



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: December 16, 2015

REPORT NO. HO 15-137

ATTENTION: Hearing Officer

SUBJECT: WARBLER WAY, PROJECT NO. 391771

LOCATION: 5560 Warbler Way

APPLICANT: Mark Lyon

SUMMARY

Issue(s): Should the Hearing Officer approve a Site Development Permit to allow construction of minor additions to the existing structure and improvements to the site including a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence and minor remodel of the main floor level for a new staircase from the lower floor, new retaining walls and site stairs, grading for the basement and excavation for the new deck located at 5560 Warbler Way in the La Jolla Community Plan area?

Staff Recommendation(s) -

1. **Adopt** Mitigated Negative Declaration No. 391771 and **Adopt** the Mitigation Monitoring and Reporting Program; and
2. **Approve** Site Development Permit No. 1375852.

Community Planning Group Recommendation – On August 6, 2015 the La Jolla Community Planning Association voted 13:0:1 to recommend approval of the project.

Environmental Review: A Mitigated Negative Declaration No. 391771 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented to reduce, to a level below significance, potential impacts identified in the environmental review process.

BACKGROUND

The site is designated by the La Jolla Community Plan for very low density residential development at a density range of 0-5 dwelling units per acre (Attachment 1). The site is located at 5560 Warbler Way (Attachment 2). The surrounding development pattern is single family residential development (Attachment 3). The site has been previously disturbed by earthwork embankment in the late 1950s when the original subdivision was developed. The existing single family structure was constructed in 1962. In 1988 the existing wood deck was constructed. In 2000 a garage conversion was executed and a spa added to the main deck. In 2000 the storage basement area was constructed. The site currently has an existing 2,680 square foot, two-story residence and existing 501 square foot garage.

DISCUSSION

Project Description

The Warbler Way project proposes minor additions to the existing structure and improvements to the site (Attachment 4). The project includes a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence. The 1,846 square foot lower floor addition would result in a living space of 4,497 square feet. The site measures approximately 0.402 acres or 17,524 square feet and the RS-1-5 zone development regulations would allow a total floor area 8,236 square feet. The project would result in a total floor area of 3,337 square feet. A minor remodel of the main floor level for a new staircase from the lower floor would be included in the project. Other improvements would include new retaining walls and site stairs. Grading would be required for the basement and excavation for the new deck (Attachment 5).

Required Approvals

The proposed project requires the approval of a Site Development Permit due to the presence of sensitive vegetation on the site. The Environmentally Sensitive Lands regulations require approval of a Site Development Permit when sensitive vegetation is present on a site. Although the site is located within the Coastal Development Overlay Zone, the proposed project is exempt from a Coastal Development Permit per the Land Development Code §126.0704(a).

A Mitigated Negative Declaration has been prepared which determined the proposed project may have a potential to impact paleontological resources yet because of the required mitigation will not have a significant effect on the environment. The nature and extent of the mitigation required, as a condition of the permit, is reasonably related to, and calculated to alleviate, potential negative impacts which may be created by the proposed development.

Conclusion


Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land

Development Code. Staff has provided draft findings to support approval of the project (Attachment 6 and 7) and draft conditions of approval (Attachment 8). Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. **Approve** Site Development Permit No. 1375852, **with modifications.**
2. **Deny** Site Development Permit No. 1375852, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



John S. Fisher
Development Project Manager

Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph
4. Project Site Plan
5. Remaining Project Plans
6. Draft Environmental Resolution with MMRP
7. Draft Permit Resolution with Findings
8. Draft Permit with Conditions
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement



Legend

- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
-
- E* Elementary School
 - J* Junior High School
 - H* High School
 - S* School
 - L* Library
 - F* Fire Station
 - PO* Post Office



Community Land Use Map

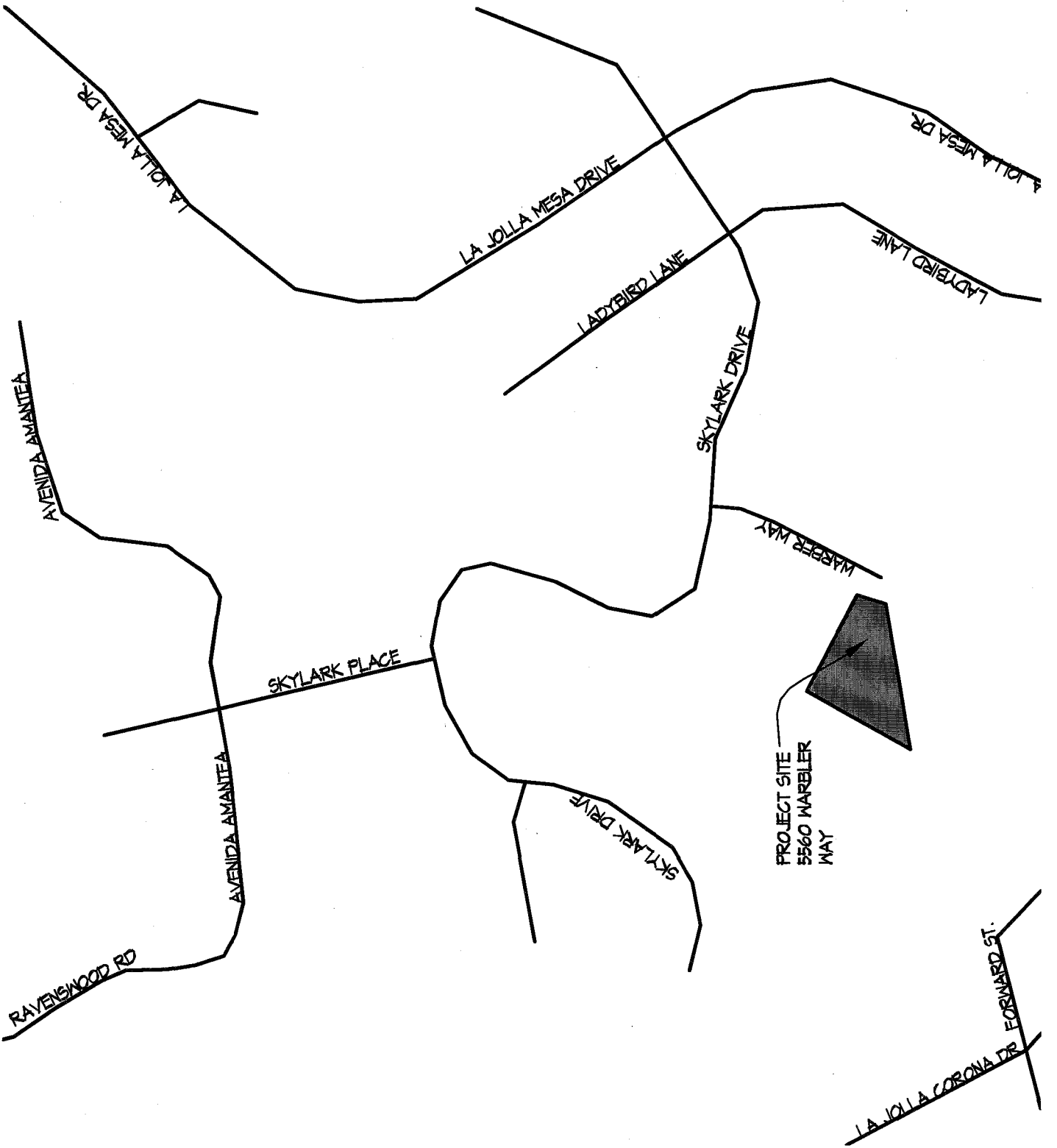
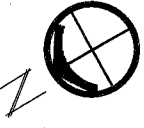


Figure 1



La Jolla Community Plan
 City of San Diego · Planning Department

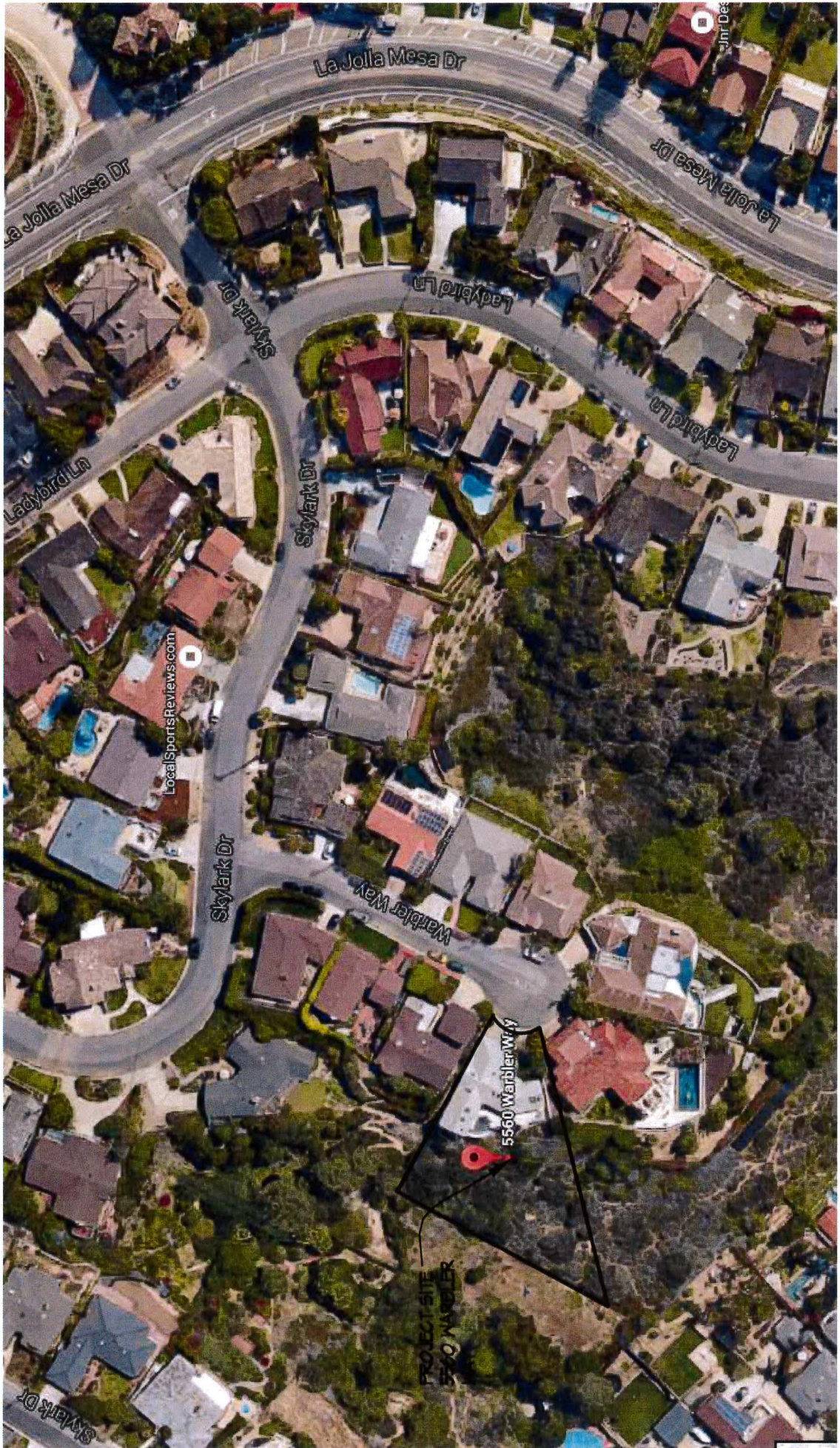
5560 WARBLER WAY
LA JOLLA, CA 92037
SDP PTS# 391171



PROJECT SITE
5560 WARBLER
WAY

LA JOLLA CORONA DR
FORWARD ST.

AERIAL MAP FOR:
5560 WARBLER WAY
LA JOLLA, CA 92037
SDP PTS# 391771



RESIDENCE

A CUSTOM RESIDENTIAL SITE DEVELOPMENT PERMIT PACKAGE

DEFERRED SUBMITTAL

DEFERRED SUBMITTALS SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS/ELEMENTS:

1. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL BY THE PROJECT ARCHITECT, AND NOT BY THE INDIVIDUAL SUB-CONTRACTOR / CONSULTANT.
2. DEFERRED SUBMITTAL DOCUMENTS IN ADDITION TO THE SEAL OF THE RESPONSIBLE ENGINEER SHALL BEAR THE SHOP DRAWING APPROVAL STAMPS OF THE PROJECT ARCHITECT, ENGINEER OF RECORD, AND THE GENERAL CONTRACTOR ON ALL SHEETS OF PLANS AND COVERS OF THE CALCULATIONS.
3. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF THIRTY CALENDAR DAYS FOR THE INITIAL PLAN REVIEW TURN-AROUND.
4. DEFERRED SUBMITTAL ITEMS SHALL NOT BE FABRICATED / INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
5. PROVIDE TWO COPIES OF DEFERRED SUBMITTAL DOCUMENTS FOR FINAL APPROVAL.

SPECIAL INSPECTION & OFF-SITE FABRICATION

SPECIAL INSPECTION: YES NO

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:

1. SEE STRUCTURAL PLANS SHEET 1

REFER TO SHEET 02 FOR SPECIAL INSPECTION PROGRAM.

A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.

OFF-SITE FABRICATION: YES NO SEE STRUCTURAL PLANS

1. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO DIRECTION OF PREFABRICATED COMPONENTS.

REMARKS OF SPECIAL INSPECTION

1. CONCRETE
2. BOLTS INSTALLED IN CONCRETE
3. CONCRETE MOMENT RESISTING FRAME
4. REINFORCING STEEL AND PRESSUREING STEEL
5. HELD TENSILE DOUBLE MOMENT RESISTING STEEL FRAMES
6. ALL STRUCTURAL MEMBERS INCLUDING REINFORCING STEEL
7. HIGH-STRENGTH BOLTING
8. REINFORCED GYPSUM CONCRETE
9. INSULATING CONCRETE FILL
10. SPRAY APPLIED FIREPROOFING
11. DEEP FOUNDATIONS (PILINGS, DRILLED PIERS & CAissons)
12. SPOILS
13. VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT.
14. VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA
15. VERIFY CONSTRUCTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES
16. PROVIDE SOILS EXPANSION TEST REPORT, SOILS EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS ON GRADE FLOOR SLAB DESIGN PER EACH BUILDING STORY
17. SPECIAL CASES (DESIGNEE)
18. OFF-SITE FABRICATION OF BUILDING COMPONENTS
19. OTHER STRUCTURAL INSPECTIONS AS REQUIRED BY DESIGNER

SPECIAL INSPECTION NOTES

- A. THE CONSTRUCTION INSPECTIONS LISTED ARE IN ADDITION TO THE CALLED INSPECTIONS REQUIRED BY SECTION 1906 OF THE INFORM BUILDING CODE. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR. SPECIALLY INSPECTED WORK WHICH IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE CITY INSPECTOR IS SUBJECT TO REMOVAL OR EXPOSURE.
- B. CONTINUOUS INSPECTION IS ALWAYS REQUIRED DURING THE PERFORMANCE OF THE WORK UNLESS OTHERWISE SPECIFIED.
- C. THE SPECIAL INSPECTIONS MUST BE CERTIFIED BY THE LOCAL JURISDICTION TO PERFORM THE TYPES OF INSPECTION SPECIFIED.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. ALL WORK PERFORMED WITHOUT REQUIRED SPECIAL INSPECTION IS SUBJECT TO REMOVAL.
- E. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- F. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
- G. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO DIRECTION OF PREFABRICATED COMPONENTS.
- H. WORK HELD FULLY RESTRAINED CONNECTIONS BETWEEN PRIMARY MEMBERS OF ORDINARY MOMENT RESISTING FRAMES (CHRS) AND SPECIAL MOMENT RESISTING FRAMES (SMRF) NON-DESTRUCTIVE TESTS PER APPROVED NATIONAL STANDARDS SHALL BE CONDUCTED. THE PERSON RESPONSIBLE FOR THE STRUCTURAL DESIGN SHALL ESTABLISH THE PROGRAM FOR THIS TEST. THE TEST PROGRAM SHALL BE DETAILED ON THE PLANS AND SPECIFICATIONS. THE NON-DESTRUCTIVE TESTING PROGRAM REQUIREMENT AND METHOD SHALL BE NOTED IN THE SPECIAL INSPECTION PROGRAM.
- I. FOR HELD FULLY RESTRAINED PRIMARY MEMBERS OF ORDINARY MOMENT RESISTING FRAMES (CHRS) AND SPECIAL MOMENT RESISTING FRAMES (SMRF) WHICH ARE FABRICATED IN AN APPROVED FABRICATOR'S SHOP NON-DESTRUCTIVE TESTS SHALL BE CONDUCTED BY A SPECIAL INSPECTION AGENCY APPROVED BY THE CITY OF SAN DIEGO. THE TEST PROGRAM SHALL BE DETAILED ON THE PLANS AND SPECIFICATIONS, SEE 1905.11(2).
- J. THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO DEVELOPER SERVICES DIVISION FOR TESTING OF MATERIALS, SYSTEMS, CONNECTIONS AND EQUIPMENTS.
- K. A PROPERTY OWNER'S FINAL REPORT FORM FOR WORK REQUIRED TO HAVE SPECIAL INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OR RECORD ARCHITECT OF RECORD OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.

SPECIAL INSPECTION DISCRETION
SELECTED BY OWNER

INSPECTION QUALIFICATIONS:
COUNTY OF SAN DIEGO CERTIFIED
ICC APPROVED INSPECTORS

INSPECTION DUTIES:
DUTIES TO BE PERFORMED IN ACCORDANCE WITH 2013 CALIFORNIA BUILDING CODE

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION: YES NO

STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:

REFER TO SHEET 03 FOR STRUCTURAL OBSERVATION PROGRAM.

STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVERS SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND CONDUCT ANY REPORTED DEFICIENCIES THAT TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

GENERAL NOTES

1. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CODE AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.
2. SHOULD THERE BE OMISSIONS OR SHOULD DISCREPANCIES BE FOUND TO EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE PARTS OF EITHER OR SHOULD THE LANGUAGE OF ANY PART OF THE CONTRACT PROVE TO BE AMBIGUOUS OR DOUBTFUL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. WHO WILL DECIDE AS TO THE TRUE INTENT AND MEANING SHOULD THE CONTRACTOR FAIL TO GIVE SUCH NOTIFICATION IN WRITING AND PROCEED WITH THE WORK, NO AMBIGUOUS OR DOUBTFUL MEANING SHALL BE PAID BY THE CONTRACTOR.
3. WHERE THE WORDS "EQUAL," "EQUIVALENT," "SUBSTITUTED," "DESIGNATED," "SELECTED," "AS REQUIRED," AND WORDS OF SIMILAR MEANING ARE USED, THE WRITTEN APPROVAL, SELECTION, SATISFACTORY DIRECTION OR SIMILAR ACTION OF THE ARCHITECT IS REQUIRED.
4. PROTECTION OF THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

BASIS FOR STRUCTURAL DESIGN

DESIGN LOADS:
SEE STRUCTURAL PLANS SHEET 01

SEISMIC CRITERIA:

S	S ₁	F	F	S	S ₁	S	S ₁
---	----------------	---	---	---	----------------	---	----------------

DISTANCE TO SEISMIC SOURCES: ___ MI.

