

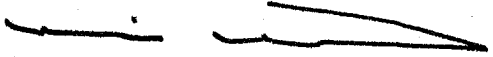
# NEW • CENTURY • CENTER

## VOLUME 3 DESIGN MANUAL

PLANNED COMMERCIAL DEVELOPMENT, PLANNED INDUSTRIAL DEVELOPMENT  
& PLANNED RESIDENTIAL DEVELOPMENT

### EXHIBIT "A"

APPROVED BY THE CITY COUNCIL -  
NOVEMBER 12, 2002.



*November 18, 1997*  
*Amended October 2000*  
*Draft Revisions - April 2001*  
*Draft Revisions - July 2001*  
*Draft Revisions - August 2001*  
*Draft Revisions - February 2002*  
*Draft Revisions - August 2002*

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Adopted by the City Council on November 18, 1997  
By Resolution No. 289453 (for Volumes 2 and 3)  
By Resolution No. 289452 (for Volume 1)  
Amendment adopted by the City Council on October 3, 2000  
By Resolution No. 293926



Associated Permits include Planned Commercial Development Permit,  
Planned Industrial Development Permit, Planned Residential Development  
LDR No. 99-1269 and  
Resource Protection Ordinance Permit  
LDR No. 96-0165.



Associated Vesting Tentative Map LDR No. 99-1269.  
Associated Development Agreement LDR No. 99-1269.  
Associated Environmental Impact Report LDR No. 99-1269.

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## I. INTRODUCTION

### A. EXECUTIVE SUMMARY

The *San Diego Planning and Zoning Ordinance* states that planned development permits should be used to "promote and facilitate imaginative, innovative and comprehensively planned" commercial and industrial developments which integrate "compatible activities which are harmoniously designed to complement the surrounding community." The New Century Center Master Plan Project ("Project") is proposed to include Planned Commercial Development (PCD), Planned Residential Development (PRD) and Planned Industrial Development (PID) overlays ("Master PCD/PRD/PID") which will seek to accomplish these ordinance objectives by outlining the key features proposed within the Project and establishing regulatory standards and guidelines for development.

The New Century Center Master Plan ("NCC Master Plan"), "Development Standards" and "Design Guidelines" are the Project governing documents, and have been prepared as three separate volumes, of which this is Volume 3. The Design Manual has been prepared in order to assist the New Century Center Design Review Committee and the City in reviewing design considerations relating to the development of the site in accordance with the Master Planned Commercial Development/Planned Residential Development/Planned Industrial Development Permit Development Standards (referred to hereinafter as the "Master PCD/PRD/PID") for the New Century Center Project. The Master PCD/PRD/PID is intended to provide regulatory guidelines which will govern the various facets of the Project and to supplement the New Century Center Master Plan which serves as the principal policy-level statement of Project objectives and goals. The Master PCD/PRD/PID provides comprehensive information regarding proposed land uses within each Planning Area comprising the approximately 244-acre Property.

This Design Manual is not intended to prescribe rigid design regulations for development of the Property, but rather to provide guidance as to the quality and nature of development contemplated under the Master PCD/PRD/PID and the NCC Master Plan. In a number of instances, alternative examples are provided as to how specific site development may comply with the broader design objectives identified. These examples are not intended to be exclusive or limiting, but rather to illustrate types of designs that may be compatible with the objectives of the Project. Each of the design features identified within this document are to be reviewed in the context of the Design Review Committee and Site Plan Review procedures outlined more fully within the Development Standards (Volume 2). Variations from these specific design guidelines may be permitted, from time to time, provided that the quality of design is generally compatible with that contemplated in this document and is consistent with the Master PCD/PRD/PID and the NCC Master Plan.

**B. DESIGN CONCEPT OVERVIEW**

New Century Center is a development project of nearly unequal proportions within the City of San Diego in recent years. As recommended by the *Kearny Mesa Community Plan*, the Property is planned to provide a sense of community identity and encourage continued development as a regional employment center.

The Project site is arranged to create opportunities for "place-making" throughout the site. Generally speaking, the western-most portion of the site will consist of mixed-use environment, which transitions to a more concentrated, pedestrian oriented environment creating active storefronts opening onto Spectrum Commons, and the Business/Industrial Park is brought into focus to the east.



## II. LANDSCAPE CONCEPT

### A. LANDSCAPE DESIGN INTENT

*Reference Exhibit 2 at the back of this manual for an illustrative plan of the overall Landscape Concept.*

The landscape architecture of New Century Center will continue to support the project's overall concept of "placemaking" and destination through "episodic transitions." These "transitions" across the site will be woven together through a strong, ordered hierarchy of landscape elements that include plant material, pedestrian linkages, lighting and site furnishings. A key element throughout the site will be the formal framework of palm trees (22' bth 30' o.c.) and canopy trees (24" box min. 30' o.c.) will serve as the spine of the development. This will assist in providing a seamless transition from the office and retail development, on the western edge of the property to the "campus oriented architecture" on the eastern edge of the property. The palms will provide a primary signature statement, while the canopy trees will provide a pedestrian scale to the parkways and sidewalks that also connect the western and eastern edges of the development.

Within the western portion of the site, a centrally located landscape amenity will be designed as a passive urban park-like area, and is envisioned to include pedestrian walkways, large turf areas, and hardscaped open-air seating areas, while providing opportunities for limited retail uses such as single-story food courts or cafes and vendor kiosks with active storefronts oriented towards Spectrum Commons.

Missile Park, an existing on-site park, will be partially retained and designed to be used as a tranquil oasis for New Century Center employees, visitors, and the general public. As indicated in Volume III, Exhibit 5, the commons could instead be developed as a park.

Landscape requirements will also be provided for a vernal pool conservation bank located at the southeastern corner of the Property.

The following general landscape considerations should be noted when developing within New Century Center:

#### FUNCTIONAL CONSIDERATIONS:

- Reinforcement of the pedestrian circulation system through the use of internal sidewalks and bike paths that connect buildings to the New Century Center circulation system (as shown on Figure 7, PCD/PRD/PID Development Standards, Volume 2).
- Provide a cohesive circulation system which emphasizes pedestrian and bicyclist comfort and safety.
- Solar orientation of exterior areas.
- Effective screening of parking, utility equipment, trash enclosures and other utilitarian objects.

- Clear identification and separation of vehicular and pedestrian traffic through the use of internal sidewalks, shrub massing and canopy trees.
- Climatic mitigation of pedestrian spaces and corridors.
- Shelters from traffic noise and hazards.
- Maximizing long ease of maintenance through the proper selection of plant materials.
- Maximum optimization of water conservation through the proper selection of plant materials.
- Compatibility with size and type of existing planting adjacent to site.
- Reinforcement of human scale through the use of elements such as canopy trees, site furnishings and lighting.
- No impact to vernal pool conservation bank.

**AESTHETIC CONSIDERATIONS:**

- Solutions should be sought for framing and directing views.
- Design compatibility with adjacent sites within New Century Center.
- Enhanced entry areas.
- Plant material should compliment architectural elements through use of plant color, density, texture and form.
- Special lighting in public open spaces.

**B. PROJECT ENTRIES AND EDGES:**

*Reference Exhibit 1, "Streetscape Key Map" within the Development Standards (Volume 2) to locate the Streetscapes described below. Cross-sections associated with each Streetscape may be found in Exhibits 1a-1m, also within the Development Standards.*

**1. Highway 163 Frontage (Kearny Villa Road) (Streetscape 1a)**

The view from Highway 163 is the window to New Century Center and provides the opportunity to introduce the project's desired image. The landscape of this project edge will be ordered and scaled to the project and will support the main project entry portal along Kearny Villa Road. The landscape will be characterized by a double row of palms, bold shrub massing, and a turf parkway.

**OBJECTIVES:**

- Establishing views from Highway 163 and Kearny Villa Road to the structures within the Mixed-use commercial center.
- Screen parking, service areas, loading docks and similar elements from Highway 163.

**CRITERIA:**

- Project finish grades will meet existing grades of the Kearny Villa streetscape setback.
- A continuous berm within the private landscape setback will be built to an approximate height of 18" above the adjacent street grade. No other berming will be permitted.
- A continuous 18" high hedge should crown the top of the berm.

**2. Ruffin Road Edge & Entry (*Streetscape 1b*)**

The landscape of the Ruffin Road edge will draw from the informal parkway character of Ruffin Road that occurs to the north and south of the project. It will set the tone for the "campus" feel of the Industrial/Business Park development within New Century Center. The main project entry from Ruffin Road will be the ceremonial eastern access to the project and will be more ordered in reference to its connection to the Mixed-use commercial area.

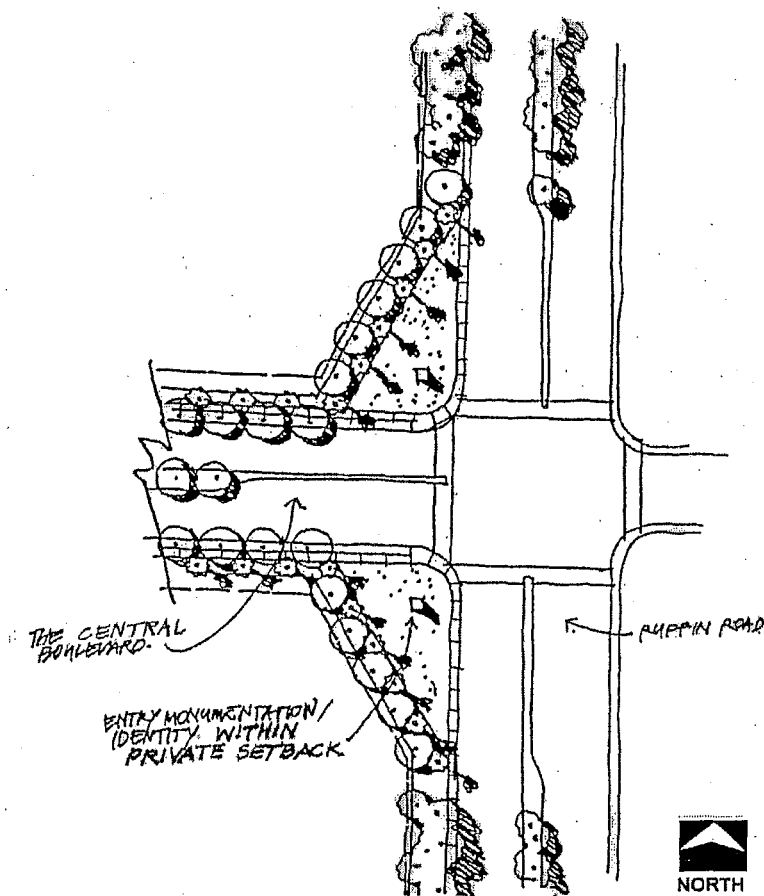
**OBJECTIVES:**

- Create a seamless transition from the existing Ruffin Road landscape.
- Establish views from Ruffin Road to the New Century Center Industrial/Business Park.
- Screen parking, service areas, loading docks and similar elements from Ruffin Road.

**CRITERIA:**

- Project finish grades will meet existing grades of the Ruffin Road streetscape setback.
- Plant material should be at 30" high in order to screen adjacent parking areas.
- Trees will be 50% 5 gal. and 50% 15 gal. and randomly spaced at 15' o.c. to ensure maximum screening.

- Shrubs will be a mix of 1 gal. and 5 gal. spaced at 3' and 4' o.c., respectively.
- No impact to vernal pool conservation bank.



The above graphic is a representative example of the Ruffin Road Edge and Entry only, and is not meant to convey final layout of this area, as other viable options may be permitted

### 3. Clairemont Mesa Boulevard Edge & Entry (*Streetscape 1c*)

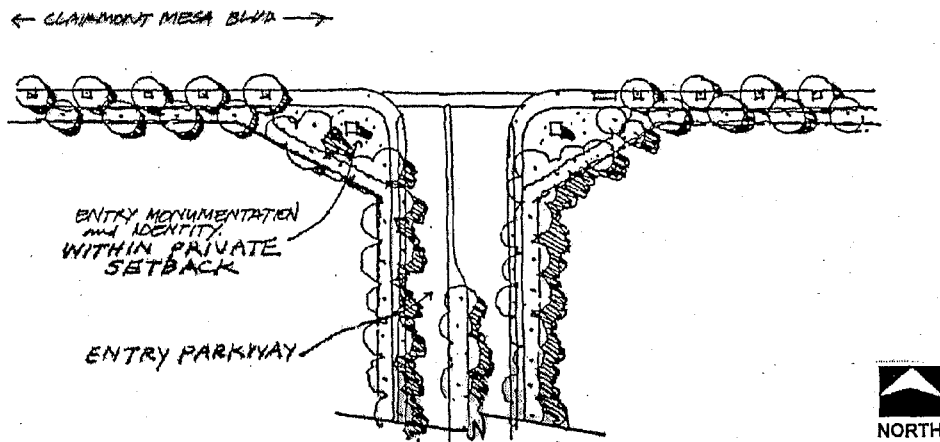
The project access from Clairemont Mesa Boulevard will be a primary access to Business Support Commercial areas, continuing on through to the Industrial/Business Park development area. The landscape character of this entry portal will be consistent with the more informal "campus" character of Ruffin Road landscape. It will provide a link and reference to the character of the existing Missile Park.

**OBJECTIVES:**

- Create a seamless transition from the existing Ruffin Road landscape.
- To the extent practicable, screen parking, service areas, loading docks and similar elements from Clairemont Mesa Boulevard.

**CRITERIA:**

- Project finish grades will meet existing grades of the Clairemont Mesa Boulevard streetscape setback.
- Plant material will be at 30" high in order to screen adjacent parking areas.
- Shrubs will be a minimum of 5 gal. at 3' o.c.
- Trees will be at least 24" box spaced at 30' o.c.



*The above graphic is a representative example of the Clairemont Mesa Boulevard Entry only, and is not meant to convey final layout of this area, as other viable options may be permitted*

**C. INTERSECTIONS**

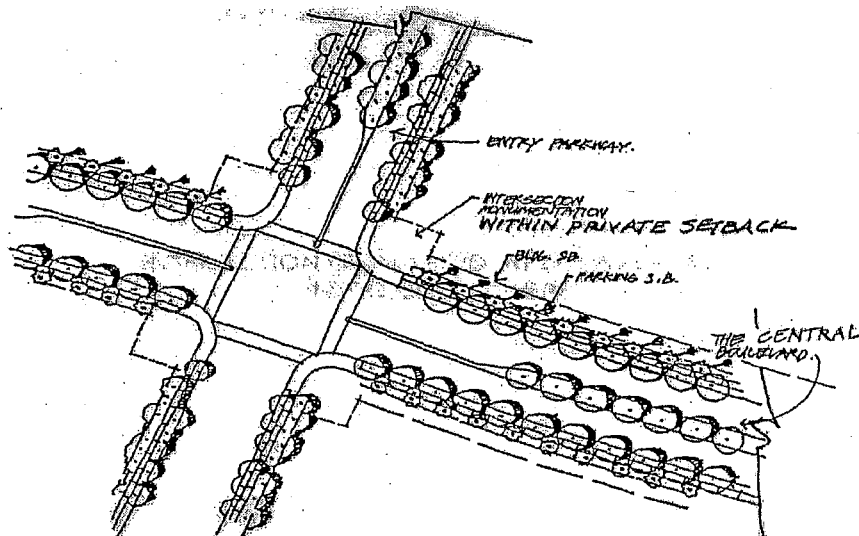
Special landscaping treatments will occur at two major intersections: Overland Avenue at Convair Drive and Overland Avenue at the central parkway.

**OBJECTIVES:**

- Establish consistent entry statements throughout New Century Center.
- Establish a sense of place.
- Provide locations for consistent project monumentation.

**CRITERIA:**

- Enhance project monumentation through the use of accent plantings.
- Utilize thematic color schemes to act as a unifying element of the project identity.
- Screen undesirable views of parking, service areas, and other similar areas.
- Trees will be a minimum of 24" box at 30' o.c.
- Shrubs will be a minimum of 5 gal. at 4' o.c.



The above graphic is a representative example of an Intersection (the central parkway at Overland Avenue), and is not meant to convey final layout of this area, as other viable options may be permitted

**D. STREETSCAPES**

Reference Exhibit 1, "Streetscape Key Map" within the Development Standards (Volume 2) to locate the streetscapes described below.

1. **The Central Parkway** (*Streetscapes 1d and 1f*)

A central parkway will serve as the ceremonial "spine" connecting the office and retail development area on the west end of New Century Center to the Industrial/Business Park area on the east end. An "urban" street theme will be achieved through the use of formal street tree planting, graphics, street furnishings, and pedestrian-scaled light fixtures. The streetscape could include trees such as: *Washingtonia robusta* and *Ficus nitida* "Green Gem". Trees will be a minimum 24" box @ 30' o.c. Palms will be a minimum of 22' brown trunk height @ 30' o.c.

2. **Parkways** (*Streetscapes 1e and 1k*)

Parkways will be created from the secondary Ruffin Road entrance and the Clairemont Mesa Boulevard entrance. Informal parkway planting, such as *Eucalyptus*, will strengthen the desired "campus" theme of the Industrial/Business Park. Shrubs will be a mix of 1 gallon and 5 gallon @ 3' o.c. and 4' o.c. respectively. Trees (50% 5 gallon and 50% 15 gallon) will be randomly spaced at 15' o.c. to achieve maximum screening.

3. **Service Access Roads** (*Streetscape 1h*)

The north-south service access roads will provide primary vehicular access to the Mixed-Use Commercial development. The canopy tree will occur (min. 24" box) on each side of the sidewalk within the 5' parkway.

