



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: August 20, 2014 REPORT NO. HO 14-047

ATTENTION: Hearing Officer

SUBJECT: Verizon – Kenemar
PTS PROJECT NUMBER: 348562

LOCATION: 7756 Trade St.

APPLICANT: Verizon Wireless (Permittee)/
Trepte Industrial Park, Ltd. (Owner)

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit (SDP) and Neighborhood Development Permit (NDP) for a Wireless Communication Facility (WCF) in the Mira Mesa Community Plan Area?

Staff Recommendation: APPROVE SDP No. 1335673 and NDP No. 1335672.

Community Planning Group Recommendation: The Mira Mesa Community Planning Group voted 13-0-0 to recommend approval of this project at their March 17, 2014 meeting. (Attachment 8)

Environmental Review: This project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 25, 2014, and the opportunity to appeal that determination ended July 10, 2014. (Attachment 7)

BACKGROUND & DISCUSSION

Verizon – Kenemar proposes a Wireless Communication Facility (WCF), consisting of 12 panel and 1 microwave dish antenna mounted to a new 50-foot tall monoecalyptus tree. Equipment associated with the antennas, including an emergency generator, will be located adjacent to the monoecalyptus. The project is located at 7756 Trade Street. The property is zoned IL-2-1 and is located in the Mira Mesa Community Plan Area. (Attachments 1, 2, 3, and 4)

WCFs are permitted in industrial zones as a Process 1, Limited Use approval, pursuant to Land Development Code (LDC) section 141.0420(c). As the project is located adjacent to Environmentally Sensitive Lands (ESL) consisting of Sensitive Biological Resources and Steep Slopes, an SDP is required. In addition, the equipment enclosure exceeds 250 square-feet, which requires the processing of an NDP. No deviations to the regulations are being requested as part of this project.

The WCF Regulations require that applicants use all reasonable means to conceal or minimize the visual impacts of WCFs through integration, which includes the use of architecture, landscape, and siting solutions. This project has been designed to integrate with the existing eucalyptus trees on site. WCFs designed as faux landscape are permitted when there are existing or proposed live trees of a similar size and species present as part of the project. With this project, a number of eucalyptus trees are present adjacent to the proposed monoecalyptus, and additional trees are being proposed to further integrate the faux tree with the surroundings.

The City's General Plan addresses Wireless Facilities in UD-A.15. The visual impact of WCFs should be minimized by concealing WCFs in existing structures, or utilizing camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures. This project complies with the General Plan recommendations by locating the antennas on a monoecalyptus tree, which is designed to camouflage the antennas from view. Existing and proposed trees near the monoecalyptus will help to integrate the faux tree, and screen views of the equipment shelter and emergency generator. Further, the proposed location of the WCF is located at the rear of the property, with a stand of eucalyptus trees between the WCF and the nearest public right-of-way, which helps to minimize views of the WCF. The design of the WCF is respectful of the neighborhood context and does not adversely affect the applicable land use plans.

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420). The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the SDP and NDP. Therefore, Staff recommends approval of SDP No. 1335673 and NDP No. 1335672.

ALTERNATIVES

1. Approve SDP No. 1335673 and NDP No. 1335672, with modifications.
2. Deny SDP No. 1335673 and NDP No. 1335672, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Alex Hempton, AICP
Development Project Manager

Attachments:

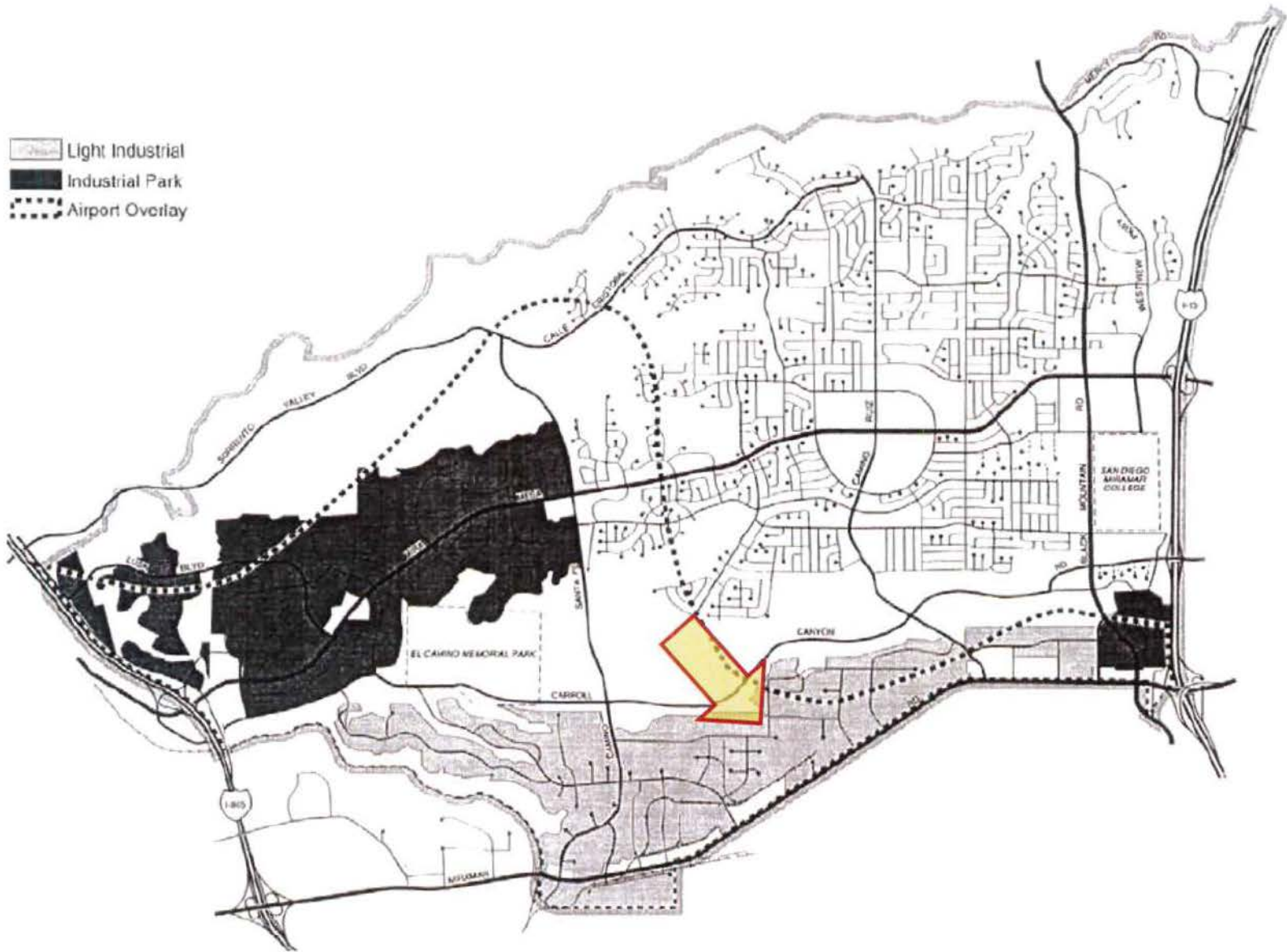
1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement (ODS)
10. Photo Simulations
11. Photo Survey
12. Site Justification/Coverage Maps
13. Hearing Officer Hearing Public Notice
14. Project Plans



Aerial Photo

Verizon Kenemar – Project Number 348562

7753 Trade Street



Community Plan Land Use Designation

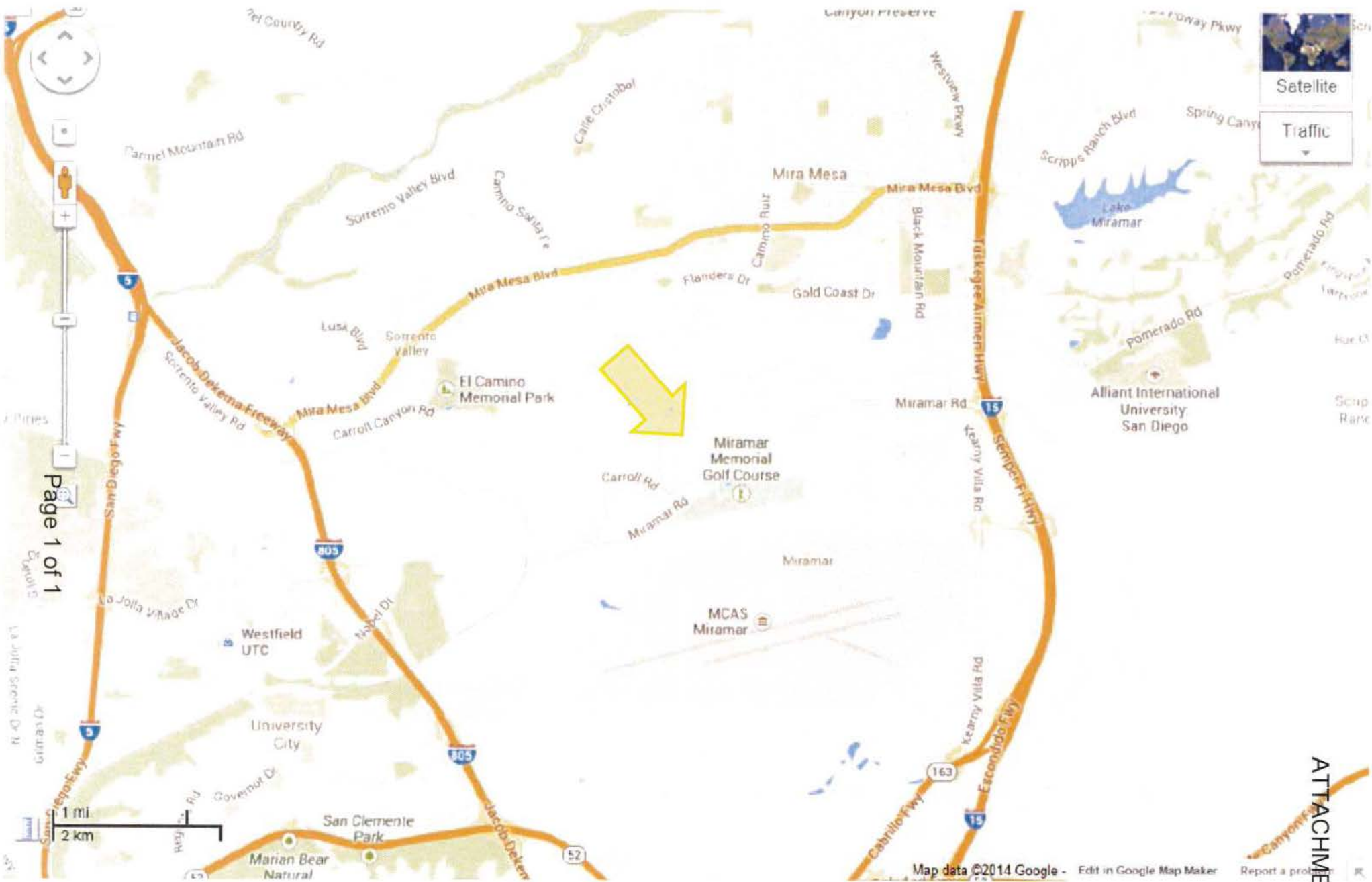
Verizon Kenemar – Project Number 348562

7753 Trade Street

Recommended Industrial Land Use
Mira Mesa Community Plan

20
FIGURE

Designated as Light Industrial



Project Location Map
Verizon Kenemar – Project Number 348562
 7753 Trade Street



ATTACHMENT 3

Map data ©2014 Google - Edit in Google Map Maker Report a problem

PROJECT DATA SHEET		
PROJECT NAME:	Verizon – Kenemar	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of 12 panel antennas and 1 microwave dish antenna, mounted on a new 50-foot tall monoecalyptus tree, with an adjacent equipment area and emergency generator.	
COMMUNITY PLAN AREA:	Mira Mesa	
DISCRETIONARY ACTIONS:	Site Development Permit (SDP) and Neighborhood Development Permit (NDP) [Process 3]	
COMMUNITY PLAN LAND USE DESIGNATION:	Light Industrial	
<u>ZONING INFORMATION:</u>		
ZONE: IL-2-1 HEIGHT LIMIT: - FRONT SETBACK: 15'/20' SIDE SETBACK: 10' REAR SETBACK: 0'/15' FAR: 2.0		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Light Industrial, IL-2-1	Open Space and Light Industrial/Office Park
SOUTH:	Light Industrial, IL-2-1	Light Industrial/Office Park
EAST:	Light Industrial, IL-2-1	Light Industrial/Office Park
WEST:	Light Industrial, IL-2-1	Light Industrial/Office Park
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Mira Mesa Community Planning Group approved this project 13-0-0 at their 3/17/14 meeting.	

**HEARING OFFICER
RESOLUTION NO. HO-XXXX
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1335672
SITE DEVELOPMENT PERMIT NO. 1335673
VERIZON – KENEMAR
PROJECT NO. 348562**

WHEREAS, TREPTE INDUSTRIAL PARK, LTD., Owner, and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) consisting of 12 panel antennas and 1 microwave dish antenna, mounted on a new 50-foot tall monoecalyptus tree, with an equipment building and an emergency generator enclosure located adjacent to the monoecalyptus (as described in and by reference to the approved Exhibits “A” and corresponding conditions of approval for the associated Permit Nos. 1335672 and 1335673);

WHEREAS, the project site is located at 7756 Trade Street in the IL-2-1 zone of the Mira Mesa Community Plan Area;

WHEREAS, the project site is legally described as: all that certain real property situated in the County of San Diego, State of California, described as: Lot 3 of Trepte Industrial Park Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 8649, filed in the Office of the County Recorder of San Diego County;

WHEREAS, on June 25, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) of the State CEQA Guidelines and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 20, 2014, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1335673 and Neighborhood Development Permit No. 1335672 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 20, 2014.

FINDINGS:

Neighborhood Development Permit - Section 126.0404

- 1. The proposed development will not adversely affect the applicable land use plan;**

While the Mira Mesa Community Plan does not specifically address WCFs, the City of San Diego’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be

aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of the installation of a new 50-foot tall monoecalyptus tree, able to support and camouflage 12 panel antennas and 1 microwave dish antenna. Equipment associated with the antennas will be located in an equipment building adjacent to the monoecalyptus. An emergency generator, surrounded by a block wall enclosure, is also proposed. The project is surrounded by a series of mature eucalyptus trees. These, along with additional trees proposed as part of this project, will work to screen and integrate the faux tree with the surrounding development.

Based on this analysis, this project will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of 12 panel antennas and 1 microwave dish antenna, mounted on a new 50-foot tall monoecalyptus tree, and associated equipment (including an emergency generator), located adjacent to the faux tree. The project is located at 7756 Trade Street, and is located in the Mira Mesa Community Plan Area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

This project complies with the requirements of the WCF Regulations, Land Development Code Section 141.0420, and with the zone development regulations of the IL-2-1 zone. WCFs are permitted in industrial zones as a limited use approval. As this project is located adjacent to Environmentally Sensitive Lands, a Site Development Permit, Process 3 is required. Additionally, since the equipment enclosure exceeds 250 square feet, a Neighborhood Development Permit is

also required. No deviations are proposed as part of this project. The WCF Regulations permit WCF designed as faux landscape when there are existing (or proposed) trees that are of a similar species and will reach a similar size as the faux tree. In this case, a number of mature eucalyptus trees are located adjacent to the monoecalyptus. Two additional Brisbane box trees will be provided to further screen and integrate the monoecalyptus. Typically eucalyptus trees would be proposed to integrate the faux eucalyptus tree, but due to community concerns with eucalyptus trees, Brisbane box trees are proposed instead – which are similar to eucalyptus trees. Based on the design of the project, the development complies with the applicable regulations of the Land Development Code.

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

While the Mira Mesa Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of the installation of a new 50-foot tall monoecalyptus tree, able to support and camouflage 12 panel antennas and 1 microwave dish antenna. Equipment associated with the antennas will be located in an equipment building adjacent to the monoecalyptus. An emergency generator, surrounded by a block wall enclosure, is also proposed. The project is surrounded by a series of mature eucalyptus trees. These, along with additional trees proposed as part of this project, will work to screen and integrate the faux tree with the surrounding development.

Based on this analysis, this project will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of 12 panel antennas and 1 microwave dish antenna, mounted on a new 50-foot tall monoecalyptus tree, and associated equipment (including an emergency generator), located adjacent to the faux tree. The project is located at 7756 Trade Street, and is located in the Mira Mesa Community Plan Area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC’s regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

This project complies with the requirements of the WCF Regulations, Land Development Code Section 141.0420, and with the zone development regulations of the IL-2-1 zone. WCFs are permitted in industrial zones as a limited use approval. As this project is located adjacent to Environmentally Sensitive Lands, a Site Development Permit, Process 3 is required. Additionally, since the equipment enclosure exceeds 250 square feet, a Neighborhood Development Permit is also required. No deviations are proposed as part of this project. The WCF Regulations permit WCF designed as faux landscape when there are existing (or proposed) trees that are of a similar species and will reach a similar size as the faux tree. In this case, a number of mature eucalyptus trees are located adjacent to the monoecalyptus. Two additional Brisbane box trees will be provided to further screen and integrate the monoecalyptus. Typically eucalyptus trees would be proposed to integrate the faux eucalyptus tree, but due to community concerns with eucalyptus trees, Brisbane box trees are proposed instead – which are similar to eucalyptus trees. Based on the design of the project, the development complies with the applicable regulations of the Land Development Code.

