



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: March 18, 2015 REPORT NO. HO-15-009

ATTENTION: HEARING OFFICER

SUBJECT: LASKA RESIDENCE ADDITION; PROJECT NO. 363511
PROCESS 3

LOCATION: 8151 Calle Del Cielo

OWNER/
APPLICANT: Laska-Ridberg Revocable Trust/
Mark S. Laska and Julie Ridberg

SUMMARY

Requested Action: Should the Hearing Officer approve the proposed 3,283 square foot addition, 775 square foot underground garage and 313 square foot basement additions, and remodel of an existing single-family dwelling unit on a 0.46 acre site located at 8151 Calle Del Cielo in the La Jolla Shores Planned District within the La Jolla Community Plan and Local Coastal Program Land Use Plan Area?

Staff Recommendation: **APPROVE** Coastal Development Permit No. 1274347 and Site Development Permit No. 1274348.

Community Planning Group Recommendation: On August 7, 2014, the La Jolla Community Planning Association voted 12-1-2 to recommend approval of the project (Attachment 9).

Other Recommendations: On August 19, 2014, the La Jolla Shores Advisory Board voted 5-0-1 to recommend approval of the project (Attachment 10).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). The project proposes additions and remodel of an existing single-family dwelling unit. The environmental exemption determination for this project was made on December 17, 2014, and the opportunity to appeal that determination ended January 2, 2015 (Attachment 11). This project is not pending an appeal of the environmental determination.

BACKGROUND

The proposed project site is located at 8151 Calle Del Cielo (Attachment 1), north of Avenida De La Playa (Attachment 2). The property is in the SF Zone of the La Jolla Shores Planned District (Attachment 3) within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Attachment 4), Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, and the Parking Impact Overlay Zone for Coastal Impact Areas. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The La Jolla Community Plan (LJCP) designates the proposed project site for Very Low Density Residential land use at 0-5 dwelling units per acre (DU/AC). The project site, occupying 0.46 acres, could accommodate one dwelling unit based on the underlying zone and 0-2 dwelling units based on the community plan. The surrounding properties have been previously graded and developed with existing single-family dwelling units. The properties are zoned SF Zone within the La Jolla Shores Planned District (LJSPD), and the land use designation is Very Low Density Residential at 0-5 DU/AC.

The project site is an interior lot with frontage on Calle Del Cielo. The parcel has been previously graded and developed with an existing single-family dwelling unit. The existing single-family dwelling unit was permitted on June 30, 1959, pursuant to Building Permit No. B15599. From 1995 through 2012, the property had several building permits for interior remodel, additions, and a garage conversion that converted portion of the garage into a playroom. A historical assessment was performed and City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

Project Description:

The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the gross floor area (GFA)), and associated site improvements on a 0.46 acre site. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is an interior lot, and is located approximately 1,920 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Calle Del Cielo at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, viewsheds or scenic overlooks within the adopted LJCP and Local Coastal Program Land Use Plan. The Residential Element of the LJCP identifies Community Character as common development pattern and streetscape themes throughout the neighborhood. Elements of character are illustrated through bulk and scale, street and site fixtures, and materials and colors used in pavement and in structural design. One of the goals within the LJCP is to maintain the character of the residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.

Calle Del Cielo at this location has been developed with one and two story single-family dwelling units of various architectural styles. The proposed remodel and additions incorporates various horizontal and vertical off setting planes of various materials and colors to address the visual relationship to exist between the bulk and scale of the existing surrounding neighborhood.

The site is approximately 149 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 25 feet 11 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

Development of the proposed project requires the approval of a Process Two Coastal Development Permit (CDP) for coastal development in the Non-Appealable Area 2 of the Coastal Overlay Zone, and a Process 3 Site Development Permit (SDP) for development within the LJSPD.

Conclusion:

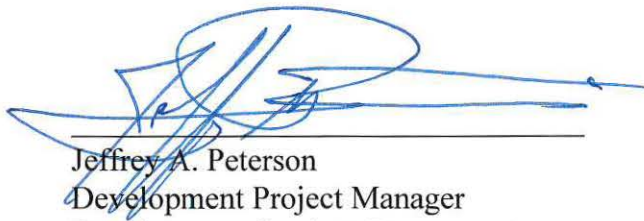
The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP, LJSPD, Local Coastal Program Land Use Plan, SDMC, and the General Plan. Therefore, staff recommends to the Hearing Officer to approve the CDP and SDP as presented.

ALTERNATIVES

1. **APPROVE** Coastal Development Permit No. 1274347 and Site Development Permit No. 1274348, **with modifications.**

2. **DENY** Coastal Development Permit No. 1274347 and Site Development Permit No. 1274348, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



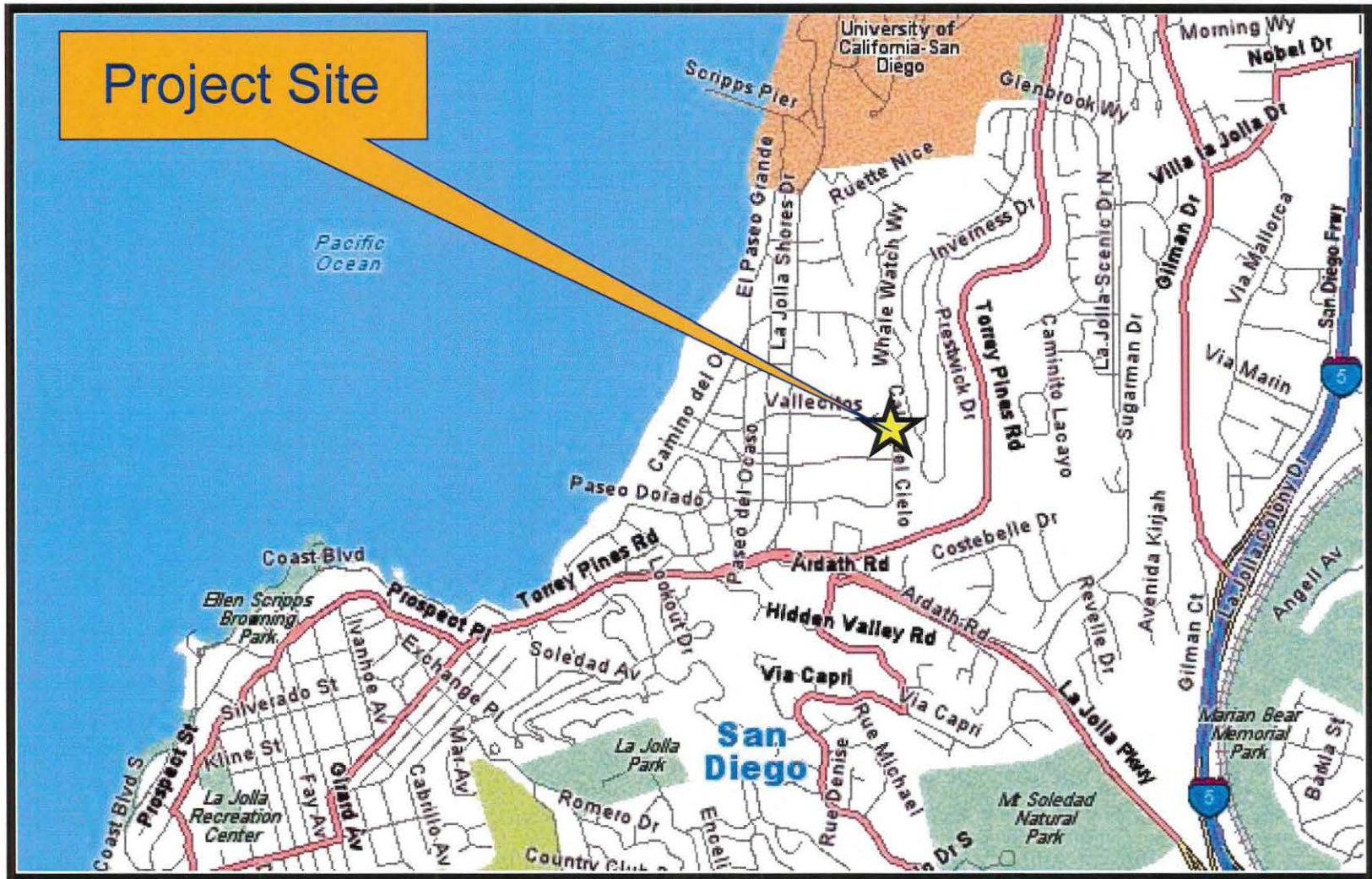
Jeffrey A. Peterson
Development Project Manager
Development Services Department

PETERSON/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Project Plans
7. Draft CDP and SDP Permit with Conditions
8. Draft CDP and SDP Resolution with Findings
9. La Jolla Community Planning Association Recommendation
10. La Jolla Shores Advisory Board Recommendation
11. Environmental Exemption
12. Ownership Disclosure Statement
13. Project Chronology
14. Copy of Public Notice (forwarded to HO)
15. Copy of Project Plans (full size-forwarded to HO)

Internal Order No. 24004533



Location Map

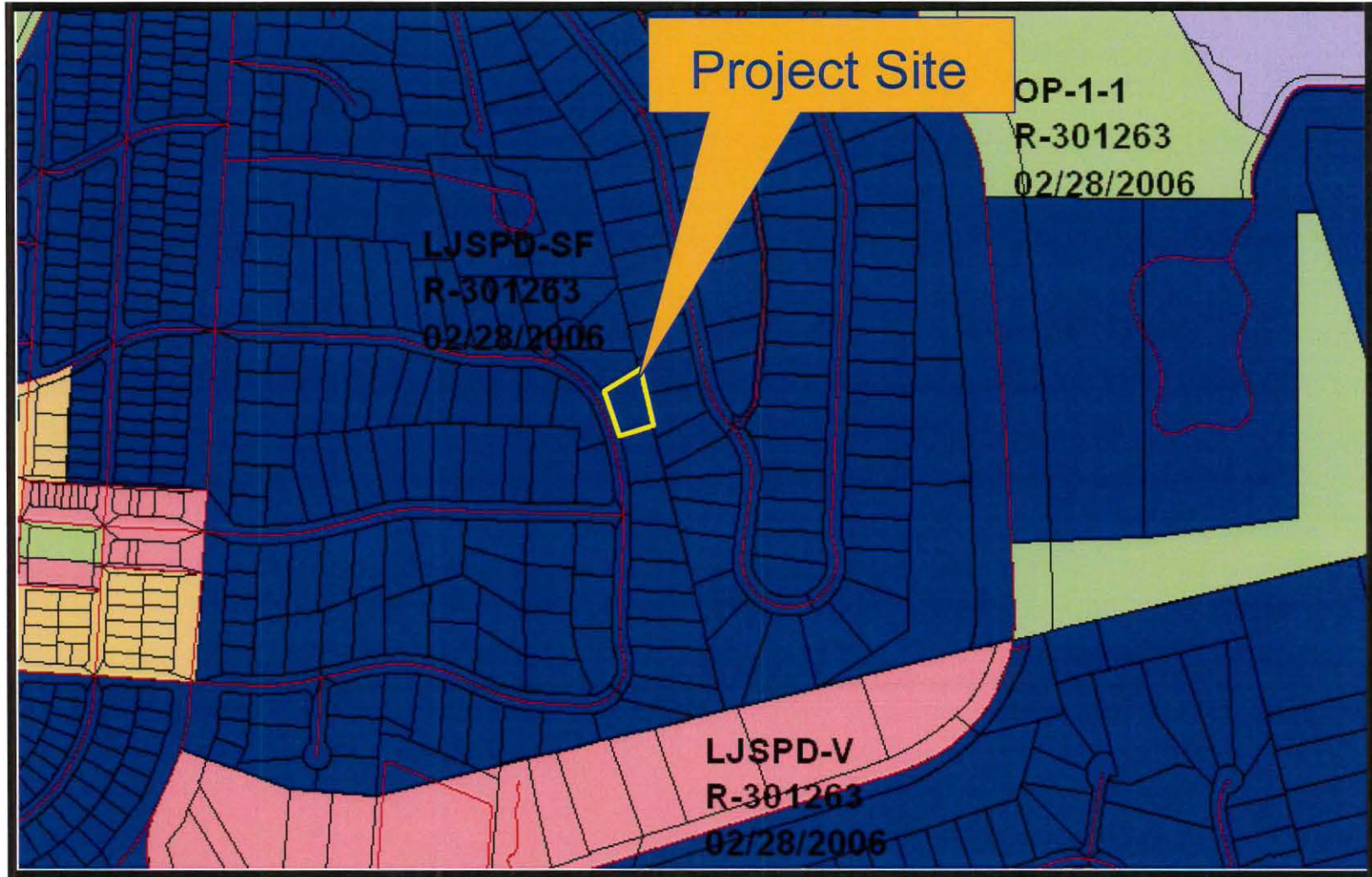
Laska Residence - Project No. 363511
 8151 Calle Del Cielo





Aerial Photograph
Laska Residence - Project No. 363511
8151 Calle Del Cielo

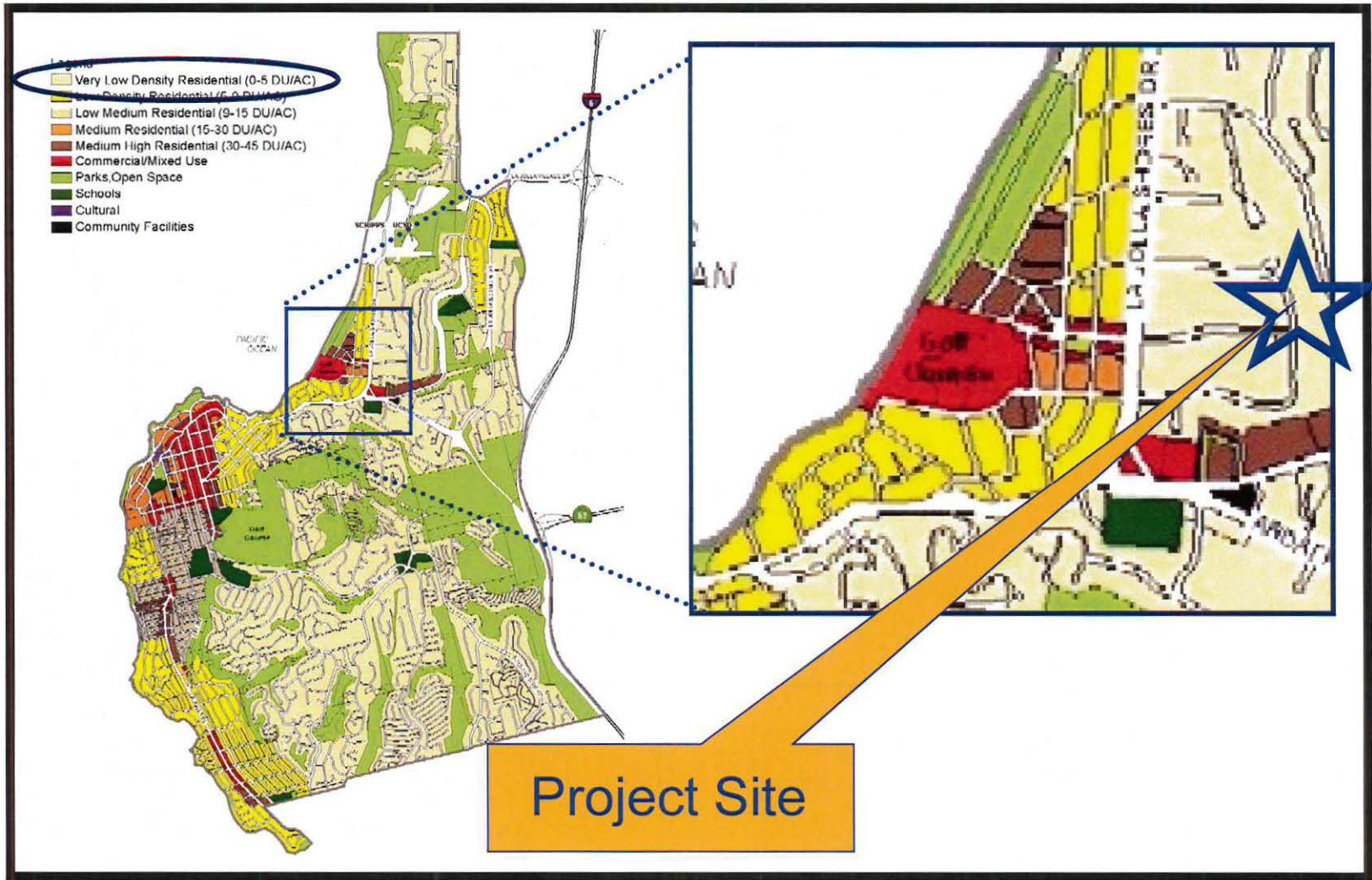




Zoning Map

Laska Residence - Project No. 363511
8151 Calle Del Cielo





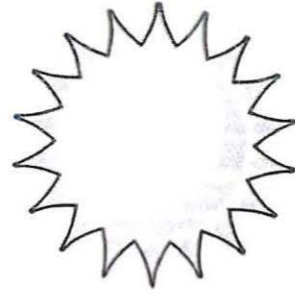
La Jolla Community Plan Land Use Map

Laska Residence - Project No. 363511
8151 Calle Del Cielo



PROJECT DATA SHEET

PROJECT NAME:	Laska Residence Addition- Project No. 363511	
PROJECT DESCRIPTION:	Remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the gross floor area (GFA)), and associated site improvements.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (0-5 dwelling units per acre)	
<u>ZONING INFORMATION:</u>		
ZONE: SF (Single Family) of LJSPD HEIGHT LIMIT: 30-foot maximum height limit LOT SIZE: Any size legal lot FLOOR AREA RATIO: NA LOT COVERAGE: 60 percent FRONT SETBACK: General Conformity to the Neighborhood SIDE SETBACK: General Conformity to the Neighborhood STREETSIDE SETBACK: NA REAR SETBACK: General Conformity to the Neighborhood PARKING: 2		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential; SF	Single Family Residence
SOUTH:	Very Low Density Residential; SF	Single Family Residence
EAST:	Very Low Density Residential; SF	Single Family Residence
WEST:	Very Low Density Residential; SF	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 7, 2014, the La Jolla Community Planning Association voted 12-1-2 to recommend approval of the project On August 19, 2014, the La Jolla Shores Advisory Board voted 5-0-1 to recommend approval of the project.	



LASKA RESIDENCE ADDITION

8151 Calle Del Cielo
La Jolla, CA 92037



ARTISTIC RENDERING - CONCEPT ONLY

COASTAL DEVELOPMENT PERMIT SET

Prepared By:
Brian Yamagata
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92104
office: (619) 231-9905
fax: (858) 750-3471

Project Address:
8151 CALLE DEL CIELO
LA JOLLA, CA 92037

Project Name:
LASKA RESIDENCE
ADDITION

Sheet Title:
COVER

Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1:

Original Date: 02-26-14
Sheet 1 of 14

GOLBA ARCHITECTURE inc
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

LASKA RESIDENCE
8151 CALLE DEL CIELO
LA JOLLA, CA 92037



T 1.0

SPECIAL INSPECTIONS:

GENERAL REQUIREMENTS:

1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION. THE LIST MUST BE PROJECT SPECIFIC AND MUST CONFORM TO THE REQUIREMENTS SPECIFIED IN BUILDING NEWSLETTER D9-811. SEE STRUCTURAL DRAWINGS FOR SUMMARY LIST.
2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION INSTRUCTIONS MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
3. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION.
4. AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE FIELD INSPECTION DIVISION FOR APPROVAL PRIOR TO FABRICATION.
5. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.

SYMBOLS

SHEET NUMBER
A1.5
 SHEET NUMBER
 CATEGORY NUMBER
 DISCIPLINE LETTER

NORTH ARROW

ELEVATION MARKS

BUILDING SECTION MARKS

MALL SECTION MARKS

DETAIL TARGETS

PLAN BLOW-UP DETAILS

DOOR SYMBOL

WINDOW SYMBOL

BATT INSULATION

PLAN NOTE TARGET

CENTER LINE

ELEVATION TARGETS

INTERIOR ELEVATION TARGETS

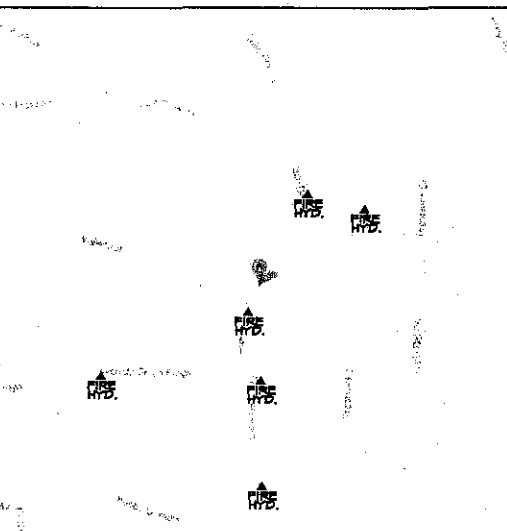
DETAIL DESIGNATION

ORIENTATION (SHOWN SHADED)

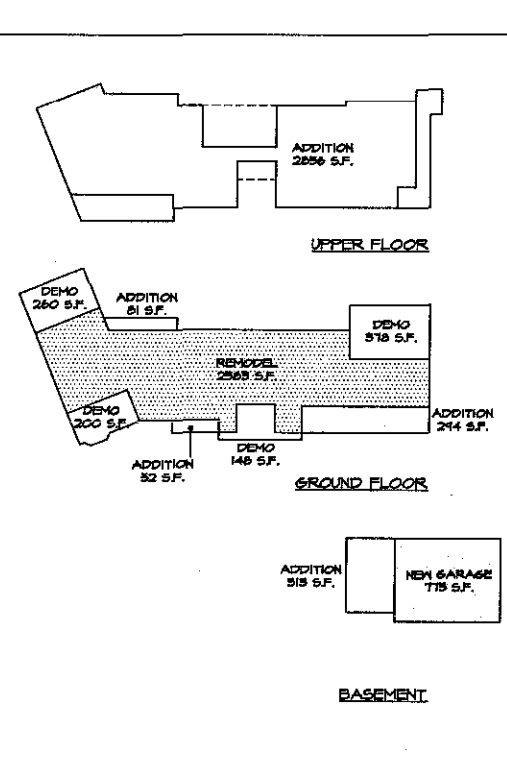
ABBREVIATIONS

ACOUS. ACOUSTICAL	ADJ. ADJUSTABLE	A.F.F. AT FINISHED FLOOR	AGG. AGGREGATE	ALUM. ALUMINUM	ALT. ALTERNATE	A.P. ACCESS PANEL	APPROX. APPROXIMATE	ARCH. ARCHITECTURAL	ASPH. ASPHALT	ASST. ASSISTANT	AUTO. AUTOMATIC	BD. BOARD	BLDG. BUILDING	BOT. BOTTOM	BUFR. BUILT UP ROOFING	CAB. CABINET	CIRC. CIRCULATION	C.L. CENTER LINE	CLR. CLEAR	CL. CEILING	CLD. CEILING	C.M.U. CONCRETE MASONRY UNIT	COL. COLUMN	CONC. CONCRETE	CONF. CONFERENCE	CONN. CONNECTION	CONSTR. CONSTRUCTION	CONT. CONTINUOUS	CONTR. CONTRACTOR	COORD. COORDINATE	CORR. CORRIDOR	CPT. CARPET	C.J. CONTROL JOINT	C.T. CERAMIC TILE	CTR. CENTER	C.M. GOLD MATEL	DEL. DOUBLE	DEMO. DEMOLITION	DEPT. DEPARTMENT	DIA. DIAMETER	DIAG. DIAGONAL	DIFF. DIFFUSER	DIM. DIMENSION	DIV. DIVISION	DN. DOWN	D.R. DRAIN ROOFING	DR. DOOR	DTL. DETAIL	E. EAST	EA. EACH	EL. ELEVATION	ELAS. ELASTOMERIC	EL. ELECTRICAL	ELEV. ELEVATOR	EMER. EMERGENCY	ENCL. ENCLOSURE	ENGR. ENGINEER	ENT. ENTRANCE	E.P. EXPANSION JOINT	E.P.N. ELECTRICAL PANEL	EQ. EQUAL	EQUIP. EQUIPMENT	EJ.C. ELECTRIC WATER COOLER	EXH. EXHAUST	EXST. EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.D. FLOOR DRAIN	FDN. FOUNDATION	FE. FIRE EXTINGUISHER	FF. FINISH FLOOR	F.H.C. FIRE HOSE CABINET	FIN. FINISH	FLOOR FLOOR	FLEX. FLEXIBLE	FLUOR. FLUORESCENT	FT. FOOT	FURN. FURNITURE	FURR. FURRING	FUT. FUTURE	GA. GAUSE	GALV. GALVANIZED	GEN. GENERAL	GL. GLASS	GRD. GRADE	GR. GRADE	GYP. BD. GYPSUM BOARD	H.C. HARD CORE	HARD. HARDWARE	H.M. HOLLOW METAL	HORZ. HORIZONTAL	HR. HOUR	HT. HEIGHT	HTS. HEATING, VENTILATION	H.M. HOT WATER	I. (INCHES)	INCAND. INCANDESCENT	INCL. INCLUDED	INSUL. INSULATED	INT. INTERIOR	INTERM. INTERMEDIATE	JAN. JANITOR	JT. JOINT	KIT. KITCHEN	LAM. LAMINATE	LAUN. LAUNDRY	LAV. LAVATORY	LB.(S) POUNDS	L.F. LINEAR FOOT	LT. LIGHT	MACH. MACHINE	MAINT. MAINTENANCE	MAS. MASONRY	MATL. MATERIAL	MAX. MAXIMUM	MECH. MECHANICAL	MER. MEMBRANE	MEZZ. MEZZANINE	MFR. MANUFACTURER	MIN. MINIMUM	MISC. MISCELLANEOUS	M.O. MASONRY OPENING	MOV. MOVABLE	HTD. HEATED	NETA. NET AREA	MUL. MULLION	N. NORTH	N.L.G. NOT IN CONTRACT NUMBER	NO. NOMINAL	NOH. NOMINAL	NT.S. NOT TO SCALE	GA. OVERALL ON CENTER	O.C. OUTSIDE DIAMETER	O.D. OVERFLOW DRAIN	OFF. OFFICE	OH. OVERHEAD	OPNS. OPENINGS	OPPS. OPPOSITE	PAV. PAVING	P.C. PRE-CAST	PL. PLATE	PL.AH. PLASTIC LAMINATE	PLAS. PLASTER	PLBS. PLUMBING	PLY. PLYWOOD	PNT. PAINT	PNL. PANEL	POL. POLISHED	PROP. PROPERTY	P.S.P. POUNDS PER SQUARE FOOT	P.S.I. POUNDS PER SQUARE INCH	PTD. PAINTED	PTN. PARTITION	PT. POINT	QTY. QUANTITY	R. RUBBER	RECEP. RECEPTION	REIN. REINFORCING	R.O.M. RIGHT OF WAY	RAD. RADIUS	R.B. RUBBER BASE	R.C.P. REFLECTED CEILING PLAN	R.D. ROOF DRAIN	REC. RECESSED	REF. REFERENCE	REFR. REFRIGERATOR	REIN. REINFORCED	REQD. REQUIRED	RES. RESULTANT	REV. REVISION	R.O.S. ROOM	R.O. ROUGH OPENING	S. SANITARY	SAN. SCHEDULE	SECT. SECTION	SECU. SECURITY	S.F. SQUARE FOOT	SHR. SHOWER	SHT. SHEET	SIM. SIMILAR	SL. SLOPE	S.P. STANDPIPE	SPEC. SPECIFICATION	SPKR. SPEAKER	SQL. SQUARE	S.S.T. STAINLESS STEEL	STA. STATION	STD. STANDARD	STR. STRUCTURE	STOR. STORAGE	STRUC. STRUCTURAL	SUSP. SUSPENDED	SYM. SYMMETRICAL	T. TREAD	T.O. TOP OF	T.4B. TOP AND BOTTOM	T.4S. TONGUE AND GROOVE	TEL. TELEPHONE	TEMP. TEMPERED	TER. TERRAZZO	THK. THICK	TILE. TILE	TOPO. TOPOGRAPHY	T.V. TELEVISION	TYP. TYPICAL	UNEXG. UNEXCAVATED	UNF. UNFINISHED	UNO. UNLESS OTHERWISE NOTED	UTL. UTILITY	VAC. VACUUM	V.C.T. VINYL COMPOSITION TILE	VENT. VENTILATION	VERT. VERTICAL	VEST. VESTIBULE	V.I.F. VERIFY IN FIELD	VOL. VOLUME	V.T. VINYL TILE	M. MESH	M.C. WATER CLOSET	M.F. FLOOR FLANGE	M.H. WATER HEATER	M.N. WINDOW	M.M. MIRE MESH	M.T.S. WATERPROOFING	MT. MATEL	M.U.P. WELDED WIRE MESH	YD. YARD
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VICINITY MAP/HYDRANT MAP
 NO SCALE



AREA DIAGRAM NO SCALE



TOTAL AREA OF DEMOLITION:	466 S.F.
TOTAL AREA OF REMODEL:	2568 S.F.
TOTAL AREA OF ADDITION:	3285 S.F.