SOIL PROFILE TYPE: _____

FOUNDATIONS / SOILS CRITERIA:

SOILS REPORT: _____

EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.

EXPANSION INDEX HAS BEEN DETERMINED TO BE 20 OR LESS AND NO SPECIAL DESIGN RECOMMENDATIONS ARE REQUIRED.

AS A LICENSED ARCHITECT/ENGINEER, I HAVE CLASSIFIED THE UNDESIGNED NATIVE SOILS TO BE USED AND PER TABLE 19-11-A OF THE 2007 CBC I HAVE ASSIGNED THE FOLLOWING SOIL PARAMETERS FOR THE DESIGN OF THE FOUNDATION RELATED ELEMENTS OF THIS PROJECT.

DATE: _____ SIGNATURE: _____ HAVE PRINTED: _____ LICENSED ARCHITECT

DATE: _____ SIGNATURE: _____ HAVE PRINTED: _____ LICENSED ARCHITECT

IF THE BUILDING INSPECTOR SUSPECTS FILL EXPANSIVE SOILS OR ANY GEOLOGICAL INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

CAL GREEN NOTES

CAL GREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE BUILDINGS. IT ALSO APPLIES TO ALL RESIDENTIAL ALTERATIONS AND ADDITIONS WHERE THE ALTERATION OR ADDITION INCREASES THE BUILDING'S CONDITIONAL AREA VOLUME OR SEE THE REQUIREMENTS APPLY ONLY TO THE SPECIFIC AREA OF THE ALTERATION OR ADDITION.

A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PLAN, SPECIFICATIONS AND ADHESIVES COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.

A FLOORING MATERIAL CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A FLOORING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOORING MATERIAL CERTIFICATION. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.

AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED.

IF THE BUILDING INSPECTOR SUSPECTS FILL EXPANSIVE SOILS OR ANY GEOLOGICAL INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

FIRE NOTES

ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (NOT LESS THAN 50,000 LBS) AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (FIRE CODE SECT. 402.2).

TURNING RADIUS: THE TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE 28 FEET OR AS APPROVED BY THE CHIEF. (FIRE CODE SECT. 402.2.2)

EXPOSED: WHEN A EXPOSED IS REQUIRED TO BE USED AS PART OF A FIRE APPARATUS ACCESS ROAD, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH NATIONALLY RECOGNIZED STANDARDS (FIRE CODE SECT. 402.2.2.2) (ASHTO MC 944).

SPRINKLER: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR SPOUTS ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES SHALL HAVE SMOKE EXHAUST OR BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE SECT. 402.2.2.2).

SPRINKLER: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR SPOUTS ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES SHALL HAVE SMOKE EXHAUST OR BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE SECT. 402.2.2.2).

SPRINKLER: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR SPOUTS ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES SHALL HAVE SMOKE EXHAUST OR BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE SECT. 402.2.2.2).

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA ELECTRICAL CODE.
2. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING REGULATIONS AND ORDINANCES.
3. ALL INTERIOR LIGHTING SYSTEMS SHALL COMPLY WITH CALIFORNIA ENERGY COMMISSION STANDARDS.
4. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT BATTERY BACK-UP IS PROVIDED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH A BATTERY BACK-UP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL HAVE A SWITCH WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
5. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL SLEEPING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WITHIN ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
6. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2084 AND CARBON MONOXIDE DETECTORS PER UL 207B. INSTALL CARBON MONOXIDE ALARMS AND DETECTORS PER CALIFORNIA TITLE 24 CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
7. CARBON MONOXIDE ALARMS SHALL NOT BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION 1901.1. ADDITIONAL SMOKE ALARMS SHALL BE PROVIDED AT THE BATH AND EACH SLEEPING LANDINGS AND SHALL BE PROVIDED IN ALL HABITABLE SPACES EXCEPT KITCHENS.

MECHANICAL NOTES

1. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CODE AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.
2. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH HINGED VALVES PER CBC SECT. 402.0.
3. PERMANENT VACUUM BREAKERS SHALL BE PROVIDED AT ALL HOSE BIBBS.
4. FLOOR DRAINS OR SIMILAR TRAPS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM AND SUBJECT TO FREQUENT USE SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC MEANS OF MAINTAINING THEIR WATER SEALS.
5. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER ENERGY EFFICIENCY STANDARDS SEC. 18.
6. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER ENERGY EFFICIENCY STANDARDS SEC. 18.
7. ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 18, 123, 124 AND CBC TABLE 6-D AS APPLICABLE.
8. ALL HVAC SYSTEMS SHALL MEET THE MINIMUM REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS SEC. 18, 123, 124 AS APPLICABLE.
9. SERVICE WATER HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC. 18.
10. SWIMMING POOL AND SPA HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS SEC. 14.
11. SMOKE DETECTORS SHALL BE PROVIDED AT SUPPLY AIR DUCTS OF AIR MOVING SYSTEMS EXCEEDING 2000 CFM PER CBC SEC. 608.
12. PERMANENT LADDER/ACCESS TO ROOF MOUNTED EQUIPMENT SHALL COMPLY WITH CBC SEC. 507.
13. BUILDING MATERIALS AND VENT PIPING MATERIALS SHALL COMPLY WITH CBC SEC. 101.2.
14. ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.
15. ALL WATER HEATING SYSTEMS SHALL BE PROVIDED WITH AN APPROVED LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL PER CBC SEC. 402.0.
16. CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT EXCEPT THOSE SPECIFICALLY LISTED IN INFORMATION BULLETIN 03.
17. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST SEISMIC DISPLACEMENTS DUE TO SEISMIC MOTION PER CBC SEC. 501.5.
18. MATERIALS USED WITHIN SMOKE OR FIRE-RATED PENETRATIONS SHALL COMPLY WITH CBC SEC. 601.5.
19. HVAC EQUIPMENT AND WATER HEATERS SHALL COMPLY WITH CBC CHAP. 3.
20. MEDIUM PRESSURE GAS PIPING SHALL BE LABELED EVERY FIVE FEET.
21. MECHANICAL VENTILATION SYSTEMS INSTALLED IN RESIDENTIAL BUILDINGS SHALL HAVE AN APPLICABLE PER CBC SEC. 1209.3, SHALL PROVIDE A MINIMUM OF FIVE AIR CHANGES PER HOUR AND BE ROUTED TO THE EXTERIOR.
22. ALL WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 120 GALLONS PER FLUSH. TANK TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERFIX SPECIFICATION. WATER CLOSETS OF OTHER TYPES SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERFIX SPECIFICATION. WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NO TO EXCEED 0.5 GALLONS PER FLUSH. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AND 8.0 PSI. WATER CLOSETS SHALL BE PROVIDED WITH A SINGLE VALVE SHALL HAVE A COMBINED FLOW RATE NOT TO EXCEED 2.0 GALLONS PER MINUTE.
23. FAUCETS, RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM RATE OF 1.5 GALLONS PER MINUTE AT 60 PSI AND A MINIMUM FLOW RATE OF NOT LESS THAN 0.5 GALLONS PER MINUTE AT 20 PSI.
24. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS THAT TEMPORARILY INCREASE THE FLOW RATE TO A MAXIMUM OF 2.0 GALLONS AT 60 PSI BY MEANS OF A KITCHEN SPRAYER SHALL BE LIMITED TO 1.8 GALLONS PER MINUTE.
25. FAUCETS IN COMMON AND PUBLIC USE AREAS (EXCEPT OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE AT 60 PSI.
26. METRIC FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS MUST NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
27. PER 2013 GREEN CODE SEC. 450.1: ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED GAS STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSIONS LIMITS HEREIN APPLICABLE.
28. HYDROXYFLUOROPOLYETHER POLYURETHANE INSULATION SHALL COMPLY WITH APPLICABLE LOCAL ORDINANCES.
29. STATE HEALTH AND SAFETY CODE SEC. 17621.6 B BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (PVC) FOR INTERIOR WATER SUPPLY PIPING.
30. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS AND SHALL BE PROTECTED FROM MECHANICAL DAMAGE AND SHALL BE PROTECTED FROM THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
31. SHOWER COMPARTMENTS AND BATHS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
32. ALL PLUMBING FITTINGS AND FITTINGS SHALL BE WATER CLOSURES AND SHALL COMPLY WITH THE 2013 GREEN CODE SEC. 450.8.1.
33. PER 2013 GREEN CODE SEC. 450.2.2 PLUMBING FIXTURES (WATER CLOSURES AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.0 OF THE CPC.
34. ATTIC/GARAGE/LOFT INSULATION MUST COMPLY WITH SECTIONS 904, 905, AND 906 OF THE CALIFORNIA MECHANICAL CODE (CMC).
35. PROVIDE A WATER-TIGHT PAN OF CORROSION RESISTANT MATERIAL BENEATH THE WATER HEATER, WITH A MINIMUM 3" DIAMETER DRAIN LINE TO THE DRAIN FOR WATER HEATERS LOCATED IN THE ATTIC.
36. ENERGY EFFICIENT APPLIANCES WILL BE USED.

FIRE NOTES

ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (NOT LESS THAN 50,000 LBS) AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (FIRE CODE SECT. 402.2).

TURNING RADIUS: THE TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE 28 FEET OR AS APPROVED BY THE CHIEF. (FIRE CODE SECT. 402.2.2)

EXPOSED: WHEN A EXPOSED IS REQUIRED TO BE USED AS PART OF A FIRE APPARATUS ACCESS ROAD, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH NATIONALLY RECOGNIZED STANDARDS (FIRE CODE SECT. 402.2.2) (ASHTO MC 944).

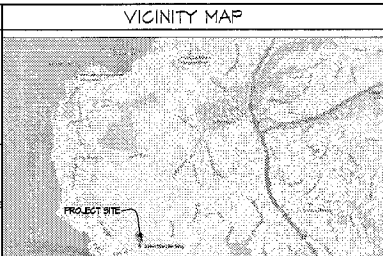
SPRINKLER: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR SPOUTS ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES SHALL HAVE SMOKE EXHAUST OR BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE SECT. 402.2.2.2).

SPRINKLER: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR SPOUTS ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES SHALL HAVE SMOKE EXHAUST OR BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE SECT. 402.2.2.2).

SPRINKLER: ALL STRUCTURES HAVING ANY CHIMNEY FLUE OR SPOUTS ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT AND DEVICES SHALL HAVE SMOKE EXHAUST OR BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (FIRE CODE SECT. 402.2.2.2).

PALEONTOLOGICAL RESOURCES NOTES

1. THE PROJECT AREA IS UNDERLAIN BY THE GEOLOGIC ARCHAIC SHALE FORMATION WHICH HAS A HIGH SENSITIVITY RATING AND IS MODERATELY SENSITIVE FOR PALEONTOLOGICAL RESOURCES. IN ACCORDANCE WITH THE CITY OF SAN DIEGO SIGNIFICANCE DETERMINATION PROTOCOLS, PROJECTS THAT EXCAVATE OVER 1000 CU YD OF EARTH OR MORE HAVE A SIGNIFICANT IMPACT ON PALEONTOLOGICAL RESOURCES.
2. THE SUBMITTED REPORT OF PRELIMINARY GEOLOGICAL INVESTIGATION PREPARED BY CHRISTIAN WHEELER ENGINEERING (GEOLOGICAL SITE FITS DATA AT THE DEPTH OF 5'-0" BENEATH SHALL BE CONDUCTED). IN REFERENCING THE PRELIMINARY GRADING PLAN SHEET 03 DATED MAY 3, 2010 THE HAZARD OF CUT 5' 120' OF AND HEIGHT OF CUT 5' 120' THEREFORE PALEONTOLOGICAL MITIGATION MONITORING WILL BE NOTED IN SUBSEQUENT CESA DOCUMENT.



PROJECT TEAM

ARCHITECT:
MARK D. LYON AND ASSOCIATES
410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
PHONE #: (858) 494-4141
FAX #: (858) 494-0488

TOPOGRAPIHIC/SURVEILLANCE ENGINEERING:
CHRISTIAN WHEELER ENGINEERING
2888 SILVERTON AVE. STE. J
SAN DIEGO, CA 92108
PHONE #: (858) 271-9101
FAX #: (858) 805-8122
CONTACT: TONY CHRISTENSEN

LANDSCAPE ARCHITECT:
BARBARA NICHOLSON DEAN LANDSCAPE ARCHITECTS
405 VIA DEL NORTE STUDIO D
LA JOLLA, CA 92037
PHONE #: (858) 494-4220
FAX #: (858) 494-4220
CONTACT: STEVE HIGHMAN

SOILS ENGINEER:
CHRISTIAN WHEELER ENGINEERING
2888 SILVERTON AVE. STE. J
SAN DIEGO, CA 92108
PHONE #: (858) 271-9101
FAX #: (858) 805-8122
CONTACT: DAN AXLER

SHEET INDEX

T 10	TITLE SHEET
G-1	SURVEY
G-2	SLOPE ANALYSIS
G-3	PRELIMINARY GRADING PLAN
G-4	SITE DISTURBANCE MAP
A 11	SITE PLAN
A 12	CROSS FLOOR AREA PLAN
A 20	AS-BUILT & DEMOLITION PLAN
A 21	BASEMENT FLOOR PLAN
A 22	FIRST FLOOR PLAN
A 23	ROOF PLAN
A 31	ELEVATIONS
A 32	ELEVATIONS
A 4	BUILDING SECTIONS
A 4.2	BUILDING SECTIONS
L 11	LANDSCAPE DRAIN MANAGEMENT PLAN
L 12	LANDSCAPE PLANTING AND PLANTING NOTES
L 13	LANDSCAPE DRAIN MANAGEMENT & PLANTING NOTES

DETAILED SCOPE OF WORK

SITE DEVELOPMENT PERMIT FOR RENOVATIONS TO AN EXISTING 2640 SQ. FT. 2 STORY SINGLE FAMILY RESIDENCE NOT INCLUDING EXISTING 50 SQ. FT. GARAGE. ADDITION OF 1046 SQ. FT. TO EXISTING LOWER FLOOR TO CREATE 2246 SQ. FT. OF LIVING SPACE. 1611 SQ. FT. DECK AT LOWER FLOOR WITH NEH POOL. POOL IS INCLUDED IN ABOVE SQ. FT. CALCULATIONS. MINOR IMPROVEMENTS TO MAIN FLOOR FOR NEH STAIRCASE FROM LOWER FLOOR. SITE IMPROVEMENTS TO INCLUDE NEW RETAINING WALLS AND SITE STAIRS. GRADING REQUIRED FOR EXISTENT AND DECK EXCAVATION.

PROJECT INFORMATION

PROJECT NAME: NIVEN RESIDENCE
OWNER NAME: MEL SCOTT NIVEN
OWNER ADDRESS: 5560 WARBLER WAY LA JOLLA, CA 92037

PROJECT ADDRESS: 5560 WARBLER WAY LA JOLLA, CA 92037

ZONE: RS-4S
ASSESSORS PARCEL NUMBER: 351-910-01-00
MAP NUMBER: 290
LOT NUMBER: 29
LEGAL DESCRIPTION: LOT 59, BLOCK 97 MAP # 8650 OF LA JOLLA MESA VISTA APN # 251-910-01

LOT SIZE: 11242.50 SQ FT
ALLOWABLE FAR: 478.78 SQ FT
ACTUAL FAR: 118.93 SQ FT

VARIANCE ON PROPERTY: NO YES
BASED ON PROPERTY: NO YES
HEIGHT: 12'-0"
YEAR BUILT: NO YES
SETBACKS: REQUIRED (CITY) ACTUAL
FRONT: 9'-0" (ESTABLISHED SETBACK) 12'-0"
SIDE YARD: 20'-0" 10'-0"
REAR: 20'-0" 50'-0"

BUILDING DEPARTMENT INFORMATION

BUILDING CODE: CALIF. BUILDING CODE 2010, CALIF. RESIDENTIAL CODE 2010, FIRE CODE, PLUMBING CODE, MECHANICAL CODE, ELECTRICAL CODE, SOLAR ENERGY CODE, 2013 CALIFORNIA GREEN BUILDING CODE

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA RESIDENTIAL CODE (CIRC), INFORM PLUMBING CODE (IPC), INFORM MECHANICAL CODE (IMC), NATIONAL ELECTRIC CODE (NEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN CODE (CAL GREEN), AND ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, ORDINANCES AND LAWS.

