



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: September 23, 2015                      REPORT NO. HO 15-117

ATTENTION:                      Hearing Officer

SUBJECT:                      TAYLOR RESIDENCE  
PTS PROJECT NUMBER: 418222

LOCATION:                      2327 Vallecitos

OWNER/  
APPLICANT:                      Robert H. Taylor Separate Property Trust, Owner (Attachment 13)  
Mark House, House & Dodge Design, Architect/Agent

### SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single dwelling unit and the construction of a one-story single dwelling unit with accessory improvements on a 0.477-acre site located in the La Jolla Shores Planned District within the La Jolla Community Plan and Local Coastal Program Land Use Plan Area?

Staff Recommendation - APPROVE Site Development Permit No. 1463528 and Coastal Development Permit No. 1476427.

Community Planning Group Recommendation – The La Jolla Community Planning Association voted 11-1-2 to recommend approval of the project on July 2, 2015. There were no suggested conditions with this recommendation (Attachment 11).

Other Recommendations: On June 16, 2015, the La Jolla Shores Advisory Board voted 4-0 to recommend approval of the project with no conditions (Attachment 12).

Environmental Review: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15303, as “New Construction.” This project is not pending an appeal of the environmental determination. The exemption determination for this project was made on August 18, 2015; was circulated and the opportunity to appeal that determination ended on September 1, 2015.

## BACKGROUND

The project site is located at 2327 Vallecitos, east of La Jolla Shores Drive (Attachment 1). The property is in the SF (Single Family) Zone of the La Jolla Shores Planned District (LJSPD) and the Coastal (Non-Appealable Area 2), the Coastal Height Limitation, and the Parking Impact (Coastal Impact Area) Overlay Zones within the La Jolla Community Plan and Local Coastal Program area. The underlying SF Zone allows for the development of a single dwelling unit on the site. The project site is designated for Very Low Density Residential use at 0-5 dwelling units per acre (DU/AC) in the La Jolla Community Plan (LJCP) (Attachment 3). The 0.477-acre project site could accommodate one dwelling unit based on the underlying zone and 0-2 dwelling units based on the LJCP. Surrounding properties are developed with custom designed single-family homes, and are also within the SF Zone of the LJSPD, and designated for Very Low Density Residential use at 0-5 DU/AC in the LJCP.

The project site is located south of Vallecitos (Attachment 8). The property has been graded and developed with a one-story single dwelling permitted in 1954 pursuant to Building Permit No. A-14876. A historic assessment was performed as part of a building permit application for a proposed remodel of the existing structure (Project No. 379903). Based on a review of photos, Assessor's Building Record, and water and sewer records, a historic research report was not required, and on October 8, 2014, City Staff determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The pool/spa, retaining walls, sports court, barbeque, fire pit, site walls, and fences are currently under construction. These improvements are not within the scope of the subject permit application. These improvements were permitted pursuant to Building Permit No. 1361310 (barbeque, retaining walls, fence, and fire pit) issued on October 16, 2014, Building Permit No. 1395443 (sports court, fence and site walls) issued on January 23, 2015, and Building Permit No. 1420969 (pool and spa) issued on January 21, 2015. A construction change to modify the layout of the sports court and increase fence height was approved on May 27, 2015 pursuant to Building Permit No. 1482551.

## DISCUSSION

A Coastal Development Permit (CDP) and a Site Development Permit (SDP) are required to demolish the existing structure and to construct a 1,937 square-foot structure within the Coastal Overlay Zone and the LJSPD pursuant to San Diego Municipal Code (SDMC) Sections 126.0504, 126.0702 and 1510.0201.

### Project Description:

The project proposes to demolish an existing 1,437 square-foot one-story single dwelling unit, and construct a new, one-story 1,937 square-foot single dwelling unit with attached patio covers and trellises, and two off-street uncovered parking spaces. The structure will consist of 1,730 square feet of habitable space in the form of a rectangular shaped room that includes a seating

area with a fireplace, dining area, and a kitchen/bar, with a separate bath/steam shower area. The structure includes 208 square feet of non-habitable space for storage and pool equipment. The scope of work also includes site walls, planters, stairs, gates, and a water feature. The project is required to remove the existing driveway and replace it with a new curb and gutter per City Standards (Attachment 6, Condition No. 12). Vehicular access to the site would be provided via the neighboring property's existing driveway pursuant to a "Private Driveway Easement" recorded on July 2, 2015, DOC# 2015-0348843 (Attachment 14). Currently, both properties are owned by the same owner.

The La Jolla Shores Planned District Ordinance (PDO) requires structure setbacks to be in general conformity with those in the vicinity, except for buildings with openings facing the side property line, which are subject to a minimum 4-foot setback from the property line. A comparative building setback survey of thirty properties shows a wide range of front, side and rear yard setbacks exists in the neighborhood as follows: Front yard setbacks of 15 to 120 feet, side yard setbacks of 3 to 75 feet, and rear yard setbacks of 4 to 160 feet. The project proposes a front yard setback of 37 feet, side yard setbacks of 6 feet, 3 inches (east side) and 5 feet, 2 inches (west side), and a rear yard setback of 170 feet. Staff has determined, therefore, that the proposed setbacks are in general conformity with the other properties in the vicinity, and meet the intent of the PDO of siting structures such that the seaside character of the community is preserved and public views are protected.

The proposed overall project height of 29.8 feet complies with the 30-foot Coastal Height Limitation Overlay Zone and the PDO requirements. The uncovered off-street parking area is screened from the public right-of-way with the use of planter walls and landscaping in conformance with the parking screening requirement of the PDO, SDMC Section 1510.0401(o). The proposed lot coverage of 9.3 percent complies with the 60 percent maximum allowed, and the proposed landscaping of 33.1 percent of the project site exceeds the minimum 30 percent requirement. The project incorporates architectural and design features in conformance with the general design regulations of the PDO. Exterior material and color will consist of cream stucco finish with stained wood trim, and red terracotta barrel roof tiles. The project meets the definitions of a Dwelling Unit and Single Dwelling Unit as defined in SDMC Section 113.0103, complies with all applicable development regulations, and requires no deviations.

#### Community Plan and Local Coastal Program Analysis:

The La Jolla Community Plan (LJCP) designates the site and surrounding areas to the north, south, east, and west as Very Low Density Residential (0-5 dwelling units/acre). The proposed single-family residence is consistent with the underlying land use designation. The residential element of the LJCP includes recommendations to maintain and enhance the existing neighborhood character, and to promote visual harmony in the transitions between new and existing structures (Page 76). The neighborhood is developed with one and two-story custom homes of various architectural styles and size. The project proposes Traditional Spanish Style architecture and incorporates architectural details that contribute to the aesthetic appeal of the single dwelling unit structure. The proposed building observes an approximately 37-foot setback measured from the front property line, and is screened by landscape when viewed from the

public right-of-way and surrounding properties. The proposed structure design and landscaping facilitate the transition in scale of the new structure with the diverse architecture in the neighborhood.

The project site is approximately half a mile from the Pacific Ocean. It is not located between the sea and the first public roadway (La Vereda) paralleling the sea. Vallecitos is not designated as a physical access way or view corridor, and does not contain viewsheds, or scenic overlooks in the adopted LJCP and Local Coastal Program Land Use Plan (Attachment 10). The project site is located at the east end of a segment of Vallecitos identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The proposed building observes an approximately 37-foot setback from the front property line. All proposed development occurs on private property. Therefore, the project would not impact the view of the Pacific Ocean down the public right-of-way looking west.

### Conclusion

Staff has reviewed the application for the Site Development Permit and Coastal Development Permit and has determined that the project complies with all applicable regulations and policy documents. The project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP and Local Coastal Program Land Use Plan, LJSPDO, SDMC, and the General Plan. Therefore, staff recommends to the Hearing Officer to approve the SDP and CDP as presented.

### ALTERNATIVES

1. Approve Site Development Permit No. 1476427 and Coastal Development Permit No.1463528, with modifications.
2. Deny Site Development Permit No. 1476427 and Coastal Development Permit No.1463528, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Firouzeh Tirandazi, Development Project Manager

### Attachments:

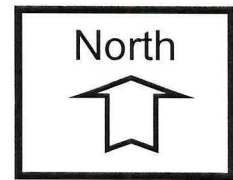
1. Aerial Photograph
2. Project Location Map
3. Community Plan Land Use Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings

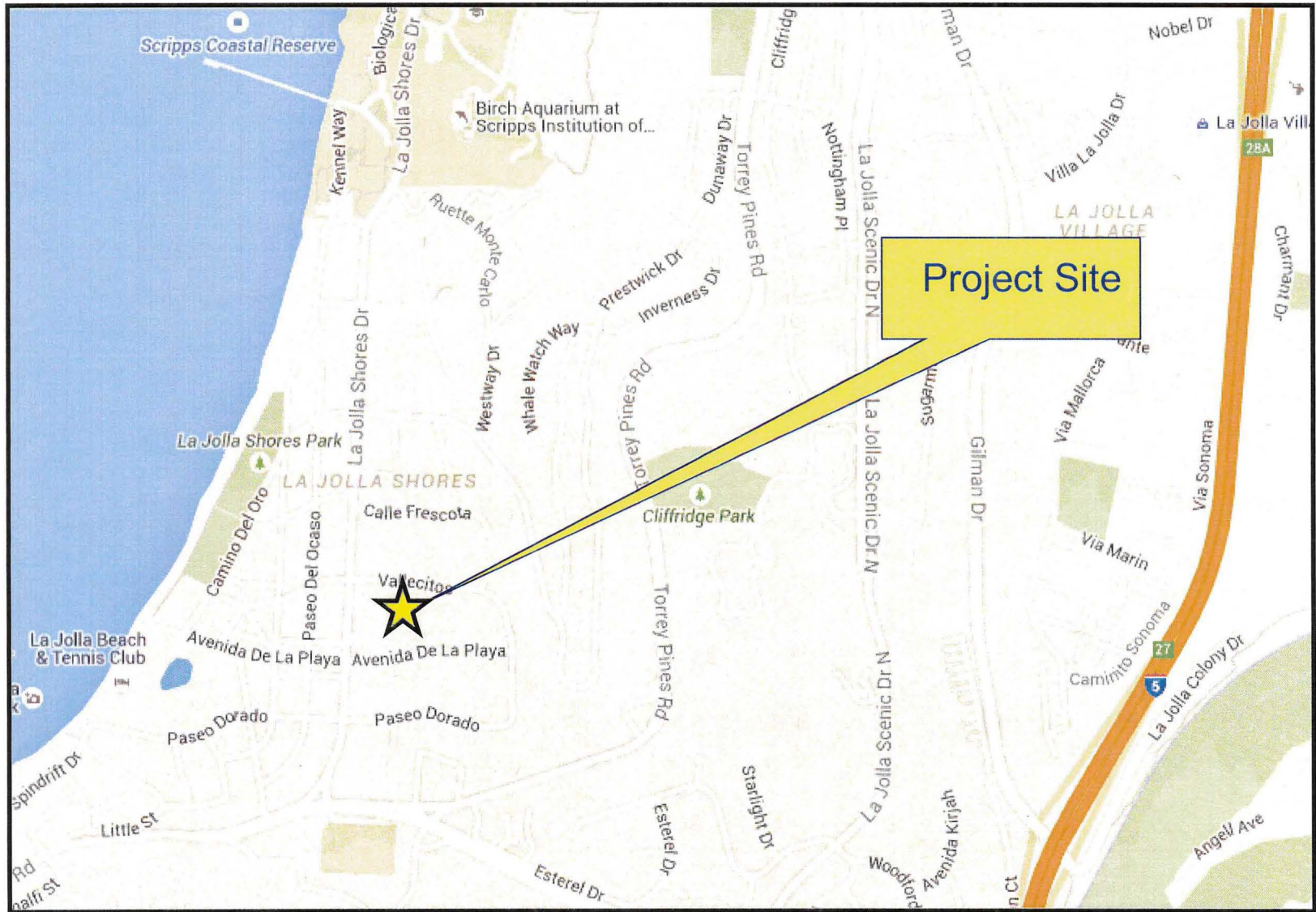
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Site Plan
9. Project Plans
10. Community Plan – Identified Public Vantage Points (Figure 9)
11. La Jolla Community Planning Association Recommendation
12. La Jolla Shores Advisory Board Recommendation
13. Ownership Disclosure Statement
14. Private Driveway Easement



# Aerial Photograph

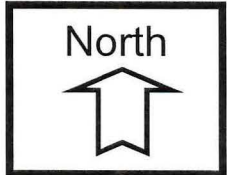
TAYLOR RESIDENCE– Project No. 418222  
2327 Vallecitos

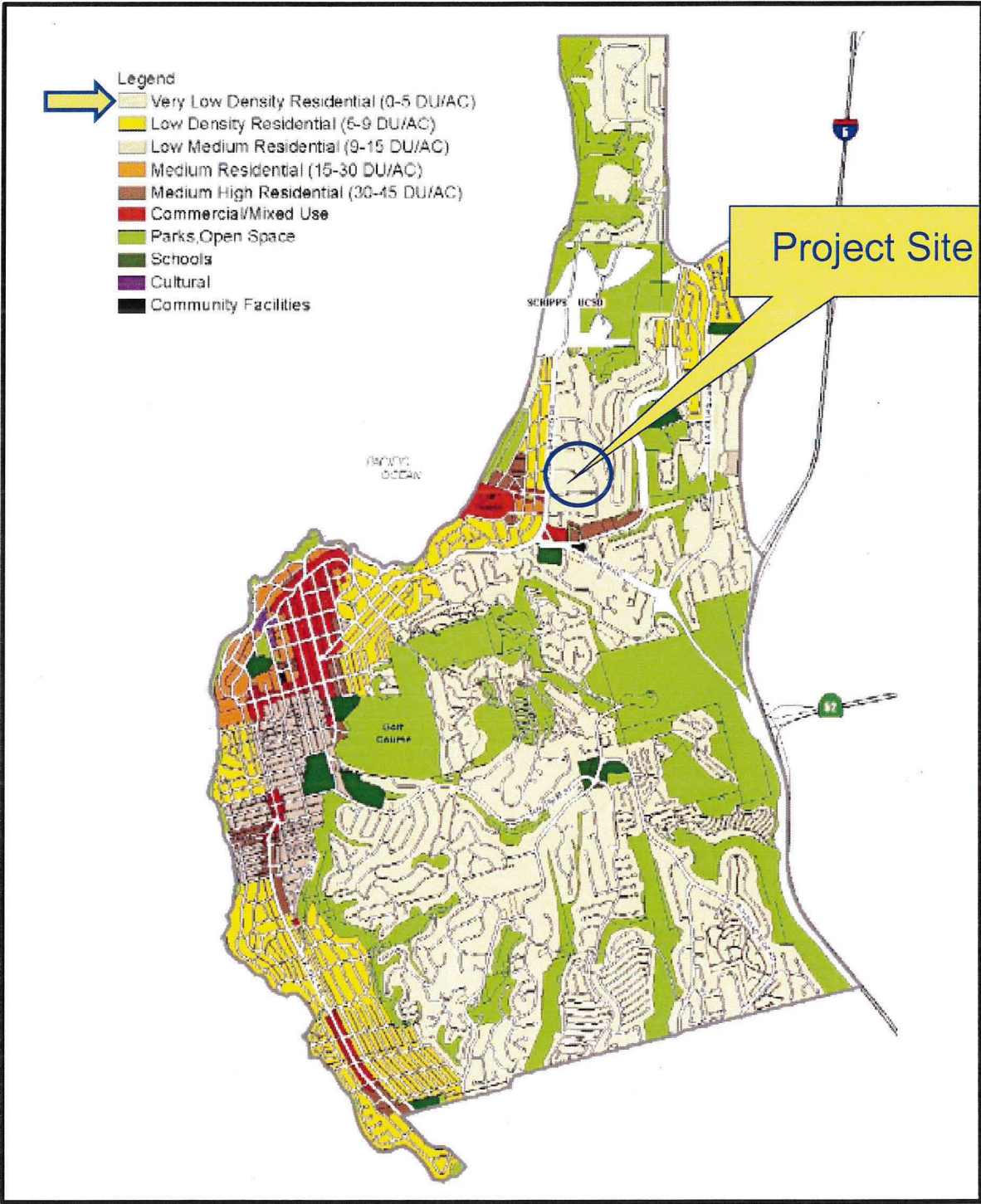




## Location Map

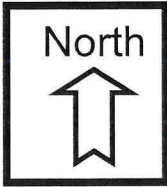
**TAYLOR RESIDENCE – Project No. 418222**  
**2327 Vallecitos**





**Land Use Map**

**TAYLOR RESIDENCE- Project No. 418222**  
**2327 Vallecitos**





## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Taylor Residence	
<b>PROJECT DESCRIPTION:</b>	Demolition of an existing 1,438 square-foot single dwelling unit and construction of a new 1,938 square-foot single dwelling unit.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit and Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Very Low Density Residential (0-5 dwelling units per acre)	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> LJSPD-SF (Single-Family)		
<b>HEIGHT LIMIT:</b> 30-Foot maximum height limit		
<b>LOT SIZE:</b> None Specified		
<b>FLOOR AREA RATIO:</b> 60 percent maximum lot coverage		
<b>FRONT SETBACK:</b> General Conformity to the Neighborhood		
<b>SIDE SETBACK:</b> General Conformity to the Neighborhood		
<b>STREETSIDE SETBACK:</b> General Conformity to the Neighborhood		
<b>REAR SETBACK:</b> General Conformity to the Neighborhood		
<b>PARKING:</b> Two (2) parking spaces required		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Very Low Density Residential; LJSPD-SF	Single Family Residential
<b>SOUTH:</b>	Very Low Density Residential; LJSPD-SF	Single Family Residential
<b>EAST:</b>	Very Low Density Residential; LJSPD-SF	Single Family Residential
<b>WEST:</b>	Very Low Density Residential; LJSPD-SF	Single Family Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On July 2, 2015, the La Jolla Community Planning Association voted 11-1-2 to recommend approval of the project with no conditions. On June 16, 2015, the La Jolla Shores Advisory Board voted 4-0 to recommend approval of the project with no conditions.	