PROJECT DATA

PROJECT DESCRIPTION: THE PROJECT PROPOSES AN ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE. SCOPE WILL INCLUDE A NEW 775 SF GARAGE & 818 SF 2ND FLOOR AT THE BASEMENT LEVEL, REMODEL OF THE EXISTING GROUND LEVEL WITH 421 SF OF ADDITION AND A NEW UPPER LEVEL. ADDITION OF 2856 SF. SITE TO BE HARDESCAPED WITH NEW PATIOS, RETAINING WALLS, PAVING & STEPS. LANDSCAPE TO INCLUDE NEW PLANTED AREAS AND TURF.

SITE ADDRESS: 8181 CALLE DEL DIEGO LA JOLLA, CA 92091

ASSESSORS PARCEL NUMBER: 946-822-02-00

LEGAL DESCRIPTION: LOT 26, LA JOLLA DEL NORTE UNIT 2, MAP NO. 8464

EXISTING DISCRETIONARY PERMITS: NONE

REQUIRED DISCRETIONARY PERMITS: COASTAL DEVELOPMENT PERMIT SITE DEVELOPMENT PERMIT

YEAR EXISTING STRUCTURE WAS BUILT: 1960

EXISTING SOL CONDITIONS: PREVIOUSLY GRADED & DISTURBED

LOT USE: EXISTING: SINGLE FAMILY RESIDENCE PROPOSED: SINGLE FAMILY RESIDENCE

LOT ZONING: LEPD-SF

COMMUNITY PLAN: LA JOLLA COMMUNITY PLAN AND LOCAL COASTAL PROGRAM LAND USE PLAN

OVERLAY ZONE DESIGNATION: COASTAL HEIGHT LIMIT COASTAL OVERLAY ZONE PARKING IMPACT OVERLAY ZONE

LOT SIZE: 20,101 S.F.

LOT COVERAGE: 60% MAX = 12,060 S.F. ALLOWED

OCCUPANCY: R-3

BUILDING CODES: 2015 CALIFORNIA RESIDENTIAL CODE, 2015 CALIFORNIA BUILDING CODE, 2015 CALIFORNIA ELECTRICAL CODE, 2015 CALIFORNIA PLUMBING CODE, 2015 CALIFORNIA MECHANICAL CODE, 2015 CALIFORNIA GREEN BUILDING CODE, 2015 CALIFORNIA FIRE CODE

CONSTRUCTION TYPE: TYPE VB 100 FIRE SPRINKLERS THROUGHOUT HOUSE AND GARAGE

NUMBER OF STORIES: EXISTING: 1 STORY OVER BASEMENT PROPOSED: 2 STORY OVER BASEMENT

BUILDING HEIGHT: EXISTING: 15'-4" PROPOSED: 24'-4"

GEOLOGICAL HAZARD CATEGORY: 26

AREA CALCULATIONS

LOT COVERAGE:	60%
AREA OF SITE:	20,101 S.F.
ALLOWABLE COVERAGE:	12,060 S.F.
PROPOSED LOT COVERAGE:	3,266 S.F. (12,060 S.F.)

TOTAL PROPOSED AREA:

EXISTING AREA TO BE REMODELED:	2,568 S.F.
AREA OF ADDITION:	421 S.F.
TOTAL LEVEL 1 HABITABLE:	9,010 S.F.

UPPER FLOOR HABITABLE:

AREA OF ADDITION:	2,856 S.F.
TOTAL LEVEL 1 HABITABLE:	2,856 S.F.

TOTAL PROPOSED: 3,266 S.F. (BASEMENT & GARAGE EXEMPT) < 12,060 S.F. ALLOWED

AREA OF PATIOS AND DECKS:

LEVEL 1 (COVERED ENTRY):	121 S.F.
LEVEL 1 (PATIOS):	1,088 S.F.
LEVEL 2 (DECKS):	487 S.F.
TOTAL:	1,620 S.F.

BASEMENT (EXEMPT):

AREA OF ADDITION:	518 S.F.
TOTAL:	518 S.F.

NEW 3-CAR GARAGE: 775 S.F.

SHEET INDEX

GENERAL

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T1.1	LEGEND AND PROJECT DATA

ARCHITECTURAL

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A0.0	SITE PLAN
A0.1	WATER POLLUTION CONTROL PLAN
A1.0	BASEMENT PLAN
A1.1	LEVEL 1 FLOOR PLAN
A1.2	LEVEL 2 FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS

LANDSCAPE

L-1	LANDSCAPE CONCEPT PLAN
L-2	LANDSCAPE DIAGRAM & NOTES

PROJECT DIRECTORY

OWNER: MARK & YARE LASKA GREAT ECOLOGY 1020 PROSPECT STREET, SUITE B10 LA JOLLA, CA 92091 (658)750-8201

ARCHITECT: GOLBA ARCHITECTURE INC. 1440 GARNET AVE. SUITE 100 SAN DIEGO, CA 92104 TEL: (619) 231-4405 CONTACT: BRIAN YAMAGATA

LANDSCAPE: TODD FRY LANDSCAPE ARCHITECTS 1420 PRINCESS ST. LA JOLLA, CA TEL: (658) 494-8008 CONTACT: JENNIFER PHELPS

GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED INFILL DEVELOPMENT PROJECT AT 8181 CALLE DEL DIEGO RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

IN EFFORT TO REACH THESE GOALS THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTO VOLTAGE SYSTEM FOR GENERATING POWER ON SITE.
- HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE.
- ENERGY STAR APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL WINDOWS
- USE OF LOW VOC PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS AND OTHER FINISHES WHERE FEASIBLE.
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING/VENTILATION WITH OPERABLE WINDOWS
- WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE
- USE OF PERMEABLE PAVING WHERE FEASIBLE.
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT.

Prepared By: Brian Yamagata Golba Architecture 1440 Garnet Ave., Suite 100 San Diego, CA 92104 office: (619) 231-4405 fax: (658) 750-3471

Project Address: 8181 CALLE DEL DIEGO LA JOLLA, CA 92091

Project Name: LASKA RESIDENCE ADDITION

Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: Revision 3: Revision 2: Revision 1:

Original Date: 02-26-14

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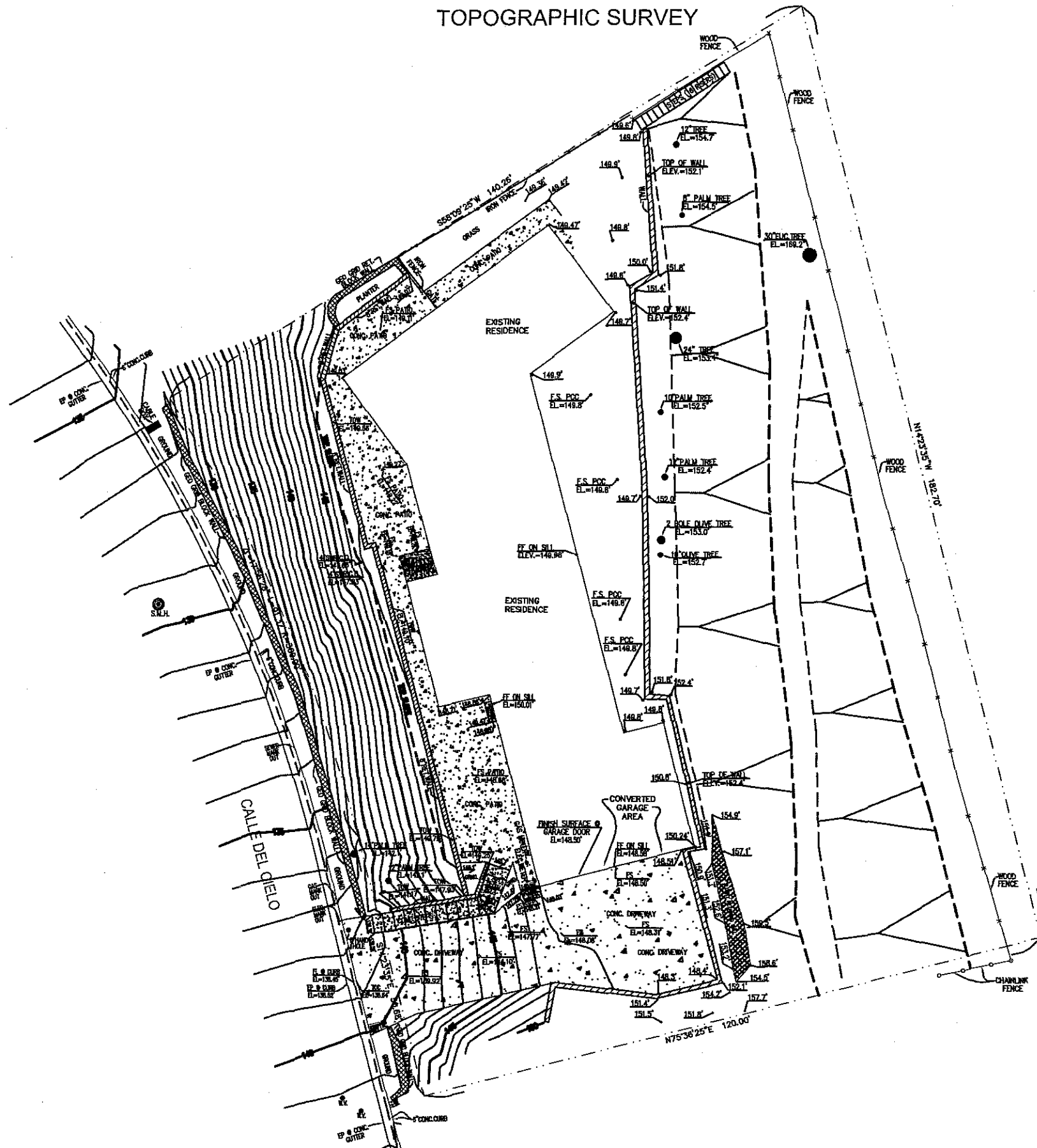
PROJECT DATA

GOLBA ARCHITECTURE Inc.
 Architecture ■ Space Planning ■ Interior Design
 1940 Garnet Ave. #100 San Diego California 92109
 Phone: (619) 231-9905 Fax: (658) 750-3471

LASKA RESIDENCE
 8151 CALLE DEL DIEGO
 LA JOLLA, CA 92091



TOPOGRAPHIC SURVEY

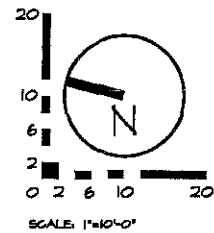


NOTES:

SITE: 8151 CALLE DEL DIELO, LA JOLLA, CA 92037
 APN: 346-322-02
 BENCHMARK: CITY OF SAN DIEGO VERTICAL CONTROL
 NAD83 AT CALLE DEL DIELO & AVENIDA DE LA PLAYA
 ELEV. = 143.421' MSL DATUM
 NOTES: BOUNDARY INFORMATION DEPICTED HEREON IS
 DERIVED FROM MAP NO. 3469 AND OR NO. 21927. THIS
 DOES NOT CONSTITUTE A PRECISE BOUNDARY SURVEY.
 PREPARED BY: G STURDY POLES, INC., PLS #8991,
 MARCH 2013.

LEGEND:

- TC = TOP OF CURB
- W.V. = WATER GATE VALVE
- P.P. = POWER POLE
- = BOUNDARY LINE
- = PROPERTY LINE
- = RIGHT OF WAY LINE
- S.M.H. = SEWER MAN HOLE
- FS = FINISH SURFACE
- FF = FINISH FLOOR
- FH = FIRE HYDRANT
- C/O = CLEAN OUT
- RET. = RETAINING
- 100.0' = SPOT ELEVATIONS
- EL = ELEVATION
- TOW = TOP OF WALL
- BOW = BOTTOM OF WALL
- FL = FLOW LINE
- WM = WATER METER
- [Pattern] = PATTERN FOR PAVEMENT (AC)
- [Pattern] = PATTERN FOR CONCRETE



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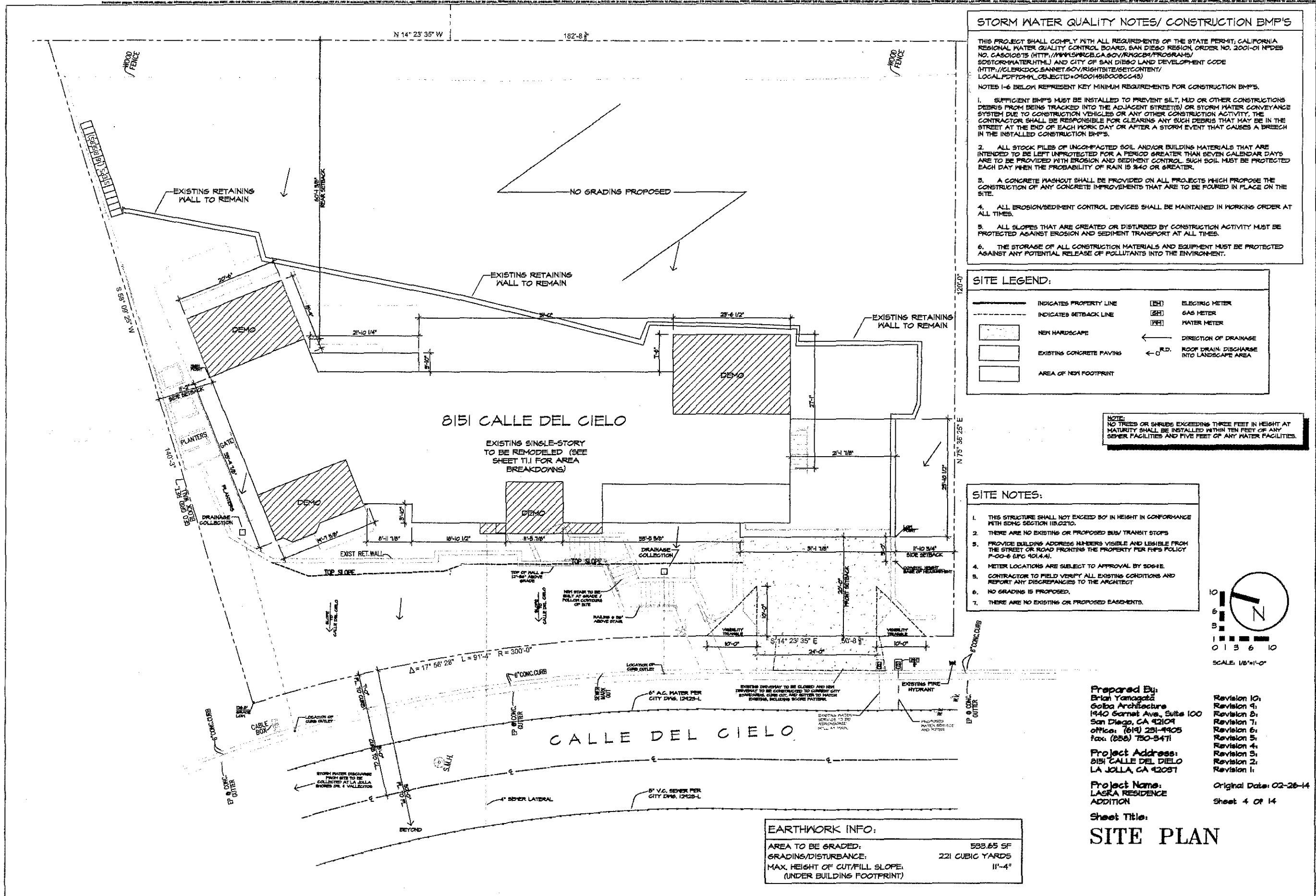
Project Address:
 8151 CALLE DEL DIELO
 LA JOLLA, CA 92037