B. Findings – Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project – consisting of a 50-foot tall monoecalyptus tree concealing antennas, an emergency generator enclosure, and an equipment building – have been situated adjacent to an existing office park development in a way that results in minimum disturbance to adjacent environmentally sensitive lands. A Biological Resource Letter Report, dated February 7, 2014, prepared by Merkel & Associates, Inc., identifies that the project does not encroach into environmentally sensitive lands. A condition has been added to the permit to ensure compliance with the Federal Migratory Bird Treaty Act (MBTA). The project has been reviewed for compliance with the City’s WCF Regulations (LDC section 141.0420) and it has been determined to be in compliance with the WCF Design Requirements, which allow WCF designed as faux landscape, when existing trees of a similar size and species are present or proposed, and the WCF is designed to be minimally visible and integrated with the surroundings. Based on this analysis, the site has been determined to be physically suitable for the design and siting of this WCF and the development will result in a minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project is located adjacent to an existing office park, which was previously graded and developed. The proposed monoecalyptus and associated equipment building and emergency generator enclosure are located on a previously graded portion of the property and do not encroach into environmentally sensitive lands. Therefore, the project will minimize the alteration of natural land forms. Per a permit condition, during the building permit review, Development Services' Geology Section will review a Geotechnical Investigation Report or an Update Letter to determine that the project will not result in undue risk from geologic and erosional forces. In addition, during the building permit review, a variety of review disciplines will review the building permit application materials to ensure that the development will comply with the applicable building codes which will ensure that the project does not result in undue risk from flood or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

A Biological Resource Letter Report, dated February 7, 2014, prepared by Merkel & Associates, Inc. indicates that this project will not result in any adverse impacts on any adjacent environmentally sensitive lands, consisting of sensitive biological resources and steep slopes. The project is located adjacent to a steep slope, however permanent structures associated with the project do not encroach into the steep slope. No plant species proposed are considered to be invasive and the project will not impact any sensitive biological resources.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The Biological Resource Letter Report, dated February 7, 2014, prepared by Merkel & Associates, Inc., indicates that this project site does not support regionally sensitive vegetation, has been designed to avoid impacts to regionally sensitive biological resources including migratory birds, and thus would not result in cumulatively considerable impacts to the MSCP Subarea Plan. While the project does not impact the adjacent steep slopes, the project is not far enough away to be exempt from the requirements to obtain an SDP. The project will be consistent with the MSCP Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

This project is not located near a public beach and will not contribute to the erosion of public beaches nor will the project adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

ATTACHMENT 5

No mitigation measures were required by the Biological Resource Letter Report, dated February 7, 2014, prepared by Merkel & Associates, Inc. However, a condition was added to the permit to ensure consistency with the Federal Migratory Bird Treaty Act (MBTA).

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer Site Development Permit No. 1335673 and Neighborhood Development Permit No. 1335672 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1335673 and 1335672, a copy of which is attached hereto and made a part hereof.

Alex Hempton, AICP
Development Project Manager
Development Services

Adopted on: August 20, 2014

Internal Order No. 24004228

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
 CITY CLERK

PROJECT MANAGEMENT
 PERMIT CLERK
 MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004228

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1335672
SITE DEVELOPMENT PERMIT NO. 1335673
VERIZON – KENEMAR
PROJECT NO. 348562
HEARING OFFICER

This Neighborhood Development Permit (NDP) No. 1335672 and Site Development Permit (SDP) No. 1335673 is granted by the Hearing Officer of the City of San Diego to TREPTE INDUSTRIAL PARK, LTD., Owner, and VERIZON WIRELESS, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0501, and 126.0401. The site is located at 7756 Trade Street in the IL-2-1 zone of the Mira Mesa Community Plan Area. The project site is legally described as: Lot 3 of TrepTE Industrial Park Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 8649, filed in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 20, 2014, on file in the Development Services Department.

The project shall include:

- a. Twelve (12) panel antennas, with the following dimensions: 78" by 15" by 9.5", and one (1) 4'-0" diameter microwave dish antenna mounted on a new 50-foot tall monocaulyptus tree;
- b. A 253 square-foot equipment building and a 152 square-foot block wall enclosure housing an emergency generator;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 4, 2017.
2. This NDP and SDP and corresponding use of this site shall expire on August 20, 2024. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the

event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AIRPORT REQUIREMENTS:

14. Prior to issuance of a building permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Trade Place Right-of-Way.

16. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Trade Place Right-of-Way.

17. The project proposes to export 65 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

18. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the

Development Services Department. Construction plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of notification of damage.

GEOLOGY REQUIREMENTS:

24. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

PLANNING/DESIGN REQUIREMENTS:

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined during construction that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. All proposed hand-holes shall be covered with bark material to match the monoecalyptus trunk to the satisfaction of the Development Services Department.

27. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

28. Branches shall extend a minimum of 24-inches beyond the face of the proposed antennas to the satisfaction of the Development Services Department.

29. Starting branch height shall be no higher than 10-feet, as illustrated on the stamped, approved Exhibit "A."

30. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

31. Radio-frequency transparent “socks” fully covering the front and back of the antennas (and any other components) shall be installed.
32. The applicant is required to provide color samples of the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact faux tree color exhibit will be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.
33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
34. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
35. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
36. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit “A.”
37. No overhead cabling is allowed for this project.
38. Exposed mounting apparatus, such as pipe mounts, shall be removed and shall not remain on the monoecalyptus absent antennas.
39. The Owner/Permittee shall not cause or allow the antennas located on the building to be different sizes (length, width, or height) than as shown on the stamped approved plans.
40. The WCF shall conform to Exhibit “A” (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
41. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission’s Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
42. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

43. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

44. If construction of the proposed project is expected to occur during the migratory bird breeding season (generally defined as January 15-September 15), a pre-construction survey for active migratory bird nests shall be conducted within approximately 48 hours prior to the start of construction. The results of the survey shall be submitted to the City in the form of a written report, and will include the following information: a) date(s) of the survey, b) total field time of survey efforts, c) name(s) of investigator(s), and d) if any active nests were found. If an active migratory bird nest is found, then all construction activities undertaken for the project shall comply with regulatory requirements of the federal Migratory Bird Treaty Act (MBTA) and California Fish and Game Codes sections 3503 and 3513.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 20, 2014 and HO-XXXX.

Permit Type/PTS Approval No.: NDP No. 1335672/SDP No. 1335673
Date of Approval: 8/20/2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Alex Hempton, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

TREPTE INDUSTRIAL PARK, LTD.
Owner

By _____
NAME
TITLE

VERIZON WIRELESS
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 25, 2014

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24004228

PROJECT NAME/NUMBER: Verizon Kenemar/Project No. 348562
COMMUNITY PLAN AREA: Mira Mesa
COUNCIL DISTRICT: 6
LOCATION: 7756 Trade Street, San Diego, CA 92121

PROJECT DESCRIPTION: SITE DEVELOPMENT PERMIT (SDP) and NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) for a new wireless communication facility consisting of a 50-foot tall faux eucalyptus tree with 12 panel antennas, 12 RRU units, and one 4-foot diameter microwave dish mounted to the tree, and a 405 square-foot equipment and generator building. The project is located within the IL-2-1 zone.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer (Process 3).

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA Guidelines, Section 15303 (New Construction or Conversion of Small Structures).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Department staff.

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows the construction and location of limited numbers of new, small facilities or structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore this exemption is applicable to the proposed project.

CITY CONTACT: Alex Hempton, Development Project Manager
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5349

On June 25, 2014, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City of San Diego City Council. If you have any questions about this determination, contact the

Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 10, 2014). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Hempton, Alexander

From: Kerrigan Diehl [kerrigan.diehl@plancominc.com]
Sent: Tuesday, March 18, 2014 1:27 PM
To: Hempton, Alexander
Cc: mmcpvg.chair@gmail.com; Bakier, Zakaria; Brunette, Mark; Thomas, Patrick; Meiners, Laura
Subject: RE: 348562 - Verizon - Kenemar, 1st Review

Thanks Alex,
MMCPG took action on this project last night and unanimously approved the project as proposed. I believe the vote was 13-0-0. We will review these last couple items and resubmit.

Thanks,
kd

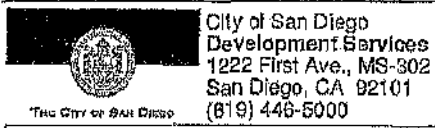
Kerrigan Diehl

PianCom, Inc.
Telecommunications Project Management
302 State Place, Escondido CA 92029
Direct: 760-587-3003
Fax: 760-735-4913
Email: kerrigan.diehl@plancominc.com

From: Hempton, Alexander [<mailto:AHempton@sandiego.gov>]
Sent: Tuesday, March 18, 2014 12:40 PM
To: 'Kerrigan Diehl'
Cc: 'mmcpvg.chair@gmail.com'; Bakier, Zakaria; Brunette, Mark; Thomas, Patrick; Meiners, Laura
Subject: 348562 - Verizon – Kenemar, 1st Review

Please see attached.

Alex Hempton, AICP, Development Project Manager | Economic Development & Project Management: [Telecom Entitlements](#)
Development Services - City of San Diego | 1222 First Avenue, MS 501, San Diego, CA 92101 | (619) 446-5349



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other WCF - Telecom

Project Title: VZ: "Kenemar" Project No. For City Use Only: 348562

Project Address: 7756 Trade Street, San Diego, CA 92121

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

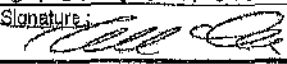
Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
 Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (5-05)

Project Title: VZ: Kenemar	Project No. (For City Use Only)
Part II - To be completed when property is held by a corporation or partnership	
Legal Status (please check):	
<input type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. _____ <input checked="" type="checkbox"/> Partnership	
<p>By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
Corporate/Partnership Name (type or print): <u>Trepte Industrial Park LTD</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: <u>9665 Granite Ridge Drive, Suite 200</u>	Street Address:
City/State/Zip: <u>San Diego, CA 92123</u>	City/State/Zip:
Phone No: <u>619-540-8819</u> Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print): <u>PAUL C. MUEZZY</u>	Name of Corporate Officer/Partner (type or print):
Title (type or print): <u>VICE PRESIDENT OPERATIONS</u>	Title (type or print):
Signature:  Date: <u>11-07-13, 2013</u>	Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature: Date:	Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature: Date:	Signature: Date:



Verizon Corporate Executives

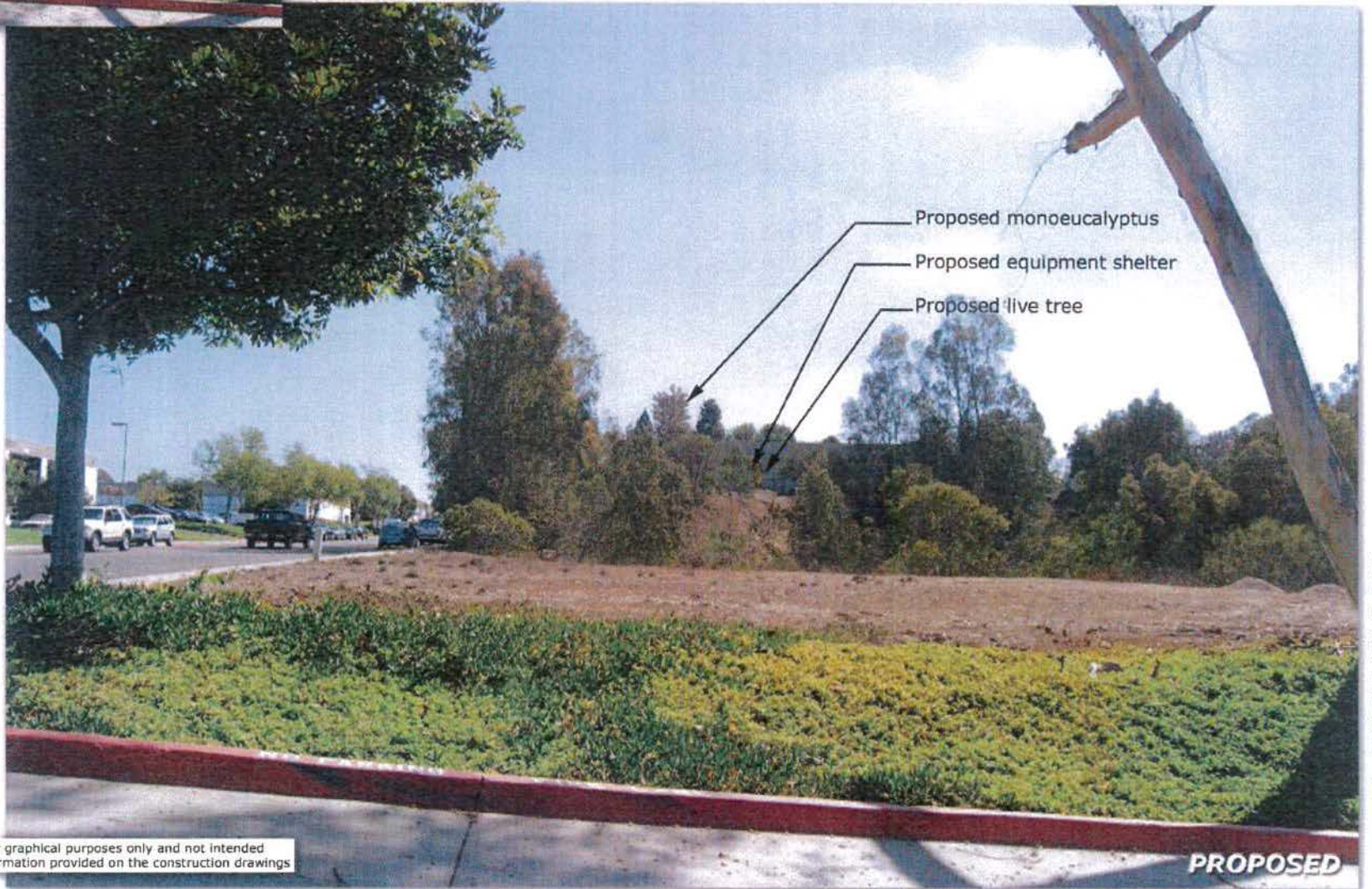
- » Lowell McAdam, CEO
- » Roy H. Chestnutt
- » Nancy B. Clark
- » James J. Gerace
- » Roger Gurnani
- » Daniel S. Mead
- » Anthony J. Melone
- » Randal S. Milch
- » Marc C. Reed
- » Francis J. Shammo
- » John G. Stratton
- » Marni M. Walden



Kenemar
7756 Trade St.
San Diego, CA 92121



Page 1 of 3



ATTACHMENT 10

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

5/14/2014

PROPOSED
Photosimulation of proposed telecommunications site

EXISTING



Kenemar
7756 Trade St.
San Diego, CA 92121

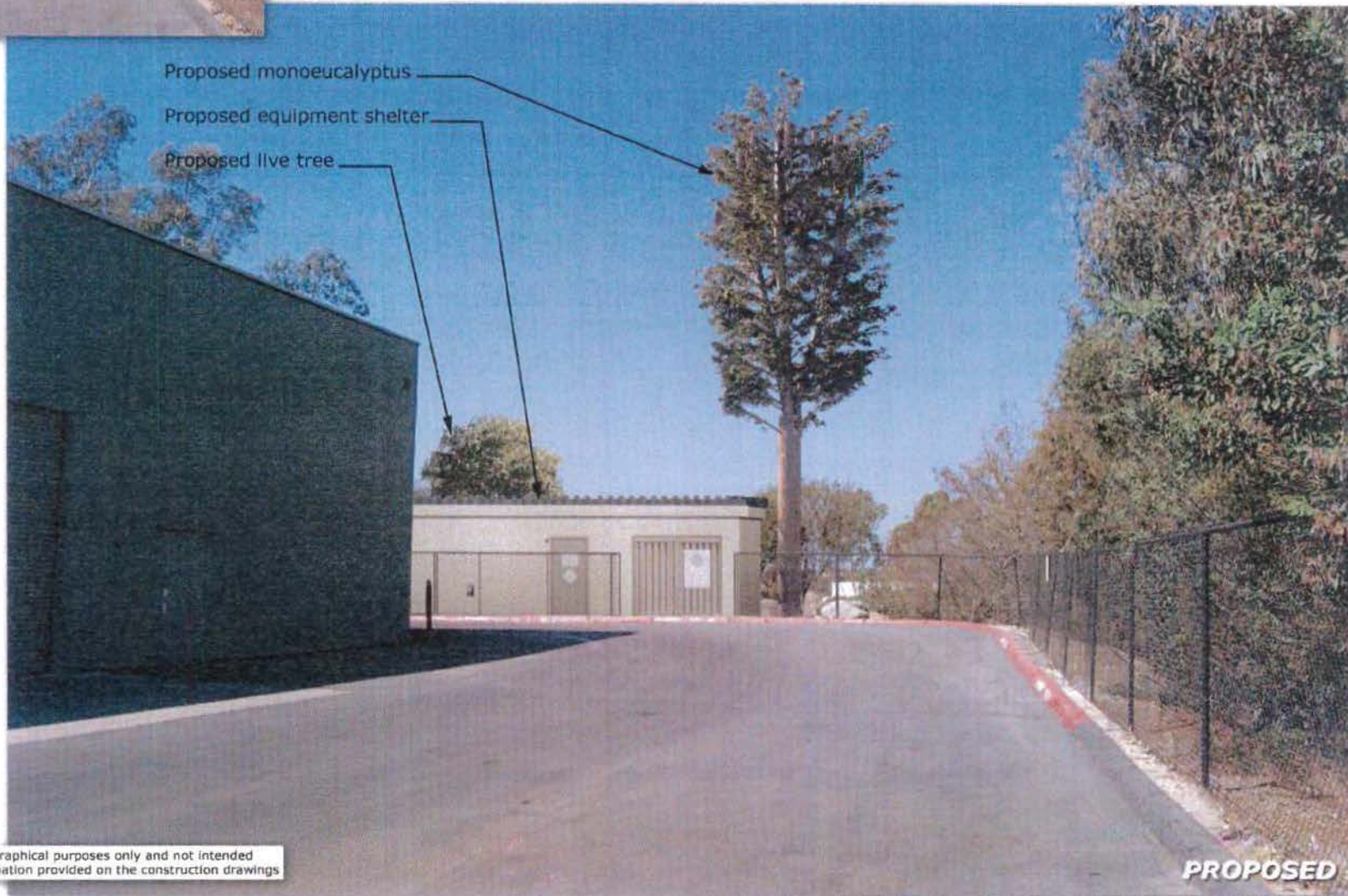


Page 2 of 3

Proposed monoecalyptus

Proposed equipment shelter

Proposed live tree



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings.

PROPOSED

Photosimulation of proposed telecommunications site

5/14/2014

ATTACHMENT 10



Kenemar
7756 Trade St.
San Diego, CA 92121



Page 3 of 3



ATTACHMENT 10

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

5/14/2014

Photosimulation of proposed telecommunications site



PHOTO STUDY & KEY MAP

PROPOSAL TO ESTABLISH AND OPERATE A
NEW DIGITAL PCS
COMMUNICATIONS FACILITY

Verizon Wireless
"Kenemar"
7756 Trade Street
San Diego, CA 92121

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Kerrigan Diehl, Planning Consultant
(619) 223-1357

November 15, 2013



Looking North



Looking South



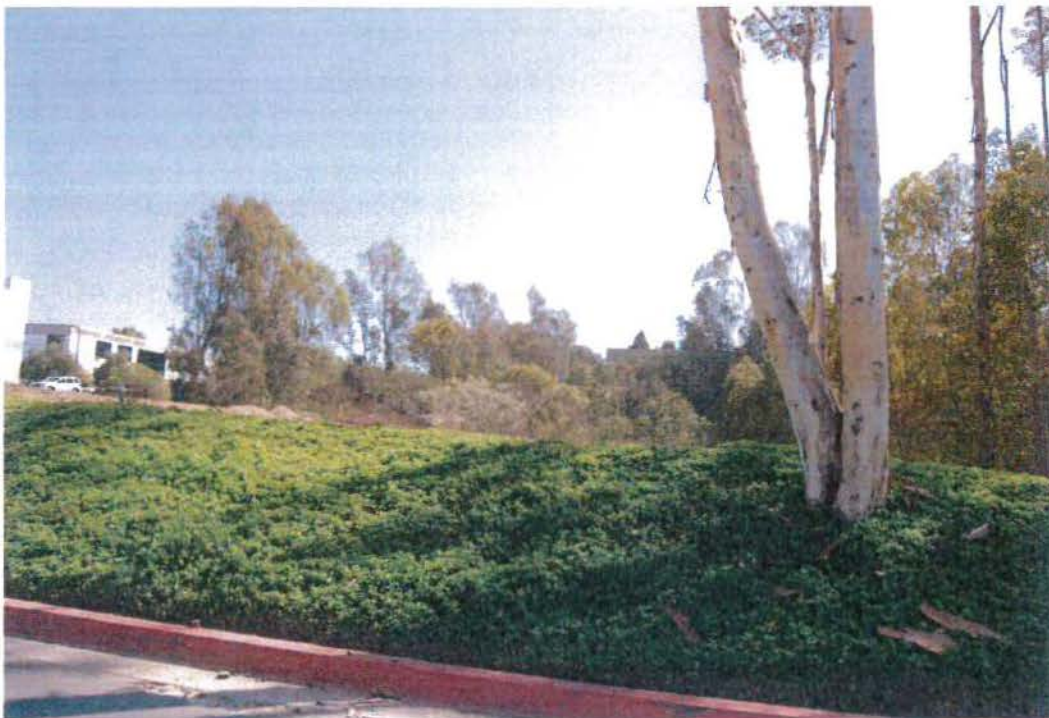
Looking East



Looking West



Looking Northeast



North Elevation (Looking S at Site)



Northeast Elevation (Looking SW at Site)



South Elevation (Looking N at Site)



East Elevation (Looking W at Site)



West Elevation (Looking East at Site)



Equipment Area Location



Aerial View of Subject Site & Surroundings

SITE JUSTIFICATION

**Verizon "Kenemar"
7756 Trade Street
San Diego, CA 92121**

PROJECT DESCRIPTION

The project proposes to install a WCF for Verizon Wireless located at 7756 Trade Street in the Mira Mesa community planning area. The project will consist of the installation of (12) panel antennas, (12) Remote Radio Units and a MW dish mounted to a new 50' stealth designed mono-eucalyptus. Associated equipment including emergency back-up generator will be located at grade within a custom 400 sf enclosure designed to match the existing building. Additionally, the site location and existing mature landscape on and off site lends itself to the faux eucalyptus whereby the site would be naturally screened while blending with surroundings.

The property is completely developed with a industrial warehouse building and is zoned, IL-2-1 within the larger Mira Mesa industrial park.

SITE DESIGN

More specifically, the monument will be configured with 3 sectors of 4 antennas and 4 RRUs at each sector. Geographically the site is located at the site's northeast corner. The associated equipment necessary to operate the facility including an emergency back-up generator will be located at grade directly adjacent to the mono-eucalyptus location inside a 400 sf equipment enclosure designed to match the existing industrial building. The project has been designed to integrate with the existing building materials and architectural features while also blending into the natural landscape on site so that visual integration is achieved.

PREFERENCE 1 LOCATION:

The project is a Preference 1 location the proposed facility is located on an industrially zoned property. A Process 2 - Neighborhood Development Permit is necessary to exceed the 250 sf equipment footprint requirement.

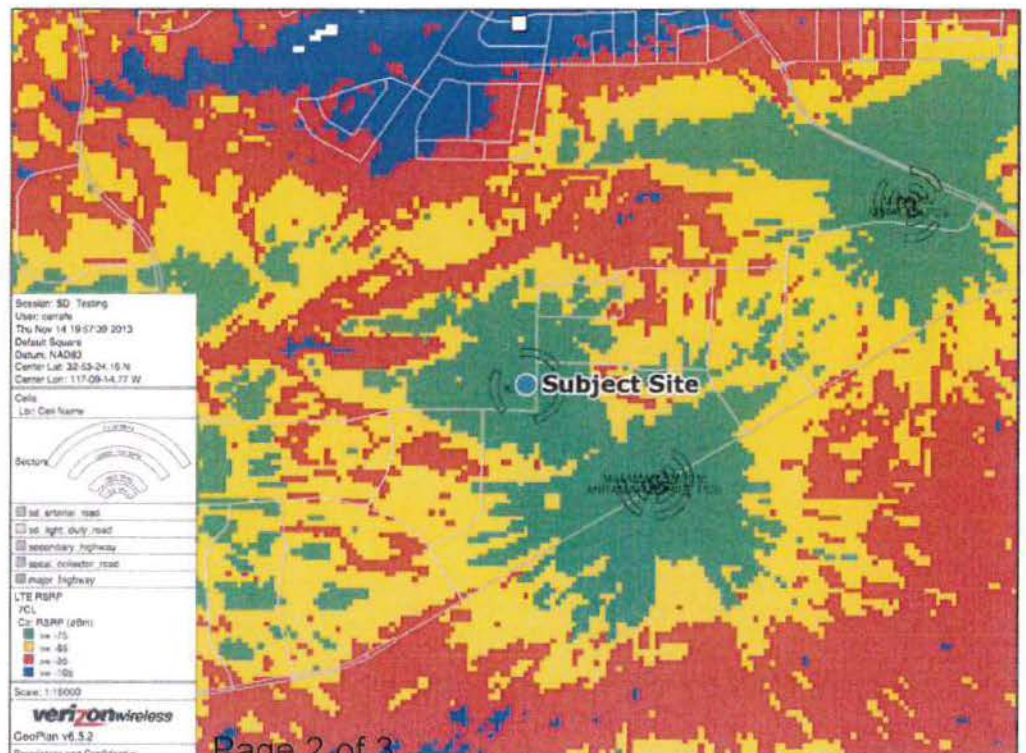
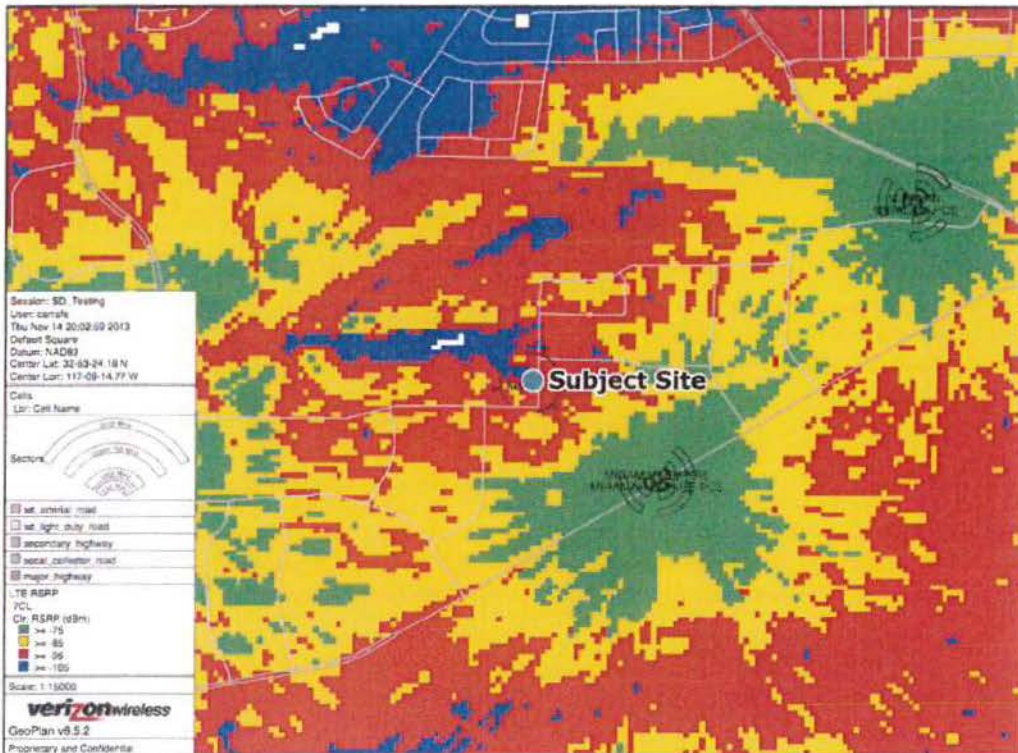
We believe that the facility as designed is consistent with all relevant regulations and will be well integrated from vantage points or surrounding properties.

CO-LOCATION OF WIRELESS FACILITIES

There are no known carriers on site.



Existing coverage



Coverage Levels:

- Excellent
- Good/Variable
- Poor

Kenemar
 7756 Trade St.
 San Diego, CA 92121

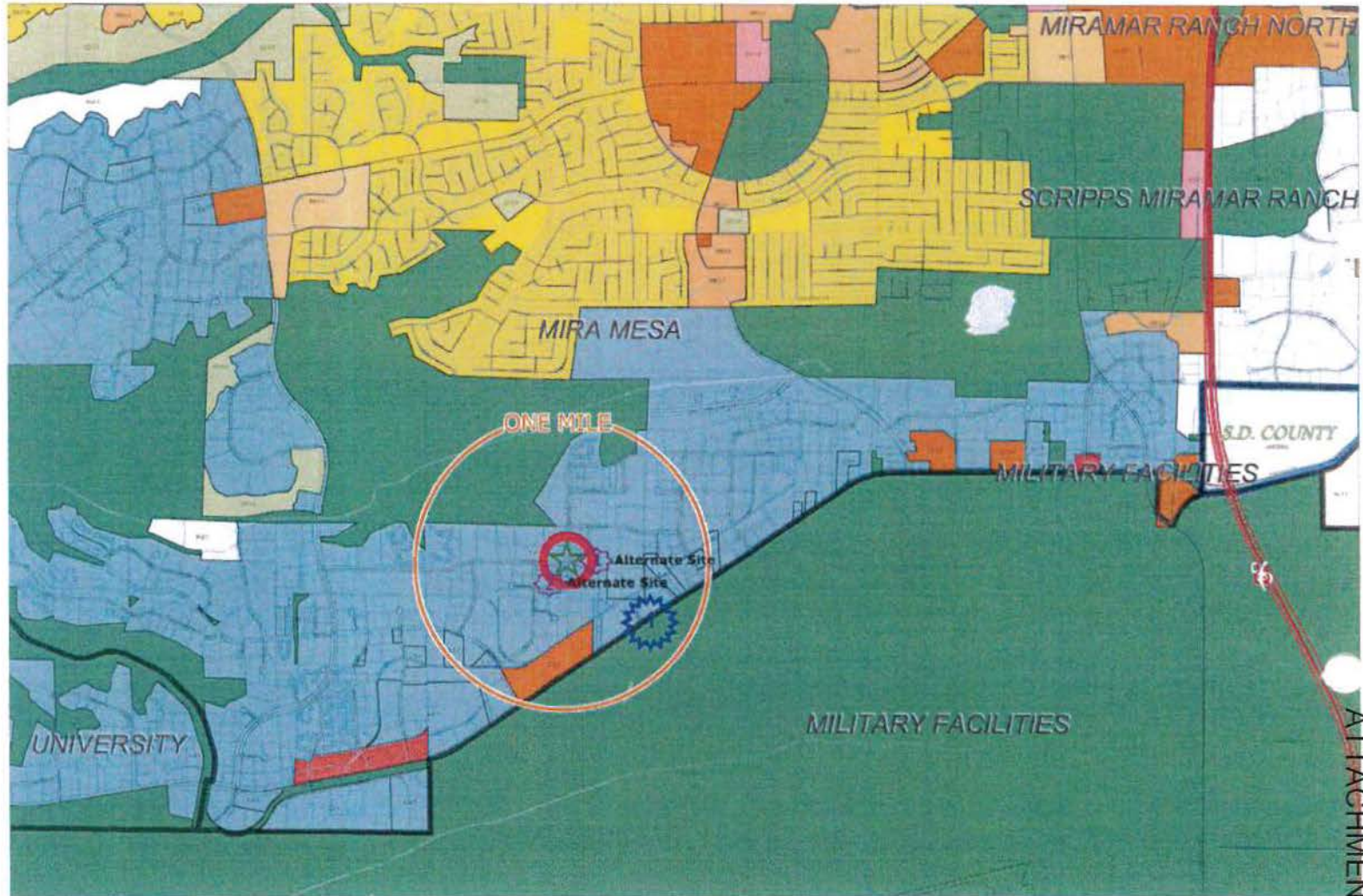


Legend

-  Search Ring
-  Selected Site
-  Existing sites within 1 mile radius:
- 1. Miramar Empire

-  Alternative Sites:
- 1. 7835 Trade St
 San Diego, CA 92121
- 2. 7710-7750 Formula Pl.
 San Diego, CA 92121

Page 3 of 3



Legend
 City of San Diego Boundary
 Community Plan Areas

Color	Zone Name
Light Blue	AR-1-1
Dark Blue	AR-1-2
Light Green	CC-1-3
Orange	CC-3-5
Red	CC-4-2
Light Purple	CO-1-2
Light Blue	CV-1-1
Light Blue	IS-2-1
Light Blue	IL-2-1
Light Blue	IL-3-1
Light Blue	IP-2-1
Light Blue	OC-1-1
Light Blue	OP-1-1
Light Blue	OR-1-2
Light Blue	RM-1-1
Light Blue	RM-2-5
Light Blue	RM-3-7
Light Blue	RS-1-14
Light Blue	RS-1-8
Light Blue	RX-1-2
Light Blue	UNZONED



City of San Diego
 Development Services Department

GRID TILE: 32
 GRID SCALE: 800
 DATE: 3/25/2008 3:40:33 PM

ATTACHMENT 12



THE CITY OF SAN DIEGO

DATE OF NOTICE: August 6, 2014

NOTICE OF PUBLIC HEARING HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	August 20, 2014
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	Site Development Permit (SDP) and Neighborhood Development Permit (NDP), Process 3
PROJECT NO:	<u>348562</u>
PROJECT NAME:	<u>VERIZON - KENEMAR</u>
APPLICANT:	Kerrigan Diehl, PlanCom, Inc., agents representing Verizon Wireless
COMMUNITY PLAN AREA:	Mira Mesa
COUNCIL DISTRICT:	District 6
CITY PROJECT MANAGER:	Alex Hempton, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of a new 50-foot tall faux eucalyptus tree (monoecalyptus) supporting 12 panel antennas and one microwave dish antenna, and an equipment enclosure with an emergency generator. The project is located at 7756 Trade Street.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act on June 25, 2014 and the opportunity to appeal that determination ended July 10, 2014.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004228

Revised 04/08/10 HRD



KENEMAR
7756 TRADE ST.
SAN DIEGO, CA 92121

VICINITY MAP

THOMAS GUIDE PAGE 1209, A-7

ADDRESS
 7756 TRADE ST.
 SAN DIEGO, CA 92121

DIRECTIONS:
 (FROM YZW'S OFFICES IN IRVINE):
 I-5 SOUTH TO 805 SOUTH, TAKE THE MIRAMAR ROAD EXIT EAST, TURN LEFT ON CARROLL ROAD, THEN TAKE THE FIRST RIGHT ON KENEMAR DRIVE, TURN RIGHT ON TRADE STREET AND TAKE AN IMMEDIATE LEFT INTO THE TREPTE INDUSTRIAL PARK, HEAD STRAIGHT TO THE NORTHEAST CORNER OF THE PROPERTY WHERE THE SITE WILL BE LOCATED.

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8986 (FAX)

LEASING/PLANNING:
 PLANCON, INC.
 JODY BITTERLIN
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (858) 349-8055

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4686

PERMITS REQUIRED

- LIMITED USE PERMIT (PROCESS 1)

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC, DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: JODY BITTERLIN
 PHONE: (888) 549-8055

OWNER: TREPTE INDUSTRIAL PARK LTD
 9605 GRANITE RIDGE DR., SUITE 200
 SAN DIEGO, CA 92123
 SITE CONTACT: PAUL MUZZY
 PHONE: (619) 340-2618

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A PROPOSED 12'-8" x 20'-0" CONCRETE BLOCK BUILDING ON A NEW CONCRETE PAD.
- INSTALLATION OF NEW 12'-8" x 12'-0" CONCRETE BLOCK WALL ENCLOSURE AT GRADE LEVEL.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED ON PROPOSED 50'-0" HIGH FAUX EUCALYPTUS.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND ANTENNAS ON PROPOSED 50'-0" HIGH FAUX EUCALYPTUS.
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED ON PROPOSED 50'-0" HIGH FAUX EUCALYPTUS.
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS.
- INSTALLATION OF A 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE NEW CONCRETE BLOCK WALL ENCLOSURE.
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE.
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION.
- MINOR LANDSCAPE & IRRIGATION IS PLANNED FOR THIS PROJECT.

PROJECT ADDRESS: 7756 TRADE ST.
 SAN DIEGO, CA 92121

ASSESSORS PARCEL NUMBER: 343-360-05 AND 343-360-06

EXISTING ZONING: IL-2-1

TOTAL SITE AREA: 280,240 S.F.
 = 6.43 ACRES

PROPOSED PROJECT AREA:
 EQUIPMENT BUILDING: 253 SF
 CONCRETE BLOCK ENCLOSURE: 152 SF

PROPOSED TYPE OF CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: U

NOTE: THERE NO OTHER TELECOMMUNICATIONS FACILITIES ON THIS SITE.

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A--0.0	WATER POLLUTION CONTROL PLAN & ENLARGED WATER POLLUTION CONTROL PLAN A
A-0.1	ENLARGED STEEP SLOPE AREA PLAN
A-1	EQUIPMENT FLOOR PLAN
A-2	EXTERIOR ELEVATIONS
A-3	EXTERIOR ELEVATIONS
A-4	ANTENNA PLAN & FAUX EUCALYPTUS TREE ELEVATION
A-5	STEEP SLOPES MAP & BIOLOGICAL RESOURCES MAP
L-1	LANDSCAPE DEVELOPMENT PLAN
C-1	TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 3 OF TREPTE INDUSTRIAL PARK UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8645, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
- CALIFORNIA PLUMBING CODE, 2010 EDITION
- CALIFORNIA MECHANICAL CODE, 2010 EDITION
- CALIFORNIA ELECTRICAL CODE, 2010 EDITION
- CALIFORNIA FIRE CODE, 2010 EDITION
- CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PSD TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 256-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

KENEMAR

7756 TRADE ST.
 SAN DIEGO, CA 92121
 SAN DIEGO COUNTY

DRAWING DATES

19/15/13	90% 2D (dn)
10/17/13	100% 2D (rd)
10/21/13	100% 2D REVISION 1 (te)
10/29/13	100% 2D REVISION 2 (ee)
11/21/13	100% 2D REVISION 3 (rd)
02/04/14	100% 2D REVISION 4 (ne)
02/06/14	100% 2D REVISION 5 (ne)
03/26/14	100% 2D REVISION 6 (te)
05/12/14	100% 2D REVISION 7 (se)
06/09/14	100% 2D REVISION 8 (ie)

SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\13300

T-1

BOOTH SUAREZ &
 ARCHITECTURE INCORPORATED
 325 CALSBAD WOODS DR. SUITE 20
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

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APPROVALS

ARC	DATE
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INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
KENEMAR
 7756 TRADE ST.
 SAN DIEGO, CA 92121
 SAN DIEGO COUNTY

DRAWING DATES

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10/17/13	100% 2D (rd)
10/21/13	100% 2D REVISION 1 (lc)
10/29/13	100% 2D REVISION 2 (sp)
11/21/13	100% 2D REVISION 3 (rd)
02/04/14	100% 2D REVISION 4 (hc)
02/06/14	100% 2D REVISION 5 (hc)
03/26/14	100% 2D REVISION 6 (lc)
05/12/14	100% 2D REVISION 7 (se)
06/09/14	100% 2D REVISION 8 (lc)

SHEET TITLE
SITE PLAN

PROJECTS/VERIZON/15300

A-0

Lessee's Certificate
 Standard Wireless Facility Project
 For Postconstruction BMP's

I/we the undersigned, as Lessee of a portion of the property described as:
 7756 TRADE STREET, SAN DIEGO, CA 92121
 (Address as legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Storm Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediment
- Nutrients
- Trash & Debris
- Oxygen Demanding Substances
- Oil & Grease
- Pesticides & Viruses
- Polystyrene

I/we will incorporate the following into the site design:

- Minimize pre-development soil disturbance
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces
- Construct natural areas
- Use central drainage systems as opposed to lined swales or underground drainage systems
- Grade, roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain storage devices and flow restrictors as needed.

I/we will maintain the above Standard Postconstruction BMP's for the duration of the lease.

Lessee: Dwight Woods Company Name: Verizon Wireless
 (print name) (print name)
 Lessee: Dwight Woods Date: 1-9-2008
 (signature) (signature)

DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED: 0%

CUBIC YARDS OF CUT: 1.84 CUBIC YARDS OF FILL: 82

VOLUME OF FILL TO BE IMPORTED: 0 C.Y. EXPORTED: 85 C.Y.

AREA TO BE GRADED? 0% % OF SITE 0%

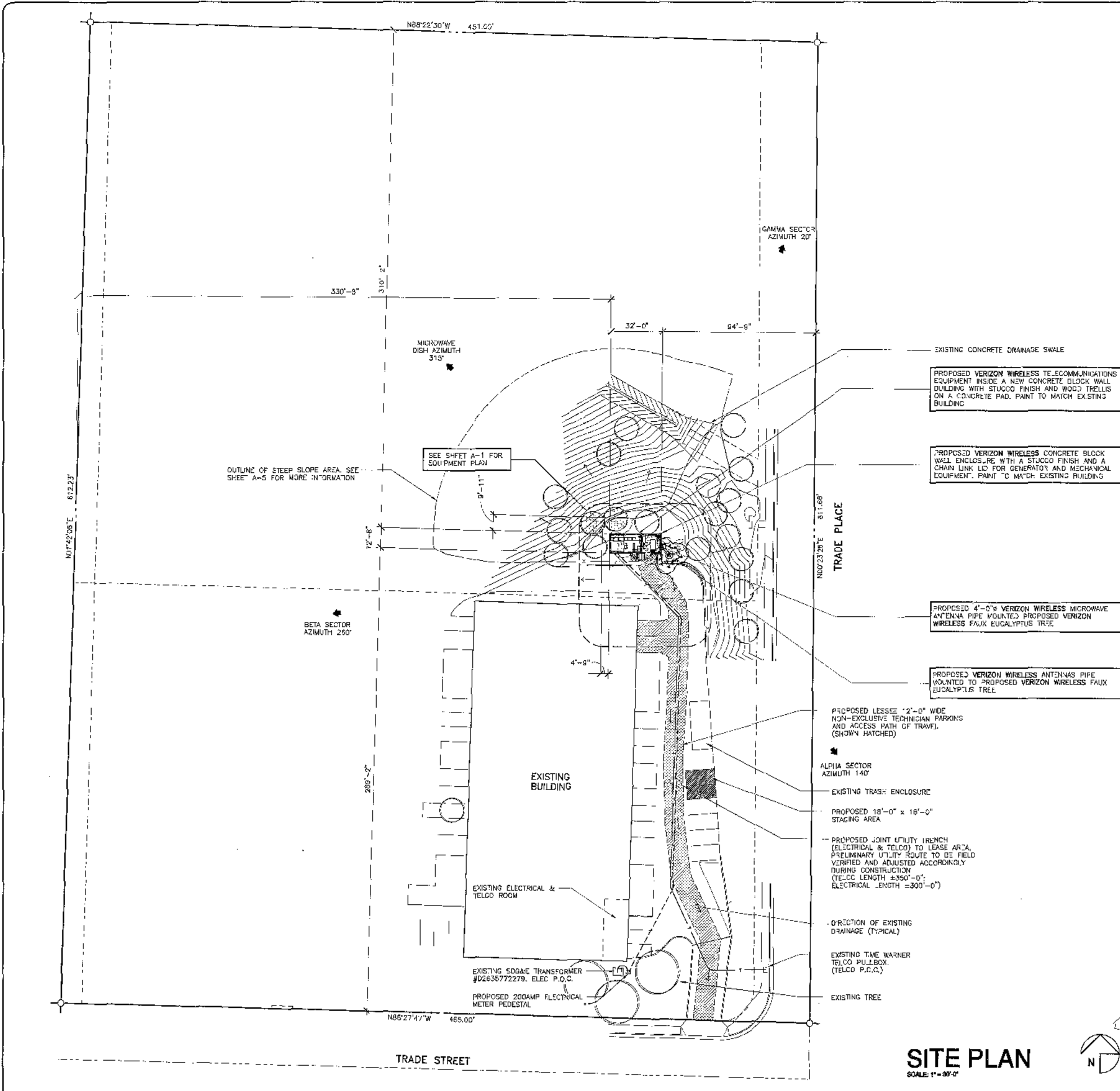
PROPOSED C:1 SLOPE RATIO: 0 FILL SLOPE RATIO: 0

MAXIMUM HEIGHT OF CUT SLOPE: 0 FEET; FILL SLOPE: 0 FEET

- NOTES**
- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
 - THE APPLICANT SHALL OBTAIN A NON-EXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE TRADE PLACE RIGHT-OF-WAY.
 - THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE TRADE PLACE RIGHT-OF-WAY.
 - SAN DIEGO MUNICIPAL CODE SECTION 142.0807 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES REQUIRES WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER/PERMITTEE SHALL, AT NOT COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

MIGRATORY BIRD IMPACT REQUIREMENTS

IMPLEMENTATION OF THE PROPOSED PROJECT IS EXPECTED TO OCCUR FOLLOWING ACQUISITION OF ALL APPLICABLE PERMITS. IF CONSTRUCTION OF THE PROPOSED PROJECT WOULD OCCUR DURING THE MIGRATORY BIRD BREEDING SEASON (GENERALLY DEFINED AS JANUARY 15 - SEPTEMBER 15), A PRE-CONSTRUCTION SURVEY FOR ACTIVE MIGRATORY BIRD NESTS WILL BE CONDUCTED WITHIN APPROXIMATELY 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE RESULTS OF THE SURVEY WILL BE SUBMITTED TO THE CITY IN THE FORM OF A WRITTEN REPORT, AND WILL INCLUDE THE FOLLOWING INFORMATION: A) DATE(S) OF SURVEY, B) TOTAL FIELD TIME OF SURVEY EFFORTS, C) NAME(S) OF INVESTIGATOR(S), AND D) IF ANY ACTIVE NESTS WERE FOUND. IF AN ACTIVE MIGRATORY BIRD NEST WERE FOUND, THEN ALL CONSTRUCTION ACTIVITIES UNDERTAKEN FOR THE PROJECT WILL COMPLY WITH REGULATORY REQUIREMENTS OF THE FEDERAL MIGRATORY BIRD TREATY ACT (MBA) AND CALIFORNIA FISH AND GAME CODES §3563 AND §3513.



SITE PLAN
 SCALE: 1" = 30'-0"

A. Site Management Requirements

Construction is a dynamic operation where changes are expected. Storm water BMPs for construction sites are usually temporary measures that require frequent maintenance to maintain their effectiveness and may require relocation, revision and re-installation, particularly as project grading progresses. Therefore, owner/contractor self-inspections are required. They shall be performed by the owner/contractor's Qualified Contact Person specifically trained in storm water pollution prevention site management and storm water BMPs, including the installation and maintenance of siltment and erosion control measures. Additional qualified persons may assist with the inspection activities under the direction of the Qualified Contact Person. A Qualified Contact Person is required for all sites during both wet and dry weather conditions.

There are four primary purposes of the self-inspections conducted by owners and contractors:

- To ensure that the owners/contractors take full responsibility for managing storm water pollution caused by their activities.
- To ensure that storm water BMPs are properly documented and implemented and are functioning effectively.
- To identify maintenance (e.g., and storm removal) and repair needs.
- To ensure that the project proponent implements their storm water management plans.

A self-inspection checklist, noting date, time, conditions and inspection date, must be kept on-site and made available for inspection, if requested (note: the State General Construction Permit has additional inspection requirements that must be met to comply with the permit). Self-inspections must be performed by a Qualified Contact Person according to the following schedule:

- Daily forecasting is all times
- At 24-hour intervals during extended rainfall events
- Daily evaluations as earth moving/grading is being conducted during the wet season
- Weekly (every 7 days) in the dry season as earth moving/grading is progressing

Storm water pollution prevention site management requirements include:

- A qualified person who is trained and competent in the use of BMPs shall be on-site daily, although not necessarily full time, to evaluate the conditions of the site with respect to storm water pollution prevention. This qualified contact person shall represent the contractor/owner on storm water issues.
- The qualified person shall implement the conditions of the Storm Water Pollution Prevention Plan, contract documents and/or local ordinances with respect to erosion and sediment control and other waste management regulations.
- The qualified person is responsible for monitoring the weather and implementation of any emergency plans as needed. The weather shall be monitored on a 5-day forecast plan and a full BMP protection plan shall be activated when there is a 40% or greater chance of rain.
- The qualified person is responsible for overseeing any site grading and operations and evaluating the effectiveness of the BMPs. This person shall modify the BMPs as necessary to keep the dynamics of the site in compliance. This person or other qualified persons are responsible for checking the BMPs routinely for maintenance and documenting the BMPs being implemented.

**STORM WATER QUALITY NOTES
CONSTRUCTION BMPs**

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
- SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUC - SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PRIORITY LOW

IDENTIFY POLLUTANTS FROM THE PROJECT AREA

- COMMERCIAL DEVELOPMENT: SEDIMENT - POTENTIAL
NUTRIENTS - POTENTIAL
ORGANIC COMPOUNDS - N/A
TRASH & DEBRIS - ANTICIPATED
OXYGEN DEMANDING SUBSTANCES - ANTICIPATED
BACTERIA & VIRUSES - N/A
PESTICIDES - POTENTIAL

STANDARD LID BMPs:

- MINIMIZE IMPERVIOUS FOOTPRINT
- MINIMIZE SOIL COMPACTION IN LANDSCAPE AREA
- SOIL AMENDMENT

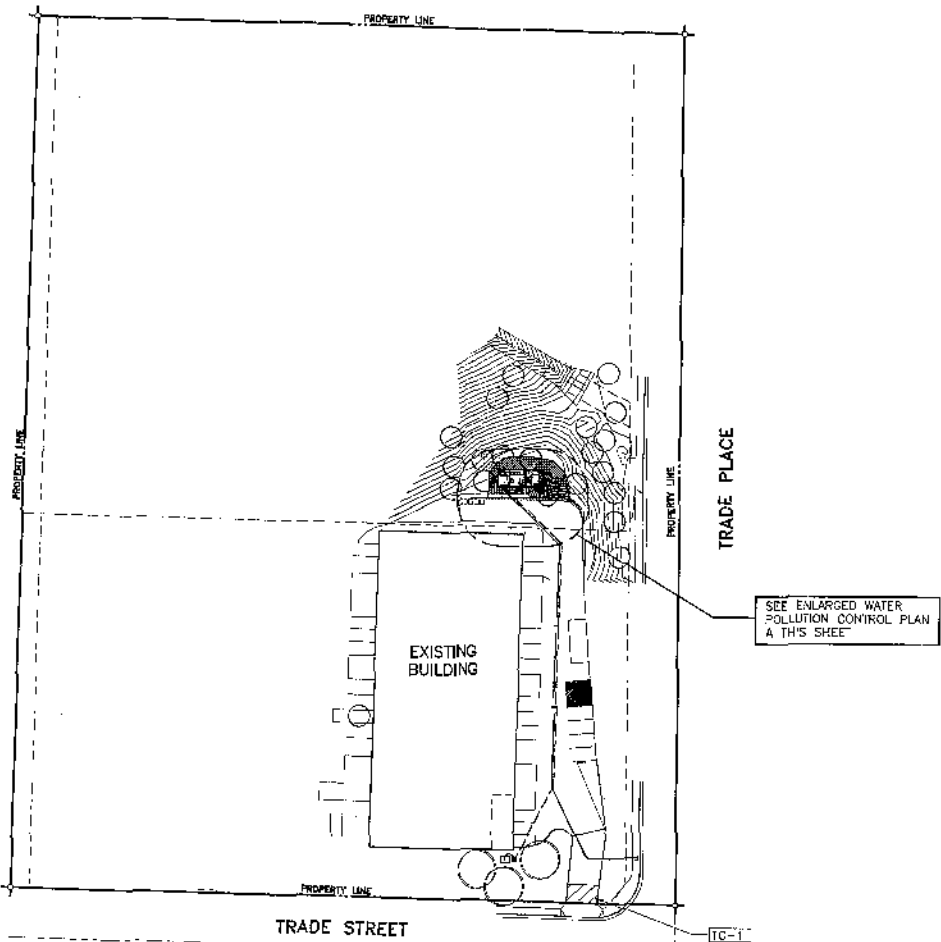
SOURCE CONTROL BMPs:

- USE EFFICIENT IRRIGATION SYSTEM

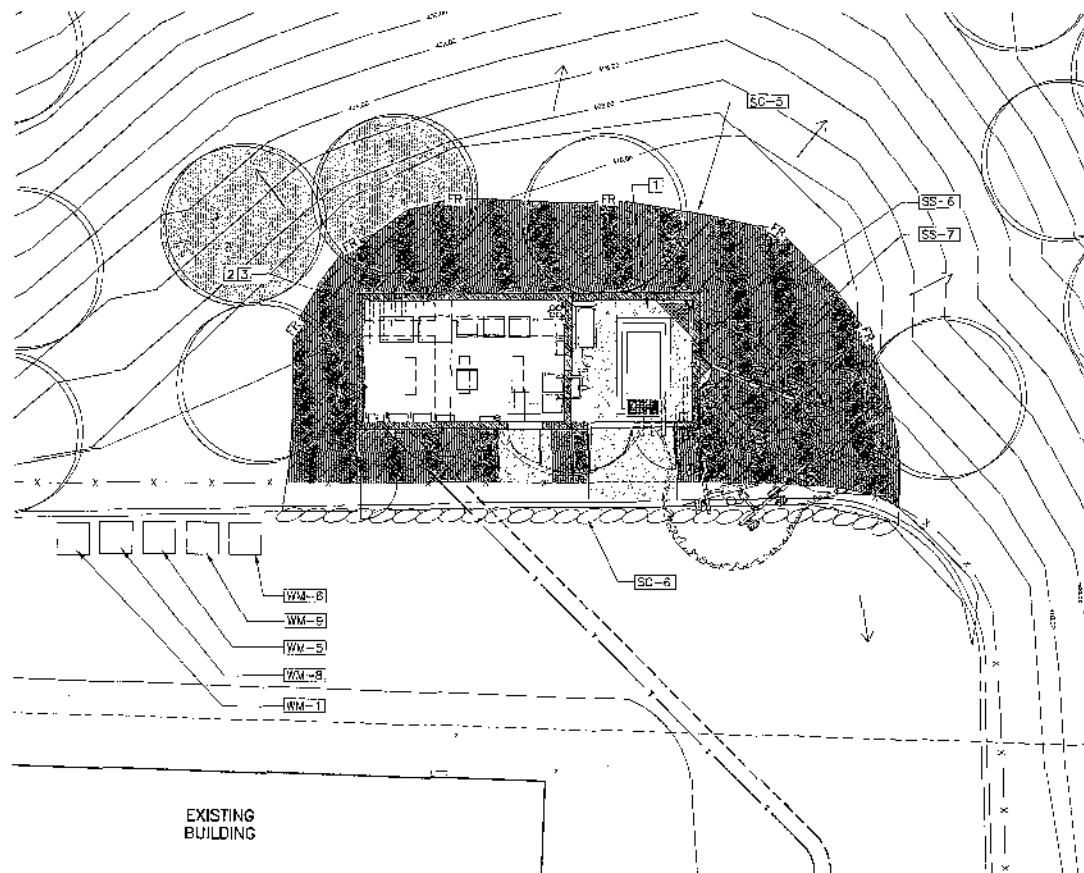
CONSTRUCTION STORMWATER BMPs:

DIRECTION OF LOT DRAINAGE → →

- SS-7** EROSION CONTROL BLANKET
- SS-6** MULCH, STRAW, WOOD CHIPS
- SC-5** FIBER ROLLS -FR-FR-
- SC-6** GRAVEL BASS
- TC-1** STABILIZED CONSTRUCTION ENTRANCE
- WM-1** MATERIAL DELIVERY & STORAGE
- WM-8** CONCRETE WASTE MANAGEMENT
- WM-5** SOLID WASTE MANAGEMENT
- WM-9** SANITARY WASTE MANAGEMENT
- WM-6** HAZARDOUS WASTE MANAGEMENT



WATER POLLUTION CONTROL PLAN
SCALE: 1" = 60'-0"



ENLARGED WATER POLLUTION CONTROL PLAN A
SCALE: 1" = 15' = 11'-0"

BOOTH & SUAREZ
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verizon wireless

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APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
LE/IN	DATE
OPS	DATE
ES/OUT	DATE

PROJECT NAME

KENEMAR

7756 TRADE ST.
SAN DIEGO, CA 92121
SAN DIEGO COUNTY

DRAWING DATES

10/15/13	90% ZD (dr)
10/17/13	100% ZD (rd)
10/21/13	100% ZD REVISION 1 (ic)
10/29/13	100% ZD REVISION 2 (ee)
11/21/13	100% ZD REVISION 3 (rd)
02/04/14	100% ZD REVISION 4 (hc)
02/06/14	100% ZD REVISION 5 (hc)
03/25/14	100% ZD REVISION 6 (fs)
06/12/14	100% ZD REVISION 7 (ee)
06/09/14	100% ZD REVISION 8 (ic)

SHEET TITLE

WATER POLLUTION CONTROL PLAN & ENLARGED WATER POLLUTION CONTROL PLAN A

PROJECTS\VERIZON\13300

A-0.0

BOOTH & SUAREZ

ARCHITECTURE INCORPORATED
 105 CALLEAD VILLAGE DR. SUITE 09
 CALLEAD, CA 92008 (760) 434-8474



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 (949) 266-7000

APPROVALS

A&C	DATE
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EE/IN	DATE
DPS	DATE
EE/OUT	DATE

PROJECT NAME

KENEMAR

7756 TRADE ST.
 SAN DIEGO, CA 92121
 SAN DIEGO COUNTY

DRAWING DATES

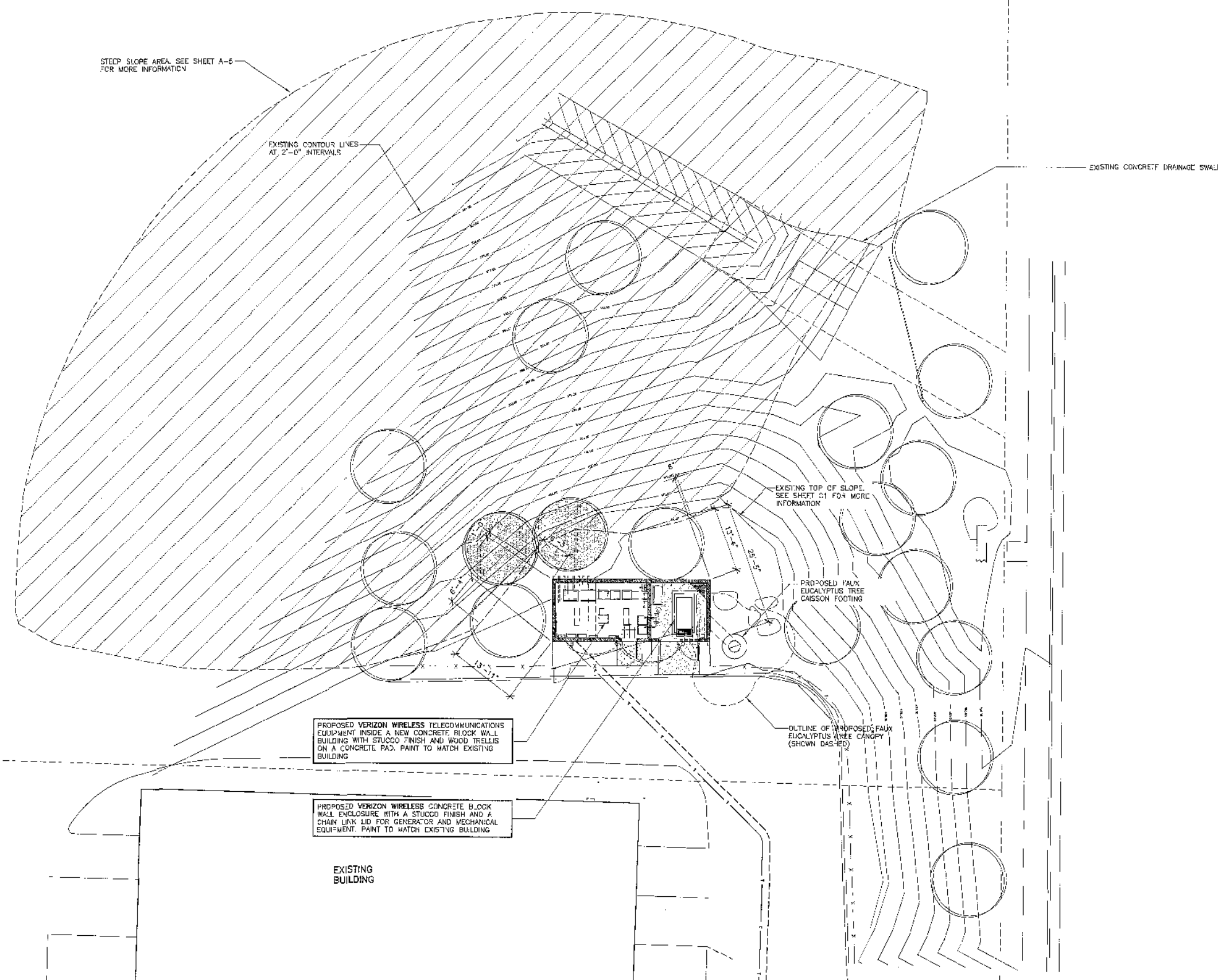
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01/17/13	100% ZD (rc)
01/21/13	100% ZD REVISION 1 (lc)
10/29/13	100% ZD REVISION 2 (se)
11/21/13	100% ZD REVISION 3 (rd)
02/04/14	100% ZD REVISION 4 (hc)
02/06/14	100% ZD REVISION 5 (hc)
03/28/14	100% ZD REVISION 6 (lc)
05/12/14	100% ZD REVISION 7 (se)
06/09/14	100% ZD REVISION 8 (lc)

SHEET TITLE

ENLARGED STEEP SLOPE AREA PLAN

PROJECTS\VERIZON\13300

A-0.1



ENLARGED STEEP SLOPE AREA PLAN

SCALE: 1" = 10'-0"





PREPARED FOR



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 IRVINE, CA 92623-9707
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EE/CUT	DATE

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DRAWING DATES

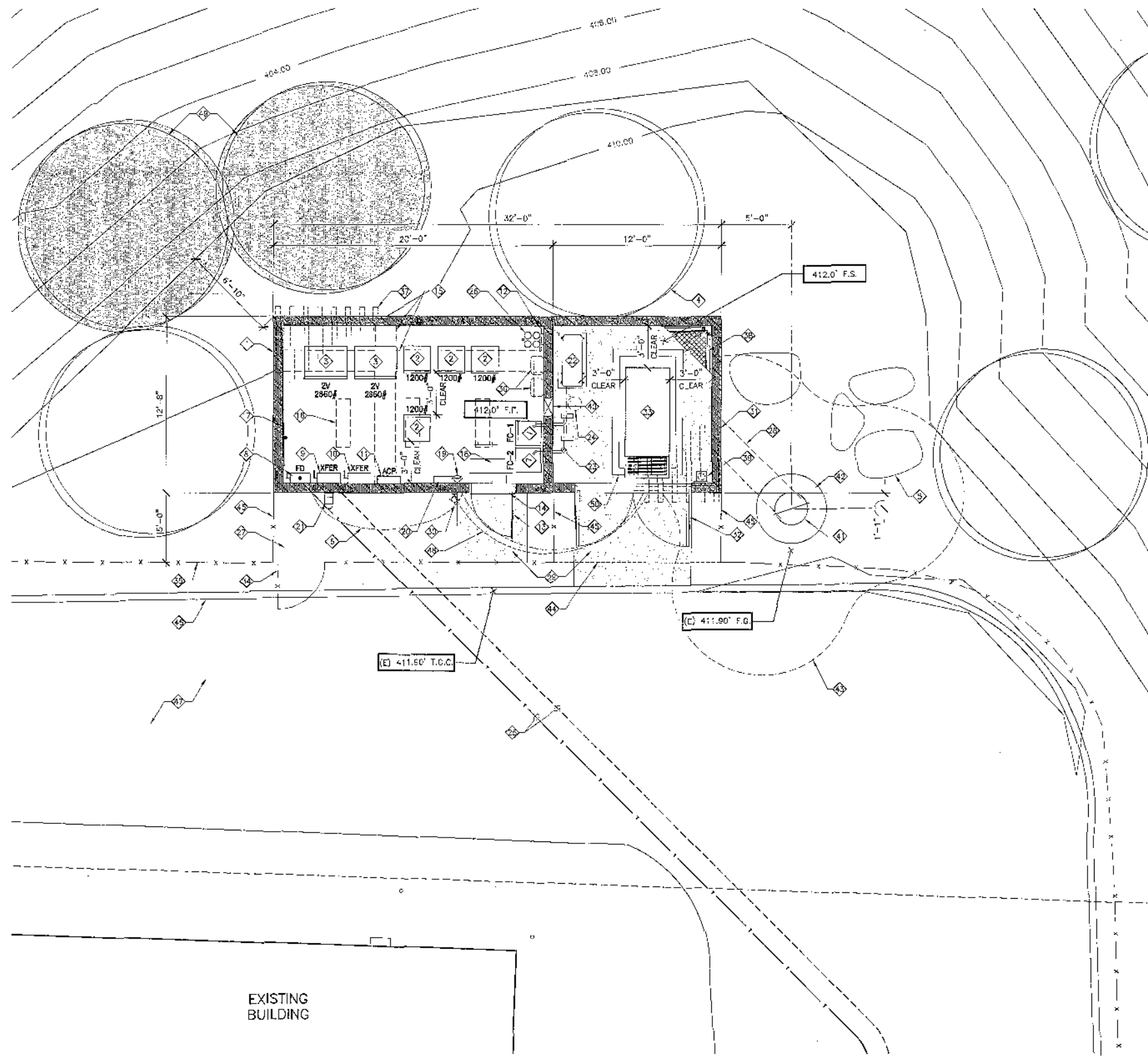
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09/17/13	100% ZD (rd)
10/21/13	100% ZD REVISION 1 (tc)
10/29/13	100% ZD REVISION 2 (pp)
11/21/13	100% ZD REVISION 3 (rd)
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05/12/14	100% ZD REVISION 7 (tc)
06/09/14	100% ZD REVISION 8 (tc)

SHEET TITLE

EQUIPMENT FLOOR PLAN

PROJECTS\VERIZON\13300

A-1



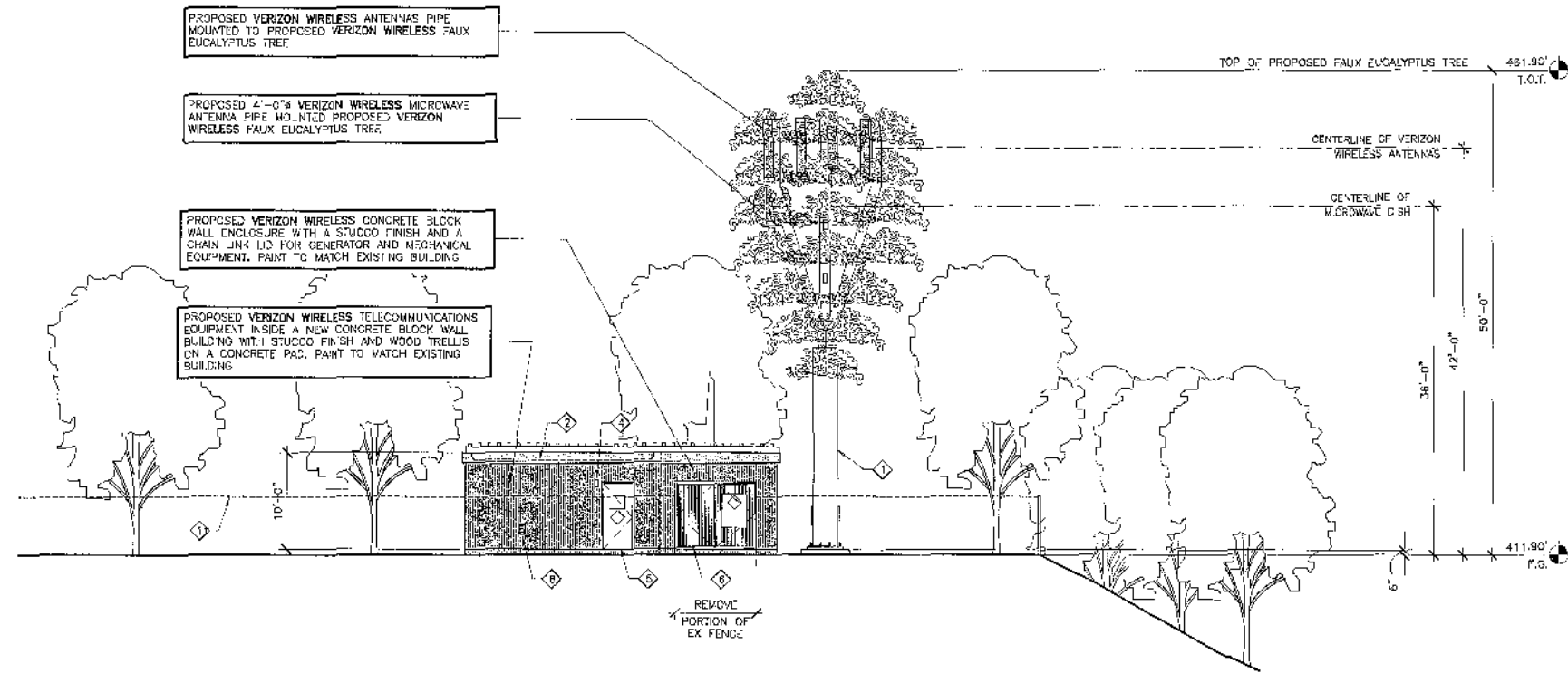
EQUIPMENT FLOOR PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING BUILDING. (SHOWN SHADED)
- 2 PROPOSED VERIZON WIRELESS EQUIPMENT RACK 23" WIDE x 84" HIGH x 23" DEEP. WEIGHT: 1200 LBS.
- 3 PROPOSED VERIZON WIRELESS 2V BATTERY RACK 37" WIDE x 37.66" HIGH x 27.88" DEEP. WEIGHT: 2660 LBS.
- 4 EXISTING TREE (TYPICAL.)
- 5 EXISTING ROCK PILE
- 6 EXISTING ROCK PILE TO BE REMOVED
- 7 PROPOSED AIR HANDLERS
- 8 PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9 PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10 PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11 PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12 PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 13 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 14 PROPOSED ALUMINUM THRESHOLD
- 15 PROPOSED OVERHEAD 18" CABLE LADDER @ +7'-6" (SHOWN DASHED)
- 16 PROPOSED SURFACE MOUNTED FLOURESCENT LIGHT FIXTURES (TYPICAL OF 3)
- 17 PROPOSED WALL MOUNTED T.F.CO BOARD
- 18 PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELOX #51973 MONO WHITE WITH 4" COVER BASE
- 19 PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 20 PROVIDE AND INSTALL (1) BATTERY ACID SPILL KIT
- 21 PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 22 PROPOSED (2) OUTDOOR CONDENSER UNITS (CARRIER 38HD060) MOUNTED ON STACKING RACK ON A CONCRETE PAD
- 23 PROPOSED REFRIGERANT LINE ROUTING
- 24 PROPOSED DRYWELL
- 25 PROPOSED UNDERGROUND JOINT UTILITY TRENCH. SEE SHEET A-1 FOR CONTINUATION.
- 26 PROPOSED (4) 6" CONDUITS FOR COAX CABLE & (1) 1-1/2" CONDUIT FOR GROUND
- 27 INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE EQUIPMENT COMPOUND
- 28 PROPOSED VERIZON WIRELESS COAXIAL CABLE TRENCH
- 29 PROPOSED CONCRETE LANDING
- 30 PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 31 PROPOSED CONCRETE BLOCK WALL ENCLOSURE WITH A STUCCO FINISH (SHOWN SHADED)
- 32 PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME W/ SIGNAGE
- 33 PROPOSED VERIZON WIRELESS 30kW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD. "GENERAC" SD030 GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 64 dBA AT A REFERENCE DISTANCE OF 23 FEET.
- 34 EXISTING GATE
- 35 EXISTING CHAINLINK FENCE
- 36 PROPOSED RAYCAP DC SURGE PROTECTION UNITS MOUNTED HIGH UP ON WALL (TYPICAL OF 2)
- 37 PROPOSED TRELLIS ABOVE (SHOWN DASHED)
- 38 PROPOSED CHAIN LINK LD
- 39 PROVIDE AND INSTALL (1) WALL MOUNTED CLASS A-10B-C FIRE EXTINGUISHER INSIDE A NEMA 3R CABINET
- 40 PROPOSED 16" x 16" MOTORIZED EXHAUST FAN
- 41 PROPOSED VERIZON WIRELESS FAUX EUCALYPTUS TREE
- 42 PROPOSED FAUX EUCALYPTUS TREE GASSON FOOTING
- 43 OUTLINE OF PROPOSED FAUX EUCALYPTUS TREE CANOPY (SHOWN DASHED)
- 44 REMOVE PORTION OF EXISTING CHAINLINK FENCE
- 45 NEW CHAINLINK FENCE TO MATCH EXISTING
- 46 EXISTING CONCRETE CURB
- 47 EXISTING ASPHALT PAVING
- 48 EXISTING TREE TO BE REMOVED
- 49 PROPOSED TREE (SHOWN SHADED)
- 50 PROPOSED CONCRETE CONTAINMENT CURB

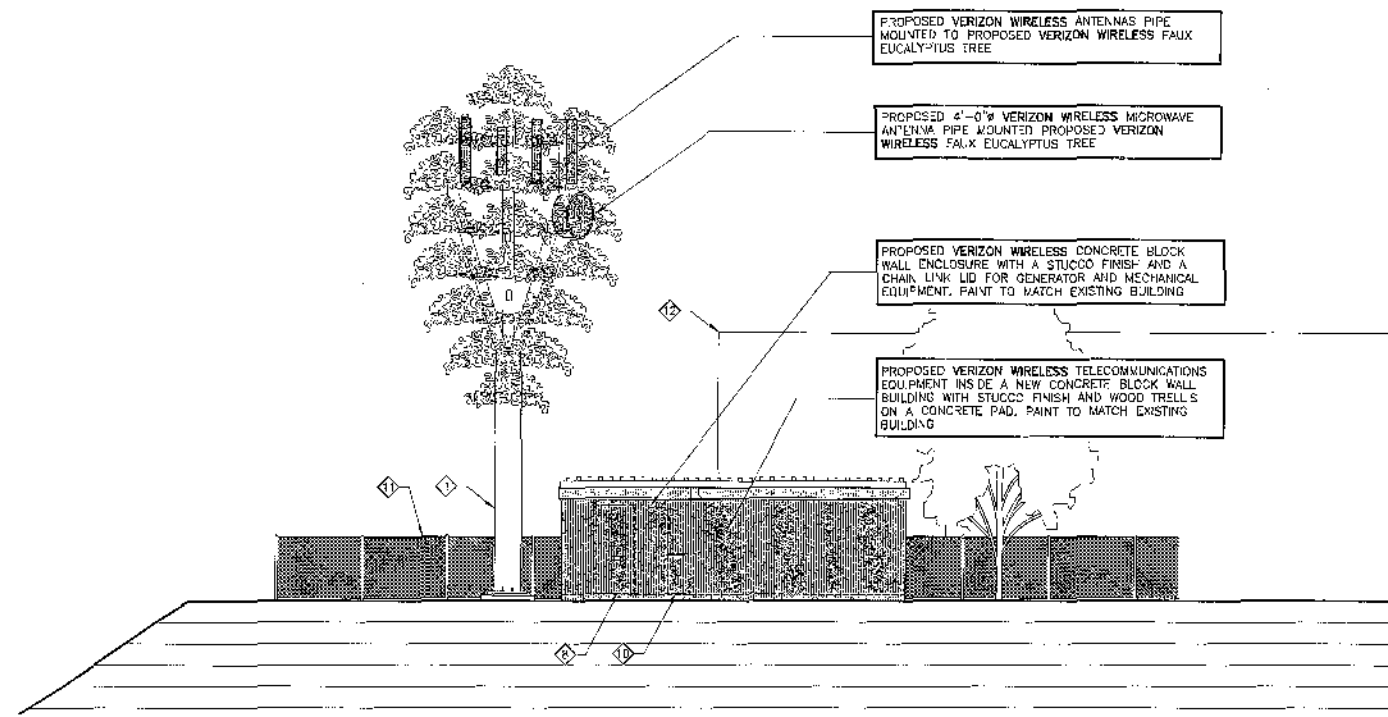
EQUIPMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"





SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- ① PROPOSED 50'-0" HIGH FAUX EUCALYPTUS TREE
- ② PROPOSED ROOF SURFACE (SHOWN DASHED)
- ③ PROPOSED 5911/OPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- ④ PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- ⑤ PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- ⑥ PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME W/ SIGNAGE
- ⑦ PROPOSED CONCRETE LANDING
- ⑧ PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- ⑨ PROPOSED VERIZON WIRELESS ENCLOSED STANDBY GENERATOR WITH A DOUBLE WALL SUBBASE FLE-TANK ON A POLISHED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- ⑩ PROPOSED (2) STACKED MECHANICAL UNITS MOUNTED ON A CONCRETE PAD (SHOWN DASHED)
- ⑪ EXISTING CHAINLINK FENCE (REMOVED FOR CLARITY ON SOUTH ELEVATION)
- ⑫ EXISTING BUILDING
- ⑬ PROPOSED CHAINLINK FENCE

BOOTH & SUAREZ
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PREPARED FOR



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APPROVALS

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SAN DIEGO COUNTY

DRAWING DATES

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SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\15300

A-2

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
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 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

ARC	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

KENEMAR

7756 TRADE ST.
 SAN DIEGO, CA 92121
 SAN DIEGO COUNTY

DRAWING DATES

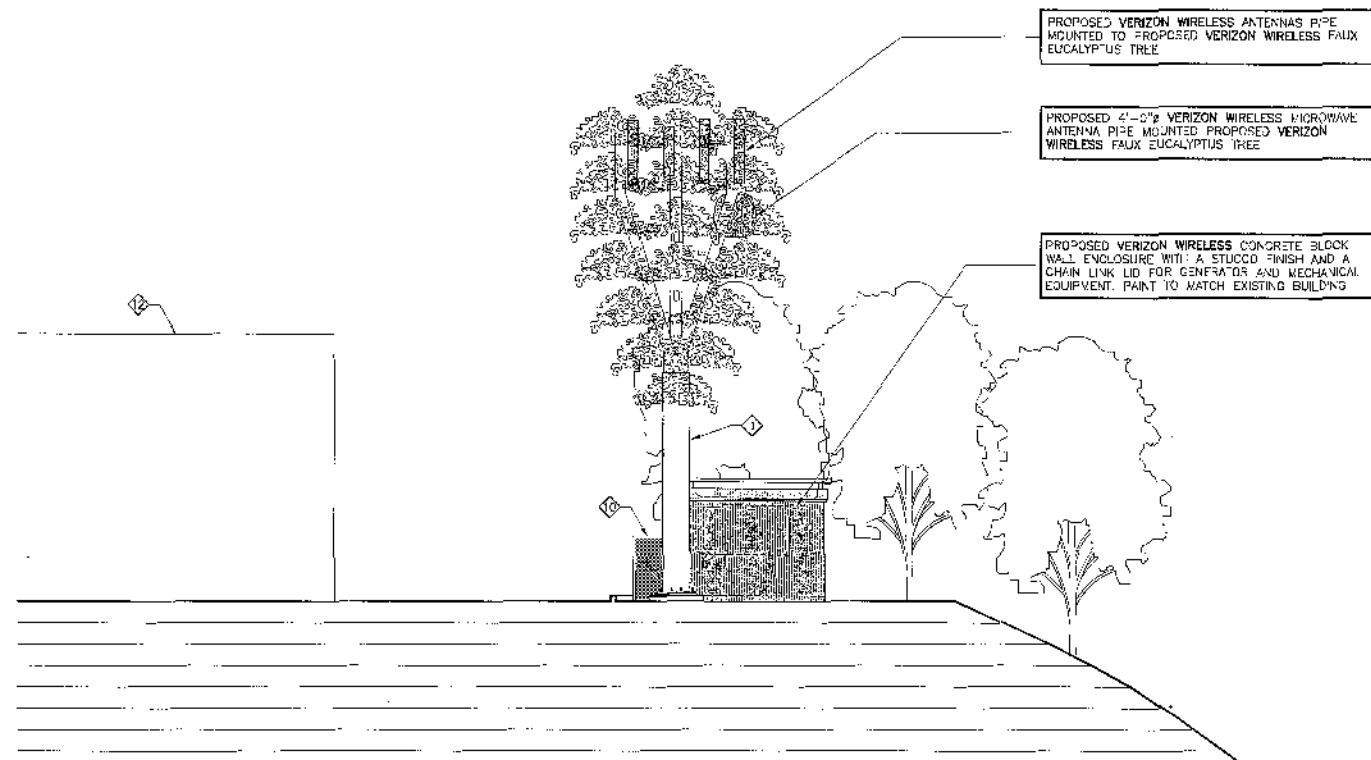
10/16/13	90% ZD (dn)
10/17/13	100% ZD (rd)
10/21/13	100% ZD REVISION 1 (re)
10/29/13	100% ZD REVISION 2 (re)
11/21/13	100% ZD REVISION 3 (rd)
02/04/14	100% ZD REVISION 4 (re)
02/06/14	100% ZD REVISION 5 (re)
03/25/14	100% ZD REVISION 6 (re)
05/12/14	100% ZD REVISION 7 (re)
06/08/14	100% ZD REVISION 8 (re)

SHEET TITLE

EXTERIOR ELEVATIONS

PROJECTS\VERIZON\13300

A-3



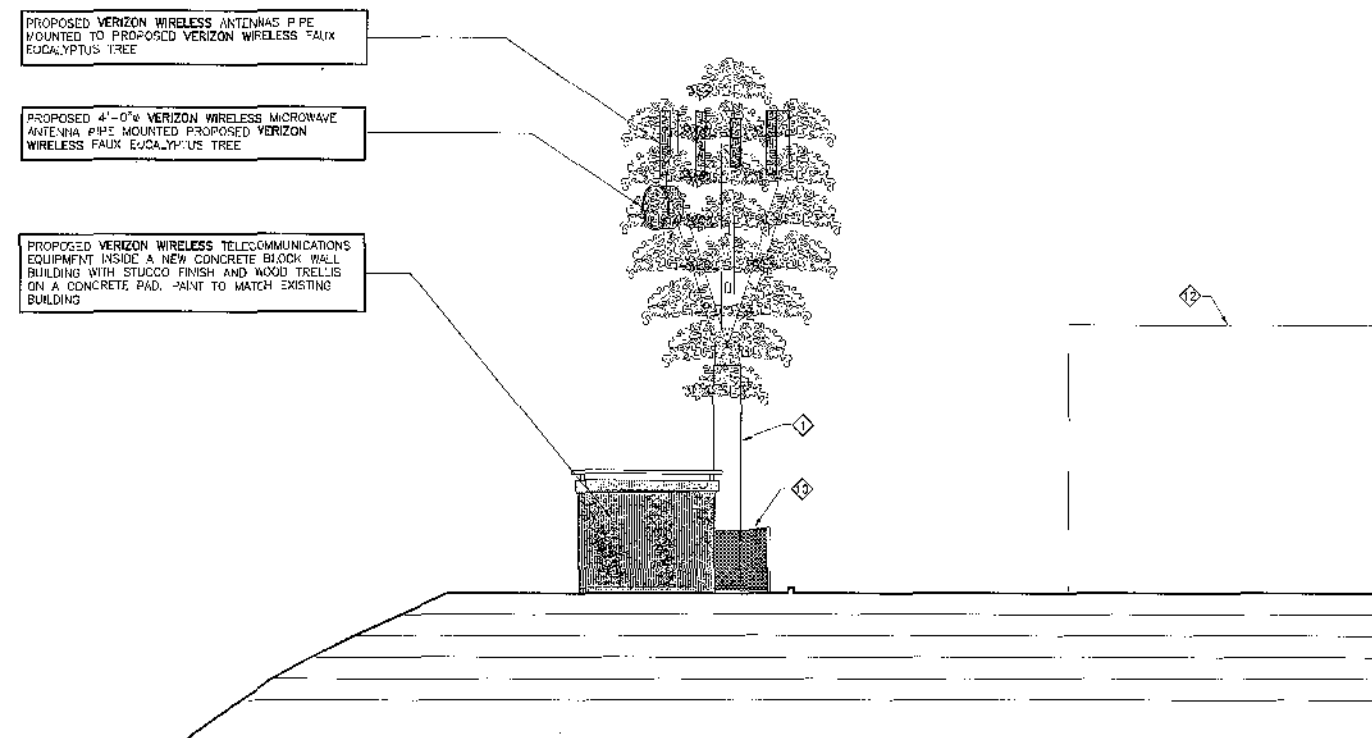
- PROPOSED VERIZON WIRELESS ANTENNAS PIPE MOUNTED TO PROPOSED VERIZON WIRELESS FAUX EUCALYPTUS TREE
- PROPOSED 4'-0" VERIZON WIRELESS MICROWAVE ANTENNA PIPE MOUNTED PROPOSED VERIZON WIRELESS FAUX EUCALYPTUS TREE
- PROPOSED VERIZON WIRELESS CONCRETE BLOCK WALL ENCLOSURE WITH A STUCCO FINISH AND A CHAIN LINK LID FOR GENERATOR AND MECHANICAL EQUIPMENT. PAINT TO MATCH EXISTING BUILDING

ELEVATION NOTES:

- 1 PROPOSED 50'-0" HIGH FAUX EUCALYPTUS TREE
- 2 PROPOSED ROOF SURFACE (SHOWN DASHED)
- 3 PROPOSED EB11/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 4 PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 5 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 6 PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME W/ SIGNAGE
- 7 PROPOSED CONCRETE LANDING
- 8 PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 9 PROPOSED VERIZON WIRELESS ENCLOSED STANDBY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- 10 PROPOSED CHAINLINK FENCE
- 11 EXISTING CHAINLINK FENCE (REMOVED FOR CLARITY ON SOUTH ELEVATION)
- 12 EXISTING BUILDING

EAST ELEVATION

SCALE 1/8" = 1'-0"



- PROPOSED VERIZON WIRELESS ANTENNAS PIPE MOUNTED TO PROPOSED VERIZON WIRELESS FAUX EUCALYPTUS TREE
- PROPOSED 4'-0" VERIZON WIRELESS MICROWAVE ANTENNA PIPE MOUNTED PROPOSED VERIZON WIRELESS FAUX EUCALYPTUS TREE
- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING BUILDING

WEST ELEVATION

SCALE 1/8" = 1'-0"

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 355 CARLSBAD VILLAGE DRIVE, SUITE D5
 CARLSBAD, CA 92008 (760) 434-5474

PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
EC	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
KENEMAR
 7756 TRADE ST.
 SAN DIEGO, CA 92121
 SAN DIEGO COUNTY

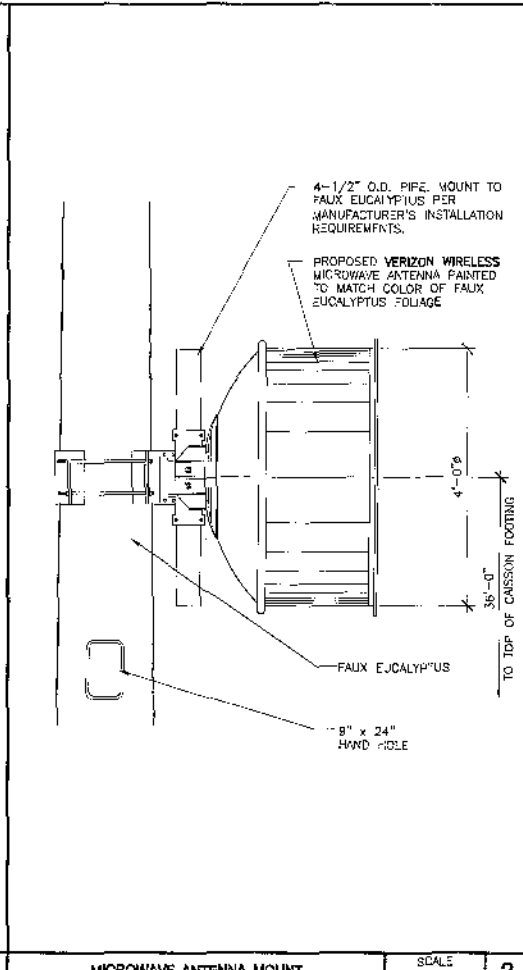
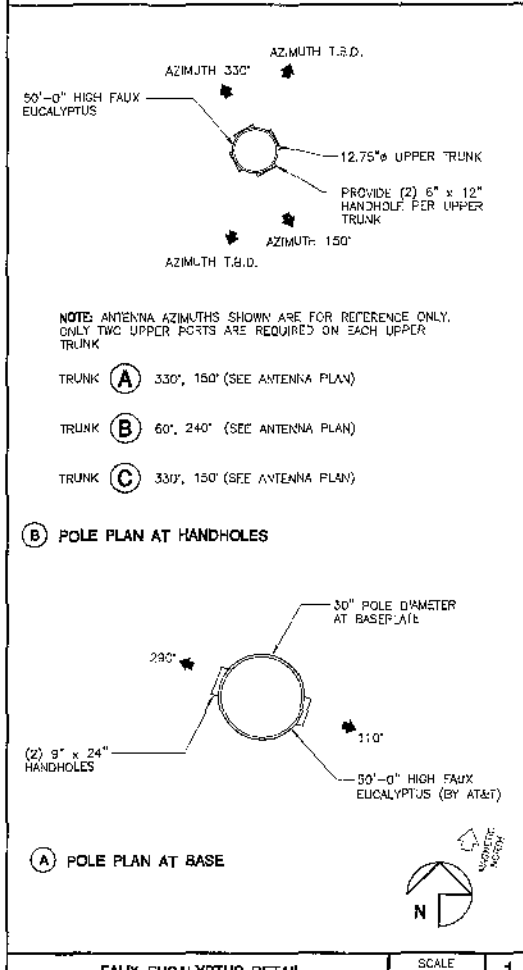
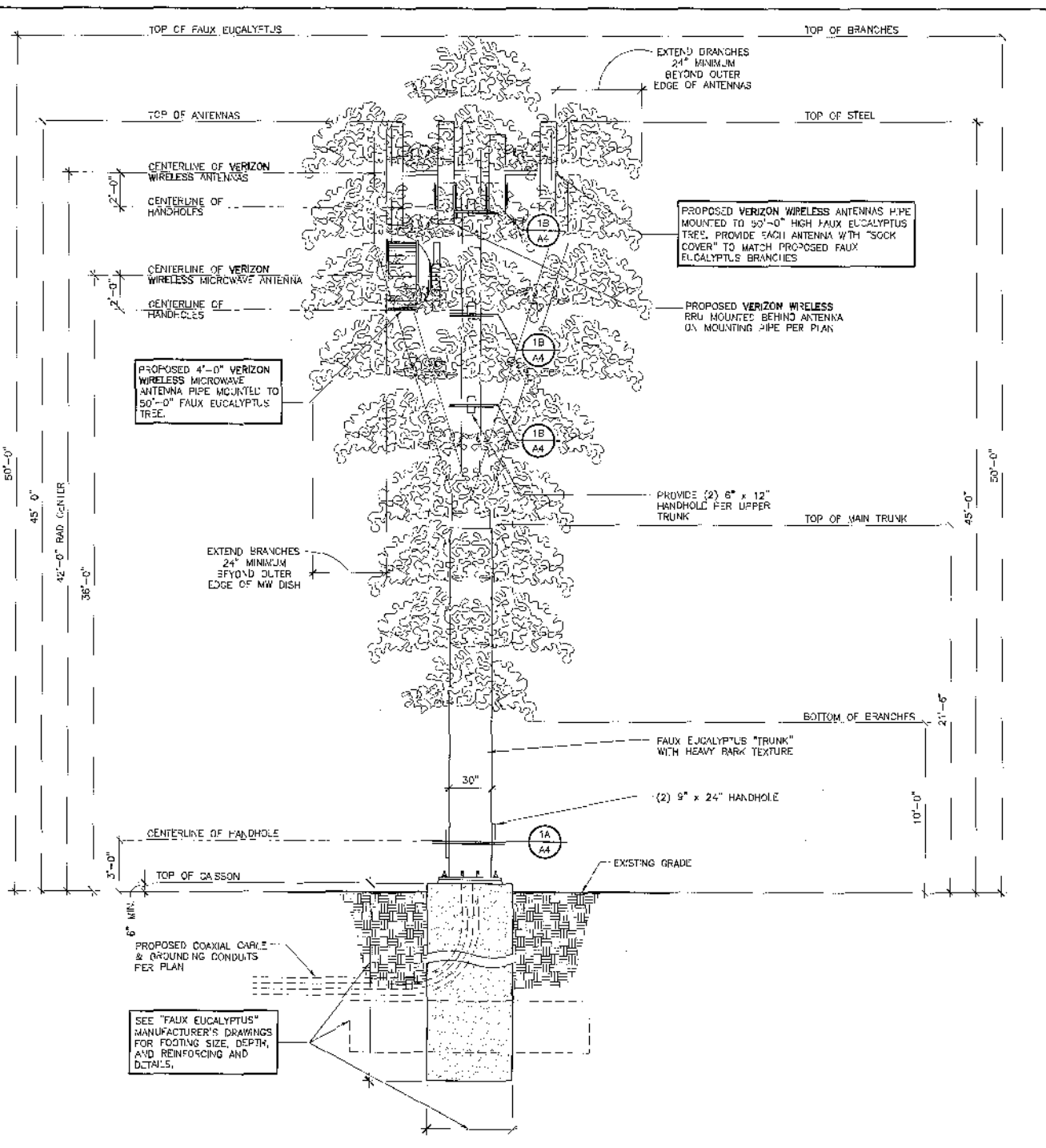
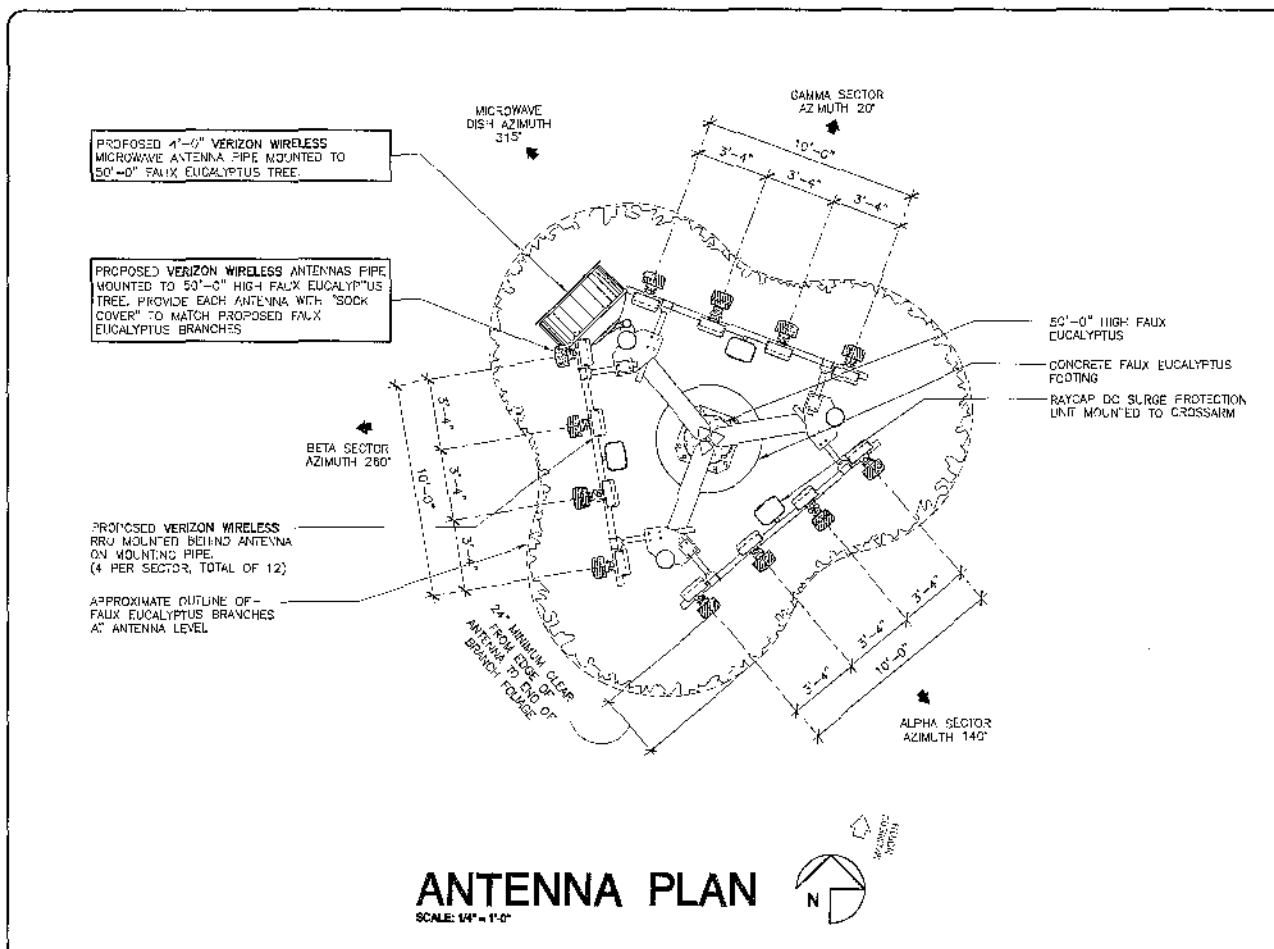
DRAWING DATES

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10/17/13	100% 2D (rc)
10/21/13	100% 2D REVISION 1 (rc)
10/29/13	100% 2D REVISION 2 (ee)
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03/25/14	100% 2D REVISION 6 (hc)
05/12/14	100% 2D REVISION 7 (ee)
06/09/14	100% 2D REVISION 8 (hc)

SHEET TITLE
ANTENNA PLANS & FAUX EUCALYPTUS TREE ELEVATION

PROJECTS\VERIZON\13300

A-4



ANTENNA AND COAXIAL CABLE SCHEDULE

SECTOR ANTENNA	DIRECTION	AZ MUTH	DOWN TILT	SKEW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX. SIZE
ALP-A1					78" L x 15" W x 9.5" D	6 COAX + 2 HYBRID	85'-0"	0'-0"	7/8"
ALPHA2	SOUTH-EAST	140°	0°	N/A	78" L x 15" W x 9.5" D				
ALPHA3					78" L x 15" W x 5.5" D				
ALPHA4					78" L x 15" W x 9.5" D				
BETA1					78" L x 15" W x 9.5" D	6 COAX + 2 HYBRID	85'-0"	0'-0"	7/8"
BETA2	SOUTHWEST	280°	0°	N/A	78" L x 15" W x 9.5" D				
BETA3					78" L x 15" W x 9.5" D				
BETA4					78" L x 15" W x 5.5" D				
GAMMA1					78" L x 15" W x 9.5" D	6 COAX + 2 HYBRID	85'-0"	0'-0"	7/8"
GAMMA2	NORTH	20°	0°	N/A	78" L x 15" W x 9.5" D				
GAMMA3					78" L x 15" W x 9.5" D				
GAMMA4					78" L x 15" W x 6.5" D				
MICROWAVE DISH		330°	-	-	4'-0" DIAMETER	1	77'-0"	-	1 1/4"

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED

325 CALLEBADA WILLOW DALE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/WH	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

KENEMAR

7756 TRADE ST.
 SAN DIEGO, CA 92121
 SAN DIEGO COUNTY

DRAWING DATES

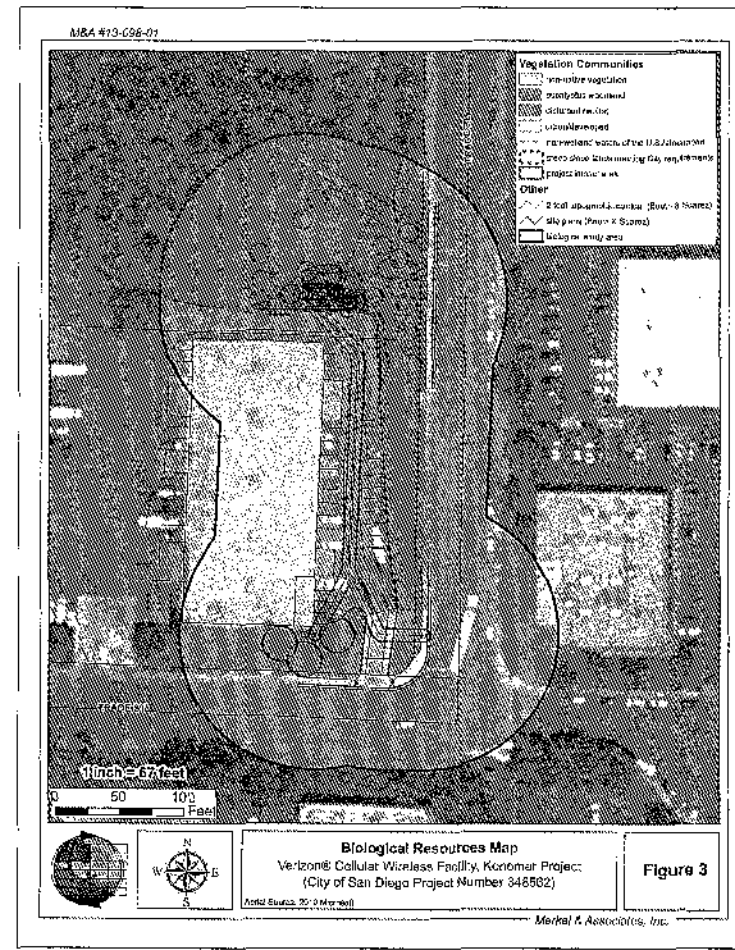
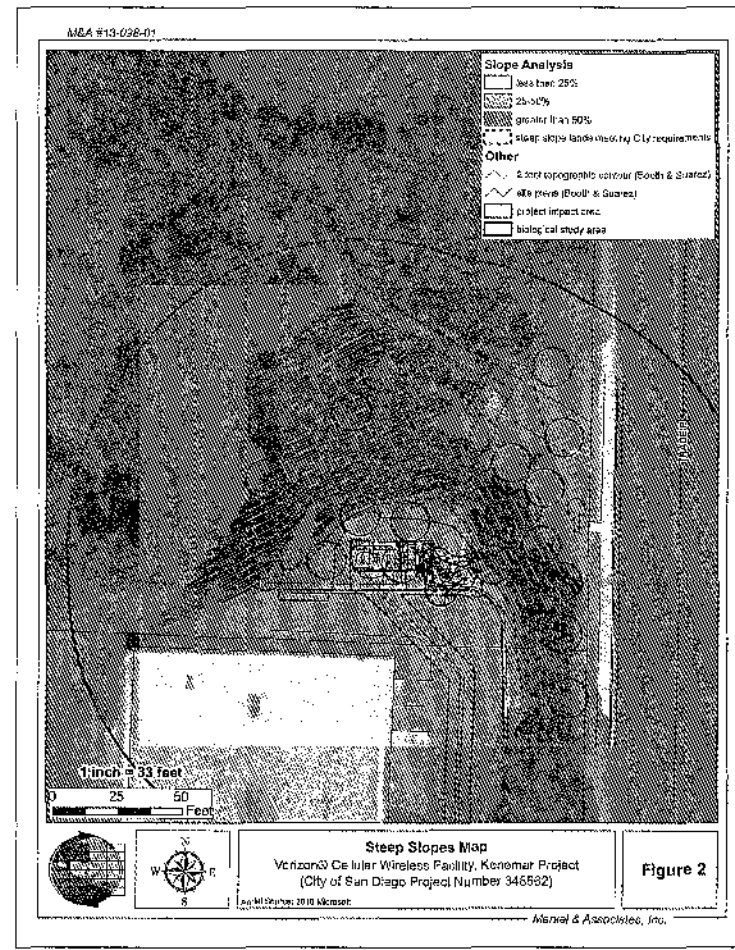
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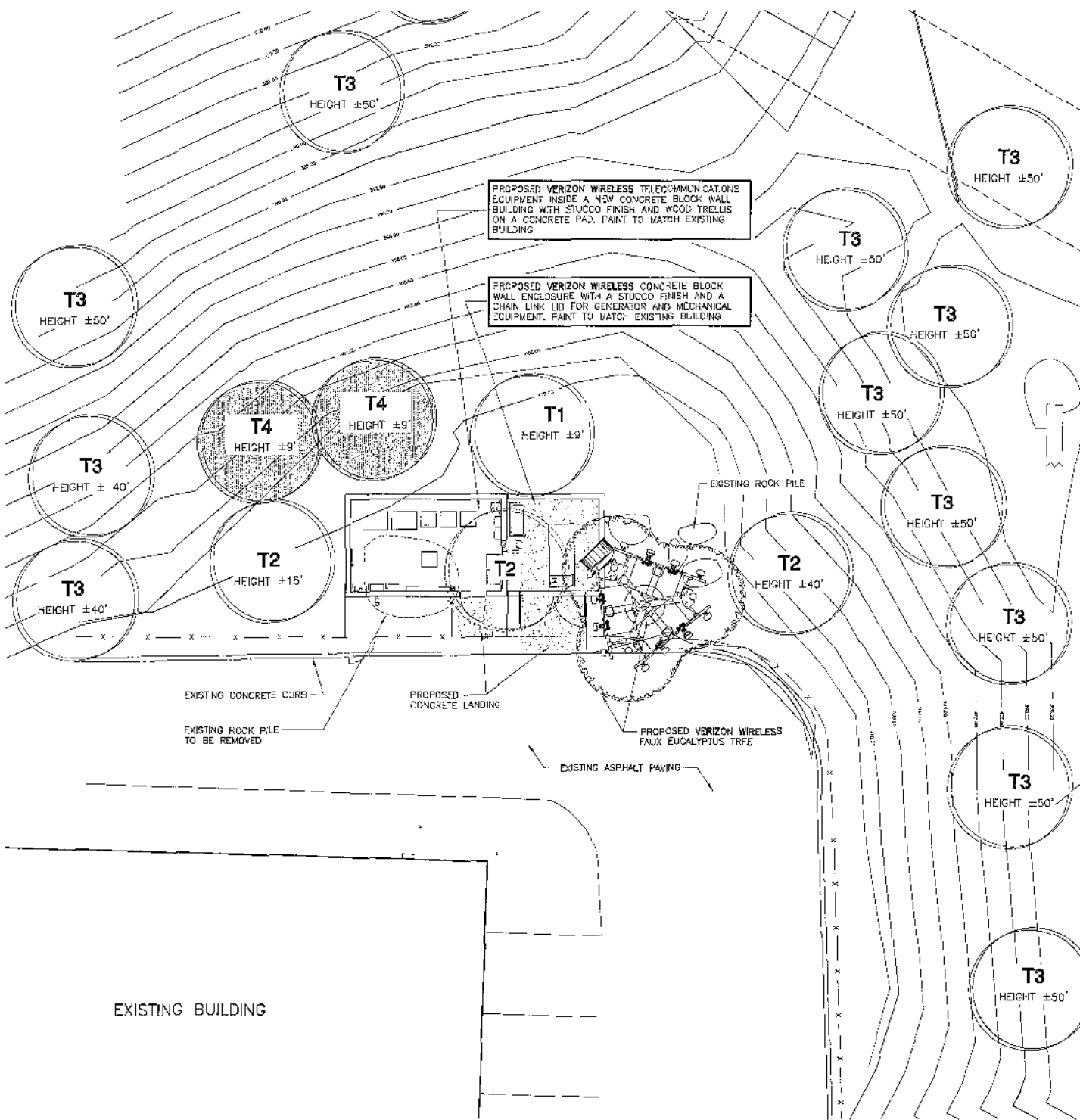
SHEET TITLE

**STEEP SLOPES MAP &
 BIOLOGICAL RESOURCES
 MAP**

PROJECTS\VERIZON\13300

A-5





WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND WASTING.
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGN) - 20' ABOVE GROUND UTILITY STRUCTURES - 10'
UNDERGROUND UTILITY LINES - 5' DRIVEWAY (ENTRIES) - 10'
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25'
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
14. ALL PRUNING SHALL COMPLY WITH THE NATIONAL ARBORIST ASSOCIATION. NO TOPPING OR PRUNING OF VEHICULAR USE AREA TREES INTO TOPIARY/HEDGE FORMS IS ALLOWED. TREES SHALL BE ALLOWED TO GROW TO THEIR FULL HEIGHT AND WIDTH TO PROVIDE THE INTENDED SHADE OVER PAVED PARKING SURFACES.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	EXISTING HEIGHT & SPREAD	MATURE HEIGHT & SPREAD
T1	ACACIA MANGUUM	BLACK WATTLE	EXISTING	1	AS SHOWN	85' HEIGHT 40' SPREAD
T2	ACACIA RETINODES	MIMOSA ACACIA	EXISTING	2	AS SHOWN	20' HEIGHT 25' SPREAD
T2	ACACIA RETINODES	MIMOSA ACACIA	TO BE REMOVED	1	AS SHOWN	22' HEIGHT 25' SPREAD
T3	EUCALYPTUS VIMINALIS	WHITE GUM	EXISTING	12	AS SHOWN	120' HEIGHT 50' SPREAD
T4	BRISBANE BOX	LOPHOSTEMON CONFERTUS	24" BOX	2	AS SHOWN	45' HEIGHT 25' SPREAD

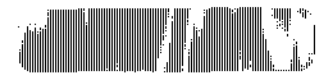
LANDSCAPE DEVELOPMENT PLAN

SCALE: 1/8" = 1'-0"



BOOTH & SUAREZ

ARCHITECTURE INCORPORATED
522 CALSBAD VILLAGE DRIVE SUITE 105
CALSBAD, CA 92008 (760) 434-5774



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

KENEMAR

7756 TRADE ST.
SAN DIEGO, CA 92121
SAN DIEGO COUNTY

DRAWING DATES

10/15/13	90% CD (dn)
10/17/13	100% 2D (rd)
10/21/13	100% 2D REVISION 1 (ic)
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03/25/14	100% 2D REVISION 6 (ic)
03/12/14	100% 2D REVISION 7 (se)
06/09/14	100% 2D REVISION 8 (ic)

SHEET TITLE

LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\13300

L-1



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

CONSULTANT

JRN
CIVIL ENGINEERS
232 AVENIDA FABRICANTE,
SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4655

PROJECT NAME

KENEMAR

7756 TRADE ST.
SAN DIEGO, CA 92121

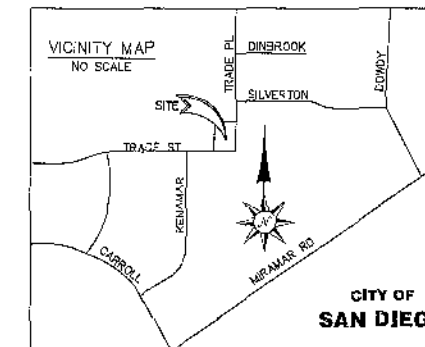
DRAWING DATES

10/03/13

SHEET TITLE

TOPOGRAPHIC SURVEY

C1



LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 3 OF TREPTE INDUSTRIAL PARK UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8649, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ASSESSOR'S PARCEL NUMBER: 343-360-05 AND 343-360-06

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: COMMONWEALTH LAND TITLE COMPANY COMMITMENT NO.: 08020481
4100 NEWPORT PLACE DEL. SUITE 120 TITLE OFFICER: CHRIS MAZAR
NEWPORT BEACH, CA 92660 DATED: SEPTEMBER 18, 2013
(949) 724-0706

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

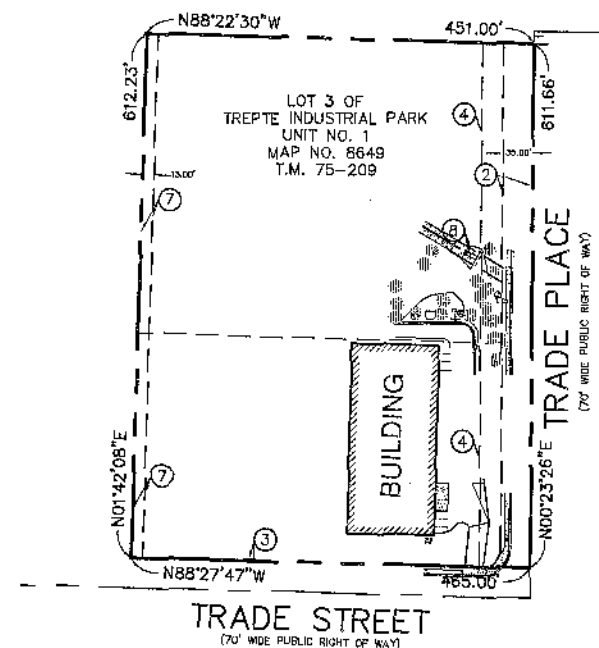
- ② AN EASEMENT(S) FOR RESERVED FOR FUTURE STREET AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP OF TRACT 8649, SAID OFFER WAS ACCEPTED BY RESOLUTION, A CERTIFIED COPY OF WHICH WAS RECORDED JUNE 10, 1999 AS INSTRUMENT NO. 82-175837 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ③ AN EASEMENT(S) FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY RECORDED ON OCTOBER 18, 1977, AS RECORDING NO. 77-428329 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ④ COVENANTS, CONDITIONS AND RESTRICTIONS, AS SET FORTH IN THE DOCUMENT RECORDED ON NOVEMBER 2, 1977, AS RECORDING NO. 77-045408 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- ⑤ AN EASEMENT(S) PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED ON NOVEMBER 23, 1977, AS RECORDING NO. 77-480186 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD, AND IS NOT PLOTTED HEREON.
- ⑥ AN EASEMENT(S) FOR PUBLIC UTILITIES, INGRESS, EGRESS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED ON AUGUST 28, 1978, AS RECORDING NO. 78-360243 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD, AND IS NOT PLOTTED HEREON.
- ⑦ COVENANTS, CONDITIONS AND RESTRICTIONS, AS SET FORTH IN THE DOCUMENT RECORDED ON OCTOBER 1, 1978 AS RECORDING NO. 78-380243 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON. IT IS ALSO BLANKET IN NATURE.
- ⑧ AN EASEMENT(S) FOR STORM DRAIN AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF SAN DIEGO RECORDED ON MAY 14, 1982, AS RECORDING NO. 82-144755 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ⑨ AN EASEMENT(S) FOR PUBLIC UTILITIES, INGRESS, EGRESS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY, RECORDED ON OCTOBER 2, 2001 AS RECORDING NO. 2001-0710846 OF OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.

ITEMS #8 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

ASSESSOR'S PARCEL NUMBER
343-360-05 AND 343-360-06

DATE OF SURVEY:
9/30/13

Jeffery L. Mays
JEFFERY L. MAYS L.S. NO. 6379
EXP: 12/31/14



BOUNDARY DETAIL
SCALE: 1" = 100'



LEGEND:

- AC - ASPHALT CONCRETE
- AG - ANCHOR GUY
- BT - BASE OF TREE
- BW - BACK OF WALK
- CATY - CABLE BOX
- CDP - CONCRETE DRAIN PIPE
- EB - ELECTRIC BOX
- EC - EDGE OF CONCRETE
- EU - ELECTRIC UTILITY
- FG - FINISH GRADE
- FL - FLOW LINE
- FS - FINISH SURFACE
- ICV - IRRIGATION CONTROL VALVE
- IRP - IRRIGATION PIPE
- LP - LIGHT POLE
- NG - NATURAL GRADE
- PP - POWER POLE
- RL - ROOF LADDER
- SDMH - STORM DRAIN MANHOLE
- SLEP - STREET LIGHT PULLBOX
- T3 - TOP OF CONCRETE BASE
- TC - TOP OF CURB
- TOE - TOP OF NATURAL GROUND
- TOP - TOP OF NATURAL GROUND
- TOT - TOP OF TREE
- TP - TELEPHONE PEDESTAL
- UB - UTILITY BOX
- XFMR - TRANSFORMER

COORDINATES:

LATITUDE: 32°53'23.866" N
LONGITUDE: 117°09'13.343" W
DATUM: NAD83

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM, ZONE 8, NAD 83 - EPOCH 2013.250 AS DERIVED THROUGH FIXED RTK OBSERVATIONS RTM, CORRECTED THROUGH SMARTNET.

DATUM STATEMENT:

CITY OF SAN DIEGO BENCHMARK BRASS PLUG AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF TRADE STREET AND TRADE PLACE. ELEVATION 482.71. DATUM: MSL.

PROJECT AREA
SCALE: 1" = 20'