HEARING OFFICER RESOLUTION NO. HO-\_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 1476427  
AND COASTAL DEVELOPMENT PERMIT NO. 1463528  
**TAYLOR RESIDENCE - PROJECT NO. 418222**

WHEREAS, Robert H. Taylor, Trustee of the Robert H. Taylor Separate Property Trust, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single dwelling unit and construct a 1,937 square-foot one-story single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1476427 and 1463528) on portions of a 0.477-acre site;

WHEREAS, the project site is located at 2327 Vallecitos in the SF Zone of the La Jolla Shores Planned District, and the Coastal (Non-Appealable Area 2), the Coastal Height Limitation, and the Parking Impact (Coastal Impact Area) Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan;

WHEREAS, the project site is legally described as Lot 16 of La Jolla Del Norte, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2701, filed in the Office of the County Recorder of San Diego County, September 20, 1950;

WHEREAS, on September 23, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1476427 and Coastal Development Permit No. 1463528 and pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 23, 2015.

FINDINGS:

**Site Development Permit – Section 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan.**

The Taylor Residence project proposes to demolish an existing single dwelling unit, and construct a 1,937 square-foot one-story single dwelling unit, with attached patio covers and trellises, and accessory improvements on a 0.477-acre property located at 2327 Vallecitos in the SF (Single Family) Zone of the La Jolla Shores Planned District (LJSPD). The project site is designated for Very Low Density Residential use at 0-5 dwelling units per acre (DU/AC) in the La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan. The 0.477-acre project site could accommodate one dwelling unit based on the underlying zone and 0-2 dwelling units based on the LJCP. The proposed single dwelling unit is consistent with the density allowed per the underlying zone and land use designation.

The residential element of the LJCP includes several recommendations to maintain and enhance existing neighborhood character, and promote visual harmony in the transitions between new and existing structures (Page 76). The project site is located in a residential neighborhood that is developed with one and two-story single family residential units of various architectural styles,

bulk and scale. The project proposes Traditional Spanish Style architecture and landscaping that is compatible with the existing residential character of the neighborhood. As recommended by the LJCP, the project incorporates architectural details that contribute to the aesthetic appeal of the structure including use of wood trellis beams, columns, a pitched roof, exterior molding, and window and door trims. Project materials and colors would be compatible with the existing surrounding development. The project provides an approximately 37-foot setback from the front property line and is screened by landscape. The project design and landscaping are compatible with the surrounding development and the existing diverse architecture, and facilitate the transition in scale between the proposed structure and the older structures in the neighborhood.

The project site is located approximately half a mile from the Pacific Ocean. The project site is located at the east end of a segment of Vallecitos identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The proposed building observes an approximately 37-foot setback from the front property line. The proposed development will be contained within the existing legal lot area. Therefore, the project would not impact the view of the Pacific Ocean down the public right-of-way looking west, and will not affect any identified public access or public views, intermittent or partial vista views, viewsheds, or scenic overlooks as identified within the LJCP and Local Coastal Program Land Use Plan. The project has been found to be consistent with the LJCP and the Local Coastal Program Land Use Plan, and therefore, the proposed single dwelling unit will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District and the Coastal Overlay Zone. The discretionary permit controlling the development and continued use of this site contains specific regulatory conditions ensuring compliance with all applicable regulations and policies. Construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire, and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors. Furthermore, this project has been reviewed pursuant to the California Environmental Quality Act, and the environmental analysis did not find any significant impacts to public health and safety. Therefore, the project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed project has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District, applicable regulations of the Municipal Code, and the Coastal Overlay Zone. The La Jolla Shores Planned District Ordinance (PDO) requires building and structure setbacks to be in general conformity with those in the vicinity, and any building with openings to observe a minimum side setback of 4 feet from the property line. Based on a survey of properties in the neighborhood showing a comparative range of building setbacks, staff has determined that the proposed project setbacks are in general conformity with the other properties in the vicinity and meet the intent of the PDO of siting structures such that the seaside character of the community is preserved and public views

are protected. The proposed overall structure height of 29.8 feet is in compliance with the 30-foot Coastal Height Limitation Overlay Zone and PDO requirements. The uncovered off-street parking area is screened from the public right-of-way with the use of planter walls and landscaping in conformance with the parking screening requirement of the PDO. The proposed lot coverage of 9.3 percent complies with the 60 percent maximum allowed, and the proposed landscaping of 33.1 percent of the project site exceeds the minimum 30 percent requirement. The project incorporates architectural and design features in conformance with the general design regulations of the PDO. Exterior material and color will consist of cream stucco finish with stained wood trim, and red terracotta barrel roof tiles. The project meets the definitions of a Dwelling Unit and Single Dwelling Unit as defined in SDMC Section 113.0103. The project is not requesting nor does it require any deviations or variances from the applicable development regulation and policy documents. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

### **Coastal Development Permit – Section 126.0708**

1. **The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.477 project site is an interior lot located approximately half a mile from the Pacific Ocean. The project has been designed to comply with all applicable development regulations, including the maximum permitted 30-foot height limit of the SF Zone and Coastal Height Limitation Overlay Zone. There is no existing or proposed public accessway to the beach on or adjacent to the project site as identified in the LJCP and Local Coastal Program Land Use Plan. The project site is located at the east end of a segment of Vallecitos identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The proposed building observes an approximately 37-foot setback from the front property line. All proposed development will be contained within the existing legal lot area not impacting views of the Pacific Ocean down the public right-of-way looking west. The project will not affect any viewsheds, view corridors, scenic overlooks, intermittent or partial vistas, or public access, as identified within the LJCP and Local Coastal Program Land Use Plan. Therefore, the project will have no effect upon any existing physical access way legally used by the public or any proposed public accessway, and will have no affect on public views to and along the ocean and other scenic coastal areas as specified in the LJCP and Local Coastal Program Land Use Plan.

2. **The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site has been previously graded and developed. The site is currently improved with a single dwelling unit and located within a fully developed residential neighborhood. The project site does not contain any environmentally sensitive lands as defined in San Diego Municipal Code (SDMC) Section 113.0103. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed project conforms to the underlying land use designation of Very Low Density Residential use at 0-5 dwelling units per acre (DU/AC) per the LJCP and Local Coastal Program Land Use Plan. The project site is located approximately half a mile from the Pacific Ocean, and it is not located in an area identified as containing any form of public access to the beach. The project site is located at the east end of a segment of Vallecitos identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP and Local Coastal Program Land Use Plan. The proposed building observes an approximately 37-foot setback from the front property line. The proposed development will be contained within the existing legal lot area, not impacting the view of the Pacific Ocean down the public right-of-way looking west. The project will not affect any identified public access or public views, intermittent or partial vista views, viewsheds, or scenic overlooks as identified within the LJCP and Local Coastal Program Land Use Plan. The project is not requesting nor does it require any deviations or variances from the applicable regulation and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified LJCP and Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is a 0.477-acre interior lot located at 2327 Vallecitos. It is located approximately half a mile from the Pacific Ocean. The property is not located between the ocean and the first public roadway (La Vereda) paralleling the ocean located within the Coastal Overlay Zone. Therefore, the proposed development and approval of the coastal development will have no effect upon the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1476427 and Coastal Development Permit No. 1463528 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1476427 and 1463528, a copy of which is attached hereto and made a part hereof.

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Firouzeh Tirandazi  
Development Project Manager  
Development Services

Adopted on: September 23, 2015

Internal Order No.: 24005765

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005765

**SITE DEVELOPMENT PERMIT NO. 1476427 AND**  
**COASTAL DEVELOPMENT PERMIT NO. 1463528**  
**TAYLOR RESIDENCE - PROJECT NO. 418222**  
**HEARING OFFICER**

This Site Development Permit No. 1476427 and Coastal Development Permit No. 1463528 are granted by the Hearing Officer of the City of San Diego to Robert H. Taylor Separate Property Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0708. The 0.477-acre site is located at 2327 Vallecitos in the SF (Single Family) Zone of the La Jolla Shores Planned District, and the Coastal (Non-Appealable Area 2), the Coastal Height Limitation, and the Parking Impact (Coastal) Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The project site is legally described as: Lot 16 of La Jolla Del Norte, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2701, filed in the Office of the County Recorder of San Diego County, September 20, 1950.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow the demolition of an existing structure and construction of a 1,938 square-foot one-story single dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 23, 2015, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing 1,438 square-foot single dwelling unit, and construction of a new one-story 1,938 square-foot one-story single dwelling unit with attached patio covers and trellises;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking with access via neighboring property's existing driveway pursuant to Private Driveway Easement recorded on July 2, 2015, DOC #2015-0348843;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 8, 2018.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **ENGINEERING REQUIREMENTS:**

11. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.



12. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of the existing non-utilized driveway with curb and gutter, per current City Standard, adjacent to the site on Vallecitos, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

15. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

16. Prior to issuance of construction permits for structures, the Owner/Permittee shall submit a Landscape Construction Plan consistent with Approved Exhibit "A," Landscape Development Plan. The Landscape Construction Plan shall show the required 30% landscaped area in a crosshatch pattern labeled "Landscape Area per the La Jolla Shores PDO, 1510.0304(h)." The plan shall provide tabulation of required and actual landscape area provided. The plan shall also show the location of the required Street Trees as per Section 142.0610 of the Land Development Code, Public Facility Regulations.

17. Modifications or changes to the Landscape Construction Plan, including existing or proposed plant material and hardscape, shall be permitted provided the resulting landscape still meets the minimum area requirements of the La Jolla Shores Planned District Ordinance and conforms to the City-wide Grading Regulations and Public Facilities Regulations.

18. The Permittee/Owner shall be responsible for the maintenance of all required landscape improvements, including in the right-of-way, consistent with the Landscape Standards. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

20. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 23, 2015, and Resolution No. \_\_\_\_\_.

Permit Type/PTS Approval No.: SDP No. 1476427 & CDP No. 1463528  
Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

---

Firouzeh Tirandazi  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ROBERT H. TAYLOR SEPARATE PROPERTY TRUST,  
Owner/Permittee

By \_\_\_\_\_

Robert H. Taylor  
Trustee of the Robert H. Taylor  
Separate Property Trust

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT TITLE/ NO.: TAYLOR RESIDENCE/418222

PROJECT LOCATION-SPECIFIC: 2327 Vallecitos, San Diego CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: This project proposes a Coastal Development Permit and Site Development Permit to demolish an existing dwelling unit, and construct a new one-story dwelling unit with an attached patio cover, trellises, walls, fences and other miscellaneous site improvements. The 0.47-acre project site is located at 2327 Vallecitos within the SF (Single Family) Zone of the La Jolla Shores Planned District, and the Coastal (Non-Appealable) Overlay, Coastal Height Limitation Overlay, and Parking Impact (Coastal) Overlay Zones, within the La Jolla Community Plan area and Council District 1.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: House and Dodge Design, 1929 Hancock Street #200, San Diego, CA 92110, Matan Chaffee (619) 557-0575

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL: (SEC. 21080 (b) (1); 15268)
( ) DECLARED EMERGENCY: (SEC. 21080 (b) (3); 15269 (a))
( ) EMERGENCY PROJECT: (SEC. 21080 (b) (4); 15269 (b) (c))
(X) CATEGORICAL EXEMPTION: 15303 (New Construction)
( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 which allows for the construction of one single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption. Furthermore, the exceptions listed in 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: Morgan Dresser

TELEPHONE: (619)446-5404

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

[Signature]
SIGNATURE/TITLE

8/19/15
DATE

CHECK ONE:

- ( ) SIGNED BY LEAD AGENCY
( ) SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: August 18, 2015

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No.: 24005765

---

**PROJECT NAME/NUMBER:** Taylor Residence/Project No. 418222  
**COMMUNITY PLAN AREA:** La Jolla  
**COUNCIL DISTRICT:** 1  
**LOCATION:** 2327 Vallecitos, San Diego, CA 92037

---

**PROJECT DESCRIPTION:** This project proposes a Coastal Development Permit and Site Development Permit to demolish an existing dwelling unit, and construct a new one-story dwelling unit with an attached patio cover, trellises, walls, fences and other miscellaneous site improvements. The 0.47-acre project site is located at 2327 Vallecitos within the SF (Single Family) Zone of the La Jolla Shores Planned District, and the Coastal (Non-Appealable) Overlay, Coastal Height Limitation Overlay, and Parking Impact (Coastal) Overlay Zones, within the La Jolla Community Plan area and Council District 1.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer (Process 3).

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction).

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego Development Services Staff.

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 which allows for the construction of one single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption. Furthermore, the exceptions listed in 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant

to Section 65962.5 of the Government Code.

**CITY CONTACT:** Firouzeh Tirandazi, Project Manager  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**CONTACT INFORMATION:** (619) 446-5325/ FTirandazi@sandiego.gov

---

On August 18, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City of San Diego Planning Commission. If you have any questions about this determination, contact the Project Manager above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (by September 1, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

**SUBMISSIONS:**


**HOUSE & DODGE DESIGN**  
 Mark T. House  
 John Dodge  
 1528 Hancock St.  
 Suite 200  
 San Diego, CA 92116  
 619.587.0878 ph  
 houseanddodge.com

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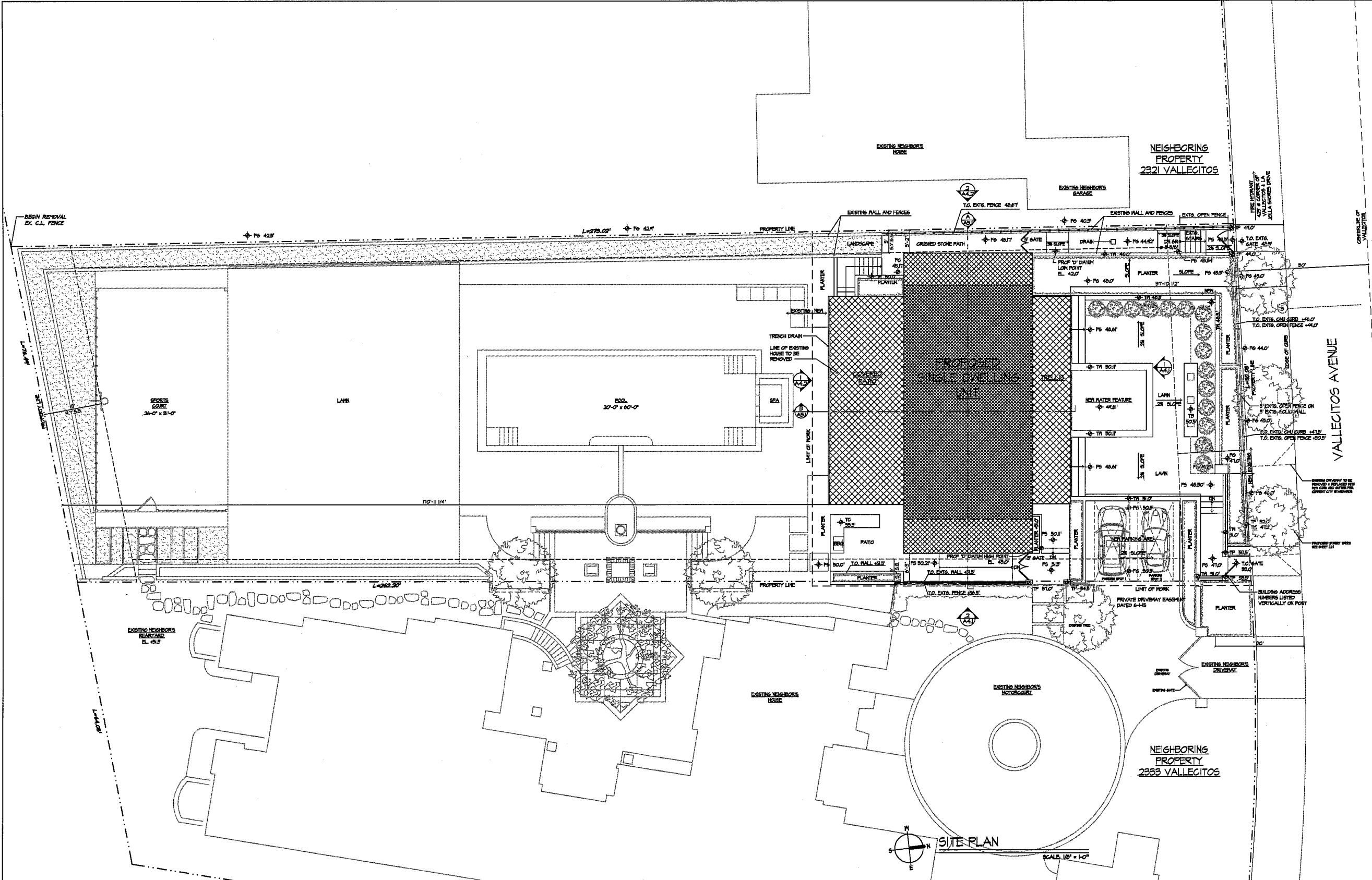


**TAYLOR RESIDENCE**  
 2327 VALLECITOS  
 LA JOLLA, CALIFORNIA 92037

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

SCALE: 1/8"=1'-0"  
 DATE: 07-06-2015

SITE PLAN  
**A1.1**



**EARTHWORK DATA:**

- TOTAL SITE AREA: 0.48 ACRES
- TOTAL AMOUNT OF SITE GRADED, EXISTING SITE GRADED (ONITE): 0.38 ACRES
- PERCENT OF SITE GRADED: 80%
- EXISTING AMOUNT OF SITE GRADED: 0.48 ACRES
- EXISTING PERCENT OF SITE GRADED: 100%
- AMOUNT OF CUT: 0 CUBIC YARDS AND MAXIMUM DEPTH OF CUT: 1.0 FEET
- AMOUNT OF FILL: 60 CUBIC YARDS AND MAXIMUM DEPTH OF FILL: 4.5 FEET
- AMOUNT OF BASEMENT FILL: 85 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPES: 1 FEET, 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPES: 1 FEET, 2:1 SLOPE RATIO
- AMOUNT OF SITE WITH STEEP SLOPES: 0.0 ACRES
- PERCENT OF TOTAL SITE WITH STEEP SLOPES: 0.0%
- FINISH ELEVATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO CHANGE IN FINAL DESIGN. ALL DISTANCES ARE APPROXIMATE. ALL SLOPE ARE 2:1 MAXIMUM UNLESS OTHERWISE INDICATED.
- A. EXCAVATION + CUT      IMPORT 10 CU YD
- B. EMBANKMENT + FILL      EXPORT 0 CU YD

**NOTES:**

- THE OWNER/PRIORITEE SHALL RECORD A DECLARATION OF GOVERNANTS AND RESERVATION OF BASEMENTS FOR THE SHARED ACCESS EASEMENT FOR THE TWO PROJECT SITES CURRENTLY HELD BY THE SAME OWNER.
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PRIORITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PRIORITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SDMG, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PRIORITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPP), THE WPP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

PREPARED BY:  
 Name: **HOUSE & DODGE DESIGN**  
 JOHN HANCOCK ST.  
 SAN DIEGO, CA 92116  
 Phone: (619) 587-0878  
 Project Address: **2327 VALLECITOS**  
 SAN DIEGO, CA 92037  
 Project Name: **TAYLOR RESIDENCE**  
 Sheet Title: **SITE PLAN**

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	07-06-2015
Original Date:	04-06-2015
Sheet:	1 of 14
DEPP:	







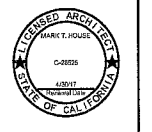
**SUBMISSIONS**


**HOUSE & DODGE**  
ARCHITECTS

Mark T. House  
John Dodge

1928 Hancock St.  
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619-527-0876 ph  
houseanddodge.com

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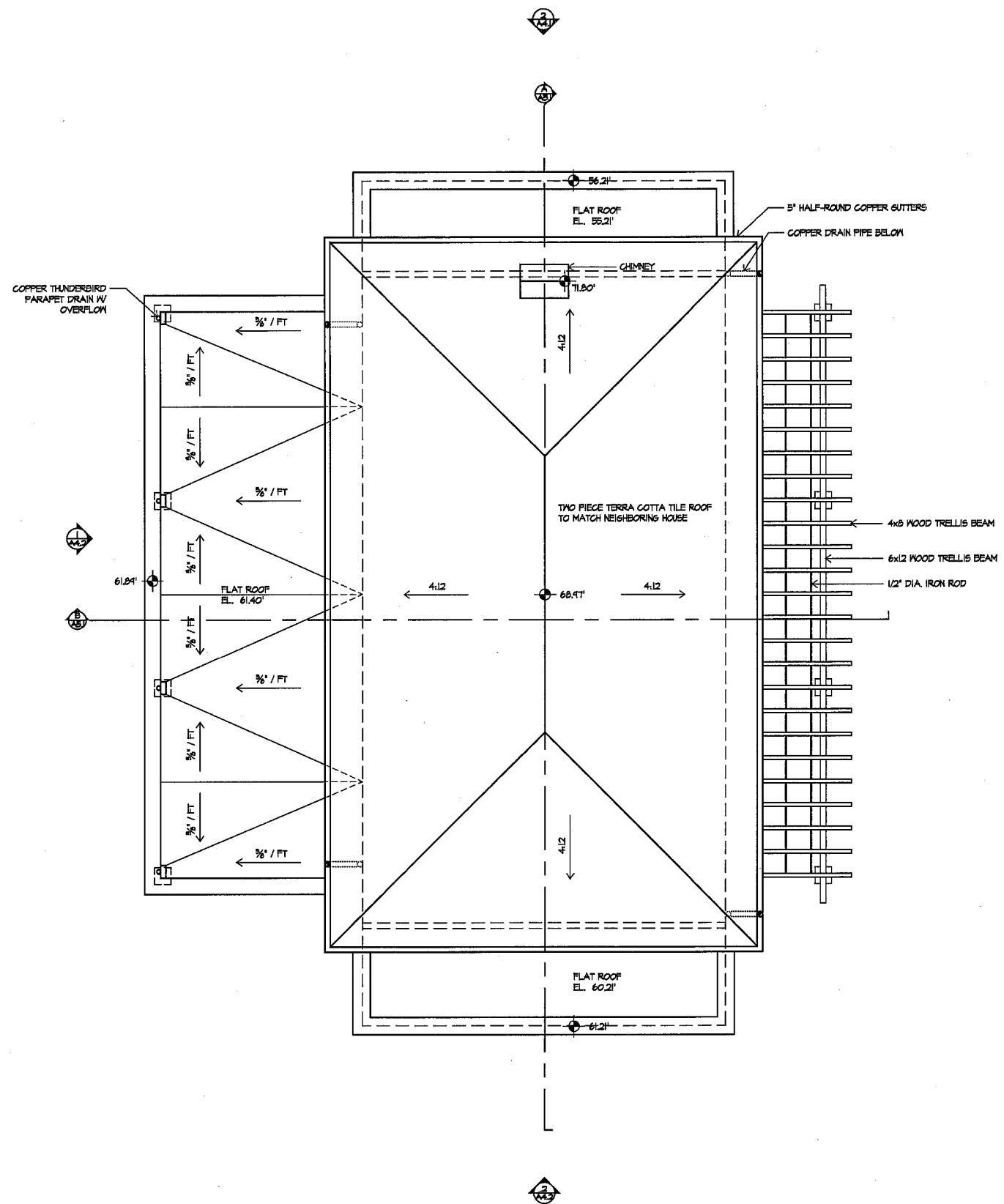
**TAYLOR RESIDENCE**  
2327 VALLECITOS  
LA JOLLA, CALIFORNIA 92037

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SCALE 1/4"=1'-0"  
DATE 07-06-2015

ROOF PLAN

**A2.2**



NO MECHANICAL EQUIPMENT OR ARCHITECTURAL SCREENING ELEMENTS.

PREPARED BY: Name: <b>HOUSE &amp; DODGE DESIGN</b> 1524 HANCOCK ST. SAN DIEGO, CA 92110 Phone: <b>(619) 527-0876</b> Project Address: <b>2327 VALLECITOS</b> <b>SAN DIEGO, CA 92037</b> Project Name: <b>TAYLOR RESIDENCE</b> Sheet Title: <b>ROOF PLAN</b>	Revision 14: _____ Revision 13: _____ Revision 12: _____ Revision 11: _____ Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: _____ Original Date: <b>07-06-2015</b> Original Date: <b>07-06-2015</b> Sheet: <b>11</b> of <b>14</b> DATE: _____ DEPT: _____
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**ROOF PLAN**  
SCALE 1/4" = 1'-0"

SUBMISSIONS

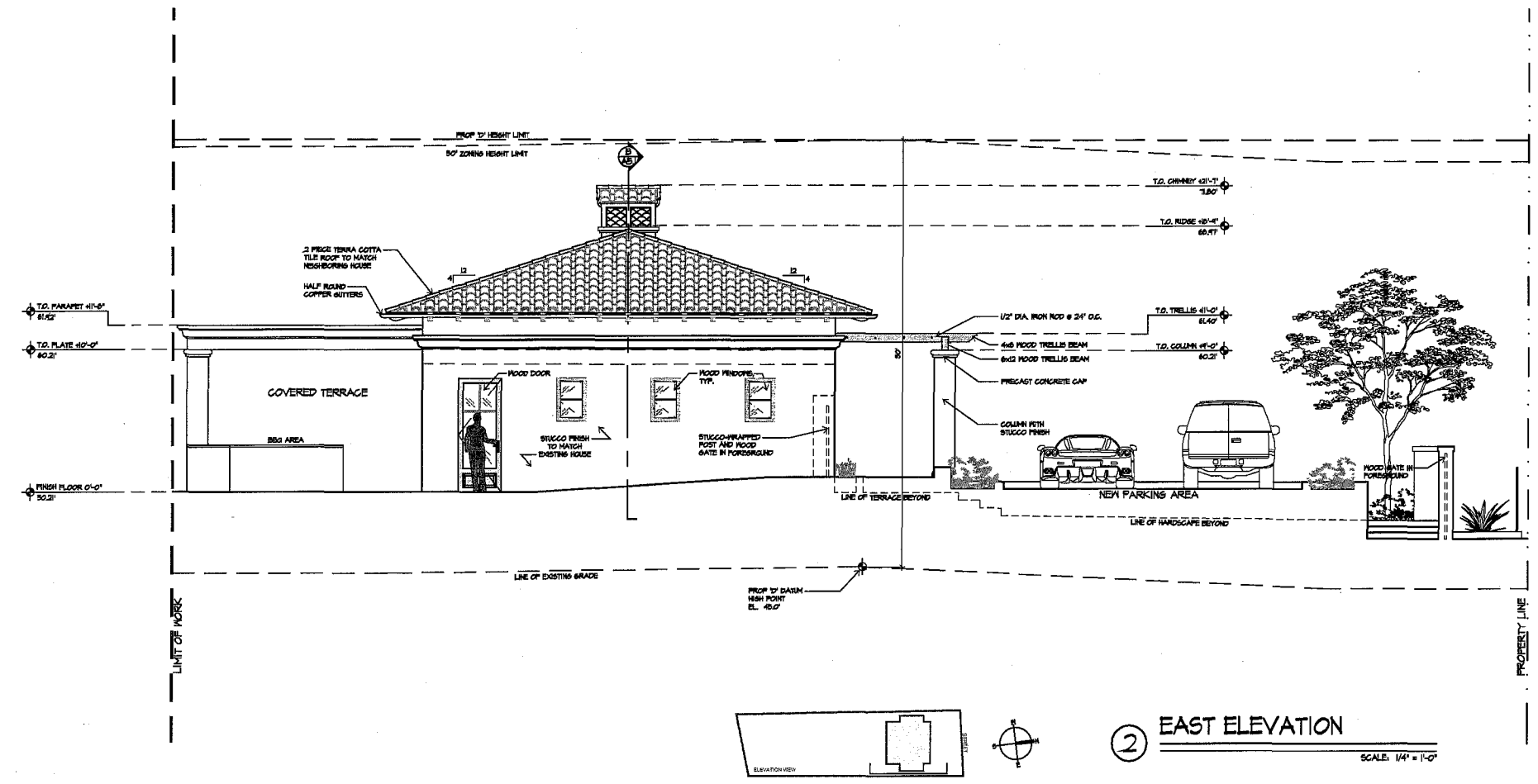
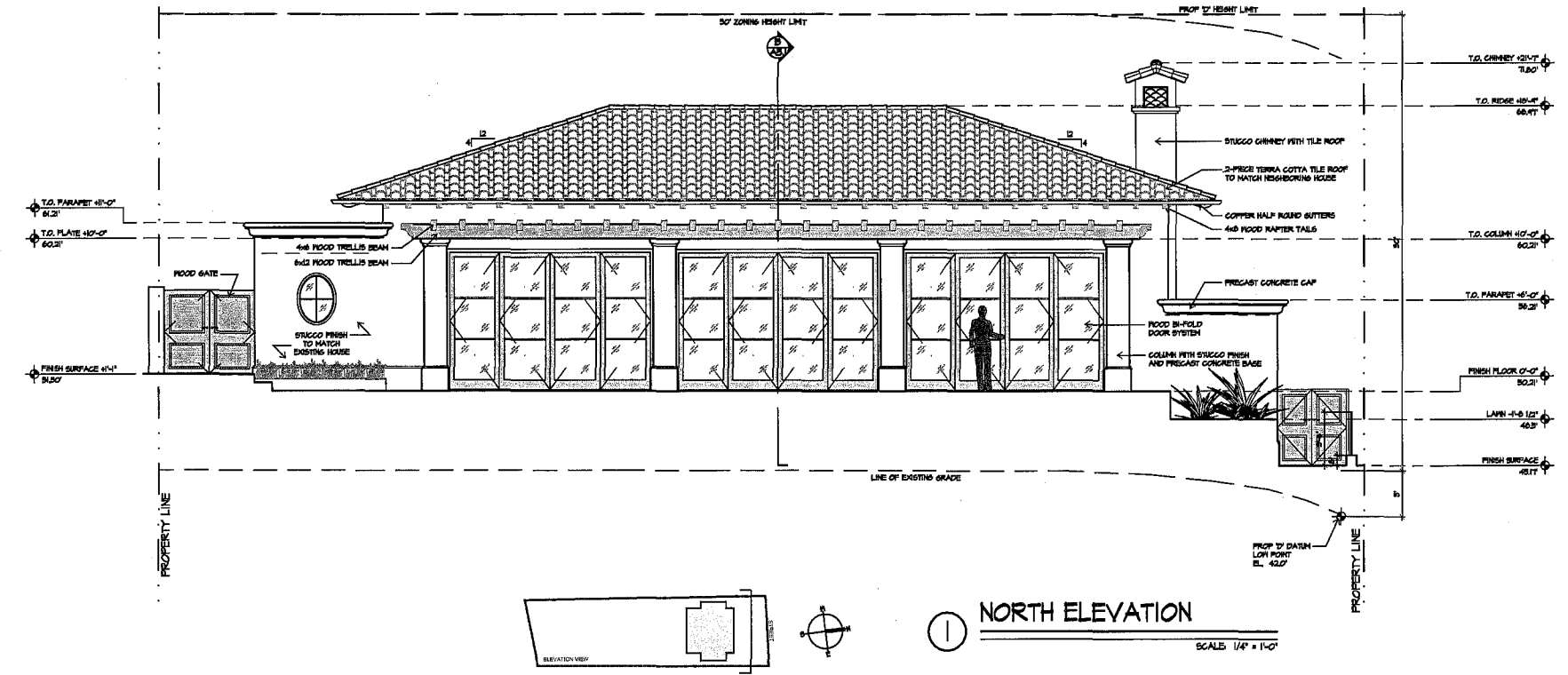

**HOUSE & DODGE**  
ARCHITECTS

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**TAYLOR RESIDENCE**  
2327 VALLECITOS  
LA JOLLA, CALIFORNIA 92037



PREPARED BY:  
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Phone: **(619) 537-0876**  
Project Address:  
**2327 VALLECITOS**  
SAN DIEGO, CA 92037  
Project Name:  
**TAYLOR RESIDENCE**  
Sheet Title:  
**EXTERIOR ELEVATIONS**

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 2: \_\_\_\_\_  
Revision 1: \_\_\_\_\_

Original Date: **01-06-2015**  
Original Date: **01-06-2015**  
Sheet: **12** of **14**  
DATE: **01-06-2015**  
SCALE: **1/4"=1'-0"**

EXTERIOR ELEVATIONS  
**A4.1**

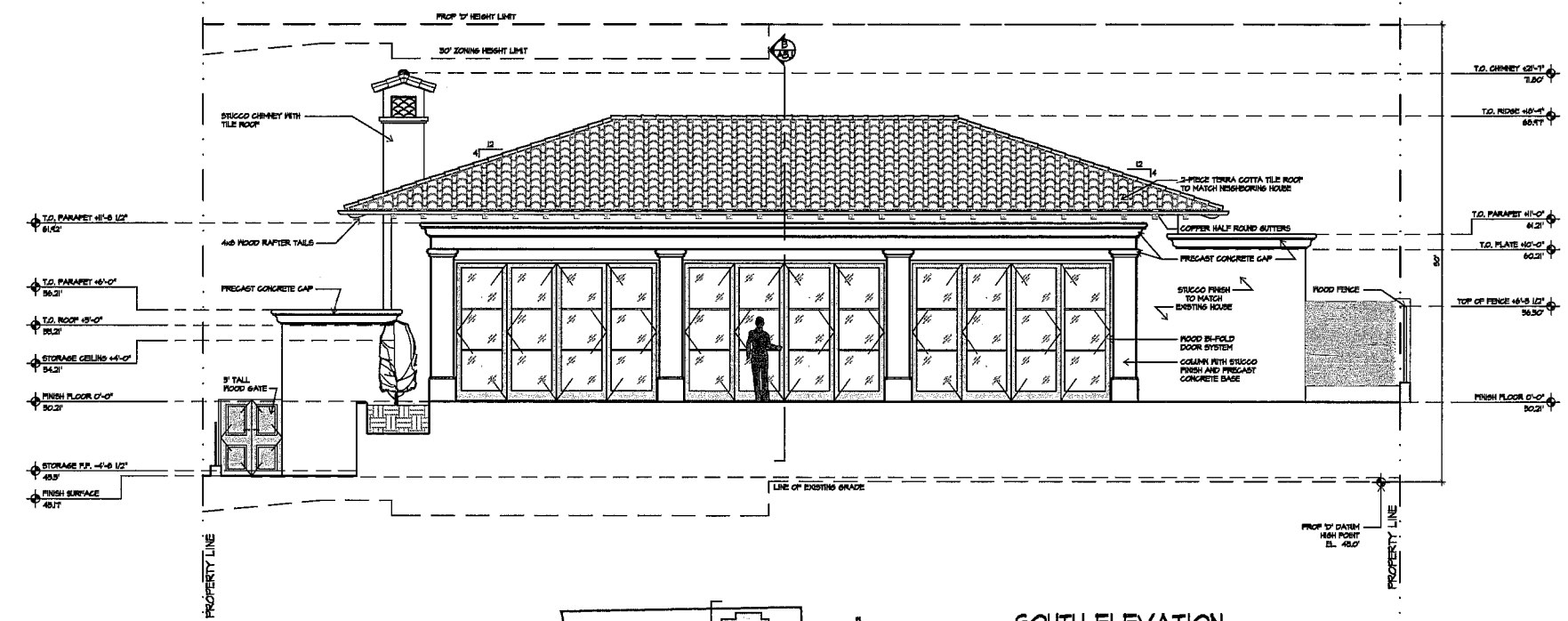
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**HOUSE & DODGE**  
 ARCHITECTS  
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 John Dodge  
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 619-557-0876 ph  
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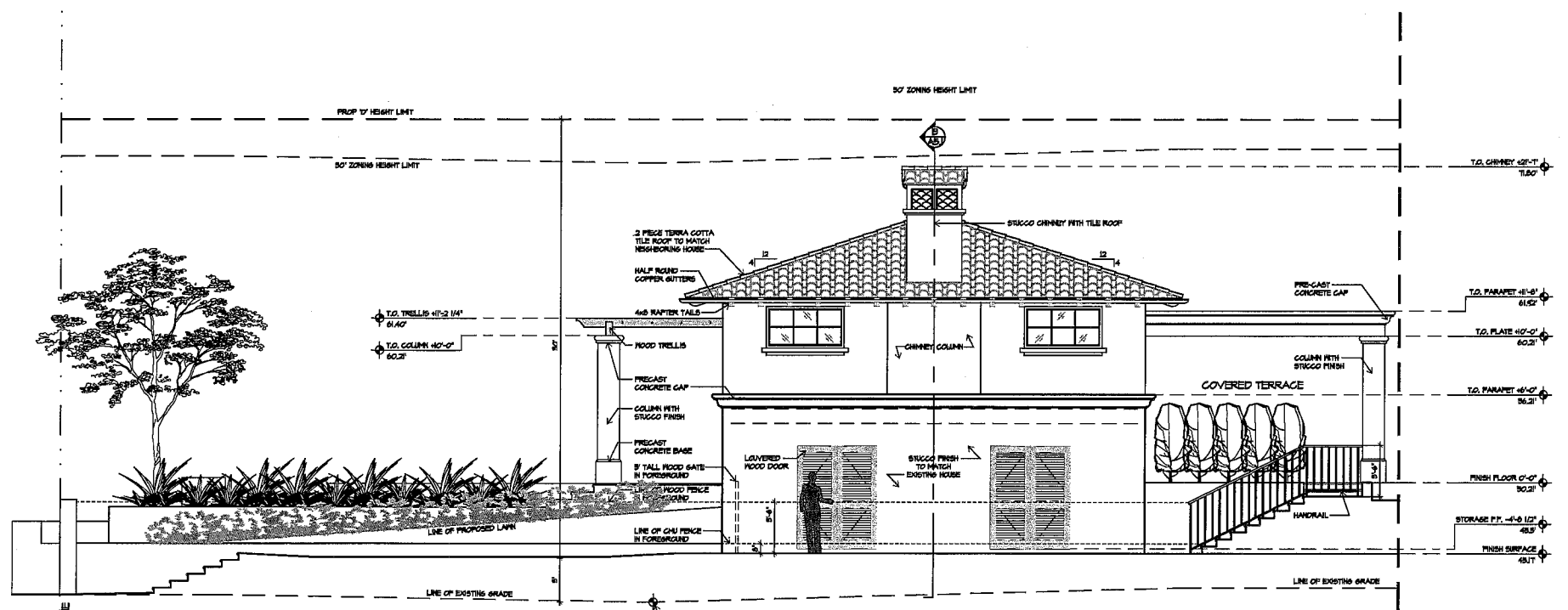
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**TAYLOR RESIDENCE**  
 2327 VALLECITOS  
 LA JOLLA, CALIFORNIA 92037



① SOUTH ELEVATION



② WEST ELEVATION

PREPARED BY:  
 Name: **HOUSE & DODGE DESIGN**  
 1928 HANCOCK ST.  
 SAN DIEGO, CA 92116  
 Phone: **(619) 557-0876**  
 Project Address:  
**2327 VALLECITOS**  
**SAN DIEGO, CA 92037**  
 Project Name:  
**TAYLOR RESIDENCE**  
 Sheet Title:  
**EXTERIOR ELEVATIONS**

Revision 14: \_\_\_\_\_  
 Revision 13: \_\_\_\_\_  
 Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: **07-06-2015**

Original Date: **04-06-2015**  
 Date: **18** of **14**  
 DEPR: \_\_\_\_\_

SCALE: 1/4" = 1'-0"  
 DATE: 07-06-2015

EXTERIOR ELEVATIONS  
**A4.2**

SUBMISSIONS


**HOUSE & DODGE**  
ARCHITECTS

Mark T. House  
John Dodge

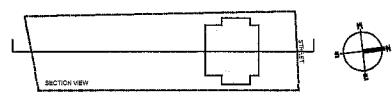
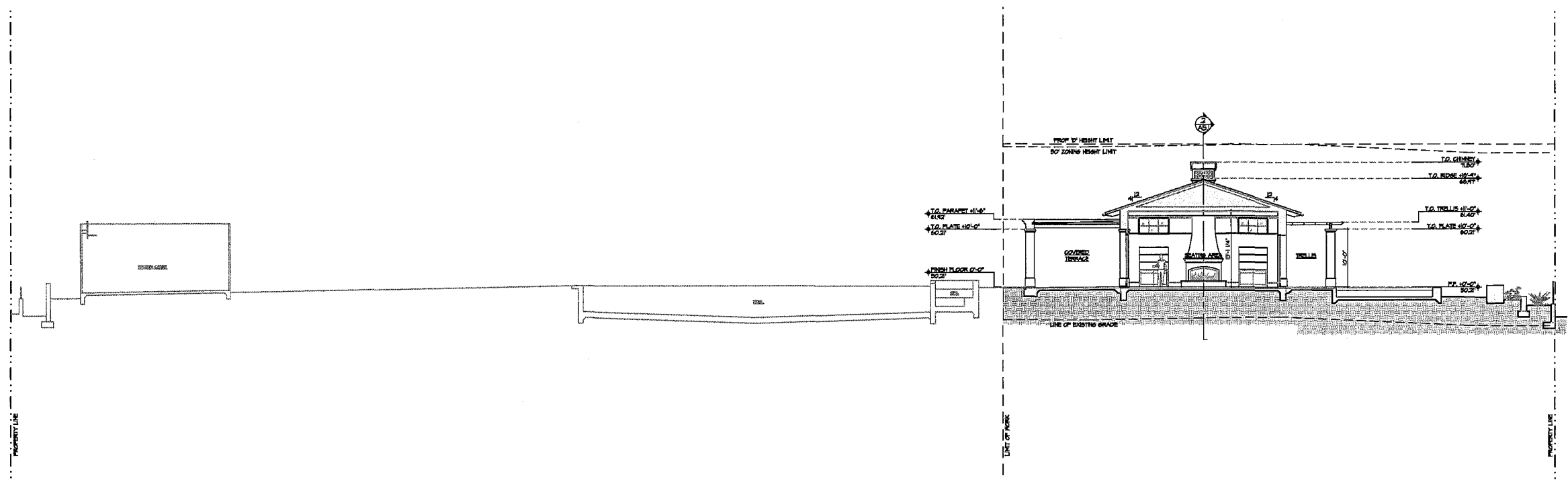
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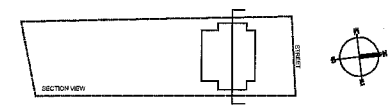
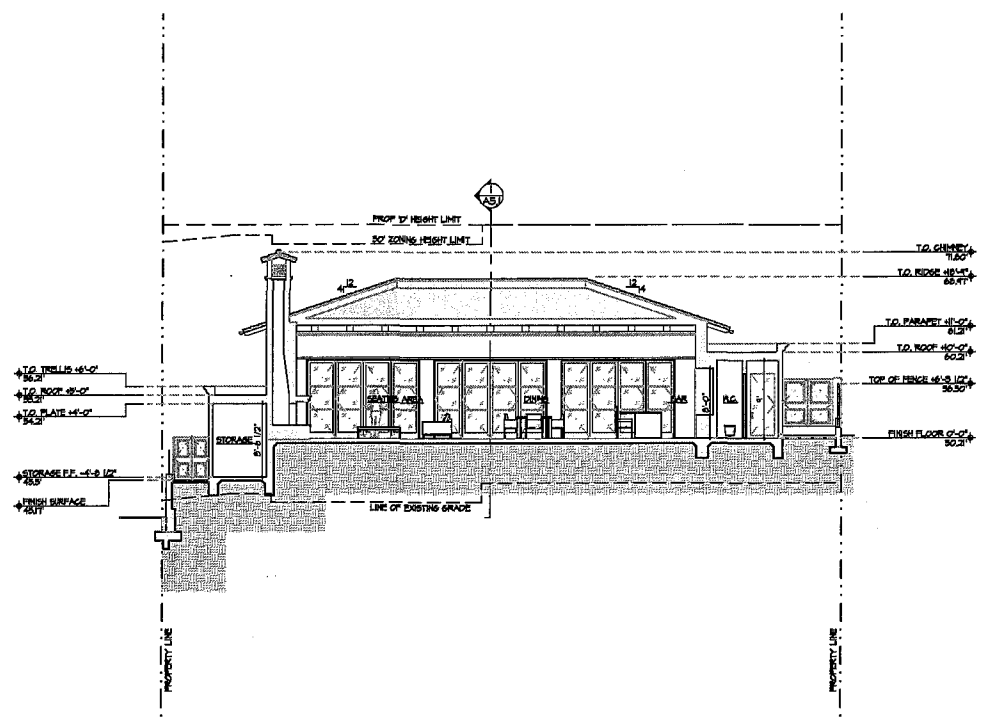
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**TAYLOR RESIDENCE**  
2327 VALLEJITOS  
LA JOLLA, CALIFORNIA 92037



① **SITE SECTION**  
SCALE 1/4" = 1'-0"



② **SITE SECTION**  
SCALE 1/4" = 1'-0"

PREPARED BY: Name: <b>HOUSE &amp; DODGE DESIGN</b>	Revision 14: _____
1828 HANCOCK ST. SAN DIEGO, CA 92103	Revision 13: _____
Phone: <b>619-587-0876</b>	Revision 12: _____
Project Address: 2327 VALLEJITOS SAN DIEGO, CA 92037	Revision 11: _____
Project Name: <b>TAYLOR RESIDENCE</b>	Revision 10: _____
Sheet Title: <b>SITE SECTIONS</b>	Revision 9: _____
	Revision 8: _____
	Revision 7: _____
	Revision 6: _____
	Revision 5: _____
	Revision 4: _____
	Revision 3: _____
	Revision 2: _____
	Revision 1: _____
Original Date: <b>04-06-2015</b>	
Sheet: <b>14</b> of <b>14</b>	
DEPk: _____	

SCALE 1/8" = 1'-0"  
DATE 07-06-2015

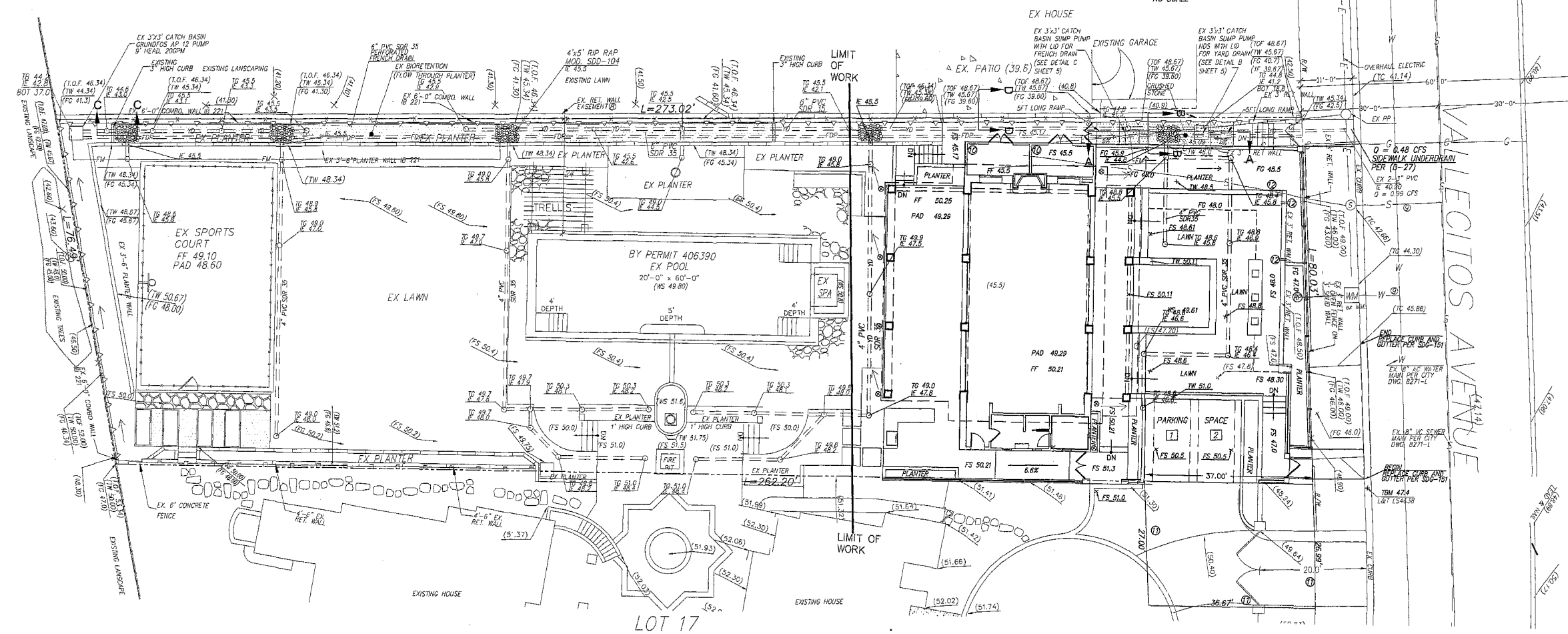
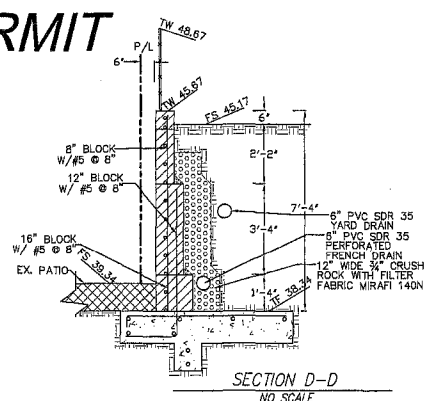
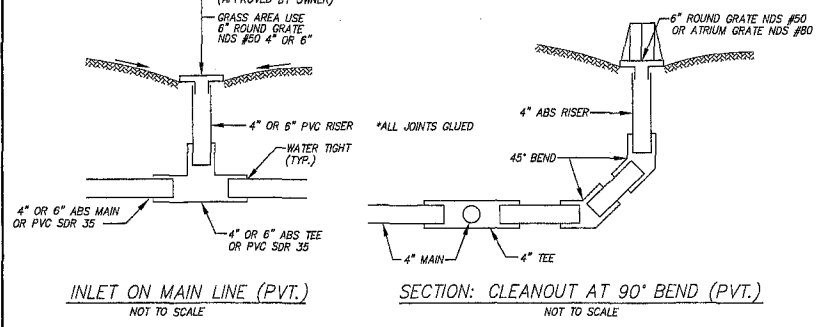
SITE SECTIONS  
**A5.1**

# TAYLOR RESIDENCE COASTAL DEVELOPMENT PERMIT

## YARD DRAIN LEGEND

GRASS SWALE	
ROOF DRAINS	
CATCH BASIN (PVT)	
SIZE AS NOTED	
4" OR 6" PVC SDR 35 YARD DRAIN	
4" PVC SCH. 40 PERFORATED SUB-DRAIN	
6" PVC SDR 35 PERFORATED FRENCH DRAIN	
4" PVC SDR 35 SOLID	
12" BRONZE GRATE ON ACO POWERDRAIN (S-300K)	
DIRECTION OF FLOW	
SLURRY CONCRETE BACFILL PER SDD-113	
EXISTING ELEVATION	(47.00)
PROPOSED ELEVATION	47.00
EXISTING 3" PVC SCH40 FORCE MAIN	
4 1/2" RIP RAP ENERGY DISSIPATOR MOD. SDD-104	

**NOTE**  
1. GLUE ALL JOINTS.

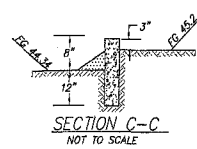
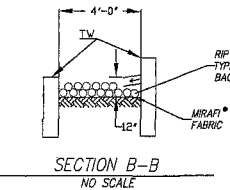
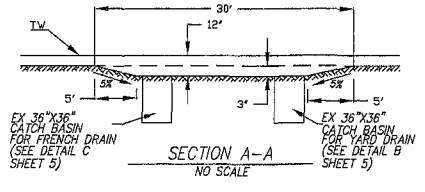


**GENERAL NOTES**

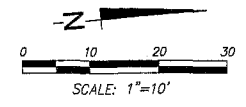
1. DRAINAGE SWALES WILL NOT JUST BE REMOVED. THEY MAY BE RELOCATED OR REPLACED WITH A YARD DRAIN.
2. YARD DRAIN SYSTEM PREPARED BY CEA ENGINEERING.
3. CONTRACTOR TO VERIFY SPOT ELEVATIONS AT ALL DOOR THRESHOLDS PRIOR TO CONSTRUCTION. ALL DOOR THRESHOLDS YARD DRAIN SYSTEM WILL HAVE A MIN. OF 2% SLOPE AWAY FROM DOOR TO PREVENT WATER FROM ENTERING DOORS.
4. ADJUST GRADE AT PROPERTY LINE TO PREVENT DRAINAGE FROM CROSSING ONTO ADJACENT PROPERTY.
5. DIRECT ALL DRAINAGE AWAY FROM DOORS AND BUILDINGS.
6. UNDER SLAB DRAINAGE & WATER PROOFING TO BE DESIGNED BY WATERPROOF CONSULTANT.
7. REFER TO FOUNDATION DRAIN DESIGN BY CHRISTIAN WHEELER ENGINEERING.
8. EXISTING RETAINING WALL EASEMENT PER DOC. 2015-0046009, REC. FEB 3 2015.
9. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
10. DEEPER FOOTING TO NOT LOAD WALL AT WESTERLY PROPERTY LINE.
11. EXISTING PRIVATE DRIVEWAY ACCESS EASEMENT.
12. WEEP HOLE.

**YARD DRAIN NOTES (PRIVATE)**

1. MAINTENANCE/CLEANING/REPAIR
  - A. CATCH BASINS, YARD DRAINS, AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 5 DAYS PRIOR TO A RAIN EVENT.
  - B. FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR (4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.
  - C. REFER TO SLUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SLUMP PUMPS.
  - D. LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESILTING CATCH BASINS, & INLETS.
2. ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
3. ATRIUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
4. ALL JOINTS WILL BE GLUED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING, PER MANUFACTURER SPECIFICATIONS.



\*SITE NOTE:  
ALL P.C.C. WILL BE A  
MIN. 2500 PSI @ 28 DAYS



**DEFINITIONS**

- W --- WATER MAIN
- MM --- WATER METER
- P/L --- PROPERTY LINE
- FL --- FLOW LINE
- TP --- TOP OF BOX
- R/W --- RIGHT OF WAY
- BM --- BMS METER
- TO --- TOP OF CURB
- WS --- WATER SURFACE
- EG --- EXISTING GROUND
- TG --- TOP OF GRATE
- IE --- INVERT ELEVATION
- FF --- FINISHED FLOOR
- T.O.F --- TOP OF FENCE
- FS --- FINISHED SURFACE
- FG --- FINISHED GROUND
- EX --- EXISTING
- TW --- TOP OF WALL

**ENGINEER OF WORK**  
CEA ENGINEERING  
6369 VICKERS ST., STE. 201  
SAN DIEGO, CA 92111  
PH: (619) 275-0441  
R.C.E. 16682 EXP. 06-30-17



**CEA ENGINEERING**  
CIVIL ENGINEERING PLANNING LAND SURVEYING  
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PHONE: (619) 275-0441

**INTERIM-FOR REVIEW ONLY**

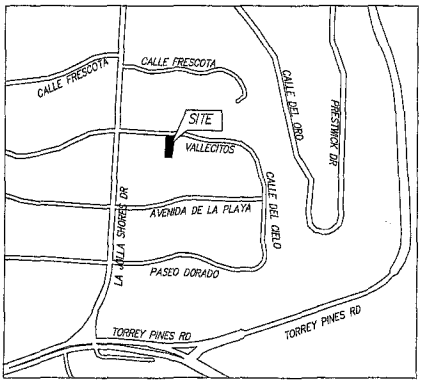
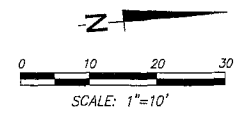
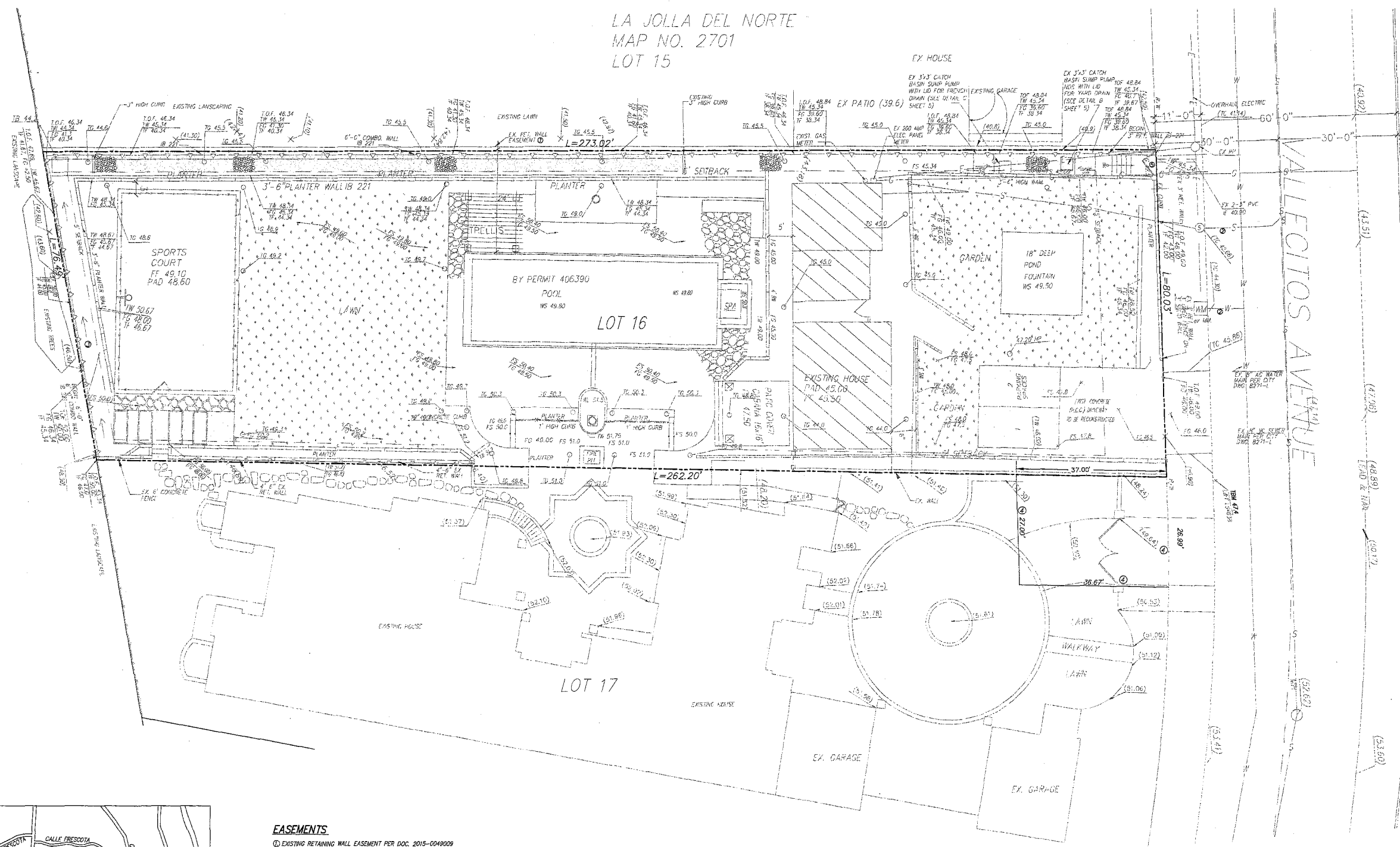
EX. POOL PERMIT 406390  
EX. COMBINATION PERMIT 389903  
EX. COMBINATION PERMIT 399444

PREPARED BY: NAME: CEA ENGINEERING ADDRESS: 6369 Vickers St. Ste. 201 San Diego, CA 92111 PHONE NO.: PROJECT ADDRESS: 2327 Vallecitos Ave. La Jolla, CA 92037 PROJECT NAME: TAYLOR RESIDENCE SHEET TITLE: YARD DRAIN PLAN	REVISION 1: _____ REVISION 2: _____ REVISION 3: _____ REVISION 4: _____ REVISION 5: _____ REVISION 6: _____ REVISION 7: _____ REVISION 8: _____ REVISION 9: _____ REVISION 10: _____ ORIG. DATE: 3-24-15 SHEET 1 OF _____ P.T.S. 418222 W.O.
--	---



# TAYLOR RESIDENCE COASTAL DEVELOPMENT PERMIT

LA JOLLA DEL NORTE  
MAP NO. 2701  
LOT 15



VICINITY MAP  
NO SCALE

**EASEMENTS**

- 1. EXISTING RETAINING WALL EASEMENT PER DOC. 2015-0049009 REC. FEB. 3 2015
- 2. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN
- 3. EXISTING 5' UTILITY EASEMENT
- 4. EXISTING ACCESS EASEMENT
- 5. GVO GATE SHALL SWING INTO THE PUBLIC RIGHT-OF-WAY.

**LEGEND**

- PROPERTY BOUNDARY
- EXIST. CONTOUR
- APPROXIMATE CONTOUR
- EXIST. SPOT ELEVATION
- EXIST. CHAINLINK FENCE
- EXIST. TREES
- EXIST. RETAINING WALL
- EXIST. TRAFFIC SIGN
- FOUND MONUMENTS
- 4 1/2" TYP RAP ENERGY DISSIPATOR MOD. SDD-104

**DEFINITIONS**

- WM - WATER MAIN
- WV - WATER METER
- PL - PROPERTY LINE
- FL - FLOW LINE
- EM - ELECTRIC METER
- ACP - ASBESTOS CONCRETE PIPE
- GM - GAS METER
- GV - GAS VALVE
- EP - EDGE OF PAYEMENT
- EG - EXISTING GROUND
- TB - TOP OF BERM
- TBM - TEMPORARY BENCHMARK
- TS - TOP OF SLOPE
- SDCO - STORM DRAIN CLEAN OUT
- CI - CAST IRON
- SM - SEWER MANHOLE
- FW - FIRE HYDRANT
- FP - FIRE PLACE

**TITLE REPORT**

TITLE REPORT PREPARED BY:  
FIRST AMERICAN TITLE COMPANY  
ORDER NO. 011-4357048 DATED MARCH 5, 2014  
SEE TITLE REPORT FOR COVENANTS AND AGREEMENTS OF RECORD.  
ASSESSOR PARCEL NO. 346-300-03-00

**NOTE**

- 1. NO BOUNDARY SURVEY WAS PERFORMED. BOUNDARY WAS PLOTTED PER MAP 2701.
- 2. EXISTING UTILITIES WERE PLOTTED BY VISUAL OBSERVATION OF SURFACE MARKINGS OR CITY OF SAN DIEGO DRAWINGS.
- 3. CONTRACTOR TO FIELD LOCATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

**CITY OF SAN DIEGO  
REFERENCE DRAWINGS**

MAP 2701  
**BENCHMARK**  
LOCATION: INTERSECTION OF LA JOLLA SHORES DRIVE AND VALLECITOS DRIVE, W/MB IN TOP OF CURB  
ELEV. 16.984 FT. M.S.L.

**LEGAL DESCRIPTION**

LOT 16 OF LA JOLLA DEL NORTE, ACCORDING TO MAP THEREOF NO. 2701, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SEPTEMBER 20, 1950.

**APN**

346-300-03-00

**ENGINEER OF WORK**

CEA ENGINEERING  
8369 VICKERS ST., STE. 201  
SAN DIEGO, CA 92111  
PH. (619) 477-0444  
R.C.E. 16685 EXP. 06-30-17



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PHONE: (619) 477-0444

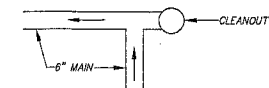
**INTERIM-FOR REVIEW ONLY**

EX. POOL PERMIT 406330  
EX. COMBINATION PERMIT 389903  
EX. COMBINATION PERMIT 399444

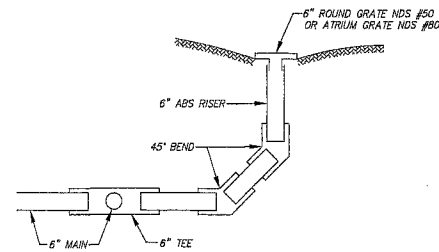
PREPARED BY: NAME: <b>CEA ENGINEERING</b>	REVISION 1: _____
ADDRESS: <b>8369 Vickers St., Ste. 201 San Diego, CA 92111</b>	REVISION 2: _____
PHONE NO.:	REVISION 3: _____
PROJECT ADDRESS: <b>2327 Vallecitos Ave. La Jolla, CA 92037</b>	REVISION 4: _____
PROJECT NAME: <b>TAYLOR RESIDENCE</b>	REVISION 5: _____
SHEET TITLE: <b>TOPO PLAN</b>	REVISION 6: _____
	REVISION 7: _____
	REVISION 8: _____
	REVISION 9: _____
	REVISION 10: _____
	ORIG. DATE: <b>3-24-15</b>
	SHEET <b>4</b> OF _____
	P.T.S. <b>418222</b>
	W.C. _____



# TAYLOR RESIDENCE REMODEL COASTAL DEVELOPMENT PERMIT

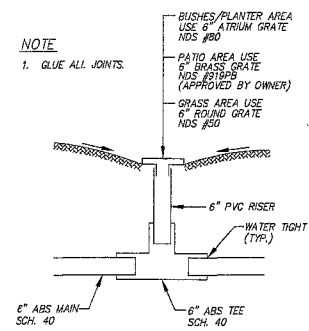


PLAN: CLEANOUT AT 90° BEND (PVT.)  
NOT TO SCALE

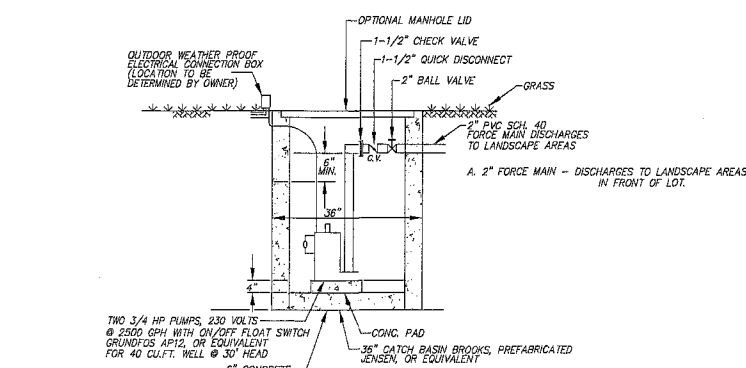
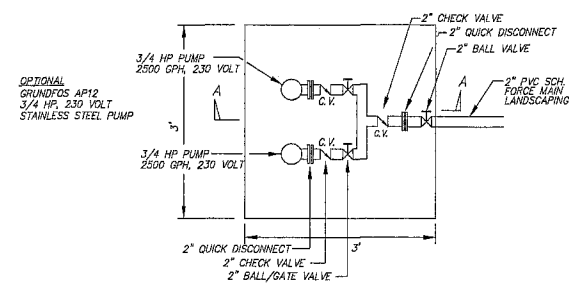


SECTION: CLEANOUT AT 90° BEND (PVT.)  
NOT TO SCALE

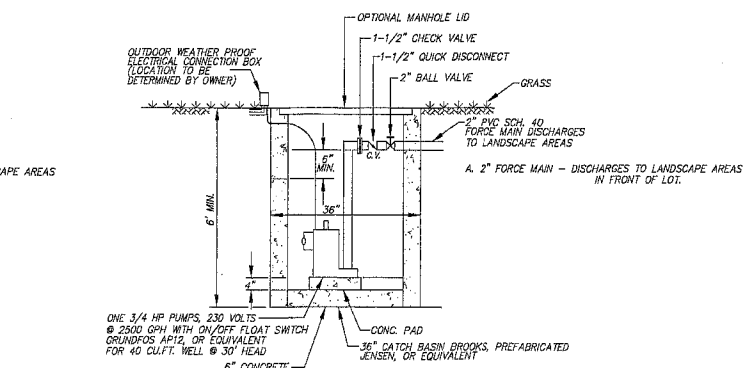
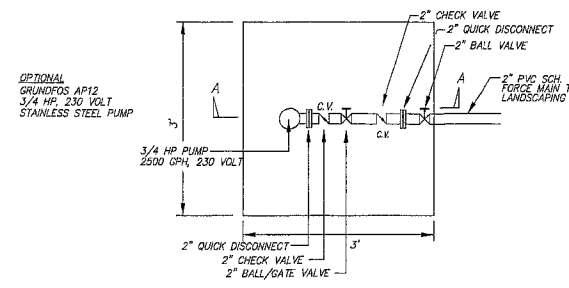
NOTE:  
1. GLUE ALL JOINTS.



INLET ON MAIN LINE (PVT.)  
NOT TO SCALE



SECTION A-A  
YARD DRAIN PUMP DETAIL  
NOT TO SCALE



SECTION A-A  
FRENCH DRAIN PUMP DETAIL  
NOT TO SCALE

**GENERAL NOTES**

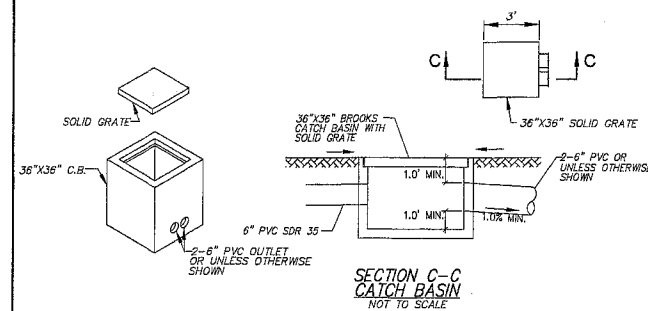
1. DRAINAGE SWALES WILL NOT JUST BE REMOVED. THEY MAY BE RELOCATED OR REPLACED WITH A YARD DRAIN.
2. YARD DRAIN SYSTEM PREPARED BY CEA ENGINEERING.
3. CONTRACTOR TO VERIFY SPOT ELEVATIONS AT ALL DOOR THRESHOLDS PRIOR TO CONSTRUCTION. ALL DOOR THRESHOLDS YARD DRAIN SYSTEM WILL HAVE A MIN. OF 2% SLOPE AWAY FROM DOOR TO PREVENT WATER FROM ENTERING DOORS.
4. ADJUST GRADE AT PROPERTY LINE TO PREVENT DRAINAGE FROM CROSSING ONTO ADJACENT PROPERTY.
5. DIRECT ALL DRAINAGE AWAY FROM DOORS AND BUILDINGS.

**YARD DRAIN NOTES (PRIVATE)**

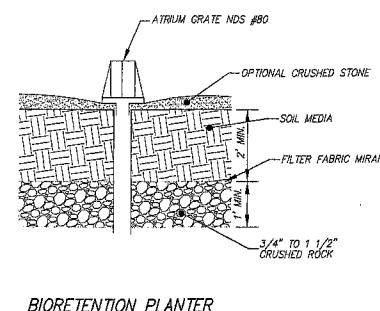
1. MAINTENANCE/CLEANING/REPAIR
  - A. CATCH BASINS, YARD DRAINS AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 5 DAYS PRIOR TO A RAIN EVENT.
  - B. FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR(4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.
  - C. REFER TO SLUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SLUMP PUMPS.
  - D. LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESILTING CATCH BASINS.
2. ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
3. ATRIUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
4. ALL JOINTS WILL BE GLUED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING.

**MAINTENANCE AND INSPECTION OF PERMANENT BMP'S**

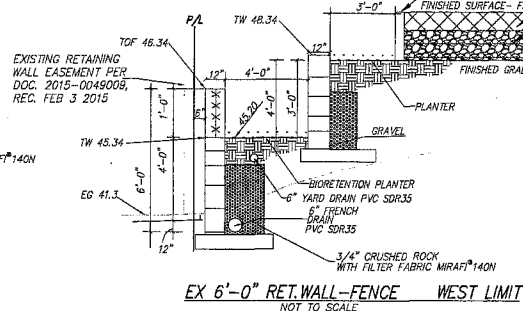
1. DESILTING CATCH BASINS, WET WELLS, PUMPING SYSTEMS, SIDEWALK UNDERDRAINS, RIP-RAP, AND OTHER EROSION CONTROL MEASURES WILL BE MAINTAINED AND CLEANED BY THE INDIVIDUAL LOT OWNER OF EACH LOT. CLEANING WILL INCLUDE THE REMOVAL OF DEBRIS, SAND, SILT, TRASH AND OBSTRUCTIONS. SYSTEMS WILL BE FLUSHED AND CLEANED A MINIMUM OF ONCE EVERY 2 MONTHS DURING THE DRY SEASON AND ONCE EVERY 24 HOURS IMMEDIATELY BEFORE, DURING, AND IMMEDIATELY AFTER A RAIN EVENT.
2. LANDSCAPING WILL BE INSPECTED A MINIMUM OF ONCE EVERY MONTH DURING THE DRY SEASON AND ALWAYS IMMEDIATELY BEFORE AND AFTER A RAIN EVENT. LANDSCAPING WILL BE REPAIRED/REPLACED AS NECESSARY. ALL EXPOSED EARTH SURFACES WILL BE MULCHED, HYDROSEEDDED, OR STRAW MATTED TO MINIMIZE EROSION.
3. THE INDIVIDUAL LOT OWNER IS RESPONSIBLE FOR REMOVING ALL POLLUTANTS, TRASH, SILT, AND DEBRIS TO A LEGAL DUMP SITE.
4. THE INDIVIDUAL LOT OWNER TAKES FULL RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORM WATER PUMPING SYSTEM.
5. MAINTENANCE OF SLUMP PUMP SYSTEMS CAN BE PERFORMED BY BARRETT ENGINEERING PUMPS (615) 232-7887 OR MARTIN PLUMBING (858) 715-0950 OR AC&D PUMP SERVICE (858) 748-5050.



SECTION C-C  
CATCH BASIN  
NOT TO SCALE



BIORETENTION PLANTER  
NOT TO SCALE



EX 6'-0" RET.WALL-FENCE WEST LIMIT  
NOT TO SCALE

**ENGINEER OF WORK**

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8369 VICKERS ST., STE. 201  
SAN DIEGO, CA 92111  
PH. (619) 477-0441  
R.C.E. 16685  
EXP. 06-30-17



**CEA ENGINEERING**  
CIVIL ENGINEERING PLANNING AND SURVEYING  
8369 VICKERS STREET, SUITE C, SAN DIEGO, CALIFORNIA 92111  
PHONE: (619) 277-0441

**INTERIM-FOR REVIEW ONLY**

PREPARED BY: NAME: CEA ENGINEERING	REVISION 1: _____
ADDRESS: 8369 Vickers St., Ste. 201 San Diego, CA 92111	REVISION 2: _____
PHONE NO.: _____	REVISION 3: _____
PROJECT ADDRESS: 2327 Vallecitos Ave. La Jolla, CA 92037	REVISION 4: _____
TAYLOR RESIDENCE	REVISION 5: _____
	REVISION 6: _____
	REVISION 7: _____
	REVISION 8: _____
	REVISION 9: _____
	REVISION 10: _____
SHEET TITLE: DETAILS	ORIG. DATE: 3-24-15
	SHEET 5 OF _____
	P.T.S. 418222
	W.O. _____

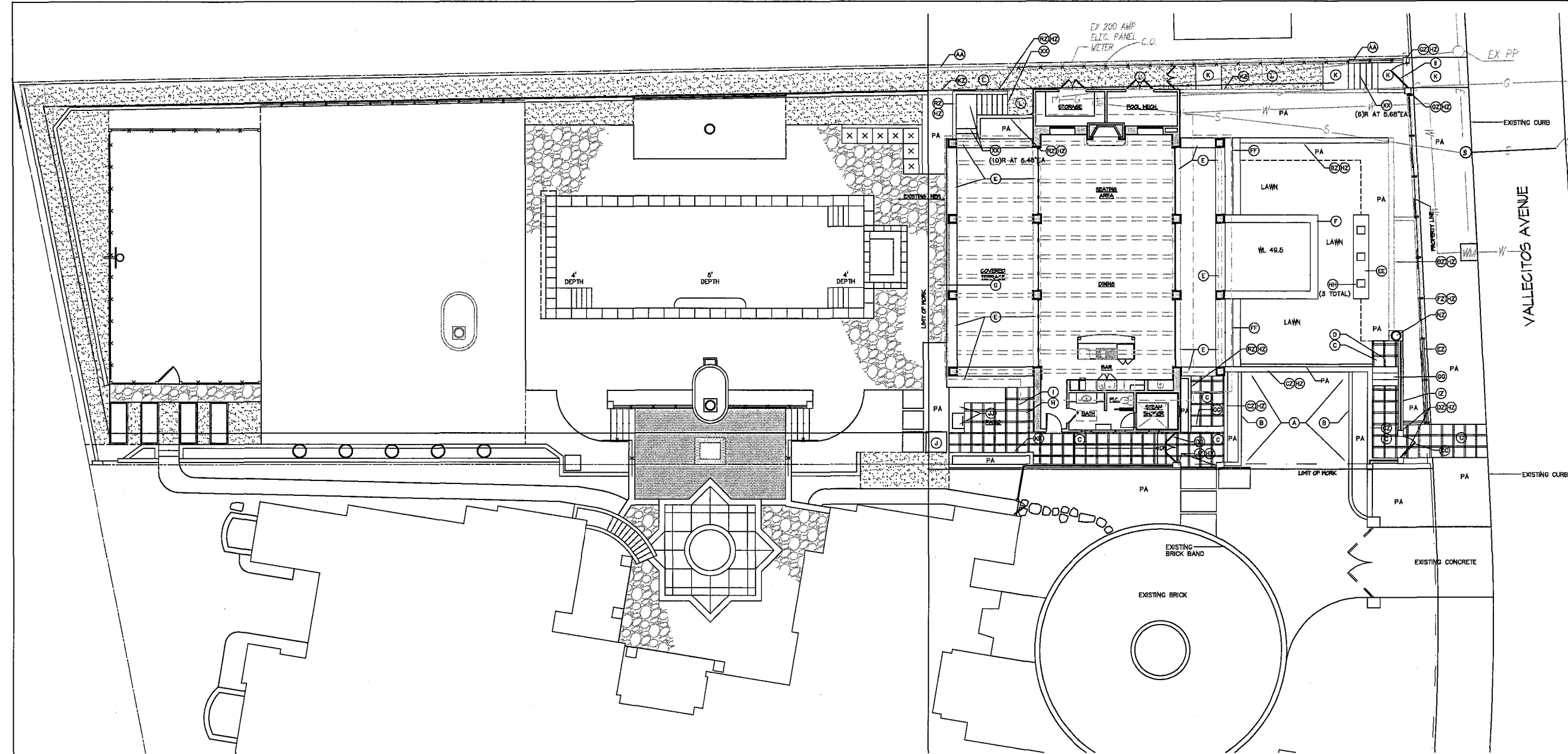
SUBMISSIONS



TCA  
STUDIO  
1000 Camino del Rio South  
Suite 100  
San Diego, CA 92108  
Tel: 619.594.1100  
www.tcastudio.com



TAYLOR RESIDENCE  
2327 VALLECITOS  
LA JOLLA, CALIFORNIA 92037



HARDSCAPE LEGEND

PAVING			
SYM.	ITEM	MATERIAL / COLOR	SOURCE
A	PAVING AT DRIVEWAY	COLOR CONCRETE / MATCH EXISTING	MATCH EXISTING
B	PAVING AT DRIVEWAY BAND	BRICK / MATCH EXISTING	MATCH EXISTING
C	ENTRY WALK	CUT STONE / MONTRACHET	NATURAL
D	ENTRY WALK JOINT	PEBBLE / SAN QUENTIN 1"-2"	MBS
E	TERRACE BAND	CUT STONE / TBS	NATURAL
F	LILY POOL COPING	CUT STONE / TBS	NATURAL
G	TERRACE EDGE	RANDOM STONE / SEBASTIAN	WATER TUMBLED
H	BARBECUE AREA	CUT STONE / MONTRACHET	NATURAL
I	BARBECUE AREA JOINT	PEBBLE / SAN QUENTIN 1"-2"	MBS
J	STEPSTONES	CUT STONE / MONTRACHET	NATURAL
K	UTILITY WALK	COLOR CONCRETE/SAN DIEGO BUFF	WASH OFF
L	GARDEN PATH	3/8"-1/4" CRUSH STONE / COYOTE GOLD	NATURAL
T	HEADER	REDWOOD/NATURAL	NATURAL

VERTICAL ELEMENTS

SYM.	ITEM	MATERIAL / COLOR	FINISH	SOURCE
AA	RETAINING WALL AT PROPERTY LINE	SEE CIVIL DRAWINGS		
CC	ENTRY GATE	WOOD/MATCH ARCH TRIM	MATCH ARCH TRIM	
DD	SCREEN GATE	WOOD/MATCH ARCH TRIM	MATCH ARCH TRIM	
EE	LILY BENCH	SEE DETAIL		
FF	TERRACE STEPS	CUT STONE/TBS	NATURAL	US PER CLIENT
GG	ENTRY STEP TREADS AND RISERS	CUT STONE / MONTRACHET	NATURAL	
HH	LILY LANTERN	IRON/BLACK		
II	WEST GATE	WOOD/MATCH ARCH	MATCH ARCH	
JJ	BARBECUE	SEE DETAIL		
KK	HERB BED	WOOD/REDWOOD	NATURAL	
XX	UTILITY WALK STAIR TREAD AND RISERS	CUT STONE/TBS	NATURAL	
BZ	NORTH GARDEN RETAINING WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
CZ	PARKING RETAINING WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
DZ	ENTRY PILASTER	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
EZ	NORTH FENCE	IRON/OIL RUBBED BRONZE	PAINTED	
FZ	NORTH PLANTER WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
GZ	WEST PILASTERS	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
HZ	WALL AND PILASTER CAP	CUT STONE/TBS	NATURAL	
IZ	ENTRY WALL - PIERCED	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
JZ	EAST ENTRY PILASTER	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
KZ	WEST RETAINING WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
NZ	DECORATIVE CONTAINER	PER CLIENT		
RZ	TERRACE WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	

SOURCE KEY

MBS	MODERN BUILDER SUPPLY	760.591.4670
KRC	KRC ROCK	800.672.7626
VEN	VENETIAN	XXX



PREPARED BY:  
 Name: TERESA CLARK LANDSCAPE ARCHITECT STUDIO  
 23202 SERRA LINDA AVENUE  
 CAPISTRANO BEACH, CA 92624  
 Phone: 949.248.3404

Project Address:  
2327 VALLECITOS  
SAN DIEGO, CA 92081

Project Name:  
TAYLOR RESIDENCE

Sheet Title:  
MATERIAL LAYOUT PLAN

Revision 14: \_\_\_\_\_  
 Revision 13: \_\_\_\_\_  
 Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: \_\_\_\_\_

Original Date: APRIL 9, 2015

Scale: 1/8"=1'-0"  
 Date: JULY 6, 2015

Sheet 7 of 14  
 DEPR: \_\_\_\_\_

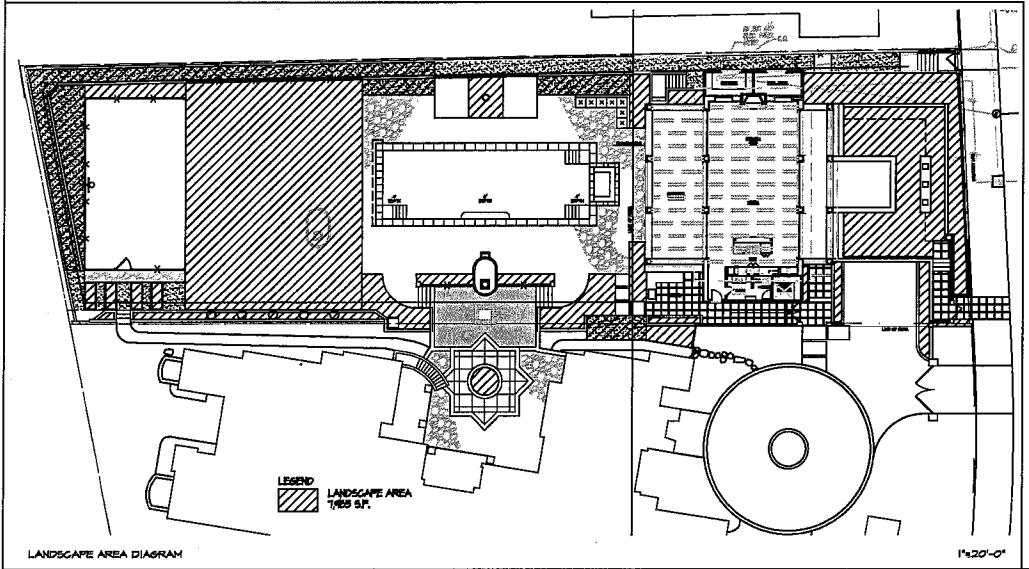
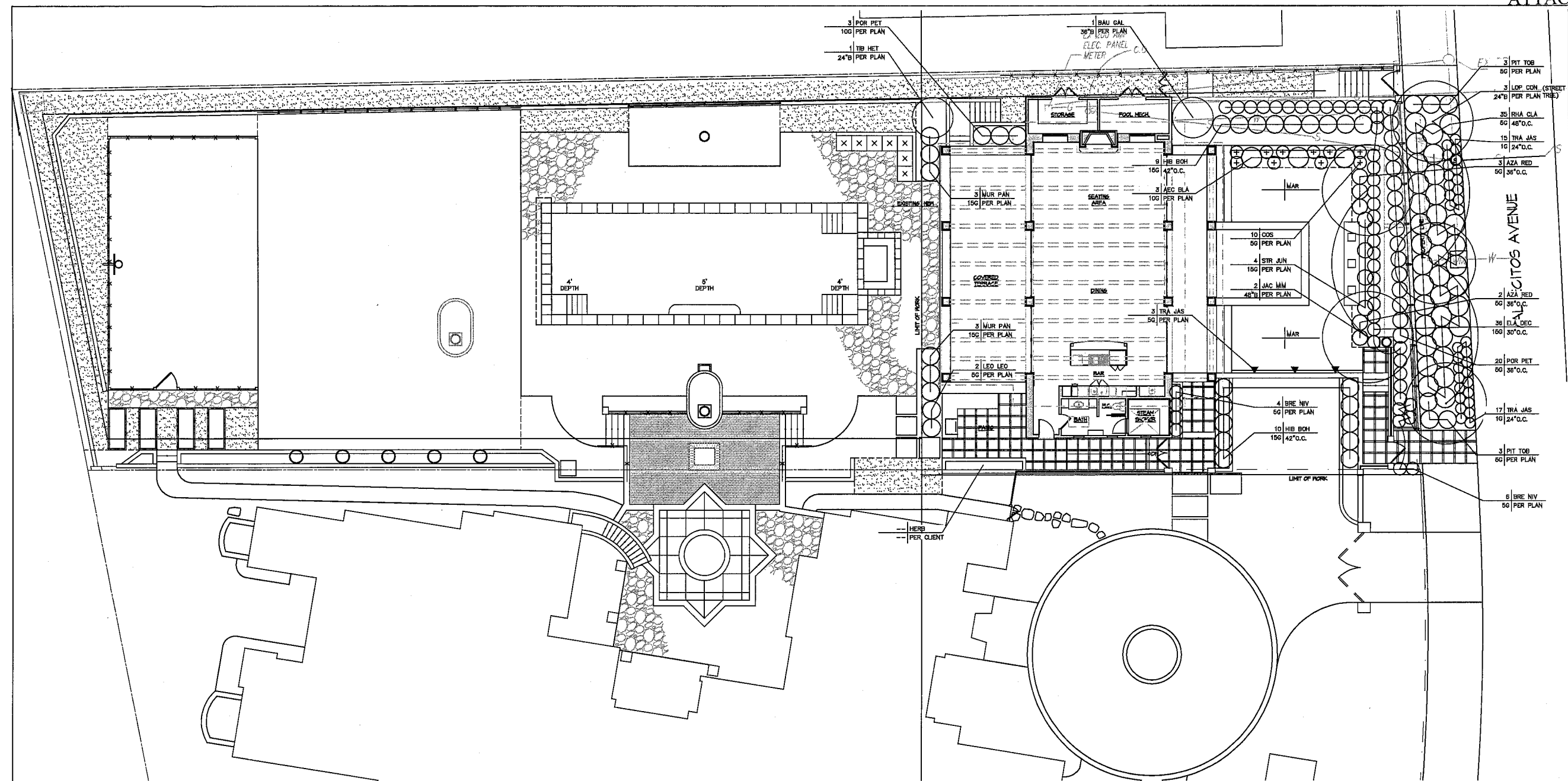
SUBMISSIONS:



JCA Studio  
2005 La Jolla Village  
San Diego, CA 92037  
Tel: 619.434.1234  
Fax: 619.434.1235  
www.jcainc.com



TAYLOR RESIDENCE  
2327 VALLECITOS  
LA JOLLA, CALIFORNIA 92037



PLANTING LEGEND

SYM	BOTANICAL NAME	COMMON NAME	SIZE
1. JAC MM	Jacaranda mimosaefolia	NOI	48\"/>
2. LOP CON	Lophostemon confertus	Brisbane Bar	24\"/>
3. BAU GAL	Bauhinia galpinii	Red Orchid Bush	36\"/>
3. TIB HET	Tibouchina heteromalla	Silver-leafed Princess Flower	24\"/>
4. ELA DEC	Elaeagnus decipiens	Japanese Blueberry	15GAL
4. HIB BOH	Hibiscus rosa-sinensis 'Crown of Bohemia'	NOI	15GAL
6. BRE NIV	Breynia nivea	Snow Bush	5GAL
6. COS	Cosmos	Ginger	5GAL
6. LEO LEO	Leonotis leonurus	Lion's Tail	5GAL
6. MUR PAN	Murraya paniculata	Orange Jessamine	15GAL
6. PIT TOB	Pithecolobium tobira	Mock Orange	5GAL
6. POR PET	Portia petropollitana	Bromeliad	10GAL
6. RHA CLA	Rhaphirolepis indica 'Clara'	Indian Hawthorn	5GAL
6. STR JUN	Streptocarpus juncea	Narrow-leafed Bird of Paradise	15GAL
6. AZA RED	Azalea 'Red Wing'	NOI	5GAL
8. ANCH BIA	Anchusa biandriana	NOI	10GAL
8. HERB	Herba - TBS	NOI	10GAL
8. TRA JAS	Trachelospermum jasminoides	Star Jasmine	1GAL
8. TRO JAS	Trachelospermum jasminoides	Star Jasmine	5GAL

MINIMUM TREE SEPARATION DISTANCE:  
 TRAFFIC SIGNALS / STOP SIGNS - 20 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)  
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
 DRIVEWAY (ENTRIES) - 15 FEET  
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET  
 SEWER LINES - 10 FEET

IRRIGATION NOTE:  
 AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE SYSTEM WILL USE DRIP IRRIGATION AND TREE BUBBLERS FOR DEEP INFREQUENT WATERING TO ESTABLISH DEEP ROOTED WELL-ESTABLISHED PLANT MATERIAL. THE PROPOSED TYPE OF IRRIGATION SYSTEM WILL BE A COMBINATION OF SPRAY, BUBBLER AND DRIP.

LANDSCAPE NOTES:  
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.  
 MODIFICATIONS OR CHANGES TO THE LANDSCAPE CONSTRUCTION PLAN, INCLUDING EXISTING OR PROPOSED PLANT MATERIAL AND HARDSCAPE, SHALL BE PERMITTED PROVIDED THE RESULTING LANDSCAPE STILL MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE AND CONFORMS TO THE CITY-WIDE GRADING REGULATIONS AND PUBLIC FACILITIES REGULATIONS.  
 MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. SEVERE PRUNING OR TOPPING OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THE PERMIT.  
 A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMG 142.0403(B)(5).  
 TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMG 142.0403(B)(10).  
 MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES AND REQUIRING REVEGETATION PER SDMG 142.0411.  
 TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.  
 IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

LA JOLLA SHORES PDO LANDSCAPE REQUIREMENTS PER THE SDMG 1510.0304:  
 TOTAL PROPERTY AREA = 20,758 S.F.  
 TOTAL LANDSCAPE AREA REQUIRED = 6,227 S.F. (30%)  
 TOTAL LANDSCAPE AREA PROPOSED = 7,855 S.F. (38.47%)

STREET TREES:  
 STREET FRONTAGE = 80 L.F. = (3) REQUIRED STREET TREES.  
 3 STREET TREES PROPOSED (LOPHOSTEMON CONFERTUS) - REFER TO PLAN

PREPARED BY:  
 Name: JHERESA CLARK LANDSCAPE ARCHITECT STUDIO  
 24021 SERRAVALLE AVENUE  
 CAPISTRANO BEACH, CA 92624  
 Phone: 949.248.5404

Project Address:  
 2327 VALLECITOS  
 SAN DIEGO, CA 92087

Project Name:  
 TAYLOR RESIDENCE

Sheet Title:  
 PLANTING PLAN

Revision 14: \_\_\_\_\_  
 Revision 13: \_\_\_\_\_  
 Revision 12: \_\_\_\_\_  
 Revision 11: \_\_\_\_\_  
 Revision 10: \_\_\_\_\_  
 Revision 9: \_\_\_\_\_  
 Revision 8: \_\_\_\_\_  
 Revision 7: \_\_\_\_\_  
 Revision 6: \_\_\_\_\_  
 Revision 5: \_\_\_\_\_  
 Revision 4: \_\_\_\_\_  
 Revision 3: \_\_\_\_\_  
 Revision 2: \_\_\_\_\_  
 Revision 1: \_\_\_\_\_

Original Date: APRIL 5, 2015  
 Sheet: 8 of 14  
 Date: JULY 6, 2015

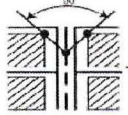
LANDSCAPE AREA DIAGRAM

1"=20'-0"

1. Torrey Pines City Park
2. La Jolla Farms Road
3. Scripps Natural Reserve
4. Bluff - top easement at La Jolla Shores Lane
5. Ellentown Road
6. La Jolla Shores Drive from Torrey Pines Rd.
7. La Jolla Shores Dr. (looking south from the vicinity of Scripps Institution of Oceanography)
8. Allen Field
9. Bordeaux Ave., western half
10. El Paseo Grande after it turns east
11. Camino del Oro after it turns east
12. Whale Watch Way
13. Cliffridge Park
14. Kollogg Park
15. Calle Frescota
16. Prestwick Drive
17. Vallecitos
18. Avenida de la Playa
19. Calle del Cielo
20. Pottery Canyon Park
21. Costabelle Drive
22. Spindrift Drive, South of the Marine Room Restaurant
23. Charlotte Park at the foot of Charlotte Street
24. Coast Blvd., Children's Pool, Shell Beach, Ellen B. Scripps Park & La Jolla Cove
25. Prospect St. and Cave Street
26. Coast Walk
27. North end of Park Row
28. View of La Jolla Shores from Torrey Pines Road
29. Public open space on Torrey Pines Road between St. Louis Terrace and Calle de la Plata
30. Azure Coast Drive
31. Hidden Valley Road
32. Ardath Road
33. Girard Avenue
34. Jenner Street
35. View corridor easement through 7963 Prospect Place to ocean
36. Easement across from John Coal Book Store from Prospect Street and Recreation Center
37. Hillside Drive (portions)
38. Caminito Avola/Via Avola
39. Via Siena at Hillside Drive
40. Rue Denise
41. Portions of La Jolla Scenic Drive South
42. Mt. Soledad, north of Ardath Road
43. Rue Adriane
44. Rue Michael
45. Senn Way
46. Rue de Roark
47. Coast Blvd. Park and South Coast Blvd.
48. View corridor at southwest side of Scripps Hotel site, from Prospect Street
49. La Jolla Community Center Park, Cuvier Street
50. From top of Cuvier Street at Prospect
51. Via Capri (portions)

**View Cone**

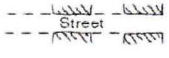
Defined by 90° angle radiating lines from public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each corner property closest to the ocean or shoreline.



note: All views are to a coastal body of water

**View Corridor**

Unobstructed framed view down a public right-of-way



**Viewshed**

Usually from high elevations looking down over large areas



**Intermittent or Partial Vista**

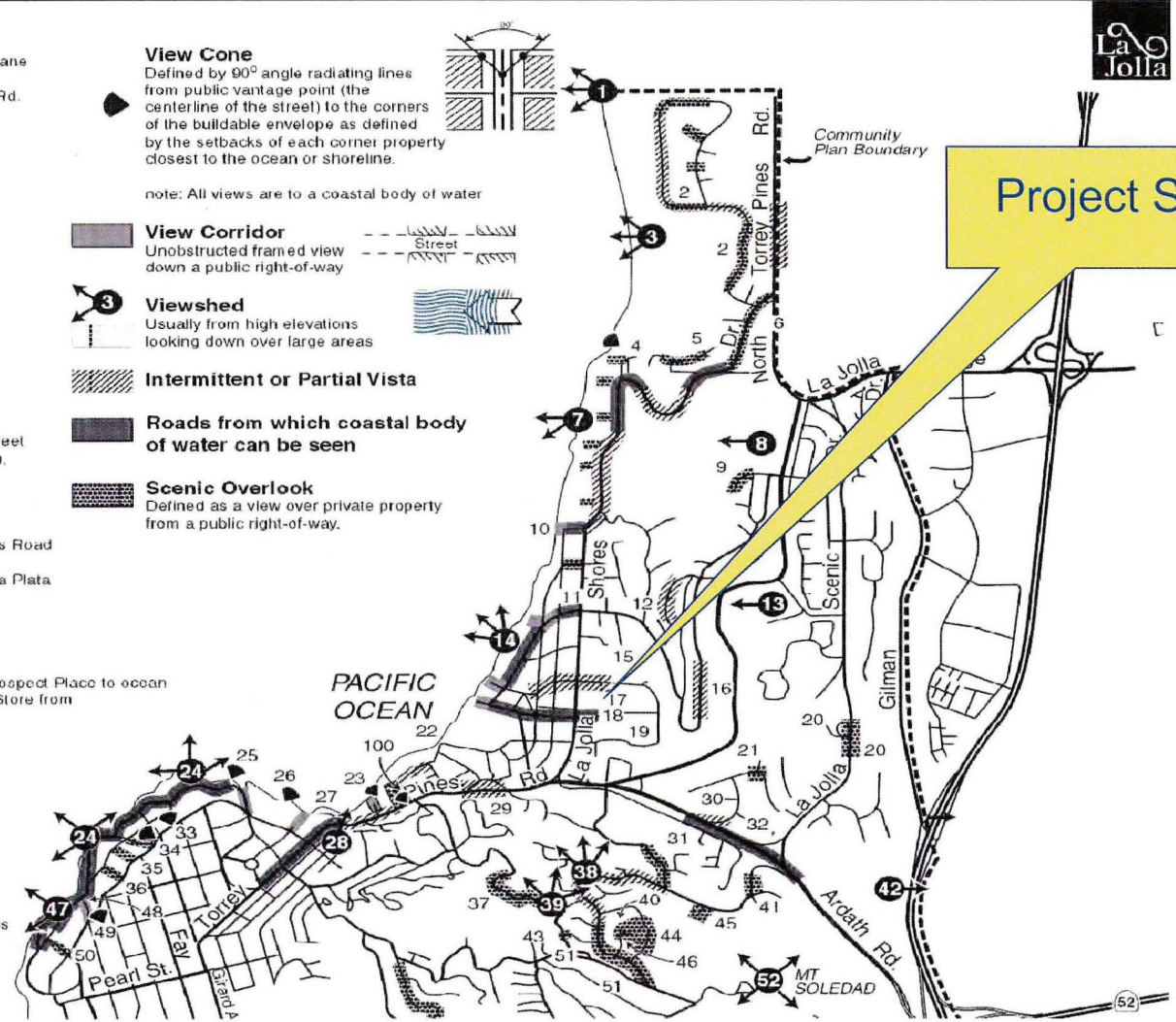


**Roads from which coastal body of water can be seen**



**Scenic Overlook**

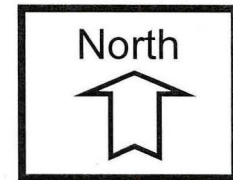
Defined as a view over private property from a public right-of-way.



Project Site

**Identified Public Vantage Points (Figure 9)**

**TAYLOR RESIDENCE – Project No. 418222**  
2327 Vallecitos



Member must have documented attendance at three LJCPA meetings in the preceding 12-month period.

For complete membership information you should refer to the current LJCPA bylaws which can be found on the website. Refer to Article III, Section 1.

#### 10.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

- 10.1 **Community Planners Committee** <http://www.sandiego.gov/planning/community/cpc/index.shtml>  
Trustee LaCava reported the CPC gave conceptual approval to a proposal by CPPT Marti Emerald for a 2016 ballot bond issue to support Fire Stations and the CPC would await further details before making a recommendation.
- 10.2 **Coastal Access & Parking Board** <http://www.lajollacpa.org/cap.html> - No Report
- 10.3 **Ad Hoc Committee on Residential Single-Family (RS) Zoning - Chair Sharon Wampler** referred to the committee agenda and reviewed the process of working with the City. The committee has an ambitious 9-month timeline to come up with a recommendation. Approximately 32-35 people attended the meeting in addition to the six committee members. Commenters focused on scale and neighborhood character. Inconsistencies with the LJCP and also with the SDMC are evidently. The committee plans to work along with City staff. The minutes will be posted soon.

#### 11.0 Consent Agenda – Action Item

**The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.**

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Tony Crisafi, 4th Tues, 4:00 pm

T&T – Traffic & Transportation Board, Interim Chair Dave Abrams, 4th Thurs, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

→ See Committee minutes and/or agenda for description of projects, deliberations, and vote.

→ Anyone may request a consent item be pulled for full discussion by the LJCPA.

→ Items “pulled” from Consent Agenda are automatically trailed to the next LJCPA meeting.

##### 11.1 Draper’s & Damon, 7857 Girard Avenue

PDO Recommendation: Project meets PDO requirements. 9-0-0.

##### 11.2 Leibowitz Residence, 8283 La Jolla Shores Drive –pulled by Lynn Kavanaugh

PRC Recommendation: Findings can be made for a CDP & SDP, Process 3, to demolish an existing residence and detached pool house, and construct a 9,245 sq ft single family residence with 157 sq ft detached pool house on a 1.12-acre lot. 3-2-1.

##### 11.3 Feuerstein Residence, 8351 Del Oro Court – pulled by Trustee Zimmerman

PRC Recommendation: Findings can be made for a CDP & SDP, Process 3, to demolish the existing single family residence and construct a new 9,614 square foot two-story residence on a .68-acre lot. 5-0-1



##### 11.4 Taylor Residence 2327 Vallecitos

PRC Recommendation: Findings can be made for a CDP and SDP to demolish an existing one-story single dwelling unit and construct a 1,938 square-foot single dwelling unit, trellis, covered patios, walls, fences, gates, hardscape and landscape on a 0.47 site. 6-0-0.

**11.5 Brockett Residence, 7804 Ivanhoe Avenue**

DPR Recommendation of 4/21/2015: Findings can be made Coastal Development Permit to demolish an existing office building and construct a single family residence at 7804 Ivanhoe Ave (in the LJP2-2 zone). 6-0-1

**11.6 2015 San Diego Triathlon Challenge**

(October 18<sup>th</sup>, street closure, lane closure and NoParking related to athletic competition event at Scripps Park). T&T Recommended Approval. 8-0-0.

**11.7 Speed Limit Decrease--pulled by Donna Aprea**

Proposal to reduce speed limit from 30mph to 25mph on La Jolla Shores Drive from El Paseo Grande to N. Torrey Pines Rd. T&T Recommendation: Opposed decrease: 5-3-0. Approved leaving speed at 30mph: 7-0-0

**11.8 Additional Traffic Control at Traffic Circle**

The City is contemplating a speed hump or placement of pylons to control diverting traffic at the Via Capri/Senn Way traffic circle. Input for City Staff. T&T Recommendation: One speed hump on north side of traffic circle and no pylons. 7-0-0.

*Items 11.2, 11.3 and 11.7 were pulled for a full hearing in August 2015 by Lynn Kavanaugh; Trustee Zimmerman and Donna Aprea, respectively*

Approved Motion: To accept the recommendation of the PDO committee that 11.1 Draper's & Damon, 7857 Girard Avenue meets the PDO requirements; and to accept the recommendation of the PRC that for 11.4 Taylor Residence 2327 Vallecitos: the findings can be made for a CDP and SDP to demolish an existing one-story single dwelling unit and construct a 1,938 square-foot single dwelling unit, trellis, covered patios, walls, fences, gates, hardscape and landscape on a 0.47 site; and to accept the recommendation of the DPR Committee that for 11.5 Brockett Residence, 7804 Ivanhoe Avenue : the findings can be made for a Coastal Development Permit to demolish an existing office building and construct a single family residence at 7804 Ivanhoe Ave (in the LJP2-2 zone); and accept the recommendations of the T&T Board that 11.6 2015 San Diego Triathlon Challenge (October 18th, street closure, lane closure and No Parking related to athletic competition event at Scripps Park) can be approved and that for 11.8 Additional Traffic Control at Traffic Circle, installing one speed hump on north side of traffic circle at Via Capri/Senn Way circle with no pylons be approved (LaCava, Outwater: 11-1-2)

In favor: Ahern, Boyden, Collins, Costello, Donovan, Fitzgerald, LaCava, Outwater, Steck, Will, Zimmerman  
Opposed: Emerson

Abstain: Greatrex (Chair), Weiss (doesn't like the way pulling is done)

**12.0 8389 El Paseo Grande CDP/SDP**

Project Description: CDP and SDP to demolish an existing residence, and construct a new 5,499 sq. ft two-story single family residence with attached garage on an 8,613 sq. ft. property.

*LJCPA Action: Pulled from Consent Agenda*

*PRC Recommendation: Findings can be made for a CDP and SDP to demolish an existing residence, and construct a new 5,499 sq. ft. two-story single family residence with attached garage on an 8,613 sq. ft. property in the Single Family Residence Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limit, with the proviso that the street trees must conform to the public view corridor requirement. 6-0-1.*

Architect Paul Benton presented, displaying a map with view corridors and comparing its relationship to the view corridor with that of the house across the street cited by Peggy Davis in her e-mails which had been distributed to the trustees. He cited the rationale that the street trees should serve to frame the view. The trees to be installed are Hong Kong orchids which may be seen planted in the Union Bank parking lot. They are authorized by City code for trees that must fit under power lines and are at the low end of that scale. He showed that looking down the view corridor one can see taller trees and that only the LJS parking lot is obscured, not the ocean. In response to

## La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 418222 - Taylor Residence Item: E Date: 6/16/15  
2327 Vallecitas

Applicant: Mark House - Architect

Description: ~~██████████~~ Demolish & build 1,983 SF one-story  
on a .47 acre site. Ht. 25ft. 36% green space, including  
artificial turf. FAR .09

**Recommendation**

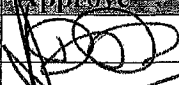
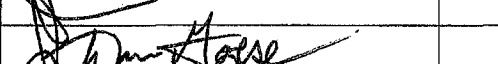
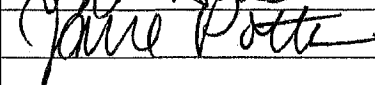
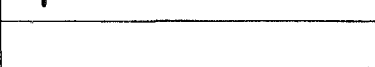
- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council N F/SP
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

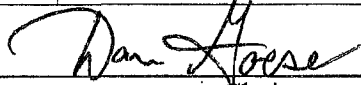
- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**Board Signatures**

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Nathaniel Fisher		
Dan Goese		
Jane Potter		
Susan Starr		
Susanne Weissman		

Absentees:

  
\_\_\_\_\_  
Chairperson



City of San Diego  
**Development Services**  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title**

Taylor Residence

**Project No. For City Use Only**

418222

**Project Address:**

2327 Vallecitos, La Jolla, CA 92037

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

**Name of Individual (type or print):**

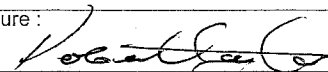
Bob Taylor

Owner  Tenant/Lessee  Redevelopment Agency

**Street Address:**  
2333 Vallecitos

**City/State/Zip:**  
La Jolla, CA 92037

**Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_

**Signature :**  **Date:** 4/3/2015

**Name of Individual (type or print):**

Owner  Tenant/Lessee  Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_

**Signature :** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Name of Individual (type or print):**

Owner  Tenant/Lessee  Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_

**Signature :** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Name of Individual (type or print):**

Owner  Tenant/Lessee  Redevelopment Agency

**Street Address:**

**City/State/Zip:**

**Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_

**Signature :** \_\_\_\_\_ **Date:** \_\_\_\_\_



DOC# 2015-0348843



Jul 02, 2015 04:41 PM

OFFICIAL RECORDS  
Ernest J. Dronenburg, Jr.,  
SAN DIEGO COUNTY RECORDER  
FEES: \$30.00

PAGES: 6

Recording requested by:  
Robert H. TaylorWhen recorded, mail to:  
Robert H. Taylor  
2333 Vallecitos Ave  
La Jolla, CA 92037

APNs 346-300-0300, 0400

**PRIVATE DRIVEWAY EASEMENT****Recitals**

This agreement dated June 1, 2015 entered into by and between Robert H. Taylor Separate Property Trust, owner of lot 17 of Map No. 2701 commonly known as 2331 Vallecitos Avenue La Jolla, CA 92037 herein after is respectfully referred to as "Lot 17." Robert H. Taylor, owner of lot 16 of Map No. 2701 commonly known as 2327 Vallecitos Avenue La Jolla, CA 92037, herein after is respectfully referred to as "Lot 16."

1a. "Lot 16." Robert H. Taylor Separate Property Trust is the owner of the real property known as Lot 16 of La Jolla Del Norte, in the City of San Diego, County of San Diego, and State of California according to Map No. 2701 filed in the office of the recorder of the County of San Diego, September 20, 1950, commonly known as 2327 Vallecitos Avenue La Jolla, CA 92037. APN 346-300-0300.

1b. "Lot 17." Robert H. Taylor Separate Property Trust is the owner of the real property known as Lot 17 of La Jolla Del Norte, in the City of San Diego, County of San Diego, and State of California according to Map No. 2701 filed in the office of the recorder of the County of San Diego, September 20, 1950, commonly known as 2333 Vallecitos Avenue La Jolla, CA 92037. APN 346-300-0400.

**Grant of Easements**

2. For valuable consideration, hereby acknowledged as, "Lot 17" hereby grants a Private Driveway Easement for vehicular and non-vehicular access to "Lot 16" as described in "Exhibit A," located within lot 17, as shown on "Exhibit B."

**Character of Easements**

3. The easements granted in this Agreement are appurtenant to the dominant tenements.

**Description of Easements**

4. The easements granted herein are easements for the dedication, improvement, maintenance, repair and re-construction of a sixteen foot (16') wide Private Driveway Easement for ingress, egress, for the benefit of the owners of the real property, "Lot 16", and their successors, or assignees described in Paragraphs 1, 2 and 3 of the Recitals above. For the purposes of this Agreement, "ingress and egress" means use for and by moving vehicular traffic for any purpose connected with the use of the servient tenements.

**Access Easement  
June 23, 2015**

**Walking Access Term**

5. The easements granted in this Agreement shall be perpetual easements such that the covenants, rights and duties created hereby shall run with the land.

**Maintenance of Easements**

6. "Lot 17" shall maintain the improvements thereon in good repair. The costs associated with keeping the improvements in good repair include but are not limited to maintenance, repair and re-construction, as well as costs associated with design and permitting the private driveway. Costs for repairs and maintenance of the shared Private Driveway will be paid for by the individual lot owners, based on 50% of the total costs by Lot 16 and 50% of the total costs by Lot 17.

**Non-Exclusivity**

7. The Access Easement granted herein is not exclusive. Owners of "Lot 17" shall retain all rights of usage associated with the ownership of their respective parcels so long as such usage is reasonably consistent with the easement granted herein.

**Arbitration and Litigation Costs**

8. Any controversy or claim arising out of, or relating to, this Agreement, or the making, performance, or interpretation of it, will be settled by arbitration in under the statutes and rules

contained in the *California Code of Civil Procedure* and judgment on the arbitration award may be entered in any court having jurisdiction over the subject matter of the controversy. If any legal action or any arbitration or other proceeding is brought for the enforcement or interpretation of this Agreement, or because of an alleged dispute, breach, default, or misrepresentation in connection with any of the provisions of this agreement, the successful or prevailing party or parties will be entitled to recover reasonable attorney fees and other costs and expenses incurred in that action or proceeding, in addition to any other relief to which it or they may be entitled.

**Entire Agreement**

9. This Agreement constitutes the entire agreement between the parties relating to the above-described easements. Any prior agreements, promises, negotiations, or representations not expressly set forth in this agreement are of no force and effect. Any amendment to this Agreement shall be of no force and effect unless it is in writing and signed by all the parties to this Agreement.

**Binding Effect**

10. This Agreement shall be binding on and shall inure to the benefit of the heirs, executors, administrators, successors, and assigns of the parties hereto.

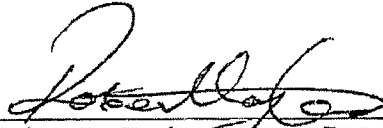
**Access Easement  
June 23, 2015**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

Lot 16

6/23/2015

Date:

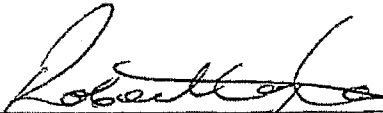


Robert H. Taylor Separate Property Trust  
2327 Vallecitos Avenue  
La Jolla, CA 92037

Lot 17

6/23/2015

Date:



Robert H. Taylor Separate Property Trust  
2333 Vallecitos Avenue  
La Jolla, Ca 92037



**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

**CIVIL CODE § 1189**

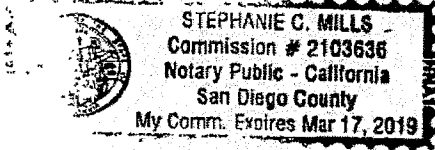
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of SAN DIEGO )  
On 6/23/15 before me, Stephanie C Mills, Notary Public  
Date Here Insert Name and Title of the Officer  
personally appeared Robert Taylor  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Stephanie C Mills  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_ Document Date: \_\_\_\_\_

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**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

Corporate Officer — Title(s): \_\_\_\_\_

Partner —  Limited  General

Individual  Attorney in Fact

Trustee  Guardian or Conservator

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

Corporate Officer — Title(s): \_\_\_\_\_

Partner —  Limited  General

Individual  Attorney in Fact

Trustee  Guardian or Conservator

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

## EXHIBIT A DRIVEWAY EASEMENT

~~ACCESS EASEMENT FOR INGRESS AND EGRESS, FOR INSTALLATION CONSTRUCTION, AND RECONSTRUCTION OF A PRIVATE DRIVEWAY, OVER, ACROSS, AND UPON THAT PORTION OF LOT 17 OF LA JOLLA DEL NORTE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 2701 FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN DIEGO, SEPTEMBER 20, 1950. MORE PARTICULARLY DESCRIBED AS FOLLOWS:~~

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 17, ALSO BEING ON THE SOUTHERLY RIGHT OF WAY OF VALLECITOS AVE AND THE TRUE POINT OF BEGINNING; THENCE SOUTH  $87^{\circ} 05' 00''$  EAST ALONG SAID NORTHERLY LINE OF SAID LOT 17 TO THE BEGINNING OF A 439.63 FOOT RADIUS CURVE, CONCAVE SOUTHERLY, THE CENTER OF THE CIRCLE OF SAID CURVE BEARS SOUTH  $02^{\circ} 55' 00''$  WEST; THENCE CONTINUING SOUTH EASTERLY ALONG SAID NORTHERLY LINE OF SAID LOT 17 (ALSO BEING THE SAID SOUTHERLY RIGHT OF WAY OF VALLECITOS AVE) THROUGH A CENTRAL ANGLE OF  $2^{\circ} 12' 50''$ , AN ARC LENGTH DISTANCE 16.99 FEET; THENCE LEAVING SAID NORTHERLY LINE SOUTH  $5^{\circ} 46' 07''$  WEST A DISTANCE OF 36.67 FEET; THENCE NORTH  $87^{\circ} 05' 00''$  WEST A DISTANCE OF 27.00 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 17; THENCE ALONG THE WESTERLY LINE OF SAID LOT 17 NORTH  $5^{\circ} 46' 07''$  EAST A DISTANCE OF 37.00 FEET TO THE NORTH WEST CORNER OF SAID LOT 17 AND THE TRUE POINT OF BEGINNING.

APN: 346-300-0400

Date: June 24, 2015

# EXHIBIT B