OCCUPANCY TYPE: R-3
MARKING OF STORES: NO YES
CONSTRUCTION TYPE: TYPE VB
EXISTING PERMITS: NO YES

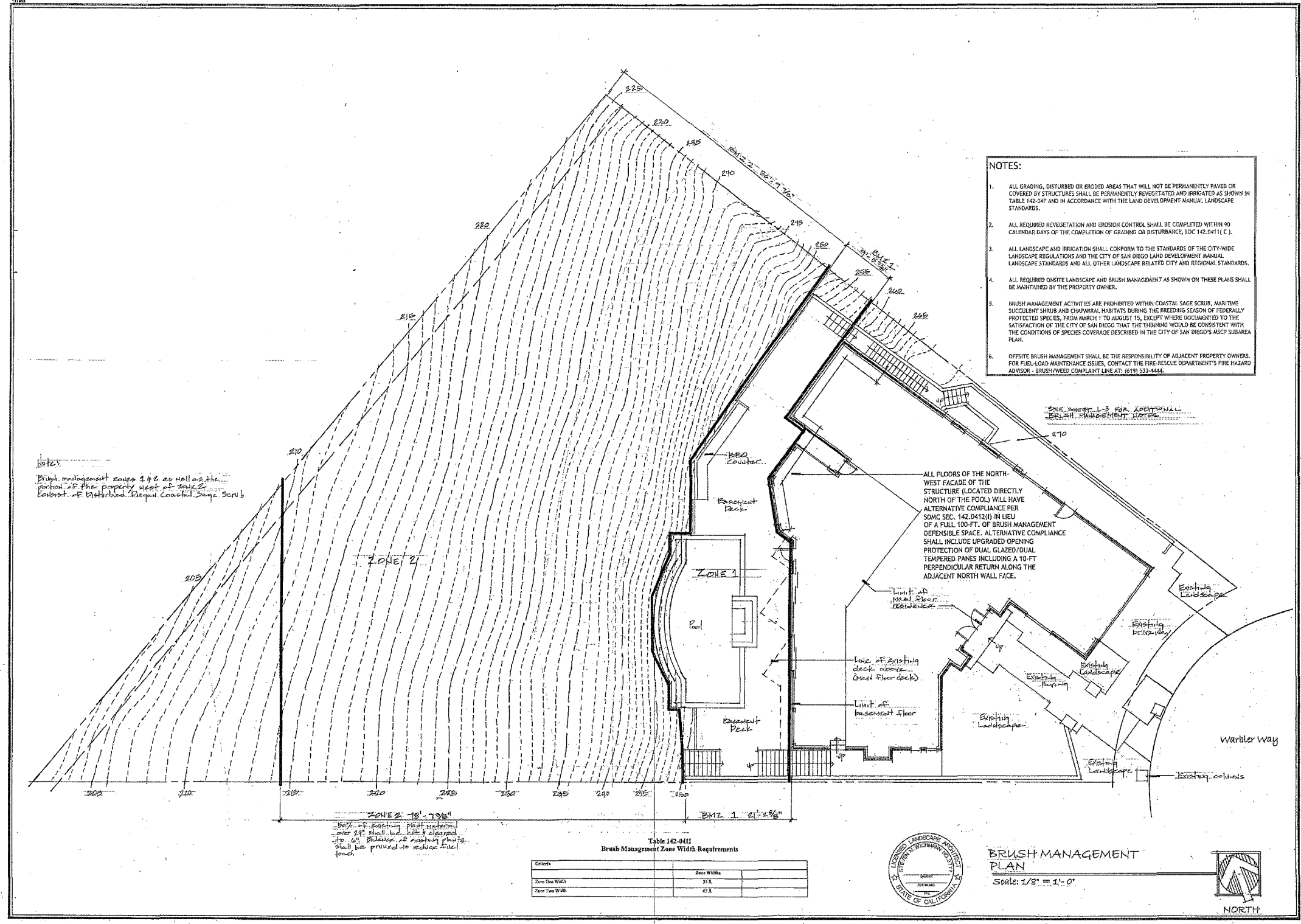
PLANNING DEPARTMENT INFORMATION

PARKING: PARKING REQUIRED: 2
PARKING PROVIDED: 2

BUILDING HEIGHT: 12'-0"
PROF. 'Y' HEIGHT LIMIT AREA: NO YES
ACTUAL BUILDING HEIGHT: 11'-0" (11'-0" OVERALL STRUCTURE HEIGHT)
NUMBER OF STORES: 0

ZONE HEIGHT LIMITS:
PROF. 'Y' HEIGHT LIMIT AREA: NO YES
ACTUAL BUILDING HEIGHT: 11'-0" (11'-0" OVERALL STRUCTURE HEIGHT)
NUMBER OF STORES: 0

TOTAL		TANK CALCULATIONS	
DEPT.	TOTAL	DEPT.	TOTAL
010	0	010	0
020	0	020	0
030	0	030	0
040	0	040	0
050	0	050	0
060	0	060	0
070	0	070	0
080	0	080	0
090	0	090	0
100	0	100	0
110	0	110	0
120	0	120	0
130	0	130	0
140	0	140	0
150	0	150	0
160	0	160	0
170	0	170	0
180	0	180	0
190	0	190	0
200	0	200	0
210	0	210	0
220	0	220	0
230	0	230	0
240	0	240	0
250	0	250	0
260	0	260	0
270	0	270	0
280	0	280	0
290	0	290	0
300	0	300	0
310	0	310	0
320	0	320	0
330	0	330	0
340	0	340	0
350	0	350	0
360	0	360	0
370	0	370	0
380	0	380	0
390	0	390	0
400	0	400	0
410	0	410	0
420	0	420	0
430	0	430	0
440	0	440	0
450	0	450	0
460	0	460	0
470	0	470	0
480	0	480	0
490	0	490	0
500	0	500	0
510	0	510	0
520	0	520	0
530	0	530	0
540	0	540	0
550	0	550	0
560	0	560	0
570	0	570	0
580	0	580	0
590	0	590	0
600	0	600	0
610	0	610	0
620	0	620	0
630	0	630	0
640	0	640	0
650	0	650	0
660	0	660	0
670	0	670	0
680	0	680	0
690	0	690	0
700	0	700	0
710	0	710	0
720	0	720	0
730	0	730	0
740	0	740	0
750	0	750	0
760	0	760	0
770	0	770	0
780	0	780	0
790	0	790	0
800	0	800	0
810	0	810	0
820	0	820	0
830	0	830	0
840	0	840	0
850	0	850	0
860	0	860	0
870	0	870	0
880	0	880	0
890	0	890	0
900	0	900	0
910	0		



Notes:
Brush management zones 1 & 2 as well as the portion of the property west of zone 2 consist of Disturbed, Riparian Coastal Sage Scrub.

ZONE 2 - 16'-7 1/2"
Brush management zone 2 shall be established to 6" tolerance of existing plants. Brush shall be pruned to reduce fuel load.

ALL FLOORS OF THE NORTH-WEST FACADE OF THE STRUCTURE (LOCATED DIRECTLY NORTH OF THE POOL) WILL HAVE ALTERNATIVE COMPLIANCE PER SOMC SEC. 142.0412(I) IN LIEU OF A FULL 100-FT. OF BRUSH MANAGEMENT DEFENSIBLE SPACE. ALTERNATIVE COMPLIANCE SHALL INCLUDE UPGRADED OPENING PROTECTION OF DUAL GLAZED/DUAL TEMPERED PANES INCLUDING A 10-FT PERPENDICULAR RETURN ALONG THE ADJACENT NORTH WALL FACE.

NIVEN RESIDENCE
5560 Warbler Way
La Jolla, CA 92037-7744

Landscaper Architects
GWD
Glenmar, Vista, San Diego
405 Via del Norte, Suite C, La Jolla, CA 92037-4992
858-593-0200
www.gwdarch.com

Date: 01.19.14
Job #: E-1420
Drawn by: [Signature]
Checked by: [Signature]
Reviewed by: [Signature]

Sheet
L-1
of 1

PREPARED BY:
Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858) 459-1171

PROJECT NAME:
NIVEN RESIDENCE REMODEL
5560 WARBLER WAY
LA JOLLA, CA 92037

SHEET TITLE:
LANDSCAPE - BRUSH MANAGEMENT PLAN

Revision	Date
Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	08/07/2015
Revision 2	02/18/2015
Revision 1	
Original Date:	10/09/2014
Sheet	16 of 18
DS#	

NIVEN RESIDENCE
5560 WARBLER WAY
LA JOLLA, CA 92037

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		

DATE: 08.01.2015

PROJECT NUMBER: 1404

REVIEWED BY: MDL

DRAWN BY: SEH

DATE: 08.01.2015

SHEET TITLE: LANDSCAPE - BRUSH MANAGEMENT PLAN

SHEET NO: L-1

All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written consent of the publisher. This document is the property of the publisher and is loaned to the client for their use only. It is not to be distributed to other parties without the express written consent of the publisher.

PLANTING NOTES

- PREPARE ALL PLANTING AREAS AS FOLLOWS: ALL QUANTITIES ARE BASED ON 1000 SQ. FT.: SCARIFY EXISTING SOIL TO A DEPTH OF 4"; REMOVE ALL STUBBS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPSUM, 10 LBS. IRON SULFATE, 50 LBS. TRICHLORATE AND 15 LBS. 6-20-20 FERTILIZER (EXCLUDING SLOPES TO BE HYDROSEED OR SLOPES EQUAL TO OR GREATER THAN 2:1). ROTARY IN TWO DIRECTIONS ALL AMENDMENTS INTO THE TOP 6" OF EXISTING SOIL, RAKE TO GRADE AND BROADCAST THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN A SOILS ANALYSIS TEST WITH AT LEAST TWO SOILS SAMPLES OF FINAL ROUGH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATIONS. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TEST KITS ARE AVAILABLE BY CALLING 1-800-927-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION BID TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ ROUND-UP. WAIT TWO WEEKS MIN. AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED ERADICATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE-OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- ALL PLANT MATERIAL TO REMAIN SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN HEALTHY CONDITION FOR THE DURATION OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATERING, FERTILIZING AND PRUNING.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTORS COST.
- ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEROLOGATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR, INCLUDING GROUND COVER.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS: THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.
- LANDSCAPE CONTRACTOR TO PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER COMPLETION OF JOB.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- PLANT QUANTITIES ARE FOR CONVENIENCE PURPOSES ONLY. CONTRACTOR TO VERIFY PLANT COUNTS AND SUPPLY QUANTITY OF PLANT MATERIAL TO IMPLEMENT THE INTENT OF THE DESIGN AS SHOWN.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE CURRENT UNIFORM BUILDING CODE.
- OWNER TO LOCATE AND STAKE PROPERTY LINES. NO DEMOLITION, CONSTRUCTION OR PLANTING SHALL OCCUR OUTSIDE OF PROPERTY LINE WITHOUT PROPERTY OWNERS CONSENT.
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ANY AND ALL WORK WITHIN THE RIGHT OF WAY (OUTSIDE THE PROPERTY LINES).
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ALL CONSTRUCTION WITHIN THE BOUNDS OF THE PROPERTY.
- OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING. PLANT MATERIAL SHALL BE WATERED PERIODICALLY AT SUCH TIME JUST PRIOR TO LEAF WILTING. ADJUST WATERING TO ACCOMMODATE FOR VARIATIONS IN RAIN FALL, TEMPERATURE, SOLAR EXPOSURE AND SEASONAL CHANGES FOR EACH PLANT.
- OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS TOWARDS SUBSURFACE DRAINAGE OR OFF SITE STORM DRAIN SYSTEMS AT A MINIMUM OF 2% SLOPE.
- MAINTENANCE OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED IN KIND WITH EQUIVALENT SIZE PER THE APPROVED PLANS.
- TREES AND SHRUBS SHALL BE LOCATED AND MAINTAINED TO PRESERVE A CLEAR ZONE OF AT LEAST TEN FEET FROM FIRE HYDRANTS, UTILITY POLES, OVERHEAD UTILITY WIRES, STREET LIGHT LUMINARIES AND ABOVE GROUND UTILITY STRUCTURES SUCH AS TRANSFORMER ENCLOSURES.
- POST FERTILIZATION FOR ALL PLANTING AREAS (16'-4'-8") SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.
- THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. GARNER WICHMANN DEAN LANDSCAPE ARCHITECTS, INC. IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.

24. NOTICE TO OWNER/CLIENT: ANY CHANGE TO THE EXISTING SITE INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING, CONSTRUCTION OR PLANTING MAY DISRUPT CURRENT SURFACE DRAINAGE PATTERNS. IT MAY BE NECESSARY TO ADJUST OR INSTALL SURFACE AND/OR SUBSURFACE DRAINAGE SYSTEMS NOT ILLUSTRATED ON PLAN.

NOTES



BRUSH MANAGEMENT PROGRAM - ADDITIONAL MAINTENANCE NOTES

- General Maintenance** - Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique, establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance; Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- Brush Management Zone 1** - This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead loads, to reduce excessive fuel and to provide adequate space between plants and structures.
- Brush Management Zone 2** - Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this removes viable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various ground covers (i.e. ivy) should be periodically sheared and brush removed (including grasses and some leg plants). Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
- Long-term Maintenance Responsibility** - All Landscaping/Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of the property owner. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.

BRUSH MANAGEMENT REQUIREMENTS

- ZONE ONE REQUIREMENTS**
 - The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
 - Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, patios, play structures and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible construction.
 - Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
 - Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - Permanent irrigation is required for all planting areas within Zone One except as follows:
 - When planting areas contain only species that do not grow taller than 24 inches in height, or
 - When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
 - Zone One irrigation overflow and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- ZONE TWO REQUIREMENTS**
 - The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is furthest from the habitable structure, to the edge of undisturbed vegetation.
 - No structures shall be constructed in Zone Two.
 - Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
 - Within Zone Two, all plants remaining after 50 percent are reduced in height shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - The following standards shall be used where Zone Two area is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - All new plant material for Zone Two shall be native non-irrigated, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures.
 - All new Zone Two plantings shall be irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallopone spray heads may be used in Zone Two. Overflow and runoff from the irrigation shall not drip or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.
 - Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
 - Zone Two shall be maintained on a regular basis by pruning and thinning plants, controlling weeds.
 - Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142.0411 cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.
- In consideration of the topography, existing and potential fuel load, and other characteristics of the site related to fire protection, the Fire Chief may modify the requirements of this section, and where applicable with the approval of the Building Official, may require building features for fire protection in addition to those required in accordance with Chapter 14, Article 5, Division 5 (Additional Building Standards for Buildings Located Adjacent to Hazardous Areas of Native or Naturalized Vegetation) if the following conditions exist:
 - In the written opinion of the Fire Chief, based upon a fire fuel load model report conducted by a certified fire behavior analyst, the requirements of Section 142.0412 fail to achieve the level of fire protection intended by the application of Zones One and two; and
 - The modification to the requirements achieves an equivalent level of fire protection as provided by Section 142.0412, other regulations of the Land Development Code, and the minimum standards contained in the Land Development Manual; and
 - The modification to the requirements is not detrimental to the public health, safety, and welfare of persons residing or working in the area.
- If the Fire Chief approves a modified plan in accordance with this section as part of the City's approval of a development permit, the modifications shall be recorded with the approved permit conditions.
- For existing structures, the Fire Chief may require brush management in compliance with this section for any area, independent of size, location, or condition if it is determined that a imminent fire hazard exists.
- Brush management for existing structures shall be performed by the owner of the property that contains the native and naturalized vegetation. This requirement is independent of whether the structure being protected by brush management is owned by the property owner subject to these requirements or is on neighboring property.

NIVEN RESIDENCE
5560 Warbler Way
LA JOLLA, CA 92037-7744

Landscape Architects
G W D
Garner Wichmann Dean
405 16th St, Suite 405, O. L.A. Jolla, CA 92037-4972
858-497-2200 or 858-497-2200 fax
www.gwd.com

Date: 08/01/2015
Drawn By: MCL
Reviewed By: MCL

Sheet
L-3
of

PREPARED BY:
Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)458-1171

PROJECT NAME:
NIVEN RESIDENCE REMODEL
5560 WARBLE WAY
LA JOLLA, CA 92037

SHEET TITLE:
LANDSCAPE - BRUSH MANAGEMENT AND
PLANTING NOTES

Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	08/01/2015
Revision 2	08/01/2015
Revision 1	08/01/2015
Original Date:	10/09/2014
Sheet	13 of 13
DP#	

NIVEN RESIDENCE
5560 WARBLE WAY
LA JOLLA, CA 92037

REVISIONS

DATE:	10/09/2014
PROJECT NUMBER:	1404
DESIGNED BY:	MCL
DRAWN BY:	SEH
CHECKED BY:	
DATE:	08/01/2015
SHEET TITLE:	LANDSCAPE - BRUSH MANAGEMENT AND PLANTING NOTES
SHEET NUMBER:	L-3



LEGAL DESCRIPTION

LOT 36 OF LA JOLLA MESA VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3850, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MAY 26, 1957.

BENCHMARK

CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NORTHWEST CORNER OF LA JOLLA MESA DRIVE AND SKYLARK DRIVE. ELEVATION 318.67' MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED; TITLE REPORT NOT PROVIDED.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 5580 WARBLER WAY, LA JOLLA, CA 92037.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 957-670-01.
5. THE AREA OF THE SUBJECT PARCEL IS 0.46 ACRES.

ABBREVIATIONS

- EL ELEVATION
- FF FINISH FLOOR
- FG FINISH GRADE
- FS FINISH SURFACE
- TYR TYPICAL



Patrick F. Christensen
 PATRICK F. CHRISTENSEN, P.L.S., T.S. Date: 05-05-14

SHEET TITLE: TOPOGRAPHIC MAP Original Date: 10/03/2014
 Sheet: 2 of 18
 DEFP

Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7508 SILVERTON AVENUE, SUITE "J"
 SAN DIEGO, CA 92126
 PHONE: (619)271-6901 FAX: (619)271-6912

Project Address:
 5580 WARBLER WAY
 LA JOLLA, CA 92037

- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2:
- Revision 1:

Project Name:
 NIVEN RESIDENCE

Original Date: MAY 05, 2014



Sheet Title: TOPOGRAPHIC MAP SHEET OF SHEETS

CE & S CHRISTENSEN ENGINEERING & SURVEYING
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS
 7508 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
 TELEPHONE: (619)271-6901 FAX: (619)271-6912

SCALE: 1" = 20'

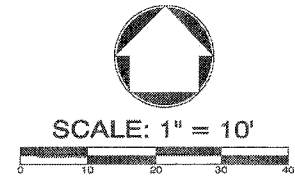


LEGEND

-  AREA OF SITE WITH SLOPES GREATER THAN 25% (1,1697 SF) (69.7% OF SITE)
-  AREA OF SITE WITH SLOPES GREATER THAN 25% PREVIOUSLY DISTURBED, TO BE GRADED (1,440 SF) (8.2% OF SITE)



LA JOLLA MESA VISTA
MAP NO. 3650



LEGAL DESCRIPTION

LOT 55, LA JOLLA MESA VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3650, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, MAY 20, 1997.

APN / ADDRESS

ASSESSOR'S PARCEL NUMBER: 557-670-01-00
ADDRESS: 6580 WARBLER WAY
LA JOLLA, CA 92037

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED MAY 03, 2014, AND IS AN ON THE GROUND AND AERIAL PHOTOGRAMMETRIC SURVEY.
2. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER LATERAL AND WATER SERVICE, WHICH ARE TO BE RETAINED.
3. EXISTING EASEMENTS ARE AS SHOWN.
4. BENCHMARK: CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NW CORNER OF LA JOLLA MESA DRIVE AND SKYLARK DRIVE. ELEVATION = 319.87 MSL, NGVD29
5. AREA OF SITE 17,805 SF (0.408 AC)
6. GEOTECHNICAL REPORT BY CHRISTIAN WHEELER ENGINEERING, ENTITLED 'REPORT OF GEOTECHNICAL AND SITE DISTURBANCE EVALUATION, NIVEN RESIDENCE, 6580 WARBLER WAY, LA JOLLA, CALIFORNIA,' DATED JULY 8, 2014 CONCLUDES THAT THE ENTIRE SITE HAS BEEN PREVIOUSLY DISTURBED BY GRADING, MOST LIKELY IN THE 1960s. NO NATURAL SLOPE EXIST.

AREA OF PROPOSED SITE IMPROVEMENTS WITHIN PORTIONS OF THE SITE WITH SLOPES >25%. (1,440 SF, 0.3 AC) ENTIRE SITE PREVIOUSLY DISTURBED. SEE GEOTECHNICAL REPORT.

EX SEWER LATERAL
PROTECT IN PLACE

EX WATER SERVICE
PROTECT IN PLACE

4" VC RISER PER LINDO (RECAL)
WARBLER WAY

4" AC WATER PER LINDO (RECAL)

Antony K. Christensen
ANTONY K. CHRISTENSEN
RCE 54021
EXP. 12-31-16

MAY 06, 2015
Date



Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE 107
SAN DIEGO, CA 92126
PHONE: (619) 271-4991 FAX: (619) 271-8912

Project Address:
6580 WARBLER WAY
LA JOLLA, CA 92037

Project Name:
NIVEN RESIDENCE

Revision 1: 02-25-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 2: 05-06-15 REVISED DESIGN

Revision 3: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 4: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 5: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 6: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 7: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 8: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 9: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Revision 10: 05-06-15 REVISED EXHIBIT TO INCLUDE GEOTECHNICAL REPORT INFORMATION

Sheet: 3 of 10

Original Date: SEPTEMBER 30, 2014

Sheet Title: SLOPE ANALYSIS

C-2

JW 2014-20

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING OVERHEAD UTILITY
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EX. SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED BUILDING WALL
- PROPOSED RETAINING WALL
- PVC DRAIN
- AREA/DECK DRAIN
- CONCRETE SURFACE
- DIRECTION OF DRAINAGE
- DECK AREA
- RIP RAP
- BASEMENT AREA
- PROPOSED ROOF DRAIN



LEGAL DESCRIPTION

LOT 35, LA JOLLA MESA VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3650, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, MAY 20, 1997.

