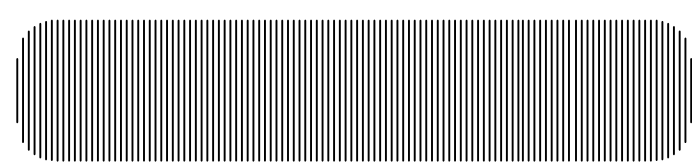




**BALBOA PARK ACTIVITY CENTER
2117 PARK BOULEVARD
SAN DIEGO, CA 92101
NAVAL HOSPITAL**

**REQUIRED INFORMATION FOR
AIRPORT AUTHORITY
CONSISTENCY DETERMINATION**

- | | |
|--|--------------|
| 1. HEIGHT OF BUILDING(S) ABOVE GRADE: | 54.11 FT. |
| 2. MAXIMUM FEET ABOVE MEAN SEA LEVEL: | 306.27 FT. |
| 3. LOT COVERAGE: | 3.4% |
| 4. TOTAL BUILDING SPACE AREA: | 52,421 SF |
| 5. AREA OF PROPERTY: | 1,504,286 SF |
| 6. FLOOR AREA RATIO (FAR): | 0.04 |
| A. PROPERTY DEED OR TITLE REPORT LISTING CURRENT OWNER OF RECORD | |
| B. ASSESSOR'S PARCEL MAP PAGE SHOWING PROPERTY | |
| C. FAA PART 77 DETERMINATION OF NO HAZARD | |



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
**BALBOA PARK
ACTIVITY CENTER
(NAVAL HOSPITAL)**
2117 PARK BOULEVARD
SAN DIEGO, CA 92101
SAN DIEGO COUNTY

DRAWING DATES

04/15/11	100% ZD (ee)
06/20/11	1A-CERT. 100% ZD (rd)
06/27/11	PLANNING REV. 100% ZD (rd)
08/17/11	PLANNING REV. 100% ZD (rd)
10/28/11	PLANNING REV. 100% ZD (rd)

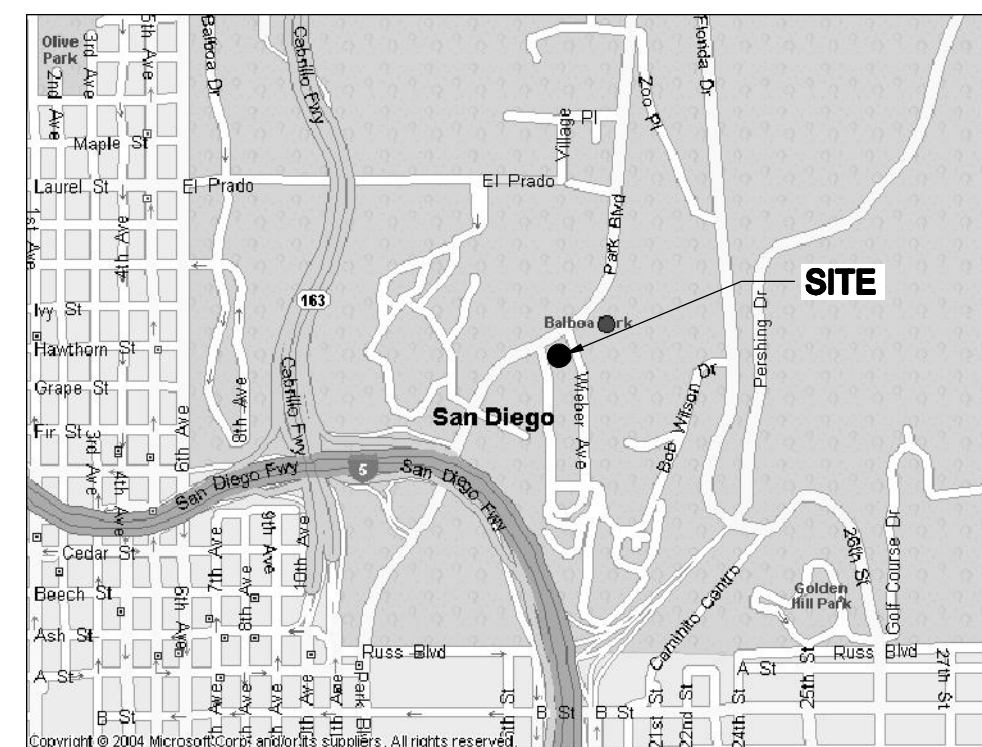
SHEET TITLE

**TITLE SHEET
&
PROJECT DATA**

PROJECTS\Verizon\11054zd

T-1

VICINITY MAP



THOMAS GUIDE PAGE 1289, C1

ADDRESS: 2117 PARK BOULEVARD
SAN DIEGO, CA 92101

COORDINATES OF ANTENNA SECTORS (NAD 83)

ALPHA: LATITUDE: 32° 43' 37.81" NORTH
BETA & LONGITUDE: 117° 08' 50.93" WEST
GAMMA

COORDINATES OF ANTENNA SECTORS (NAD 27)

ALPHA: LATITUDE: 32° 43' 37.63" NORTH
BETA & LONGITUDE: 117° 08' 47.81" WEST
GAMMA

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE:) TAKE I-5 SOUTH TO I-805 SOUTH; CONTINUE ON I-805 SOUTH TO I-163 SOUTH; CONTINUE SOUTH ON I-163 TO PARK BOULEVARD EXIT; TAKE THE PARK BOULEVARD EXIT AND TURN LEFT ON PARK BOULEVARD; CONTINUE NORTH ON PARK BOULEVARD AND FOLLOW SIGNS TO ACTIVITY CENTER.

NOTE

THE ANTENNAS ARE LOCATED MORE THAN 100 FEET FROM THE PROPERTY LINE OF THE FOLLOWING PRIMARY USES: DAY CARE, ELEMENTARY OR MIDDLE SCHOOL, OR RESIDENTIAL. THIS WILL DETERMINE THE PERMIT PROCESS LEVEL.

CONSULTANT TEAM

ARCHITECT:

BOOTH & SUAREZ ARCHITECTURE, INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

LEASING/PLANNING:

PLANCOM, INC.
BRENT HELMING
302 STATE PLACE
ESCONDIDO, CA 92029
(760) 533-6065

SURVEYOR:

FLOYD SURVEYING
11576 NORGATE CIRCLE
CORONA, CA 92880
(951) 739-7949

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: BRENT HELMING
PHONE: (760) 533-6065

OWNER: CITY OF SAN DIEGO
1200 THIRD AVENUE, SUITE 1700
SAN DIEGO, CA 92101
CONTACT: CAROL YOUNG
SUPERVISING PROPERTY AGENT
PHONE: (619) 236-6081

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATION EQUIPMENT RACKS INSIDE A NEW POUR-IN-PLACE CONCRETE EQUIPMENT BUILDING ON A CONCRETE PAD
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF 12 ANTENNAS) INSIDE A NEW 54'-1" HIGH POUR-IN-PLACE CONCRETE MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS
- INSTALLATION OF TWO (2) NEW GPS ANTENNAS
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE FROM EXISTING SDG&E ELECTRICAL TRANSFORMER
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM EXISTING TELCO ROOM AT GRADE LEVEL
- MINOR LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 2117 PARK BOULEVARD
SAN DIEGO, CA 92101

ASSESSORS PARCEL NUMBER: 534-450-11

EXISTING ZONING: UNZONED
TOTAL SITE AREA: 1,504,286 SF
34.53 ACRES

EXISTING & PROPOSED BUILDING AREA:
EXISTING BUILDING "A" AREA: 37,989 SF
EXISTING BUILDING "B" AREA: 7,725 SF
EXISTING BUILDING "C" AREA: 6,480 SF
PROPOSED VERIZON BUILDING AREA: 247 SF
PROPOSED MECH. ENCLOSURE AREA: 94 SF
TOTAL BUILDING AREA: 52,515 SF

PROPOSED PROJECT AREA: 341 SF

PROPOSED TYPE OF CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: U

NOTE: THERE ARE NO EXISTING TELECOMMUNICATIONS FACILITIES ON SITE

SHEET SCHEDULE

- | | |
|-------|------------------------------------|
| T-1 | TITLE SHEET & PROJECT DATA |
| A-0 | SITE PLAN |
| A-0.1 | WATER POLLUTION CONTROL PLANS |
| A-1 | ENLARGED SITE PLAN |
| A-2 | EQUIPMENT FLOOR PLAN |
| A-3 | EQUIPMENT ROOF PLAN & ANTENNA PLAN |
| A-4 | EXTERIOR ELEVATIONS |
| A-5 | TOWER ELEVATIONS |
| L-1 | LANDSCAPE DEVELOPMENT PLAN |
| L-2 | PLANTING LEGEND |
| LS-1 | SITE SURVEY |
| LS-2 | SITE SURVEY |
| LS-3 | SITE SURVEY |

LEGAL DESCRIPTION:

THAT PORTION OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MISCELLANEOUS MAPS THEREOF NO. 36 BY JAMES PASCOE, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, BEING A PORTION OF PUEBLO LOT 1136 AND PUEBLO LOT 1143 OF SAID PUEBLO LAND ACCORDING TO MISCELLANEOUS MAPS THEREOF NO. 35, BY CHARLES B. POOLE, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
- CALIFORNIA PLUMBING CODE, 2010 EDITION
- CALIFORNIA MECHANICAL CODE, 2010 EDITION
- CALIFORNIA ELECTRICAL CODE, 2010 EDITION
- CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

PERMITS REQUIRED

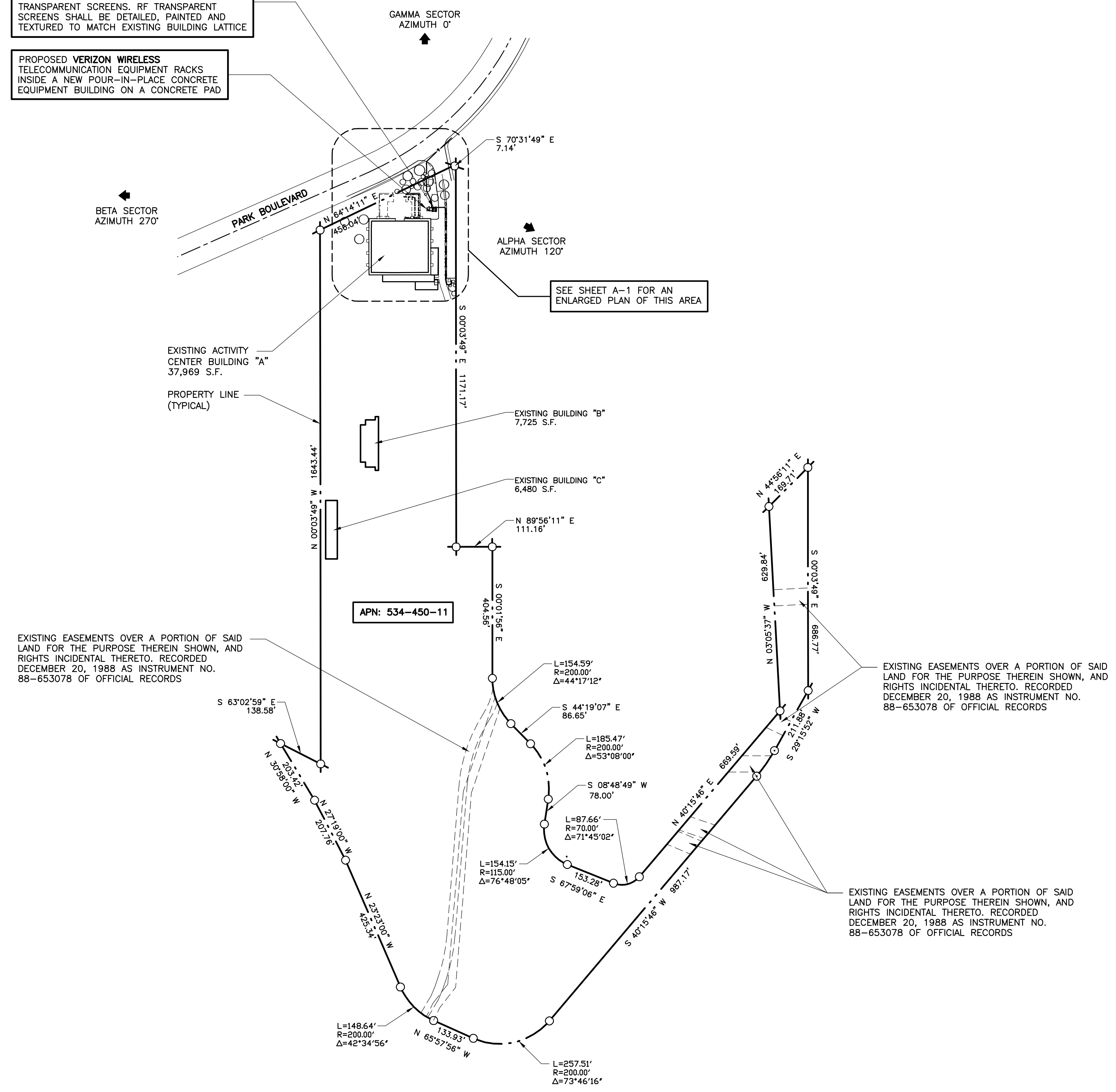
- PLANNED DEVELOPMENT PERMIT (PDP) - PROCESS 4

