



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: June 10, 2015 REPORT NO. HO 15-070
ATTENTION: HEARING OFFICER
SUBJECT: SPECTRUM 1 & 2/LA JOLLA SPECTRUM; PROJECT NO. 383639
PROCESS 3
LOCATION: 3013-3033 Science Park Road and 3115-3215 Merryfield Row
OWNER/
APPLICANT: ARE-SD Region 35, LLC, a Delaware Limited Liability Company

SUMMARY

Requested Action: Should the Hearing Officer approve the demolition of an existing building and parking structure, and to construct a two-story research and development building and a four-level parking structure site located at 3013-3033 Science Park Road in the University Community Planning area?

Staff Recommendation(s):

1. **ADOPT** Mitigated Negative Declaration No. 383639, and **ADOPT** the Mitigation, Mitigation, Monitoring, and Reporting Program; and
2. **APPROVE** Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733 for the Spectrum 1 & 2 development; and
3. **APPROVE** Coastal Development Permit No. 1447486 and Site Development Permit No. 1447486 for the La Jolla Spectrum development.

Community Planning Group Recommendation: On February 10, 2015, the University Community Planning Group voted 14-0-2 to recommend approval of the project (Attachment 17).

Environmental Review: A Mitigated Negative Declaration (MND) No. 383639 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

BACKGROUND

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row (Attachment 1), east of North Torrey Pines Road (Attachment 2). The properties are located in the IP-1-1 Zone (Attachment 3) within the University Community Plan (Attachment 4), identified as Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway (Attachment 5), and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The property at 3013-3033 Science Park Road is within the Coastal Overlay Zone (Non-Appealable Area 1) and 3115-3215 Merryfield Row is located within the Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area) (Attachment 5). In addition, the properties are located within the Airport Land Use Compatibility Overlay Zone, the Airport Influence Area (Review Area 1) and the Accident Potential Zone (APZ-2) for MCAS Miramar. The IP-1-1 zoning allows for research and development uses with some limited manufacturing and the University Community Plan (UCP) designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project site located at 3013-3033 Science Park Road is a trapezoid shaped lot with frontage on Science Park Road. The parcel has been previously graded and developed with two (2) research and development buildings and a detached parking structure that were constructed in 1979. On August 3, 1979, the development was approved under Coastal Development Permit (CDP) No. F8369 issued by the State of California Coastal Commission (Attachment 7). The applicant contacted the California Coastal Commission (CCC) to verify if they would exert jurisdiction over a proposed development on the property. On February 24, 2012, the CCC determined that an amendment of their CDP would not be necessary, and the City of San Diego would review and issue a new CDP for the proposed development (Attachment 8).

The project site located at 3115-3215 Merryfield Row is a trapezoid shaped lot that follows the curvature of the adjacent canyon edge. Merryfield Row is a private driveway that takes access from Science Park Road. The parcel has been previously graded and developed with two (2) research and development buildings that were constructed in 1996-1997. On July 1, 1996, the development was approved under CDP/Hillside Review Permit (HRP) No. 96-7939 (Attachment 9). That same year, a Substantial Conformance Review (SCR) was approved to allow a greenhouse, cooling tower and emergency generator to 3115 Merryfield Row.

The project sites contain Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The southern property line located at 3013-3033 Science Park Road is adjacent to a natural canyon, but is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). This natural canyon also extends along the southern property line for 3115-3215 Merryfield Row, and the MHPA does extend into the property at the far southeastern corner of the parcel.

DISCUSSION

Project Description:

The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot

research and development building, and a four-level, 141,238 square foot parking structure. As a component of the proposed project, the proposed new research and development building would achieve a Leadership in Energy and Environmental Design (LEED) Gold Certification. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As previously indicated, the project sites contain ESL in the form of steep hillsides and sensitive biological resources. All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other environmentally sensitive lands located on the site. In addition, a Brush Management (BM) Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The properties are located approximately 0.71-miles from the Pacific Ocean. The properties are located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Science Park Road and Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The site is approximately 357 feet above Mean Sea Level (MSL) at the proposed building and 360 feet above MSL at the proposed parking structure, and is located above the 100-year floodplain. The topography of the site creates various building heights around both the proposed building and parking structure; therefore, Sheet A4.1 within the Exhibit "A" provides 13 elevation exhibits that demonstrate that the structures and any projections will not exceed the maximum height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ).

The proposed development would be located on private property and proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process 3 CDP for the development on 3013-3033 Science Park Road and to amend CDP/ HRP No. 96-7939 for the lot-line adjustment on 3115-3215 Merryfield Row, and a Process 3 Site Development Permit (SDP) for development on a site that contains ESL and for development within the CPIOZ-B. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Community Plan Implementation Overlay Zone (CPIOZ-B) - The project sites are located within the Torrey Pines Subarea of the University Community Plan (UCP). The UCP designates the site

as Industrial, and the Industrial Element of the plan more specifically identifies the site for scientific research. The sites are also subject to the CPIOZ-B. The sites identified for application of the CPIOZ B are those where the development regulations of the existing zone are not adequate to ensure that new development is consistent with the goals, objectives and proposals of the community plan or compatible with surrounding development. The issues reviewed as part of the application of CPIOZ B include land use and intensity, bulk and scale, and architectural design of buildings, structures and signs.

The project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP which calls for Scientific Research use at existing or approved development at the time of adoption of the UCP. The UCP was adopted in 1987 and the project site was previously approved for a total of 171,581 square feet. The project would not exceed this development intensity. The CDP and SDP include conditions to ensure consistency with the design guidelines included in the Torrey Pines Subarea section of the UCP. These conditions address height, bulk and scale, materials, colors and signs. Conformance with these conditions would ensure consistency with the goals, objectives and proposals of the UCP as required through application of CPIOZ-B.

Airport Land Use Compatibility - The properties are located within the Airport Land Use Compatibility Overlay Zone (ALUCPOZ), the Airport Influence Area (Review Area 1) and the Accident Potential Zone (APZ-2) for MCAS Miramar. The ALUCPOZ regulations in San Diego Municipal Code (SDMC) Chapter 13, Article 2, Division 15 became effective on January 2012. CDP/HRP No. 96-7939, CDP No. F8369, and all amendments and SCRs were approved prior to this date, which establish the baseline for the properties.

SDMC Section 132.1535(b)(3), states: “*Previously conforming non-residential development* may be reconstructed, altered, or expanded where the *development* would not increase the maximum number of people allowed on the site unless otherwise allowed by Section 132.1535(d).” City staff conducted an extensive analysis of the CDP/HRP No. 96-7939, CDP No. F8369, and all amendments and SCRs, and the building records for the existing building located at 3115-3215 Merryfield Row. Staff has been determined that the existing and proposed development would not increase the maximum number of people allowed on the site.

Environmental Analysis:

A Mitigated Negative Declaration (MND) No. 383639 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

As outlined in Cultural Resources Section of MND No. 383639, no cultural deposits were encountered during an archaeological survey; however, a structure was identified, outside of the proposed development area that consists of a series of poured concrete walls, stairs, and walkways is located on the south-facing slope leading down to the drainage bottom. Heavy vegetation obscures or covers portions of the structure. The date “11-10-33” is handwritten in the top of one section of wall. This is possibly the construction date of the entire structure, although

it could only be the date for that section of wall. A significance testing report of CA-SDI-12581 states that an experimental agricultural station was located around the archaeological site. CA-SDI-12581 is approximately 300 meters to the north of the project. It is possible that the structure is part of the agricultural station, which included at least nine buildings as well as fields. As detailed in the Historical Resources Survey, the structure identified above does not meet any of the criteria used by the City to determine significance of historic resources. As a result, it does not qualify as a significant historical resource under CEQA or for inclusion on the California Register of Historic Resources. However, because of the proximity of a recorded archaeology sites, there is a potential for buried prehistoric and historic to be encountered during ground-disturbing activities (demolition and grading activities). Therefore, monitoring during ground-disturbing activities is required.

In addition, according to the Geology of the San Diego Metropolitan Area, California (1975) published by the California Division of Mines and Geology, the project site is underlain by both the Lindavista Formation and Ardath Shale; Lindavista formation is considered to have a moderate sensitivity level for paleontological resources, whereas Ardath Shale is considered to have a high sensitivity level for paleontological resources. The project proposes grading operations would entail approximately 2,155 cubic yards of cut and 1,834 cubic yards of fill; for a total of 321 cubic yards of soil export. Therefore, monitoring during ground-disturbing activities is required.

Therefore, a MMRP, as detailed within Section V of the MND, would be implemented. With the implementation both the potential impacts on historical resources and paleontological resources would be reduced to less than significant.

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted UCP, SDMC, and the General Plan. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification.

ALTERNATIVES

1. **ADOPT** Mitigated Negative Declaration No. 383639, and **ADOPT** the Mitigation, Mitigation, Monitoring, and Reporting Program; and **APPROVE** Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733, and Coastal Development Permit No. 1447486 and Site Development Permit No. 1447486, **with modifications.**
2. **DO NOT ADOPT** Mitigated Negative Declaration No. 383639, and **DO NOT ADOPT** the Mitigation, Mitigation, Monitoring, and Reporting Program; and **DENY** Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733, and Coastal Development Permit No. 1447486 and Site Development Permit No. 1447486, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



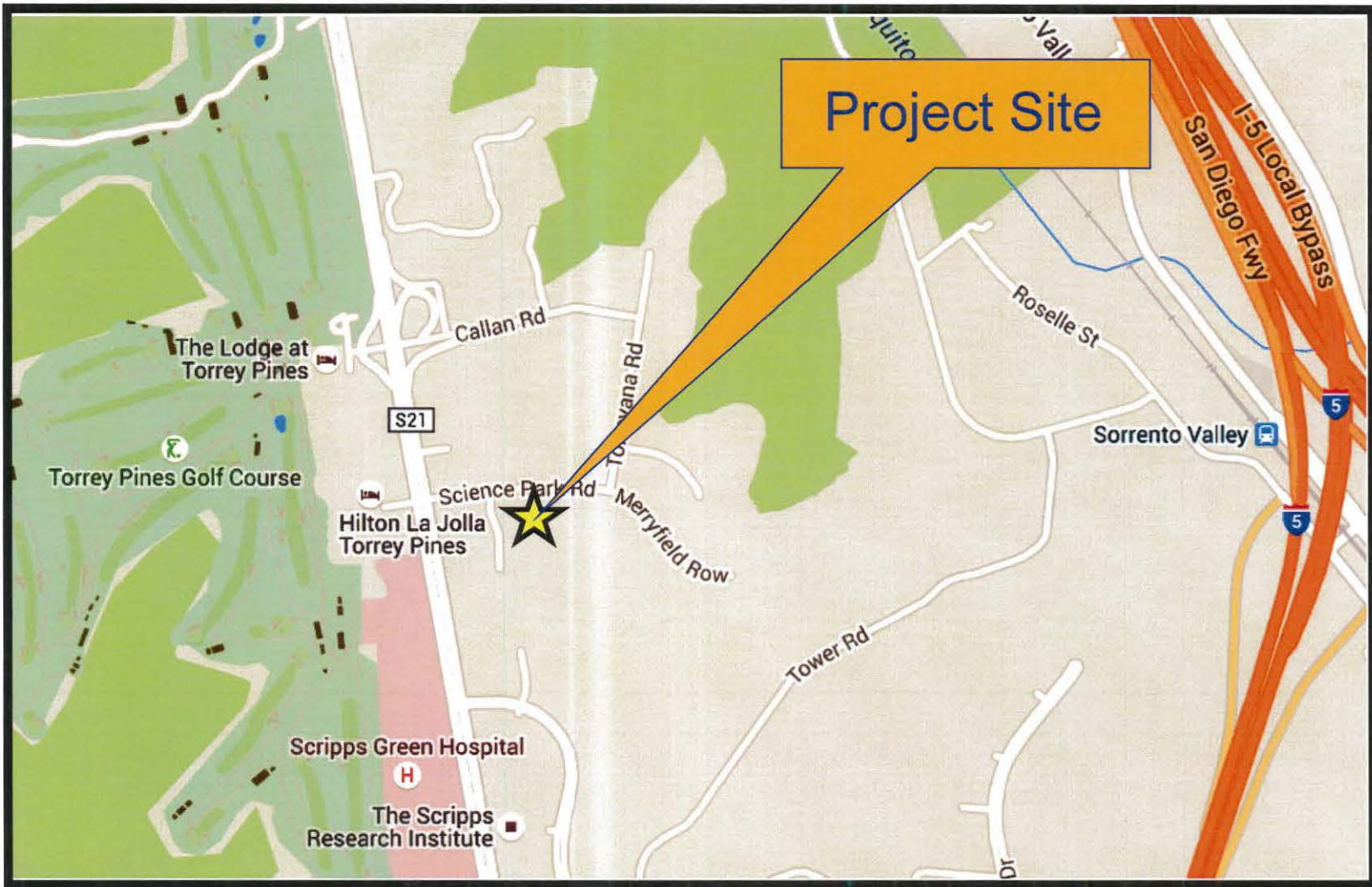
Jeffrey A. Peterson
Development Project Manager
Development Services Department

PETERSON/JAP

Attachments:

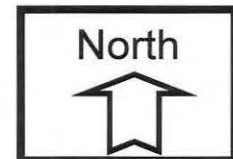
1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. First Public Road Map
6. Coastal Overlay Zone Map
7. CDP No. F8369
8. California Coastal Commission Correspondence
9. CDP/HRP No. 96-7939
10. Project Data Sheet
11. Project Plans
12. Spectrum 1 & 2 Draft Permit with Conditions
13. Spectrum 1 & 2 Draft Resolution with Findings
14. La Jolla Spectrum Draft Permit with Conditions
15. La Jolla Spectrum Draft Resolution with Findings
16. Draft MND No. 383639 Resolution
17. Community Group Recommendation
18. Ownership Disclosure Statement
19. Project Chronology
20. Copy of Public Notice (forwarded to HO)
21. Copy of Project Plans (full size-forwarded to HO)

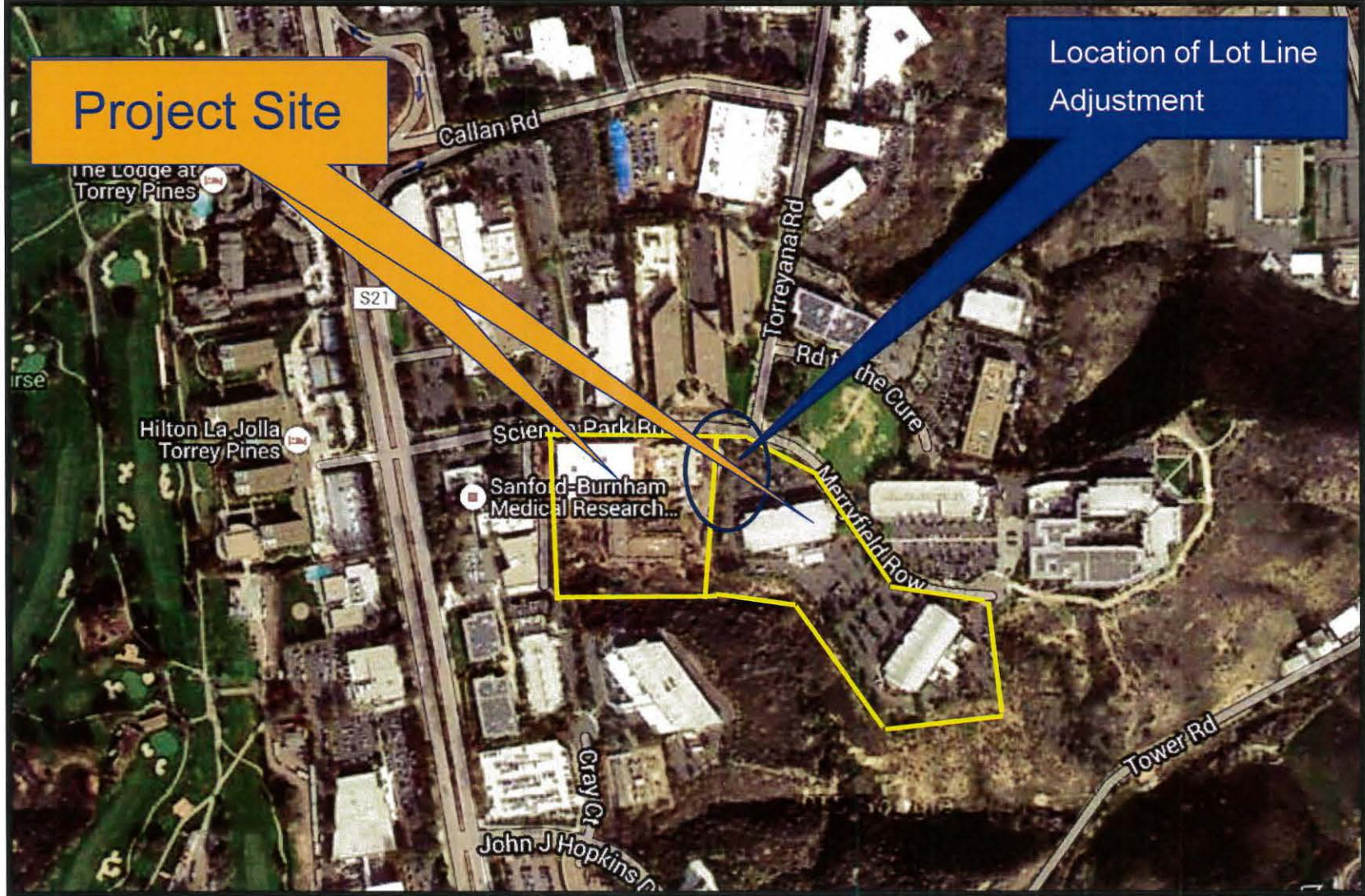
Internal Order No. 24004990



Location Map

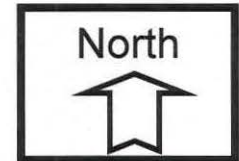
Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639
3013-3033 Science Park Road and 3115-3215 Merrifield Row

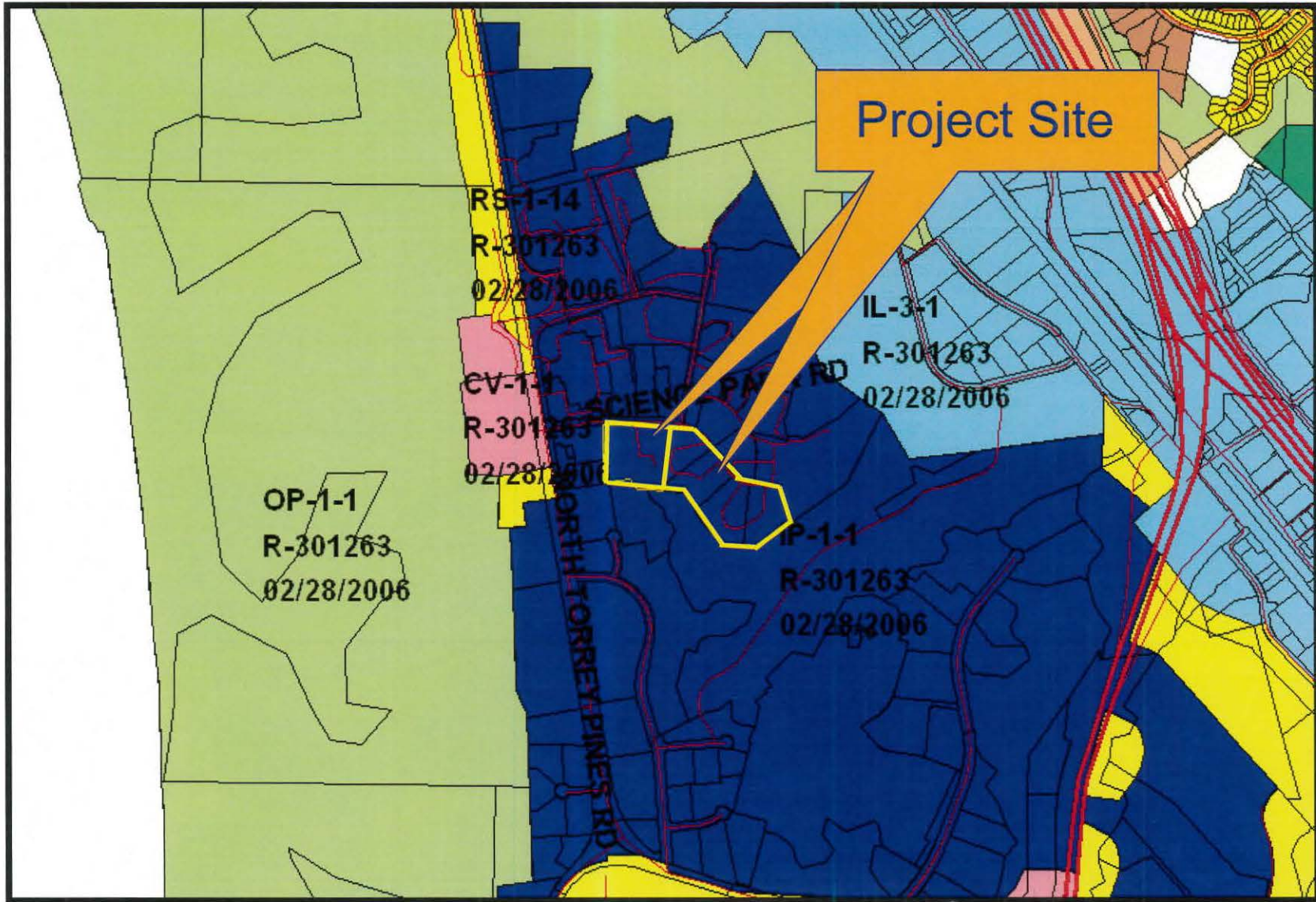




Aerial Photograph

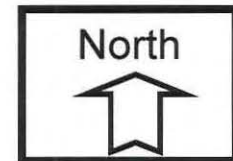
Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639
3013-3033 Science Park Road and 3115-3215 Merryfield Row

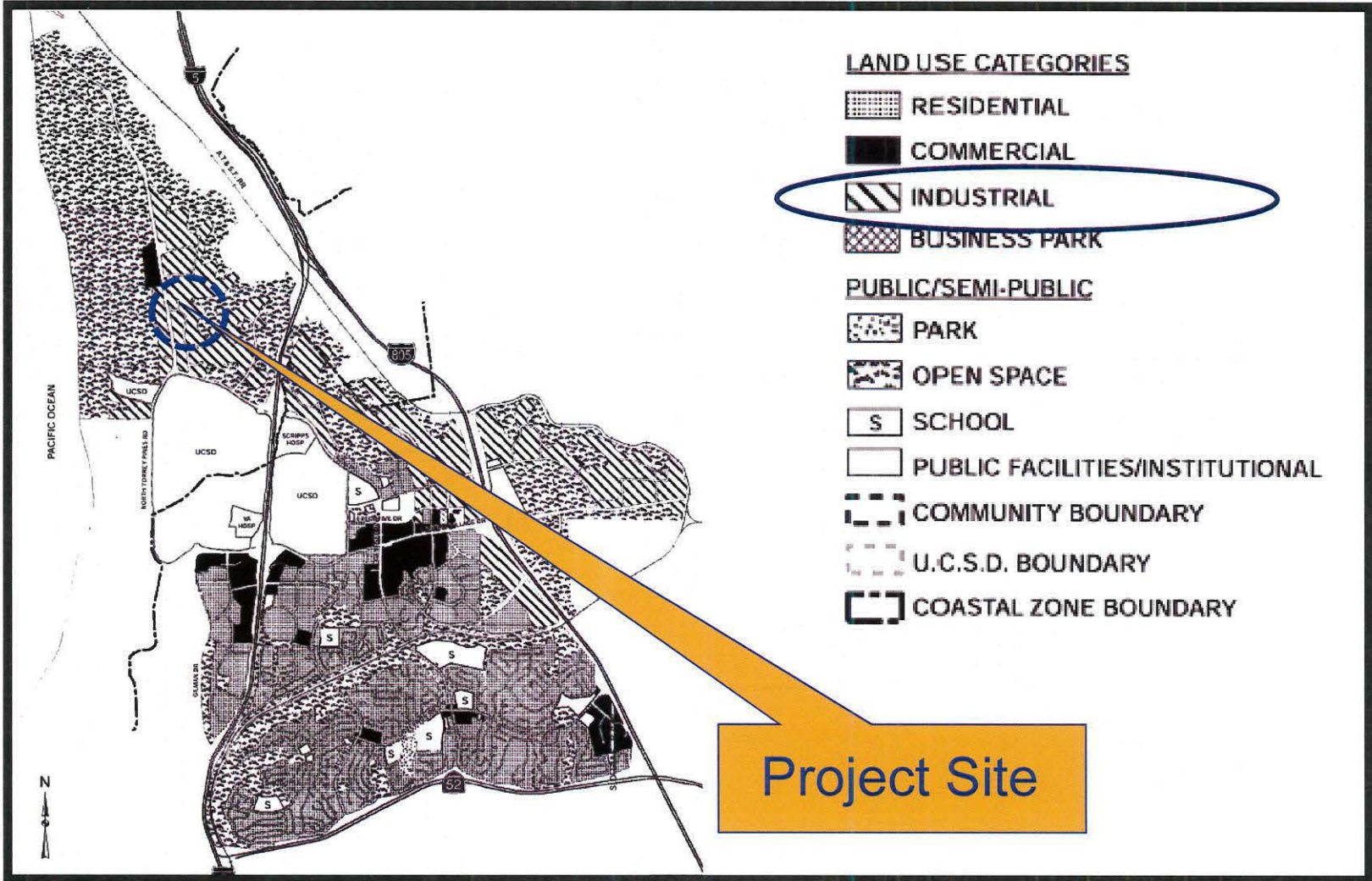




Zoning Map (IP-1-1 Zoning)

Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639
 3013-3033 Science Park Road and 3115-3215 Merryfield Row

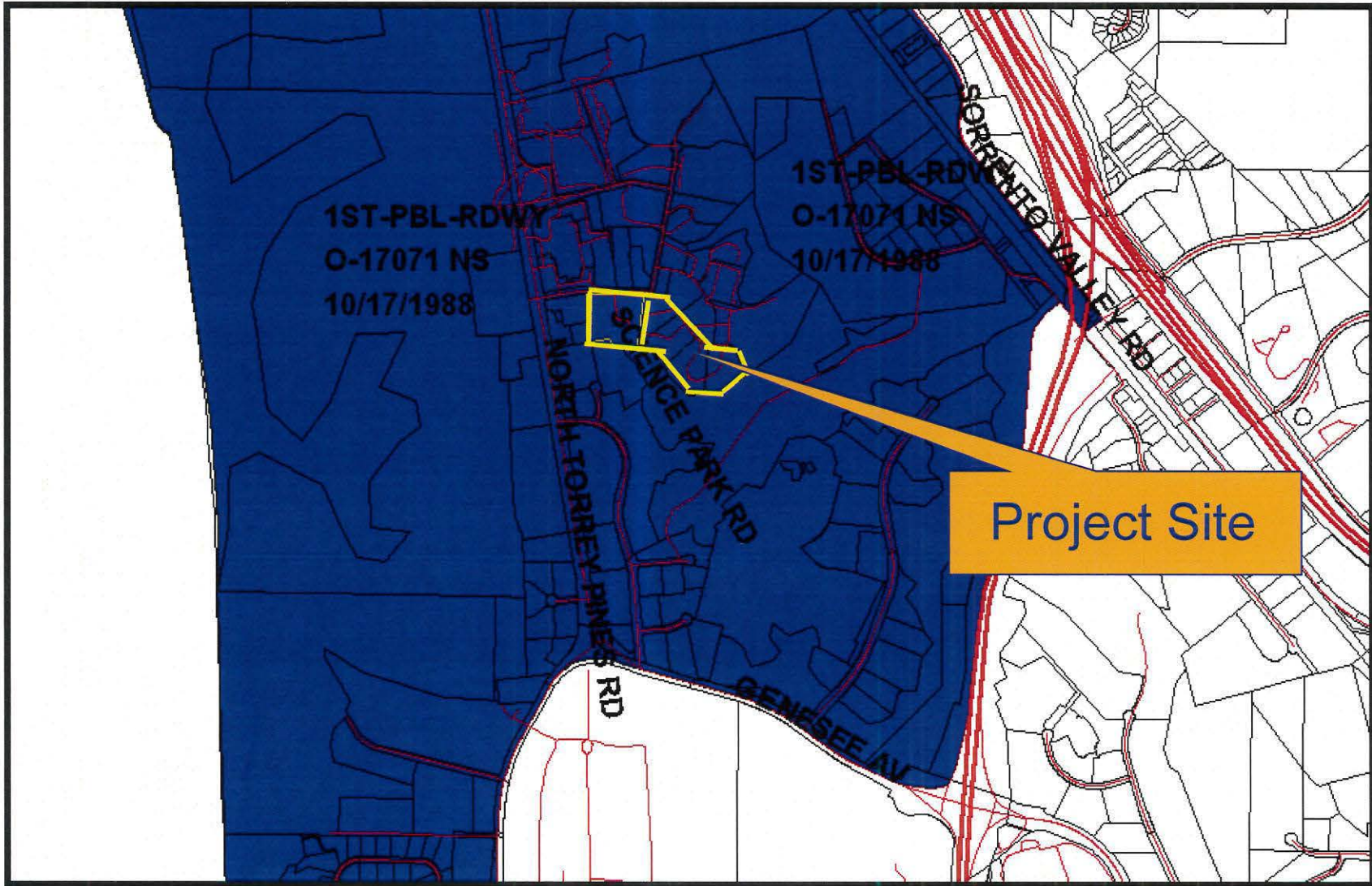




University Community Land Use Map

Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639
 3013-3033 Science Park Road and 3115-3215 Merryfield Row

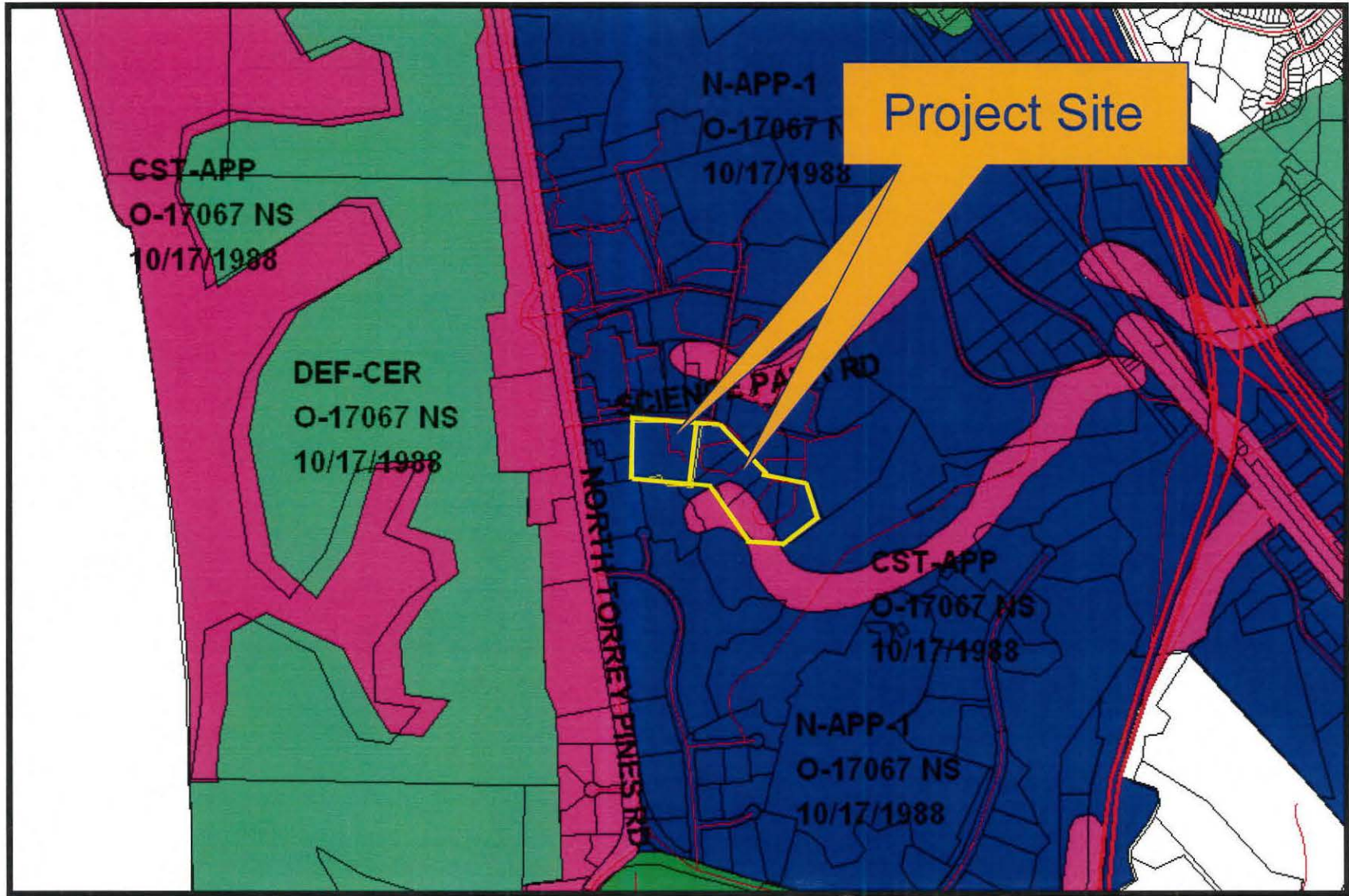




First Public Road Map

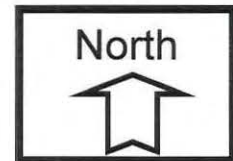
Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639
 3013-3033 Science Park Road and 3115-3215 Merryfield Row





Coastal Overlay Zone Map

Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639
 3013-3033 Science Park Road and 3115-3215 Merryfield Row





STATE OF CALIFORNIA—CALIFORNIA COASTAL COMMISSION

EDMUND G. BROWN, JR., Governor

SAN DIEGO COAST REGIONAL COMMISSION

6154 MISSION GORGE ROAD, SUITE 220
SAN DIEGO, CALIFORNIA 92120—TEL. (714) 280-6992Tim Cohelan
ChairmanRoger Hedgecock
Vice ChairmanHarriet Allen
Representative to the
California Coastal CommissionTom Crandall
Executive DirectorDEVELOPMENT PERMIT

DATE OF COMMISSION ACTION: August 3, 1979

CONTROL NO.: F8369

APPLICANT: Linkabit Corp.
10505 Roselle St.
San Diego, CA 92121AGENT: Gary Allen
1307 Stratford Ct.
Del Mar, CA 92014PROJECT LOCATION: 3033 Science Park Rd., east of N. Torrey Pines Rd.,
San Diego (APN 340-010-18 & 24)

You are hereby granted a coastal development permit. This permit is issued after a duly held public hearing before the San Diego Coast Regional Commission and after the Regional Commission found that the proposed development is in conformity with the provisions of the California Coastal Act of 1976 including the following:

1. That the development is in conformity with Chapter 3 of the California Coastal Act of 1976 (commencing with Public Resources Code, Section 30200).
2. That the permitted development will not prejudice the ability of any affected local government to prepare a local coastal program that is in conformity with Chapter 3 of the California Coastal Act of 1976.
3. That if the development is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, that the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act of 1976 (Public Resources Code, Sections 30210 - 30224).
4. That there are no feasible alternatives or feasible mitigation measures, as provided in the California Environmental Quality Act, available which would substantially lessen any significant adverse impact that the development as finally proposed may have on the environment.