APN / ADDRESS

ASSESSOR'S PARCEL NUMBER: 057-570-01-00
ADDRESS: 5590 WARBLER WAY
LA JOLLA, CA 92037

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED MAY 03, 2014 AND IS AN ON THE GROUND AND AERIAL PHOTOGRAMMETRIC SURVEY.
2. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER LATERAL AND WATER SERVICE, WHICH ARE TO BE RETAINED.
3. EXISTING EASEMENTS ARE AS SHOWN.
4. BENCHMARK: CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NW CORNER OF LA JOLLA MESA DRIVE AND SKYLARK DRIVE. ELEVATION = 319.87 MSL, NGVD83

GRADING DATA

AREA OF SITE - 17,886 S.F.
 AREA OF SITE TO BE GRADED - 6,030 SF
 PERCENT OF SITE TO BE GRADED - 33.7%
 AMOUNT OF SITE WITH 25% SLOPES OR GREATER: AREA - 11,887 SF,
 PERCENT OF TOTAL SITE - 66.7%
 AMOUNT OF SITE WITH SLOPES THAT ARE SUBJECT TO E.S.L. REQS. (0.5% OF SITE)
 (I.D.C. REQ. 143.0110). ENTIRE SITE PREVIOUSLY DISTURBED PER GEOTECHNICAL REPORT
 BY CHRISTENSEN ENGINEERING, BOTTLED REPORT OF GEOTECHNICAL
 AND SITE DISTURBANCE EVALUATION, NIVEN RESIDENCE, 5590 WARBLER WAY,
 LA JOLLA, CALIFORNIA, DATED JULY 3, 2014. NO NATURAL SLOPES EXIST.

AMOUNT OF CUT - 1,120 C.Y.
 AMOUNT OF FILL - 8 C.Y.
 AMOUNT OF EXPORT - 1,115 C.Y.
 MAXIMUM HEIGHT OF FILL - 5' VERTICAL FILL (BASEMENT)
 MAXIMUM FILL SLOPE RATIO: N/A
 MAXIMUM FILL SLOPE HEIGHT: NONE
 MAXIMUM HEIGHT OF CUT 1/2' VERTICAL (BASEMENT)
 MAXIMUM CUT SLOPE RATIO - N/A
 MAXIMUM HEIGHT OF CUT SLOPE - NONE

EARTHWORK IS TO FINISH SURFACE AND IS APPROXIMATE
 LENGTH OF SITE RETAINING WALL - 115'
 MAX HEIGHT OF SITE RETAINING WALL - 6' WALK

NOTE:
 PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL
 ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP
 MAINTENANCE.
 PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL
 INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO
 COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE
 SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL
 SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED
 IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER
 STANDARDS.
 RUNOFF WILL BE TREATED BY FLOW OVER LANDSCAPING BEFORE BEING CONVEYED
 OFFSITE, AS SHOWN ON THE PLAN AND DETAILED IN THE WDS.

NOTE:
NO ADDITIONAL RUNOFF
FLOWS TO SLOPE AFTER
CONSTRUCTION WHEN
COMPARED TO BEFORE
CONSTRUCTION.

Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE "F"
 SAN DIEGO, CA 92128
 PHONE: (619) 527-4501 FAX: (619) 527-4512

Project Address:
 5590 WARBLER WAY
 LA JOLLA, CA 92037

Project Name:
 NIVEN RESIDENCE

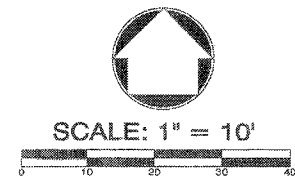
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 05-08-15 ADDRESS CITY COMMENTS
REVISE DESIGN
- Revision 1: 03-29-15 REVISED SLOPE DATA

Sheet: 4 of 16

Sheet Title: Preliminary Grading Plan Original Date: SEPTEMBER 30, 2014

PRELIMINARY GRADING PLAN

C-3

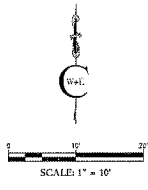
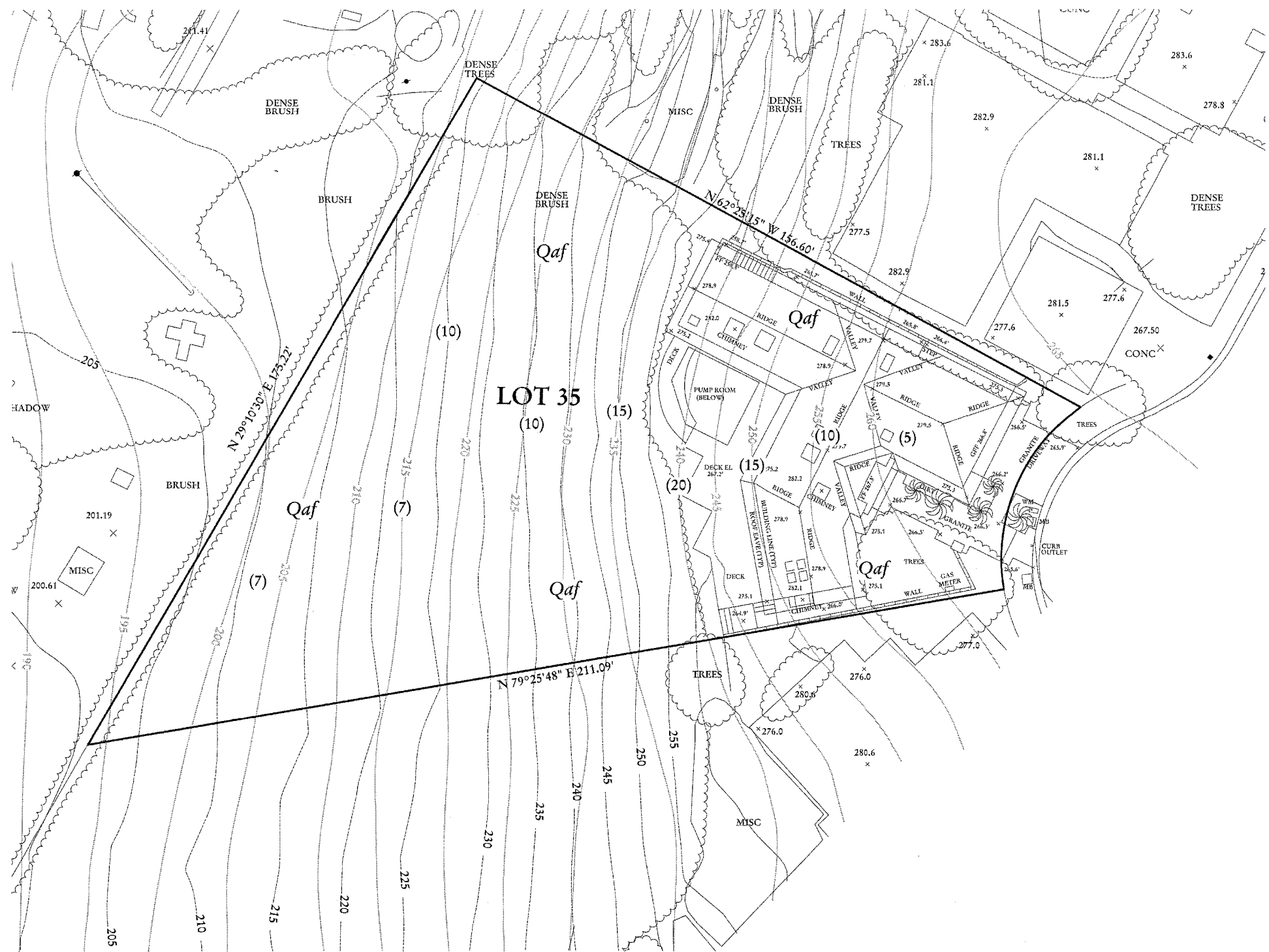


Anthony K. Christensen
 ANTHONY K. CHRISTENSEN
 RCE 54021
 EXP. 12-31-16
 MAY 06, 2015
 Date



LA JOLLA MESA VISTA
MAP NO. 3650

CWE LEGEND	
	EXISTING TOPOGRAPHY (CHRISTENSEN ENGINEERING & SURVEYING, 2014)
	PRE-GRADE TOPOGRAPHY (TAKEN FROM CITY OF SAN DIEGO, 1/25 SCALE TOPOGRAPHIC MAP, SHEET 23-149, 1933)
(10)	APPROXIMATE FILL DEPTH (IN FEET)
Qaf	ARTIFICIAL FILL



SITE DISTURBANCE MAP		<small>NIVEN RESIDENCE 5560 WARBLER WAY LA JOLLA, CALIFORNIA</small>	
DATE: 01/21/2014	DRAWN BY: JDS/SOL	PROJECT NO.: 21420131	CHRISTIAN WARBLER SURVEYORS & PLANNERS
BY: DMR/SJM	PLATE NO.: 1		

<p>PREPARED BY:</p> <p>Name: ARCHITECT MARK D. LYON, INC.</p> <p>Address: 410 BIRD ROCK AVENUE LA JOLLA, CA 92037</p> <p>Phone #: (652)454-1171</p>	<p>Revision 14: _____</p> <p>Revision 13: _____</p> <p>Revision 12: _____</p> <p>Revision 11: _____</p> <p>Revision 10: _____</p> <p>Revision 9: _____</p> <p>Revision 8: _____</p> <p>Revision 7: _____</p> <p>Revision 6: _____</p> <p>Revision 5: _____</p> <p>Revision 4: _____</p> <p>Revision 3: _____</p> <p>Revision 2: 08/07/2013</p> <p>Revision 1: 05/13/2013</p>
<p>PROJECT NAME:</p> <p>NIVEN RESIDENCE REMODEL</p> <p>5560 WARBLER WAY LA JOLLA, CA 92037</p>	<p>Original Date: 10/23/2014</p> <p>Sheet 5 of 18</p> <p>DPP</p>
<p>SHEET TITLE:</p> <p>SITE DISTURBANCE MAP</p>	

<p>NIVEN RESIDENCE</p> <p>5560 WARBLER WAY LA JOLLA, CA 92037</p>
<p>DATE: 10/23/2014</p> <p>PHASE: SITE DEVELOPMENT PERMIT</p> <p>PROJECT NUMBER: 1404</p> <p>REVIEWED BY: MDL</p> <p>DRAWN BY: SEH</p> <p>DATE: 08/01/2015</p> <p>SHEET TITLE: SITE DISTURBANCE MAP</p> <p>SHEET NO: C-4</p>

AS!
ARCHITECT MARK D. LYON INC.
 410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET



NIVEN RESIDENCE
 5560 WARBLER WAY
 LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE: 10.03.2014

PHASE: SITE DEVELOPMENT PERMIT

PROJECT NUMBER: 1404

REVIEWED BY: MDL

DATE: 08.01.2015

DRAWN BY: SEH

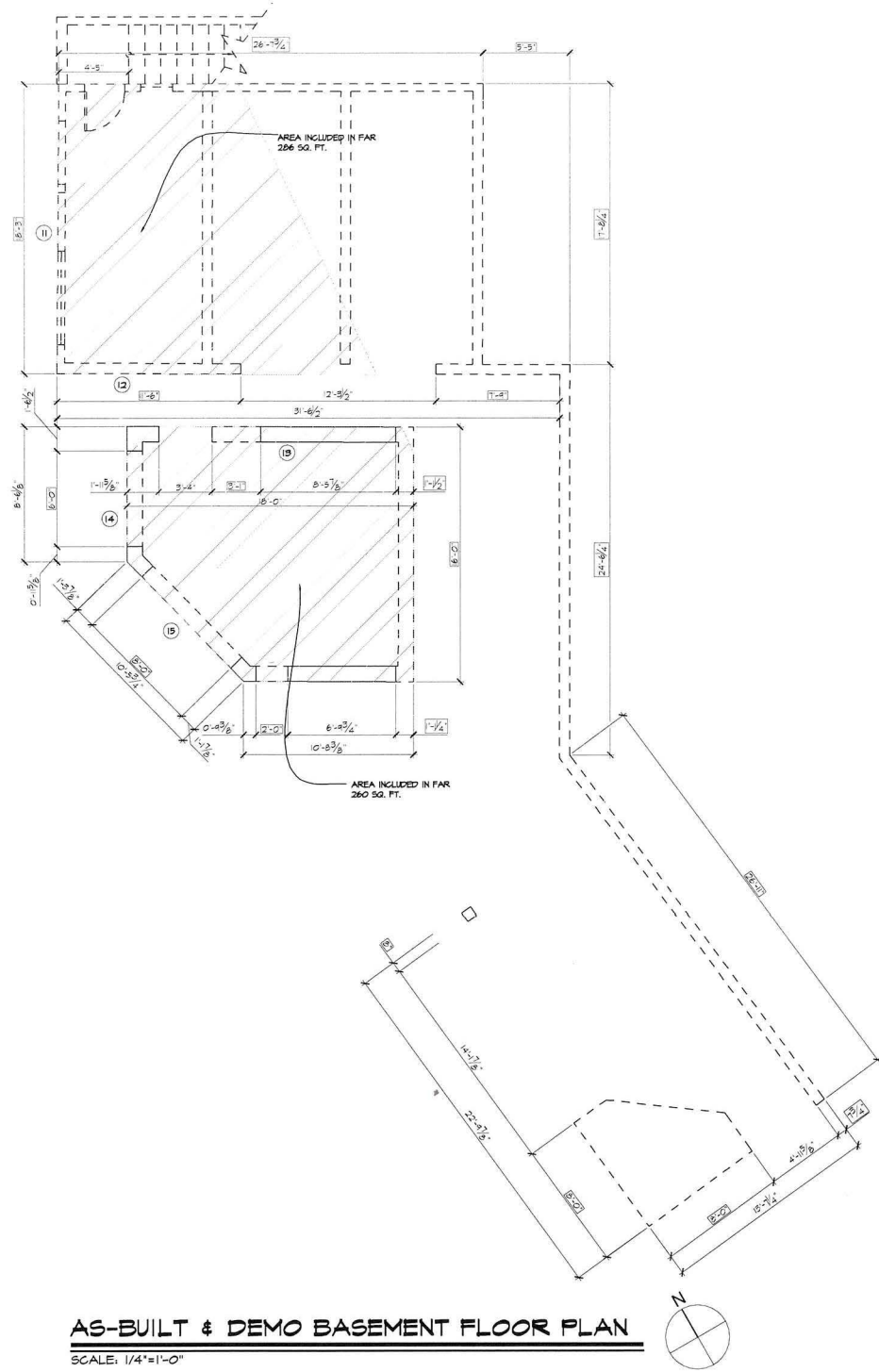
SHEET TITLE: AS-BUILT & DEMO FLOOR PLANS

SHEET NO: A2.0

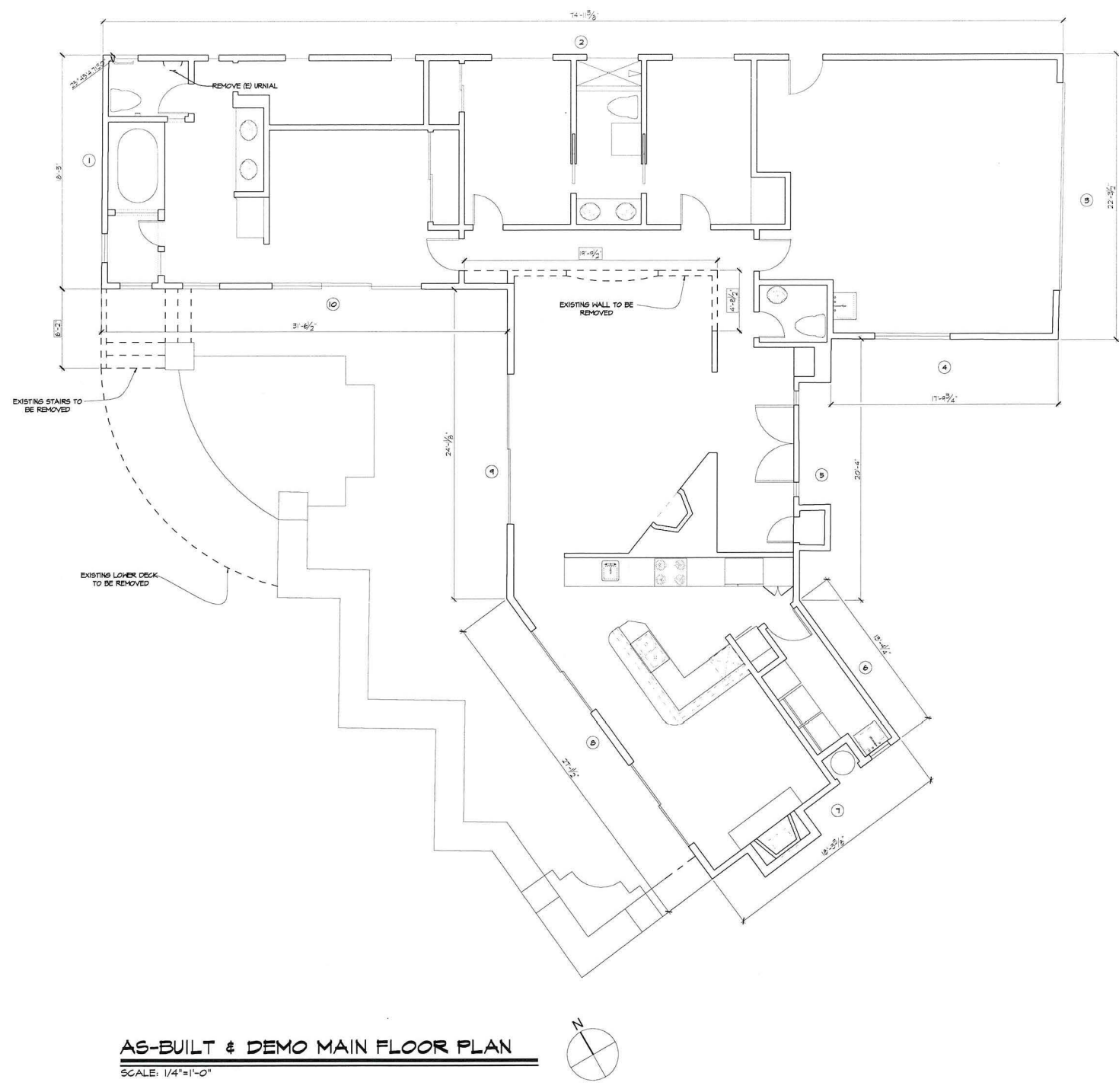
Original Date: 10/03/2014

Sheet: 8 of 18

DETAILED



AS-BUILT & DEMO BASEMENT FLOOR PLAN



AS-BUILT & DEMO MAIN FLOOR PLAN

HALL MATRIX			
NO.	EXISTING	REMOVED	REMAINING
1	18'-9"	0'-0"	18'-9"
2	14'-3 1/2"	0'-0"	14'-3 1/2"
3	22'-3 1/2"	0'-0"	22'-3 1/2"
4	17'-4 3/4"	0'-0"	17'-4 3/4"
5	20'-4"	0'-0"	20'-4"
6	15'-4 1/4"	0'-0"	15'-4 1/4"
7	18'-3 1/2"	0'-0"	18'-3 1/2"
8	27'-1 1/2"	0'-0"	27'-1 1/2"
9	24'-1 1/4"	0'-0"	24'-1 1/4"
10	8'-6 1/2"	0'-0"	8'-6 1/2"
TOTAL	267'-4 1/2"	0'-0"	267'-4 1/2"
11	18'-3"	18'-3"	0'-0"
12	3'-6 1/2"	1'-3"	12'-3 1/2"
13	18'-0"	4'-3 1/2"	13'-6 1/2"
14	8'-6 1/4"	8'-0"	2'-6 1/4"
15	10'-5 3/4"	8'-0"	2'-5 3/4"
TOTAL	264'-4 3/8"	55'-9 1/2"	31'-0 7/8"
GRAND TOTAL	554'-1 1/8"	55'-9 1/2"	248'-5 3/8"

WALL LEGEND

① WALL NUMBER

— EXISTING HALL TO REMAIN

- - - EXISTING HALL TO BE REMOVED

- - - EXISTING DOOR TO BE REMOVED

- - - EXISTING WINDOW TO BE REMOVED

ALL OTHER DASHED LINES REPRESENT ADDITIONAL ITEMS TO BE REMOVED.