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE A NEW POUR-IN-PLACE CONCRETE MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS. RF TRANSPARENT SCREENS SHALL BE DETAILED, PAINTED AND TEXTURED TO MATCH EXISTING BUILDING LATTICE

PROPOSED VERIZON WIRELESS TELECOMMUNICATION EQUIPMENT RACKS INSIDE A NEW POUR-IN-PLACE CONCRETE EQUIPMENT BUILDING ON A CONCRETE PAD



SITE PLAN
 SCALE: 1" = 200'-0"
 GRAPHIC SCALE
 0 100 200 400

Lessee's Certificate
 Standard Wireless Facility Project
 for Post-construction BMP's

I/we the undersigned, as lessee of a portion of the property described as _____
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Organic Dissolving Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee Dwight Woods Company Name Verizon Wireless
 (print name)

Lessee Dwight Woods Date 1-9-2008
 (signature)

ENGINEERING NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

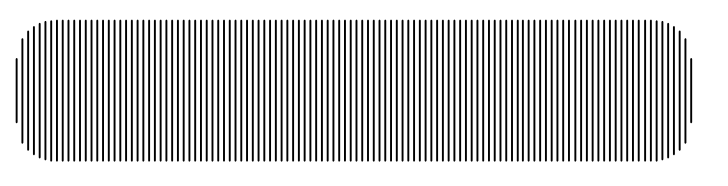
VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

CDMA EQUIPMENT:
 TX FREQUENCY: 1965-1970 MHz
 RX FREQUENCY: 1885-1890 MHz
 TX POWER: 600W

PCS EQUIPMENT:
 TX FREQUENCY: 880-894 MHz
 RX FREQUENCY: 835-848 MHz
 TX POWER: 6150W

EASEMENTS:
 EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET LS-1 FOR ADDITIONAL INFORMATION ON EASEMENTS

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A TITLE REPORT WAS NOT PROVIDED AND A BOUNDARY SURVEY WAS NOT PERFORMED



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
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EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
**BALBOA PARK
 ACTIVITY CENTER
 (NAVAL HOSPITAL)**
 2117 PARK BOULEVARD
 SAN DIEGO, CA 92101
 SAN DIEGO COUNTY

DRAWING DATES

04/15/11	100% ZD (se)
06/20/11	1A-CERT. 100% ZD (rd)
06/27/11	PLANNING REV. 100% ZD (rd)
08/17/11	PLANNING REV. 100% ZD (rd)
10/28/11	PLANNING REV. 100% ZD (rd)

SHEET TITLE

SITE PLAN

PROJECTS\Verizon\11054zd

A-0

A. Site Management Requirements

Construction is a dynamic operation where changes are expected. Storm water BMPs for construction sites are usually temporary measures that require frequent maintenance to maintain their effectiveness and may require relocation, revision and re-installation, particularly as project grading progresses. Therefore, owner/contractor self-inspections are required. They shall be performed by the owner's/contractor's Qualified Contact Person specifically trained in storm water pollution prevention site management and storm water BMPs, including the installation and maintenance of sediment and erosion control measures. Additional qualified persons may assist with the inspection activities under the direction of the Qualified Contact Person. A Qualified Contact Person is required for all sites during both wet and dry weather conditions.

There are four primary purposes of the self-inspections conducted by owners and contractors:

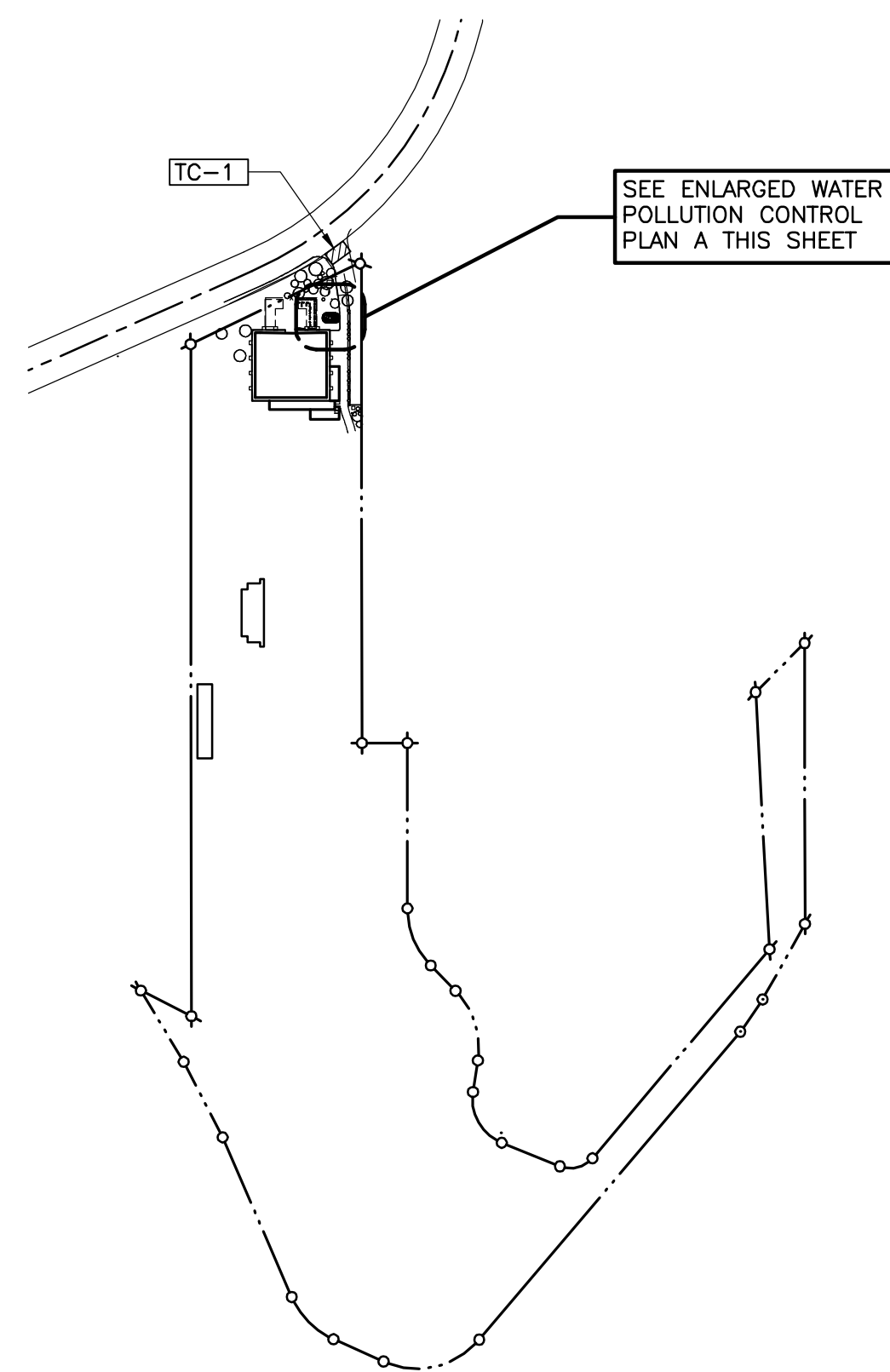
- To ensure that the owners/contractors take full responsibility for managing storm water pollution caused by their activities.
- To ensure that storm water BMPs are properly documented and implemented and are functioning effectively.
- To identify maintenance (e.g., sediment removal) and repair needs.
- To ensure that the project proponents implement their storm water management plans.

A self-inspection checklist, noting date, time, conditions and inspection date, must be kept on-site and made available for inspection, if requested (note: the State General Construction Permit has additional inspection requirements that must be met to comply with the permit). Self-inspections must be performed by a Qualified Contact Person according to the following schedule:

- Daily forecasting at all times
- At 24-hour intervals during extended rainfall events
- Daily evaluations as earth moving/grading is being conducted during the wet season
- Weekly (every 7 days) in the dry season as earth moving/grading is progressing

Storm water pollution prevention site management requirements include:

- A qualified person who is trained and competent in the use of BMPs shall be on site daily, although not necessarily full time, to evaluate the conditions of the site with respect to storm water pollution prevention. This qualified contact person shall represent the contractor/owner on storm water issues.
- The qualified person shall implement the conditions of the Storm Water Pollution Prevention Plan, contract documents and/or local ordinances with respect to erosion and sediment control and other waste management regulations.
- The qualified person is responsible for monitoring the weather and implementation of any emergency plans as needed. The weather shall be monitored on a 5-day forecast plan and a full BMP protection plan shall be activated when there is a 40% or greater chance of rain.
- The qualified person is responsible for overseeing any site grading and operations and evaluating the effectiveness of the BMPs. This person shall modify the BMPs as necessary to keep the dynamics of the site in compliance. This person or other qualified persons are responsible for checking the BMPs routinely for maintenance and documenting the BMPs being implemented.



WATER POLLUTION CONTROL PLAN

SCALE: 1" = 400'-0"
GRAPHIC SCALE



**STORM WATER QUALITY NOTES
CONSTRUCTION BMPs**

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
- SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PRIORITY: LOW

IDENTIFY POLLUTANTS FROM THE PROJECT AREA

- COMMERCIAL DEVELOPMENT:
- SEDIMENT - POTENTIAL
 - NUTRIENTS - POTENTIAL
 - ORGANIC COMPOUNDS - N/A
 - TRASH & DEBRIS - ANTICIPATED
 - OXYGEN DEMANDING SUBSTANCES - ANTICIPATED
 - BACTERIA & VIRUSES - N/A
 - PESTICIDES - POTENTIAL

STANDARD LID BMPs:

- MINIMIZE IMPERVIOUS FOOTPRINT
- MINIMIZE SOIL COMPACTION IN LANDSCAPE AREA
- SOIL AMENDMENT

SOURCE CONTROL BMPs:

- USE EFFICIENT IRRIGATION SYSTEM

CONSTRUCTION STORMWATER BMPs:

DIRECTION OF LOT DRAINAGE → →

- SS-7 EROSION CONTROL BLANKET

- SS-6 MULCH, STRAW, WOOD CHIPS

- SC-5 FIBER ROLLS -FR-FR-

- TC-1 STABILIZED CONSTRUCTION ENTRANCE

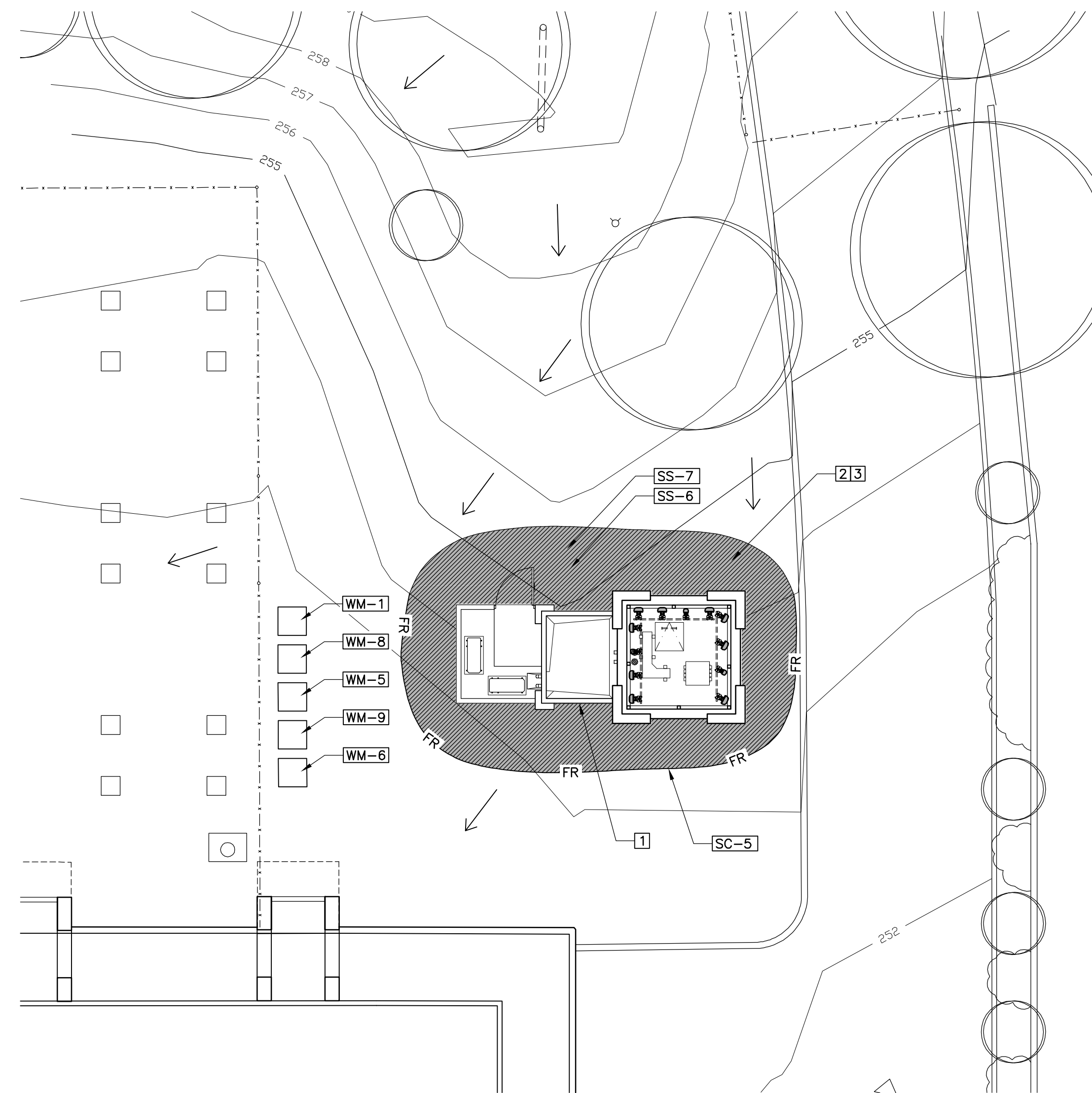
- WM-1 MATERIAL DELIVERY & STORAGE

- WM-8 CONCRETE WASTE MANAGEMENT

- WM-5 SOLID WASTE MANAGEMENT

- WM-9 SANITARY WASTE MANAGEMENT

- WM-6 HAZARDOUS WASTE MANAGEMENT



ENLARGED WATER POLLUTION CONTROL PLAN A

SCALE: 1" = 10'-0"
GRAPHIC SCALE



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
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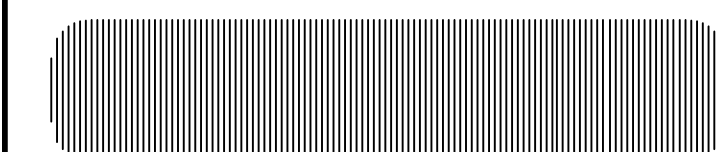
04/15/11	100% ZD (ee)
06/20/11	1A-CERT. 100% ZD (rd)
06/27/11	PLANNING REV. 100% ZD (rd)
08/17/11	PLANNING REV. 100% ZD (rd)
10/28/11	PLANNING REV. 100% ZD (rol)

SHEET TITLE

WATER POLLUTION CONTROL PLANS

PROJECTS\Verizon\11054zd

A-0.1



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10/28/11	PLANNING REV. 100% ZD (rai)

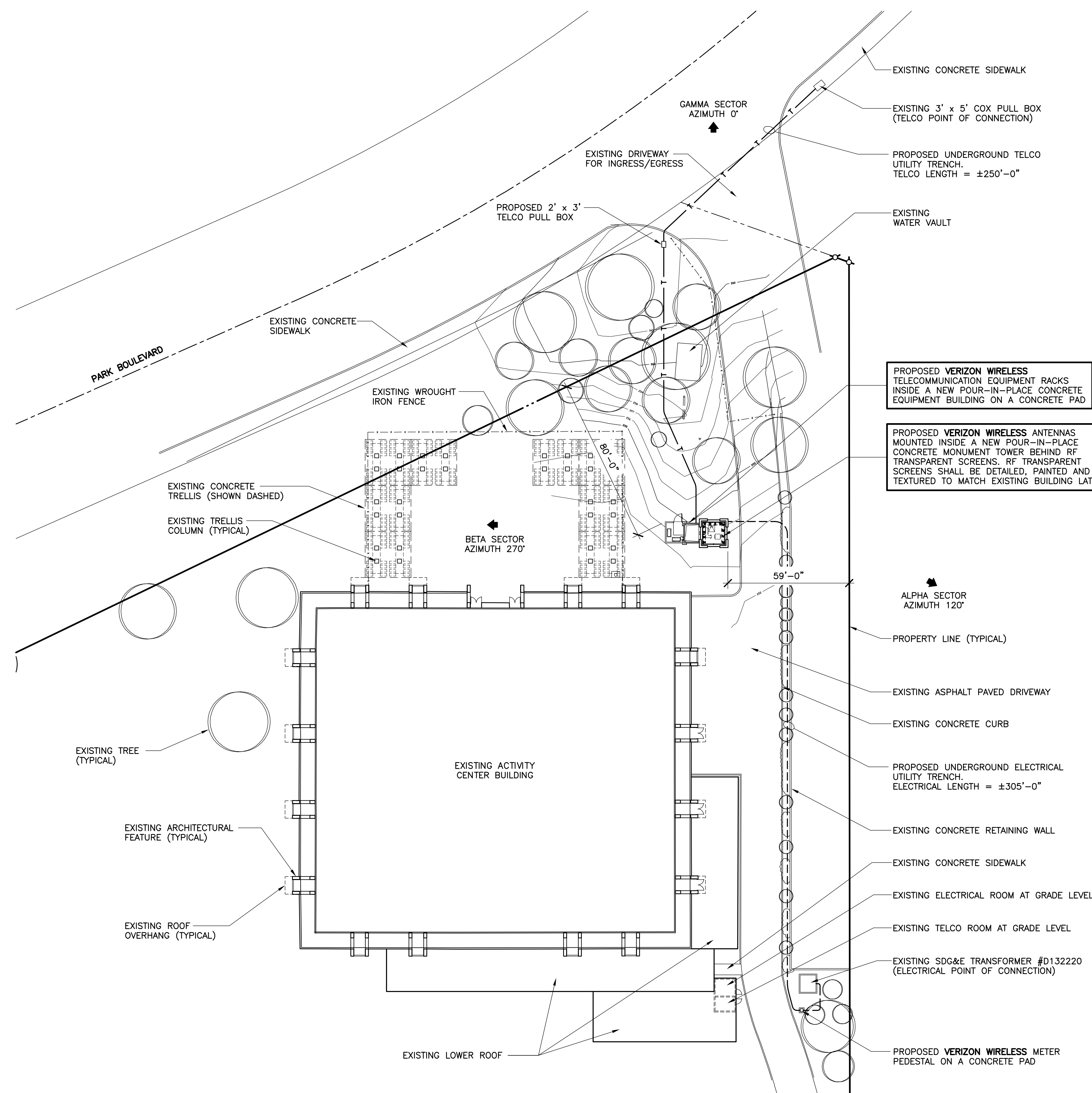
SHEET TITLE

ENLARGED SITE PLAN

PROJECTS\Verizon\11054zd

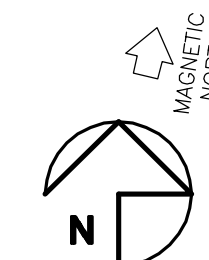
A-1

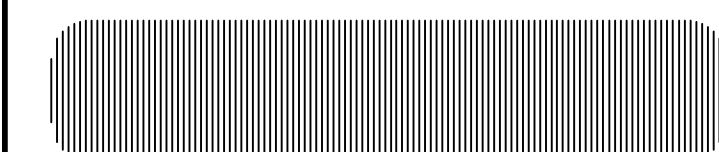
VOLUME OF CUT/FILL:
 VOLUME OF CUT = 20 CUYD.
 MAX CUT SLOPE RATIO: 0
 MAX HEIGHT: 0 FT.
 VOLUME OF FILL = 0 CUYD.
 MAX FILL SLOPE RATIO: 0
 MAX HEIGHT: 0 FT.



ENLARGED SITE PLAN

SCALE: 1" = 30'-0"
 GRAPHIC SCALE
 0' 6' 12'
 3' 9' 15' 30' 60'





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10/28/11	PLANNING REV. 100% ZD (rol)

SHEET TITLE

EQUIPMENT FLOOR PLAN

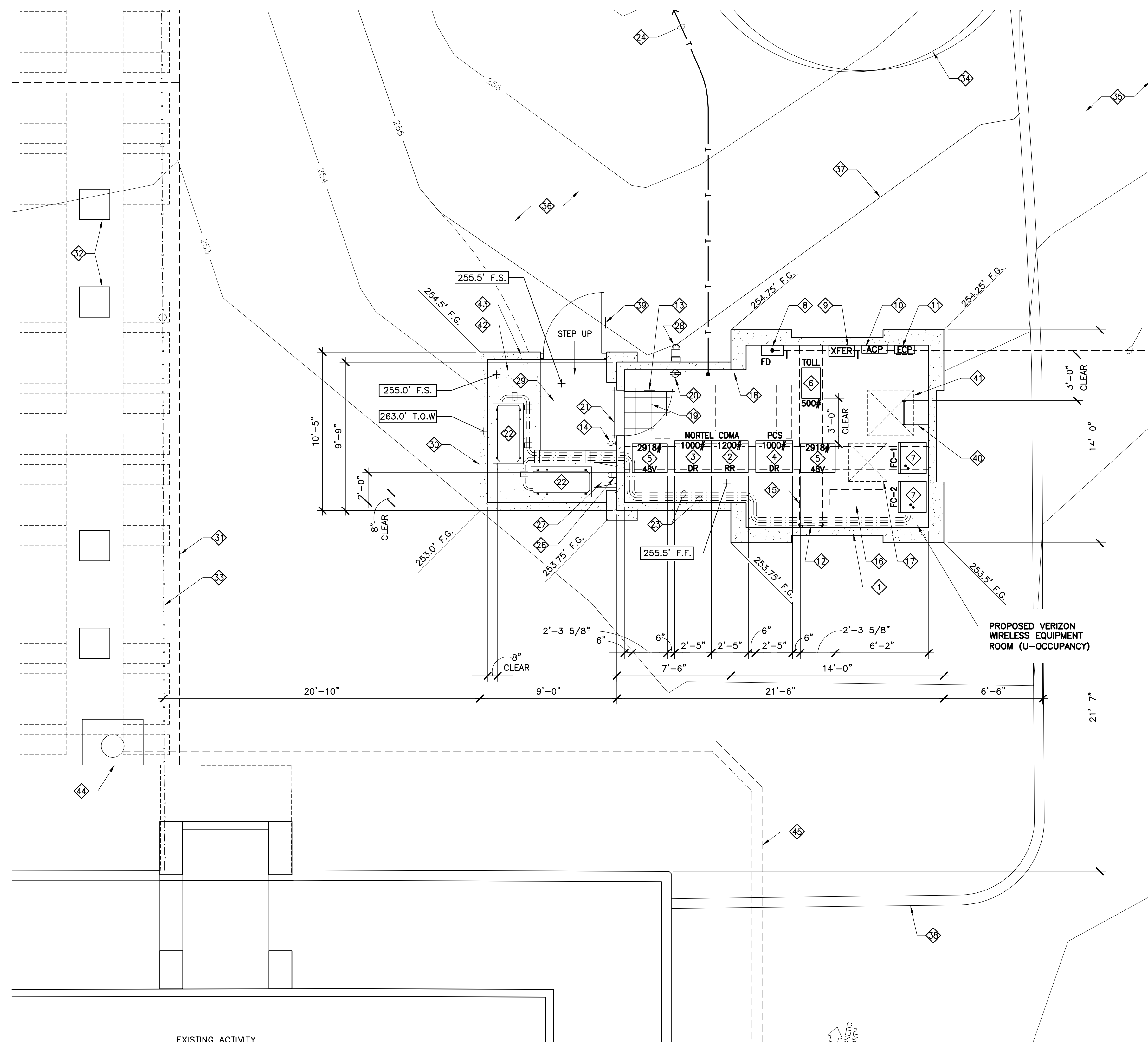
PROJECTS\Verizon\11054zd

A-2

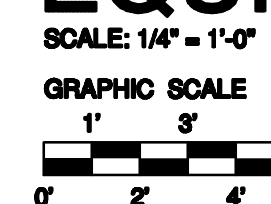
EQUIPMENT FLOOR PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW POUR-IN-PLACE CONCRETE EQUIPMENT BUILDING ON A CONCRETE PAD
- 2. PROPOSED VERIZON WIRELESS NORTEL CDMA EQUIPMENT RADIO RACK (RR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1200 LBS.
- 3. PROPOSED VERIZON WIRELESS NORTEL CDMA EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 4. PROPOSED VERIZON WIRELESS PCS EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 5. PROPOSED VERIZON WIRELESS BATTERY RACK 27-5/8" WIDE x 57" HIGH x 22-1/2" DEEP. WEIGHT: 2918 LBS.
- 6. PROPOSED VERIZON WIRELESS TOLL RACK 24" WIDE x 57" HIGH x 15" DEEP. WEIGHT: 500 LBS.
- 7. PROPOSED AIR HANDLERS
- 8. PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9. PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 10. PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 11. PROPOSED ENVIRONMENTAL CONTROL PANEL MOUNTED TO WALL
- 12. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 13. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 14. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 15. PROPOSED OVERHEAD 18" CABLE LADDER @ +7'-6" (SHOWN DASHED)
- 16. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 4)
- 17. PROPOSED COAX CABLE PENETRATION TO CABLE CHASE ABOVE (SHOWN DASHED)
- 18. PROPOSED WALL MOUNTED TELCO BOARD
- 19. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES. EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 20. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 21. PROPOSED ALUMINUM THRESHOLD
- 22. PROPOSED MECHANICAL UNITS ON A CONCRETE PAD (TYPICAL OF 2) (SHOWN DASHED)
- 23. PROPOSED CONDENSATE DRAIN LINE ROUTING
- 24. PROPOSED TELCO CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 25. PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 26. PROPOSED DOWNSPOUT
- 27. PROPOSED SPLASH BLOCK
- 28. PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 29. PROPOSED CONCRETE LANDING
- 30. PROPOSED CONCRETE MECHANICAL EQUIPMENT ENCLOSURE WALL
- 31. EXISTING CONCRETE TRELIS (SHOWN DASHED)
- 32. EXISTING CONCRETE COLUMNS (TYPICAL)
- 33. EXISTING WROUGHT IRON FENCE
- 34. EXISTING TREE TO REMAIN (TYPICAL)
- 35. EXISTING ASPHALT PAVED DRIVEWAY
- 36. EXISTING LANDSCAPE AREA
- 37. EXISTING TOPO LINES AT 1'-0" INTERVALS
- 38. EXISTING CONCRETE CURB
- 39. PROPOSED SOLID STEEL GATE & FRAME WITH VERIZON WIRELESS SIGNAGE
- 40. PROPOSED ACCESS LADDER TO ANTENNA ROOM ABOVE
- 41. PROPOSED TOWER ACCESS HATCH (SHOWN DASHED)
- 42. INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE EQUIPMENT COMPOUND
- 43. PROPOSED CONCRETE CURB
- 44. EXISTING STORM DRAIN
- 45. EXISTING STORM DRAIN ROUTE (SHOWN DASHED)