4. **Convair Dr. & Electronics Way** (*Streetscapes 1j and 1l*)

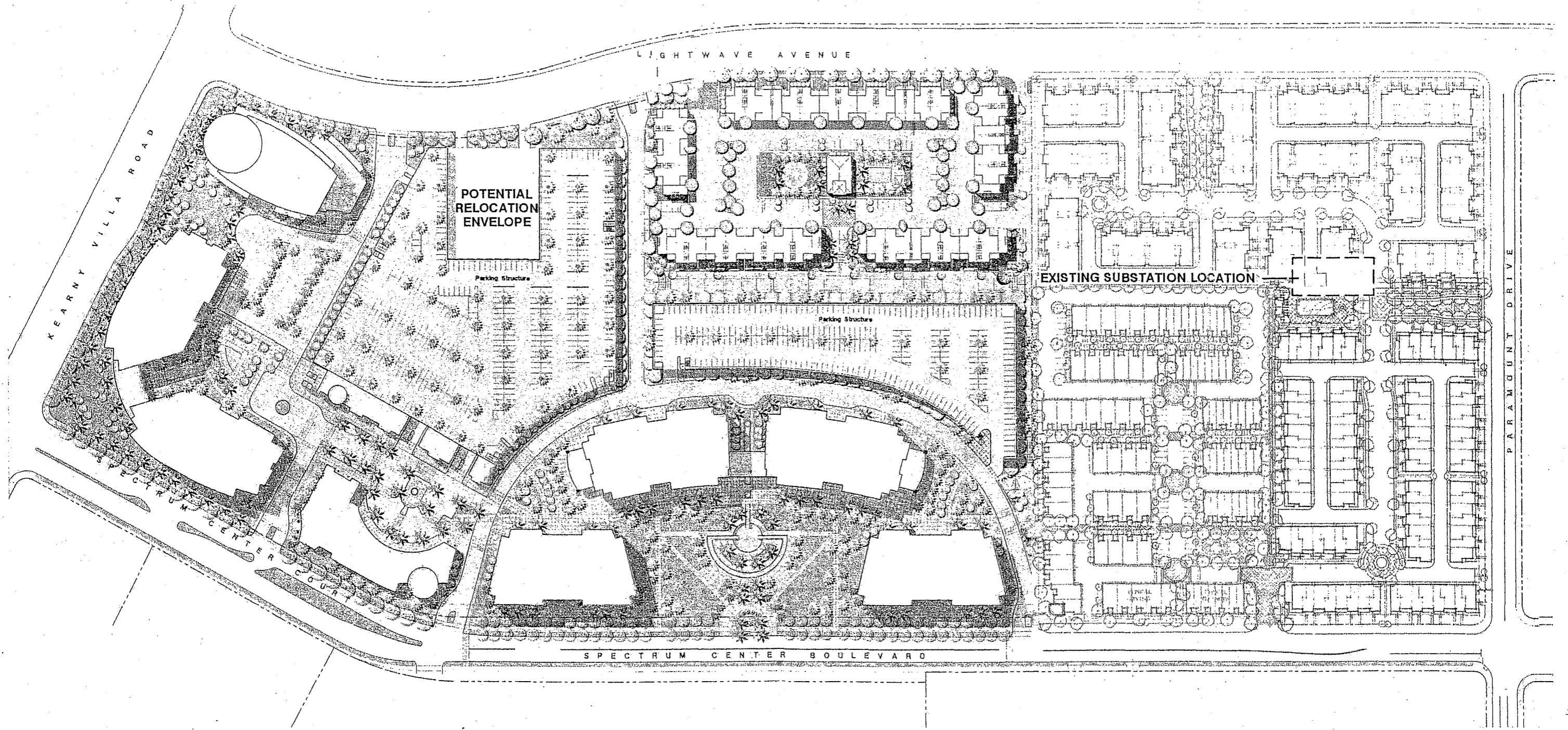
The sidewalks will be lined with shade trees such as London Plane or Sweetgums. A 30" tall hedge such as Privet will screen parking and service areas from the street. Landscape such as tightly spaced *Eucalyptus* and a Privet hedge will be encouraged to provide screening of negative views to adjacent properties.

**E. MASTER DEVELOPMENT PLANT PALETTE**

Plant selections could include the following species. This list is not meant to be all inclusive and other plant materials may be substituted if it can be demonstrated that they can produce a similar landscape character (see additional plant palette in the mixed-use section for more plant selections):

FORM	FUNCTION	EXAMPLE		SIZE
<b>TREES:</b>				
		<i>Botanical Name</i>	<i>Common Name</i>	
Palm	Entry Statement & Main Boulevard Spine	Washingtonia robusta	Mexican Fan Palm	22' bth
Broadleaf/Deciduous 30'-40' spread	Entry & Intersection Accent	Erythrina coralloides Platanus acerifolia	Coral Tree London Plane Tree	24" box min.
Broadleaf/Evergreen 25'-35' spread	Canopy Street Tree	Ficus nitida "Green Gem" Podocarpus gracilior	Indian Laurel Fig Fern Pine	24" box min.
Vertical Evergreen 15'-30' spread	Street tree to match character of existing Ruffin Road landscape	Eucalyptus sp.		50% 5 gal/ 50% 15 gal
<b>SHRUBS:</b>				
Evergreen 3-4' ht	Screen views from street	Ligustrum Texanum Photinia fraserii	Texas Privet N.C.N.	5 gal min.
Evergreen, Flowering	Accent shrubs	Agapanthus africanus Hemerocallis sp.	Lily of the Nile Day Lily	70% 1 gal/ 30% 5 gal

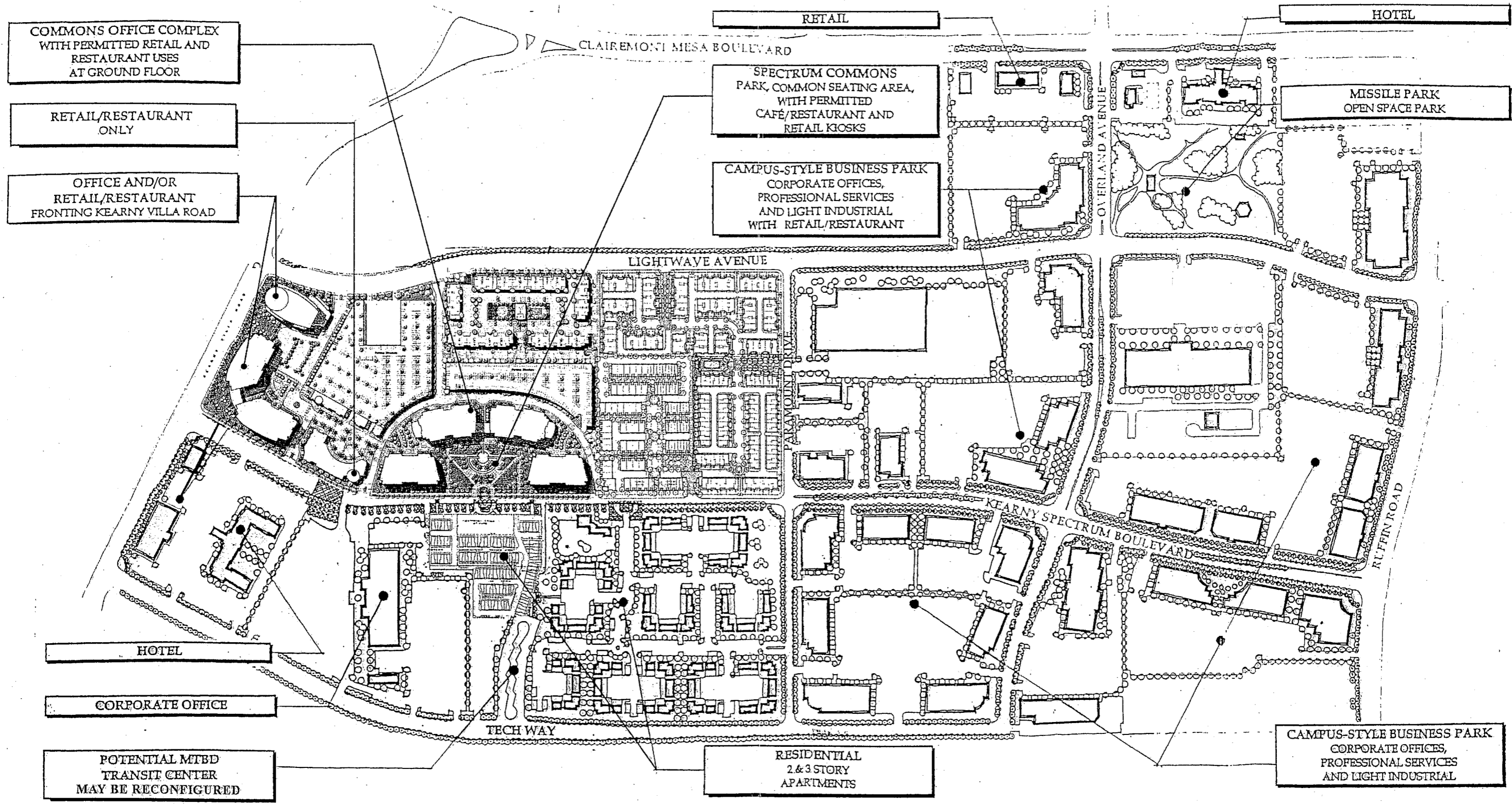




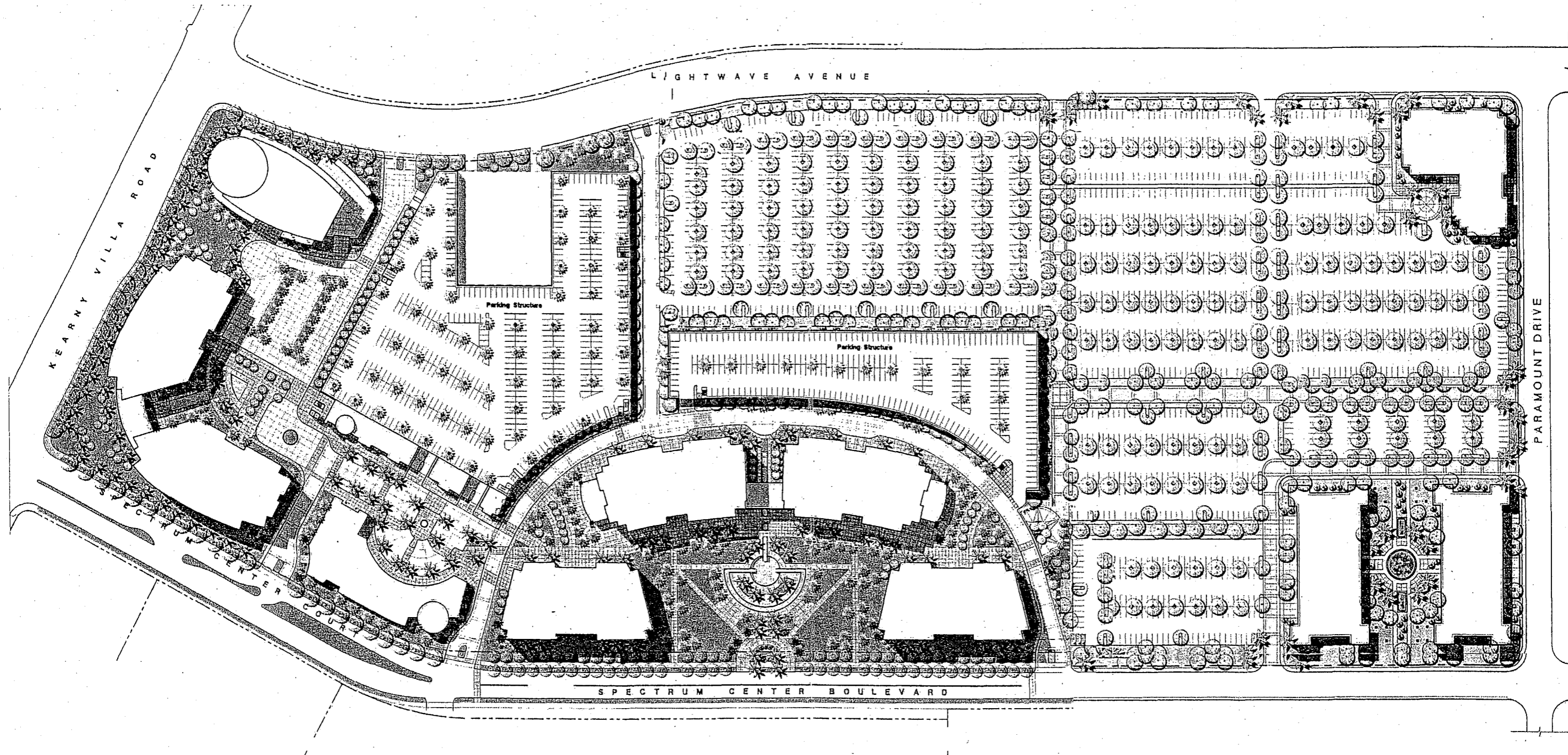
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POTENTIAL SDG & E SUBSTATION RELOCATION ENVELOPE

FIG SR-1

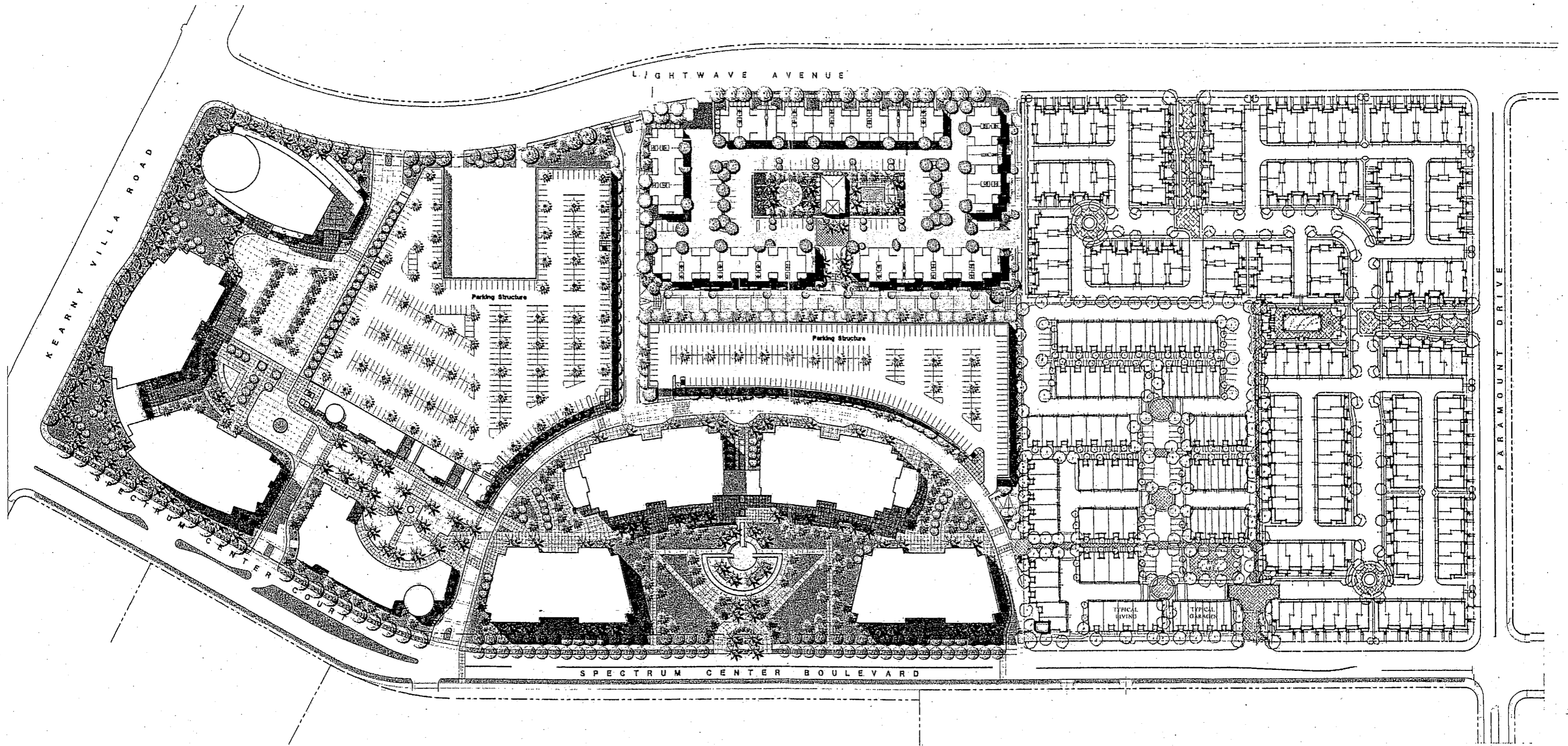


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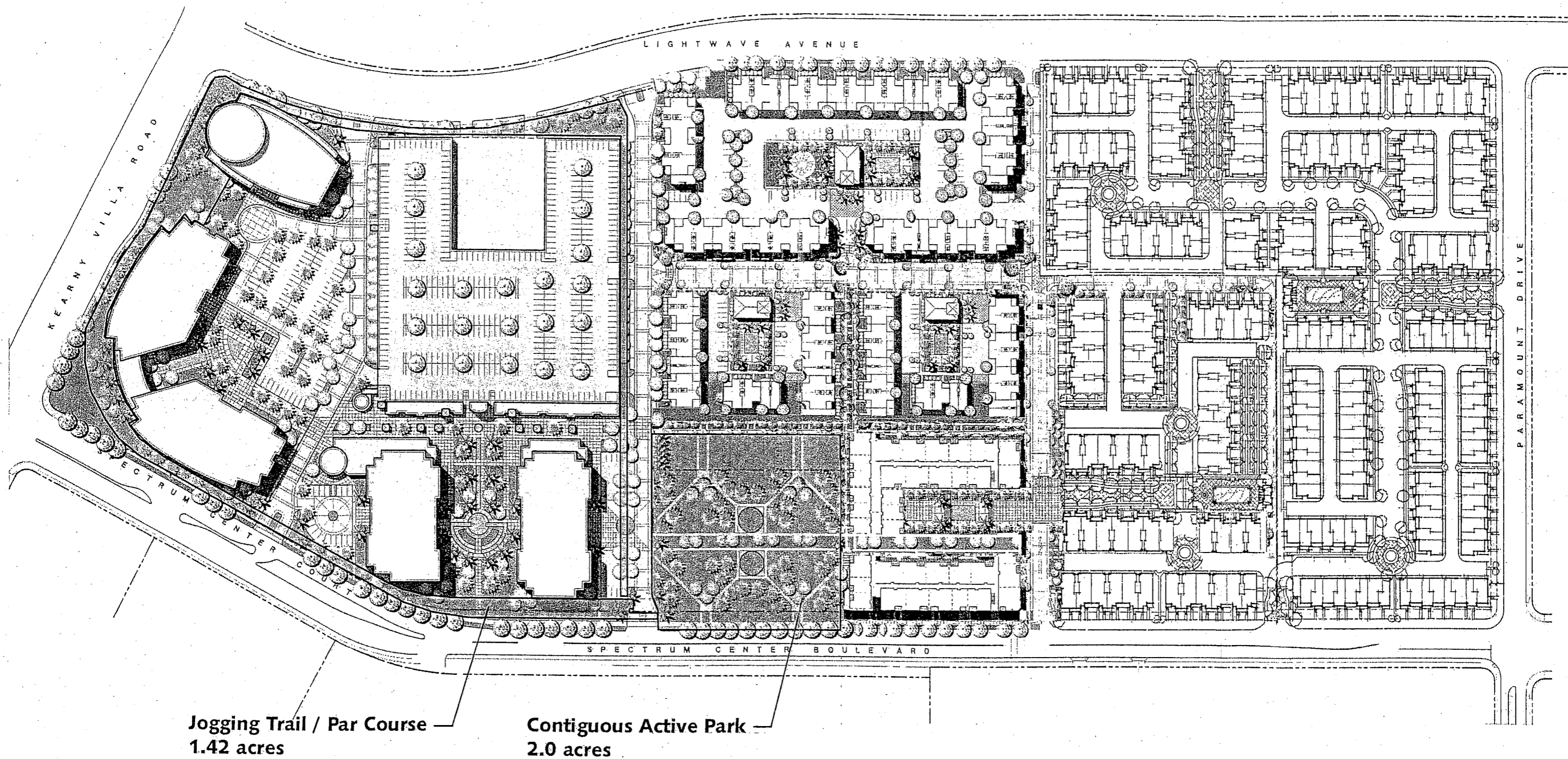
The above graphic is a representative example only of a possible site layout, and is not meant to convey final layout as other viable options may be permitted

POTENTIAL CENTRUM SITE MASTER PLAN - OPTION A



The above graphic is a representative example only of a possible site layout, and is not meant to convey final layout as other viable options may be permitted

POTENTIAL CENTRUM SITE MASTER PLAN - OPTION B



The above graphic is a representative example only of a possible site layout, and is not meant to convey final layout as other viable options may be permitted

### III. SIGNAGE CONCEPT

#### A. SIGNAGE DESIGN INTENT

A Signage Design manual will be prepared for New Century Center, and will comply with the *City of San Diego Sign Ordinance* in order to avoid potentially significant visual impacts. It will be reviewed and adopted by New Century Center. It is anticipated that the Signage Design manual will incorporate a number of the various signage types found within these Design Guidelines, however, the final Signage Design manual may differ from these Design Guidelines based on specific development requirements.

#### B. SIGN TYPES

##### 1. Master Development Signage

The following master development signage will be permitted throughout the PCD, PRD and PID development areas:

##### a) Entry Signs

*Entry signage will be located at major and secondary community entrances to New Century Center.*

Entry signage may include monument or wall signs. Landscaping may be considered as a method of monumentation with or without walls or structures. Entry signage may share a common design theme, but could be further enhanced to express the different arrival points within the Center. Furthermore, entry signage may include names and/or logos of primary tenants along with New Century Center identification.

Entry sign design through graphics and use of materials should tie into the overall color and design scheme for the adjacent architecture. Sign construction should be of high-quality and vandal-resistant materials. Entry monument signage should be scaled appropriately to the surrounding site and may be front lit or internally illuminated.

**b) Freeway-Oriented Signs**

*A freeway-oriented sign is planned for the western portion of the site.*

A freeway-oriented sign will serve to visually attract freeway drivers to the site's location and identify the center (i.e., "New Century Center"). Existing freeway-oriented signage may continue to be used on a temporary or permanent basis, and shall be removed upon completion of construction of the adjacent office building. ~~or a new sign may be permitted similar in height and scale, to replace the existing sign.~~ A landscaped setting will serve to soften the base of the sign and creative sources of lighting could be used to further enhance the signage. The freeway-oriented sign may be internally or externally illuminated, and will not incorporate a changeable sign face plate.

**c) Directional Signs**

*Directional signs may be used throughout the Planned Commercial Development.*

Directional signs should be located immediately adjacent to the street right-of-way in the landscape set-back. Information on the sign face shall include directional arrows and addresses. The base of the sign will incorporate the New Century Center logo.

**d) Temporary Signs**

Temporary signs will be permitted throughout the Planned Commercial Development during development and sales prior to full build-out.

**2. PCD Signage**

Site developers within the PCD will be responsible for project-wide identification signage and directional signage within each development. Quality design and construction will be key elements, along with the interfacing method used between signage and buildings or landscape. As a primary source of tenant expression, signage should be designed as an integral part of the overall architectural character.

**a) Major/Anchor Tenant**

Major/anchor tenant signage may be wall-mounted on the building adjacent to or at the main entrance and may include a tenant's logo. If the entrance of the building is not visible from the street, the major/anchor tenant is allowed, in addition to the wall-mounted signs, a free-standing monument sign which can be visible from the street. The ground sign should be of a material(s), design and placement that is harmonious with the building architecture.

**b) Multi-Tenant Signage**

Multi-tenant signage may be used to identify those tenants who have leased either that portion of the ground floor not leased by a major/anchor tenant or who have leased space on subsequent floors.

**c) Special Category Tenant Signage**

Special category tenant signage may be used to identify unique situations, or tenants whose business normally requires vehicular-oriented signage, but who have not leased space where signage is either permitted or feasible (e.g., theaters, clubs, restaurants, art galleries, etc.). Special category signage will be positioned in a manner compatible with other identification signage. Requirements for special category tenant signage approval are the same as for other tenants.

**d) Temporary Signs**

Temporary signs (i.e. leasing, construction, and future tenant signage,) will be permitted to identify property to buy or lease. They may denote the architect, engineer, contractor, designer or developer of a specific project during construction periods. Future tenant signs may be placed on parcels to announce future use of the property and state necessary information. These signs are subject to approval for specified periods of time. The design of all temporary signs will be established by New Century Center.

**e) Seasonal Special Events Signage**

Seasonal or special event signage will be permitted upon review and approval by the New Century Center Design Review Committee.

**3. PID Signage**

The Industrial/Business Park Site Developer shall be responsible for Project-wide Identification signage and directional signage within the development. Signage shall be an integral part of the overall architectural expression of the project. Quality design and construction will be key elements, along with the interfacing method used between signage and buildings or landscape.

**a) Individual Project Entry Sign**

Individual Project Entry signs should incorporate such design elements compatible with the architectural character of the development, identify the businesses in the development, and create an integrated appearance with the streetscape/landscape theme of New Century Center. These signs may incorporate major tenant names and logos.



**b) Building Identification Signs**

Building identification signs with creative logo-designs incorporated into sign placement will be encouraged. Signs visible from the exterior may be lighted, but should not be animated in any fashion. Building signs should generally be restricted to the identification of only the store, firm, company or corporation operating on the premises. Graphics and signage installed directly on building walls should be compatible in materials, logo, color, and scale to its use and architectural character.

## IV. PCD GENERAL DESIGN GUIDELINES: for all Planning Areas within PCD

### A. GENERAL SITE AND ARCHITECTURAL GUIDELINES

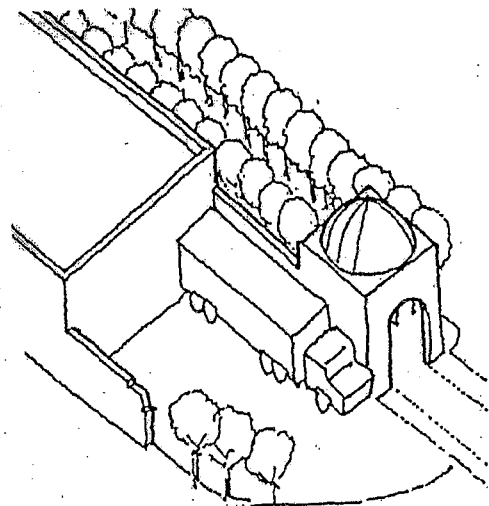
A PCD overlay is planned for the western portion of the Property, in Planning Areas 1A, 1B, 2A and 2B. It will consist of mixed-use commercial uses. The following general guidelines are applicable to all development within the New Century Center PCD.

#### 1. Non-Residential Uses

##### 1.a. Service and Loading

All loading areas shall orient away from front primary elevations (street or side with street frontage,) and these facilities should not be visible from any off-site location. Screenings may be accomplished with landform grading and dense shrub massing, or solid walls that are compatible with the style, materials, and colors of adjacent buildings and, where possible, be an extension of the main building walls. Where adjacent buildings exceed one story it is recommended that screens or trellises be provided over service or loading areas.

Where feasible, adjacent uses should group their loading docks together to minimize their impact.



*Example of possible screening of retail loading dock*

##### 2.b. Refuse Collection

These areas shall be positioned to orient toward the rear of the property. No trash, recycling or storage area should be visible from a public street or neighboring project. These facilities shall be screened from both on-site and off-site views with solid walls where adjacent buildings exceed one-story it is recommended that screens or trellises be provided over the trash enclosures. Maximum allowable wall height is 10 feet. Where feasible, the reduction of visual impact of high walls with earth forming and/or landscaping will be encouraged.

**3.c. Lighting****a)1. General Lighting**

The following are general guidelines that should be followed when planning for lighting in areas within the Planned Commercial Development. All lighting should comply with the *City of San Diego's Light Pollution Law* in order to avoid potentially significant light and glare impacts.

- All exterior lighting should be adequately controlled and shielded to prevent glare and intrusion into adjacent properties or streets. Light sources should not be visible.
- The use of energy-conserving fixtures or lighting system should be given primary consideration.
- High-intensity security lighting fixtures should not be substituted for site or landscape lighting or general building exterior illumination, but should be limited to service areas or other similar locations.
- The use of walkway and landscape feature lighting where feasible is encouraged as a means of enhancing safety and aesthetic purposes.
- All site, landscape or building exterior lighting should be of a configuration, style and finish color that complements the architectural theme and materials established by the building architecture.
- Building illumination and architectural lighting should be indirect in character. Indirect wall lighting or wall washing overhead, down lighting or interior illumination which spills outside is encouraged. Architectural lighting should articulate and provide lighting for the particular building design as well as provide the required functional lighting for safety and clarity of pedestrian movement.
- Lighting levels should emphasize the walking areas, clearly identifying the pedestrian walkway and direction of travel. Stairways, steps and changes of vertical level should be clearly identified and safety lit.
- Service area lighting should be contained within service yard boundaries and enclosure walls. No light spill over should occur outside the service area and the lights should not be visible from any streets.

- Special lighting may be introduced at gateways and other key entries (auto and pedestrian) to identify points of entry and should be combined with monument signage.
- Exterior illumination to enhance building identity should respect and reinforce the architectural treatment of the building.

**b)2. Specialty Lighting: Mixed-Use Commercial**

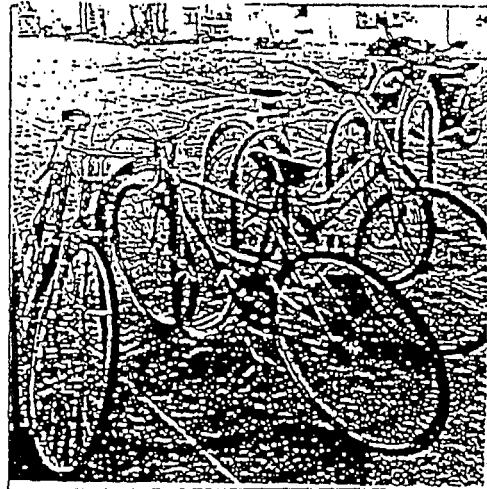
**(1) Mixed-Use Commercial**

Special lighting may be used as wall-washes, or neon-accent within the building design. Decorative wall sconces or carefully detailed cove lighting that conceals the light source will be encouraged. Where appropriate, specialty-themed light poles should be used to create a strong pedestrian experience.

**4.d. Bicycle Facilities and Pedestrian Amenities**

**a)1. Bicycle Facilities**

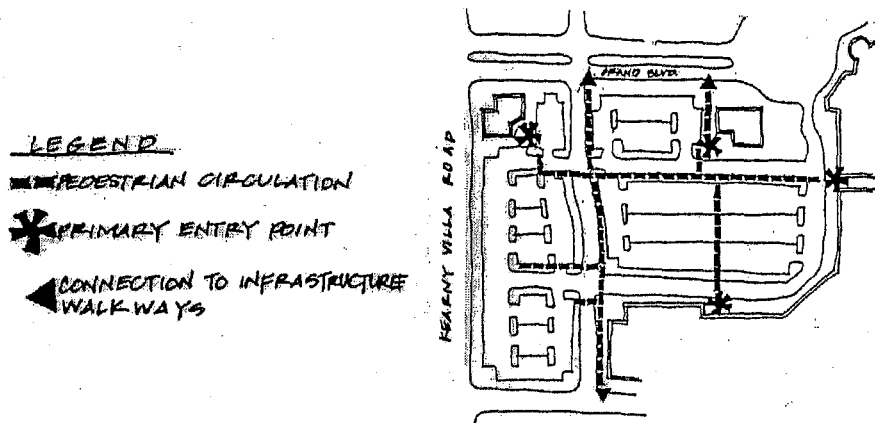
To promote the use of bicycles within the PCD, building owners will be encouraged to provide secure parking for bicyclists. Bicycle parking shall be located convenient to a building entrance.



*Example of possible bicycle parking area*

**b)2. Pedestrian Amenities**

The PCD area will also provide a pedestrian system linking all new development within New Century Center. Where possible, the perimeter of the site will also provide a link to the community. Cross-sections shown on the Tentative Map show that non-contiguous sidewalks will be provided along the new streets within each development. Pedestrian connections will be provided from parking areas to building entrances. Pedestrian focal points such as courtyard and outdoor eating areas. Landscape features designed to provide a safe and visually aesthetic pedestrian environment separate from vehicular travel will be encouraged.



Example of possible pedestrian pathways between parking areas and buildings within the Mixed-Use Commercial area (the southwestern portion of the site)

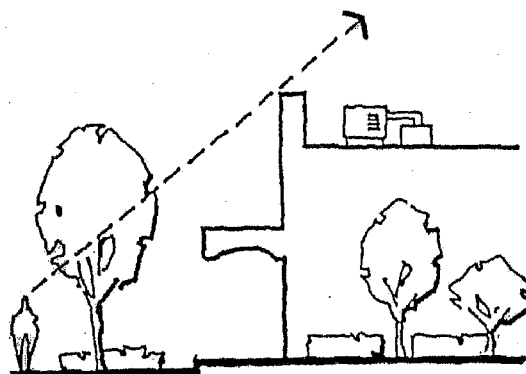
#### 5.e. Walls and Fences

Generally speaking, the use of new property line fencing for screening purposes is discouraged within the PCD, and will be considered only in cases where a requirement for complete premises security is demonstrated by the building owner. Where walls or fences are needed for security or screening of off-site views, they should be consistent with the design, materials, and colors of adjacent buildings.

Screening should be accomplished by contoured grading or dense shrub massing, or a combination of both. Certain facilities may require solid fencing for screening, such as trash areas and storage yards, and special situations may require the use of chain link and or steel fencing. The Land Development Code will contain further requirements for placement and maximum size of walls or fencing.

**6.f. Mechanical Screening**

All mechanical equipment, on the roof or on-grade, should be screened from view using compatible building materials and colors.



*Examples of possible mechanical screening*

**2. Residential Uses (PAs 1A, 2B and 3A)****a. Empathy to Future Residential Development Phases**

Each phase should anticipate the integration of future phase development. The overall master plan has suggested a system of shared courtyards, city-required park and recreation facilities, automobile circulation, parking areas and subterranean garage entries and fire department access systems.

It is recognized that there are multiple alternatives for the master plan and each phase. It is suggested, however, that if changes are made, that there be a thorough analysis of the impact to the future residential phases.

**b. Architectural Style****Design Goals**

There is a desire that the residential portion of PAs 1A, 2B and 3A reflect the quality of the overall office complex. It is encouraged to have the office components of these Planning Areas add to the residential value and vice versa.

The end product should have the look and feel of a unified development. Both the architecture and landscaping should add to this integration as a mixed-use complex.

**c. Architectural Style**

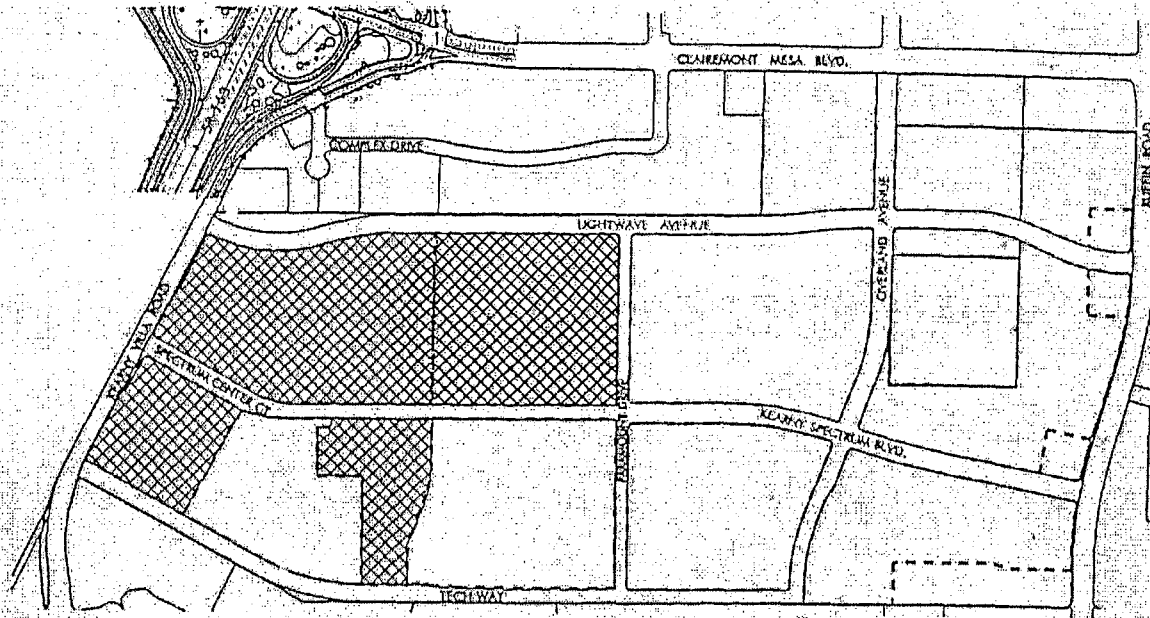
No particular architectural style is mandated.

There is no desire to have the residential design emulate the offices in the severity of scale or form. They should, however, be empathetic with an integrated feel.

Consideration should be give to color, material, landscape and compatible building sculptural forms.



## V. PCD DESIGN GUIDELINES: Mixed-Use Commercial/ Residential and General Commercial



These guidelines are applicable to all development within the New Century Center Mixed-Use Commercial/Residential area (Planning Area(s) 1A, 3A, 1B, and 2B).

### A. SITE GUIDELINES

#### 1. Mixed-Use Commercial Design Intent

Vertical mixed-use projects are strongly encouraged. Large big-box retail uses and auto-oriented commercial uses shall be strongly discouraged unless incorporated and developed as part of a vertically mixed-use development.

The Mixed-Use Commercial/Residential area is located at the western portion of the site and will be comprised of predominantly office uses and residential uses, with retail uses dispersed throughout this area. Retail uses including restaurants will be encouraged at the ground floor levels of office buildings located along pedestrian corridors, and fronting Spectrum Commons. Residential use is also permitted in the Mixed-Use Commercial/Residential area subject to discretionary review under a Process 4 PRD. Residential projects may contain Exclusively Residential Uses.

Vehicular traffic through the Mixed-Use Commercial/Residential area is directed via a central parkway, which serves as a ceremonial "spine" through the project site. It will connect the Mixed-Use Commercial/Residential area at the western end beginning at Kearny Villa Road, to the Campus-style Business Park at the

eastern end, and end at Ruffin Road. This street will incorporate traffic-calming devices such as raised and enhanced pedestrian crossings, stop signs and narrowed street sections. The design of the traffic-calming devices is expected to balance pedestrian circulation with public safety.

Pedestrian circulation will also be provided throughout the Mixed-Use Commercial/Residential development by means of enhanced promenades linking the office buildings and Spectrum Commons to the remainder of the development within the site.

Proposed new development at the western-most end of the Mixed-Use Commercial/Residential area, including offices, retail and restaurant buildings, should be located alongside the Kearny Villa Road or Spectrum Center Boulevard frontage to alleviate any visual impacts of large parking areas. Development located within the remainder of the Mixed-Use Commercial area should front onto the central parkway, and/or a courtyard, and parking areas will be conveniently located to the rear of the buildings in lots or structures.

Within the Mixed-Use Commercial/Residential area, a central focal element such as a "Spectrum Commons" will be created alongside the central parkway to serve as a common area amenity for New Century Center. Intended to serve as a unique public gathering area, a major portion of the "Spectrum Commons" will span both sides of the spine road, creating a park-like environment with open turf, enhanced-surface walkways, and areas devoted to outdoor seating. Small-scale freestanding retail, such as a restaurant, outdoor café, kiosks or other specialty retail will be permitted and should locate within Spectrum Commons. Ground floor retail should open onto Spectrum Commons. As indicated in Volume III, Exhibit 5, the commons could instead be developed as a park.

~~If there is a~~ The residential component within the Mixed-Use Commercial/Residential area, it should be integrated into the project ~~and provide by providing~~ convenient pedestrian access to all surrounding uses, particularly retail uses and the transit center. The site design should take into account known and potential effects of surrounding uses, including noise, glare, traffic, and shadows. Mixed use development with residential adjacent to or over pedestrian oriented retail use or office use is encouraged, as is shared parking. Higher density is encouraged as well as a variety of housing types, including senior housing and units affordable to lower income households. Residential development in these areas would be subject to a discretionary permit under a Process 4 PCD.

## 2. Parking Lots and Structures

The majority of parking lots and/or structured parking shall be located to the rear of each development. Parking areas will be primarily accessible from Lightwave Avenue to the north and Paramount Drive to the east, with secondary access directly off of Spectrum Center Boulevard (these access points would be primarily for visitors and/or short term guests). Drop-off zones, or entrances to buildings and/or under-building garages along this perimeter will be allowed and will be designed to consider the needs of the pedestrian. Parking areas should be separated into smaller pieces with the use of structures or dense landscape screening.





**3. Open Parking Structures (PAs 1A, 2B and 3A)**

Residential Units facing open parking structures should be:

- Faced with habitable buildings such as residential units, offices of retail facilities.
- As an alternative the exterior of the parking structure may be treated with a combination of an architectural skin or dense landscaping.
- Any unfaced parking structure over 30' high must be set back (above the first level) a minimum of 15' for every 25' in height over 30'.
- Where open parking structures do exist facing residential units, the opening may not exceed 30' in width at any point and can not exceed 25% of the face of the parking structure. The distance from the face of the open portion of the parking structure to the face of the residential units shall be a minimum of 40'.

**4. Pedestrian Circulation/ Spectrum Center Boulevard**

Spectrum Center Court-Boulevard bisects Spectrum Commons and serves Planning areas 1A, 1B, 1C, 2B and 3B. The roadway will maintain a similar function to Spectrum Commons with regard to pedestrian orientation. Travel speeds will be relatively low, with the roadway primarily serving the adjacent uses. Spectrum Center Court-Boulevard will be designed to accommodate high volume pedestrian activities.

The following general objectives and design criteria will serve as the basis for development of Spectrum Center-Court Boulevard:

**OBJECTIVES:**

- Provide access to businesses.
- Attract a heavy concentration of pedestrian activity.

**DESIGN CRITERIA:**

- 40-foot wide pavement section, allowing for one-lane of travel in each direction.
- Driveways aligned to allow for all-way stop intersections.
- Limit access to all-way stop driveways – turning vehicles will not block through traffic.
- Slower speeds due to stop signs.
- Roadway functions to give access to abutting properties – through traffic can occur on other streets.
- Provide a bicycle lane on the street.

**PEDESTRIAN DESIGN CRITERIA:**

- Eight-foot, non-contiguous sidewalks.
- All-way stops at driveway intersections (with crosswalks), allowing for convenient and efficient pedestrian crossings.



- Narrowest street to accommodate projected traffic needs -- allows for easy pedestrian crossing.
- Enhanced pavement materials at intersections possibly using raised crosswalks.

**45. Pedestrian Linkage Between Commercial/Residential Facilities**

There should be a strong pedestrian linkage connecting the residential, office and retail facilities. Conflicts between pedestrian and vehicular access should be minimized.

This pedestrian linkage should be a minimum of 8' wide from the edge of residential through the office and retail. The paving material should be an enhanced concrete, brick, stone, interlocking pavers, scoreline design in concrete or other approved material.

**6. Residential/Pedestrian Relationship to Public Streets (PAs 1A, 2B and 3A)**

Ground floor residential units facing public streets should have direct access to the street. Stoop units, patio entries, or other designs should be used to connect ground floor entry doors to public sidewalks. If approved by the City, on-street parking shall be permitted adjacent to these units.

**7. Site Layout Examples**

The following examples represent "recommended" several alternate conceptual possible-site layouts for Planning Area(s) 1A, 4B3A, and 2B. It is intended that site planning be flexible and it is intended that the actual development of the site may not necessarily be identical to the conceptual site plans.



8. SDG&E Substation

In connection with the introduction of residential uses within the Mixed Use Commercial/Residential area, the existing SDG&E substation (located within PA-3A) shall be relocated to a non-residential portion of the site.

Figure SR-1 identifies the existing substation location and illustrates a relocation "envelope". This does not preclude the relocation of the substation to an off-site location, if suitable to SDG&E. The substation shall be screened extensively through use of landscaping and/or placement adjacent to parking structure walls.

## B. ARCHITECTURAL GUIDELINES

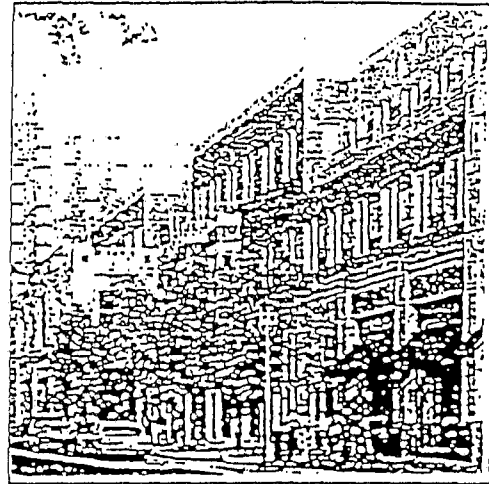
### 1. Architectural Character

It is envisioned that the buildings designed for the Mixed-Use Commercial area will encourage a variety of architectural styles. They will convey a formal identity, urbane and corporate, and will be unified by their common goal of quality design and enhanced materials at the pedestrian-level.

The residential, office, and retail should convey an integrated whole. Building materials, sculptural forms, hardscape, landscape, and color should be compatible and mutually empathetic.

Community identity should be provided at all primary entrances with an integration of signage, hardscape, and landscape.

Project boundary corners should be architecturally enhanced. Locations including street corners, vehicular entries and major pedestrian entries need to reflect their siting importance.



*Possible example of Mixed-Use Commercial architecture.*

- Formal use of materials and colors
- Strong streetfront image
- Stepped façades above pedestrian level

### 2. Building Massing

The Mixed-Use Commercial area will likely contain the highest density of development within New Century Center. All new development will both cluster and focus toward the center of the site. Structures should be designed to maintain a pedestrian-scaled height relating to the frontage along the main street. Architectural devices such as canopies, trellises, building setbacks and materials may be used to accomplish this end. The remainder of the building mass may then step up in height.

### 3. Architectural Character and Building Massing PAs 1A, 2B and 3A

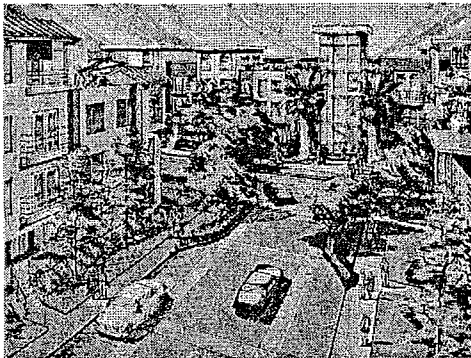
The architectural character of the residential buildings should have a variety of forms, building sculpture and color. The appearance of literally repeating building designs throughout the project is to be avoided. Some repetition is acceptable.

There should be a variety of building designs fronting on the public streets. Buildings adjacent to each other should vary in design character every 250 units.

Individual buildings should have a variety of forms expressing varying levels of the building. Repetitive forms that are repeated vertically and replicated horizontally are to be avoided. Variety and a sense of identity and human scale are encouraged.

All buildings should have a variation in roof form. A variety of vertical forms (i.e. one floor elements, two floor elements and three floor elements) should be expressed along the face of the buildings.

All ground floor units facing the street must have individual exterior building entries.



Potential Residential Streetscape



Potential Residential Massing

**34. Building Orientation**

Major entries to buildings should be located with orientation to the center of the project. This will serve to create a strong street presence and enhance the sense of "place" necessary to maintain a high level of pedestrian activity surrounding Spectrum Commons. However, building entrances, major as well as minor, from plazas and courtyards which open on to Spectrum Commons will be considered.

**45. Materials**

Materials should be selected that convey a high-end, sophisticated urban appearance. The focus will be on pedestrian-level applications with regards to quality, and overall application with regards to image. Within the pedestrian-oriented areas of the facade, a strong "base" should be created. High quality materials, natural or man-made, will be encouraged at the pedestrian level. Glass should only be used as an entry material or in storefronts, not in a curtain-wall application.

At the pedestrian level, a wide variety of materials will be permitted for use including, but not limited to, the following; natural stone, stone by-product, brick, polished stone, ceramic tile, decorative metals, and glass block.

Above the pedestrian level, or back-of-building applications, a wide variety of materials will be permitted for use including, but not limited to, the following: natural stone, man made stone, stone by-product, plaster, brick, polished stone, ceramic tile, decorative metals, glass block, brick, and GFRC. Glass used in curtain-wall applications above the pedestrian zone will be considered within the context of the overall architectural quality of the building.

**56. Colors**

A wide variety of colors within a complimentary palette will be permitted within the Mixed-Use Commercial, ranging from neutral tones of white through deeper earth tones. To maintain a strong sense of connection the office development and the residential area, it will be important to continue a high level of visual excitement throughout the pedestrian zone. A palette of acceptable colors that coordinate well between each other will be prepared by New Century Center.

**67. Roofs**

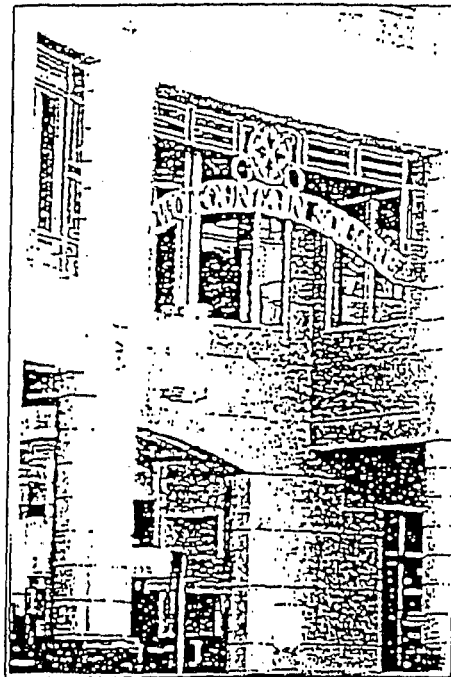
Within each development, a combination of roof shapes and types will be permitted. Flat roofs that utilize decorative corniced parapets, and low-pitch clay tile or metal-ribbed roofs that break-up the building scale, may be used to provide visual interest. Other roofing materials that provide similar architectural character may be permitted.

**78. Entries**

Entrances should occur with frequency as appropriate along the building facades. Office building lobbies and parking structure entrances may be setback from the streets of Spectrum Commons, but should remain visible from the pedestrian walkways and are encouraged to provide enhanced hardscape and landscape connections leading from the curb to the entrance.

**89. Windows and Storefronts**

Windows, doorframes and storefronts within the Mixed-Use Commercial area will be of high-quality and integrated into the overall architectural character. They should contain a sophisticated blend of window types and patterns. Repetition of windows or storefront mullions along the pedestrian-level will be encouraged to further enhance the pedestrian experience.

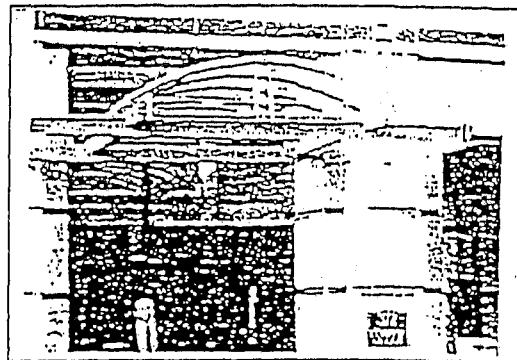


*Examples of possible building entry within mixed use areas*

- Strong use of urban materials
- Pedestrian emphasis created through material change along base
- High-end detailing such as signage, light fixtures, accents and address plaques

**910. Awnings**

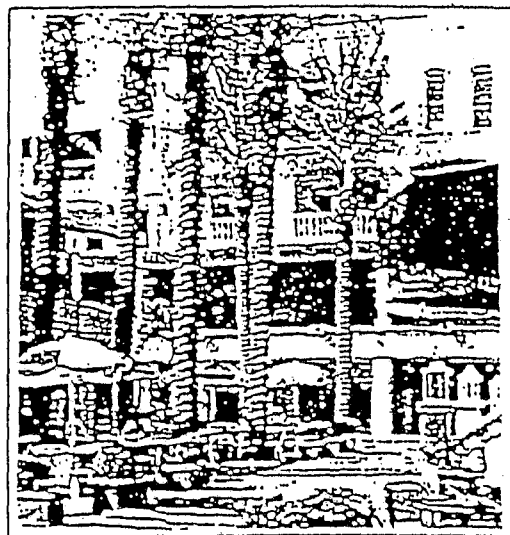
Awnings are encouraged as appropriate where pedestrian arcades are not used. Separate awnings may be used to establish the individuality of tenants through color, styling and signage. Awning colors should be selected from an acceptable color palette provided by New Century Center.



*Example of possible awning within the Mixed-Use Commercial area*

**110. Plazas and Courtyards**

Plazas and courtyards or cafes at entrances will be encouraged to support pedestrian interaction. Enhanced landscape, hardscape and quality site furnishings should be incorporated to create an integrated and sophisticated environment.

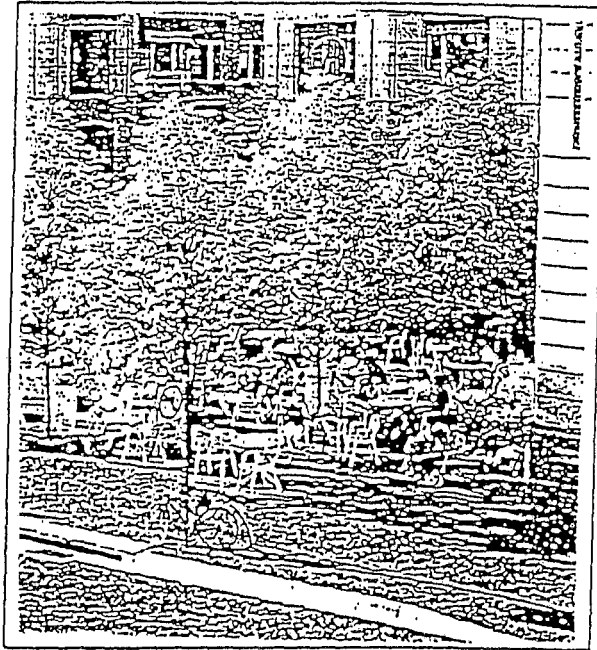


*Example of possible plaza or courtyard*

## C. LANDSCAPE ARCHITECTURAL GUIDELINES

### 1. Landscape Design Intent

It is envisioned that the landscape architecture for the Mixed-Use Commercial area will convey an "urban" character. The architecture will be enhanced through the use of clean and simple forms, color, and texture within the landscape. The primary landscape focus of the Mixed-Use area will be its relationship with the main street corridor. A highly organized promenade will serve as the pedestrian link between Spectrum Commons, residential and the rest of the Mixed-Use area. The promenade will be characterized by a continuous enhanced hard-scape, dotted with trees and colorful container plantings that individualize each business storefront.



*Example of possible "urban" landscape architecture within the Mixed-Use Commercial area*

The following general Objectives and Criteria will serve as the basis for developing within the Mixed-Use Commercial area. Additional Objectives and Criteria as they apply to specific areas such as "Parcel Entries" and those listed in Section II need to be observed:

#### OBJECTIVES:

- Create a centrally located landscape amenity referred to as Spectrum Commons within the Mixed-use Commercial area, providing an enhanced pedestrian environment.
- Create a landscaped "promenade" to serve as a pedestrian link between Spectrum Commons, the Mixed-Use Commercial area and the residential component.
- Create a landscaped "gateway" at the western and eastern ends of Spectrum Commons that serves as an arrival zone for the Mixed-use Commercial area.
- Create visual and pedestrian links into both the Mixed-use Commercial area and its centrally located amenity by means of tree-lined sidewalks perpendicular to Kearny-Spectrum -Center Boulevard Road.





- Enhance the Mixed-Use Commercial architecture through the use of clean and simple landscape forms.

**CRITERIA:**

- Plant material sizing of subsequent parcel development should be reasonably compatible to existing adjacent plant material.
- Utilize broad plant masses in order to maintain a consistent landscape character and minimize visual confusion.

**2. Parcel Entries**

The Parcel Entry zone is the area between the public street and the parking lots. It will be treated with special landscape elements, which will give individual identity to the Mixed-Use Commercial area.

**OBJECTIVES:**

- Clarify the visitor path from the public street to the parking areas.
- Establish a unique image for the establishment.
- Establish a sense of entry from the public street into the project.

**CRITERIA:**

- Finish grades will meet existing grades.
- Parking will not be permitted in the Parcel Entry zone.
- Special groundplane treatments such as enriched paving and the use of color are encouraged.

**3. Vehicular Use Area**

The Vehicular Use areas include parking spaces, drive aisles, parking aisles, and other associated vehicular areas on site.

**OBJECTIVES:**

- Visually reduce large paved areas with landscaping.
- Maximize distribution of landscaping.
- Create tree groves in orderly patterns.
- Shade 50% of the asphalt area within 5 years of installation.
- Visually screen parking that fronts the right-of-way.



**CRITERIA:**

- Grades should be designed to minimize severe warping and abrupt changes.
- Design efforts shall attempt to achieve grades between 0.5 and 2.5%.
- Aisles will be parallel with the adjacent street whenever possible.
- Parking location and layouts are to be easy and safe for pedestrian circulation.
- Screening material must be at least 30" in height and may be achieved through the use of berms, walls, plant material, or a combination thereof. Screen may not be higher than 48".

**4. Building Front Yard**

Building Front Yard landscape design will provide opportunities for developing a formal urban landscape that is consistent with the Mixed-

Use Commercial theme. It would be characterized by the use of clean and simple forms, texture and color.

**OBJECTIVES:**

- Restrict plant palette in order to maintain the "urban" theme.
- Enhance the building architecture at the ground level.

**CRITERIA:**

- Special treatment of the groundplane through the use of enriched paving and color is encouraged.
- Architectural arcades and trellises may be enhanced through the use of flowering vines such as Lavender Starflower.
- Long architectural walls should be softened through the use of vines and/or espaliers, random tree groupings, and bold massing of shrubs.

**5. Plazas and Courtyards**

Plazas and Courtyards are to be designed as components of the surrounding development.

Opportunities for open spaces dedicated to residential community functions (e.g. recreational areas, outdoor eating, seating/gathering areas) should be carefully



balanced and integrated with pedestrian walkways. Both major and minor courtyards are encouraged.

The pedestrian connectors between commercial and residential plazas and courtyards should be seamless. This unification should be designed in such a way as to encourage an integrated, whole community.

**OBJECTIVES:**

- Create a distinctive indoor/outdoor environment.
- Create a functional use area.
- Enhance the visual quality of each development.

**CRITERIA:**

- The layout, grading and landscaping will be a function of the use. Creativity in layout and materials is encouraged.

**6. Street Yard/Remaining Yard**

- A Street Yard is defined as all the area of a lot which lies between property lines abutting a street(s) and the street wall line of a building.
- A Remaining Yard is defined as the established side and rear yard setbacks in each underlying area that does not fall within the Street Yard.

**OBJECTIVES:**

- Create a consistent landscape treatment at the interface of adjacent parcels.
- Screen parking and utility structures from public view.
- Establish a buffer zone with informal planting.
- Mitigate views to sides and backs of buildings.

**CRITERIA:**

- Finish grades must meet existing grades.
- Positive surface drainage should be at least 2%.
- For shrub planting along the sides and backs of buildings, the material should be evergreen, sized and spaced to ensure 100% screening within 2 years.

**7. Mixed-Use Commercial Area Plant Palette**



Plant selections for Mixed-Use Commercial (Planning Area(s) 1A, 1B and 2B) could include the following species. This list is not meant to be all inclusive and other plant materials may be substituted if it can be demonstrated that they can produce a similar landscape character:

FORM	FUNCTION	EXAMPLE		SIZE
<i>TREES:</i>		<i>Botanical Name</i>	<i>Common Name</i>	
Broadleaf, Flowering or Fall Color 25'-35' spread	Accent	Koelreuteria paniculata Pyrus calleryana "Bradfordii"	Golden Rain Tree Bradford Pear	36" box min.
Columnar, Evergreen 10' spread		Cupressus sempervirens	Italian Cypress	24" box min.
Vertical Evergreen 20' spread		Phoenix dactylifera Washingtonia robusta	Date Palm Mex. Fan Palm	24" box min./ 12'b.t.h.
Broadleaf, Evergreen 25'-40' spread	Canopy	Cupianopsis anacardioides Cinnamomum camphora	Carrotwood Camphor Tree	24" box min.
Flowering 30' spread		Tipuana tipu	Tipu Tree	24" box min.
Vertical Evergreen 15'-25' spread	Screen	Pinus sp. Strelitzia nicolai	Pine Giant Bird of Paradise	24" box min.
<i>SHRUBS:</i>				
3-4' Ht Evergreen	Screen	Ligustrum Texanum	Texas Privet	5 gal min.
1'-4' Ht Evergreen, Flowering	Accent	Agapanthus africanus	Lily of the Nile	1 gal min.
1'-3' Ht Evergreen	Massing	Strelitzia reginae Pittosporum tobira Raphiolepis indica	Bird of Paradise N.C.N. India Hawthorne	50% 1 gal/ 50% 5 gal

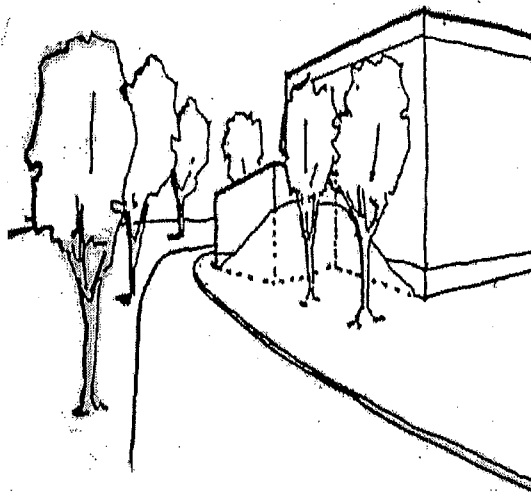
## VI. PID GENERAL DESIGN GUIDELINES: for all Planning Areas within PID

### A. GENERAL SITE AND ARCHITECTURAL GUIDELINES

A PID overlay is planned for the central and eastern portions of the Property in Planning Areas 1C, 3A, 4B, 4B, 5A, 6A, 6B, 6C, 6D, 6E, 7, 8A, 8B and 9. It will be a combination of Industrial/Business Park uses (Planning Areas 1C, 3A, 4A, 4B, 5A, 6A, 6B and 9); Business Support Commercial uses at pad locations (Planning Areas 6C, 6D and 6E) or Business Support Commercial uses in small centers (Planning Areas 8A and 8B). Missile Park is identified as Planning Area 7. A vernal pool conservation bank will be located within Planning Area 5A. The following general guidelines are applicable to all development within the New Century Center PID. At the time this document was prepared, the New Century Center Design Guidelines met or exceeded the City of San Diego Standards.

#### 1. Service and Loading Areas

All loading areas shall orient away from front primary elevations (street or side with street frontage), and these facilities should not be visible from any off-site location. Screenings may be accomplished with landform grading and dense shrub massing, or solid walls that are compatible with the style, materials, and colors of adjacent buildings and, where possible, be an extension of the main building walls. Where adjacent buildings exceed one story, it is recommended that screens or trellises be provided over service/loading areas.



*Example of possible landscape screening at service area.*

#### 2. Refuse Collection

Refuse collection areas should be positioned to orient toward the rear of the property. These facilities should be screened from both on-site and off-site views with solid walls, and where adjacent buildings exceed one story it is recommended that screens or trellises be provided over the trash enclosures. The reduction of visual impact of high walls with earth forming and/or landscaping will be encouraged.

### 3. Lighting

#### a) General Lighting

The following are general guidelines that should be followed when planning for lighting in areas within the Planned Industrial Development. All lighting should comply with the *City of San Diego's Light Pollution Law* in order to avoid potentially significant light and glare impacts.

The following are a few general guidelines that should be followed when planning for lighting in areas within the Industrial/Business Park:

- Building illumination and architectural lighting should be indirect in character. Architectural lighting should articulate and provide lighting for the particular building design.
- The use of energy - conserving fixtures or lighting system should be given primary consideration.
- High-intensity security lighting fixtures should not be substituted for site or landscape lighting, but should be limited to service areas or other similar locations.
- All site, landscape or building exterior lighting should be of a configuration, style and finish color that complements the architectural theme and materials established by the building architecture. Patterns of light and fixture concealment should be considered to avoid glare and intrusion into adjacent properties.
- Where applicable, the use of walkway and landscape feature lighting will be encouraged as necessary or desirable for safety purposes. Lighting levels should emphasize the walking areas, clearly identifying the pedestrian walkway and direction of travel. Stairways, steps and changes of vertical level should be clearly identified and safety lit.
- All exterior and service area lighting should be contained within service yard boundaries and enclosure walls. No light spillover should occur outside the service area and the lights should not be visible from any streets.
- Special lighting may be introduced at gateways and other key entries (auto and pedestrian) to identify points of entry and should be combined with monument signage.
- All lighting is to be designed so that light sources are not normally visible.

#### b) Specialty Lighting: Business Support Commercial

Special lighting may be used as wall-washes, or neon-accent within the building design. Decorative wall sconces or carefully detailed cove lighting that conceals the light source will be encouraged. Where appropriate, specialty-themed light poles should be used to create a strong pedestrian experience. Icon elements such as theme-towers may require wall-washing or other types of illumination.

#### 4. Bicycle Facilities and Pedestrian Amenities

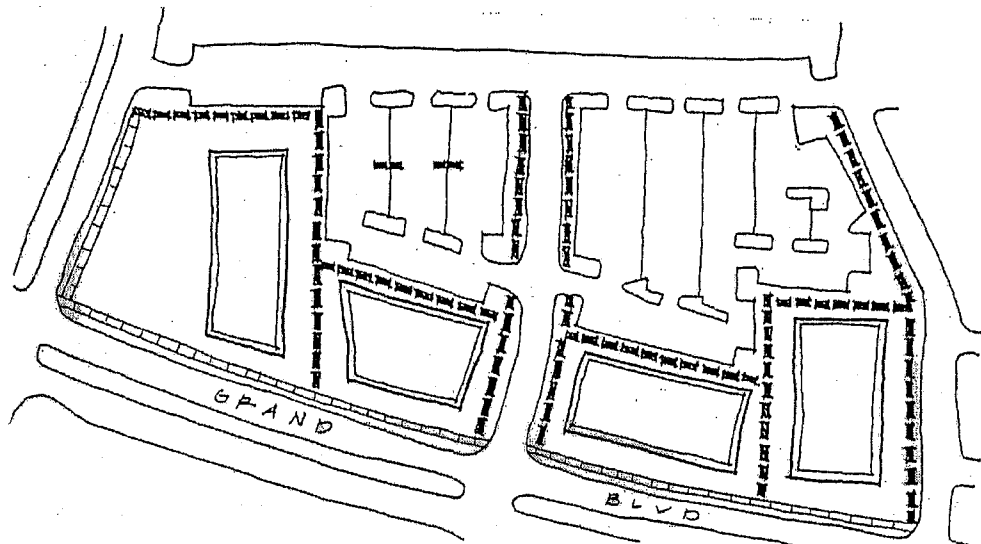
##### a) Bicycle Facilities

To promote the use of bicycles, each developer will provide secure parking for bicyclists in conformance with City of San Diego standards. All such bicycle parking will be located convenient to a building entrance. Additionally, developers will be encouraged to provide bicycle lockers and on-site showers for employees.

##### b) Pedestrian Amenities

The New Century Center PID will also provide a pedestrian system which will link all new development within New Century Center to the perimeter of the site, continuing on to the surrounding community.

Each developer will be encouraged to provide employee amenities such as outdoor patios and seating.



*Example of possible pedestrian pathway connections between parking areas and buildings.*

## 5. Walls and Fences

In keeping with the "campus setting", it is generally desirable to have a "seamless" and unified look to the New Century Center landscape, with boundaries between neighbors expressed subtly, if at all.

Generally speaking, the use of new property line fencing for screening purposes is discouraged and will be considered only in cases where a requirement for complete premises security is demonstrated by the Building Owner. Where wall or fences are needed for security or screening of offsite views, they should be consistent with the design, materials, and colors of adjacent buildings. Chain link and/or steel fencing may be permitted in special situations.

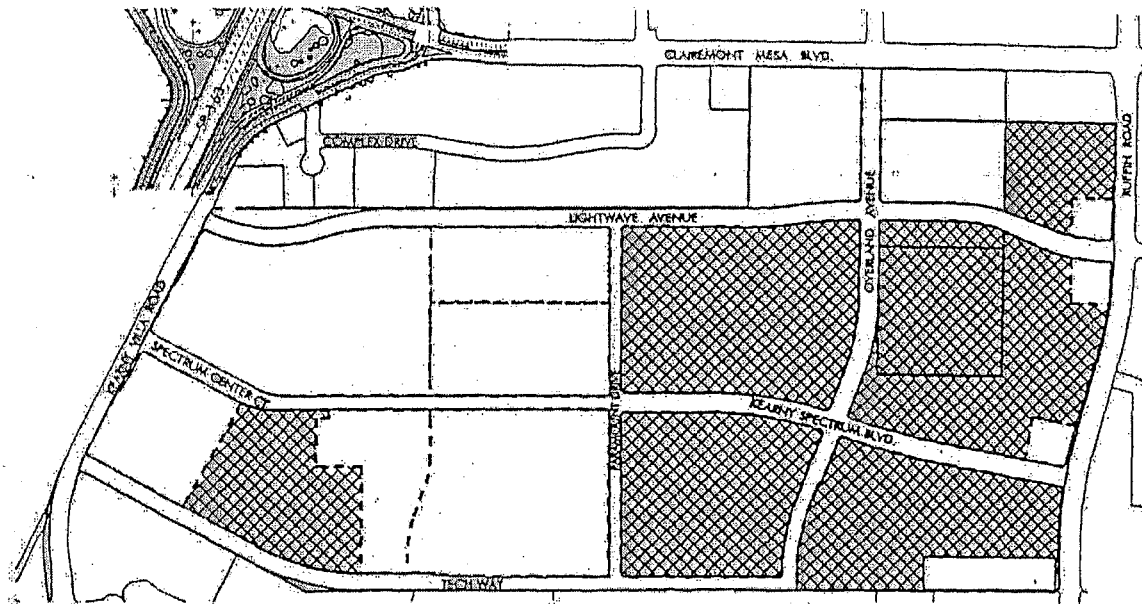
Screening should be accomplished by contoured grading or dense shrub massing, or combination of both. Certain facilities will require solid fencing for screening, such as trash areas and storage yards. The San Diego City *Zoning Ordinance* will contain requirements for placement and maximum size of these facilities.

## 6. Mechanical Screening

- All mechanical equipment, on the roof or on-grade, must be screened from view using compatible building materials and colors.
- Exterior components, processing, heating, cooling, and ventilating systems (including, but not limited to piping, tanks, stacks, collectors, heating, cooling, and ventilating equipment fans, flowers, ductwork, vents, etc.) will be screened from ground floor visibility.
- Any devices employed to screen exterior components of plumbing, processing, heating, cooling, and ventilating systems from direct view will appear as an integrated part of the architectural design and, as such, will be constructed of complimentary and durable materials and finished in a texture and color scheme complimentary to the overall architectural design.
- Any exterior components of plumbing, processing, heating, cooling, and ventilating systems and their screening devices which will be visible from upper floors of adjacent buildings will be kept to a visible minimum, will be installed in a neat and compact fashion, and will be painted such a color as to allow their blending with their visual background.



## VII. PID DESIGN GUIDELINES: Industrial/Business Park



These guidelines are applicable to all development within the New Century Center Industrial/Business Park (Planning Areas 1C, 3A, 4A, 4B, 5A, 6A, 6B and 9). At the time this document was prepared, the New Century Center Design Guidelines met or exceeded the City of San Diego standards.

### A. SITE GUIDELINES

#### 1. Industrial/Business Park Design Intent

The uses intended within the Industrial/Business Park combined with the business related uses in the Mixed-Use Commercial/Residential area (Planning Area(s) 1A, 3A, 1B, and 2B), will create a significant business center within New Century Center. Within the Industrial/Business Park, building location and design should encourage strong building addresses on frontage streets with rear parking courts, creating a "campus" style arrangement of structures. In addition, coherent circulation schemes will be encouraged that provide both a safe and functional environment for users and emergency vehicles. To the extent feasible, open space will be preserved, giving visual relief to employees and visitors to the site, and providing opportunities to participate in outside activities.

The following site features are generally characteristic of a "campus setting," and are encouraged to be incorporated into the Industrial/Business Park:

- Reduce emphasis on vehicular impact by careful placement of roads and parking lots, and screening of same from view.
- Strong emphasis on pedestrian access and circulation, especially between and around roads and buildings.
- Accommodation of pedestrians by providing such treatments as arcades, trellises, courts, and canopies within a walkway system, accented with street furnishings and pedestrian-scale lighting.
- Boundary-less and barrier-less lot perimeters are preferred.
- Building clusters or nodes which are sited around courtyards or plazas shall consider solar access.
- Long tunnel effects between buildings shall be avoided by stepping back of buildings from each other, thereby allowing more light between them.
- Employee amenities such as courtyards and outdoor eating areas.

## 2. Parking Lots and Structures

### a) Parking Lots

- Where surface parking lots are used, they should be screened from view by well-planted berms.

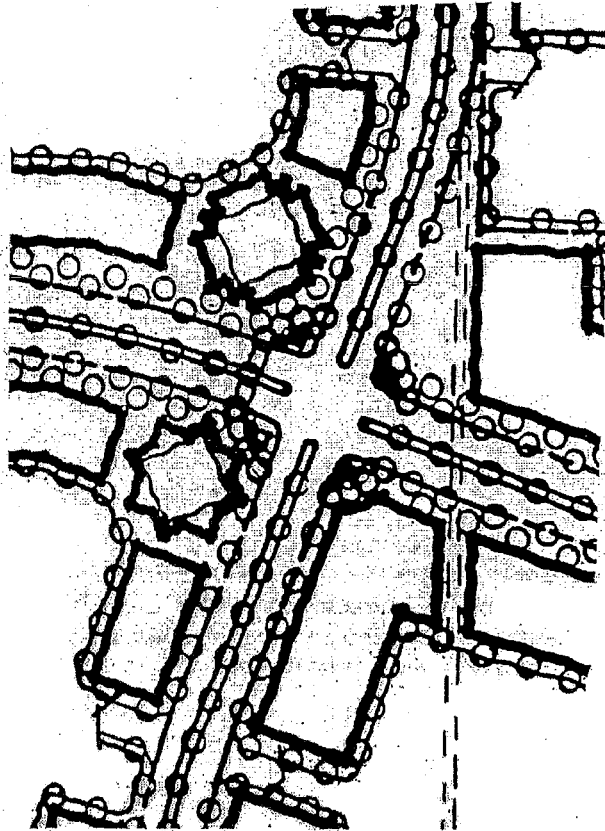
### b) Parking Structures

- As an alternative to surface parking, the *Kearny Mesa Community Plan* states that "well-designed, low-scale parking structures with linkage to existing and proposed buildings should be considered."
- Parking structures with linkage to the proposed buildings would be permitted on each lot or as a central parking facility.
- Parking structures should be designed as secondary elements of the built environment and not as focal points. This will be accomplished both in the design of the structure, and use of building materials.
- Parking structures should be integrated with adjacent buildings through the use of similar architectural treatment such as vertical and horizontal facade articulation, and use of similar materials, colors and textures.

### 3. Examples of Possible Site Layouts

The following Concept 1 are examples of possible "recommended" site layouts for the Industrial/Business Park. These are not meant to convey final layout of this area, as other viable options may be permitted.

*Concept 1: A possible Industrial/Business Park site layout*

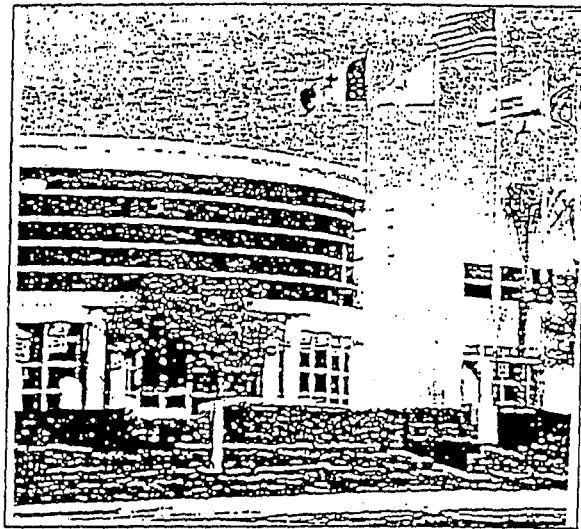


- *Buildings at corners of major intersections could be used to create focal interest*
- *Locate buildings near or at the street with limited if any, parking between building and street.*

## B. ARCHITECTURAL GUIDELINES

### 1. Architectural Character

The Industrial/Business Park is envisioned to include a variety of architectural styles that would be attractive to the desired mix of tenants. These high-quality, contemporary buildings would be situated within "campus-style" business park setting.

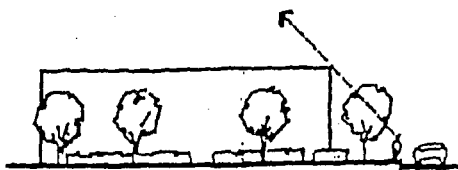


*Example of possible Industrial/Business Park architectural character*

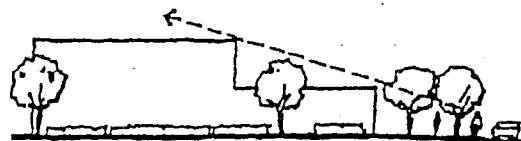
- Contemporary architectural styles
- Strong streetfront image
- Clear sense of entry

### 2. Building Massing

Long, unbroken exterior walls should be avoided with articulation of the walls. Where buildings are more than one story in height, staggered or stepped walls will be encouraged to create visual interest. Tall buildings (in excess of 4 stories) will be designed in a manner which reduces bulk and mass, especially at the higher stories. Buildings should be designed to include curved or straight facades in a manner which acknowledges and is compatible with the shape of adjacent buildings, and roof lines should be articulated with shorter elements to reduce apparent building massiveness.



*Example of building profile to avoid*



*Setbacks within building profiles are recommended*

**3. Building Orientation**

Buildings should orient their pedestrian entrances towards the street. It is envisioned that the main body of each structure would be located generally at the street side of the lot, with the main portion of parking located behind the building and away from the street.

**4. Materials**

Materials employed should be appropriate for the use and design concept of the development. Materials will be expected to be used appropriately in consideration of form, scale, location, consistency, and function. A wide variety of solid building materials may be selected from a palette of concrete (i.e., textured concrete, sand-blasted finish concrete, ribbed concrete, exposed aggregate concrete), stone, (natural, cut or stone veneer), masonry (brick, split-faced), or other materials that demonstrate a similar architectural character. Glass will also be considered as a primary solid building material.

**5. Colors**

A wide variety of colors may be used ranging from neutral tones of white to deeper earth tones.

**6. Entries**

Entries should be placed in obvious locations, adjacent to, and visible from the street. Additional creative architectural expression will be encouraged at the entry points.

**7. Windows**

Use of daylight shall be considered in all buildings through the design of window locations on exterior facades and interiors within "atrium" type structures. Proper uses of daylight will enhance the potential for using low-consumption fluorescent lighting and time-controlled heating and air-conditioning units.

**8. Roofs**

- Roof lines should be articulated with shorter elements to reduce apparent building massiveness.
- Building design shall pay special attention to roof area treatments and materials. Portions of flat roof areas may be considered for use as terraces.

- All exposed roof material ballast or membrane will be color-coordinated with the building exterior colors and shall be visually compatible with the surrounding area.
- Roof styles may be flat with parapet or sloped. Sloped roofs may use a variety of roofing materials including metal-ribbed roofing, or other high-quality materials that demonstrate similar architectural character.

## C. LANDSCAPE ARCHITECTURAL GUIDELINES

### 1. Landscape Design Intent

The primary function of the Industrial/Business Park's landscape architecture will be to create a "campus" feel that accentuates the architecture and flows "seamlessly" between developments.

The following general Objectives and Criteria will serve as the basis for landscape development within the Industrial/Business Park areas. Additional Objectives and Criteria as they apply to specific areas such as "Parcel Entries" and those listed in Section II of these Design Guidelines must also be observed:

#### OBJECTIVES:

- Create a "campus" feel through the use of informal park-like plantings, strong pedestrian linkages, and architecturally compatible site furnishings.
- Enhance the contemporary architecture through the use of clean and simple forms, color, and texture in the landscape.
- Emphasize "gateway" frontage leading to the main street corridor.
- Create "seamless" transitions between developments through the introduction of similar and compatible landscape material.

#### CRITERIA:

- Plant material sizing of subsequent parcel development should be reasonably compatible to existing adjacent plant material.
- Utilize broad plant masses in order to maintain a consistent landscape character and minimize visual confusion.
- No impact to vernal pool conservation bank (Plant palette to be reviewed at implementation by LDR Environmental and Landscape staff to ensure that only non-invasive plants species are proposed.)

## 2. Parcel Entries

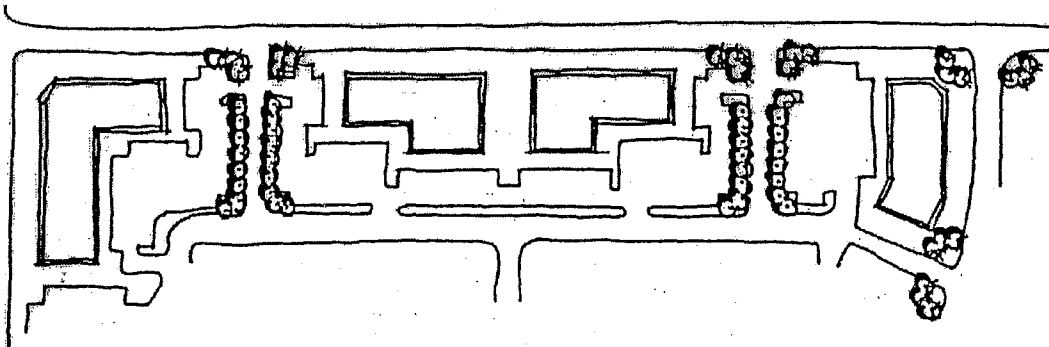
The Parcel Entry zone is the area between the public street and the parking lots. It will be treated with special landscape elements, which will give individual identity within the Industrial/Business Park.

### OBJECTIVES:

- Clarify the visitor path from the public street to the parking areas.
- Establish a unique image for the establishment.
- Establish a sense of entry from the public street into the project.

### CRITERIA:

- Finish grades will meet existing grades.
- Berming will be permitted.
- Parking will not be permitted in the Parcel Entry zone.
- Special groundplane treatment such as enriched paving and the use of color are encouraged.



*The above graphic is a representative example of an Industrial/Business Park Parcel Entry only, and is not meant to convey final layout of this area, as other viable options may be permitted*

## 3. Vehicular Use Area

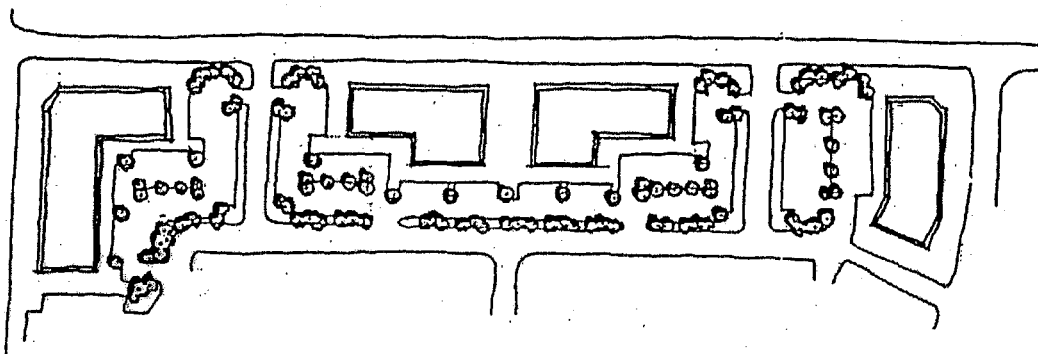
The Vehicular Use areas include parking spaces, drive aisles, parking aisles, and other associated vehicular areas on site.

**OBJECTIVES:**

- Visually reduce large paved areas with landscaping.
- Maximize distribution of landscaping.
- Create tree groves in orderly patterns.
- Visually screen parking that fronts the right-of-way.

**CRITERIA:**

- Grades must be designed to minimize severe warping and abrupt changes.
- Design efforts shall attempt to achieve grades between 0.5 and 2.5%.
- Aisles will be parallel with the adjacent street.
- Parking location and layouts are to be easy and safe for pedestrian circulation.
- Tree well and planting edge curbs must be used. Wheel stops will not be permitted.
- Screening material must be at least 30" in height and may be achieved through the use of berms, walls, plant material, or a combination thereof. Screen may not be higher than 48".



*The above graphic is a representative example of an Industrial/Business Park Vehicular Use area only, and is not meant to convey final layout of this area, as other viable options may be permitted*



#### 4. Building Perimeter/Remaining Yard

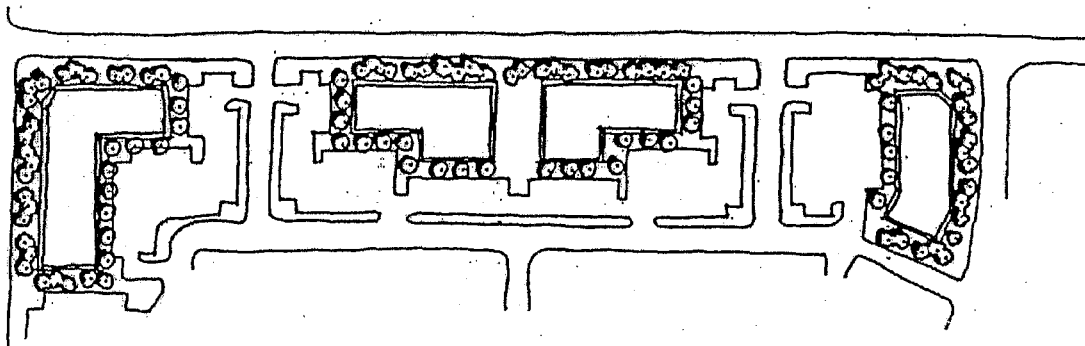
The landscape surrounding the Building Perimeter/Remaining Yard areas provides the opportunity to develop informal park-like plantings that will contribute to the "campus" atmosphere. Long expanses of building walls can be visually reduced through the use of random tree groves and bold shrub massing.

##### OBJECTIVES:

- Enhance the contemporary architecture through the use of informal park-like planting schemes.

##### CRITERIA:

- Special treatment of the groundplane through the use of enriched paving and color is encouraged.
- Architectural arcades and trellises may be enhanced through the incorporation of flowering vines such as Lavender Starflower.
- Long architectural walls may be softened through the use of vines and/or espaliers, random tree groupings, and bold massing of shrubs.



*The above graphic is a representative example of an Industrial/Business Park Building Perimeter only, and is not meant to convey final layout of this area, as other viable options may be permitted*

#### 5. Plazas and Courtyards

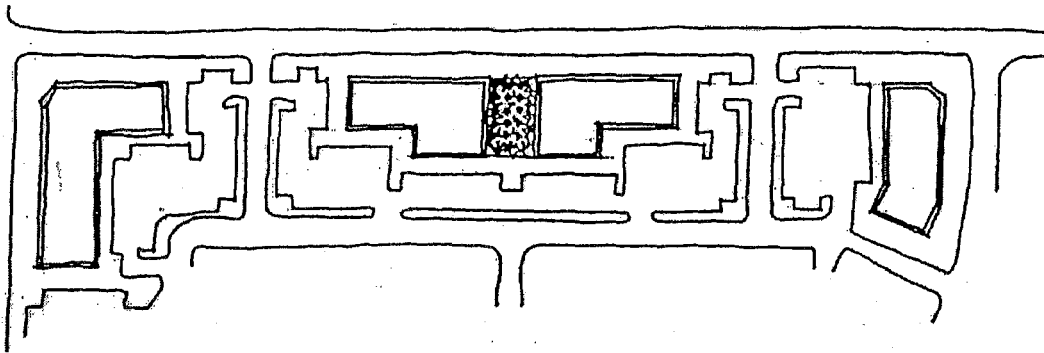
Courtyards and Plazas are to be designed as components of the surrounding development.

##### OBJECTIVES:

- Create a distinctive indoor/outdoor environment.
- Create a functional use area.

**CRITERIA:**

- The layout, grading and landscaping will be a function of the use. Creativity in layout and materials is encouraged.
- Enhance the visual quality of each development.



*The above graphic is a representative example of a Plaza or Courtyard within the Industrial/Business Park only, and is not meant to convey final layout of this area as other viable options may be permitted*

**6. Street Yard**

A Street Yard is defined as all of the area of a lot which lies between the property lines abutting the street(s) and the street wall line of a building.

**OBJECTIVES:**

- Create a consistent landscape treatment at the interface of adjacent parcels.
- Screen parking and utility structures from public view.
- Establish a buffer zone with informal planting.
- Mitigate views to sides and backs of buildings.

**CRITERIA:**

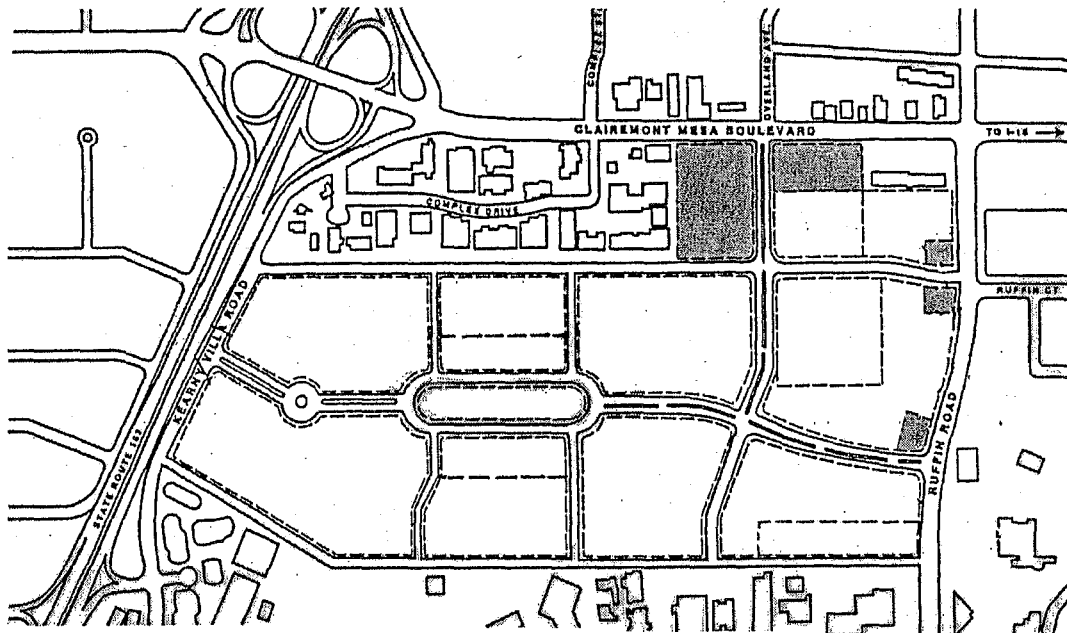
- Finish grades must meet existing grades.
- Positive surface drainage should be at least 2%.
- Berming is highly encouraged to help screen adjacent surface.
- For shrub planting along the sides and backs of buildings, the material must be evergreen, sized and spaced to ensure 100% screening within 2 years.

**7. Industrial/Business Park Area Plant Palette**

Plant selections for the Industrial/Business Park could include the following species. This list is not meant to be all inclusive and other plant materials may be substituted if it can be demonstrated that they can produce a similar landscape character:

<b>FORM</b>	<b>FUNCTION</b>	<b>EXAMPLE</b>		<b>SIZE</b>
<b>TREES:</b>		<b>Botanical Name</b>	<b>Common Name</b>	
Broadleaf, Flowering or Fall Color 25'-35' spread	Accent	Koelreuteria paniculata	Golden Rain Tree	36" box min.
		Pyrus calleryana "Bradfordii"	Bradford Pear	
Broadleaf 25'-40' spread	Canopy	Cupianopsis anacardioides	Carrotwood	24" box min.
		Cinnamomum camphora	Camphor Tree	
Evergreen 15'-25' spread	Screen	Pinus sp. Strelitzia nicolai	Pine Giant Bird of Paradise	24" box min.
<b>SHRUBS:</b>				
3-4' Ht Evergreen	Screen	Ligustrum texanum	Texas Privet	5 gal min.
1'-4' Ht Evergreen	Accent	Agapanthus africanus	Lily of the Nile	1 gal min.
		Strelitzia reginae	Bird of Paradise	
1'-3' Ht Evergreen	Massing	Pittosporum tobira Raphiolepis indica	N.C.N. India Hawthorne	50% 1 gal/ 50% 5 gal

## VIII. PID DESIGN GUIDELINES: Business Support Commercial within Industrial/Business Park



These guidelines are applicable to all Business Support Commercial development within the New Century Center Industrial/Business Park (Planning Areas 6C, 6D, 6E, 8A and 8B). At the time this document was prepared, the New Century Center design guidelines met or exceeded the City of San Diego standards.

### A. SITE GUIDELINES

#### 1. Business Support Commercial Design Intent

It is envisioned that the Business Support Commercial areas within the Industrial/Business Park will provide a variety of goods or services as part of the on-going operations of firms, or for the daily needs of a firm's employees. Visible frontage and convenient vehicular and pedestrian access from the nearby Industrial/Business Park employment base are primary site-planning goals. Business Support Commercial uses will be located at pad locations along Ruffin Road and within small centers fronting Clairemont Mesa Boulevard.

2. Parking Lots and Structures

a) Parking Lots

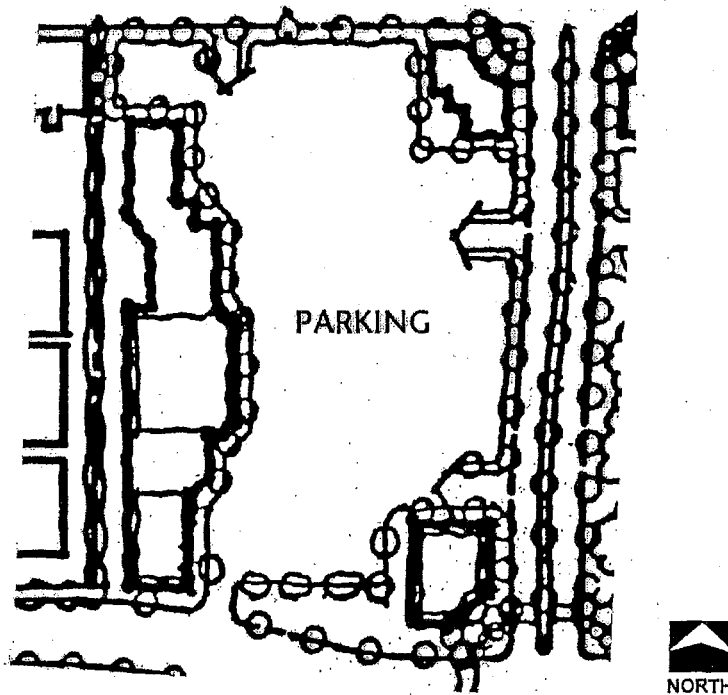
Parking lots shall be located adjacent to the storefronts within the Business Support Commercial areas, generally between the storefronts and the streets.

b) Parking Structures

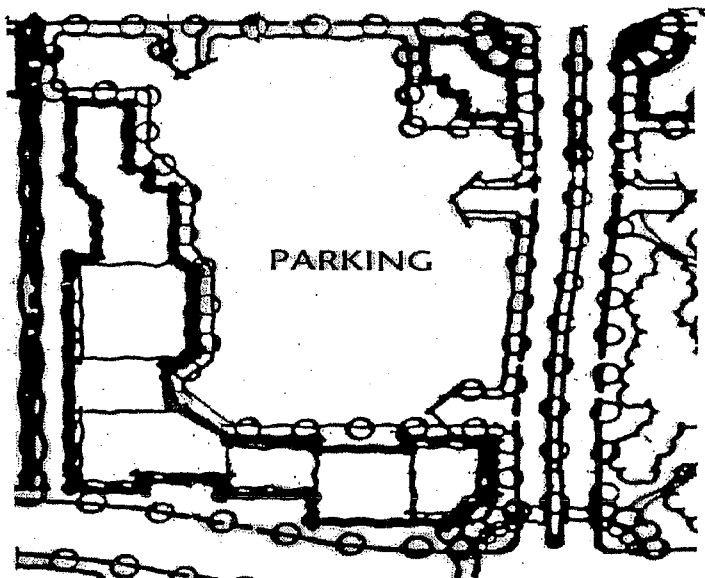
No parking structures will be permitted within the designated Business Support Commercial areas.

3. Site Layout Examples

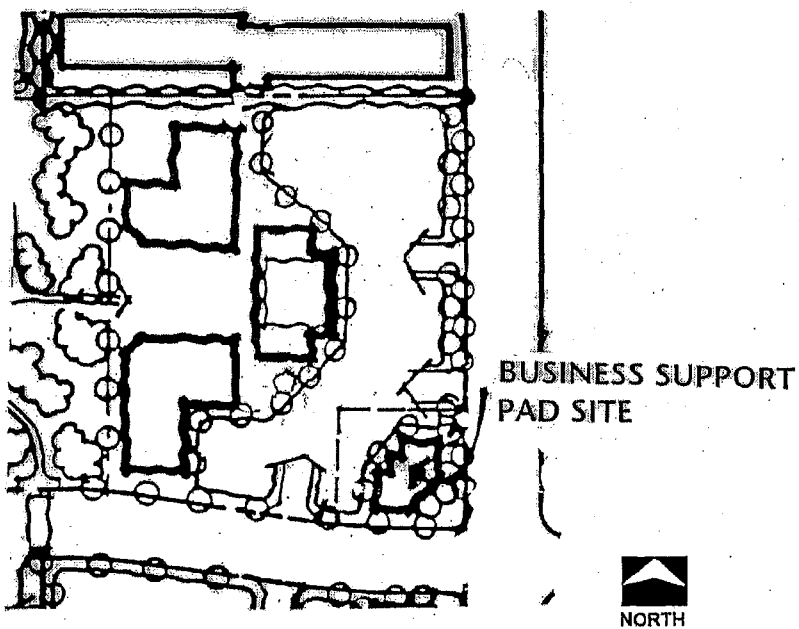
The following Examples 1, 2 and 3 represent possible "recommended" and "not recommended" site layouts for Business Support Commercial Areas within the Industrial/Business Park.



*Example 1* Represents a possible "recommended" site layout of the Business Support Commercial site between Clairemont Mesa Blvd. and the Industrial/Business Park. It is not meant to convey final layout of this area, as other viable options may be permitted



*Example 2* Represents a "not recommended" site layout of the Business Support Commercial site between Clairemont Mesa Blvd. and the Industrial/Business Park.

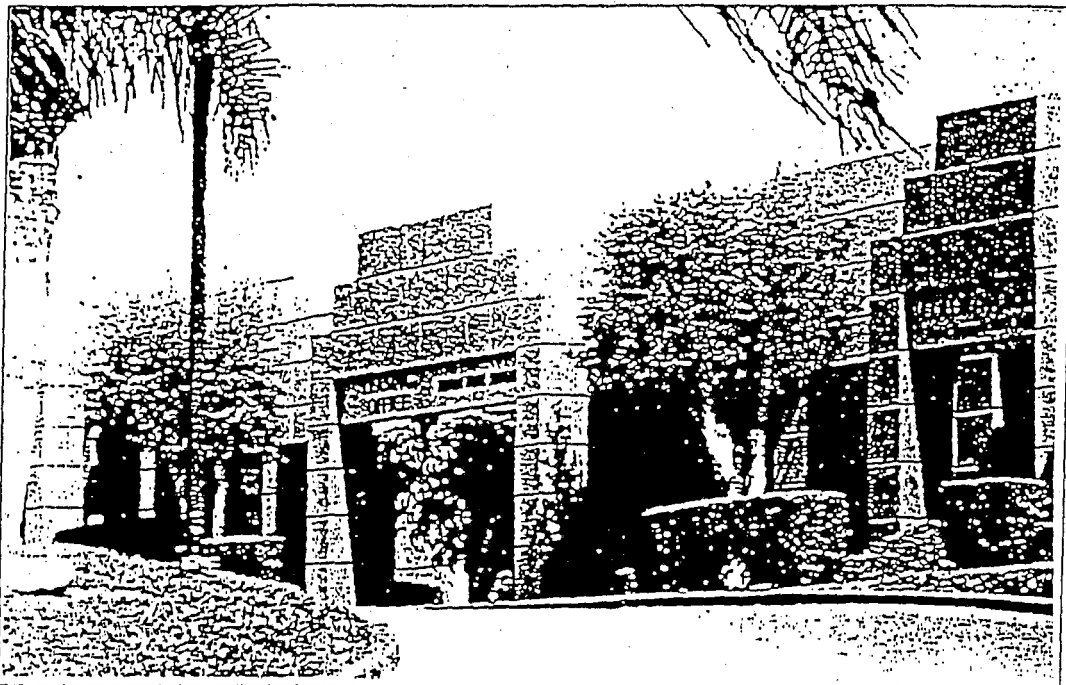


*Example 3* Represents a possible "recommended" site layout of the Business Support Commercial site between Ruffin Road and Missile Park. It is not meant to convey final layout of this area, as other viable options may be permitted

## B. ARCHITECTURAL GUIDELINES

### 1. Architectural Character

Each development within the Business Support Commercial areas should read as a single uniform development. The architectural character and detailing should provide interest throughout, especially at the pedestrian level. Structures should be low-scale and proportioned to address the street frontage. The architecture should incorporate contemporary design appropriate to the uses and scaled to blend harmoniously into the overall development. Streetscape improvements that increase interest at the street level and define pedestrian and vehicular space will also be encouraged.



*Example of possible architectural character for Business Support Commercial areas*

- *Stepped facades creating pedestrian scale and interest*
- *Continuity of materials and colors to create overall image*

### 2. Building Massing

Buildings will be massed in a way that creates visual interest, with variation in heights and stepping-of facades to form shadow-lines.

**3. Building Orientation**

Business Support Commercial uses will generally face adjacent streets or intersections. Parking areas will generally service the front of each development for convenience and ease of access.

**4. Materials**

A variety of materials may be used for building elevations including split-face concrete block (integral color or painted), plaster, wood, tile, glass block, or other materials demonstrating similar architectural character.

**5. Colors**

A wide variety of colors may be used within a complimentary palette, ranging from natural tones of white to deeper earth tones. Accent colors may be utilized to add visual depth or for highlighting purposes.

**6. Entries**

Major tenant entries within the Business Support Commercial areas would be designed with obvious architectural reference to entry points.

**7. Windows and Storefronts**

Windows, doorframes and storefronts will be of high quality and designed to integrate well with the architecture. The use of reflective glass at the window/storefront applications will be discouraged at the pedestrian level.

**8. Awnings**

Awnings will be permitted, and should be of quality design and material, compatible in color and style to the adjacent architecture.

**9. Roofs**

A wide variety of roof styles and high-quality materials may be permitted. Varying heights and shapes of roofs will be encouraged to create visual interest and serve to break-up apparent scale. Flat roofs and parapets with decorative cornices, and sloped roofs with clay tiles or metal-ribbed roofing will be permitted as will other materials that display similar architectural characteristics.



**C. LANDSCAPE ARCHITECTURAL GUIDELINES**

**1. Landscape Design Intent**

The primary function of the landscape architecture within the Business Support Commercial areas will be to mitigate views to the backs and sides of buildings as well as screen any parking and service areas that may occur between Clairemont Mesa Boulevard and the architecture. It will also direct views and where applicable, provide pedestrian access from the buildings to Missile Park.

The following general Objectives and Criteria will serve as the basis for development of landscape within the Business Support Commercial areas. Additional Objectives and Criteria as they apply to specific areas such as "Parcel Entries" must also be observed:

**OBJECTIVES:**

- Develop soft transitions from a "visually erratic" Clairemont Mesa Boulevard to the architecture within the Business Support Commercial areas.
- Where applicable, direct views towards, and provide a "pedestrian experience" to Missile Park.

**CRITERIA:**

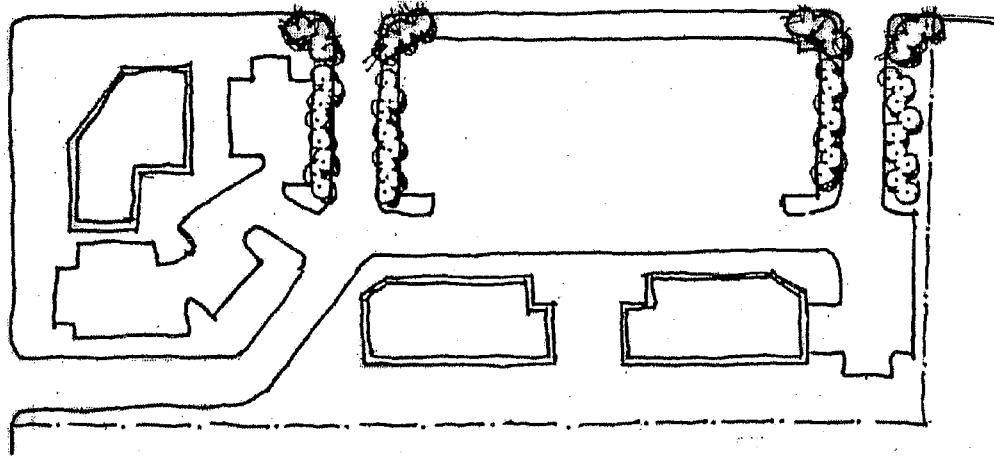
- Plant material sizing of subsequent parcel development should be reasonably compatible to existing adjacent plant material.
- Utilize broad plant masses in order to maintain a consistent landscape character and minimize visual confusion.
- No impact to vernal pool conservation bank. (Plant palette to be reviewed at implementation by LDR Environmental and Landscape staff to ensure that only non-invasive plant species are proposed.)

**2. Parcel Entries**

Parcel Entries are the areas between the public street and the parking lots. They will be treated with special landscape elements which will give individual identity to the Business Support Commercial areas.

**OBJECTIVES:**

- Clarify the visitor path from the public street to the parking areas.
- Establish a unique image for the establishment.
- Establish a sense of entry from the public street into the project.



*The above graphic is a representative example of a Business Support Commercial Parcel Entry only, and is not meant to convey final layout of this area, as other viable options may be permitted*

**CRITERIA:**

- Finish grades will meet existing grades.
- Parking will not be permitted with the Parcel Entries.
- Special groundplane treatment such as enriched paving and the use of color are encouraged.

**3. Vehicular Use Area**

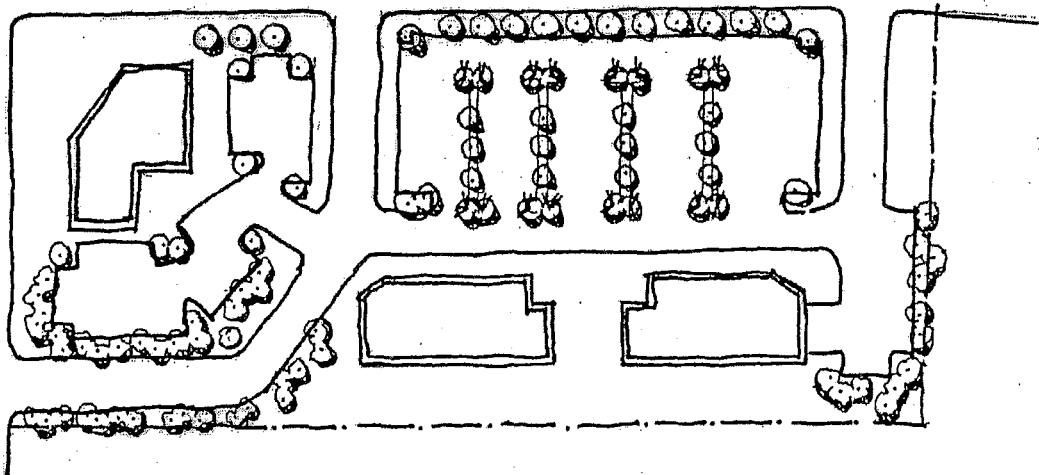
The Vehicular Use areas include parking spaces, drive aisles, parking aisles, and other associated vehicular areas on site.

**OBJECTIVES:**

- Visually reduce large paved areas with landscaping.
- Maximize distribution of landscaping.
- Create tree groves in orderly patterns.

CRITERIA:

- Grades should be designed to minimize severe warping and abrupt changes.
- Design efforts shall attempt to achieve grades between 0.5 and 2.5%.
- Aisles will be parallel with the adjacent street whenever possible.
- Parking location and layouts are to be easy and safe for pedestrian circulation.
- Tree well and planting edge curbs must be used. Wheel stops will not be permitted.



*The above graphic is a representative example of a Vehicular Use area within a Business Support Commercial area, and is not meant to convey final layout of this area, as other viable options may be permitted.*

4. Building Perimeter

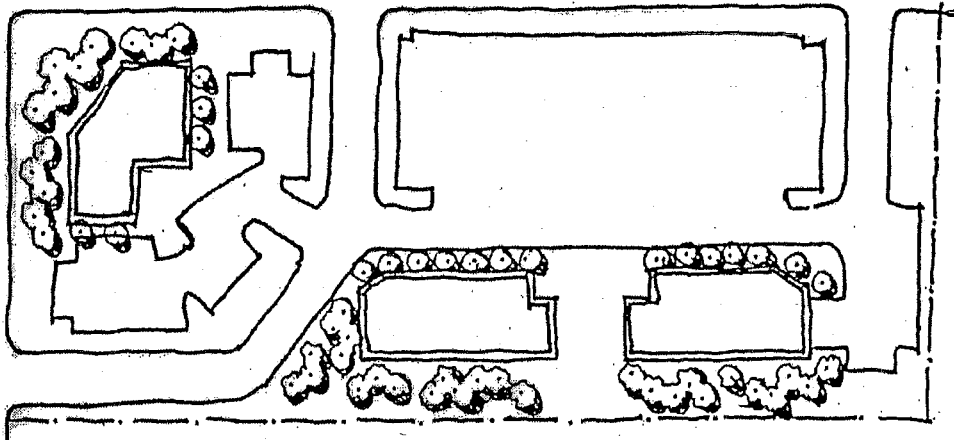
Building Perimeter landscape design will serve to mitigate views to the sides and backs of buildings and where feasible create a seamless transition to Missile Park.

**OBJECTIVES:**

- Where applicable, create a seamless transition into the Missile Park landscape theme.
- Enhance the building architecture at the ground level.

**CRITERIA:**

- Special treatment of the groundplane through the use of enriched paving and color is encouraged.
- Architectural arcades and trellises may be enhanced through the use of flowering vines such as Lavender Starflower.
- Long architectural walls may be softened through the use of vines and/or espaliers, random tree groupings, and bold massing of shrubs.



*The above graphic is a representative example of a Business Support Commercial Building Perimeter only, and is not meant to convey final layout of this area, as other viable options may be permitted*

**5. Plazas and Courtyards**

Plazas and Courtyards are to be designed as components of the surrounding development.

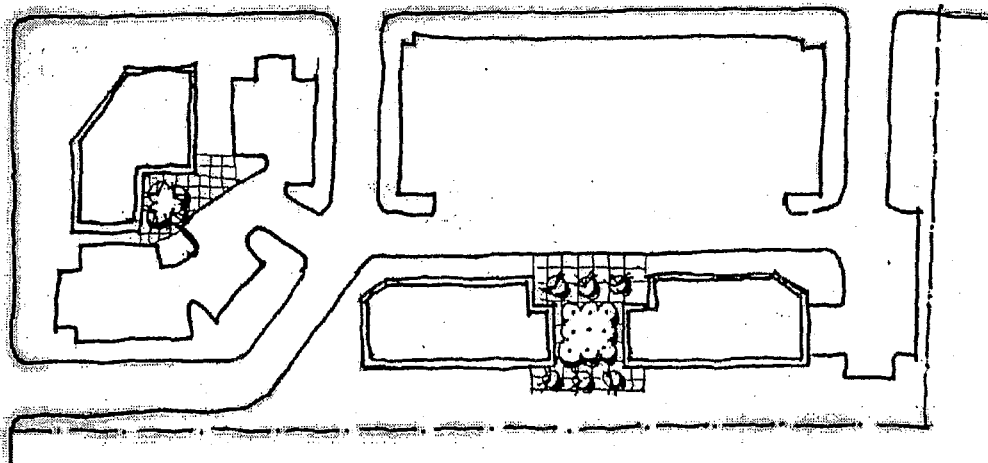
**OBJECTIVES:**

- Create a distinctive indoor/outdoor environment.

- Create a functional use area.
- Enhance the visual quality of each development.

**CRITERIA:**

- The layout, grading and landscaping will be a function of the use. Creativity in layout and materials is encouraged.



*The above graphic is a representative example of a Business Support Commercial Plaza or Courtyard only, and is not meant to convey final layout of this area, as other viable options may be permitted*

**6. Rear Yards/Side Yard Areas**

The Rear Yard and Side Yard landscape zone is the area from the property line to the parking areas or driveway. It also includes the area that lies between the property line adjacent to a street and the street wall line of a building.

**OBJECTIVES:**

- Create a consistent landscape treatment at the interface of adjacent parcels.
- Screen parking and utility structures from public view.
- Establish a buffer zone with informal planting.
- Mitigate views to sides and backs of buildings.

## CRITERIA:

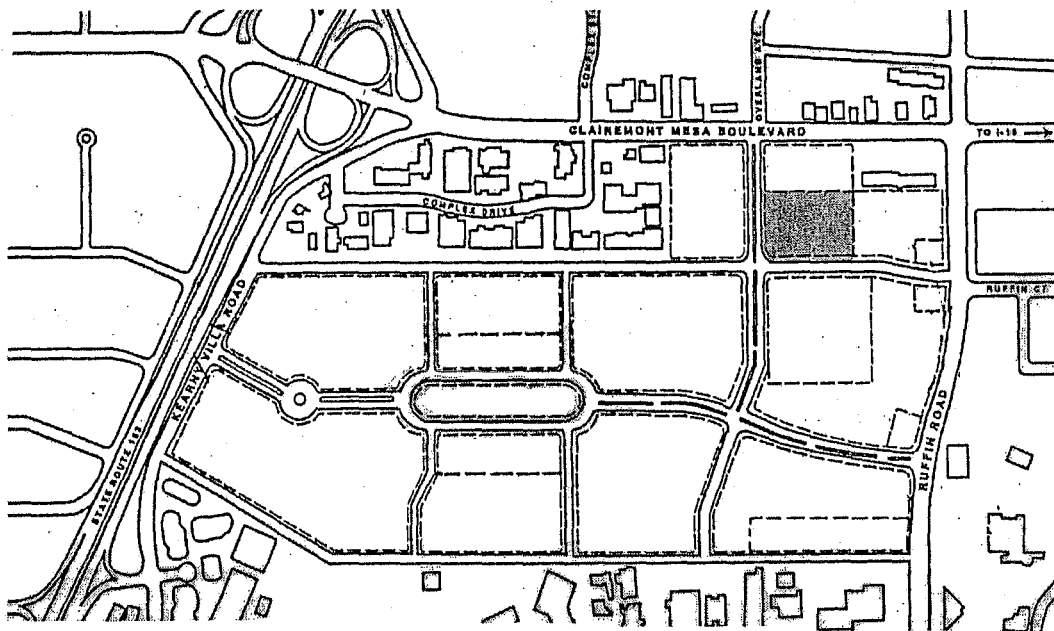
- Finish grades must meet existing grades.
- Positive surface drainage should be at least 2%.
- Berming is highly encouraged to help screen adjacent surfaces.
- For shrub planting along the sides and backs of buildings, the material must be evergreen, sized and spaced to ensure 100% screening within 2 years.

## 7. Industrial/Business Park Area Plant Palette

Plant selections for the Business Support Commercial areas within the Industrial/Business Park could include the following species. This list is not meant to be all inclusive and other plant materials may be substituted if it can be demonstrated that they can produce a similar landscape character:

FORM	FUNCTION	EXAMPLE		SIZE
<b>TREES:</b>				
Broadleaf, Flowering or Fall Color 25'-35' spread	Accent	Koelreuteria paniculata Pyrus calleryana "Bradfordii"	Golden Rain Tree Bradford Pear	36" box min.
Broadleaf 25'-40' spread	Canopy	Cupianopsis anacardioides Cinnamomum camphora	Carrotwood Camphor Tree	24" box min.
Evergreen 15'-25' spread	Screen	Pinus sp. Strelitzia nicolai	Pine Giant Bird of Paradise	24" box min.
<b>SHRUBS:</b>				
3-4' Ht Evergreen	Screen	Ligustrum texanum	Texas Privet	5 gal min.
1'-4' Ht Evergreen	Accent	Agapanthus africanus Strelitzia reginae	Lily of the Nile Bird of Paradise	1 gal min.
1'-3' Ht Evergreen	Massing	Pittosporum tobira Raphiolepis indica	N.C.N. India Hawthorne	50% 1 gal/ 50% 5 gal

## IX. PID DESIGN GUIDELINES: Missile Park



These guidelines are applicable to all landscape development within Missile Park (Planning Area 7). At the time this document was prepared, the New Century Center Design Guidelines met or exceeded the City of San Diego Standards.

### A. SITE GUIDELINES

#### 1. Missile Park Design Intent

Missile Park is located within the Industrial/Business Park. Approximately seven acres of the existing Missile Park will be retained and maintained as a privately owned park-like setting open to the public for passive use during operational hours. New development, other than hardscape/landscape or associated landscape amenities, is not planned for Missile Park.

**B. LANDSCAPE ARCHITECTURAL GUIDELINES****1. Landscape Design Intent**

Missile Park, an existing on-site park, will be partially retained and designed to be used as a tranquil oasis for New Century Center employees and visitors. Existing gazebos, picnic canopies and mature trees will be utilized, while interior walkways will be expanded and enhanced planting areas will be added. The edges of Missile Park will provide inviting access and views from adjacent parcels.

**OBJECTIVES:**

- Create a passive use park through the use of existing picnic facilities as well as new informal pathways and enhanced planting.
- Preserve existing mature trees.
- Create friendly and inviting connections to adjacent parcels.

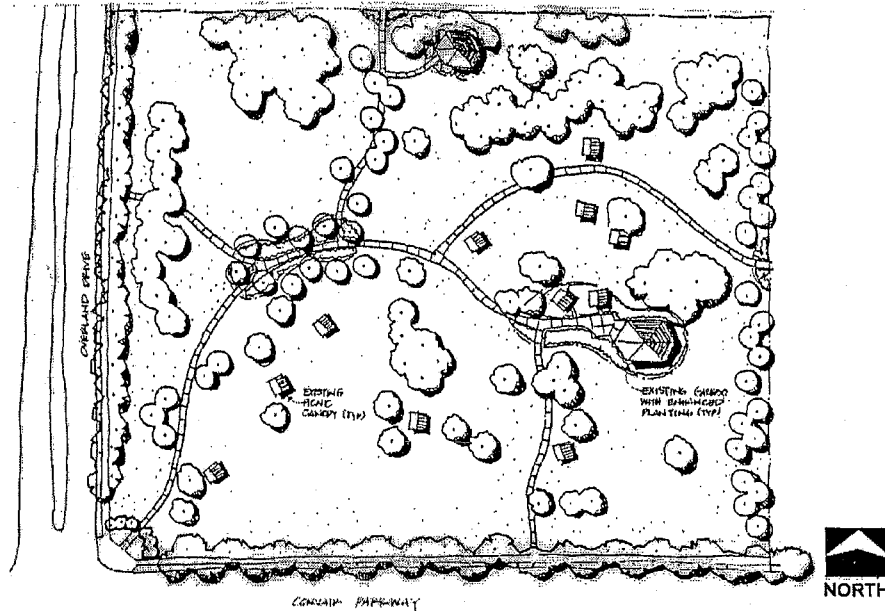
**CRITERIA:**

- Proposed plant species should be reasonably compatible with existing species.
- Finish grades must meet existing grades.
- Positive surface drainage should be at least 2%.



## 2. Landscape Concept

### Landscape Concept



The above graphic is a representative example of Missile Park only, and is not meant to convey final layout of this area, as other viable options may be permitted

## 3. Missile Park Plant Palette

Plant selections for Missile Park could include the following species. This list is not meant to be all inclusive and other plant materials may be substituted if it can be demonstrated that they can produce a similar landscape character:

FORM	FUNCTION	EXAMPLE	SIZE
<i>TREES:</i>		<i>Botanical Name</i>	<i>Common Name</i>
Broadleaf, Deciduous 25'-40' spread	Accent	Jacaranda mimosifolia	Jacaranda 36" box min.
Broadleaf 25'-40' spread	Canopy	Quercus sp. Schinus terebinthifolius	Oak Brazilian Pepper 24" box min.
<i>SHRUBS:</i>			
3-4' Ht Evergreen	Screen	Ligustrum texanum	Texas Privet 5 gal min.
1'-4' Ht Evergreen, Flowering	Accent	Agapanthus africanus Strelitzia reginae	Lily of the Nile Bird of Paradise N.C.N. 50% 1 gal/
1'-3' Ht Evergreen	Massing	Pittosporum tobira Raphiolepis indica Trachelospermum jasminoides	India Hawthorne Star Jasmine 50% 5 gal