- DEMOLITION NOTES**
- CONTRACTOR SHALL INVESTIGATE EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS.
 - CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.
 - CONTRACTOR SHALL ALLOW FOR CONNECTIONS TO EXISTING PLUMBING AND SEWER LOCATIONS.
 - REMOVE ALL LANDSCAPE/HARDSCAPE WHERE INDICATED FOR NEW ADDITION.
 - REMOVE WALLS AS SHOWN, VERIFY IN FIELD WITH ARCHITECT WALLS TO BE REMOVED.
 - REMOVE EXISTING ROOFING AND ROOF FRAMING WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
 - REMOVE EXISTING CEILING FRAMING AND FINISH WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.

- DEMOLITION NOTES (CONT)**
- REMOVE FLOORING TO SUB FLOOR WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
 - REMOVE ALL EXISTING WINDOWS AS INDICATED AND PREP OPENING TO RECEIVE NEW UNIT. VERIFY ALL ROUGH OPENING DIMENSIONS.
 - REMOVE EXISTING HARDSCAPE AND PREP FOR NEW HARDSCAPE.
 - REMOVE ALL CEDAR WAINSCOTT FROM DINING ROOM, FAMILY ROOM, AND KITCHEN. PATCH AND REPAIR DRYWALL FINISH TO MATCH EXISTING. SEE INTERIOR ELEVATIONS AND SCHEDULES FOR NEW FINISHES.
 - ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.

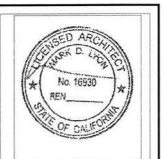
50% = 554'-1 1/8" = 111'-1"
 2

55'-9 1/2" = 15 = 15% REMOVED 85% REMAINING
 554'-1 1/8"

All design notes and annotations are the legal property of Architect Mark D. Lyon, Inc. It is the original file and cannot be printed or scanned for use by any method, in whole or part, without the express written consent of Architect Mark D. Lyon, Inc. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Architect Mark D. Lyon, Inc.



ARCHITECT MARK D. LYON INC.
 410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDL.A.NET



NIVEN RESIDENCE
 5560 WARBLER WAY
 LA JOLLA, CA 92037

REVISIONS:

NO.	DATE	DESCRIPTION

SUBMITTAL DATE:	10/03/2014
PHASE:	SITE DEVELOPMENT PERMIT
PROJECT NUMBER:	1404
REVIEWED BY:	MDL
DRAWN BY:	SEH
DATE:	08/07/2015

SHEET TITLE:
PROPOSED MAIN FLOOR PLAN
 SHEET NO:
A2.2

SYMBOL LEGEND
 (SCHEDULES ON SHEET A-6.1)

- DOOR NUMBER
- △ WINDOW NUMBER
- ◇ FIXTURE NUMBER
- 100 ROOM NUMBER
- ▨ AREA INCLUDED IN F.A.R.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CMU WALL TO REMAIN
- FURRED WALL - EXISTING 2X4 EXTERIOR WALL STUDS SISTERED W/ 2X6 STUDS
- NEW WALL: 2X HOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X6 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW CMU WALL
- INTERIOR PARTITIONS: 2X4 CONSTRUCTION NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- NEW ROCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED

4" U.O.N.
 4" U.O.N.
 EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PDTN. WALL. INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE & SEE SP-1 FOR INSULATION SPECIFICATIONS.

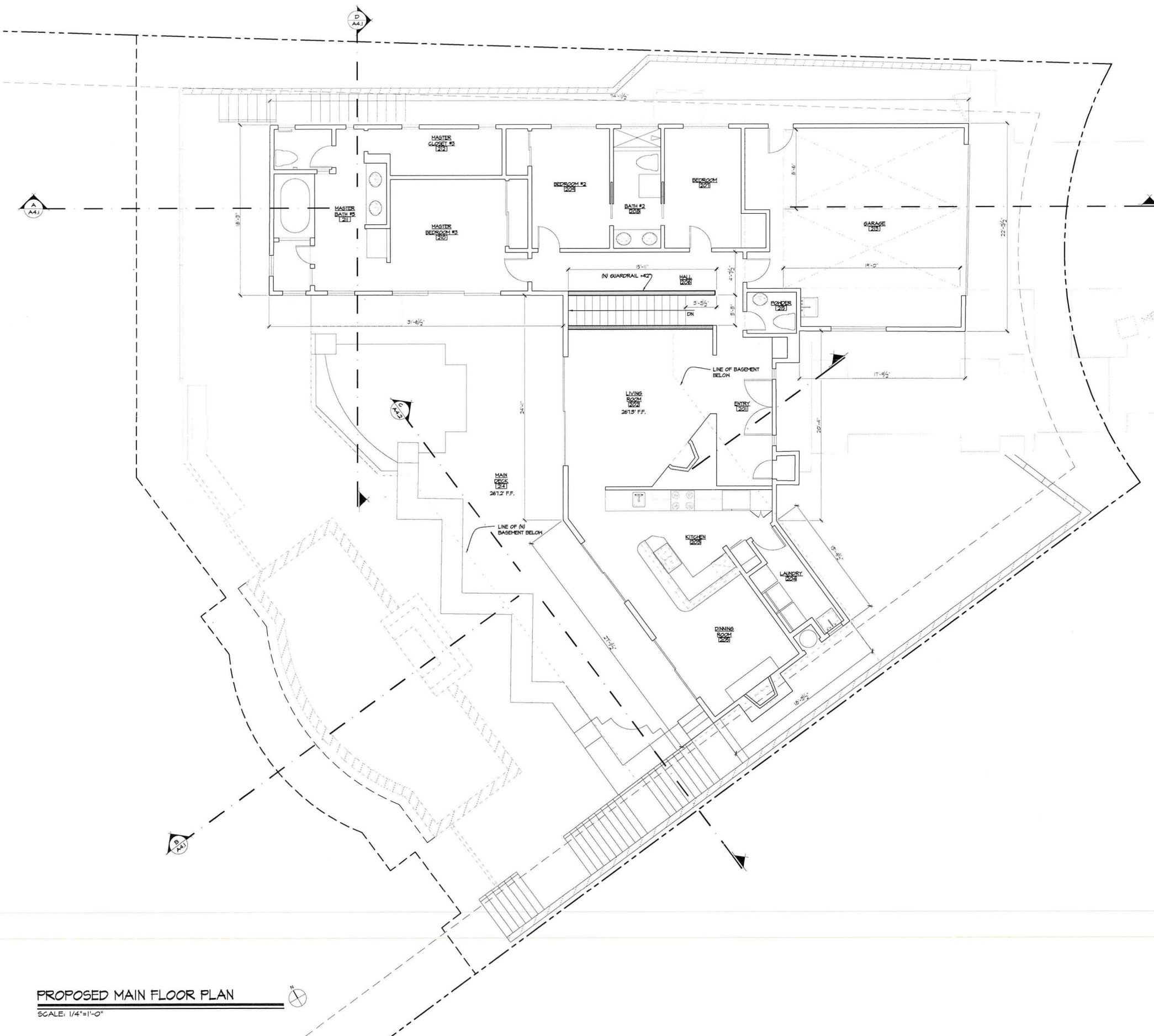
PREPARED BY:
 ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone # (858)459-1171

PROJECT NAME:
 NIVEN RESIDENCE REMODEL
 5560 WARBLER WAY
 LA JOLLA, CA 92037

SHEET TITLE:
 PROPOSED MAIN FLOOR

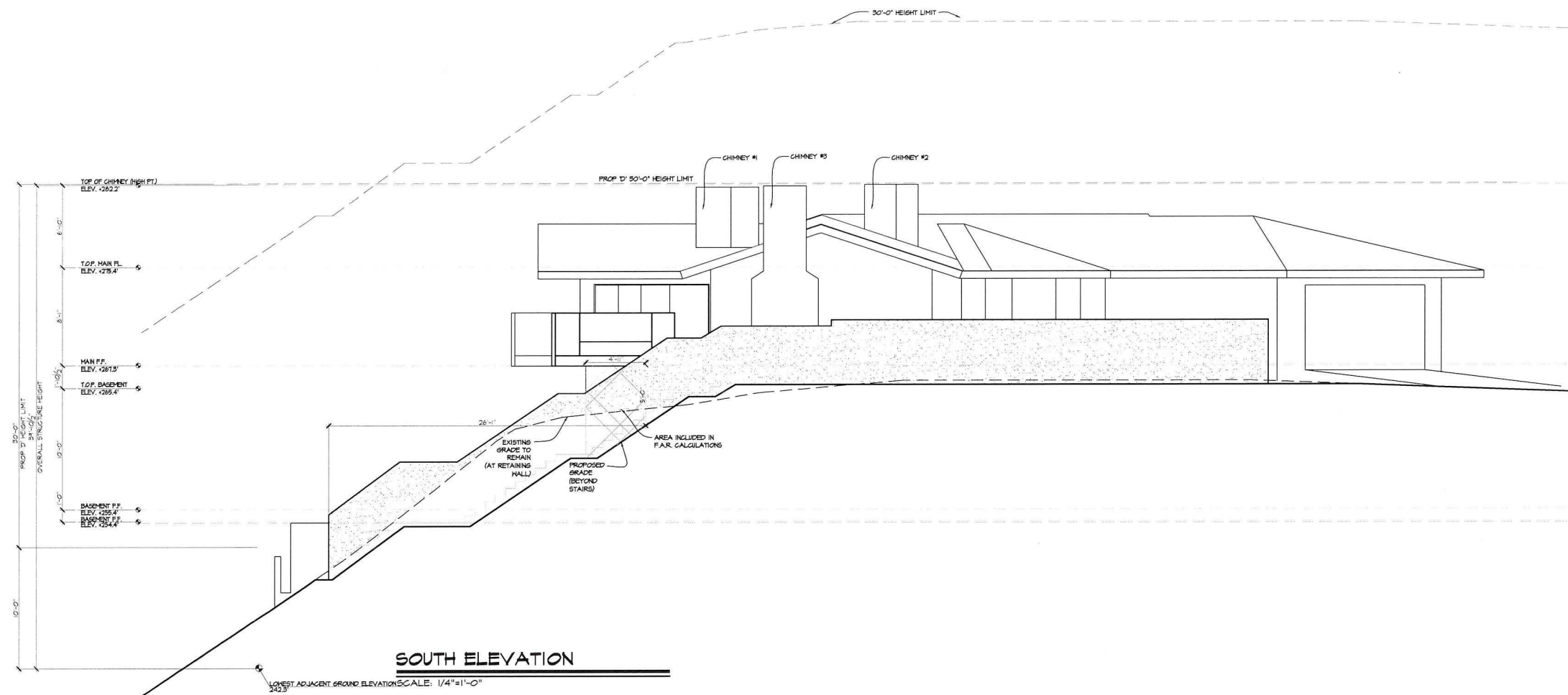
Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	
Revision 2	08/07/2015
Revision 1	09/19/2015

Original Date: 10/03/2014
 Sheet: 4 of 18
 DEP:



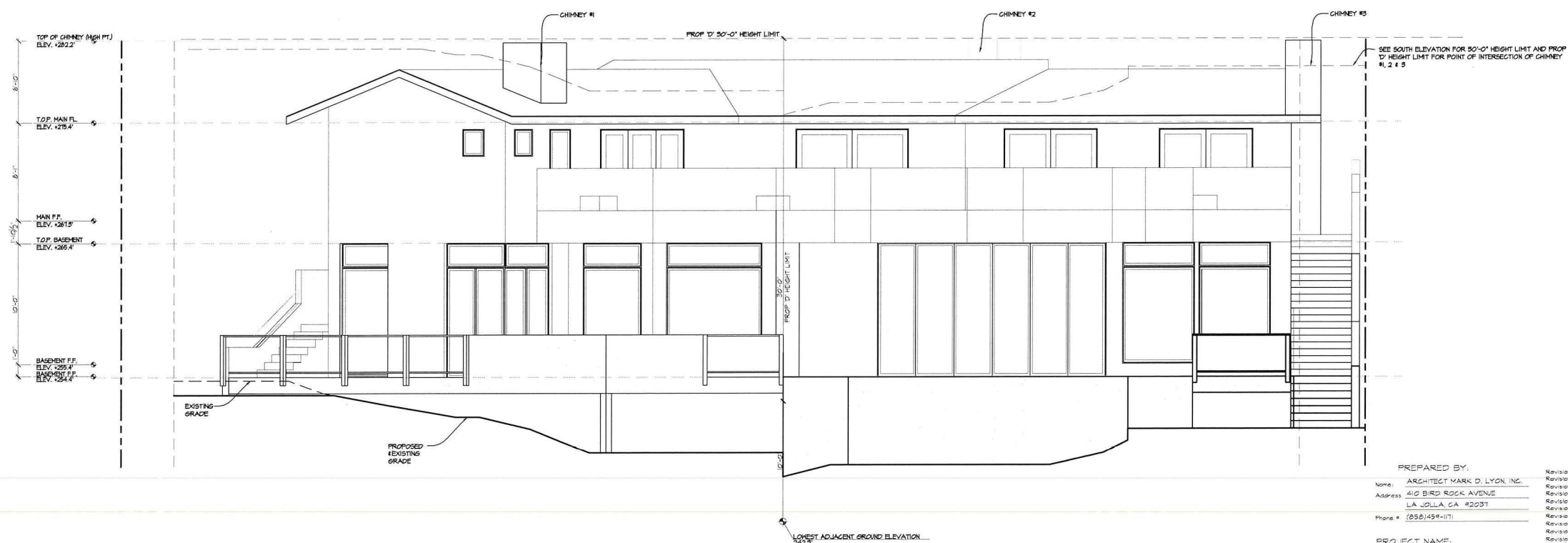
PROPOSED MAIN FLOOR PLAN
 SCALE: 1/4"=1'-0"

All rights, titles and arrangements are indicated on this drawing as the property of Architect Mark D. Lyon, Inc. No. 16930, 5560 Warbler Way, La Jolla, CA 92037. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the express written consent of Architect Mark D. Lyon, Inc. All rights reserved.



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST | ELEVATION

SCALE: 1/4"=1'-0"

NOTE
 1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
 2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMG SEC 151.0444 & 152.0505

ARCHITECT MARK D. LYON INC.
 410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET



NIVEN RESIDENCE
 5560 WARBLER WAY
 LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:	10/03/2014
PHASE:	SITE DEVELOPMENT PERMIT
PROJECT NUMBER:	1404
REVIEWED BY:	MDL
DRAWN BY:	SEH
DATE:	08/01/2015
SHEET TITLE:	EXTERIOR ELEVATIONS
SHEET NO.:	A3.1

PREPARED BY:
 Name: ARCHITECT MARK D. LYON, INC.
 Address: 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone #: (858)459-1171