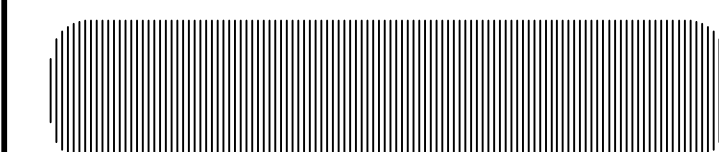
NOTE: PROPOSED LANDSCAPE SHRUBS NOT SHOWN FOR CLARITY. SEE LANDSCAPE DEVELOPMENT PLAN SHEET L-1



EQUIPMENT FLOOR PLAN



EXISTING ACTIVITY CENTER BUILDING



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
**BALBOA PARK
ACTIVITY CENTER
(NAVAL HOSPITAL)**
2117 PARK BOULEVARD
SAN DIEGO, CA 92101
SAN DIEGO COUNTY

DRAWING DATES

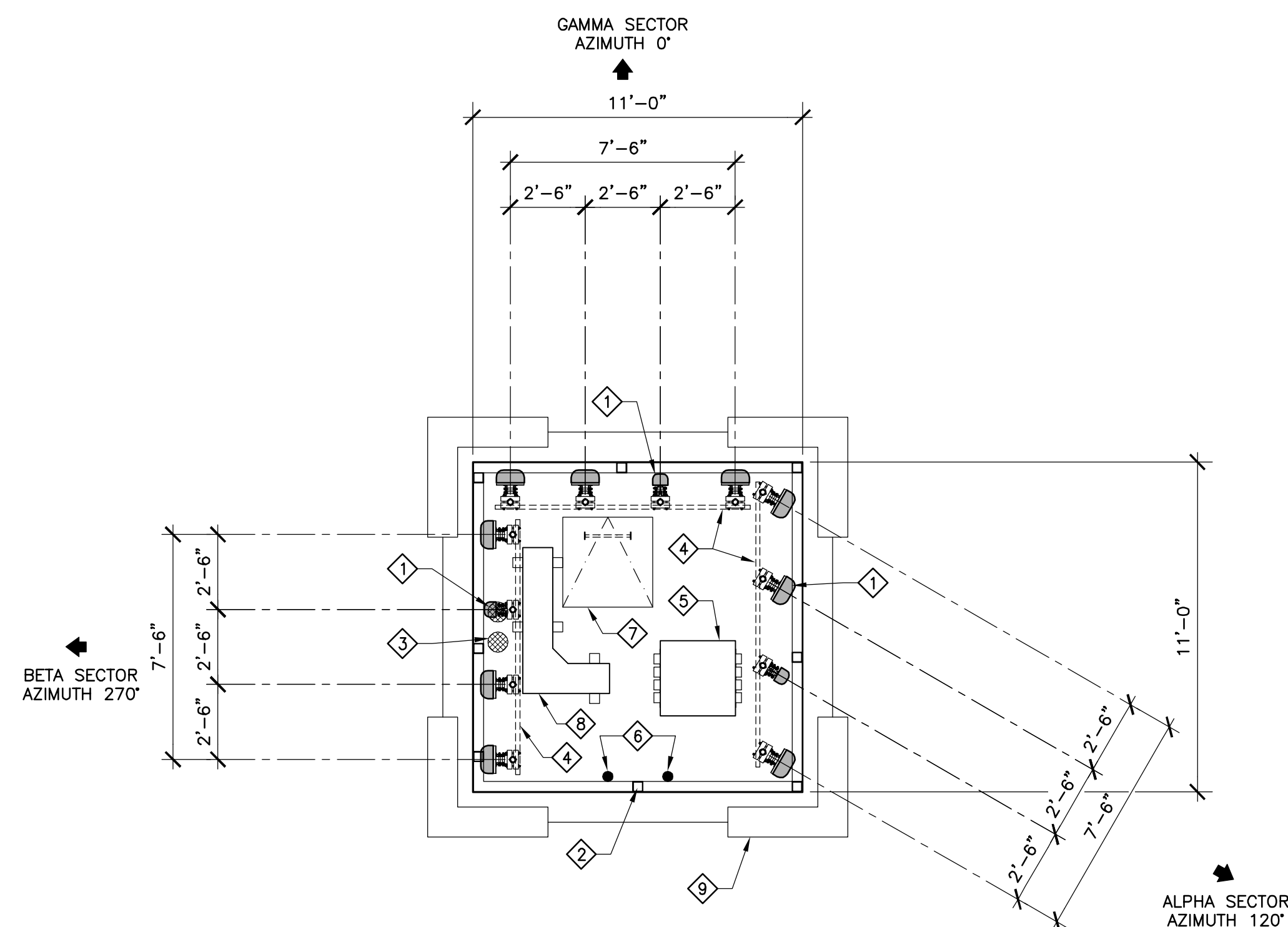
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06/20/11	1A-CERT. 100% ZD (rd)
06/27/11	PLANNING REV. 100% ZD (rd)
08/17/11	PLANNING REV. 100% ZD (rd)
10/28/11	PLANNING REV. 100% ZD (rd)

SHEET TITLE

**EQUIPMENT ROOF PLAN
&
ANTENNA PLAN**

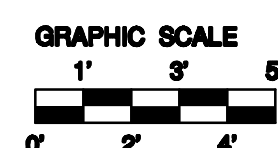
PROJECTS\Verizon\11054zd

ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	DOWNTILT	SKW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX SIZE
ALPHA1	SOUTHEAST	120°	AMPHENOL ANTEL: BXA-70063/4CF_5	0°	N/A		8	70'-0"	6'-0"	7/8"
ALPHA2			AMPHENOL ANTEL: BXA-80063/4CF_5							
ALPHA3			AMPHENOL ANTEL: BXA-171063/8CF_2							
ALPHA4			AMPHENOL ANTEL: BXA-70063/4CF_5							
BETA1	WEST	270°	AMPHENOL ANTEL: BXA-70063/4CF_5	0°	N/A		8	70'-0"	6'-0"	7/8"
BETA2			AMPHENOL ANTEL: BXA-80063/4CF_5							
BETA3			AMPHENOL ANTEL: BXA-171063/8CF_2							
BETA4			AMPHENOL ANTEL: BXA-70063/4CF_5							
GAMMA1	NORTH	0°	AMPHENOL ANTEL: BXA-70063/4CF_5	0°	N/A		8	70'-0"	6'-0"	7/8"
GAMMA2			AMPHENOL ANTEL: BXA-80063/4CF_5							
GAMMA3			AMPHENOL ANTEL: BXA-171063/8CF_2							
GAMMA4			AMPHENOL ANTEL: BXA-70063/4CF_5							



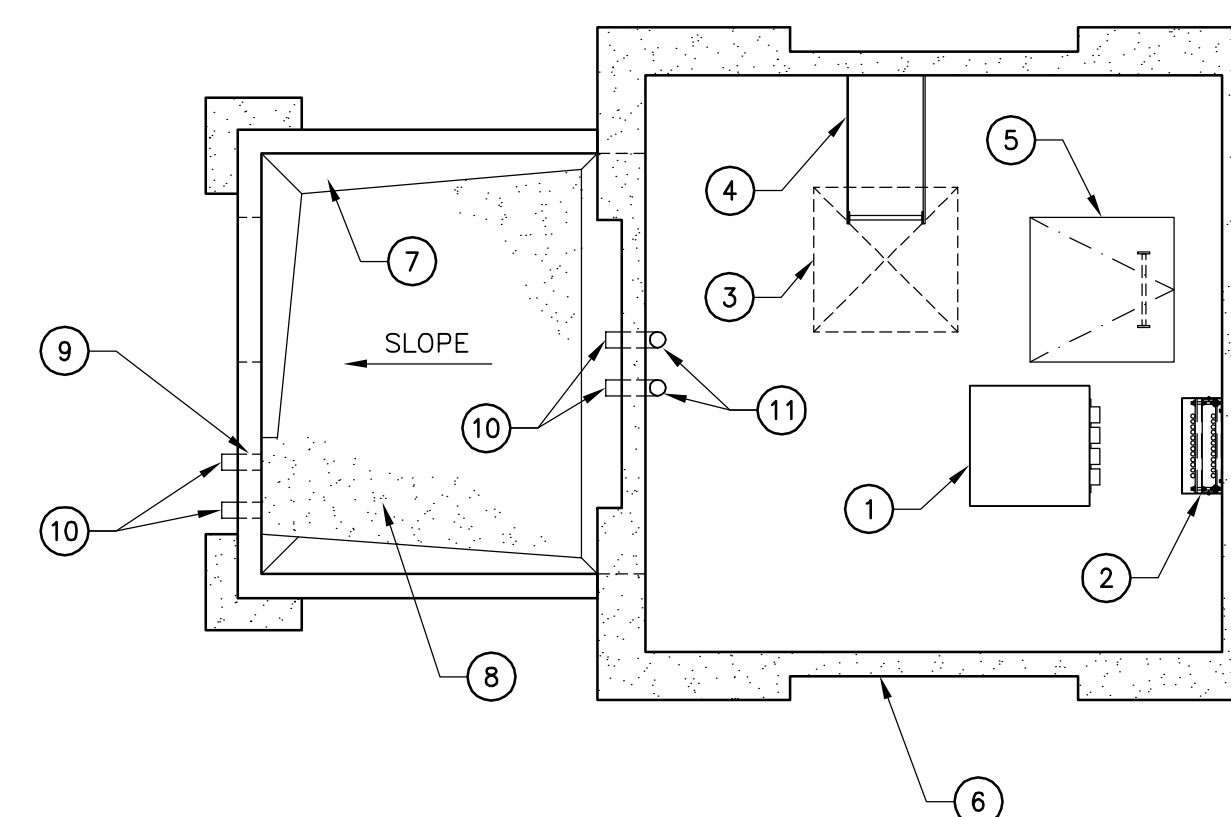
ANTENNA PLAN

SCALE: 1/4" = 1'-0"



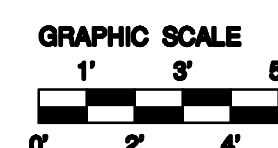
ANTENNA PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE PROPOSED MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS.
- 2 PROPOSED RF TRANSPARENT SCREEN & FRAMING
- 3 PROPOSED FLOOR DRAIN
- 4 PROPOSED UNISTRUT
- 5 PROPOSED COAX CABLE HATCH
- 6 PROPOSED (2) E/911 GPS ANTENNAS TO BE MOUNTED TO RF TRANSPARENT SCREEN FRAMING
- 7 PROPOSED TOWER ACCESS HATCH
- 8 PROPOSED COAX CABLE TRAY ON PVC SLEEPERS
- 9 PROPOSED TOWER WALL BELOW



EQUIPMENT ROOF PLAN

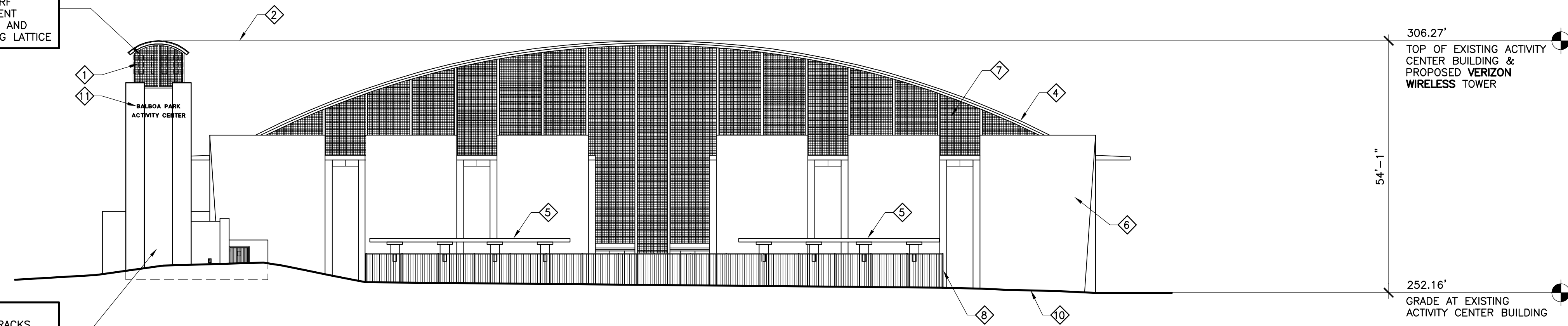
SCALE: 1/4" = 1'-0"



ROOF PLAN NOTES:

- 1 PROPOSED COAX CABLE HATCH
- 2 PROPOSED COAX CABLE CHASE
- 3 PROPOSED TOWER ACCESS OPENING ABOVE (SHOWN DASHED)
- 4 PROPOSED ACCESS LADDER
- 5 PROPOSED TOWER ACCESS HATCH
- 6 PROPOSED TOWER WALL
- 7 PROPOSED ROOF CRICKET
- 8 PROPOSED BUILT-UP ROOFING
- 9 PROPOSED SCUPPER
- 10 PROPOSED DOWNSPOUTS
- 11 PROPOSED DRAINS FROM ABOVE

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE A NEW POUR-IN-PLACE CONCRETE MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS. RF TRANSPARENT SCREENS SHALL BE DETAILED, PAINTED AND TEXTURED TO MATCH EXISTING BUILDING LATTICE.