This permit is limited to development described below and set forth in material on file with the Regional Commission, and subject to the terms, conditions, and provisions hereinafter stated:

A. DEVELOPMENT: Construction of 2 two-story buildings with a total area of 133,585 sq. ft. in Torrey Pines Science Park Unit I

Lot area	<u>294,901 sq. ft.</u>
Building coverage	<u>93,539 sq. ft. (32%)</u>
Paved area coverage	<u>71,703 sq. ft. (24%)</u>
Landscape coverage	<u>129,833 sq. ft. (44%)</u>
Parking	<u>390 spaces</u>
Zoning	<u>Science & Research</u>
General Plan	<u>Life Science Research</u>
Project Density	<u>N/A</u>
Hgt. abv. avg. fin. grade:	<u>29 ft.</u>

Development Permit; F 8369
Page 2 of 3.

B. TERMS AND CONDITIONS:

1. That the applicant agrees to adhere strictly to the current plans for the project as approved by the Regional Commission.
2. That the applicant agrees to notify the Regional Commission (or State Commission if there is no Regional Commission) of any changes in the project.
3. That the applicant will meet all the local code requirements and ordinances and obtain all necessary permits from State and Federal Agencies.
4. That the applicant agrees to conform to the permit rules and regulations of the California Coastal Commission.
5. That the applicant agrees that the Commission staff may make site inspections of the project during construction and upon completion.

SPECIAL CONDITION:

1. That prior to issuance of this permit, the applicant shall submit a runoff control plan, designed by a licensed engineer qualified in hydrology and hydraulics, which would assure no increase in peak runoff from the fully developed site over runoff that would occur from the existing undeveloped site as a result of the greatest intensity of rainfall expected during a one-hour period once every 20 years (20-year one-hour rainstorm). Methods employed within the runoff control plan to control increase in runoff are at the discretion of the engineer, and could include check dams, energy dissipators/sedimentations basins, etc. Storage reservoirs shall not be used if they would represent a safety hazard or health problem. The maintenance and repair of any runoff control device to assure proper functioning shall be the responsibility of the applicant or his successor in interest. The runoff control plan shall be submitted to and determined adequate in writing by the Executive Director prior to issuance of the permit.
2. The applicant shall complete all mitigation measures proposed by the City of San Diego Environmental Quality Division with respect to:
 - A. Collection, testing and/or salvage of archaeological resources on the site.
 - B. Replacement of Torrey Pine Trees removed for construction.
 - C. Preservation of the canyon in the southwest corner of the site in its natural state.

Terms and conditions are to run with the land. These terms and conditions shall be perpetual, and it is the intention of the parties to bind all future owners and possessors of the subject property to said terms and conditions.

Development Permit; F 8369
Page 3 of 3

C. STANDARD PROVISIONS:

1. STRICT COMPLIANCE: Permittee is under obligation to conform strictly to permit under penalties established by California Coastal Act of 1976.
2. TIMELY DEVELOPMENT AND COMPLETION: Permittee shall commence development within 2 years following final approval of the project by the San Diego Coast Regional Commission. Construction shall be pursued in a diligent manner and completed within a reasonable period of time.
3. REQUEST FOR EXTENSIONS: Permittee may request an extension of time for the commencement of construction provided the request is applied for prior to expiration of the permit.
4. ASSIGNABILITY OF PERMIT: This permit is not assignable unless the permittee's obligations under the permit are assumed by assignee in writing within one year and a copy of the required assumption agreement delivered to the Regional Commission or State Commission if there is no Regional Commission.
5. APPEAL: Unless appealed to the State Commission within ten (10) working days following final action by the San Diego Coast Regional Commission, all terms and conditions shall be final.
6. DISCLAIMER: The permit is in no way intended to affect the rights and obligations heretofore existing under private agreements nor to affect the existing regulations of other public bodies.
7. PERMITTEE TO RETURN COPY: This permit shall not be valid unless within ten (10) working days permittee returns a signed copy acknowledging contents to San Diego Coast Regional Commission.

If you have any questions on this permit, please contact the staff of the Regional Commission..

Very truly yours,

Tom Crandall

Tom Crandall
Executive Director

Directions to Permittee: Permittee is to execute below and return one copy of this permit to the San Diego Coast Regional Commission.

I have read and understand the terms, conditions, limitations, and provisions of this permit and agree to abide by them.

Control No.: F8369

Signature of Permittee

Date

SAN DIEGO COAST REGIONAL COMMISSION

6154 MISSION GORGE ROAD, SUITE 220
SAN DIEGO, CALIFORNIA 92120—TEL (714) 280-6992



April 1, 1980

Linkabit Corp.
10505 Roselle St.
San Diego, CA 92121

Dear Sirs:

This letter will serve to confirm that Development Permit F8369 has been administratively amended to allow the following:

1. Excavate a basement beneath the northwest leg of Phase II to provide 14,820 SF. 2. Add 10' to the height of the northeast wing of Phase II to accommodate an additional 16,480 SF. 3. Add a parking level, to the previous parking deck (maintaining on-grade access for all three levels due to the natural site slopes) to bring total on-site parking to 429 cars (215 of which are covered).

Numerically:

- 1) The building coverage is reduced from 32% to 30%
- 2) The paved area coverage is reduced from 24% to 17%; and,
- 3) The landscaped and undisturbed vegetation areas have increased from 44% to 53% of the site.

The amendment was determined to be a non-material revision and notice of this determination was issued on February 20, 1980. No written objections were received in this office within 10 working days and the amendment is therefore granted. A copy of this letter and the revised plans have been made a permanent part of the file.

If you have any questions, please contact this office.

Very truly yours,

A handwritten signature in cursive script that reads "Tom Crandall".

Tom Crandall
Executive Director

TC:JBH:mb

cc: Gary Allen, Architect

Peterson, Jeff

From: Lee McEachern [lmeachern@coastal.ca.gov]
Sent: Friday, February 24, 2012 8:55 AM
To: Neil Hyytinen
Subject: RE: CDP No. F-8369//3013- 3033 Science Park Road

Neil – after reviewing the information, our determination is that an amendment to our original permit would not be necessary. Instead the City would review and issue a new CDP for the development. Lee

From: Neil Hyytinen [mailto:nhyytinen@hechtsolberg.com]
Sent: Friday, February 17, 2012 11:34 AM
To: Lee McEachern
Cc: Rodney A. Hunt (rhunt@are.com); Jodi Jensen
Subject: CDP No. F-8369//3013- 3033 Science Park Road

Lee,

Per our discussion, attached are the CDP (F-8369), CDP Amendment and related staff reports and environmental document. The project is fully built-out pursuant to the CDP and Amendment. Our Client, Alexandria Real Estate Equities (ARE), is escrow to purchase the property and intends to redevelop the property as follows: the building located at 3013 Science Park (referred to as Phase I in the CDP) would be completely demolished and a new replacement building would be built on the same site and the building located at 3033 Science Park (Phase II in the CDP) would be re-skinned and partially reconfigured to move some square footage around.

Please determine (for purposes of ARE's proposed project) whether the Coastal Commission would exert jurisdiction over the proposed project.

Please let us know if you need anything further to make this determination.

Thanks,

Neil S. Hyytinen


HECHT SOLBERG ROBINSON GOLDBERG & BAGLEY LLP

600 WEST BROADWAY, 8TH FLOOR

SAN DIEGO, CA 92101

P: 619.239.3444 F: 619.232.6828

nhyytinen@hechtsolberg.com

 HechtSolberg

www.hechtsolberg.com

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JUL 24, 1998 2:11 PM

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES

AND WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 47.00

283



SPACE ABOVE THIS LINE

COASTAL DEVELOPMENT PERMIT/HILLSIDE REVIEW PERMIT
NUMBER 96-7939
CARRAMERICA
CITY MANAGER

Fe
14p
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This Permit is granted by the City Manager of the City of San Diego to the CARRAMERICA REALTY CORPORATION, Owner/Permittee pursuant to the Municipal Code of the City of San Diego. The 14.2 acre site is located at 3115 and 3215 Merryfield Row in the SR (Scientific Research) zone of the University Community Plan. The project site is legally described as Lots 9,10,11&12 of the La Jolla Spectrum according to Map No. 12990, La Jolla, State of California.

Subject to the terms and conditions set forth in this permit, permission is granted to Owner/Permittee to develop 2 two-story scientific research buildings totaling 156,820 square feet described as, and identified by size, dimension, quantity, type and location on the approved Exhibits "A", dated July 1, 1998 on file in the Office of Development Services. The facility shall include:

- a. 156,820 square feet of scientific research uses within two 2-story buildings;
- b. Landscaping (planting, irrigation and landscape related improvements); and
- c. Off-street parking facilities; and
- d. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted Community Plan, California Environmental Quality Act guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this permit, and any other applicable regulations of the Municipal Code in effect for this site.

1. Construction, grading or demolition must commence and be pursued in a diligent manner within 36 months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within 36 months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the Municipal Code requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decisionmaker.

ORIGINAL

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2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this permit be conducted on the premises until:

- a. The Permittee signs and returns the Permit to Development Services; and
- b. The Permit is recorded in the office of the San Diego County Recorder.

3. Unless this permit has been revoked by the City of San Diego the property included by reference within this permit shall be used only for the purposes and under the terms and conditions set forth in this permit unless otherwise authorized by the City Manager.

4. This permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.

5. The utilization and continued use of this permit shall be subject to the regulations of this and any other applicable governmental agencies.

6. Issuance of this permit by the City of San Diego does not authorize the applicant for said permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. Section 1531 et seq.)

7. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and/or site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," dated July 1, 1998, on file in the Office of Development Services. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this discretionary permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded special rights which the holder of the Permit is obtaining as a result of this Permit. It is the intent of the City that the Owner of the property which is the subject of this Permit either utilize the property for any use allowed under the zoning and other restrictions which apply to the property or, in the alternative, that the Owner of the property be allowed the special and extraordinary rights conveyed by this Permit, but only if the Owner complies with all the conditions of the Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing

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fees, to bring a request for a new Permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the Permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed Permit and the condition(s) contained therein.

10. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the Coastal Commission of the Notice of Final Action, following all appeals.

11. Prior to recordation of this permit with the County Recorder, a fee of \$11,022.86 shall be deposited with Development Services for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the applicant and verified by Development Services.

ENGINEERING REQUIREMENTS:

12. The drainage system proposed for this project, as shown on the approved plans, is subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the applicant shall obtain a grading permit from the City Engineer (referred to as an "engineering permit") for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to the certificate of occupancy, the applicant shall complete a storm water detention basin easement exchange satisfactory to the City Engineer, note an easement exchange requires City Council approval (PROCESS 5).

15. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 92-08-DWQ (NPDES General Permit No. CAS000002), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be developed and implemented concurrently with the commencement of grading activities, and a complete and accurate Notice of Intent (NOI) shall be filed with the SWRCB. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received.

16. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 92-08-DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 92-08-DWQ.

TRANSPORTATION DEVELOPMENT REQUIREMENTS:

17. Prior to certificate of occupancy, applicant shall provide double yellow center striping through the intersection of Science Park Road / Torreyana Avenue to the satisfaction of City Engineer.

18. Prior to certificate of occupancy, applicant shall install a stop sign on Merryfield Row (private road) at its intersection with Torreyana Road to the satisfaction of City Engineer

ENVIRONMENTAL REQUIREMENTS:

19. If grading will occur between March 1 and August 15 (breeding season for the California gnatcatcher), a gnatcatcher survey shall be completed. If survey results are negative, than no further mitigation is required. If gnatcatchers are present and grading is to occur during the breeding season, then a temporary 4-6 foot wall or berm shall be constructed at the slope edge. However, if the applicant chooses not to conduct a gnatcatcher survey, then the temporary wall or berm shall be constructed.

20. Alternative mitigation measures may be proposed by the applicant, and if acceptable to the Environmental Review Manager, may replace the above mitigation measures.

21. If grading is to occur before March 1 and after August 15, no mitigation measures would be required.

22. Lighting of all developed areas adjacent to the Multiple Habitat Planning Area (MHPA) shall be directed away from the MHPA. Where necessary, development shall provide adequate shielding with non-invasive plant materials (preferably natives), berming and/or other methods to protect the MHPA and sensitive species from night lighting.

PLANNING/DESIGN REQUIREMENTS:

23. No fewer than 470 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibits "A," dated July 1, 1998, on file in the Office of Development Services. Parking spaces shall comply at all times with Division 8 of the Municipal Code and shall not be converted for any other use unless otherwise authorized by the City Manager.

24. Regulations of the underlying zone(s) shall apply unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

25. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone,

whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

26. A topographical survey conforming to the provisions of the Municipal Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the permittee.

27. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

28. All signage associated with this development shall be consistent with the sign regulations of the underlying SR (Scientific Research) zone.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located.

30. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

31. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

32. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

33. No mechanical equipment, tank, duct, elevator enclosure, cooling tower or mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers and latticework.

34. No merchandise, material or equipment shall be stored on the roof of any building.

35. No mechanical equipment shall be erected, constructed, or enlarged on the roof of any building on this site, unless all such equipment is contained within a completely enclosed architecturally integrated structure.

36. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked "Exhibit A".

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LANDSCAPE REQUIREMENTS:

37. Prior to issuance of any grading, or building permits, complete landscape construction documents, including plans, details and specifications (including a permanent automatic irrigation system unless otherwise approved), shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Concept Plan, dated July 1, 1998, on file in the Office of Development Services. No change, modification or alteration shall be made unless appropriate application or amendment of this Permit shall have been granted.

38. Prior to issuance of grading permits, interim landscape and erosion control measures, including hydroseeding of all disturbed land (all slopes and pads), shall be submitted to the satisfaction of the City Manager (including the Environmental Section) and City Engineer. All plans shall be in substantial conformance to Exhibit "A," dated July 1, 1998, on file in the Office of Development Services and all other applicable conditions of related permits.

39. The timely erosion control including planting and seeding of all slopes and pads consistent with the approved plans is considered to be in the public interest and the Permittee shall initiate such measures within 45 days from the date that the grading of the site is deemed to be complete. Such erosion control and the associated irrigation systems (temporary and/or permanent) and appurtenances shall be installed in accordance with the approved plans and the *Landscape Technical Manual*.

40. Prior to issuance of any Certificate of Occupancy it shall be the responsibility of the Permittee to install all required landscape and obtain all required landscape inspections and to obtain a No Fee Street Tree Permit for the installation, establishment and on-going maintenance of all street trees. Copies of these approved documents must be submitted to the City Manager.

41. All required landscape shall be maintained in a disease, weed and litter free condition at all times and shall not be modified or altered unless this Permit has been amended. Modifications such as severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The Permittee, or subsequent Owner shall be responsible to maintain all street trees and landscape improvements consistent with the standards of the *Landscape Technical Manual*.

42. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved plans is damaged or removed during demolition, it shall be repaired and/or replaced in kind and equivalent size per the approved plans within 30 days of completion of construction by the Permittee. The replacement size of plant material after three years shall be the equivalent size of that plant at the time of removal (the largest size commercially available and/or an increased number) to the satisfaction of the City Manager.

43. Access to underground utilities shall be accomplished from the parking areas and no additional access roadways are to be installed within the transitional landscape and/or open space easement.

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44. The Brush Management Program is based on the Fire Department's fire Hazard Severity Classification of "Moderate". The permittee shall implement the following conditions in accordance with the Brush Management Program shown on Exhibit "A" dated July 1, 1998, Brush Management Plan, on file in the Office of Development Services.

a) Prior to the issuance of any building permits, a complete set of brush management construction documents shall be submitted for approval to the City Manager and the Fire Chief. The construction documents shall be in substantial conformance with Exhibit A and shall comply with the Uniform Fire Code, and the Landscape Technical manual on file at the Office of the City Clerk.

45. The Brush Management Zone shall be 60 feet.

46. Within Zone One, combustible accessory structures with less than one-hour fire rating are not permitted, including, but not limited to, wood decks, trellises, gazebos, etc. Non-combustible accessory structures and/or combustible accessory structures with a minimum fire rating of one hour or more, may be approved by the Fire Chief and City Manager.

47. All requirements for fire resistive construction and other architectural features shall conform to the applicable City and Regional Building Code Standards. The Fire Chief may consider deviation from these conditions or may require additional conditions at the time of final inspection if it is determined an eminent health and safety risk still exists.

48. Plant material shall be selected to visually blend with the hillside vegetation. No invasive plant species shall be permitted.

49. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on site with the contractor and Development Services to discuss and outline the implementation of the Brush Management Program."

a) Prior to issuance of any Certificate of Occupancy for any building, the approved Brush Management Program shall be implemented.

b) The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Technical Manual, Section Six.

WATER UTILITIES REQUIREMENTS:

51. Prior to the issuance of any building permits, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department and the City Engineer. If more than two (2) fire hydrants or thirty (30) equivalent dwelling units are located on a dead-end main then the Owner/Permittee shall install a looped water system.

52. Prior to the issuance of any building permits, the Owner/Permittee shall design any proposed public water and sewer facilities to the most current edition of the "City of San Diego Water & Sewer Design Guide." Proposed facilities that do not meet the current standards shall be private.

53. Prior to the issuance of any building permits, the Owner/Permittee shall grant adequate water, sewer, and/or access easements, including vehicular access to each appurtenance (meters, blow offs, air valves, manholes, etc.), for all public water and sewer facilities that are not located within paved public rights-of-way, satisfactory to the Water and Metropolitan Wastewater Departments' Managers. Vehicular access roadbeds shall be a minimum of 20 feet wide and surfaced with suitable approved material satisfactory to the appropriate Department Manager. Minimum easement widths: water mains with services or fire hydrants - 24 feet, sewer mains with manholes - 20 feet. No structures of any kind shall be installed in or over any easement prior to the applicant obtaining an encroachment removal agreement.

54. Providing water and sewer facilities for this development is dependent upon prior construction of certain water and sewer facilities in previously approved TM 89-0269 in this area. If they have not been constructed when required for this development, then the construction of certain portions of these previously approved water and sewer facilities, as required by the City Engineer, will become off-site improvements required for this development.

55. All common areas and/or open spaces that require irrigation shall be irrigated with reclaimed water as specified in City Council Ordinance O-17327. The Owner/Permittee shall design and install a reclaimed water distribution system within the development in accordance with "Rules and Regulations for Reclaimed Water Use and Distribution within the City of San Diego" satisfactory to the Metropolitan Wastewater Department Manager. The irrigation system shall initially be supplied from the potable water system until reclaimed water is available. The system shall be designed to allow the conversion from potable to reclaimed water service and avoid any cross connections between the two systems.

APPROVED by the City Manager of the City of San Diego on July 1, 1998.

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CITY MANAGER
RESOLUTION NO. D729
COASTAL DEVELOPMENT PERMIT/HILLSIDE REVIEW PERMIT NO. 96-7939
CARRAMERICA

WHEREAS, the CARRAMERICA REALTY CORPORATION, Owner/Permittee, filed an application with the City of San Diego for a permit to develop 156,820 square feet of scientific research uses within two two-story buildings as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 96-7939, on portions of a 14.2 acre site, and;

WHEREAS, the project site is located at 3115 and 3215 Merryfield Row in the SR (Scientific Research) zone of the University Community Plan, and;

WHEREAS, the project site is legally described as Lots 9,10,11&12 of the La Jolla Spectrum according to Map No. 12990, La Jolla, State of California, and;

WHEREAS, on July 1, 1998, the City Manager of the City of San Diego considered Coastal Development Permit and Hillside Review Permit No. 96-7939 pursuant to the Municipal Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the City Manager of the City of San Diego as follows:

That the City Manager adopts the following written Findings, dated July 1, 1998.

FINDINGS:

COASTAL DEVELOPMENT PERMIT FINDINGS:

- A. **THE PROPOSED DEVELOPMENT WILL NOT ENCROACH UPON ANY EXISTING PHYSICAL ACCESSWAY LEGALLY UTILIZED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN AN ADOPTED LCP LAND USE PLAN; NOR WILL IT OBSTRUCT VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS FROM PUBLIC VANTAGE POINTS.**

The CarrAmerica La Jolla Spectrum project is situated inland more than 1.5 miles from the ocean within an existing approved scientific research Industrial park, and is not located on or adjacent to any existing public accessway, nor is it adjacent to any view corridors identified in the adopted Local Coastal Program Land Use Plan. Therefore, the proposed project will not encroach upon any physical accessway utilized by the public, and will not obstruct views to and along the ocean or any other scenic coastal areas from public vantage points.

B. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT MARINE RESOURCES, ENVIRONMENTALLY SENSITIVE AREAS, OR ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES.

The proposed development will not adversely affect marine resources, environmentally sensitive areas, or archeological or paleontological resources. The sensitive slope area adjacent to the project is not being disturbed because the proposed grading for this project does not extend beyond the limits of the previously graded areas approved as part of the La Jolla Spectrum Planned Industrial Development project. Potential impacts to water quality of the adjacent open space areas are being mitigated by erosion and drainage features incorporated into the project design. Special lighting has been incorporated to minimize light intrusion into the adjacent open space area. Potential indirect noise impacts to sensitive species (California gnatcatcher) will be mitigated by avoiding grading during the breeding season or by construction of a noise barrier during the grading operation, if sensitive species are found to be affected.

C. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REQUIREMENTS RELATED TO BIOLOGICALLY SENSITIVE LANDS AND SIGNIFICANT PREHISTORIC AND HISTORIC RESOURCES AS SET FORTH IN THE RESOURCE PROTECTION ORDINANCE, CHAPTER X, SECTION 101.0462 OF THE SAN DIEGO MUNICIPAL CODE, UNLESS BY THE TERMS OF THE RESOURCE PROTECTION ORDINANCE, IT IS EXEMPTED THEREFROM.

Pursuant to the terms of the Resource Protection Ordinance, this project, located in the Coastal Zone, is exempt from chapter X, Section 101.0462 of the City of San Diego Municipal Code.

D. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT RECREATIONAL OR VISITOR-SERVING FACILITIES OR COASTAL SCENIC RESOURCES.

The La Jolla Spectrum CarrAmerica project is located within an existing approved and previously graded scientific research business park, and contains no recreational or visitor serving facilities or coastal scenic resources. Therefore, the proposed development will not adversely affect recreational, visitor-serving facilities or coastal scenic resources.

E. THE PROPOSED DEVELOPMENT WILL BE SITED AND DESIGNED TO PREVENT ADVERSE IMPACTS TO ENVIRONMENTALLY SENSITIVE HABITATS AND SCENIC RESOURCES LOCATED IN ADJACENT PARKS AND RECREATION AREAS, AND WILL PROVIDE ADEQUATE BUFFER AREAS TO PROTECT SUCH RESOURCES.

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The project is not located on or near environmentally sensitive recreation areas, scenic resources, or adjacent parks. Open space slopes will not be directly impacted by the proposed grading, and potential indirect impacts to the open space slope areas have been fully addressed by the site design features, project conditions, and appropriate mitigation measures. The proposed development will not alter the natural land forms because the proposed grading does not extend beyond the limits of previously graded areas. The adjacent steep sensitive slopes are being retained in their natural state. Brush management mitigation is accomplished through the use of adequate setbacks from the canyon rim which will not cause any impacts to the vegetation on the adjacent sensitive slope areas.

F. THE PROPOSED DEVELOPMENT WILL MINIMIZE THE ALTERATIONS OF NATURAL LANDFORMS AND WILL NOT RESULT IN UNDUE RISKS FROM GEOLOGIC AND EROSIONAL FORCES AND/OR FLOOD AND FIRE HAZARDS.

The CarrAmerica project will be developed on previously graded pads approved as part of the original Planned Industrial Development permit for the La Jolla Spectrum project. The proposed project does not propose additional significant grading. Project conditions require erosion control measures and compliance with State Water Resources Control Board requirements for discharge of storm water and waste discharge. Brush Management practices are required as project conditions and will minimize risks from fire hazards. Therefore, the proposed development will not result in undue risks from geologic and erosional forces and/or floor and fire hazards.

G. THE PROPOSED DEVELOPMENT WILL BE VISUALLY COMPATIBLE WITH THE CHARACTER OF SURROUNDING AREAS, AND WHERE FEASIBLE, WILL RESTORE AND ENHANCE VISUAL QUALITY IN VISUALLY DEGRADED AREAS.

The proposed development will be visually compatible with the character of surrounding areas and will enhance the visual quality in visually degraded areas. The proposed project includes building height limitations, setbacks from the canyon rim, massing, and architectural design features which are similar in character to surrounding developments. In addition, the proposed project conforms with the development regulations and design guidelines of originally approved La Jolla Spectrum Planned Industrial Development Permit, and the underlying SR (Scientific Research) zone.

H. THE PROPOSED DEVELOPMENT WILL CONFORM WITH THE GENERAL PLAN, THE LOCAL COASTAL PROGRAM, AND ANY OTHER APPLICABLE ADOPTED PLANS AND PROGRAMS.

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The CarrAmerica project, which proposes scientific research uses, is located in an area designated in the Progress Guide and General Plan, University Community Plan, and the North City Local Coastal Program for scientific research uses. The CarrAmerica project is consistent with the permitted land uses and development regulations of the underlying SR (Scientific Research) zone.

HILLSIDE REVIEW PERMIT FINDINGS:

A. THE SITE IS PHYSICALLY SUITABLE FOR THE DESIGN AND SITTING OF THE PROPOSED DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL RESULT IN MINIMUM DISTURBANCE OF SENSITIVE AREAS.

The site is physically suitable for the design and siting of the proposed buildings. The proposed project will not result in the disturbance of any undisturbed hillside review designated areas. The development will occur totally within previously graded areas on the top of an existing mesa with no encroachment into the sensitive slope areas adjacent to the project.

B. THE GRADING AND EXCAVATION PROPOSED IN CONNECTION WITH THE DEVELOPMENT WILL NOT RESULT IN SOIL EROSION, SILTING OF LOWER SLOPES, SLIDE DAMAGE, FLOODING, SEVERE SCARRING OR ANY OTHER GEOLOGICAL INSTABILITY WHICH WOULD AFFECT HEALTH, SAFETY AND GENERAL WELFARE AS APPROVED BY THE CITY ENGINEER. DISTURBED SLOPES ARE PLANTED WITH NATIVE AND SELF SUFFICIENT VEGETATION.

The CarrAmerica project will be developed on previously graded pads approved as part of the original Planned Industrial Development permit for the La Jolla Spectrum project. The proposed project does not propose additional significant grading. The sensitive steep slopes adjacent to the project will not be disturbed. Project conditions require erosion control measures and compliance with State Water Resources Control Board requirements for discharge of storm water and waste discharge. The project design includes detention basins, siltation traps and energy dissipaters in an effort to control and reduce drainage impacts. Landscaping and Brush Management practices are required as project conditions. The project also implements building setbacks which adequately mitigate fire hazards in compliance with the City's Brush Management Standards without the need for further impacts to the sensitive vegetation.

C. THE PROPOSED DEVELOPMENT RETAINS THE VISUAL QUALITY OF THE SITE, THE AESTHETIC QUALITIES OF THE AREA AND THE NEIGHBORHOOD CHARACTERISTICS BY UTILIZING PROPER

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STRUCTURAL SCALE AND CHARACTER, VARIED ARCHITECTURAL TREATMENTS, AND APPROPRIATE PLANT MATERIAL.

The CarrAmerica project retains the visual quality of the site and the aesthetic qualities of the area by utilizing proper structural bulk and scale, architectural treatments, and appropriate landscaping consistent with the previous approval of the planned industrial development permit for the La Jolla Spectrum project.

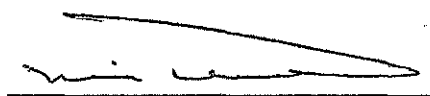
- D. THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE OPEN SPACE ELEMENT OF THE GENERAL PLAN, THE OPEN SPACE AND SENSITIVE LAND ELEMENT OF THE COMMUNITY PLAN, ANY OTHER ADOPTED APPLICABLE PLAN, AND THE ZONE. THE APPLICANT HAS DISCUSSED THE FEASIBILITY OF OPEN SPACE DEDICATIONS OR EASEMENTS WITH APPROPRIATE CITY STAFF.**

The CarrAmerica project is consistent with the originally approved La Jolla Spectrum planned industrial development permit, which proposes development and designates open space areas that are consistent with the Progress Guide and General Plan and the University Community Plan.

- E. THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE QUALITATIVE DEVELOPMENT GUIDELINES AND CRITERIA AS SET FORTH IN DOCUMENT NO. RR-262129 "HILLSIDE DESIGN AND DEVELOPMENT GUIDELINES".**

The CarrAmerica project proposes development, including brush management, outside of the previously undisturbed Hillside Review area and sensitive slope areas, and is in conformance with the qualitative development guidelines and criteria of the Hillside Design and Development Guidelines.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the City Manager, Coastal Development Permit and Hillside Review Permit 96-7939 are hereby GRANTED by the City Manager to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 96-7939, a copy of which is attached hereto and made a part hereof.