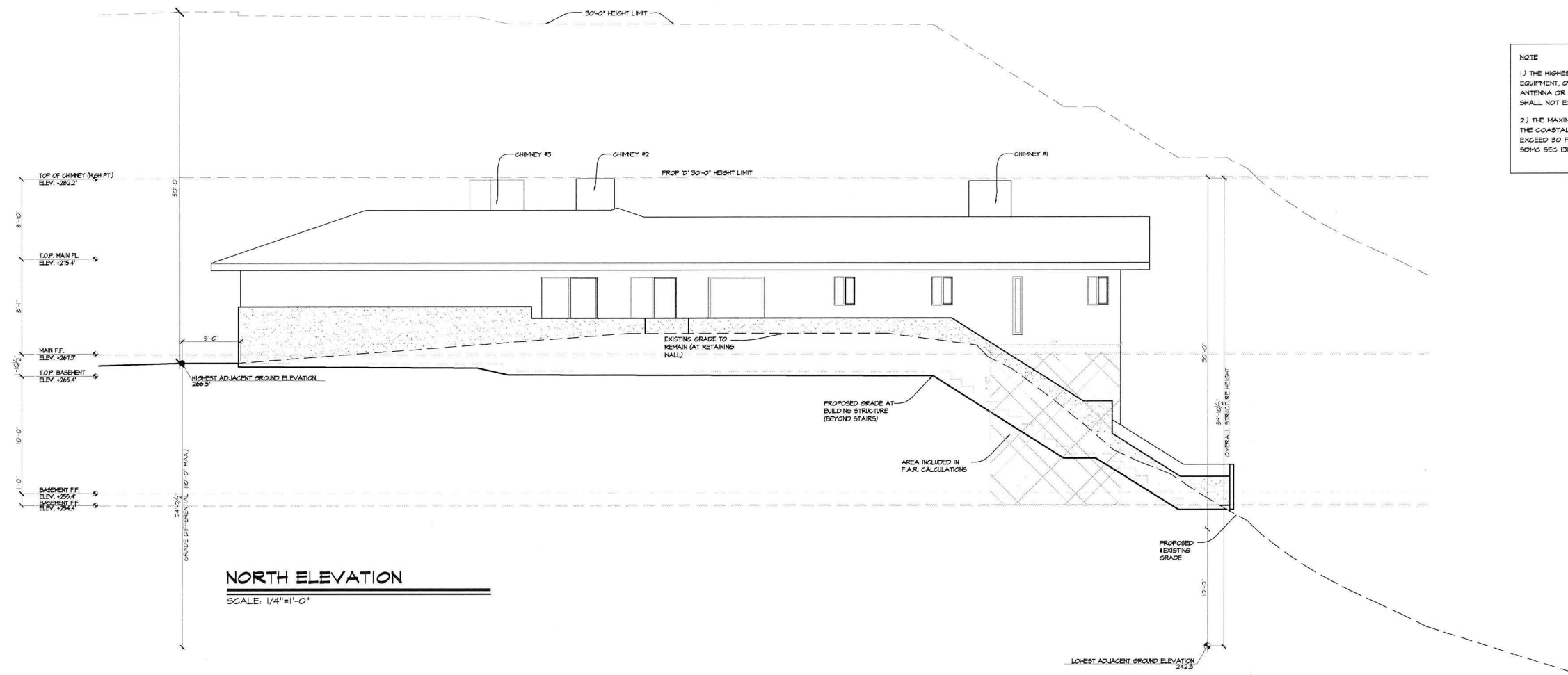
PROJECT NAME:
 NIVEN RESIDENCE REMODEL
 5560 WARBLER WAY
 LA JOLLA, CA 92037

SHEET TITLE:
 EXTERIOR ELEVATIONS

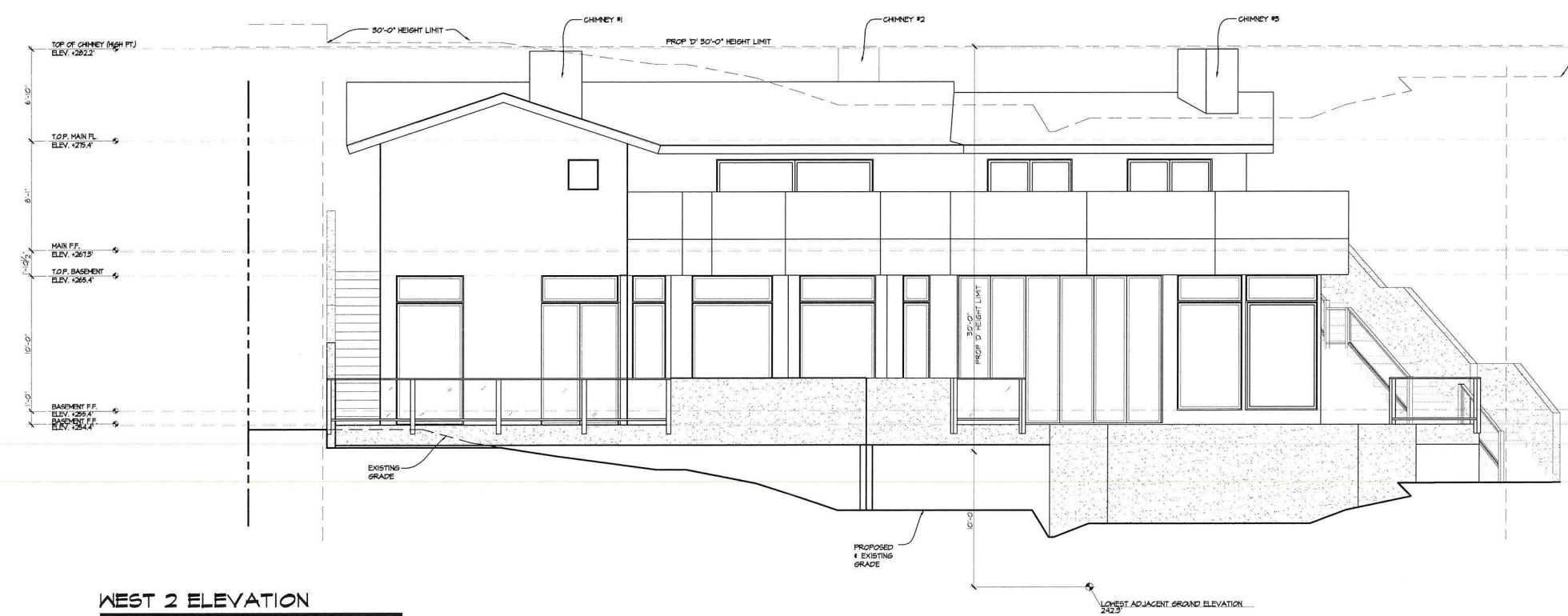
Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	08/01/2015
Revision 3:	09/18/2015
Revision 2:	
Revision 1:	

Original Date: 10/03/2014
 Sheet: 12 of 18
 Date:

All Rights Reserved and all other information contained herein is the property of Architect Mark D. Lyon, Inc. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Architect Mark D. Lyon, Inc. Aerial photos, maps, and other information shown herein are for reference only and do not constitute a part of this drawing. The user of this drawing assumes all liability for any errors or omissions. The user of this drawing also assumes all liability for any damage or destruction to any property or person resulting from the use of this drawing.



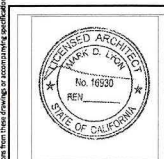
NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST 2 ELEVATION
SCALE: 1/4"=1'-0"

NOTE
1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SOMC SEC 151.0444 & 152.0505

ARCHITECT MARK D. LYON INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLIA.NET



NIVEN RESIDENCE
5560 WARBLER WAY
LA JOLLA, CA 92037

PREPARED BY:
Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
NIVEN RESIDENCE REMODEL
5560 WARBLER WAY
LA JOLLA, CA 92037

SHEET TITLE:
EXTERIOR ELEVATIONS

Revision 14	Revision 13	Revision 12	Revision 11	Revision 10	Revision 9	Revision 8	Revision 7	Revision 6	Revision 5	Revision 4	Revision 3	Revision 2	Revision 1
										05/07/2015	05/19/2015		
Original Date: 10/03/2014													
Sheet: 15 of 18													
DC#:													

REVISIONS:

SUBMITTAL DATE:	10/03/2014
PHASE:	SITE DEVELOPMENT PERMIT
PROJECT NUMBER:	1404
REVIEWED BY:	MDL
DRAWN BY:	SEH
DATE:	08/07/2015
SHEET TITLE:	EXTERIOR ELEVATIONS
SHEET NO.:	A3.2

All Rights Reserved and all other rights are reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Architect Mark D. Lyon, Inc. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Architect Mark D. Lyon, Inc. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Architect Mark D. Lyon, Inc. All rights reserved.

ARCHITECT MARK D. LYON INC.
 410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET

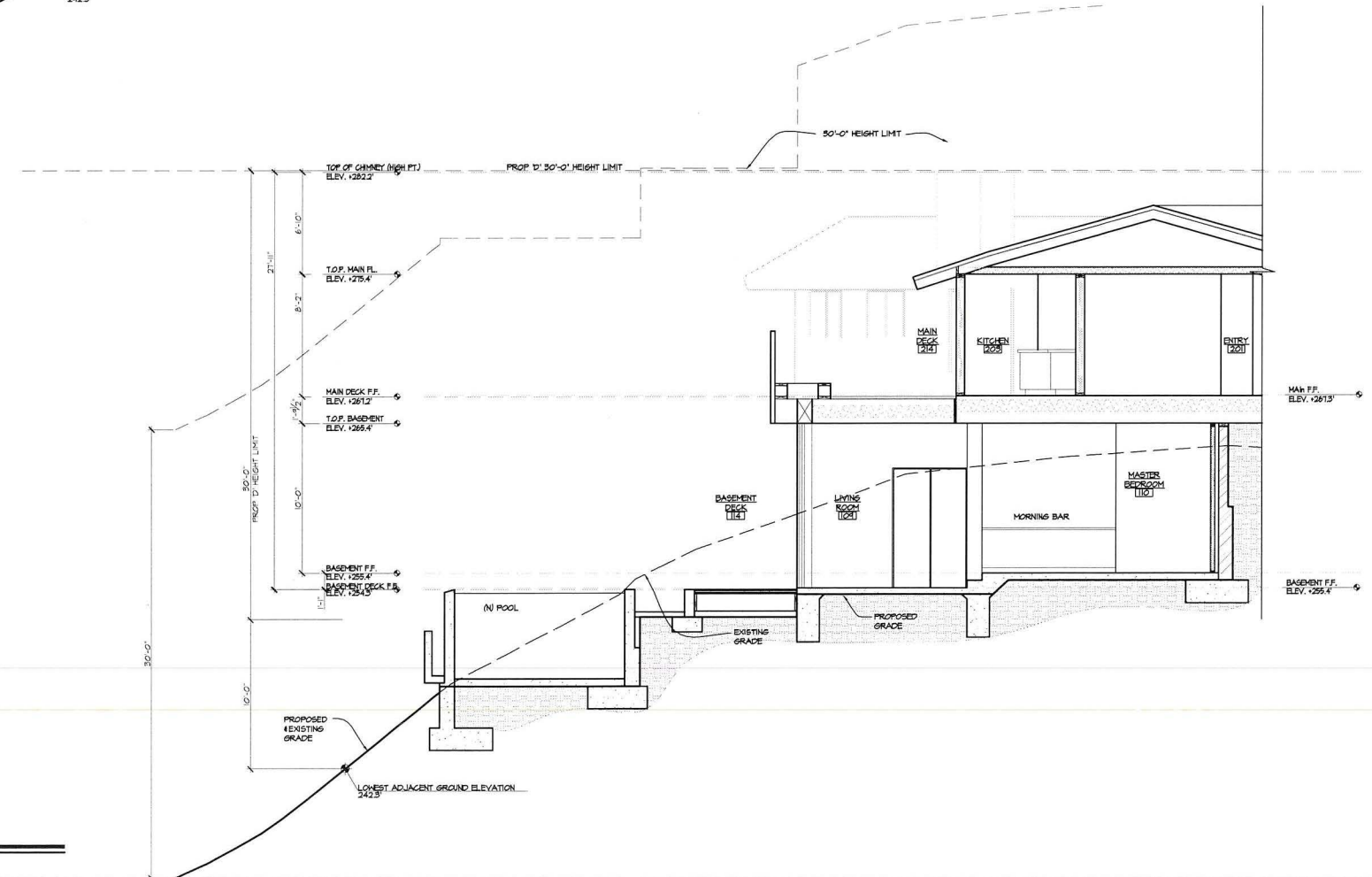
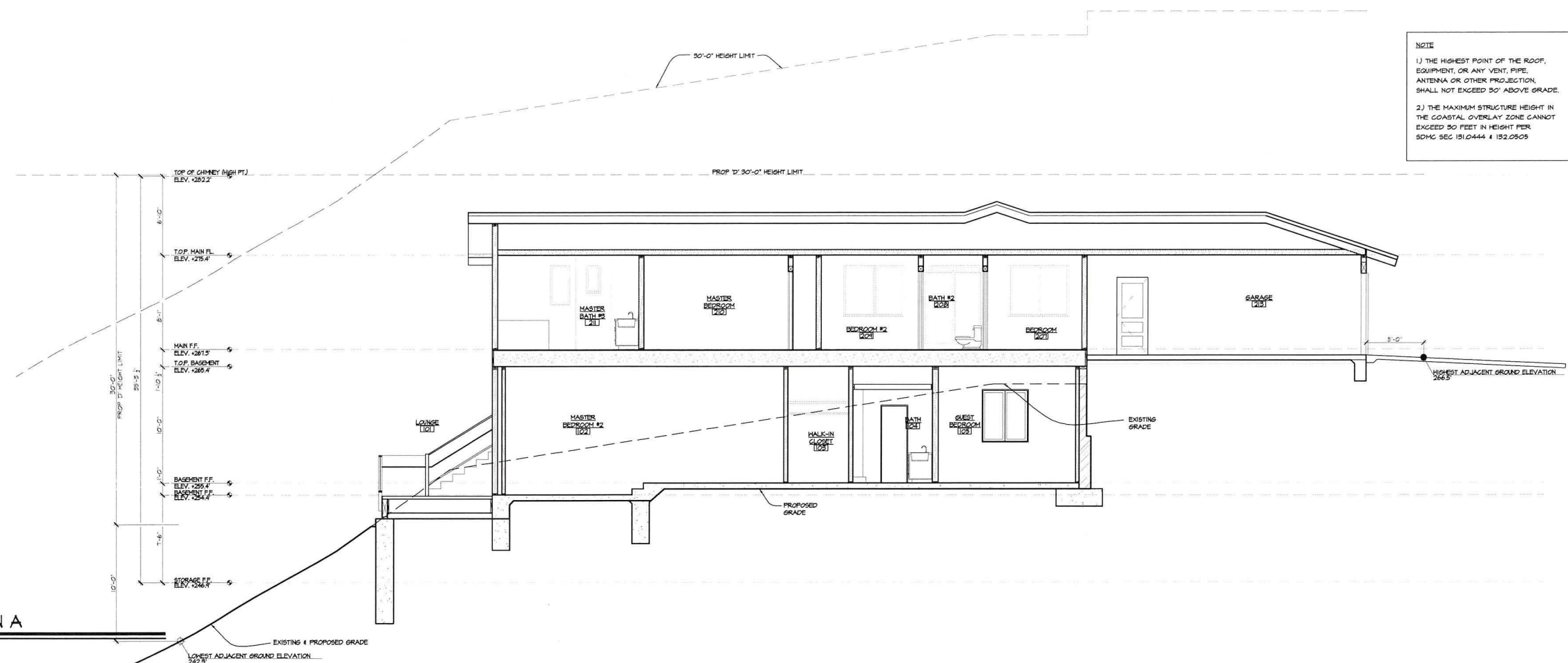


NIVEN RESIDENCE
 5560 WARBLER WAY
 LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:	10/03/2014
PHASE:	SITE DEVELOPMENT PERMIT
PROJECT NUMBER:	1404
REVIEWED BY:	MDL
DRAWN BY:	SEH
DATE:	08/01/2015
SHEET TITLE:	BUILDING SECTIONS
SHEET NO.:	A4.1

NOTE
 1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
 2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT FROM SDMC SEC 151.0444 4 152.0509



PREPARED BY:
 ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone # (858)459-1171

PROJECT NAME:
 NIVEN RESIDENCE REMODEL
 5560 WARBLER WAY
 LA JOLLA, CA 92037

SHEET TITLE:
 BUILDING SECTIONS

Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	
Revision 2	08/01/2015
Revision 1	05/19/2015

Original Date: 10/03/2014
 Sheet: 18 of 17
 DPA

All design, notes and annotations are included on sheets of related drawings and shall be read in conjunction with these drawings. Reproduction of any part of this drawing without the written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or addition to this drawing or construction specifications without the written consent of Architect Mark D. Lyon, Inc. All work shall be in accordance with the latest editions of the California Building Code and the International Building Code. The user of this drawing shall be responsible for obtaining all necessary permits and for compliance with all applicable laws and regulations.

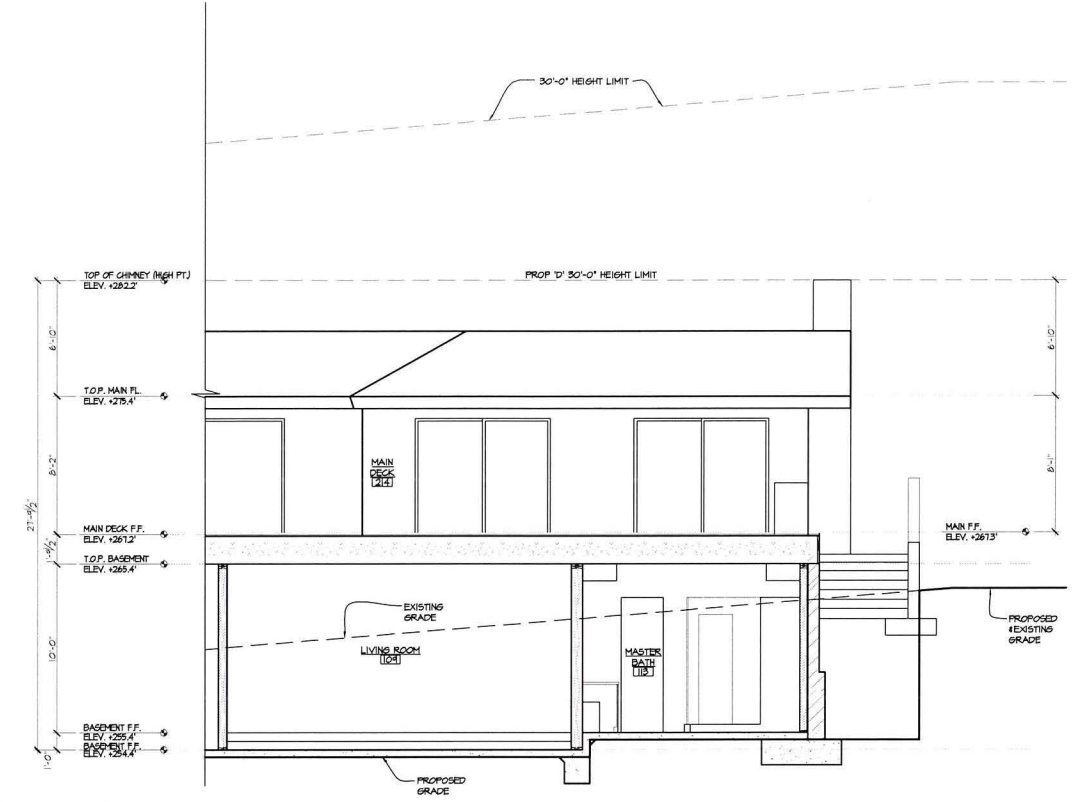


ARCHITECT MARK D. LYON INC.
 410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDL.A.NET

