



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: February 11, 2015

REPORT NO. HO-15-014

ATTENTION: Hearing Officer

SUBJECT: MCMAKIN/CASTEEL SDP  
PTS PROJECT NUMBER: 360706

LOCATION: 2730-2732 First Avenue

APPLICANT: Roy McMakin

### SUMMARY

Issue(s): Should the Hearing Officer approve the construction of three new dwelling units in two detached buildings on a vacant lot within the Uptown Community Planning area?

Staff Recommendation(s) – APPROVE Site Development Permit No. 1307272

Community Planning Group Recommendation – On July 1, 2014, the Uptown Community Planning Group voted 13-0-1 to recommend approval without conditions (Attachment 9).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section (15303 (b) and (e) (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 12, 2015 and the opportunity to appeal that determination ended January 26, 2015 (Attachment 7).

### BACKGROUND/DISCUSSION

The project proposes the construction of three dwelling units in two detached buildings, one containing duplex residences, to be approximately 5,167 square feet and one single residence with 4,590 square feet, with detached garages and carport on a vacant .20 acre site. The site is located at 2730-2732 First Avenue in the MR-1000 Zone of the Mid-City Communities Planned District, within the Uptown Community Plan area, which designates the site for residential use with a maximum density of 29 to 44 dwelling units per acre (Attachment 2).

The proposed three dwelling units on the 8,530 square foot lot will provide a density range of 15.3 dwelling units per acre. Although the proposed density is not consistent with the Community Plan designation, the Uptown Community Plan recommends that development maintain the historical scale and character on First Avenue south of Maple Canyon. The historical scale and character of this area consists of single-family residences and multiple dwelling units. The proposed project does increase the existing single residential use that had been on the site since 1910 by adding two additional units and provides a mix of single family and multiple family development. Therefore, the proposed project brings the project site closer into compliance with the Uptown Community Plan Land Use designation and maintains the character of the area.

The single family structure that was built in 1910 was removed in 2011 as part of a previously approved development permit (Rhude Residence 2010). The Rhude Residence permit has since expired. The property is currently vacant and under new ownership.

The north building, Building M, is a 5,167 square foot, four story duplex with a roof deck, garage and carport. Building C, the south building, is a 4,590 square foot three story building with a basement, roof deck, garage and carport. Both buildings will each have an elevator and external stairs (Attachment 11).

Since the site was previously developed, the majority of the site is flat. The proposed design and siting of the two buildings minimizes the need for grading and land form alteration by utilizing the existing pad area of the previous structure and development area. Except for the City required brush management activities, the project design would not intrude or alter the western edge of the parcel, which is situated at the top of City owned open space and canyon area and which is environmentally sensitive.

A Site Development Permit (SDP) is required for all development adjacent to or within environmentally sensitive lands. The project site is within 40 feet of the top of a steep slope and 100 feet of sensitive vegetation, and any project which utilizes the zero-foot side yard option requires an SDP. The project also proposes deviations to the Land Development Code which are permitted in conjunction with an SDP. The proposed project otherwise complies with the minimum standards of the Mid City Communities Planned District Ordinance

Due to the lot constraints, proximity to the steep slope, and City Owned open space, the project is proposing alternative compliance for brush management. Therefore, a modified "Zone One" ranging from 29-feet to 32-feet shall extend from the southeast corner of Building M and the northeast corner of Building C, to the outer edge of the flow-through planter at top of slope, with a balance of Zone Two ranging from 15-feet to 30-feet extending down slope to the rear property line. To compensate for the lack of full defensible space, alternative compliance measures for the structures shall include opening protection upgraded to dual-glazed, dual-tempered panes along north, west, and south faces of the structures flanking the brush management zones and open space.

The following deviations are being proposed with this project:

1. Utilize the zero side yard option on the north property line to allow part of the first floor habitable area (22' 10") to be on the property line.
2. A 16.6% deviation to the side setback on the north side to have a 5-foot setback for the exterior stairs at the 3rd floor where a 6-foot side setback is required at the 3<sup>rd</sup> floor.
3. A 44.44% deviation to the side setback on the north side to have a 5-foot setback for exterior stairs at the 4<sup>th</sup> floor and a 19.9% deviation to the side setback to have a 7-foot 2.5-inch setback for the building wall at the 4th floor where a 9-foot side setback is required at the 4th floor.
4. Utilize the zero side yard option on the south property line to have part of the first and second floor habitable area 3.5 inches from the south property line (a single point).
5. A 19.4% deviation to the side setback on the south side to have a 4-foot, 10-inch setback for the 3<sup>rd</sup> floor where the 3rd floor is required to have a 6-foot side setback.
6. A 19.9% deviation to the side setback on the south side to have a 7-foot 2.5-inch setback for the building wall at the 4th floor where a 9-foot side setback is required at the 4th floor.
7. A 20% deviation the height limit by having a height of 48 feet where the building is not above enclosed parking where a maximum height of 40 feet is allowed for the portions of the building that are not above enclosed parking.
8. A 17.3% deviation to the allowed Floor Area Ratio (F.A.R.) to allow a total of 8,682 square feet of gross floor area where a maximum of 7,400 square feet is allowed (6,375 square feet, plus 1,025 square feet of enclosed parking).

These deviations are permitted exceptions to the code with an SDP which allows these deviations under certain criteria (SDMC Section 1512.0303 Residential Development Regulations). The proposed deviations have been reviewed by staff and been determined to meet the purpose and intent of the code. Additionally, the Community Planning Group also recommended approval to the Hearing Officer with the proposed deviations.

## CONCLUSION

Staff has reviewed the proposed project and the proposed deviations and has found it is consistent with the development standards in effect for the site and with the adopted Uptown Community Plan, the City of San Diego Progress Guide and General Plan. Staff recommends approval of the project.

## ALTERNATIVES

1. **Approve** Site Development Permit No. 1307272, with modifications.
2. **Deny** Site Development Permit No. 1307272, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

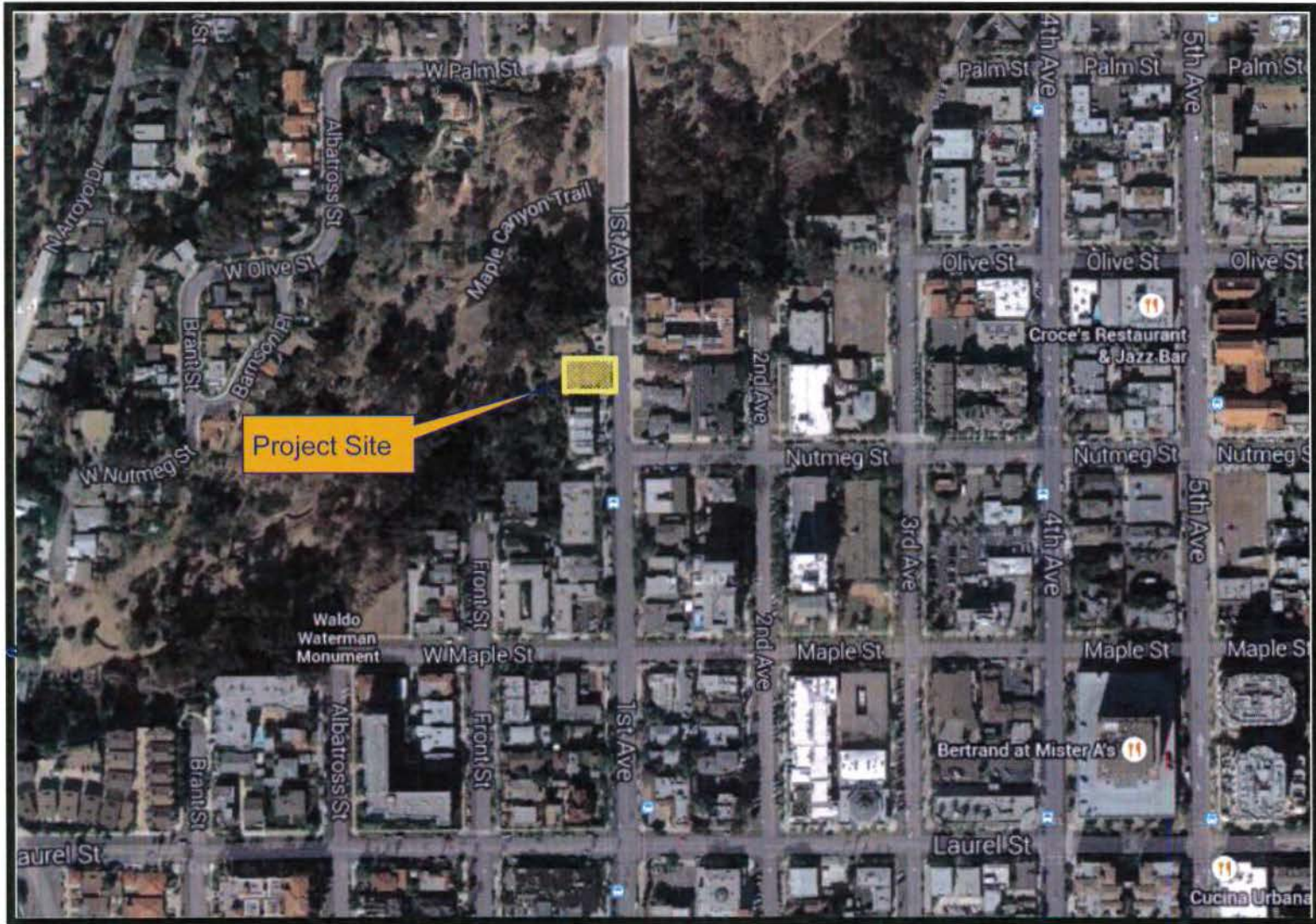


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Helene Deisher, Development Project Manager

### Attachments:

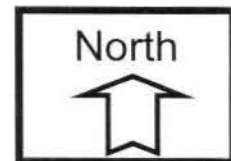
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Environmental Notice of Right to Appeal
9. Community Planning Group Recommendation (Pages 5-6)
10. Ownership Disclosure Statement
11. Project rendering
12. Project Site Plan(s)

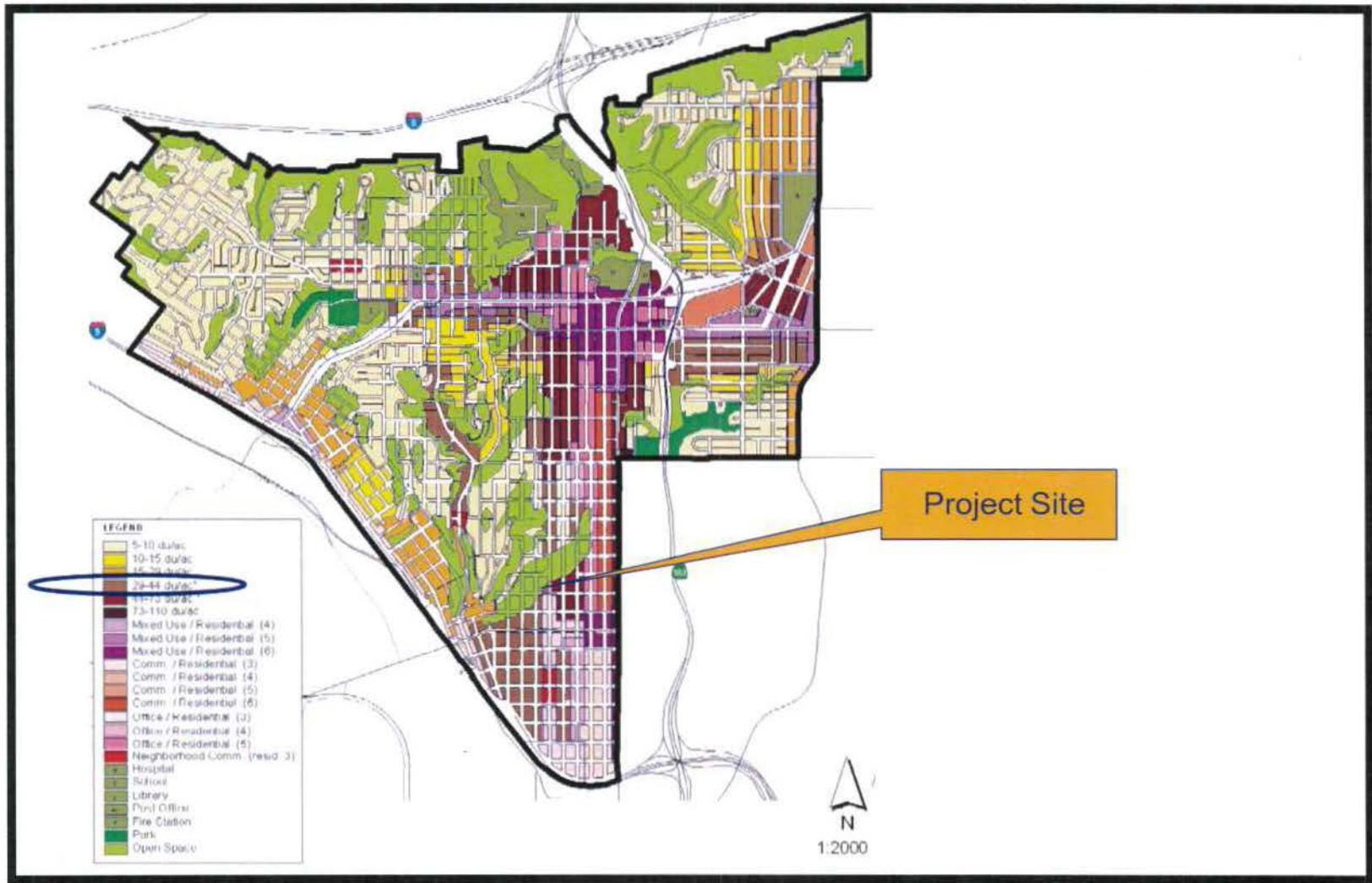


## Aerial Map

MCKIN/CASTEEL - Project No. 360706

2730-2732 First Avenue



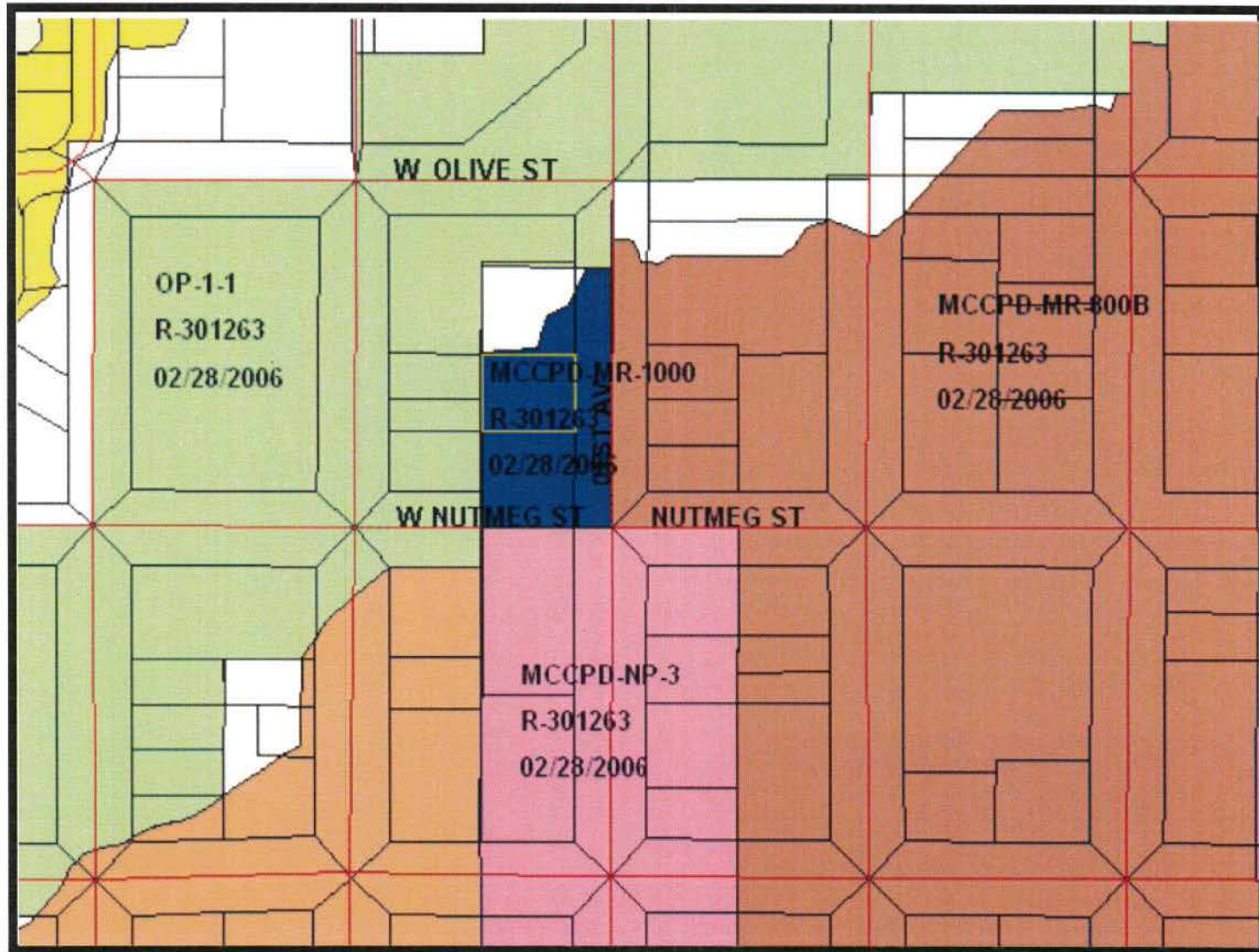


# Community Plan Land Use Map

MCKIN/CASTEEL - Project No. 360706

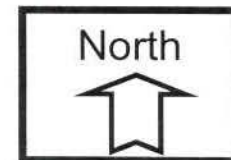
2730-2732 First Avenue





## Location Map

MCKIN/CASTEEL - Project No. 360706  
 2730-2732 First Avenue



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	McMakin/Casteel SDP PTS 360706	
<b>PROJECT DESCRIPTION:</b>	Construct one duplex approximately 5,167 square feet, one single family residence approximately 4,590 square feet with a basement. Both buildings also providing garages, carports roof deck and elevator	
<b>COMMUNITY PLAN AREA:</b>	Uptown	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential (29-44 Units)	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE: MR-1000- Mid-City</b>		
<b>HEIGHT LIMIT: 40 feet (50 feet permitted where a building is above enclosed parking)</b>		
<b>LOT SIZE: 8500 square feet (0.20 acres)</b>		
<b>FLOOR AREA RATIO: (.75) Maximum enclosed parking excluded from calculation</b>		
<b>LOT COVERAGE: 40 percent</b>		
<b>FRONT SETBACK: 10-feet</b>		
<b>SIDE SETBACK: 6-feet</b>		
<b>REAR SETBACK: 15-feet</b>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	MR-1000 and RS 1-1 Multi- Family & Residential Single family	Multi- Family & Residential
<b>SOUTH:</b>	MR-1000 Multi-family Residential	Multi- Family & Residential
<b>EAST:</b>	MR-800-B Multi-family Residential	Multi- Family & Residential
<b>WEST:</b>	OP-1-1 Open Space Open Space-Park	Multi- Family & Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviations that are being requested are permitted exceptions to the Code as administrative if less than 20 percent or with a Site Development Permit which allows these deviations under certain criteria (SDMC Section 1512.0303 Residential Development Regulations). The proposed deviations have been reviewed by staff and been determined to meet the purpose and intent of the code.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On July 1, 2014, the Uptown Planners voted 13-0-1 to recommend approval of the project, without conditions.	



HEARING OFFICER RESOLUTION NO. XXXX  
SITE DEVELOPMENT PERMIT NO. 1307272  
**MCKIN/CASTEEL SDP PROJECT NO. 360706**

WHEREAS, Pigeon Point LLC, a Washington Limited Liability Company, and Arroyo Park Properties LLC, a California Limited Liability Company, Owners/Permittees, filed an application for a Site Development Permit with the City of San Diego to allow the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant site (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1307272), on portions of a .20 acre site;

WHEREAS, the project site is located at 2730-2732 First Avenue in the MR-1000 Zone of the Mid-City Planned District Ordinance (PDO) & the Uptown Community Plan Area;

WHEREAS, the project site is legally described as Lot L and the North 35 feet of Lot H in Block 311 of Horton's Addition;

WHEREAS, on February 11, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1307272 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 12, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guidelines Section 126.0502 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 11, 2015.

FINDINGS:

**Site Development Permit – Land Development Code Section 126.0504.**

**A. Standard Findings for all Site Development Permits.**

1. **The proposed development will not adversely affect the applicable land use plan.** The project proposes the construction of three dwelling units in two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The site is located in the Park West neighborhood of the Uptown Community Plan area, which designates the site for Residential Use and authorizes a maximum density of 29 to 44 dwelling units per acre. The project proposes to construct three dwelling units on an 8,530 square foot lot resulting in a density of 15.3 dwelling units per acre. The property had been the site of two story residential structure since 1910. This structure was demolished in 2011 as part of the previous discretionary permit, which is now expired, to build a new single family structure. The Uptown Community Plan recommends that development maintain the historical scale and character on First Avenue south of Maple Canyon.

The historical scale and character of this area consists of single-family residences and multiple dwelling units. The proposed project incorporates both a duplex and a single family residence. The project is otherwise consistent with the recommended land use and density, and maintains the historical scale of the neighborhood. For these reasons, the project will not adversely affect the applicable land use plan.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. Development of the vacant site is consistent with the Uptown Community Plan's residential land use recommendation and complies with the development regulations of the underlying zone. The project was determined to be exempt from the California Environmental Quality Act (CEQA). The project has been designed and sited to avoid steep hillsides and to minimize land form alteration. The project will be designed, reviewed, permitted, constructed and inspected pursuant to the California Building Code. The project will, therefore, not be detrimental to the public health, safety, and welfare.
3. **The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The site is zoned MR-1000 of the Mid City Communities Planned District Ordinance. The project complies with the minimum standards of the Mid City Communities Planned District Ordinance with the exception of minor deviations (20 percent or less) which are permitted in conjunction with a discretionary permit. The deviations have been reviewed by City staff and by the decision-maker, and have been determined to be minor in nature and result in a better overall project by allowing design flexibility and reducing the grading and hillside disturbance that would be required with strict application of the development regulations. The project, therefore, complies with the applicable regulations of the Land Development Code.

**B. Supplemental Findings – Environmentally Sensitive Lands:**

1. **The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. Although the project site is currently vacant, the site was previously developed with a single-family residence and the site was disturbed due to previous grading activity that resulted in a relatively flat graded area on which the previous single-family residence was located. The site is, therefore, physically suitable for the design and siting of the new three dwelling unit project.

The design and siting of the new three dwelling unit project minimizes the need for grading and land form alteration by utilizing the existing pad area of the previous structure. No encroachment into the hillside is proposed with this project. The project, therefore, results in minimum disturbance to environmentally sensitive lands.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. Although the project site is currently vacant, the site was previously developed with a single-family residence and the site was disturbed due to previous grading activity that resulted in a relatively flat graded area on which the previous single-family residence was located. The project minimizes the alteration of the natural land form by locating the proposed structure on the previously graded and disturbed portion of the site.

The property is located within Geologic Hazard Category 52, which is considered a favorable geologic condition and low risk. A Preliminary Geotechnical investigation was prepared for the site, and reviewed and accepted by the Development Services Department. This preliminary report concluded that the site is favorable from a geologic standpoint for the proposed development. The City reviewed the project for compliance with the City of San Diego Landscape Regulations and a Brush Management Plan will be implemented for the project. The project is not susceptible to flooding due to the hillside location. The project, therefore, will minimize the alteration of the existing landform and would not result in undue risk from geologic and erosional forces, flood hazard, or fire hazard.

- 3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. Although the project site is currently vacant, the site was previously developed with a single-family residence and the site was disturbed due to previous grading activity that resulted in a relatively flat graded area on which the previous single-family residence was located. The project would not encroach onto any steep hillsides. Furthermore, the three dwelling units will be located on the previously graded and disturbed portion of the site on which the previous single-family residence was located. The proposed development is, therefore, sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.
- 4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The project is not located within the MSCP Subarea Plan boundary and is, therefore, consistent with the MSCP Subarea Plan.

5. **The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The project is located several miles from any public beach and will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.
6. **The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The project is exempt from the California Environmental Quality Act (CEQA) Section 15303 (b) and (e) (New Construction or Conversion of Small Structures), therefore no mitigation is required or necessary. The project will be sited on the previously graded and disturbed portion of the site thereby avoiding any encroachments onto the steep hillsides located on the site. Additionally, permit conditions have been added to ensure sound attenuation to 45 decibels, brush management and an appropriate planting plan for development adjacent to open space. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

**Mid-City Communities Development Permit Findings SDMC 1512.0204(a).**

1. **Conformance with Community Plan and Design Manuals.** The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the following documents, as applicable to the site: the Mid-City Community Plan, the Greater North Park Community Plan, the State University Community Plan, the Uptown Community Plan, the Mid-City Design Plan (California State Polytechnic University, Pomona; Graduate studies in Landscape Architecture; June, 1983), Design Manual for the Normal Heights Demonstration Area and the City Heights Demonstration Area (HCH Associates and Gary Coad; April, 1984), The Design Study for the Commercial Revitalization of El Cajon Boulevard (Land Studio, Rob Quigley, Kathleen McCormick), The North Park Design Study, Volume 1, Design Concept and Volume 2, Design Manual (The Jerde Partnership, Inc. and Lawrence Reed Moline, Ltd.), Sears Site Development Program (Gerald Gast and Williams-Kuebelbeck and Assoc.; 1987) and will not adversely affect the Greater North Park Community Plan, the Uptown Community Plan or the General Plan of the City of San Diego. The project proposes the construction of three dwelling units in two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The site is located in the Park West neighborhood of the Uptown Community Plan area and within the Mid-City Communities Planned District.

The Park West neighborhood of the Uptown Community Plan area designates the site for Residential Use and authorizes a maximum density of 29 to 44 dwelling units per acre. The project proposes to construct three dwelling units on an 8,530 square foot lot resulting in a density of 15.3 dwelling units per acre. The property had been the site of two story residential structure since 1910. This structure was demolished in 2011 as part of the previous discretionary action, which is now expired, to build a new single family structure. The Uptown Community Plan

recommends that development maintain the historical scale and character on First Avenue south of Maple Canyon. The historical scale and character of this area consists of single-family residences and multiple dwelling units. The proposed project incorporates both a duplex and a single family residence. The project is otherwise consistent with the recommended land use and density, and maintains the historical scale of the neighborhood. For these reasons, the project will not adversely affect the Uptown Community Plan or General Plan.

- 2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.** The project proposes the construction of three dwelling units in two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The site is located in the Park West neighborhood of the Uptown Community Plan area, which designates the site for Residential Use and authorizes a maximum density of 29 to 44 dwelling units per acre. The project proposes to construct three dwelling units on an 8,530 square foot lot resulting in a density of 15.3 dwelling units per acre. Since 1910, the property had been the site of a two story residential structure. The original structure was demolished in 2011 as part of a previous discretionary approval to build a new single family structure which was never completed and is now expired. The Uptown Community Plan recommends that development maintain the historical scale and character on First Avenue south of Maple Canyon. The historical scale and character of this area consists of single-family residences and multiple dwelling units. The proposed project incorporates both a duplex and a single family residence. The project is consistent with the recommended land use and density, and maintains the historical scale of the neighborhood. For these reasons, the project will not adversely affect the applicable land use plan.
- 3. No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. Development of the vacant site is consistent with the Uptown Community Plan's residential land use recommendation and complies with the development regulations of the underlying zone. The project was determined to be exempt from the California Environmental Quality Act (CEQA). The project has been designed and sited to avoid steep hillsides and to minimize land form alteration. The project will be designed, reviewed, permitted, constructed and inspected pursuant to the California Building Code. The project will, therefore, not be detrimental to the public health, safety, and welfare.

4. **Adequate Public Facilities.** For residential and mixed residential/commercial projects within the park-deficient neighborhoods shown on Map Number B-4104 that are not exempted by Section 1512.0203(b)(1)(A) or (B), the proposed development provides a minimum of 750 square feet of on-site usable recreational open space area per dwelling unit. The on-site usable recreational open space area shall not be located within any area of the site used for vehicle parking, or ingress and egress, and shall be configured to have a minimum of 10 feet in each dimension. The area will be landscaped and may also include hardscape and recreational facilities. The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The site is adjacent to Olive Park located across the street. This location is not within the park-deficient neighborhoods shown on Map Number B-4104 and therefore is not required to provide 750 square feet of on-site usable recreational open space.
5. **Adequate Lighting.** In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site. The project site is located at 2730-2732 First Avenue and there is a city street light north of the property and within 150 feet. Therefore, there is adequate neighborhood-serving lighting consistent with the Municipal Code.
6. **The proposed use will comply with the relevant regulations in the San Diego Municipal Code.** The project proposes the construction of two detached buildings, one containing duplex residences and one a single residence, with detached garages and carport on a vacant .20 acre site at 2730-2732 First Avenue. The site is zoned MR-1000 which supports residential uses. This is a residential project which complies with the relevant regulations contained in the San Diego Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1307272 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1307272, a copy of which is attached hereto and made a part hereof.

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Helene Deisher  
Development Project Manager  
Development Services

Adopted on: February 11, 2015

Internal Order No. 24004477

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004477

**SITE DEVELOPMENT PERMIT NO. 1307272**  
**MCKIN/CASTEEL SDP - PROJECT NO. 360706**  
Hearing Officer

This Site Development Permit No. 1307272 is granted by the Hearing Officer of the City of San Diego to Pigeon Point LLC, a Washington Limited Liability Company and Arroyo Park Properties LLC, a California Limited Liability Company Owner and Permittees, pursuant to San Diego Municipal Code [SDMC] section 126.0502. The vacant 0.20-acre site is located at 2730-2732 First Avenue in the MR-1000 Zone zone(s) of the Mid-City Planned District and the Uptown Community Plan area. The project site is legally described as: Lot L and the North 35 feet of Lot H in Block 311 of Horton's Addition.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to construct three dwelling units (one duplex and one single family residence) with detached garages and carports described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 11, 2015 on file in the Development Services Department.

The project shall include:

- a. Construct one duplex approximately 5,167 square feet, one single family residence approximately 4,590 square feet with a basement. Both buildings also providing garages, carports roof deck and elevator;
- b. Deviations:
  1. Utilize the zero side yard option on the north property line to allow part of the first floor habitable area (22' 10") to be on the property line.
  2. A 16.6% deviation to the side setback on the north side to have a 5-foot setback for the exterior stairs at the 3rd floor where a 6-foot side setback is required at the 3<sup>rd</sup> floor.

3. A 44.44% deviation to the side setback on the north side to have a 5-foot setback for exterior stairs at the 4<sup>th</sup> floor and a 19.9% deviation to the side setback to have a 7-foot 2.5-inch setback for the building wall at the 4th floor where a 9-foot side setback is required at the 4th floor.
  4. Utilize the zero side yard option on the south property line to have part of the first and second floor habitable area 3.5 inches from the south property line (a single point).
  5. A 19.4% deviation to the side setback on the south side to have a 4-foot, 10-inch setback for the 3<sup>rd</sup> floor where the 3rd floor is required to have a 6-foot side setback.
  6. A 19.9% deviation to the side setback on the south side to have a 7-foot 2.5-inch setback for the building wall at the 4th floor where a 9-foot side setback is required at the 4th floor.
  7. A 20% deviation the height limit by having a height of 48 feet where the building is not above enclosed parking where a maximum height of 40 feet is allowed for the portions of the building that are not above enclosed parking.
  8. A 17.3% deviation to the allowed Floor Area Ratio (F.A.R.) to allow a total of 8,682 square feet of gross floor area where a maximum of 7,400 square feet is allowed (6,375 square feet, plus 1,025 square feet of enclosed parking).
- c. Landscaping and brush management (planting, irrigation and landscape related improvements);
  - d. Off-street parking; and
  - e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 26, 2018.



2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **AIRPORT REQUIREMENTS:**

11. The proposed project is located within the 60-65 dB CNEL noise contour. The ALUCP identifies all uses located within the 60-65 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level. Therefore, as a condition of project approval, the residences must be sound attenuated to 45 dB CNEL interior noise level.

12. The proposed project is located within the over-flight notification area. The ALUCP requires recordation of an over-flight notification with the County Recorder for new residential land uses or other alternative notification method as approved by the ALUC. Therefore, as a condition of project approval, an over-flight notification shall be recorded with the County Recorder or other alternative notification method as approved by the ALUC.

**ENGINEERING REQUIREMENTS:**

13. The project proposes to export 142 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb and gutter, adjacent to the site on First Avenue, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 20 foot wide concrete driveway, adjacent to the site on First Avenue, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct a current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on First Avenue, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee Subdivider shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
22. Prior to the issuance of any building permit, the Owner/Permittee shall enter into an agreement to indemnify, protect and hold harmless the City, its officials and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of surface drainage entering into the property from the Right-of-Way due to the design of the existing First Avenue Right-of-Way.

**GEOLOGY**

23. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

24. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**LANDSCAPE/BRUSH MANAGEMENT**

25. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards, Storm Water Standards Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

26. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

29. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.
31. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit 'A' Brush Management Plan on file in the Office of the Development Services Department.
32. A modified Zone One ranging from 29-feet to 32-feet shall extend from the southeast corner of Building M and northeast corner of Building C to the outer edge of the Flow-through Planter at top of slope, with a balance of Zone Two ranging from 15-feet to 30-feet extending down slope to the rear property line. To compensate for the lack of full defensible space, alternative compliance measures shall include opening protection upgraded to dual-glazed, dual-tempered panes along north, west, and south faces of the structures flanking the Brush Management zones as shown on exhibit A.
33. Prior to issuance of any Engineering Permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zone on the property in substantial conformance with Exhibit 'A.'
34. Prior to issuance of any Building Permits, a complete set of Brush Management Plans shall be submitted for approval to the Development Services Department. The construction documents shall be in substantial conformance with Exhibit 'A' and shall comply with the Landscape Standards and Brush Management Regulations as set forth under Land Development Code Section 142.0412.
35. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible, one-hour fire-rated, and/or heavy timber accessory structures may be approved within the designated Zone One area subject to Fire Marshal's approval.
36. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

**PLANNING/DESIGN REQUIREMENTS:**

39. Prior to the issuance of construction permits, the fence/wall proposed within the street yard area will be redesigned so that portions of the fence/wall above 3 feet in height will be open enough so that the minimum amount of required street yard area (1,700 square feet) will be clearly visible from the street.

37. Prior to the issuance of construction permits, the construction documents will show that all windows in the project will be recessed at least 2 inches.

38. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under-construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

39. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS**

40. No fewer than 5 parking spaces (8 spaces proposed) shall be maintained on the property at all times in the approximate locations shown on Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

41. Prior to the issuance of any building permits, the Owner/Permittee shall sign and provide to the City a letter acknowledging their obligation and intent to create, via CC&Rs on each Unit's title, provisions for the continuous future operation and maintenance of the development's private sewer main in a manner satisfactory to the Public Utilities Director and the City Engineer..

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 11, 2015, by Resolution Number XXX.

Site Development Permit Approval No.:1307272  
Date of Approval: February 11, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Helene Deisher  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Arroyo Park Properties LLC**  
Owner/Permittee

By \_\_\_\_\_  
NAME: Michael A. Casteel  
TITLE: Manager

**Pigeon Point LLC**  
Owner/Permittee

By \_\_\_\_\_  
NAME: Roy McMakin  
TITLE: Manager

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

## NOTICE OF EXEMPTION

TO:  X  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2422

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814.

Project No.: 360706

Project Title: McMakin/Casteel SDP

Project Location-Specific: 2730-2732 First Avenue, San Diego, California 92103  
 Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: **SITE DEVELOPMENT PERMIT(SDP) FOR ENVIRONMENTALLY SENSITIVE LANDS (ESL) AND FOR DEVIATIONS TO THE DEVELOPMENT REGULATIONS OF THE MID-CITY COMMUNITIES PLANNED DISTRICT ORDINANCE** to allow construction of three dwelling units in two buildings, 1 duplex and 1 single-family residence each with a carport and a detached garage on a vacant, 0.20-acre site. One residential building would be approximately 4,590 square-feet with 1 unit; while the other building is an approximately 5,167 square-foot duplex.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Roy McMakin (Applicant), 415 West Nutmeg Street, San Diego, CA, 92103, (206) 409-7747

Exempt Status:

- Ministerial (Sec. 21080(b)(1); 15268);  
 Declared Emergency (Sec. 21080(b)(3); 15269(a));  
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  
 Categorical Exemption: CEQA Exemption 15303(b) and (e)-(New Construction or Conversion of Small Structures)  
 Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303(b) which allows for the construction of a duplex or similar multi-family residential structure, totaling no more than four dwelling units, and (e) the construction of accessory (appurtenant) structures including garages and carports. The exceptions listed in CEQA Section 15300.2 would not apply.


Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

  
 \_\_\_\_\_  
 Signature/Title

January 12, 2015  
 \_\_\_\_\_  
 Date

Check One:

- Signed By Lead Agency  
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:





THE CITY OF SAN DIEGO

Date of Notice: January 12, 2015

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24004477

**PROJECT NAME/NUMBER:** McMakin/Casteel SDP/360706

**COMMUNITY PLAN AREA:** Uptown Community Plan

**COUNCIL DISTRICT:** 3

**LOCATION:** 2730-2732 First Avenue, San Diego, California 92103

**PROJECT DESCRIPTION: SITE DEVELOPMENT PERMIT(SDP) FOR ENVIRONMENTALLY SENSITIVE LANDS (ESL) AND FOR DEVIATIONS TO THE DEVELOPMENT REGULATIONS OF THE MID-CITY COMMUNITIES PLANNED DISTRICT ORDINANCE** to allow construction of three dwelling units in two buildings, 1 duplex and 1 single-family residence each with a carport and a detached garage on a vacant, 0.20-acre site. One residential building would be approximately 4,590 square-feet with 1 unit; while the other building is an approximately 5,167 square-foot duplex.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** CEQA Exemption 15303 (b) and (e)-(New Construction or Conversion of Small Structures)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303(b) which allows for the construction of a duplex or similar multi-family residential structure, totaling no more than four dwelling units, and (e) the construction of accessory (appurtenant) structures including garages and carports. The exceptions listed in CEQA Section 15300.2 would not apply.

**DEVELOPMENT PROJECT MANAGER:**

**MAILING ADDRESS:**

**PHONE NUMBER:**

**Helene Deisher**

**1222 First Avenue, MS 301**

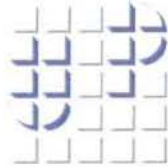
**San Diego, CA 92101**

**(619) 446-5223**

On January 12, 2015, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (January 26, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



**UPTOWN PLANNERS**  
Uptown Community Planning Group  
AGENDA  
**NOTICE OF PUBLIC MEETING**  
**JULY 1, 2014**  
**Meeting Minutes**

Meeting Place: Joyce Beers Community Center, Uptown Shopping District

Meeting called to order by at 6:00 p.m. by Chair Leo Wilson

Present: Gary Bonner, Rhett Butler, Bob Grinchuk, Neil Ferrier, Tom Fox, Bob Daniel, Leo Wilson, Ken Tablang, Ernie Bonn, Jennifer Pesqueira, Beth Jaworski, Tony Winney, Tom Mullaney, Matt Winter,

Absent: Chris Ward, Joe Naskar, Jim Mellos

Approximately 70 individuals in attendance;

Adoption of Agenda

Chair Wilson indicated San Diego Pride had inadvertently not obtained a letter of support from Uptown Planners for the 40<sup>th</sup> Annual Pride Event to be held July 18-20, 2014, Wilson requested that the letter of support be added to the agenda as an action item. It would take a 2/3 vote to add the letter of support as an urgency item. Ferrier made a motion to add the 40<sup>th</sup> Annual Pride Event letter of support to the agenda, seconded by Winney – motion passed by a 14-0-1 vote, with non-voting chair abstaining.

Motion by Butler, seconded by Ferrier, to move Action Items VI, nos. 4 and 5: Letter of Support for the Nightmare on Normal Street, and Letter of Support for the 25<sup>th</sup> Annual AIDS Walk, as well as the Letter of Support for 40<sup>th</sup> Annual Pride, to the Consent Agenda. The motion passed by a 13-0-1 vote, with non-voting chair abstaining.

Motion to approve the July 1, 2014 agenda, as amended, made by Bonn, seconded by Daniel; approved by a 13-0-1 vote; with non-voting chair abstaining.

Approval of Minutes:

Motion to approve the April 8, 2014 minutes by Ferrier, seconded by Daniel, approved by a 12-0-1 vote; non-voting Chair Wilson abstaining;

Treasurer's Report:

Treasurer Fox reported that the bank account had a total of \$265.05. Tony Winney provided the Treasurer an invoice for the website of \$119.40.

Chair's Report:

Chair Wilson announced that board member Joe Naskar had submitted his resignation; Naskar was moving out-of-state. Chair stated the vacancy would be formally noticed on the August agenda, and the vacant seat filled at the September board meeting.

Chair recommended that the Uptown Planners Design Review Subcommittee again meet on a regular basis, since there was likely going to be an increase in projects coming before Uptown Planners.

**Non Agenda Public Comment**

Walt Chambers, from Hillcrest, spoke regarding mobility issues in Uptown, and the need to encourage alternative transportation to address climate change. Chambers distributed a hand-out entitled Uptown21C that addressed transportation issues.

Susan McNeil Schreyer, the new director of the Mission Hills BID, introduced herself.

Ken Tablang spoke about a special event Independence Day event sponsored by the Mission Hills Town Council was putting on July 4, 2014, that would involve both a parade and paella.

Luke Terpstra, President of the Hillcrest Town Council, spoke about that organization's next meeting on July 8, 2013; at which representatives from San Diego Pride would in attendance.

Ernie Bonn, from the University Height Community Development Corporation, provided an update that organization's summer concert series in the Trolley Barn Park.

**Representatives of Elected Officials:**

Jessica Poole, representing Congressman Susan Davis, passed distributed her office's monthly news letter; and spoke about the town hall meetings that Susan Davis would be attending.

Adriana Martinez spoke regarding the legislative activities of Council President Todd Gloria, including his proposal to raise the minimum wage; Gloria was now supporting a compromise proposal to raise the minimum wage less than he had originally suggested.

**Consent Agenda:**

Motion by Ferrier, seconded by Bonner, to approve the consent agenda consisting of the following three letters of support; the motion passed by a vote of 13-0-1, non-voting chair abstaining.

1. **LETTER OF SUPPORT FOR NIGHTMARE ON NORMAL STREET** – Hillcrest -- The event will take place on October 25, 2014, at the corner of Normal Street and University Avenue.
2. **LETTER OF SUPPORT FOR AIDS WALK** – Hillcrest -- The 25<sup>th</sup> Annual AIDS Walk will be held at a new location on Normal Street, between University Avenue and Lincoln Street on September 27, 2014.
3. **LETTER OF SUPPORT FOR 40<sup>TH</sup> ANNUAL PRIDE EVENT** – Hillcrest/Balboa Park – The event will take place from July 18, 2014 to July 20, 2014.

**Informational Items:**

1. **AIRPORT DEVELOPMENT LANDS USE PLAN OVERVIEW** – Presentation by Keith Wilschetz of the San Diego Regional Airport Authority; the Airport Development Plan (ADP) is the next master planning phase for the San Diego International Airport. The ADP is designed to identify improvements that will enable the airport to meet demand through 2035, which is approximately when projected passenger activity levels will reach capacity for the airport's single runway. An additional runway is not being considered.

Keith Wilschetz spoke on behalf of the San Diego Regional Airport Authority, and presented a power point presentation. He indicated the airport was in the process of preparing its next airport master plan, which would last until the year 2035. At that point, the one runway of the airport would be at capacity; there would be no way for the airport to accommodate further demand. The existing airport is only 661 acres; the average airport is 3,000 acres.

Among other improvements, Terminal One would be replaced, and more close-in parking would be built. Southwest Airlines, which accounts for 40% of the passengers at the airport, would have a new facility. There were plans to decrease Harbor Island traffic, and have a separate access road from the east side of the airport to the west side, relieving traffic congestion. Among users of the new road would be shuttles serving the rental car agencies on the east side of the airport. The expansion would allow for more passenger gates at the terminals, and more jet parking;

During public comment, Renee Bonner inquired how much traffic would be diverted off Harbor Drive by the proposed plan; it was indicated that the shuttle would likely be used by 20% of the airport users. Roy Dahl and Rich Gorin spoke of the impact of the project upon Hillcrest.

After public comment, board members commented, inquiring, among other things, if an underground tunnel between the west and east side of the airport was feasible (it was not because of the high water table); and whether they had considered an overhead tramway or solar roads.

2. **NEW MISSION HILLS/ HILLCREST LIBRARY** -- Mission Hills/ Hillcrest -- Presentation about the design of the new Mission Hills/ Hillcrest Library; Mosher Drew Architects; the new library will be a single-story, 15,000 sq. ft. building on top of two levels of underground parking that will contain approximately 85 parking spaces. The building will be LEEDS Silver certified. A \$10 million dollar private donation helped fund the project.

Anthony Bernal, from the City Council President's Office, made the presentation of the project. Also present was Charles Goldberg, from city capital projects; and Bruce Johnson, from city library staff. Bernal indicated two large donors had come forward, and it was considered important to move the project forward in an expedited manner

Eric Soldau spoke on behalf of the architect for the project, Mosher Drew. The donors have requested the project be designed to fit in with the existing community character of Mission Hills. The design incorporated traditional materials, and is in a craftsman style. Comments on the design had been obtained from Friends of the Library, Mission Hills Town Council, Mission Hills Heritage, and Hillcrest Town Council.

The library would be two stories; and about 15,000 square feet in size. Entry would be from Front Street to avoid the noise on Washington Avenue. There would be transparency along Washington Avenue and Front Street to increase lighting.

There would be 85 parking spaces in an underground parking garage. The landscaping would be drought resistant. The RFP process for the project will begin in approximately April 2015.

During public comment, Barry Hager, of Mission Hills Heritage, spoke in favor of the project, Walt Chambers, Hillcrest resident, felt a craftsman design was out of place on Washington Street. Emily Yeazell, Peggy H. from Mission Hills, Rich Gorin and Patricia Lundberg from Hillcrest, and Ben Baltic from Bankers Hill spoke in favor of the project. Baltic inquired if there would be bicycle facilities; Gorin inquired about access to the library from Hillcrest to the south. Sharon Gehl felt there should also be a garden on the site, and thought the library might be too small.

Board comments were favorable to the project; in particular supporting the addition of more parking in the area the library will be located.

3. **UNIVERSITY AVENUE REGENTS CENTER ("HUB -- HILLCREST UPTOWN PLAZA")**  
 – Hillcrest – Presentation by Greg Sadowsky, VP Regency Centers, regarding the revitalization plan for the Uptown District Shopping Center, originally built in 1989; which will include custom murals, sculptural art and new landscaping; as well as colorful way-faring signs and additional outdoor space.

Greg Sadowsky made the presentation on behalf of the applicant. The architect who originally did the new design for the project was Graham Downes, who died in 2013. The current project design has retained the concept plan Downes developed. The project will have Leed lighting and there will be signage changes. The project will incorporate art, and create a more open feel and greater connectivity with the surrounding street. The name will be changed to HUD; and there will be new restaurants and possible nightspots.

During public comment Mat Wahistrom commented on the jaywalking that regularly takes place on University Avenue between 10<sup>th</sup> Street and Vermont; Jim Frost inquired whether a crosswalk could be placed mid-block on University Avenue. Roy Dahl pointed out that the current Uptown Center turned its back on University Avenue, and need to have more of a street-oriented focus

The board comments were generally favorable; issues were raised regarding the proposed planters and the entryways.

4. **2850 SIXTH AVENUE ("SIXTH AVENUE MEDICAL CENTER") DEVELOPMENT PROJECT: – Substantial Conformance Review – Bankers Hill/Park West --**  
 Presentation by Jim McMenamin, of Zephyr Partners, about modifications to a previously entitled 75-unit residential project that will be built at the current site of the Sixth Avenue Medical Center, located at 2850 Sixth Avenue; the project consists of a 13-story residential tower along Fifth Avenue with commercial and retail space, and three stories of townhomes and residential flats along Sixth Avenue; above three levels of underground parking.

Jim McMenamin made the presentation on behalf of Zephyr Partners. A project had been approved at the site in 2006, which was never built. Zephyr Partners has purchased the site and will build under the existing plans, with some modifications which will be subject to the substantial conformance review process. The project is 13-stories tall, and approximately 150-feet in height. There will be 64 condominiums in the east tower of the project which will border Fifth Avenue; low rise townhomes will be on the Sixth Avenue side of the project. The condos will be at a high end price range.

The proposed modifications to the project include reducing the unit count to 64 from 75; and reducing the size of the project to 147,000 sq. ft. There will be an active street scene, including 4,300 sq. ft. of retail – although the applicant indicated some hesitancy about restaurant use.

During public comment, Ed Samiljan, a Bankers Hill resident indicated a concern over the 150-foot height of the building. John Lamb inquired on height compared with the previously approved project (they are about the same), and Ben Baltic questioned if the tower would create a shadow over Balboa Park – the applicant pointed out the tower was on the Fifth Avenue side of the project, and there would not be any shadowing. Jeff Gilbert and Alex B. also commented on the project; several public comments suggested

a restaurant be included in the retail; Matt Wahlstrom suggested preference be given to local businesses for the retail.

**Potential Action Item: Planning and Special Events:**

1. **2604 FIFTH AVENUE SDP & VESTING TENTATIVE MAP ("THE REGENT ON 5<sup>TH</sup>") – Process Four** – Bankers Hill/Park West -- Site Development Permit & Vesting Tentative Map to consolidate lots, demolish an existing restaurant, & construct 37 residential condominium units in a 124,255 sq. ft. residential bldg., with deviations to sight angle & street wall setbacks at 2604 Fifth Avenue & no development at 406 Maple Street. The 0.69 acre site is in the CV-1 & NP-1 zones.

Bruce Leidenberger made the presentation on behalf of the applicant. The project was continued from the May 6, 2014 meeting of Uptown Planners, after concerns were raised regarding the project's parking being above ground, and no retail being located on the ground floor.

Leidenberger indicated he the project design had been revised to place parking underground, and to include retail on the corner of the ground floor. The building height had been reduce two floors, so the north side that had been at 124-feet in height, was now 113 feet in height; and the south side that had been 104-feet in height, was reduce to 97-feet. Although the height would be reduced, the residential unit count increased from 37 to 41, with an additional residential floor. Additional setbacks had also been added; to help break up the massing. Leidenberger did respond to criticism of the survivability of a "living wall" which had been expressed at the May meeting, and pointed out there was a very successful living wall at Fashion Valley Mall in Mission Valley.

Public comment was made by Jim Frost, who had made the power point presentation in opposition to the original project in May Frost indicated he had meet with Leidenberger, and he had reviewed the revised project and was now in support of the project. Frost submitted correspondence in support of the project prior to the meeting, which had been distributed to the board. Frost spoke highly of the collaborative effort to resolve the issues the community had with the applicant.

Bruce Dammann and John Percy, Bankers Hill residents, also spoke in favor of the revised project; and supported Frost's comments. Roy McMakin spoke in favor of the revised project, and in particular about the addition of retail.

Board comments were all favorable to the revised project. Motion by Ferrier, seconded by Grinchuk, to approve the revised project as presented at the July 1, 2014 meeting; motion passed 13-0-1, with non-voting chair abstaining.



2. **2730-2732 FIRST AVENUE ("MCMAKIN/CASTELL NDP AMENDMENT") – Process Three** – Bankers Hill/Park West -- Application for a Site Development Permit (for ESL and deviations per a Mid-City Development Permit) to construct three dwelling units (duplex and single family residence) with detached garages and carports on a vacant 0.20 acre site. One residential building is approximately 3,515 sq. ft. with one unit; while the other is an approximately 5,167 sq. ft. duplex. MR-1000 Zone, Brush Management, Very High Fire Hazard Severity Zone, Outdoor Lighting Zone, Resident Tandem Parking Overlay, AAOZ, Part 77.

Roy McMakin, who is the co-applicant along with Mike Jacobs, made the presentation.

The project site formerly had a single family house on it that was built in 1910 It had been previously removed from the site. A new single family home project had been presented to Uptown Planners in April 2010 with the name "Rhude Residence." It had not been built.

Project site contains sensitive lands, and is in a high fire propensity zone.

McMakin explained the project deviations, and other issues contained in the assessment letters. There was disagreement with staff as to whether the outdoor covered parking proposed in the project would be considered enclosed parking. The project also was in an area adjacent to canyons with flammable brush; which required other forms of fire protection. The zoning for the site called more a higher unit count; however, the amount of units was limited by the sensitive lands and it being located in a high fire propensity zone.

Public comment in support of the project was made by Walt Chambers and Jeannie Rawlings, who liked the unique design

The majority of board members expressed support for the project; however, Bonner objected to the setbacks and indicated it was "the wrong project for the site. Butler did not like the brick feature of the walls.

Motion by Winter, seconded by Pesqueira, to approve the project as presented; Motion passed by a vote of 9-4-1; Winter, Pesqueira, Grinchuk, Daniel, Winney, Tablang, Ferrier, Fox, Mullaney, Jaworski voting in favor; Bonner, Bonn, Butler, Winney voting against; non-voting chair Wilson abstaining.

3. **4235 THIRD AVENUE TENTATIVE MAP – Process Four – Hillcrest – Tentative Map to convert six existing two-bedroom residential units into condominiums on a 0.206 acre lot; MR-800B Zone.**

Nancy Cole, engineer for the project, spoke on behalf of the applicant. The project already has been permitted and the applicant is presenting the tentative map which divides the project into separate condominium units pursuant to state law, with the potential for each to have independent ownership. Uptown Planners review is limited to ensuring that the tentative map is in compliance with state and municipal law.

The applicant was informed by the Chair that a standard condition attached to all condominium projects in Uptown by the board includes the requirement of undergrounding of utilities. There was no public comment

Motion by Fox, seconded by Grinchuk, to approve the 4235 Third Avenue Tentative Map as presented, subject to the standard Uptown Planners conditions regarding condominium conversions; motion passed by a 13-0-1 vote, with non-voting chair abstaining.

#### **Community/Board Reports:**

Stephen Whitburn, the Director of San Diego Pride, spoke briefly, and thanked the board for voting to approve the belated letter of support for the July Pride event.

#### **Adjournment:**

Motion to adjourn approved at approximately 9:00 p.m.

Respectfully submitted,

Leo Wilson  
Acting Secretary





City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 448-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title: MCMAKIN/CASTEEL RESIDENCES Project No. For City Use Only: 360706

Project Address: 2730/2732 FIRST AVE, SAN DIEGO, CA 92103

**Part I - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: \_\_\_\_\_ Project No. (For City Use Only)  
360706

Property is owned by a corporation or partnership

Legal Status (please check):  
 Corporation  Limited Liability -or-  General) What State? CA Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
ARROYO PARK PROPERTIES LLC  
 Owner  Tenant/Lessee  
 Street Address:  
105 W HIGHLAND DR #200  
 City/State/Zip:  
SEATTLE WA 98119  
 Phone No: 206 528 4862 Fax No: N/A  
 Name of Corporate Officer/Partner (type or print):  
MICHAEL A CASTELL  
 Title (type or print):  
MGR  
 Signature: Michael A. Castell Date: 5 FEB 2014

Corporate/Partnership Name (type or print):  
PIGEDON POINT LLC  
 Owner  Tenant/Lessee  
 Street Address:  
1422 34th AVE  
 City/State/Zip:  
SEATTLE, WA 98122  
 Phone No: 206-409-7747 Fax No: 206-323-6993  
 Name of Corporate Officer/Partner (type or print):  
ROY McMAKIN  
 Title (type or print):  
manager  
 Signature: [Signature] Date: 2-20-14

Corporate/Partnership Name (type or print):  
 Owner  Tenant/Lessee  
 Street Address:  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 Title (type or print):  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 Owner  Tenant/Lessee  
 Street Address:  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 Title (type or print):  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

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 Title (type or print):  
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 Street Address:  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 Title (type or print):  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_



EAST STREET VIEW A311

Not to scale

01/26/2015

CASTEEL & JACOBS/McMAKIN RESIDENCES

2730-32 1st Ave, San Diego, CA 92103

DOMESTIC ARCHITECTURE

1422 34th Ave, Seattle WA  
206.323.0111



**BRUSH MANAGEMENT PROGRAM AND PLAN**

1ST AVE RESIDENCE  
2730-2732 FIRST AVENUE  
SAN DIEGO, CA 9210

**IRRIGATED ZONE 1: (OWNER MAINTAINED)**

Zone 1 shall consist of permanent irrigated landscaping of native or ornamental plants and shrubs per the SD FRD approved plant list and conforming to the uptown community land-use plan. Plants within zone one shall be low-full and fire-resistant, primarily low-growing and less than 4 feet in height with the exception of trees. Maintenance to include ongoing removal and/or thinning of undesirable combustible vegetation, replacement of dead/dying fire resistant plantings, maintenance of automatic irrigation system, regular trimming to prevent ladder fuels. Irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.

No combustible building materials. Habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures are prohibited. Structures such as fences, walls, patios, play structures, and non-habitable gazebos that are located within zone one shall be of non-combustible construction (1 hour fire-rated or heavy timber).

It should be noted that the proposed structures, in addition to complying with all current codes, will have flat roofs; no eaves; and decks, skirting, and railings composed of non-combustible materials (e.g., stucco, steel, or concrete). The proposed structures will therefore be more fire resistant than many of the structures in the surrounding neighborhood.

**IRRIGATED ZONE 2: (OWNER MAINTAINED)**

The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is furthest from the habitable structure, to the edge of undisturbed vegetation.

No structures shall be constructed in Zone Two.

Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.

Within Zone Two, all plants remaining after 50 percent are reduced in height shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are planted.

All new plant material for Zone Two shall be native, low-AFL, and fire-resistant. No non-native plant material may be planted in Zone Two.

New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire-resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the change of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.

All new Zone Two plantings shall be irrigated temporarily until established to the satisfaction of the City Manager. Temporary irrigation systems shall be removed upon approved establishment of the plantings.

Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.

Individual, non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

**NOTES:**

- Refer to biological letter report (pg. 5) for additional brush management methods
- Refer to A0.3 - Landscape Plans for plant locations, materials & legend
- A pre-construction meeting shall be held with the city's landscape inspector prior to implementing the brush management program.
- All Landscaping / Brush Management within the Brush Management Zone as shown on these plans shall be the responsibility of the Owners. The Brush Management Zone area shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition year round.
- Trees and tree form shrub species are not allowed within 10 feet of combustible structures or adjacent tree species as measured from the drip line of the tree at maturity to the structures in accordance with the Landscape Standards of the Land Development Manual.
- Permanent irrigation is required for all planting areas except when planting areas contain species that do not grow taller than 24 inches in height or planting areas containing only native or naturalized species that are not summer-dormant and have a maximum plant maturity height of less than 24 inches.
- Non-irrigated plant groupings over six (6) inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- Sufficient BMP's must be installed to prevent all mud or other construction debris from being tracked into the adjacent street or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for clearing any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMP's

**NON-COMBUSTIBLE WALL:**

A six (6) foot tall, non-combustible firewall shall be constructed along the northern property boundary between the proposed structure and the adjacent property. This wall will reduce the effects of radiant heat coming from the adjacent structure to the north should it ever ignite.

**ALTERNATIVE COMPLIANCE:**

\*A modified Zone One ranging from 20-ft to 32-ft shall extend from the southeast corner of Bldg M and northeast corner of Bldg C to the outer edge of the Flow-through Planter at top of slope, with a balance of Zone Two ranging from 15-ft to 30-ft extending down slope to the rear property line. To compensate for the lack of full defensible space, alternative compliance measures shall include opening protection upgraded to dual-glazed, dual-tempered panes along north, west, and south faces of the structures flanking the Brush Management zones. See plan for locations. See also window/door schedules, stis. A2.1 - A2.4, A2.8 - A2.8.\*

Alternative Compliance approval per 142.0412(i) & (j)

Deputy Fire Marshal Date

All glazing west of section lines denotes portions of structures to receive Alternative Compliance Measures (ACM). See floor plans for location of ACM on upper floors

1ST AVE RESIDENCES  
2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture  
1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

NOT FOR CONSTRUCTION

**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
1/28/15	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT PERMIT SET**

Project Start Date: 7/1/12  
Date Drawn: 1/28/15  
Drawn By: JB / BS

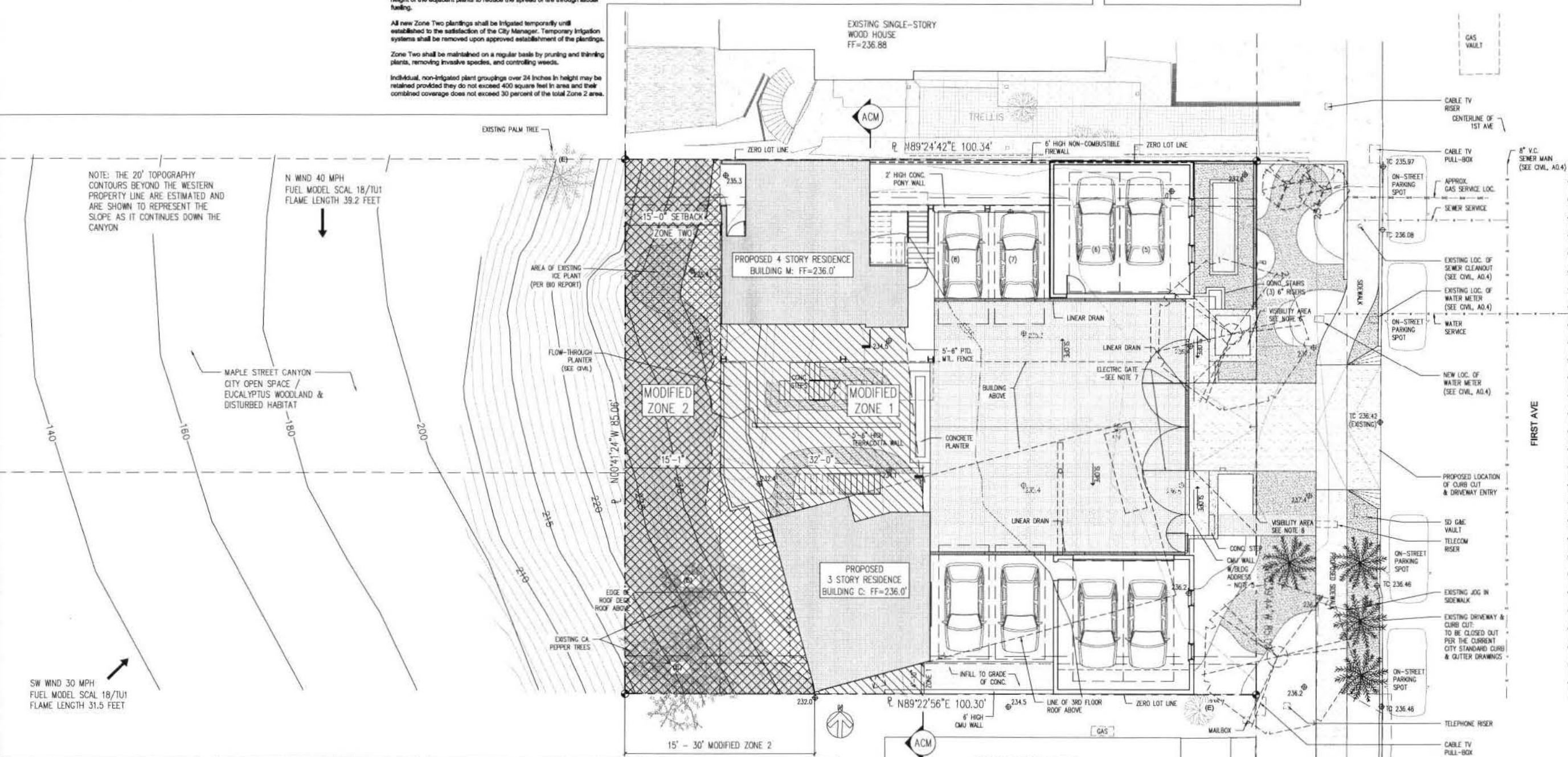
COMBINED

**BRUSH MANAGEMENT PLAN**

Sheet 02 of 26

Sheet No. **A0.2**

ATTACHMENT 12



NOTE: THE 20' TOPOGRAPHY CONTOURS BEYOND THE WESTERN PROPERTY LINE ARE ESTIMATED AND ARE SHOWN TO REPRESENT THE SLOPE AS IT CONTINUES DOWN THE CANYON

N WIND 40 MPH  
FUEL MODEL SCAL 18/TU1  
FLAME LENGTH 39.2 FEET

SW WIND 30 MPH  
FUEL MODEL SCAL 18/TU1  
FLAME LENGTH 31.5 FEET



Photo #1 - Looking Northwest into Maple Canyon Below the Property. Note the Dead Eucalyptus Trees.



Photo #2 - Looking Southwest from the Property at the Open Space.



Photo #3 - Adjacent Property to the North. Note the Wooden Lattice Work and Wood Decking.

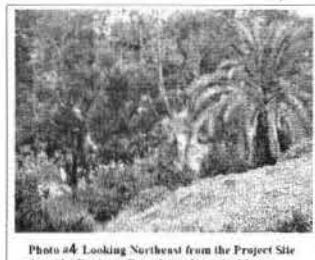


Photo #4 - Looking Northeast from the Project Site along the Property Boundary. Note the Many Species of Ornamentals and the Palm Tree on the Adjacent Property.

**BRUSH MANAGEMENT PLAN**  
SCALE: 1/8"=1'-0"

# REVEGETATION & EROSION CONTROL PLAN

## 11.2.2 REVEGETATION PROGRAM

ZONE 1 ON LANDSCAPE PLAN

### REVEGETATION AND EROSION CONTROL PLAN PROGRAM:

Area of program in zone 1, existing vegetation includes California Pepper trees, Jade plant, grasses, Iceplant and Chapparal.

- Permanent row of low-precipitation rotary sprays at the top of slope adjusted to avoid run-off into the adjacent city open space.

### 11.2.3 & 11.2.4 EROSION CONTROL PLAN

- Remove existing ice plant and non-natives from area west of retaining wall.

- Plant native species in zone one that are tolerant of supplemental irrigation to establish ground cover and integration to native species adjoining city owned property.

- Install below ground, low precipitation rotary sprayers to irrigate and establish new planting.

## FIRST AVENUE PLANT LIST

### COMMON NAME BOTANICAL NAME

**24-36" BOX**  
 CALIFORNIA SYCAMORE PLATANUS RACEMOSA  
 ALOE ALOE BARBERI  
 ALOE ALOE DICHOTOMA  
 YUCCA YUCCA BICIDA  
 OPUNTIA LITTORALIS

**18 GAL**  
 PRICKLY PEAR OPUNTIA MICRODASYD  
 AGAVE AGAVE PHAEOANTHA  
 AGAVE AGAVE ATTENUATA  
 AGAVE AGAVE ELLEMENTANA

**8 GAL**  
 MATILIA POPPY ROMNEYA COULTERI  
 BUTTERFLY BUSH BUDDLEIA DAVIDI  
 MEXICAN MARIGOLD TAGETES LEMONI  
 MEXICAN SAGE SALVIA LEUCANTHUS  
 PRICKLY PEAR OPUNTIA CACANAPA  
 OPUNTIA OPUNTIA FICUS-INDICA  
 CLEVELAND SAGE SALVIA CLEVELANDII  
 GREGORY SAGE SALVIA GREGORII  
 BUTTERFLY BUSH BUDDLEIA DAVIDI  
 ROSEMARY ROSEMARY OFFICINALIS  
 "ALBA"

OPUNTIA LITTORALIS  
 LEMONADE BERRY RHUS INTEGRIFOLIA  
 MONKEY FLOWER MIMULUS AURENTIACUS

**1 GAL**  
 ALOE ALOE ARBORESCENS  
 ALOE "TOPAZ" ALOE CALIFORNICA  
 ROSA

### SUCCULENT MIX

PIG'S EAR COTYLEDON ORBICULATA  
 HENS AND CHICKS ECHEVERIA AGAVOIDES  
 CARRIBEAN OREGANO PLECTRANTHUS AMBOINICUS  
 JADE PLANT CRASSULA OVATA

## WATER CONSERVATION CALCULATIONS

WATER BUDGET: (47)(.62) [(0.7)(3672) + (0.3)(42)] = 75,269 Gal/Yr  
 TOTAL ETWU GAL. PER YEAR = 37,745 Gal/Yr

Controller No.	Hydrozone No.	Value Circuit	Plant Factor (PF)	Hydrozone Area in sq. ft. (HA)	Irrigation Method	Efficiency (E)	% Total Landscape Area
1	2	115L	0.2	179	Rotary Spray	0.70	4
2	3	1	0.3	127	Drip	0.90	5
3	6	1	0.7	17	Drip	0.90	3
4	3	1	0.4	8	Bubblers	0.85	3
5	3	2 (N1)	0.2	98	Rotary Spray	0.70	3
6	3	2	0.2	72	Drip	0.90	3
7	3	2	0.7	47	Drip	0.90	3
8	3	2	0.5	35	Bubblers	0.85	3
9	6	3(N/W)	0.2	30	Drip	0.90	3
10	3	3	0.2	90	Rotary Spray	0.70	2
11	3	3	0.5	119	Drip	0.90	4
12	3	4	0.4	39	Bubblers	0.85	3
13	3	4	0.2	1078	Rotary Spray	0.7	70
<b>Total:</b>							<b>97</b>

Controller No.	ETWU (GAL) [(PF x HA x E) x 4.5]	Result in Gallons per Year
1	115L(0.2)(179) x 4.5	2315
2	(1)(0.3)(127) x 4.5	2407
3	(1)(0.7)(17) x 4.5	1302
4	(1)(0.4)(8) x 4.5	1314
5	(2)(0.2)(98) x 4.5	1857
6	(2)(0.2)(72) x 4.5	1230
7	(2)(0.7)(47) x 4.5	2136
8	(2)(0.5)(35) x 4.5	1408
9	(3)(0.2)(30) x 4.5	1233
10	(3)(0.2)(90) x 4.5	1323
11	(3)(0.5)(119) x 4.5	2078
12	(3)(0.4)(39) x 4.5	1824
13	(4)(0.2)(1078) x 4.5	15394
<b>Total ETWU Gal. per Year:</b>		<b>37,745</b>

## HYDROZONE LEGEND

HYDROZONE	PLANT MATERIAL AND TYPE OF IRRIGATION
1	TREES ON BUBBLERS
2	MIXED SUCCULENT GROUND COVER ON ROTARY SPRAYERS
3	SHRUBS AND SUCCULENTS ON DRIP IRRIGATION
4	HARDSCAPE AND GRAVEL, NO IRRIGATION
5	RAISED VEGETABLE BED ON DRIP IRRIGATION
6	SPECIMEN SUCCULENTS ON DRIP IRRIGATION
7	FLOW THROUGH PLANTER
8	NATIVE SPECIES ON ROTARY SPRAYERS

## MINIMUM TREE SEPARATION DISTANCE TABLE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL	20 FEET
UNDERGROUND UTILITY (EXCEPT SEWER)	5 FEET
SEWER	10 FEET
ABOVE GROUND UTILITY STRUCTURE	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS	25 FEET

## SHADE ANALYSIS LEGEND

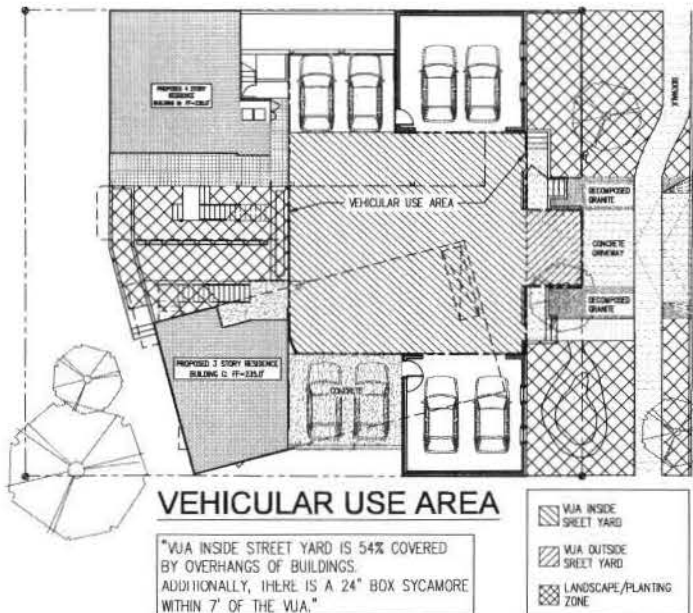
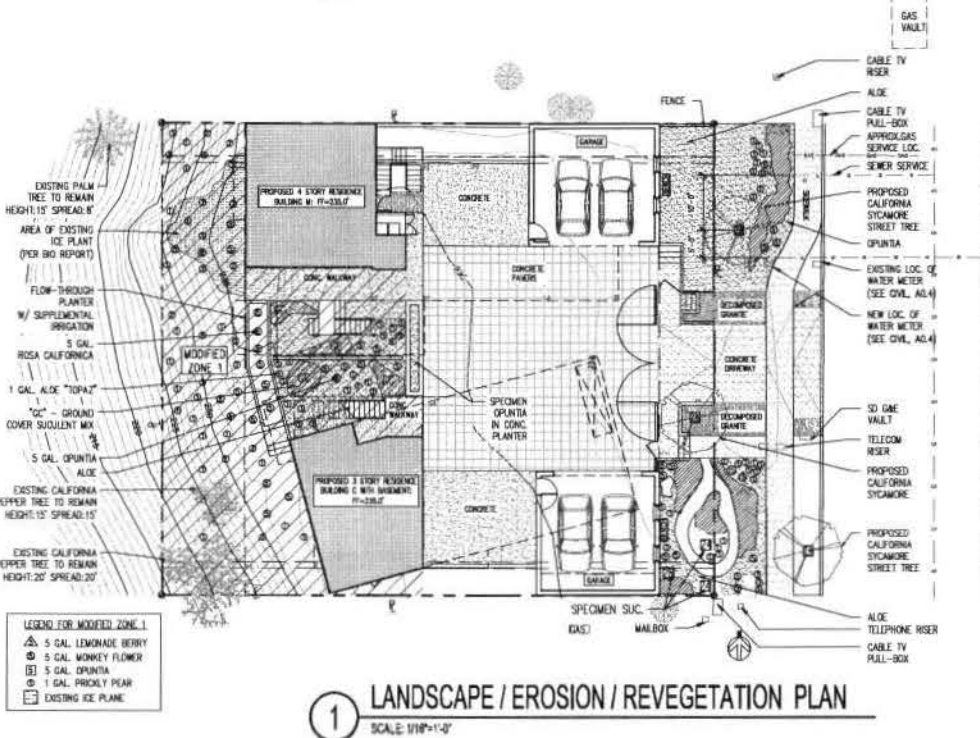
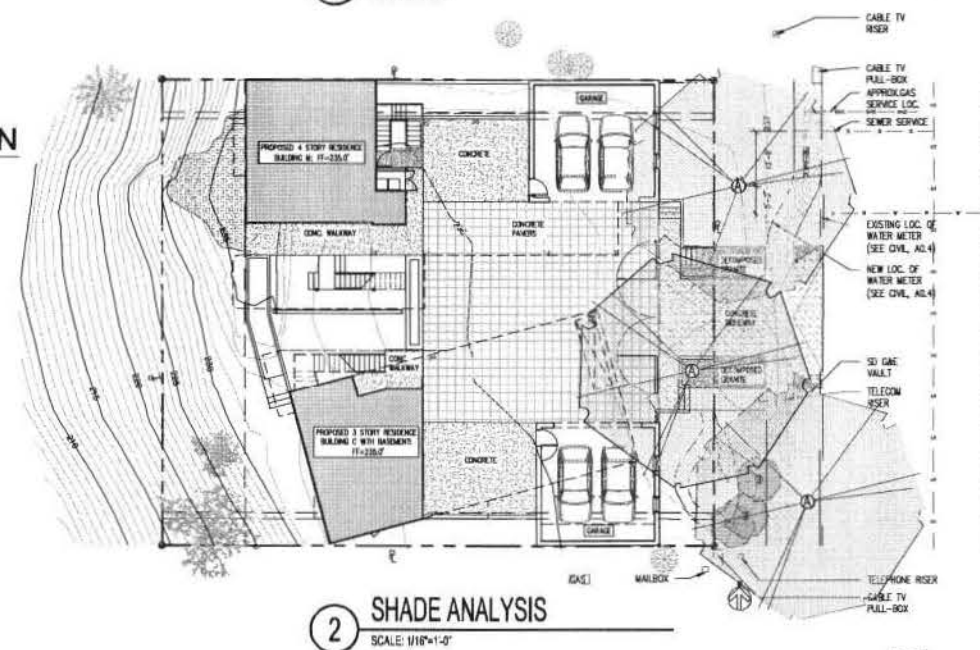
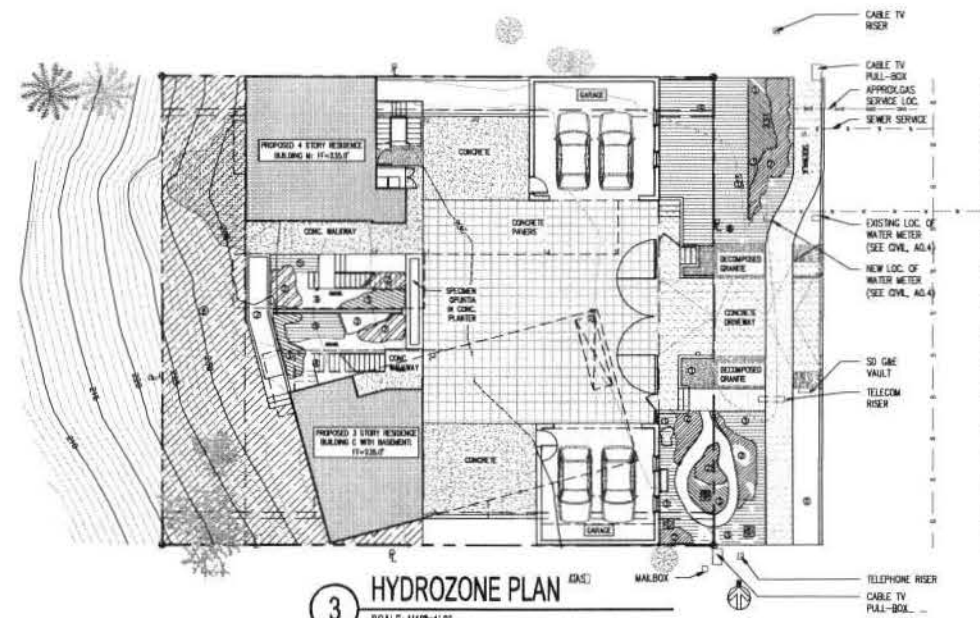
SYM. BOL.	CATEGORY	DESCRIPTION	HEIGHT x SPREAD
A	TREES/STREET TREES	BROAD HEAD CANOPY	40' x 40' (PRUNED)
B	SHRUBS	SCREENING/FLOWERING	4' x 4'

NO OVERHEAD UTILITIES PRESENT

## LANDSCAPE LEGEND

SYMBOL	% PLANTING	FEATURE	NO.	PTS.
(SHADING)	22	GROUND COVER (PLANTS PLANTED 6" OC, 4" POTS 12" OC)	21	
(CIRCLE)	42	ONE GALLON CONTAINER	40	40
(CIRCLE)	19	FIVE GALLON CONTAINER	18	36
(CIRCLE)	7	FIFTEEN GALLON CONTAINER	7	70
(CIRCLE)	7	24" BOX	7	140
(CIRCLE)	1	36" BOX	1	50
<b>SUB TOTALS:</b>			<b>94</b>	<b>316</b>
(CIRCLE)		EXISTING 14" CAL. PEPPER	1	350
<b>TOTAL</b>			<b>95</b>	<b>666</b>

LANDSCAPE NOTES  
 OWNER (VIA A LANDSCAPE CONTRACTOR) TO BE RESPONSIBLE FOR MAINTENANCE AND IRRIGATION



\*VJA INSIDE STREET YARD IS 54% COVERED BY OVERHANGS OF BUILDINGS. ADDITIONALLY, THERE IS A 24" BOX SYCAMORE WITHIN 7' OF THE VJA.\*

## VEHICULAR USE DIAGRAM

SCALE: 1/16"=1'-0"

## MULTI DWELLING UNIT WORKSHEET

STREET YARD				
- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.				
- At least one-half of the required planting points shall be achieved with trees.				
Planting Area Required [142.0404]		Planting Area Provided	Excess Area Provided	
Total Area	2,056 sq. ft. x 50% =	1,028 sq. ft.	1,432 sq. ft.	404 sq. ft.
Planting Points Required [142.0404]		Plant Points Provided	Excess Points Provided	
Total Area	2,056 sq. ft. x 0.05 =	102.8 points	229 points	127 points
Points achieved with trees: 110 points				
Planting Area allowable as hardscape or unattached unit pavers [142.0405(5)(1)(B)]		Provided		
Total Area	sq. ft. x 10% =	sq. ft.		
REMAINING YARD - 3 or more Dwelling Units				
Plant Points Required		Plant Points Provided	Points Achieved with trees (at least 50%)	
60 points x 2 # of buildings		484 points	443 Points	

1ST AVE RESIDENCES  
 2730-32 1ST AVENUE  
 SAN DIEGO, CA 92103

Designer:  
 Domestic Architecture

1422 34th Avenue  
 Seattle, WA 98122  
 tel 206.323-0111  
 fax 206.323-6993

NOT FOR CONSTRUCTION

### Issues

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT PERMIT SET

Project Start Date: 7/1/12

Date Drawn: 11/24/14

Drawn By: JB / BS

COMBINED

LANDSCAPE, EROSION & REVEGETATION PLAN

Sheet 03 of 26

Sheet No. **A0.3**

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

NOT FOR  
CONSTRUCTION

Issues

Date	Description	REV #
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10/2/14	PERMIT RE-SUBMITTAL	4
1/28/15	PERMIT RE-SUBMITTAL	5

DEVELOPMENT  
PERMIT SET

Project Start Date: 7/1/12

Date Drawn: 1/28/15

Drawn By: JB / BS

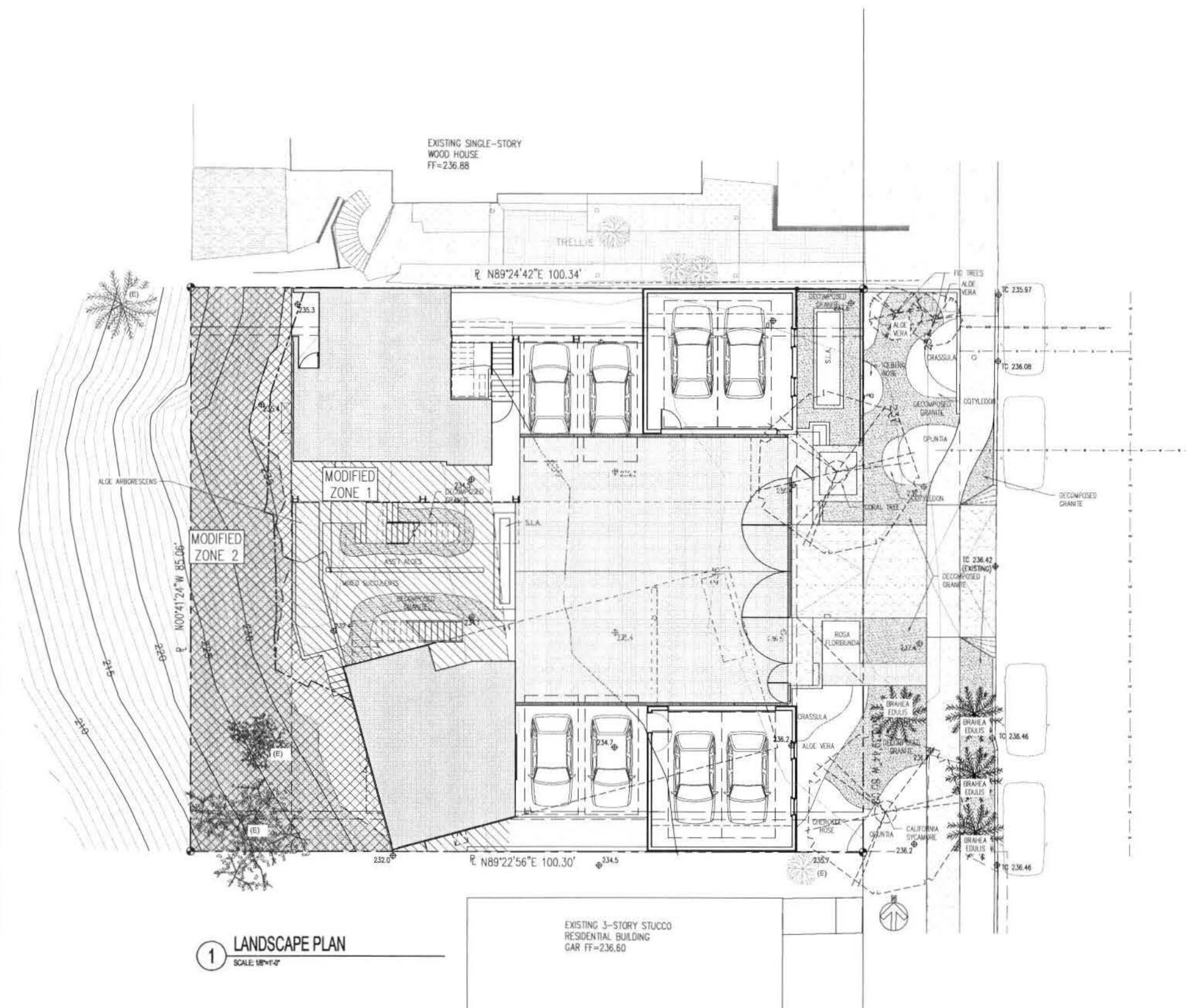
COMBINED

LANDSCAPE  
PLAN

Sheet No. **A0.31**

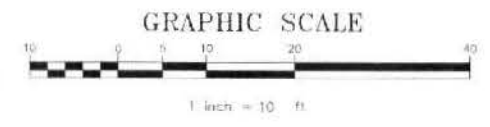
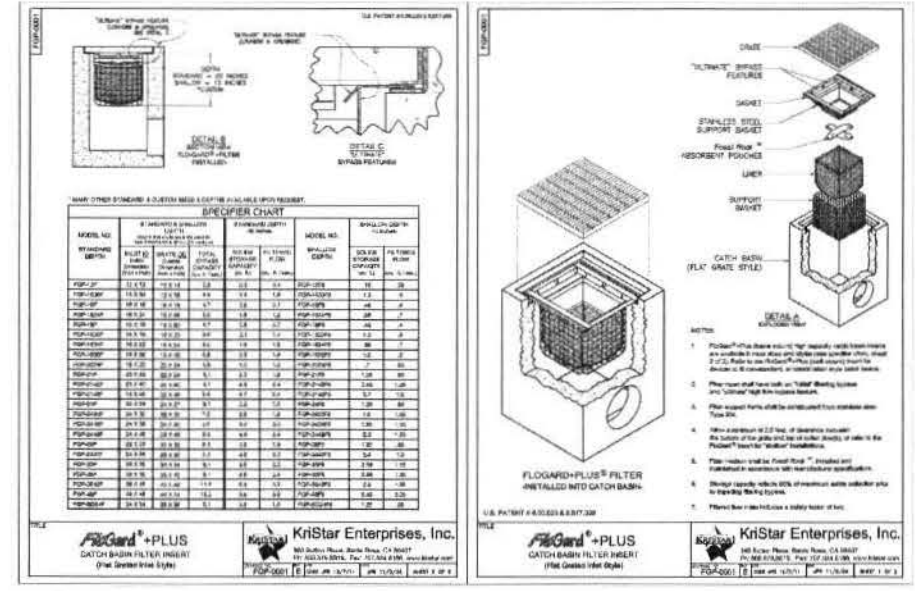
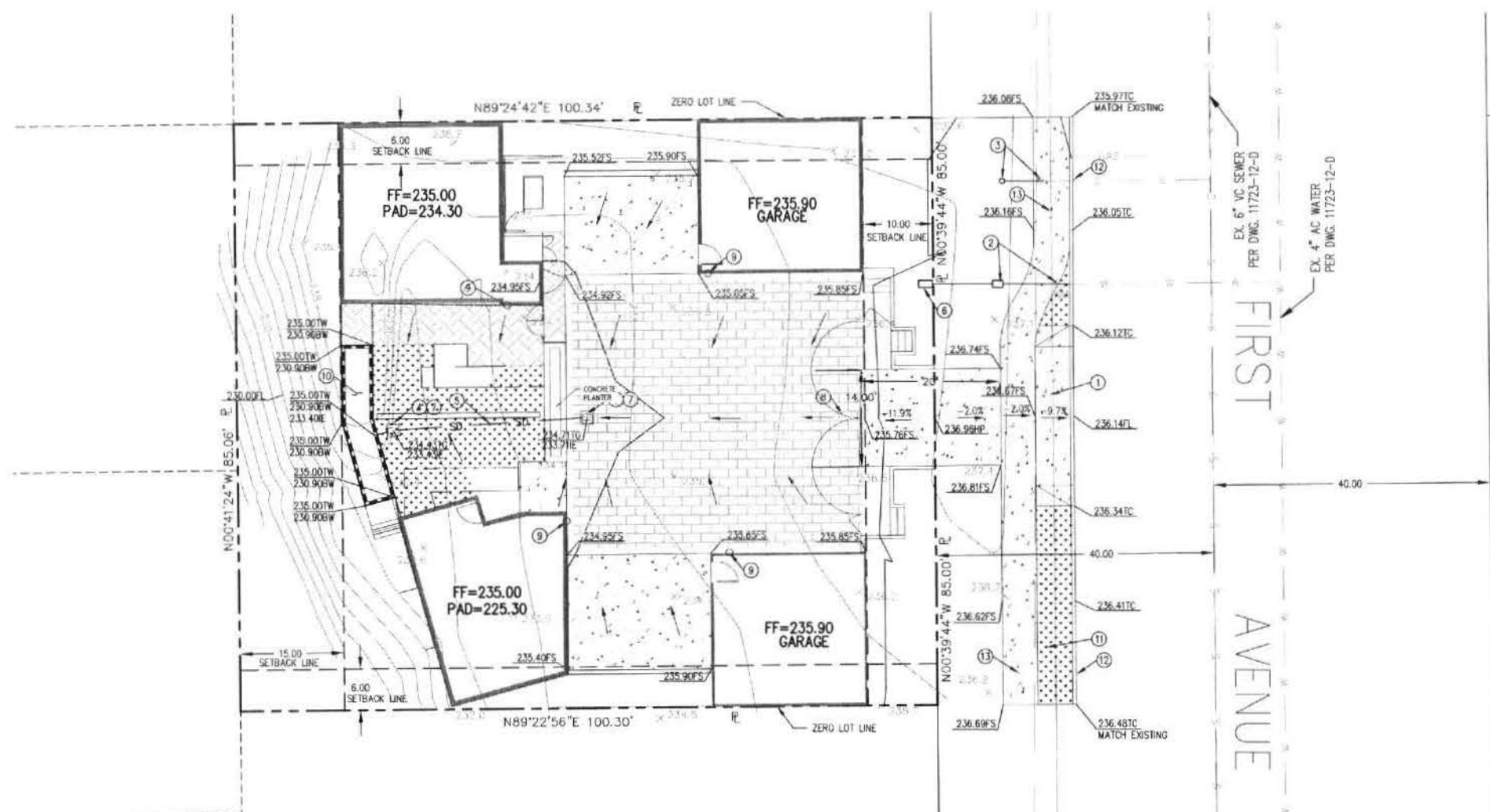
ATTACHMENT 12

- LANDSCAPE NOTES**
- IRRIGATION NOTE: ALL PLANTS ON TIMED DRIP IRRIGATION IN PLANTING AREAS.
  - MODIFIED ZONE 2 ROTARY SPRAYERS
- ALOE MIX:**
- Araucaria
  - Alternata
  - Barbarea
  - Brevifolia
  - Tapei
  - Darwinia
  - Lepidophora
  - Palmiformis
  - Vicitoria
  - Vera
- ROSE:**
- Iceberg
  - Flambrado
  - Cherisee
- GRASSIA:**
- Flou-indica "Actual", Florida White
- EDGE:**
- Colomys, Kodak
- SUCCULENTS:**
- Cotyledon Orbiculata
  - Crossula Hummel's Sunset
  - Echeveria Agavoides
- PALMS:**
- Brahea Edulis
- CORAL TREE:**
- Erythrina corallodera
- SUCCULENT MIX:**
- Kalanchoe Thyriiflora, Tetastylia, Tomentosa
  - Sedum Species, Gaucophyllum
  - Euphorbia Wulfeni, Myrsinites
  - Cotyledon Orbiculata
- MODIFIED ZONE 2 PLANT LIST:**
- MONKEY FLOWER
  - LIMONADE BERRY
  - GRUNTIA
  - ROSA CALIFORNICA

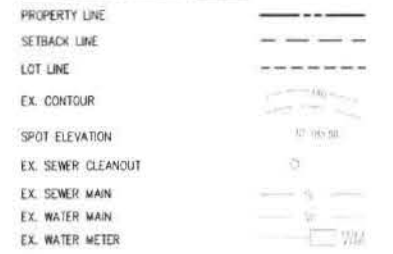


**1 LANDSCAPE PLAN**  
SCALE: 1/8"=1'-0"

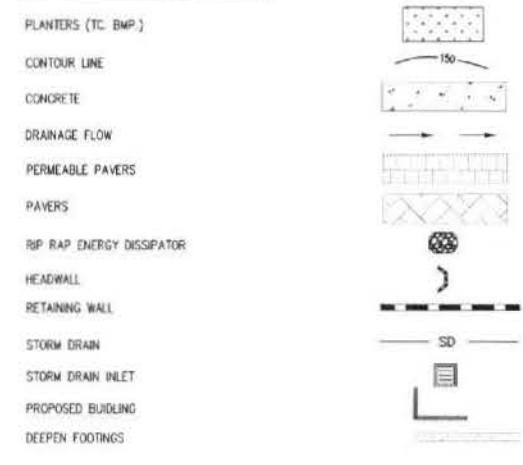
EXISTING 3-STORY STUCCO  
RESIDENTIAL BUILDING  
GAR FF=236.60



EXISTING SYMBOLS



PROPOSED SYMBOLS



PROJECT DATA

CURRENT SITE ZONING: MCO-PD-MR-1000  
 GROSS/NET SITE AREA: 0.235 ACRES (10,226 SFT.)  
 PROPOSED DISTURBED AREA: 0.205 ACRES (8,939 SFT.)  
 NEW IMPERVIOUS AREA: 0.039 ACRES (1,710 SFT.)

SITE ADDRESS

2730-2732 FIRST AVENUE  
 SAN DIEGO, CA 92013

ASSESSOR'S PARCEL NUMBER

452-701-08-00

LEGAL DESCRIPTION

LOT 1 AND THE NORTH 30 FEET OF LOT 1 IN BLOCK 311 OF HORTON'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

SOURCE OF TOPOGRAPHY

BY: CONSTRUCTION, TESTING AND ENGINEERING  
 1441 MONTIEL ROAD, SUITE 115  
 ESCONDIDO, CA 92026  
 (760) 746-4955  
 DATE SURVEYED: AUGUST 9, 2013

BENCHMARK

CITY OF SAN DIEGO BENCHMARK #79  
 FD BRASS PLUG IN TOP OF CURB  
 AT NORTHERLY CURB RETURN  
 AT NORTHEAST CORNER OF INTERSECTION  
 OF 1ST AVE. & NUTMEG ST.  
 ELEV = 236.049  
 CITY OF SAN DIEGO DATUM

CIVIL ENGINEER:

CONSTRUCTION, TESTING AND ENGINEERING  
 1441 MONTIEL ROAD, SUITE 115  
 ESCONDIDO, CA 92026  
 (760) 746-4955  
 (760) 746-9806 FAX

EARTHWORK QUANTITIES

TOTAL AMOUNT OF SITE TO BE GRADED:  
 AREA: 0.205 AC.      % OF TOTAL SITE: 87.2%  
 CUT: 240 +/- CY      MAXIMUM DEPTH OF CUT: 8.6 FT.  
 FILL: 98 +/- CY      MAXIMUM DEPTH OF FILL: 2.6 FT.  
 MAXIMUM HEIGHT OF FILL SLOPE: 0.0 FT.      SLOPE RATIO: N/A  
 MAXIMUM HEIGHT OF CUT SLOPE: 0.0 FT.      SLOPE RATIO: N/A  
 EXPORT: 142 +/- CY

EARTHWORK INCLUDES EXCAVATION QUANTITIES BELOW BUILDING C FOR BASEMENT. BASEMENT BELOW BUILDING C REQUIRES A CUT OF 204 CY.  
 NOTE: CONSTRUCTION, TESTING & ENGINEERING, INC. MAKES NO REPRESENTATION CONCERNING THE ESTIMATED QUANTITIES ON THESE PLANS OTHER THAN ALL SUCH FIGURES, INCLUDING EARTHWORK NUMBERS, ARE PRELIMINARY ESTIMATES ONLY. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY MINOR DEVIATIONS BETWEEN ESTIMATED QUANTITIES AND THE ACTUAL QUANTITIES AT THE TIME OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO PERFORM HIS/HER OWN TAKEOFFS TO DETERMINE THE BID QUANTITIES.

EASEMENT NOTES:

NO EXISTING EASEMENT ON THE PROPERTY.

RETAINING WALL DATA

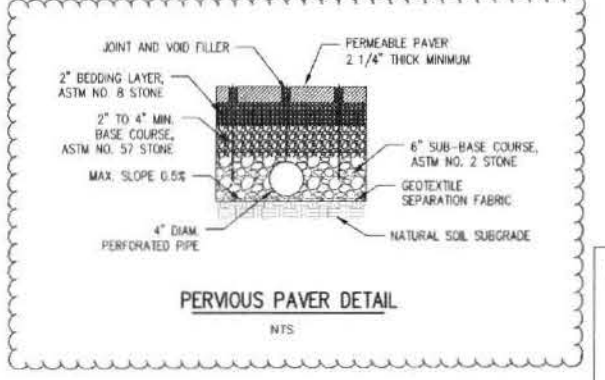
LENGTH: 54 FEET  
 MAXIMUM HEIGHT: 4.4 FEET

GENERAL NOTES:

- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
- AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

CONSTRUCTION NOTES:

- DRIVEWAY PER SDG-160
- EX. 1" WATER SERVICE TO REMAIN AND WATER METER TO RELOCATE BACK OF SIDEWALK
- EX. 4" SEWER SERVICE TO REMAIN AND SEWER CLEANOUT TO RELOCATE BACK OF SIDEWALK
- STORMDRAIN INLET
- 6" PVC STORM DRAIN
- BACKFLOW PREVENTER
- MEDIA FILTER
- VEHICLE OR PEDESTRIAN ACCESS GATES SHALL NOT SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY
- ROOF AND DECK DRAINS
- FLOW THROUGH PLANTER
- REMOVE EXISTING DRIVEWAY
- PROPOSED CURB AND GUTTER PER SDG-151
- PROPOSED SIDEWALK PER SDG-155



GRADING AND UTILITY PLAN  
 Sheet 04 of 26  
**A0.4**





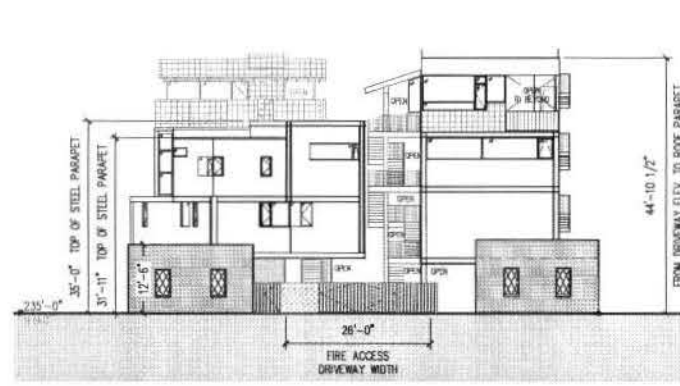
Construction Testing & Engineering, Inc.  
 Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying  
 1441 Montiel Road, Suite 115, Escondido, CA 92026 Phone: (760) 746-9806 Fax: (760) 746-9806



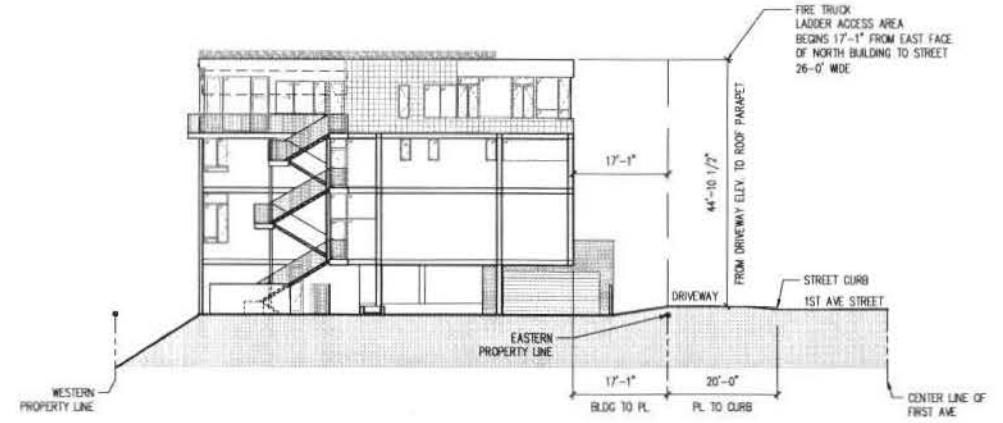
**FIRE ACCESS PLAN NOTES**

1. BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM TH STREET PER FHPS POLICY P-00-6.
2. \*AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEYSWITCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHAL SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.\*
3. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
4. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC CH 14
5. PROVIDE FIRE ACCESS ROADWAYS IN ACCORDANCE WITH FHPS POLICY A-08-1
6. PAVER AREA IN DRIVEWAY TO WITHSTAND 95,000LBS FOR FIRE DEPT ACCESS
7. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION, THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

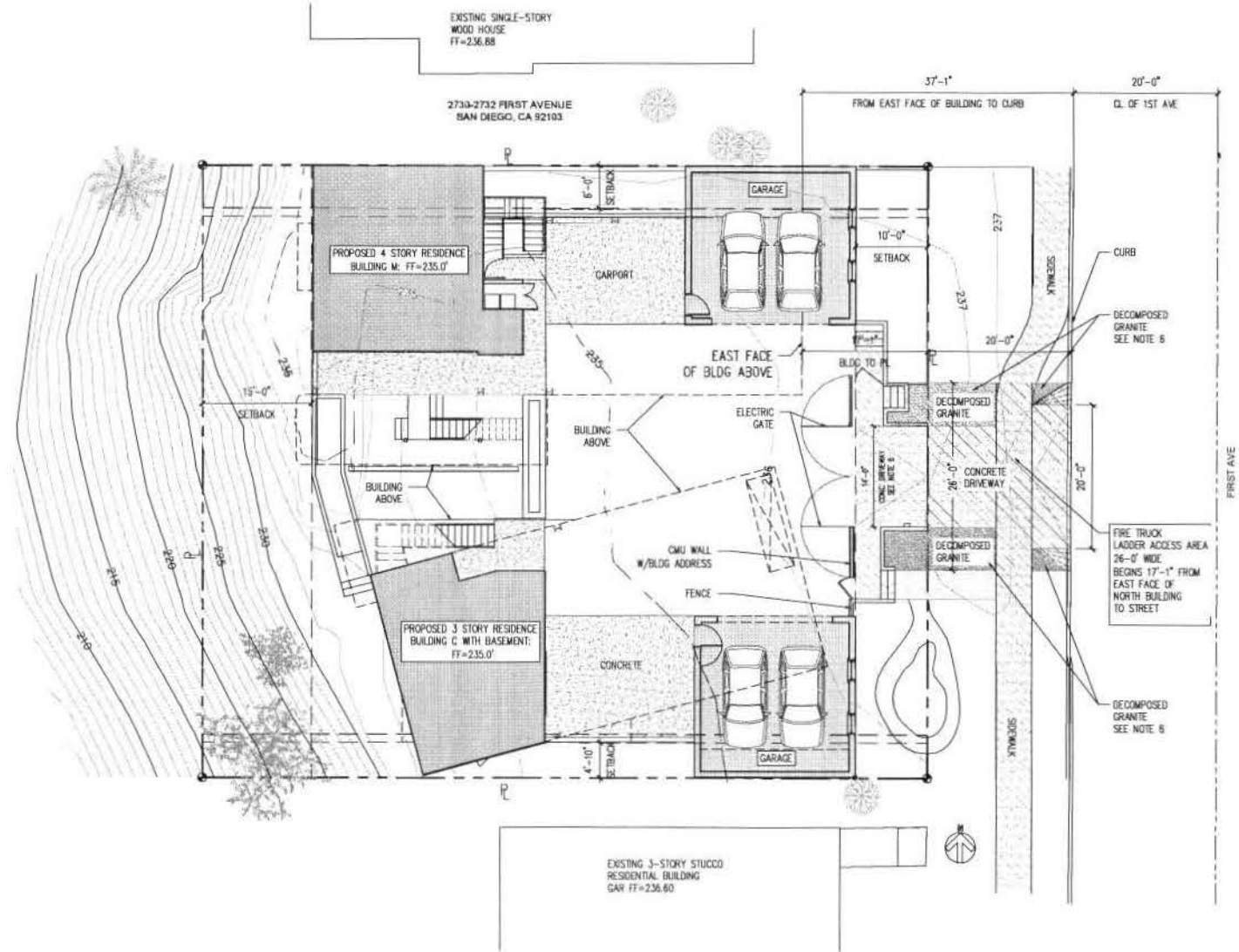
-  INTERIOR SPACE
-  FIRE TRUCK LADDER ACCESS AREA  
26'-0" WIDE  
BEGINS 17'-1" FROM EAST FACE OF NORTH BUILDING TO STREET



**3 EAST ELEVATION**  
SCALE: 1/16"=1'-0"



**2 SOUTH ELEVATION - BLDG M**  
SCALE: 1/16"=1'-0"



**1 FIRE ACCESS PLAN**  
SCALE: 3/32"=1'-0"

**1ST AVE RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
Tel 206.323-0111  
Fax 206.323-8993

NOT FOR  
CONSTRUCTION

**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT PERMIT SET**

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

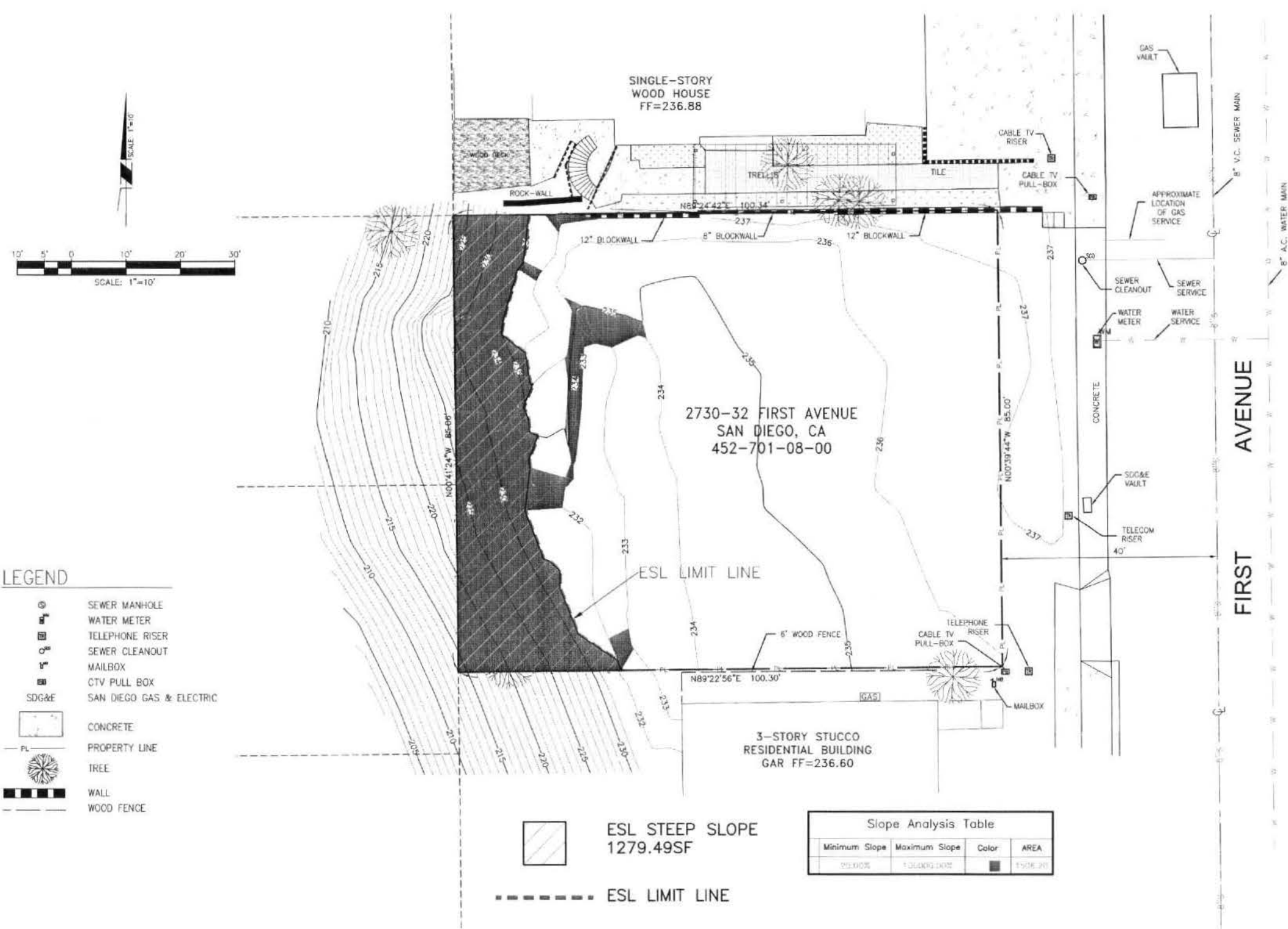
COMBINED

**FIRE ACCESS PLAN**

Sheet 05 of 26

Sheet No. **A0.5**

ATTACHMENT 12



- LEGEND**
- SEWER MANHOLE
  - WATER METER
  - TELEPHONE RISER
  - SEWER CLEANOUT
  - MAILBOX
  - CTV PULL BOX
  - SAN DIEGO GAS & ELECTRIC
  - CONCRETE
  - PROPERTY LINE
  - TREE
  - WALL
  - WOOD FENCE

ESL STEEP SLOPE  
1279.49SF

ESL LIMIT LINE

Minimum Slope	Maximum Slope	Color	AREA
00.00%	10.00% DIRT		1506.20

**OWNER:**  
ROY MCMAKIN

**SITE ADDRESS:**  
2730-32 FIRST AVENUE  
SAN DIEGO, CA. 92103

**NOTE:**  
THIS IS NOT A BOUNDARY SURVEY. LINES ARE DRAWN BETWEEN FOUND MONUMENTS AND RECORD DATA IS HELD WHERE NO MONUMENTS WERE RECOVERED.

**BASIS OF BEARINGS:**

THE BASIS OF BEARING FOR THIS MAP IS THE NAD 83 CALIFORNIA COORDINATE SYSTEM, ZONE 6, EPOCH DATE 1991.35, AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON POINTS A AND B AS SHOWN ON PARCEL MAP NO. 20157.

I.E.: NORTH 00°05'34" EAST

**BENCHMARK**

CITY OF SAN DIEGO BENCHMARK # 79  
FD BRASS PLUG IN TOP OF CURB  
AT NORTHERLY CURB RETURN  
AT NORTHEAST CORNER OF INTERSECTION  
OF 1ST AVE. & NUTMEG ST.  
ELEV= 236.049  
CITY OF SAN DIEGO DATUM

**ASSESSOR'S PARCEL NUMBER:**  
452-701-08-00

**LEGAL DESCRIPTION:**

LOT 1 AND THE NORTH 35 FEET OF LOT 1 IN BLOCK 311 OF HORTON'S ADDITION IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

**FLOOD ZONE**

ZONE X

**EASEMENTS:**

TITLE REPORT NOT PROVIDED.

**SLOPE ANALYSIS**  
Sheet 06 of 26  
**A0.6**



SHEET 1 OF 1



**Construction Testing & Engineering, Inc.**  
Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying  
1441 Montiel Road, Suite 115, Escondido, CA 92026 Phone: (760) 746 - 9806 Fax: (760) 746 - 9806

DATE: SEPTEMBER 11, 2014  
REVDATE: FILE  
J#: 10-116305

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

NOT FOR  
CONSTRUCTION

Issues

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7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
1/28/15	PERMIT RE-SUBMITTAL	5

DEVELOPMENT  
PERMIT SET

Project Start Date: 7/1/12

Date Drawn: 1/28/15

Drawn By: JB / BS

COMBINED

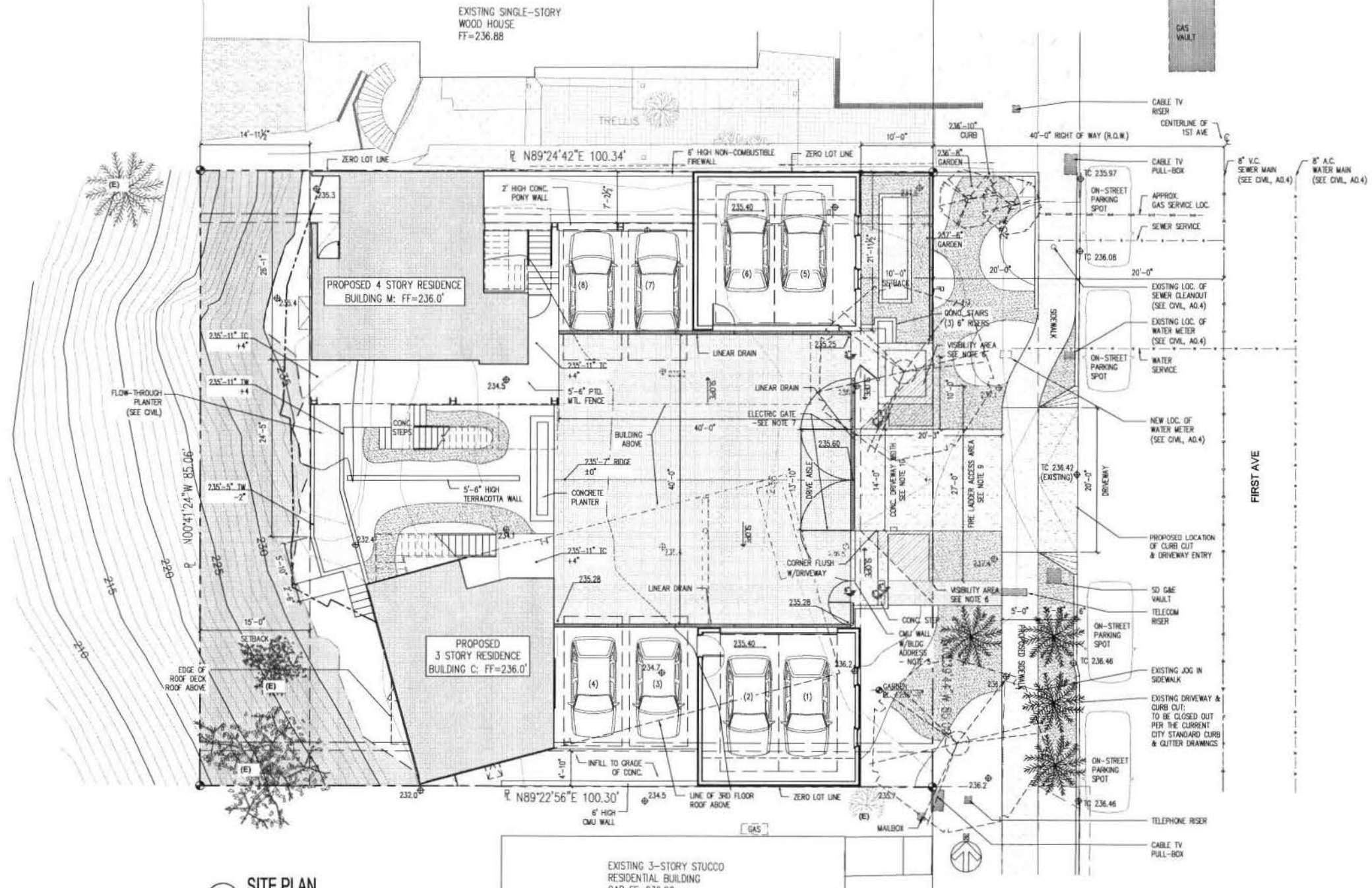
SITE PLAN

Sheet 07 of 26

Sheet No. **A1.0**

2730-2732 FIRST AVENUE  
SAN DIEGO, CA 92103

EXISTING SINGLE-STORY  
WOOD HOUSE  
FF=236.88



**1 SITE PLAN**  
SCALE: 1/8"=1'-0"

**PROJECT DATA**

OWNERS:  
PIGEON POINT LLC &  
ARROYO PARK PROPERTIES LLC

PROJECT ADDRESS:  
2730-2732 FIRST AVENUE  
SAN DIEGO, CA 9210

LEGAL DESCRIPTION:  
BLK 311 LOT PN 35 FT LOT H & ALL

APN #: 452-701-08-00

LOT AREA: 8,498 SQ. FT.

ZONING: MCCPD-MR-1000

EXISTING USE: EMPTY LOT

PROPOSED USE: RESIDENTIAL -  
MULTIFAMILY PROJECT WITH TWO DETACHED  
BUILDINGS, ONE CONTAINING A DUPLEX RESIDENCE &  
THE OTHER A SINGLE RESIDENCE, EACH BUILDING HAS  
A CARPORT AND A 2-CAR MASONRY GARAGE.

GEOLOGICAL HAZARD CATEGORY: S2

**SITE PLAN KEY**

- BUILDING VOLUME @ GRADE
- BRICK PAVERS
- CONCRETE SLAB
- CONCRETE PAVERS
- LANDSCAPED AREA
- VISIBILITY AREA
- PARKING SPACE
- PROPOSED NEW TREE
- PROPOSED PALM TREE
- EXISTING CALIFORNIA PEPPER TREE

**PARKING CALCULATIONS:**  
REQUIRED SPACES (TRANSIT AREA)  
PER SDMC 142.0560 & TABLE 142-05K

BUILDING	SPACES(S)
<b>BUILDING M</b>	
1ST FLOOR DWELLING UNIT - 1 BEDROOM	
REQ. CAR SPACES	1.25
REQ. MOTORCYCLE SPACES	0.1
REQ. BICYCLE SPACES	0.4
<b>MAIN DWELLING UNIT - 2 BEDROOM</b>	
REQ. CAR SPACES	1.75
REQ. MOTORCYCLE SPACES	0.1
REQ. BICYCLE SPACES	0.5
<b>BUILDING C</b>	
MAIN DWELLING UNIT - 3 BEDROOM	
REQ. CAR SPACES	2
REQ. MOTORCYCLE SPACES	0.1
REQ. BICYCLE SPACES	0.6
<b>TOTAL REQUIRED CAR SPACES</b>	<b>5</b>
<b>TOTAL REQUIRED MOTORCYCLE SPACES</b>	<b>0.3</b>
<b>TOTAL REQUIRED BICYCLE SPACES</b>	<b>1.5</b>

- 1) BICYCLE SPACES PROVIDED WITHIN GARAGES.
- 2) ONE OF THE ADDITIONAL SPACES IN EXCESS OF REQUIREMENTS CAN BE USED TO MEET THE REQUIRED MOTORCYCLE PARKING

**SLOPE ANALYSIS**

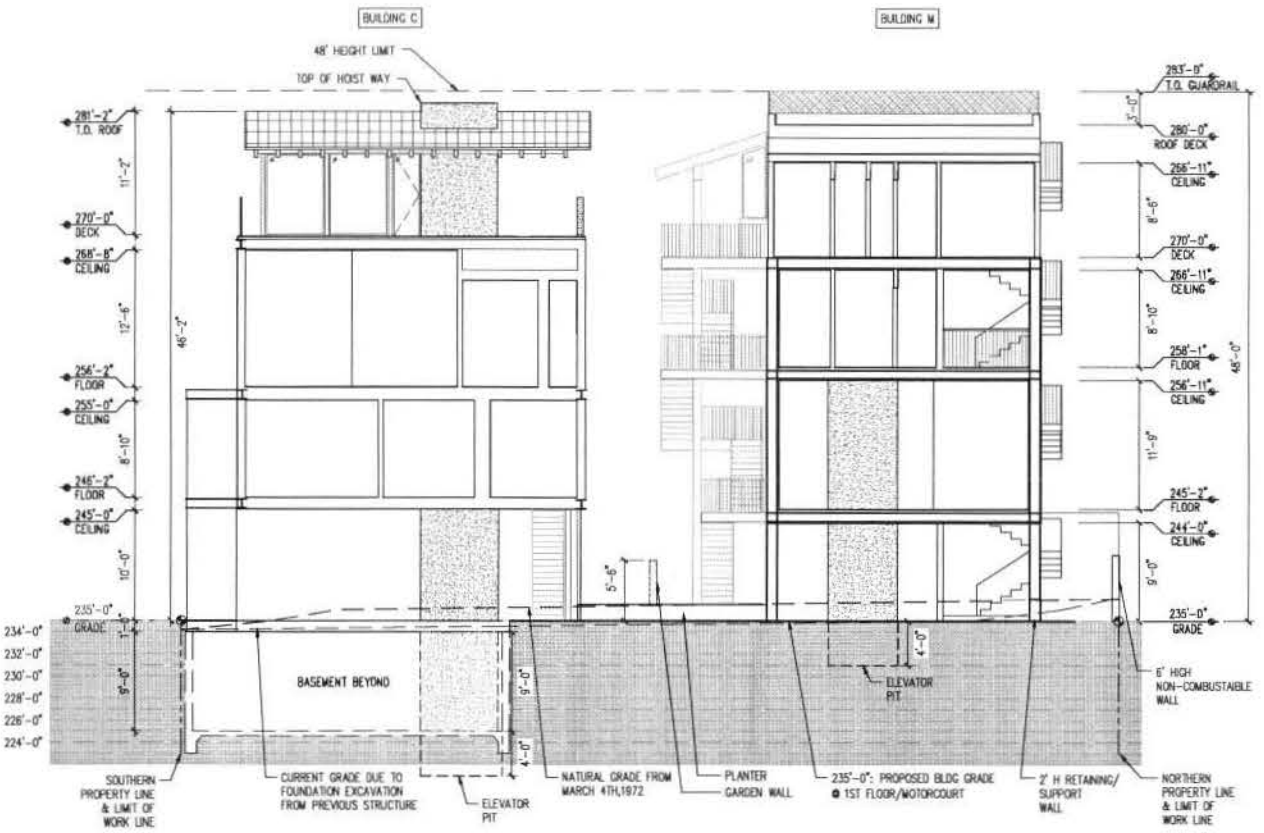
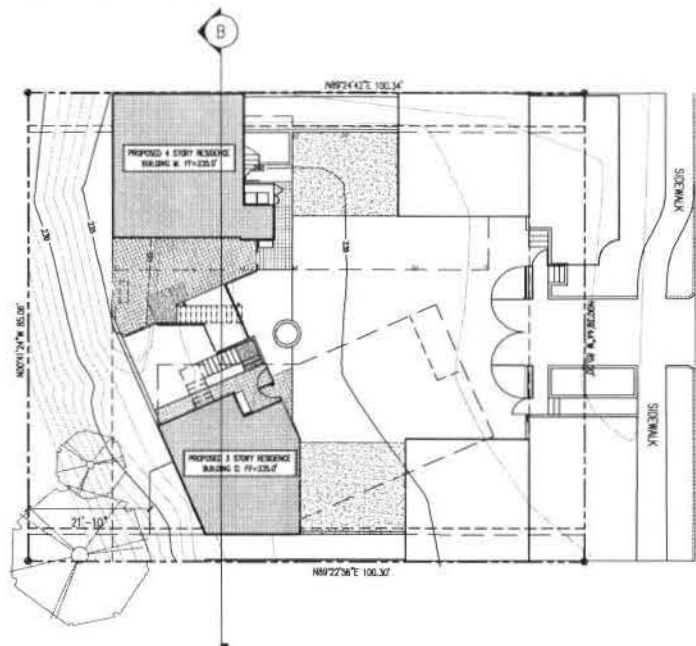
- ENVIRONMENTALLY SENSITIVE LANDS (ESL)  
25% MIN. STEEP SLOPE: 1279.49 SQ. FT.
- TOP OF 25% SLOPE PER STAMPED CONSTRUCTION TESTING & ENGINEERING SURVEY 8/11/2014
- WESTERN LIMIT OF HISTORIC IMPROVEMENTS  
PER STAMPED CONSTRUCTION TESTING & ENGINEERING SURVEY 10/07/2008

**SITE PLAN NOTES**

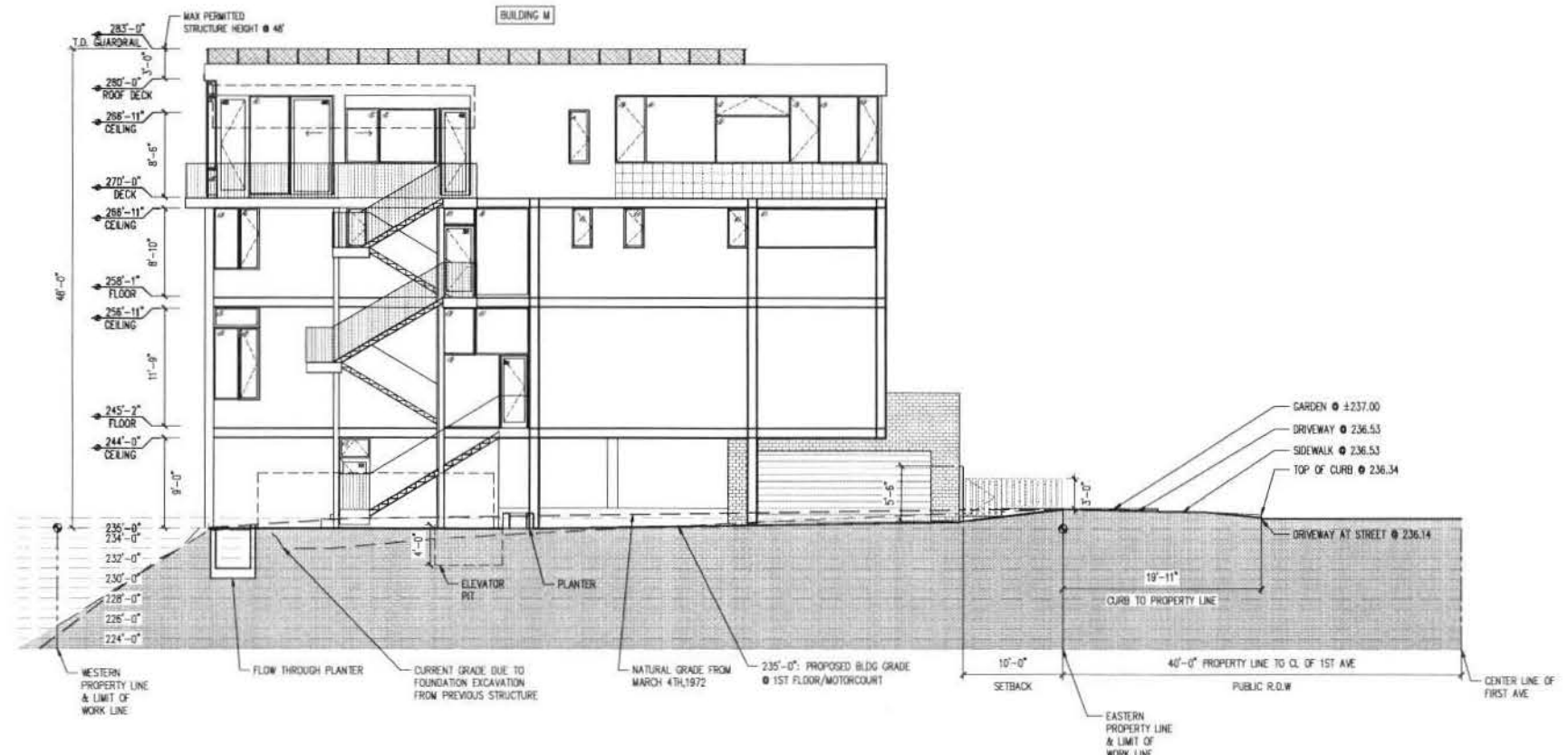
1. NO ACTIVITY OR LIMIT OF WORK DURING CONSTRUCTION WILL OCCUR BEYOND THE TOP OF SLOPE PER STAMPED CONSTRUCTION TESTING & ENGINEERING SURVEY, 8/11/2014 SEE SHEET A0.6 - SLOPE ANALYSIS.
2. NO EASEMENTS WITHIN PROPERTY
3. NO BUS STOPS WITHIN SITE PLAN (EXISTING ROUTE 11 BUS STOPS 1 BLOCK SOUTH OF SITE)
4. NO FIRE HYDRANTS WITHIN SITE PLAN
5. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UPC 901.4.4)
6. VISIBILITY AREA: NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT
7. VEHICLE OR PEDESTRIAN ACCESS GATES SHALL NOT SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY, MIN 20' FROM BACK OF SIDEWALK
8. NOT USED.
9. REFER TO FIRE ACCESS PLAN (A0.5) FOR ADDITIONAL FIRE ACCESS NOTES AND DETAILS.
10. DRIVEWAY WIDTH: THE PROJECT IS PROPOSING A TWO-WAY DRIVEWAY THAT IS 14' WIDE FROM THE SETBACK TO THE PROPERTY LINE AND 20' WIDE FROM THE PROPERTY LINE TO THE CURB. TURN AROUND AREA HAS BEEN PROVIDED FOR WITHIN THE MOTOR-COURT. THE DRIVEWAY IS ONLY SERVING 3 RESIDENCES.
11. A MINIMUM OF 20' IS REQUIRED FROM BACK OF SIDEWALK TO ENTRY GATES.
12. NO TREES OR SHRUBS EXCEEDING THREE (3) FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN FIVE (5) FEET OF ANY PUBLIC WATER FACILITIES OR WITHIN TEN (10) FEET OF ANY PUBLIC SEWER FACILITIES

ATTACHMENT 12

SITE SECTION KEY



B SITE SECTION LOOKING WEST  
SCALE: 1/8"=1'-0"



A SITE SECTION LOOKING NORTH  
SCALE: 1/8"=1'-0"

1ST AVE RESIDENCES

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

NOT FOR CONSTRUCTION

Issues

Date	Description	REV #
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4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT PERMIT SET

Project Start Date: 7/11/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

COMBINED

SITE SECTIONS

Sheet 08 of 26

Sheet No. **A1.1**

ATTACHMENT 12

**1ST AVE RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:**  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-8993

NOT FOR  
CONSTRUCTION

ATTACHMENT 12

**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT PERMIT SET**

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

BUILDING M

**GROUND FLOOR PLAN**

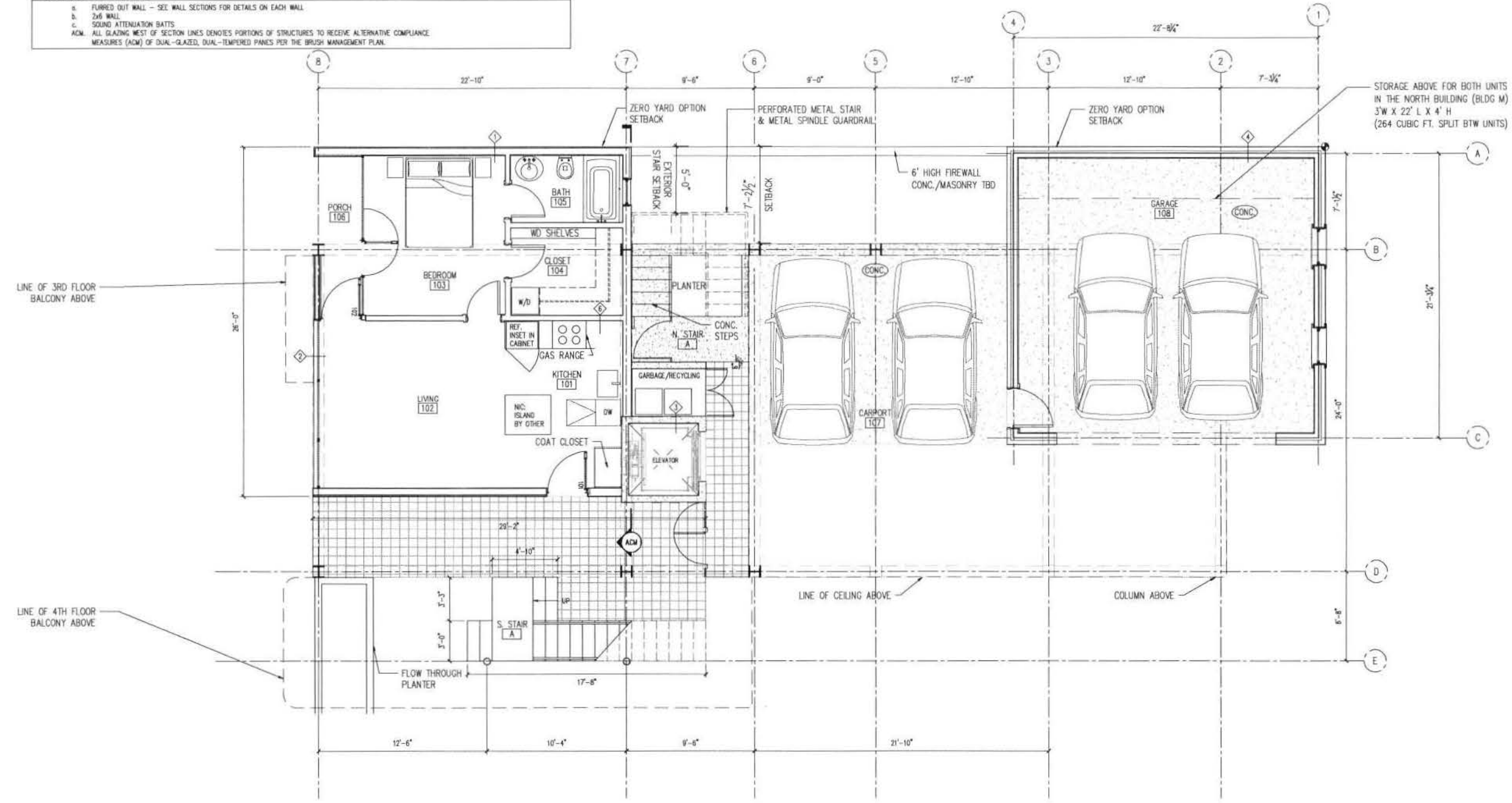
Sheet 09 of 26

Sheet No. **A2.1**

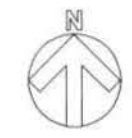
WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS					
1	EXTERIOR WALL SINGING PER ELEVATIONS INFILL 2x6 STUD WALL W/SHEATHING & W/INSULATION 5/8" GMB	3	CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TILE 2x THICKNESS TBD PER STRL.	5	EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ.) 2x6 STUD WALL/SHEATHING/INSULATION 5/8" GMB
2	EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4	EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STRL. 2x WOOD STUDS PER STRL. BATT INSULATION 5/8" GMB	6	INTERIOR WOOD FRAMED WALL 5/8" GMB 2x STUDS PER STRL. SOUND ATTENUATION BATTS 5/8" GMB

ASSEMBLY MODIFIERS	
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL.
b.	2x6 WALL
c.	SOUND ATTENUATION BATTS
ACM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BRUSH MANAGEMENT PLAN.



**1 1ST FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:  
Domestic Architecture**

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

NOT FOR  
CONSTRUCTION

**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

BUILDING M

**2ND FLOOR  
PLAN**

Sheet 10 of 26

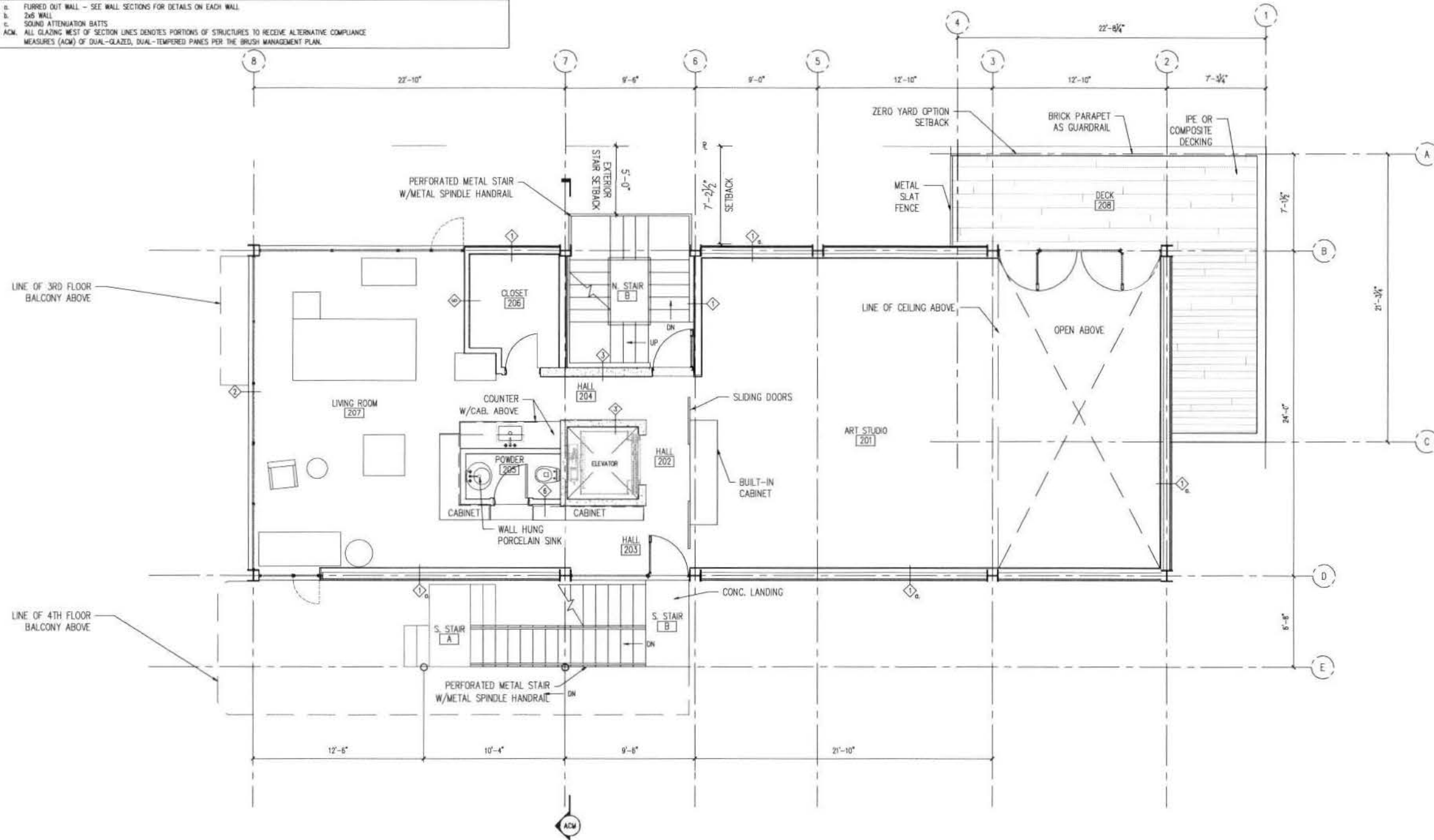
Sheet No. **A2.2**

**WALL ASSEMBLIES** \*REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS

1. EXTERIOR WALL SIDING PER ELEVATIONS INFILL 2x6 STUD WALL W/SHEATHING & W/INSULATION 5/8" GMB	3. CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TILE 2x THICKNESS TBD PER STR.	5. EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ.) 2x6 STUD WALL/SHEATHING/INSULATION 5/8" GMB
2. EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4. EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STRL. 2x WOOD STUDS PER STRL. BATT INSULATION 5/8" GMB	6. INTERIOR WOOD FRAMED WALL 5/8" GMB 2x STUDS PER STRL. SOUND ATTENUATION BATTS 5/8" GMB

**ASSEMBLY MODIFIERS**

a. FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL.  
b. 2x6 WALL  
c. SOUND ATTENUATION BATTS  
ADM. ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BRUSH MANAGEMENT PLAN.



**1 2ND FLOOR PLAN**  
SCALE 1/4" = 1'-0"



ATTACHMENT 12

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:  
Domestic Architecture**

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

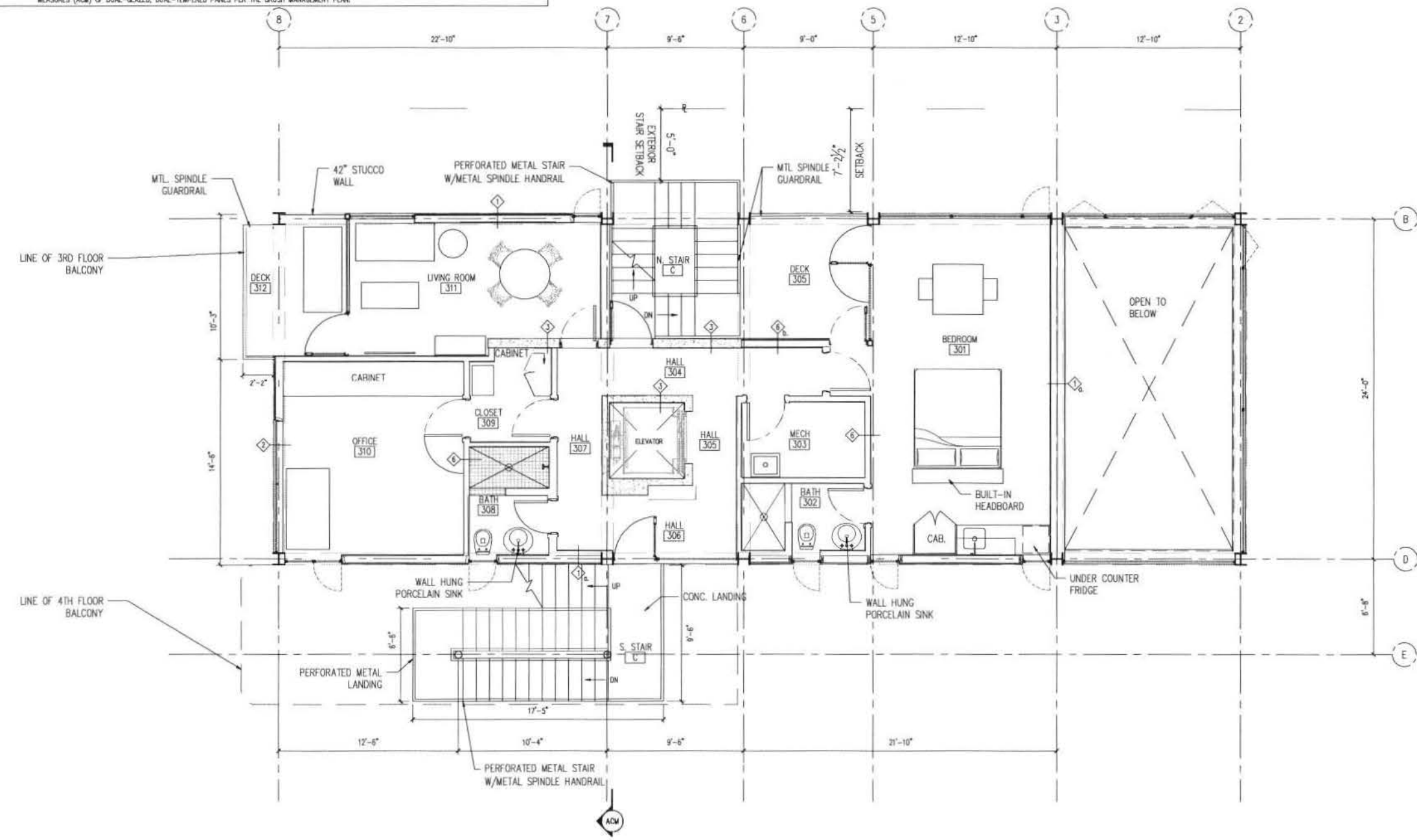
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CONSTRUCTION

ATTACHMENT 12

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS		
1 EXTERIOR WALL SIDING PER ELEVATIONS INFILL 2x6 STUD WALL W/SHEATHING & W/INSULATION 5/8" GMB	3 CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TITLE 24 THICKNESS TBD PER STR.	5 EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (KOSTON VALLEY TERRA COTTA OR EQ.) 2x6 STUD WALL/SHEATHING/INSULATION 5/8" GMB
2 EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4 EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STRIL. 2x WOOD STUDS PER STRIL. BATT INSULATION 5/8" GMB	6 INTERIOR WOOD FRAMED WALL 5/8" GMB 2x STUDS PER STRIL. SOUND ATTENUATION BATTS 5/8" GMB

ASSEMBLY MODIFIERS
a. FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL
b. 2x6 WALL
c. SOUND ATTENUATION BATTS
ACM. ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BRUSH MANAGEMENT PLAN.



**1 3RD FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

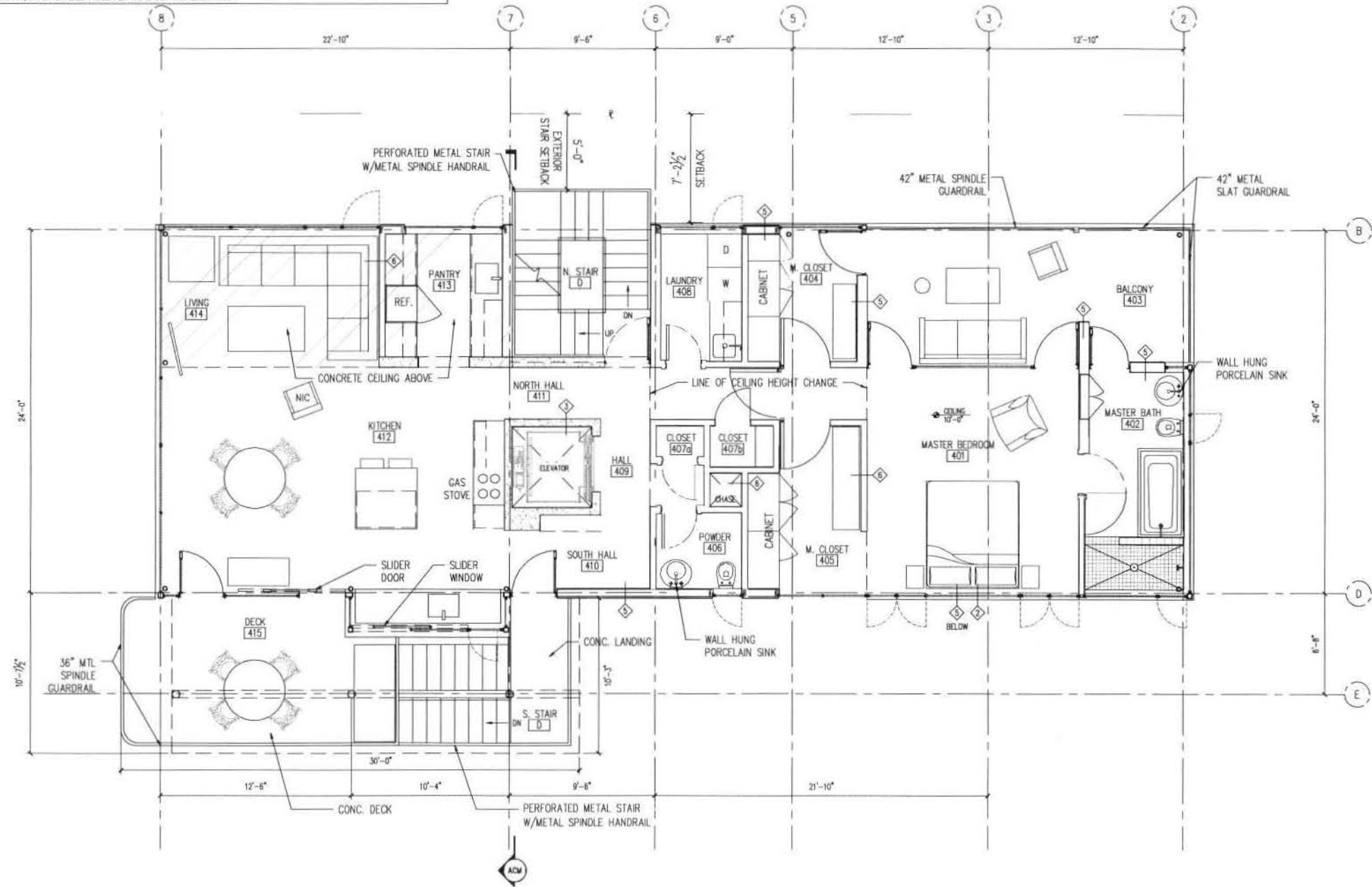
BUILDING M

**3RD FLOOR  
PLAN**

Sheet 11 of 26

Sheet No. **A2.3**

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS					
1	EXTERIOR WALL SIDING PER ELEVATIONS INFILL 2x6 STUD WALL W/SHEATHING & W/INSULATION 5/8" GMB	3	CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TILE 24 THICKNESS TBD PER STRL.	5	EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ.) 2x6 STUD WALL/SHEATHING/INSULATION 5/8" GMB
2	EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4	EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STRL. 2x WOOD STUDS PER STRL. BATT INSULATION 5/8" GMB	6	INTERIOR WOOD FRAMED WALL 5/8" GMB 2x STUDS PER STRL. SOUND ATTENUATION BATTS 5/8" GMB
ASSEMBLY MODIFIERS					
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL				
b.	2x6 WALL				
c.	SOUND ATTENUATION BATTS				
ADM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ADM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BRUSH MANAGEMENT PLAN.				



1 4TH FLOOR PLAN  
SCALE 1/4" = 1'-0"



NOT FOR  
CONSTRUCTION

Issues		
Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT  
PERMIT SET

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

BUILDING M

4TH FLOOR  
PLAN

Sheet 12 of 26

Sheet No. **A2.4**

ATTACHMENT 12



**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
**Domestic Architecture**

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-9111  
fax 206.323-8993

NOT FOR  
CONSTRUCTION

ATTACHMENT 12

**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12

Date Drawn: 11/24/14

Drawn By: JB / BS

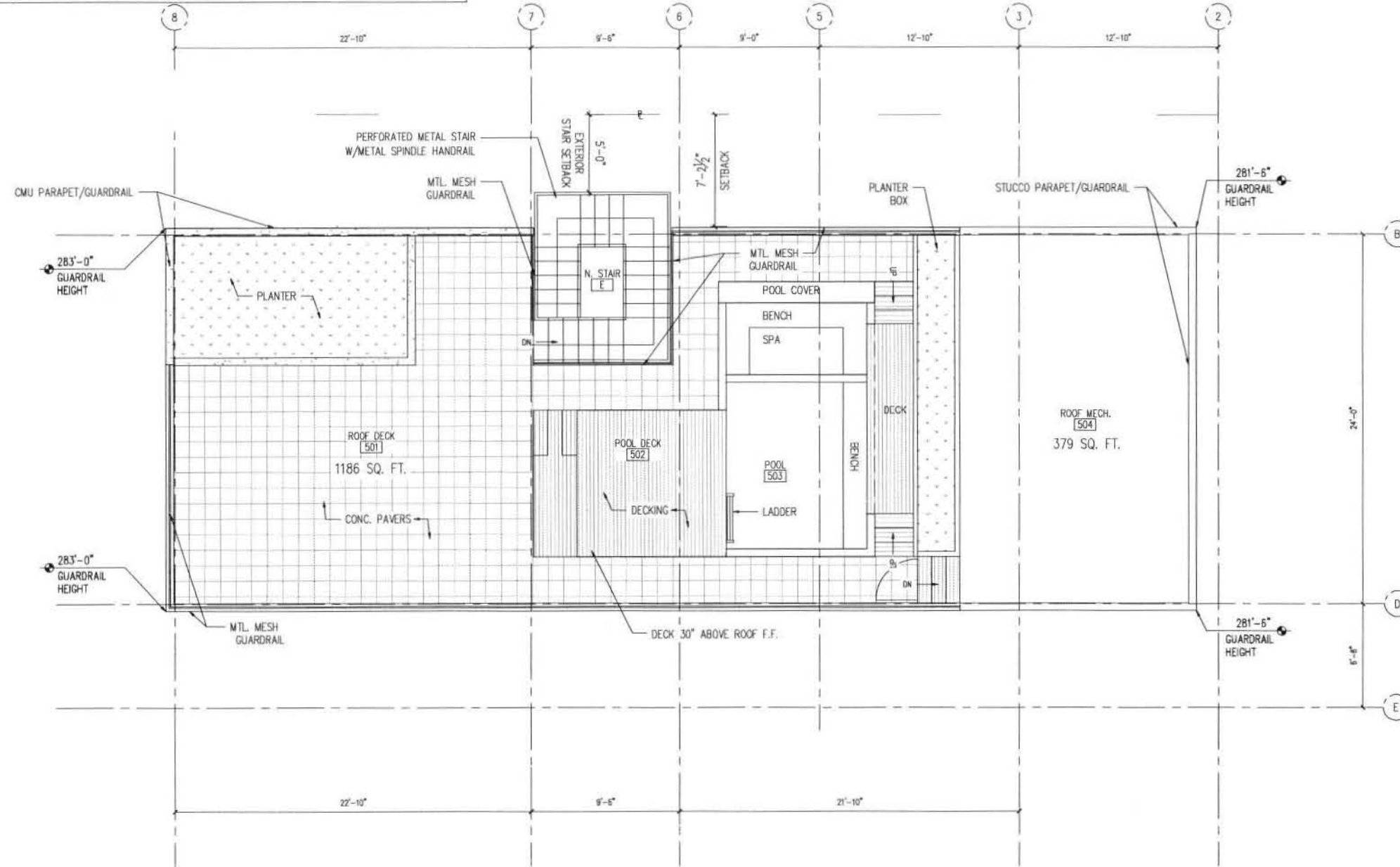
BUILDING M

**ROOF DECK  
PLAN**

Sheet 13 of 28

Sheet No. **A2.5**

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS			
1	EXTERIOR WALL SIDING PER ELEVATIONS W/FILL 2x6 STUD WALL W/SHEATHING & W/INSULATION 5/8" GMB	3	CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TILE 24 THICKNESS T80 PER STRL
2	EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER T80 - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4	EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR T80 1" AIR GAP 1/2" SHEATHING PER STRL 2x WOOD STUDS PER STRL BATT INSULATION 5/8" GMB
ASSEMBLY MODIFIERS		5	EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ.) 2x6 STUD WALL/SHEATHING/INSULATION 5/8" GMB
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL	6	INTERIOR WOOD FRAMED WALL 5/8" GMB 2x STUDS PER STRL SOUND ATTENUATION BATTS 5/8" GMB
b.	2x6 WALL		
c.	SOUND ATTENUATION BATTS		
ACM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BRUSH MANAGEMENT PLAN.		



**1 ROOF DECK FLOOR PLAN**  
SCALE 1/4" = 1'-0"



Issues

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT  
PERMIT SET

Project Start Date: 7/1/12

Date Drawn: 11/24/14

Drawn By: JB / BS

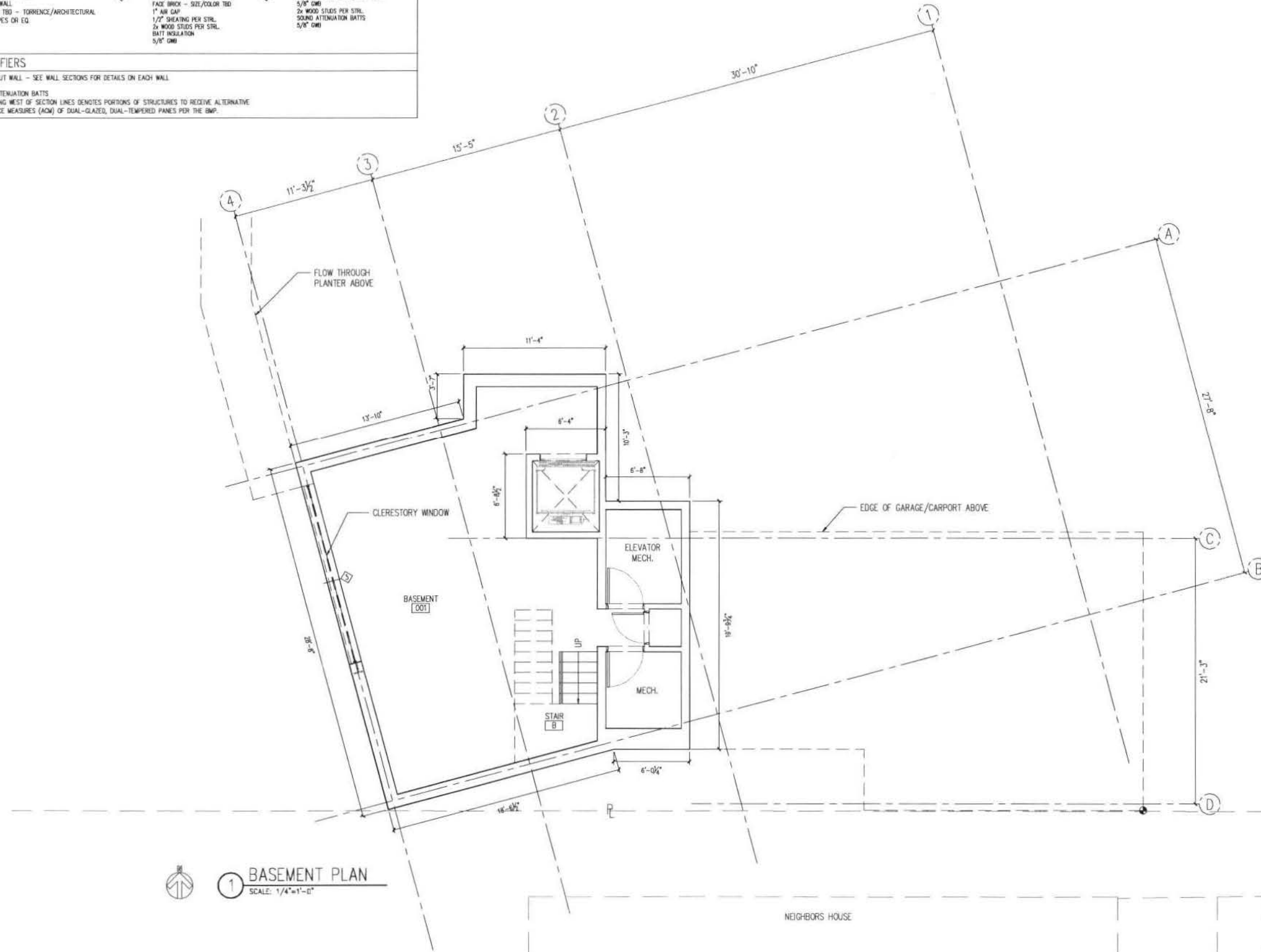
BUILDING C

BASEMENT  
PLAN

Sheet 14 of 26

Sheet No. **A2.6**

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS		
1	EXTERIOR WALL Siding per elevations Infill metal stud wall/sheathing/insulation 5/8" CWB	3
2	EXTERIOR WINDOW SYSTEM Steel window wall Manufacturer TBD - Torrence/Architectural Traditions/Hopes or Eq.	4
3	CONCRETE WALL 4" Reinforced concrete Double wall concrete with insulation per title 24 thickness TBD per STL.	5
4	EXTERIOR MASONRY WALL Face brick - size/color TBD 1" air gap 1/2" sheathing per STL 2x wood studs per STL Batt insulation 5/8" CWB	6
ASSEMBLY MODIFIERS		
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL	
b.	2x6 WALL	
c.	SOUND ATTENUATION BATTS	
ACM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BNP.	



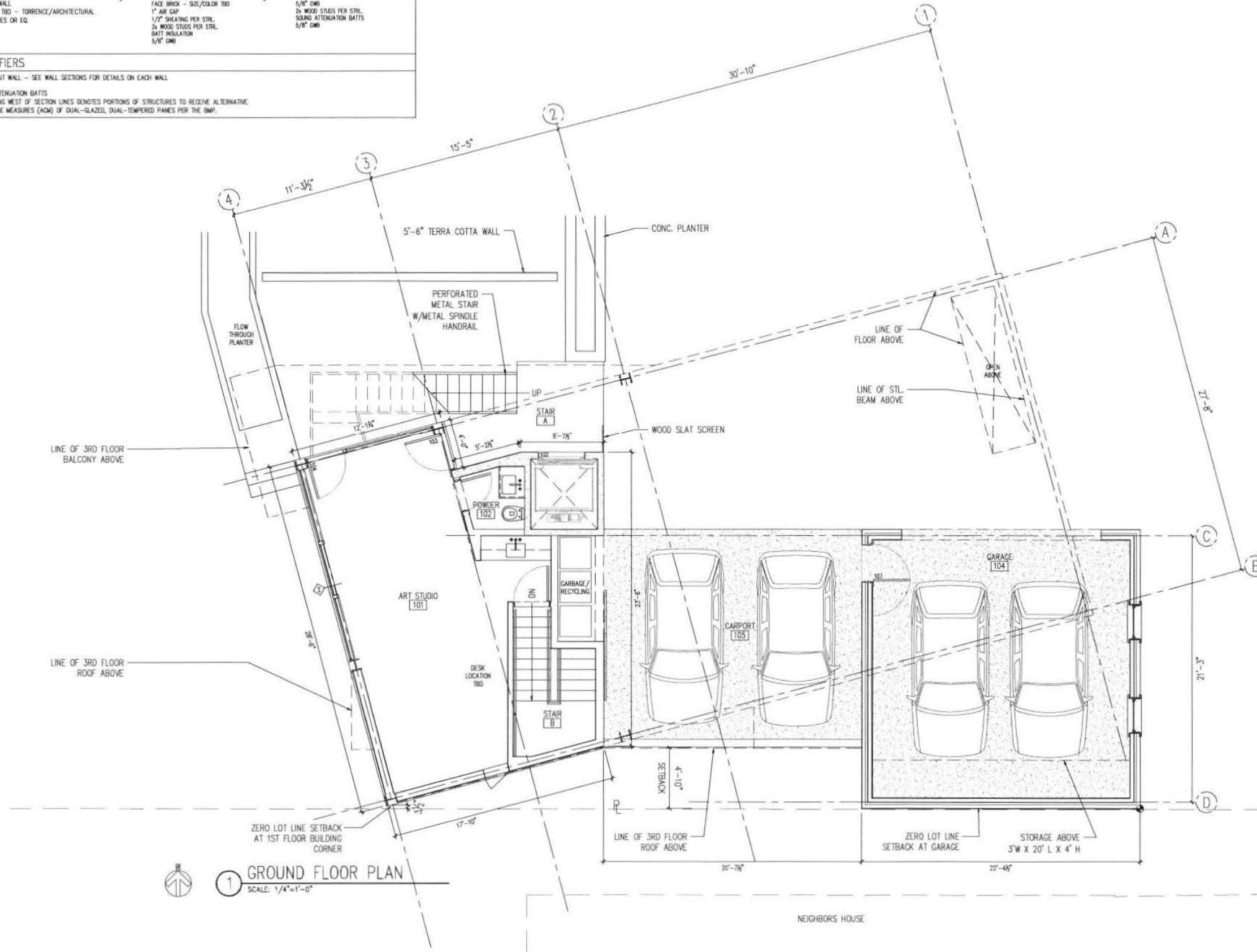
1 BASEMENT PLAN  
SCALE: 1/4"=1'-0"

NEIGHBORS HOUSE

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS		
1 - EXTERIOR WALL SOUND PER ELEVATIONS INTELL METAL STUD WALL/SHEATHING/INSULATION 5/8" CMR	3 - CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TEE 24 THICKNESS TEE PER STR.	5 - EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - BOSTON VALLEY TERRA COTTA OR EQ.) STUD WALL/SHEATHING/INSULATION 5/8" CMR
2 - EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4 - EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STR. 2x WOOD STUDS PER STR. BATT INSULATION 5/8" CMR	6 - INTERIOR WOOD FRAMED WALL 5/8" CMR 2x WOOD STUDS PER STR. SOUND ATTENUATION BATTS 5/8" CMR

ASSEMBLY MODIFIERS	
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL
b.	2x6 WALL
c.	SOUND ATTENUATION BATTS
ACM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES FOR THE BMP.



1 GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"

1ST AVE RESIDENCES

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-6993

NOT FOR CONSTRUCTION

Issues

Date	Description	REV #
2/25/14	DEV. PERMIT	1
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7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT PERMIT SET

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

BUILDING C

GROUND FLOOR PLAN

Sheet 15 of 26

Sheet No. A2.7

ATTACHMENT 12

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:**  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-9111  
fax 206.323-6993

NOT FOR  
CONSTRUCTION

**Issues**

Date	Description	REV #
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4/2/14	PERMIT RE-SUBMITTAL	2
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11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/11/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

BUILDING C

**2ND FLOOR PLAN**

Sheet 16 of 26

Sheet No. **A2.8**

**WALL ASSEMBLIES** \*REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS

① EXTERIOR WALL SIDING PER ELEVATIONS INFL. METAL STUD WALL/SHEATHING/INSULATION 5/8" CMBS	③ CONCRETE WALL 4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER TBE 24 THICKNESS TEO PER STRL.	⑤ EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ.) STUD WALL/SHEATHING/INSULATION 5/8" CMBS
② EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	④ EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STRL. 2x WOOD STUDS PER STRL. BATT INSULATION 5/8" CMBS	⑥ INTERIOR WOOD FRAMED WALL 5/8" CMBS 2x WOOD STUDS PER STRL. SOUND ATTENUATION BATTS 5/8" CMBS

**ASSEMBLY MODIFIERS**

a. PURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL  
b. 2x6 WALL  
c. SOUND ATTENUATION BATTS  
ACM. ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BMP.



**1** 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

ATTACHMENT 12

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:  
Domestic Architecture**

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
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NOT FOR  
CONSTRUCTION

**Issues**

Date	Description	REV #
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7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/11/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

BUILDING C

**3RD FLOOR PLAN**

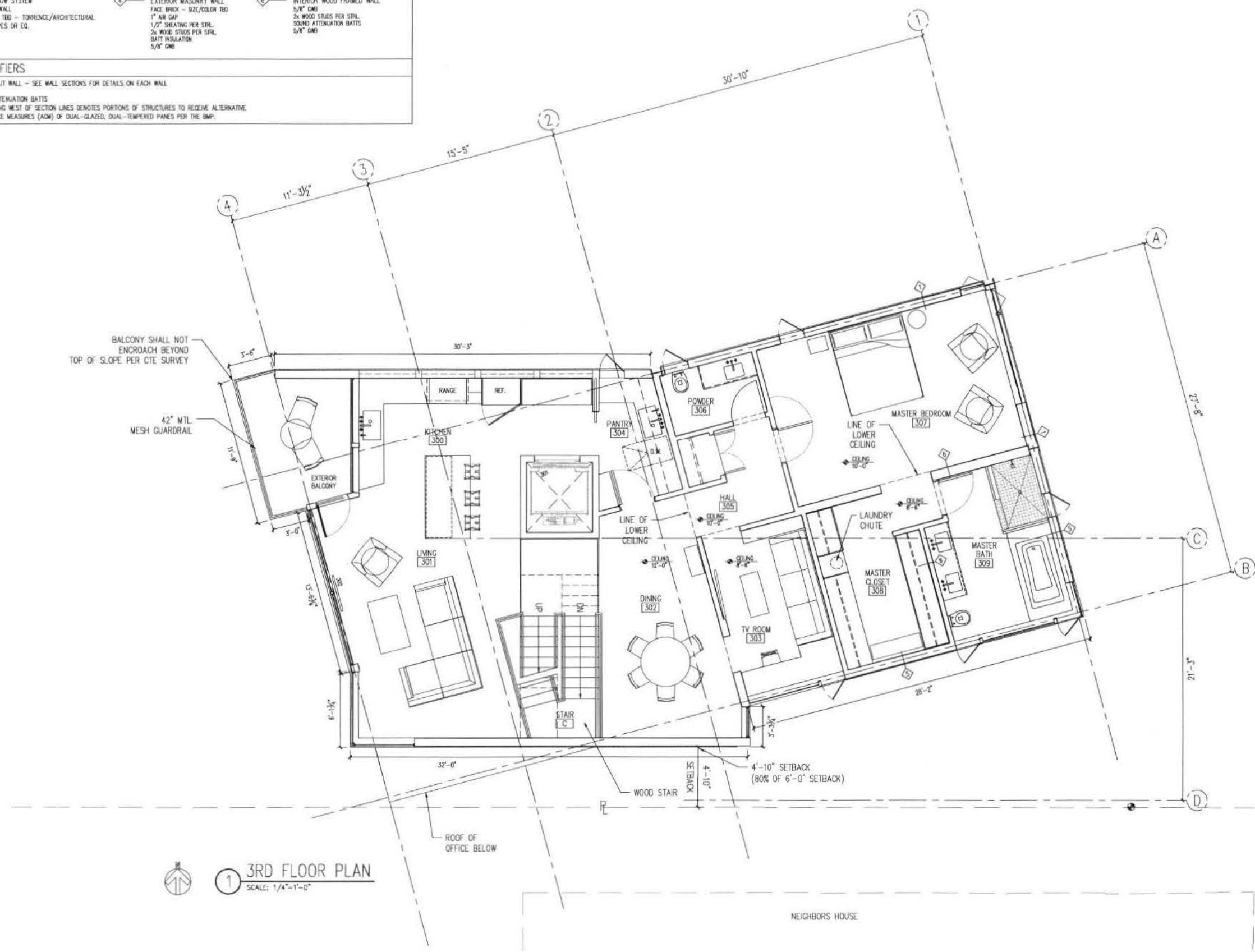
Sheet 17 of 26

Sheet No. **A2.9**

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS					
1	EXTERIOR WALL SOUND PER ELEVATIONS INFL. METAL STUD WALL/SHEATHING/INSULATION 5/8" GMI	3	CONCRETE WALL -4" REINFORCED CONCRETE DOUBLE WALL CONCRETE WITH INSULATION PER SEE 24 THICKNESS TBD PER STR.	5	EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ.) STUD WALL/SHEATHING/INSULATION 5/8" GMI
2	EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4	EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STR. 2x WOOD STUDS PER STR. BATT INSULATION 5/8" GMI	6	INTERIOR WOOD FRAMED WALL 5/8" GMI 2x WOOD STUDS PER STR. SOUND ATTENUATION BATTS 5/8" GMI

ASSEMBLY MODIFIERS	
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL
b.	2x6 WALL
c.	SOUND ATTENUATION BATTS
ACM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ACM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BMP.



1 3RD FLOOR PLAN  
SCALE: 1/4"=1'-0"

ATTACHMENT 12

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
tel 206.323-0111  
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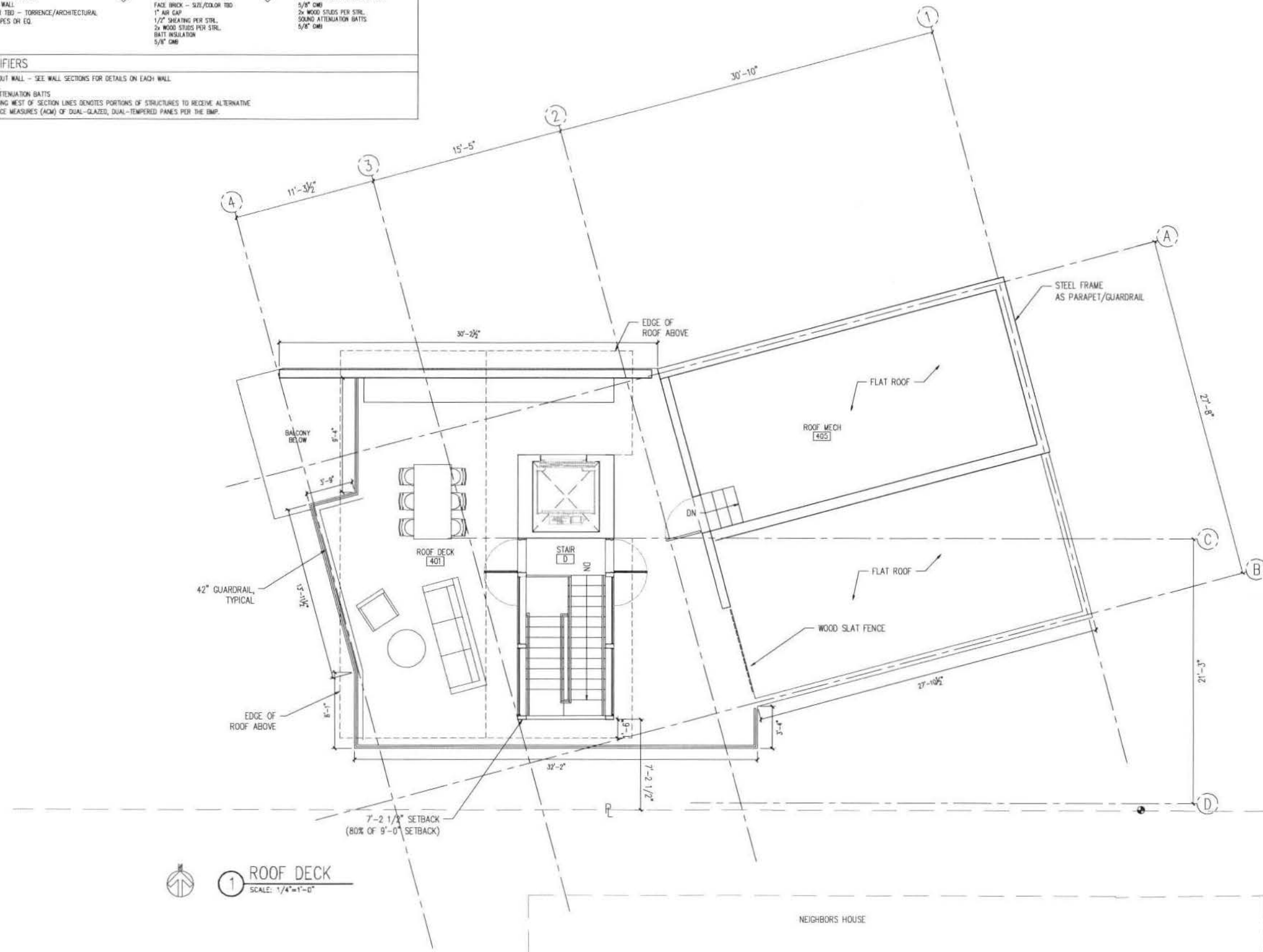
NOT FOR  
CONSTRUCTION

ATTACHMENT 12

WALL ASSEMBLIES *REFER TO SECTIONS FOR FLOOR AND ROOF TYPE DESCRIPTIONS			
1	EXTERIOR WALL SEMG PER ELEVATIONS INFILL METAL STUD WALL/SHEATHING/INSULATION 5/8" CMR	3	EXTERIOR RAIN SCREEN TERRA COTTA RAIN SCREEN - (BOSTON VALLEY TERRA COTTA OR EQ) STUD WALL/SHEATHING/INSULATION 5/8" CMR
2	EXTERIOR WINDOW SYSTEM STEEL WINDOW WALL MANUFACTURER TBD - TORRENCE/ARCHITECTURAL TRADITIONS/HOPES OR EQ.	4	EXTERIOR MASONRY WALL FACE BRICK - SIZE/COLOR TBD 1" AIR GAP 1/2" SHEATHING PER STRL. 2x WOOD STUDS PER STRL. BATT INSULATION 5/8" CMR
		5	INTERIOR WOOD FRAMED WALL 5/8" CMR 2x WOOD STUDS PER STRL. SOUND ATTENUATION BATTS 5/8" CMR

ASSEMBLY MODIFIERS	
a.	FURRED OUT WALL - SEE WALL SECTIONS FOR DETAILS ON EACH WALL.
b.	2x6 WALL.
c.	SOUND ATTENUATION BATTS.
ADM.	ALL GLAZING WEST OF SECTION LINES DENOTES PORTIONS OF STRUCTURES TO RECEIVE ALTERNATIVE COMPLIANCE MEASURES (ADM) OF DUAL-GLAZED, DUAL-TEMPERED PANES PER THE BMP.



**Issues**

Date	Description	REV #
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10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12

Date Drawn: 11/24/14

Drawn By: JB / BS

BUILDING C

**ROOF DECK  
PLAN**

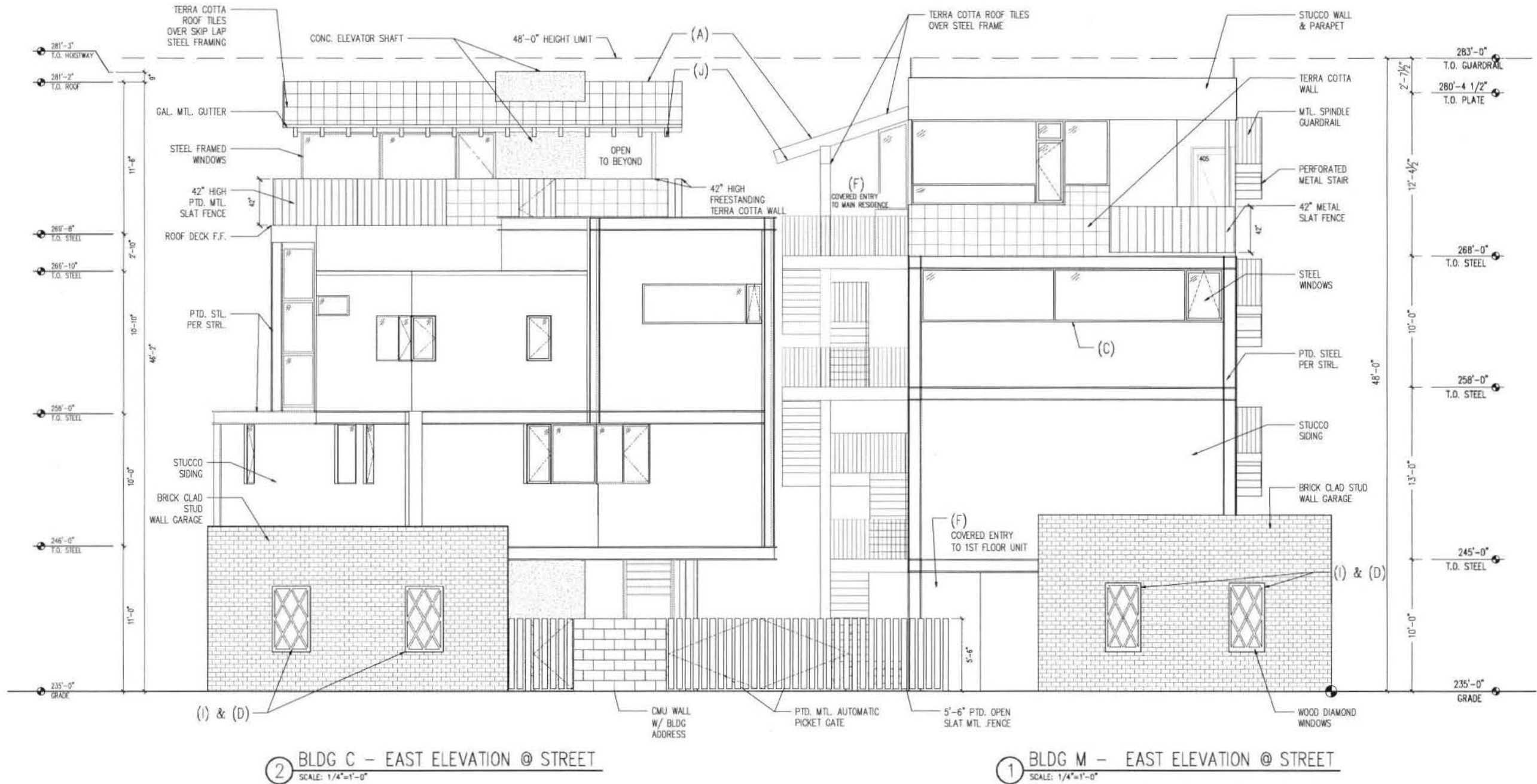
Sheet 16 of 26

Sheet No. **A2.10**

STREET WALL TRANSPARENCY			
1st Ave Residences	Sq Ft. of Transparency	Total Area	% OPEN
1st Story*	483	934	52%
2nd Story	290	1265	23%
3rd Story	382	1281	30%
Total Transparency (Sq Ft.)			1155
Total Area (Sq Ft.)			3480
		Total Avg. Transparency	33%

\*Per Issue 10.5 from Cycle Issues Correspondence with Corey Braun (2/05/14)  
 \*In order to define the 1st story street façade, the plane of the façade at the 2nd story can be dropped down to the ground so that the area under the cantilevered 2nd story counts as open or transparent area for the 1st story"

- PER SOMC 1512.0304 ARCHITECTURAL FEATURES:
- (a) EACH RESIDENTIAL BUILDING SHALL INCLUDE THE FOLLOWING TWO FEATURES:  
 (1) WINDOWS SHALL BE OF THE SAME MATERIAL AND MAINTAIN A CONSISTENT DESIGN CHARACTER THROUGHOUT.  
 (2) THERE SHALL BE NO MORE THAN 2 WALL SIDING MATERIALS ON ANY SINGLE BUILDING.
- (b) EACH RESIDENTIAL BUILDING SHALL INCLUDE AT LEAST 5 ARCHITECTURAL FEATURES ALL TO BE CHOSEN FROM ONE OF THE FOLLOWING LISTS(1)(2) OR (3):  
 (1) CONTEMPORARY  
 (A) MULTIPLE PITCHED ROOF  
 (C) A MINIMUM OF ONE CLERESTORY WINDOW PER 50 FEET OF STREET ELEVATION  
 (D) WOOD WINDOW FRAMES  
 (F) AN ENTRY PORCH  
 (I) WINDOWS RECESSED AT LEAST 2 INCHES  
 (J) EAVES WITH A MINIMUM 18 INCHES OF OVER-HANG



2 BLDG C - EAST ELEVATION @ STREET  
 SCALE: 1/4"=1'-0"

1 BLDG M - EAST ELEVATION @ STREET  
 SCALE: 1/4"=1'-0"

1ST AVE  
 RESIDENCES

2730-32 1ST AVENUE  
 SAN DIEGO, CA 92103

Designer:  
 Domestic Architecture

1422 34th Avenue  
 Seattle, WA 98122  
 Tel 206.323-0111  
 Fax 206.323-8993

NOT FOR  
 CONSTRUCTION

Issues

Date	Description	REV #
2/25/14	DEV. PERMIT	1
4/2/14	PERMIT RE-SUBMITTAL	2
7/8/14	PERMIT RE-SUBMITTAL	3
10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT  
 PERMIT SET

Project Start Date: 7/11/12

Date Drawn: 11/24/14

Drawn By: JB / BS

BUILDING M

EXTERIOR  
 ELEVATIONS

Sheet 18 of 26

Sheet No. **A3.0**

ATTACHMENT 12

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:**  
Domestic Architecture

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Seattle, WA 98122  
tel 206.323-0111  
fax 206.323-8993

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ATTACHMENT 12

**Issues**

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11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/11/12

Date Drawn: 11/24/14

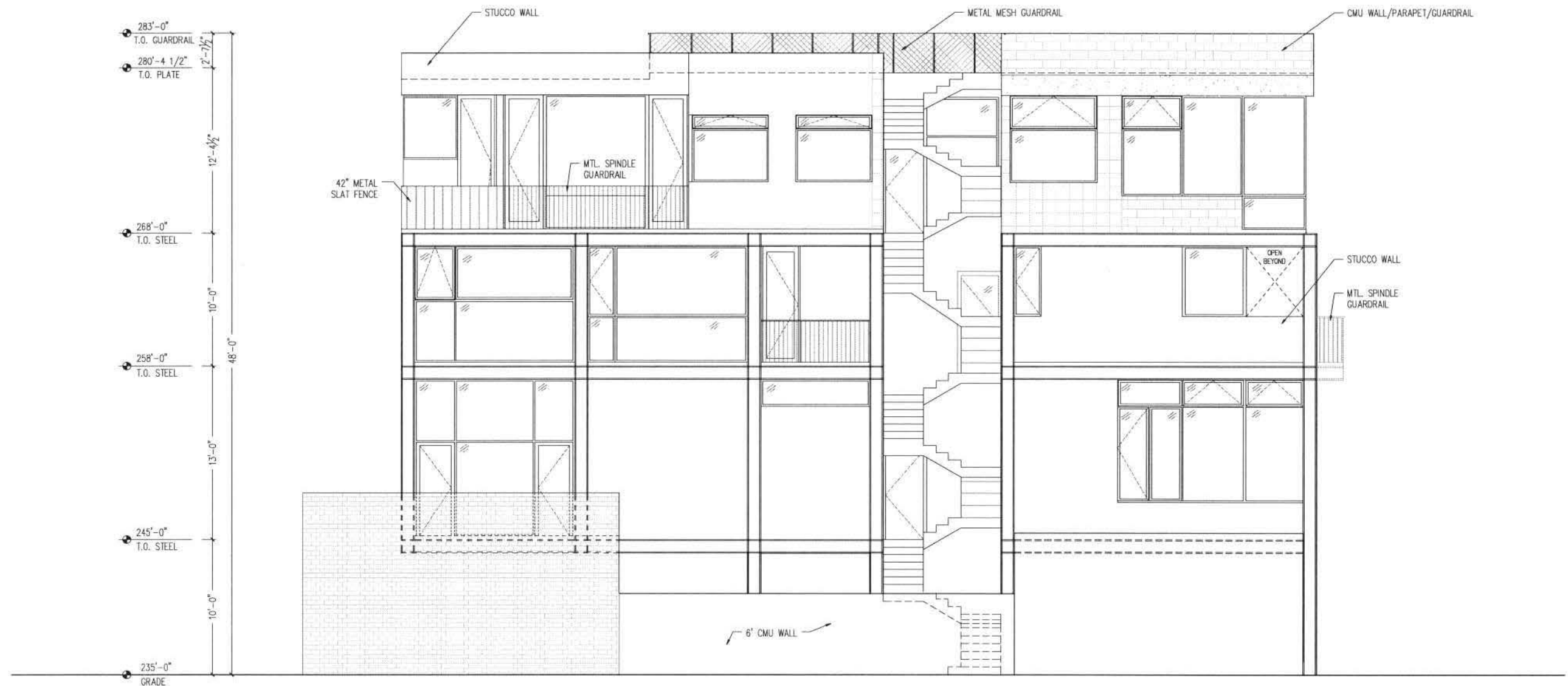
Drawn By: JB / BS

BUILDING M

**EXTERIOR  
ELEVATIONS**

Sheet 20 of 26

Sheet No. **A3.1**



1 BLDG M - NORTH ELEVATION  
SCALE: 1/4"=1'-0"



1ST AVE  
RESIDENCES

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

1422 34th Avenue  
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11/24/14	PERMIT RE-SUBMITTAL	5

DEVELOPMENT  
PERMIT SET

Project Start Date: 7/1/12

Date Drawn: 11/24/14

Drawn By: JB / BS

BUILDING M

EXTERIOR  
ELEVATIONS

Sheet 21 of 26

Sheet No. **A3.2**

ATTACHMENT 12



② BLDG M - EAST ELEVATION @ STREET  
SCALE: 1/4"=1'-0"



① BLDG M - WEST ELEVATION  
SCALE: 1/4"=1'-0"

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:**  
Domestic Architecture

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fax 206.323-6993

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ATTACHMENT 12

**Issues**

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11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12

Date Drawn: 11/24/14

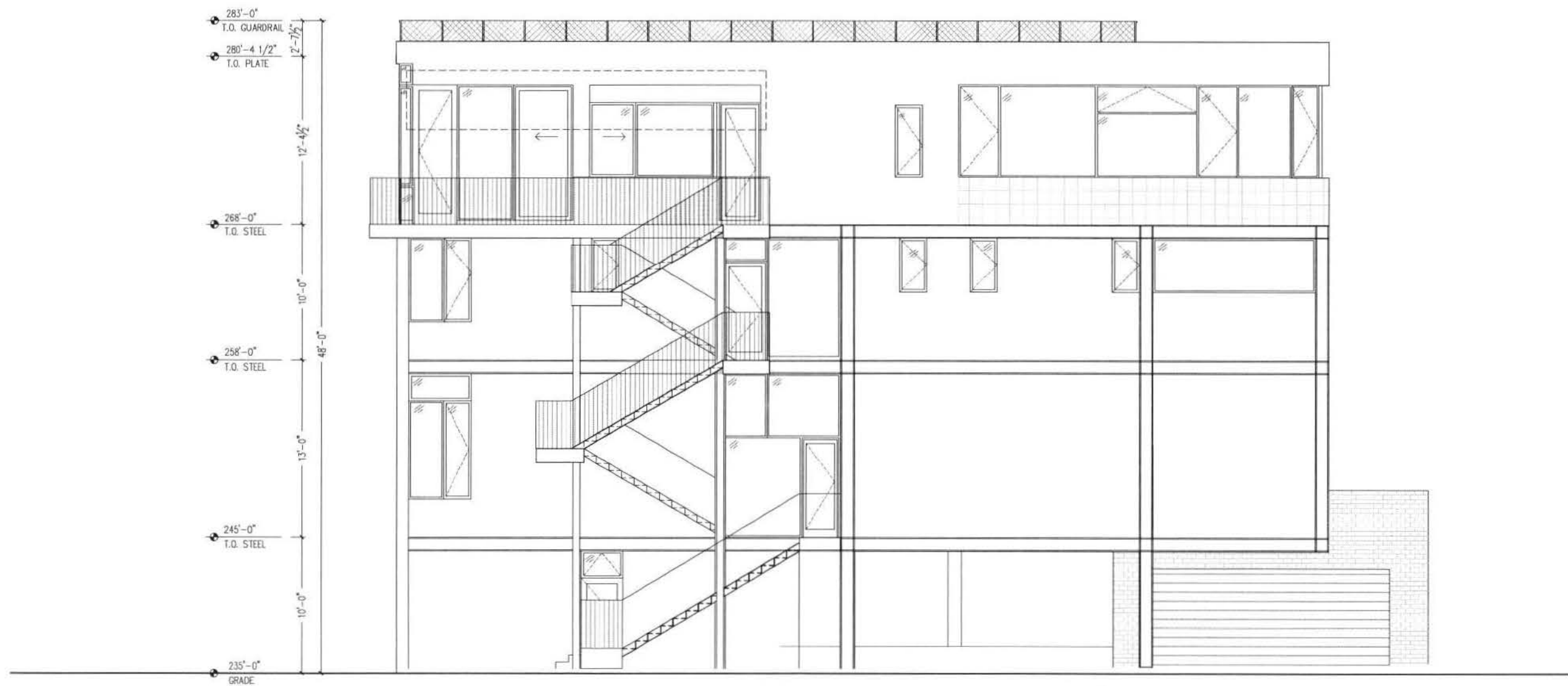
Drawn By: JB / BS

BUILDING M

**EXTERIOR  
ELEVATIONS**

Sheet 22 of 28

Sheet No. **A3.3**



1 BLDG M - SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:**  
Domestic Architecture

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Seattle, WA 98122  
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fax 206.323-6993

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**Issues**

Date	Description	REV #
2/25/14	DEV. PERMIT	1
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10/2/14	PERMIT RE-SUBMITTAL	4
11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12

Date Drawn: 11/24/14

Drawn By: JB / BS

BUILDING C

**EXTERIOR  
ELEVATIONS**

Sheet 23 of 28

Sheet No. **A3.4**

ATTACHMENT 12



**1 BLDG C - NORTHEAST ELEVATION**  
SCALE: 1/4"=1'-0"

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
Domestic Architecture

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Seattle, WA 98122  
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fax 206.323-8993

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CONSTRUCTION

ATTACHMENT 12

**Issues**

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11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12

Date Drawn: 11/24/14

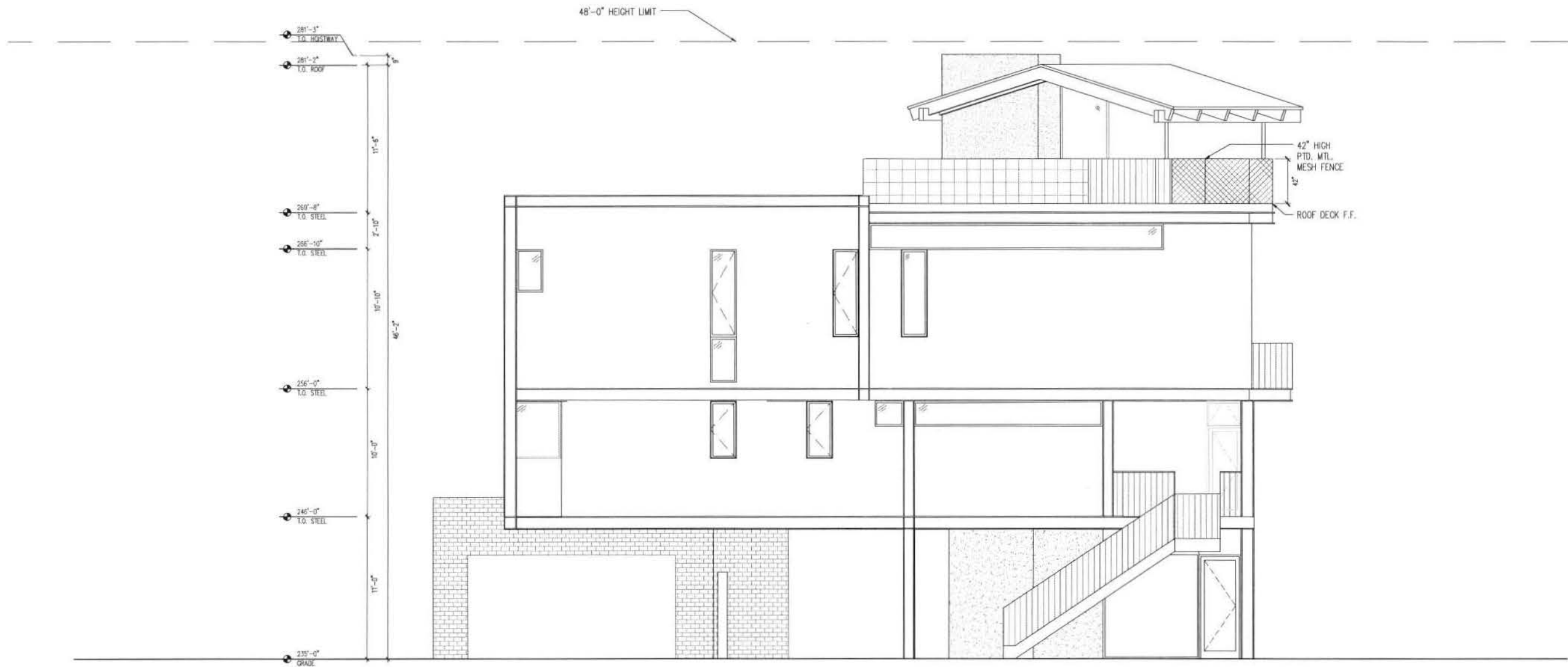
Drawn By: JB / BS

BUILDING C

**EXTERIOR  
ELEVATIONS**

Sheet 24 of 26

Sheet No. **A3.5**



**1 BLDG C - NORTH ELEVATION**  
SCALE: 1/4"=1'-0"

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

**Designer:**  
Domestic Architecture

1422 34th Avenue  
Seattle, WA 98122  
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fax 206.323-6993

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ATTACHMENT 12

**Issues**

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11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12

Date Drawn: 11/24/14

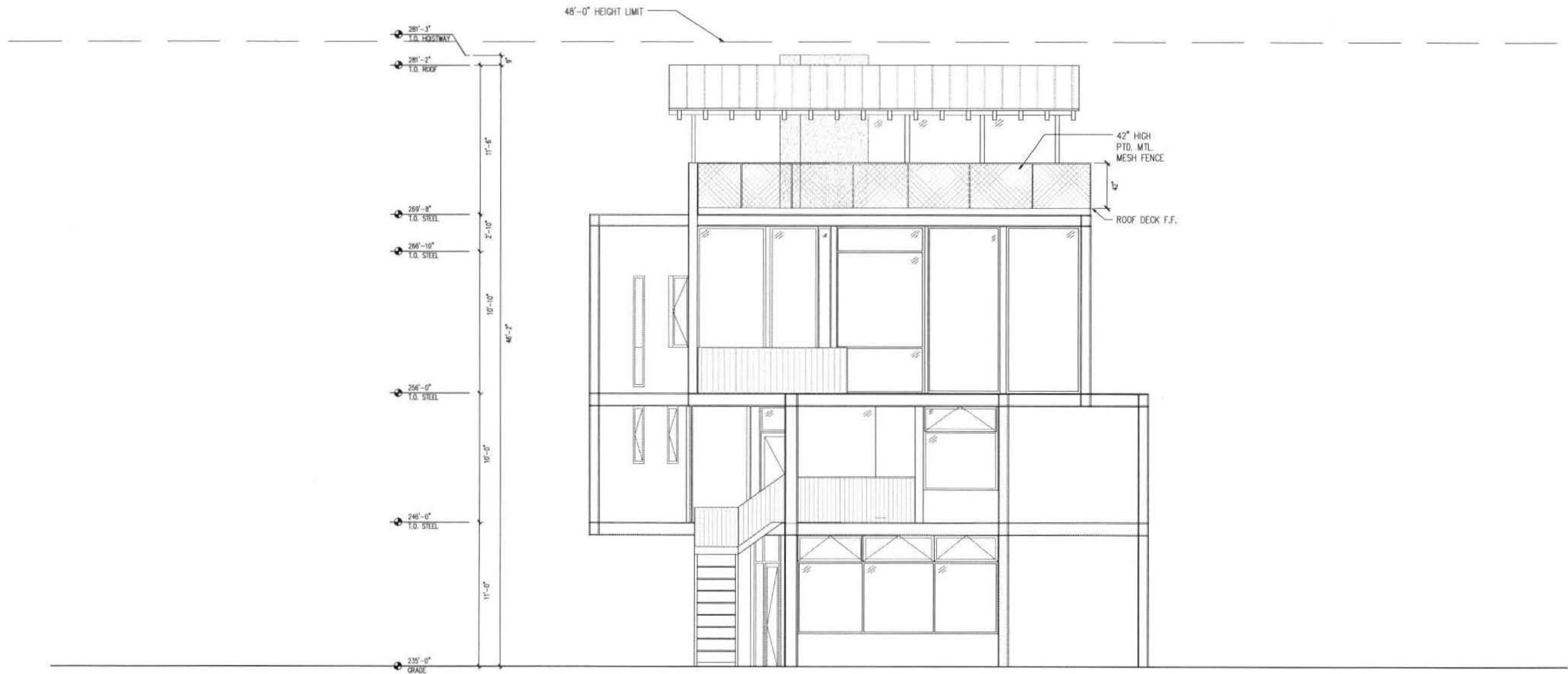
Drawn By: JB / BS

BUILDING C

EXTERIOR  
ELEVATIONS

Sheet 25 of 26

Sheet No. **A3.6**



**1** BLDG C - WEST ELEVATION  
SCALE: 1/4"=1'-0"

**1ST AVE  
RESIDENCES**

2730-32 1ST AVENUE  
SAN DIEGO, CA 92103

Designer:  
**Domestic Architecture**

1422 34th Avenue  
Seattle, WA 98122  
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**Issues**

Date	Description	REV #
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11/24/14	PERMIT RE-SUBMITTAL	5

**DEVELOPMENT  
PERMIT SET**

Project Start Date: 7/1/12  
Date Drawn: 11/24/14  
Drawn By: JB / BS

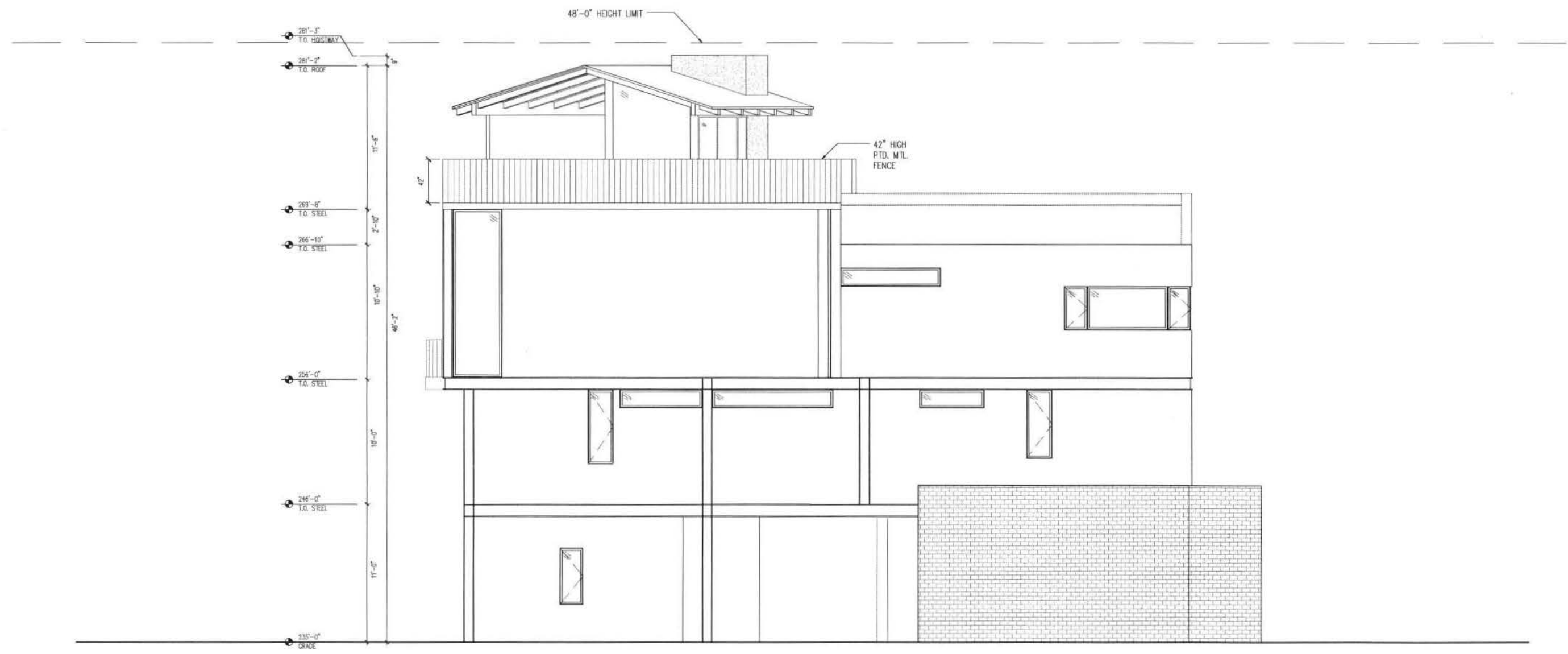
**BUILDING C**

**EXTERIOR  
ELEVATIONS**

Sheet 26 of 26

Sheet No. **A3.7**

ATTACHMENT 12



**1 BLDG C - SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"