Mike Westlake
Development Project Manager

Adopted on: July 1, 1998

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ALL-PURPOSE CERTIFICATE

Type/Number of Document: CDP/HRP 96-7939
Date of Approval: July 1, 1998

STATE OF CALIFORNIA

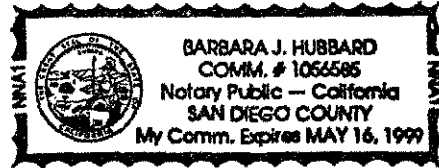
Mike Westlake
Mike Westlake, Development Project Manager

COUNTY OF SAN DIEGO

On July 2, 1998 before me, BARBARA J. HUBBARD (Notary Public), personally appeared Mike Westlake, Development Project Manager of Development Services of the City of San Diego, personally known to me to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

Signature Barbara J. Hubbard
Barbara J. Hubbard



(Seal)

PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF PERMITTEE(S) THEREUNDER.

Signed Dwight Merriman
Typed Name Dwight Merriman

Signed _____
Typed Name _____

STATE OF California
CARRAMERICA REALTY CORPORATION

COUNTY OF Orange

On July 21, 1998 before me, Penny D. Herbst (Name of Notary Public) personally appeared Dwight Merriman, personally know to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Penny D. Herbst



(Seal)

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**CITY OF SAN DIEGO
DEVELOPMENT SERVICES
HEARING OFFICER HEARING
202 C STREET, COUNCIL CHAMBERS
MINUTES
JULY 1, 1998
8:30 ITEMS**

Hearing Officer: Gene Lathrop
Recording Secretary: Beverly Allen
Deadline for Appeal: July 16, 1998, 5:00 p.m.
Request for Continuances: One

Gene Lathrop gave the hearing and appeal processes and introduced the items on the agenda.

ITEM 2 EIR ADDENDUM

ACTION: CERTIFIED **Reso. #D-728**
ENVIRONMENTAL PLANNER: MYRA HERRMANN
PROJECT NUMBER: 96-7939
PROJECT NAME: CARRAMERICA
PROJECT MANAGER MIKE WESTLAKE
RECOMMENDATION: APPROVAL
ACTION: APPROVED ON CONSENT, Reso. #D-729

An application for a Coastal Development Permit and a Hillside Review Permit to develop 156,820 square-feet of scientific research uses within two buildings on a previously graded 14.2-acre site. The subject property is located at 3115-3215 Merryfield Row within the University Community Planning Area.

SPEAKER SLIPS IN FAVOR

MARK ROWSON, Latitude 33, 4180 La Jolla Village Drive, #330

PATRICIA RUSSELL, CarrAmerica, 3611 Harbor Boulevard, Suite 230, Costa Mesa

RUSSELL REX, 2827 Presidio Drive



THE CITY OF SAN DIEGO

December 3, 1998

Michael B. Wilkes
Delawie, Wilkes, Rodrigues, Barker & Bretton
2827 Presidio Drive
San Diego, CA 92110

Dear Mr. Wilkes:

SUBJECT: Substantial Conformance Review approval for Coastal Development Permit No. 96-7939 - CarrAmerica at La Jolla Spectrum.

City staff has completed its review and has approved your request for Substantial Conformance Review (SCR) for the CarrAmerica at La Jolla Spectrum project - Coastal Development Permit No. 96-7939. This approved SCR applies to Building A, Lots 9 and 10 of the previously approved CarrAmerica project, and will allow Novartis to incorporate the following minor modifications:

1. The addition of one greenhouse to be constructed above the previously approved but enlarged mechanical equipment building.
2. The addition of a cooling tower to be constructed in the parking lot of Building A. The cooling tower will be fully landscaped around the perimeter. Eliminated parking spaces will be relocated to the area previously designated as a basketball court.
3. The addition of an emergency generator to be located adjacent to the trash enclosure. The trash enclosure will be reconfigured.

The addition of the greenhouse, cooling tower and emergency generator will not affect the total amount of square footage allowed for the project. The cooling tower is open to the sky and does not count as gross floor area. The emergency generator is equipment only and also does not count as gross floor area. The University Community Plan (page 179) allows, and City staff has approved in the past, square footage exclusions for mechanical rooms, elevator shafts, etc. For the CarrAmerica building A, there is a total of 4,791 square feet of mechanical and equipment rooms, which is significantly greater than the square-footage proposed for the greenhouse.

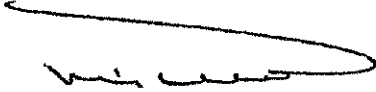
**Development Services**

1222 First Avenue, MS 302 • San Diego, CA 92101-4153
Tel (619) 533-5931 Fax (619) 533-5924

In terms of parking and traffic, all lost parking spaces will be replaced, and the CarrAmerica project was approved with a 157 parking space surplus. In addition, the added greenhouse and cooling tower will have essentially no effect on the traffic generated by the project. Neither the greenhouse or cooling tower are conditioned for human occupancy, are not habitable, and are not likely to cause a traffic increase. In fact, locating the greenhouse on site may reduce the total number of trips. Normally, staff would be required to shuttle back and forth between the on-site labs and an off-site greenhouse.

If you have any questions or need additional assistance, please do not hesitate to contact me at 236-7769.

Sincerely:



Mike Westlake
Development Project Manager

Attachments: Original letter dated November 25, 1998, requesting SCR.

PROJECT DATA SHEET

PROJECT NAME:	Spectrum 1 & 2/La Jolla Spectrum; Project No. 383639	
PROJECT DESCRIPTION:	Demolition of an existing building and parking structure, and to construct a two-story research and development building and a four-level parking structure site located at 3013-3033 Science Park Road; and a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row.	
COMMUNITY PLAN AREA:	University	
DISCRETIONARY ACTIONS:	Coastal Development Permit (CDP) & Site Development Permit (SDP) for the Spectrum 1 & 2, and CDP & SDP for La Jolla Spectrum	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial	
<u>ZONING INFORMATION:</u>		
<p style="text-align: center;">ZONE: IP-1-1</p> <p style="text-align: center;">HEIGHT LIMIT: 30-foot (Coastal Height Limitation Overlay Zone)</p> <p style="text-align: center;">LOT SIZE: 40,000 square feet</p> <p style="text-align: center;">FLOOR AREA RATIO: 2.0</p> <p style="text-align: center;">LOT COVERAGE: NA</p> <p style="text-align: center;">FRONT SETBACK: 20-foot (min.) and 25-foot (std.)</p> <p style="text-align: center;">SIDE SETBACK: 15-foot</p> <p style="text-align: center;">STREETSIDE SETBACK: NA</p> <p style="text-align: center;">REAR SETBACK: 25-foot</p> <p style="text-align: center;">PARKING: 430 required (504 parking spaces provided)</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Industrial; IP-1-1	Research and Development
SOUTH:	Industrial; IP-1-1	Research and Development
EAST:	Industrial; IP-1-1	Research and Development
WEST:	Industrial; IP-1-1	Research and Development
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 10, 2015, the University Community Planning Group voted 14-0-2 to recommend approval of the project.	



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 590 ELLIS STREET 850.843.1600
 MOUNTAIN VIEW, CA 94039.650.943.1670
 201 FILBERT ST., 3RD FLOOR 415.477.2700
 SAN FRANCISCO, CA 94103.415.477.2710
 J-18687

RICK 5620 FRIARS ROAD
 SAN DIEGO, CA 92110
 619.291.0707
 (FAX) 619.291.4165



SPECTRUM PROJECT

OWNER/APPLICANT
 ALEXANDRIA REAL ESTATE EQUITIES, INC.
 4890 LA JOLLA VILLAGE DRIVE, SUITE 722
 SAN DIEGO, CA 92122

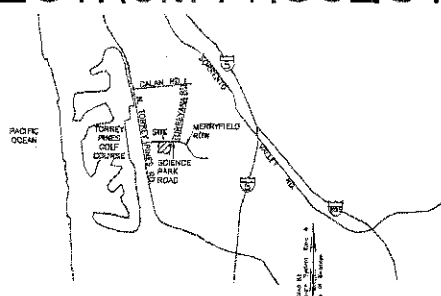
SITE ADDRESS
 3013-3033 SCIENCE PARK ROAD & 3115-3215 MERRYFIELD ROW
 SAN DIEGO, CA 92121

ASSESSORS PARCEL NUMBER
 340-010-43, 340-206-12

BENCHMARK
 BM (427.102) NWBP N. TORREY PINES/
 SCRIPPS CLINIC NLY ENTRANCE
 ELEVATION=4057.10

SHEET INDEX

TITLE SHEET C1
 GRADING PLAN C2
 UTILITY PLAN C3



LEGEND

EXISTING	STANDARD DWG.	SYMBOL
RIGHT OF WAY		---
EASEMENT		---
LOT LINE		---
EXIST. PVC WATER MAIN		---
EXIST. WATER SERVICE		---
EXIST. PVC SEWER MAIN		---
EXIST. SEWER LATERAL		---
EX. STORM DRAIN		---
EX. STORM DRAIN CLEANOUT		---
EX. CATCH BASIN		---
EX. GAS LINE		---
PROPOSED		
DAYLIGHT LINE/LIMITS OF GRADING		---
CONCRETE DITCH (PVT.)		---
BLADED SWALE (PVT.)		---
RETAINING WALL (PVT.)		---
STORM DRAIN (PVT.)		---
ROUND AREA DRAIN (PVT.)		---
TYPE C-2 CATCH BASIN		---
TYPE I CATCH BASIN		---
TYPE A-4 C.O. (PVT.)		---
TYPE B CURB INLET (PVT.)		---
CHILLED WATER (PVT.)		---
4" SEWER LATERAL (PVT.)		---
SIDEWALK		---
ORIENTATION AREA (PVT.)		---
ENHANCED PAVING SEE ARCH. PLANS		---
GARAGE STRUCTURE, SEE ARCHITECTURAL PLANS		---
PROPOSED BUILDING FOOTPRINT		---
ASPHALT CONCRETE PAVING SECTION		---

ABBREVIATIONS

AB	AGGREGATE BASE	PIP	PROTECT IN PLACE
AC	ASPHALT CONCRETE	PL	PROPERTY LINE
CO	CLEANOUT	PROP	PROPOSED
DWG	DRAWING	R/W	RIGHT-OF-WAY
EX OR EXIST	EXISTING	SR	SEWER
FC	FACE OF CURB	SD	STORM DRAIN
FG	FINISH GRADE	SDRS	SAN DIEGO REGIONAL STANDARD
FGFW	FINISH GRADE BACK OF WALL	TC	TOP OF CURB
FGFW	FINISH GRADE FACE OF WALL	TCD	TOP OF CLEANOUT
FGFW	FINISH SURFACE FACE OF WALL	TF	TOP OF FOOTING
FL	FLOW LINE	TF	TOP OF GRATE
FS	FINISH SURFACE	TP	TOP OF PIPE
GB	GRADE BREAK	TW	TOP OF WALL
HORIZ	HORIZONTAL	TYP	TYPICAL
IE	INVERT ELEVATION	VERT	VERTICAL
MAX	MAXIMUM	WTR	WATER
MIN	MINIMUM		
MOD	MODIFIED		
N/S	NOT TO SCALE		

EROSION CONTROL / HYDROSEED MIX

SPECIES PURE LIVE SEED	LB/ACRE
MIMULUS AURANTIACUS AURANTIACUS	0.20
LOTUS SCOPARIUS SCOPARIUS	4.50
ERIOGYLLUM CONFERTIFOLIUM	1.00
ERIGONUM PARVIFOLIUM	1.00
CAHNSCHOLZIA CALIFORNICA	1.50
LUPINUS BICOLOR	2.00
A. GRANDIFLORA	5.00
P. SECUNDA SSP. SECUNDA	5.00
H. BRACHYPHYLLUM SSP. CALIFORNICUM	6.00
NUFFIA MICROSTACHYS	8.00
MULLEBERGIA MICROSPERMA	2.00

NOTE: PLS LB/ACRE = LB/ACRE. PLS LB/ACRE IS THE MOST ACCURATE WAY TO SPECIFY SEEDS AND TAKES INTO ACCOUNT BOTH PURITY AND GERMINATION. PLS % = % PURITY X % GERMINATION.

STANDARD HYDROSEEDING CONDITIONS ARE CONSISTENT WITH THE FOLLOWING PARAMETERS:

SOIL CONDITIONS **SURFACE CONDITIONS**

PH RANGE 6.1 - 7.5 SURFACE IS TRACK-WALKED UP & DOWN THE SLOPE

TOTAL DISSOLVE SALTS < 256 NO CONCENTRATED FLOWS

SODIUM ADSORPTION RATIO < 2 ENERGY DISSIPATORS (SLOPE INTERRUPTION DEVICES) ARE USED

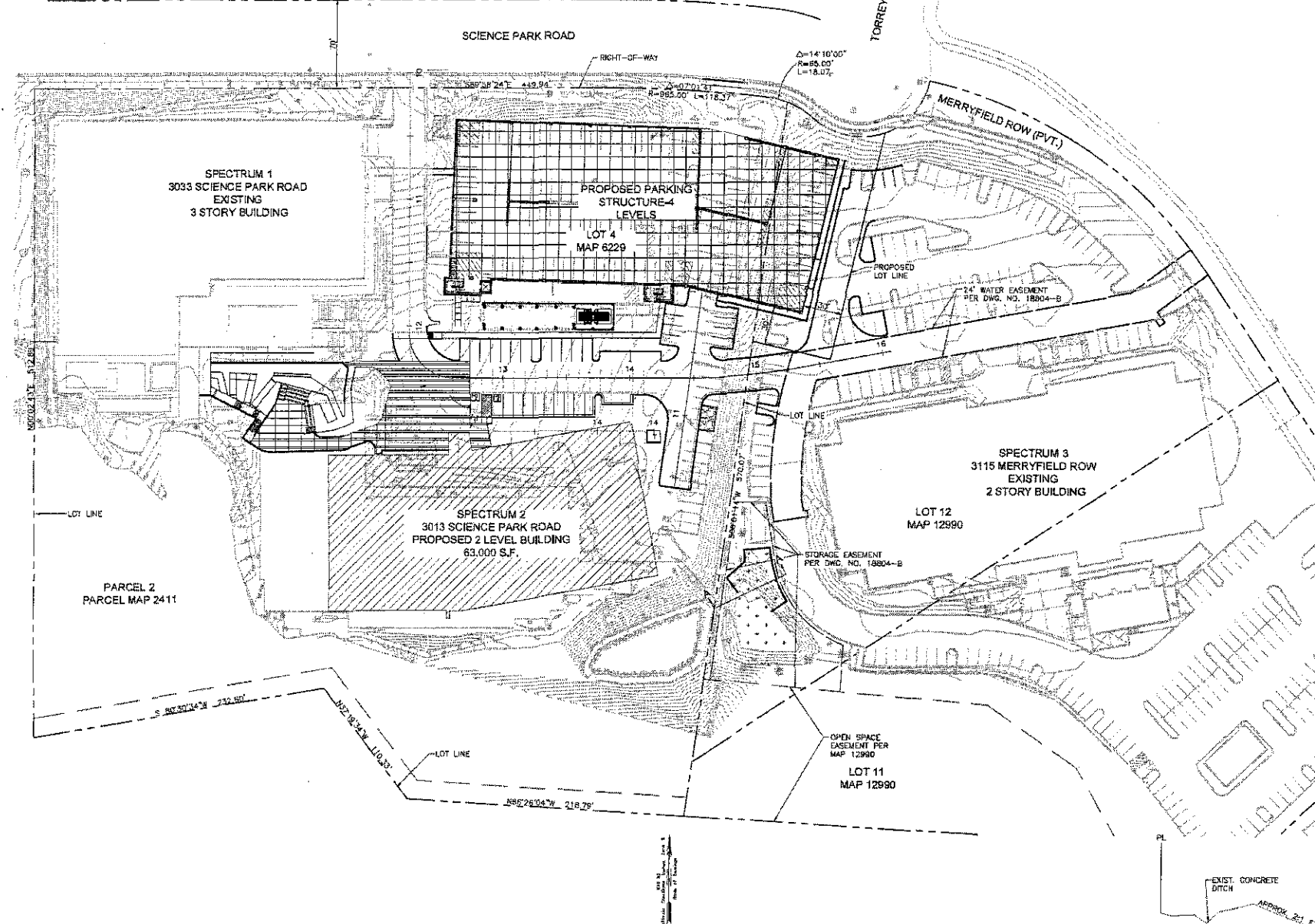
ORGANIC MATTER 2-4 %

FOR MILD TO MODERATE SLOPES AND INSTALLATIONS ANY TIME OF THE YEAR:

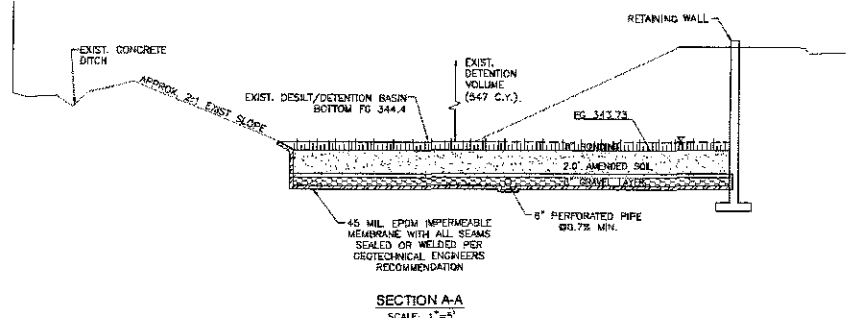
- SLOPE ANGLES 1:1 TO 1:1.5
- SLOPE LENGTH MAXIMUM OF 50 FT. (WITHOUT SLOPE INTERRUPTION DEVICES)
- LOW TO MODERATELY ERODIBLE SOIL TYPES
- FUNCTIONAL LONGEVITY REQUIREMENT OF 1:1 TO 6 MONTHS

PRODUCT RATE

PRODUCT	APPLICATION
PRIMATRIX BFM	2,000 - 3,500 LB/ACRE
HYDROPOST PREMIUM COMPOST	1,000 LB/ACRE
BIOSOL FERTE 7-2-1 ORGANIC FERTILIZER	800 LB/ACRE
AM 120 MYCORRHIZAL INOCULUM	60 LB/ACRE
TRI-C SOLUBLE HUMATE	1 LB/ACRE
SEED MIX AS PRESCRIBED BY S & S SEEDS	



OVERALL SITE SCALE: 1"=40'



SECTION A-A SCALE: 1"=3'

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

RICK ENGINEERING COMPANY
 5620 FRIARS ROAD
 SAN DIEGO, CA 92110
 (619) 291-0707
 FAX (619) 291-4165
 www.rickeng.com



JOHN D. GUDDARD JR. R.C.E. NO. 33037 DATE



3013 - 3033 SCIENCE PARK ROAD & 3115 - 3215 MERRYFIELD ROW SAN DIEGO, CA 92121

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 REVISION 5: _____
 REVISION 4: _____
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 REVISION 2: 11/17/2014
 REVISION 1: 08/28/2014
 ORIGINAL DATE: 08/07/2014

scale: _____
 job no: 16687

DEP. NO. _____

TITLE SHEET

CI SHEET 2 OF 19



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 SAN FRANCISCO, CA 94108.415.477.2710
 J-16867

RICK
 5620 FRIARS ROAD
 SAN DIEGO, CA 92110
 619.291.0707
 (FAX) 619.291.4165



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SCALE:
 JOB NO.: 16667

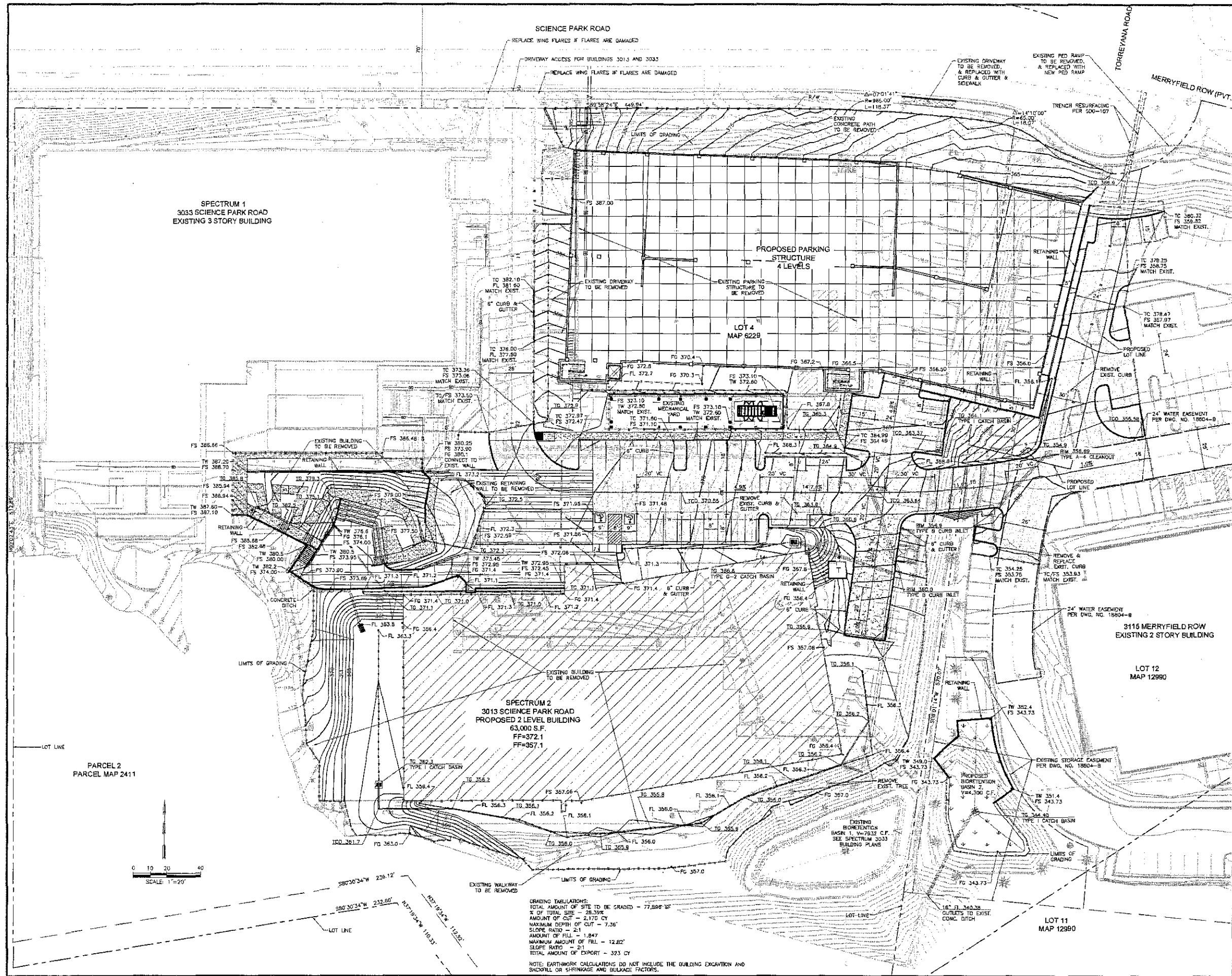
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GRADING PLAN

C2

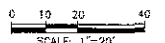
SHEET 3 OF 19

ATTACHMENT 11



GRADING TABULATIONS:
 TOTAL AMOUNT OF SITE TO BE GRADED - 77,898 SF
 % OF TOTAL SITE - 28.39%
 AMOUNT OF CUT - 2,170 CY
 MAXIMUM DEPTH OF CUT - 7.36'
 SLOPE RATIO - 2:1
 AMOUNT OF FILL - 1,847
 MAXIMUM AMOUNT OF FILL - 12.82'
 SLOPE RATIO - 2:1
 TOTAL AMOUNT OF EXPORT - 323 CY

NOTE: EARTHWORK CALCULATIONS DO NOT INCLUDE THE BUILDING EXCAVATION AND BACKFILL OR SHRINKAGE AND BULKAGE FACTORS.





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 550 ELLIS STREET SAN DIEGO, CA 92101 P: 619.865.3950 F: 619.685.4077
 201 FILBERT ST. 3RD FLOOR SAN FRANCISCO, CA 94103 P: 415.477.2700 F: 415.477.2710

RICK 3627 FRIARS ROAD SAN DIEGO, CA 92110 P: 619.291.0707 F: 619.291.0707



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SCALE:	
JOB NO.:	18667

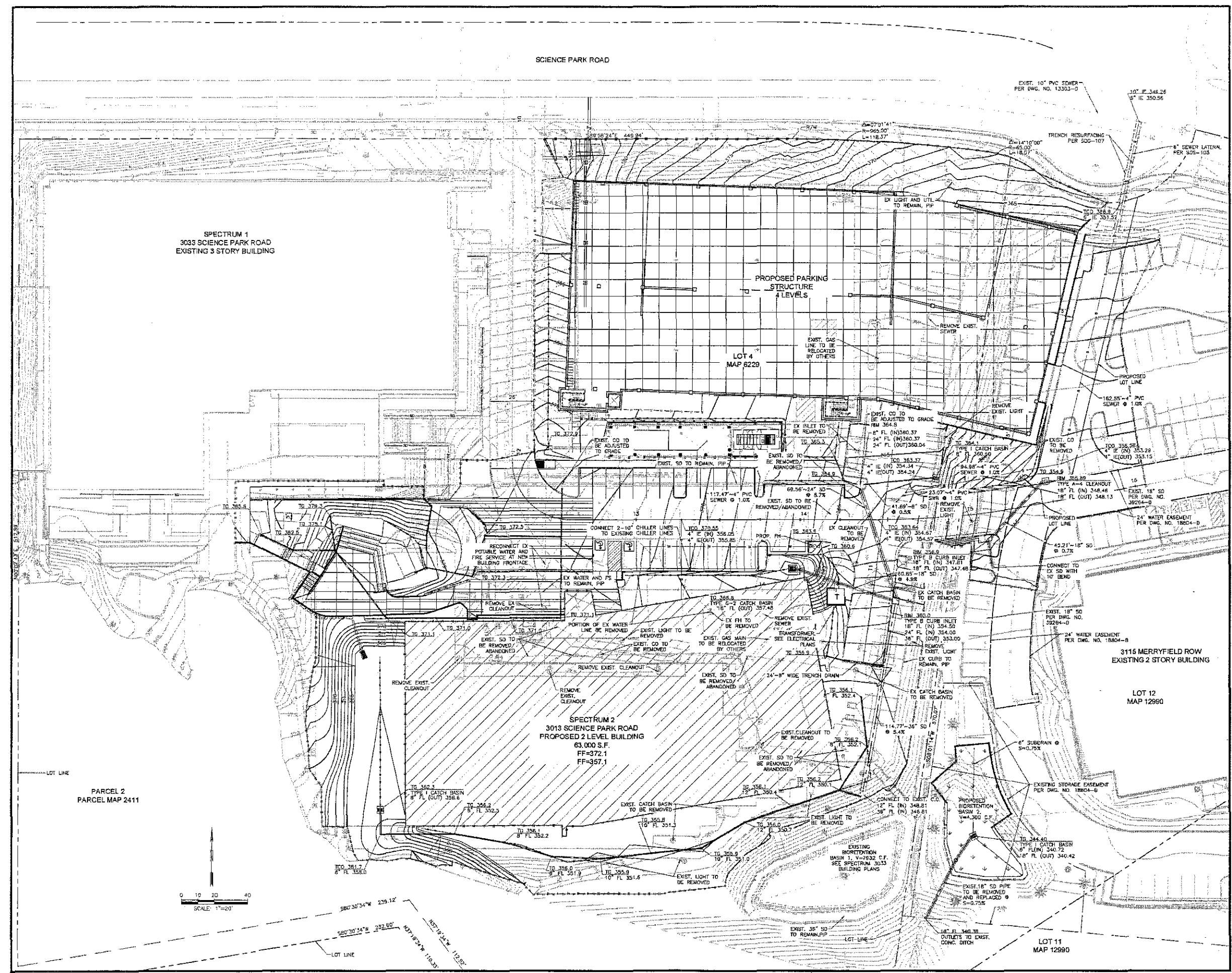
DEP. NO.

UTILITY PLAN

C3

SHEET 4 OF 19

ATTACHMENT 11

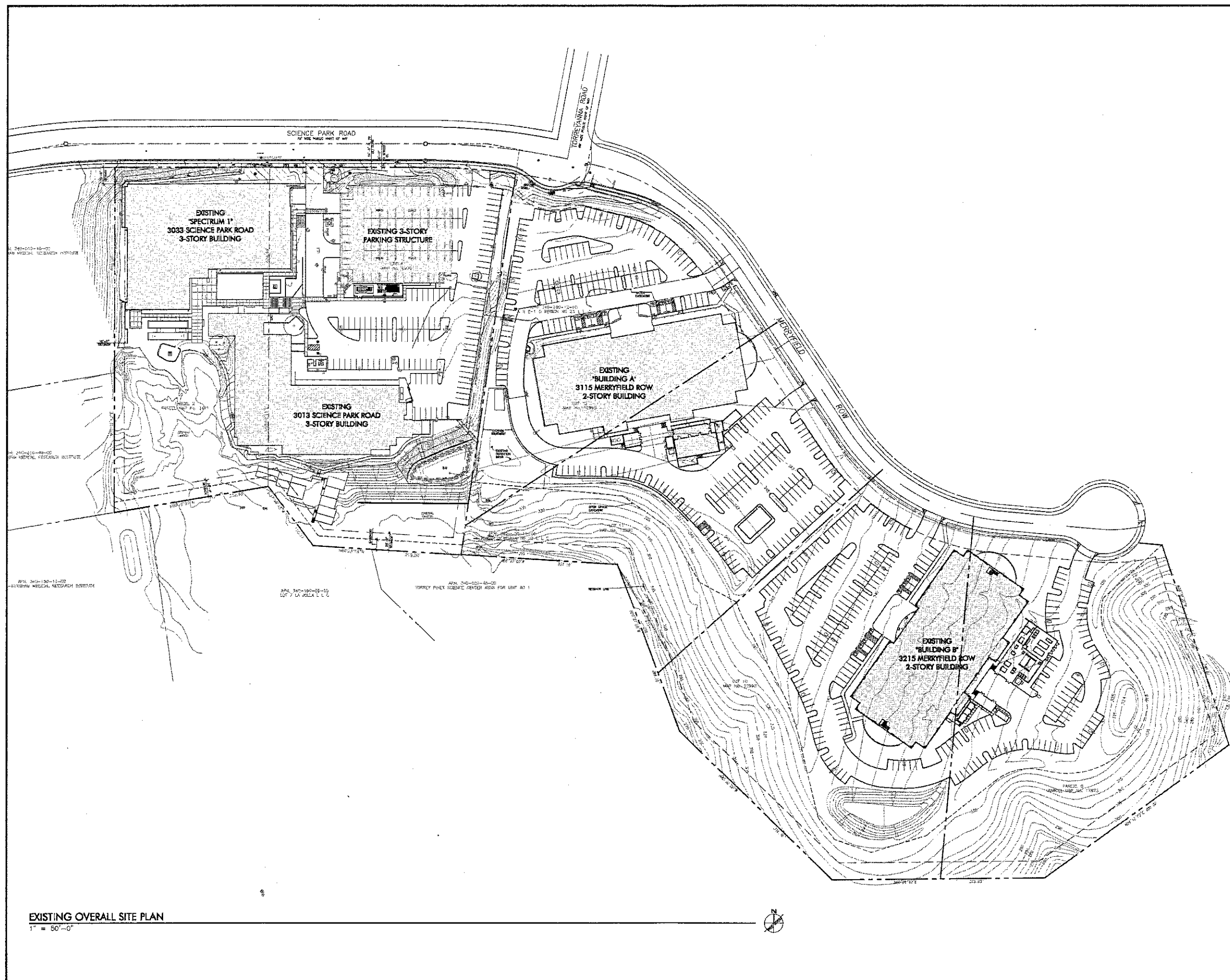


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 201 FILBERT ST., 3RD FLOOR SAN FRANCISCO, CA 94133 415.477.2700 F-415.477.2710



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- REVISION 1: _____ 08/26/2014
- ORIGINAL DATE: _____ 08/07/2014

scale: _____
 job no.: _____ 14171

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EXISTING OVERALL SITE PLAN

A1.0
 SHEET 5 OF 19

EXISTING OVERALL SITE PLAN
 1" = 60'-0"





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F-415.477.2700

BEST MANAGEMENT PRACTICES

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

WATER & SEWER DEVELOPMENT

- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES, ON EACH WATER SERVICE, COASTSIDE, FIRE, & IRRIGATION, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER. DEVICES SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT OF WAY. THIS FELD WILL NOT PERMIT THE REQUIRED DEVICES TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ALL PUBLIC WATER AND SEWER FACILITIES ARE TO BE IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO WATER AND SEWER DESIGN GUIDES.
- ALL PUBLIC WATER AND SEWER FACILITIES ARE TO BE IN ACCORDANCE WITH THE ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO WATER AND SEWER DESIGN GUIDES.
- ALL PROPOSED PRIVATE WATER AND SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND, TO CAP (ABANDON) AT THE PROPERTY LINE ANY EXISTING UNUSED SEWER LATERALS AND INSTALL NEW SEWER LATERALS WHICH MUST BE LOCATED OUTSIDE OF ANY DRIVEWAY OR VEHICULAR USE AREA.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND, TO REMOVE (WALK) AT THE MAIN ANY EXISTING UNUSED WATER SERVICE.

MCAS MIRAMAR CLUP REQUIREMENTS

- NO SUBSTANCES WILL BE RELEASED INTO THE AIR, NOR ELECTROMAGNETIC EMISSIONS, OR LIGHT EMISSIONS THAT WILL AFFECT AIRCRAFT OR GROUND INSTRUMENTATION.
- THE CONSTRUCTION ASSEMBLIES OF THE SHELL BUILDING SHALL BE SUCH THAT THE INDOOR NOISE LEVELS ATTRIBUTABLE TO THE AIRPORT OPERATIONS OF MCAS MIRAMAR SHALL NOT EXCEED THE LEVEL INDICATED IN THE COMPREHENSIVE LAND USE PLAN.

COASTAL HEIGHT REQUIREMENT NOTES

- SEE SHEET A4.1 FOR GRADE ELEVATIONS, BUILDING ELEVATIONS, HIGH POINT OF GRADE, LOW POINT OF GRADE, & SECTION DRAWINGS THAT DEMONSTRATE COMPLIANCE.

ENGINEERING NOTES

- NO DRIVING BASEMENTS.
- SEE SHEET C3 FOR EXISTING & PROPOSED UTILITIES.
- SEE SHEET A4.6 FOR SITE SECTIONS.
- SEE SHEET C2 FOR TOP OF WALL AND BOTTOM OF WALL ELEVATIONS FOR SITE RETAINING WALLS.

SITE LIGHTING NOTES

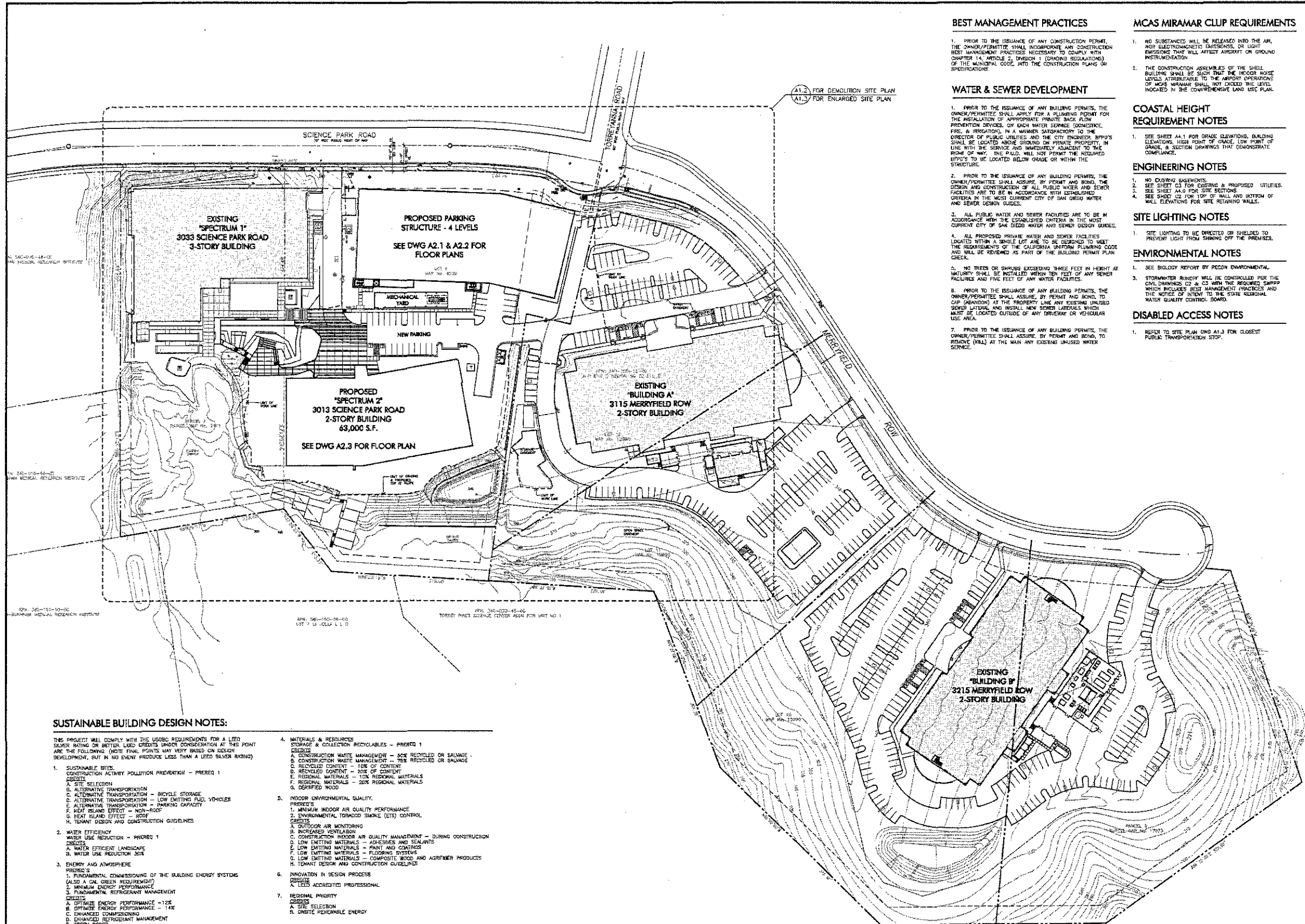
- SITE LIGHTING TO BE DIRECTED OR SHIELDED TO PREVENT LIGHT FROM SHINING OFF THE PREMISES.

ENVIRONMENTAL NOTES

- SEE BIOLOGY REPORT BY REGION ENVIRONMENTAL.
- STORMWATER RUNOFF WILL BE CONTROLLED PER THE CIVIL DRAWINGS C2 & C3 WITH THE REQUIRED SWPPP WHICH INCLUDES BEST MANAGEMENT PRACTICES AND THE NOTICE OF INTENT TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD.

DISABLED ACCESS NOTES

- REFER TO SITE PLAN DWG A1.3 FOR CLOSEST PUBLIC TRANSPORTATION STOP.



SUSTAINABLE BUILDING DESIGN NOTES:

- THIS PROJECT WILL COMPLY WITH THE USGBC REQUIREMENTS FOR A LEED SILVER RATING OR BETTER. LEED CREDITS UNDER CONSIDERATION AT THIS POINT ARE THE FOLLOWING: (NOTE: FINAL POINTS MAY VARY BASED ON DESIGN DEVELOPMENT, BUT IN NO EVENT PRODUCE LESS THAN A LEED SILVER RATING)
- SUSTAINABLE SITES**
CONSTRUCTION ACTIVITY POLLUTION PREVENTION - PREREQ 1
CREDITS:
A. SITE SELECTION
B. ALTERNATIVE TRANSPORTATION - BICYCLE STORAGE
C. ALTERNATIVE TRANSPORTATION - LOW EMITTING FUEL VEHICLES
D. ALTERNATIVE TRANSPORTATION - PARKING CAPACITY
E. HEAT ISLAND EFFECT - ROOF
F. HEAT ISLAND EFFECT - ROOF
G. HEAT ISLAND EFFECT - ROOF
H. TENANT DESIGN AND CONSTRUCTION GUIDELINES
 - WATER EFFICIENCY**
WATER USE REDUCTION - PREREQ 1
CREDITS:
A. WATER EFFICIENT LANDSCAPE
B. WATER USE REDUCTION 50%
 - ENERGY AND ATMOSPHERE**
PREREQ 2
FUNDAMENTAL COMMISSIONING OF THE BUILDING ENERGY SYSTEMS (ALSO A CAL GREEN REQUIREMENT)
2. MINIMUM ENERGY PERFORMANCE
FUNDAMENTAL RETROFIT MANAGEMENT
CREDITS:
A. OPTIMIZE ENERGY PERFORMANCE - 12%
B. OPTIMIZE ENERGY PERFORMANCE - 14%
C. ENHANCED COMMISSIONING
D. ENHANCED RETROFIT MANAGEMENT
E. GREEN POWER
 - MATERIALS & RESOURCES**
STORAGE & COLLECTION RECYCLABLES - PREREQ 1
CREDITS:
A. CONSTRUCTION WASTE MANAGEMENT - 50% RECYCLED OR SALVAGE
B. CONSTRUCTION WASTE MANAGEMENT - 75% RECYCLED OR SALVAGE
C. RECYCLED CONTENT - 10% OF CONTENT
D. RECYCLED CONTENT - 30% OF CONTENT
E. REGIONAL MATERIALS - 10% REGIONAL MATERIALS
F. REGIONAL MATERIALS - 20% REGIONAL MATERIALS
G. DERIVED WOOD
 - INDOOR ENVIRONMENTAL QUALITY**
PREREQ 3
1. MINIMUM INDOOR AIR QUALITY PERFORMANCE
2. ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL
CREDITS:
A. OUTDOOR AIR MONITORING
B. INCREASED VENTILATION
C. CONSTRUCTION INDOOR AIR QUALITY MANAGEMENT - DURING CONSTRUCTION
D. LOW EMITTING MATERIALS - ADHESIVES AND SEALANTS
E. LOW EMITTING MATERIALS - PAINT AND COATINGS
F. LOW EMITTING MATERIALS - FLOORING SYSTEMS
G. LOW EMITTING MATERIALS - COMPOSITE WOOD AND AGRI-FIBER PRODUCTS
H. TENANT DESIGN AND CONSTRUCTION GUIDELINES
 - INNOVATION IN DESIGN PROCESS**
CREDITS:
A. LEED ACCREDITED PROFESSIONAL
 - REGIONAL PRIORITY**
CREDITS:
A. SITE SELECTION
B. SUSTAINABLE ENERGY

PROPOSED OVERALL SITE PLAN
1" = 50'-0"



3013 - 3033 SCIENCE PARK ROAD &
3115 - 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

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REVISION 4:	
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REVISION 2:	11/17/2014
REVISION 1:	08/26/2014
ORIGINAL DATE:	08/07/2014

scale: 1/4" = 1'-0"

job no.: 14171

DEP NO.

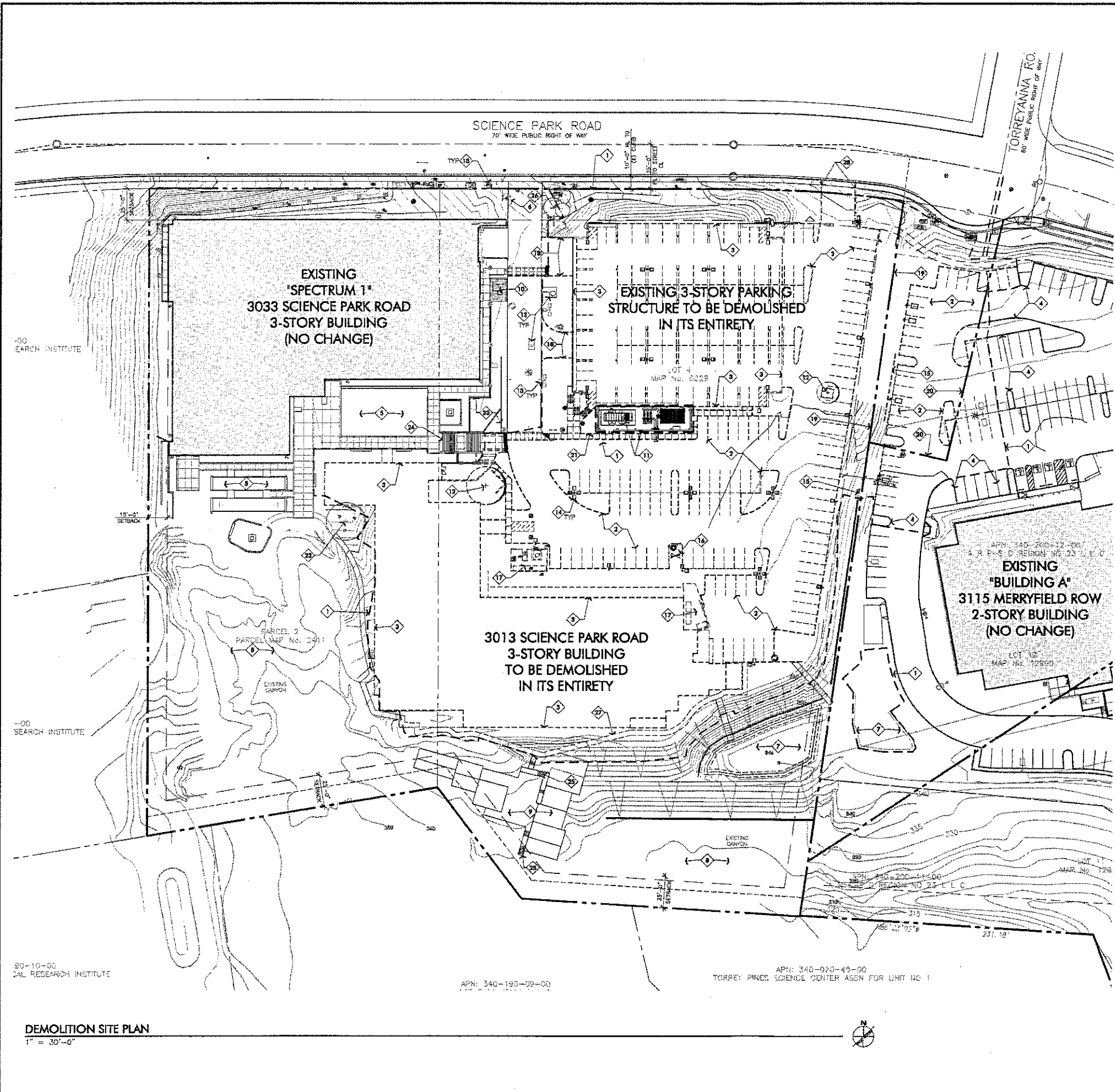
PROPOSED OVERALL SITE PLAN

A1.1
SHEET 6 OF 19



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F-480.943.1670
201 FILBERT ST., 3RD FLOOR
SAN FRANCISCO, CA 94133 415.477.2700
F-415.477.2710



KEYNOTES

- ◇ LIMIT OF WORK LINE
- ◇ EXISTING PARKING LOT PAVEMENT, CURBS, LIGHTING, PLANTING TO BE REMOVED WITHIN THE LIMITS OF WORK.
- ◇ LINE OF EXISTING BUILDING TO BE DEMOLISHED
- ◇ EXISTING CURB & PARKING STALLS TO REMAIN
- ◇ EXISTING PLAZA, NO CHANGE
- ◇ EXISTING FIRE HYDRANT
- ◇ EXISTING BIO RETENTION BASIN TO REMAIN
- ◇ EXISTING CANYON TO REMAIN
- ◇ EXISTING CONCRETE WALLS & ABANDONED PLANTERS (NO CHANGE)
- ◇ EXISTING TRANSFORMER ENCLOSURE & TRELLIS TO REMAIN
- ◇ EXISTING MECHANICAL ENCLOSURE & EQUIPMENT TO REMAIN
- ◇ EXISTING TREE & PLANTER TO BE REMOVED
- ◇ EXISTING SITE UTILITY TO REMAIN
- ◇ EXISTING SITE LIGHTING TO BE REMOVED
- ◇ EXISTING RETAINING WALL TO BE REMOVED
- ◇ EXISTING FIRE HYDRANT TO BE REMOVED
- ◇ EXISTING ENCLOSURE & UTILITIES TO BE REMOVED
- ◇ EXISTING DRIVE & RAMPS TO BE REMOVED/RELOCATED/MODIFIED TO ACCOMMODATE NEW ACCESS TO PROPOSED PARKING STRUCTURE.
- ◇ LINE OF EXISTING PROPERTY LINE TO BE RELOCATED
- ◇ LINE OF PROPOSED PROPERTY LINE ADJUSTMENT
- ◇ EXISTING SIDEWALK TO REMAIN
- ◇ EXISTING TREE TO REMAIN
- ◇ EXISTING SITE WALL TO REMAIN
- ◇ EXISTING SITE STAIRS TO REMAIN
- ◇ EXISTING CONCRETE STAIRS TO REMAIN
- ◇ EXISTING PLANTERS AND SIGNAGE TO BE REMOVED
- ◇ EXISTING PEDESTRIAN PATH TO BE RE-CONFIGURED TO MATCH NEW GRADES
- ◇ EXISTING DRIVEWAY TO BE REMOVED & REPLACED WITH CURB, GUTTER, & SIDEWALK PER CML DWGS.



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REVISION 3:	01/09/2015
REVISION 2:	11/17/2014
REVISION 1:	08/26/2014
ORIGINAL DATE:	08/07/2014

scale: _____
job no.: 14171

DEP NO. _____

DEMOLITION SITE PLAN

A1.2
SHEET 7 OF 19

DEMOLITION SITE PLAN
1" = 30'-0"

20-10-00
2AL RESEARCH INSTITUTE

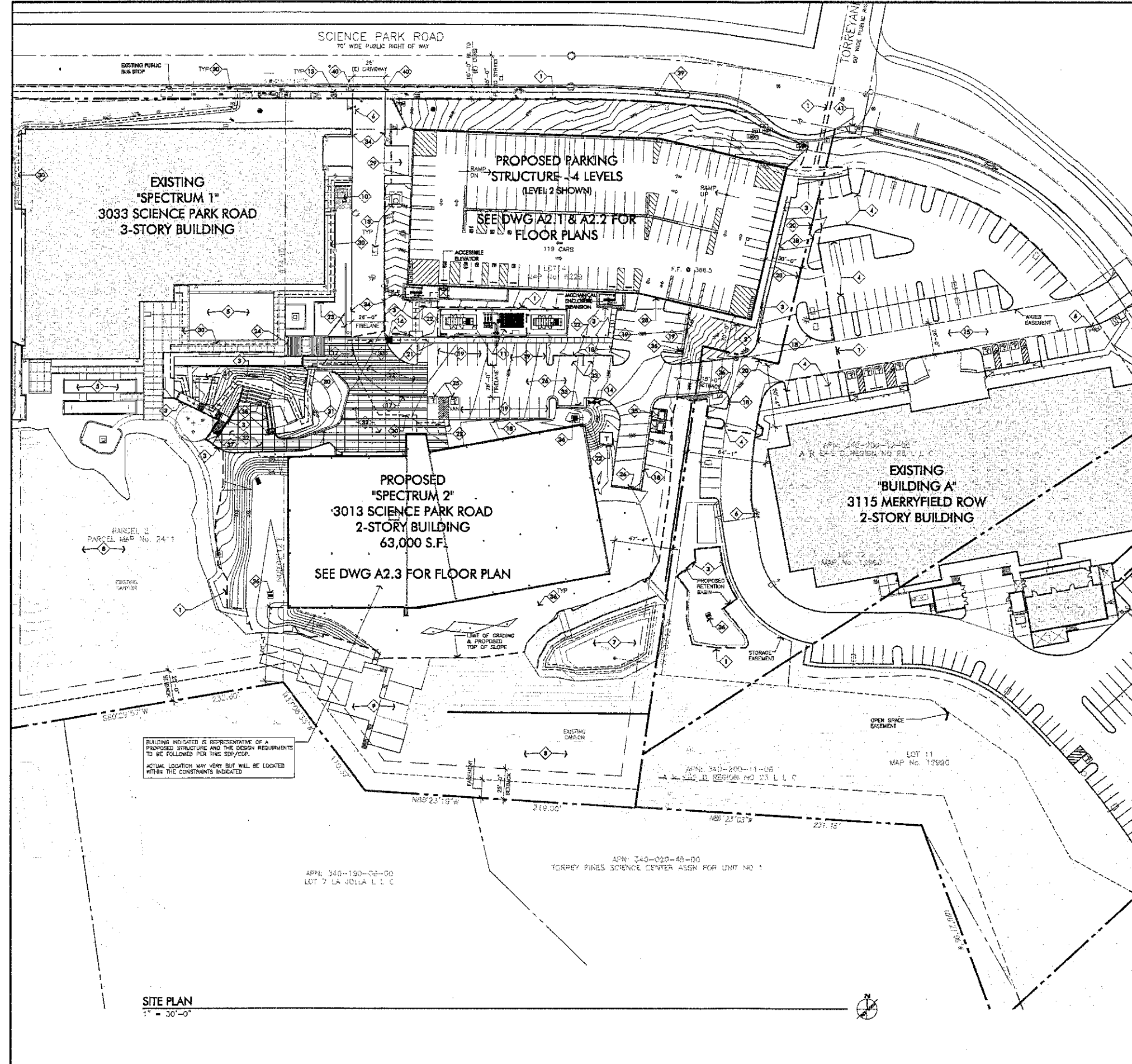
20-00
SEARCH INSTITUTE

20-00
SEARCH INSTITUTE



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 201 FLEISCH ST., 3RD FLOOR 415.477.2796
 SAN FRANCISCO, CA 94133 F-415.477.2710



KEYNOTES

- 1 LIMIT OF WORK LINE. NOTE ONLY PREVIOUSLY DISTURBED SITE AREA WILL BE AFFECTED BY PROPOSED IMPROVEMENTS.
- 2 EXISTING PARKING LOT PAVEMENT, CURBS, LIGHTING, PLANTING TO BE REMOVED WITHIN THE LIMITS OF WORK.
- 3 PROPOSED RETAINING WALL
- 4 EXISTING CURB & PARKING STALLS TO REMAIN
- 5 EXISTING PLAZA, NO CHANGE
- 6 EXISTING FIRE HYDRANT
- 7 EXISTING BRG RETENTION BASIN
- 8 EXISTING CANYON
- 9 EXISTING CONCRETE WALLS & ABANDONED PLANTERS
- 10 EXISTING TRANSFORMER, ENCLOSURE, & TRELIS
- 11 EXISTING MECHANICAL ENCLOSURE & EQUIPMENT TO REMAIN
- 12 PROPOSED TRANSFORMER LOCATION
- 13 EXISTING SITE UTILITY TO REMAIN
- 14 PROPOSED FIRE HYDRANT LOCATION
- 15 EXISTING PAVED DRIVEWAY
- 16 ACCESSIBLE CURB RAMP
- 17 PROPOSED ZERO CURB
- 18 PROPOSED CONCRETE CURB
- 19 PROPOSED SURFACE PARKING STALL, 8'-0" x 18'-0"
- 20 LINE OF PROPOSED PROPERTY LINE ADJUSTMENT
- 21 EXISTING SIDEWALK TO REMAIN
- 22 PROPOSED CONCRETE SIDEWALK
- 23 EXISTING SITE WALL TO REMAIN
- 24 EXISTING SITE STAIRS TO REMAIN
- 25 ACCESSIBLE PARKING STALL
- 26 PROPOSED PAVED DRIVEWAY PER CIVIL
- 27 NOT USED
- 28 PARKING STRUCTURE ENTRY RAMP AT PARKING LEVEL 2
- 29 DRIVEWAY HAMMERHEAD TURNOUT TO FACILITATE BACKING UP ACCESS TO EXISTING SPECTRUM 1 LOADING DOCK
- 30 LINE DENOTES ACCESSIBLE PATH OF TRAVEL
- 31 PROPOSED ACCESSIBLE SITE RAMP
- 32 PROPOSED PLAZA WITH DECORATIVE PAVING
- 33 PROPOSED PARALLEL PARKING STALL, 8'-0" x 24'-0"
- 34 EXISTING PAVED DRIVEWAY AND CURB TO REMAIN
- 35 PROPOSED TRASH & RECYCLING ENCLOSURE
- 36 PROPOSED STORM DRAIN PER CIVIL
- 37 PROPOSED SITE STAIRS
- 38 PROPOSED STEPPED SEAT WALLS
- 39 CURB, GUTTER, & SIDEWALK INFILL PER CIVIL WHERE EXISTING DRIVEWAY HAS BEEN REMOVED
- 40 REPLACE EXISTING DRIVEWAY-SIDEWALK TRANSITIONS TO COMPLY WITH CURRENT CITY OF SAN DIEGO STANDARDS. SEE CIVIL DWGS.
- 41 REPLACE EXISTING CURB RAMP TO COMPLY WITH CURRENT CITY OF SAN DIEGO STANDARD WITH TRUNCATED DOMES. SEE CIVIL DWGS.

BUILDING INDICATED IS REPRESENTATIVE OF A PROPOSED STRUCTURE AND THE DESIGN REQUIREMENTS TO BE FOLLOWED PER THIS SDP/CDP. ACTUAL LOCATION MAY VARY BUT WILL BE LOCATED WITHIN THE CONSTRAINTS INDICATED.

SITE PLAN
 1" = 30'-0"



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SITE PLAN

A1.3
 SHEET 8 OF 19



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F-619.485.4077
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F-650.943.1670
201 FULBERT ST., 3RD FLOOR
SAN FRANCISCO, CA 94133 415.477.2700
F-415.477.2710

KEYNOTES

- ◊ LIMIT OF BORN LINE
- ◊ EXISTING HARDING LEFT PAVEMENT, CURBS, LIGHTING, PLANTING TO BE REMOVED WITHIN THE LIMITS OF WORK.
- ◊ PROPOSED RETAINING WALL
- ◊ EXISTING CURB & PARKING STALLS
- ◊ EXISTING PLAZA, NO CHANGE
- ◊ EXISTING FIRE HYDRANT
- ◊ EXISTING BIO RETENTION BASIN
- ◊ EXISTING CANYON
- ◊ EXISTING CONCRETE BLANKET
- ◊ EXISTING TRANSFORMER, ENCLOSURE & TRELLIS
- ◊ EXISTING MECHANICAL ENCLOSURE & EQUIPMENT TO REMAIN
- ◊ PROPOSED TRANSFORMER LOCATION
- ◊ EXISTING SITE UTILITY TO REMAIN
- ◊ PROPOSED FIRE HYDRANT LOCATION
- ◊ EXISTING PAVED DRIVEWAY
- ◊ ACCESSIBLE CURB RAMP
- ◊ PROPOSED ZERO CURB
- ◊ PROPOSED CONCRETE CURB
- ◊ PROPOSED SIGNFALLS: PARKING STALL 8'-0" x 16'-0"
- ◊ LINE OF PROPOSED PROPERTY LINE ADJUSTMENT
- ◊ EXISTING SIDEWALK TO REMAIN
- ◊ PROPOSED CONCRETE SIDEWALK
- ◊ EXISTING SITE WALL TO REMAIN
- ◊ EXISTING SITE STAKE TO REMAIN
- ◊ ACCESSIBLE PARKING STALL
- ◊ PROPOSED HANDICAPPED DRIVEWAY PARK CURB
- ◊ PARKING STRUCTURE ENTRY RAMP AT PARKING LEVEL 1
- ◊ PARKING STRUCTURE ENTRY RAMP AT PARKING LEVEL 2
- ◊ PARKING STRUCTURE ENTRY RAMP AT PARKING LEVEL 3
- ◊ LINE DENOTES ACCESSIBLE PATH OF TRAVEL
- ◊ PROPOSED ACCESSIBLE SITE RAMP
- ◊ PROPOSED PLAZA WITH DECORATIVE PAVING
- ◊ PROPOSED PARALLEL PARKING STALL 8'-0" x 24'-0"

FIRE DEPARTMENT NOTES

1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. (CFC 031.4)
2. STREET OR ROAD SIGN: TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW DEVELOPMENT ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED COLOR, HEIGHT, WEIGHT, AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. (CFC 032.2)
3. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY FROM ALL SIDES.
4. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNATED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. (CFC 032.2.3)
5. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FIRE DEPARTMENT.
6. POLE AND/OR TOP MOUNTED USE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS ACCESS SIDE OF THE BUILDING.
7. FIRE RES. CLEAR SPACE AROUND HYDRANTS - 4.3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE COUNTERSINKS OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
8. FIRE RES. PHYSICAL PROTECTION - WHERE FIRE HYDRANTS ARE SUSCEPTIBLE TO IMPACT BY A MOTOR VEHICLE, CURBS, POSTS, OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION 02.
9. DEAD END, DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 100 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA OF 1500 SQ. YARDS OR MORE APPROPRIATE. (CFC 032.2.2)
10. SECURITY GATES: WHERE SECURITY GATES ARE INSTALLED THEY SHALL HAVE AN APPROVED SCHEME OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH ALL SPEC. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNATED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.
11. UTILITIES SHALL BE IDENTIFIED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW UNOBSTRUCTED ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, FIRE RES. EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES (ALARM) USED FOR FIRE-FIGHTING PURPOSES. IDENTIFICATION OF BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR SUBJECT THE FUNCTIONING OF ALARM BILLS, HORNES, OR STROBES.
12. CFC 106.4.4 APPROVED DOCUMENTS - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL, AND APPROVED BY THE FIRE DEPARTMENT, SHALL BE MAINTAINED COMPLETELY IN FULL COMPLIANCE WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.



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- REVISION 6: _____
- REVISION 5: _____
- REVISION 4: _____
- REVISION 3: _____
- REVISION 2: _____
- REVISION 1: _____

ORIGINAL DATE: 08/07/2014

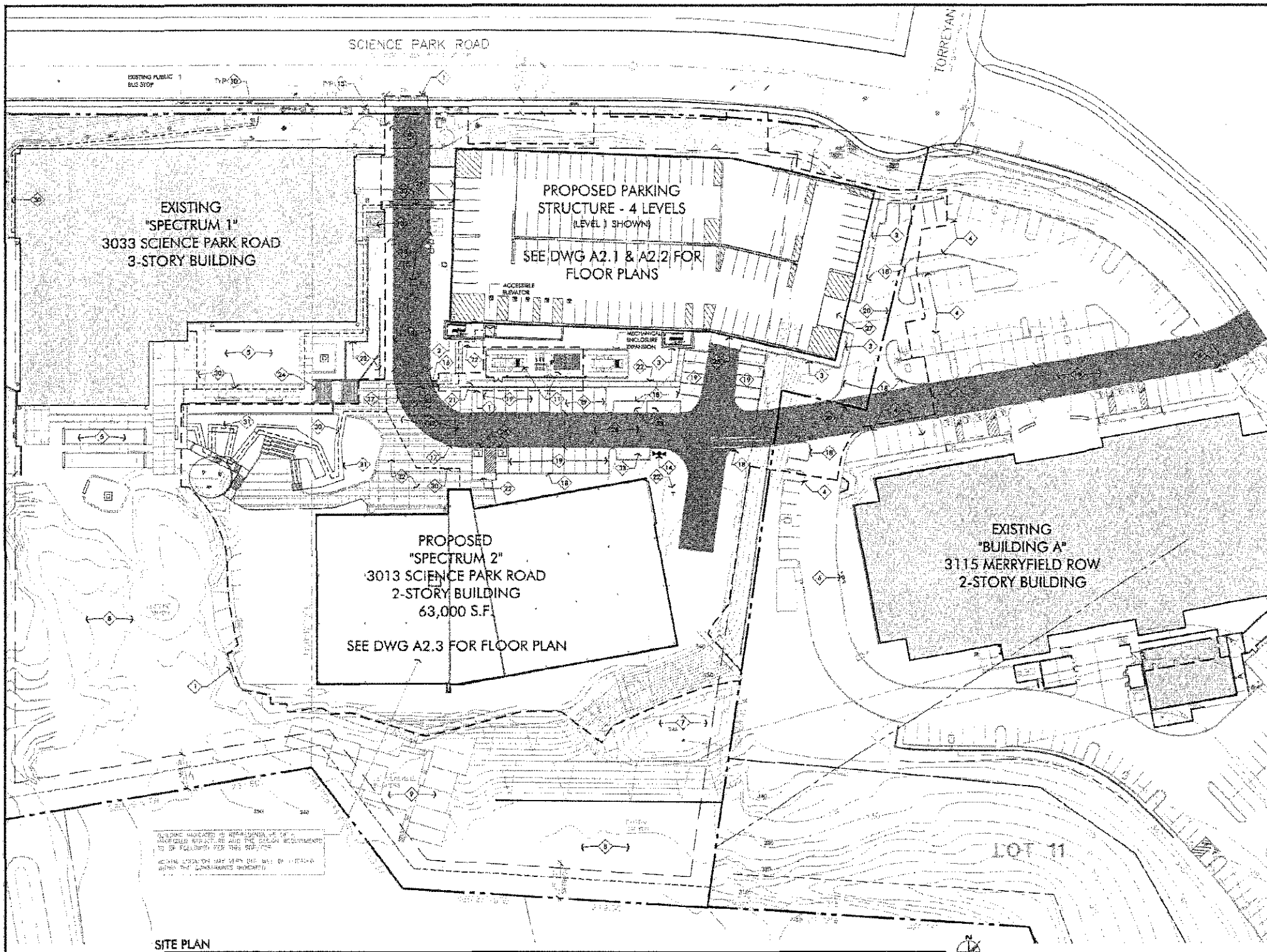
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job no.: 13031

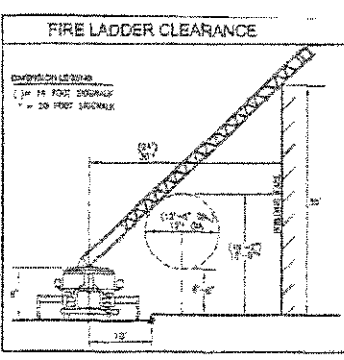
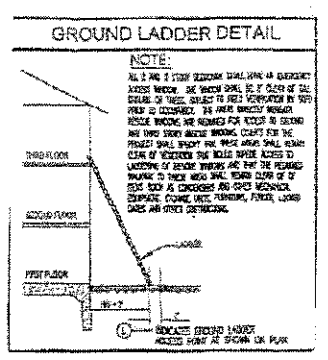
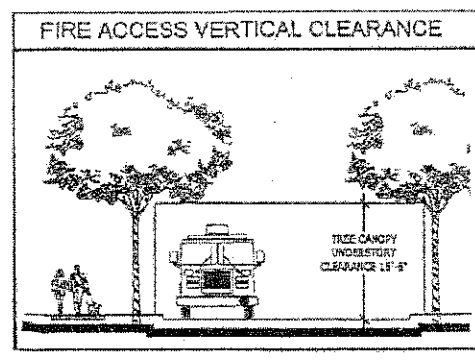
DEP NO. _____

FIRE DEPT. ACCESS PLAN

A1.4



EXISTING HARDING IS TO BE REMOVED AND THE EXISTING SIDEWALKS TO BE REPLACED WITH NEW SIDEWALKS.
EXISTING SIDEWALKS TO REMAIN SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.



FIRE ALARM / EXTINGUISHING SYSTEMS

1. THE FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT AND THE CITY OF SAN DIEGO. THE SYSTEM SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES.

2. THE FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT AND THE CITY OF SAN DIEGO. THE SYSTEM SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES.

FIRE HYDRANTS

1. THE FIRE HYDRANT SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT AND THE CITY OF SAN DIEGO. THE HYDRANT SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES.

2. THE FIRE HYDRANT SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DEPARTMENT AND THE CITY OF SAN DIEGO. THE HYDRANT SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES.

STATEMENT

I, the undersigned, certify that the information provided in this document is true and correct to the best of my knowledge and belief. I understand that any false or misleading information provided in this document may result in the revocation of any permits or approvals issued by the City of San Diego.

San Diego Fire-Rescue Department
Fire Prevention & Inspection
Permit Systems Team
Date: 08/07/2014

Signature: _____
Title: _____
Phone: _____
Fax: _____
Email: _____

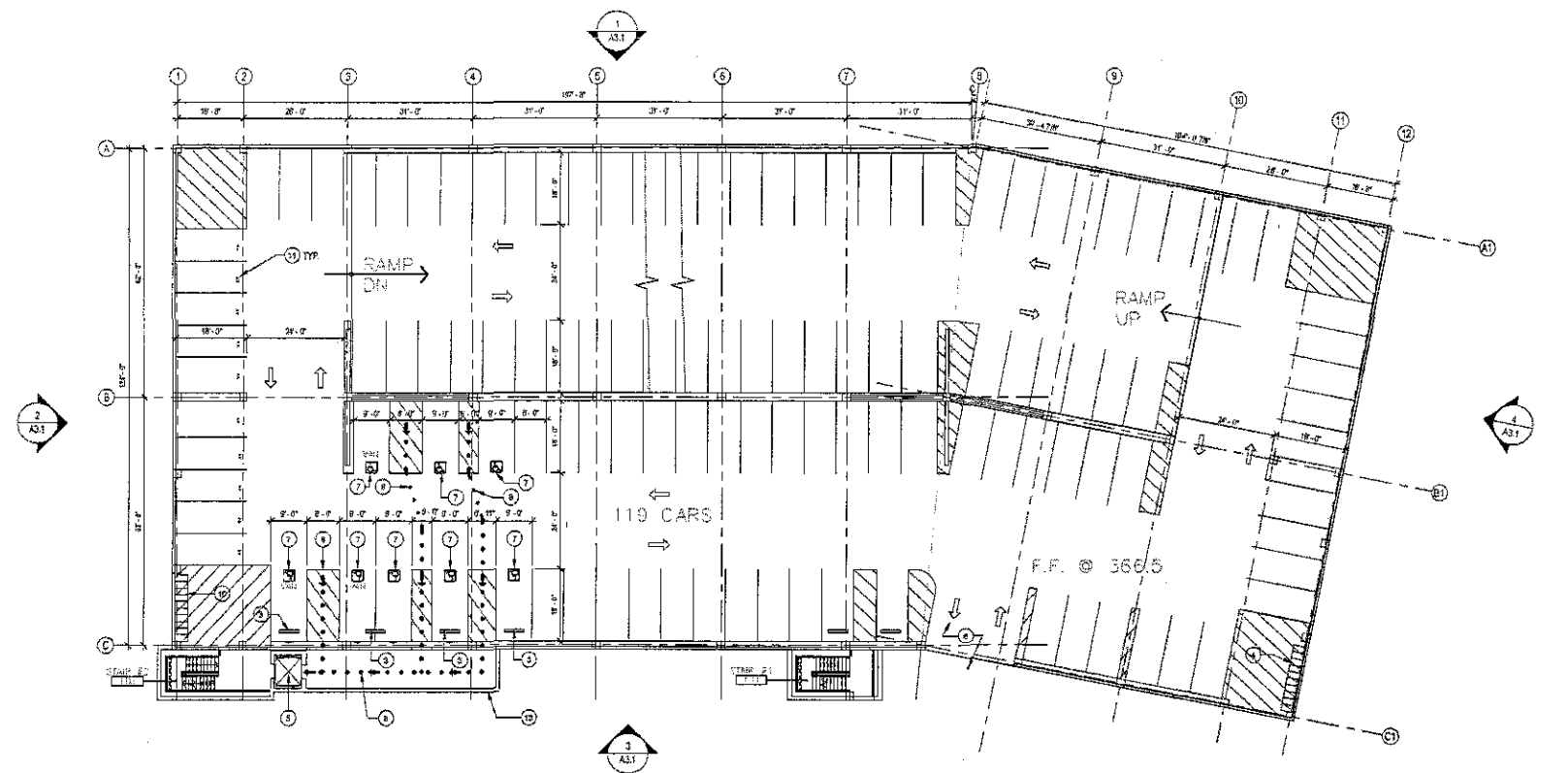


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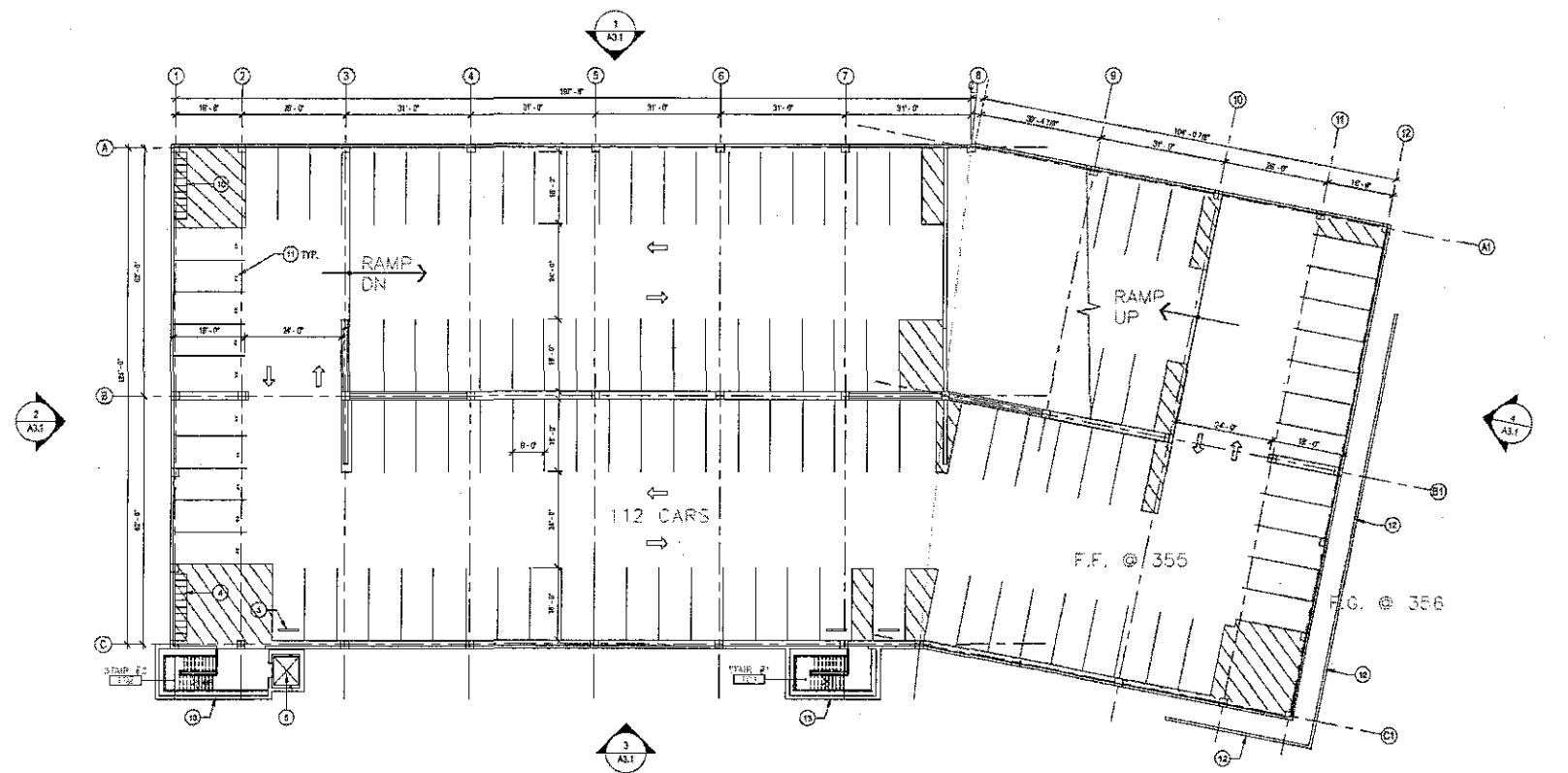
443 WEST ASH STREET 916 685 2900
 SAN DIEGO, CA 92101 F-619 885 4077
 550 ELLIS STREET 650 943 1660
 MOUNTAIN VIEW, CA 94043 F-950 949 1670
 201 FILBERT ST., 3RD FLOOR 415 477 2700
 SAN FRANCISCO, CA 94133 F-415 477 2710

KEYNOTES

- 1 TREE PLANTERS
- 2 LIGHT POLE LOCATIONS
- 3 WHEEL STOPS
- 4 MOTORCYCLE CORRAL PARKING & LOCKERS
- 5 ACCESSIBLE ELEVATOR
- 6 PARKING RAMP PER SITE PLAN
- 7 ACCESSIBLE PARKING STALL
- 8 ACCESSIBLE PATH OF TRAVEL
- 9 SHORT-TERM BICYCLE STORAGE
- 10 LONG-TERM BICYCLE STORAGE
- 11 CARPOOL / ZERO EMISSION PARKING STALL DESIGNATION ("Z")
- 12 TERRACED LANDSCAPE RETAINING WALL
- 13 RETAINING WALL



2 LEVEL 2 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



1 LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



SPECTRUM
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ORIGINAL DATE:	08-07-2014
scale:	1/16" = 1'-0"
job no.:	13051

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PARKING STRUCTURE
 FLOOR PLANS

A2.1

SHEET 10 OF 19



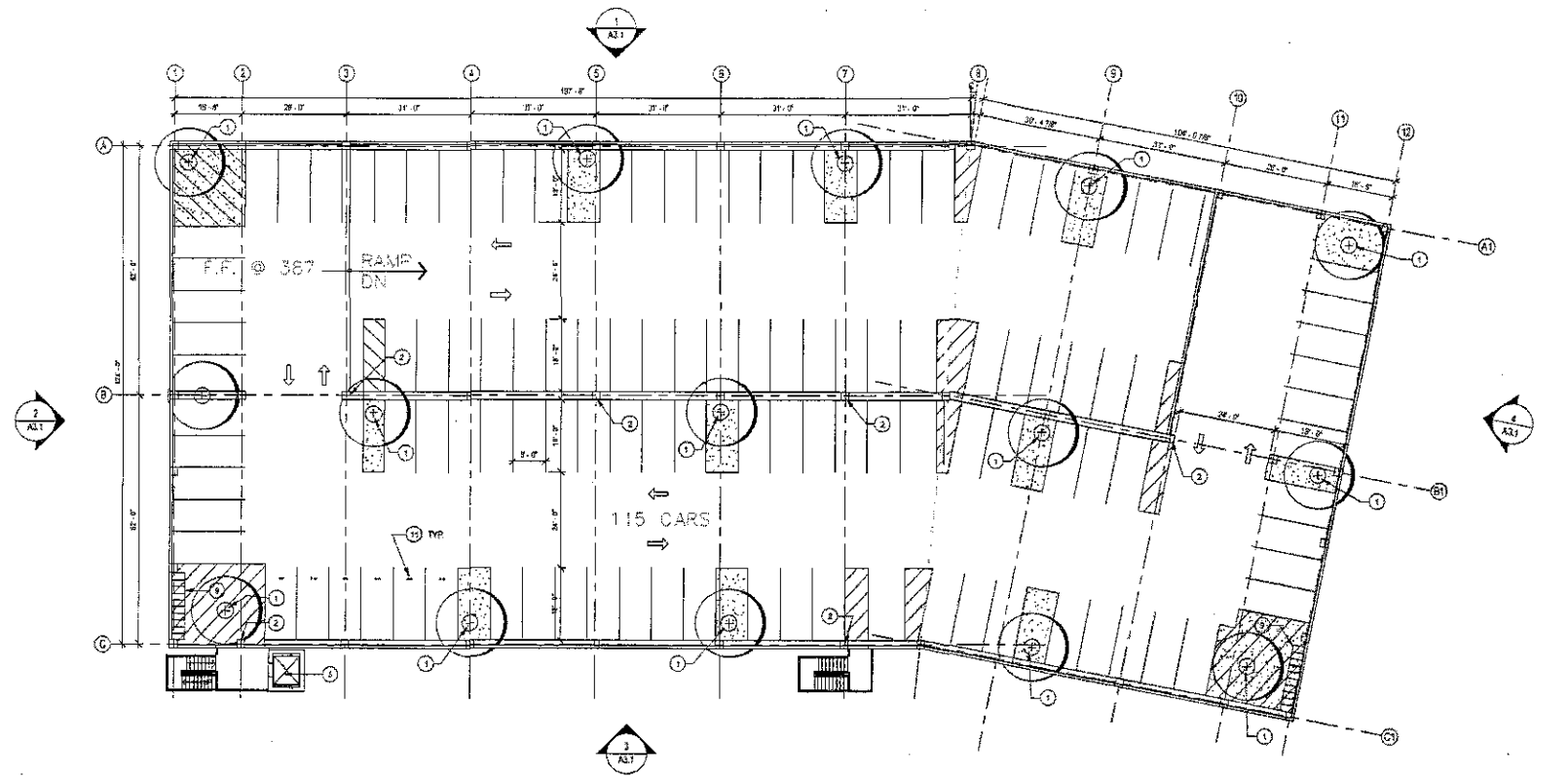
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 SAN DIEGO, CA 92101 F-619.685.4077
 530 ELLIS STREET 650.943.1670
 MOUNTAIN VIEW, CA 94043 F-650.943.1670
 201 FILBERT ST., 3RD FLOOR 415.477.2700
 SAN FRANCISCO, CA 94133 F-415.477.2710

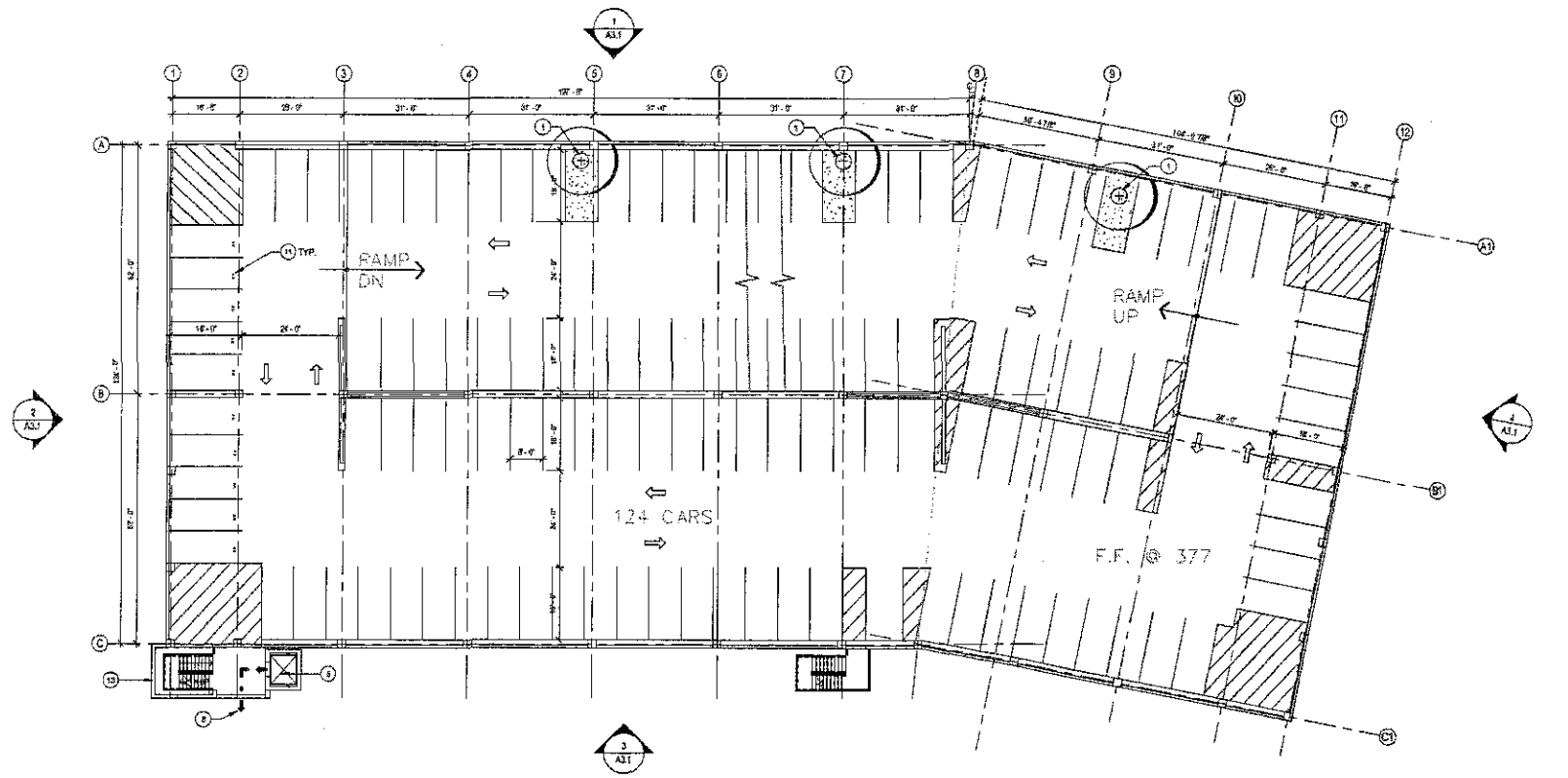
KEYNOTES

- ① TREE PLANTERS
- ② LIGHT POLE LOCATIONS
- ③ WHEEL STOPS
- ④ MOTORCYCLE GENERAL PARKING & LOCKERS
- ⑤ ACCESSIBLE ELEVATOR
- ⑥ PARKING RAMP. REFER TO SITE PLAN
- ⑦ ACCESSIBLE PARKING STALL
- ⑧ ACCESSIBLE PATH OF TRAVEL
- ⑨ SHORT-TERM BICYCLE STORAGE
- ⑩ LONG-TERM BICYCLE STORAGE
- ⑪ CARPOOL / ZERO EMISSION PARKING STALL DESIGNATION (")
- ⑫ TERRACED LANDSCAPE RETAINING WALL
- ⑬ RETAINING WALL

NOTE
 SHADE STRUCTURES MAY BE USED AT UPPER LEVEL OF PARKING STRUCTURE AS AN OPTION TO PROVIDING POTTED TREES



② LEVEL 4 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



① LEVEL 3 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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ORIGINAL DATE:	08-27-2014
scale:	1/16" = 1'-0"
Job no.:	13031

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PARKING STRUCTURE FLOOR PLANS

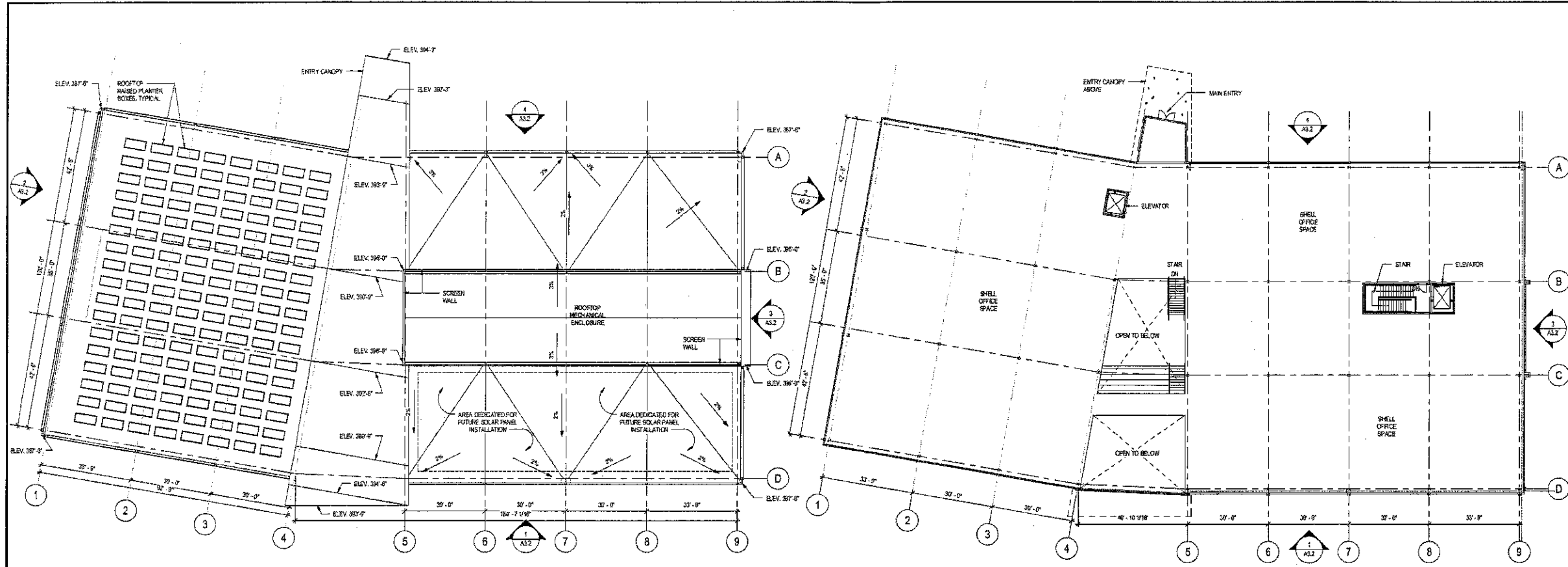
A2.2

SHEET 11 OF 19



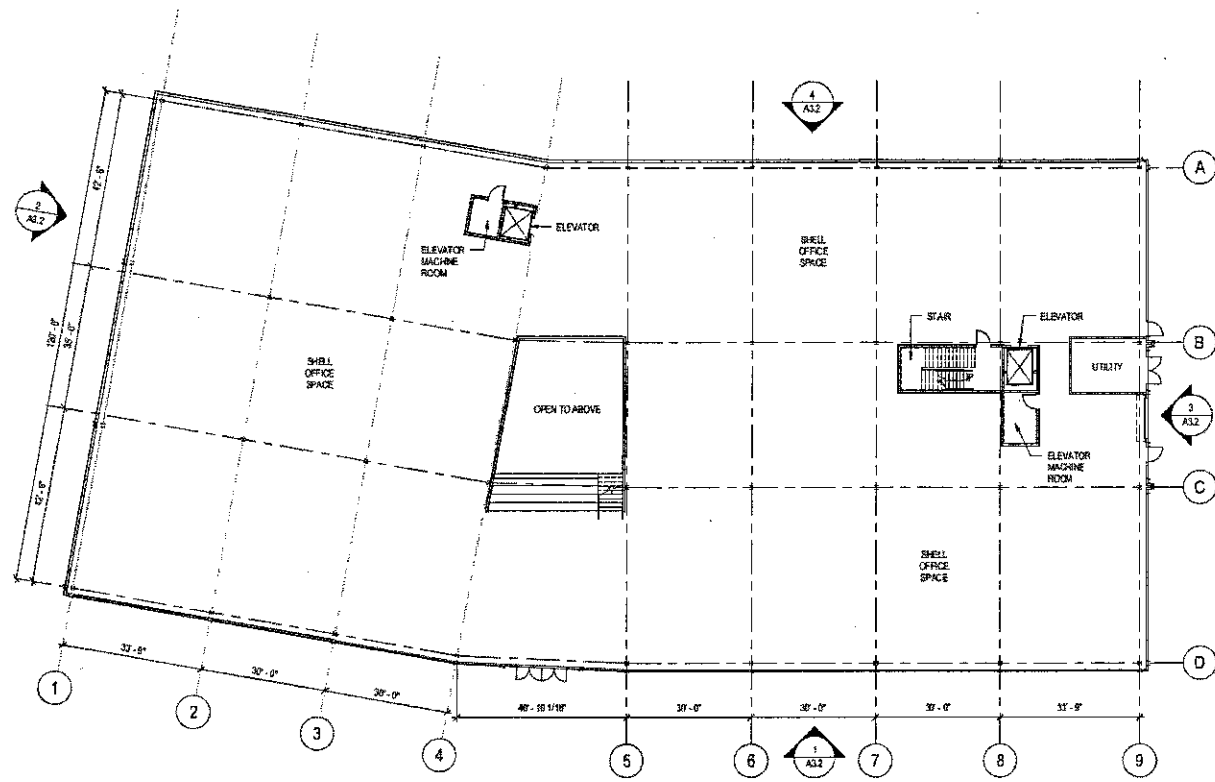
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 150 MOUNTAIN VIEW, CA 94043 P-650.943.1960
 201 FILBERT ST., 3RD FLOOR SAN FRANCISCO, CA 94113 P-415.477.2790
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3 SHELL BUILDING ROOF PLAN
SCALE: 1/8" = 1'-0"

2 SHELL BUILDING LEVEL 2 FLOOR PLAN (ENTRY LEVEL)
SCALE: 1/8" = 1'-0"



1 SHELL BUILDING LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



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ORIGINAL DATE:	04-07-2014
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job no.:	Project Number

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SHELL BUILDING
 CONCEPTUAL FLOOR PLANS

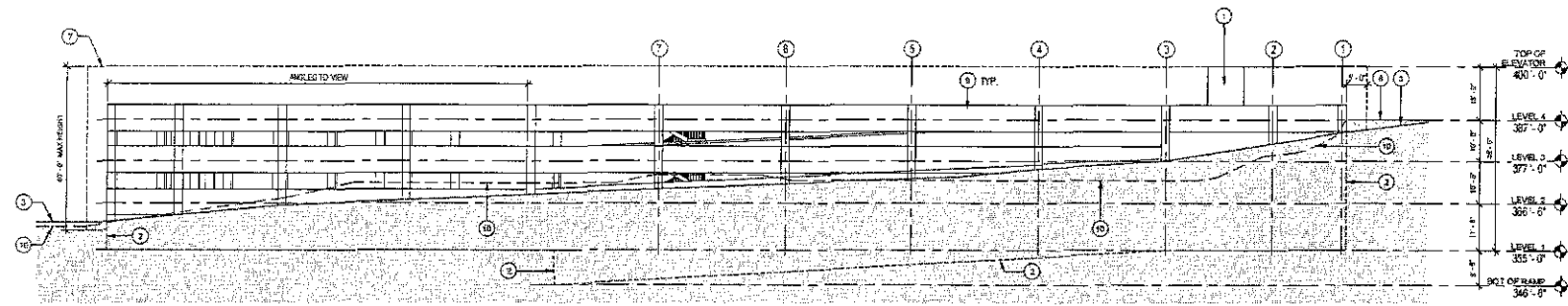
A23

SHEET 12 OF 19

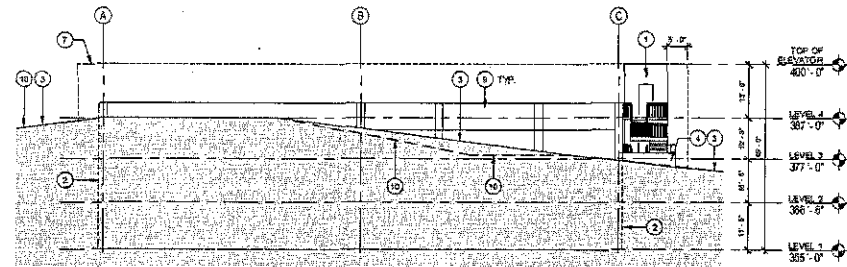


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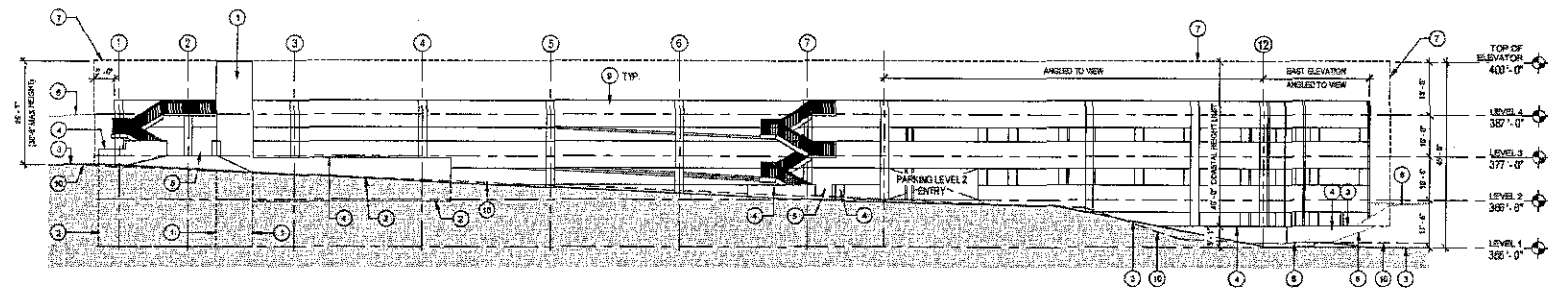
445 WEST ASH STREET SAN DIEGO, CA 92101 F-619.685.3590
 550 ELLIS STREET MOUNTAIN VIEW, CA 04043 F-660.843.1660
 201 FILBERT ST., 3RD FLOOR SAN FRANCISCO, CA 94133 F-415.477.2700



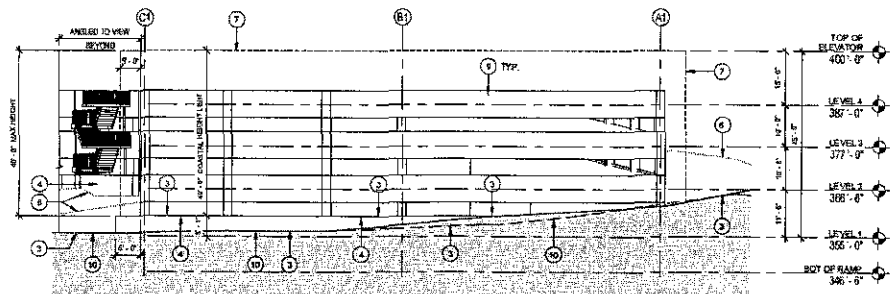
1 CONCEPTUAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 CONCEPTUAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 CONCEPTUAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 CONCEPTUAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- BUILDING SIGNAGE SHALL COMPLY WITH THE DEVELOPMENT REGULATIONS IN CHAPTER 14, ARTICLE 2, DIVISION 12.
- SEE SHEET A4.1 FOR COASTAL HEIGHT LIMITATION COMPLIANCE WITH PROPOSITION D.

ELEVATION KEYNOTES

- 1 ELEVATOR TOWER
- 2 LINE OF BASEMENT BELOW GRADE
- 3 APPROXIMATE LINE OF NEW GRADE
- 4 PROPOSED RETAINING WALL
- 5 PEDESTRIAN ENTRY
- 6 APPROXIMATE LINE OF GRADE BEYOND
- 7 COASTAL HEIGHT LIMIT ENVELOPE. SEE SHEET A4.1
- 8 --NOT USED--
- 9 PAINTED CONCRETE FINISH
- 10 APPROXIMATE LINE OF EXISTING GRADE (SHOWN DASHED)

NOTE: MATERIALS LISTED ABOVE ARE CONCEPTUAL, ACTUAL MATERIALS VARY.



SPECTRUM

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ORIGINAL DATE:	08/26/2014

scale: As indicated

job no.: 13031

DEP NO. _____

PARKING STRUCTURE
 EXTERIOR ELEVATIONS

A3.1



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 550 ELLIS STREET 850.943.1960
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 201 FILBERT ST., 3RD FLOOR 415.477.2700
 SAN FRANCISCO, CA 94133 F-415.477.2710

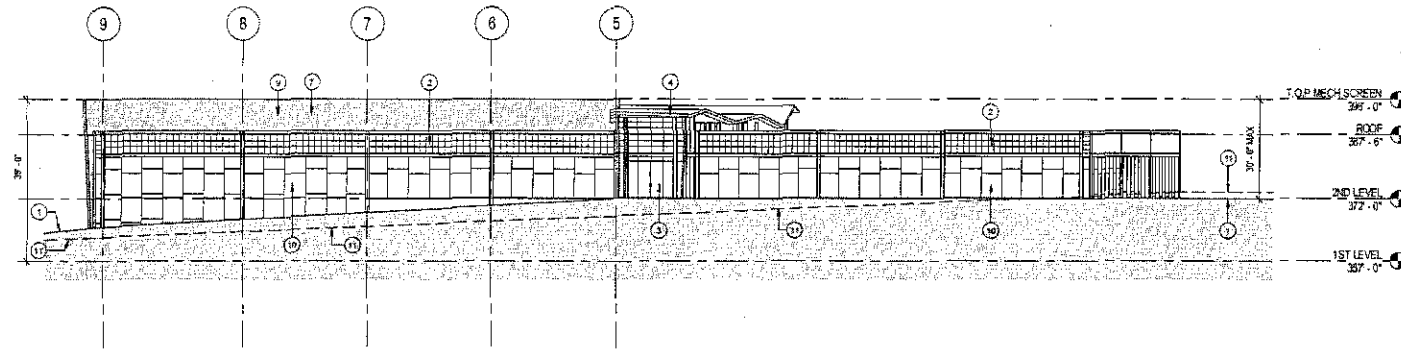
GENERAL NOTES

1. BUILDING SEPARATE SHALL COMPLY WITH THE DEVELOPMENT REGULATIONS IN CHAPTER 14, ARTICLES 2, 2.03 AND 2.04.
2. SEE SHEET A4.1 FOR COASTAL HEIGHT LIMITATION COMPLIANCE TO PROMONTORY.

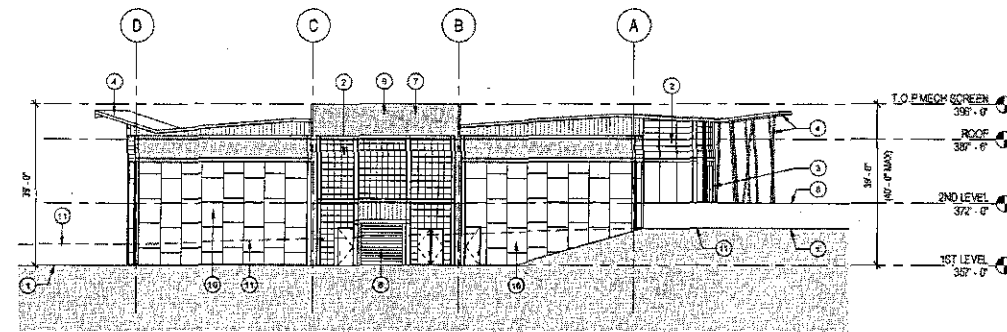
ELEVATION KEYNOTES

1. APPROXIMATE LINE OF NEW GRADE
2. CURTAINWALL SYSTEM OR METAL PANEL SYSTEM
3. ENTRY
4. CANOPY WITH STEEL COLUMNS
5. ROOF TOP RAISED PLANTERS
6. ROLL-UP DOOR
7. PRESSED METAL FINISH
8. APPROXIMATE LINE OF GRADE BEYOND
9. ROOF TOP MECHANICAL ENCLOSURE SCREEN
10. GLASS CURTAINWALL SYSTEM
11. APPROXIMATE LINE OF EXISTING GRADE (SHOWN DASHED)
12. 1-HOUR WALL CONSTRUCTION WITH FIRE RATED TEMPERED GLASS AT SOUTH AND WEST FACADES, TYPICAL

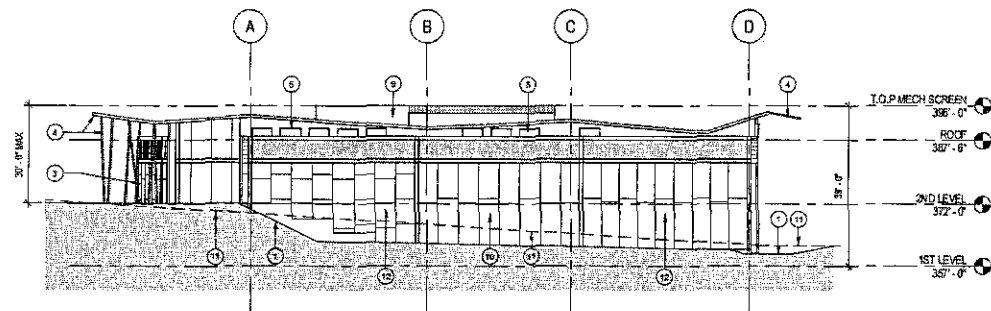
NOTE: MATERIALS LISTED ABOVE ARE CONCEPTUAL, ACTUAL MATERIALS VARY.



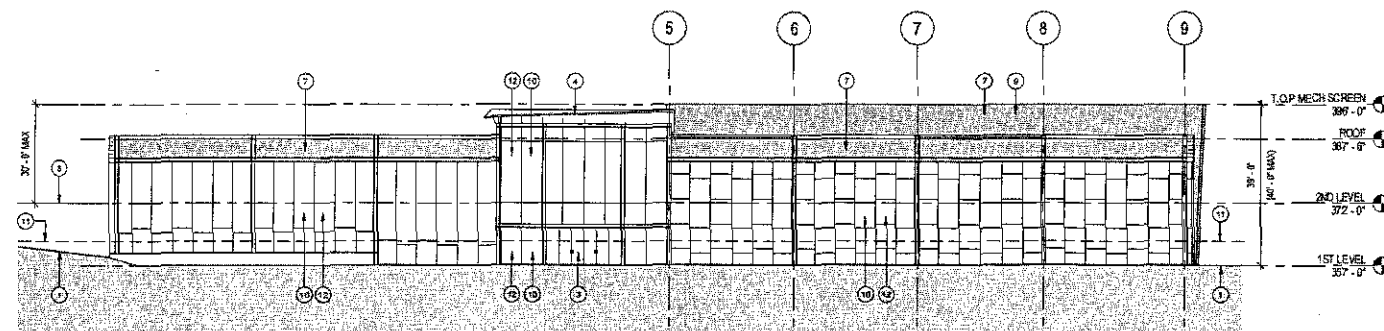
4 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



SPECTRUM

3013 - 3033 SCIENCE PARK ROAD &
 3115 - 3216 MERRYFIELD ROW
 SAN DIEGO, CA 92121

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REVISION 8:	
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REVISION 3:	01/09/2015
REVISION 2:	11/17/2014
REVISION 1:	08/28/2014
ORIGINAL DATE:	08-07-2014
scale:	1/16" = 1'-0"
job no.:	Project Number

DEP NO.

SHELL BUILDING
 CONCEPTUAL ELEVATIONS

A3.2

SHEET 14 OF 19

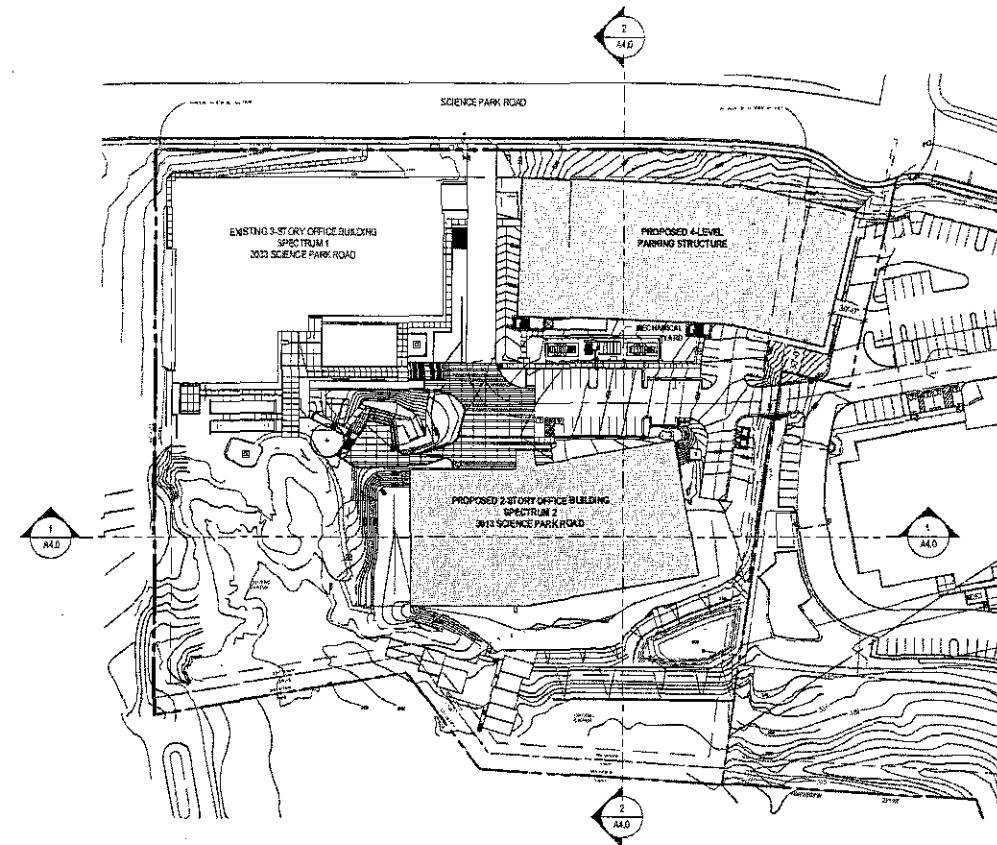


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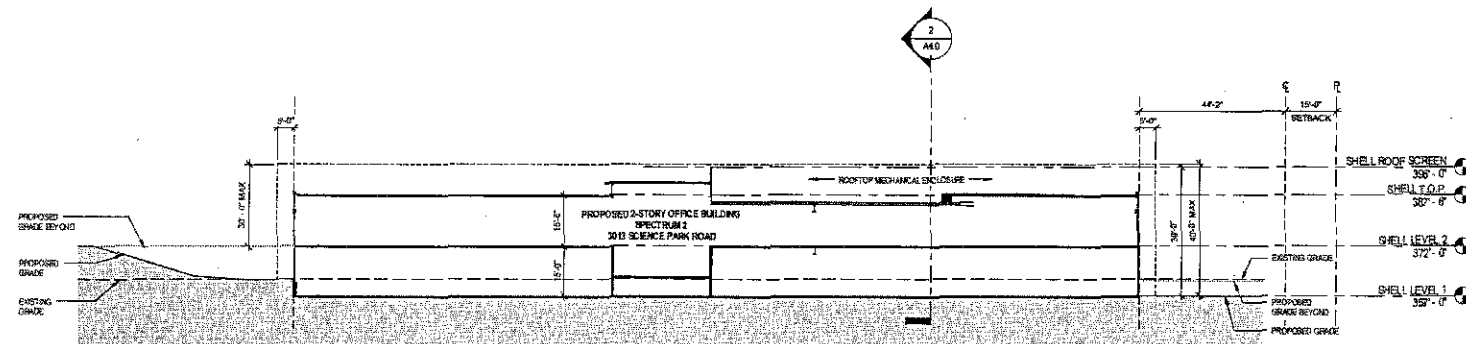
GENERAL NOTES

1. BUILDING HEIGHT SHALL COMPLY WITH THE DEVELOPMENT REGULATIONS IN CHAPTER 14, ARTICLE 2, DIVISION 12.
2. SEE SHEET A41 FOR COASTAL HEIGHT LIMITATION COMPLIANCE TO PROPOSITION D.

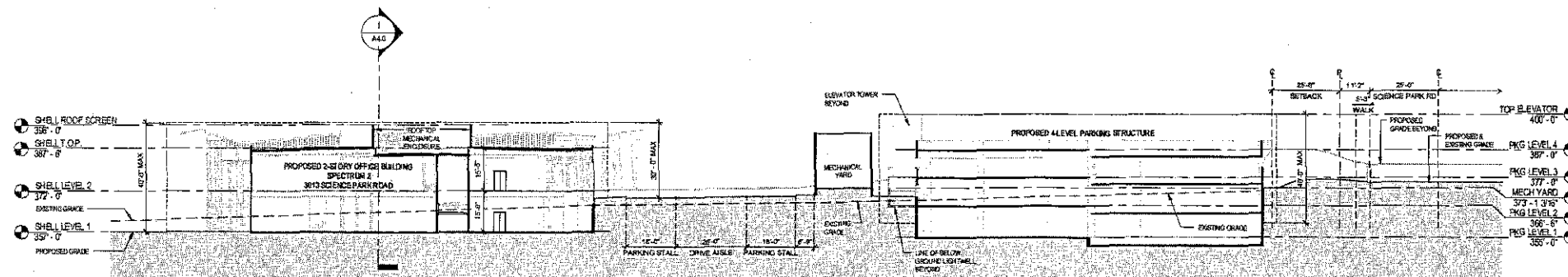


CONCEPTUAL SITE KEY PLAN

(BUILDING INDICATED IN THIS LOCATION FOR ILLUSTRATION PURPOSES. ACTUAL BUILDING LOCATION MAY VARY BUT WILL CONFORM WITH REQUIREMENTS ILLUSTRATED BELOW)



1 CONCEPTUAL SITE SECTION
SCALE: 1" = 20'-0"



2 CONCEPTUAL SITE SECTION
SCALE: 1" = 20'-0"



SPECTRUM

3013 - 3030 SCIENCE PARK ROAD &
 3115 - 3215 MERRYFIELD ROW
 SAN DIEGO, CA 92121

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REVISION 3:	01/09/2016
REVISION 2:	11/17/2014
REVISION 1:	08/28/2014
ORIGINAL DATE:	06-07-2014

Scale: As Indicated

Job no.: 150-15

DEP NO.:

SITE SECTIONS

A4.0

SHEET 15 OF 19

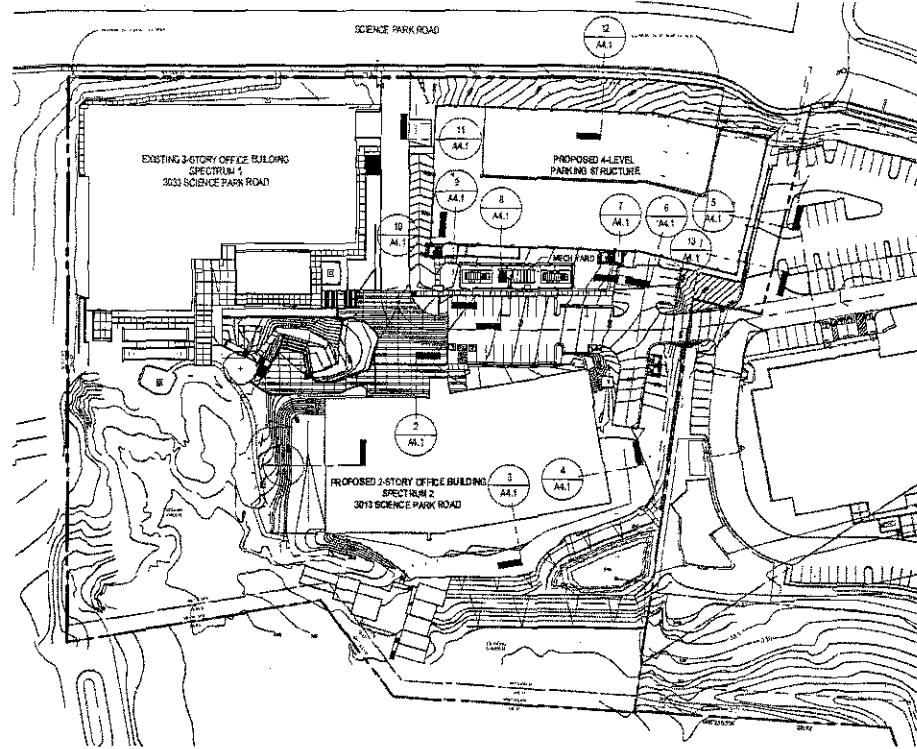


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810.886.5590
F-619.585.4077

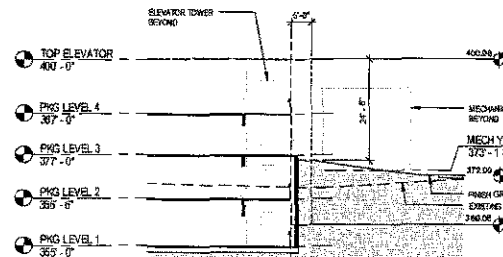
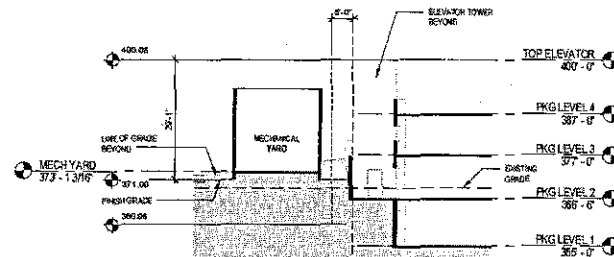
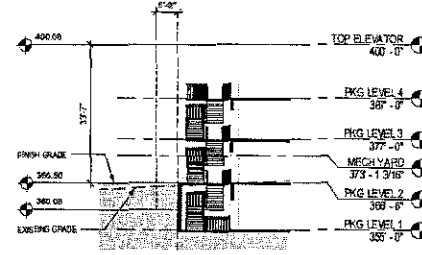
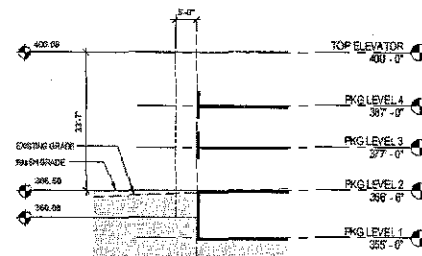
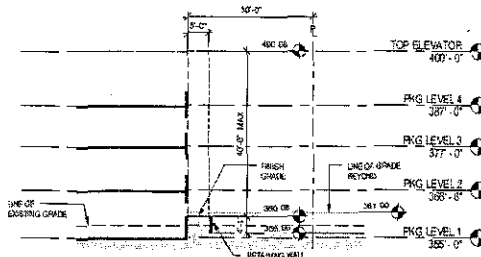
550 ELLIS STREET
MOUNTAIN VIEW, CA 94043
950.543.1560
F-560.943.1870

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SAN FRANCISCO, CA 94133
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F-415.477.2710



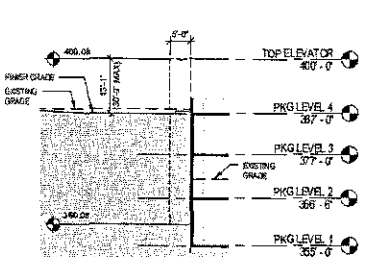
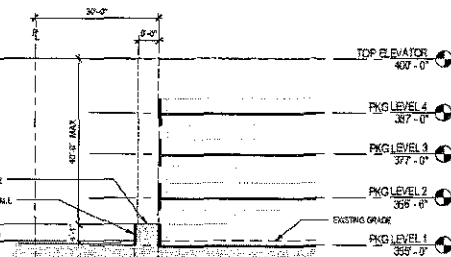
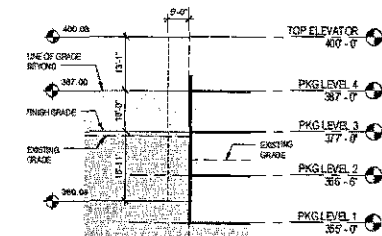
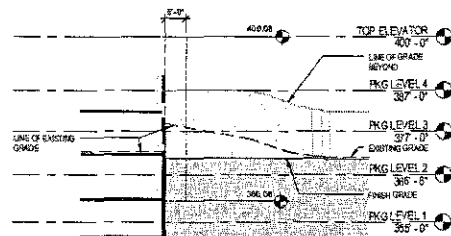
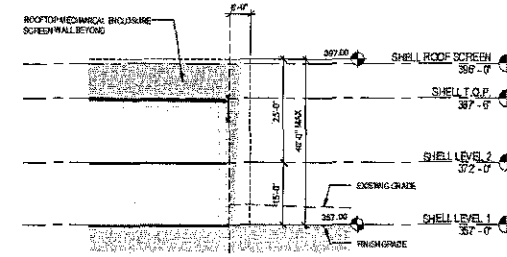
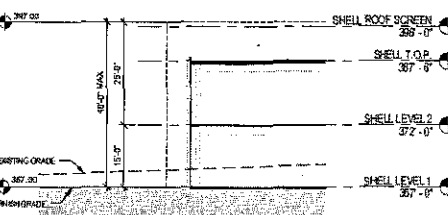
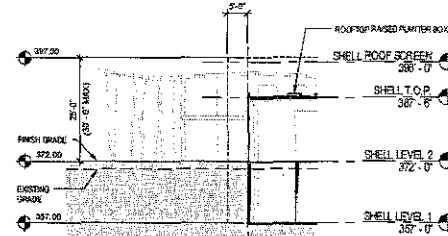
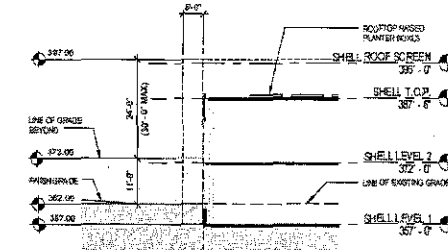
COASTAL HEIGHT EXHIBIT SITE KEY PLAN

(BUILDING INDICATED IN THIS LOCATION FOR ILLUSTRATION PURPOSES. ACTUAL BUILDING LOCATION MAY VARY BUT WILL CONFORM WITH REQUIREMENTS ILLUSTRATED BELOW)



COASTAL HEIGHT COMPLIANCE NOTES

1. CONCEPTUALLY THE HIGHEST POINT OF THE BUILDING IS THE ROOF PLUMBER INCLUDING ANY EQUIPMENT, VENTS, PIPES, ANTENNAS OR OTHER PROJECTIONS.
2. GRADE HAS BEEN DERIVED PER CITY OF SAN DIEGO BUILDING DEPARTMENT 21 AND 2.2.
3. DATUM OF GRADE FOR THE DETERMINATION OF PROPOSED COMPLIANCE: PROPOSED PARKING STRUCTURE: 307'-0" PROPOSED 2013 SHELL BUILDING: 307'-0"
4. THIS PROJECT COMPLIES WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT STRUCTURE NOT TO EXCEED 30 FEET BEYOND SECTION 12.002 AND 11.320(1). PROJECT EQUIPMENT, VENTS, PIPES, ANTENNAS OR OTHER PROJECTIONS SHALL NOT EXCEED 30 FEET ABOVE GRADE.



SPECTRUM

3013 - 3033 SCIENCE PARK ROAD &
3116 - 3215 MERRYFIELD ROW
SAN DIEGO, CA 92121

SDP / CDP SUBMITTAL

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REVISION 5:	
REVISION 4:	
REVISION 3:	01/09/2015
REVISION 2:	11/17/2014
REVISION 1:	08/26/2014
ORIGINAL DATE:	02/07/2014
SCALE:	As Indicated
JOB NO.:	11031

DEP NO.

COASTAL HEIGHT COMPLIANCE

A4.1

SHEET 18 OF 19



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 550 ELLIS STREET SAN DIEGO, CA 92101 P-619.548.1860 F-619.548.1870
 201 RIBBIT ST., 3RD FLOOR SAN FRANCISCO, CA 94133 P-415.477.2700 F-415.477.2710



30' x 30' - SCIENCE PARK ROAD
 30' x 30' - 3033 SCIENCE PARK ROAD
 30' x 30' - 3033 SCIENCE PARK ROAD
 30' x 30' - 3033 SCIENCE PARK ROAD

REVISION 8: _____
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 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: _____
 REVISION 3: 01/06/2015
 REVISION 2: 11/17/2014
 REVISION 1: 08/26/2014
 ORIGINAL DATE: 08/07/2014

scale: _____
 job no.: _____

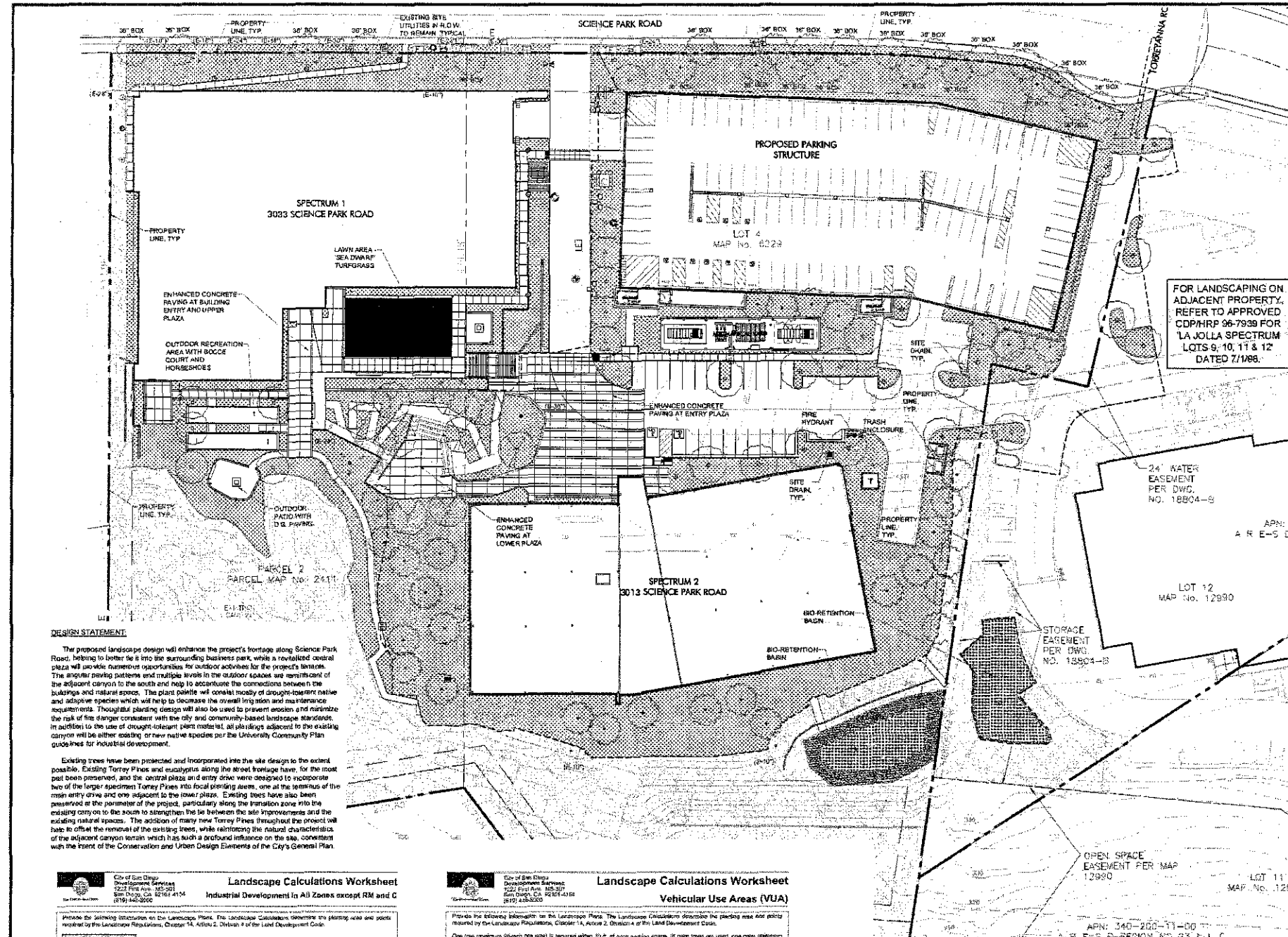
DEP NO. _____

LANDSCAPE DEVELOPMENT PLAN

L-101

SHEET 17 OF 19

ATTACHMENT 11



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING	WATER USE	QTY.
(Symbol)	PERCIDIUM DESERT MUSEUM	DESERT MUSEUM PALO VERDE	36" BOX	LOW (0.1-0.3)	9
(Symbol)	FINUS TORREYANA	TORREY PINE	24" BOX	LOW (0.1-0.3)	30
(Symbol)	ARBUTUS X MARINA	MARINA STRAWBERRY TREE	36" BOX	MOD. (0.4-0.6)	5
(Symbol)	OLEA EUROPEA SWAN HILL	FRUITLESS OLIVE	48" BOX	LOW (0.1-0.3)	9
(Symbol)	RHUS LANCEA	AFRICAN BUMAC	24" BOX	LOW (0.1-0.3)	21
(Symbol)	FINUS TORREYANA	TORREY PINE	36" BOX	LOW (0.1-0.3)	23

SHRUBS AND GROUNDCOVERS

ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA	1 GAL. / 5' O.C.	LOW (0.1-0.3)
AGAVE ATTENUATA 'NOVA'	BLUE FOXTAIL AGAVE	15 GAL. / 30" O.C.	LOW (0.1-0.3)
ANGONANTHOS RUSH BLAZE	RUSH BLAZE KANGAROO PAW	5 GAL. / 24" O.C.	LOW (0.1-0.3)
BOUGHVILLEA 'SINGAPORE WHITE'	BOUGHVILLEA	5 GAL. / 30" O.C.	LOW (0.1-0.3)
CALLISTEMON LITTLE JOHN	BOTTLEBRUSH	5 GAL. / 30" O.C.	LOW (0.1-0.3)
CAREX DIVARSA	BERKELEY SEDGE	1 GAL. / 24" O.C.	MOD. (0.4-0.6)
CELANOTHUS GRISBUS 'HORIZONTALS'	CARMEL CRISPER	1 GAL. / 30" O.C.	LOW (0.1-0.3)
COPROSMAX VERBII	NON	5 GAL. / 36" O.C.	LOW (0.1-0.3)
DIANELLA T. 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL. / 24" O.C.	MOD. (0.4-0.6)
DIANELLA T. 'YELLOW STRIPE'	YELLOW STRIPE FLAX LILY	5 GAL. / 24" O.C.	MOD. (0.4-0.6)
FESTUCA MARIEI	ATLAS FESCUE	1 GAL. / 24" O.C.	LOW (0.1-0.3)
LANTANA 'NEW GOLD'	YELLOW HYBRID LANTANA	36" O.C.	(0.1-0.3)
MISCANTHUS S. 'MORNING LIGHT'	SEVER GRASS	5 GAL. / 36" O.C.	LOW (0.1-0.3)
MISLEMBERGIA ARGENS	DEER GRASS	1 GAL. / 36" O.C.	LOW (0.1-0.3)
PITTOSPORIUM TENIFOLIUM 'SILVER SWEET'	SEVER SHEEN	15 GAL. / 36" O.C.	MOD. (0.4-0.6)
RHAMNUS C. 'MOUND SAN BRONCO'	COFFEEBERRY	5 GAL. / 36" O.C.	LOW (0.1-0.3)
ROSMARINUS O. 'HUNTINGTON CARPET'	FLATS CARPET ROSEMARY	12" O.C.	LOW (0.1-0.3)
SENECIO MANDALSCAE	BLUE CHALK STICKS	4" POT/5'	LOW (0.1-0.3)
TRAPESANTIA P. 'PURPLE HEART'	PURPLE HEART	8 GAL. / 16" O.C.	MOD. (0.4-0.6)
WESTRINGIA F. 'MORNING LIGHT'	COAST ROSEMARY	5 GAL. / 36" O.C.	LOW (0.1-0.3)
'SEA SWAMP' TURFGRASS	DWARF PASPALUM	300	MOD. (0.4-0.6)

TOTAL LANDSCAPE AREA = 79,261 S.F.
 TOTAL LAWN / TURF AREA = 2,384 S.F. (3% OF TOTAL LANDSCAPE AREA)

EXISTING TREE LEGEND

(Symbol)	FINUS TORREYANA / TORREY PINE
(Symbol)	EUCALYPTUS SPP. / EUCALYPTUS
(Symbol)	MELALEUCA QUINCUNGERVIA / PAPERBARK TREE

NOTE: TREES MARKED WITH AN (D) ARE EXISTING TREES TO BE PROTECTED IN PLACE. TREES MARKED WITH AN (R) ARE EXISTING TREES TO BE REMOVED FROM SITE. THE NUMBER NEXT TO THE (E) OR (R) IS THE CALIPER OF THE TREE MEASURED AT BREAST HEIGHT.

EXISTING SHRUBS, VINES AND GROUNDCOVERS

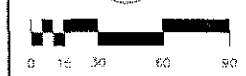
IRRIGATION NOTE: ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A PERMANENT, AUTOMATIC, BELOW-GRADE IRRIGATION SYSTEM, EXCEPT FOR LANDSCAPE AREAS WITHIN BRUSH MANAGEMENT ZONE 2 WHICH WILL BE IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM. ALL REQUIRED IRRIGATION SYSTEMS SHALL MEET THE REQUIREMENTS OF THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS, SECTION 142.0405C.

REVEGETATION NOTE: ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED PER THE REQUIREMENTS OF THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS, SECTION 142.0411 AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.

LANDSCAPE MAINTENANCE NOTE: LONG TERM MAINTENANCE OF THE PROPERTY'S LANDSCAPE WILL BE PROVIDED BY THE OWNER.

STREET TREE CALCULATION:

TOTAL STREET FRONTAGE	= 678 L.F.
STREET TREES REQUIRED AT 1 TREE PER 30 L.F.	= 23
STREET TREES PROVIDED	= 23



DESIGN STATEMENT

The proposed landscape design will enhance the project's heritage along Science Park Road, helping to better tie it into the surrounding business park, while a revitalized central plaza will provide numerous opportunities for outdoor activities for the project's tenants. The angular paving patterns and multiple levels in the outdoor spaces are reminiscent of the adjacent canyon to the south and help to accentuate the connections between the buildings and natural spaces. The plant palette will consist mostly of drought-tolerant native and adaptive species which will help to decrease the overall irrigation and maintenance requirements. Thoughtful planting design will also be used to prevent erosion and minimize the risk of fire danger consistent with the city and community-based landscape standards. In addition to the use of drought-tolerant plant material, all plantings adjacent to the existing canyon will be either existing or new native species per the University Community Plan guidelines for industrial development.

Existing trees have been protected and incorporated into the site design to the extent possible. Existing Torrey Pines and eucalyptus along the street frontage have, for the most part, been preserved, and the central plaza and entry drive were designed to incorporate two of the larger specimen Torrey Pines into focal planting areas, one at the terminus of the main entry drive and one adjacent to the lower plaza. Existing trees have also been preserved at the perimeter of the project, particularly along the transition zone into the existing canyon to the south to strengthen the tie between the site improvements and the existing natural spaces. The addition of many new Torrey Pines throughout the project will help to offset the removal of the existing trees, while reinforcing the natural characteristics of the adjacent canyon terrain which has such a profound influence on the site, consistent with the intent of the Conservation and Urban Design Elements of the City's General Plan.

City of San Diego Landscape Calculations Worksheet

Industrial Development in All Zones except RM and C

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area: 18,786 sq. ft. x 2.25 = 42,269 sq. ft.	17,272 sq. ft.	12,594 sq. ft.

Planting Points Required	Plant Points Provided	Excess Points Provided
Total Area: 18,786 sq. ft. x 0.039 = 743 points	1,820 points	2,067 points

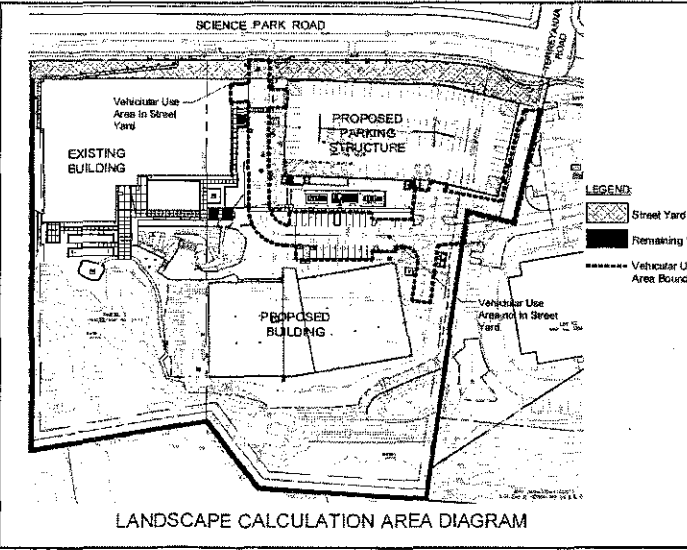
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area: 45 sq. ft. x 0.5 = 23 points	240 points	217 points

City of San Diego Landscape Calculations Worksheet

Vehicular Use Areas (VUA)

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA Area: 1,647 sq. ft. x 0.025 = 41 sq. ft.	10 sq. ft.	31 sq. ft.
VUA Area: 28,417 sq. ft. x 0.025 = 710 sq. ft.	2,007 sq. ft.	2,317 sq. ft.

Required Plant Points	Plant Points Provided	Excess Points Provided
VUA Area: 1,647 sq. ft. x 0.029 = 48 points	0 points	48 points
VUA Area: 28,417 sq. ft. x 0.029 = 824 points	1,228 points	404 points





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201 RIBBET ST., 3RD FLOOR
SAN FRANCISCO, CA 94133 F-415.477.2700 F-415.477.2710



7015 - MOSS QUINTE PARK
1044 - 104 VERNYFIELD
SAN DIEGO, CA 92114
337 S COPPER MOUNTAIN

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REVISION 3: 01/09/2018
REVISION 2: 11/17/2014
REVISION 1: 08/26/2014
ORIGINAL DATE: 08/07/2014

scale: _____
job no.: _____

DBF NO. _____

BRUSH
MANAGEMENT PLAN

L-102

SHEET 18 OF 19

BRUSH MANAGEMENT NOTES

DESIGN METHOD:

THE BRUSH MANAGEMENT ZONES DEVELOPED FOR THIS SITE WERE BASED ON THE INFORMATION PROVIDED BY THE CITY OF SAN DIEGO MUNICIPAL CODE SECTION 142.04, AS THEY APPLY TO AN EXISTING DEVELOPMENT THAT IS ADJACENT TO NATIVE OR NATURALIZED VEGETATION. THE WIDTH OF ZONE ONE WAS ESTABLISHED AT 35' AS REQUIRED BY TABLE 142.04H (SEE BELOW), EXCEPT WHERE TOPOGRAPHY AND / OR EXISTING CONDITIONS REQUIRED A MODIFIED WIDTH, PURSUANT TO SECTION 142.04(I). IN THESE AREAS, ZONE ONE EXTENDS FROM THE FACE OF THE EXISTING STRUCTURE TO THE TOP OF THE ADJACENT SLOPE, WHICH WILL BE MITIGATED BY ENHANCED STRUCTURAL FIRE RESISTIVITY IN THE FORM OF DUAL-GLAZED TEMPERED GLASS AND ONE-HOUR RATED WALLS. IN ORDER TO PROVIDE SUFFICIENT DEFENSIBLE SPACE, MINIMIZE IMPACTS TO THE UNDISTURBED NATURALIZED VEGETATION AND PROMOTE THE PUBLIC HEALTH, SAFETY AND WELFARE OF ANY PERSON WORKING IN THE AREA, THE WIDTH OF ZONE TWO WAS ESTABLISHED AT 100' FROM THE EDGE OF THE STRUCTURES, OR TO THE EDGE OF THE EXISTING CANYON, WHERE ANY DISTURBANCE TO THE EXISTING NATIVE OR NATURALIZED VEGETATION COULD BE DETRIMENTAL TO THE STABILITY OF THE EXISTING GEOLOGY.

TABLE 142.04H
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTH REQUIRED	MODIFIED ZONE WIDTH PROVIDED
ZONE ONE WIDTH	35 FT.	VARIES FROM 18 FT. - 35 FT.
ZONE TWO WIDTH	85 FT.	VARIES FROM 6 FT. - 65 FT.

ZONE ONE REQUIREMENTS

1. THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
2. ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
3. PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
4. TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - A. WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - B. WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
6. ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
7. ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS. REFER TO BRUSH MANAGEMENT MAINTENANCE PROGRAM NOTES BELOW.

ZONE TWO REQUIREMENTS

1. THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
2. NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
3. WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
4. WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
5. THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL, INCLUDING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - A. ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - B. NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIES OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - C. ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTING. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - D. WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.04(I)(b), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
6. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS. REFER TO BRUSH MANAGEMENT MAINTENANCE PROGRAM NOTES BELOW.
7. EXCEPT AS PROVIDED IN SECTION 142.04(I)(2)(b), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142.04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

BRUSH MANAGEMENT MAINTENANCE PROGRAM NOTES

ZONE ONE:

BRUSH MANAGEMENT IN ZONE ONE SHALL OCCUR ON A MONTHLY BASIS, AT MINIMUM, AS A PART OF THE REGULAR MAINTENANCE PROGRAM FOR THE PROPERTY, AND SHALL INCLUDE THE FOLLOWING:

- PRUNING AND THINNING OF FOLIAGE AS NECESSARY TO REMOVE DEAD OR DAMAGED GROWTH, MAINTAIN THE FORM AND STRUCTURE OF THE PLANT MATERIAL AND TO ENCOURAGE STRONG, HEALTHY GROWTH.
- CUTTING BACK GROUNDCOVERS, PERENNIALS AND GRASSES, AS APPROPRIATE FOR RENOVATION, ON A SEASONAL BASIS.
- CONTROLLING THE GROWTH OF WEEDS.
- OBSERVING IRRIGATION SYSTEMS AND REPAIRING OR REPLACING ANY DEFECTIVE OR MALFUNCTIONING COMPONENTS, ADJUSTING SYSTEM TO PROVIDE FULL COVERAGE WHILE PREVENTING OVERSPRAY, AND CHECKING FOR PROPER OPERATION OF AUTOMATIC CONTROLLERS, VALVES AND RELATED EQUIPMENT.

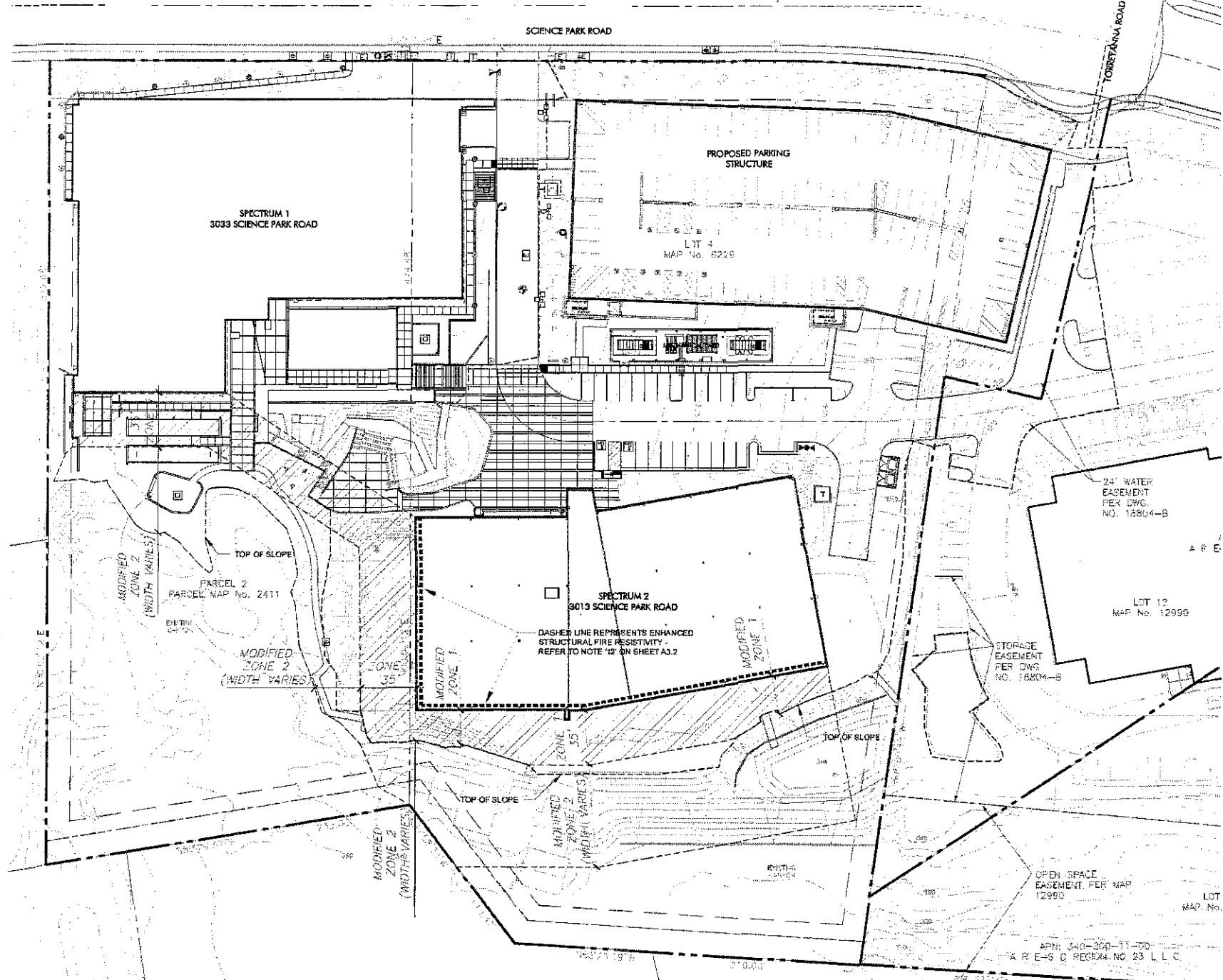
ZONE TWO:

BRUSH MANAGEMENT IN ZONE TWO SHALL OCCUR TWICE A YEAR, ONCE IN LATE FALL AND AGAIN IN EARLY SPRING, AND SHALL INCLUDE THE FOLLOWING:

- PRUNING AND THINNING OF FOLIAGE ONLY AS NECESSARY TO REMOVE DEAD OR DAMAGED GROWTH AND TO MAINTAIN THE FORM AND STRUCTURE OF THE PLANT MATERIAL.
- REMOVAL OF ALL INVASIVE SPECIES, INCLUDING BUT NOT LIMITED TO PAMPAS GRASS, STAR THISTLE, CASTOR BEAN PLANT AND ARUNDO DONAX.
- CONTROLLING THE GROWTH OF WEEDS.

RESPONSIBLE PARTIES:

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR SCHEDULING AND MONITORING THE MAINTENANCE WITHIN THE BRUSH MANAGEMENT ZONES.



BRUSH MANAGEMENT IMPLEMENTATION

ZONE ONE:

BRUSH MANAGEMENT ZONE ONE WILL BE LOCATED BETWEEN THE BUILDING STRUCTURES AND THE TOP OF THE EXISTING SLOPE SOUTH OF THE STRUCTURES AND WILL CONSIST OF PAVING AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING ONLY. BRUSH MANAGEMENT IMPLEMENTATION WITHIN ZONE ONE SHALL ADHERE TO THE REQUIREMENTS OF THE CITY OF SAN DIEGO MUNICIPAL CODE SECTION 142.04(I), AND WILL INCLUDE ALL ITEMS LISTED IN THE BRUSH MANAGEMENT NOTES ABOVE.

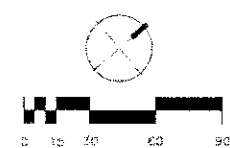
ZONE TWO:

BRUSH MANAGEMENT ZONE TWO WILL BE LOCATED BETWEEN THE EDGE OF ZONE ONE AT THE TOP OF THE EXISTING SLOPE TO 100' OUT FROM THE FACE OF THE EXISTING STRUCTURES. THIS ZONE WILL CONSIST OF NATIVE AND NATURALIZED VEGETATION ONLY AND WILL BE UNIRRIGATED. BRUSH MANAGEMENT IMPLEMENTATION WITHIN ZONE TWO SHALL ADHERE TO THE REQUIREMENTS OF THE CITY OF SAN DIEGO MUNICIPAL CODE SECTION 142.04(I), TO THE EXTENT POSSIBLE, AND WILL INCLUDE ALL ITEMS LISTED IN THE BRUSH MANAGEMENT NOTES ABOVE.

*DUE TO SITE CONSTRAINTS RELATED TO THE STEEP TOPOGRAPHY OF THE NATURAL CANYON ALONG THE SOUTH PORTION OF THIS PROPERTY, BRUSH MANAGEMENT OPERATIONS WITHIN ZONE TWO WILL BE LIMITED TO THOSE AREAS THAT ARE EASILY AND SAFELY ACCESSIBLE, PRIMARILY SOUTH OF BUILDING 3013. MUCH OF THE EXISTING CANYON CONSISTS OF SHEER SANDSTONE CLIFFS, WITH SCATTERED COASTAL SAGE SCRUB AND NATURALIZED VEGETATION OCCURRING IN ISOLATED AREAS. THE IMPLEMENTATION OF A BRUSH MANAGEMENT PROGRAM WITHIN THESE AREAS WILL NEED TO BE SENSITIVE TO THE NATIVE PLANT COMMUNITIES WHILE ALSO BEING COGNIZANT OF THE HAZARDOUS TERRAIN. IT IS NOT THE INTENT OF THIS BRUSH MANAGEMENT PLAN TO PLACE ANY MAINTENANCE PERSONNEL INTO DANGEROUS OR PRECARIOUS CIRCUMSTANCES IN ORDER TO CARRY OUT THE REQUIREMENTS LISTED THEREIN.

DEVELOPMENT SUMMARY

THE PROPOSED BRUSH MANAGEMENT PROGRAM FOR THIS PROPERTY IS TO BE IMPLEMENTED PER THIS PLAN AND AS APPROVED BY THE CITY OF SAN DIEGO FIRE PLAN REVIEW STAFF. THE PROPOSED PROGRAM INCLUDES AN ALTERNATIVE COMPLIANCE WITH MODIFIED WIDTHS FOR ZONES ONE AND TWO, WHICH HAVE BEEN ADJUSTED TO EXCLUDE ANY BRUSH MANAGEMENT OPERATIONS WITHIN THE ENVIRONMENTALLY SENSITIVE SLOPES AND CANYON AREAS SOUTH AND SOUTHEAST OF THE SITE. THESE MODIFIED ZONE WIDTHS WILL BE MITIGATED THROUGH ENHANCED STRUCTURAL FIRE RESISTIVITY IN THE FORM OF ONE-HOUR WALL CONSTRUCTION AND 1" INSULATED TEMPERED GLASS ALONG THE SOUTH AND WEST ELEVATIONS OF THE BUILDING.





DGA planning | architecture | interiors

445 WEST ASH STREET SAN DIEGO, CA 92101 P-619.685.9990 F-619.685.4077
 550 ELLIS STREET MOUNTAIN VIEW, CA 94043 F-650.948.1660 F-650.948.1670
 201 FILBERT ST., 9RD. FLOOR SAN FRANCISCO, CA 94103 F-415.477.2700 F-415.477.3710



3115 - 3033 SCIENCE PARK ROAD &
 3115 - 3033 MERRYFIELD ROW
 SAN DIEGO, CA 92121
 CDP / COP SUBMITTAL

REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: _____
 REVISION 3: _____
 REVISION 2: _____
 REVISION 1: 01/09/2015
 ORIGINAL DATE: 11/17/2014

scale: _____
 job no.: 103

DEP NO. _____

EXISTING TREE INVENTORY

L-103

SHEET 19 OF 19

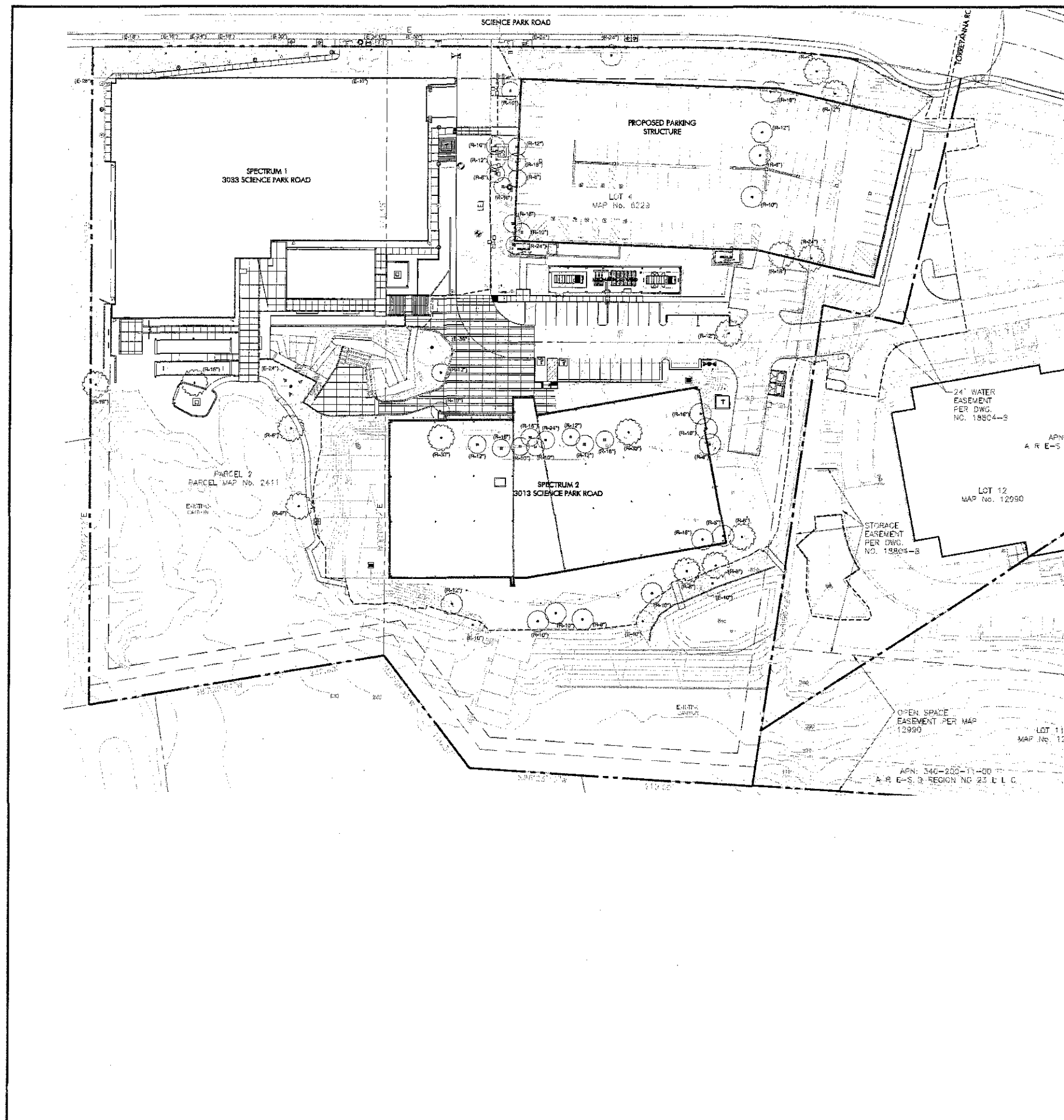
EXISTING TREE LEGEND

SYMBOL	BOTANICAL / COMMON NAME
(R-18)	Pinus torreyana / TORREY PINE
(R-12)	Eucalyptus spp / EUCALYPTUS
(R-10)	Melaleuca quinquenervia / PAPERBARK TREE

NOTE: TREES MARKED WITH (E) ARE EXISTING TREES TO BE PROTECTED IN PLACE. TREES MARKED WITH (R) ARE EXISTING TREES TO BE REMOVED FROM SITE. THE NUMBER NEXT TO THE (E) OR (R) IS THE CALIPER OF THE TREE MEASURED AT BREAST HEIGHT.

TREE INVENTORY SUMMARY

TOTAL EXISTING TREES TO REMAIN = 14
 TOTAL EXISTING TREES TO BE REMOVED = 51



RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004990

COASTAL DEVELOPMENT PERMIT NO. 1390732
 SITE DEVELOPMENT PERMIT NO. 1390733
SPECTRUM 1 & 2 - PROJECT NO. 383639 [MMRP]
 AMENDMENT TO COASTAL DEVELOPMENT PERMIT/
 HILLSIDE REVIEW PERMIT NO. 96-7939
 HEARING OFFICER

This Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733, an amendment to Coastal Development Permit/Hillside Review Permit No. 96-7939, is granted by the Hearing Officer of the City of San Diego to ARE-SD REGION 35, LLC, a Delaware Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The proposed 7.068-acre site is located at 3013-3033 Science Park Road in the IP-1-1 Zone within the University Community Planning Area, Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, Parking Impact Overlay Zone (Coastal and Campus Impact Areas), and Council District 1. The project site is legally described as: Parcel 2 of Parcel Map No. 2411, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on March 4, 1974; and Lot 4 of Torrey Pines Science Park Unit 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof 6229 filed in the Office of the County Recorder of San Diego County on November 21, 1968; Portion of Lot 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish one of the two existing buildings and demolish of the existing parking structure, and to construct a research and development building, and a parking structure that includes a lot line adjustment with the adjacent property; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 10, 2015, on file in the Development Services Department.

The project shall include:

- a. An amendment to Coastal Development Permit/Hillside Review Permit No. 96-7939 for a lot line adjustment of 12,796 square feet from Lot 12 of Map No. 12990 located at 3115-3215 Merryfield Row and transfers the area to Lot 4 of Map No. 6229 located at 3013-3033 Science Park Road;
- b. Demolition of the existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building (includes the basement square footage) located at 3033 Science Park Road shall remain;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A Leadership in Energy and Environmental Design (LEED) Gold Level Certification; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____, 2018.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to

the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION, NO. 383639, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION, NO. 383639, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Historical Resources (archaeology)
- Paleontological Resources

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the closure of the existing non-utilized driveway, on Science Park Road, with City standard curb, gutter and sidewalk, satisfactory to the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb ramp with City standard curb ramp with truncated dome, on the south side of the intersection of Science Park Road and Torreyanna Road, satisfactory to the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for private storm drain located within the existing water easement, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
20. Prior to the issuance of any construction permit, the Water Quality Technical Report will be subject to final review and approval by the City Engineer.
21. The drainage system for this project shall be private and will be subject to approval by the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
23. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009-DWQ and the Municipal Storm Water Permit, Order No. R9-2007-0001 in accordance with Order No. 2009-0009DWQ, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
24. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

GEOLOGY REQUIREMENTS:

25. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
26. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The

as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

MAP CHECK REQUIREMENTS:

27. Prior to the issuance of any construction permit, a lot line adjustment Parcel Map shall be recorded at the County to adjust the lines between Lot 4 of Map No. 6229 and Lot 12 of Map No. 12990.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

29. Driveways and utilities shall be designed so as not to prohibit the placement of street trees. In the event of a design conflict, the Public Improvement Plan shall be revised to be consistent with the Exhibit 'A' Landscape Development Plan

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

31. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

32. Pursuant to SDMC 142.0412(i), the proposed scope of work includes a modified Brush Management Program. This modification includes a Brush Management Zone One varying from 23-35 feet, and a Brush Management Zone Two varying from 24-65 feet, as approved by the Fire Marshal. This Brush Management Program shall be shown on subsequent engineering and building plans.

PLANNING/DESIGN REQUIREMENTS:

33. The amendment to Coastal Development Permit/Hillside Review Permit No. 96-7939 is for only the lot line adjustment. All of the conditions contained in Coastal Development Permit/Hillside Review Permit No. 96-7939 shall remain in effect.
34. Prior to issuance of building permits, the Owner/Permittee shall provide documentation that the project has been submitted to the U.S. Green Building Council for review and will achieve at least a Leadership in Energy and Environmental Design (LEED) Gold Certification. Construction documents shall note all criteria included in the design and construction of the project as identified in the LEED certification application.
35. Processing, manufacturing, or storage of bulk quantities of hazardous materials (greater than 10,000 gallons) shall not be permitted on the premises.
36. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
37. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

LONG RANGE PLANNING/DESIGN REQUIREMENTS:

39. Structures shall be designed to create smooth transitions in form, height and scale between adjacent buildings.
40. Structures shall use variations in the planes of wall surfaces, e.g., angled or recessed walls and pronounced architectural elements and techniques to avoid a boxy square building.
41. Structures shall use slanting, pitched, or other varied roof forms which are more compatible with sloping topography.
42. Structures should use a compatible variety of materials and textures and avoid highly reflective surfaces and contrasting color combinations which are inconsistent with the natural character of the Torrey Pines Subarea. Structures should utilize earth tone colors and materials which are better suited to the natural character of the area.
43. All mechanical equipment, trash storage, service areas and utility appurtenances shall be screened from public view. Screening devices may include walls, doors or landscaping.

44. Signs shall be designed as integral parts of developments. Corporate symbols or logos should be used rather than corporate names. Such logos should not be located on the roof of a building nor be freestanding on a pole. Project identification and directional signage including building address numbers should be placed in locations clearly visible from the public street. Such numbers should also be of a size and height convenient to the motorist. The permitted number and size of signs should conform to the City's Sign Regulations

TRANSPORTATION REQUIREMENTS

45. No fewer than 430 parking spaces including 34 carpool/zero emissions spaces, 20 short term bicycle spaces, 20 long term bicycle spaces, 8 motorcycle spaces and 9 accessible spaces (504 parking spaces provided with 36 carpool/zero emissions spaces, 20 short term and 20 long term bicycle spaces, 8 motorcycle spaces, and 10 accessible spaces) shall be maintained at all times in the approximate location shown on Exhibit "A." All on-site and off-site parking stalls and aisle widths shall be in compliance with the requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purposes, unless otherwise authorized in writing by the appropriate Decision Maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

46. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

47. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

48. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

49. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

50. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

51. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

52. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 10, 2015 and Resolution No. _____-1

Permit Type/PTS Approval No.: CDP No. 1390732 &
SDP No. 1390733
Date of Approval: June 10, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ARE – SD Region No. 35, LLC, a Delaware limited liability company

**By: Alexandria Real Estate Equities, L.P., a Delaware
limited partnership, Managing Member**

**By: ARE-QRS CORP., a Maryland corporation,
General Partner**

Signature: _____

Name (Print):

Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
 RESOLUTION NO. HO-_____-1
 COASTAL DEVELOPMENT PERMIT NO. 1390732
 SITE DEVELOPMENT PERMIT NO. 1390733
SPECTRUM 1 & 2 - PROJECT NO. 383639 [MMRP]
 AMENDMENT TO COASTAL DEVELOPMENT PERMIT/
 HILLSIDE REVIEW PERMIT NO. 96-7939

WHEREAS, ARE-SD REGION 35, LLC, a Delaware Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a permit to demolish one of the two existing buildings and demolish the existing parking structure, and to construct a research and development building, and a parking structure that includes a lot line adjustment with the adjacent property (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1390732 and No. 1390733), on portions of a proposed 7.068-acre site;

WHEREAS, the project site is located at 3013-3033 Science Park Road in the IP-1-1 Zone within the University Community Planning Area, Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, Parking Impact Overlay Zone (Coastal and Campus Impact Areas), and Council District 1;

WHEREAS, the project site is legally described as: Parcel 2 of Parcel Map No. 2411, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on March 4, 1974; and Lot 4 of Torrey Pines Science Park Unit 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof 6229 filed in the Office of the County Recorder of San Diego County on November 21, 1968; Portion of Lot 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992;

WHEREAS, on June 10, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 10, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a Leadership in Energy and Environmental Design (LEED) Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to Coastal Development Permit (CDP)/Hillside Review Permit (HRP) No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The properties are located approximately 0.71-miles from the Pacific Ocean. The properties are located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Science Park Road and Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The site is approximately 357 feet above Mean Sea Level (MSL) at the proposed building and 360 feet above MSL at the proposed parking structure, and is located above the 100-year floodplain. The topography of the site creates various building heights around both the proposed building and parking structure; therefore, Sheet A4.1 within the Exhibit "A" provides 13 elevation exhibits that demonstrate that the structures and any projections will not exceed the maximum height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ).

The proposed development would be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to meet the development regulations of the underlying zone and would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in

place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The properties are located approximately 0.71-miles from the Pacific Ocean. The properties are located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Science Park Road and Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The site is approximately 357 feet above MSL at the proposed building and 360 feet above MSL at the proposed parking structure, and is located above the 100-year floodplain. The topography of the site creates various building heights around both the proposed building and parking structure; therefore, Sheet A4.1 within the Exhibit "A" provides 13 elevation exhibits that demonstrate that the structures and any projections will not exceed the maximum height limit allowed by the CHLOZ.

The project sites contain Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The southern property line located at 3013-3033 Science Park Road is adjacent to a natural canyon, but is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). This natural canyon also extends along the southern property line for 3115-3215 Merryfield Row, and the MHPA does extend into the property at the far southeastern corner of the parcel. All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

A Mitigated Negative Declaration (MND) No. 383639 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed coastal development would not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the University Community Plan (UCP), identified as Prime Industrial Lands, CHLOZ, Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The property at 3013-3033 Science Park Road is within the Coastal Overlay Zone (Non-Appealable Area 1) and 3115-3215 Merryfield Row is located within the Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The IP-1-1 zoning allows for research and development uses with some limited manufacturing and the UCP designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The properties are located approximately 0.71-miles from the Pacific Ocean. The properties are located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Science Park Road and Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The site is approximately 357 feet above MSL at the proposed building and 360 feet above MSL at the proposed parking structure, and is located above the 100-year floodplain. The topography of the site creates various building heights around both the proposed building and parking structure; therefore, Sheet A4.1 within the Exhibit "A" provides 13 elevation exhibits that demonstrate that the structures and any projections will not exceed the maximum height limit allowed by the CHLOZ.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, for all of these reasons, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The properties are located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. The properties are located approximately 0.71-miles from the Pacific Ocean. The proposed development would be located on private property and would occur within the previously disturbed and developed portion of the site. The proposed development would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site and public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this development. Therefore, the proposed development complies with the public access and recreation policies of Chapter 3 of the California Coastal Act.

II Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the University Community Plan (UCP), identified as Prime Industrial Lands, CHLOZ, Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The property at 3013-3033 Science Park Road is within the Coastal Overlay Zone (Non-Appealable Area 1) and 3115-3215 Merryfield Row is located within the Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area). The IP-1-1 zoning allows for research and

development uses with some limited manufacturing and the UCP designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The proposed development would be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

A Mitigated Negative Declaration (MND) No. 383639 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in CDP No. 1390732 and Site Development Permit (SDP) No. 1390733, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The proposed development would be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site, including conformance with the applicable regulations of the Land Development Code (LDC).

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The project sites contain ESL in the form of steep hillsides and sensitive biological resources. The southern property line located at 3013-3033 Science Park Road is adjacent to a natural canyon, but is not within or adjacent to the MSCP MHPA. This natural canyon also extends along the southern property line for 3115-3215 Merryfield Row, and the MHPA does extend into the property at the far southeastern corner of the parcel. All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

A MND No. 383639 has been prepared for the project in accordance with CEQA Guidelines, which address potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the site is physically suitable for the design and siting of the proposed development and the development would result in minimum disturbance to ESL.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No.

96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site.

The proposed development would be located on private property and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development has been designed to minimize the alteration of natural land forms and would not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The project sites contain ESL in the form of steep hillsides and sensitive biological resources. The southern property line located at 3013-3033 Science Park Road is adjacent to a natural canyon, but is not within or adjacent to the MSCP MHPA. This natural canyon also extends along the southern property line for 3115-3215 Merryfield Row, and the MHPA does extend into the property at the far southeastern corner of the parcel. All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout

the site. Therefore, the proposed development has sited and designed to prevent adverse impacts on any adjacent ESL.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The southern property line located at 3013-3033 Science Park Road is adjacent to a natural canyon, but is not within or adjacent to the MSCP MHPA. This natural canyon also extends along the southern property line for 3115-3215 Merryfield Row, and the MHPA does extend into the property at the far southeastern corner of the parcel. All of the proposed development will occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site of the MHPA. In addition, a Brush Management Plan would be implemented with the project and all landscaping proposed would utilize native and non-native, non-invasive, and/or drought-tolerant plants throughout the site. Therefore, the proposed development is consistent with the City of San Diego's MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The project site is located at 3013-3033 Science Park Road and 3115-3215 Merryfield Row, east of North Torrey Pines Road, and is approximately 0.71-miles from the Pacific Ocean. The project proposes the demolition of an existing building located at 3013 Science Park Road and the adjacent existing parking structure, and to construct a two-story, 62,753 square foot research and development building, and a four-level, 141,238 square foot parking structure. The existing 110,588 square foot building located at 3033 Science Park Road shall remain in place. As a component of the proposed project, the proposed new research and development building would achieve a LEED Gold Certification. To allow for the construction of the new parking structure, the application includes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only

for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect.

The proposed development would be located on private property and will occur within the previously disturbed and developed portion of the site. Therefore, the proposed development would not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

A MND No. 383639 has been prepared for the project in accordance with CEQA Guidelines, which address potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, any negative impacts created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1390732 and No. 1390733 a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: June 10, 2015

Internal Order No. 24004990

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004990

COASTAL DEVELOPMENT PERMIT NO. 1447486
SITE DEVELOPMENT PERMIT NO. 1447488
LA JOLLA SPECTRUM - PROJECT NO. 383639 [MMRP]
AMENDMENT TO COASTAL DEVELOPMENT PERMIT /
HILLSIDE REVIEW PERMIT NO. 96-7939
HEARING OFFICER

This Coastal Development Permit No. 1447486 and Site Development Permit No. 1447488, an amendment to Coastal Development Permit /Hillside Review Permit No. 96-7939, is granted by the Hearing Officer of the City of San Diego to ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 14.2-acre site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Planning Area, Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, Parking Impact Overlay Zone (Coastal and Campus Impact Areas), and Council District 1. The project site is legally described as: Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a lot line adjustment with the adjacent property; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 10, 2015, on file in the Development Services Department.

The project shall include:

- a. A lot line adjustment of 12,796 square feet from Lot 12 of Map No. 12990 located at 3115-3215 Merryfield Row and transfers the area to Lot 4 of Map No. 6229 located at 3013-3033 Science Park Road;

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____, 2018.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION, NO. 383639, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION, NO. 383639, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of

the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Historical Resources (archaeology)
- Paleontological Resources

MAP CHECK REQUIREMENTS:

15. Prior to the issuance of any construction permit, a lot line adjustment Parcel Map shall be recorded at the County to adjust the lines between Lot 4 of Map No. 6229 and Lot 12 of Map No. 12990, and shall be in substantial conformity to Exhibit "A."

DEVELOPMENT REQUIREMENTS:

16. All of the conditions contained in Coastal Development Permit/Hillside Review Permit No. 96-7939 shall remain in effect.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

APPROVED by the Hearing Officer of the City of San Diego on June 10, 2015 and Resolution No. _____-2

Permit Type/PTS Approval No.: CDP No. 1447486 &
SDP No. 1447488
Date of Approval: June 10, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

ARE – SD Region No. 23, LLC, a Delaware limited liability company

**By: Alexandria Real Estate Equities, L.P., a Delaware
limited partnership, Managing Member**

**By: ARE-QRS CORP., a Maryland corporation,
General Partner**

**Signature: _____
Name (Print):
Title:**

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
 RESOLUTION NO. HO-_____ -2
 COASTAL DEVELOPMENT PERMIT NO. 1447486
 SITE DEVELOPMENT PERMIT NO. 1447488
LA JOLLA SPECTRUM - PROJECT NO. 383639 [MMRP]
 AMENDMENT TO COASTAL DEVELOPMENT PERMIT /
 HILLSIDE REVIEW PERMIT NO. 96-7939

WHEREAS, ARE-SD REGION 23, LLC, a Delaware Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a lot line adjustment of 12,796 square feet from Lot 12 of Map No. 12990 located at 3115-3215 Merryfield Row and transfers the area to Lot 4 of Map No. 6229 located at 3013-3033 Science Park Road (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1447486 and No. 1447488), on portions of a proposed 14.2-acre site;

WHEREAS, the project site is located at 3115-3215 Merryfield Row in the IP-1-1 Zone within the University Community Planning Area, Prime Industrial Lands, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, Parking Impact Overlay Zone (Coastal and Campus Impact Areas), and Council District 1;

WHEREAS, the project site is legally described as: Lots 9 through 12 of La Jolla Spectrum, in the City of San Diego, County of San Diego, State of California, according to Map thereof 12990 filed in the Office of the County Recorder of San Diego County on December 4, 1992;

WHEREAS, on June 10, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1447486 and Site Development Permit No. 1447488 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 10, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to Coastal Development Permit (CDP)/Hillside Review Permit (HRP) No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road.

This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and Site Development Permit (SDP) No. 1390733.

The property is located approximately 0.71-miles from the Pacific Ocean. The property is located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed lot line adjustment would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the University Community Planning (UCP) or the Local Coastal Program Land Use Plan.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains Environmental Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. The lot line adjustment would occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site.

A Mitigated Negative Declaration (MND) No. 383639 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science Park Road project sites

and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance. Therefore, the proposed coastal development would not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, identified as Prime Industrial Lands, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), Coastal Height Limitation Overlay Zone (CHLOZ), Community Plan Implementation Overlay Zone (CPIOZ-B), First Public Roadway, and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The zoning designation allows for research and development uses with some limited manufacturing and the UCP designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The property is located approximately 0.71-miles from the Pacific Ocean. The property is located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. Merryfield Row are not designated as a view corridor and do not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed lot line adjustment would not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located

within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/ HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The property is located in area just west of Sorrento Valley Road and the entire area is located between the sea and the first public roadway paralleling the sea. The properties are located approximately 0.71-miles from the Pacific Ocean. The lot line adjustment would be located on private property and would occur within the previously disturbed and developed portion of the site. The existing development does not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway as identified in the UCP or the Local Coastal Program Land Use Plan.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site and public access to the water, public recreation facilities, ort public parking facilities would not be adversely affected by the approval of this development. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment complies with the public access and recreation policies of Chapter 3 of the California Coastal Act.

II Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road, in the IP-1-1 Zone within the UCP, identified as Prime Industrial Lands, Coastal Overlay Zone (Non-Appealable Area 1 and Appealable Area), CHLOZ, CPIOZ-B, First Public Roadway, and Parking Impact Overlay Zone (Coastal and Campus Impact Areas). The zoning designation allows for research and development uses with some limited manufacturing and the UCP designates the sites as Industrial. The surrounding properties are zoned IP-1-1 and developed with research and development uses, and the UCP designates the properties as Industrial.

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

A MND No. 383639 has been prepared for the project in accordance with State of CEQA Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science Park Road project sites and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. This approval is for an adjustment of property area and would not grant any new development or structures. The project shall comply with the development conditions in effect for the subject property as described in CDP No. 1447486 and SDP No. 1447488, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the lot line adjustment would not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site, including conformance with the applicable regulations of the Land Development Code (LDC).

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains ESL in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the MSCP MHPA extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. The lot line adjustment would occur within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site.

A MND No. 383639 has been prepared for the project in accordance with CEQA Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science

Park Road project sites and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance. This approval is for an adjustment of property area and would not grant any new development or structures; therefore, the lot line adjustment would not result in any disturbance to ESL.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project site is located at 3115-3215 Merryfield Row, east of North Torrey Pines Road. The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfers the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the lot line adjustment would create any alteration of natural land forms and would not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains ESL in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the MSCP MHPA extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. The lot line adjustment would occur

within the previously disturbed and developed portion of the site and there would be no encroachment into, or impacts on, any steep slopes or other ESL located on the site.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

The project site contains ESL in the form of steep hillsides and sensitive biological resources. The southern property line is adjacent to a natural canyon, and the MSCP MHPA extends into the property at the far southeastern corner of the parcel. The proposed lot line adjustment would be between two private properties and would be located approximately 800 feet from the MHPA. This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development is consistent with the City of San Diego's MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the lot line adjustment would not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project proposes an amendment to CDP/HRP No. 96-7939 for a lot line adjustment of 12,796 square feet from the property located at 3115-3215 Merryfield Row and transfer the area to 3013-3033 Science Park Road. This amendment is only for the lot line adjustment, and all of the conditions contained in CDP/HRP No. 96-7939 shall remain in effect. The lot line adjustment is to allow for the construction of the new parking structure located at 3013-3033 Science Park Road, which this development activity is covered under CDP No. 1390732 and SDP No. 1390733.

This approval is for an adjustment of property area and would not grant any new development or structures. The proposed lot line adjustment would be between two private properties that occurs within the previously disturbed and developed portion of the site and is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

A MND No. 383639 has been prepared for the project in accordance with State of CEQA Guidelines, which covers both the 3115-3215 Merryfield Row and 3013-3033 Science Park Road project sites and addresses potential impacts to Biological Resources, Historical Resources (Archaeology), and Paleontological Resources. A MMRP would be implemented with this project, which will reduce the potential impacts to below a level of significance.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1447486 and Site Development Permit No. 1447488 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1447486 and No. 1447488 a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: June 10, 2015

Internal Order No. 24004990

HEARING OFFICER
RESOLUTION NO. HO- _____-3
SPECTRUM 1 & 2/LA JOLLA SPECTRUM - PROJECT NO. 383639 [MMRP]
MITIGATED NEGATIVE DECLARATION NO. 383639
ADOPTED ON JUNE 10, 2015

WHEREAS, on August 27, 2014, ARE-SD REGION 35, LLC, a Delaware Limited Liability Company, Owner and Permittee, submitted an application to Development Services Department for a Coastal Development Permit and Site Development Permit for the Spectrum 1 & 2/La Jolla Spectrum (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on June 10, 2015; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 383639 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer, that it is certified that the Mitigated Negative Declaration No. 383639 has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Report is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, which is attached hereto as Exhibit A.

By _____
Jeffrey A. Peterson
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM****SPECTRUM 1 & 2/LA JOLLA SPECTRUM - PROJECT NO. 383639**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 383639 shall be made conditions of Coastal Development Permit No. 1390732 and Site Development Permit No. 1390733, and Coastal Development Permit No. 1447486 and Site Development Permit No. 1447486, as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: **Qualified biologist, archaeologist, and paleontologist**

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE at the Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant t is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 383639 and/or Environmental Document Number 383639, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Paleontology	Paleontology Reports	Paleontology Site Observation
Historical Resources	Archaeology Reports	Archaeology/Historic Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIOLOGICAL RESOURCES (RESOURCE PROTECTION DURING CONSTRUCTION)

I. Prior to Construction

- A. **Biologist Verification:** The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting:** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. **Biological Documents:** The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **Biological Construction Mitigation/Monitoring Exhibit:** The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. **Avian Protection Requirements:** To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within

10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.

- F. **Resource Delineation:** Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education:** Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. **Monitoring:** All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR shall be e-mailed to MMC on the 1st day of

monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.

- B. **Subsequent Resource Identification:** The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

HISTORICAL RESOURCES (ARCHAEOLOGY)

I. Prior to Permit Issuance

- A. Entitlements Plan Check
1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
 3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.

- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Native American monitor shall determine the extent of their presence during construction related activities based on the AME and provide that information to the PI and MMC. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. **Determination of Significance**

1. The PI and Native American monitor shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and the following procedures as set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. **Notification**
 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. **Isolate discovery site**
 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenience.
 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. **If Human Remains ARE determined to be Native American**
 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.

3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with the California Public Resource and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner and the Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains.
 - c. Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the

- Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. **THIS WOULD ALSO REQUIRE THE INCLUSION OF ALL PRIOR ARCHAEOLOGICAL WORK CONDUCTED WHERE MATERIALS WERE COLLECTED IN 1996 AND 2003 BY BFS. REFER TO HISTORICAL RESOURCES (CULTURAL RESOURCES/CURATION AND FINAL REPORT PREPARATION OF PREVIOUS ARCHAEOLOGICAL WORK CONDUCTED MMRP CONIDTION).** This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC, which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL RESOURCES**I. Prior to Permit Issuance****A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with

- MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored – Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

- B. **Discovery Notification Process**
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. **Determination of Significance**
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground-disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.

- c. Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum – The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City’s Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 1. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 2. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 3. MMC shall provide written verification to the PI of the approved report.
 - 4. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification

1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

Paleo Private_100509.doc

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

UNIVERSITY COMMUNITY PLANNING GROUP
 University Town Center – Forum Hall
 Executive Committee Monthly Meeting – Tuesday, **February 10, 2015**
 Minutes(Final)

Directors present: Janay Kruger (JK) (Chair), Meagan Beale (MB) (Vice-Chair), Andrew Wiese (AW), Nancy Groves (NG), John Bassler (JB), Caryl Lees Witte (CW), Nan Madden (NM), Alison Barton (AB), Ash Nasser (AN), George Lattimer (GL), Kristopher Kopensky (KK), Donna Andonian (DA), Petr Krysl (PK), Ryan Perry (RP), Bruce Rainey (BR), Jason Moorhead (JM), Juan Lias (JL), and Anu Delouri (AD).

Directors absent: Sam L. Greening, Jr. (SG), and Dan Monroe (DM).

- 1. Call Meeting to Order** – Janay Kruger, Chair, at 9:06 PM
- 2. Pledge of Allegiance followed by Moment of Silence**
- 3. Agenda: Call for additions/deletions: Adoption**
 - a. Item 8 is continued until March
Motion: Motion to amend item 8 and approve agenda as presented otherwise by NG and seconded by JB.
Vote: Unanimous.
- 4. SDPD –**
 - a. 24 Car prowls in the area, reminder not to leave visible packages inside your vehicle
- 5. Announcements - Chair Letters/Meetings**
 - a. We were going to appoint someone to the resigned seat but bylaws have changed
 - b. If the seat is open within 90 days of election then candidate must run for election
 - c. If there are two openings we must have an election
 - d. Kyle has resigned as he is no longer a student
 - e. Petr is termed out but Chancellor will appoint Petr to the faculty position
 - f. New facility finance person, Frank assigned in January
 - g. We will work with him on the community plan amendment
 - h. City is updating bylaws for planning group
 - i. These changes are small and copies are available
 - j. JK wants to appoint DA, MB, and JK to review and make recommendations
 - k. CPC is updating land use code, more information in packet provided to Directors
 - l. Regency Center CPA also in packet
 - m. Review nominees:
 - a. R1-B Andrew Wiese –spoke
 - b. R2-B Alison Barton – spoke
 - c. R3-B Roger Cavnaugh – spoke
 - d. R3-C Alice Buck – spoke
 - e. B1-B Caryl Lees Witte- spoke
 - f. B2-B George Lattimer- spoke
 - g. B3-B Bruce Rainey- spoke
 - n. Reminder that write ins are not allowed so if there are no other candidates by midnight tonight these candidates do not have someone running against them
 - o. The next three years will have likely a dozen projects.
- 6. Updates:**
 - a. **UCSD** – Anu Delouri
 - a. Community Group update is available on website
 - b. Information available regarding a new building built in conjunction with Bio-Med Realty Trust
 - b. **Membership Report** – John Bassler
 - a. Review of membership and election rules

- c. **Councilperson Sherri Lightner Office** – Janie Hoover
 - a. City approved a city wide asphalt overlay project, will effect Lebon, University Center lane, Palmia drive, Charmont, Porte depalmas, timing is next five months
 - b. Swanson pool will now open in March versus April
 - c. Investigating poles that have been installed. JK: gave history of approval
 - d. Investigating foul odor experienced jmhoover@sandiego.gov
- d. **Supervisor Dave Roberts** – Wesley Moore (Absent)
- e. **State Senator Marty Block** – Hilary Nemchik (Absent)
- f. **Assemblywoman Toni Atkins** – Deanna Spain (Absent)
- g. **52nd District, Congressman Scott Peters** – Hugo Carmona (Absent)
- h. **Planning Department** – Dan Monroe(Absent)
- i. **MCAS Mirimar** – Juan Lias
 - a. Juan available for questions

7. Approval of Minutes – January 2015

- a. NG recommended adding more information on bike paths in item 10
- b. Spelling correction to item 6, DA instead of DJ for Donna

Motion: Motion to approve as amended by NM and seconded by DA.

Vote: Unanimous.

8. Public Comment –

- a. None

9. Action Item: Spectrum One and Two, Alexandria Real Estate

Presenters: Jon Olson, DGA-MV Architect

- a. 3033 and 3013 Science Parkway Torrey pines road intersection
- b. One building already refurbished
- c. Demoiing one building and parking structure rebuilding smaller
- d. Demolishing a second parking structure and rebuilding it
- e. 3 per 1000 parking ratio in new garage
- f. Reducing trips
- g. Been through review process
- h. PK: Q:How does it open to canyon? A: lobby opens up to canyon
- i. GL: Q: Square footage? A: Reducing from 170k rsf to 160k rsf
- j. Public: Q: What are you planting? A: California natives, drought tolerance planting, Torrey pines, no Mexican fan palms
- k. Public: Q: Will it be solar? A: We are exploring solar roofs and canopies
- l. Public: Q: Fire suppression? A: Fully sprinklered building built to code
- m. LEED gold certified targeted
- n. JK: meeting City's requirements, building LEED gold

Motion: Motion to approve as presented by PK and seconded by NM.

Vote: 14 for and 2 recusals, motion passed.

10. Action Item: Alegria Real Estate, 10 lot subdivisions and PDF

Presenters: Brad Tuck, Algeria, COO

- a. Review of project
- b. JB: Q: Why should we grant you the deviation in lot width? A: We are developing 10 instead of 19 homes
- c. Public: Q: Is there access to Regents for pedestrians? A: We are building sidewalk along Regents, there will be a 14' set back before the sound wall
- d. Public: Comments in opposition to the height of the projects obscuring in place residents views
- e. Public: Concern on water, recommends UCPG require reclaimed water
- f. JB: Q: On retaining wall height. A: Maximum 10' Q: Are there other boundary fences? A: No based on feedback
- g. PK: Q: Is there a speaker that wants to summarize the issues? A: Public, more questions on details of project
- h. Public: Can you tell us more about Alegria and its success in SD? A: Through the recession we bought and sold distressed homes, this is our first project of this type together. Individually

- have done many different projects
- i. JK: Reminder that we have to keep the decisions to land use. The City has approved but there have been changes
- j. Public comment about lot width being a variance from allowable minimum width from City
- k. Other Public comments and concerns are:
 - a. Traffic
 - b. Emergency response
 - c. Concerned about high risk fire requirements
 - d. Would like to understand cross sections of elevations and Regents elevation
 - e. Noise issues
 - f. Understand changes made to pad depth and building heights
 - g. Community character
 - h. Maintenance considerations
- l. CW: what prices are you thinking of?
- m. Discussion, GL: Hard pressed to disapprove as it conforms to the community plan
- n. AW: Appreciates Alegria being somewhat cooperative but haven't addressed all concerns brought in front of the board in the past, some of what has also been shared tonight. Also concerned about the community being private
- o. NM: concerned about pedestrians and the sidewalk

Motion: Motion to recommend denial of the project by JB and seconded by MB.

Vote: 10 for, 4 against, 1 abstention, motion passed.

11. Action Item: University Terrace East, 18 units, amend project, amend application, CEQA exemption

Presenters: Matt Peterson, Peterson & Price, Luigi Angelucci, Owner

- a. Review of project and changes
- b. Discussion on original permit and covenant
- c. Addressing previous concerns
- d. Changed unit mix
- e. Reduced size of building
- f. Removed the roof deck
- g. Balconies facing neighbors removed
- h. Shifted parking area near current homes
- i. Reduced units 50 percent
- j. Will or will not put in parking gates
- k. Reduced traffic to 108 ADT's
- l. RP: Q: Parking? A: Discussed
- m. Public: Gate questions, A: Owner willing to add gates if requested
- n. PK: Comment on ingress. A: Not sure city will allow recommended change, grade precludes
- o. JK: Reading email from public, concern on not enough parking? A: Adding underground, adding parking spaces.
- p. Q: Why did you hire an attorney? A: He is a much better speaker and is advising
- q. BR: Fire access? A: Answered
- r. JB : What is the net change in parking. A: Required is 180, providing 180
- s. Public presentation
- t. Public: Comment on safety and the attractiveness of the project
- u. Public Comment: Feels project is disingenuous 30 years ago this project was negotiated and now they want to change it
- v. Public : Concerned on density and safety
- w. NG: Where is the outdoor space?
- x. AB: Comment on traffic and how more apartments are needed. Are you expecting school or families? A: Currently predominantly families.

Motion: Motion to approve as presented by AB and seconded by GL.

Vote: 8 in favor, 4 opposed, 2 abstentions. Motion passed.

12. Ad Hoc Committee Reports

- a. Bicycle Committee - Petr Krysl and Andy Wiese
 - a. No report
- b. Fire Station Committee - Ash Nasari
 - a. No report
- c. High Speed Rail - Sam Greening
 - a. No report
- d. Mid Coast Trolley - Janay Kruger
 - a. No report

13. Old Business/New Business

14. Adjourn – 7:55 pm

Submitted by:

Kristopher J. Kopensky, Secretary
University Community Planning Group



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit 10P2
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Spectrum 1 & 2 **Project No. For City Use Only:** 383639
Project Address: 3013 & 3033 Science Park Road

Part I - To be completed when property is held by individual(s) *N/A*

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

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Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: Spectrum 1 & 2 Project No. (For City Use Only) 383639

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation [] Limited Liability -or- [x] General) What State? Corporate Identification No. 45-3989444 Partnership []

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Corporate/Partnership Name (type or print): ARE-SD REGION NO. 35, LLC
Owner [x] Tenant/Lessee []
Street Address: 4660 LA JOLLA VILLAGE DRIVE SUITE 725
City/State/Zip: SAN DIEGO CA 92122
Phone No: 658-530-8190 Fax No:
Name of Corporate Officer/Partner (type or print): STEVE POMERANKE
Title (type or print): VP - DESIGN & CONSTRUCTION
Signature: [Signature] Date: 7.25.14

Corporate/Partnership Name (type or print):
Owner [] Tenant/Lessee []
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Corporate/Partnership Name (type or print):
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Title (type or print):
Signature: Date:

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Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Supplement to Ownership Disclosure Form for Project No. 383696

1. 3013/3030 Science Park Road (Spectrum 1 & 2)

ARE – SD Region No. 35, LLC, a Delaware limited liability company

Managing (and Sole) Member: Alexandria Real Estate Equities, L.P., a Delaware limited partnership

Alexandria Real Estate Equities, L.P., a Delaware limited partnership

General Partner: ARE-QRS CORP., a Maryland corporation

ARE-QRS CORP., a Maryland corporation

Joel S. Marcus, CEO and Founder
Dean A. Shigenaga, Executive VP, CFO and Treasurer
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Gary Dean, Senior VP
Daniel J. Ryan, Executive VP, Regional Marketing Director
Bret E. Gossett, Senior VP
Vincent R. Ciruzzi, Senior VP
Stephen Pomerence, VP
These individuals are a subset of ARE-QRS Corp officers and oversee and are responsible for the San Diego region

2. 3115/3215 Merryfield Row

ARE – SD Region No. 23, LLC, a Delaware limited liability company

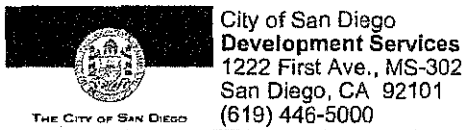
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Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit 20
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Spectrum 3 & 4 (LA JOLLA SPECTRUM) Project No. For City Use Only: 383639
 Project Address: 3115 & 3125 Merrfield Row

Part I - To be completed when property is held by Individual(s) N/A

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

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 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Project Title: Spectrum 3 & 4	Project No. (For City Use Only) 303637
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. 26-0626263
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

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Owner Tenant/Lessee


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4660 LA VILLAGE DRIVE, SUITE 725

City/State/Zip:
SAN DIEGO, CA 92122

Phone No: **858-530-8190** Fax No: _____

Name of Corporate Officer/Partner (type or print):
STEVE POMERENKE

Title (type or print):
VP - DESIGN & CONSTRUCTION

Signature:  Date: **7.25.14**

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Title (type or print):

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Supplement to Ownership Disclosure Form for Project No. 383696

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DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
SPECTRUM 1 & 2/LA JOLLA SPECTRUM - PROJECT NO. 383639 [MMRP]

Date	Action	Description	City Review Time (Working Days)	Applicant Response
8/27/2014	First Submittal	Project Deemed Complete	-	-
9/29/2014	First Assessment Letter		22 days	
11/17/2014	Second Submittal			34 days
1/5/2015	Second Assessment Letter		27 days	
1/16/2015	Third Submittal			9 days
2/2/2015	Third Review Completed	Outstanding issues resolved, just need community group	10 days	
2/10/2015	Community Group	Recommended approval		6 days
4/20/2015	MND	Prepared and distributed for public review.	51 days	
5/10/2015	MND	End of public review period (20 calendar days)		14 days
5/14/2015	MND	Finalized	4 days	
6/10/2015	Public Hearing	First available date.	18 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	132 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		63 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	195 working days (287 calendar days)	