Project Name:
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 ADDITION

Sheet Title:
**TOPOGRAPHIC
 SURVEY**

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STORM WATER QUALITY NOTES/ CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01 NPDES NO. CAS0102TS (HTTP://WWW.SDREG.CA.GOV/RP/RCBP/PROGRAMS/SDSTORMWATER/HTML) AND CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://CLERKSDOC.BANNET.GOV/RIGHTS/SETCONTENT/LOCAL.PDF?MY_OBJECTID=090049B000B0049)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

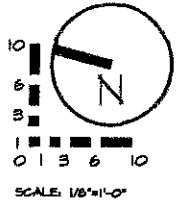
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTIONS DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEM DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROL. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 3:40 OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURD IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SITE LEGEND:

—————	INDICATES PROPERTY LINE	[EH]	ELECTRIC METER
- - - - -	INDICATES SETBACK LINE	[GH]	GAS METER
[Hatched Box]	NEW HARDSCAPE	[MH]	WATER METER
[Solid Box]	EXISTING CONCRETE PAVING	←	DIRECTION OF DRAINAGE
[Dotted Box]	AREA OF NEW FOOTPRINT	← O.R.D.	ROOF DRAIN DISCHARGE INTO LANDSCAPE AREA

NOTE:
NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.

- SITE NOTES:**
- THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMG SECTION 118.0210.
 - THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS
 - PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LESIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE'S POLICY P-00-6 (IFC 401.4.4).
 - METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - NO GRADINGS IS PROPOSED.
 - THERE ARE NO EXISTING OR PROPOSED EASEMENTS.



EARTHWORK INFO:

AREA TO BE GRADED:	533.65 SF
GRADINGS/DISTURBANCE:	221 CUBIC YARDS
MAX. HEIGHT OF CUT/FILL SLOPE: (UNDER BUILDING FOOTPRINT)	11'-4"

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LA JOLLA, CA 92057

Project Name:
LASKA RESIDENCE
ADDITION

Sheet Title:

SITE PLAN

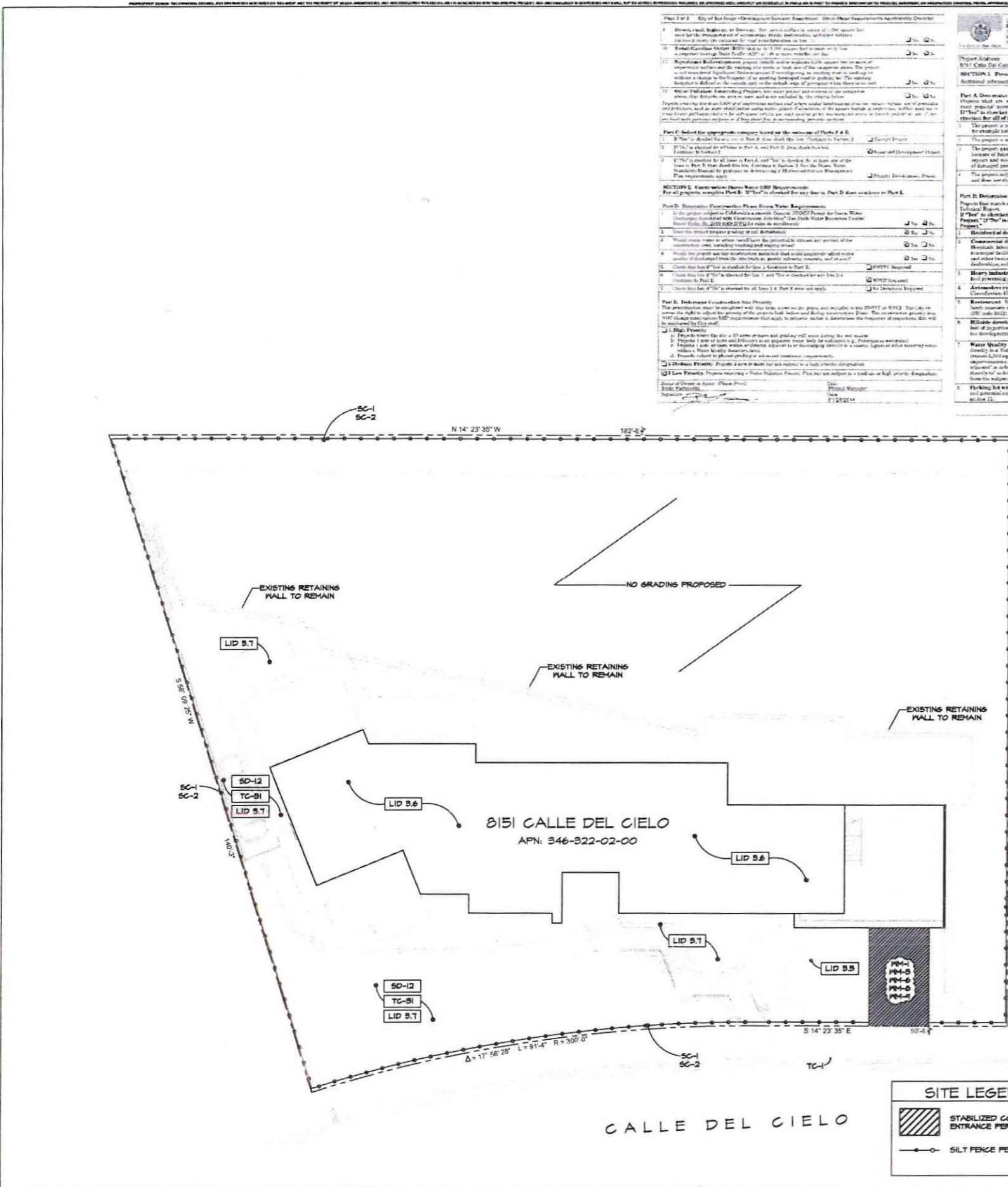
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| Revision 1: | |

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BMP LEGEND

PERMANENT BMPs:

- SD-12 IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS.
- TC-91 TREATMENT CONTROL - VEGETATED BUFFER STRIP.

LOW IMPACT DEVELOPMENT BMPs:

- LID 5.5 L.I.D. DRIVEWAY DESIGN
- LID 5.6 L.I.D. BUILDING DESIGN
- LID 5.7 L.I.D. LANDSCAPING DESIGN

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WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL BMP'S

SC-1	SILT FENCE
TC-1	STABILIZED CONSTRUCTION ENTRANCE/EXIT
MM-1	MATERIAL DELIVERY AND STORAGE
MM-2	SOLID WASTE MANAGEMENT
MM-3	HAZARDOUS WASTE MANAGEMENT
MM-4	CONCRETE WASTE MANAGEMENT
MM-5	SANITARY/SEPTIC WASTE MANAGEMENT

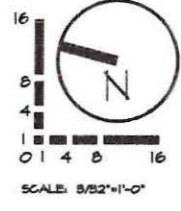
NOTE:
THIS WATER POLLUTION CONTROL PLAN SHOULD BE MODIFIED IF RECOMMENDATIONS ARE INADEQUATE TO PROVIDE FOR THE CONTROL OF DISCHARGE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THESE MEASURES ARE FOLLOWED AND ARE PROVIDING PROPER CONTROL OF DISCHARGE AND SEDIMENT. AMENDMENTS SHOULD BE MADE TO THIS PLAN IF THE SITE IS GENERATING ANY STORM WATER POLLUTION.

LID & SITE DESIGN NOTES:

SITE DESIGN AND SOURCE CONTROL BMP'S HAVE BEEN SHOWN ON THIS SITE PLAN. ADDITIONAL BMP'S ARE AS FOLLOWS:

SITE DESIGN BMP'S ARE DESIGNED TO MAINTAIN PRE-DEVELOPED RUNOFF CHARACTERISTICS. THE FOLLOWING CONCEPTS WERE APPLIED TO THIS PROJECT IN THE FOLLOWING MANNER:

- MINIMIZE IMPERVIOUS FOOTPRINT BY DESIGNING NEW STRUCTURES IN MULTIPLE STORIES. LANDSCAPE AREAS HAVE BEEN ADDED TO MAXIMIZE INFILTRATION.
- MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREA BY ALLOWING THE ROOF RUNOFF TO FLOW OVER PERVIOUS SURFACES. ROOF DRAINS WILL DRAIN TO LANDSCAPED AREAS.



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WATER POLLUTION CONTROL PLAN

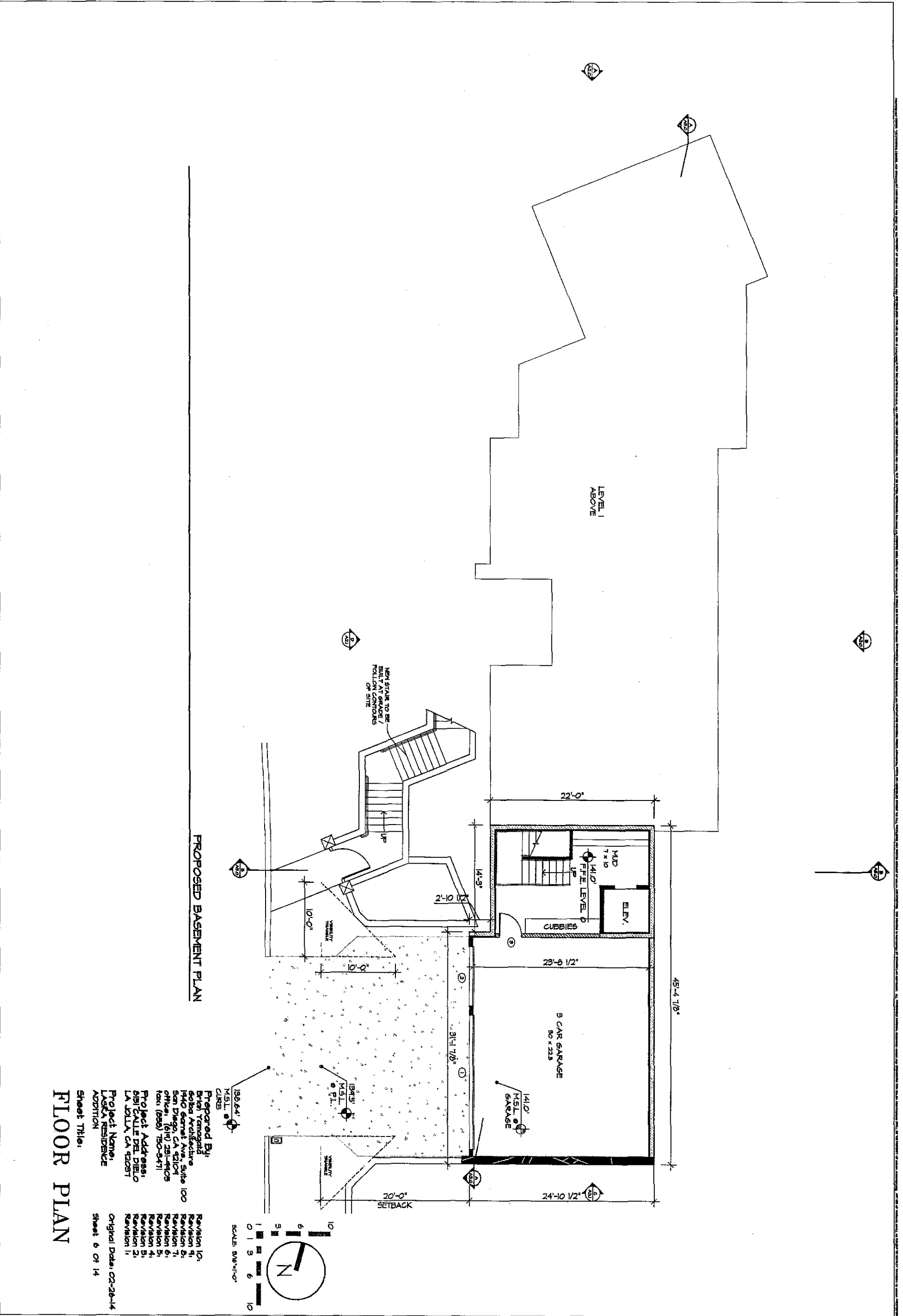
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PROPOSED BASEMENT PLAN

FLOOR PLAN

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FLOOR PLAN

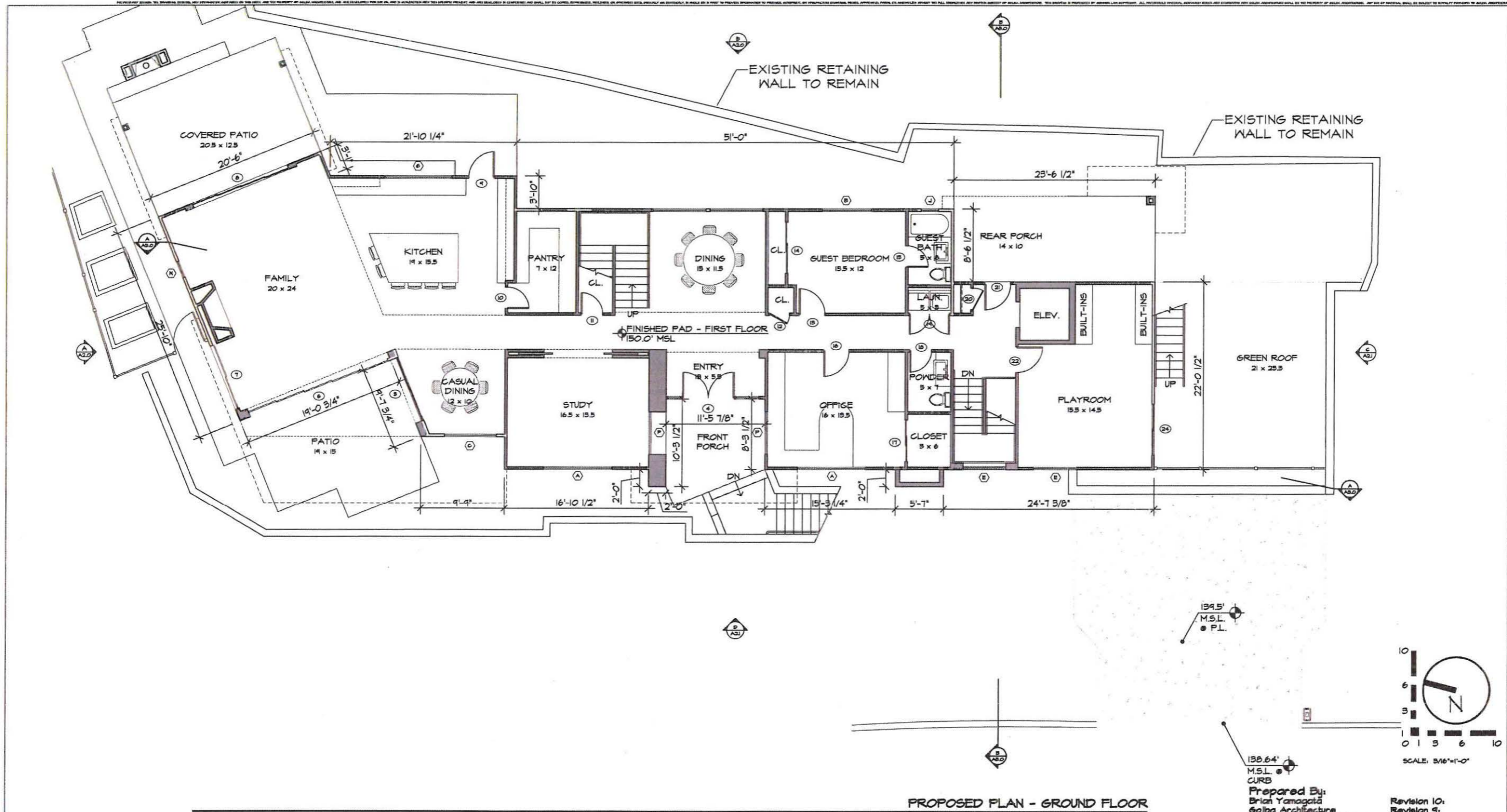
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 Revision 3,
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Original Date: 02-26-14
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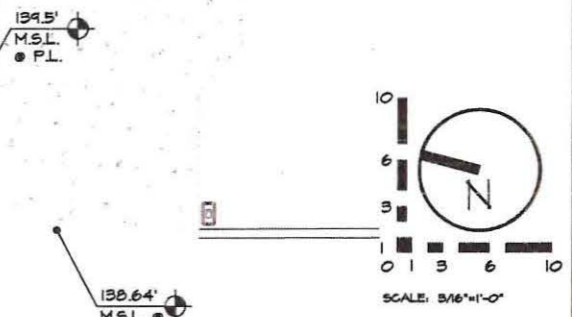
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PROPOSED PLAN - GROUND FLOOR



139.5'
M.S.L.
P.L.

138.64'
M.S.L.
CURB

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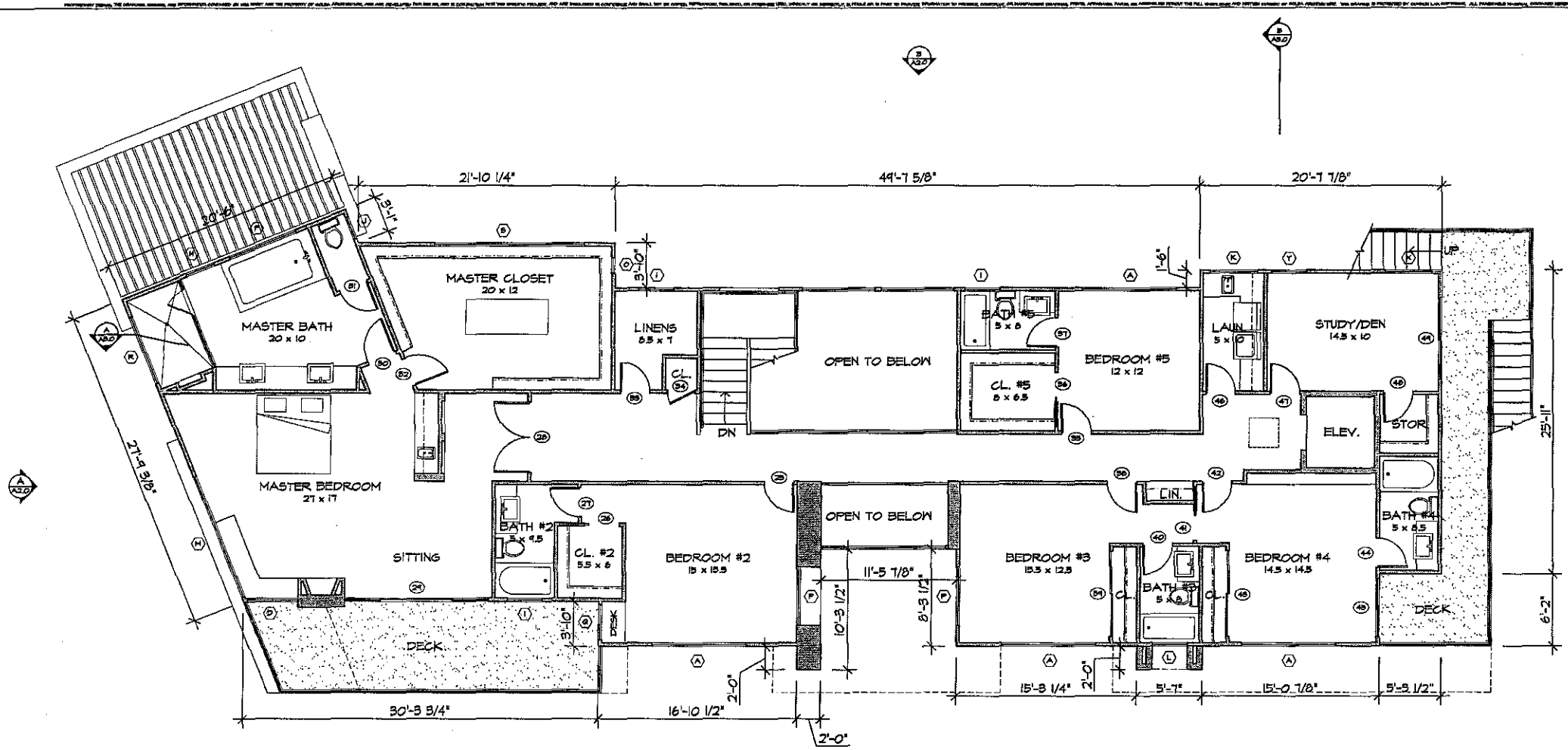
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FLOOR PLAN

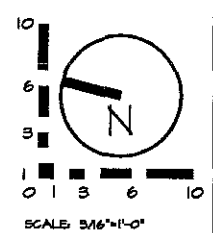
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PROPOSED PLAN - UPPER FLOOR



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FLOOR PLAN

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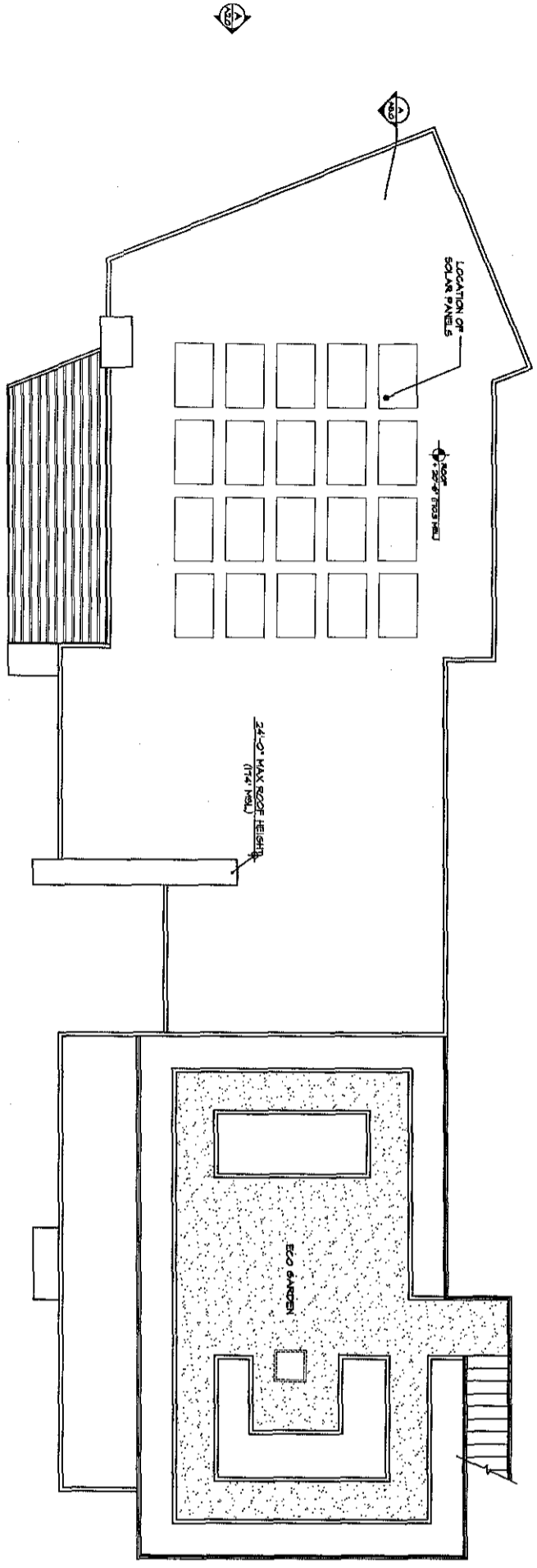
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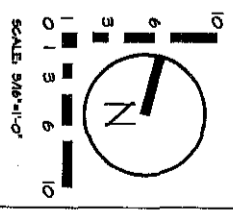
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golba
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PROPOSED PLAN - ROOF



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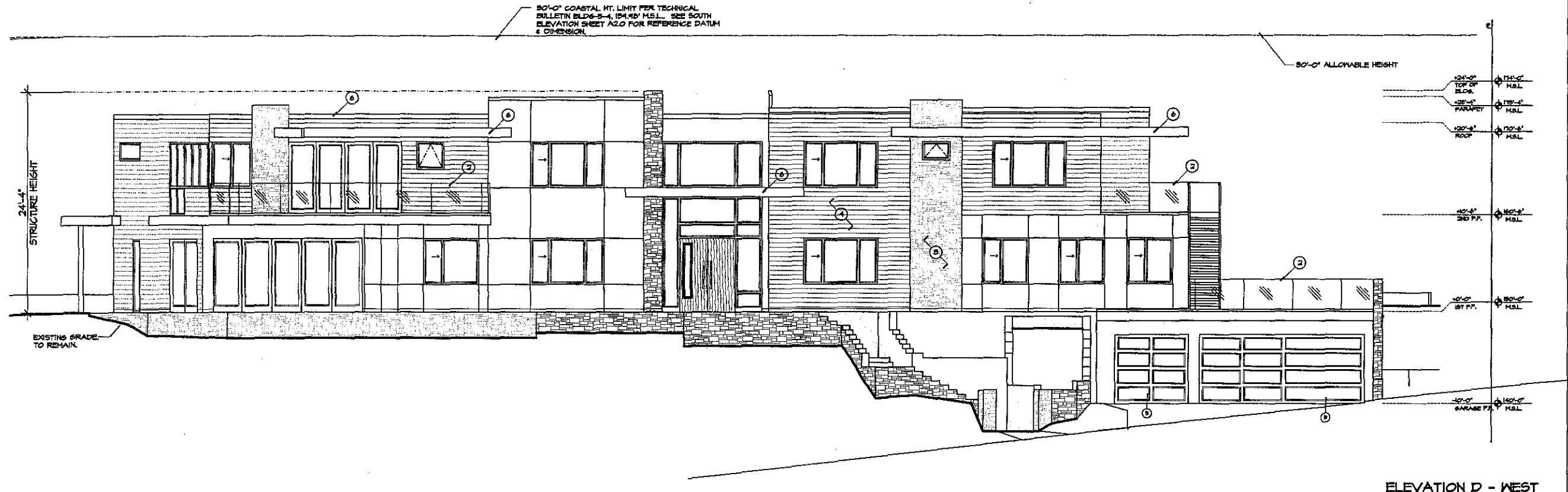
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ROOF PLAN

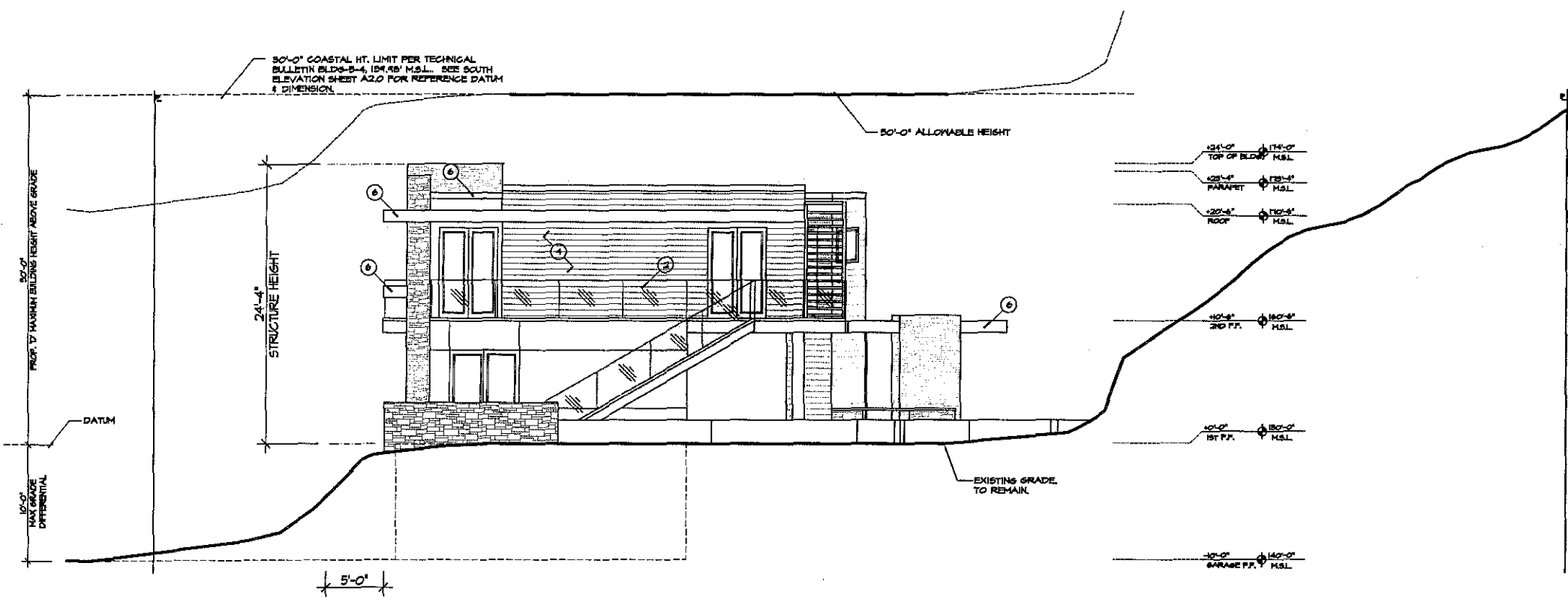
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ELEVATION D - WEST
SCALE: 5/16"=1'-0"



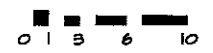
ELEVATION C - SOUTH
SCALE: 5/16"=1'-0"

ELEVATION NOTES:

- ① 1/8" EXT. CEMENT STUCCO "MIDBERY" ACRYLIC FINISH COATING, COLOR PER OWNER/ARCHITECT APPROVAL, (TYP)
- ② NEW CAST IRON FRAMED & TEMPERED GLASS DECK RAILING (TYP)
- ③ STONE VENEER PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP)
- ④ SIDING PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP)
- ⑤ ROLL-UP GARAGE DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP)
- ⑥ COPPER FLASHING/COPING @ ROOF EDGE (TYP)

COLOR PALETTE:

- SIDING: OLIVE
- STUCCO: WHITE
- STONE VENEER: SANDSTONE
- FLASHING/COPING: COPPER



SCALE: 5/16"=1'-0"

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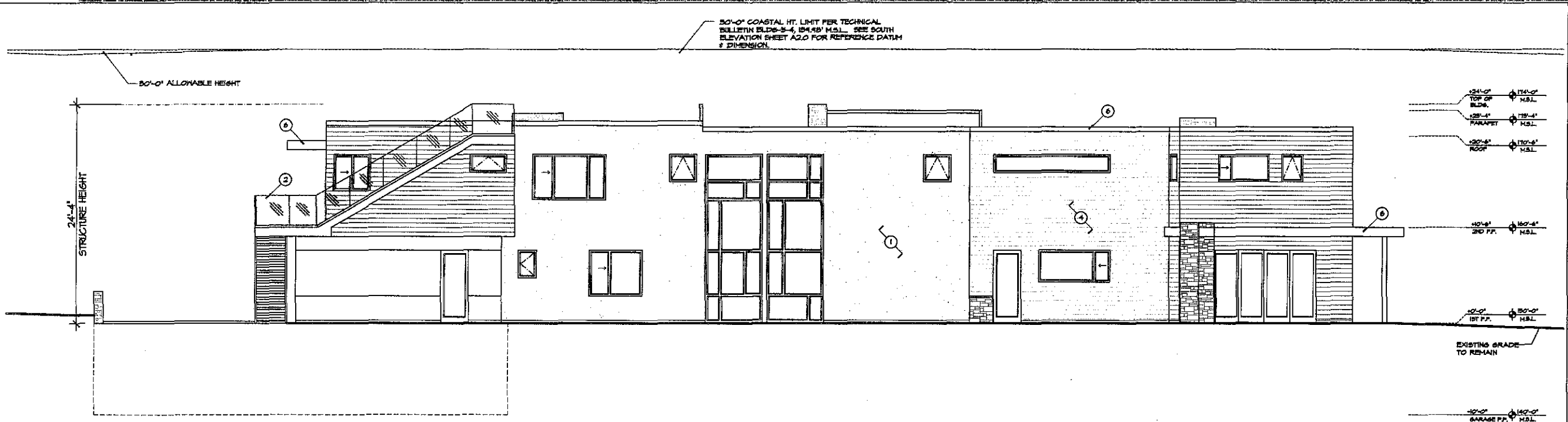
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ELEVATIONS

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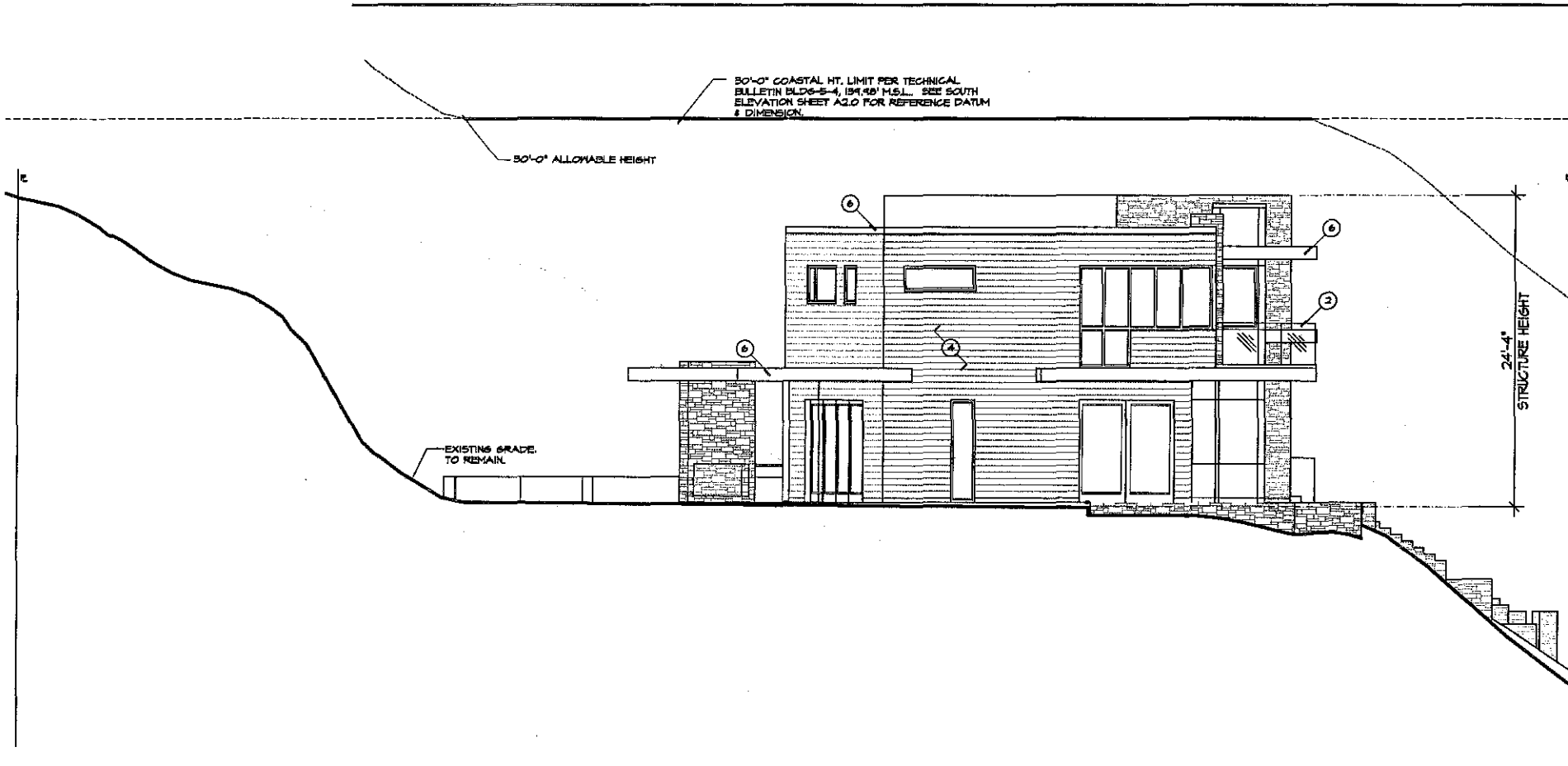


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ARCHITECTURE
A2.0



ELEVATION B - EAST

SCALE: 3/16"=1'-0"



ELEVATION A - NORTH

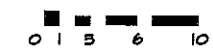
SCALE: 3/16"=1'-0"

ELEVATION NOTES:

- ① 7/8" EXT. CEMENT STUCCO W/ "ENERGY" ACRYLIC FINISH COATINGS. COLOR PER OWNER/ ARCHITECT APPROVAL. (TYP.)
- ② NEW CAST IRON FRAMED & TEMPERED GLASS DECK RAILING (TYP.)
- ③ STONE VENEER PER OWNER APPROVAL INSTALLED PER MANUF. SPECS. (TYP.)
- ④ SIDING PER OWNER APPROVAL INSTALLED PER MANUF. SPECS. (TYP.)
- ⑤ ROLL-UP GARAGE DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS. (TYP.)
- ⑥ COPPER FLASHING/COPING @ ROOF EDGE (TYP.)

COLOR PALETTE:

SIDING: OLIVE
 STUCCO: WHITE
 STONE VENEER: SANDSTONE
 FLASHING/COPING: COPPER



SCALE: 3/16"=1'-0"

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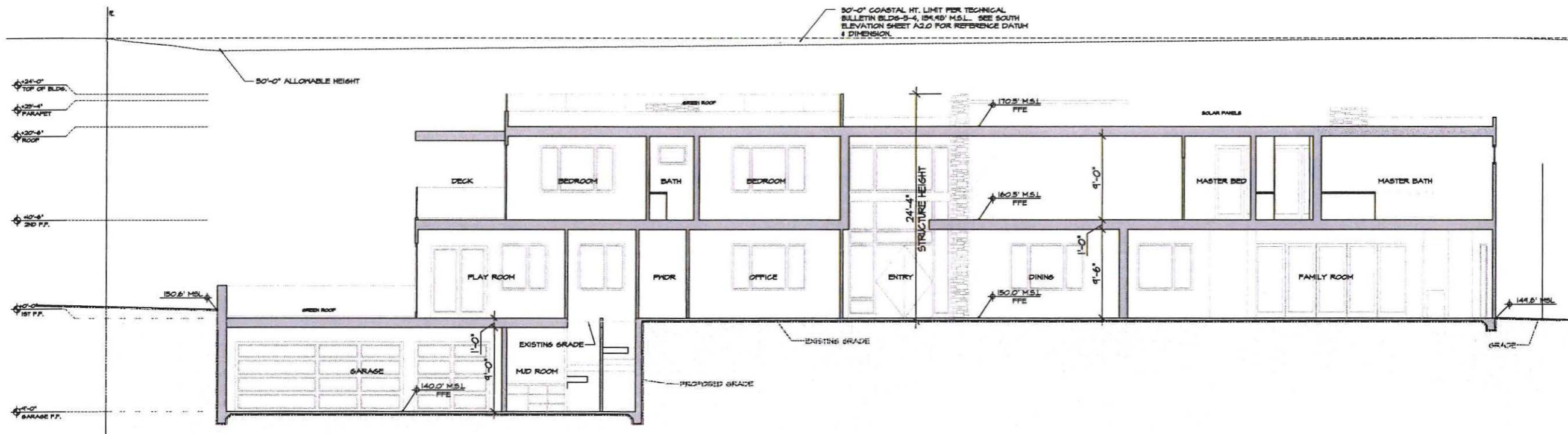
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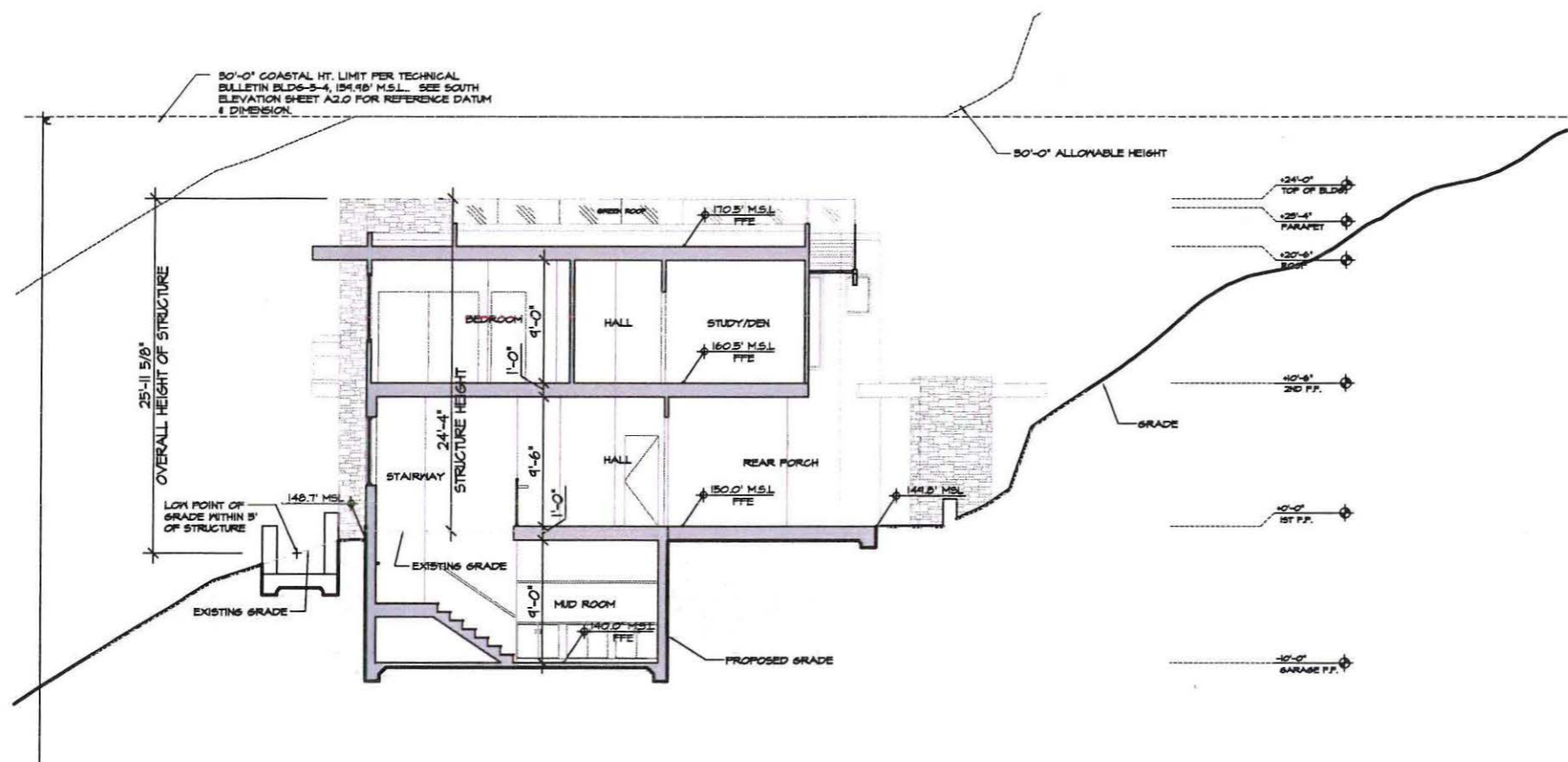
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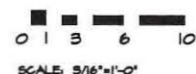
Golba
 ARCHITECTURE
 A2.1



BUILDING SECTION - A
SCALE: 3/16"=1'-0"



BUILDING SECTION - A
SCALE: 3/16"=1'-0"



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- Revision 2:
- Revision 1:

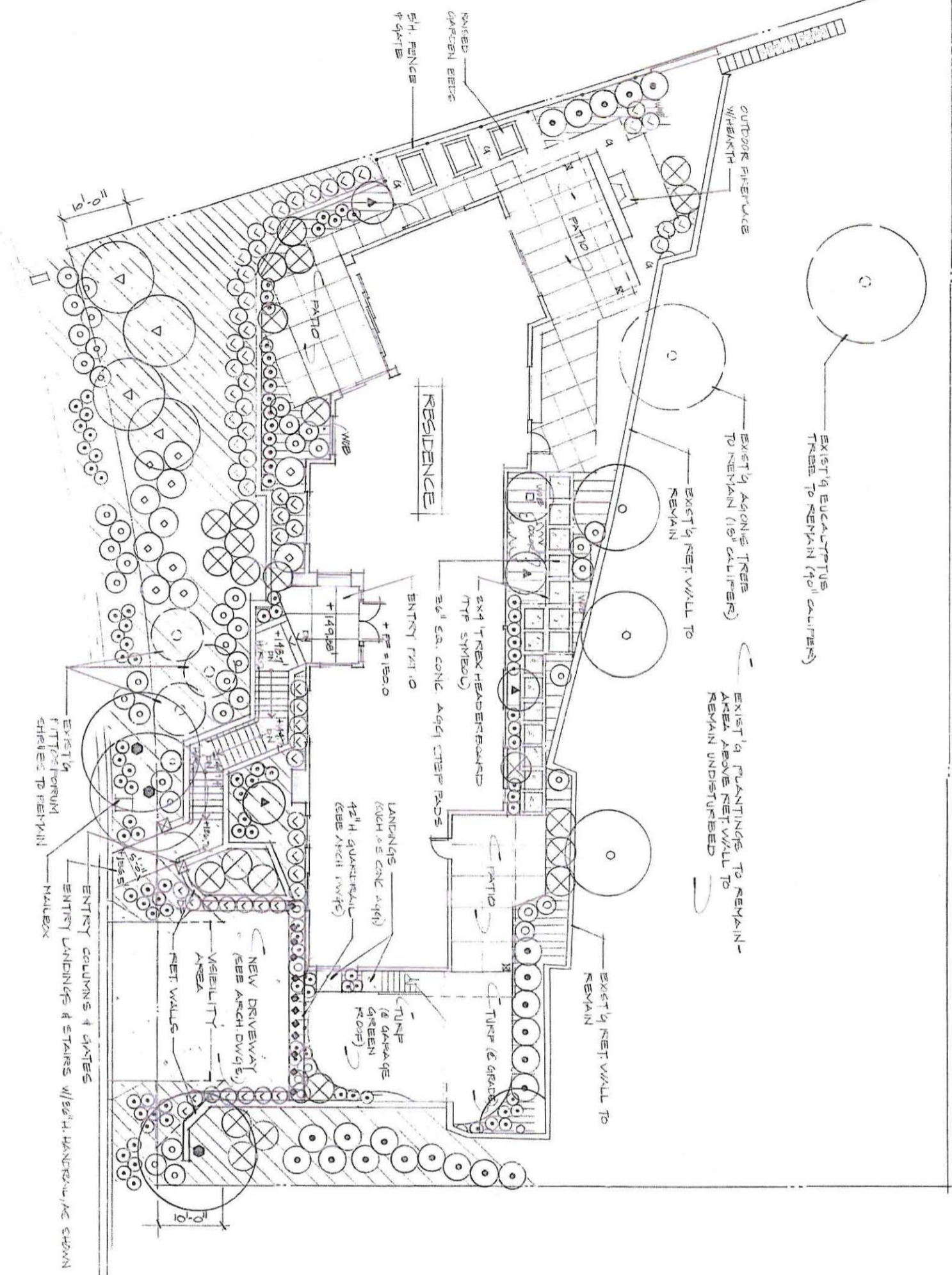
Original Date: 02-26-14
Sheet 12 of 14

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego, California 92109
Phone: (619) 231-9905 Fax: (658) 750-3471

LASKA RESIDENCE
8151 CALLE DEL DIELO
LA JOLLA, CA 92037



A 3.0



LANDSCAPE CONCEPT PLAN

SCALE 1/8" = 1'-0"

PREPARED BY
 TODD FRY LANDSCAPE ARCHITECT
 7920 PRINCESS STREET
 LA JOLLA, CA 92037
 858 459-8005

LASKA RESIDENCE
 PROJECT ADDRESS
 8151 CALLE DEL CIELO
 LA JOLLA, CA 92037

SHEET 1 of 3

SHEET TITLE
 LANDSCAPE CONCEPT
 PLAN

DRAWING SCALE
 1/8" = 1'-0"

ORIGINAL DATE 3/26/14

REVISION 1 03/14
 REVISION 2 6/1/14
 REVISION 3
 REVISION 4
 REVISION 5
 REVISION 6
 REVISION 7
 REVISION 8

CONCEPT DEVELOPMENT PERMIT
 PROJECT NO.

LASKA RESIDENCE
 8151 CALLE DEL CIELO
 LA JOLLA, CA 92037

Date	Revision

TODD FRY LANDSCAPE ARCHITECT A.S.L.A.
 Calif. Lic. # 1370 (858) 459-8005
 Hawaii Lic. #8878 FAX (858) 459-4279
 7920 Princess St. La Jolla, CA 92037

Written permission on these drawings shall have precedence over scaled dimensions: contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. These details must be submitted to this office for approval before proceeding with fabrication.

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and property of Todd Fry Landscape Architect A.S.L.A. and were created, evolved and developed for use on, and in connection with, the specified project. None of such work, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Todd Fry Landscape Architect A.S.L.A.

PLANTING & IRRIGATION NOTES

- All required landscape shall be maintained in a disease, weed, and litter free condition at all times.
- The permittee or subsequent owner are responsible for maintenance of all landscape areas consistent with the City of San Diego Land Development Manual Landscape Standards.
- The permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements within the right of way consistent with the City of San Diego Land Development Manual Landscape Standards.
- If any required landscaping (including existing or new planting, hardscape, landscape features, etc.) indicated on the approved construction documents plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City manager within 30 days of damage or Final Inspection.
- Severe pruning or "topping" of trees is not permitted unless specifically noted in this permit.
- 24" deep "deep root control barrier-planter" shall be installed at all trees located within 5 feet of public improvements, including walks, curbs, or street pavement or where new public improvements are placed adjacent to existing trees. Root barriers will not be wrapped around root ball.
- All canopy trees shall be provided with 40 sq ft root zone and planted in an air and water permeable landscape area. The minimum dimension (width) of the area shall be 5 feet. Maintenance: All required landscape areas shall be maintained by property owner.
- Landscape and irrigation areas in the public ROW shall be maintained by property owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- Irrigation systems are to be installed in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards.
- All Landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations, The City of San Diego Land Development Manual Landscape Standards and other Landscape related City and Regional Standards.
- All landscape and irrigation materials, installation and maintenance shall conform to the standards of the La Jolla Shores Planned Ordinance, the Landscape Standards and all other landscape-related city and regional standards.
- All of the landscape to meet the 30% area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance prior to final inspection.

DESIGN STATEMENT

- Use of drought tolerant, adaptive plants wherever possible.
- Views to the ocean maximized.
- Ample planting areas provided at front and rear, in keeping with the neighborhood.
- Large existing trees to remain, such as the Eucalyptus & Agave flexuosa in the rear, while transplanting and reusing the Queen Palms in the front at appropriate locations.

LANDSCAPE AREA CALCULATIONS

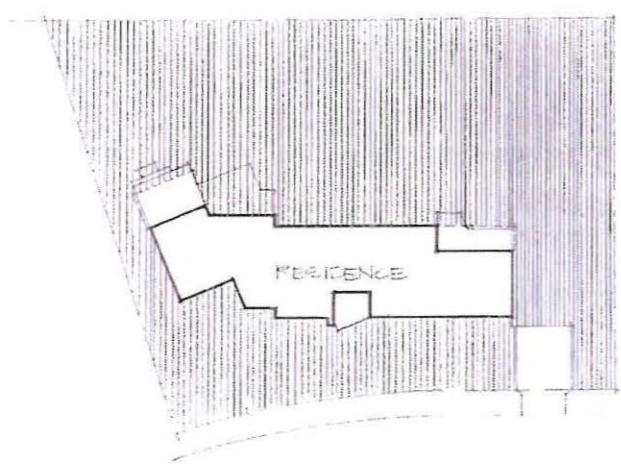
Total Parcel Area:	20,101 s.f.
Landscape Area Requirements:	30% Total Parcel Area = 20,101 s.f. x 30% = 6030 s.f.
Total Proposed Landscape Area:	15,693 s.f.
Proposed Landscape Area Ratio:	15,693 / 20,101 = 78% provided
Excess Landscape Area:	15,693 s.f. (proposed) - 6030 s.f. (required) = 9663 s.f.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT:	MINIMUM DISTANCE TO STREET TREE:
Traffic Signal, Stop Sign	20 feet
Underground Utility Lines	5 feet
Sewer Laterals	10 feet
Above Ground Utility Structures (Transformers, hydrants, utility poles, etc.)	10 feet
Driveways	10 feet
Intersections	25 feet

STREET TREES

	Required:	Provided:
Street Trees in Public Right-of-Way		
Length of Street Frontage	2	142 feet
Street Trees	1 (1 per every 30 feet)	7



LANDSCAPE AREA DIAGRAM

LEGEND: LANDSCAPE AREA

PLANT LEGEND

SYMBOL	%	SIZE	QUAN.	BOTANICAL NAME/COMMON NAME	FORM/FUNCTION	SIZE AT MATURITY
	100%	existing	3	SUCH AS: ARECASTRUM ROMANOFFIANUM	STREET TREE QUEEN PALM (TRANSPLANT OWNERS')	25' ETH
	100%	30" dia	4	MELALEUCA NESOPHYLLA	MELALEUCA	25' h x 25' w
	100%	24" box	4	SUCH AS: CHAMAEROPS HUMILIS METROSIDEROS EXCELSUS ARBUTUS SPP. SPATHODEA CAMPANULATA	SMALL TREE MEDITERRAN FAN PALM N.Z. CHRISTMAS TREE STRAWBERRY TREE AFRICAN TULIP TREE	15' h x 15' w
	100%	24" box	1	SUCH AS: CELEBRIA PARVIFLORA TIBOUCHINA URVILLEANA	SMALL PATIO TREE AUSTRALIAN WILLOW PRINCESS FLOWER	15' h x 15' w
	100%	24" box	4	SUCH AS: DRACAENA MARGINATA DRACAENA AUSTRALIS 'RED STAR' ALOE MEDUSA	SMALL ACCENT TREE VARIEGATED DRACAENA RED DRACAENA NCN	15' h x 10' w
	100%	15 gal	22	SUCH AS: PITTOSPORUM CRASSIFOLIUM LIGULSTRUM JAPONICUM 'TEXANUM'	SCREENING SHRUB KARO TEXAS PRIVET	6' h x 3' w
	100%	5 gal	69	SUCH AS: CRASSULA ARGENTEA PORTULACARIA AFRA RHAPHIOLEPIS UMBELLATA 'MINOR' CALLISTEMON 'LITTLE JOHN' CARISSA GRANDIFLORA	MEDIUM MASSING SHRUB JADE PLANT ELEPHANT'S FOOD DWARF INDIAN HAWTHORN DWARF BOTTLEBRUSH	3' h x 3' w
	100%	5 gal	110	SUCH AS: CRASSULA ARGENTEA CARISSA PROSTRATA COPROSMA VARIEGATA CRASSULA VARIEGATA ALOE STRIATA	LOW SHRUB JADE PLANT PROSTRATE NATAL PLUM VARIEGATED MIRROR PLANT VARIEGATED JADE PLANT CORAL ALOE	24" h x 24" w
	100%	15 gal	29	SUCH AS: PHORUM TENAX SPP. STRELTZIA REGINAE CYCAS REVOLUTA AGAVE ATTENUATA AGAVE AMERICANA AGAVE 'BLUE FLAME' ALOE PLICATILIS ALOE ARBORESCENS EUPHORBIA TIRUCALI 'STICKS ON FIRE' FURCRAEA SPP.	MEDIUM ACCENT SHRUB FLAX BIRD OF PARADISE SAGO PALM NCN NCN NCN NCN TREE ALOE STICKS ON FIRE NCN	4' h x 4' w
	100%	5 gal	11	SUCH AS: ALOE ARBORESCENS FURCRAEA SPP. PORTULACARIA AFRA	ACCENT SHRUB TREE ALOE NCN ELEPHANT'S FOOD	2' h x 3' w
	100%	15 gal	48	SUCH AS: ALOE ARBORESCENS AGAVE ATTENUATA AGAVE 'BLUE FLAME' HESPERALOE PARVIFLORA DIETES VARIEGATA	SMALL ACCENT SHRUB TREE ALOE NCN NCN RED YUCCA VARIEGATED FORTNIGHT LILY	30' h x 30' w
	100%	1 gal		SUCH AS: ROSMARINUS 'HUNTINGTON BLUE' TRACHELOSPERMUM JASMINOIDES	GROUND COVER PROSTRATE ROSEMARY STAR JASMINE	12' h x 30' w
	1 gal	as req'd		KALANCHOE BLOSSFELDIANA	NCN	
	100%	as req'd		WALK-ON-BARK		
	100%	as req'd		PEA GRAVEL 1/2" - 3/4" INSTALL ON WEED CONTROL FABRIC MIN. DEPTH 2"		
	100%	2" X 4"	as req'd	"TREE" HEADER (TYP. SYMBOL) SPLIT TO 1" X 4" FOR RADIUS		
	as req'd	as req'd		MARATHON 1E	OR EQUAL	
				TREES: EUCALYPTUS AGAVE FLEXUOSA ARECASTRUM ROMANOFFIANUM	TRUNK CALIPER SUM PEPPERBENT TREE QUEEN PALM (TRANSPLANT OWNERS) EXIST 10" DIAMETER 19' ETH	
				SHRUBS: PITTOSPORUM CRASSIFOLIUM	KARO	
				GROUND COVER HEDERA 'NEEDLEPOINT' (TO REMAIN)	NEEDLEPOINT IVY	

PREPARED BY
TODD FRY LANDSCAPE ARCHITECT
7920 PRINCESS STREET
LA JOLLA, CA 92037
858 439 6005

PROJECT NAME
LASKA RESIDENCE

PROJECT ADDRESS
2151 CALLE DEL CIELO
LA JOLLA, CA 92037

SHEET L-2 of L-2

LANDSCAPE DIAGRAMS & NOTES

DRAWING SCALE
1/8" = 1'-0"

ORIGINAL DATE 2/20/14

REVISION 1 6/11/18

REVISION 2 8/14/18

REVISION 3

REVISION 4

REVISION 5

REVISION 6

REVISION 7

REVISION 8

REVISION 9

COSIAL DEVELOPMENT PERMIT PROJECTING

LASKA RESIDENCE
8151 CALLE DEL CIELO
LA JOLLA, CA 92037

With permission on their drawings, the author warrants that the drawings are true and correct in all dimensions, quantities, and materials, and that the author is not responsible for any errors or omissions on the drawings. The author shall be held responsible for any errors or omissions on the drawings. The author shall be held responsible for any errors or omissions on the drawings. The author shall be held responsible for any errors or omissions on the drawings.

All other drawings, specifications, and notes shall be read in conjunction with these drawings. The drawings shall be read in conjunction with these drawings. The drawings shall be read in conjunction with these drawings. The drawings shall be read in conjunction with these drawings.

Sheet No. L-2

TODD FRY LANDSCAPE ARCHITECT A.S.L.A.
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7920 Princess St.

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO
 PROJECT MANAGEMENT
 PERMIT CLERK
 MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004533

COASTAL DEVELOPMENT PERMIT NO. 1274347
 SITE DEVELOPMENT PERMIT NO. 1274348
LASKA RESIDENCE ADDITION - PROJECT NO. 363511
 HEARING OFFICER

This Coastal Development Permit No. 1274347 and Site Development Permit No. 1274348 are granted by the Hearing Officer of the City of San Diego to the LASKA-RIDBERG REVOCABLE TRUST, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 0.46-acre site is located at 8151 Calle Del Cielo in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan and Local Coastal Program Land Use Plan, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone for Coastal Impact Areas, and Council District 1. The project site is legally described as: Lot 26 of La Jolla Del Norte Unit No. 2, in the City of San Diego, State of California, according to Map thereof No. 3469, filed in the Office of the County Recorder of San Diego County, July 20, 1956.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the additions and remodel of an existing single-family dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 18, 2015, on file in the Development Services Department.

The project shall include:

- a. Remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the gross floor area (GFA)), and associated site improvements on a 0.46-acre site;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking;
- d. Construction of associated site improvements (i.e. hardscape and site walls).
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **April 2, 2018**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing driveway with City standard driveway, on Calle Del Cielo, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

15. Prior to issuance of a grading or building permit, the Owner/Permittee shall submit a site/plot plan consistent with the plans submitted for a building permit showing the required 30% landscaped area in a crosshatch pattern and labeled 'Landscape Area Diagram.'
16. Provide the following note on the 'Landscape Area Diagram': "All of the landscape to meet the 30% area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance prior to final inspection."
17. Any modifications or changes to the 'Landscape Area Diagram' and existing or proposed plant material, as shown on the approved Exhibit "A" Landscape Concept Plan, is permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance.
18. All landscaping shall be completed within six (6) months of occupancy or within one year of the notice of completion of a residence, whichever occurs earlier.
19. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual.
20. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
23. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.
24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS:

25. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

26. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service outside of any driveway, and the disconnection at the main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
27. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
28. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

29. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 18, 2015, and Resolution No. HO-_____.

Permit Type/PTS Approval No.: CDP No. 1274347 & SDP No. 1274348
Date of Approval: March 18, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

LASKA-RIDBERG REVOCABLE TRUST,
Owner/Permittee

By _____

Mark S. Laska
Trustee of the Laska-Ridberg Revocable Trust

LASKA-RIDBERG REVOCABLE TRUST,
Owner/Permittee

By _____

Julie Ridberg
Trustee of the Laska-Ridberg Revocable Trust

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
 RESOLUTION NO. HO-_____
 COASTAL DEVELOPMENT PERMIT NO. 1274347
 SITE DEVELOPMENT PERMIT NO. 1274348
LASKA RESIDENCE ADDITION - PROJECT NO. 363511

WHEREAS, LASKA-RIDBERG REVOCABLE TRUST, Owner and Permittee, filed an application with the City of San Diego for a permit to construct a 3,283 square foot addition, 775 square foot underground garage and 313 square foot basement additions, and remodel of an existing single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1274347 and No. 1274348), on portions of a 0.46-acre site;

WHEREAS, the project site is located at 8151 Calle Del Cielo in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan and Local Coastal Program Land Use Plan, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone for Coastal Impact Areas, and Council District 1;

WHEREAS, the project site is legally described as: Lot 26 of La Jolla Del Norte Unit No. 2, in the City of San Diego, State of California, according to Map thereof No. 3469, filed in the Office of the County Recorder of San Diego County, July 20, 1956;

WHEREAS, on March 18, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1274347 and Site Development Permit No. 1274348 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 17, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Article 19, Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 18, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.46-acre site is located at 8151 Calle Del Cielo, north of Avenida De La Playa. The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the gross floor area (GFA)), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is an interior lot, and is located approximately 1,920 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Calle Del Cielo at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, viewsheds or scenic overlooks within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The project proposes a maximum building height of 25 feet 11 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ). The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to meet the development regulations of the underline zone and would not affect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the GFA), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is an interior lot, and is located approximately 1,920 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. The property is approximately 149 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, it has been determined that the project does not contain environmentally sensitive lands and would not adversely affect these resources.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 8151 Calle Del Cielo, north of Avenida De La Playa, in the SF Zone of the La Jolla Shores Planned District (LJSPD) within the LJCP and Local Coastal Program Land Use Plan. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The LJCP designates the proposed project site for Very Low Density Residential land use at 0-5 dwelling units per acre (DU/AC). The project site, occupying 0.46 acres, could accommodate one dwelling unit based on the underlying zone and 0-2 dwelling units based on the community plan.

The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the GFA), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is an interior lot, and is located approximately 1,920 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Calle Del Cielo at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, viewsheds or scenic overlooks within the adopted LJCP and Local Coastal Program Land Use Plan.

The project proposes a maximum building height of 25 feet 11 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 8151 Calle Del Cielo, north of Avenida De La Playa. The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the GFA), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The property is an interior lot, and is located approximately 1,920 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Therefore, the proposed development does not have to comply with the public access and recreation policies of Chapter 3 of the California Coastal Act.

II Site Development Permit - Section 126.0504(A)

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 8151 Calle Del Cielo, north of Avenida De La Playa, in the SF Zone of the LJSPD within the LJCP and Local Coastal Program Land Use Plan. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The LJCP designates the proposed project site for Very Low Density Residential land use at 0-5 DU/AC. The project site, occupying 0.46 acres, could accommodate one dwelling unit based on the underlying zone and 0-2 dwelling units based on the community plan.

The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the GFA), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site, including conformance with the LJSPD. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the GFA), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The permits for the project will include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Coastal Development Permit No. 1274347 and Site

Development Permit No. 1274348, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project proposes a remodel of an existing single-family dwelling unit that includes a 3,283 square foot addition (427 square foot first floor addition and 2,856 square foot second floor addition), a new 775 square foot underground garage and 313 square foot basement (not included in the GFA), and associated site improvements. The remodeled single-family dwelling unit would consist of a three car garage and mud room on the basement level and the main living area on first floor include the living room, kitchen, dining room, office, study, playroom, and one bedroom and bathroom. The second floor would consist of the master bedroom, four additional bedrooms, a den/study, bathrooms, and two decks, which one of the decks will provide access to the roof top eco garden above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site, including conformance with the LJSPD and that the development complies with the applicable regulations of the Land Development Code (LDC).

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1274347 and Site Development Permit No. 1274348 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1274347 and No. 1274348 a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: March 18, 2015

Internal Order No. 24004533



P.O. BOX 889
• LA JOLLA •
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 7 August 2014

Attention: Jeff Peterson, PM, City of San Diego

Project: Laska Residence
8151 Calle del Cielo
PN: 363511

Motion: To accept the recommendation of the PRC Committee that the findings CAN be made on a Coastal Development and Site Development permit **Vote: 12-1-2**

Submitted by:

Joseph LaCava

7 August 2014

Joe LaCava, President
La Jolla CPA

Date

LA JOLLA SHORES PLANNED DISTRICT

Applicant: Laska Residence
~~Planned Home~~

Item: Brian Yamagata

Date: 8/18/14

To: Planning Director
From: La Jolla Shores Planned District Advisory Board
Subject: Proposal Within La Jolla Shores Planned District

The La Jolla Shores Planned District Advisory Board has reviewed the applicant for:

Because of approval of project pending revision to
increase ^{horizontal} articulation at the south end
(near the garage)

located _____

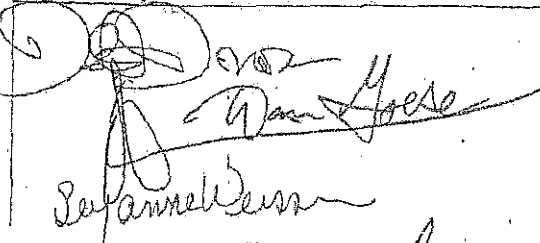
and recommends:

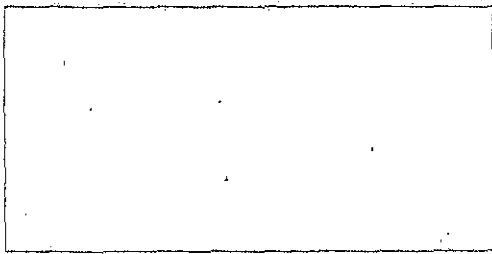
- A. Approval because of conformity to criteria and design standards adopted by the City Council
- B. Denial because of nonconformity to criteria and design standards adopted by the City Council. (Reasons for nonconformity on reverse side.)
- C. Approval subject to the following modifications to ensure conformity to criteria and design standards adopted by the City Council.
See above.
- D. Denial because of lack of four affirmative votes.

5 (1 abstention)
Board Signatures

Approving Item: _____

Disapproving Item: _____


Dan Hoese
Suzanne Weir



Abstain: See above

Absentees:
Jane Potts

Chairman _____

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2422

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

PROJECT TITLE/NO.: **LASKA RESIDENCE ADDITION CDP / 363511**

SCH No.: N/A

PROJECT LOCATION-SPECIFIC: 8151 Calle del Cielo, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: COASTAL DEVELOPMENT PERMIT and a SITE DEVELOPMENT PERMIT are being requested for a 427-square-foot first floor addition, a 2,856-square-foot second floor addition to an existing single-dwelling residence. In addition, the project would also construct a 854-square-foot subterranean garage, with a 313-square-foot basement. Various site improvements would also be constructed, which include associated hardscape and landscaping. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The 20,101-square-foot project site is located at 8151 Calle del Cielo. The project site is designated for Very Low Density Residential land use at 0-5 du/acre and is zoned LJSPD-SF of the La Jolla Shores Planned District; in addition the project is in the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable 2 Area), the Parking Impact Overlay Zone (Coastal Impact Area), and the La Jolla Community Plan and Local Coastal Program area. (LEGAL DESCRIPTION: (Lot 26, La Jolla Del Norte Unit 2, Map No. 3469).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Mark Laska, 8151 Calle del Cielo, San Diego, CA 92037, (619) 231-9905.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15303 (New Construction or Conversion of Small Structures).
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 that allows for new construction, one single-family residence in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.



Senior Planner

SIGNATURE/TITLE

December 17, 2014

DATE OF PROJECT APPROVAL

CHECK ONE:

SIGNED BY LEAD AGENCY

SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: December 17, 2014

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24004533

PROJECT NAME/NUMBER: LASKA RESIDENCE ADDITION CDP / 363511

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 8151 Calle del Cielo, CA 92037

PROJECT DESCRIPTION: COASTAL DEVELOPMENT PERMIT and a SITE DEVELOPMENT PERMIT are being requested for a 427-square-foot first floor addition, a 2,856-square-foot second floor addition to an existing single-dwelling residence. In addition, the project would also construct a 854-square-foot subterranean garage, with a 313-square-foot basement. Various site improvements would also be constructed, which include associated hardscape and landscaping. The project incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The 20,101-square-foot project site is located at 8151 Calle del Cielo. The project site is designated for Very Low Density Residential land use at 0-5 du/acre and is zoned LJSPD-SF of the La Jolla Shores Planned District; in addition the project is in the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable 2 Area), the Parking Impact Overlay Zone (Coastal Impact Area), and the La Jolla Community Plan and Local Coastal Program area. (LEGAL DESCRIPTION: (Lot 26, La Jolla Del Norte Unit 2, Map No. 3469).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services Department.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction or Conversion of Small Structures).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 that allows for new construction, one single-family residence in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Jeffery A. Peterson
MAILING ADDRESS: 1222 First Avenue, MS501, San Diego CA 92101
PHONE NUMBER: (619) 446-5237

On December 17, 2014 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (January 2, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 Laska Residence Addition 363511

Project Address:
 8151 Calle Del Cielo, La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Mark Laska
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 8151 Calle Del Cielo
 City/State/Zip:
 La Jolla, CA 92037
 Phone No: (619)231-9906 Fax No: (858)7503471
 Signature: *[Signature]* Date: 12/04/2013

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
LASKA RESIDENCE ADDITION - PROJECT NO. 363511

Date	Action	Description	City Review Time (Working Days)	Applicant Response
4/7/2014	First Submittal	Project Deemed Complete	-	-
4/30/2014	First Assessment Letter		17 days	
7/29/2014	Second Submittal			62 days
8/12/2014	Second Assessment Letter		10 days	
11/19/2014	Third Submittal			69 days
12/15/2014	Third Assessment Letter		16 days	
12/18/2014	Fourth Submittal			3 days
1/6/2015	Fourth Assessment Letter		7 days	
1/29/2015	Fifth Submittal			16 days
2/10/2015	Fifth Review Completed	All issues resolved.	8 days	
3/18/2015	Public Hearing	First available date	25 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	83 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		150 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	233 working days (345 calendar days)	