PROPOSED VERIZON WIRELESS TELECOMMUNICATION EQUIPMENT RACKS INSIDE A NEW POUR-IN-PLACE CONCRETE EQUIPMENT BUILDING ON A CONCRETE PAD

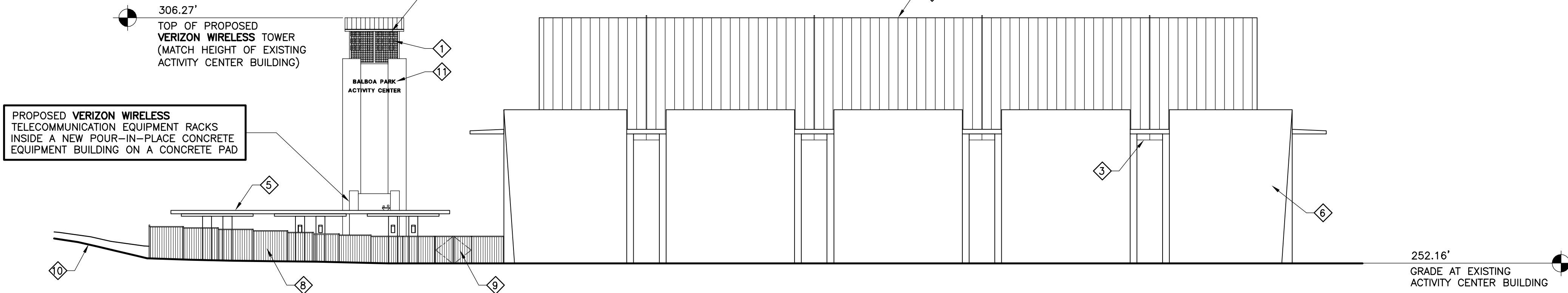
NORTH ELEVATION

SCALE: 1/16" = 1'-0"
 GRAPHIC SCALE
 2' 6' 10'
 0' 4' 8' 20'

EXTERIOR ELEVATION NOTES:

- 1 PROPOSED VERIZON WIRELESS ANTENNAS
- 2 TOP OF PROPOSED VERIZON WIRELESS TOWER
- 3 EXISTING WINDOW
- 4 EXISTING METAL ROOF
- 5 EXISTING CONCRETE TRELLIS
- 6 EXISTING CONCRETE PANEL WALLS
- 7 EXISTING LATTICE PANELS
- 8 EXISTING WROUGHT IRON FENCE
- 9 EXISTING WROUGHT IRON GATES
- 10 EXISTING GRADE
- 11 PROPOSED "BALBOA PARK ACTIVITY CENTER" SIGNAGE ON ALL FOUR FACES OF TOWER. SIGNAGE LETTERING TO MATCH EXISTING

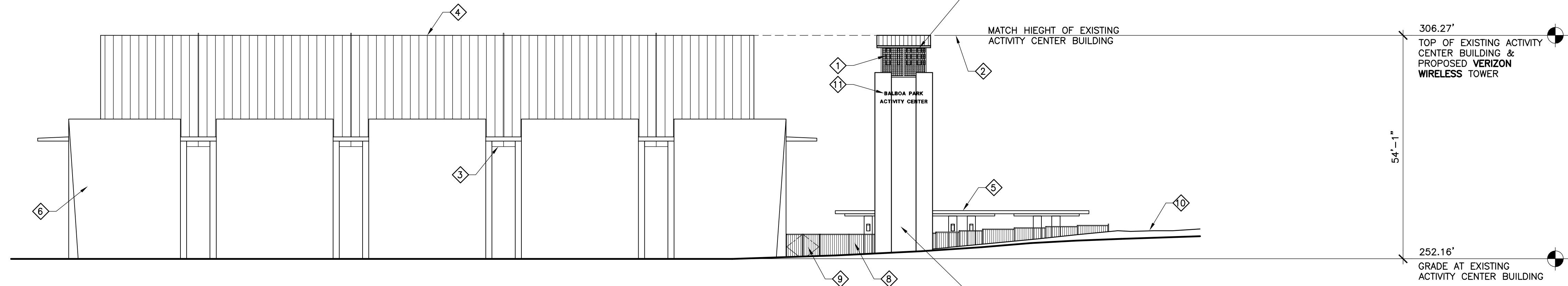
PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE A NEW POUR-IN-PLACE CONCRETE MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS. RF TRANSPARENT SCREENS SHALL BE DETAILED, PAINTED AND TEXTURED TO MATCH EXISTING BUILDING LATTICE.



WEST ELEVATION

SCALE: 1/16" = 1'-0"
 GRAPHIC SCALE
 2' 6' 10'
 0' 4' 8' 20'

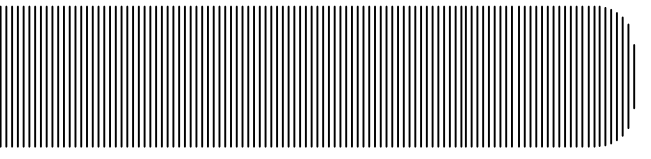
PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE A NEW POUR-IN-PLACE CONCRETE MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS. RF TRANSPARENT SCREENS SHALL BE DETAILED, PAINTED AND TEXTURED TO MATCH EXISTING BUILDING LATTICE.



EAST ELEVATION

SCALE: 1/16" = 1'-0"
 GRAPHIC SCALE
 2' 6' 10'
 0' 4' 8' 20'

PROPOSED VERIZON WIRELESS TELECOMMUNICATION EQUIPMENT RACKS INSIDE A NEW POUR-IN-PLACE CONCRETE EQUIPMENT BUILDING ON A CONCRETE PAD



PREPARED FOR
verizonwireless

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

APPROVALS

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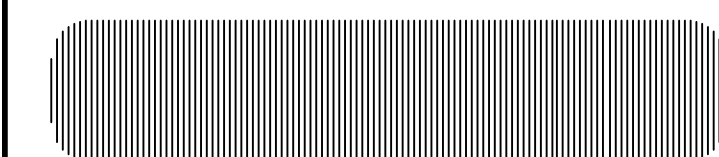
PROJECT NAME
BALBOA PARK ACTIVITY CENTER (NAVAL HOSPITAL)
 2117 PARK BOULEVARD
 SAN DIEGO, CA 92101
 SAN DIEGO COUNTY

DRAWING DATES

04/15/11	100% ZD (ee)
06/20/11	1A-CERT. 100% ZD (rd)
06/27/11	PLANNING REV. 100% ZD (rd)
08/17/11	PLANNING REV. 100% ZD (rd)
10/28/11	PLANNING REV. 100% ZD (rat)

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\Verizon\11054zd



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(949) 222-7000

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10/28/11	PLANNING REV. 100% ZD (rat)

SHEET TITLE

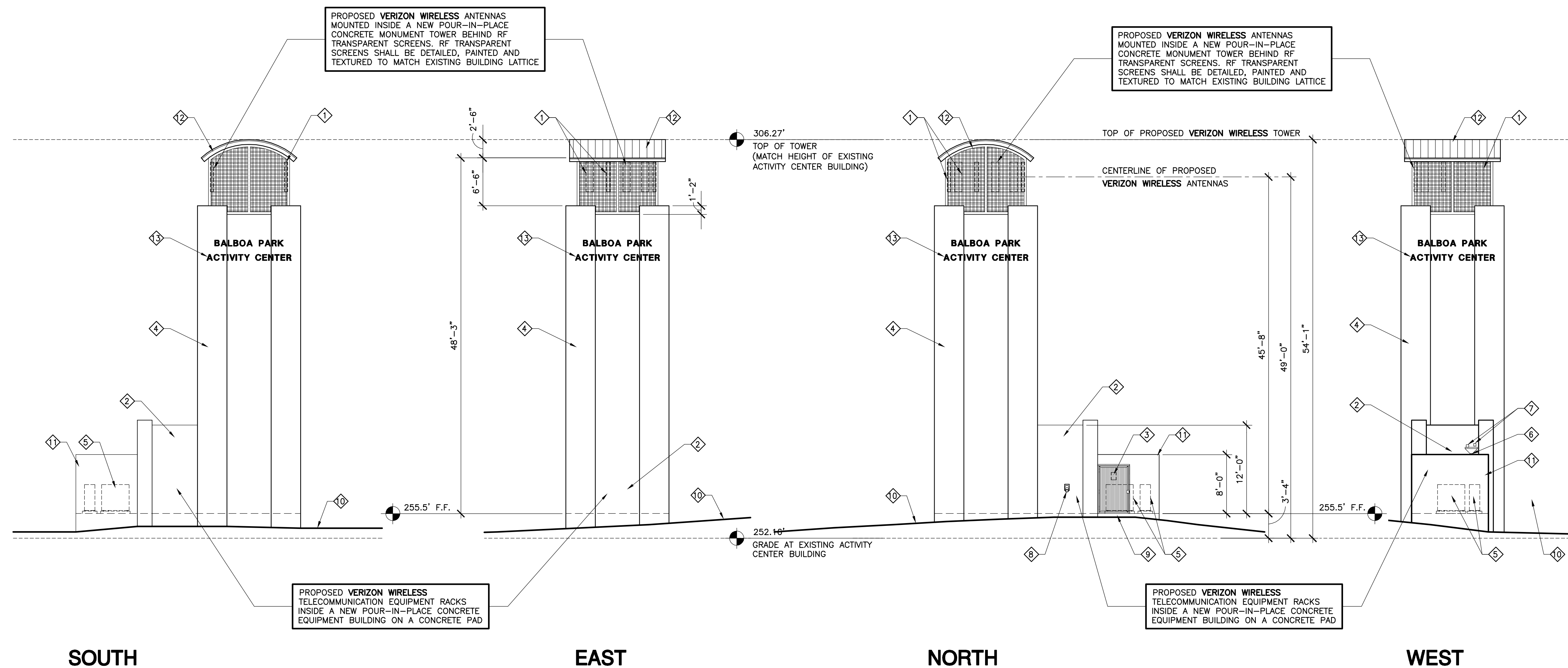
TOWER ELEVATIONS

PROJECTS\Verizon\11054zd

A-5

TOWER ELEVATION NOTES:

- 1 PROPOSED VERIZON WIRELESS ANTENNAS
- 2 PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW POUR-IN-PLACE CONCRETE EQUIPMENT BUILDING ON A CONCRETE PAD
- 3 PROPOSED 4'-0" WIDE SOLID STEEL GATE AND FRAME WITH VERIZON WIRELESS SIGNAGE
- 4 PROPOSED CAST-IN-PLACE CONCRETE. PAINTED TO MATCH EXISTING ACTIVITY CENTER BUILDING
- 5 PROPOSED MECHANICAL UNITS ON A CONCRETE PAD (TYPICAL OF 2) (SHOWN DASHED)
- 6 PROPOSED DOWNSPOUT
- 7 PROPOSED ROOF DRAIN AND OVERFLOW SCUPPER
- 8 PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 9 PROPOSED CONCRETE CURB
- 10 EXISTING GRADE
- 11 PROPOSED CONCRETE MECHANICAL EQUIPMENT ENCLOSURE WALL
- 12 PROPOSED METAL ROOF
- 13 PROPOSED "BALBOA PARK ACTIVITY CENTER" SIGNAGE ON ALL FOUR FACES OF TOWER. SIGNAGE LETTERING TO MATCH EXISTING



SOUTH

EAST

NORTH

WEST

TOWER ELEVATIONS

SCALE: 1/8" = 1'-0"
GRAPHIC SCALE
0' 2' 4' 10'

PLANTING NOTES

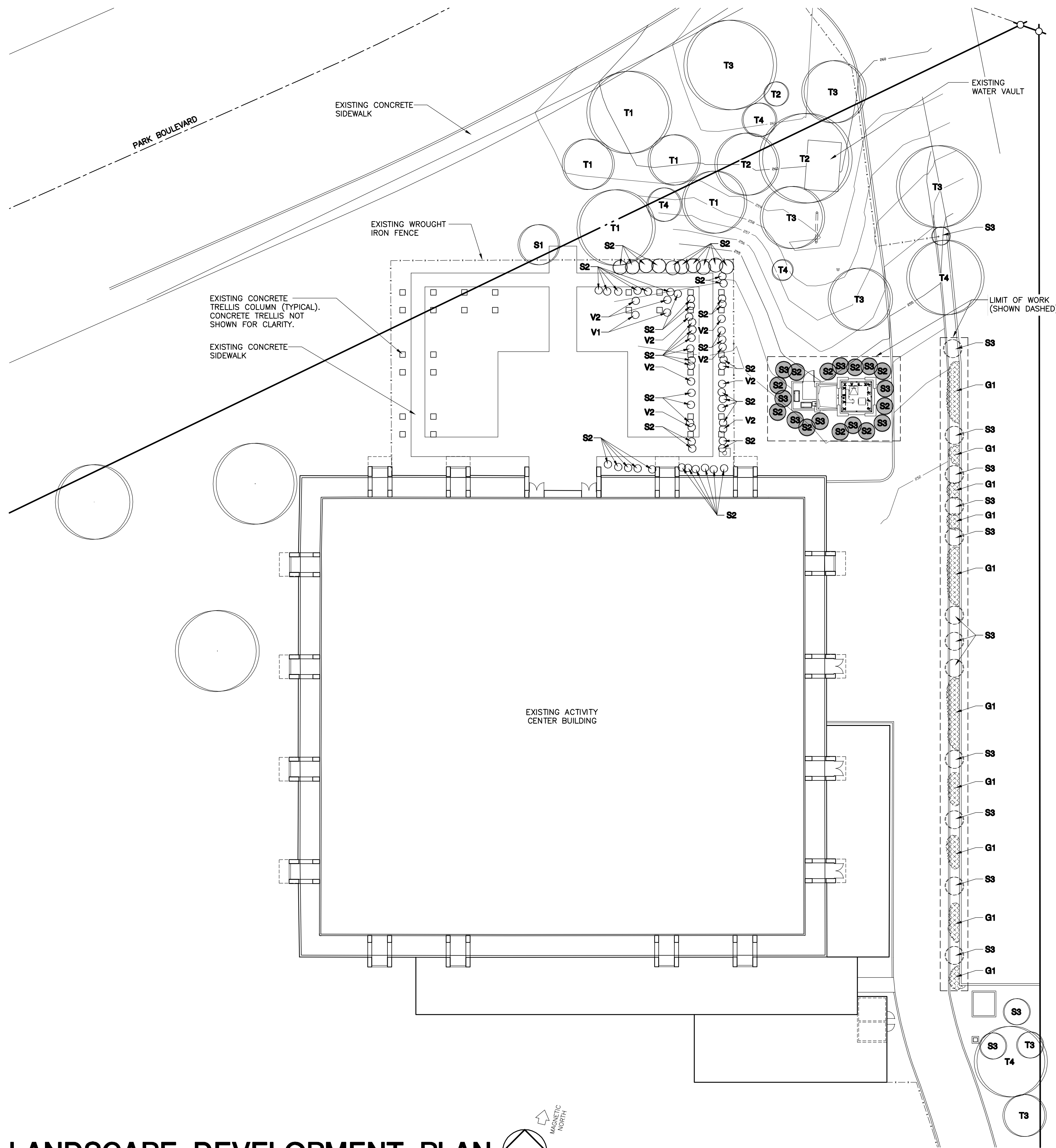
1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET
UNDERGROUND UTILITY LINES - 5 FEET DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.

A LANDSCAPE MAINTENANCE AGREEMENT MAY BE REQUIRED FOR THE AREAS WITHIN THE RIGHT-OF-WAY AND ANY LARGE REVEGETATED AREAS VISIBLE TO THE PUBLIC UNTIL SUCH TIME AS AN APPROVED ENTITY CAN ASSUME MAINTENANCE RESPONSIBILITIES.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

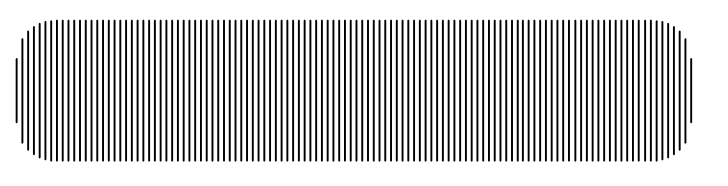
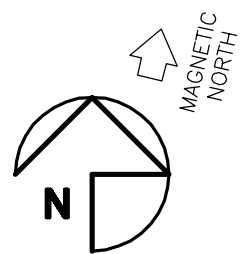
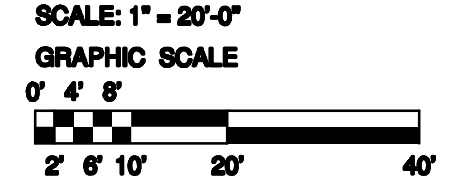
WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS
11. PROVIDE MINOR MODIFICATIONS TO EXISTING IRRIGATION SYSTEM AS REQUIRED.

NOTE:
1. SEE SHEET L-2 FOR PLANTING LEGEND



LANDSCAPE DEVELOPMENT PLAN



PREPARED FOR
verizon wireless
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(949) 222-7000

APPROVALS

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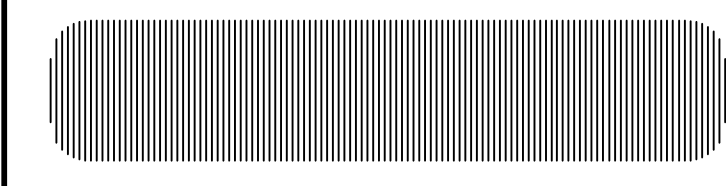
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2117 PARK BOULEVARD
SAN DIEGO, CA 92101
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DRAWING DATES

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10/28/11	PLANNING REV. 100% ZD (rol)

SHEET TITLE
**LANDSCAPE
DEVELOPMENT PLAN**

PROJECTS\Verizon\11054zd



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 IRVINE, CA 92623-9707
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10/28/11	PLANNING REV. 100% ZD (rol)

SHEET TITLE

PLANTING LEGEND

PROJECTS\Verizon\11054zd

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	FORM / FUNCTION	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD	EXISTING HEIGHT & SPREAD
	SCHINUS MOLLE	CALIFORNIA PEPPER TREE	EXISTING	EXISTING	5	40' HT 40' W.	32' HT 30' W.
	EUCALYPTUS CITRIODORA	LEMON SCENTED EUCALYPTUS	EXISTING	EXISTING	3	60' HT 40' W.	64' HT 32' W.
	EUCALYPTUS POLYANTHEMOS	SILVER DOLLAR EUCALYPTUS	EXISTING	EXISTING	7	75' HT 45' W.	50' HT 30' W.
	ARBUTUS MENZIESII	PACIFIC MANDRONE	EXISTING	EXISTING	4	80' HT 60' W.	45' HT 30' W.
	SALVIA FARINACEA	BLUE SALVIA	EXISTING	EXISTING	1	2' HT 2' W.	-
	BRUXUS MICROPHYLLA	JAPANESE BOXWOOD	EXISTING	EXISTING	55	6' HT 4' W.	-
	BRUXUS MICROPHYLLA	JAPANESE BOXWOOD	SCREENING SHRUB	15 GAL.	10	6' HT 4' W.	-
	ACACIA REDOLENS	PROSTRATE ACACIA	EXISTING	REMOVE & REPLACE W/SAME SIZE & SPECIES	15	2' HT 15' W.	-
	ACACIA REDOLENS	PROSTRATE ACACIA	SCREENING SHRUB	15 GAL.	9	2' HT 15' W.	-
	BOUGAINVILLEA SPECTABILIS	BOUGAINVILLEA	CLIMBING VINE	EXISTING	2	30' HT 30' W.	-
	WISTERIA SINENSIS	WISTERIA	CLIMBING VINE	EXISTING	9	15' HT 25' W.	-
	LANTANA MONTEVIDENSIS	TRAILING LANTANA	GROUND COVER	REMOVE & REPLACE W/SAME SIZE & SPECIES	-	15" HT 6' W.	-
	-	MULCH	GROUND COVER	EXISTING	-	-	-

OWNER'S NAME: CITY OF SAN DIEGO
 ASSESSOR'S PARCEL NUMBER(S) 534-450-11-00

BASIS OF BEARINGS: (NAD 83; Epoch 2002)
 THE BEARINGS SHOWN HEREON ARE BASED ON TRUE NORTH AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.

BASIS OF ELEVATIONS: NGVD 1929
 ELEVATIONS ARE BASED ON THE CITY OF SAN DIEGO DATUM (NGVD1929). BENCHMARK USED IS LISTED AS SEBP MAIN ENTRANCE TO NAVAL HOSPITAL. ELEVATION=250.54'.

SITE DATA

FEMA FLOOD ZONE DESIGNATION:
 County: SAN DIEGO Effective Date: 6/19/1997
 Panel: 1882F Community-Panel Number: 06073C
 The Flood Zone Designation for this site is: ZONE: X

FEMA FLOOD ZONE INFORMATION

THAT PORTION OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MISCELLANEOUS MAPS THEREOF NO. 36, BY JAMES PASCOE, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, BEING A PORTION OF PUEBLO LOT 1136 AND PUEBLO LOT 1143 OF SAID PUEBLO LAND ACCORDING TO MISCELLANEOUS MAPS THEREOF NO. 35, BY CHARLES B. POOLE, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF THAT CERTAIN TRACT OF LAND CONVEYED TO THE UNITED STATES OF AMERICA BY THE CITY OF SAN DIEGO BY DEED DATED SEPTEMBER 3, 1919 AND RECORDED IN BOOK 867 OF DEEDS, AT PAGE 302, RECORDS OF SAID COUNTY RECORDER; THENCE SOUTH 70°31'49" EAST ALONG THE NORTHERLY LINE OF SAID LAND TO THE UNITED STATES OF AMERICA A DISTANCE OF 7.14 FEET; THENCE SOUTH 0°03'49" EAST 1171.17 FEET; THENCE NORTH 89°56'11" EAST 111.16 FEET; THENCE SOUTH 0°01'56" EAST 404.56 FEET TO A POINT ON A CURVE CONCAVED NORTHEASTERLY HAVING A RADIUS OF 200.00 FEET; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 44°17'11" A DISTANCE OF 154.59 FEET; THENCE SOUTH 44°19'07" EAST 86.65 FEET TO A POINT ON A CURVE CONCAVED SOUTHWESTERLY HAVING A RADIUS OF 200.00 FEET; THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 53°07'56" A DISTANCE OF 185.47 FEET; THENCE SOUTH 8°48'49" WEST 78.00 FEET TO A POINT ON A CURVE CONCAVED NORTHEASTERLY HAVING A RADIUS OF 115.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 76°47'55" A DISTANCE OF 154.15 FEET; THENCE SOUTH 67°59'06" WEST 153.28 FEET TO A POINT ON A CURVE CONCAVED NORTHERLY HAVING A RADIUS OF 70.00 FEET; THENCE EASTERLY AND NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 71°45'08" A DISTANCE OF 87.66 FEET; THENCE NORTH 40°15'46" EAST 669.59 FEET; THENCE NORTH 3°05'37" WEST 629.84 FEET; THENCE NORTH 44°56'11" EAST 169.71 FEET; THENCE SOUTH 0°03'49" EAST 686.77 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF THE LAND DESCRIBED IN A DEED TO THE UNITED STATES OF AMERICA DATED JULY 17, 1940, AND RECORDED IN BOOK 1384, PAGE 397 OF OFFICIAL RECORDS OF SAID SAN DIEGO COUNTY; THENCE ALONG SAID SOUTHEASTERLY LINE SOUTH 29°15'52" WEST 211.88 FOOT TO THE BEGINNING OF A CURVE CONCAVED NORTHWESTERLY HAVING A RADIUS OF 500.00 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 10°59'54" A DISTANCE OF 95.98 FEET; THENCE SOUTH 40°15'46" WEST 987.17 FEET TO THE BEGINNING OF A CURVE CONCAVED NORTHERLY HAVING A RADIUS OF 200.00 FEET; THENCE SOUTHERLY AND WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 73°46'18" A DISTANCE OF 257.51 FEET; THENCE NORTH 65°57'56" WEST 133.93 FEET TO THE BEGINNING OF A CURVE CONCAVED NORTHEASTERLY HAVING A RADIUS OF 200.00 FEET; THENCE DEPARTING FROM SAID SOUTHEASTERLY LINE AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 42°34'56" A DISTANCE OF 148.64 FEET; THENCE NORTH 23°23'00" WEST 425.34 FEET; THENCE NORTH 27°19'00" WEST 207.76 FEET; THENCE NORTH 30°58'00" WEST 203.42 FEET; THENCE SOUTH 63°02'59" EAST 138.58 FEET; THENCE NORTH 0°03'49" WEST 1643.44 FEET TO A POINT ON THE NORTHERLY LINE OF SAID LAND TO THE UNITED STATES OF AMERICA DATED SEPTEMBER 3, 1919; THENCE NORTH 64°14'11" EAST ALONG SAID NORTHERLY LINE 456.04 FEET TO THE POINT OF BEGINNING.