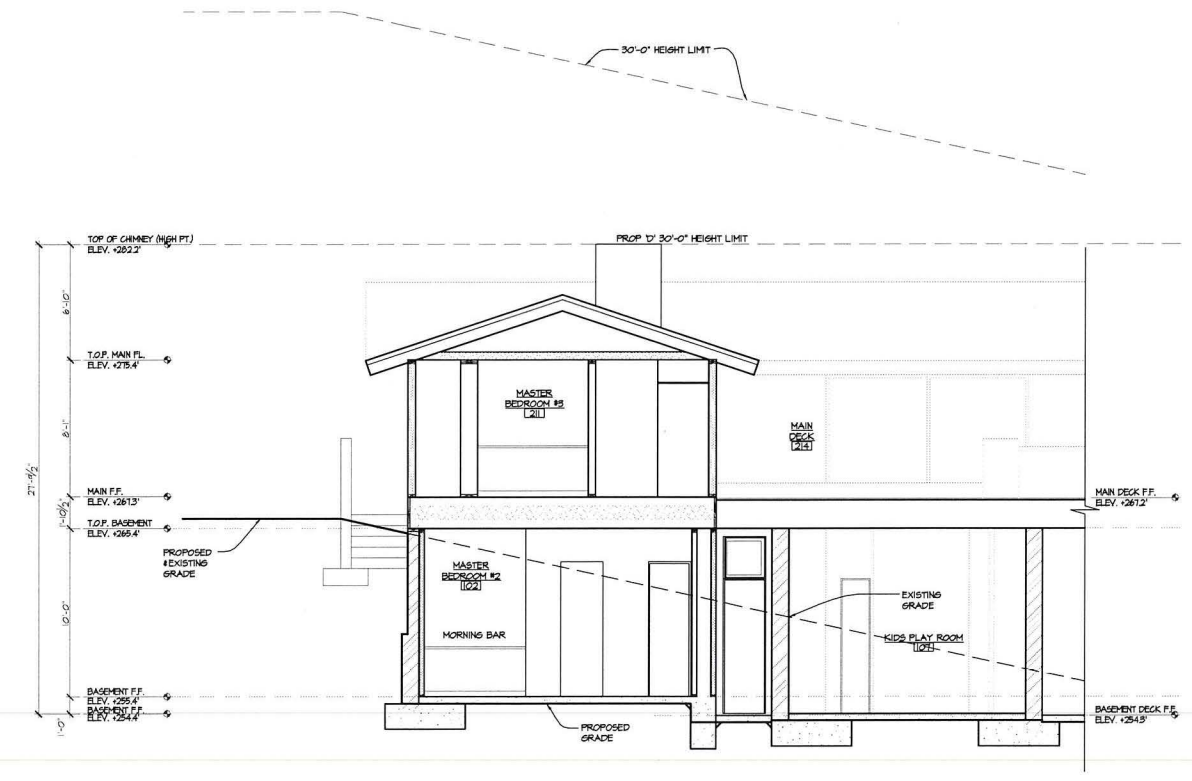
NIVEN RESIDENCE
 5560 WARBLER WAY
 LA JOLLA, CA 92037

REVISIONS:	
SUBMITTAL DATE:	10.03.2014
PHASE:	SITE DEVELOPMENT PERMIT
PROJECT NUMBER:	1404
REVIEWED BY:	MDL
DRAWN BY:	SEH
DATE:	08.07.2015
SHEET TITLE:	BUILDING SECTIONS
SHEET NO.:	A4.2

PREPARED BY:	ARCHITECT MARK D. LYON INC.	Revision 14:	
Name:	410 BIRD ROCK AVENUE	Revision 13:	
Address:	LA JOLLA, CA 92037	Revision 12:	
Phone #:	(858)459-1171	Revision 11:	
PROJECT NAME:	NIVEN RESIDENCE REMODEL	Revision 10:	
5560 WARBLER WAY		Revision 9:	
LA JOLLA, CA 92037		Revision 8:	
SHEET TITLE:	BUILDING SECTIONS	Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	08/07/2015
		Revision 2:	09/19/2015
		Revision 1:	
Original Date:	10/03/2014		
Sheet:	15 of 18		
DATE:			



BUILDING SECTION C
 SCALE: 1/4"=1'-0"



BUILDING SECTION D
 SCALE: 1/4"=1'-0"

All rights reserved and no part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the express written consent of Architect Mark D. Lyon, Inc. A.A.A. is prohibited. There shall be no right of creation from these drawings or specifications. Reproduction, whether or not made by any means, is prohibited. These drawings are the property of Architect Mark D. Lyon, Inc. and shall remain the property of Architect Mark D. Lyon, Inc.

RESOLUTION NUMBER R- _____

ADOPTED ON _____

WHEREAS, on October 28, 2014, Mark Lyon submitted an application to Development Services Department for a Site Development Permit for the Warbler Way (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on December 16, 2015; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 391771 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By:

John S. Fisher
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

SITE DEVELOPMENT PERMIT NO. 1375852

PROJECT NO. 391771

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 391771 shall be made conditions of Site Development Permit No. 1375852 as may be further described below.

PALEONTOLOGICAL RESOURCES MITIGATION**I. Prior to Permit Issuance****A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

- B. Discovery Notification Process
 - 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 - 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 - 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
 - 1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVR and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.

2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

HEARING OFFICER RESOLUTION NO.
SITE DEVELOPMENT PERMIT NO. 1375852
WARBLER WAY PROJECT NO. 391771 - [MMRP]

WHEREAS, SCOTT M. NIVEN, Owner/Permittee, filed an application with the City of San Diego for a permit to construct minor additions to the existing structure and improvements to the site including a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence and minor remodel of the main floor level for a new staircase from the lower floor, new retaining walls and site stairs, grading for the basement and excavation for the new deck (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1375852), on portions of a 0.40 site;

WHEREAS, the project site is located at 5560 Warbler Way in the RS-1-5 zone of the La Jolla Community Plan;

WHEREAS, the project site is legally described as Lot 35, Block 57 of La Jolla Mesa Vista, according to Map thereof No. 3650, filed May 20, 1957;

WHEREAS, on December 16, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1375852 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 16, 2015.

FINDINGS:

Site Development Permit - Section 126.0504

1. **The proposed development will not adversely affect the applicable land use plan.** The La Jolla Community Plan designates the site for single-family residential development. The City of San Diego Progress Guide and General Plan, La Jolla Community Plan and Local Coastal Program designate the site for very low density residential with regulations for minimum lot size and dimensional criteria. The project proposes the remodel of an existing single-family residence on a previously developed canyon edge lot. Single-family residential development is the primary existing land use of the immediate neighborhood. The project will be compatible with the appearance of the existing neighborhood and will incorporate façade, articulation, and architectural details similar in scale, color and appearance of the existing neighborhood. The project will not conflict with the relevant land use plans. Therefore, the proposed development will not adversely affect the applicable Land Use Plan.
2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The project will have adequate levels of essential public services available, including police, fire, and emergency medical services. The Project will not have any impact on the provision of essential public services. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the proposed Project for this

site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by professional staff prior to construction to determine the construction of the Project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. In these ways the Project will assure the continued health, safety and general welfare of persons residing or working in the area. Therefore, the Project will not be detrimental to the public health, safety, and welfare.

3. **The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.** The project proposes to construct minor additions to the existing structure and improvements to the site including a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence and minor remodel of the main floor level for a new staircase from the lower floor, new retaining walls and site stairs, grading for the basement and excavation for the new deck. The project complies with all relevant sections of the Land Development Code, California Uniform Building, Electrical, Mechanical, Plumbing and Fire Codes. The project is not proposing any deviations from the applicable regulations.

B. Supplemental Findings--Environmentally Sensitive Lands

1. **The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.** The project proposes to construct minor additions to the existing structure and improvements to the site including a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence and minor remodel of the main floor level for a new staircase from the lower floor, new retaining walls and site stairs, grading for the basement and excavation for the new deck. The project site contains a very small portion, less than 0.1 acres, of environmentally sensitive lands in the form of sensitive biological resources. Those biological resources are located at the western-most portion of the property and will not be impacted or affected in any way by the project.

The existing site has been previously graded and the new development includes grading for new concrete pads and footings for the proposed addition. The proposed addition is located in areas previously disturbed by development and is well away from the sensitive biological resources. All new work will be a minimum of 130 feet away from sensitive biological resources. No environmentally sensitive lands will be affected by the proposed project. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. **The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.** The existing development is located on a relatively flat building pad at the top of a manufactured slope on the easterly part of the property. The majority of site is located in Geologic Hazard Category 25 and the western edge of the site is located in Geologic Hazard Category 53. Category 25 is characterized by underlain by slide prone materials of neutral to favorable structural

properties and category 53 is characterized by level or sloping terrain with unfavorable geologic structure of low to moderate risk according to the City of San Diego Seismic maps. Based on the Report of Preliminary Geotechnical Investigation, Niven Residence Additions, 5560 Warbler Way, La Jolla, California; prepared by Christian Wheeler Engineering, dated October 2, 2014 (their project no. CWE 2140213.02) by a certified engineering geologist and the above information, the project will not result in undue risks from geologic forces. The proposed project will not result in undue risk to flood hazards.

The existing project site has been previously graded. The new development includes grading for new concrete pads and building foundations for the proposed addition in areas that were previously graded. The excavation for these new improvements are the least practical and will minimize the alteration of the site. However, the site has previously been disturbed and no natural land form currently exists. No environmentally sensitive lands will be affected by the proposed project. The project as designed and conditioned will ensure the environmentally sensitive lands will not be adversely impacted by development. In addition, all drainage will be directed away from the manufactured slope in order to prevent erosion of the hillside.

The site is not located within any floodway or floodplain fringe zones. The existing drainage system designed for the project is consistent with the requirements of the City Engineer and will minimize risks associated with runoff and erosion. The site is adjacent to a highly flammable area of native or naturalized vegetation and will require brush management. A Brush Management plan has been prepared and will be implemented during construction of the proposed project in accordance with the relevant brush management regulations. Therefore, the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic, erosional forces and/or flood and fire hazards.

3. **The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.** The site is located at 5560 Warbler Way in an existing single family neighborhood developed in the early 1960's. The existing development is located on a relatively flat building pad at the top of a manufactured slope on the easterly part of the property. The project is limited to areas of the site already developed and no impacts to any adjacent environmentally sensitive lands will result from implementation of the project.
4. **The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.** The site is located at 5560 Warbler Way in an existing single family neighborhood developed in the early 1960s outside the City's Multi-Habitat Planning Area of the City's Multiple Species Conservation Program. The existing development is located on a relatively flat building pad at the top of a manufactured slope on the easterly part of the property. The site is not adjacent to or within the City's Multi-Habitat Planning Area. As such therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.
5. **The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.** The project is located approximately three thousand feet from the existing public beach. The proposed development was designed and conditioned to include drainage control measures to direct drainage to the public street to ensure that the proposed structure would not contribute to the erosion of the canyon edge or public beaches and

will not adversely impact local shoreline sand supply. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline and supply.

6. **The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.** A Mitigated Negative Declaration has been prepared which determined the proposed project may have a potential to impact paleontological resources yet because of the required mitigation will not have a significant effect on the environment. The nature and extent of the mitigation required, as a condition of the permit, is reasonable related to, and calculated to alleviate, potential negative impacts which may be created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1375852 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1375852, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: December 16, 2015

Job Order No. 24005182

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005182

**SITE DEVELOPMENT PERMIT NO. 1375852
WARBLER WAY PROJECT NO. 391771 - [MMRP]
HEARING OFFICER**

This Site Development Permit No. 1375852 is granted by the Hearing Officer of the City of San Diego to SCOTT M. NIVEN, a married man, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0504. The 0.40-acre site is located at 5560 Warbler Way in the RS-1-5 zone of the La Jolla Community Plan. The project site is legally described as Lot 35, Block 57 of La Jolla Mesa Vista, according to Map thereof No. 3650, filed May 20, 1957.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct minor additions to the existing structure and improvements to the site including a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence and minor remodel of the main floor level for a new staircase from the lower floor, new retaining walls and site stairs, grading for the basement and excavation for the new deck described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 16, 2015, on file in the Development Services Department.

The project includes:

- a. Construct minor additions to the existing structure and improvements to the site including a 1,846 square foot basement addition and a 1,596 square foot deck and pool at basement level of an existing single family residence and minor remodel of the main floor level for a new staircase from the lower floor, new retaining walls and site stairs, grading for the basement and excavation for the new deck;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 31, 2018.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 391771, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 391771, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources (Paleontology)

ENGINEERING REQUIREMENTS:

14. The project proposes to export 1,115 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan. The Water Pollution Control Plan shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of construction permits for grading, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A," on file in the Office of the Development Services Department.

20. Prior to issuance of construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall provide a forty square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

21. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A," on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

22. Prior to issuance of any construction permits for buildings, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," on file in the Office of the Development Services Department.

23. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. All trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

25. The Owner/Permittee shall implement the Brush Management Program shown on Exhibit "A," on file in the Office of the Development Services Department.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

26. Prior to issuance of any construction permits for grading, Landscape Construction Documents required for the construction permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

27. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Uniform Fire Code, M.C. 55.0101, the Land Development Manual Landscape Standards, and Land Development Code Section 142.0412.

28. Within Zone One, combustible accessory structures, including, but not limited to decks, trellises, gazebos, et cetera, shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.

29. The Brush Management Program shall incorporate Alternative Compliance measures in lieu of standard brush management zones. Any openings along the northwest face of the

structure (north of the pool), extending from the north west corner for a length of approximately thirty-eight feet, plus a ten foot perpendicular return along the north face of the structure, shall be upgraded to Dual-Glazed, Dual-Tempered panes in addition to standard CBA 7A requirements.

30. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, fifty percent of the planting area shall be seeded with plant species that do not grow taller than 24 inches.

31. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."

GEOLOGY REQUIREMENTS:

32. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

33. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

PLANNING/DESIGN REQUIREMENTS:

34. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 16, 2015 by
[Approved Resolution Number].

DRAFT

Permit Type/PTS Approval No.: SDP No. 1375852
Date of Approval: December 16, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

SCOTT M. NIVEN, a married man
Owner/Permittee

By _____
Scott M. Niven
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us

Mail: PO Box 889, La Jolla, CA 92038

Web: <http://www.LaJollaCPA.org>

Voicemail: 858.456.7900

Email: info@LaJollaCPA.org

President: Cindy Greatrex

Vice President: Bob Steck

2nd Vice President: Joe LaCava

Secretary: Helen Boyder

Treasurer: Jim Fitzgerald

FINAL MINUTES

Regular Meeting | Thursday, 6 August 2015, 6:00 pm

Trustees present: Patrick Ahern, Helen Boyden, Tom Brady, Bob Collins, Mike Costello, Dolores Donovan, Janie Emerson, Jim Fitzgerald, Cindy Greatrex, David Little, Alex Outwater, Bob Steck, Ray Weiss, Brian Will, Fran Zimmerman

Trustees absent: Joe LaCava, Jim Ragsdale, Glen Rasmussen

1.0 Welcome and Call To Order at 6:06 pm by Cindy Greatrex, President who announced that the applicant had pulled item 10.3 from the consent agenda.

2.0 Adopt the Agenda

Approved Motion: To amend the agenda to hear item 8.0 between items 4.0 & 5.0 (Fitzgerald, Donovan: 12-0-1)

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Steck, Will, Zimmerman

Abstain: Greatrex (Chair)

Approved Motion: To adopt the modified agenda (Fitzgerald, Boyden: 12-0-1)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Steck, Will, Zimmerman

Abstain: Greatrex (Chair)

3.0 Meeting Minutes Review and Approval: 2 July 2015

Approved Motion: To approve the minutes as distributed (Steck, Emerson: 11-0-3)

In favor: Ahern, Boyden, Collins, Costello, Donovan, Emerson, Fitzgerald, Outwater, Steck, Weiss, Will, Zimmerman

Abstain: Greatrex (Chair), Brady, Little (both absent)

4.0 Elected Officials – Information Only

4.1 Council District 1 – Council President Sherri Lightner

Rep: **Justin Garver**, 619-236-6611, JGarver@sandiego.gov reported that the City Council had approved the Environmental Services Department's Zero Waste Plan to increase the City's diversion of waste from the current 67% to 75% by 2020 and to 90% by 2035 by adding infrastructure, allowing for new materials to be recycled and fully implementing public space recycling. These measures and new compaction techniques are expected to extend the life of the Miramar Landfill from 2022 to 2030.

4.2 Mayor's Office – Mayor Kevin Faulconer

Rep: **Francis Barraza**, 619-533-6397, FBarraza@sandiego.gov was not present.

4.3 39th Senate District – State Senator Marty Block

Rep: **Sarah Fields**, 619-645-3133, Sarah.Fields@sen.ca.gov said the legislature was in recess and that now was the time to propose new legislation to the Senator.

4.4 78th Assembly District – Speaker of the Assembly Toni Atkins Rep: **Toni Duran**, 619-645-3090,

Toni.Duran@asm.ca.gov was not present.

5.0 President's Report – Information only unless otherwise noted.

5.1 Bylaw Amendment: President Greatrex said the City was giving the go ahead to work on bylaws revisions. **Bob Whitney** commented on the lack of transparency in the LJCPA process with respect to ongoing efforts to revise the bylaws. **Trustee Boyden** commented that it had been six months since the LJCPA membership had passed new bylaws intended to conform to the revised Policy 600-24 and the City had not yet acted, referring to requirements in the current LJCPA bylaws adopted in November 2014.

5.2 Informational Presentation on City Sewer Group Job 743: Paula Roberts-Humanability Communications Consulting and Sheila Gamueda described plans to replace-in-place and sewer rehab a line going from Torrey Pines Road to Cliffridge Avenue at in the 8600 block where it curves. It will take place between September 2015 and Summer 2016; they will report again when the exact date is known. Access will be through a manhole cover on Cliffridge Avenue. It should not affect residences. Any digging will take place adjacent to TPR and may affect traffic there.

5.3 Whitney Mixed Use, Project #182513: Appeal Hearing, City Council. Tentatively scheduled for Tuesday, October 5 at 2:00 pm.

5.4 Short-Term Vacation Rental: Timeframe Update – No report

5.5 ACTION: Federal Spectrum Act: Proposed organization response (letter) to the Mayor of the City of San Diego, in response to the City of San Diego Development Services Department (DSD) proposed updates to the Municipal Code provisions in the Federal Spectrum Act" and its plan to develop a Supplemental Environmental Impact Report concerning wireless cell tower installations across the city without regard to 30 ft. height rules, without advance notice to neighbors or regard to the 30-foot height limit in the coastal zone or to aesthetics of neighborhood character.

David Haney, Lou Cumming, Chuck Key, and Hilary Nemchik (on behalf of **Barbara Bry**) spoke opposing the City's actions in allowing installations of cell phone towers in accordance with FCC regulations and prior to the City Council adopting changes instituting same to the SDMC. They spoke to the lack of notification, visual pollution, exceeding the 30' Coastal Height Limit and cited the lawsuit opposing the FCC regulations filed by Montgomery County, Maryland and supported by the League of California Cities (in an amicus brief) of which the City of San Diego is a member. Also announcing support for these views were: **Catharine Douglass, Stone Douglass, Pam Foley, L. Michael Foley, Ellen Key.**

Trustee Zimmerman presented a draft of a letter to City officials and invited editing by the group. **Trustees Weiss and Outwater** felt that any letter detail should defer to legal experts. Others trustees including **Boyden, Little, Ahern, Steck, Fitzgerald, Costello, Emerson, Brady, and Will** urged support of a letter with some suggesting something simple and to the point; also pointed out was the fact that the LJCPA would have other opportunities in the future to address the SEIR draft and at the City Council. **Trustee Donovan** submitted suggested edits which were discussed by the trustees. (letter sent attached to the minutes)

Approved Motion: To send the letter drafted by Trustee Zimmerman and edited (with edits read at the meeting) by Trustee Donovan to the Mayor, various City staff and Councilmembers: to be verified by President Greatrex and Trustees Boyden and Donovan. (Fitzgerald, Little: 13-0-2)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Steck, Weiss, Will, Zimmerman

Abstain: Greatrex (Chair), Outwater (disagreed with text)

5.6 ACTION: Ad Hoc Committee on Residential Single-Family (RS) Zoning: Request for modification of quorum requirements: "In order to ensure that the greatest number of public meetings are held at times convenient for interested parties to attend and provide input. However, when the committee begins deliberations and formulating recommendations then a quorum, if not all of the committee members, must be present. Quorum not required prior to deliberations phase."

