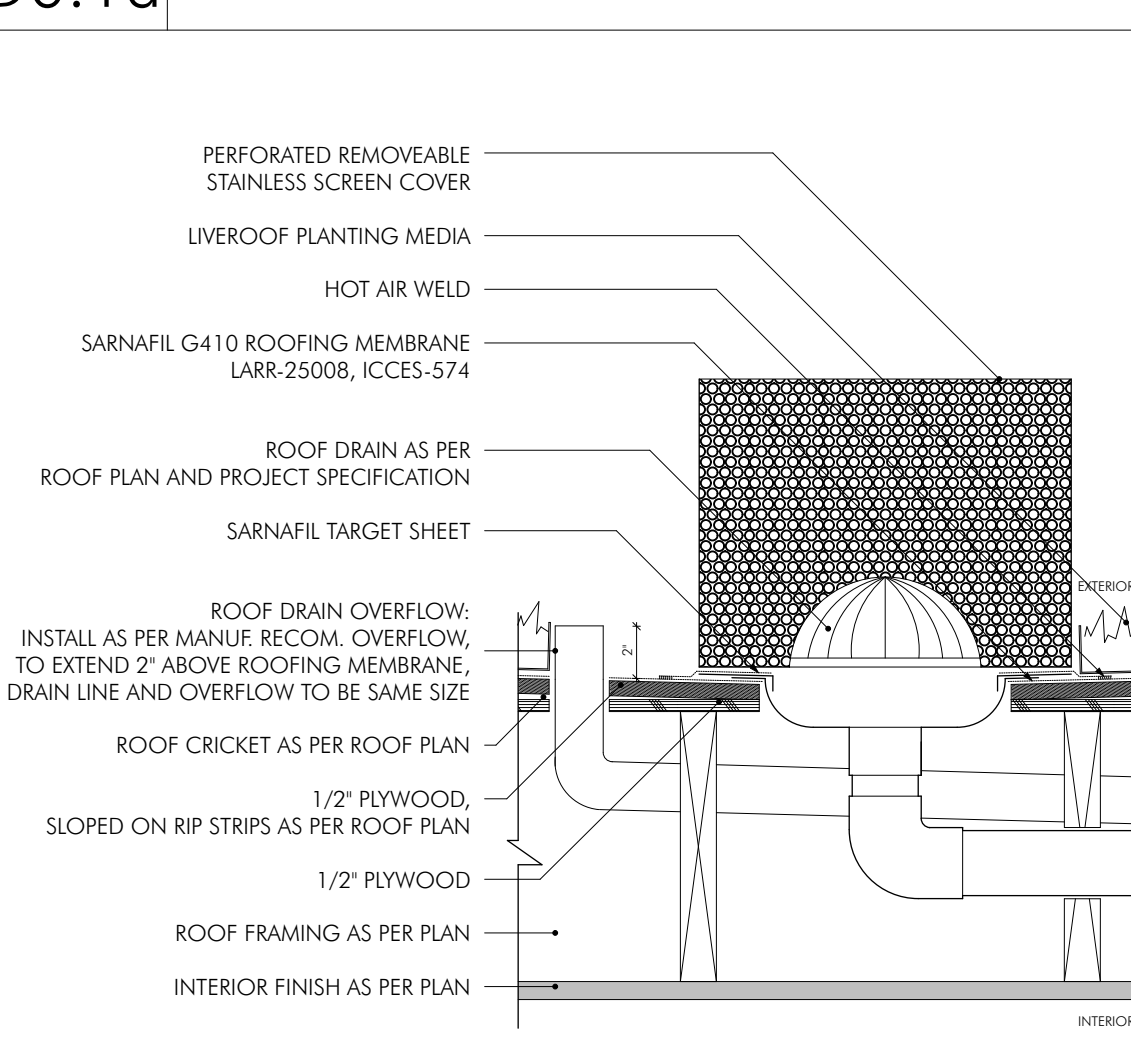
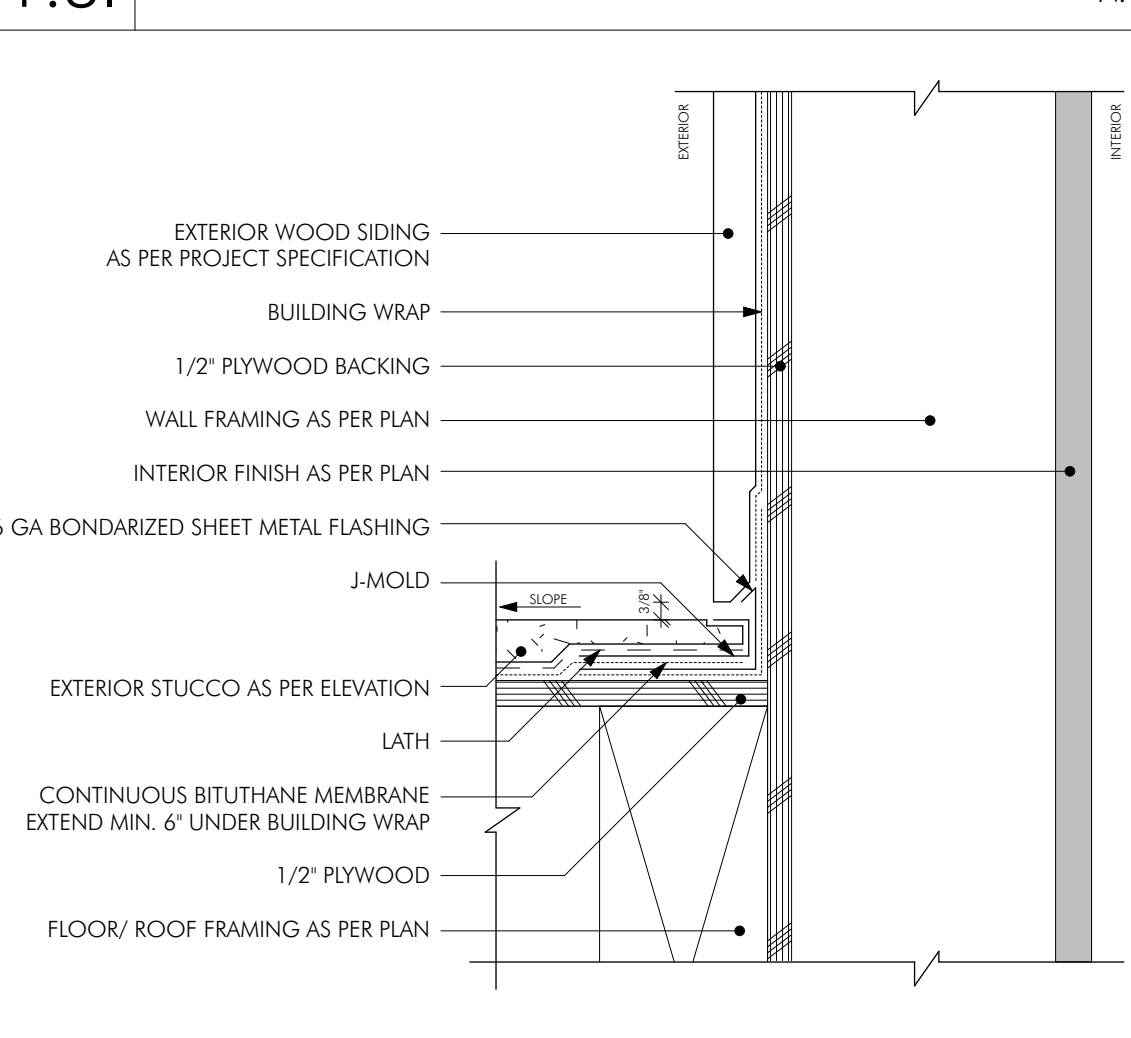
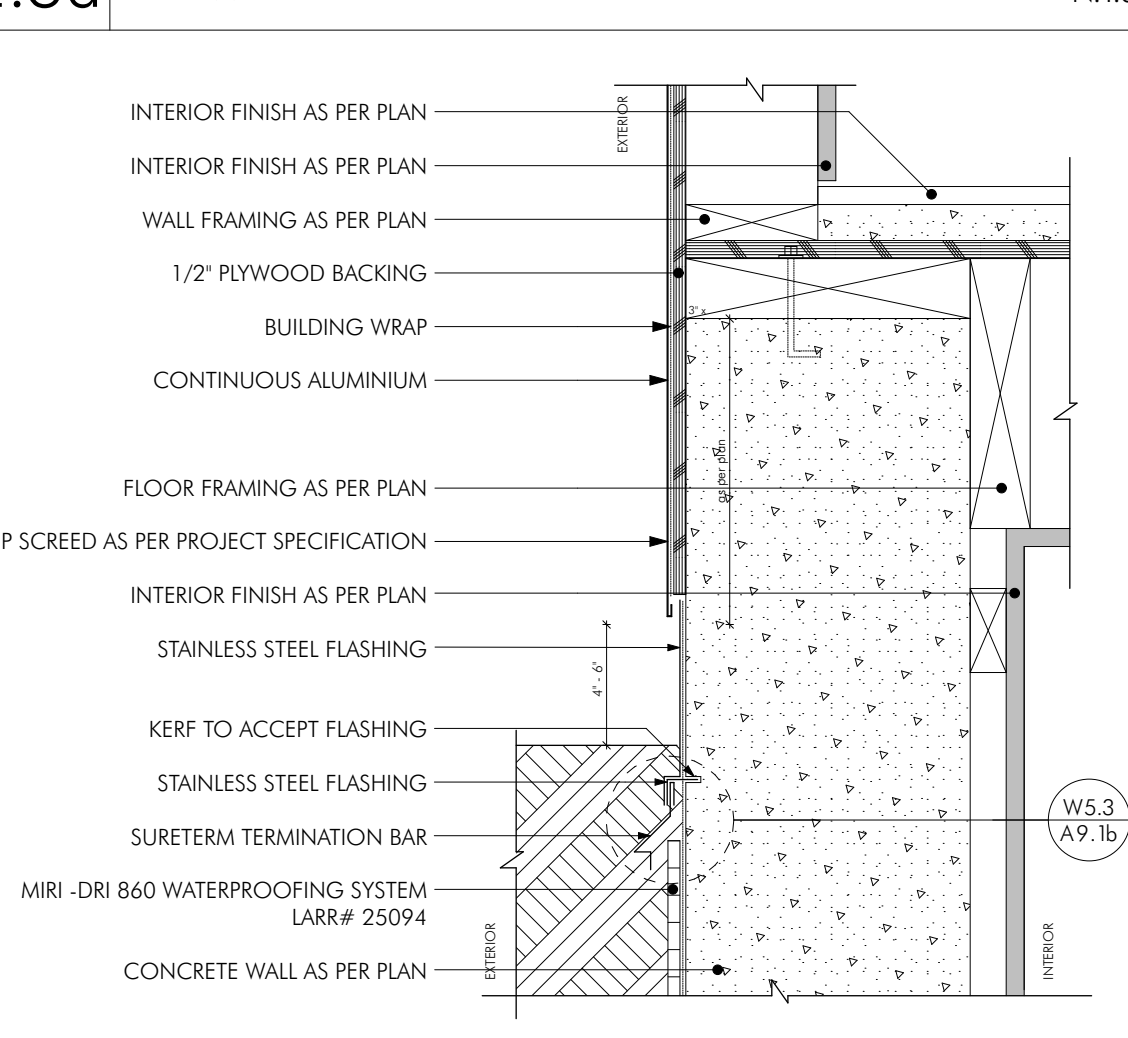
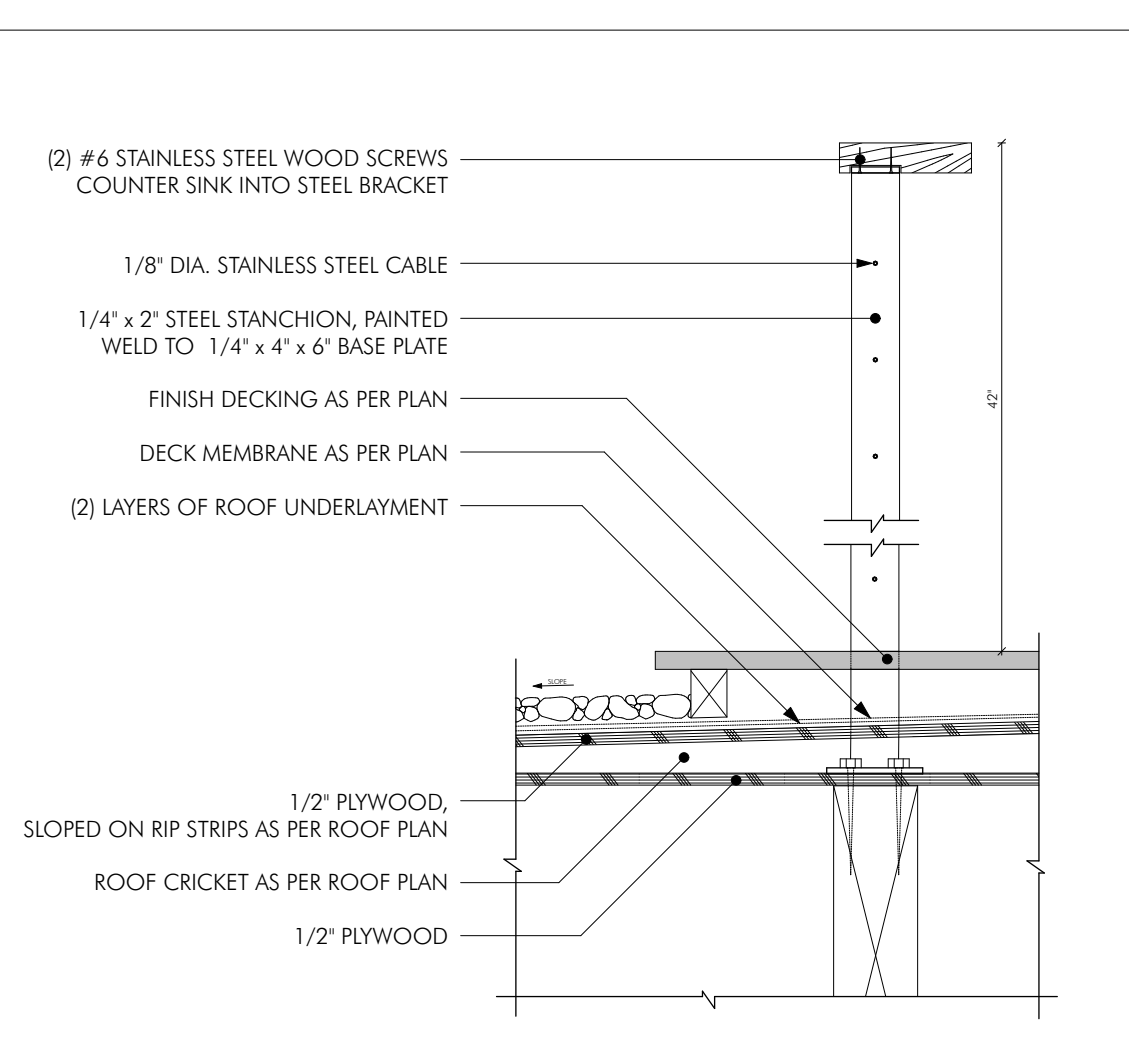
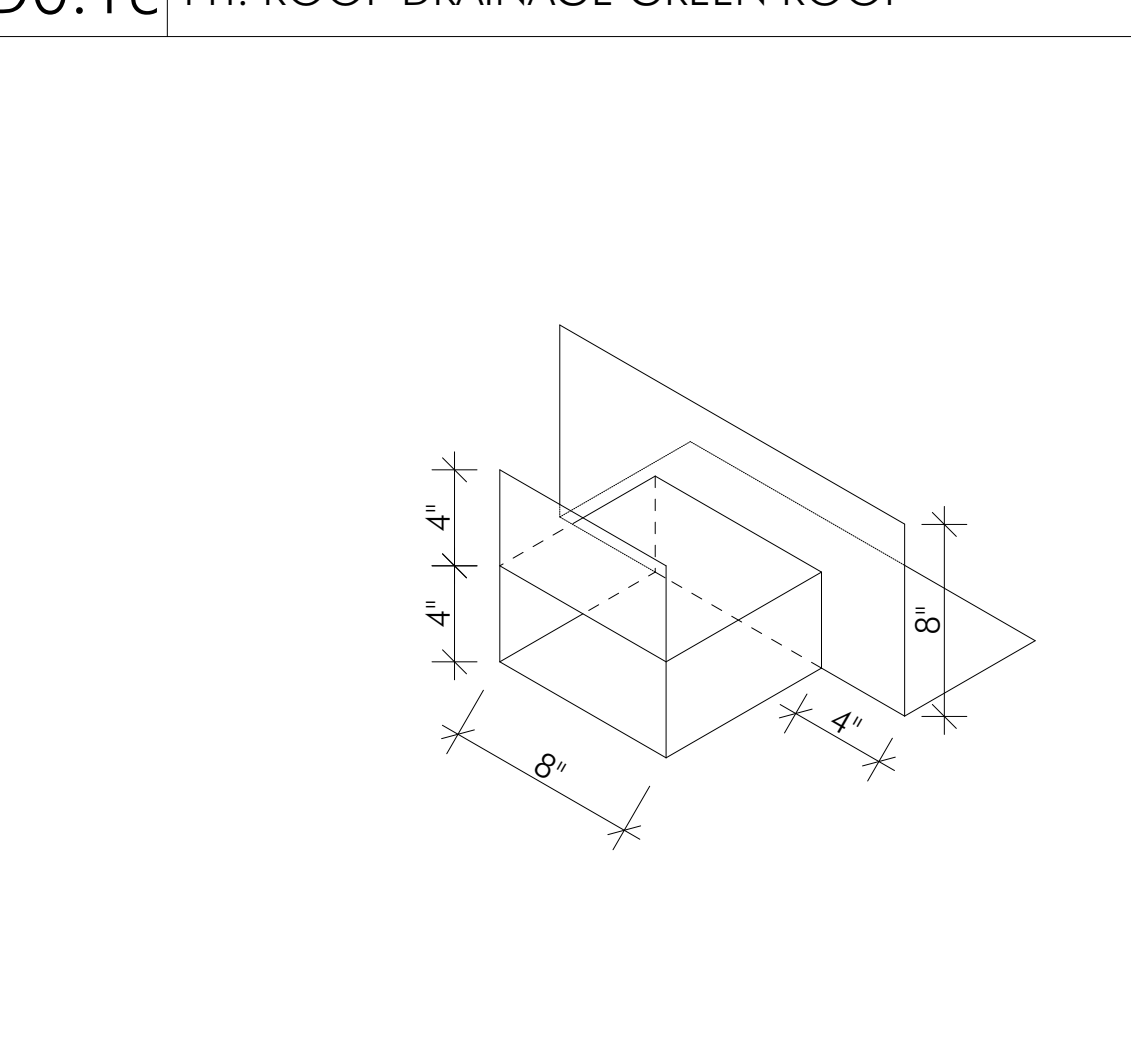
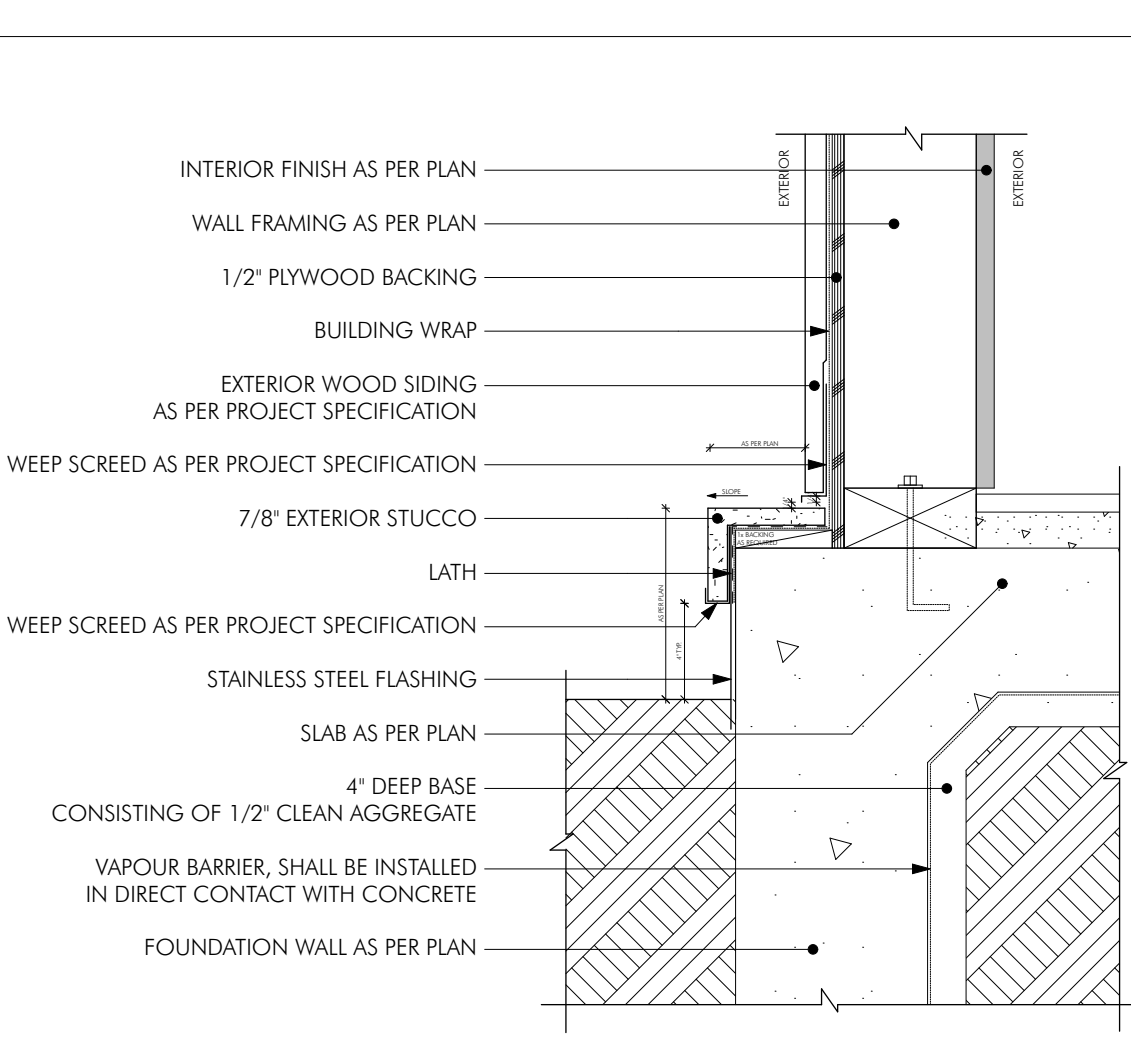
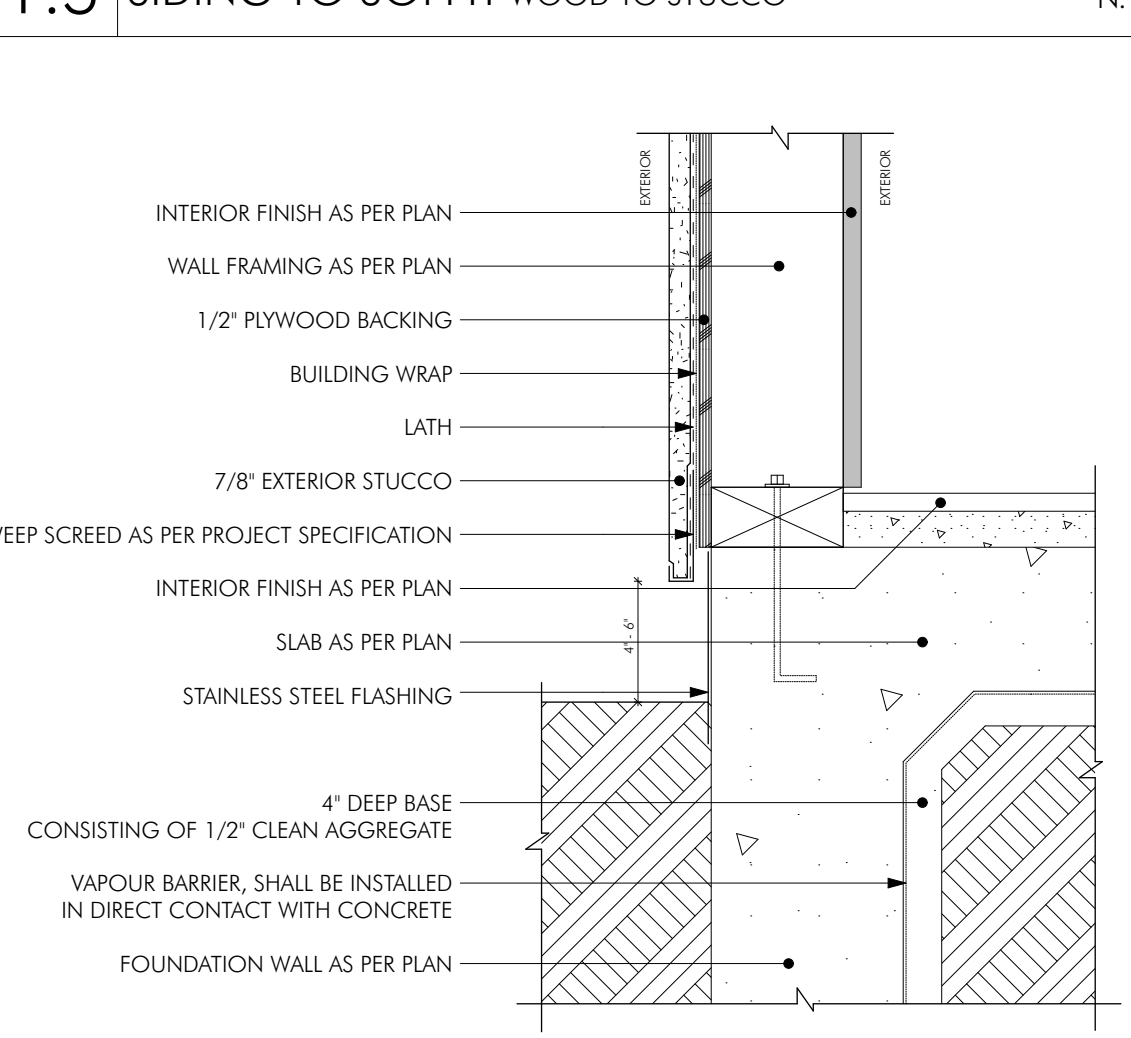
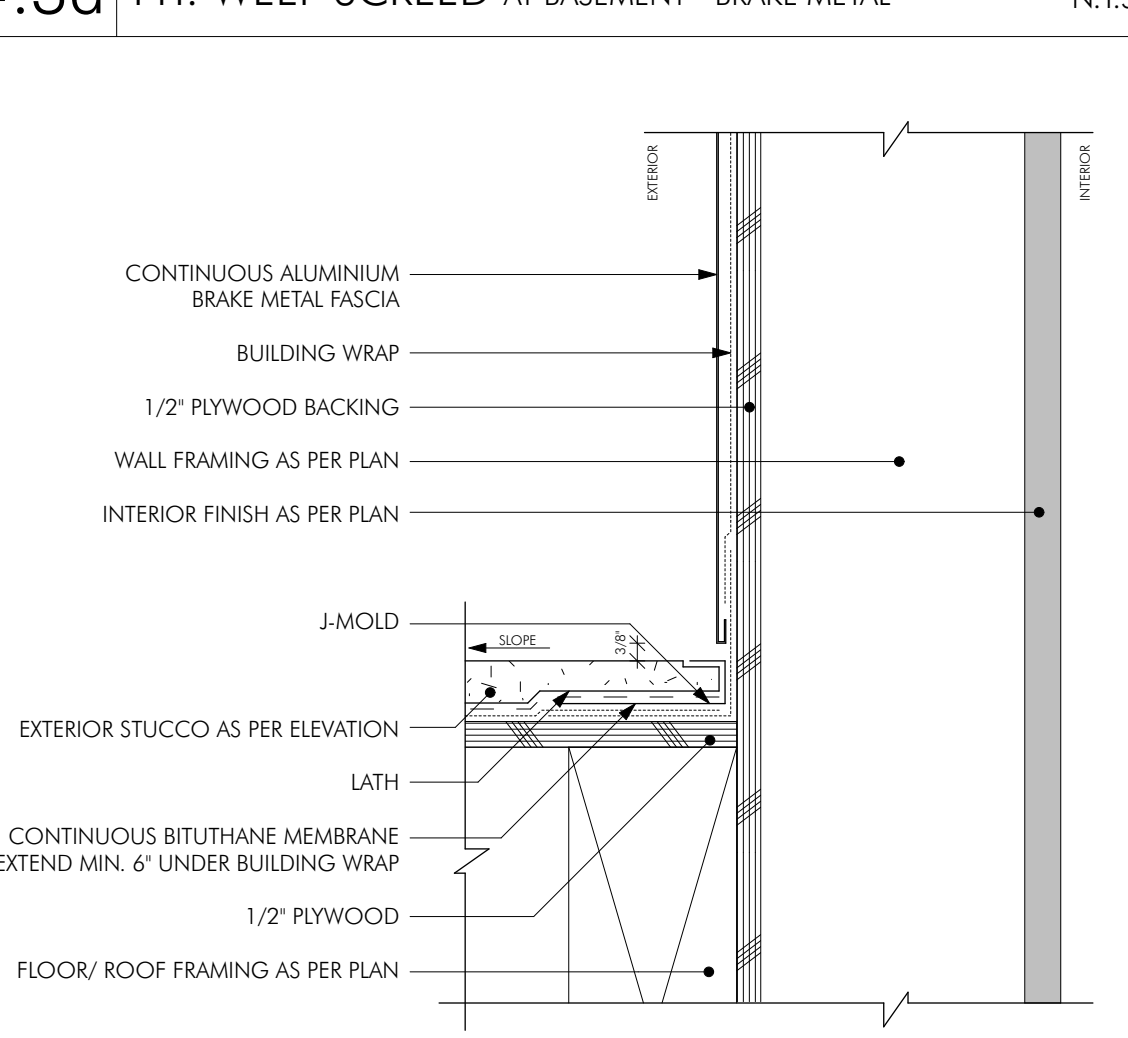
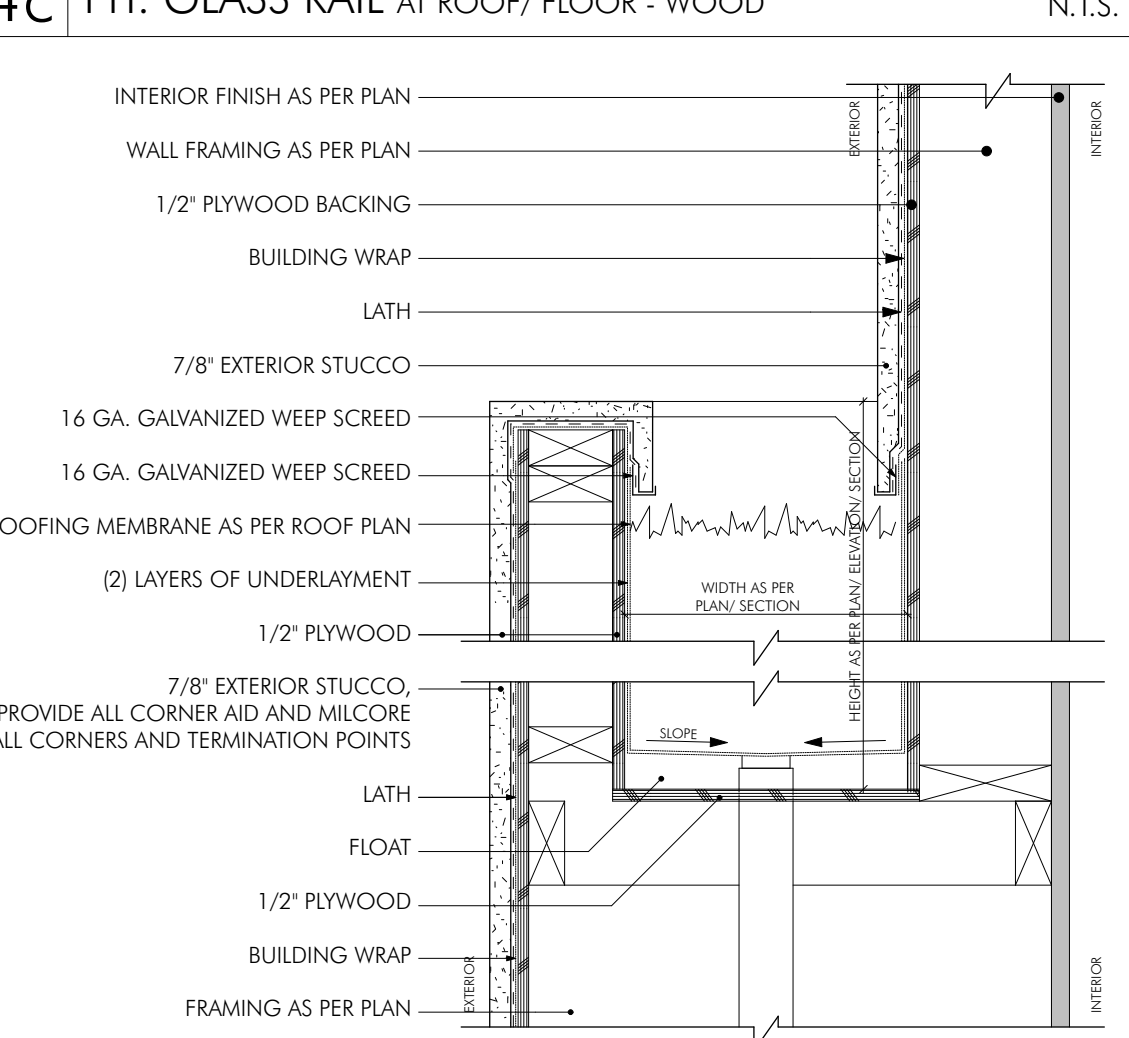
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<b>DRAINAGE</b>																			
	<b>D0.5</b>	<b>TYP. FOUNDATION DRAINAGE</b>	N.T.S.	<b>W1.3a</b>	<b>TYP. WEEP SCREED AT BASEMENT - WOOD</b>	N.T.S.	<b>W2.3a</b>	<b>TYP. WEEP SCREED AT BASEMENT - STUCCO</b>	N.T.S.	<b>W5.3</b>	<b>TYP. SUBGRADE WATERPROOF FLASHING DETAIL</b>	N.T.S.	<b>R2.11a</b>	<b>TYP. PLANTER RAIL AT GUARD RAIL - STUCCO</b>	N.T.S.				
	<b>D0.1a</b>	<b>TYP. ROOF DRAINAGE</b>	N.T.S.		<b>D1.2a</b>	<b>TYP. ROOF TO ROOF SCUPPER WOOD</b>	N.T.S.		<b>W1.3i</b>	<b>TYP. WEEP SCREED AT BASEMENT - WOOD</b>	N.T.S.		<b>W2.5a</b>	<b>TYP. WEEP SCREED AT WALL TO ROOF - STUCCO</b>	N.T.S.		<b>R2.11c</b>	<b>TYP. PLANTER RAIL AT GUARD RAIL - STUCCO</b>	N.T.S.
	<b>D0.1c</b>	<b>TYP. ROOF DRAINAGE GREEN ROOF</b>	N.T.S.	<b>WEEP SCREEDS</b>			<b>W1.5</b>	<b>SIDING TO SOFFIT WOOD TO STUCCO</b>	N.T.S.		<b>W4.3a</b>	<b>TYP. WEEP SCREED AT BASEMENT - BRICK METAL</b>	N.T.S.		<b>R1.4c</b>	<b>TYP. GLASS RAIL AT ROOF/FLOOR - WOOD</b>	N.T.S.		
	<b>D0.2</b>	<b>TYP. ROOF TO ROOF SCUPPER</b>	N.T.S.		<b>W1.2</b>	<b>TYP. WEEP SCREED AT SLAB - WOOD</b>	N.T.S.		<b>W2.1</b>	<b>TYP. WEEP SCREED AT SLAB - STUCCO</b>	N.T.S.		<b>W4.5c</b>	<b>TYP. WEEP SCREED AT BUILDING TO STUCCO - BRICK METAL</b>	N.T.S.		<b>R2.10b</b>	<b>TYP. PLANTER RAIL AT WALL - STUCCO/STUCCO</b>	N.T.S.

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**LA JOLLA RESIDENCE # 1806**



**O+L BUILDING PROJECTS LLC**

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

**PROJECT LOG:**

- 06.09.2021: CDP Hearing
- 05.12.2021: CDP Hearing
- 11.19.2020: Bid Documents
- 12.10.2019: La Jolla Permit Review Committee Meeting
- 05.20.2019: Issue to Consultants
- 05.10.2019: Design Development 1
- 02.11.2019: Preliminary Design Presentation
- 02.11.2019: Original Drawing Preparation Date

**Leidy Residence**

6216 Avenida Cresta, La Jolla, CA 92037

PLAN CHECK DETAILS  
**EXTERIOR**

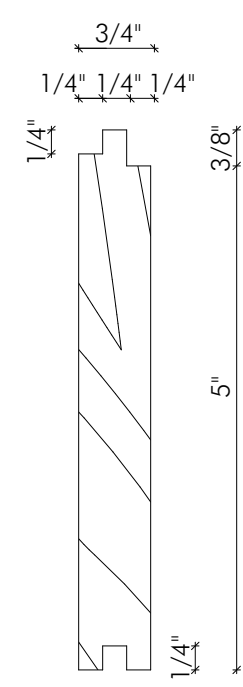
N.T.S.

**A9.1b**

Sheet No. 57 / 62

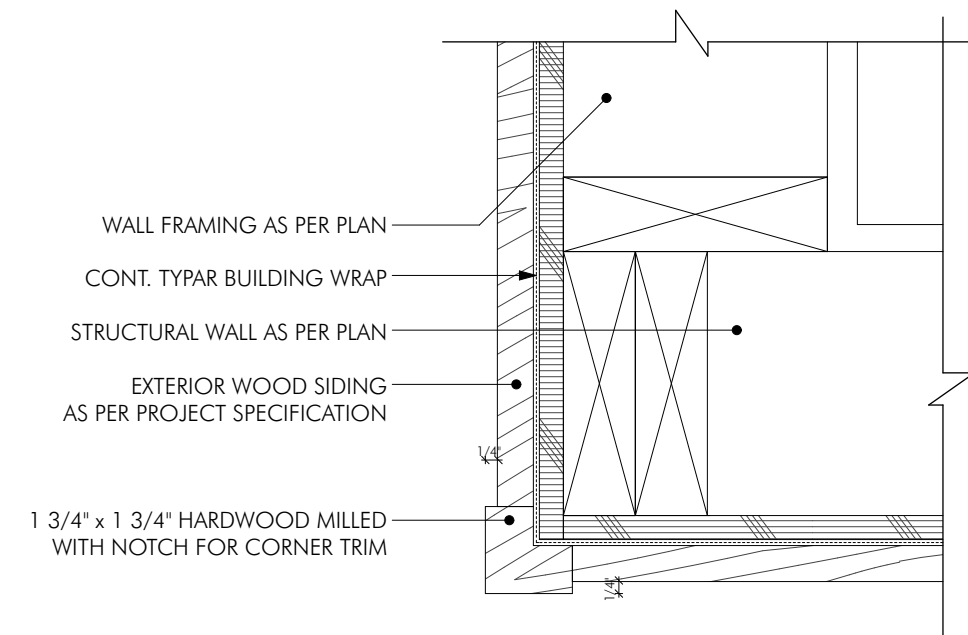


EXTERIOR DETAILS



E1.0 TYP. SIDING PROFILE

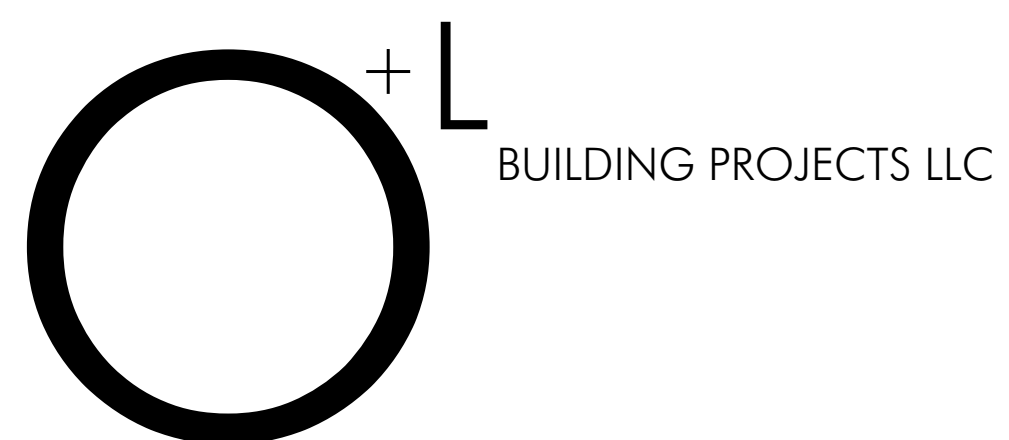
N.T.S.



E1.9 TYP. SIDING CORNER WOOD

N.T.S.

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PROJECT LOG:

Leidy Residence  
 6216 Avenida Cresta, La Jolla, CA 92037

PLAN CHECK DETAILS  
 EXTERIOR

N.T.S.

A9.1c

Sheet No. 58 / 62



/Users/fkhakur/Dropbox/2018 Projects/1806 La Jolla Residence/1806 Archicad Files/1806 La Jolla Residence.pln 05/28/2021

<p>10.1 TYP. 1 HOUR RATED WALL N.T.S.</p>					
<p>10.3 TYP. DOOR JAMB/ HEAD N.T.S.</p>					
<p>10.4 TYP. BASE N.T.S.</p>					
<p>10.5 TYP. POCKET DOOR HANDLE N.T.S.</p>					

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LA JOLLA RESIDENCE # 1806

O+L BUILDING PROJECTS LLC

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PROJECT LOG:

**Leidy Residence**  
 6216 Avenida Cresta, La Jolla, CA 92037

PLAN CHECK DETAILS  
**INTERIOR**

N.T.S.

**A9.2a**

Sheet No. 59 / 62



# GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
- CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
- PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
- CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
- CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
- AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING; AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHESAPEAKE DRIVE, SAN DIEGO, CA 92123.
- "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
- CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.

18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SOGAGE, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALLY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.

20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.

21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

## MONUMENT PRESERVATION CERTIFICATION

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO DEMOLITION/CONSTRUCTION.

- THE TYPE OF CONSTRUCTION WILL NOT AFFECT ANY SURVEY MONUMENTS (THIS LINE IS FOR PROJECTS THAT ARE PROPOSING NO DEMOLITION, TRENCHING, ASSOCIATED WITH A CIP, ETC)

NAME \_\_\_\_\_ DATE \_\_\_\_\_

PRIOR TO PERMIT ISSUANCE, THE PERMITTEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, IF APPLICABLE. (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)

I HAVE INSPECTED THE SITE AND DETERMINED THAT:

- NO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK
- SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE
- SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED (NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
- OTHER AGENCY SURVEY MONUMENT (CORNER RECORD OR RECORD OF SURVEY MAY NOT BE REQUIRED). AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY
- A PRE-CONSTRUCTION CORNER RECORD (OR RECORD OF SURVEY) FOR SURVEY MONUMENTS FOUND WITHIN THE LIMITS OF WORK HAS BEEN FILED.

CORNER RECORD # \_\_\_\_\_ OR RECORD OF SURVEY # \_\_\_\_\_

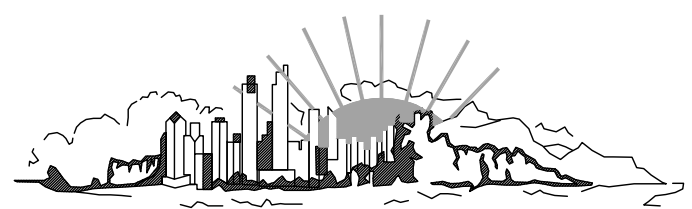
ALLEN R. A. TURNER, III L.S. 7844 EXP. 12-31-20 DATE \_\_\_\_\_

POST CONSTRUCTION CORNER RECORD (AS-BUILT ITEM)

- POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION AND REPLACED AFTER CONSTRUCTION.

CORNER RECORD # \_\_\_\_\_ OR RECORD OF SURVEY # \_\_\_\_\_

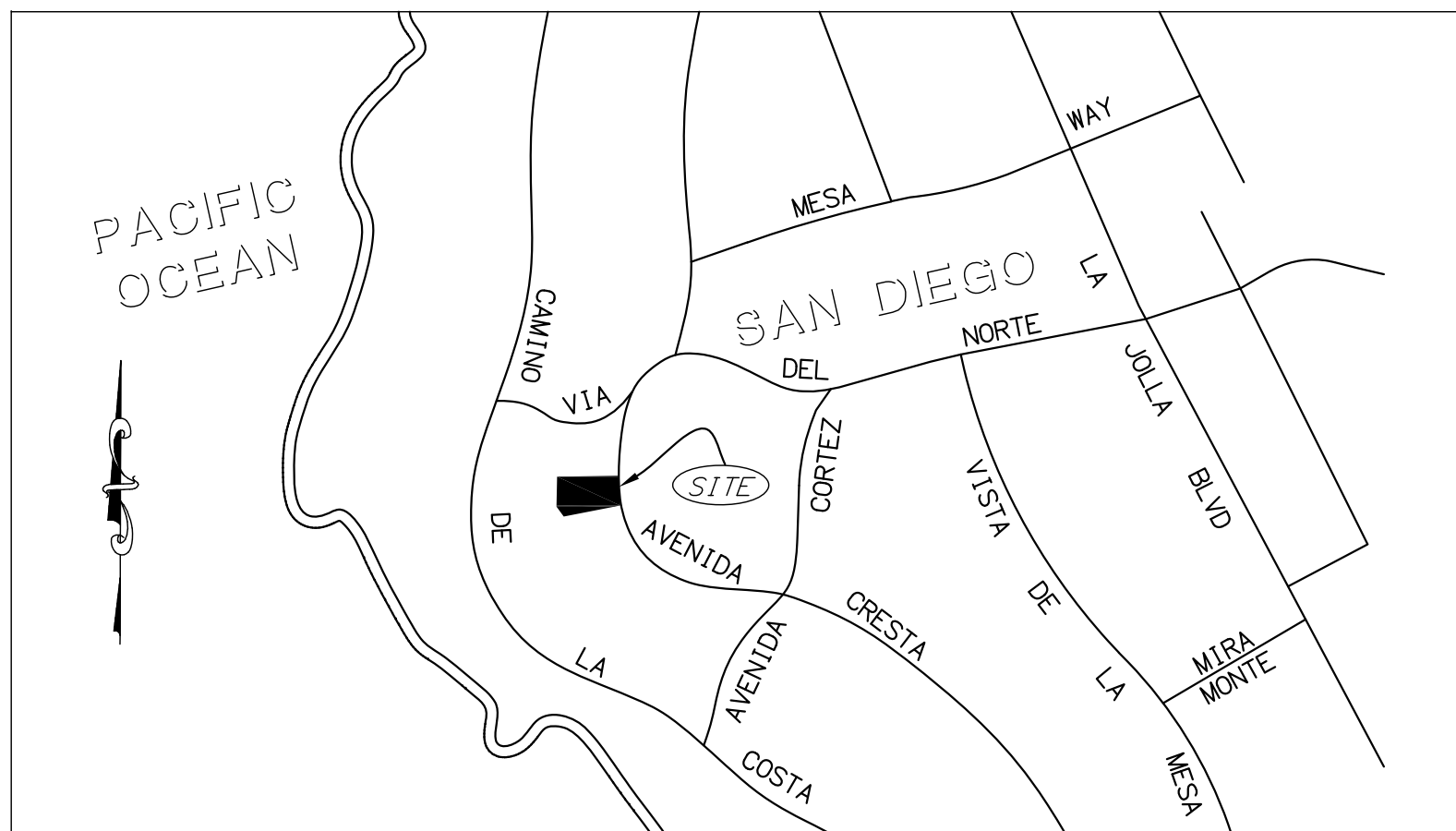
ALLEN R. A. TURNER, III L.S. 7844 EXP. 12-31-20 DATE \_\_\_\_\_



**KAPPA SURVEYING & ENGINEERING, INC.**  
8707 LA MESA BOULEVARD, LA MESA, CA 91942  
(619) 465-8948 FAX: (619) 465-6410

## GRADING PLANS FOR:

# 6216 AVENIDA CRESTA



### VICINITY MAP

NO SCALE

## GRADING + GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED:

REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME), DATED (THEIR COMPANY PROJECT NO.)

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(S) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

(SIGNATURE) \_\_\_\_\_  
ENGINEER'S NAME \_\_\_\_\_ P.E. OR G.E. \_\_\_\_\_ DATE \_\_\_\_\_

(SIGNATURE) \_\_\_\_\_  
GEOLOGIST'S NAME \_\_\_\_\_ P.G. OR C.E.G. \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY NAME\* \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
TELEPHONE NUMBER \_\_\_\_\_

\*IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

## DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

WILLIAM R. DICK R.C.E. NO. 34563 EXP. 09-30-2021 DATE \_\_\_\_\_



## DEVELOPMENT SERVICES DEPARTMENT

## OWNER/APPLICANT

DAVID B. LEIDY AND PAMELA K. LEIDY  
6216 AVENIDA CRESTA, LA JOLLA, CA 92037

## REFERENCE DRAWINGS

WATER MAIN AND LATERAL CONNECTION . . . . . 13210-10-D  
SEWER MAIN AND LATERAL CONNECTION . . . . . 25259-10-D  
EASEMENT FOR POWER LINES . . . . . B 1161 P11-12  
SUBDIVISION MAP . . . . . MAP 1810

## SITE ADDRESS

6216 AVENIDA CRESTA, LA JOLLA, CA 92037

## TOPOGRAPHY SOURCE

RINEHART ENGINEERING 6431 CLEEVE WAY, SAN DIEGO, CA 92117  
DATE: NOVEMBER 12, 2018

## BENCHMARK

THIS BENCHMARK FOR THIS SURVEY IS A CITY OF SAN DIEGO ENGINEERING DEPARTMENT VERTICAL CONTROL MONUMENT, A BRASS PLUG, LOCATED IN THE TOP OF THE CURB AT THE SOUTHWESTERLY CORNER OF AVENIDA CRESTA AND VIA DEL NORTE.

ELEVATION: 84.258 DATUM: SAN DIEGO MEAN SEA LEVEL

## ASSESSORS PARCEL NUMBER

357-012-13-00

## EXISTING LEGAL DESCRIPTION

LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924.

## SHEET INDEX

TITLE SHEET	SHEET 1
NOTES	SHEET 2
DRIVEWAY SECTIONS AND STANDARD DRAWINGS	SHEET 3
TOPOGRAPHIC MAP	SHEET 4
GRADING PLAN	SHEET 5
EROSION CONTROL PLAN	SHEET 6

## GRADING QUANTITIES

GRADED AREA	0.25 ACRES	MAX. CUT DEPTH	9.30 FT
CUT QUANTITIES	251 CYD	MAX CUT SLOPE RATIO (2:1MAX)	5:1
FILL QUANTITIES	409 CYD	MAX. FILL DEPTH	6.98 FT
IMPORT/EXPORT	158 CYD	MAX FILL SLOPE RATIO (2:1MAX)	2:1

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

## CONSTRUCTION STORM WATER PROTECTION NOTES

- TOTAL SITE DISTURBANCE AREA (ACRES): 0.25  
WATERSHED: MISSION BEACH - FRONTAL PACIFIC OCEAN  
HYDRAULIC SUB AREA NAME AND NUMBER: UNDEFINED 906.30
- THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
  - WPCP  
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS.
  - SWPPP  
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ.
- CONSTRUCTION SITE PRIORITY
  - ASBS
  - HIGH
  - MEDIUM
  - LOW

FOR STORMWATER BMP TABLES, SEE SHEET 2

STREET DATA TABLE				
STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)

## WORK TO BE DONE

THE PUBLIC IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

### STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PWP1010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
PWP1010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2018 EDITION
PWP1010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION
PWP1030119-07	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (REVISION 3), 2014 EDITION
PWP1030119-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

### STANDARD DRAWINGS:

DOCUMENT NO.	DESCRIPTION
PWP1010119-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2018 EDITION
PWP1030119-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2018 EDITION

## LEGEND

### PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPOSED SPOT ELEVATION		85.35 FS
PROPOSED CONTOURS		80 78
MASONRY RETAINING WALL	C-01	[Symbol]
TRENCH DRAIN		[Symbol]
12" X 12" NDS CATCH BASIN		[Symbol]
ROOF DOWNSPOUT		[Symbol]
PVC GRAVITY DRAINAGE PIPE		[Symbol]
PVC STORM DRAIN FORCE MAIN		[Symbol]
WATER LATERAL		W
SEWER LATERAL		S
SURFACE FLOW LINE		[Symbol]
DRIVEWAY REPLACEMENT		[Symbol]
SIDEWALK, CURB, AND GUTTER REPLACEMENT	SDG-156	[Symbol]
SUMP PUMP		[Symbol]
BASEMENT WALL BELOW GRADE		[Symbol]

### EXISTING IMPROVEMENTS

ITEM	SYMBOL
EXISTING SPOT ELEVATION	85.35 FS
EXISTING CONTOURS	80 78
WATER METER	WM
WATER MAIN	W
SEWER MAIN	S
OVERHEAD LINES	OH
CHAINLINK FENCE	X-X
MASONRY RETAINING WALL	[Symbol]
POWER POLE	PP
SEWER MANHOLE	ME
ELECTRICAL HANDHOLE	[Symbol]

ENGINEERING PERMIT NO: \_\_\_\_\_  
DISCRETIONARY PERMIT NO: \_\_\_\_\_ RETAINING WALL PROJECT NO: \_\_\_\_\_  
PRIVATE CONTRACT

<b>TITLE SHEET FOR:</b>				
<b>6216 AVENIDA CRESTA</b>				
<b>LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1</b>				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 6 SHEETS				PROJECT NO. _____
FOR CITY ENGINEER			DATE	
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				LAMBERT COORDINATES
CONTRACTOR _____ DATE STARTED _____				LAMBERT COORDINATES
INSPECTOR _____ DATE COMPLETED _____				XXXXXX-1-D

REV 5/13/2019

CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



## CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WP/CP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS, INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMP'S SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WP/CP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WP/CP.

8. THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.

9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE. AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WP/CP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.

15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 3 TO 6" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20' LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.

18. PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:

A. NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP.3. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.

B. EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMP'S TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMP'S INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.

C. AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

## GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.

2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.

3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET \_\_\_\_ FOR MIX AND SPECIFICATIONS.

## GROUND WATER DISCHARGE NOTES

1. ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES CAG919003.

2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.

3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES NO. CAG919003.

## MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/8 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILLED.

2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/8 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.

3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

## PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.

2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

## STORM WATER REQUIREMENTS

1. THIS PROJECT IS SUBJECT TO MUNICIPAL CODE SECTION 4303 AND ORDER NO. R9-2013-0001 AS AMENDED BY R9-2015-0001 AND R9-2015-0100

2. ALL WORK RELATED TO POST-CONSTRUCTION STORMWATER QUALITY SHALL BE IN ACCORDANCE WITH THE STORM WATER QUALITY MANAGEMENT PLAN ENTITLED, \_\_\_\_\_ PROJECT NAME AND NUMBER \_\_\_\_\_, PROJECT APPLICANT \_\_\_\_\_, PROJECT ADDRESS \_\_\_\_\_, PREPARED BY \_\_\_\_\_ COMPANY NAME \_\_\_\_\_, REPORT DATE \_\_\_\_\_

3. POST-CONSTRUCTION BMP'S ARE REQUIRED, SEE SHEET(S) \_\_\_\_\_.

## PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM. APPROVAL NO.: \_\_\_\_\_

## PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

## AGREEMENT DATA

APPROVAL TYPE	DESCRIPTION	APPROVAL NO.	DOCUMENT NO.	SEE SHEET NUMBER(S)

## TRAFFIC CONTROL NOTE

(DELETE IF GREATER THAN 5000 ADT)

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-446-5150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-4A	
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST			
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS			
SOURCE CONTROL REQUIREMENT		APPLIED?	
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.2.6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS			
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
FOOD SERVICE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
REFUSE AREAS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
FUEL DISPENSING AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
LOADING DOCKS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
FIRE SPRINKLER TEST WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:			
4.2.6: NO VEHICLES WILL BE REPAIRED, MAINTAINED, OR REFUELED ON SITE.			

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-5A	
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST			
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS			
SITE DESIGN REQUIREMENT		APPLIED?	
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.3.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.3.4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:			
4.3.1: STORM WATER TO BE PUMPED EAST TO AVENIDA CRESTA. NATURAL DRAINAGE IS WEST TOWARD ADJACENT PROPERTY.			

SITE DESIGN, SOURCE CONTROL AND POLLUTANT CONTROL BMP OPERATION + MAINTENANCE PROCEDURE						
STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:						
O&M RESPONSIBLE PARTY DESIGNEE: PROPERTY OWNER / HOA / CITY / OTHER:						
BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	INCLUDED IN O&M MANUAL	SHEET NUMBER(S)
SITE DESIGN ELEMENTS					YES	NO
DESCRIPTION:						
SOURCE CONTROL ELEMENTS					YES	NO
DESCRIPTION:						
POLLUTANT CONTROL BMP(S)					YES	NO
DESCRIPTION:						
HMP FACILITY (IF SEPARATE)					YES	NO
DESCRIPTION:						
HMP EXEMPT						

PRIVATE CONTRACT

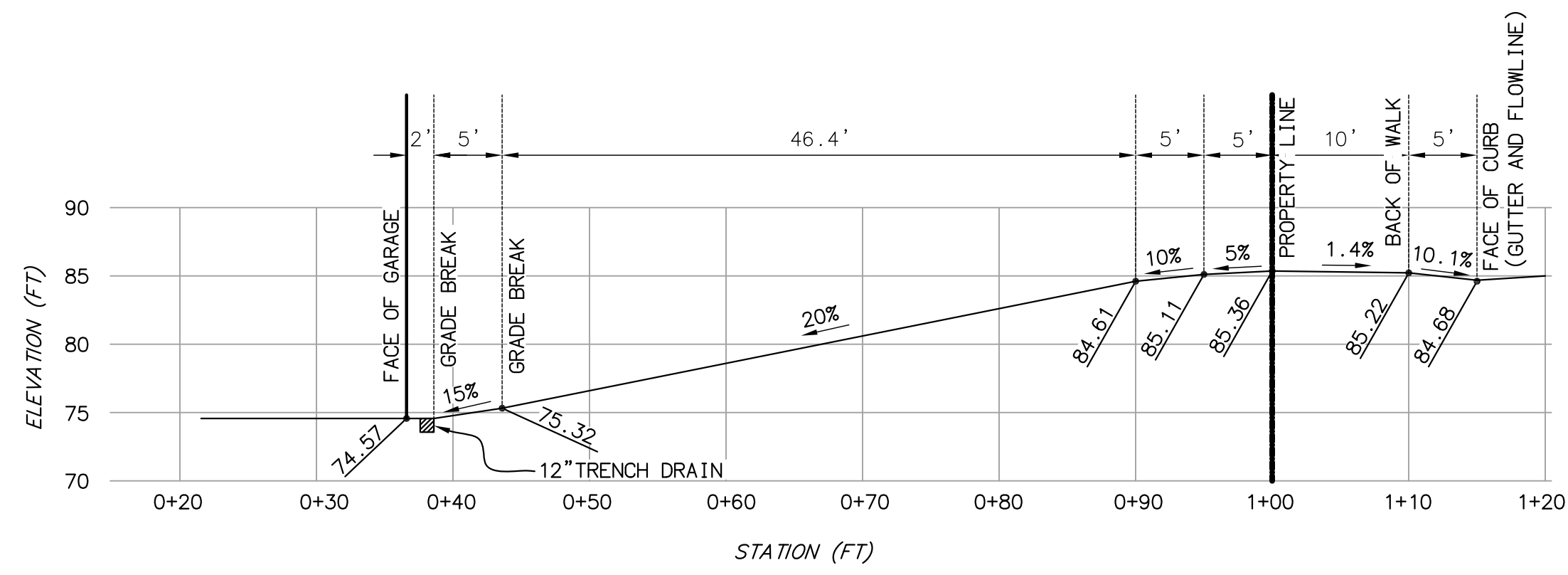
NOTES FOR:	
<b>6216 AVENIDA CRESTA</b>	
<b>LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1</b>	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 6 SHEETS	PROJECT NO. _____
FOR CITY ENGINEER	DATE
DESCRIPTION BY	APPROVED DATE FILMED
ORIGINAL xxx	
AS-BUILTS	
CONTRACTOR	DATE STARTED
INSPECTOR	DATE COMPLETED
xxxxxx-2-D	



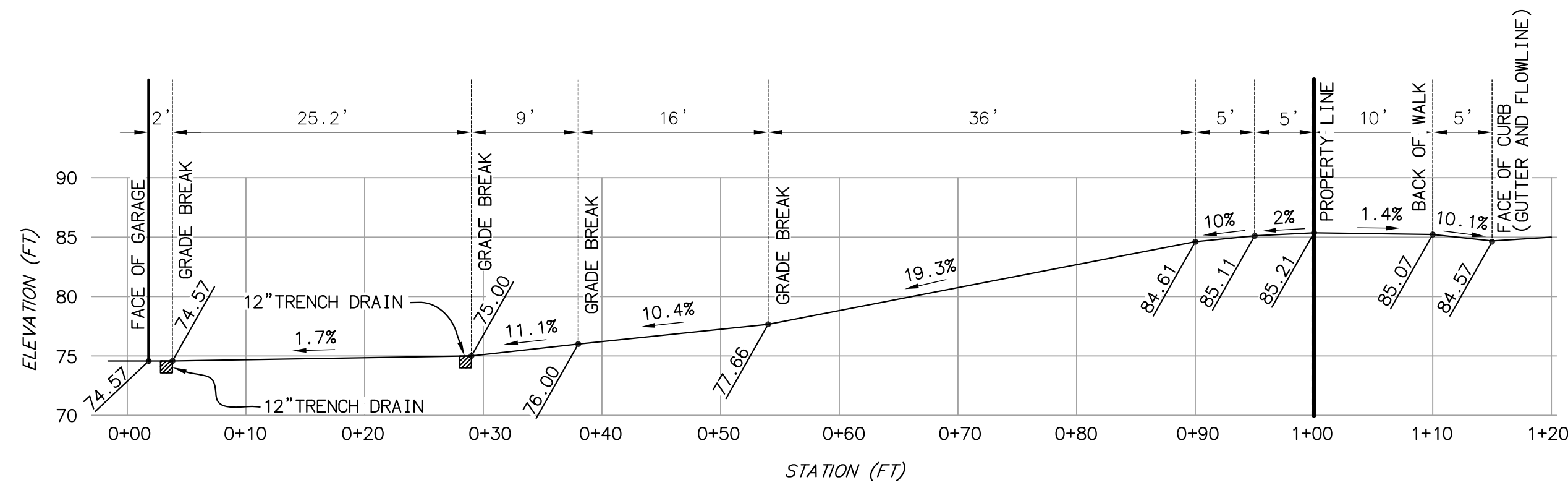
**KAPPA SURVEYING & ENGINEERING, INC.**  
8707 LA MESA BOULEVARD, LA MESA, CA 91942  
(619) 465-8948 FAX: (619) 465-6410

WILLIAM R. DICK R.C.E. NO. 34563 EXP. 09-30-2021 DATE

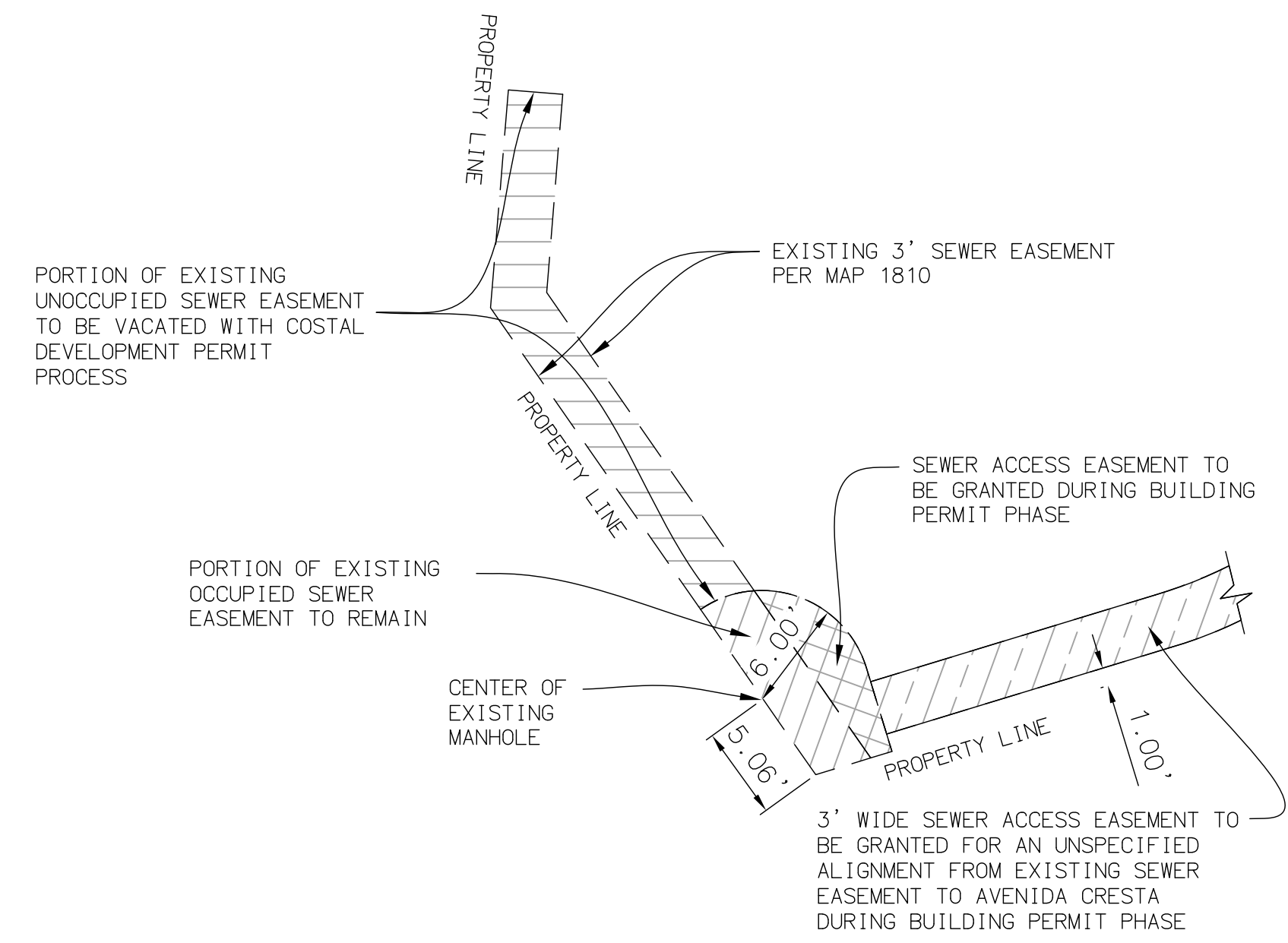




**NORTH EDGE DRIVEWAY PROFILE**  
SCALE: 1"=10'



**SOUTH EDGE DRIVEWAY PROFILE**  
SCALE: 1"=10'



**SEWER EASEMENT DETAIL**  
SCALE: 1"=8'

REV 5/13/2019

  
**KAPPA SURVEYING & ENGINEERING, INC.**  
 8707 LA MESA BOULEVARD, LA MESA, CA 91942  
 (619) 465-8948 FAX: (619) 465-6410

PRIVATE CONTRACT			
<b>DRIVEWAY SECTIONS AND STANDARD DRAWINGS FOR:</b>			
<b>6216 AVENIDA CRESTA</b>			
<b>LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1</b>			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 6 SHEETS			PROJECT NO. _____
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	XXX		
			XXXX-XXXX NAD83 COORDINATES
			XXX-XXXX LAMBERT COORDINATES
AS-BUILTS		DATE STARTED	
CONTRACTOR		DATE COMPLETED	
INSPECTOR		XXXXXX-3-D	



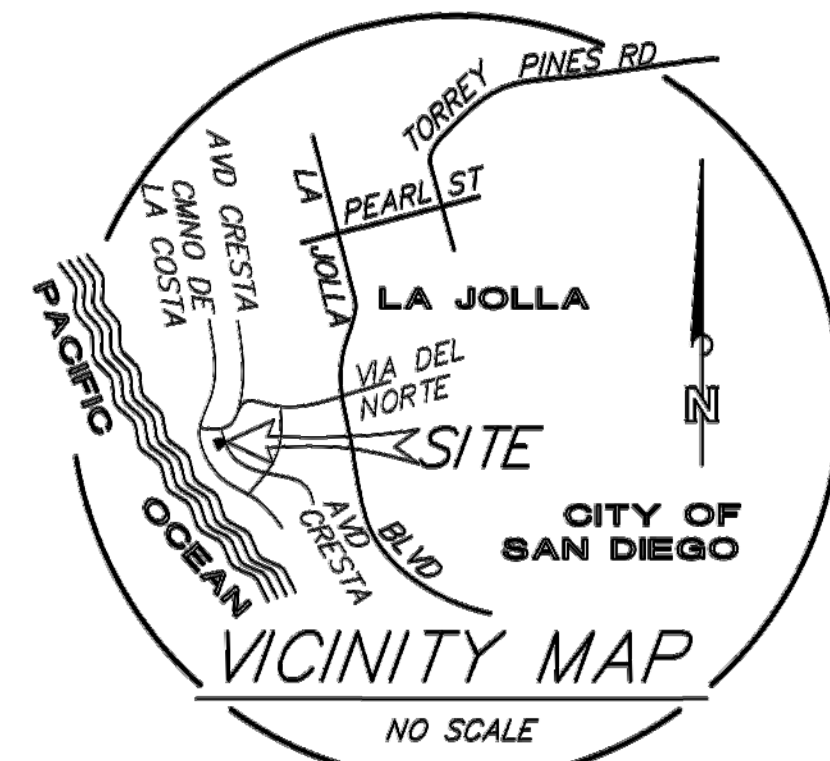


**LEGEND**

PARCEL BRG AND DIST	$N 78^{\circ}48'15'' E 48.25'$
RECORD DESCRIPTION	$(N 78^{\circ}48'15'' E 48.25')$
PROPERTY BOUNDARY	---
RIGHT OF WAY	R/W
EASEMENT	---
CENTER LINE STREET	C
CABLE TV	GHL
TELEPHONE CABLE	GHL
ELECTRICAL CABLE	GHL
GAS MAIN	G
WATER MAIN (SIZE AS SHOWN)	W
SEWER (SIZE AS SHOWN)	S
RETAINING WALL / WALL	---
EXISTING CONTOUR	(50)

**LEGAL**

LOT 14, BLOCK 3 OF MAP 1810



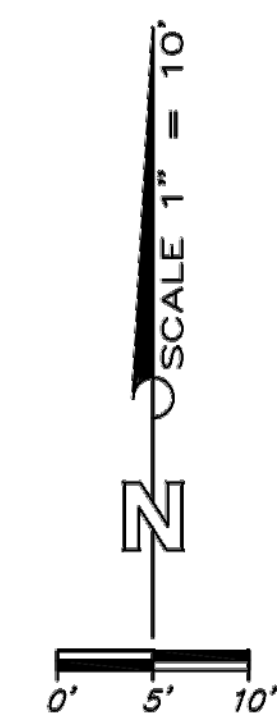
**NOTE**

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGN OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OR EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY AND REPRESENTS ONLY AVAILABLE INFORMATION RELATING TO THE BOUNDARY OF THE PARCEL AND/OR EASEMENTS LINES WHICH ARE INCLUDED TO SHOW THE APPROXIMATE RELATIVE LOCATION OF THESE LINES TO THE TOPOGRAPHIC FEATURES. THE LOCATION OF THE PARCEL AND THE BEARING AND DISTANCES SHOWN ARE BASED ON FOUND MONUMENTS, OR 11791 & MAP 1810 AND MAY VARY FROM THE DEED OR MAP DESCRIPTION. NO MONUMENTS WERE FOUND EXCEPT AS SHOWN AND NO MONUMENTS WERE SET.

EASEMENT INFORMATION PER CALIFORNIA TITLE COMPANY: TITLE REPORT No. 400-1936886-34 DATED 9-11-2018 AND MAP 1810

LOCATION OF UTILITIES SHOWN ON THIS PLAN IS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES AND/OR FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE EXACT LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION. PLEASE CONTACT THESE COMPANIES DIRECTLY FOR MARK-OUT AND LOCATIONS PRIOR TO EXCAVATION.



**KAPPA SURVEYING & ENGINEERING, INC.**  
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**RINEHART ENGINEERING**  
 6431 OLEEVAY WAY SAN DIEGO, CA 92117  
 PDR@RINEHART-ENGINEERING.COM  
 (858) 268-8401

**TOPOGRAPHIC MAP OF LOT 14, BLOCK 3 OF MAP 1810**  
 6216 AVENIDA CRESTA APN: 357-012-13

**BENCH MARK**

DESCRIPTION:	BRASS PLUG TOP OF CURB
LOCATION:	SWLY CORNER OF AVENIDA CRESTA AND VIA DEL NORTE
RECORD FROM:	CITY OF SAN DIEGO VERTICAL CONTROL
ELEVATION:	84.258 DATUM: SAN DIEGO MEAN SEA LEVEL



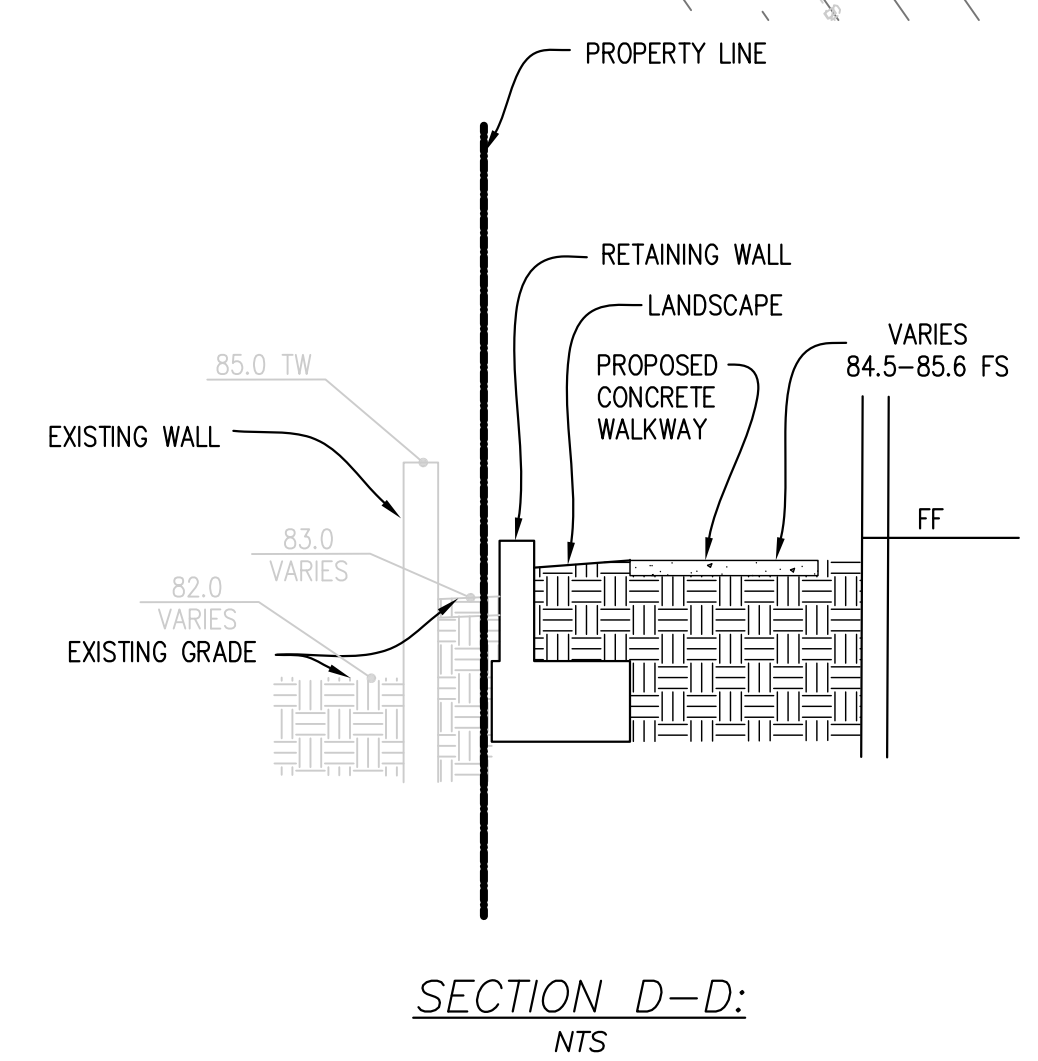
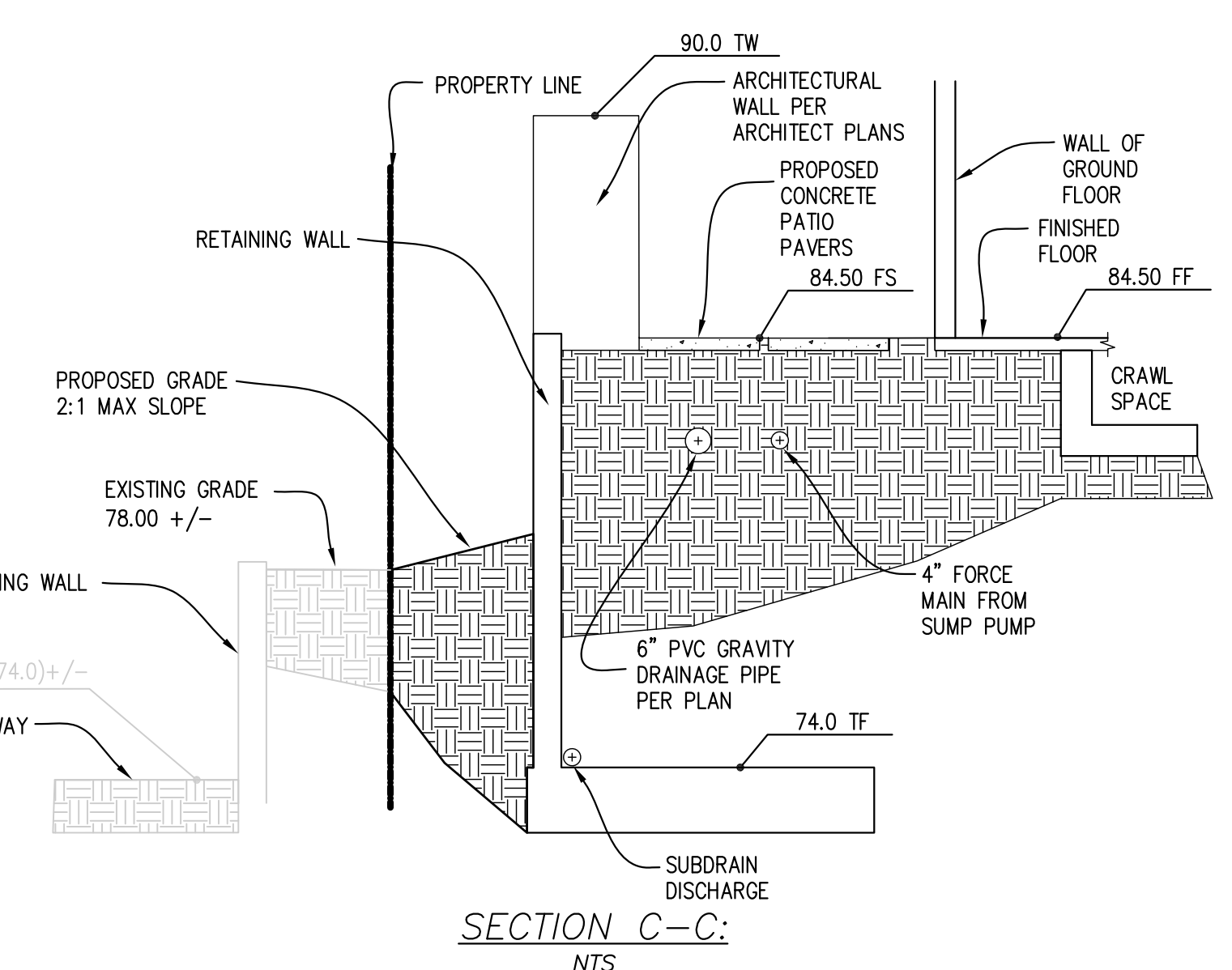
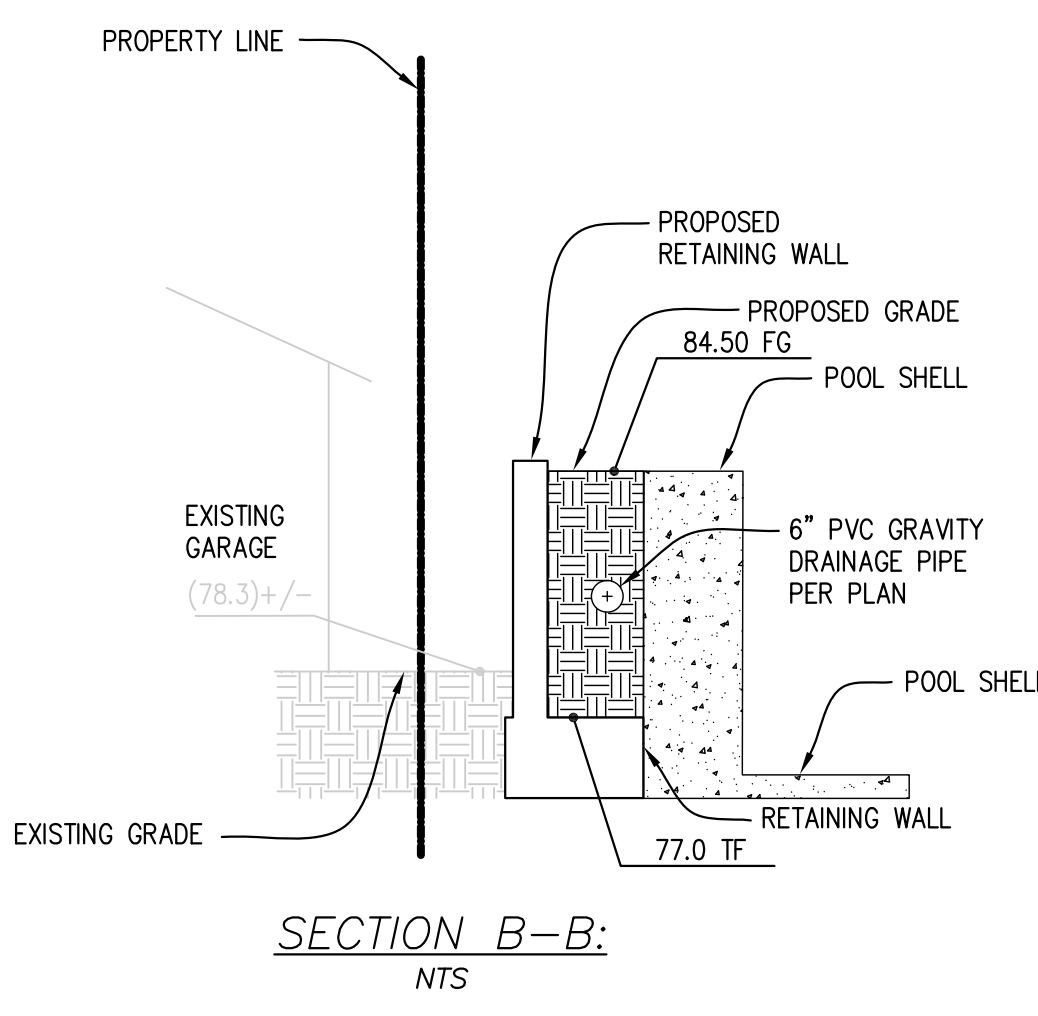
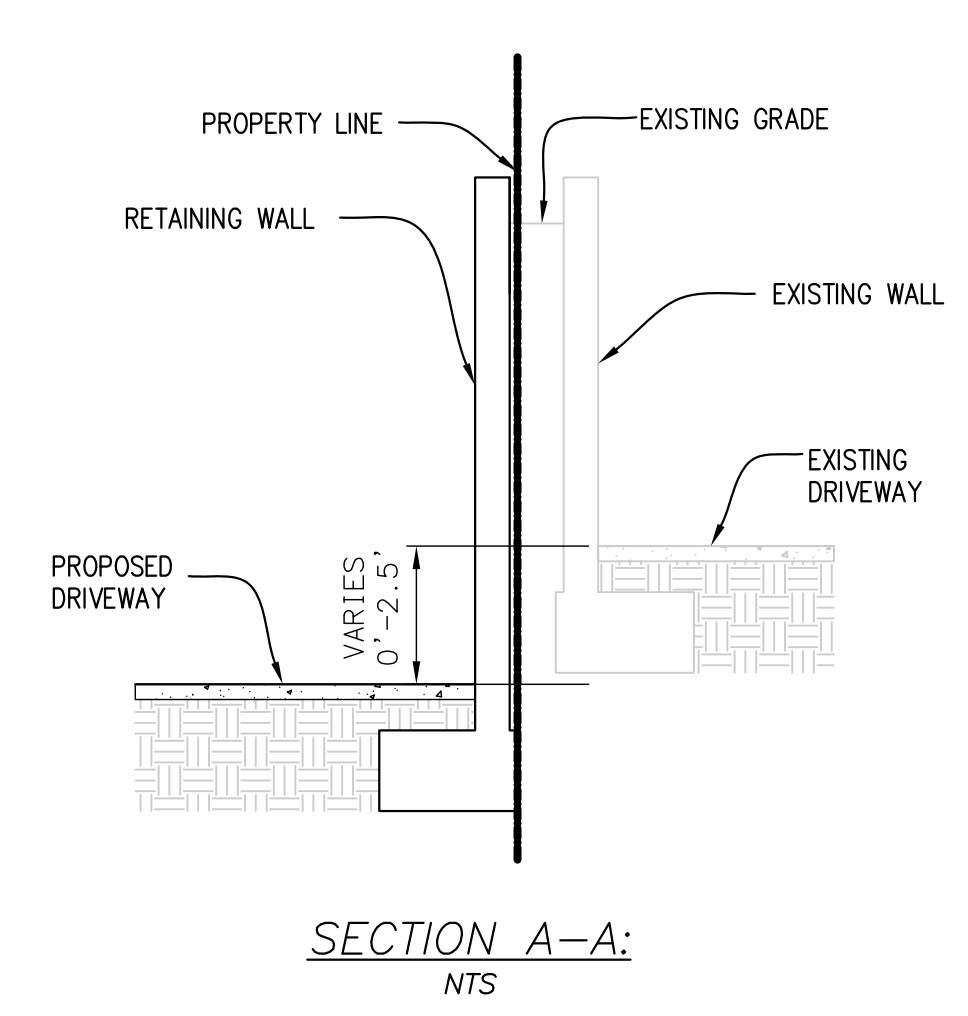
DATE OF SURVEY:	NOV 12, 2018
SURVEYOR:	F. DAN RINEHART
DRAWN BY:	FDR
SCALE:	1"=10'
JOB NUMBER:	18220701.DWG
SHEET:	1 OF 1

PRIVATE CONTRACT

TOPOGRAPHIC MAP FOR:  
**6216 AVENIDA CRESTA**  
 LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 4 OF 6 SHEETS		PROJECT NO. _____
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	APPROVED
ORIGINAL	XXX	
AS-BUILTS		
CONTRACTOR	DATE STARTED	XXXXX-4-D
INSPECTOR	DATE COMPLETED	

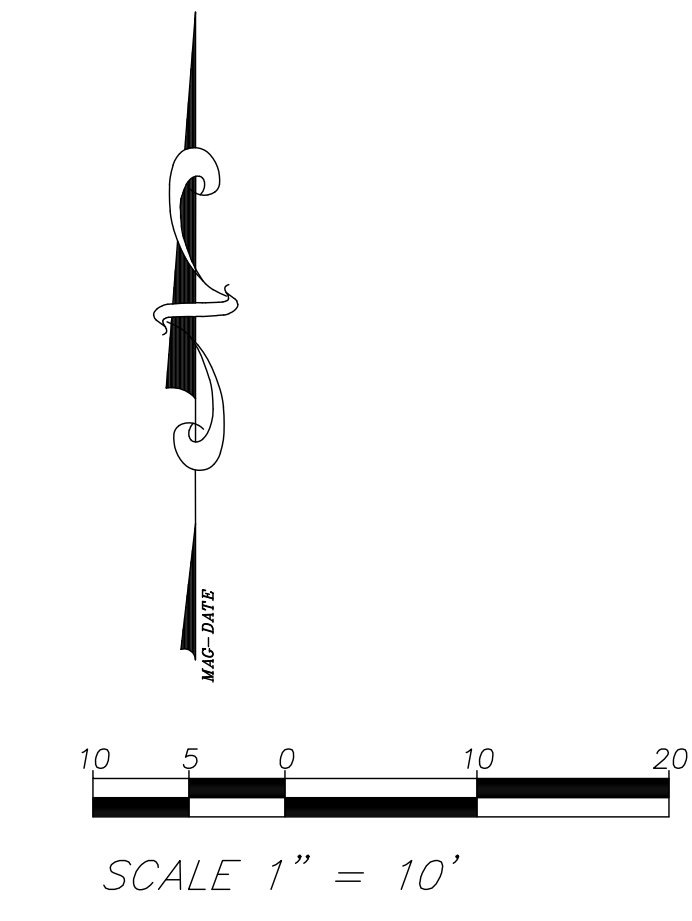
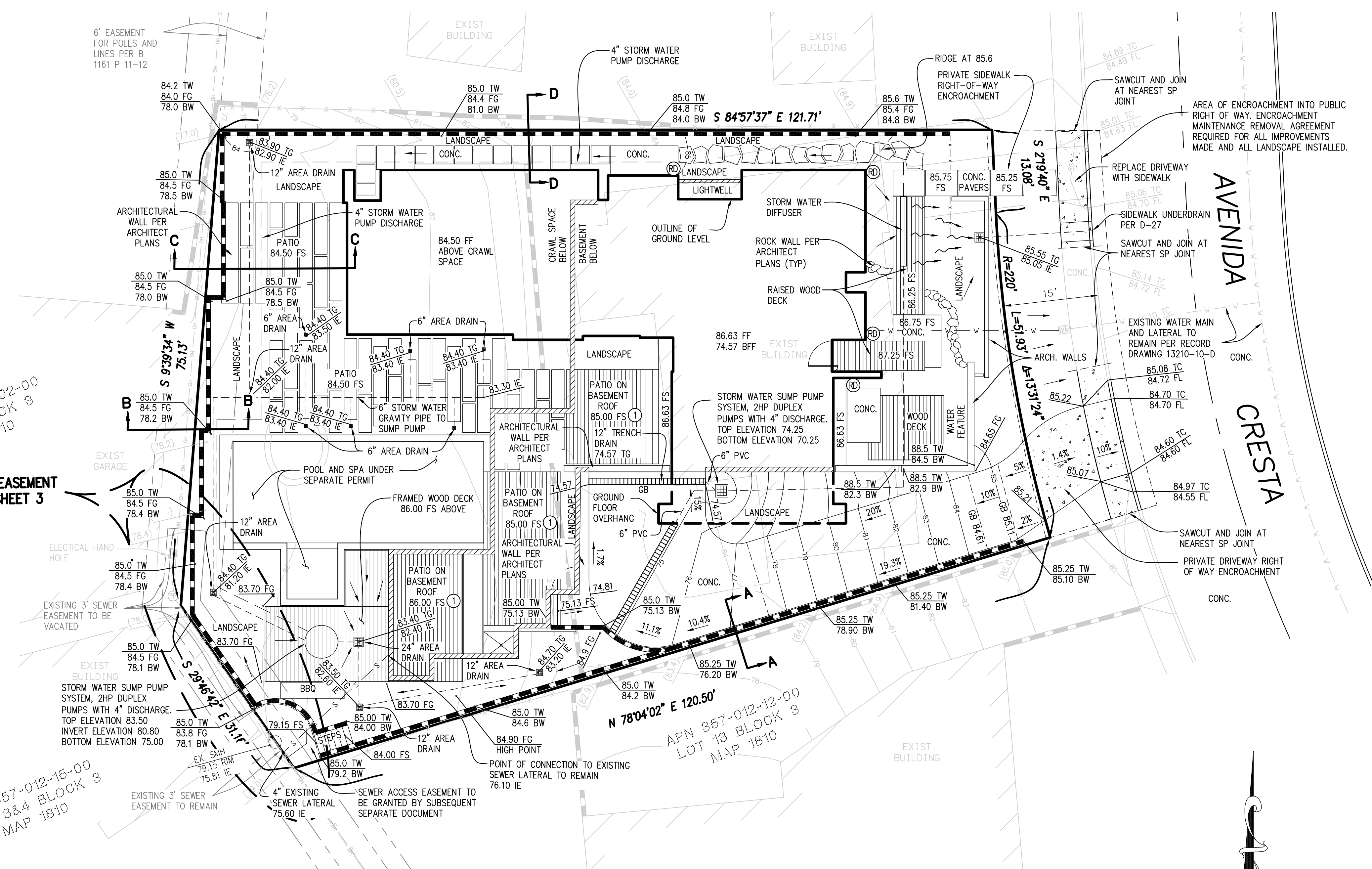




APN 357-012-02-00  
LOT 2 BLOCK 3  
MAP 1810

SEE SEWER EASEMENT  
DETAIL ON SHEET 3

APN 357-012-15-00  
LOTS 3&4 BLOCK 3  
MAP 1810



WILLIAM R. DICK R.C.E. NO. 34563 EXP. 09-30-2021 DATE

**KAPPA SURVEYING & ENGINEERING, INC.**  
8707 LA MESA BOULEVARD, LA MESA, CA 91942  
(619) 465-8948 FAX: (619) 465-6410

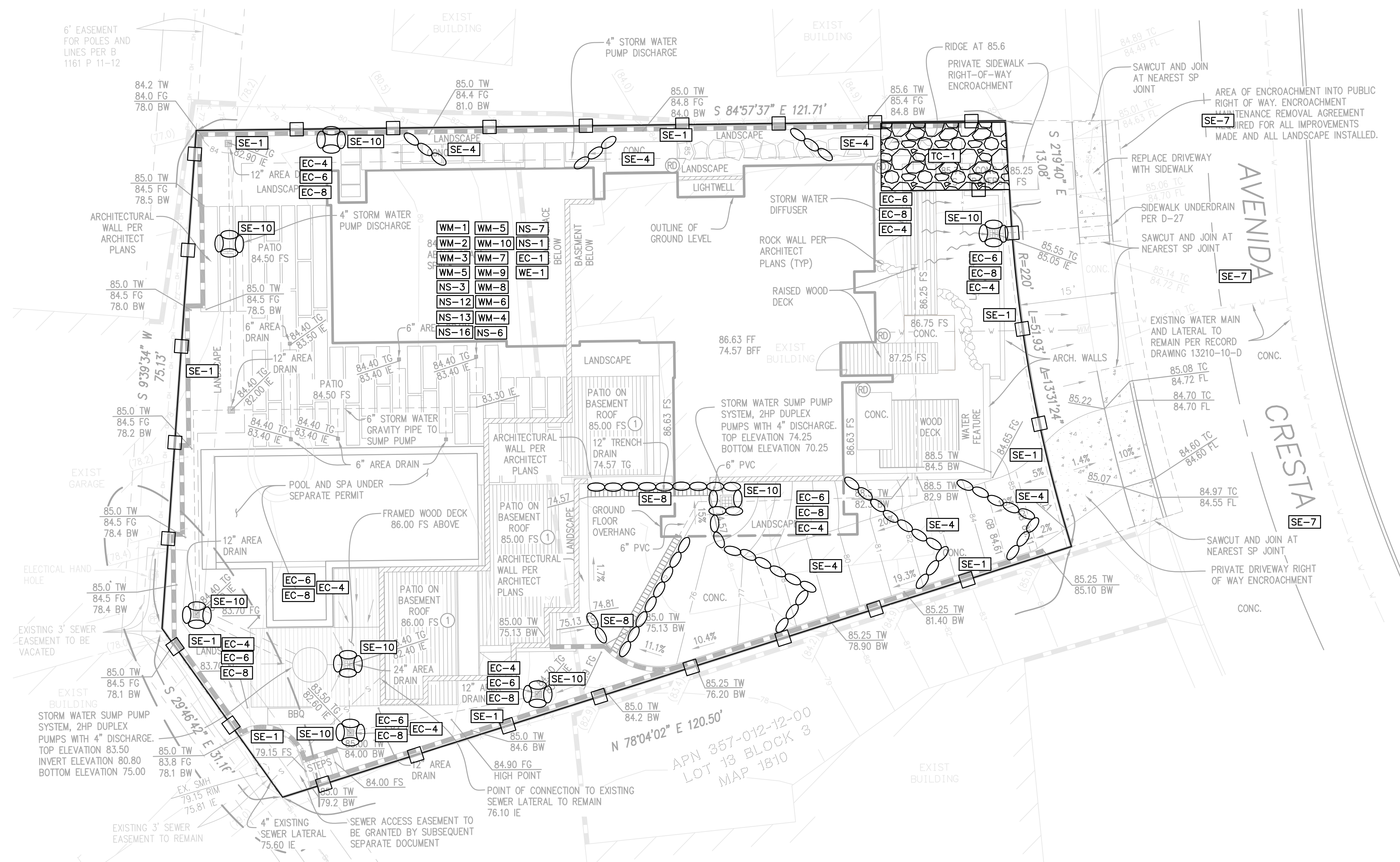
PRIVATE CONTRACT			
GRADING PLAN FOR:			
<b>6216 AVENIDA CRESTA</b>			
LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 6 SHEETS			PROJECT NO. _____
FOR CITY ENGINEER	BY	DATE	V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
AS-BUILTS			
CONTRACTOR		DATE STARTED	XXXXX-5-D
INSPECTOR		DATE COMPLETED	



# EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMPs WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

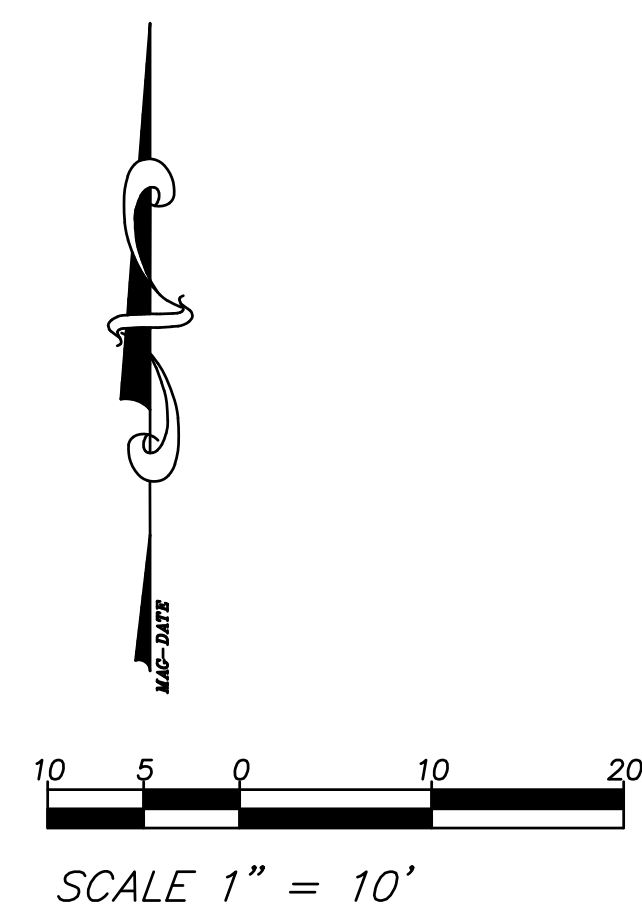
TEMPORARY BMP NAME	BMP DWG. NO.	SYMBOL
<b>RESOURCE PROTECTION BMPs</b>		
LINEAR SEDIMENT CONTROLS	SE-1	
<b>MATERIAL STORAGE &amp; HANDLING BMPs</b>		
MATERIAL STORAGE	WM-1	N/A
MATERIAL HANDLING AND USE	WM-2	N/A
LANDSCAPE MATERIAL MANAGEMENT	WM-3	N/A
PAVING AND GRADING OPERATIONS	NS-3	N/A
CONCRETE MANAGEMENT	NS-12	N/A
	NS-13	N/A
	NS-16	N/A
<b>WASTE MANAGEMENT BMPs</b>		
SOLID WASTE MANAGEMENT	WM-5	N/A
LIQUID WASTE MANAGEMENT	WM-10	N/A
CONTAMINATED SOIL MANAGEMENT	WM-7	N/A
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9	N/A
CONCRETE WASTE MANAGEMENT	WM-8	N/A
HAZARDOUS WASTE MANAGEMENT	WM-6	N/A
STOCKPILED WASTE MANAGEMENT	WM-3	N/A
<b>NON-STORM WATER MANAGEMENT BMPs</b>		
SPILL CONTROL PREVENTION	WM-4	N/A
REPORTING SIGNIFICANT SPILLS	N/A	N/A
<b>NON-STORM WATER MANAGEMENT BMPs</b>		
ILLEGAL CONNECTION/DISCHARGE	NS-6	N/A
DETECTION & REPORTING		
POTABLE WATER/IRRIGATION	NS-7	N/A
WATER CONSERVATION PRACTICES	NS-1	N/A
<b>GENERAL EROSION CONTROL BMPs</b>		
SCHEDULING/PHASING CONSTRUCTION	EC-1	N/A
STOCKPILE MANAGEMENT	WM-3	N/A
<b>NON-VEGETATIVE STABILIZATION BMPs</b>		
STRAW AND WOOD MULCH	EC-6	N/A
EC-8	N/A	
<b>VEGETATIVE STABILIZATION BMPs</b>		
ESTABLISH INTERIM VEGETATION (HYDROSEEDING)	EC-4	N/A
ESTABLISH PERMANENT LANDSCAPING	N/A	N/A
<b>DUST CONTROL BMPs</b>		
WIND EROSION CONTROL	WE-1	N/A
<b>PERIMETER &amp; LINEAR SEDIMENT CONTROL BMPs</b>		
SILT FENCING	SE-1	
GRAVEL BAG BERM	SE-5	
SAND BAG BARRIER	SE-8	
<b>SEDIMENT CAPTURE BMPs</b>		
STORM DRAIN INLET PROTECTION	SE-10	
<b>OFFSITE SEDIMENT TRACKING BMPs</b>		
STABILIZED CONSTRUCTION ENTRANCE/EXIT	TC-1	
STREET SWEEPING AND VACUUMING	SE-7	N/A
<b>RUN-ON AND RUNOFF CONTROL BMPs</b>		
CHECK DAMS	SE-4	
<b>FINAL STABILIZATION BMPs</b>		
FINAL STABILIZATION	N/A	N/A



## SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

1. THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
2. ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
3. SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.



**KAPPA SURVEYING & ENGINEERING, INC.**  
 8707 LA MESA BOULEVARD, LA MESA, CA 91942  
 (619) 465-8948 FAX: (619) 465-6410

PRIVATE CONTRACT			
EROSION CONTROL PLAN FOR:			
<b>6216 AVENIDA CRESTA</b>			
LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 6 SHEETS			PROJECT NO.
FOR CITY ENGINEER	DATE	V.T.M.	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	XXX		
			XXXX-XXXX NAD83 COORDINATES
			XXX-XXXX LAMBERT COORDINATES
AS-BUILTS			
CONTRACTOR	DATE STARTED	XXXXXX-6-D	
INSPECTOR	DATE COMPLETED		



# GENERAL NOTES

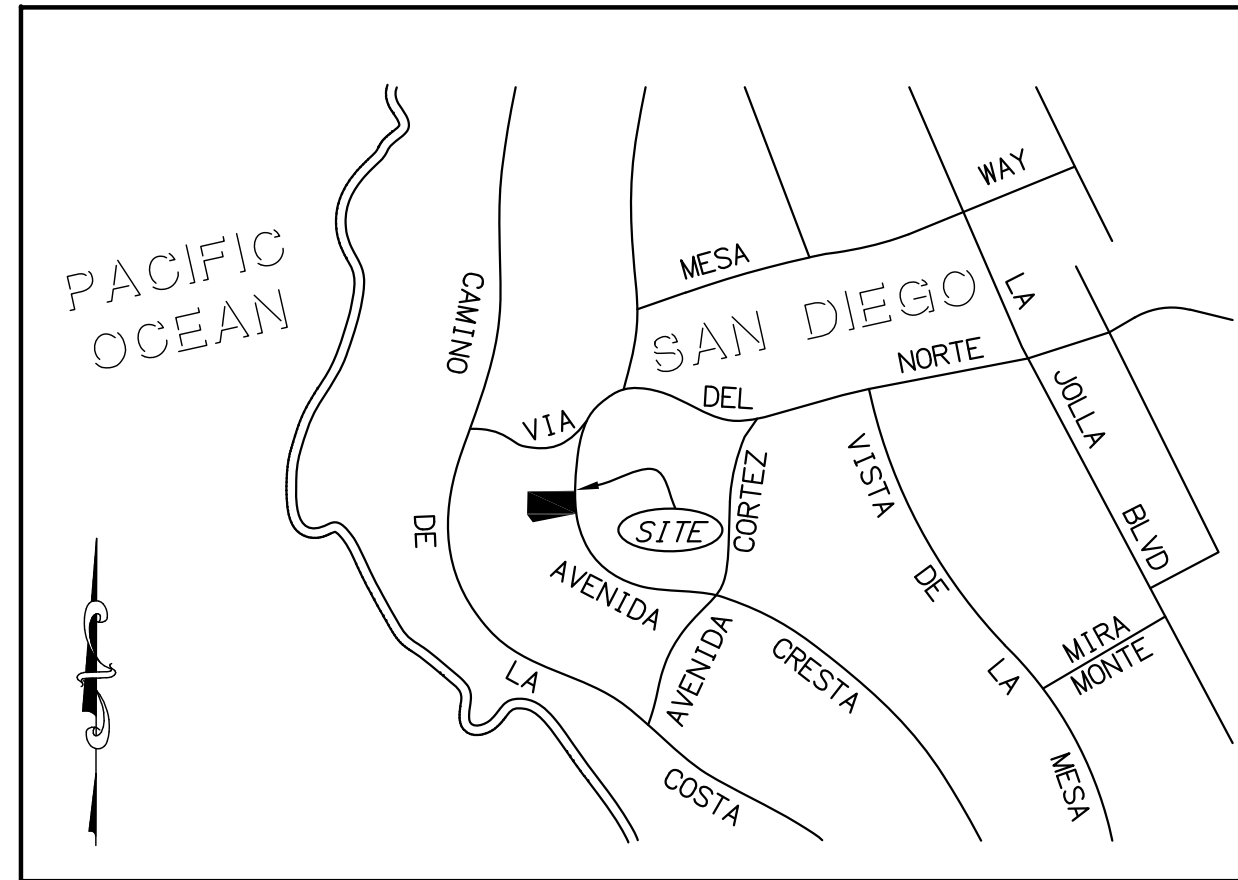
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
- PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
- CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
- MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
- UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

# CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMP'S SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE. AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.

# WATER POLLUTION CONTROL PLAN 6216 AVENIDA CRESTA



VICINITY MAP

NOT TO SCALE

# CONSTRUCTION BMP GENERAL NOTES CONTINUED

- UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 3 TO 6" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20' LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.
- PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:
  - NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP3. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.
  - EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMP'S TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMP'S INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
  - AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

# DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

NAME R.C.E. NO. 34563 EXP. 09-30-21 DATE \_\_\_\_\_



# OWNER/APPLICANT

DAVID B. LEIDY AND PAMELA K. LEIDY  
6216 AVENIDA CRESTA  
LA JOLLA, CA 92037

# ASSESSORS PARCEL NUMBER

357-012-13-00

# EXISTING LEGAL DESCRIPTION

LEGAL DESCRIPTION: LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924.

# MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

# CONSTRUCTION STORM WATER PROTECTION NOTES

- TOTAL SITE DISTURBANCE AREA (ACRES) 0.25  
WATERSHED: MISSION BEACH - FRONTAL PACIFIC OCEAN  
HYDRAULIC SUB AREA NAME AND NUMBER: UNDEFINED 906.30
- THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE  WPCP  
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS..  
 SWPPP  
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ
- CONSTRUCTION SITE PRIORITY  
ASBS HIGH MEDIUM LOW

TRADITIONAL: RISK LEVEL  1  2  3  
LUP RISK LEVEL  1  2  3  
WIDD NO: \_\_\_\_\_

# SHEET INDEX

TITLE SHEET	SHEET 1
WATER POLLUTION CONTROL PLAN:	SHEET 2
STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST (DS-560)	SHEET 3

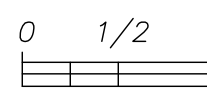
ENGINEERING PERMIT NO: \_\_\_\_\_  
DISCRETIONARY PERMIT NO: \_\_\_\_\_  
PRIVATE CONTRACT

<b>TITLE SHEET FOR:</b>			
<b>6216 AVENIDA CRESTA</b> LOT 14, BLOCK 3 OF LA JOLLA HERMOSA, UNIT NO. 1 ACCORDING TO MAP THEREOF NO. 1810			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 3 SHEETS			PROJECT NO. _____
FOR CITY ENGINEER _____ DATE _____			V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	XXX		
			XXXX-XXXX NAD83 COORDINATES
			XXX-XXXX LAMBERT COORDINATES
AS-BUILTS			
CONTRACTOR _____	DATE STARTED _____		
INSPECTOR _____	DATE COMPLETED _____	XXXXX-1-D	

# CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING



IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

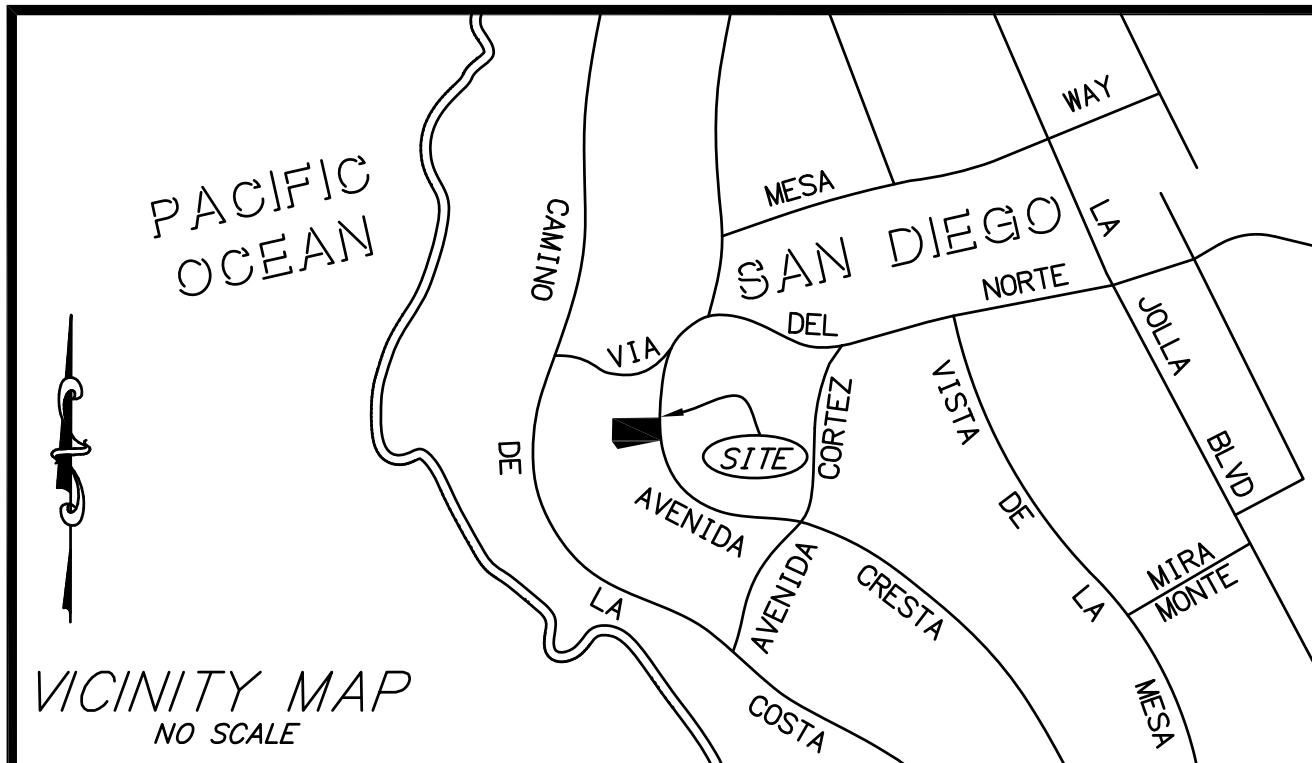


# DEVELOPMENT SERVICES DEPARTMENT

# STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)

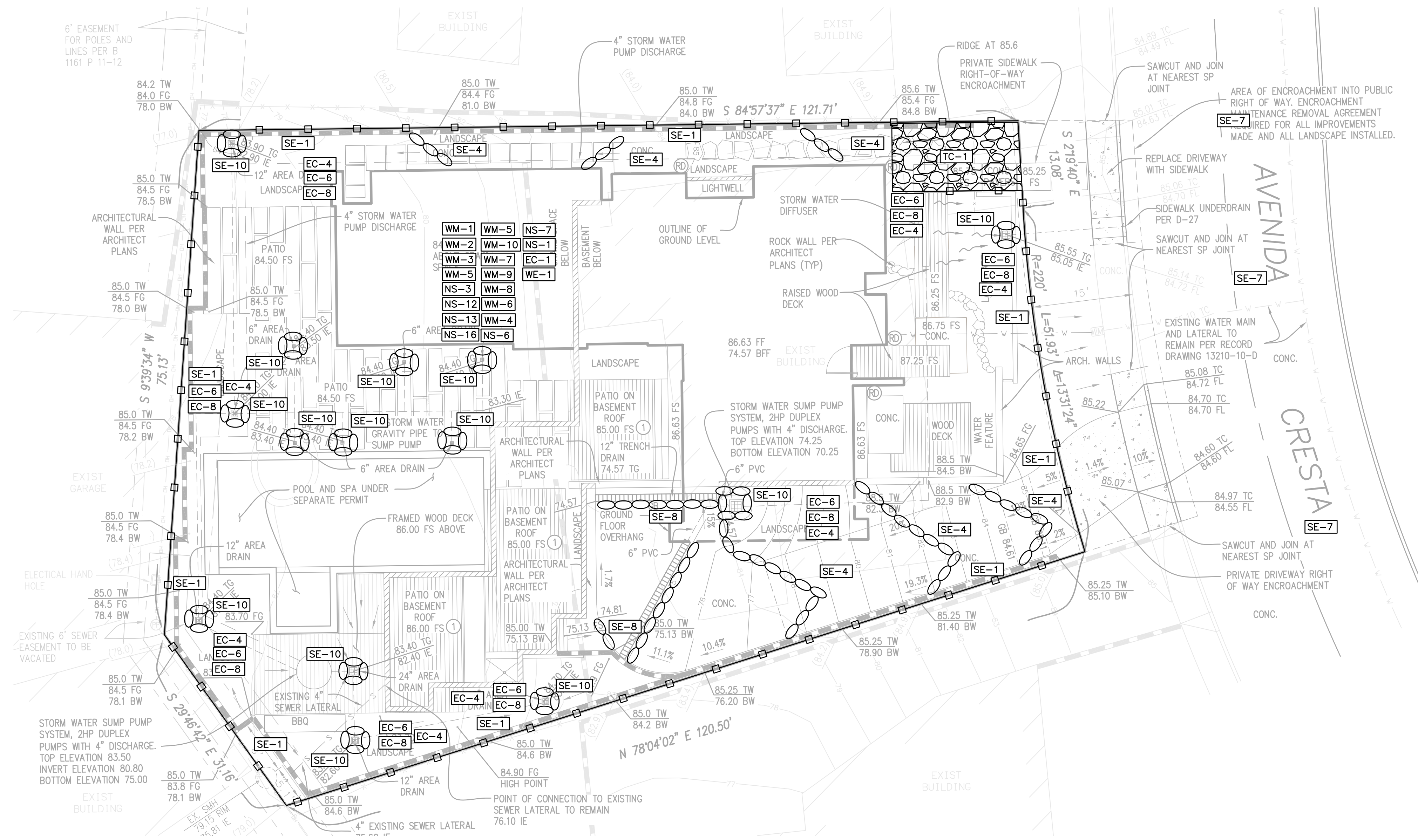




### EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMPs WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

TEMPORARY BMP NAME	BMP DWG NO	SYMBOL
<b>RESOURCE PROTECTION BMPs</b>		
LINEAR SEDIMENT CONTROLS	SE-1	
<b>MATERIAL STORAGE &amp; HANDLING BMPs</b>		
MATERIAL STORAGE	WM-1	N/A
MATERIAL HANDLING AND USE	WM-2	N/A
LANDSCAPE MATERIAL MANAGEMENT	WM-3	N/A
PAVING AND GRADING OPERATIONS	NS-3	N/A
CONCRETE MANAGEMENT	NS-12	N/A
	NS-13	N/A
	NS-16	N/A
<b>WASTE MANAGEMENT BMPs</b>		
SOLID WASTE MANAGEMENT	WM-5	N/A
LIQUID WASTE MANAGEMENT	WM-10	N/A
CONTAMINATED SOIL MANAGEMENT	WM-7	N/A
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9	N/A
CONCRETE WASTE MANAGEMENT	WM-8	N/A
HAZARDOUS WASTE MANAGEMENT	WM-6	N/A
STOCKPILED WASTE MANAGEMENT	WM-3	N/A
<b>NON-STORM WATER MANAGEMENT BMPs</b>		
SPILL CONTROL PREVENTION	WM-4	N/A
REPORTING SIGNIFICANT SPILLS	N/A	N/A
<b>NON-STORM WATER MANAGEMENT BMPs</b>		
ILLICIT CONNECTION/DISCHARGE DETECTION & REPORTING	NS-6	N/A
POTABLE WATER/IRRIGATION WATER CONSERVATION PRACTICES	NS-7	N/A
	NS-1	N/A
<b>GENERAL EROSION CONTROL BMPs</b>		
SCHEDULING/PHASING CONSTRUCTION STOCKPILE MANAGEMENT	EC-1	N/A
	WM-3	N/A
<b>NON-VEGETATIVE STABILIZATION BMPs</b>		
STRAW AND WOOD MULCH	EC-6	N/A
	EC-8	N/A
<b>VEGETATIVE STABILIZATION BMPs</b>		
ESTABLISH INTERIM VEGETATION (HYDROSEEDING)	EC-4	N/A
ESTABLISH PERMANENT LANDSCAPING	N/A	N/A
<b>DUST CONTROL BMPs</b>		
WIND EROSION CONTROL	WE-1	N/A
<b>PERIMETER &amp; LINEAR SEDIMENT CONTROL BMPs</b>		
SILT FENCING	SE-1	
GRAVEL BAG BERM	SE-5	
SAND BAG BARRIER	SE-8	
<b>SEDIMENT CAPTURE BMPs</b>		
STORM DRAIN INLET PROTECTION	SE-10	
<b>OFFSITE SEDIMENT TRACKING BMPs</b>		
STABILIZED CONSTRUCTION ENTRANCE/EXIT	TC-1	
STREET SWEEPING AND VACUUMING	SE-7	N/A
<b>RUN-ON AND RUNOFF CONTROL BMPs</b>		
CHECK DAMS	SE-4	
<b>FINAL STABILIZATION BMPs</b>		
FINAL STABILIZATION	N/A	N/A



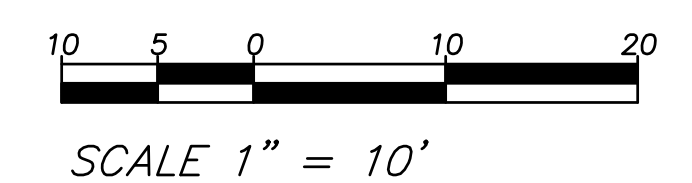
ENGINEERING PERMIT NO: \_\_\_\_\_  
 DISCRETIONARY PERMIT NO: \_\_\_\_\_  
 PRIVATE CONTRACT

WATER POLLUTION CONTROL PLAN:				PROJECT NO. _____	
<b>6216 AVENIDA CRESTA</b>					
LOT 14, BLOCK 3 OF LA JOLLA HERMOSA, UNIT NO. 1 ACCORDING TO MAP THEREOF NO. 1810					
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 3 SHEETS					
FOR CITY ENGINEER			DATE	V.T.M. _____	
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	XXX				
				XXXX-XXXX NAD83 COORDINATES	
				XXX-XXXX LAMBERT COORDINATES	
AS-BUILTS					
CONTRACTOR		DATE STARTED			
INSPECTOR		DATE COMPLETED		XXXXX-2-D	

### SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

1. THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
2. ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
3. SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.



KAPPA SURVEYING & ENGINEERING, INC.  
 8707 LA MESA BOULEVARD, LA MESA, CA 91942 (619) 465-8948 FAX: (619) 465-6410

JOB NO. 3558919 - AVENIDA CRESTA



Project Address: 6216 Avenida Cresta Project Number: 639782

**SECTION 1. Construction Storm Water BMP Requirements:**  
All construction sites are required to implement construction BMPs in accordance with the performance standards in the *Storm Water Standards Manual*. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

**PART A: Determine Construction Phase Storm Water Requirements.**

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

Yes; SWPPP required, skip questions 2-4  No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?

Yes; WPCP required, skip questions 3-4  No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

Yes; WPCP required, skip question 4  No; next question

4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
- Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
- Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.

Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: [www.sandiego.gov/stormwater/regulations/index.shtml](http://www.sandiego.gov/stormwater/regulations/index.shtml)

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (11-18)

Clear Page 1

**PART B: Determine Construction Site Priority**

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

**Complete PART B and continued to Section 2**

1.  ASBS  
a. Projects located in the ASBS watershed.

2.  High Priority  
a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.  
b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.

3.  Medium Priority  
a. Projects that are not located in an ASBS watershed or designated as a High priority site.  
b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.  
c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.

4.  Low Priority  
a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

**SECTION 2. Permanent Storm Water BMP Requirements.**

Additional information for determining the requirements is found in the *Storm Water Standards Manual*.

**PART C: Determine if Not Subject to Permanent Storm Water Requirements.**

Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the *Storm Water Standards Manual* are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?  Yes  No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?  Yes  No

3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).  Yes  No

Clear Page 2

**PART D: PDP Exempt Requirements.**

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

- Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
- Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
- Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?

Yes; PDP exempt requirements apply  No; next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the *City's Storm Water Standards Manual*?

Yes; PDP exempt requirements apply  No; project not exempt.

**PART E: Determine if Project is a Priority Development Project (PDP).**

Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No

2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No

3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.  Yes  No

4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.  Yes  No

5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No

6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No

Clear Page 3

7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).  Yes  No

8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.  Yes  No

9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.  Yes  No

10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces.  Yes  No

**PART F: Select the appropriate category based on the outcomes of PART C through PART E.**

1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.

2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.

3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.

4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the *Storm Water Standards Manual* for guidance on determining if project requires a hydromodification plan management.

Dylan Nickerson Designer

Name of Owner or Agent (Please Print) Title

Signature Date 12/12/2019

Inspector

**SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS** FORM I-4A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST  
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
4.2.6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FOOD SERVICE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
REFUSE AREAS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FUEL DISPENSING AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
LOADING DOCKS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FIRE SPRINKLER TEST WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

**SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS** FORM I-5A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST  
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
4.3.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
4.3.4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.3.5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

4.3.1: NATURAL DRAINAGE IS SURFACE FLOW OFF THE PROPERTY TO THE WEST, BUT DUE TO A DISPUTE WITH THE WESTERLY NEIGHBOR OVER CONCENTRATED DISCHARGE ON THEIR DRIVEWAY, STORM WATER WILL BE PUMPED EAST TO AVENIDA CRESTA.

ENGINEERING PERMIT NO: \_\_\_\_\_  
DISCRETIONARY PERMIT NO: \_\_\_\_\_  
PRIVATE CONTRACT

**STORM WATER REQUIREMENTS ACCESSIBILITY CHECKLIST (DS-560):**  
**6216 AVENIDA CRESTA**  
LOT 14, BLOCK 3 OF LA JOLLA HERMOSA, UNIT NO. 1  
ACCORDING TO MAP THEREOF NO. 1810

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 3 OF 3 SHEETS

FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION BY	APPROVED DATE FILMED	
ORIGINAL XXX		
		XXXX-XXXX NAD83 COORDINATES
		XXX-XXXX LAMBERT COORDINATES
AS-BUILTS		
CONTRACTOR	DATE STARTED	XXXXX-3-D
INSPECTOR	DATE COMPLETED	