PROPERTY LEGAL DESCRIPTION

TITLE REPORT NOTES:

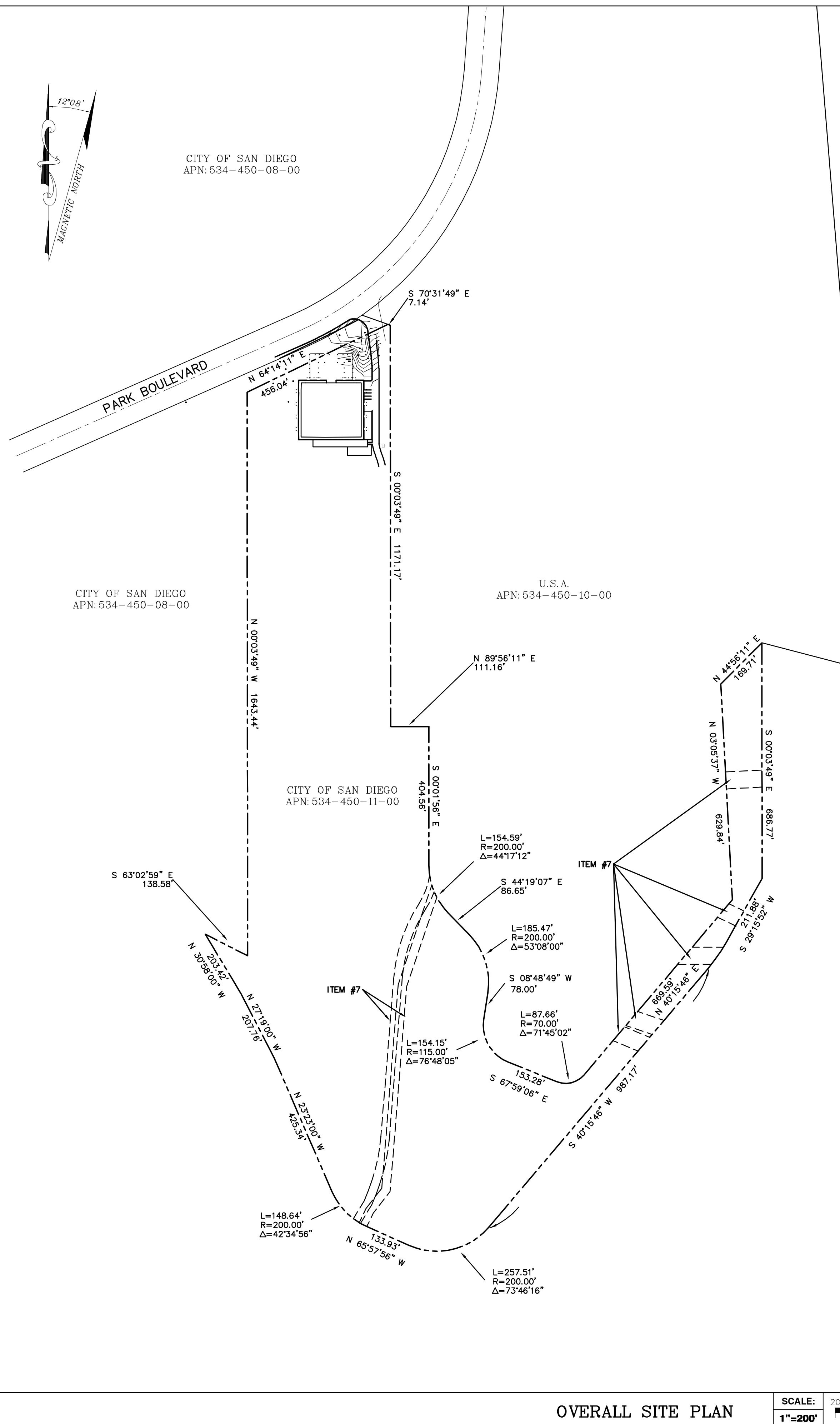
THE FOLLOWING EASEMENTS EFFECT SAID PARCEL AND ARE SHOWN HEREON. SEE PRELIMINARY TITLE REPORT NO.12530970 PREPARED BY LAWYERS TITLE COMPANY AND DATED FEBRUARY 28, 2011 FOR OTHER DOCUMENTS (NON-EASEMENTS) EFFECTING SAID PROPERTY.

ITEM #7 - Covenants, conditions and restrictions as set forth in the document
 Recorded: December 20, 1988 as Instrument No. 88-653078 of Official Records
 Among other things, said document provides for:
 Easements over a portion of said land for the purpose therein shown, and rights incidental thereto.
 (AS SHOWN HEREON)

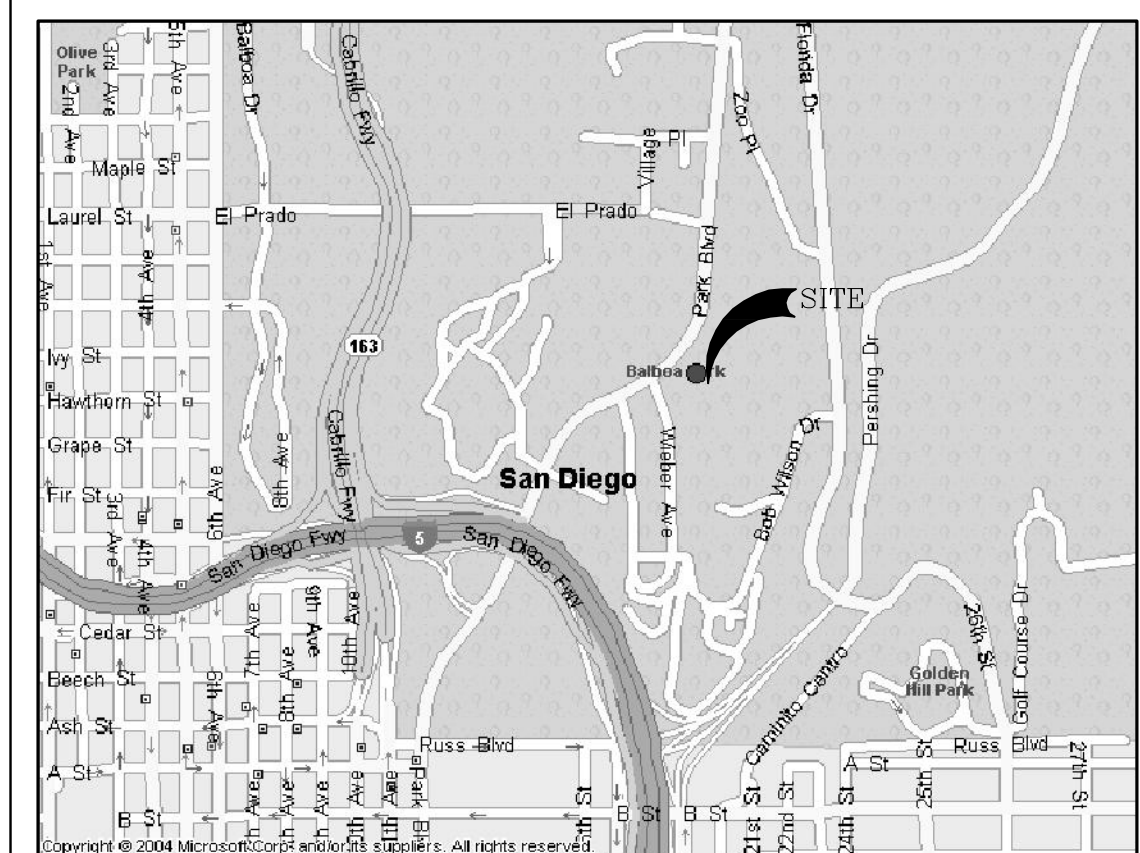
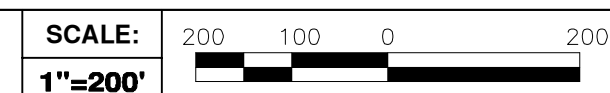
END OF EASEMENTS

**ALL PLOTTABLE EASEMENTS AS DESCRIBED IN SAID TITLE REPORT ARE SHOWN HEREON AND DO NOT EFFECT THE PROPOSED VERIZON'S LEASE AREA.

TITLE REPORT NOTES



OVERALL SITE PLAN



VICINITY MAP

LEGEND

- BENCHMARK
- FIRE HYDRANT
- FOUND MONUMENT
- TREE
- STORM DRAIN MANHOLE
- BC BOTTOM OF CURB
- BM BENCHMARK
- EC EDGE OF CONCRETE
- FF FINISH FLOOR
- FL FLOWLINE CURB & GUTTER
- FN FENCE TOP
- NG GROUND SPOT ELEVATION
- PS PAINT STRIPING
- RFOH ROOF OVERHANG
- RFPAR ROOF PARAPET
- RTOP ROOF TOP
- SW SIDEWALK
- TC TOP OF CURB
- TRTP TREE TOP DECIDUOUS
- WTPI WATER PIPES
- BOUNDARY LINE
- CENTERLINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- x-x-x-x- FENCE LINE

LEGEND

- 1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying, Inc. translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying, Inc.
- 2) Any changes made to the information on this plan, without the written consent of Floyd Surveying, Inc. relieves Floyd Surveying, Inc. of any and all liability.
- 3) These drawings & specifications are the property & copyright of Floyd Surveying, Inc. & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- 4) Field survey completed on MARCH 16, 2011.

NOTES

BOOTH & SUAREZ
 ARCHITECTURE ■■■ PLANNING
 WILLIAM H. BOOTH, ARCHITECT ROBERT J. SUAREZ, ARCHITECT
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verizon WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 BUILDING 'D' 1ST. FLOOR

PREPARED BY: DAF
 CHECKED BY: DAF
 APPROVED BY: DAF

#	DATE	REVISIONS
1.	3/22/11	SITE SURVEY
2.	6/20/11	PROPOSED SECTORS

FLOYD SURVEYING
 11576 NORGATE CIRCLE
 CORONA, CA 92880
 OFFICE/FAX (951) 739-7949
 EMAIL: fsi@floydsurveying.com

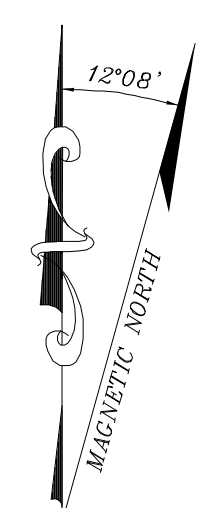
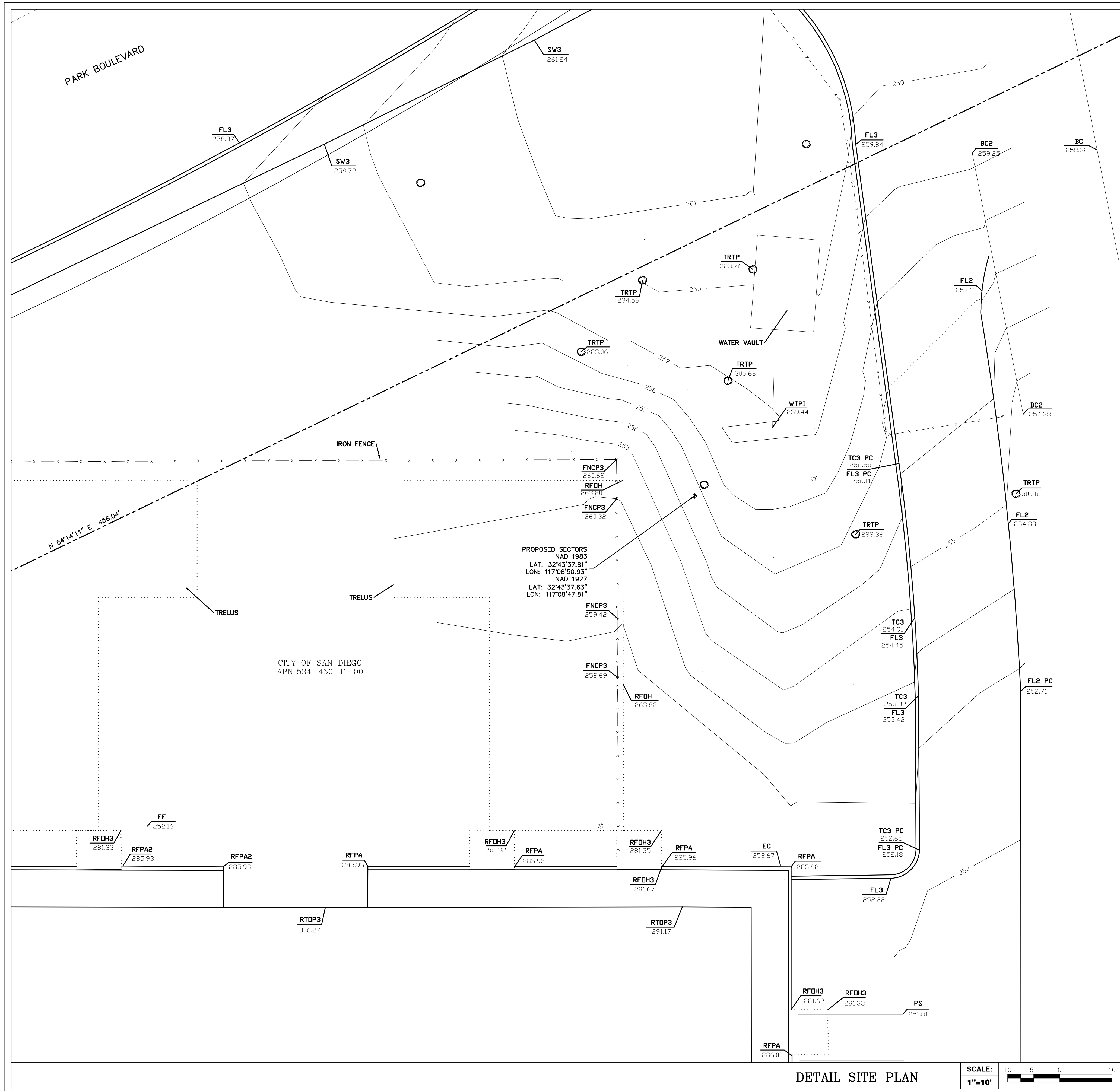
SITE NAME
NAVAL HOPITAL

SITE NUMBER

SITE ADDRESS
 2145 PARK BLVD
 SAN DIEGO, CA 92101

SHEET TITLE
**SITE SURVEY
 GENERAL INFORMATION**

SHEET NUMBER
LS1



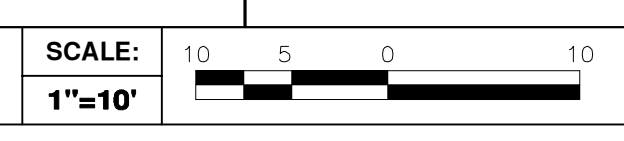
LEGEND

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- ⊕ FIRE HYDRANT
- FOUND MONUMENT
- TREE
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DETAIL SITE PLAN



NOTES

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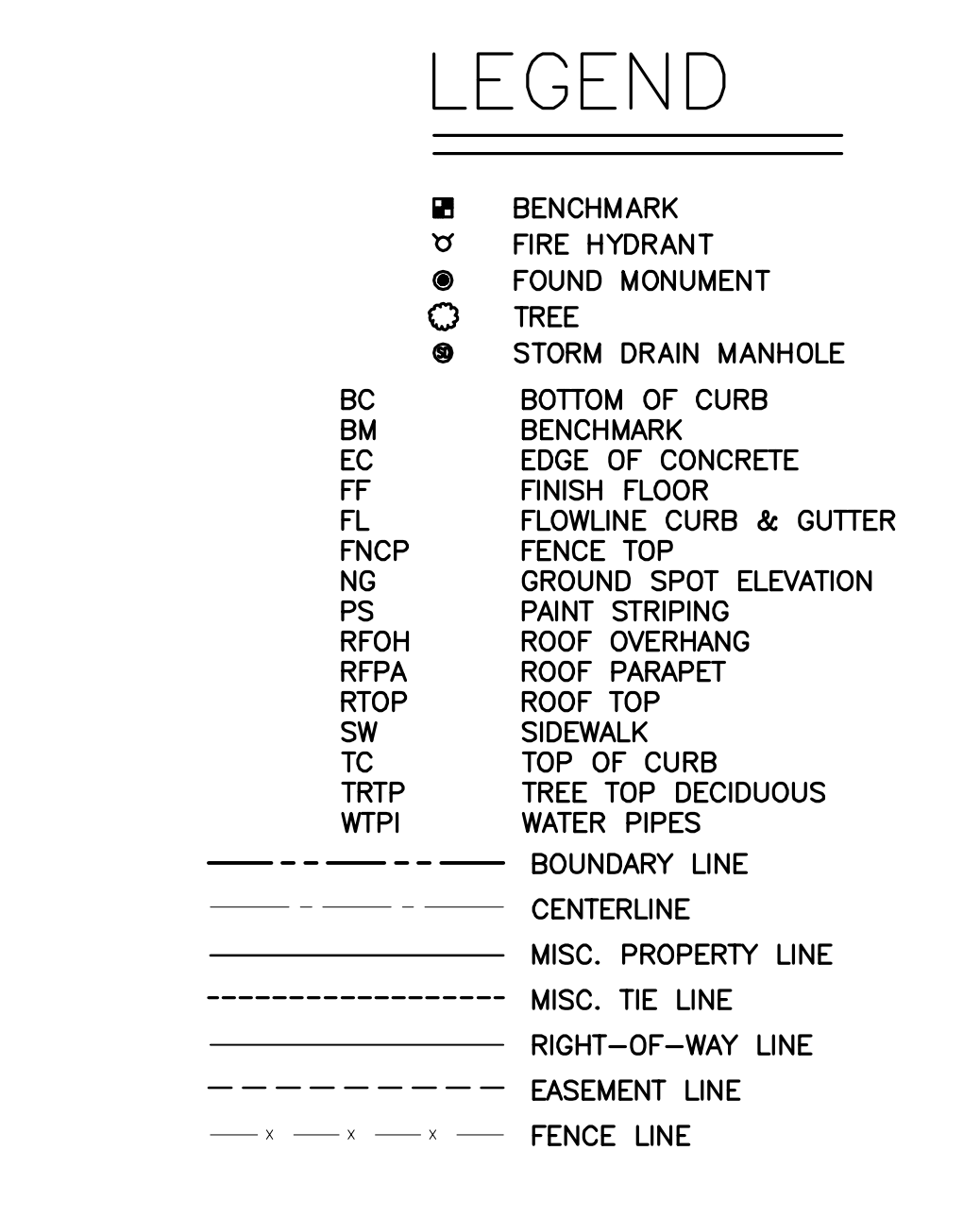
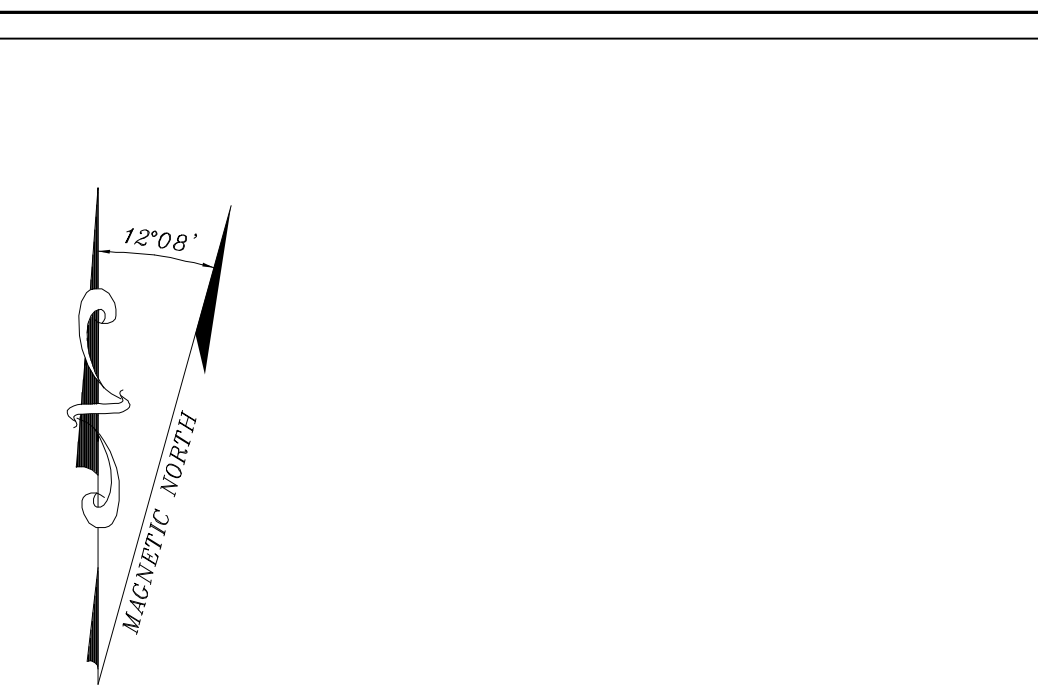
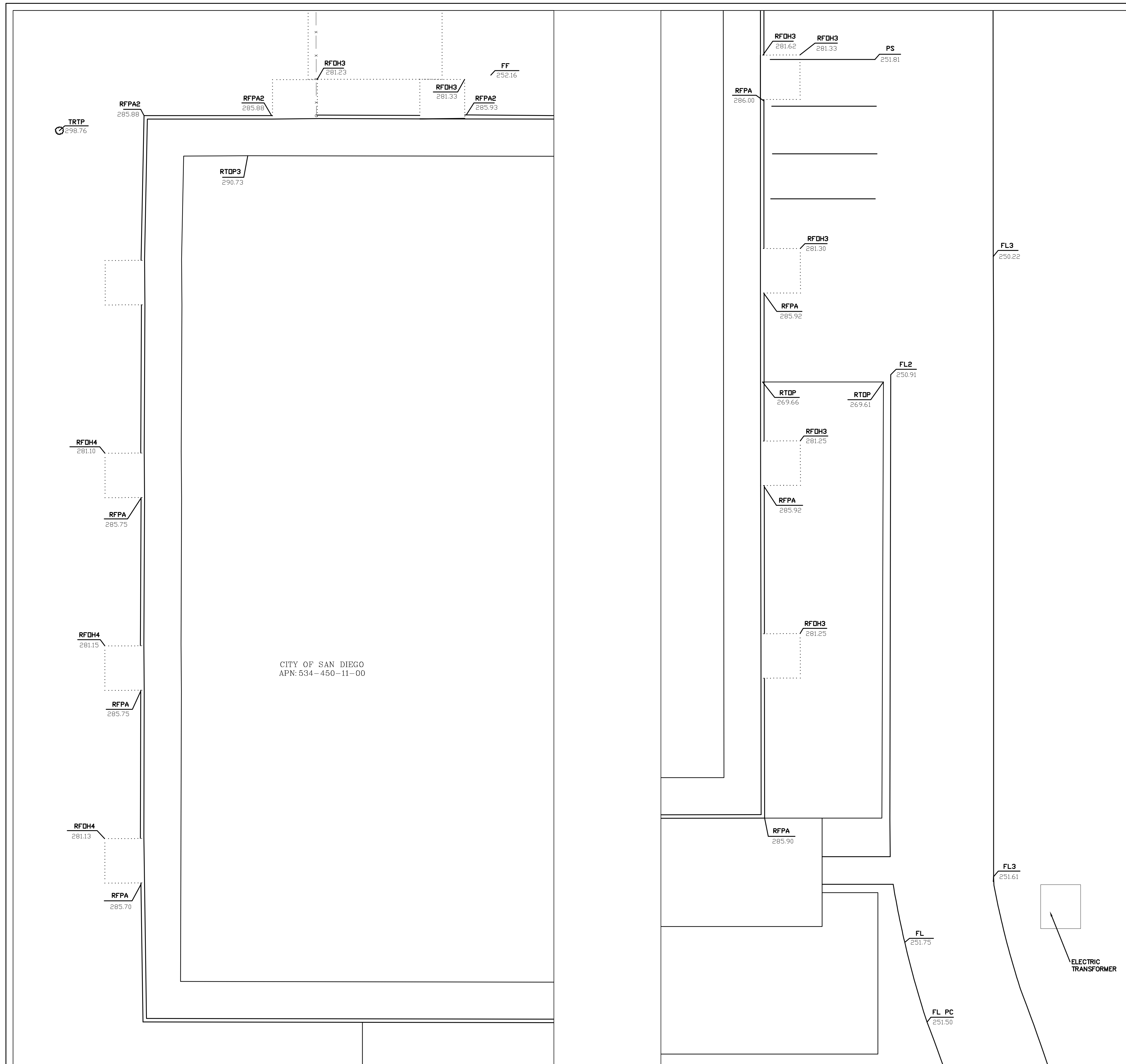
SITE NAME
NAVAL HOPITAL

SITE NUMBER

SITE ADDRESS
 2145 PARK BLVD
 SAN DIEGO, CA 92101

SHEET TITLE
**SITE SURVEY
 GENERAL INFORMATION**

SHEET NUMBER
LS2



LEGEND

NOTES

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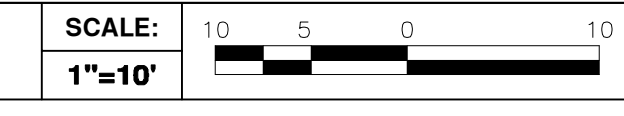
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 SAN DIEGO, CA 92101

SHEET TITLE
**SITE SURVEY
 GENERAL INFORMATION**

SHEET NUMBER
LS3

ROOF WEST SIDE



ROOF EAST SIDE