Various trustees including **Boyden and Emerson** questioned whether this was allowable under the Brown Act.

No motion made

5.6 ACTION: Ad Hoc Committee on Residential Single-Family (RS) Zoning: Ratify Appointment of Committee Member Eric Lindebak

Approved Motion: To ratify the appointment of Eric Lindebak to the Ad Hoc Committee on Residential Single-Family (RS) Zoning (Costello, Fitzgerald: 12-0-3)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Outwater, Steck, Will, Zimmerman

Abstain: Greatrex (Chair), Little, Weiss (did not know candidate)

5.7 ACTION: La Jolla Shores PRC: Ratify Appointment of Board Member Joe Walkush

Approved Motion: To ratify the appointment of Joe Walkush to the La Jolla Shores PRC (Emerson, Outwater: 14-0-1)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Steck, Weiss, Will, Zimmerman

Abstain: Greatrex (Chair)

5.8 ACTION: Galaxy Taco 2259 Avenida de la Playa: Should the LJCPA consider the question of exterior colors (Request of La Jolla Shores Permit Review Committee) ?

Myrna Naegle spoke against the color scheme and compared it to other Shores buildings as did **Shirley Church**. **Bob Whitney, Kim Whitney** and **Michael Morton** spoke in general approval of the current color scheme and the inappropriateness of the LJCPA becoming involved in a Code Compliance issue. Owner **George Hauer** spoke of his efforts and expense to restore the building which had been in disrepair. He had presented to the LISA and exchanged suggestions with Trustee Emerson as a private party. Later in the discourse he agreed to tone down the yellow primary color and make a coordinated scheme across that elevation of the building.

Trustees Boyden, Weiss, Emerson, Fitzgerald, Costello, Outwater, Zimmerman spoke of the requirements of the LJS PDO for exterior colors and many thought it should be toned down. There was general feeling that the LJCPA should not be involved in a Code Compliance issue-- it having come to the fore after the City had already finished the approval process without opportunity for formal community review. There was general acceptance of Mr. Hauer's offer to modify the exterior color scheme.

No motion made.

6.0 Non-Agenda Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

6.1 City of San Diego – Community Planner: Karen Bucey, KBucey@sandiego.gov was not present.

6.2 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://commplan.ucsd.edu/> **President Greatrex** reported for her on the \$3 Million gift from Audrey Geisel for renovation of the UCSD Geisel Library.

6.3 Others

Contractor Vic Salazar stated that Sewer Water group 820 would finish up on Exchange Place by

August 14, with work occurring between 9pm and 5am every day during the August 10 to 14th week.

7.0 Trustee Comment

Trustee Emerson noted that fireworks were being set off at the SIO Pier with no notice and disturbing local pets and residents.

Trustee Brady noted that the T&T Board had approved the parking plan for the La Jolla Music Society on Fay and wanted to assure interested parties that they will have an opportunity to comment on the parking plan at a future LJCPA meeting after the project has been reviewed by the DPR. The City is only interested in getting one recommendation from the LJCPA, not individual ones from its subcommittees.

Trustee Costello noted that the dEIR is out for the Climate Action Plan. The CAP and the dEIR can be viewed at <http://www.sandiego.gov/planning/genplan/cap/>. Responses to the dEIR may be submitted to DSDEAS@sandiego.gov with the project name and number in the subject line (San Diego Climate Action Plan – No. 416603) – Deadline Tuesday, September 29, 2015. He also noted that he is joining with residents to review the Bonair project and prepare a report. He suggested listening to the Planning Commission hearings (archives at sandiego.gov) with a view to critiquing the proceedings.

Trustee Zimmerman thanked Pat Sherman of the La Jolla Light for his extensive and helpful reporting on the Spectrum Act regulations issue (see 5.5 above).

Trustee Little also spoke to Planning Commission proceedings with respect to the LJ Community Plan.

Trustee Donovan suggested that items pulled from the consent agenda for a full hearing be placed earlier on the agenda to avoid applicants' additional expense and inconvenience. **President Greatrex** will take that under consideration as the order of the agenda is at her discretion.

Trustee Boyden suggested with concurrence by **President Greatrex** that it would be inappropriate for other Trustees to join in Trustee Costello's private review of the Bonair project.

8.0 Officers' Reports

8.1 Treasurer – Trustee Fitzgerald reminded the attendees that the LJCPA relies on cash donations to meet the expenses of the organization and thanked them for their continuing support.

Beginning Balance as of 7/1/15	\$ 249.73
Income	
• Collections	\$ 114.00
• CD Sales	<u>10.00</u>
Total Income	\$ 124.00
Expenses	
• Agenda Printing	\$ 52.82
• AT&T telephone	<u>63.27</u>
Total Expenses	<u>\$ 116.09</u>
Net Income/ (Loss)	\$ 7.91
Ending Balance of 7/31/15	\$ 257.64

8.2 Secretary

Trustee Boyden stated that if you want your attendance recorded today, you should sign in at the back of the room. There are three sign-in lists: white ones for LJCPA members and government representatives and a yellow one for guests.

LJCPA is a membership organization open to La Jolla residents, property owners and local business owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You are entitled to attend without signing in, but only by providing proof of attendance can you maintain membership or become eligible for election as a trustee. You may document your attendance by signing in at the back, providing the Secretary before the end of the meeting a piece of paper with your printed full name, signature and a statement that you want your attendance recorded, or providing independently verifiable proof of attendance.

You can become a Member after attending one meeting and must maintain your membership by attending one meeting per year. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at three LJCPA meetings in the preceding 12-month period.

For complete membership information you should refer to the current LJCPA bylaws which can be found on the website. Refer to Article III, Section 1.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

9.1 Community Planners Committee <http://www.sandiego.gov/planning/community/cpc/index.shtml> No report

9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> No report

9.3 Ad Hoc Committee on Residential Single-Family (RS) Zoning 10.0 No report

10.0 Consent Agenda – Action Item

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Tony Crisafi, 4th Tues, 4:00 pm

T&T – Traffic & Transportation Board, Chair Dave Abrams, 4th Thurs, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

See Committee minutes and/or agenda for description of projects, deliberations, and vote.

Anyone may request a consent item be pulled for full discussion by the LJCPA.

Items “pulled” from Consent Agenda are automatically trailed to the next LJCPA meeting.

10.1 Jooste Wines Sidewalk Café 5621 La Jolla Boulevard

PDO Recommendation: Project meets PDO requirements 6-0-0

10.2 Duke’s ROW Encroachment NDP 1216 Prospect Street

DPR Recommendation: Findings CAN be made that the proposed project conforms to the La Jolla Community Plan and for a Coastal Development Permit and Site Development Permit for a Neighborhood Development Permit to construct private landscape and public art encroachment(s) in the public right-of-way fronting 1216 Prospect Street 4-1-1

10.3 Kaplan-Gaston 5606 Dolphin Place – pulled by applicant for further review

DPR Recommendation: Findings **CANNOT** be made for a Coastal Development Permit and Site Development Permit for a 1st and 2nd story addition to an existing single family residence at 5606 Dolphin Place, because the project does not transition or relate well to other neighboring houses. 4-1-1

➔ **10.4 Warbler Site Development Permit 5560 Warbler Way**

DPR Recommendation: Findings **CAN** be made for a Site Development Permit (Process 3) for Environmentally Sensitive Lands for a 1,919 sq ft basement addition and a 1,587 sq ft deck and pool at basement level of existing 3,151 sq ft residence at 5560 Warbler Way. 5-1-1

10.5 Verizon Mt. Soledad Presbyterian Church 6551 Soledad Mountain Road

DPR Recommendation: Findings **CAN** be made that the proposed project conforms to the La Jolla Community Plan and for a Coastal Development Permit and Site Development Permit for a Site Development Permit, Coastal Development Permit, Neighborhood Development Permit and Neighborhood Use Permit applications to expand an existing Wireless Communication Facility at 6551 Soledad Mountain Road at the Mount Soledad Presbyterian Church. 5-0-1

10.6 Shirley Trust SDP and CDP, 8025 Calle del Cielo

PRC Recommendation: Findings **CAN** be made for an SDP and a CDP for a 6,840 SF Gross Floor Area (10,955 total habitable space if the 'basement' is counted) two-story-over-basement residential dwelling unit with a 785 SF detached habitable accessory structure, pool, spa, and site retaining walls on an existing vacant 0.652 acre lot at 8025 Calle del Cielo in the SF zone of the La Jolla Shores Planned District, Coastal (Non-appealable) Overlay Zone within the La Jolla Community Plan. 5-0-2

10.7 Taste of the Cove, August 27th

T&T Recommendation: Approval of road closure requested by San Diego Medicine Foundation. 9-0-0

10.3 Kaplan-Gaston 5606 Dolphin Place was pulled by applicant prior to the meeting for further review

➔ **Approved Motion: To approve the recommendation by the PDO Committee that 10.1 Jooste Wines Sidewalk Café 5621 La Jolla Boulevard meets PDO requirements; and the recommendations of the DPR Committee for 10.2 Duke's ROW Encroachment NDP 1216 Prospect Street that the findings CAN be made that the proposed project conforms to the La Jolla Community Plan and for a Coastal Development Permit and Site Development Permit for a Neighborhood Development Permit to construct private landscape and public art encroachment(s) in the public right-of-way fronting 1216 Prospect Street and for 10.4 Warbler Site Development Permit 5560 Warbler Way that the findings CAN be made for a Site Development Permit (Process 3) for Environmentally Sensitive Lands for a 1,919 sq ft basement addition and a 1,587 sq ft deck and pool at basement level of existing 3,151 sq ft residence at 5560 Warbler Way and for 10.5 Verizon Mt. Soledad Presbyterian Church 6551 Soledad Mountain Road that the findings CAN be made that the proposed project conforms to the La Jolla Community Plan and for a Coastal Development Permit and Site Development Permit for a Site Development Permit, Coastal Development Permit, Neighborhood Development Permit and Neighborhood Use Permit applications to expand an existing Wireless Communication Facility at 6551 Soledad Mountain Road at the Mount Soledad Presbyterian Church; and the recommendation of the PRC for 10.6 Shirley Trust SDP and CDP, 8025 Calle del Cielo that the findings CAN be made for an SDP and a CDP for a 6,840 SF Gross Floor Area (10,955 total habitable space if the 'basement' is counted) two-story-over-basement residential dwelling unit with a 785 SF detached habitable accessory structure, pool, spa, and site retaining walls on an existing vacant 0.652 acre lot at 8025 Calle del Cielo; and the recommendation of the T&T Board to approve the road closure requested by San Diego Medicine Foundation and forward the recommendations to the City. (Emerson, Fitzgerald: 13-0-1)**

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Steck, Weiss, Will, Zimmerman
 Abstain: Greatrex (Chair)

11. Feuerstein Residence, 8351 Del Oro Court – pulled by **Trustee Zimmerman**

PRC Recommendation: Findings can be made for a CDP & SDP, Process 3, to demolish the existing single family residence and construct a new 9,614 square foot two-story residence on a .68-acre lot. 5-0-1

Trustee Zimmerman pulled the project because of its size. **Architect Tim Martin** described the project as being on a large sloping lot with little street frontage so that both ends of the residence will be obscured from view by stone pines. The second story is pulled back. The FAR is 0.32, with part of the GFA coming from phantom areas. Landscaping is 42%. Front yard setback is 22'; rear is 33'; sideyard setbacks are: 12', 38', 60' and 12'.

Approved Motion: To ratify the recommendation of the PRC that the findings can be made for a CDP & SDP, Process 3, to demolish the existing single family residence and construct a new 9,614 square foot two-story residence on a .68-acre lot (Outwater, Ahern: 12-1-1)

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Steck, Weiss, Will

Opposed: Zimmerman

Abstain: Greatrex (Chair)

12. Leibowitz Residence, 8283 La Jolla Shores Drive- pulled by a resident.

PRC: Findings can be made for a CDP & SDP, Process 3, to demolish an existing residence and detached pool house, and construct a 9,245 sq ft single family residence with 157 sq ft detached pool house on a 1.12-acre lot. 3-2-1.

The resident who pulled the project was not present. **Leanne MacDougall**, who lives downslope adjacent to the proposed project spoke of her concern about drainage from the project onto her property, possibly flooding her guest house which is close to the property line. She wanted additional questions answered. Her consultant from Rick Engineering had queried the applicant's engineer, but the exchange was not concluded timely for this meeting. The City engineers were satisfied with the grading and drainage plans. For a 50-year flood condition, the drainage through the common drain would improve by 9% with greater improvement at lesser flood conditions; the project proposes retention basins on site to control the flow from heavy rains. They are not changing the direction of the natural flow through the common drain which serves a number of connected properties. **Carson P. Edgington, RCE**, of **Rick Engineering** and **Steven R. Hauser, PE**, Civil Engineer for the project spoke.

Attorney Matt Peterson also commented and presented arguments for the project and argued that the drainage question was not in the purview of the LJCPA stating that the applicant was not required to have a grading permit, nor were they doing any grading. He cited the LJSPDO section of the SDMC, namely, 1510.0301 (d) (2) (B). At various times during the hearing of the item **Trustees Little, Donovan and Boyden** disagreed with his opinion. Discussion of the drainage issue continued with the participation of the applicant's representatives, the public and the trustees (see preceding paragraph for some details). Documents submitted by the speakers are included in the Public Document and had been e-mailed to the trustees the day before and the afternoon of the LJCPA meeting.

In response to **Tricia Riha**, it was stated that the solar panels would be on the roof behind parapets and that roof decks and rooftop umbrellas were not proposed; one-story height was 16' with the smaller two-story section reading 29'. It was stated that **Ms. McDougall** had changed the drainage in her yard. Various trustees commented on the improvement in drainage and that that had not been challenged.

Trustees commenting to the various issues included: **Little, Donovan, Boyden, Steck, Costello, Emerson, Fitzgerald, Outwater, Weiss, Zimmerman, and Will.**

Approved Motion: to ratify the recommendation of the PRC that the findings can be made for a CDP & SDP, Process 3, to demolish an existing residence and detached pool house, and construct a 9,245 sq ft single family residence with 157 sq ft detached pool house on a 1.12-acre lot. (Steck, Outwater: 9-3-2)

In favor: Ahern, Boyden, Brady, Donovan, Fitzgerald, Outwater, Steck, Will, Zimmerman

Opposed: Costello, Emerson, Little

Abstain: Greatrex, (Chair), Weiss (friend of neighbor opponent)

13. Speed Limit Decrease- pulled by **Donna Aprea**. Proposal to reduce speed limit from 30mph to 25mph on La Jolla Shores Drive from El Paseo Grande to N. Torrey Pines Rd.

T&T Recommendation: Opposed decrease: 5-3-0. Approved leaving speed at 30 mph: 7-0-0.

Donna Aprea pulled the item because she felt that there was confusion in the voting and stated that UCSD had requested the reduced speed due to dangerous conditions turning on to La Jolla Shores Drive from SIO property. A City study showed that 85% of cars are traveling up to 30mph limit, a criterion for keeping it at 30 mph. **Trustee Emerson** stated that she believed the danger stemmed from poor visibility rather than speed and suggested that a longer red curb, eliminating a couple of parking spaces, would help the visibility, but noted that this is in the Beach Impact Parking Zone. Others noted the bridge and other provisions for pedestrians to cross safely, though the request centered on cars turning onto La Jolla Shores Drive. **Gregg Salmon** also spoke to the subject.

Approved Motion: To ratify the T&T approval of leaving the speed limit on La Jolla Shore Drive between N. Torrey Pines Road and El Paseo Grande at 30 mph. (Emerson, Brady: 12-0-1)

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Steck, Will, Zimmerman

Abstain: Greatrex (Chair)

14. MCASD Expansion, 700 Prospect Street. (Paul Benton/Lindsay King/Jim Neri). Process 4 Coastal Development Permit and La Jolla Planned District Special Use Permit (processed as a CUP), to demolish an existing residence and construct a museum addition/remodel, including underground parking facilities, totaling 53,469 square feet on a 110,983 square foot property. The project site is located at 700 Prospect Avenue (Museum of Contemporary Art San Diego) in the LJPD-6A and 5A zones of the La Jolla Planned District, Coastal Overlay Zone (Appealable), Coastal Height Limitation, Parking Impact, Residential Tandem Overlay Zones in the La Jolla Community Plan Area.

Architect Paul Benton presented. **Lindsey King**, and **Jim Neri** also contributed. The area to the right, currently a parking lot and plaza will be converted to a sculpture garden and other spaces open to the public and will maintain the view through to the ocean. The new construction will be to the left. Much of it including the parking area for 41 cars and workshop and some gallery areas will be underground. The current Sherwood Hall auditorium will be converted to galleries. The Norfolk Island Pine will be moved away from the building. Building materials were shown.

The project with four deviations was approved 3-1-1 by DPR, but the LJ PDO committee did not approve the open stairwell as they thought it would be attractive to homeless persons.

The deviations proposed are 1) an accessible lift and stair encroachment within the rear yard setback which will allow access for tour bus passengers and disabled persons from Coast Boulevard. 2) Providing a 80' trellis where 50' is allowed at the entrance will match the width of the building; 3) Allowing for a height of 35.4'-this is an interior height only and 4) an egress only stairwell on the SE portion of the site within the sideyard setback is a single retaining wall of a height where setbacks are usually required. Allowing this will preserve the width of the garage and galleries and allow parking of more cars. It will have an open-out-only gate. This fourth one is the one the PDO objected to.

Approved Motion: That the findings can be made for a Process 4 CDP and La Jolla Planned District Special Use Permit (processed as a CUP) to demolish an existing residence and construct a museum addition/remodel, including underground parking facilities, totaling 53,469 square feet on a 110,983 square foot property located at 700 Prospect Avenue (Museum of Contemporary Art San Diego) with the following four deviations: 1)

Accessible lift and stair encroachment within the Rear Yard Setback fronting Coast Boulevard; 2) Eighty foot trellis encroachment over entrance fronting Prospect; 3) Interior Height exceeding the 30-foot Zoning Height limit and 4) Egress stair on the southeast portion of the site, within the Side Yard Setback, leading to Prospect Street. (Ahern, Zimmerman: 11-1-1)

In favor: Ahern, Boyden, Brady, Costello, Donovan, Fitzgerald, Little, Outwater, Steck, Will,
Zimmerman

Opposed: Emerson

Abstain: Greatrex (Chair)

15. Adjourned at 10:00 pm to next LCPA Meeting, Thursday September 3rd, 6:00 pm



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

Project No. For City Use Only

Niven Residence Remodel

391771

Project Address:

5560 Warbler Way, SD 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Scott Niven

Owner Tenant/Lessee Redevelopment Agency

Street Address:

5560 Warbler Way

City/State/Zip:

San Diego, CA 92037

Phone No:

734 667 572 111

Fax No:

Signature :

[Signature] Aug 6, 2014

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date: